

# Mapleton City Planning Commission Staff Report

Meeting Date: April 3, 2014

**Item: 2**

**Applicant:** David Broadbent

**Prepared by:** Sean Conroy, Community Development Director

**Public Hearing Item:** No

**Location:** 1300 S 1500 E

**Zone:** CE-1

## **REQUEST**

Consideration of a landscape plan for a property located at approximately 1300 South and 1500 East in the Critical Environment (CE-1 Zone).

## **BACKGROUND AND PROJECT DESCRIPTION**

The subject property is approximately 10 acres in size, the majority of which is located within the Critical Environment (CE-1) Zone. The property is developed with a single family dwelling, an accessory unit and a pond. The accessory unit and the pond sit on top of a small hill above the main dwelling. Just east of the accessory unit and the pond, the property slopes steeply upwards along the Mapleton bench.

While doing routine inspections, the City's Building Official noticed that some work was being done on the subject property without a permit. Staff visited the site and found that both interior and exterior work was being done on the accessory unit as well as a landscaping plan that includes:

- Stone retaining walls in several locations;
- Creation of a stream/water fall feature that flows from the pond;
- A pavilion and parking area;
- A small amphitheater;
- New staircases;
- Picnic areas; and
- New landscaping.

Staff notes that much of the work normally would not require any type of permit, however, due to the project location in the CE-1 zone, there are permitting requirements.

## **EVALUATION**

The intent of the CE-1 zone includes identifying environmentally sensitive and fragile areas, to preserve the aesthetic value of the landscape and to ensure that development is done in a sensitive way that protects the character of the area as well as is safe for the users. Mapleton City Code Section 18.30.080 indicates that a grading permit is required for any grading, filling, plowing, excavation or alterations to existing vegetation. The Code further states the following:

*“Cutting roads, clearing vegetation, or otherwise disturbing the earth shall not be approved unless the applicant can show good cause to do so, as determined by the planning commission.”*

The purpose of this meeting is for the Commission to determine if the grading work that has either already been completed or is proposed is appropriate for this location in the CE-1 zone. Staff notes that the location of the proposed work is at the base of the Mapleton bench and is not readily visible from other parts of the City. Staff would be more concerned had the project been constructed higher up the hillside. Staff has requested that an engineer verify that none of the work will create slope stability problems or otherwise compromise the hillside. Provided the engineering report is satisfactory, staff can support the proposed project.

