



RIVERDALE CITY PLANNING COMMISSION AGENDA
CIVIC CENTER - 4600 S. WEBER RIVER DR.
TUESDAY – MAY 23, 2023

6:00 p.m. – Planning Commission Work Session Meeting (Conference Room)

The purpose of the work session is to review maps, plans, paperwork, etc. No motions or decisions will be considered during this session, which is open to the public.

Planning Commission Work Session Items -Planning Commission Training *to be determined*

6:30 p.m. – Planning Commission Meeting (Council Chambers)

A. Welcome & Roll Call

B. Public Comment

This is an opportunity to address the Planning Commission regarding your concerns or ideas. Please try to limit your comments to three minutes. No action will be taken during public comment.

C. Presentations and Reports

D. Consent Items

1. Consideration of Meeting Minutes from:
April 25, 2023 Work Session
April 25, 2023 Regular Meeting

E. Action Items

1.
 - a. Consideration of Conditional Use Permit request for Automobile Sales and Service use by Tesla Riverdale, located at approximately 4851 South 1500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering.
 - b. Consideration of recommendation to City Council for Final Site Plan request for Tesla Riverdale, located at approximately 4851 South 1500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering.
2.
 - a. Consideration of Conditional Use Permit request for the development of Multiple-Family Residential Units in excess of 25 dwelling units, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.
 - b. Consideration of recommendation to City Council for Final Subdivision request for WDG Riverdale Subdivision, located at approximately 671 West and 633 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.
 - c. Consideration of recommendation to City Council for Final Site Plan request for Riverdale Apartments, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.

Items presented by: Mike Eggett, Community Development

F. Comments

1. Planning Commission
2. City Staff

G. Adjournment

In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Offices (801) 394-5541 at least 48 hours in advance of the meeting.

Certificate of Posting

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted on this 19th day of May, 2023 at the following locations: 1) Riverdale City Hall Noticing Board 2) the City website at <http://www.riverdalecity.com/> 3) the Public Notice Website: <http://www.utah.gov/pmn/index.html>

Michelle Marigoni
Riverdale City Recorder

Minutes of the **Work Session** of the Riverdale City **Planning Commission** held Tuesday April 25, 2023, at 6:00 p.m., at the Civic Center, 4600 S Weber River Dr, Riverdale City, Weber County, Utah.

Present:

Commissioners:	Kathy Eskelsen, Chair Kent Anderson, Vice Chair Amy Ann Spiers, Commissioner Rikard Hermann, Commissioner Wanda Ney, Commissioner Celeste Noland, Commissioner Randy Poulsen, Commissioner
City Employees:	Mike Eggett, Community Development Michelle Marigoni, City Recorder
Excused:	
Visitors:	Sam Moore

A. Welcome & Roll Call

The Planning Commission Work Session began at 6:00 p.m. Chair Eskelsen welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present.

B. Public Comment

C. Presentations and Reports

Chair Eskelsen turned the time over to Mr. Eggett who reported the following:

- Ashley Furniture has a design review 4/26/23
- Grand opening for HCA Training facility was attended by staff and officials.
- Twisted Sugar is reportedly open.
- Fiiz and Take 5 will be bringing a subdivision amendment request.
- The West Bench RDA Property has been sold to a new buyer.
- UDOT has approved a new Riverdale Road and I-15 interchange.
- The 45-unit townhome project was approved after adding 17 additional parking spaces.
- Bed Bath and Beyond will be closing all of their stores.

D. Consent Items

1. **Consideration of Meeting Minutes from April 11, 2023 Work Session, and April 11, 2023 Regular Meeting**
Commissioner Eskelsen asked if there were any changes to the minutes. There were no changes.

E. Action Items

1. **Consideration of Preliminary Site Plan request for Tesla Riverdale, located at approximately 4851 South 4500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering.**

Mr. Eggett went over the site plan request and items in the packet, noting Sam Moore with 6S Development was present and Jake Tate would be in the main meeting to represent Tesla. There are some RDA implications with this project. There is no public hearing requirement, and this project easily meets the general plan guidance. There were some comments from staff and engineering, which Mr. Eggett went over in detail.

As this is a preliminary request, the project will be before the Planning Commission again, so the issues still have time to be addressed. There is still some ongoing discussion regarding signage, as it will be a commercial district with combined signage at three locations. Tesla will have two monument signs as well. Landscaping is just below the minimum percentage, so they will be adding more landscaping to comply with the ordinance.

Mr. Anderson asked how the power lines in the area would line up with the dealership. Mr. Eggett stated that the power lines will still be relocated even though the Crossroads development is no longer in play. The power lines will be in the same easement area as the water easement. The new owners of the property plan to continue with the previous plan for

the power lines because it has already been approved by Rocky Mountain Power. They do not want to start over with the process for making changes.

F. Comments

G. Adjournment

As there was no further business to discuss, the Planning Commission Work Session adjourned at 6:29 p.m.

Date Approved: _____

DRAFT

Minutes of the **Regular Session** of the Riverdale City **Planning Commission** held Tuesday, April 25, 2023, at 6:30 p.m., at the Civic Center, 4600 S Weber River Drive., Riverdale City, Weber County, Utah.

Present:

Commissioners:	Kathy Eskelsen, Chair Kent Anderson, Vice Chair Amy Ann Spiers, Commissioner Rikard Hermann, Commissioner Wanda Ney, Commissioner Celeste Noland, Commissioner Randy Poulsen, Commissioner
City Employees:	Mike Eggett, Community Development Michelle Marigoni, City Recorder
Excused:	
Visitors:	Sam Moore Jake Tate

A. Welcome & Roll Call

The Planning Commission Meeting began at 6:30 p.m. Chair Eskelsen welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present.

B. Public Comment

Chair Eskelsen asked if any public were present with comments. There was no public comment.

C. Presentations and Reports

Chair Eskelsen turned the time over to Mr. Eggett who reported the following:

- Ashley Furniture has a design review scheduled for April 26, 2023
- Grand opening for HCA Training facility was attended by staff and officials.
- Twisted Sugar is reportedly open.
- Fiiz and Take 5 will be bringing a subdivision amendment request.
- The West Bench RDA Property has been sold to a new buyer.
- UDOT has approved a new Riverdale Road and I-15 interchange.
- The 45-unit townhome project was approved after adding 17 additional parking spaces.
- Bed Bath and Beyond will be closing all of their stores.

D. Consent Items

1. Consideration of Meeting Minutes from April 11, 2023 Work Session, and April 11, 2023 Regular Meeting

Motion: Commissioner Hermann moved to approve the minutes from April 11, 2023

Second: Commissioner Noland

All in favor, minutes approved.

E. Action Items

1. Consideration of Preliminary Site Plan request for Tesla Riverdale, located at approximately 4851 South 4500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering.

Mr. Eggett went over the executive summary and items in the packet, noting Sam Moore with 6S Development and Jake Tate were representing Tesla. There are some RDA implications with this project. There is no public hearing requirement, and this project easily meets the general plan guidance. There were some comments from staff and engineering, which Mr. Eggett went over in detail.

As this is a preliminary request, the project will be before the Planning Commission again, so the issues still have time to be addressed. There is still some ongoing discussion regarding signage, as it will be a commercial district with combined

signage at three locations. Tesla will have two monument signs as well. Landscaping is just below the minimum percentage, so they will be adding more landscaping to comply with the ordinance.

The planning commission is the approving body for the preliminary site plan, which gives the company limited vested rights.

Jake Tate and Sam Moore approached the commission. Mr. Tate said they are working with a Geotech and there were not any comments that could not be addressed fairly easily.

Commissioner Ney asked how many other Tesla dealerships were in Utah. Mr. Eggett said there are three others, and this will be the first one in the northern part of the state. Mr. Tate said the business should thrive in Riverdale.

Mr. Anderson asked about a timeline. Mr. Tate said they would like to begin excavations as soon as August and will take about nine to 12 months to complete.

Motion: Commissioner Hermann moved to approve the Preliminary Site Plan request for Tesla Riverdale, located at approximately 4851 South 4500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering.

Second: Commissioner Ney

Commissioners Polled:
Commissioner Anderson: Yes
Commissioner Ney: Yes
Commissioner Eskelsen: Yes
Commissioner Poulsen: Yes
Commissioner Noland: Yes
Commissioner Hermann: Yes
Commissioner Spiers: Yes

Motion passes unanimously.

F. Comments

G. Adjournment

As there was no further business to discuss, Commissioner Noland moved to adjourn. This was seconded by Commissioner Anderson. All were in favor and the Planning Commission meeting adjourned at 6:44 p.m.

Date Approved: _____

RIVERDALE CITY
PLANNING COMMISSION AGENDA
May 23, 2023

AGENDA ITEM: E1a

SUBJECT: a. Consideration of Conditional Use Permit request for Automobile Sales and Service use by Tesla Riverdale, located at approximately 4851 South 1500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering.

PRESENTER: Mike Eggett, Community Development

INFORMATION:

- a. [Exec Summ Tesla Final Site Plan PC \[20230523\]](#)
- b. [Cond Use Basis Review – RCC 10-19-5](#)
- c. [Tesla Auto Cond Use App - 20230504](#)
- d. [2023-05-05 Tesla Riverdale Site Plan](#)

[BACK TO AGENDA](#)



Planning Commission Executive Summary

For the Commission meeting on: 5-23-2023

Petitioner: *6S Development, LLC and AWA Engineering*
represented by Sam Moore and Jake Tate

Summary of Proposed Action

Tesla/6S Development, LLC, as represented by Jake Tate with AWA Engineering and Sam Moore, have submitted the updated Final Site Plan documentation for a automobile sales and service center for real estate located at approximately 4851 South 1500 West (on a Redevelopment Agency lot site next to I-15). The affected parcel is zoned in the Regional Commercial (C-3) zone and also is in the West Bench RDA area. A public hearing is not required to consider this site plan proposal.

The requested use as an automobile sales and service location (per City Code 10-10A-4) requires the applicant group to apply for a conditional use permit for this project proposal. The applicant has submitted an application for the required conditional use permit request to be considered as a secondary component of this site plan request. A public hearing is not required to consider the conditional use permit request.

As it relates to the Conditional Use Permit request proposal, following discussion of the conditional use permit request, the Planning Commission may make a motion to approve the proposed Tesla conditional use permit request for automobile sales and service center, approve the conditional use permit with any requested modification, table the matter to a later date, or not approve the conditional use permit with the appropriate findings of facts for the decision made.

As it relates to the Final Site Plan proposal, following the presentation and discussion of the proposal, the Planning Commission may make a motion to recommend City Council approval of the proposed Tesla Riverdale Final Site Plan, recommend Council approval of the proposed final site plan with any requested modifications, tabling the matter to a later date, or not recommend Council approval for the proposed final site plan with the appropriate findings of facts. If approval is provided, then this matter could move forward to a future final site plan approval consideration process with the City Council.

Title 10 Ordinance Guidelines (Code Reference)

This Final Subdivision and Site Plan review is regulated under City Code 10-25 "Development in All Zones" and is affected by City Codes 10-10A "Commercial Zones (C-1, C-2, C-3)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".

The Conditional Use Permit review is regulated under City Code 10-19 "Conditional Uses" and is affected by City Code 10-10A "Commercial Zones (C-1, C-2, C-3)".

The proposed development parcel is located west of 1500 West and east of I-15 on property currently owned by the Redevelopment Agency of Riverdale. The property is located in a C-3 zoned area and the requested use of automobile sales and service is a conditional use in this zone. As stated above, the property developer will need to pursue a conditional use permit approval for this use on this property.

Attached with this executive summary is a document entitled "Final Site Plan Review: Tesla Riverdale"; this is a

supplementary document addressing items on the Preliminary Site Plan application documents. Also attached, following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The Planning Commission should discuss any concerns raised by these summaries.

Staff would encourage the Planning Commission to review the Conditional Use Permit matter and then discuss with the petitioner any concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission make a motion to approve the proposed Tesla conditional use permit request for automobile sales and service center, approve the conditional use permit with any requested modification, table the matter to a later date, or not approve the conditional use permit with the appropriate findings of facts for the decision made.

Further, Staff would encourage the Planning Commission to review the Site Plan submittal matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission make a motion to recommend City Council approval of the proposed Tesla Riverdale Final Site Plan, recommend Council approval of the proposed final site plan with any requested modifications, tabling the matter to a later date, or not recommend Council approval for the proposed final site plan with the appropriate findings of facts.

General Plan Guidance (Section Reference)	
The General Plan use for this area is currently set as “Planned Commercial - High” and this proposed project would comply with this land use.	
Legal Comments – City Attorney	
	<div>_____ Steve Brooks, Attorney</div>
Administrative Comments – City Administrator	
	<div>_____ Steve Brooks, City Administrator</div>

10-19-5: BASIS FOR REVIEW OF CONDITIONAL USE PERMIT:

The planning commission shall review a conditional use permit with evidence presented to establish that:

A. A conditional use shall be approved if reasonable conditions are proposed or can be imposed to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards.

B. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

C. The proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well being of the community; and

D. Such use will not, under the circumstances of the particular case and the conditions imposed, be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses, buildings and structures when considering traffic generation, parking, building design and location, landscaping and signs; and

E. The proposed use conforms to the goals, policies and conditions specified in this chapter for such use; and

F. That the proposed use conforms to the goals, policies and governing principles and land use of the master plan for the city; and

G. The proposed use will not lead to the deterioration of the environment, or ecology of the general area, nor will it produce conditions or emit pollutants of such a type or of such a quantity so as to detrimentally affect, to any appreciable degree, public or private property, including the operation of existing uses thereon, in the immediate vicinity or the community or area as a whole. (Ord. 665, 8-19-2008)



**Riverdale
City**

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405
Acct #10-36-9000

**CONDITIONAL USE PERMIT
APPLICATION**

DATE 4/27/23
ADDRESS OF SITE 4851 S 1500 W Riverdale, UT
APPLICANT'S NAME 6S T RIVERDALE UT LLC
ADDRESS 18333 Preston Rd Suite 500 Dallas, TX 75252
PHONE NUMBER 817-505-8117

NOTE: Plans: Detailed location, site and building plans shall accompany the completed application forms provided by the city. For structures in existence, only a location plan need be provided.

x SITE PLAN RECEIVED x BUILDING PLANS RECEIVED

Present Zoning of the Property: RDA Present Use of the Property: Vacant Property
Acreage of the Property: 5.274 Width of Property on the Street: 404.96'
Proposed Conditional Use of Property: Tesla Dealership & Service Center

SIGNED: Sam Moore DATE: 4/27/23

I authorize 6S T RIVERDALE UT LLC to act as my representative in all matters relating to this application.


OWNER

6S T RIVERDALE UT LLC
AGENT AS AUTHORIZED BY OWNER

PLANNING COMMISSION SCHEDULED TO HEAR THIS APPLICATION FOR CONDITIONAL USE ON:

DATE: 5/23/2023 DECISION OF COMMISSION: _____
SIGNATURE OF CHAIRPERSON: _____ DATE: _____

PLANNING COMMISSION PUBLIC HEARING:

DATE: — DECISION OF COMMISSION: N/A
SIGNATURE OF CHAIRPERSON: N/A DATE: —

Fee \$75.00 Date Paid: 5/4/2023 Receipt No. 197337297



Riverdale City
4600 South Weber River Drive
Riverdale, UT 84405
(801) 394-5541

XBP Confirmation Number: 143885993

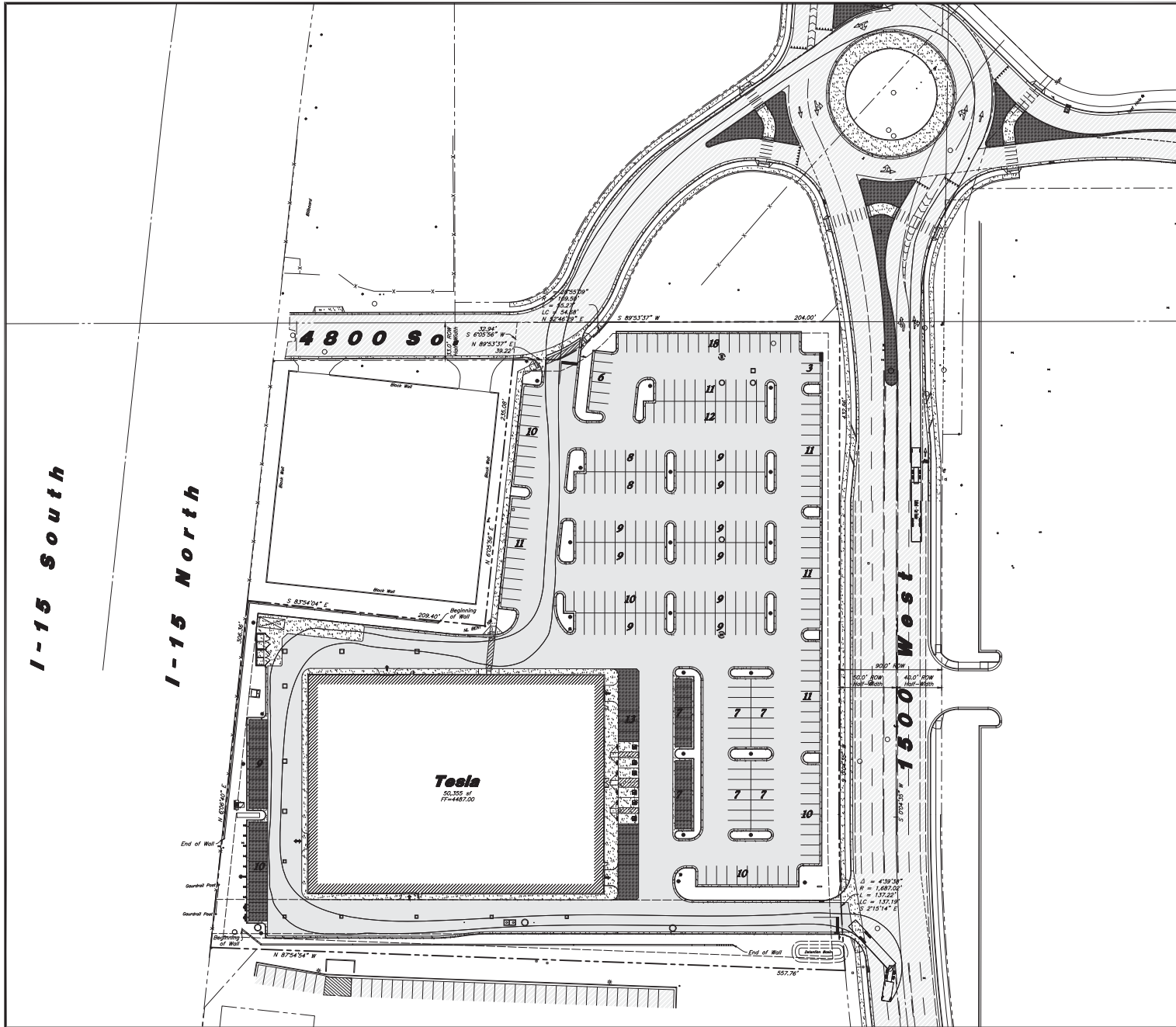
Transaction detail for payment to Riverdale City.			Date: 05/04/2023 - 11:07:35 AM MT
Transaction Number: 197337297			
Mastercard — XXXX-XXXX-XXXX-2465			
Status: Successful			
Account #	Item	Quantity	Item Amount
10369000	Sundry Revenues	1	\$75.00

Conditional Use Permit

TOTAL: \$75.00

Billing Information
Samuel MOORE
, 84405

Transaction taken by: Admin acummings



Site Data
Site Area = 237,049 s.f. (5.442 ac.)
Landscape Area Provided = 39,389 s.f. (17%)
Decorative Concrete Area Provided = 6,799 s.f. (3%)
Total Landscape Area Provided = 46,188 s.f. (20%)
Impervious Area Provided = 140,506 s.f. (59%)
Building Area = 50,335 s.f. (21%)
Parking Provided = 305 stalls (6.06/1,000)

Hatch Legend

	Standard Asphalt Paving
	Existing Asphalt Paving
	Standard Concrete Paving
	Decorative Concrete Paving
	Existing Concrete Paving
	Building Interior

Damaged Improvement Note

All missing, nonfunctioning and / or damaged surface improvements shall be replaced. (Sloewalk, Curb & Gutter, fencing etc...)

Note:
All construction Materials shall meet Riverside City Standards.

General Site Notes:

- All dimensions are to back of curb unless otherwise noted.
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Asile markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

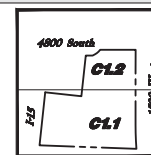
The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in their bid. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey instruments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against the least three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.



Key Map
Not to Scale

Scale: 1" = 40'
40' 0 40' 80'



I-15 South

I-15 North

Alameda

1500 West

Tesla
50,305 s.f.
FF=1467.00

Overall Site Plan

Tesla Riverdale
4851 South 1500 West
Riverdale, Utah 84405

9 May, 2023
SHEET NO.
C1.0

- Standard Asphalt Paving
- Existing Asphalt Paving
- Standard Concrete Paving
- Decorative Concrete Paving
- Existing Concrete Paving
- Building Interior

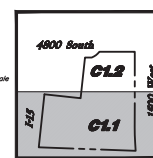
All missing, nonfunctioning and / or damaged surface improvements shall be replaced. (Sidewalk, Curb & Gutter, Fencing, etc.)

Note: All construction materials shall meet Riverside City Standards.

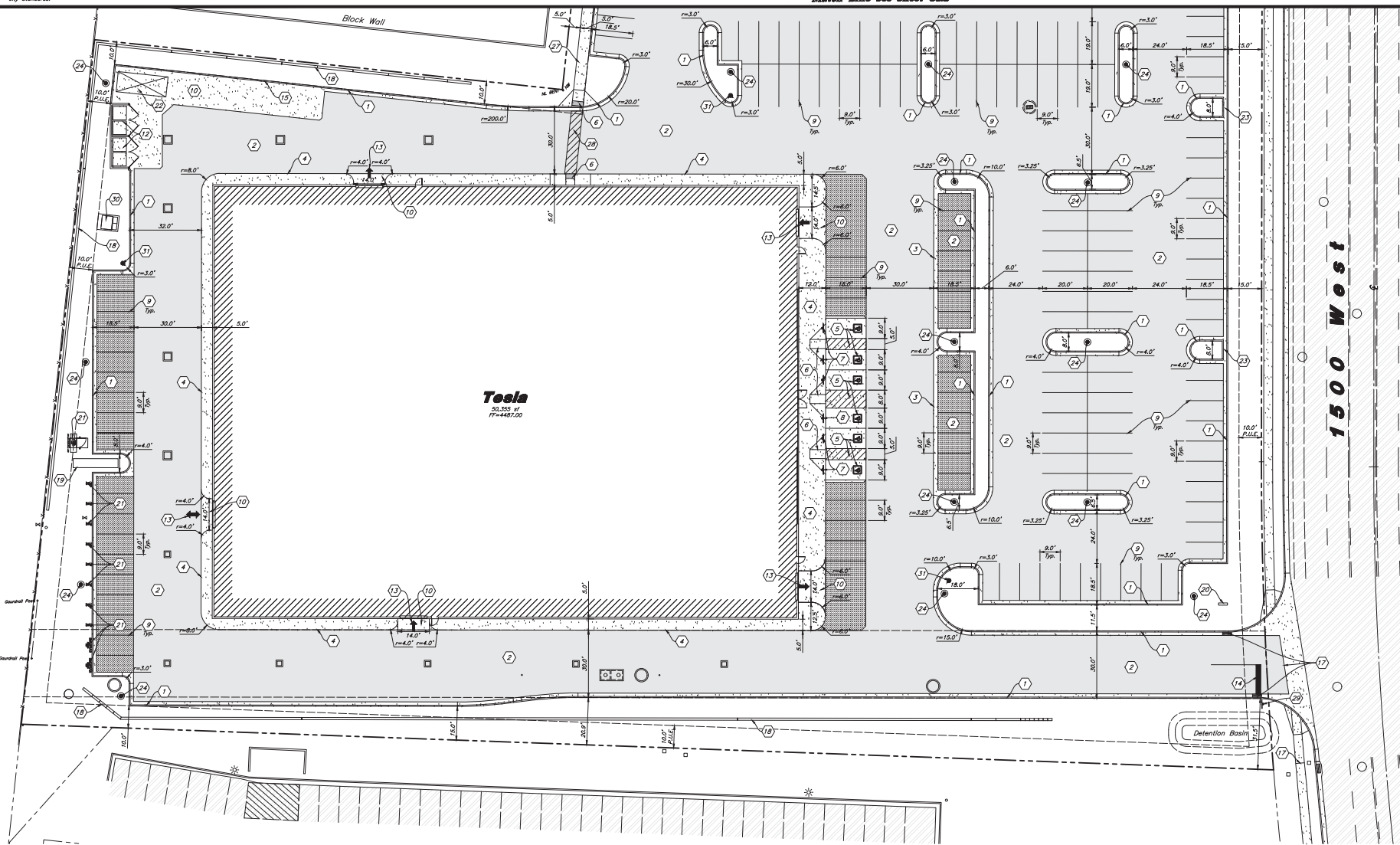
- All dimensions are to back of curb unless otherwise noted.
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Able markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

- Const. 24" Curb & Gutter
- Const. Asphalt Paving
- Const. 2" Conc. Waterway
- Const. Thickened Edge Sidewalk
- Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets)
- Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mile min. Dry Thickness (Two Coats)
- Const. Conc. Paving
- Sewer: Provide Smooth Clean Edge
- Dumpster Enclosure (See Arch. Plans)
- Const. Directional Arrows per MUTCD
- Const. 24" White Stop Bar
- Const. 6" Conc. Curb Wall
- Const. Stop Sign per MUTCD R1-1
- Conn. & Match Existing Improvements
- Const. Conc. Red-Rock Retaining Wall (refer to Grading Plan for Elevations & Structural Plans for Wall Design)
- Pylon Sign by Separate Permit
- Monument Sign by Separate Permit
- Electric Charging Station/Cabinet, See Elec. Plans
- 40 Yard Dumpster, See Arch. Plans
- Const. Thru Planter
- Site Lighting: See Electrical Plans
- Const. 5" Conc. Waterway
- Const. Pedestrian Ramp per Riverside City Stds.
- Const. Conc. Sidewalk
- Const. Crosswalk
- Const. Stop Sign per MUTCD R1-1
- Transformer Location
- Fire Hydrant per Riverside City Stds.

Match Line See Sheet C1.2



Scale: 1" = 20'



Designed by: JF
 Drafted by: DC/NE
 Client Name:
 6S Development, LLC
 22-225 SP



Site Plan
Tesla Riverdale
 4851 South 1500 West
 Riverdale, Utah 84405



9 May, 2023
 SHEET NO.
C1.1

Site Construction Notes

- 1 Const. 24" Curb & Gutter
- 2 Const. Asphalt Paving
- 3 Const. 2" Conc. Waterway
- 4 Const. Thickened Edge Sidewalk
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- 6 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets)
- 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- 8 Const. Accessible VMS Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- 9 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. Dry Thickness (Two Coats)
- 10 Const. Conc. Paving
- 11 Sawcut, Provide Smooth Clean Edge
- 12 Dumpster Enclosure (See Arch. Plans)
- 13 Const. Directional Arrows per MUTCD
- 14 Const. 24" White Stop Bar
- 15 Const. 6" Conc. Curb Wall
- 16 Const. Stop Sign per MUTCD R1-1
- 17 Conn. & Match Existing Improvements
- 18 Const. Conc. Red-Rock Retaining Wall (refer to Grading Plan for Elevations & Structural Plans for Wall Details)
- 19 Pylon Sign by Separate Permit
- 20 Monument Sign by Separate Permit
- 21 Electric Charging Station/Cabinet. See Elec. Plans
- 22 40 Yard Dumpster. See Arch. Plans
- 23 Const. Thru Planter
- 24 Site Lighting: See Electrical Plans
- 25 Const. 5" Conc. Waterway
- 26 Const. Conc. Sidewalk
- 27 Const. Crosswalk
- 28 Const. Stop Sign per MUTCD R1-1
- 29 Transformer Location
- 30 Fire Hydrant per Riverside City Specs.

General Site Notes

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

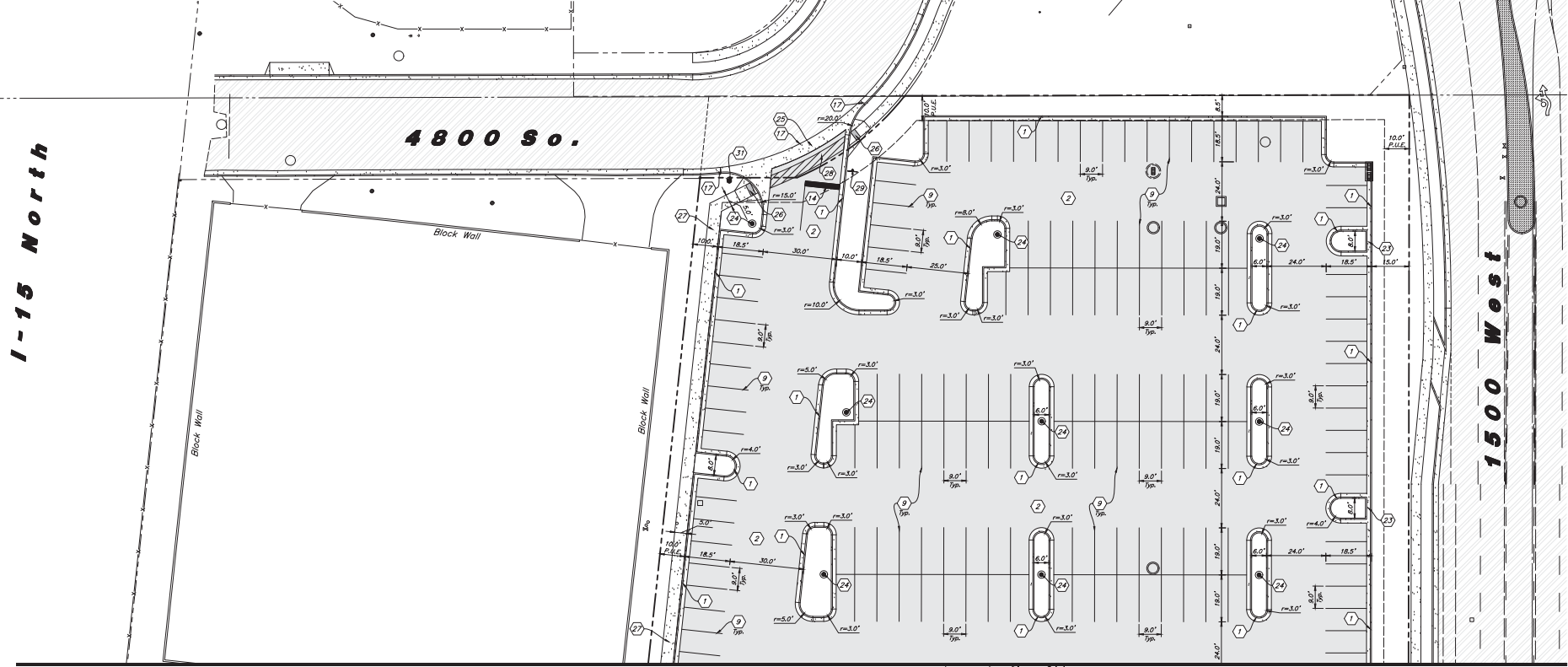
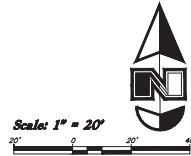
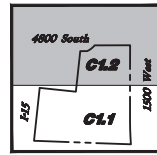
Hatch Legend

- Standard Asphalt Paving
- Existing Asphalt Paving
- Standard Concrete Paving
- Decorative Concrete Paving
- Existing Concrete Paving
- Building Interior

Damaged Improvement Note

All missing, nonfunctioning and / or damaged surface improvements shall be replaced. (Sidewalk, Curb & Gutter, Fencing etc...)

Note:
All construction Materials shall meet Riverside City Standards.



DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

Designed by: JF
 Drafted by: DC/NE
 Client Name:
 6S Development, LLC
 22-225 SP



Site Plan
Tesla Riverdale
 4851 South 1500 West
 Riverdale, Utah 84405



9 May, 2023

SHEET NO.
C1.2

Match Line See Sheet C1.1

RIVERDALE CITY
PLANNING COMMISSION AGENDA
May 23, 2023

AGENDA ITEM: E1b

SUBJECT: b. Consideration of recommendation to City Council for Final Site Plan request for Tesla Riverdale, located at approximately 4851 South 1500 West, Riverdale, Utah 84405, as requested by 6S Development, LLC and AWA Engineering.