**RECOMMENDATION**

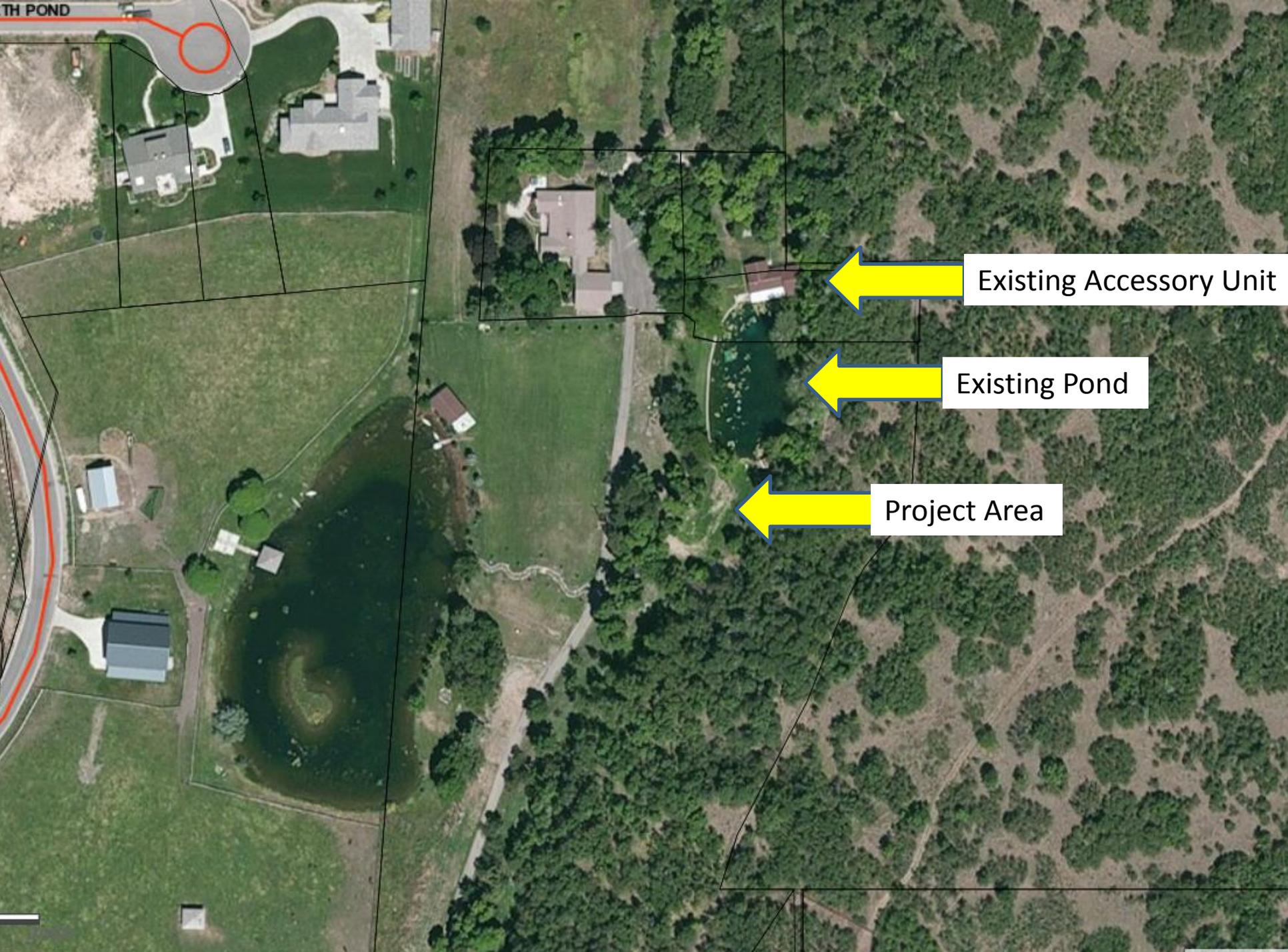
Approve the proposed landscape plan.

**SPECIAL CONDITIONS**

1. A building permit shall be obtained by the applicant prior to any additional work on the site.
2. An engineering report shall be submitted for the retaining walls. If any recommendations are included regarding slope stability, these recommendations shall be incorporated into the project.

**ATTACHMENTS**

1. Application information.



TH POND

Existing Accessory Unit

Existing Pond

Project Area

**GENERAL NOTES**

1. THESE LANDSCAPE PLANS ARE NOT COMPLETE CONSTRUCTION DOCUMENTS AND SHOULD NOT BE USED AS SUCH. THE PURPOSE OF THESE PLANS IS TO DEMONSTRATE OVERALL DESIGN INTENT TO THE OWNER AND ASSIST OWNER IN OBTAINING BID FOR INSTALLATION OF SAID LANDSCAPING.
2. ALL BASE AND SITE INFORMATION WAS OBTAINED FROM 2012 AERIAL IMAGE AND UTAH COUNTY RECORDS IMAGE DATABASE. THESE PLANS SHOULD NOT BE ASSUMED AS ACCURATE AND NO SURVEY WAS PERFORMED. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES, PLANT MATERIAL, BUILDINGS, PROPERTY LINES, ETC. ON-SITE PRIOR TO CONSTRUCTION AND WILL NEED TO MAKE ON-SITE ADJUSTMENTS AS NECESSARY DURING CONSTRUCTION.
3. THESE DOCUMENTS ARE NOT TO BE USED FOR GRADING PURPOSES. EXISTING AND PROPOSED ELEVATIONS SHOWN ARE SHOWN ONLY TO DEMONSTRATE THE RELATIONSHIPS BETWEEN LANDSCAPE ELEMENTS. ON-SITE ADJUSTMENTS WILL BE NECESSARY.
4. IN-SITE DESIGN GROUP, L.L.C. AGREES TO AMEND LANDSCAPE DRAWINGS AS NECESSARY AT AN ADDITIONAL COST TO BE DETERMINED.
5. IN-SITE DESIGN GROUP, L.L.C. OFFERS NO GUARANTEE, WRITTEN OR OTHERWISE, AS TO THE ACCURACY OF THESE DRAWINGS. OWNER AND CONTRACTOR ARE ULTIMATELY RESPONSIBLE FOR ENSURING LANDSCAPE IS CONSTRUCTED IN A SAFE MANNER THAT WILL NOT CAUSE FUTURE HARM TO ANY PERSON, STRUCTURE OR OTHER ELEMENTS ON THE SAID PROPERTY.
6. CONTRACTOR AND/OR HOMEOWNER IS RESPONSIBLE TO VERIFY CORRECT PROPERTY LINES AND MAKE ADJUSTMENTS TO PLAN AS NECESSARY. IN ADDITION, ALL UTILITIES AND/OR EASEMENTS ARE TO BE VERIFIED ON-SITE TO ENSURE NO CONFLICTS EXIST BETWEEN EXISTING UTILITIES, EASEMENTS AND PROPOSED LANDSCAPE PLAN.
7. CONTRACTOR SHALL INSPECT ALL DRAWINGS. ANY DISCREPANCIES FOUND IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER.