PRESENTER: Mike Eggett, Community Development

INFORMATION:

- a. Tesla Final Site Plan Review – 20230517
- b. Dept Staff Reports – Tesla Final Site Plan PC [20230517]
- c. Tesla – City Eng Review letter #2 20230518
- d. Tesla-6S Dev Site Plan App Update – 20230411
- e. Tesla Cost Estimate 2023-04-11
- f. 2023-05-09 Tesla Comment Response Letter
- g. 2023-04-04 Tesla Drainage Report
- h. Stormwater Management Plan_2023-05-09
- i. E2 6S Dev – Riverdale City UT – Tesla_SSD_Exterior Elevations
- j. E2 6S Dev – Riverdale City UT – Tesla_SSD_Materials
- k. 2023-05-09 Tesla Riverdale
- l. E1.1 – SITE PHOTOMETRIC

BACK TO AGENDA



Final Site Plan Review: Tesla Riverdale, 4851 South 1500 West

Completed by Mike Eggett, Community Dev. Director on 4/19/2023 and 5/17/2023

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this proposed preliminary site plan review. Items of consideration or note (if any) have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to approve the preliminary site plan or not approve the proposed Tesla preliminary site plan with any additional comments, requirements or concerns to be addressed by the developer.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	April 11, 2023 and update on May 9, 2023
Date Application Submitted to City:	April 11, 2023
Date Fee Paid:	April 12, 2023 (see receipt for detail)
Site Plan – Preliminary Requirements	Departmental Review Comments
<i>COVER SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	Project name and address location shown; address has been updated on site plan drawings to 4851 South 1500 West
Property Owner's name, address, and phone number	6S Development, LLC, Attn: Sam Moore, 18333 Preston Rd, Suite 500, Dallas, TX 75252; 817-505-8117
Property Developer's name, address, and phone number	6S Development, LLC, Attn: Sam Moore, 18333 Preston Rd, Suite 500, Dallas, TX 75252; 817-505-8117
Approving agency's name and address: Utility companies if applicable	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; <u>other utility agencies name and contact info not provided, where applicable</u>
Consulting Engineer's name, address, and phone number	AWA Engineering, Attn: Jake Tate, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-410-8505
Licensed Land Surveyor's name, address, phone number, signature, and seal	AWA Engineering, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-410-8505; seal and signature provided where applicable
Date	Yes – 9 May, 2023

Revision block with date and initials	Revision blocks shown and no notes yet
Sheet number and total sheets	Shown (28 total sheets), elevation plans submitted as well
<u>General</u>	
Street names	Shown – 4800 South and 1500 West
Layouts of lots with lot numbers	Yes, shown
Adjacent tract ownership and tax identification numbers	Tract ownership names and tax ID
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown, 1"=20' and 1"=40'
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements clearly identified and shown on multiple pages, existing structures currently on site shown, existing utility lines shown on sheets; plans provided showing approvals to cross, use, relocate utilities
Space for notes	Yes, provided
Contours	Yes, shown on multiple sheets
Public areas	Existing and planned sidewalks and curb/gutter shown on multiple sheets, newly dedicated public areas shown as well
<u>Vicinity Map</u>	
Street names	Yes
Site location	Yes
North arrow	Yes
Scale	Note of "Not to Scale"
<u>Layout</u>	
Landscaping (location and type with area calculations)	Yes, provided on sheet L1.0-L2.2, area calculations shown on L1.0
Location of exterior lighting devices, signs, and outdoor advertising	Yes, location of existing lighting and signs shown in packet; location of proposed onsite lighting devices shown in packet and on lighting plan; proposed signage locations shown; architectural elevations provided
Location of underground tanks, dumpsters, etc	Underground tank location shown; dumpster and dumpster enclosure location shown in packet
<u>Additional Information</u>	

Benchmark	Appear to be shown on cover sheet, <u>defer to City Engineer</u>
Basis of bearings	Appear to be shown on cover sheet, <u>defer to City Engineer</u>
Legend	Shown on sheet C0.0
<i>PLAN AND PROFILE SHEETS</i>	Site plan and profile sheets provided
<u>Title Block</u>	
Project name and address	Project name and address location shown
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	AWA Engineering, Attn: Jake Tate, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-410-8505
Date	Yes – 9 May, 2023
Scale	Yes, scale is showing
Revision block with date and initials	Revision blocks shown and no notes yet
Sheet number and total sheets	Shown (28 total sheets), elevation plans submitted as well
<u>General</u>	
North arrow	Yes
Street names	Shown – 4800 South and 1500 West
Lot numbers	Yes, shown
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet C0.1
<u>Signage</u>	New signage locations shown; some proposed building signage shown on architectural rendering sheet; <u>may inquire more regarding future signage intent if desired</u>
Height	Future final sign height for each sign is unknown; maximum of 40' allowed and 60' along I-15
Size	Size of signs is unknown at this time; building signs sizing is shown on architectural renderings
Locations	Some building signage concepts shown on arch drawing
Colors	Building signage coloration provided; other on site signage coloration not provided at this time

Lighting	Signage lighting unknown at this time
<u>New and Existing Buildings</u>	
Height and Size	New building - Height = approximately 22-26 feet at highest point; Building size = total 50,355 sf
Location, setbacks, and all dimensions	Building setbacks provided; approximates: south setback – 55.90 ft at nearest point; north setback – 277.58 ft at nearest point; front (east) setback – 206 feet at nearest point; back (west) setback – 63.50 feet at nearest point; all meet and exceed minimum requirements
Type of construction	Materials for structure, texture, color appearance provided on architectural rendering; DRC has met and approved the building colorations and material, signage concepts, and landscape plan <u>(with understanding to get up to 20% landscape)</u>
Type of occupancy and proposed uses	Automobile sales and servicing
Show handicapped access	ADA accessible ramp and access areas shown and handicapped parking stalls shown
<u>New and Existing Landscaping & Percentage</u>	Landscaping identified on sheets L-1.0-L2.2; Percentage of landscaping provided for site is currently 20% as shown on sheet L-1.0 table, therefore landscaping plan meets minimum requirement of 20% or more landscaping coverage per City Code 10-14-12(B.)(2.)
Number of trees	48 trees, 223 shrubs, 71 ornamental grasses, 15 perennials
Landscape plan showing all planting, hardscaping, berming, and watering	Planting, hardscaping shown; new site development requires gentle berming locations, as required in 10-14-12 (B.)(2.) to screen drive thru and parking area from motorists along road, this is achieved on this site due to the existing elevation from the west being much higher than 1500 West; irrigation plan provided
Xeriscaping alternatives being considered	Yes, xeriscaping seems to be applied in the rock mulch and ground cover areas of landscape plan; for more, inquire of the developer
<u>New and Existing Walls and Fences</u>	
Location, design, and height	Existing fence location shown; no new fences appear to be planned for site
Materials proposed for construction	No new fences planned for site
<u>New and Existing Parking</u>	

Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	317 dedicated stalls are provided and shown; handicapped parking space provided and shown; size meets city requirements
Location of employees' parking, customer parking, and handicapped parking	Established as shown in drawings; employee parking and customer parking appear shared
Internal circulation pattern	Internal circulation identified
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown
Circulation pattern	Internal circulation identified; inquire more if desired
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	Shown, where the dedicated "right-of-way" edge starts is not clearly identified on the site plan
Face of curb lines	Yes, this is shown
Centerline slope	Shown on drawings and established per previous and other project road development
Signing and striping	<u>Public signing installation should be coordinated with public works dept and paid for by applicant, where applicable; roadway striping should be coordinated with public works, where applicable</u>
Light poles	Yes, location of existing light poles and power equipment shown, where applicable; location of onsite proposed light poles and equipment shown in packet
Street lights	Yes, location of existing street light poles and power equipment shown; no newly proposed street light poles or devices appear to be planned
Street name signs	Location of street name signs on site not applicable to this location
Stop signs	Location of stop signs on site shown and identified
UDOT approval (if required for project)	UDOT approvals not required for this site; a traffic plan has been prepared for this site however
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown and details on sheet C4.1
Planting Strip	This is shown and landscaping shown
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown on C2.1-2.2, in detail on sheets C4.1-C4.4

Slope of gutter	Shown on C2.1-2.2, in detail on sheets C4.1-C4.4
Manholes	Existing shown; new shown on multiple sheets
Invert elevations	Shown on C2.1-2.2, in detail on sheets C4.1-C4.4, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on C2.1-2.2, in detail on sheets C4.1-C4.4, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets in packet
Ditches, location and ownership	Waterways shown as located on this site
Approval to pipe, reroute or use	Other than future City approval, <u>unknown if other approval required, defer to City Engineer</u>
Calculations for retention system	Provided in storm water analysis report, <u>defer to City Engineer</u>
Method of storm water clean-up	Shown on sheets C5.1-5.3
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing shown; new shown on multiple sheets
Invert elevations	Shown on C3.1-3.2, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on C3.1-3.2, in detail on sheets C4.1-C4.4, <u>defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on C3.1-3.2, in detail on sheets C4.1-C4.4, <u>defer to City Engineer</u>
Location, size, and type of water meters, valves, and fire hydrants	Shown on C3.1-3.2, water meter location and size shown, <u>type not identified</u> ; Location of existing valves shown; Location of new valves shown; Location of new fire hydrants on site shown
<u>New and Existing Gas Lines</u>	
Size and type	Existing gas lines shown, note on C3.1-3.2; <u>new lines location, size, and type not shown, where applicable, please add a note regarding new gas lines installation per Dominion Energy</u>
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Existing power lines locations shown, note on C3.1-3.2; new transformer and power lines location shown, size, and type per RMP, where applicable
Location of power poles	Existing power poles and overhead lines location; <u>new power poles location not shown, if planned</u>
<u>New and Existing Telephone Lines</u>	

Location of poles, junction boxes, and manholes	Existing location of telephone lines shown, note on C3.1-3.2; new lines location shown, size, and type per Telecom provider, where applicable
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	Cable TV/Fiber optic lines shown; refer to note on C3.1-3.2
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Refer to sheets C4.1-4.4 where applicable for roadway cross section connection to curb, gutter, and sidewalk areas
Cross section of curb and gutter (standard 30" high back)	Shown on sheets C4.1, <u>defer to City Engineer</u>
Gutter inlet box with bicycle safe grate	Detail drawing provided on sheet C4.2-4.3, locations identified on multiple sheets; gutter inlet boxes identified as having bicycle safe grates; <u>defer to City Engineer</u>
Cleanout box	Detail shown on sheets C4.2-4.3, location identified on multiple sheets; <u>defer to City Engineer</u>
Thrust blocking	None showing and may not be applicable; <u>defer to City Engineer</u>
Special energy dissipating or drop manholes	None showing and may not be applicable; <u>defer to City Engineer</u>
<i>ADDITIONAL INFORMATION</i>	
Soils report	Geotechnical report has been provided as completed by GSH Geotechnical, Inc on September 8, 2021 for this site
Drainage and runoff calculations	Provided in storm water analysis report, <u>defer to City Engineer</u>
Water right transfer documentation	Applicant needs to work with Public Works Department to provide adequate water rights for this site per 8-6-3 of City Code
Copy of protective covenants, codes, and regulations for development	No CCR's for this project are expected
Three (3) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Provided with packet
Corp of Engineers approval (if required)	Located outside of the 0.2% annual floodplain; no approval req.
Zoning compliance	Yes, Regional Commercial (C-3) Zone meets intended uses for site design; Conditional Use Permit to be considered by PC for automobile sales and service use in a C-3 Zone

RDA compliance (if applicable)	No applicable RDA regulations for this project area; this is located in the West Bench RDA area
Use compliance	Yes, this use complies with the zoning for this C-3 zoned area; Conditional Use Permit to be considered by PC for automobile sales and service use in a C-3 Zone
Engineering comments and letter of approval recommendation	Engineering comments, along with Public Works, Police Department, Fire Department provided
Traffic study	Not currently required, unless deemed otherwise appropriate by City or UDOT, but one is available for this area if deemed necessary/applicable
All Planning Commission and City Staff conditions for approval have been met	<u>Currently Final Site Plan recommendation submittal consideration being reviewed by Planning Commission</u>

DEPARTMENTAL STAFF REPORTS – 4/17/2023 to 5/17/2023

From: Shawn Douglas
Sent: Wed 5/17/2023 10:01 AM
To: Mike Eggett
Subject: Tesla

Mike,

I have attached my review comments for Tesla. Thanks

Plan Review For Tesla

Storm Water

- 1-Drainage system operation and maintenance plan and BMPS approved and recorded with plat. Needs to include copy of the utility plan and CDS manhole.
- 2-Plan detail for the box, free board on detention/retention structure, free board on structure, and emergency overflow.
- 3-Hydraulic separator or BMP's to treat storm water before water enters retention/detention or city system on the small basin.
- 4-Notice of intent filed with state.
- 5-Injection well permit.

Water

- 1-Provide water usage peak demands.
- 2-Provide what water shares will be used to meet water requirements.
- 3-Provide 30' easement for current and future water lines on North end of property.
- 4-New 10" on the west end could be 45 degree bends and the line going north can be removed.

Sewer

- 1-Proposed sewer flows daily and peak. Including peak demand time.

Other

- 1-Please provide response page for comments.

Shawn Douglas
Riverdale City Public Works
Sdouglas@Riverdalecity.com

801-394-5541 ext.1217

From: Scott Brenkman
Sent: Mon 4/17/2023 10:21 AM
To: Mike Eggett
Subject: RE: Preliminary Review Comments needed for Tesla Riverdale Dealership and Service

I do not have any concerns at this time.

Scott

Chief Scott Brenkman
Riverdale Police Department
4580 S. Weber River Dr.
Riverdale, UT 84405
(801)394-6616
sbrenkman@riverdalecity.com

From: Jared Sholly
Sent: Mon 5/15/2023 10:07 AM
To: Mike Eggett
Subject: RE: Comments needed for Final PC Submit of Tesla Site Plan

I don't have anything to add at this time.

Thanks,

*Jared Sholly
Fire Chief
Riverdale City Fire Department
Cell: 801-628-6562
Office: 801-394-7481*

From: Randy Koger
Sent: Thu 4/20/2023 11:05 AM
To: Mike Eggett
CC: Jared Sholly
Subject: RE: Preliminary Review Comments needed for Tesla Riverdale Dealership and Service

I have no additional recommendations.

REVIEW COMMENTS:

The review comments are based on information provided on the Preliminary Site Plan Proposal, and shall not extend to means, methods, techniques, sequences, or procedures of construction nor conformance to any specifications. Acceptance of the project is the prerogative of the Authority Having Jurisdiction.

A handwritten signature in black ink, reading "Randy S. Kager". The signature is written in a cursive, flowing style.

Fire Marshal/Code Enforcement Officer

Riverdale City

801-436-1241

18 May 2023

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Tesla Riverdale**
Subj: Improvement Drawings dated 9 May, 2023 and ALTA Drawings dated 12 Jan, 2023

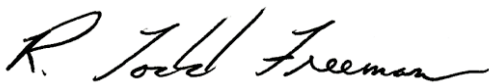
Dear Mike,

We have reviewed the Improvement Drawings and ALTA for the above referenced development and have the following items to be addressed prior to final approval.

1. On sheet 1, under **Notes** the last line needs to have word spelling corrected “exoanded”.
2. The property needs to have a 10-foot public utility easement around the outside of the entire property and the 30-foot utility easement that need to be on the recorded plat.
3. Please provide the details and/or structural calculations for the retaining wall.
4. The detention basin in the southeast corner of the property needs to have a structure to clean the storm water for settling out the fines and floatables.
5. Please verify invert elevations and grades on storm water boxes and pipes: 14 to 20; 20 to 18; 19 to existing SWMH; and 19 to storm tech system.
6. Need to show the details and sizing for the grease interceptor.

If you have any questions, feel free to contact our office.

Sincerely,
CEC, Civil Engineering Consultants, PLLC.



R. Todd Freeman, S.E., P.E.
City Engineer

Cc. Shawn Douglas, Riverdale City Public Work Director
Jeff Woody, Riverdale City Building Official



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405
Acct #10-34-1500

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL OR MANUFACTURING SITE PLAN APPROVAL

CASE NO: 2023-03 DATE SUBMITTED: 4/11/2023

APPLICANT'S NAME: 6S T RIVERDALE UT LLC (Sam Moore)

BUSINESS ADDRESS: 18333 Preston Rd Suite 500 Dallas, TX 75252

BUSINESS PHONE: 817-505-8117

ADDRESS OF SITE: TBD 1500 W Riverdale, UT 84405 (Weber County Parcel No. 081030075)

APPLICANT'S INTEREST: New construction of a 50,355sf Tesla Dealership with light services

Application is hereby made to the Riverdale City Planning Commission requesting that the following permitted use, be approved on 229,726sf/5.274 acres of property in the C-3 (West Bench RDA) zone in (sq. ft./acreage)

accordance with the attached site plan.

Sam Moore
Signature of Applicant

[Signature]
Signature of Property Owner

I authorize 6S T RIVERDALE UT LLC (Sam Moore) to act as my representative in all matters relating to this application.

[Signature]
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$400 per acre or portion of

Fee: \$2,104.00 Date paid: 4/12/2023

Planning Commission set public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 4/25/2023 ^{Prelim} ^{Final Rec.} Decision of Commission: Approved Prelim;

City Council set public hearing: Yes ☐ No ☐ Date of Public Hearing: _____

City Council scheduled to hear this application for site plan approval on:

Date: _____ Decision of Council: _____



Riverdale City
4600 South Weber River Drive
Riverdale, UT 84405
(801) 394-5541

XBP Confirmation Number: 142110442

Transaction detail for payment to Riverdale City.		Date: 04/12/2023 - 11:24:45 AM MT	
Transaction Number: 196053839			
Mastercard — XXXX-XXXX-XXXX-2465			
Status: Successful			
Account #	Item	Quantity	Item Amount
10341500	Zoning ampamp Subdiv. Fee	1	\$2104.00
Notes: SITE PLAN FEE 1500 W RIVERDALE RD			

TOTAL: \$2104.00

Billing Information
SAMUEL MOORE

Transaction taken by: Admin cjacobson

84405

Tesla Riverdale Offsite Improvements

OFF-SITE CONSTRUCTION ESTIMATE

This is a Conceptual Estimate prepared prior to receiving Surveys or Preliminary design plans and will change upon completion of these items.

Offsite

Item No.	Description	Quantity		Unit Price	Unit	Cost
	Site Improvements					
1	Standard Paving & Base	414	SF	\$4.00	SF	\$1,656.00
2	24" Conc. Curb and Gutter	28	LF	\$27.00	LF	\$756.00
3	Concrete Waterway	318	SF	\$6.50	SF	\$2,067.00
5	Landscape Parkstrip	3,137	SF	\$6.50	SF	\$20,390.50
	Storm Drain					
8	15" RCP (Includes Trenching)	73	LF	\$45.00	LF	\$3,285.00
	Water					
12	8" PVC (WL Includes Trenching)	65	LF	\$55.00	LF	\$3,547.50
13	8" Gate Valve	1	EA	\$4,000.00	EA	\$4,000.00
14	10"x8"x10" Tee	1	EA	\$2,000.00	EA	\$2,000.00
15	2" PVC (WL Includes Trenching)	51	LF	\$50.00	LF	\$2,550.00
SUBTOTAL						\$40,252.00

SUBTOTAL	\$40,252.00
15% Contingency	\$6,037.80
TOTAL	\$46,289.80



Riverdale City Planning Department
Mike Eggett
4600 South Weber River Drive
Riverdale, UT 84405

May 9, 2023
Project Name: Tesla Riverdale
Project Address: 4851 South 1500 West

This letter is submitted in response to the Preliminary Site Plan Review for Tesla Riverdale given April 19, 2023. The comments have been individually addressed as follows:

Planning Department

Comment: Address will need to be updated on site plan drawings to 4851 South 1500 West

Response: Address has been Updated.

Comment: Riverdale City, 4600 South Weber River Drive, Riverdale Utah 84405 (This needs to be added to the cover sheet) (Approving agency name)

Response: Added to cover sheet

Comment: Future final sign height for each sign is unknown

Response: Sign package is being prepared and will be submitted when ready.

Comment: Size of signs is unknown at this time

Response: Sign package is being prepared and will be submitted when ready.

Comment: Other on site signage coloration not provided at this time

Response: Sign package is being prepared and will be submitted when ready.

Comment: Signage lighting unknown at this time

Response: Sign package is being prepared and will be submitted when ready.

Comment: Percentage of landscaping provided for site is currently 17% as shown on sheet L-1.0 table, therefore landscaping plan does not currently meet minimum requirement of 20% or more landscaping coverage per City Code 10-14-12(B)(2)

Response: Decorative concrete paving has been added to achieve the 20% requirement.

Comment: new site development requires gentle berming locations, as required in 10-14-12 (b)(2) to screen drive thru and parking area from motorists along road, which is not shown nor identified in landscaping plan or other plan drawings, although shrub row screening has been provided.

Response: per the grading plan, the site currently sits 5-6 feet above the level of the adjacent street (1500 West) the height of the site appears to already raise any lighting above the level of motorists at the street.



Comment: Dedicated “right-of-way” not identified

Response: no Right of way is proposed to be dedicated with this project.

Comment: Location of stop signs on site not shown or identified, where applicable

Response: Stop signs and stop bars have been added at both street entrances.

Comment: New lines location, size and type not shown, where applicable

Response: Preliminary gas line location has been shown on plans, final locations will be subject to Dominion energy design.

Comment: New lines location, size and type not shown, where applicable

Response: telecom plan lines have been added to plans, final locations are subject to telecom provider’s design.

Comment: New lines location, size and type not shown, where applicable

Response: electrical transformer and connection to building have been added to plan on west side of building. Final location is subject to RMP design.

Comment: Applicant needs to work with Public Works Department to provide adequate water rights for this site per 8-6-3 of City Code

Response: In Progress. Water right calculations will be provided to city as soon as MEP is kicked off on the project to provide domestic demand.

Comment: Conditional Use Permit will be required by PC for automobile sales and service use in a C-3 Zone

Response: Conditional Use application has been provided to City.

Comment: Conditional Use Permit will be required by PC for automobile sales and service use in C-3 Zone

Response: Conditional Use application has been provided to City.

Storm Water

Comment: Drainage System operation and maintenance plan and BMPs approved and recorded with plat

Response: LTSWMA has been provided with this submittal.

Comment: Orifice size, location and plan detail, free board on detention/retention structure, free board on structure, and emergency overflow

Response: Orifice size is provided on box just upstream from the connection to City’s system.

Comment: Hydraulic separator or BMP’s to treat storm water before water enters underground retention/detention or city system on the small basin

Response: There are two hydrodynamic separators located as the last structures before the detention chambers on the north and south side of the detention chambers.

Comment: Provide proposed flows gpm/gpd

Response: I believe this is a sewer/water comment. Please clarify if applicable to stormwater.



Comment: Storm water prevention plan for construction site including BMP's. All storm water inspections will need to be completed on Compliance go. Needs to include a dumpster

Response: SWPPP document has been provided with this submittal.

Comment: Notice of Intent filed with state

Response: TBD by Contractor

Comment: Injection well permit

Response: In progress, will provide acknowledgement from State when complete.

Water

Comment: Meter box design as per Riverdale City standards

Response: Note "Per Riverdale City Standards" has been added to water meters.

Comment: Provide water usage peak demands

Response: TBD; will provide when MEP is on board

Comment: Provide what water shares will be used to meet water requirements

Response: Noted; in progress

Comment: Provide 30' easement for current and future water lines on North end of property

Response: a 30' utility easement has been provided along the south side of the building. If location is acceptable to the City, we can work to generate an easement document for execution between city and owner.

Sewer

Comment: Proposed Sewer flows daily and peak. Including peak demand time

Response: TBD; will provide when MEP is on board

Other

Comment: Note requiring all construction and materials shall meet Riverdale City standards

Response: Note has been added to cover sheet and site plans.

Comment: Note requiring all missing, nonfunctioning, and or damage surface improvements shall be replaced. (sidewalk, curb and gutter, fencing, etc.)

Response: Note has been added to cover sheet and site plans.

Comment: Please provide response page for comments

Response: Noted.



Engineering Department

Comment: The property needs to have a 10-foot public utility easement around the outside of the entire property

Response: PUE has been added to plans, if acceptable, please provide an appropriate document for execution and recordation.

Comment: The "Geotechnical Engineering Study" needs to be completed and submitted. Need to ensure that it includes all design requirements for infiltration, water table, bearing capacity for structures, pavement design, etc.

Response: Geotechnical report is included with this submittal.

Comment: The plans show a retaining wall around the outskirts of the proposed Tesla Building. Please provide design calculations and details for the retaining wall

Response: Structural design is underway and will be provided to the City with the next Submittal

Comment: The grading plan for the development must consider and state that any excavation for the building structure must be placed on suitable natural soils or on structural/engineered fill material as discussed in the "Geotechnical Engineering Study"

Response: Building Pad Note added to grading plan.

Comment: There is a detention basin shown in the southeast corner of the property. There is no control on discharge and/or treatment for storm water before it discharges into the city storm water system, please provide

Response: This pond was not intended for any detention purposes. It was provided to collect and direct onsite water leaving the driveway and put it in the City's underground system rather than letting it discharge directly out the driveway. The large underground detention has been sized to include this area in it's volume. The detention pond itself can be seen as a landscape treatment swale allowing sediments to settle out in the rocks before going to the City's system. Please let me know if you need additional information.

Comment: The underground storm water storage facilities need to verify depth to the ground water table.

Response: Per the soils report, no groundwater was encountered to the extent of their deepest boring which appears to be 46.5' below the site.

Comment: A note must be placed upon the plans stating that upon completion of the detention basin and construction volume must be checked and certified in writing that the design storage volumes have been met. The certification letter must be submitted to the Public Works Director

Response: Note has been added near small pond on the south.

Comment: Observation manholes for the underground detention basin need to be shown on the plans

Response: Added to plans

Comment: A storm water maintenance / schedule will need to be prepared, submitted for review, and added to the drawings

Response: Long term stormwater maintenance agreement that has been submitted with this plan set and includes this information.



Comment: The waterline on 1500 West shown as a 10" that the 2" service line is connecting to is further to the north near the curb and gutter. That line is also an 8" waterline.

Response: updated on plans.

Comment: The 8" waterline connecting to the 10" waterline in 1500 West and the 10" waterline on the east side of the property need additional gate valves.

Response: Gate valves have been added to plans.

Comment: An easement needs to be provided for both the waterline and sanitary sewer line that runs up the east side of the property

Response: 30' easement has been provided for all utilities along south side of building.

Comment: The waterline that goes up 1550 West and past the Rocky Mountain Station shows being terminated. The substation has a fire hydrant and meter to serve that site. There are two parcels on the north side of 4800 South that should have both a fire hydrant and water service. Need to determine the best option for water to those locations.

Response: a new fire hydrant has been added to plans and extended near the northeast corner of the power station that can serve that station and the 2 parcels across 4800 South.

Comment: Need to show the details and sizing for the grease interceptor

Response: Noted; will provide when MEP is on board

Comment: Depending on the layout, handicap ramps may be required for public sidewalk along 1500 West and 4800 South entrances to Tesla

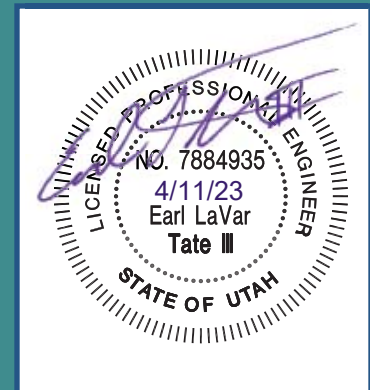
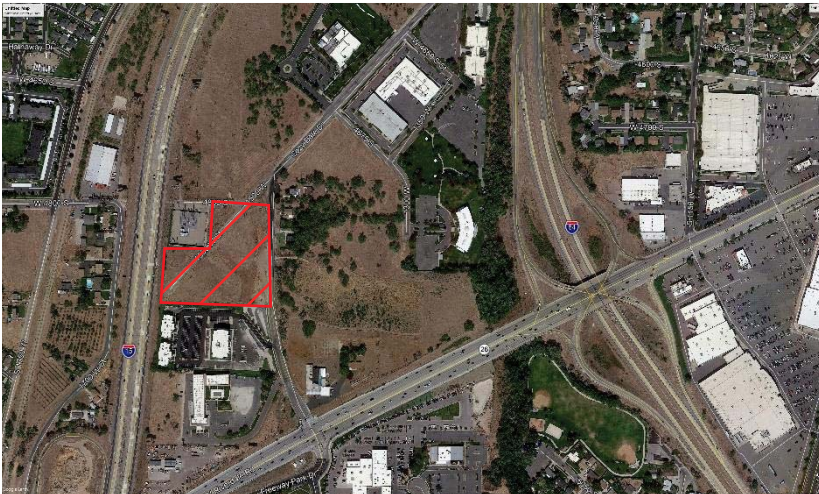
Response: ADA sidewalk has been added along west boundary extending to 4800 South. ADA ramps have been added to allow pedestrian access across north ingress to the sidewalk along 4800 South.



Tesla Riverdale

SWC of 4800 South & 1500 West
Riverdale, Utah

Storm Water Analysis



Prepared For:

6S Development
18333 Preston Rd, Suite 500
Dallas, TX 75252

Anderson, Wahlen & Associates, Inc.

2010 North Redwood Road

Salt Lake City, Utah 84116

Phone: (801) 521-8529

Fax: (801) 521-9551

Date: April 11, 2023

Table of Contents

Introduction	1
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South Basin	2
LID Retention Requirement	2
Conclusions	3

Appendices

- ❖ Vicinity Map
- ❖ NOAA Precipitation Information
- ❖ Modified Rational Method Output

Introduction

6S Development is proposing the construction of a new Tesla delivery and showroom on approximately 5 acres of undeveloped land in Riverdale, Utah. The purposes of this report are to:

- Determine the storm water runoff volume generated from a 100-year storm using the modified rational method
- Determine the required 80th percentile storm retention volume
- Discuss the storm water detention/retention system for the project

Location

The site is located at the southwest corner of 1500 West Street & 4800 South in Riverdale, UT. The undeveloped site is bound to the north side by undeveloped land to the east by 1500 West Street, to the west by I-15, and to the South by the existing Brook Haven Office Park.

Methodology

Rainfall intensities were obtained from the NOAA precipitation data frequency server based on latitude and longitude (see Appendix), and the 100-year intensities were utilized in this analysis. The rational method was used to determine the storage volume required for the site.

The site was analyzed as two basins divided into roof area, landscaping and hard surfaces to determine the required storage volumes. Individual runoff coefficients of 0.9, 0.95 and 0.15 were used for landscape, roof and impervious surfaces respectively. Runoff will be detained onsite and discharged at 0.2 cfs/acre to a public storm drain.

Analysis

The site consists of 5.44 acres of undeveloped property. Storm water runoff will be detained a system of underground detention chambers. The runoff will be released at a 0.2 cfs/acre to the City storm drain network within 1500 West Street. The City network within 1500 South continues on the North in 1500 West and remains in the City's storm drain network. The design analysis for the east basin is provided in Table 1.

Table 1: Tesla Riverdale

North Basin	
Basin Area	5.44 acres
Total Required Detention Storage	24,205 cubic feet

LID Retention Requirement

Per Utah code, new construction is required to retain a volume of stormwater equivalent to runoff from the 80th percentile storm as explained in the Guide to Low Impact Development. This volume is commonly referred to as the Water Quality Volume or WQV.

Provided in the Guide to Low Impact Development, WQV is calculated by the following:

$$WQV = R_v(D)(A)$$

Where:

D = 80th percentile storm depth; 0.50 inches ((0.042 ft) in Riverdale City

A = Tributary area; By Basin

And R_v is the Volumetric Runoff Coefficient, calculated by the Reese Method as follows:

$$R_v = 0.91i - 0.0204$$

Where:

i = percent of impervious ground surface in tributary area

Basin characteristics and required retention volume are summarized in the table below:

Basin	Impervious Area (% of Total)	R_v	Required Retention (ft ³)
Tesla	83.23	0.7706	9,877

The required retention volume will be contained in each of the three underground chamber system by strategically placing the invert of the outfall pipe in each system. Only storm water runoff will in excess of the required retention volume will discharge from the site.

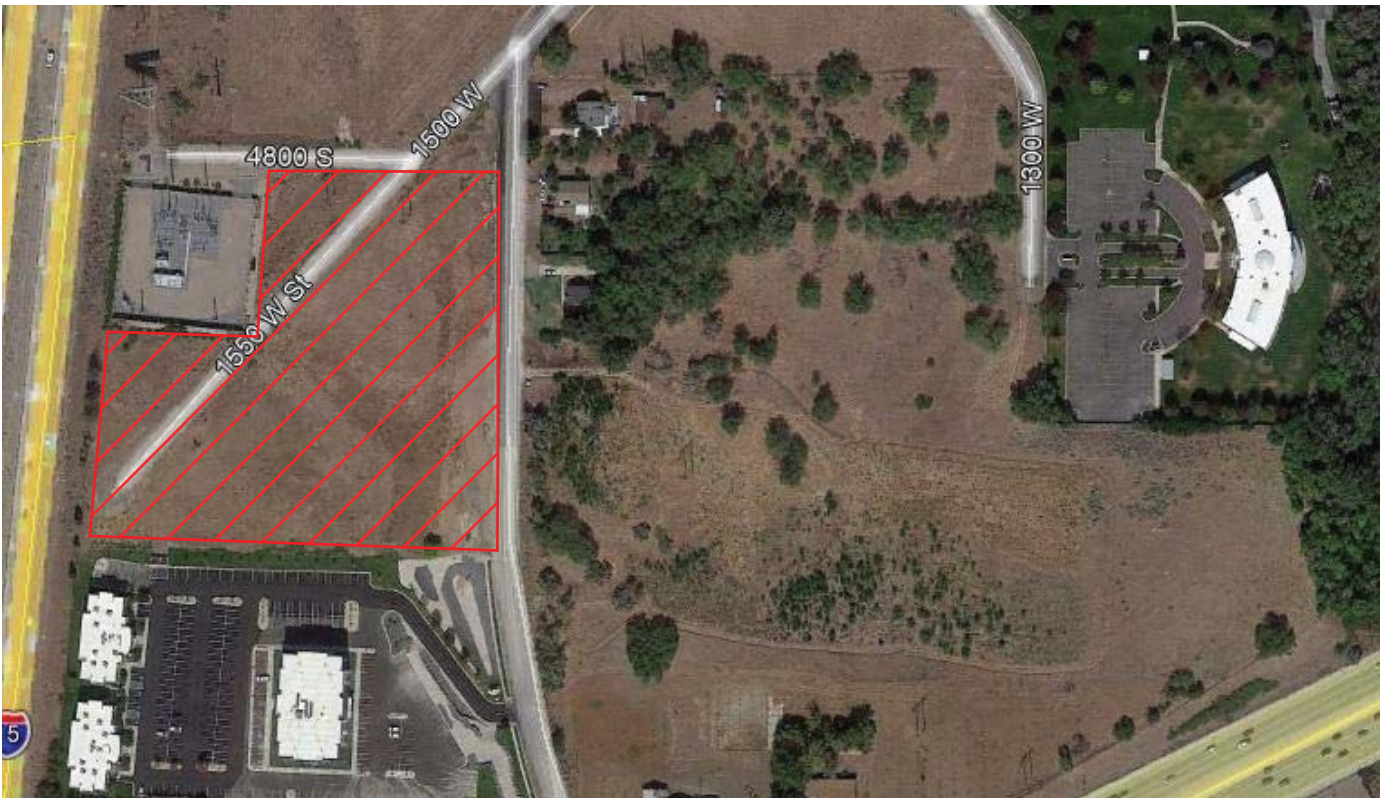
Conclusions

The modified rational method along with NOAA rainfall data was used to determine the required detention storage volume for this site. In adherence to Utah code full retention will be provided, equivalent to runoff from the 80th percentile storm which was determined have a depth of 0.5".

The analysis determined that the Tesla project required a detention storage of 24,205 cubic feet and a required retention volume of 9,877. The site will connect to the City network within 1500 West Street. The peak release from the site will be limited to 1.09 cfs during the 100-year storm event. Required storage will be provided by a system of underground storage chambers.

Storm water runoff will be treated by two separate CDS Hydrodynamic Separators, which are provided at each point of connection to the onsite underground chamber systems.

Vicinity Map



Riverdale Distribution Project: Southwest corner of 4800 South 1500 West
Riverdale, Utah

LONG-TERM STORMWATER MANAGEMENT AGREEMENT

This Long-Term Stormwater Management Agreement (“Agreement”) is made and entered into this ____ day of _____, 2023 by and between Riverdale City, a Utah municipal corporation (“City”), and 6S DEVELOPMENT LLC, a Utah limited liability company (“Owner”).

RECITALS

WHEREAS, the City is authorized and required to regulate and control the disposition of storm and surface waters within the City, pursuant to the Utah Water Quality Act; and

WHEREAS, the Owner hereby represents and acknowledges that it is the owner in fee simple of certain real property more particularly described in Exhibit “A”, attached hereto and incorporated herein by this reference (“Property”); and

WHEREAS, the Owner desires to build or develop the Property and/or to conduct certain regulated construction activities on the Property which will alter existing storm and surface water conditions on the Property and/or adjacent lands; and

WHEREAS, in order to accommodate and regulate these anticipated changes in existing storm and surface water flow conditions, the Owner is required to build and maintain at Owner’s expense a storm and surface water management facility or improvements (“Stormwater Facilities”)

STORMWATER FACILITIES MAINTENANCE AGREEMENT

SO AGREED this _____ day of _____ 2023.

PROPERTY OWNER

By: _____ Title: _____

By: _____ Title: _____

STATE OF UTAH)

:SS.

COUNTY OF SALT LAKE)

The above instrument was acknowledged before me by _____, this _____ day of _____, 20____.

Notary Public

Residing in: _____

My commission expires: _____

Long Term Storm Water Maintenance Plan For:

Tesla Riverdale
4851 South 1500 West
Riverdale, UT 84405

Storm Water Management Plan

Tesla Riverdale
4851 South 1500 West

Riverdale, Utah
May 2023

This management plan is to direct the owner, operator, and their employees on proper procedures to maintain the on-site storm drain system and comply with Riverdale City storm water ordinances. This plan is to be implemented upon completion of construction activities.

A copy of this plan shall be provided to the operator and employees responsible for maintaining the site. The owner, operator, and employees shall adhere to the following plan. Should the use of the site change this plan shall be updated for the correct use.

Building and Grounds Maintenance

The parking lot shall be swept on a monthly basis to collect all waste debris. All wash water, sweepings, and sediments shall be properly disposed of and not washed down the storm drain system. Refer to the attachment at the rear of this report labeled "Parking Lot Sweeping/Vacuuming".

The owner shall have the storm drain lines cleaned as necessary. The system shall be jetted and vacuumed when necessary to remove all silt, sediment, oil, and debris. The system should be inspected prior to and after any large storm events. Catch basins should be inspected monthly and cleaned on a bi-annual basis. A utility map indicating the storm drain cleanout locations is attached for reference to the back of this report. Also refer to the attachment at the rear of this report labeled "Storm Drain Flushing and Catch Basin Cleaning".

Landscape Maintenance

The landscaping shall be maintained on a weekly basis. All grass clippings and other landscape debris shall be swept up and disposed of in a waste container. Any fertilizers and pesticides used shall be applied per the manufacturer's recommendations. Refer to the attachment at the rear of the report labeled "Landscape maintenance".

Storage of Chemicals, cleaners, solvents and oils

Chlorine and Quaternary Ammonia will be stored in their original containers on the cleaning supply rack by the mop sink.

Employee Training

The owner and operator shall implement necessary training of their employees who will be responsible for site maintenance. The training should promote an understanding of the management plan and required BMP's. It should identify activities with the potential to pollute storm water and implementation of BMP's to mitigate such activity. In addition to the listed BMP's the training shall also address the proper use, handling, storage and disposal of products, spill prevention and clean up.

Non-Storm Water Discharges to Drains

Non-storm water discharges to the storm drain collection system should be eliminated. These discharges include process wastewaters; cooling waters, wash waters, and sanitary wastewater. These discharges should not be performed at this site, but at a properly designed site.

Vehicle and Equipment Cleaning

Washing vehicles or equipment shall not be allowed outside of the building.

Oil/Water Separators and Water Quality Inlets

Storm water from the development is treated prior to entering the public system. Storm water will be treated via two Water Quality Treatment Manholes. Disposal of removed debris and silts are to be in an approved offsite facility.

Underground Detention Chambers

Storm water is detained onsite for a period of time in underground detention chambers. Inlets and inspection ports shall be checked regularly for debris and sediment buildup. Refer to inspection Schedule for details.

Storm water detention provided by an underground Arch Chamber System. The “Isolator Row” is the row of chambers located where water enters this system. The Isolator Row shall be inspected semi-annually and cleaned as necessary if sediments begin to build within the system. Four inspection ports are provided and should be inspected semi-annually or after large rainfall events. To ensure water is draining from the system.

Records of Maintenance, Inspection, and Training

Records shall be kept for all inspections and cleaning of the on-site storm water system. The owner or operator shall keep a copy of the records. These records shall be made available to the city as needed. An inspection of the site will be conducted by the city on an annual basis.

Waste management and disposal

There is one dumpster location provided for each Building on the site. Trash will be collected weekly by a waste management company. Hazardous waste will be disposed of in an approved facility.

It is not anticipated at this time, but any grease waste will be stored in an approved container inside the dumpster enclosure. Container will be collected and disposed of by a 3rd party licensed for disposal.

Landscape Maintenance



Description:

Maintain landscaped areas in order to prevent excess build up of organic debris or chemical pollution that could clog, pollute or adversely affect downstream stormwater facilities.

Approach:

1. Keep lawns, shrubs, and trees properly pruned to prevent debris from building up at storm drain inlet locations.
2. Dispose of organic waste properly at an off-site location.
3. If bark, mulch, rock, or any type of Xeriscaping is used, inspect parking areas frequently and return any excess material to the landscape area as needed.
4. Use caution when applying fertilizer, weed control, or any other type of chemical to landscaped areas to prevent over spray entering any private/public storm drain facility.

Limitations:

1. There are no major limitations to this BMP.

Maintenance:

1. Acquisition and maintenance of equipment is generally handled by the company hired to perform the landscape maintenance.

Storm Drain Flushing



Description:

A storm drain is "flushed" with water to suspend and remove deposited materials. Flushing is particularly beneficial for storm drainpipes with grades too flat to be self-cleansing. Flushing helps ensure pipes convey design flow and remove pollutants from the storm drain system.

Approach:

1. Locate reaches of storm drain with deposit problems and develop a flushing schedule that keeps the pipe clear of excessive buildup.
2. Whenever possible, flushed effluent should be collected, decanted, evaporated, and disposed of in a landfill.

Limitations:

1. Most effective in small diameter pipes (36-inch diameter pipes or less, depending on water supply and sediment collections capacity).
2. Water source must be available.
3. May have difficulty finding downstream area to collect sediments.
4. Requires liquid/sediment disposal.

Catch Basin Cleaning



Description:

Maintain catch basin and stormwater inlets on a regular basis to remove pollutants, reduce high pollutant concentrations during the first flush of storms, prevent clogging of the downstream conveyance system, and restore the catch basin's sediment trapping capacity. A catch basin is distinguished from a stormwater inlet by having at its base a sediment sump designed to catch and retain sediments below the overflow point. This BMP focuses on the cleaning of accumulated sediments from catch basins.

Approach:

Regular maintenance of catch basins and inlets is necessary to ensure their proper functioning. Clogged catch basins are not only useless but may act as a source of sediments and pollutants. In general, the keys to effective catch basins are:

1. At least annual inspection, though Riverdale City requires monthly inspections with a maximum cleaning interval of 6 months.
2. Prioritize maintenance to clean, catch basins or inlets in areas with the highest pollutant loading.
3. Clean catch basins in high pollutant areas in September to remove sediments and debris accumulated during the summer.
4. Keep accurate logs of the number of catch basins cleaned.
5. Record the amount of waste collected.

Limitations:

1. There are no major limitations to this BMP.

Maintenance:

Regular maintenance of public and private catch basins and inlets is necessary to ensure their proper functioning.

1. Annual/monthly inspection of private facilities to ensure structural integrity, a clean sump, and a stenciling of catch basins and inlets.
2. Keep logs of the number of catch basins cleaned.
3. Record the amount of waste collected.

Sweeping/Vacuuming



Description:

Reduce the discharge of pollutants to the stormwater from parking lot surfaces by conducting pavement cleaning on a regular basis.

Approach:

1. Restrict parking prior to and during sweeping.
2. Establish frequency of sweeping based on anticipated need and observations of debris or sediment accumulation.
3. Increase sweeping frequency just before any rainy season.
4. Lots that generate greater amounts of debris or sediment must be swept more frequently. These include lots associated with or adjacent to recreational, commercial, or industrial areas of high vehicle or pedestrian traffic.
5. Manually remove debris from corners or other areas of the parking lot that equipment cannot reach.
6. Keep accurate operation logs to track programs.
7. Equipments selection can be key for this particular BMP. There are two types used, the mechanical broom sweepers (more effective at picking up large debris and cleaning wet streets), and the vacuum sweepers (more effective at removing fine particles and associated heavy metals). It may be useful to have the ability to use both kinds.

Limitations:

1. Conventional sweepers are not able to remove oil and grease.
2. Mechanical sweepers are not effective at removing finer sediments.
3. Effectiveness may also be limited by parking lot conditions, presence of parked vehicles, and presence of construction project, climatic conditions, and conditions of curbs.

Maintenance:

1. Acquisition and maintenance of equipment is generally handled by the company hired to perform the sweeping/vacuuming.

Maintenance Requirements/Inspection Report – Annual and Periodic

Date of Site Inspection: _____

Property Management Contractor name: _____

<p>Parking Lot Catch Basins:</p> <p>Catch basins are designed to capture sediment and debris and help prevent pipe clogging.</p>	<p>Maintenance by property management contractor:</p> <ul style="list-style-type: none"><input type="checkbox"/> Check for surface trash or debris and clean as needed.<input type="checkbox"/> Check the water surface inside the basin and report unusual or floating debris, or a heavy sheen of petroleum.<input type="checkbox"/> Inspect surface and structure covers for settling, broken or missing parts.<input type="checkbox"/> Check inlets semi-annually for accumulated sediments. Have inlets cleaned if unusual sediment build up is observed.<input type="checkbox"/> Once annually have all catch basins cleaned by vac truck to remove accumulated sediments.
<p>Parking Lot:</p>	<p>Maintenance by property management contractor:</p> <ul style="list-style-type: none"><input type="checkbox"/> Check for parking lot for surface trash or debris and clean as needed. Dispose of wastes properly.<input type="checkbox"/> Check for parking lot for build up sediment. Remove as needed. Dispose of wastes properly.

Underground Detention StormBrixx:

Maintenance by property management contractor:

- ☐ Check manhole inlets for trash or debris and clean as needed. Dispose of wastes properly.
- ☐ Basin Failure - after storm events check the water surface. If Chambers do not completely drain within 48 hours, contact property owner and report failure.
- ☐ Check Inspection ports for structure semi-annually for accumulated sediments. Have structure cleaned if unusual sediment build up is observed.
- ☐ Once annually have inlet/outlet structure cleaned by vac truck to remove accumulated sediments.



WEST EXTERIOR ELEVATION MATERIALS		
MATERIAL	SQ FT	%
PAINTED CONCRETE PANEL	4,768	96
METAL PARAPET CAP	65	1.5
GLASS	24	0.5
STEEL DOOR	88	2
TOTAL	4,408	100

METAL FINISH SCHEDULE					
MARK	DESCRIPTION	VENDOR	VENDOR ID	FINISH	REMARKS
ACM-1	ALUMINUM COMPOSITE PANEL	REYNOBOND		MATCH PT-1	
ACM-2	ALUMINUM COMPOSITE PANEL	REYNOBOND		MATCH PT-1	

NOTES

- ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL
- UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH BUILDING COLOR



SOUTH EXTERIOR ELEVATION MATERIALS		
MATERIAL	SQ FT	%
PAINTED CONCRETE PANEL	5,748	96.25
METAL PARAPET CAP/DOWNSPOUT	101	1.5
GLASS	24	0.25
PAINTED STEEL DOORS	112	1.75
ACM	30	0.25
TOTAL	6,015	100



NORTH EXTERIOR ELEVATION MATERIALS		
MATERIAL	SQ FT	%
PAINTED CONCRETE PANEL	5,576	96
METAL PARAPET CAP	89	1.25
GLASS	24	0.25
ACM	30	0.25
PAINTED STEEL DOORS	112	1.75
TOTAL	5,831	100



DEVELOPER	ARCHITECTURE
4S DEVELOPMENT 18331 PRESTON RD. SUITE 500 DALLAS TX 75272 972-548-0289 JUSTIN HIEGEL	HARRISON FRENCH AND ASSOCIATES 1705 S. WALTON BLVD., SUITE 3 BENTONVILLE, AR 72712 479-273-7789 ext (299) JAMI COOK
CIVIL	TENANT
AWA ENGINEERING 2010 NORTH REDWOOD ROAD SALT LAKE CITY UT 84116	TESLA COLLISION CENTER 901 PAGE AVE FREMONT, CA 94538
Date:02/06/2023	LOCATION: 8841 ZIONSVILLE RD.
ROOF TOP EQUIPMENT WILL NOT BE VISIBLE FROM PROPERTY LINES. SCREENING SHOULD BE REQUIRED	
DUMPS/ST AND BLACKED VEHICLE WILL BE SCREEN BEHIND 8" HIGH COMMERCIAL CHAINLINK WITH BLACK VINYL COATED, AND BLACK PLASTIC SLATS	

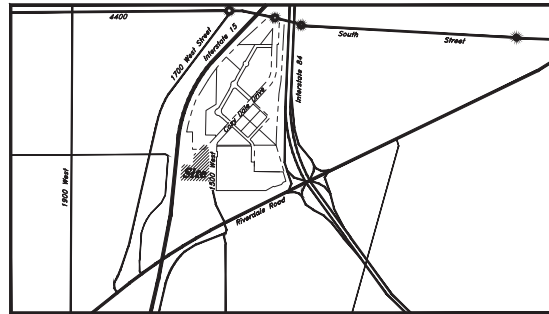
EAST EXTERIOR ELEVATION MATERIALS		
MATERIAL	SQ FT	%
PAINTED CONCRETE PANEL	1,138	24
METAL PARAPET CAP	66	0.75
GLASS	1,432	31
ACI	1,907	40
STEEL	195	4.25
TOTAL	4,738	100



Tesla Riverdale

4851 South 1500 West
Riverdale, Utah 84405

April 2023



Vicinity Map
Not to Scale

Civil Sheet Index

C0.0	Cover Sheet	C4.4	Details
C0.1	ALTA Survey	C5.1	Erosion Control Plan - Phase 1
C1.0	Demolition Plan	C5.2	Erosion Control Plan - Phase 2
C1.1	Overall Site Plan	C5.3	Erosion Control Details
C1.2	Site Plan	L1.0	Overall Landscape Plan
C2.1	Grading Plan	L1.1	Landscape Plan
C2.2	Grading Plan	L1.2	Landscape Plan
C2.3	Enlarged Grading - Details and Notes	L1.3	Landscape & Irrigation Details
C3.0	Overall Utility Plan	L2.0	Overall Irrigation Plan
C3.1	Utility Plan	L2.1	Irrigation Plan
C3.2	Utility Plan	L2.2	Irrigation Plan
C4.1	Details		
C4.2	Details		
C4.3	Details		

Abbreviations	
BCF	Begin Curb Return
BOL	Barrier
BRW	Finish Grade - Bottom of Retaining Wall
CATV	Cable Television Box
CB	Catch Basin
CMP	Corrugated Metal Pipe
CMB	Cleanout Box
COTG	Cleanout In Grade
EA	Edge of Asphalt
EB	Electrical Box
EC	End of Curve
ECR	End Curb Return
GM	Gas Meter
HB	Hose Bib
HP	High Point
I	Irrigation Line
ICB	Irrigation Control Box
LP	Lip of Gutter
LP	Light Pole
MM	Manhole
Mon	Monument
PC	Point of Curvature
PCC	Point of Compound Curvature
PI	Point of Intersection
PM	Power Meter
PP	Power Pole
PT	Point of Tangency
PVC	Polyvinyl Chloride
PM	Point of Vertical Intersection
RCP	Reinforced Concrete Pipe
RD	Road Drain
SB	Signal Box
SD	Storm Drain
SDMH	Storm Drain Manhole
SMH	Sewer Manhole
SP	Signal Pole
SS	Sanitary Sewer
SIZ	Sight Visibility Zone
SW	Secondary Water
TA	Top of Asphalt
TB	Telephone Box
TBC	Top Back of Curb
TG	Top of Grade
TMH	Telephone Manhole
TP	Top of Concrete
TW	Finish Grade - Top of Retaining Wall
TW	Top of Walk
VC	Vertical Curve
VPC	Vertical Point of Curve
VPT	Vertical Point of Tangency
WL	Waterline
WP	Working Point
WV	Water Valve

Legend	
Proposed Curb & Gutter	Existing Improvements
Proposed Open Face C & G	Existing Asphalt
Proposed Asphalt	Existing Concrete
Proposed Concrete	Existing Inlet Box
Proposed Truncated Domes	Existing Catch Basin
Proposed Inlet Box	Existing Manhole
Proposed Catch Basin	Existing Fire Hydrant
Proposed Manhole	Existing Water Valve
Proposed Transformer	Existing Overhead Power Line
Proposed Meter Box	Existing Water
Proposed Water Meter	Existing Secondary Water
Proposed Corbin Box	Existing Sewer
Proposed Fire Hydrant	Existing Storm Drain
Proposed Water Valve	Existing Gas
Proposed Water Line	Existing Power
Proposed Sanitary Sewer	Existing Telephone
Proposed Storm Drain	Existing Fence
Proposed Conduit Line	Downline
Proposed Power Line	Centerline
Proposed Gas Line	Existing Contour
Proposed Fire Line	Existing Spot
Proposed Secondary Water Line	Existing Light Pole
Proposed Storm Drain	Existing Street Light
Proposed Fence	Existing Building
Proposed Fence	Existing Telephone Box
Proposed Fence	Existing Power Meter
Proposed Fence	Existing Electrical Box
Proposed Fence	Existing Gas Meter
Proposed Fence	Existing Electrical Cabinet
Proposed Fence	Existing Gas Meter
Proposed Fence	Existing Water Meter
Proposed Fence	Existing Inlet Control Box
Proposed Fence	Existing Ballast
Proposed Fence	Existing Hose Bib
Proposed Fence	Working Point
Proposed Fence	Existing Deciduous Tree
Proposed Fence	Existing Coniferous Tree
Proposed Fence	Existing Power Pole
Proposed Fence	Existing Power Pole w/ Guy
Proposed Fence	Existing Utility Meter
Proposed Fence	Existing Post



Damaged Improvement Note

All missing, nonfunctioning and / or damaged surface improvements shall be replaced. (Sidewalk, Curb & Gutter, Fencing, etc.)

Note: All construction Materials shall meet Riverdale City Standards.

Approving Agency
Riverdale City
4800 South Riverdale Drive
Riverdale, UT 84405

Owner/Developer
Sam Moore
655 Development LLC
18333 Preston Rd, Suite 500
Dallas, TX 75252
817-305-8117

Engineer
John Tate
2010 North Redwood Road
Salt Lake City, UT 84116
801-410-8505

Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Weber County, Utah and Incorporated Areas Map Number 48057004177 dated 2 June, 2015. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

Basis of Bearings

The field measurements were collected on the VRS basis which verified the Weber County calculated bearing of North 89°11'50" West between recovered monuments marking the Southeast and Southwest Corners of Section 7, T5N, R16E, and the full mile between monuments recovered for the East and West Quarter Corners of Section 12, T5N, R2W was measured as South 89°52'00" West. The Monument marking the South Quarter Corner of Section 12 was also recovered and honored.

Benchmark

Brass Cap Monument for the East Quarter of Section 12, T5N, R2W, S184M
Elevation = 4380.00 feet (Ortho Height)
Weber County Surveyor Tie Sheet
Observed April 8, 2020

Legal Description

A tract of land situate in the Northwest Quarter of the Northwest Quarter of Section 13, Township 5 North, Range 2 West, Salt Lake Base and Meridian, Weber County, Utah, the boundaries of said tract are described as follows, to wit:

Beginning at a point which is 2287.41 feet North 89°52'11" East along the Section Line and 13.00 feet South 02°02'48" East from the Northwest Corner of said Section 13 and running thence North 89°52'11" East 283.64 feet parallel to said Section Line to a point on the West Right of Way Line of 1500 West Street; thence South 02°18'00" East 404.96 feet along said West Right of Way line to a point on a 1685.00-foot radius curve to the left; thence South 89°52'11" East 131.97 feet; thence North 87°14'54" West 552.29 feet to the Eastern Right of Way Line of Interstate 15; thence North 02°02'56" East 306.31 feet along said Eastern Right of Way to the Southwest Corner of said tract; thence North 02°02'56" East 234.82 feet along the Eastern Line of said tract to the point of beginning.

Parcel 2:
That portion of 4800 Street as Vacated per Ordinance No. 955, Recorded October 28, 2022 in Document No. 3261323, Official Records Weber County.



Cover Sheet
Tesla Riverdale
4851 South 1500 West
Riverdale, Utah 84405



9 May, 2023

SHEET NO.

C0.0

Title Information

This survey was completed using Title Report File No. UTFA22-5943 dated November 16, 2022 from Land Services USA, LLC and issued by First American Title Insurance Company.

The following survey related items circled (Solid) from Schedule B - Part II of the title report are plotted on the survey:

The following survey related items circled (Dashed) from Schedule B - Part II of the title report are plotted on the survey:

The following survey related items not circled from Schedule B - Part II of the title report could not be plotted:

- 5 A 50.0 foot wide Easement to Utah Power and Light Company recorded July 29, 1943 as Entry No. 77483 in Book 179 at Page 26 of Official Records.
- 6 A 50.0 foot wide Easement to Utah Power and Light Company recorded May 28, 1953 as Entry No. 205158 in Book 418 at Page 329 of Official Records.
- 7 An Agreement by and between Board of Water Resources and Riverdale City Corporation recorded May 17, 1995 as Entry No. 1406851 in Book 1806 at Page 2948 of Official Records agreements for construction of reservoir South offsite and does not affect this site.
- 8 Notice of Adoption of Redevelopment Project Area Plan recorded June 1, 2005 as Entry No. 2106893 Covers this site along with more land but contains nothing to plot.
- 9 An Easement for utilities and incidental purposes over, across or through that portion of the vacated street, as set forth in that certain Ordinance vacating said street, recorded October 17, 2006 as Entry No. 2215572 of Official Records.
- 10 Notice of Leasehold Interest recorded October 20, 2009 as Entry No. 2440123 of Official Records the Lease Agreement attached at the end of the document reports agreement dates that would now be expired.
- 11 Solid land is located within the Northern Utah Environmental Resource Agency ("NUEBA"), pursuant to that certain Certificate of Creation recorded January 20, 2015 as Entry No. 2718461 of Official Records, and is subject to assessments and levies thereunder covers this site along with more land but contains nothing to plot.
- 12 Ordinance No. 855, recorded October 28, 2022 as Entry No. 3261323 of Official Records is the Official Ordinance behind the Vacation Plot shown in below Exception No. 15 Affects Parcel 2.
- 13 Easements, notes and restrictions as shown on Coxy Dale Drive Vacation plot recorded October 28, 2022 as Entry No. 3261323, Parcel 2 of this Survey is the South half of portion of vacated 4800 South Street as shown herein.

* Exception No.'s 1-4, and 12-13 are general and/or standard exceptions that do not reveal matters of survey.

Notes

According to ALTA standards, the surveyor cannot certify a survey based upon an interpretation. The surveyor is not authorized to interpret zoning codes, nor can the surveyor determine whether certain improvements are burdening or actually benefiting the property.

Pertaining to ALTA Table A Item No. 8: No zoning information was supplied for review, information provided was found on the Riverdale City Zoning Website.

Pertaining to ALTA Table A Item No. 8: There were no observed areas of substantial refuse on the site.

Pertaining to ALTA Table A Item No. 11(a): The location and/or elevation of existing utilities shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. No underground explorations were performed.

Pertaining to ALTA Table A Item No. 16: There is no observable evidence of earth moving work, building construction or building additions within recent months.

Pertaining to ALTA Table A Item No. 17: There is no observable evidence of recent street or sidewalk construction and no evidence of street Right-of-Way changes from the controlling jurisdiction.

Pertaining to ALTA Table A Item No. 18: No plottable offsite easements revealed within documents provided.

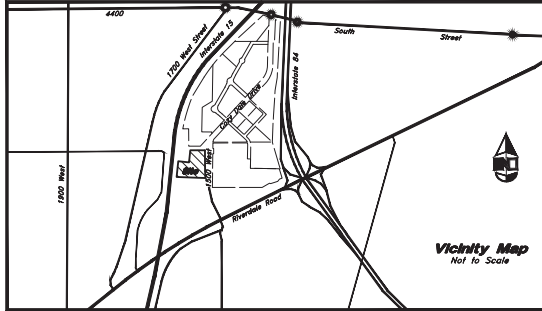
The subject property abuts, without gaps, gaps or strips, and has vehicular and pedestrian ingress to and egress from 4800 South and 1500 West Streets, which are paved, dedicated and accepted Public Rights-of-Way.

Except as depicted hereon, the subject property does not serve any adjoining property for utilities, drainage, structural support or ingress or egress.

The legal description on and depiction of the subject property contained in the survey describe and depict the same property described in the legal description contained in that certain Title Commitment from Land Services USA, LLC and issued by First American Title Insurance Company on November 16, 2022 under Order No. UTFA22-5943.

There is no observed evidence of the site being used as a solid waste dump, sump or sanitary landfill.

The record description has an Error of Closure of 3.01' and has been exonerated and interpreted into place by holding the Right-of-Way lines called for in the record description.



Zoning Information

Zone	=	C-3 (commercial Zone)
Building Setback Requirements	=	West Bench RDA
Front yard	=	20'
Back yard	=	none (20' against residential)
Side yard	=	none (20' against residential)
Height Restrictions	=	20' (street)

Benchmark

Brass Cap Monument for the East Quarter of Section 12, T5N, R2W, S16M
Elevation = 4399.00 feet (Ortho Height)
Weber County Surveyor Title Sheet
Observed April 8, 2020

Flood Plain Data

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Weber County, Utah and Incorporated Areas Map Number 48057004177 dated 2 June, 2015. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

Narrative

This survey was ordered by GS Development prerequisite to the development of this site.

The field measurements were collected on the IRS basis which verified the Weber County calculated bearing of North 89°11'40" West between recovered monuments marking the Southeast and Southwest Corners of Section 7, T5N, R1W, and the full mile between monuments recovered for the East and West Quarter Corners of Section 12, T5N, R2W was measured as South 89°52'00" West. The Monument marking the South Quarter Corner of Section 12 was also recovered and honored.

This Survey retraces and honors a previous 2021 ALTA Survey by AWA.

Due to the extensive frontage this site has onto existing Highway Rights-of-Way several UDOT highway plans were acquired and retraced to establish the control and boundary geometry of the surrounding highway systems. An unmarked highway marker was recovered near the center of the frontage along Interstate Highway 1-15 and was assigned the Highway Station of 533+00 per the 1964 UDOT plans which aligns the highway angle points with the corresponding existing Right-of-Way fence angles as field measured. The alignment of 4800 South Street as established in 1989 was retraced per the 1989 survey by Gary Newman for the adjoining Property in the Southwesterly Corner of the site.

The RDA description exhibited in the Title Report reveals a 3.01 foot error of closure and was expanded to match the Right-of-Way lines called for in the description.

1500 West Street Alignment was extracted from the State Highway plans and utilizes a best fit with the previous survey lines on file in the Weber County Surveys Office. Much of the boundary geometry shown on the 1500 West Street Highway map could not be retraced by description documents of record and some of the Right-of-Way remains unresolved.

For the North line of Parcel 1, the South Right-of-Way line of 4800 South Street was held instead of an offset to the section line as referenced in the Title Report description.

Property corners were set as shown hereon.

Record Descriptions

A tract of land situated in the Northeast Quarter of the Northwest Quarter of Section 13, Township 5 North, Range 2 West, Salt Lake Base and Meridian, Weber County, Utah. The boundaries of said tract are described as follows, to wit:

Beginning of a point which is 2287.41 feet North 89°52'11" East along the Section Line and 33.00 feet South 02°07'49" East from the Northwest Corner of said Section 13 and running thence North 89°52'11" East 283.64 feet parallel to said Section Line to a point on the West Right of Way Line of 1500 West Street; thence South 02°19'00" East 404.96 feet along said West Right of Way line to a point on a 1687.02-foot radius curve to the left, thence Southeasterly 132.00 feet along arc of said curve and said right of way line (chord bears South 02°29'30" East 131.97 feet); thence North 87°54'54" West 537.29 feet to the Easterly Right of Way Line of Interstate 15; thence North 06°05'56" East 506.33 feet along said Easterly Right of Way to the Southwest Corner of that certain tract of land conveyed to Rocky Mountain Power Company; thence South 83°54'04" East 209.00 feet along the Southerly line of said tract to the Southeast Corner of said tract; thence North 06°05'56" East 234.82 feet along the Easterly Line of said tract to the point of beginning.
APN: 08-103-0075

Parcel 2:

That portion of 4800 Street as Vacated per Ordinance No. 855, Recorded October 28, 2022 in Document No. 3261323, Official Records Weber County.

Certification

To GS Development, LLC, Redevelopment Agency of Riverdale City, Tesla Motors UT, Inc., Tesla Inc., and its respective affiliates, successors, and assigns, Land Services USA, LLC and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 8, 11(a), 13, 16, 17, 18 and 19 of Table A thereof. The field work was completed on November 9, 2022.

Date: 8 May, 2023



ALTA / NSPS Land Title Survey

Riverdale RDA Parcel

1500 West Riverdale Road, 4800 South 1500 West Riverdale City, Weber County, Utah 84116

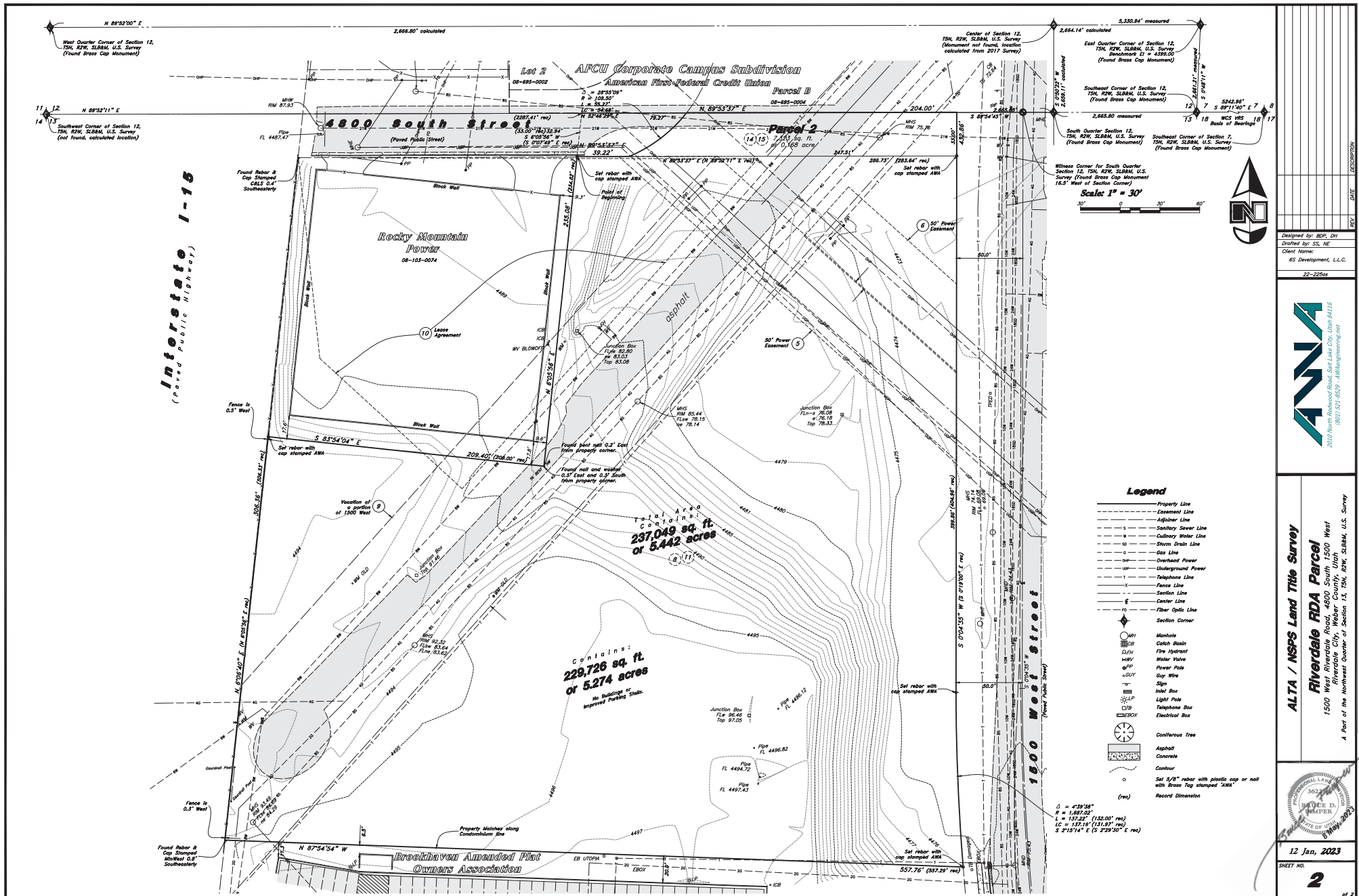
A Part of the Northeast Quarter of Section 13, T5N, R2W, S16M, U.S. Survey

12 Jan, 2023

SHEET NO.