**PLATINUM LANDSCAPE LLC**



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Group Shelter Exact Design TBD  
 SHELTER TO INCLUDE: FIREPLACE, BUILT-IN BBQ GRILL, GAS BURNER PLATES, UNDER COUNTER STORAGE, SERVING COUNTER, REFRIGERATOR, ICE BIN, ETC.



COMPACTED ROCK PATH



Alpine Amphitheater

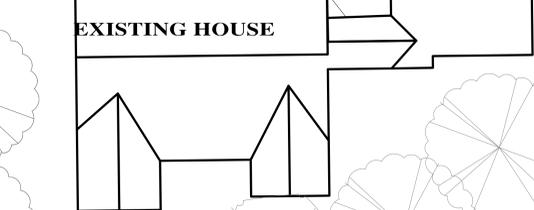


- MULTI LEVEL RETAINING WALL ALONG BACKSIDE OF SHELTER STRUCTURE TO DEAL WITH SLOPE.
- SHELTER SEE ABOVE IMAGE WITH DESCRIPTION. EXACT DESIGN TO BE DETERMINED.
- DECORATIVE PAVING TO BE FLAGSTONE OR DECORATIVE CONCRETE PAVERS.
- RAISED PLANTER BED, STACKED STONE WITH DECORATIVE CAP. EXACT DESIGN TO BE DETERMINED.
- SPREADING EVERGREEN SPRUCE 'HILLSIDE CREEPER' AND OTHER SLOPE STABILIZING SHRUB MATERIALS.
- LARGE EVERGREEN TREE, TYP.
- MEDIUM EVERGREEN TREE.

- AMPHITHEATER WITH LARGE STAGE AREA FOR GROUP ACTIVITIES. SEATING COULD BE A COMBINATION OF A STACKED STONE AND WOOD.
- STAGE PAVING SURFACE TO BE DETERMINED BY OWNER.

- MULTIPLE TENT CAMP SPOTS WITH LEVEL TENT PAD AND PICNIC TABLE. USE TIMBERS FOR RETAINING. USE CRUSHED ROCK UNDER PICNIC TABLES AND SHREDDED WOOD OR DECOMPOSED ROCK MULCH FOR TENT PAD.
- THIS HATCH REPRESENTS A SHORT PERENNIAL WILD GRASS MIX WITH SOME LOW GROWING WILD FLOWERS. GRASSY MEADOW MIX.
- TRAIL TO ROAD TO BE A COMBINATION OF PATH AND STEPS DEPENDING ON TOPOGRAPHY.

- SCREEN CAMP SITES WITH EVERGREENS, TYP.
- MEDIUM TO TALL PERENNIAL GRASS AND WILDFLOWER MIX WITH SOME NATIVE SHRUB GROUPINGS STRATEGICALLY PLACED TO ACCENTUATE KEY AREAS OR CREATE FOCAL POINTS.
- THE NEW STREAM CHANNEL BACK INTO EXISTING STREAM WITH LARGER WATER FALL FEATURE IF POSSIBLE. NEW STREAM TO HAVE LINEAR TO MINIMIZE WATER LOSS BY STREAM.