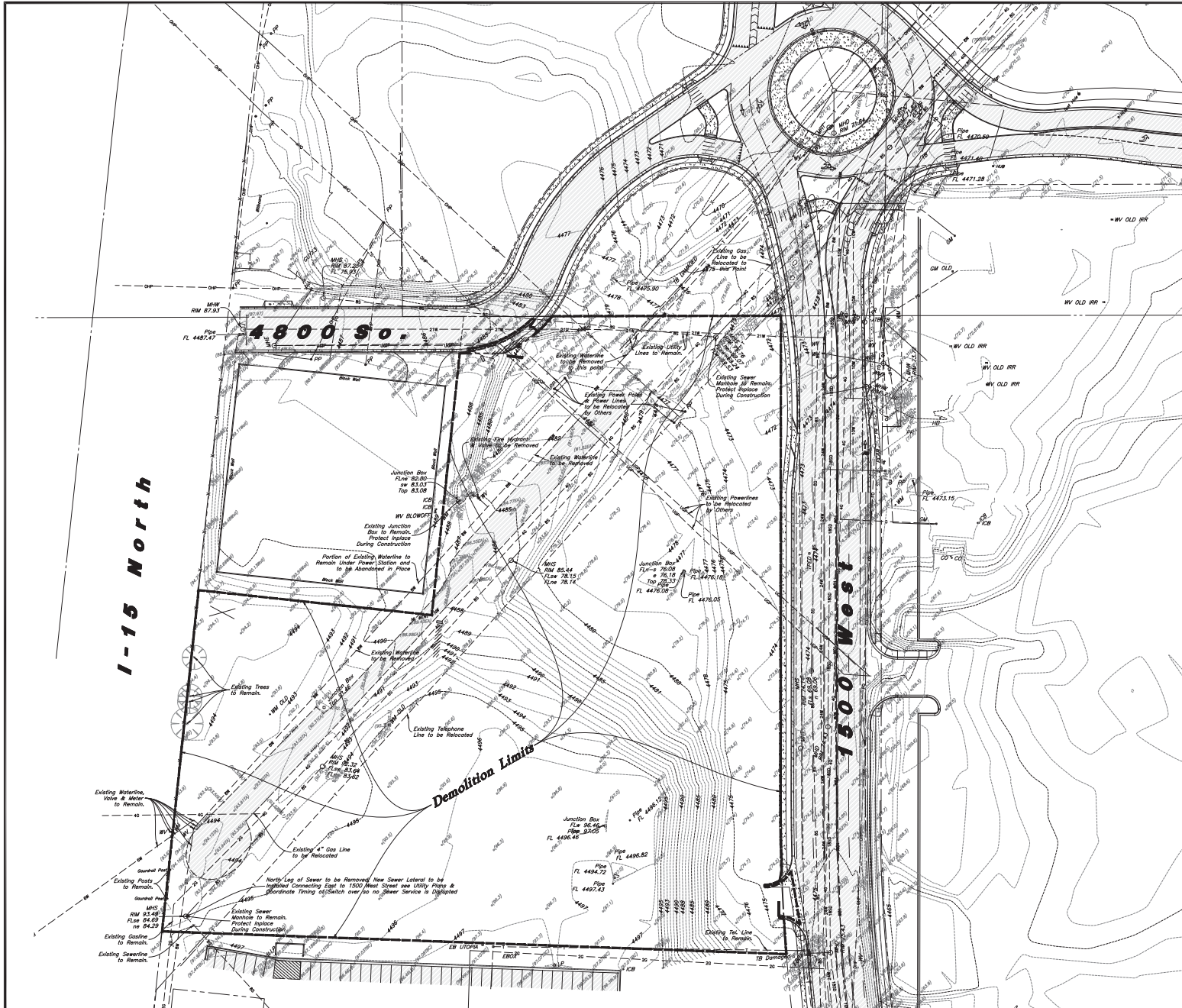
1

2



ALTA / NSPS Land Title Survey
Riverdale RDA Parcel
 1500 West Riverdale Road, 4800 South 1500 West
 Riverdale City, Utah 84116
 A Part of the Normal Center of Section 15, T4N, R2W, S28&M, U.S. Survey

12 Jan, 2023
 SHEET NO. **2**



Scale: 1" = 40'

General Demolition Notes

1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
2. Refer to site improvement plans for more details on limits of removal.
3. All curbs, gutters, walks, slopes, walls, fences, footwork, asphalt, sidewalks and meters, gas trees, sewer trees, light poles, buried cables, storm drain piping and structures within the demolition limits to be cleared from site unless otherwise shown.
4. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
5. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-76. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
6. Clear and grub trees, shrubs, and vegetation within demolition limits, disposed to be off-site except where noted otherwise.
7. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
8. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
10. Slopeclipses shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
11. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
12. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
13. Install traffic warning devices as needed in accordance with local standards.
14. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
15. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of soil materials or contaminated soil.
16. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.
17. Contractor shall show and protect neighboring properties per GDM state, during excavation activities when necessary. If excavation shall remain on and within the bounds of the subject property. Unless specifically noted on the plans and approved from the adjoining neighbor has been obtained prior to any excavation beyond the subject property limits.

CAUTION :

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



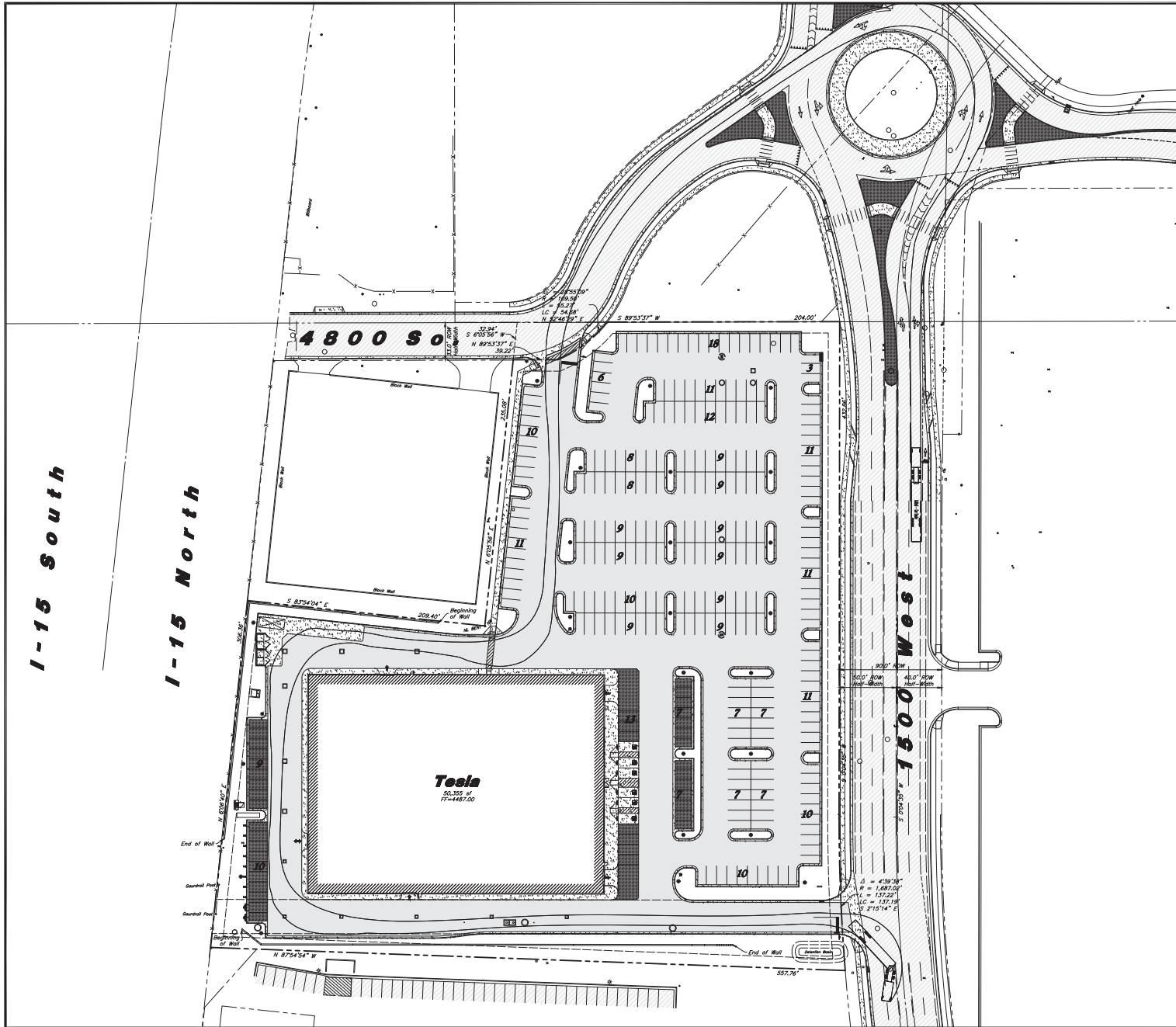
Demolition Plan
Tesla Riverdale
4851 South 1500 West
Riverdale, Utah 84405



9 May, 2023

SHEET NO.

CO.1



Site Data
Site Area = 237,049 s.f. (5.442 ac.)
Landscape Area Provided = 39,389 s.f. (17%)
Decorative Concrete Area Provided = 6,799 s.f. (3%)
Total Landscape Area Provided = 46,188 s.f. (20%)
Impervious Area Provided = 140,506 s.f. (59%)
Building Area = 50,335 s.f. (21%)
Parking Provided = 305 stalls (6.06/1,000)

Hatch Legend

	Standard Asphalt Paving
	Existing Asphalt Paving
	Standard Concrete Paving
	Decorative Concrete Paving
	Existing Concrete Paving
	Building Interior

Damaged Improvement Note

All missing, nonfunctioning and / or damaged surface improvements shall be replaced. (Sloewalk, Curb & Gutter, Fencing etc...)

Note:
All construction Materials shall meet Riverside City Standards.

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

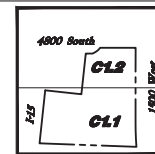
The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in their bid. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against the least three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.



Key Map
Not to Scale

Overall Site Plan

Tesla Riverdale

4851 South 1500 West

Riverdale, Utah 84405

DESIGNED BY: JF

DRAWN BY: DC/NE

CLIENT NAME:

6S Development, LLC

22-225 SP

2019 West Riverdale Road, Salt Lake City, Utah 84119

(801) 521-8529 • info@andersonwahlen.com

NO. 7884936

UTAH

East LaVer

State of Utah

Surveyor or Civil Engineer

9 May, 2023

SHEET NO.

C1.0

Hatch Legend

- Standard Asphalt Paving
- Existing Asphalt Paving
- Standard Concrete Paving
- Decorative Concrete Paving
- Existing Concrete Paving
- Building Interior

Damaged Improvement Note

All missing, nonfunctioning and / or damaged surface improvements shall be replaced. (Sidewalk, Curb & Gutter, Fencing, etc.)

Note: All construction Materials shall meet Riverside City Standards.

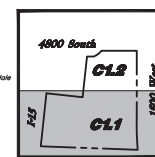
General Site Notes

- All dimensions are to back of curb unless otherwise noted.
- Fire line markings and signs to be installed as directed by the Fire Marshal.
- Able markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

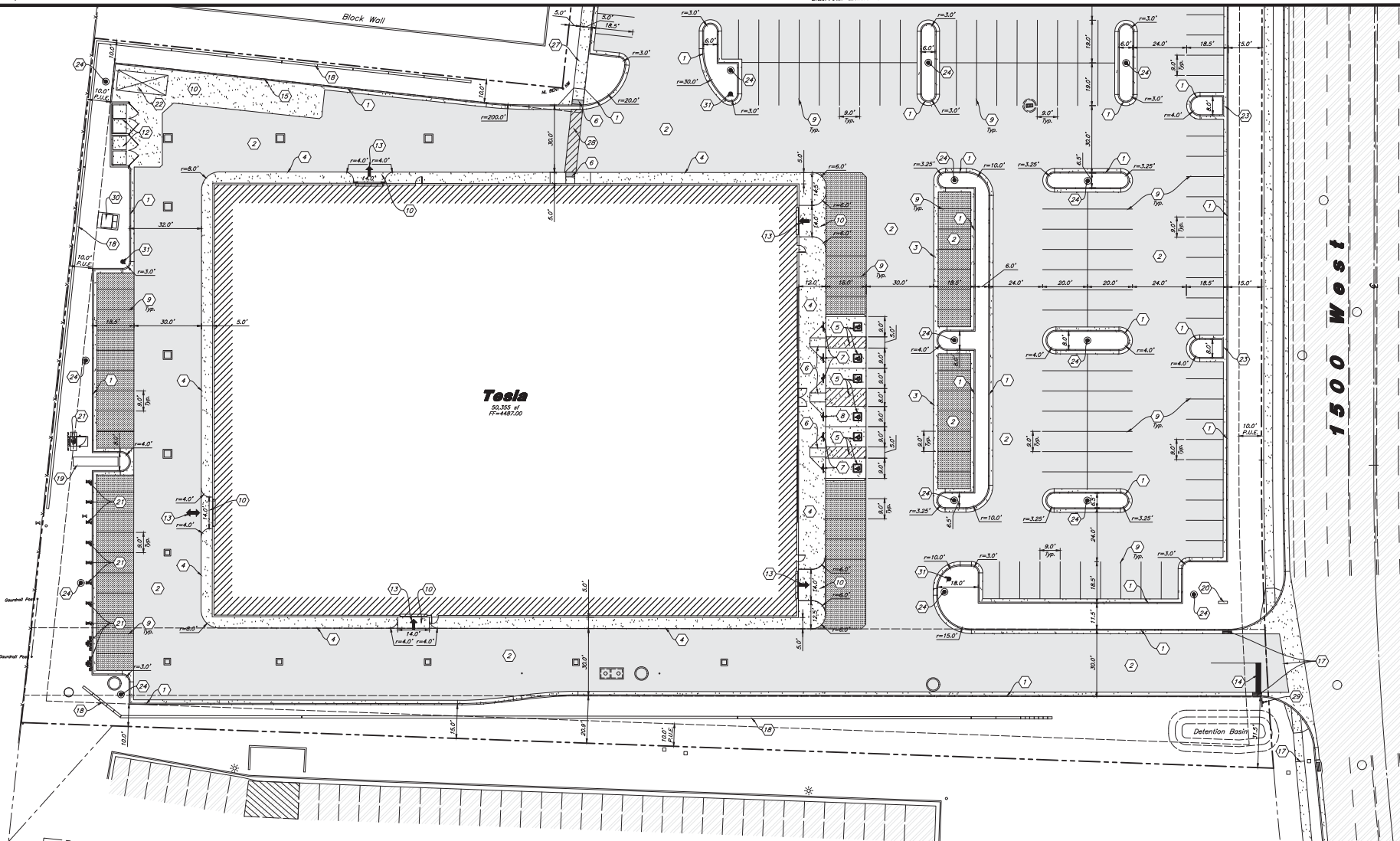
Site Construction Notes

- Const. 24" Curb & Gutter
- Const. Asphalt Paving
- Const. 2" Conc. Waterway
- Const. Thickened Edge Sidewalk
- Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets)
- Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mile min. Dry Thickness (Two Coats)
- Const. Conc. Paving
- Sewer: Provide Smooth Clean Edge
- Dumpster Enclosure (See Arch. Plans)
- Const. Directional Arrows per MUTCD
- Const. 24" White Stop Bar
- Const. 6" Conc. Curb Wall
- Const. Stop Sign per MUTCD R1-1
- Conn. & Match Existing Improvements
- Const. Conc. Red-Rock Retaining Wall (refer to Grading Plan for Elevations & Structural Plans for Wall Design)
- Pylon Sign by Separate Permit
- Monument Sign by Separate Permit
- Electric Charging Station/Cabinet, See Elec. Plans
- 40 Yard Dumpster, See Arch. Plans
- Const. Thru Planter
- Site Lighting: See Electrical Plans
- Const. 5" Conc. Waterway
- Const. Pedestrian Ramp per Riverside City Stds.
- Const. Conc. Sidewalk
- Const. Crosswalk
- Const. Stop Sign per MUTCD R1-1
- Transformer Location
- Fire Hydrant per Riverside City Stds.

Match Line See Sheet C1.2



Scale: 1" = 20'



Designed by: JF
 Drafted by: DC/NE
 Client Name:
 6S Development, LLC
 22-225 SP



Site Plan
Tesla Riverdale
 4851 South 1500 West
 Riverdale, Utah 84405



9 May, 2023
 SHEET NO.
C1.1

Site Construction Notes

- 1 Const. 24" Curb & Gutter
- 2 Const. Asphalt Paving
- 3 Const. 2" Conc. Waterway
- 4 Const. Thickened Edge Sidewalk
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- 6 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets)
- 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- 8 Const. Accessible VNI Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- 9 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. Dry Thickness (Two Coats)
- 10 Const. Conc. Paving
- 11 Sawcut, Provide Smooth Clean Edge
- 12 Dumpster Enclosure (See Arch. Plans)
- 13 Const. Directional Arrows per MUTCD
- 14 Const. 24" White Stop Bar
- 15 Const. 6" Conc. Curb Wall
- 16 Const. Stop Sign per MUTCD R1-1
- 17 Conn. & Match Existing Improvements
- 18 Const. Conc. Red-Rock Retaining Wall (refer to Grading Plan for Elevations & Structural Plans for Wall Details)
- 19 Pylon Sign by Separate Permit
- 20 Monument Sign by Separate Permit
- 21 Electric Charging Station/Cabinet. See Elec. Plans
- 22 40 Yard Dumpster. See Arch. Plans
- 23 Const. Thru Planter
- 24 Site Lighting: See Electrical Plans
- 25 Const. 5" Conc. Waterway
- 26 Const. Conc. Sidewalk
- 27 Const. Crosswalk
- 28 Const. Stop Sign per MUTCD R1-1
- 29 Transformer Location
- 30 Fire Hydrant per Riverside City Stds.

General Site Notes

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

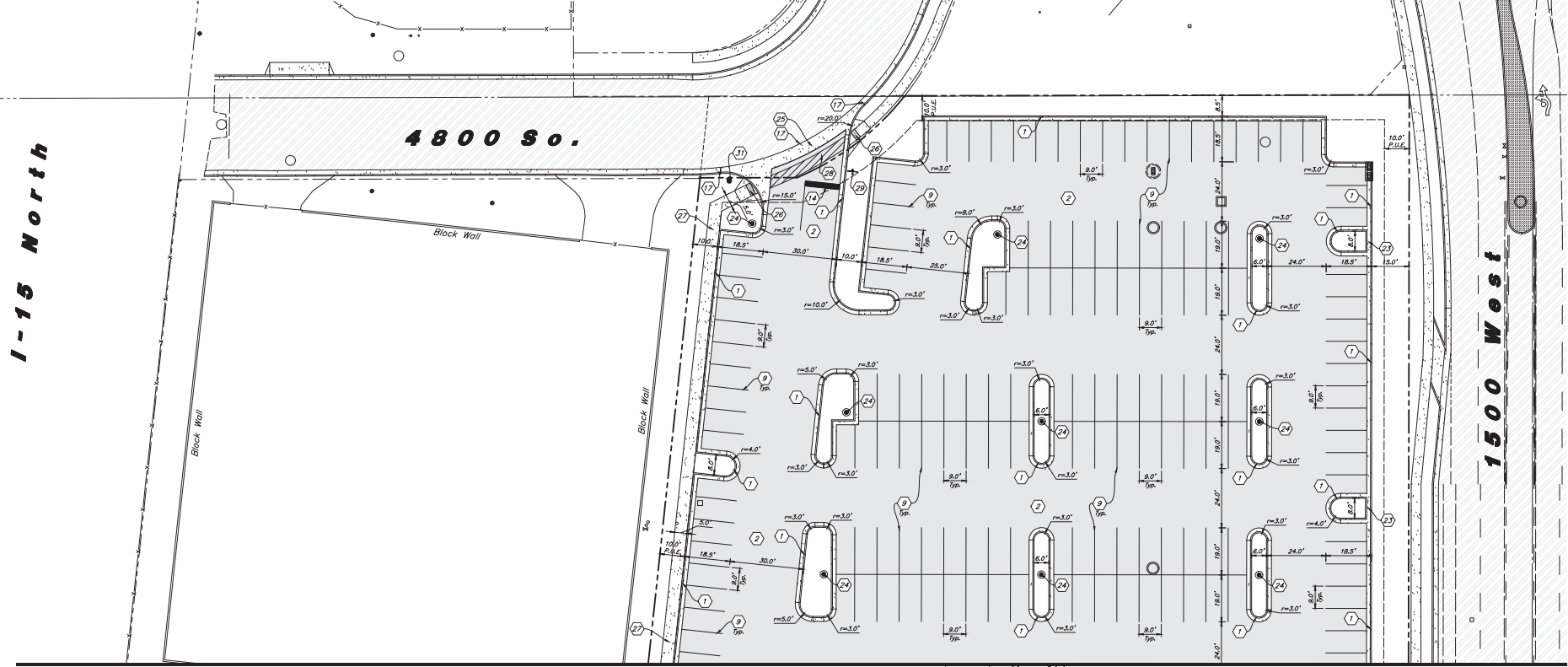
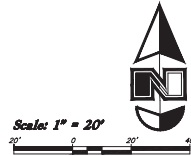
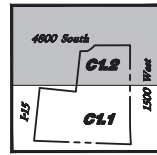
Hatch Legend

- Standard Asphalt Paving
- Existing Asphalt Paving
- Standard Concrete Paving
- Decorative Concrete Paving
- Existing Concrete Paving
- Building Interior

Damaged Improvement Note

All missing, nonfunctioning and / or damaged surface improvements shall be replaced. (Sidewalk, Curb & Gutter, Fencing etc...)

Note:
All construction Materials shall meet Riverside City Standards.



Match Line See Sheet C1.1

Designed by: JF
Drafted by: DC/NE
Client Name:
6S Development, LLC
22-225 SP



Site Plan

Tesla Riverdale
4851 South 1500 West
Riverville, Utah 84405



9 May, 2023

SHEET NO.
C1.2

General Grading Notes:

1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be banded into competent material as per specifications and geotechnical report.
7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be

Identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.

10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.

16. Aggregate base shall be compacted per the Geotechnical report prepared for the project.
17. The recommendations in the following Geotechnical Engineering Report by GSI Geotechnical, Inc. are included in the requirements of grading and site preparation. The Report is titled "Geotechnical Study Proposed Riverside Car Dealership Approximately 4800 South 1500 West Riverside, Utah".

Project No.: 3640-001-22
Date: January 3, 2023

18. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
19. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soils.

Curb and Gutter Construction Notes:

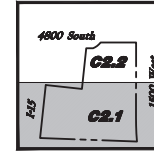
1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
5. Transitions from open face to standard curb and gutter are to be smooth, hand form these areas if necessary.
6. Spot elevations are shown on this plan with test markings. Coordinate and verify site information with project drawings.

Sidewalk Construction Notes:

1. Concrete sidewalks shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan, where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.

Building Pad Notes:

1. Any Excavation for the Building Structure must be placed on suitable natural soils or on structure/engineered fill materials as discussed in the Geotechnical Engineering Study.

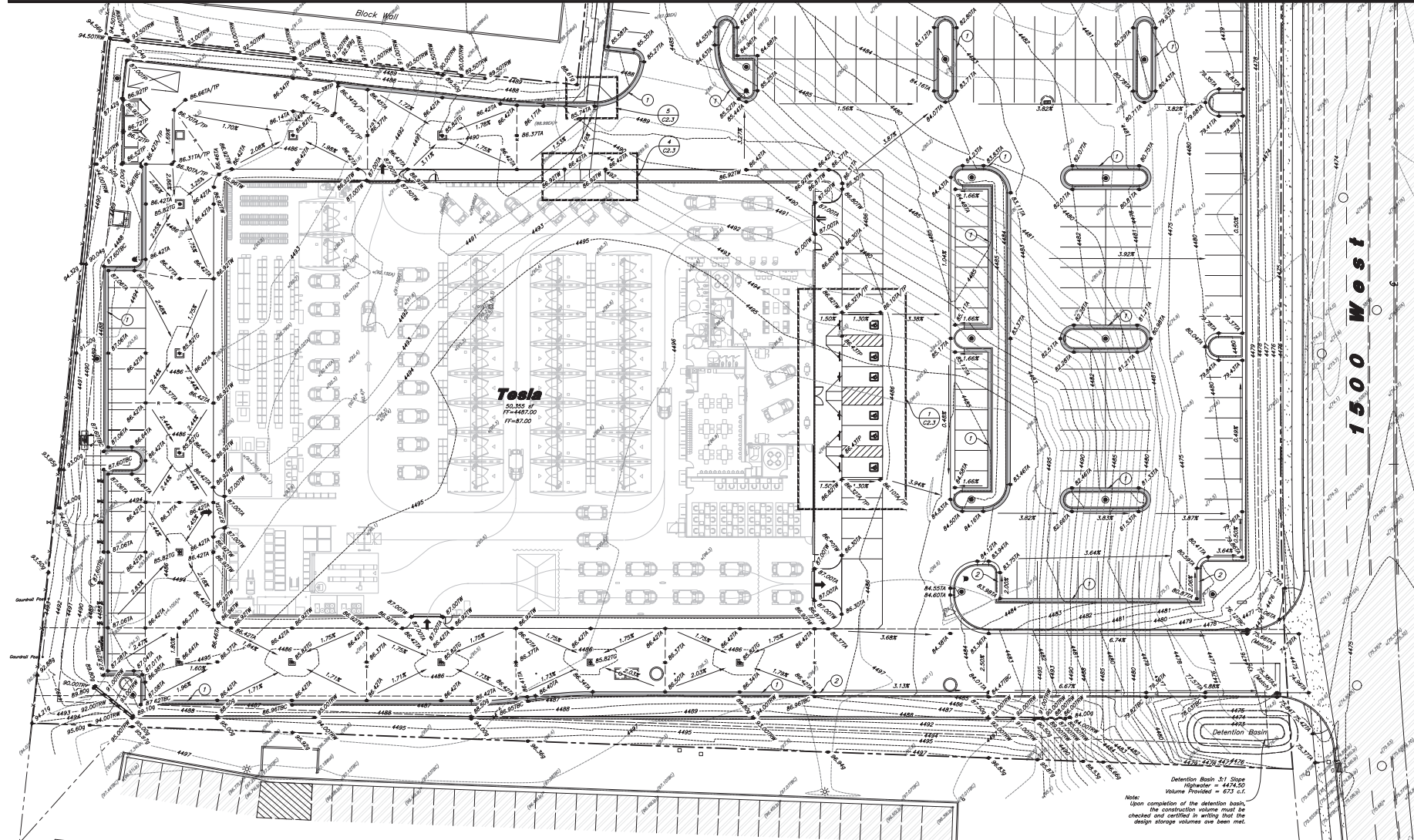


Key Map
Not to Scale

Scale: 1" = 20'



Match Line See Sheet C2.2



Detention Basin 3:1 Slope
Highwater = 4474.50
Volume Provided = 673 c.f.

Note:
Upon completion of the detention basin,
the construction volume must be
checked and certified in writing that the
design storage volumes are been met.

DESIGNED BY: JF

DRAWN BY: DC/NE

CLIENT NAME:

6S Development, LLC

22-225 GR

2019 West Highland Avenue, Suite 64110
(801) 521-8529 - info@annaengineering.net

Grading Plan

Tesla Riverdale

4851 South 1500 West
Riverdale, Utah 84405

9 May, 2023

SHEET NO.

C2.1

General Grading Notes:

1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be benched into competent material as per specifications and geotechnical report.
7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
17. The recommendations in the following Geotechnical Engineering Report by GSI Geotechnical, Inc. are included in the requirements of grading and site preparation. The report is titled "Geotechnical Study xxx".
Project No: xxx
Date: xx, 2023
18. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
19. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of solid materials or contaminated soil.

Curb and Gutter Construction Notes:

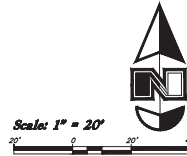
1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
5. Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
6. Spot elevations are shown on this plan with test markings. Coordinate and verify site information with project drawings.

Sidewalk Construction Notes:

1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan, where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.



Key Map
Red is Sub



1-15 North

4800 So.

1500 West

Match Line See Sheet C2.1

Designed by: JT
Drafted by: DC/NE
Client Name:
6S Development, LLC
22-225 GR



Grading Plan

Tesla Riverdale

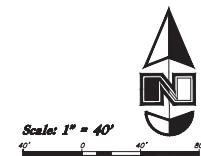
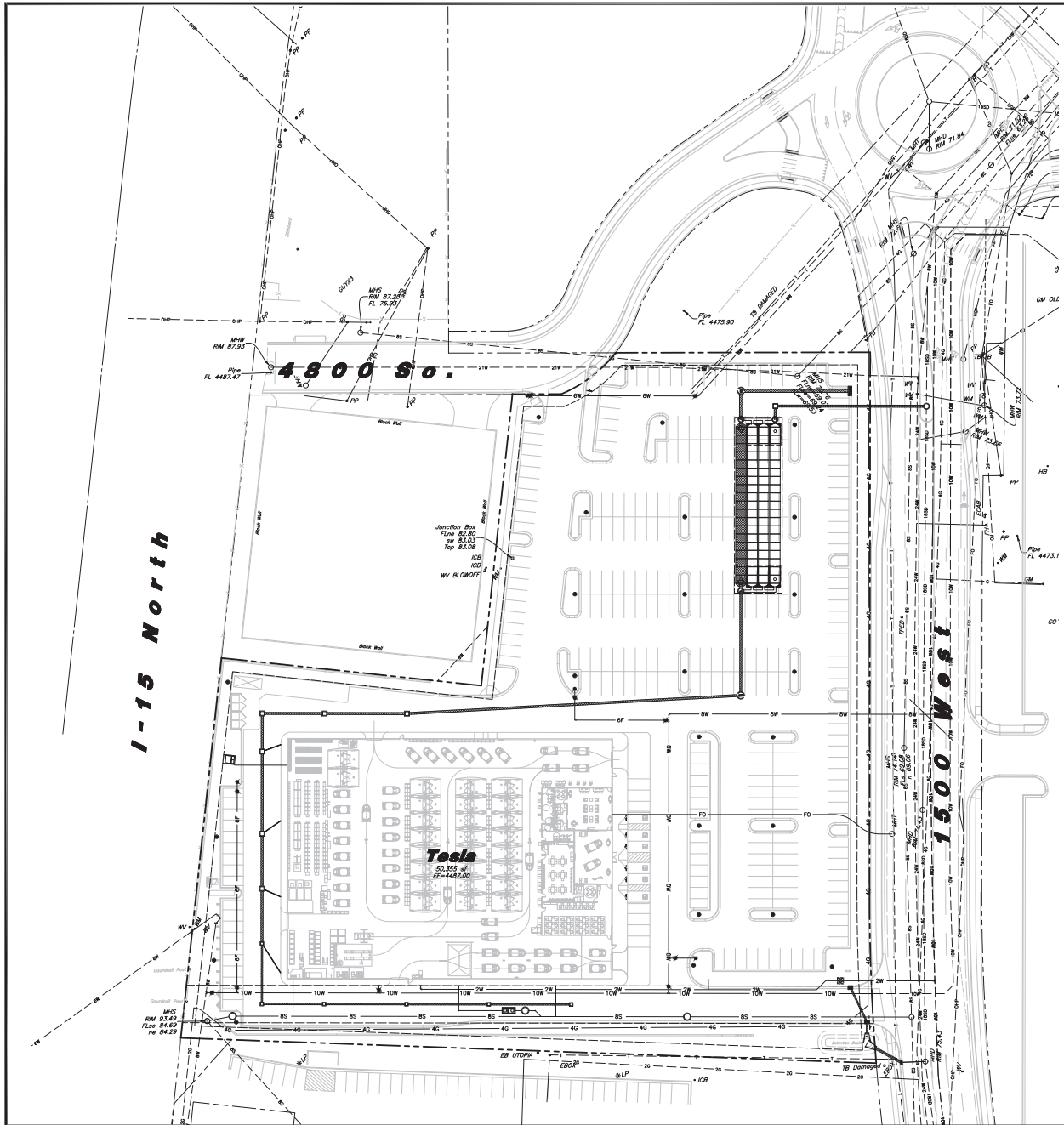
4851 South 1500 West
Riverdale, Utah 84405



9 May, 2023

SHEET NO.

C2.2



General Utility Notes

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basins and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities or necessary including valve boxes and hydrant spools to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.
10. All service lines or main line that are PVC or Poly will need to include a tracer wire.
11. All construction and materials shall meet Riverside City Standards.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter): AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type 'K'.

Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, DR 18

Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type FPM, SDR 35

Storm Drain Lines

1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type FPM, SDR 35
2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

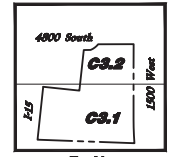
CAUTION :

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Storm Drain & Sanitary Sewer Notes
All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Onsite Utility Connection Notes:

1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any onsite utility construction. Onsite lines are to be constructed starting at the lowest point and be installed prior to any waterline installation.
3. Construction of any onsite utilities prior to the onsite connection will be done at the contractors risk.



Overall Utility Plan

Tesla Riverdale
4851 South 1500 West
Riverdale, Utah 84405

9 May, 2023

C3.0

DESIGNED BY: JF

DRAWN BY: DC/NE

CLIENT NAME: 6S Development, LLC

22-225 UT

DATE: 05/03/2023

BY: JF

DATE: 05/03/2023

General Utility Notes

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basins and inlet box grates are to be bayside proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to correct any existing conditions necessary to clear sewer, storm drain, or other utilities in necessary including valve boxes and hydrant spools to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the easement.
10. All service lines or main line that are PVC or Poly will need to include a tracer wire.
11. All construction and materials shall meet Riverside City Standards.

Utility Piping Materials

- All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.
- Culinary Service Laterals**
1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), ASTM C901, PE 3408, SDR 9 (200 psi).
 2. Copper Pipe (Up to 3 inches diameter), type K.
- Water Main Lines and Fire Lines**
1. Polyvinyl Chloride (PVC) 4 inches to 12 inches (diameter), ASTM C900, DR 18
- Sanitary Sewer Lines**
1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type F304, SDR 35
- Storm Drain Lines**
1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type F304, SDR 35
 2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

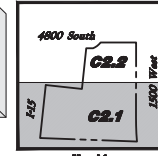
CAUTION:

The locations and/or elevations of existing utilities as shown on these plans are based on records of the vertical utility companies only. Where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Storm Drain & Sanitary Sewer Notes
All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Onsite Utility Connection Notes:

1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any onsite utility construction. Density lines are to be constructed starting at the lowest point and be installed prior to any exterior installation.
3. Construction of any onsite utilities prior to the onsite connection will be done at the contractor's risk.

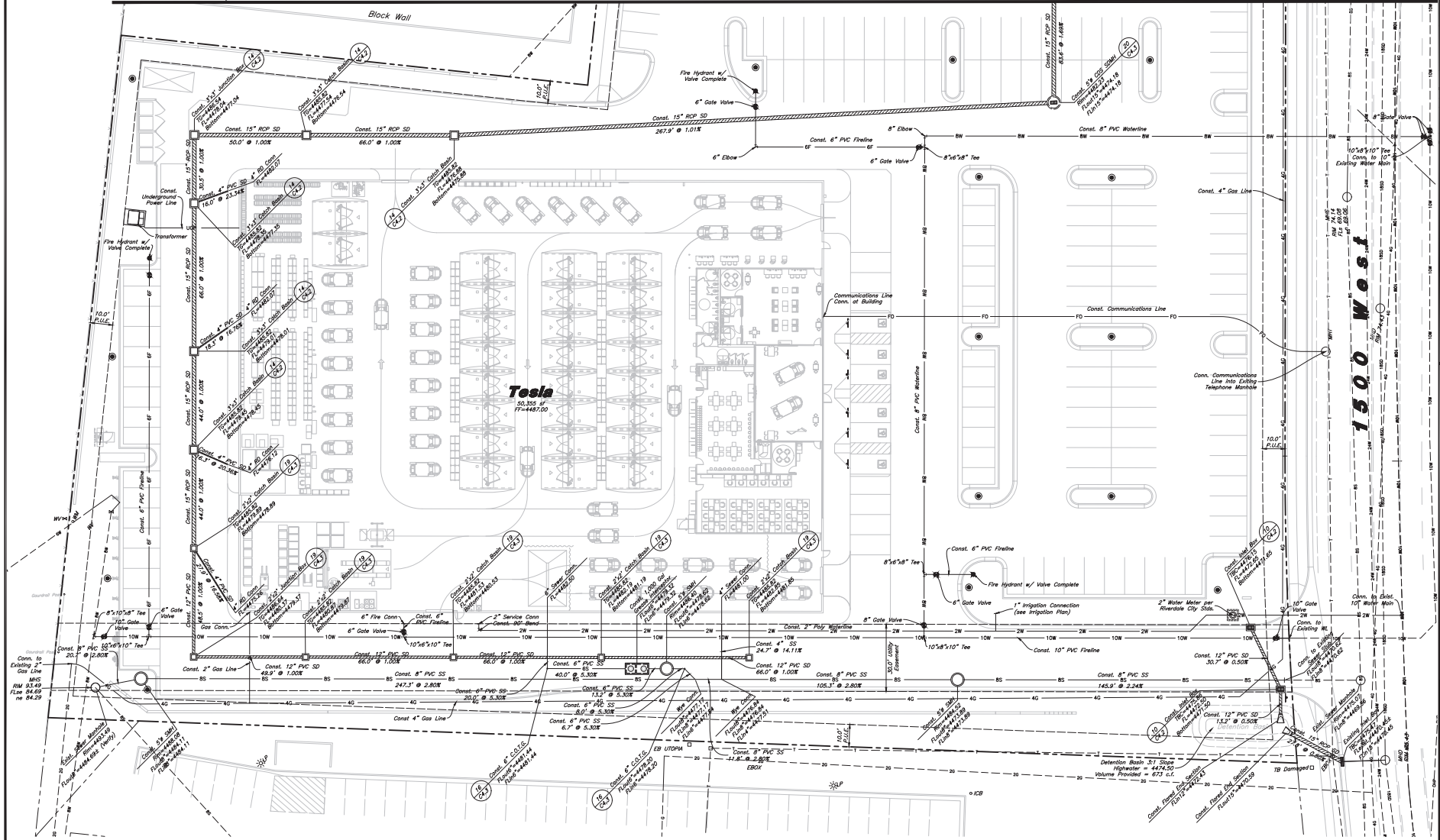


Key Map
Not to Scale

Scale: 1" = 20'

0' 20' 40'

Match Line See Sheet C2.2



Designed by: JT
Drafted by: DC/NE
Client Name:
6S Development, LLC

22-225 UT

ANNA
2019 Anna Technical Group, South Lake City, Utah 84110
(801) 521-8529 - annatechgrouping.com

Utility Plan
Tesla Riverdale
4851 South 1500 West
Riverdale, Utah 84405

9 May, 2023
SHEET NO.
C3.1

General Utility Notes

- All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basins and inlet box grates are to be bicycle proof.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans.
- Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spoils to proper grade.
- Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.
- All service lines or main line that are PVC or Poly will need to include a tracer wire.
- All construction and materials shall meet Riverside City Standards.

CAUTION :
The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Utility Piping Materials

All piping materials shall be per local agency standards or the specifications below of a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

- Polyethylene (PE) Water Pipe (Up to 3 inches diameter), ASTM D2001, PE 3408, SDR 9 (200 psi)
- Copper Pipe (Up to 3 inches diameter), Type K.

Water Main Lines and Fire Lines

- Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter), ASTM D3035, SDR 18

Sanitary Sewer Lines

- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

- 12" pipes or smaller — Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- 15" pipes or larger — Reinforced Concrete Pipe, ASTM C76, Class III

Storm Drain & Sanitary Sewer Notes

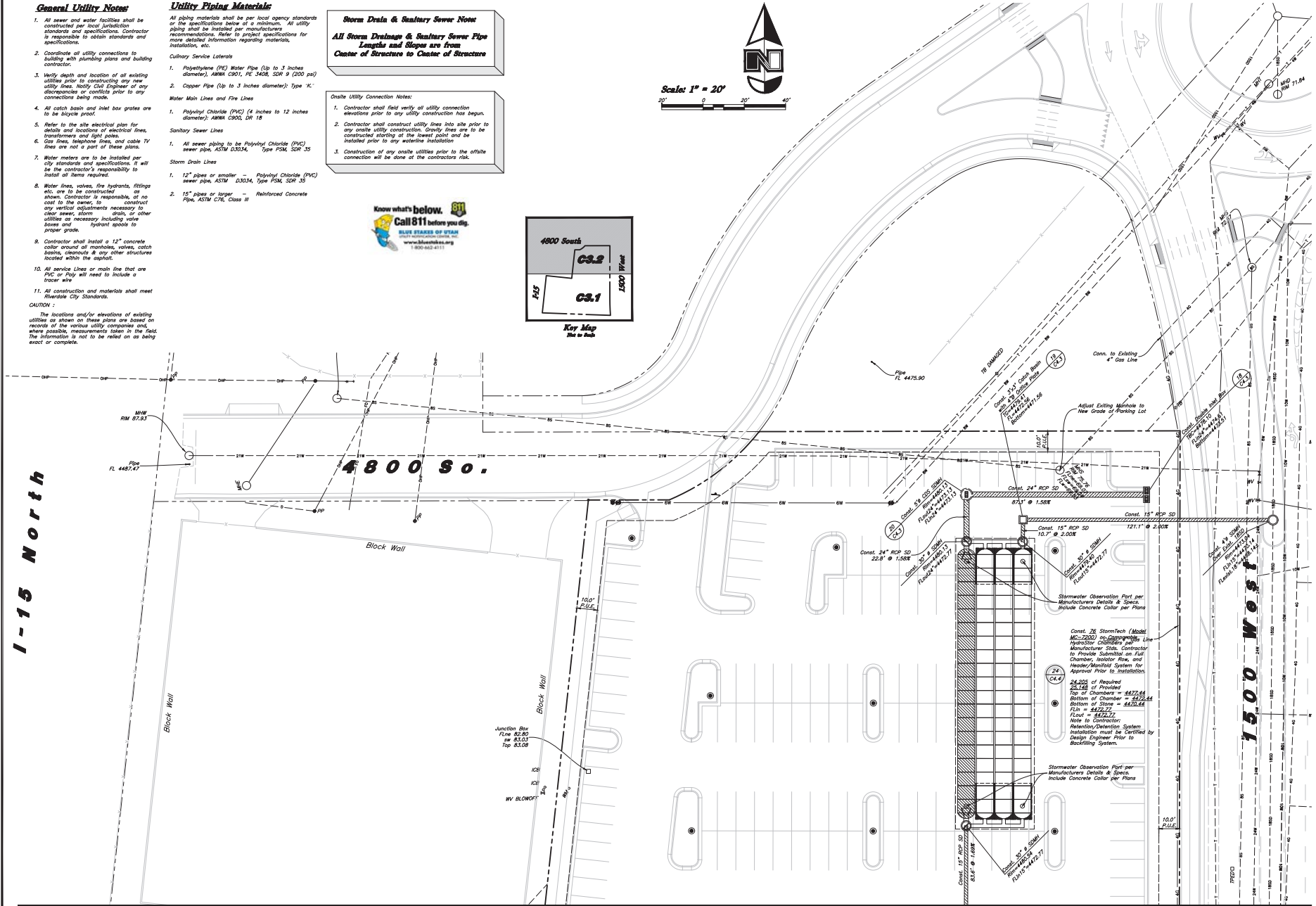
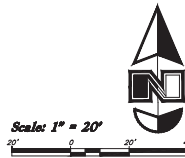
All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structures

Onsite Utility Connection Notes:

- Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
- Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any exterior installation.
- Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.



Key Map
Not to Scale



Match Line See Sheet C3.1

DESIGNED BY	DR	DATE	05/05/2023
DRAWN BY	DR	DATE	05/05/2023
CHECKED BY	DR	DATE	05/05/2023
APPROVED BY	DR	DATE	05/05/2023

Designed by: JT
Drafted by: DC/NE
Client Name:
6S Development, LLC

22-225 UT



Utility Plan

Tesla Riverdale

4851 South 1500 West
Riverdale, Utah 84405

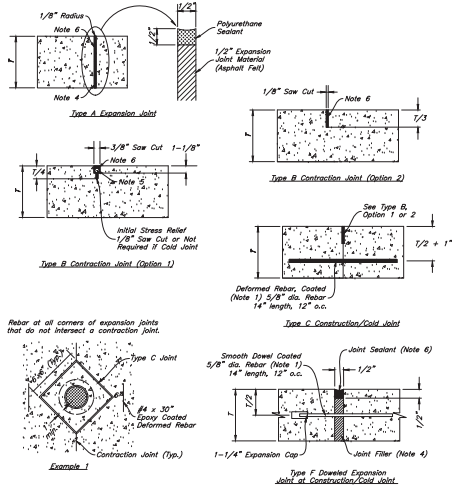


9 May, 2023

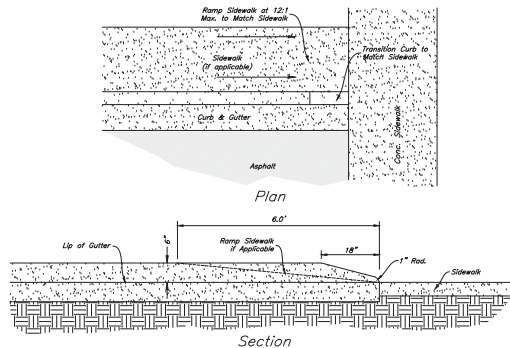
SHEET NO.

C3.2

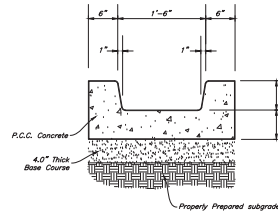
- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
 - Space rebar and dowels at 12 to 15 inches on center.
 - Grease dowels to provide movement in expansion joints.
 - Keep the bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
- SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommended by sealant manufacturer and approved by ENGINEER.
- JOINTS:** Lay out joints to aid construction and control random cracking.
 - Joint Spacing shall be 12 feet maximum on center in both directions.
 - Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
 - Make adjustments in joint locations to meet inlet or manhole locations.
 - Expansion joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
- JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D994. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
- BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
- JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleanings.



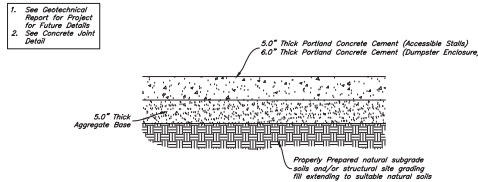
Concrete Joint Detail
Not to Scale



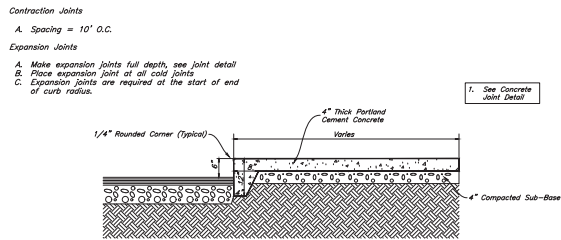
Curb Transition
Not to Scale



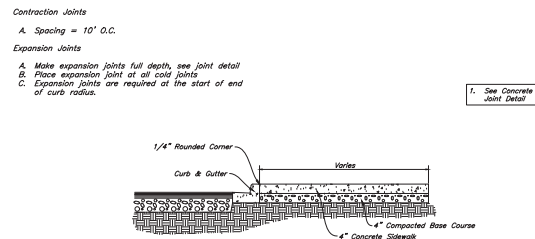
Thru Planter Drainage Channel Detail
Not to Scale



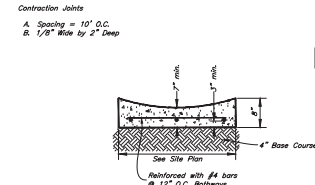
Concrete Paving Section
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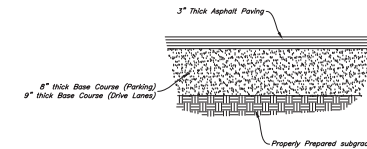
Thickened Edge Walk
Not to Scale



Typical Sidewalk Detail
Not to Scale

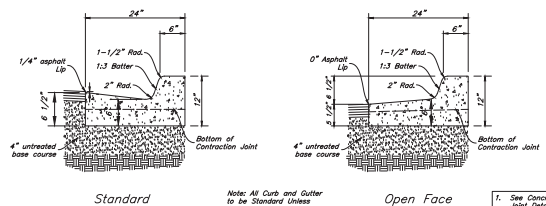


Typical Waterway Detail
Not to Scale



Standard Asphalt Section
Not to Scale

- Contraction Joints:**
 - Spacing = 10' o.c., see joint detail.
 - 1/8" wide by 2" deep from top of curb at 15'-0" intervals.
- Expansion Joints:**
 - Make expansion joints full depth, see joint detail.
 - Place expansion joint at all cold joints.
 - Expansion joints are required at ends of all road O.R.
 - Required 5'-0" on each side of drainage structures.
 - Required at 50'-0" maximum intervals in straight curb and gutter.
 - Provide #6 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (5" thick bituminous filler material).
- 2'-8" Long tie bar on 2'-8" centers shall be provided when curb is adjacent to P.C.C. pavement.
- Provide (2) #6 x 2'-8" long tie bars to connect existing and new curb and gutter.
- Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.
- All road shall be true arcs.
- Medium to light brown finish on all exterior concrete.



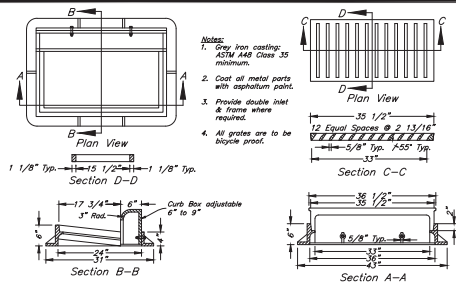
24" Curb And Gutter
Not to Scale



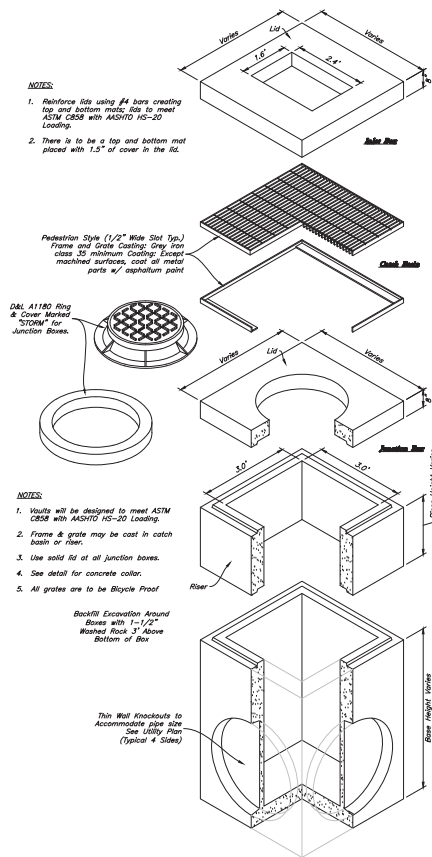
Details
Tesla Riverdale
4851 South 1500 West
Riverdale, Utah 84405



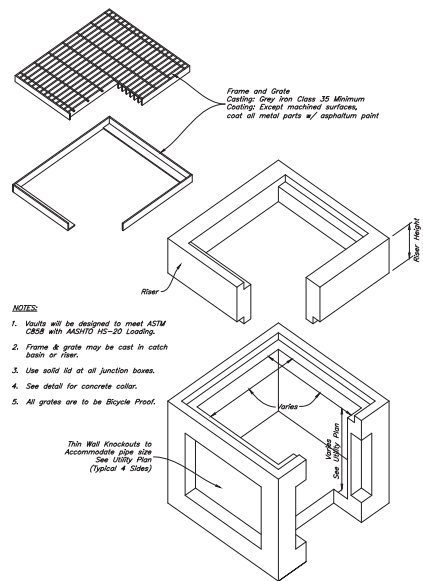
9 May, 2023
SHEET NO.
C4.1



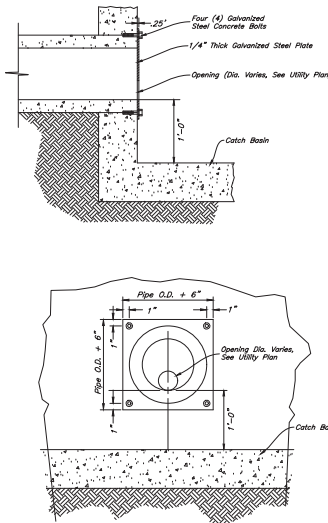
15 Inlet Grate Frame
Not to Scale



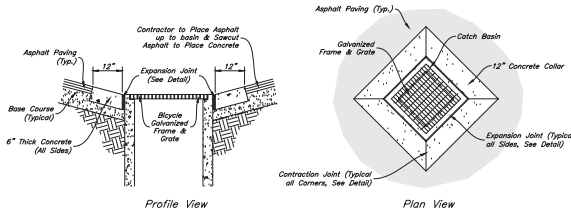
14 Precast 3' x 3' Catch Basin Junction Box/Inlet
Not to Scale



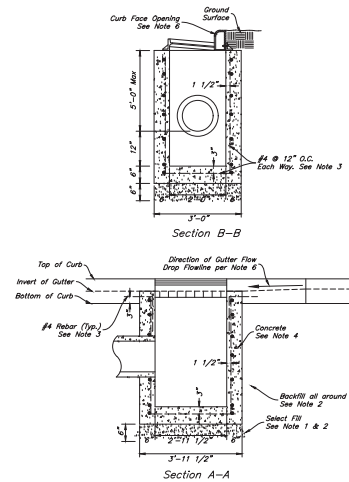
13 Precast Catch Basin
Not to Scale



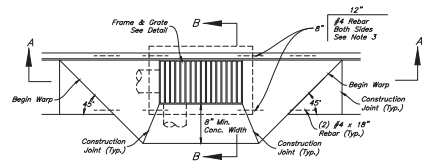
12 Orifice Plate Detail
Not to Scale



11 Concrete Collar Detail
Not to Scale

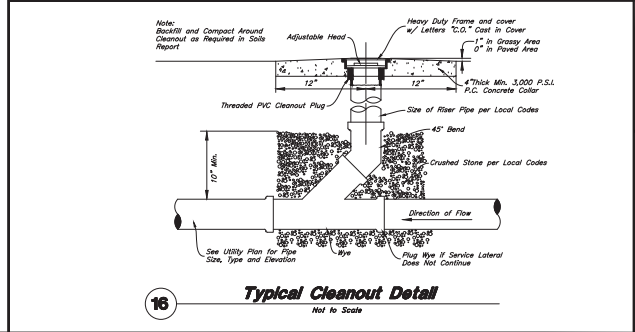
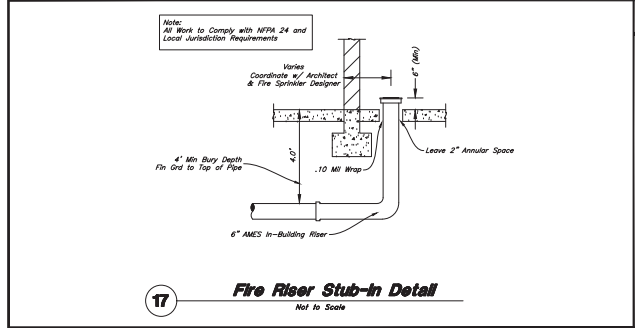
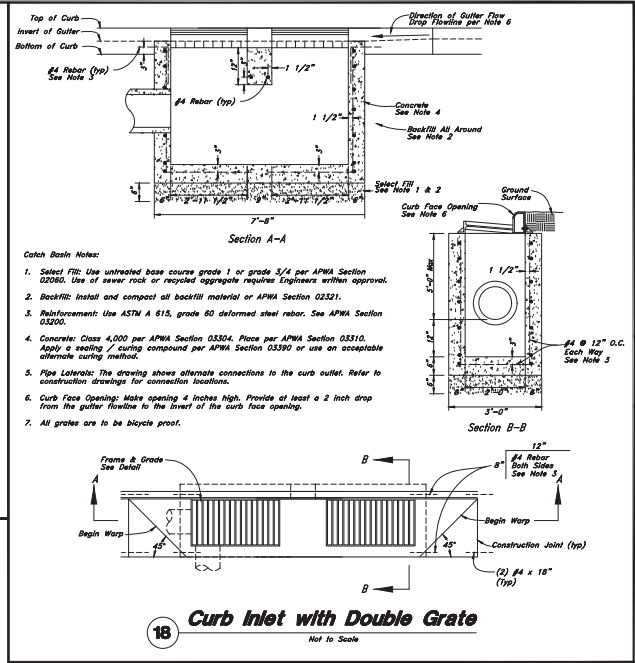
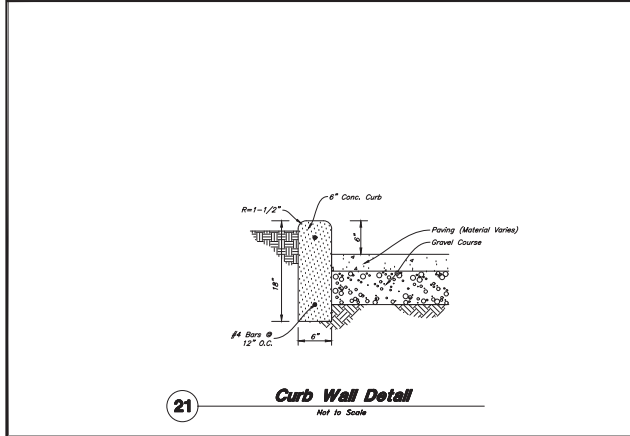
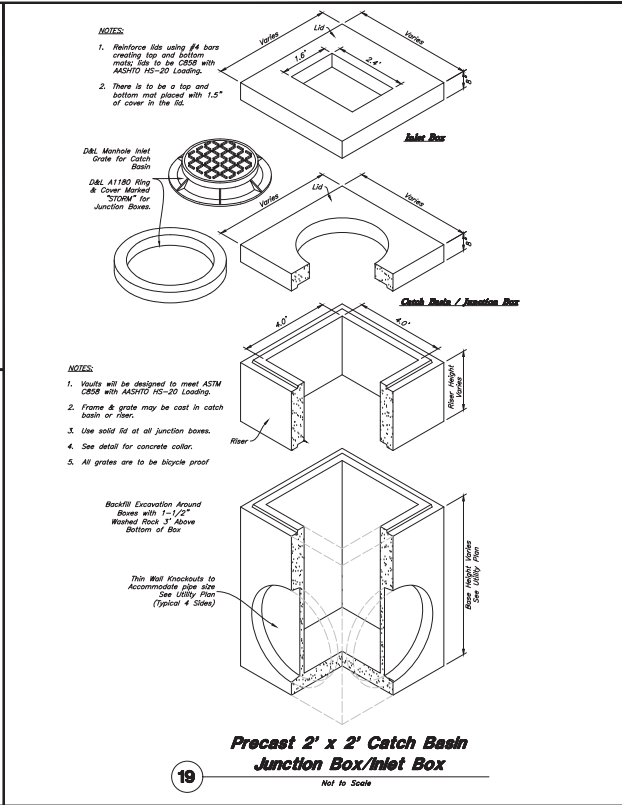
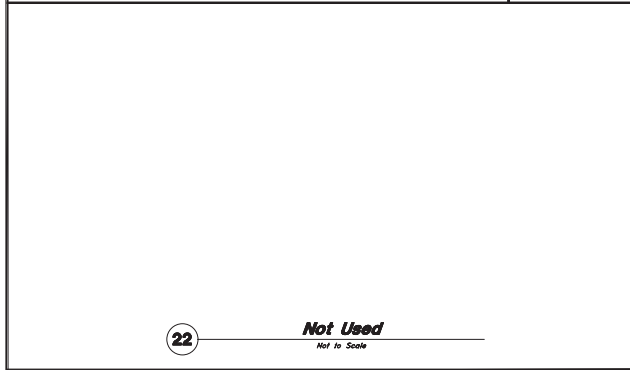
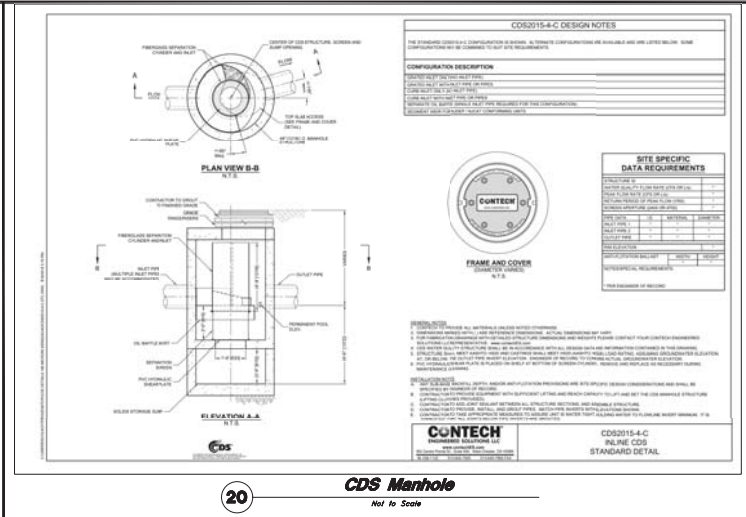
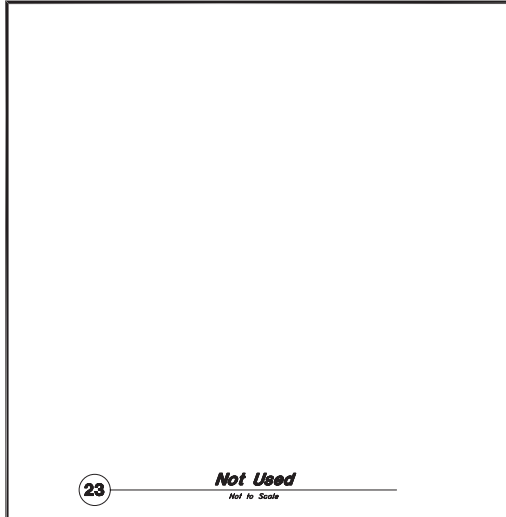


- Catch Basin Notes:**
1. Select Fill: Use untreated base course grade 1 or grade 3/4 per APWA Section 02060. Use of sewer rock or recycled aggregate requires Engineers written approval.
 2. Backfill: Install and compact all backfill material or APWA Section 02321.
 3. Reinforcement: Use ASTM A 615, grade 60 deformed steel rebar. See APWA Section 03300.
 4. Concrete: Class 4,000 per APWA Section 03304. Place per APWA Section 03310. Apply a sealing / curing compound per APWA Section 03390 or use an acceptable alternate curing method.
 5. Pipe Laterals: The drawing shows alternate connections to the curb outlet. Refer to construction drawings for connection locations.
 6. Curb Face Opening: Make opening 4 inches high. Provide at least a 2 inch drop from the gutter line to the invert of the curb face opening.
 7. Conc. Apron in front of Inlet Grate to be 8\" min. & 12\" max.



10 Curb Inlet with Single Grate
Not to Scale

DESIGNED BY: J. J. RIVERDALE DRAFTED BY: J. J. RIVERDALE CLIENT NAME: 6S Development, LLC 22-225 UT	
2019 Tesla Riverdale, LLC. All Rights Reserved. (801) 521-8829 • info@teslauriverdale.com	
Details Tesla Riverdale 4851 South 1500 West Riverdale, Utah 84405	
9 May, 2023 SHEET NO. C4.2	

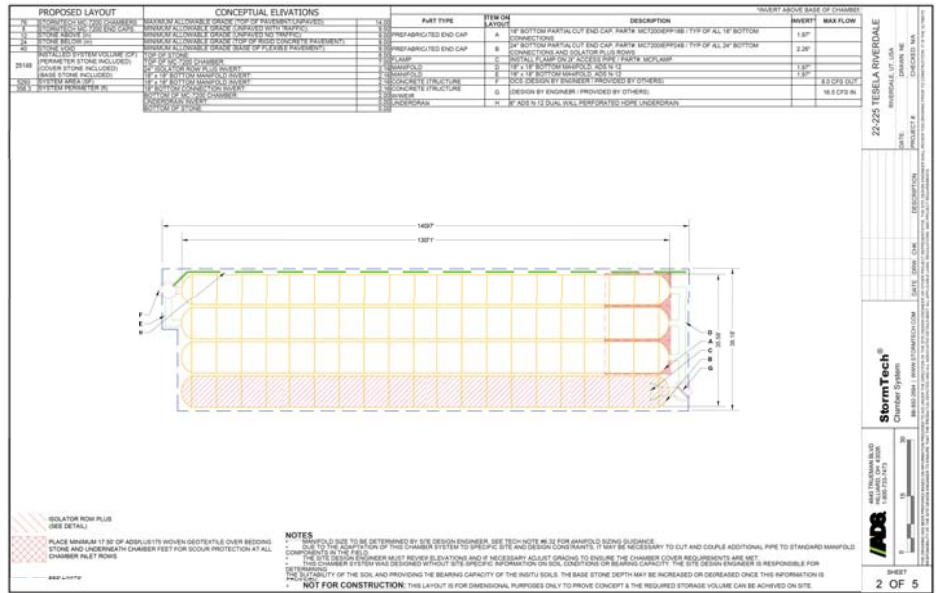
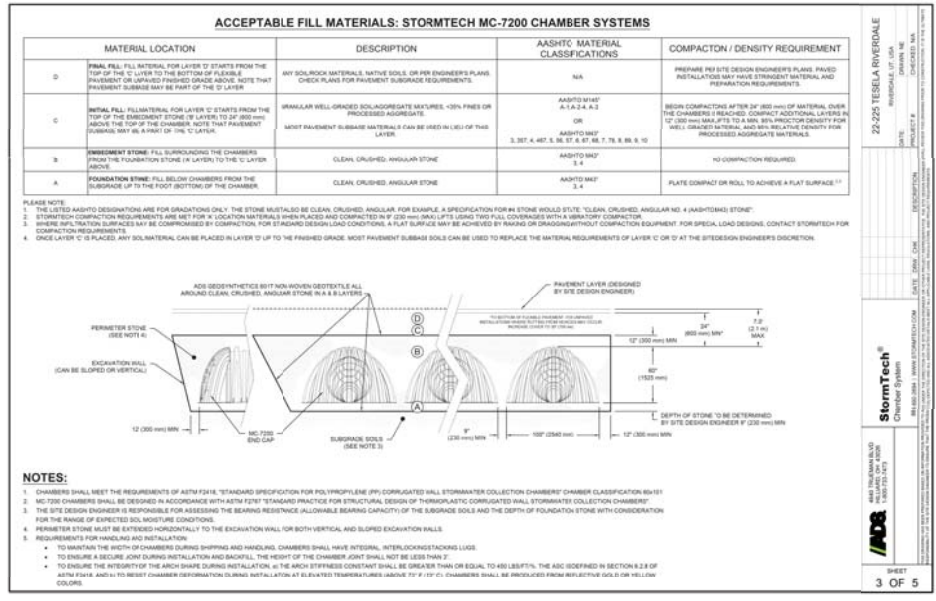
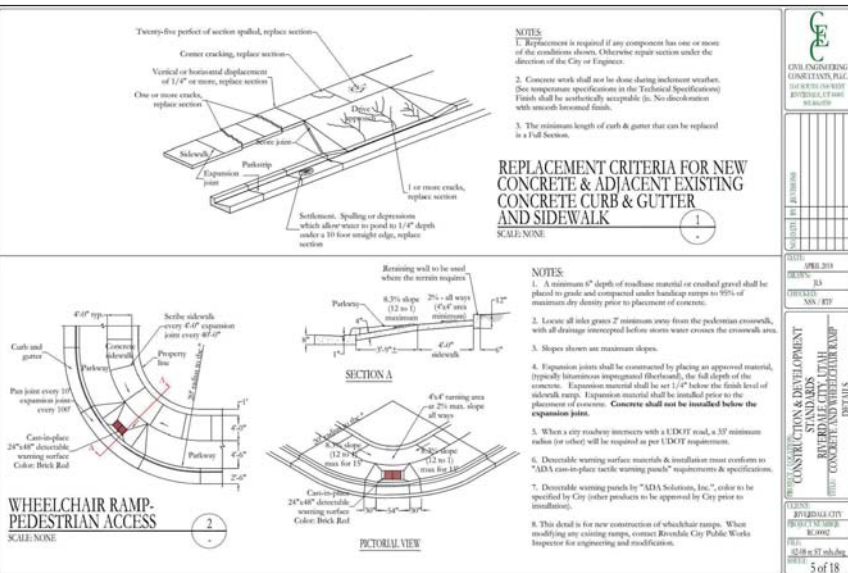


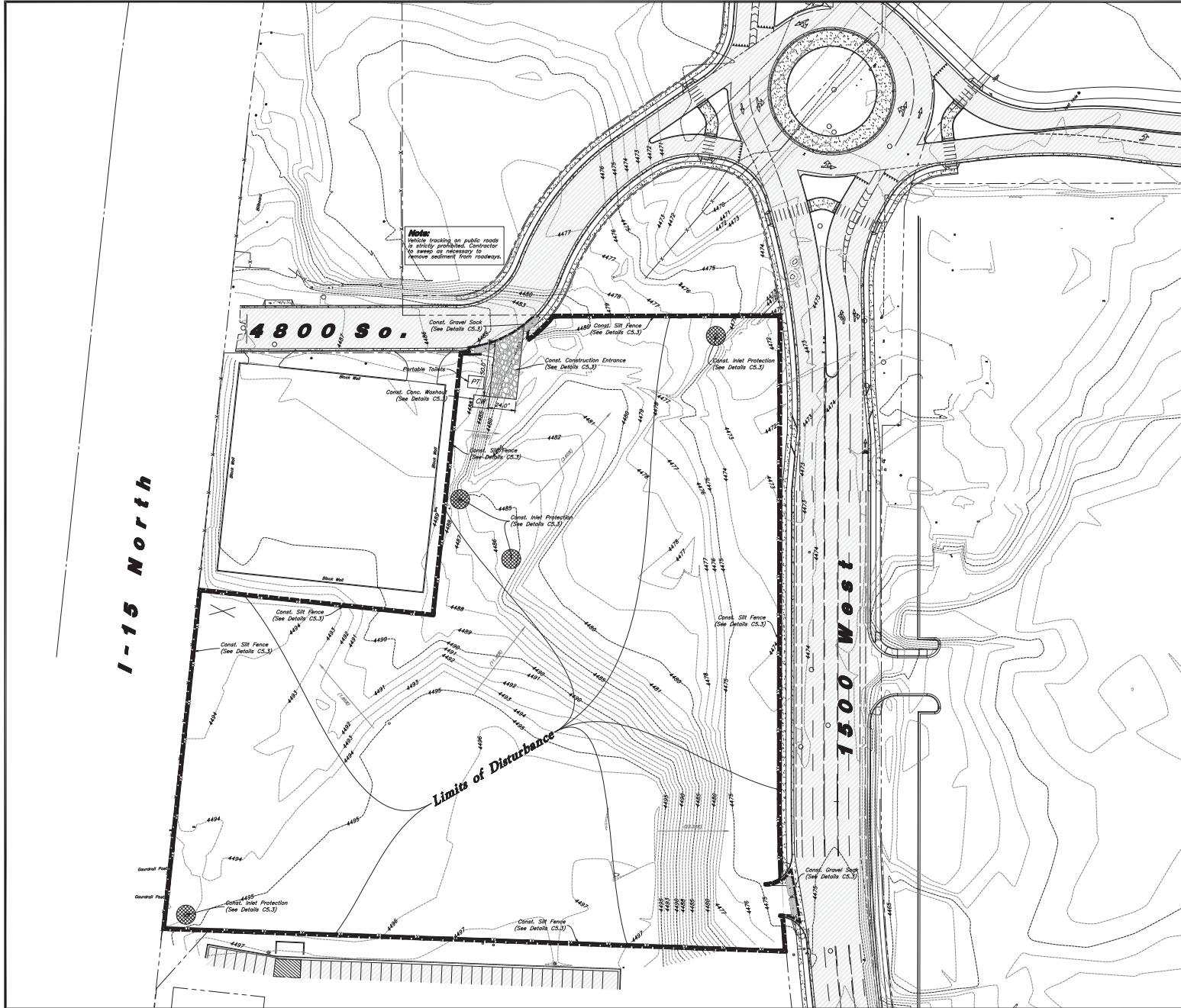
DESIGNED BY: J.T. DRAFTED BY: D.C./NE CLIENT NAME: 6S Development, LLC 22-225 UT

ANZA
2010 West Redwood Street, Suite 100, Provo, UT 84601
(801) 521-8529 • info@anzaengineering.net

Details
Tesla Riverdale
4851 South 1500 West
Riverdale, Utah 84405

9 May, 2023
SHEET NO. **C4.3**





Scale: 1" = 20'

Legend

- Place Inlet Protection at all Inlet Locations to prevent boxes from filling.
- Silt Fence
- Limit of Disturbance
- Construction Entrance / Truck Wash (50'x24' Min.)
- Concrete Washout Area
- Portable Toilet
- Gravel Stock
- Existing Contour
- Proposed Contour

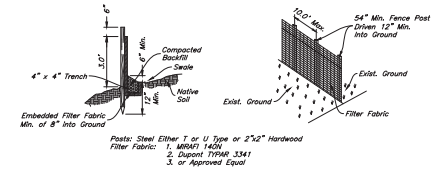
- Erosion Control Notes**
- Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
 - The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
 - All Construction equipment will enter thru Designated Construction Entrances.
 - Coordinate Entrance locations with the local Jurisdiction.
 - Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Distortion.
 - Silt Fences shall be Repaired to their Original Conditions if Damaged. Sediment shall be Removed from Silt Fences when it Reaches one-half the height of the Silt Fence.
 - The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
 - All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
 - Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc.) to Prevent Erosion.
 - Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress. Moved when Necessary and Removed when the Site is Firmed.
 - Inlet Protection Devices shall be Installed Immediately upon Individual inlets becoming Functional.
 - This Document is Fluid Allowing for Changes, Modifications, Updates and Alterations. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
 - Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
 - Re-vegetate areas where landscaping has died or not taken hold.
 - Divert storm water runoff around disturbed soils with berms or dirt swales.
 - Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseeding native vegetation (if not otherwise stabilized).
 - Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

DESIGNED BY: JF
DRAWN BY: DC/NE
CLIENT NAME: 6S Development, LLC
22-225 EC1

ANA
2019 West Riverdale Blvd., Suite 100, Salt Lake City, UT 84119
(801) 521-8529 • info@anagroup.net

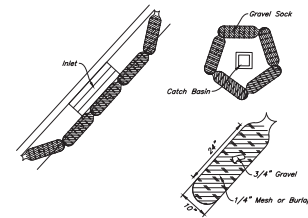
Erosion Control Plan - Phase 1
Tesla Riverdale
4851 South 1500 West
Riverdale, Utah 84405

9 MAY, 2023
SHEET NO. **C5.1**

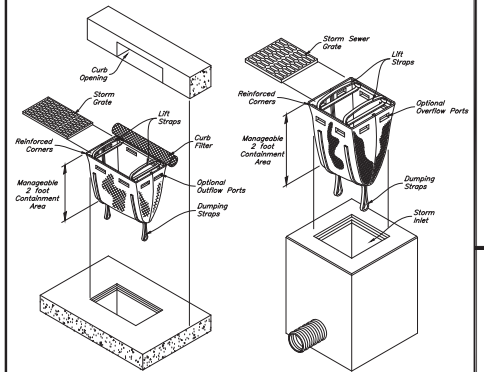


- Notes:
1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
 2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
 3. Collected material shall be removed when "bulges" develop in the silt fence.

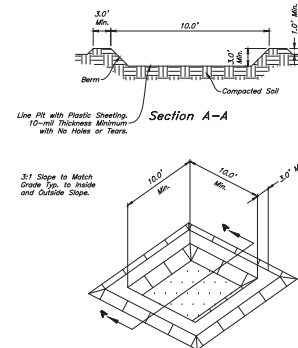
3 Silt Fence Section
Not to Scale



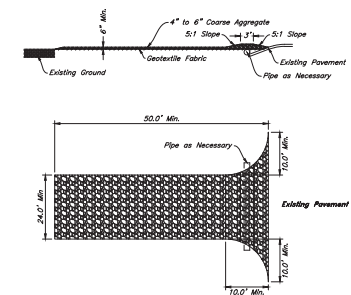
5 Gravel Sock Sediment Barrier
Not to Scale



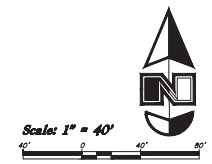
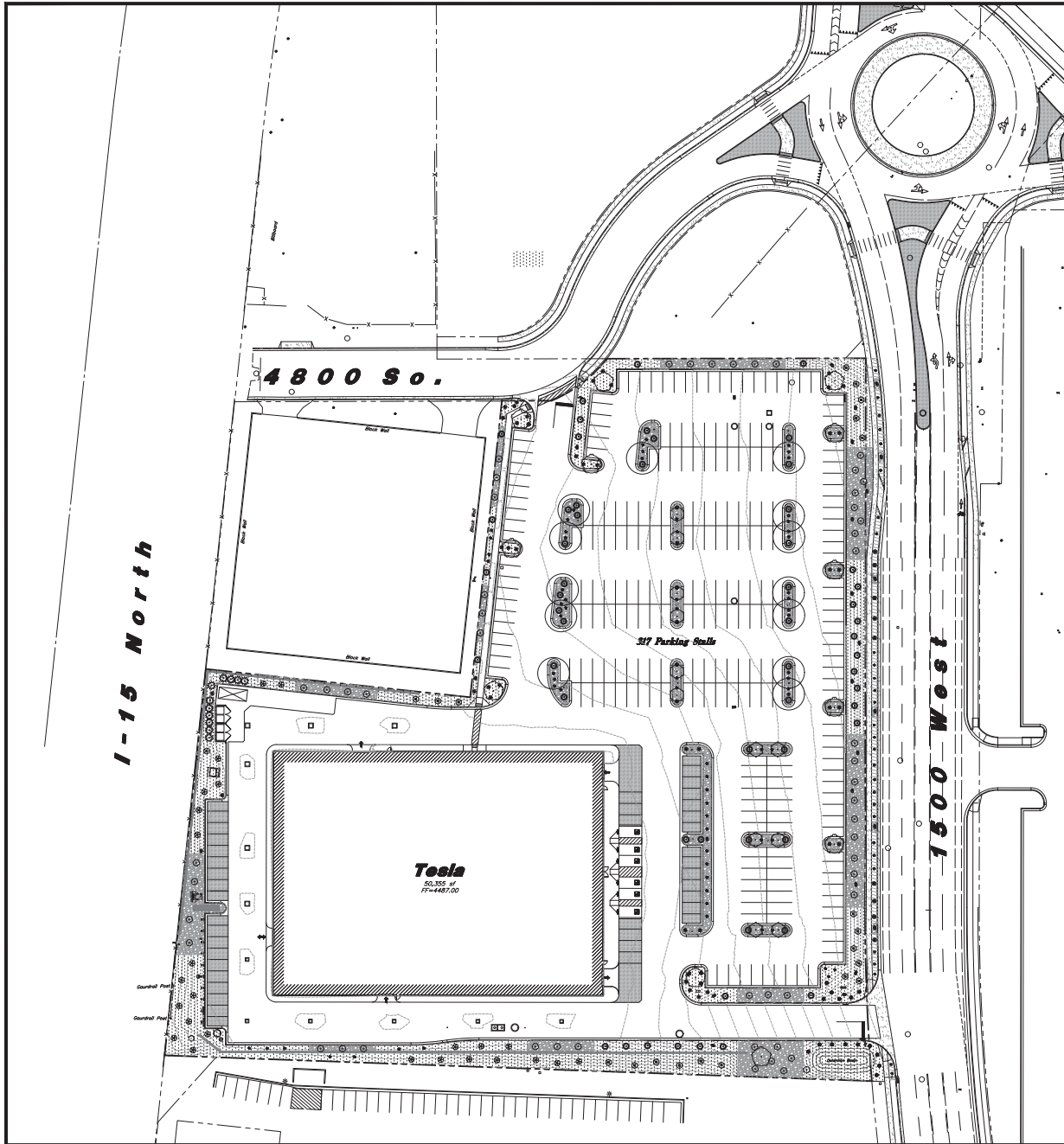
2 Dandy Sack Inlet Protection
Not to Scale



4 Concrete Washout
Not to Scale



1 Stabilized Construction Entrance
Not to Scale



Landscape Notes

- 1. All New Landscape Shall be Watered by an Automatic Irrigation System. Point Source Drip Irrigation Shall be Used to Irrigate Shrub Areas. See Sheet L2.0-L2.2 for Layout and L1.3 for Notes and Details.
- 2. See Sheet L1.3 for Landscape Notes and Details.
- 3. All Areas that are Disturbed by Construction that is not Building and Hardscape Shall be Landscaped. Contact Landscape Architect for Areas in Question.
- 4. Adjust Landscape as Needed to Accommodate New and Existing Utilities. Provide Easy Access to Utilities.
- 5. Different Stone Colors and Sizes Shall Not be Separated by Edging but Shall Have a Defined, Distinct, Straight Edge.
- 6. All Retaining Walls Shall be Washed Off and Free of Landscape Material.
- 7. The Irrigation Systems Shall be Equipped with a WaterSense Labeled Smart Irrigation Controller that has a Rain Delay Feature. See Irrigation Plan for More Detail.

Landscape Data

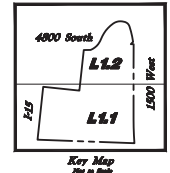
Base OS
Site Area = 332,049 s.f. (5.443 ac)
Landscape Provided = 46,189 s.f. (0.839)
Retard Area = 38,909 s.f. (0.706)
Lawn Area = 0 s.f. (0)
Decorative Concrete Area = 6,799 s.f. (0.124)
Site Trees 1 Tree per 6,000 s.f. of Lot Area
Site Trees Required = 40 Trees (40 Provided)
No More Than 33% of all Newly Planted Trees May be the Same Variety
Xeriscape Landscape = 100%; Xeriscape Areas Shall Consist of Drought Tolerant Plants with Drought Tolerant Plant Materials

PLANT SCHEDULE

TREES	QTY.	BOTANICAL / COMMON NAME	SIZE
11		Picea pungens glauca 'Blue Totem' / Blue Totem Spruce	6' Min. Ht.
12		Quercus robur 'Skyrocket' / Skyrocket English Oak	2" Caliper
13		Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2" Caliper
14		Zelkova serrata 'Mussashino' / Mussashino Zelkova	2" Caliper
SHRUBS	QTY.	BOTANICAL / COMMON NAME	SIZE
23		Berberis thunbergii 'Admiration' / Admiration Barberry	5 gal
26		Caryocarpus frutescens 'Globe' / Globe Russian Peashrub	5 gal
20		Chamaecrista nictitans / Fambush	5 gal
56		Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper	5 gal
53		Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal
9		Rosa x 'Meigappia' / Red Drift Rose	5 gal
37		Spiraea x bumalda 'Goldflame' / Goldflame Spiraea	5 gal
ORNAMENTAL GRASSES	QTY.	BOTANICAL / COMMON NAME	SIZE
57		Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal
14		Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass	1 gal
PERENNIALS	QTY.	BOTANICAL / COMMON NAME	SIZE
8		Salvia nemorosa 'May Night' / May Night Salvia	1 gal
7		Zauschneria garrettii 'Orange Carpet' / Hummingbird Trumpet	1 gal

MATERIAL SCHEDULE

Symbol	Comments	Detail
	Decorative Stone #1 - Install a (3) Three Inch Depth over Dwell Pro's Weed Barrier; Stone Shall be Used in Specified Shrub Planters Where Shown on Plan (1500 West Forestry); Stone Shall be Washed Prior to Installation; Stone Shall be 1" Diameter Fractured Stone from Staker Parsons Copper Canyon Pit (385-239-0804); Submit Sample for Approval	Detail: 4/L1.3
	Decorative Stone #2 - Install a (6) Six Inch Depth over Dwell Pro's Weed Barrier; Stone Shall be Used in Specified Shrub Planters Where Shown on Plan; Stone Shall be Interlocked and Secured to Slopes When Used; Stone Shall be Washed Prior to Installation; Stone Shall be 3-5" Diameter Weathered Gray Stone from Staker Parsons (385-239-0804); Submit Sample for Approval	Detail: 4/L1.3
	Decorative Stone #3 - Install a (8) Eight Inch Depth over Dwell Pro's Weed Barrier; Stone Shall be Used in Specified Shrub Planters Where Shown on Plan; Stone Shall be Interlocked and Secured to Slopes When Used; Stone Shall be Washed Prior to Installation; Stone Shall be 4-6" Diameter Fractured Stone from Staker Parsons Copper Canyon Pit (385-239-0804); Submit Sample for Approval	Detail: 4/L1.3
	Landscape Boulder - Boulder Shall be 3-4' in Diameter, Angular, and From Brown's Canyon; Boulder Shall be Recessed into Ground Stone and Washed Prior to Installation; Submit Photo for Approval	Detail: 5/L1.3



Overall Landscape Plan

Tesla Riverdale

4851 South 1500 West
Riverdale, Utah 84405

9 May, 2023

SHEET NO.

L1.0

DESIGNED BY: JF

DRAWN BY: DC/NE

CLIENT NAME:

65 Development, LLC

22-225 LS

2019 New Riverdale Phase 1 Submittal Set (May 6/11)

(801) 521-8529 • nrlivingston@aetd.com

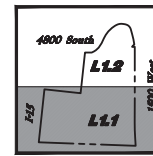
W:\22-225 Tesla Riverdale\May2023\225 LS.dwg, 5/9/2023 4:38:14 PM, 1:1

Landscape Notes

1. All New Landscape Shall be Watered by an Automatic Irrigation System. Final Course Dry Irrigation Shall be Used to Irrigate Shrub Areas. See Sheet L2.0-L2.3 for Layout and L2.3 for Notes and Details.
2. See Sheet L1.3 for Landscape Notes and Details.
3. All Areas that are Disturbed by Construction that is not Building and Hardscape Shall be Landscaped. Contact Landscape Architect for Areas in Question.
4. Adjust Landscape as Needed to Accommodate New and Existing Utilities. Provide Easy Access to Utilities.
5. Different Stone Colors and Sizes Shall Not be Separated by Edging but Shall Have a Defined, Distinct, Straight Edge.
6. All Retaining Walls Shall be Washed Off and Free of Landscape Material.
7. The Irrigation System Shall be Equipped with a WaterSense Labeled Smart Irrigation Controller that has a Rain Sensor. See Irrigation Plan for More Detail.

Landscape Keynotes

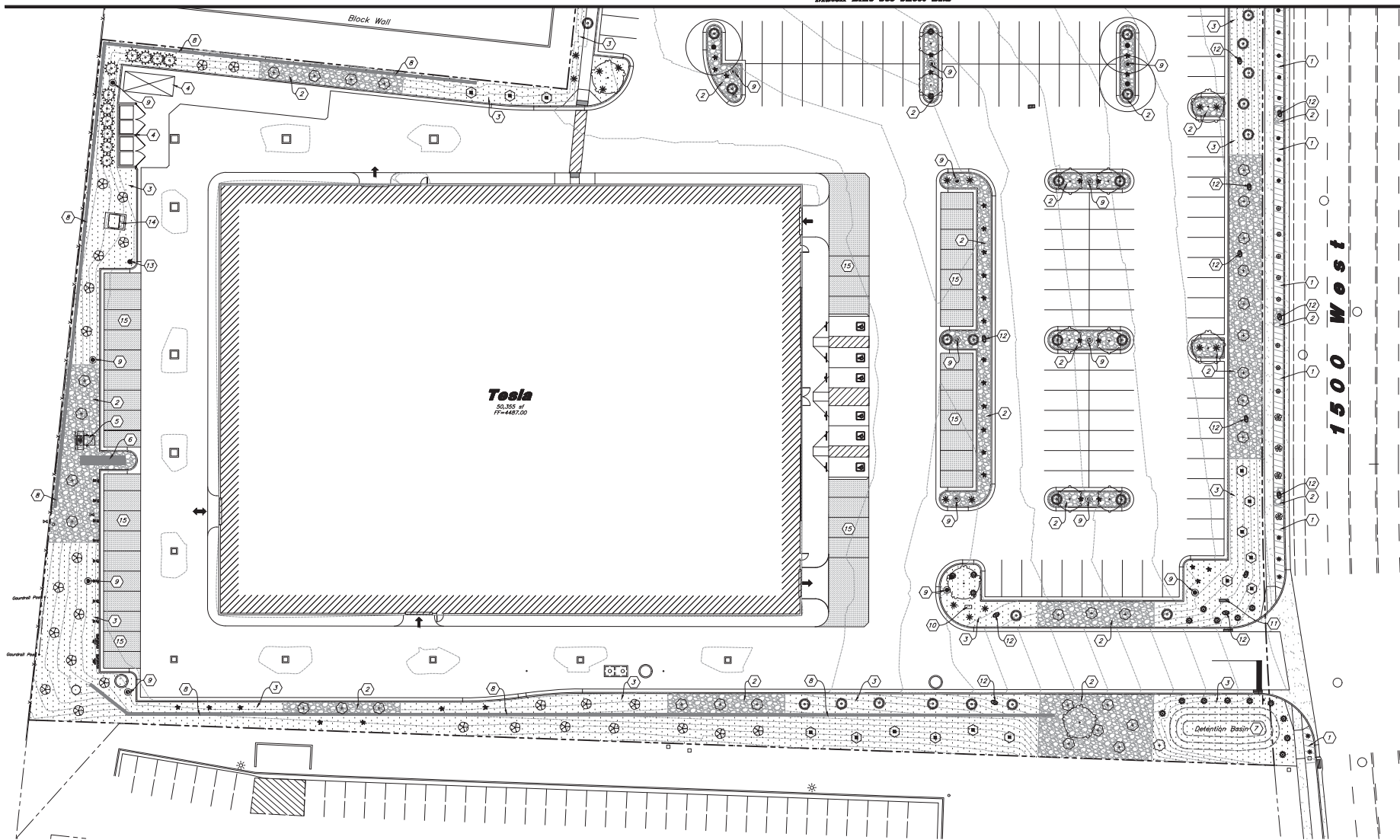
1. Install Shrub Area with Decorative Stone #1 Over Weed Barrier
2. Install Shrub Area with Decorative Stone #2 Over Weed Barrier
3. Install Shrub Area with Decorative Stone #3 Over Weed Barrier
4. Dumpster Enclosure with Plant Screening
5. Elect. Charging Station/Cabinet - See Site Elect. Plans
6. Pylon Sign by Separate Permit
7. Detention Pond - See Grading Plan
8. Concrete Retaining Wall - See Civil Plans for More Detail. Wall Shall be Washed Off and Free of Landscape Material at the Completion of the Project
9. New Light Pole - See Site Elect. Plan. Evenly Space Plant Material Around Light Pole
10. Install Irrigation RRPB Backflow Enclosure in Shrub Planter Between Plant Material. Backflow Shall be Tested Within 10 Days of Filling. Water on and Annually thereafter. See Irrigation Plan for More Detail
11. Monument Sign by Separate Permit
12. Install Landscape Shoulder - See Material Sh. for More Detail
13. Fire Hydrant - See Civil Utility Plan for More Detail. Evenly Space Plant Material Around Hydrant Allow Easy Access
14. Elect. Transformer - See Site Elect. Plan. Evenly Space Plant Material around Transformer Allowing Easy Access
15. Colored Concrete - See Civil Plans for More Detail



Scale: 1" = 20'



Match Line See Sheet L1.2



Designed by: JT
 Drafted by: DC/NE
 Client Name:
 65 Development, LLC
 22-225 LS



Landscape Plan
Tesla Riverdale
 4851 South 1500 West
 Riverdale, Utah 84405



9 May, 2023
 SHEET NO.
L1.1

Landscape Notes

1. All New Landscape Shall be Watered by an Automatic Irrigation System. Point Source Dip Irrigation Shall be Used to Irrigate Shrub Areas. See Sheet L1.2-L1.3 for Layout and L1.3 for Notes and Details.
2. See Sheet L1.3 for Landscape Notes and Details.
3. All Areas that are Disturbed by Construction that is not Building and Hardscape shall be Landscaped. Contact Landscape Architect for Areas in Question.
4. Adjust Landscape as Needed to Accommodate New and Existing Utilities. Provide Easy Access to Utilities.
5. Different Stone Colors and Sizes Shall Not be Separated by Edging but Shall Have a Defined, Distinct, Straight Edge.
6. All Retaining Walls Shall be Washed Off and Free of Landscape Material.
7. The Irrigation Systems Shall be Equipped with a WaterSense Labeled Smart Irrigation Controller that has a Rain-Sense Feature. See Irrigation Plan for More Detail.

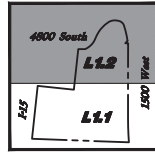
Landscape Kernotes

1. Install Shrub Area with Decorative Stone #1 Over Weed Barrier
2. Install Shrub Area with Decorative Stone #2 Over Weed Barrier
3. Install Shrub Area with Decorative Stone #3 Over Weed Barrier
4. Dumpster Enclosure with Plant Screening
5. Elect. Charging Station/Cabinet - See Site Elect. Plans
6. Pylon Sign by Separate Permit
7. Detention Pond - See Grading Plan
8. Concrete Retaining Wall - See Civil Plans for More Detail. Wall Shall be Washed Off and Free of Landscape Material at the Completion of the Project
9. New Light Pole - See Site Elect. Plans. Evenly Space Plant Material Around Light Poles
10. Install Irrigation RFBSP Backflow Enclosure in Shrub Planter Between Plant Material. Backflow Shall be Tested Within 10 Days of Turning Water On and Annually Thereafter. See Irrigation Plan for More Detail
11. Monument Sign by Separate Permit
12. Install Landscape Boulder - See Material Sch. for More Detail
13. Fire Hydrant - See Civil Utility Plan for More Detail. Evenly Space Plant Material Around Hydrant Allow Easy Access
14. Elect. Transformer - See Site Elect. Plans. Evenly Space Plant Material Around Transformer Allowing Easy Access
15. Colored Concrete - See Civil Plans for More Detail

Scale: 1" = 20'



Know what's below.
Call before you dig.



Key Map
Not to Scale

I-15 North

4800 So.

1500 West

Match Line See Sheet L1.1

Designed by: JT
Drafted by: DC/NE
Client Name:
6S Development, LLC
22-225 LS



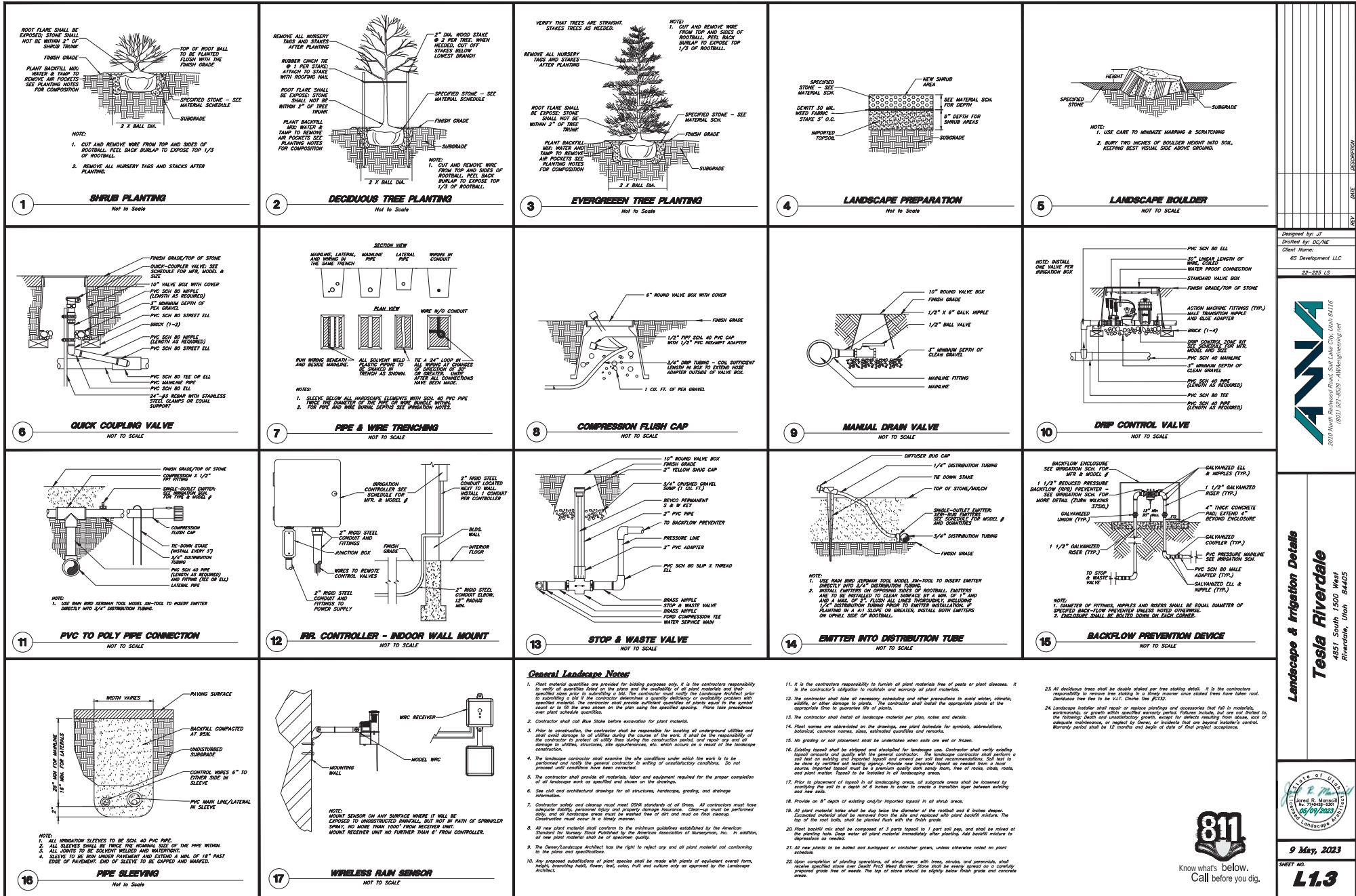
Landscape Plan
Tesla Riverdale
4851 South 1500 West
Riverville, Utah 84405



9 May, 2023

SHEET NO.