BOARDWALK



PERENNIALS & GRASSES



CAMPGROUND PAD



CAMPGROUND PAD



**CITY REVIEW  
 PRELIMINARY PLAN  
 NOT FOR CONSTRUCTION**

SCALE: 1"=20'-0" ON 30X42 SHEET

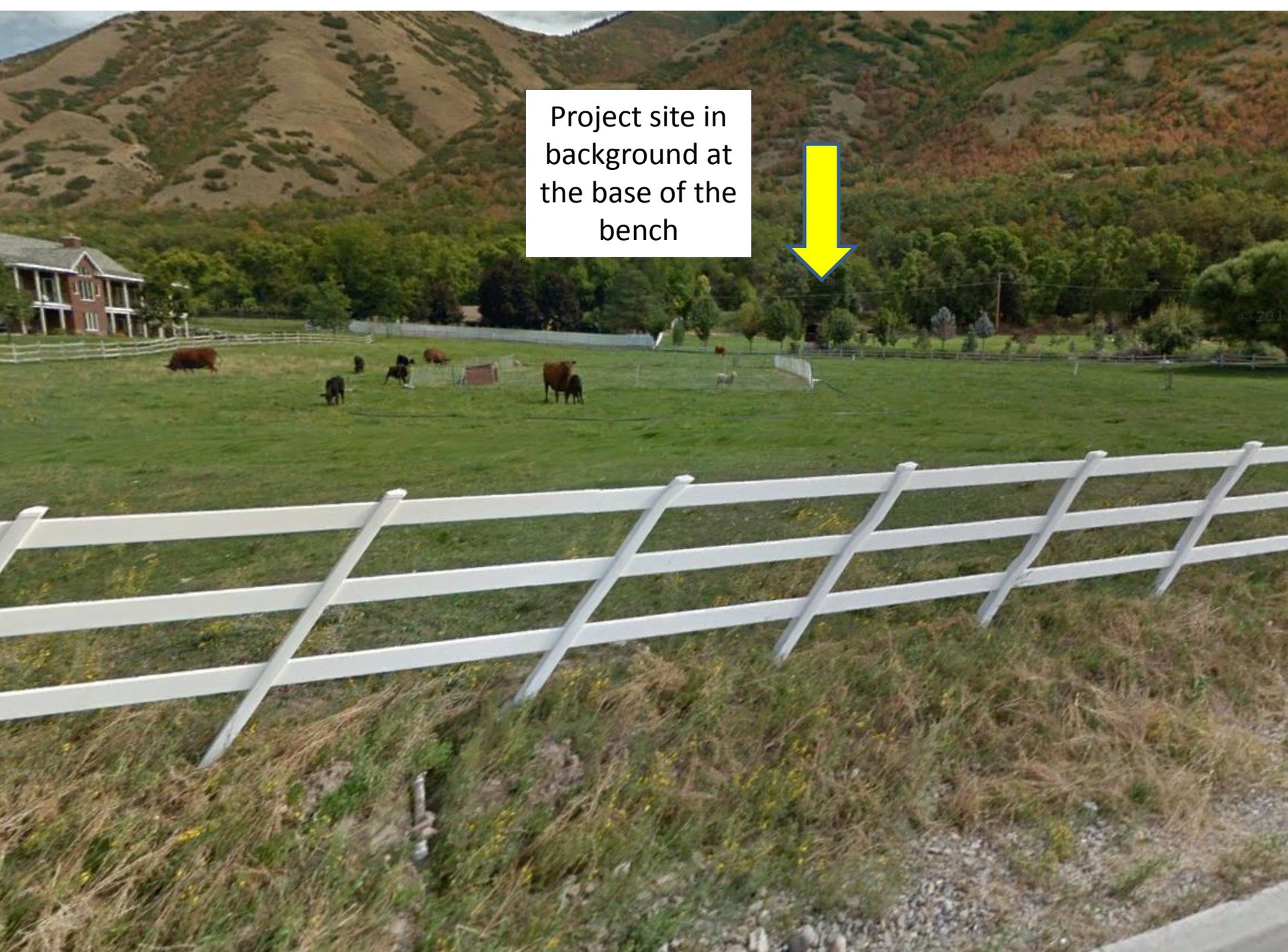
PROJECT: **David & Michelle Broadbent**  
 Mapleton - Utah

SHEET TITLE: **LANDSCAPE CONCEPT SITE PLAN**

DRAWN BY: SEW  
 CHECKED BY: CBW  
 DATE: 11/27/2013  
 REVISIONS: --  
 JOB NO: 13-168  
 SHEET: LS1.1

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Project site in  
background at  
the base of the  
bench



Existing Accessory Unit and Pond



Stream for draining excess water in pond



Pad for Pavilion



Ampitheater



Stream



Retaining Walls