L1.2



DESIGNER

DATE

PROJECT

LOCATION

SCALE

REVISIONS

Designed by: JF

Drafted by: DC/NE

Client Name:

6S Development, LLC

22-225 LS

2019 (www.teslaenergy.com) Tesla Energy, Inc. (www.teslaenergy.com)

2019 (801) 527-8829 • info@teslaenergy.com

Landscape & Irrigation Details

Tesla Riverdale

4851 South 1500 West

Riverdale, Utah 84405

811

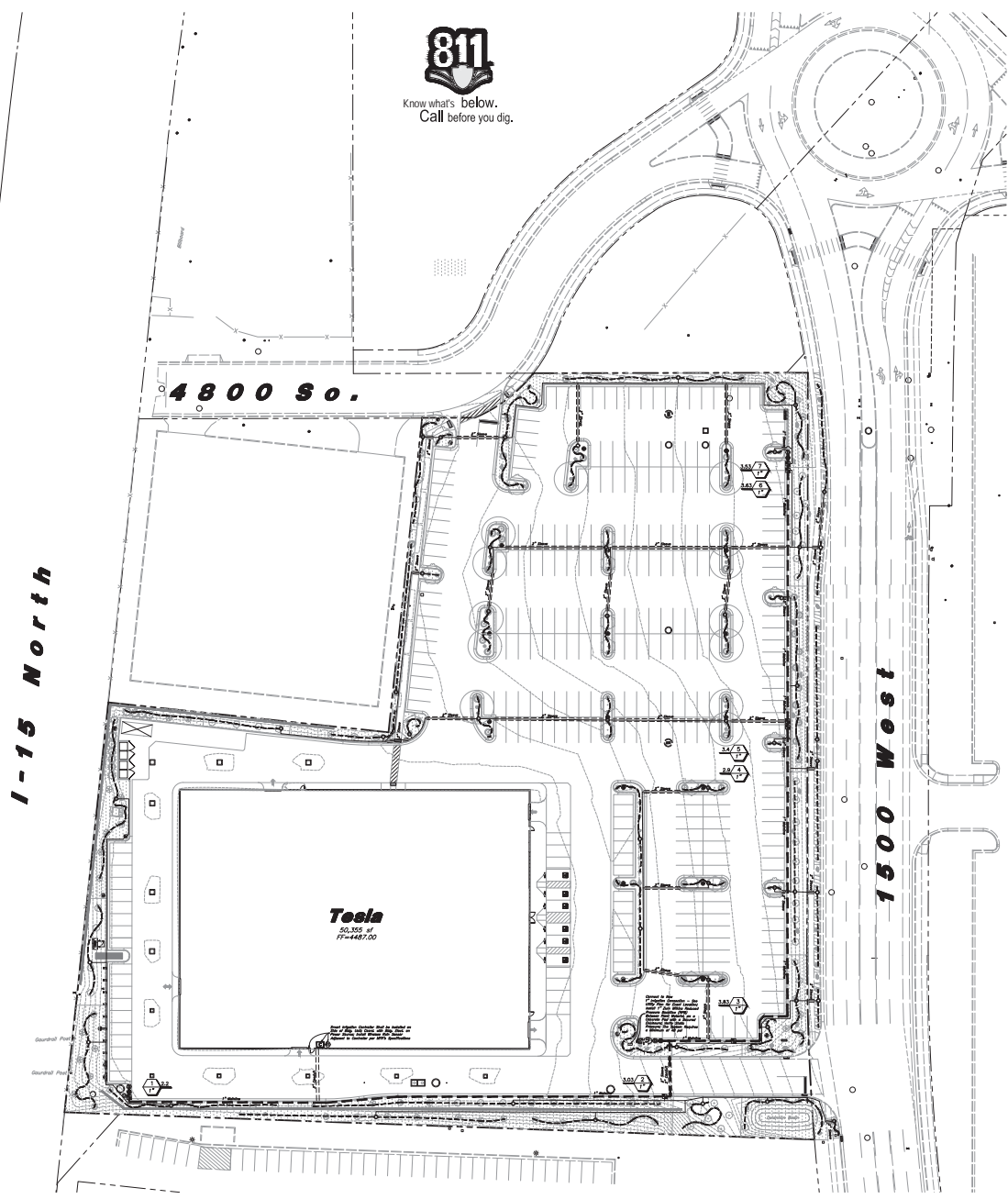
Know what's below.

Call before you dig.

9 May, 2023

SHEET NO.

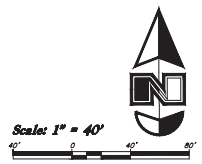
L13



Irrigation Notes

- 1. See Sheet L2.0-L2.2 for Plant Layout and Sheet L2.3 for Sprinkling Notes and Details.
- 2. See L2.3 for Irrigation Details.
- 3. The City Reported a Static Water Pressure of 60 psi in the Area. The Irrigation System Requires a Minimum of 40 psi at the Injector.
- 4. The Irrigation System is Equipped with a Smart Controller and a Rain Sensor. See Irrigation Schedule for More Detail.

Main Service Line & Other Irrigation Components are Shown in Purple Or Hardscape Surfaced For Clarity Purposes Only. Install All Irrigation Components within Landscaped Areas.

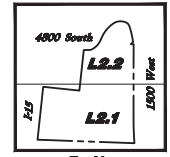


IRRIGATION SCHEDULE

Symbol	Manufacturer/Model #	Description	Notes	Detail
Valves				
	Rain Bird XC2-100-PRB-COM	Drip Remote Control Valve	1 inch Size; Drip Control Zone #12; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors	10/A.1.3
	Rain Bird 44RC	Quick Coupler Valve with Swing Joint	1 inch Size; Install in 10" Round Valve Box with 3" Depth of Gravel over Weed Barrier	6/A.1.3
	Mato-Nasca 759	Manual Drain Valve	1/2" inch Size; Install at End of Mainline in a 10" Round Valve Box with 6" Depth Sump of Gravel Over Weed Barrier	9/A.1.3
Drip				
	PVC Pipe To Drip Tubing	Provide Connection Fittings	Install 1" Feeder Line To All Drip Areas	11/A.1.3
	Rain Bird XBS-940 Rain Bird XJD-100 Rain Bird XJB-200 Rain Bird 7502S Rain Bird 08C-02S Rain Bird MDCFCAP	3/4" Distribution Tubing - Pipe shown on Plan is Schematic; Adjust as Needed 1/4" Distribution Tubing - Install one per Emitter Anti-Siphon Emitters (2 GPH) - 1 Pressure; 2 Shrub; 1 Ornamental Grass, 3 Tree The Green Shrub - Tubing to be Staked every 3" Emitters Bay Cap - Install one per Emitter Removable Flush Cap - Install at the End of Each Line		8/A.1.3 14/A.1.3
P.O.C. Components				
	Muller Orsted Mark II	Stop & Waste Valve	1 inch Size; Install in 10" Round Valve Box with Weed Barrier and Gravel Sump	13/A.1.3
	Zurn Wilkins 375XL	Reduce Pressure Backflow Preventer (State Approved Backflow Device)	1 inch Size; Backflow Shall be Properly Installed & Tested to Meet County Requirements, and Meet all State and Local Health Safety Laws and Ordinances; Install in GuardShed Enclosure (KGS-2) on Poured Concrete Foot with Frost Guard (FG-2) & 2 Locks (GS-ABPFA); Enclosure Color to be Woodland Tan	15/A.1.3
Pipes				
	Schedule 40 PVC	Mainline Pipe	1 inch Size; Control Wiring Shall be Tucked Under Mainline for Protection; Schedule 80 Fittings Shall be Used for Mainline Components	7/A.1.3
	Schedule 40 PVC	Lateral Line Pipe	See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 inch Minimum Pipe Size Shall be 1 inch for PVC Pipe	7/A.1.3
Controller				
	Hunter HCC-800-M Hunter ICM-400	8 Station Base Model WFI Controller with Hydrosafe Technology and 4 Station Module (Smart-Controller)	See Plan for Location of Controller; Coordinate Power Supply With Building Electrical Contractor; Provide Zone Map with Controller	12/A.1.3
	Hunter WR-CLK	Wireless Rain Shut-Off Sensor	Install Sensor on Corner of Bldg. per Manufacturer's Specifications	17/A.1.3
Steepling				
	Schedule 40 PVC	Provide for Irr. Mainlines, Laterals, and Controller Wire Located under Concrete and Asphalt Paving at specified depths	Contractor shall Coordinate the Installation of Steepling with the Installation of Concrete Pilasters and Asphalt Paving. All Steepling is by the Landscape Contractor unless otherwise noted.	16/A.1.3
			Valve Number Valve Flow Valve Size	

General Irrigation Notes

- 14. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utilities from all damage to utilities, structures, site improvements, etc. which occurs as a result of the landscape construction.
- 15. The Irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- 16. The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
- 17. See old and architectural drawings for all structures, hardscape, grading, and structural information.
- 18. Contractor safety and cleanup must meet OSHA standards at all times. The contractor shall be responsible for all safety, personal injury and property damage insurance. Clean-up must be performed daily and all landscape areas must be maintained in a safe condition. Final cleanup. Construction must occur in a timely manner.
- 19. The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
- 20. The contractor shall install all irrigation material per plan, notes and details.
- 21. Irrigation system components must be premium quality only and installed to manufacturer's requirements and specifications. The contractor's responsibility for checking state and local laws for all specified materials and equipment. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all necessary data to operate, check, winterize, repair, and adjust system.
- 22. Irrigation installer shall repair or replace irrigation components and accessories that fail in material or workmanship within one year of warranty period. The warranty shall be 12 months after date of installation or 12 months after date of completion, whichever is longer. All repairs must be reported to the landscape architect.
- 23. Irrigation system check must be done before the system is installed. Irrigation material and each control valve section must be flushed and pressure checked. Assume the complete system is not in operation until the system is checked. Adjust system to avoid air in tubing, hoses, and equipment. All repairs must be reported to the landscape architect.
- 24. Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings, one (1) inch minimum size. Control valve and joints as per manufacturer's specifications for required static P.V.C. 1/2" size at threaded fittings. The minimum depth of manual compression at branch (12) inches. Adjust system to avoid air in tubing, hoses, and equipment. All repairs must be reported to the landscape architect.
- 25. Irrigation material that is 2" and smaller materials shall be schedule 40 P.V.C. pipe with schedule 40 fittings. Control valve and joints as per manufacturer's specifications for required static pressure. Use 1/2" size on all threaded joints. Use depth must be eighteen (18) inches minimum.
- 26. Install electric fittings whenever distributor meters are joined.
- 27. Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light structures. Achieve 100% percent irrigation coverage of entire landscape.
- 28. Control valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, turn, building or landscape feature. Valve boxes in corners with finish grade.
- 29. Control valve size shall be #1/4 single conductor wire for common wire, red for hot wire and blue for the same wire. Provide (2) hot wires and one blue wire. The length of the mainline and to the controller. All wiring shall be UF-B, rated. All connections shall be made with wire (light) connectors (SMP's or equivalent) and contained in control valve boxes. Provide 10' extra wire length of each remote control wire in valve box. Install control wiring with main service line where possible. Provide access to control wire at all changes in direction.
- 30. Control valve size, type, quantity, and location to be approved by landscape architect. Install in heavy duty plastic under ground box. Size boxes according to wire load and size for ease of maintenance and repair. Install one (1) cubic foot of one grade for each in base of boxes. Boxes to be Green. Breaks or repair.
- 31. Quick coupler shall be a Rain Bird 44RC with a one inch Loure unlined sump fitting assembly. Support with rebar in each remote box. Install where shown on the plans.
- 32. Irrigation system backfill must occur only after system check is completed as specified. Backfill shall be 3/4" size clean, washed, round pipe, valves, drains, or any irrigation system component, unless otherwise specified.
- 33. All irrigation pipe running through walls, under sidewalks, curbs, or other hard surface shall be sleeved prior to pouring. It is the Irrigation contractor's responsibility for coordinating meeting with concrete and pavement contractor. Sleeves shall be schedule 40 P.V.C. The depth for mainline shall be 18 inches minimum. The depth for laterals shall be 12 inches minimum. Sleeves shall be a minimum of two (2) inches larger than the size of the pipe. All valve wiring shall be contained in separate sleeves.
- 34. Plans are diagrammatic and approximate due to scale, where necessary, all piping is to be installed in the most efficient, safe, neat, and/or changes in direction shall occur under hardscape.
- 35. It is the contractor's responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
- 36. The Irrigation contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent clogging. Emergency on-site work, rework, and/or submittals as much as possible. The shall include selecting the best design for to fit the site and to throttle the flow control of each valve to adjust the optimum operating pressure for each system. All materials shall be flushed prior to the installation of irrigation heads.
- 37. Drip system piping shall consist of a rigid schedule 40 P.V.C. pipe distribution system connecting drip irrigated plantings. Zone, drip tubing or drip line shall be run off the rigid PVC in each planting area or alone with a PVC to poly tubing outside. No poly tubing shall run under pavement.
- 38. Electrical power source of the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
- 39. Provide and install all manufacturer's recommended surge and lightning protection equipment on all controllers.
- 40. All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a ground sump under each drain. All drains shall be a minimum of 6" below grade.
- 41. Upon completion and approval of irrigation system, Irrigation contractor to provide the owner with the sets of drawings including location of piping, valves, sprinkler heads, wiring, and zones.
- 42. An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.
- 43. It shall be the responsibility of the Irrigation contractor to demonstrate to the Owner the proper operation and start-up procedures for the entire system prior to final payment.



Key Map
Not to Scale

Overall Irrigation Plan
Tesla Riverdale
4851 South 1500 West
Riverdale, Utah 84405

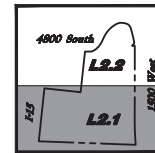


9 May, 2023
SHEET NO. **L2.0**

Main Service Line & Other Irrigation Components Are Shown in Paved Or Hardscape Surfaces For Clarity Purposes ONLY! Install All Irrigation Components within Landscaped Areas.

Irrigation Notes

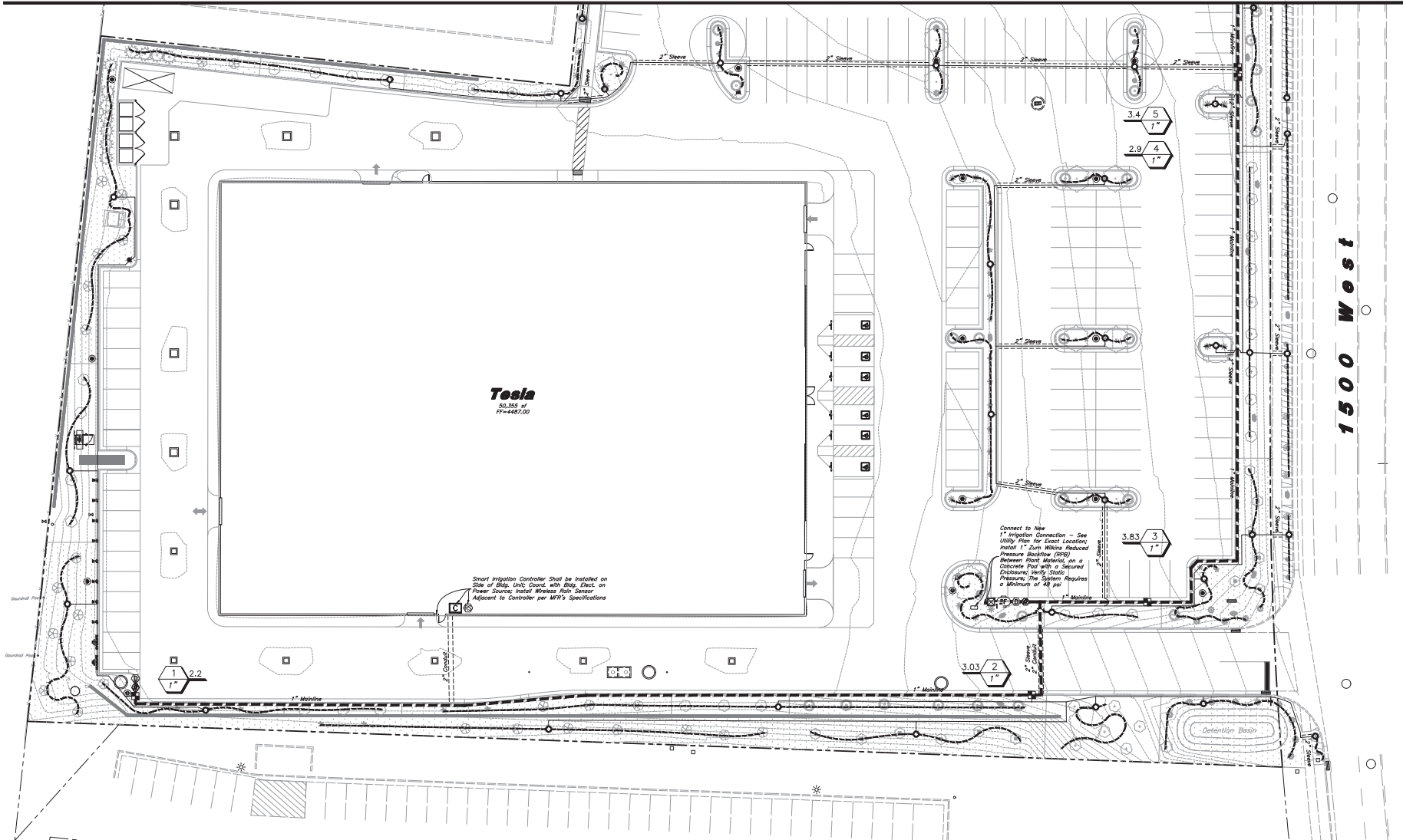
1. See Sheet L1.0-L1.2 for Plant Layout and Sheet L1.3 for Planting Notes and Details.
2. See L1.3 for Irrigation Details.
3. The City Reported a Static Water Pressure of 60 psi in the Area. The Irrigation System Requires a Minimum of 45 psi to Function.
4. The Irrigation System is Equipped with a Smart Controller and a Rain Sensor. See Irrigation Schedule for More Details.



Scale: 1" = 20'



Match Line See Sheet L2.2



DESIGNED BY: JF		 2010 West Riverdale Blvd, Salt Lake City, Utah 84119 (801) 521-8529 - info@annalandscape.com
DRAFTED BY: DC/NE		
CLIENT NAME:		65 Development, LLC 22-225 W
SHEET NO:		
Irrigation Plan Tesla Riverdale 4851 South 1500 West Riverdale, Utah 84405		 9 May, 2023 SHEET NO.
L2.1		

VALVE SCHEDULE						
VALVE STATION	VALVE SIZE	IRRIGATION TYPE	FLOW (GPM)	PSI	PSI @ POC	PRECIP. RATE
1	1"	Area for Drip Emitters	2.2	32.0	44.8	0.4 in/h
2	1"	Area for Drip Emitters	3.03	32.1	44.3	0.52 in/h
3	1"	Area for Drip Emitters	3.83	33.1	45.4	0.48 in/h
4	1"	Area for Drip Emitters	2.9	32.1	45.1	0.55 in/h
5	1"	Area for Drip Emitters	3.4	33.2	46.5	0.18 in/h
6	1"	Area for Drip Emitters	3.63	33.2	47.5	0.31 in/h
7	1"	Area for Drip Emitters	3.53	33.1	47.3	0.17 in/h



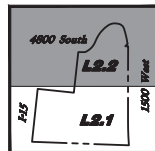
Know what's below.
Call before you dig.

Main Service Line & Other Irrigation Components Are Shown in Piped Or Hardwired Sufficient For Utility Purposes ONLY! Install All Irrigation Components within Landscaped Areas.

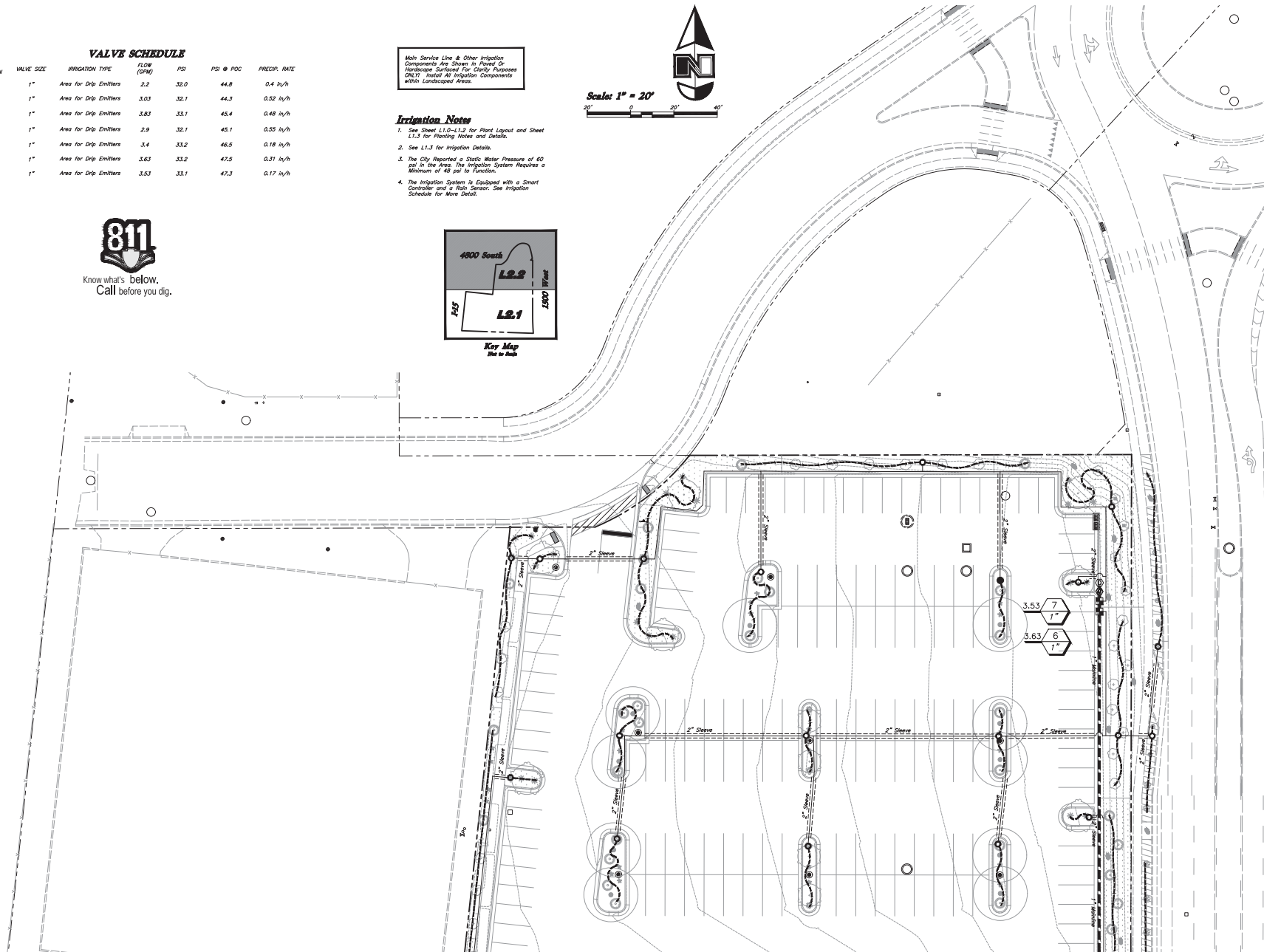
Irrigation Notes

1. See Sheet L1.0-L1.2 for Plant Layout and Sheet L1.3 for Planting Notes and Details.
2. See L1.3 for Irrigation Details.
3. The City Reported a Static Water Pressure of 60 psi in the area. The Irrigation System Requires a Minimum of 48 psi to Function.
4. The Irrigation System is Equipped with a Smart Controller and a Rain Sensor. See Irrigation Schedule for More Detail.

Scale: 1" = 20'



Key Map
Not to Scale



Match Line See Sheet L2.1

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

Designed by: JT
Drafted by: DC/NE
Client Name:
ES Development, LLC
22-225 #



Irrigation Plan
Tesla Riverdale
4851 South 1500 West
Riverdale, Utah 84405



9 May, 2023

SHEET NO.
L2.2

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
May 23, 2023**

AGENDA ITEM: E2a

SUBJECT: a. Consideration of Conditional Use Permit request for the development of Multiple-Family Residential Units in excess of 25 dwelling units, located at approximately 671 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.

PRESENTER: Mike Eggett, Community Development

INFORMATION:

- a. [Exec Summ Final Riv Apts Sub - PC \[20230523\]](#)
- b. [Cond Use Basis Review – RCC 10-19-5](#)
- c. [Riv Apts Subdiv – cond use app 20230504](#)
- d. [Riv Lofts Apts Site Plan - 20230501](#)

[BACK TO AGENDA](#)



Planning Commission Executive Summary

For the Commission meeting on: 5-23-2023

Petitioner: Wright Development Group
Represented by Logan Johnson

Summary of Proposed Action

Wright Development Group, as represented by Logan Johnson, have applied for a Final Subdivision Plat Site Plan review and approval for the WDG Riverdale Subdivision proposal and the Riverdale Apartments Site Plan as located at approximately 671 West 4400 South and 633 West 4400 South in a Multiple-Family Residential R-4 zone. The proposed subdivision and site plan is before the Planning Commission for final recommendation consideration of the submitted plan and plat. A public hearing is not required for review of this proposed subdivision.

The requested use for 152 multi-family residential units exceeds the minimum requirement of 25 or more units (per City Code 10-9E-3) requires a conditional use approval for 152 multi-family residential units proposed for this project. Therefore, the applicant group is required to apply for a conditional use permit for this project proposal. The applicant has submitted an application for the required conditional use permit request to be considered as a secondary component of this site plan request. A public hearing is not required to consider the conditional use permit request.

As it relates to the Conditional Use Permit request proposal, following discussion of the conditional use permit request, the Planning Commission may make a motion to approve the proposed Riverdale Apartments conditional use permit request for 152 multi-family residential units, approve the conditional use permit with any requested modification, table the matter to a later date, or not approve the conditional use permit with the appropriate findings of facts for the decision made.

As it relates to the Final Subdivision and Site Plan proposals respectively, following the presentation and discussion of the final site plan and plat proposal, the Planning Commission may make a motion to recommend City Council approval of the final site plan and/or plat, approval with additional requirements and criteria, and/or not recommend Council approval of the proposed WDG Riverdale Subdivision Plat and the Riverdale Apartments site plan with the appropriate findings of fact. Should this proposal receive approval by the Commission, then the site plan and plat would be updated further and brought before the City Council for final approval consideration of the submitted subdivision and site plan.

Title 10 Ordinance Guidelines (Code Reference)

This Residential Subdivision Site Plan review is regulated under City Code 10-21 "Subdivisions" and is affected by City Codes 10-9E "Multiple-Family Residential Zone (R-4)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-25 "Development in All Zones".

The Conditional Use Permit review is regulated under City Code 10-19 "Conditional Uses" and is affected by City Code 10-10A "Commercial Zones (C-1, C-2, C-3)".

The petitioner's properties are currently listed in the County Records under the ownership of three different parties as follows: H & H 39th Street, LLC, 5D Development, LLC, and Garff Properties Riverdale, LLC. The

majority of these properties are part of an existing motor vehicle sales/service shop and a mobile home park property that are in the process of transitioning. The third lot is a vacant lot that historically had vehicles parking on it from time-to-time.

Attached with this executive summary is a supplementary document addressing items on the Preliminary Site Plan application and as directed by 10-21 of the City Code. Also attached, following this executive summary, are comments from the contracted City Engineer, Public Works Department, Fire Department, and Police Department. The Planning Commission should discuss these summaries and any noted Planning Commission and/or staff concerns.

Staff would encourage the Planning Commission to review the Conditional Use Permit matter and then discuss with the petitioner any concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission make a motion to approve the proposed Riverdale Apartments conditional use permit request for 152 multi-family residential units, approve the conditional use permit with any requested modification, table the matter to a later date, or not approve the conditional use permit with the appropriate findings of facts for the decision made.

Further, Staff encourages the Planning Commission to review this matter, including concerns outlined herein, and then discuss with the petitioner any identified concerns associated with this application. Staff would then recommend that the Planning Commission make a motion to recommend City Council approval of the final site plan and/or plat, approval with additional requirements and criteria, and/or not recommend Council approval of the proposed WDG Riverdale Subdivision Plat and the Riverdale Apartments site plan with the appropriate findings of fact.

General Plan Guidance (Section Reference)

The General Plan use for this property is currently set as “Residential – Medium Density”. This project seems to be in compliance with that land use designation for these properties. A smaller portion of this project proposal is located in an area of the General Plan that is set for use as “Planned Commercial High”. This proposed use would compliment and support adjacent planned commercial high uses.

Legal Comments – City Attorney

Steve Brooks, Attorney

Administrative Comments – City Administrator

Steve Brooks, City Administrator

10-19-5: BASIS FOR REVIEW OF CONDITIONAL USE PERMIT:

The planning commission shall review a conditional use permit with evidence presented to establish that:

A. A conditional use shall be approved if reasonable conditions are proposed or can be imposed to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards.

B. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

C. The proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well being of the community; and

D. Such use will not, under the circumstances of the particular case and the conditions imposed, be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses, buildings and structures when considering traffic generation, parking, building design and location, landscaping and signs; and

E. The proposed use conforms to the goals, policies and conditions specified in this chapter for such use; and

F. That the proposed use conforms to the goals, policies and governing principles and land use of the master plan for the city; and

G. The proposed use will not lead to the deterioration of the environment, or ecology of the general area, nor will it produce conditions or emit pollutants of such a type or of such a quantity so as to detrimentally affect, to any appreciable degree, public or private property, including the operation of existing uses thereon, in the immediate vicinity or the community or area as a whole. (Ord. 665, 8-19-2008)



**Riverdale
City**

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405
Acct #10-36-9000

**CONDITIONAL USE PERMIT
APPLICATION**

DATE 05/03/2023
ADDRESS OF SITE 691 W 4400 S, portion of 671 W 4400 S, SEC of 4400S & 700 W
APPLICANT'S NAME Wright Development, Logan Johnson
ADDRESS 1178 West Legacy Crossing Blvd, Centerville, UT 84014
PHONE NUMBER 801.773.7339

NOTE: Plans: Detailed location, site and building plans shall accompany the completed application forms provided by the city. For structures in existence, only a location plan need be provided.

☒ SITE PLAN RECEIVED ☐ BUILDING PLANS RECEIVED

Present Zoning of the Property: R-4, C-3 Present Use of the Property: Trailer Park
Acreage of the Property: 8.02 Width of Property on the Street: _____
Proposed Conditional Use of Property: Over 25 Dwelling Units

SIGNED: Logan Johnson DATE: 5/4/2023

I authorize Logan Johnson to act as my representative in all matters relating to this application.

[Signature]
OWNER

Wright Development, Logan Johnson
AGENT AS AUTHORIZED BY OWNER

PLANNING COMMISSION SCHEDULED TO HEAR THIS APPLICATION FOR CONDITIONAL USE ON:

DATE: 5/23/2023 DECISION OF COMMISSION: _____
SIGNATURE OF CHAIRPERSON: _____ DATE: _____

PLANNING COMMISSION PUBLIC HEARING:

DATE: _____ DECISION OF COMMISSION: N/A
SIGNATURE OF CHAIRPERSON: N/A DATE: _____

Fee \$75.00 Date Paid: 5-8-2023 Receipt No. 197492446



Riverdale City
 4600 South Weber River Drive
 Riverdale, UT 84405
 (801) 394-5541

XBP Confirmation Number: 144117292

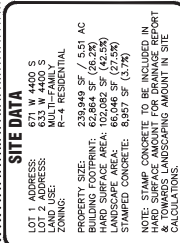
Transaction detail for payment to Riverdale City.		Date: 05/08/2023 - 11:44:55 AM MT	
Transaction Number: 197492446		Visa — XXXX-XXXX-XXXX-5669	
Status: Successful			
Account #	Item	Quantity	Item Amount
10369000	Zoning ampamp Subdiv. Fee	1	\$75.00
Notes: CONDITIONAL USE PERMIT 691 W 4400 S			

TOTAL: \$75.00

Billing Information
 LOGAN JOHNSON

84405

Transaction taken by: Admin cjacobsen



RIVERDALE CITY
PLANNING COMMISSION AGENDA
May 23, 2023

AGENDA ITEM: E2b

SUBJECT: b. Consideration of recommendation to City Council for Final Subdivision request for WDG Riverdale Subdivision, located at approximately 671 West and 633 West 4400 South, Riverdale, Utah 84405, as requested by Wright Development Group.

PRESENTER: Mike Eggett, Community Development

INFORMATION: a. Riverdale Apts Final Sub Plan PC Review - 20230518
 b. Dept Staff Reports – PC Riv Apartments Final Sub Plan [20230518]
 c. Riv Apts – City Eng Review #2 – 2023 May 18, 2023
 d. Riv Apts Subdiv App Update – 20230127
 e. Plat WDG Preliminary Subplat 2-24-2023

[BACK TO AGENDA](#)



Final Subdivision/Site Plan Review – WDG Subdivision and Riverdale Apartments Site Plan – 671 & 633 West 4400 South

Completed by Mike Eggett, Community Dev. Director on 2/7-8/2023 and 5/18/2023

Recommendation: City staff recommends that the Planning Commission examine and review this proposed preliminary subdivision site plan and plat. Items of consideration or note have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to approve the preliminary site plan and plat, approve the plan and plat with additional comments or concerns to be addressed by the developer, or not approve the preliminary site plan and plat proposal for the WDG Riverdale Subdivision and the Riverdale Apartments Site Plan project.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	January 27, 2023 and updated on May 9, 2023
Date Application Submitted to City:	January 27, 2023
Date Fee Paid:	Paid on January 27, 2023 (see application and receipts for details)
Subdivision/Site Plan – Preliminary Requirements	Departmental Review Comments
<i>COVER SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	Project name shown and general location shown for subdivision plat and site plan; address of project site added to plat and plan – 671 West 4400 South (for Lot 1) and 633 West 4400 South (for Lot 2); buildings addressed as Bldg A, B, C, D, and E on site plan
Property Owner's name, address, and phone number	Garff Properties LLC, 111 E. Broadway, Ste 900, Salt Lake City, Utah 84111, 801-257-3135; H&H 39 th Street LLC, PO Box 526412, Salt Lake City, Utah 84152, 801-773-7339; 5D Development LLC, 3515 W. 2200 N., Plain City, Utah 84404, 801-698-6288
Developer's name, address, and phone number	This is provided on Site Plan and Plat: Wright Development Group, Spencer Wright, 1178 West Legacy Crossing Blvd, Centerville, Utah 844014, Contact: Spencer Wright, 801-773-7339

Approving agency's name and address: Utility companies as applicable	This is shown on plan and plat drawings: Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405; Utility company names, address, and phone number provided on cover sheet of site plan
Consulting Engineer's name, address, and phone number	Hunt Day Engineering, Thomas Hunt, P.E., 3445 Antelope Drive, Syracuse, Utah 84075, 801-664-4724
Licensed Land Surveyor's name, address, phone number, signature, and seal	Layton Surveys, Willis Long, PLS, 1857 North 1000 West, Suite 1, Clearfield, Utah 84015, 801-663-1641, seal and signature provided
Date	Yes – 12/9/2022 on site plan with revision on 4/2/2023 and December 2022 on plat (date on plat needs to be updated to reflect more current time)
Revision block with date and initials	Revision block shown for use
Sheet number and total sheets	19 total sheets (includes the plat and landscaping pages) and other supporting documents
<u>General</u>	
Street names	Yes shown – 700 West, 4400 South, and Riverdale Road
Layouts of lots with lot numbers and addresses	2 lots shown on subdivision, 5 apartment bldgs shown; addresses are identified on plat for each lot - 671 West 4400 South for Lot 1 and 633 West 4400 South for Lot 2
Adjacent tract ownership and tax identification numbers	Adjacent property tract ownership names shown with tax ID numbers
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown as 1" = 50' on plat and cover sheet, 1"=30' on plan documents
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements shown on plat; existing structures on site shown; existing utility lines shown; unsure of approvals provided to cross, use, relocate
Space for notes	Yes, provided
Contours	Yes, shown on multiple sheets
Public areas	Sidewalks and curb/gutter shown on multiple sheets; public use areas identified on plan
<u>Vicinity Map</u>	Provided
Street names	Yes
Site location	Yes
North arrow	Yes

Scale	"Not to scale" noted
<i>PLAT SHEET</i>	
<u>Title Block</u>	
Project name and address	Project name shown and general location shown for subdivision plat and site plan; address of project site added to plat and plan – 671 West 4400 South (for Lot 1) and 633 West 4400 South (for Lot 2); buildings addressed as Bldg A, B, C, D, and E on site plan
Approving Agency's name and address	This is shown on plan and plat drawings: Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	Hunt Day Engineering, Thomas Hunt, P.E., 3445 Antelope Drive, Syracuse, Utah 84075, 801-664-4724
Consulting Engineer's stamp, signature, and license expiration date	Engineer's stamp, signature, and license expiration date provided
Date	Yes – 12/9/2022 on site plan with revision on 4/2/2023 and December 2022 on plat (date on plat needs to be updated to reflect more current time)
Names of approving agents with titles, stamps, signatures, and license expiration dates	Names of approving utility agents, titles, stamps, signatures location shown on plat, may remove where they may not be applicable or required; contacts provided on site plan
Names of approving departments (Attorney, Planning Commission, Mayor, Engineer)	Shown on plat
<u>Layout</u>	
Street Names	Yes shown – 700 West, 4400 South, and Riverdale Road
Layouts of lots with lot numbers	2 lots shown on subdivision, 5 apartment bldgs shown; addresses are identified on plat for each lot - 671 West 4400 South for Lot 1 and 633 West 4400 South for Lot 2
Bearings and distances for all property lines and section ties	Shown, defer to City Engineer review
Boundary and Legal description	Shown, defer to City Engineer review
Adjacent tract ownership and tax identification numbers	Adjacent property tract ownership names shown with tax ID numbers
Scale (minimum 1"=50')	Yes, scale is shown as 1" = 50' on plat and cover sheet, 1"=30' on plan documents
North arrow	Yes
Owner's dedication certificate for subdivision (Notary Acknowledgement)	Yes, shown

Landscaping (location and type with area calculations)	Landscaping plan provided; landscaping is shown as total of 31.2% (includes “landscape area” and “stamped concrete” area) exceeds 30% as req. by R-4 zone standards in City Code 10-9E-4; no private irrigation plans provided to review as part of landscape plan
Location of exterior lighting devices, signs, and outdoor advertising	Existing and anticipated exterior lighting devices shown on photometric plan; no anticipated apartment facility signage locations shown, if planned
Location of underground tanks, dumpsters, etc	Underground retention basin tanks location shown for this site; dumpsters enclosure locations shown for this site
<u>Additional Information</u>	
Benchmark	Shown, defer to City Engineer review
Basis of bearings	Shown, defer to City Engineer review
Legend	Yes, provided
<i>PLAN AND PROFILE SHEETS</i>	Site Plan and Utility Plan sheet provided
<u>Title Block</u>	
Project name and address	Project name shown and general location shown for subdivision plat and site plan; address of project site added to plat and plan – 671 West 4400 South (for Lot 1) and 633 West 4400 South (for Lot 2); buildings addressed as Bldg A, B, C, D, and E on site plan
Approving Agency’s name and address	This is shown on plan and plat drawings: Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer’s name, address, and phone number	Hunt Day Engineering, Thomas Hunt, P.E., 3445 Antelope Drive, Syracuse, Utah 84075, 801-664-4724
Date	Yes – 12/9/2022 on site plan with revision on 4/2/2023 and December 2022 on plat (date on plat needs to be updated to reflect more current time)
Scale	Yes, scale is shown as 1” = 50’ on plat and cover sheet, 1”=30’ on plan documents
Revision block with date and initials	Revision block shown for use
Sheet number and total sheets	19 total sheets (includes the plat and landscaping pages) and other supporting documents
<u>General</u>	
North arrow	Yes

Street names	Yes shown – 700 West, 4400 South, and Riverdale Road
Lot numbers	2 lots shown on subdivision, 5 apartment bldgs shown; addresses are identified on plat for each lot - 671 West 4400 South for Lot 1 and 633 West 4400 South for Lot 2
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet C100
<u>Signage</u>	<u>Apartment facility signage locations not shown, if applicable; may inquire future signage intent</u>
Height	<i>Not available</i>
Size	<i>Not available</i>
Locations	<i>Not available</i>
Colors	<i>Not available</i>
Lighting	<i>Not available</i>
<u>New and Existing Buildings</u>	
Height and Size (multiple homes)	New building - Height = approximately 45 feet tall at highest point; Building size = varies but range of size unknown at this time; existing buildings and utility structures on site shown; may inquire for more details about the planned structures
Location, setbacks, and all dimensions	Setbacks: Building A – west=20.10', south=65.50'; Building B – west=20.75', north=20.55'; Building C – north=20.60', east=20.20'; Building D – east=118.55', south=78.90', west=97.25'; Building E – more than exceeds minimum in all directions. building footprints shown on drawings meet or exceed R-4 zoning reqs
Type of construction	Board and Batten, Stucco, Hardie Board, and Siding; see Riverdale Apartments Elevation drawings for more regarding colors, material, and proposed style of homes; DRC approval is also required regarding these elevation drawings
Type of occupancy and proposed uses	Multiple-family residential apartment uses
Show handicapped access	ADA accessible ramp shown and identified on multiple sheets

<u>New and Existing Landscaping & Percentage</u>	Landscaping plan provided; landscaping is shown as total of 31.2% (includes “landscape area” and “stamped concrete” area) exceeds 30% as req. by R-4 zone standards in City Code 10-9E-4; no private irrigation plans provided to review as part of landscape plan
Number of trees	53 trees, 624 shrubs, 246 grasses, 276 annuals/perennials, sod, and rock mulch locations shown
Landscape plan showing all planting, hardscaping, berming, and watering	Shown on landscaping plan
Xeriscaping alternatives being considered	Yes, shown on landscaping plan
<u>New and Existing Walls and Fences</u>	
Location, design, and height	Existing fences identified on C100 and C200; new fences planned for site and shown on site plan
Materials proposed for construction	New chain link fence material anticipated for public facilities
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown
Circulation pattern	Not shown, <u>may discuss traffic movement but seems intuitive</u>
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	R-o-w shown and clearly identified
Face of curb lines	Yes, this is shown
Centerline slope	Yes, this is shown
Signing and striping	<u>Any associated signing installation should be coordinated with public works dept and paid for by applicant; roadway striping should be coordinated with public works;</u>
Light poles	Light poles locations shown on photometric plan
Street lights	Street lights locations shown on photometric plan
Street name signs	Sign locations shown on plans, where applicable; <u>signing installation, if any, should be coordinated with public works dept and paid for by applicant;</u>
Stop signs	Sign locations shown on plans, where applicable; <u>signing installation, if any, should be coordinated with public works dept and paid for by applicant;</u>

UDOT approval (if required for project)	Not applicable to this project
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown and defined on sheets C600 and C603 "City Details"; cross sections meet standards of sidewalk standard depth and approach depth
Planting Strip	Shown
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown, <u>defer to City Engineer</u>
Slope of gutter	Shown, <u>defer to City Engineer</u>
Manholes	Existing and new shown on multiple sheets
Invert elevations	Shown, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets
Ditches, location and ownership	No ditches or waterways of note
Approval to pipe, reroute or use	Other than future City approval, unknown if other approval required; <u>defer to City Engineer</u>
Calculations for retention system	Storm runoff and retention calcs shown on "Storm Drain Report" document; <u>defer to City Engineer</u>
Method of storm water clean-up	Shown on sheets C700 and C701; <u>defer to Public Works Director</u>
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing and new shown on multiple sheets
Invert elevations	Shown, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
Location, size, and type of water meters, valves, and fire hydrants	Water meter locations shown on sheet C400: water meter size is 3", type per public works; Location of new and existing valves shown; Existing and new fire hydrants shown
<u>New and Existing Gas Lines</u>	
Size and type	Existing and new gas lines size and type location shown on C400
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Existing location shown; new electrical lines size and type location in project not shown

Location of power poles	Location of existing power pole locations shown; no new poles anticipated for project
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	Existing and new telephone lines size and type location in project not shown
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	Existing and new cable TV lines size and type location in project not shown, deemed to be not applicable to this project at this time
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Shown on sheet C600 for asphalt install cross section; <u>defer to City Engineer</u>
Cross section of curb and gutter (standard 30" high back)	Shown on sheet C600 "City Details"; <u>defer to City Engineer</u>
Gutter inlet box with bicycle safe grate	Locations shown on sheet C300, cross section shown on C601 "Drainage Details"; bicycle safe grates clearly identified; <u>defer to City Engineer</u>
Cleanout box	Shown on C601; <u>defer to City Engineer</u>
Thrust blocking	Shown where applicable on "City Details" sheets; <u>defer to City Engineer</u>
Special energy dissipating or drop manholes	May not be applicable; <u>defer to City Engineer</u>
<i>ADDITIONAL INFORMATION</i>	
Soils report	Provided as prepared by CMT Engineering on February 6, 2023
Drainage and runoff calculations	Storm runoff and retention calcs shown on "Storm Drain Report" document; <u>defer to City Engineer</u>
Water right transfer documentation	Applicant needs to show proof of transfer to Public Works or other water solutions provided; defer to PW Director
Copy of protective covenants, codes, and regulations for development	No CCR's anticipated for this project; there may be lease agreements for apartment use in the future
Three large full set of plan drawings (24x36), one full set of plan drawings (11x17 sized), and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Yes, these have been provided; DRC approval is also required regarding these elevation drawings
Corp of Engineers approval (if required)	Not applicable or required
Zoning compliance	Yes, Multiple-Family Residential (R-4) meets intended uses for site design
RDA compliance (if applicable)	Not applicable in this matter

Use compliance	Yes, site designed for Multiple-Family Residential homes at R-4 zoning density for apartments use
Engineering comments and letter of approval recommendation	City Engineer, Public Works, Fire Dept, and Police Dept comments provided
Traffic study	Not directly applicable to this project
All Planning Commission and City Staff conditions for approval have been met	<u>Currently consideration of Final Subdivision Plat and Site Plan submission being reviewed for Council recommendation by Planning Commission</u>

DEPARTMENTAL STAFF REPORTS – 5/10/2023 to 5/18/2023

From: Shawn Douglas
Sent: Thu 5/18/2023 6:46 AM
To: Mike Eggett
Subject: Riverdale Apartments

Mike,

I have attached my review comments for the Riverdale Apartment project. Thanks

Plan Review For Riverdale Apartments

Storm Water

- 1-Drainage system operation and maintenance plan and BMPS approved and recorded with plat.
- 2-The site is now a retention basin please provide for free board on retention structure and emergency overflow.
- 3-Hydraulic separator or BMP's to treat storm water before water enters the city/UDOT system.
- 4-Notice of intent filed with state.
- 5-Retention/Detention structure design and materials shown. There is concern with the retention basin and the current design materials.

Streets

- 1-The traffic control pork chop needs to be redesigned, the current design will allow left turns. Consideration should be given for emergency vehicles in the inlet side of the structure.

Water

- 1-Existing water utilities shown on plans.
- 2-Proposed irrigation/sprinkler system plan.
- 3-Provide water shares that will be used to meet water requirements.

Sewer

- 1-Show existing sewer mains and laterals.
- 2-A will serve letter from Central Weber Sewer Improvement District needs to be provided.

Other

- 1-Landscaping around the current city sign needs to allow clear view of the sign.
- 2-A detail/spec sheet needs to be provided for the K9 Grass.
- 3-Please provide information for landscaping the park strips.

Shawn Douglas

Riverdale City Public Works

801-394-5541 ext 1217

Sdouglas@Riverdalecity.com

From: Scott Brenkman

Sent: Wed 5/10/2023 11:20 AM

To: Mike Eggett

Subject: RE: Comments needed for Riverdale Lofts (Apartments) Final Recommendation with PC review
- link for documents

I would agree with the traffic study to not allow left hand turns out of the complex on to 700 West. The design of the pork chop would need further discussion to allow access for fire engines in and out for emergency response.

Thanks,

Chief Scott Brenkman

Riverdale Police Department

4580 S. Weber River Dr.

Riverdale, UT 84405

(801)394-6616

sbrenkman@riverdalecity.com

From: Jared Sholly

Sent: Wed 5/10/2023 9:45 AM

To: Mike Eggett

Cc: Randy Koger

Subject: RE: Comments needed for Riverdale Lofts (Apartments) Final Recommendation with PC review
- link for documents

I have spoken with Randy. There is an FDC we would like to have moved, so it is not on the main roadway and next to the hydrant to match the others within the complex. We are also concerned about the turning radius. The engine they are using is not our specification. We will get more information on this.

Jared Sholly

Fire Chief

Riverdale City Fire Department

Office 801-394-7481

Cell 801-628-6562

From: Randy Koger

Sent: Thu 5/18/2023 10:43 AM

To: Mike Eggett

Cc: Jared Sholly

Subject: RE: Comments needed for Riverdale Lofts (Apartments) Final Recommendation with PC review
- link for documents

REVIEW COMMENTS:

The following review comments are based on information provided on the Preliminary Site Plan Proposal, and shall not extend to means, methods, techniques, sequences, or procedures of construction nor conformance to any specifications. Acceptance of the project is the prerogative of the Authority Having Jurisdiction.

Page C201

- 1) Show turning radius to meet the provided specs for fire apparatus.
- 2) Move FDC as shown on plans.
- 3) Provide Water Supply Analysis.
- 4) West side entrance does not meet width requirements.

Comments made during this review are advisory and do not prevent the necessity of conforming with requirements which might have been overlooked in the review process. Ultimate responsibility for compliance rest with the owner.

RESUBMITTAL INSTRUCTIONS

Please have the contractor/designer:

- 1) address each comment and submit a written response in addition to revised plans and calculations as necessary,
- 2) **cloud** any revisions made to the construction drawings and provide the date of the latest revision on each revised sheet and,
- 3) submit written responses to our review letter, provide revised plans, and supplemental information as necessary



Fire Marshal/Code Enforcement Officer

Riverdale City

801-436-1241

18 May 2023

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Riverdale Apartments – 700 West & 4400 South Street**
Subj: Plat and Improvement Drawing Review

Dear Mike,

Attached is our review of the above referenced Project Drawings for your consideration. The following comments will need to be resolved prior to receiving recommended approval from our office.

Please request the Developer or his Engineer, submit a response letter with their re-submittal of drawings answering all Engineering review comments contained herein.

Plat

1. The Point of Beginning leader line on the plat is covered by the fence line and doesn't appear to be indicated correctly.
2. The "Boundary Description" should include the total area below the description.
3. The areas shown on the plat do not match the area enclosed by the description.
4. Adjacent roadways need to be identified with State Road designation included if applicable.
5. Dates on the plat need to be updated.
6. New lots should have a minimum of 10-foot PUE added along all boundaries of subdivision including roadway frontage.
7. Proposed buildings are over existing easements. Are easements being vacated, if so where are they indicated?
8. The vicinity map needs to show the correct location.

9. Suggest removal of all notes not pertaining to easements and plat information (power pole, storm drain callouts, sewer callouts, etc.) to make the plat more readable.

Improvement Drawings – General Issues:

1. Slab in dumpster enclosure should be thick enough to withstand the weight of the full dumpster and trash truck while emptying dumpster. Suggest 6” thick slab or rebar reinforcement.
2. Landscaping according to calculation sheet is only 26% of site. Should be 30% to meet R-4 zoning standards.
3. Landscaping plans need to have irrigation plan and connection details added to the plans.
4. Traffic study indicates that left turns out of 700 West should be restricted. The “porkchop” shown will not restrict the access. Suggest extending the pork chop to face of curb with access at sidewalk level for pedestrian traffic (We are willing to sit down with developer and explain further if necessary).
5. The title block and address indicated on the plat do not match.
6. The “Geotechnical Report” submitted must be followed:
 - The pavement design will need to be updated in the drawing notes.
7. Culinary Water Issues:
 - Need to provide a detail for installation of the backflow preventer.
 - An irrigation plan needs to be provided for the site showing connections to the backflow device.
8. Grading and Drainage Issues:
 - A hydrodynamic separator is called out in the notes on the grading plan but is not included in the drawing. Ensure hydrodynamic separator is included in the system prior to discharge to UDOT storm drain pipe.
 - The storm water on the north entrance is being discharged into the city right of way (ROW). The catch basins on the north end should be moved to ROW line.
 - Many areas through out the site will require open faced curbs to drain properly. Those areas need to be indicated on the grading plan.
 - SDCB #7 and SDCB #8 have the same inverts and other information. How is SDCB #8 draining to SDCB #7?

- Note storm water will pool in parking lot prior to reaching emergency overflow grate in the pond.
- How is 80th percentile being held on site? Orifice in outlet structure needs to be raised to correct elevation for proper 80th percentile retainage.
- Storm drain info on grading plan still indicates installation of underground chambers. Needs to be updated.
- The drainage calculations shown do not match the summary shown.
- The calculated LID retention is not calculated to the full 0.5-inch per acre for the 5.51 acre site. Retainage should be (10,000 cf.) almost double what is shown.
- A letter from UDOT approving connection to their storm water pipe, or correspondence as to acceptance, is required.
- The artificial turf in the detention pond says "K9 grass or similar", a note needs to be added that if something other than K9 grass is used it need to be reviewed and approved by the city. Also the grass needs to be installed with Stainless Steel staples/anchors to ensure longevity.

9. Storm Water Protection Plan Issues:

- Vicinity map shown on the SWPP is incorrect.

Should you have any questions, feel free to contact our office.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.



R. Todd Freeman, P.E., S.E.

City Engineer

Cc. Shawn Douglas, Riverdale City Public Works Director



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405
Acct #10-34-1500

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR RESIDENTIAL SUBDIVISION SITE PLAN APPROVAL

CASE NO: 2023-01 DATE SUBMITTED: Jan 27, 2023

APPLICANT'S NAME: Wright Development, Logan Johnson

ADDRESS: 1178 West Legacy Crossing Blvd, Centerville, UT 84014

PHONE: 801.773.7339

ADDRESS OF SITE: 801.773.7339

691 W 4400 S, portion of 671 W 4400 S, SEC of 4400S & 700 W
APPLICANT'S INTEREST: See Lot 1 on Preliminary Plat

Application is hereby made to the Riverdale City Planning Commission requesting that a

residential subdivision consisting of 2 lots be approved on 8.02 acres of
(number of lots) (sq. ft./acreage)

property in the R-4/RMH-1 zone in accordance with the attached site plan.

Logan Johnson
Signature of Applicant

[Signature]
Signature of Property Owner

I authorize Logan Johnson, Wright Development to act as my representative in all matters relating to this application.

[Signature]
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$150 per lot/unit = 153 apartment units

Fee: \$ 22,950

Date paid: January 27, 2023

Planning Commission sets public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 2/14/2023 ^{Prelim} 5/23/2023 ^{Final Rec.} Decision of Commission: Approved;

City Council sets public hearing: Yes ☐ No ☐ Date of Public Hearing: _____

City Council scheduled to hear this application for site plan approval on:

Date: _____ Decision of Council: _____



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405
Acct #10-34-1500

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Date: _____ Decision of Council: _____



**Riverdale
City**

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405
Acct #10-34-1500

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APPLICATION FOR RESIDENTIAL SUBDIVISION
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Date: 2/14/2023 ^{Prelim.} 5/23/2023 ^{Final Dec.} Decision of Commission: Approved

City Council sets public hearing: Yes ☐ No ☐ Date of Public Hearing: _____

City Council scheduled to hear this application for site plan approval on:

Date: _____ Decision of Council: _____

RIVERDALE CITY CORPORATION
4600 SOUTH WEBER RIVER DRIVE
RIVERDALE UT 84405

394-5541

Receipt No: 15.554273

Jan 27, 2023

WRIGHT DEVELOPMENT

Previous Balance:	.00
MISCELLANEOUS - 691 W 4400 S	22,950.00
10-34-1500 ZONING & SUB. FEES	

Total:	22,950.00
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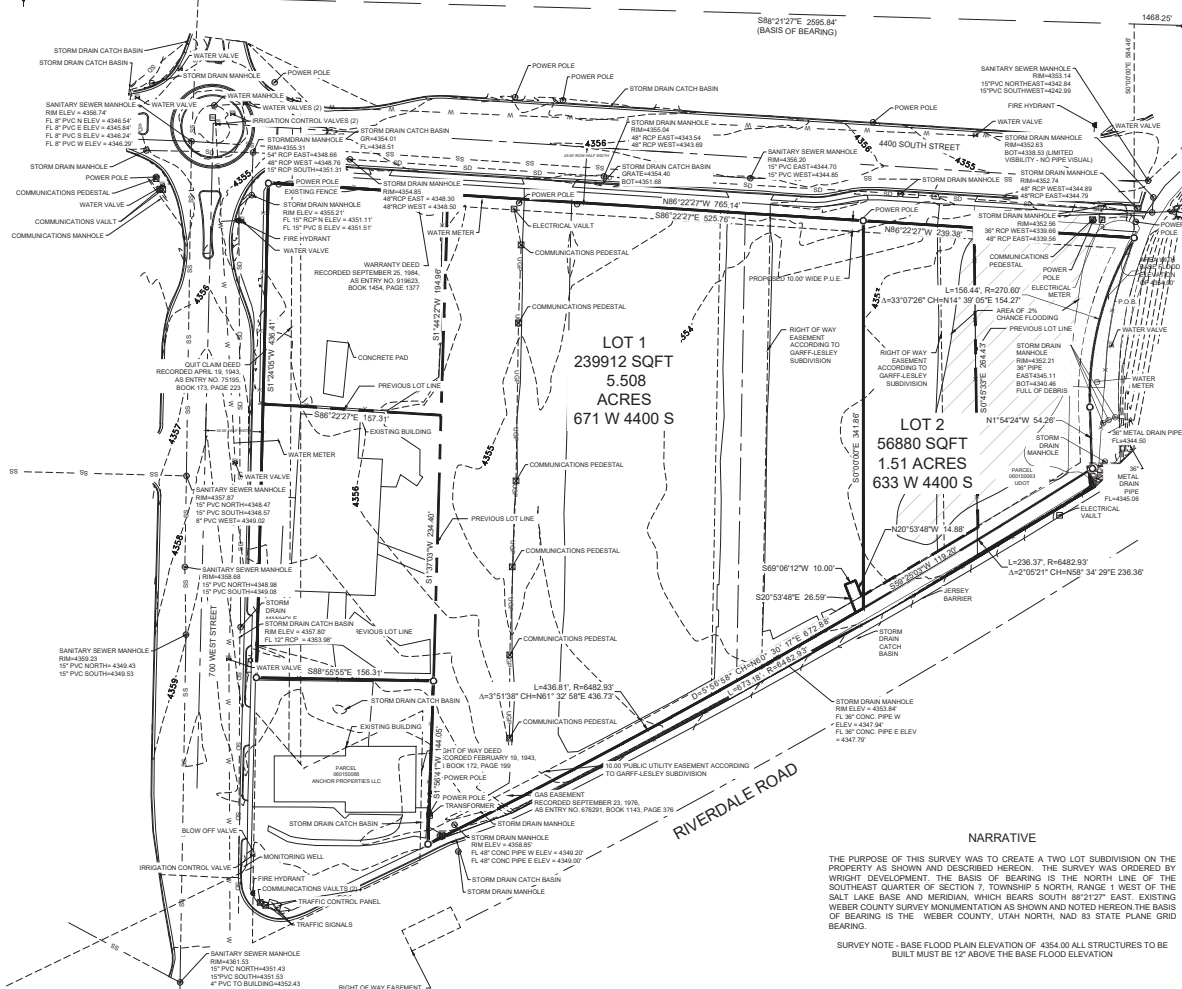
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Change Tendered:	.00
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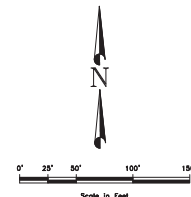
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WDG RIVERDALE SUBDIVISION
PRELIMINARY PLAT
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7,
TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN,
RIVERDALE, WEBER COUNTY, UTAH
DECEMBER 2022

CENTER OF SECTION 7,
TOWNSHIP 5 NORTH, RANGE 1
WEST, S.L.B. & M.
FOUND 3" BRASS CAP ON 2"
PIPE, FAIR CONDITION, DATED
1967



EAST 1/4 COR. SECTION 7,
TOWNSHIP 5 NORTH, RANGE 1
WEST, S.L.B. & M.
FOUND 3" BRASS CAP ON 2"
PIPE, FAIR CONDITION, DATED
1967



- LEGEND**
- WEBER COUNTY MONUMENT AS NOTED
 - SET 24" REBAR AND CAP MARKED 1070888
 - SUBDIVISION BOUNDARY
 - LOT LINE
 - ADJACENT PARCEL
 - SECTION LINE
 - EASEMENT
 - EXISTING FENCE LINE
 - EXISTING WATER LINE
 - EXISTING IRRIGATION LINE
 - EXISTING STORM DRAIN
 - EXISTING SANITARY SEWER
 - EXISTING OVERHEAD POWER
 - EXISTING GAS LINE
 - EXISTING WATER METER
 - EXISTING WATER MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - EXISTING STORM MANHOLE
 - EXISTING CATCH BASIN
 - EXISTING SEWER MANHOLE

BOUNDARY DESCRIPTION

A PART OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST OF THE SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH IS N88°21'27"W 148.25 FEET SOUTH 584.48 FEET FROM THE EAST QUARTER CORNER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE N88°22'27"W 765.14 FEET ALONG THE SOUTH RIGHT OF WAY OF 4400 SOUTH STREET; THENCE S01°24'05"W 436.41 FEET ALONG THE EAST RIGHT OF WAY OF 700 WEST STREET; THENCE S89°55'55"E 156.31 FEET; THENCE S01°56'17"W 144.05 FEET TO A NAIL AND WASHER THAT SAME POINT BEING THE NORTHWESTERLY RIGHT OF WAY OF RIVERDALE ROAD; THENCE NORTHEASTERLY ALONG THAT SAME RIGHT OF WAY, ALONG THE ARC OF A NON TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 642.93 FEET WITH A CHORD BEARING AND DISTANCE OF N80°30'17"E 672.88 FEET, A DISTANCE OF 673.18 FEET; THENCE N01°54'24"W 54.26 FEET TO A CURVE TO THE RIGHT, THAT SAME CURVE HAVING A RADIUS OF 270.60 FEET WITH A CHORD BEARING AND DISTANCE OF N14°30'05"E 154.27 FEET; THENCE ALONG SAID CURVE 156.44 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S CERTIFICATE

I, Willis D. Long, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 1070888 IN ACCORDANCE WITH TITLE 18, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS RECORD OF SURVEY PLAT IN ACCORDANCE WITH SECTION 17-23-20 AND HAVE VERIFIED ALL MEASUREMENTS, THAT THE REFERENCE MONUMENTS SHOWN ON THIS RECORD OF SURVEY PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY, AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS _____ DAY OF _____, 2023.

VICINITY MAP

NOT TO SCALE



OWNER'S DEDICATION

I, THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT:

RIVERDALE APARTMENTS

AND HEREBY DEDICATE, GRANT AND CONVEY TO RIVERDALE CITY, WEBER COUNTY, UTAH, ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, AND ALSO GRANT AND DEDICATE A PERPETUAL EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED ON THE PLAT AS PUBLIC UTILITY, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES OR FOR THE PERPETUAL PRESERVATION OF WATER DRAINAGE CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY RIVERDALE CITY, UTAH, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS.

SIGNED THIS _____ DAY OF _____, 2023.

BY:

PROPERTY OWNER(S):
GARFF PROPERTIES LLC
111 E BROADWAY STE 900
SALT LAKE CITY UT 84111
(801) 227-3135

H & H 38TH STREET LLC
PO BOX 526412
SALT LAKE CITY UT 84152
(801) 773-7339

SD DEVELOPMENT LLC
3515 W 2200 N
PLAIN CITY, UT 84404
(801) 686-6288

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF WEBER)

On this _____ day of _____, 2023, personally appeared before me (NAME OF DOCUMENT SIGNER), whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the (TITLE OR OFFICE OF NAME OF CORPORATION), and that said document was signed by him/her in behalf of said "Corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said (NAME OF DOCUMENT SIGNER) acknowledged to me that said "Corporation executed the same.

STAMP

NOTARY PUBLIC

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO CREATE A TWO LOT SUBDIVISION ON THE PROPERTY AS SHOWN AND DESCRIBED HEREON. THE SURVEY WAS ORDERED BY WRIGHT DEVELOPMENT, THE BASIS OF BEARING IS THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 5 NORTH, RANGE 1 WEST OF THE SALT LAKE BASE AND MERIDIAN, WHICH BEARS SOUTH 88°27'27" EAST. EXISTING WEBER COUNTY SURVEY MONUMENTATION AS SHOWN AND NOTED HEREON THE BASIS OF BEARING IS THE WEBER COUNTY, UTAH NORTH, NAD 83 STATE PLANE GRID BEARING.

SURVEY NOTE - BASE FLOOD PLAIN ELEVATION OF 4354.00 ALL STRUCTURES TO BE BUILT MUST BE 12" ABOVE THE BASE FLOOD ELEVATION

RIVERDALE CITY COUNCIL ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DESIGNATION OF STREETS AND OTHER PUBLIC IMPROVEMENTS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, PARCEL LINE HEREBY APPROVED AND ACCEPTED BY THE CITY COUNCIL OF RIVERDALE CITY, UTAH.

SIGNED THIS _____ DAY OF _____, 2023

MAYOR, RIVERDALE CITY
ATTEST: CITY RECORDER

RIVERDALE CITY ENGINEER

I HEREBY CERTIFY THAT THE OFFICE OF THE CITY ENGINEER HAS EXAMINED THE FOREGOING PLAT AND IN OUR OPINION THE INFORMATION CONTAINED HEREIN COMPLIES WITH THE PUBLIC WORKS STANDARDS AND SPECIFICATIONS OF RIVERDALE CITY.

SIGNED THIS _____ DAY OF _____, 2023

CITY ENGINEER

RIVERDALE CITY PLANNING COMMISSION

THIS IS TO CERTIFY THAT THIS SUBDIVISION WAS DULY APPROVED BY THE RIVERDALE CITY PLANNING COMMISSION.

SIGNED THIS _____ DAY OF _____, 2023

CHAIRMAN, RIVERDALE CITY PLANNING COMMISSION

RIVERDALE CITY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE FAIR WEED CITY ORDINANCE APPLICABLE THERE TO AND NOW IN FORCE AND EFFECT.

SIGNED THIS _____ DAY OF _____, 2023

CITY ATTORNEY

ROCKY MOUNTAIN POWER

EASEMENTS ARE APPROVED AS SHOWN HERE ON

SIGNED THIS _____ DAY OF _____, 2023

AUTHORIZED REPRESENTATIVE

CENTURY LINK

EASEMENTS ARE APPROVED AS SHOWN HERE ON

SIGNED THIS _____ DAY OF _____, 2023

AUTHORIZED REPRESENTATIVE

DOMINION ENERGY

EASEMENTS ARE APPROVED AS SHOWN HERE ON

SIGNED THIS _____ DAY OF _____, 2023

AUTHORIZED REPRESENTATIVE

UTOPIA

EASEMENTS ARE APPROVED AS SHOWN HERE ON

SIGNED THIS _____ DAY OF _____, 2023

AUTHORIZED REPRESENTATIVE

PUBLIC WORKS DEPARTMENT

EASEMENTS ARE APPROVED AS SHOWN HERE ON

SIGNED THIS _____ DAY OF _____, 2023

AUTHORIZED REPRESENTATIVE

DEVELOPER WRIGHT DEVELOPMENT GROUP SPENCER WRIGHT 1176 WEST LEGACY CROSSING BLVD CENTERTVILLE, UTAH, 84014 801-773-7339	S1 1	COUNTY RECORDER	
		ENTRY NO. _____	FEE PAID _____
		FILED FOR AND RECORDED _____	AT _____ IN BOOK _____ OF OFFICIAL RECORDS, PAGE _____, RECORDED _____
		FOR _____	
COUNTY RECORDER		BY: _____	

LAYTON SURVEYS LLC
PROFESSIONAL LAND SURVEYORS
100 N 100 W STE. 1
801-663-1641 | willis@latsurveys.com | CLEARFIELD, UT 84015

COURT RECORDS: 1. ALL PUBLIC RECORDS ARE AVAILABLE FOR REVIEW AT THE OFFICE OF THE CLERK OF DISTRICT COURT, 100 N. 100 W., SALT LAKE CITY, UTAH 84103. 2. ALL PUBLIC RECORDS ARE AVAILABLE FOR REVIEW AT THE OFFICE OF THE CLERK OF DISTRICT COURT, 100 N. 100 W., SALT LAKE CITY, UTAH 84103. 3. ALL PUBLIC RECORDS ARE AVAILABLE FOR REVIEW AT THE OFFICE OF THE CLERK OF DISTRICT COURT, 100 N. 100 W., SALT LAKE CITY, UTAH 84103.