

AGENDA
EAGLE MOUNTAIN CITY COUNCIL MEETING

April 1, 2014

Work Session 4:00 p.m. Policy Session 7:00 p.m.

Eagle Mountain City Council Chambers, 1650 East Stagecoach Run, Eagle Mountain, Utah 84005

*** This meeting may be held telephonically to allow a member of the City Council to participate ***

4:00 P.M. WORK SESSION – COUNCIL CHAMBERS

1. CITY ADMINISTRATOR INFORMATION ITEMS – This is an opportunity for the City Administrator to provide information to the City Council. These items are for information and do not require action by the City Council.
 - A. Presentation – UAMPS, Jackie Coombs
 - B. Discussion – TM Crushing Impact Fees
2. AGENDA REVIEW – The City Council will review items on the Consent Agenda and Policy Session Agenda.
3. ADJOURN TO A CLOSED EXECUTIVE SESSION – The City Council will adjourn into a Closed Executive Session for the purpose of discussing reasonably imminent litigation and the purchase, lease or exchange of real property pursuant to Section 52-4-205(1) of the Utah Code, Annotated.

POLICY SESSION – CITY COUNCIL CHAMBERS

4. CALL TO ORDER
5. PLEDGE OF ALLEGIANCE
6. INFORMATION ITEMS/UPCOMING EVENTS
7. PUBLIC COMMENTS – Time has been set aside for the public to express their ideas, concerns and comments. *(Please limit your comments to three minutes each.)*
8. CITY COUNCIL/MAYOR’S ITEMS – Time has been set aside for the City Council and Mayor to make comments. *(Comments are limited to three minutes each.)*
9. APPOINTMENT
 - A. Economic Development Board – LaMont Snarr (3-year term)
 - B. Parks and Recreation Advisory Board – Ben Reaves (2-year term)
 - C. Military and Veterans Advisory Board – Erika Douglas & Kim Cardwell (3-year terms)

CONSENT AGENDA

10. MINUTES
 - A. March 18, 2014 – Regular City Council Meeting

**THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY COUNCIL MEETINGS.
If you need a special accommodation to participate in the City Council Meetings and Work Sessions,
please call the City Recorder’s Office at least 3 working days prior to the meeting at 801-789-6610.**

11. FINAL PLATS
 - A. Valley View South, Phase A, Plats 4 - 7
12. SITE PLAN
 - A. Eagle Mountain Jr. Seminary
13. DEVELOPMENT AGREEMENT
 - A. Autumn Ridge Phase 2

SCHEDULED ITEMS

14. AGREEMENT – Consideration and Approval of a Final Payment and Settlement Agreement between Eagle Mountain City and CraCar Construction.

BACKGROUND: *(Presented by Adam Ferre)* The proposed agreement addresses all outstanding issues related to the construction of the Energy Building and releases the final payment to CraCar Construction.

15. AGREEMENT – Consideration and Approval of the Second Amendment to the Golf Course Donation Agreement.

BACKGROUND: *(Presented by Staff)* In July 2009, Eagle Mountain Links, LLC (Ames Construction) donated The Ranches Golf Course to Eagle Mountain City. There were certain stipulations and agreements that accompanied that donation, including the requirement that Ames relocate and improve Tee Box #12 and the related cart path, which is located closest to Stonebridge Lane and Ranches Parkway. An Amendment to the Golf Course Donation Agreement was approved in February 2011, extending the original completion date from July 2011 to July 2013. The extension was requested because of the economic downturn. The property adjacent to Tee Box #12 has not developed as quickly as was anticipated and the developer has requested that the deadline be extended until July 2016.

16. AGREEMENT – Consideration and Approval of the First Amendment to the Power Sales Agreement Between Utah Municipal Power Agency and Eagle Mountain City, Utah.

BACKGROUND: *(Presented by Adam Ferre)* On August 12, 2012, Eagle Mountain City entered into a Power Sales Agreement with Utah Municipal Power Agency (UMPA) for the purchase of electric capacity and certain energy requirements from UMPA. The Amendment extends the term of the Agreement through June 30, 2017 and provides for the assignability of the Agreement by Eagle Mountain City.

17. CITY COUNCIL/MAYOR’S BUSINESS – This time is set aside for the City Council’s and Mayor’s comments on City business.
18. CITY COUNCIL BOARD LIAISON REPORTS – This time is set aside for Councilmembers to report on the boards they are assigned to as liaisons to the City Council.
19. COMMUNICATION ITEMS
 - a. Upcoming Agenda Items

b. Financial Report

20. ADJOURNMENT

CERTIFICATE OF POSTING

The undersigned duly appointed recorder or deputy recorder does hereby certify that the above agenda notice was posted in four public places within Eagle Mountain City limits on this **27th day of March, 2014**. These public places being bulletin boards located inside the City offices and located in the Eagle Mountain City Library, 1650 E. Stagecoach Run, Eagle Mtn., UT; and the bulletin board located inside the Prairie Gate professional office building, 3688 E. Campus Dr., Eagle Mountain, Utah. On this **27th day of March, 2014**, the above agenda notice was posted to the Utah State public notice website <http://www.utah.gov/pmn/index.html>.

Fionnuala B. Kofoed, City Recorder

MINUTES
EAGLE MOUNTAIN CITY COUNCIL MEETING

March 18, 2014

Work Session 4:00 p.m. Policy Session 7:00 p.m.

Eagle Mountain City Council Chambers, 1650 East Stagecoach Run, Eagle Mountain, Utah 84005

4:00 P.M. WORK SESSION – COUNCIL CHAMBERS

ELECTED OFFICIALS PRESENT: Adam Bradley, Donna Burnham, Ryan Ireland, Richard Steinkopf and Tom Westmoreland.

CITY STAFF PRESENT: Ifo Pili, City Administrator; Jason Walker, Assistant City Administrator; Jeremy Cook, City Attorney; Fionnuala Kofoed, City Recorder; Melanie Lahman, Deputy City Recorder; Paul Jerome, Finance Director; Ikani Taumoepeau, Economic Development Director; Rand Andrus, Fire Chief; Chris Trusty, Public Works Director; Steve Mumford, Planning Director; Adam Ferre, Energy Director; Kent Partridge, Building Official; Linda Peterson, Public Information Director; Eric McDowell, Sheriff's Deputy.

Mayor Pengra called the meeting to order at 4:06 p.m.

1. CITY ADMINISTRATOR INFORMATION ITEMS – This is an opportunity for the City Administrator to provide information to the City Council. These items are for information and do not require action by the City Council.

- A. 2011 Gas and Electric Revenue Bonds Status Report

- A. Energy Director Adam Ferre reported on the status of the 2011 Gas and Electric Revenue bonds. The planned projects are almost complete and several additional projects have been added. Both the planned and additional projects have come in under budget, so there are funds remaining in the bonds.

Mr. Pili commended Mr. Ferre and his staff for managing the bond funds so well.

2. AGENDA REVIEW – The City Council will review items on the Consent Agenda and Policy Session Agenda.

14. Pony Express Days Rodeo Appropriation

- Councilmember Bradley asked why the appropriation is capped at \$140,000. City Attorney Jeremy Cook stated that the study needed to list a proposed amount in order to be published. The Council has authority to adjust the amount actually appropriated.

Councilmember Ireland asked why the appropriation is being discussed as a contribution to a nonprofit when part of it is actually being paid to Powder River, a for-profit company. Mr. Cook said the City is making a nonmonetary appropriation to the nonprofit by assigning the benefit of the payment to the nonprofit organization.

Councilmember Burnham asked how an appropriation study is triggered, since the City has aided other nonprofits without doing a study. Mr. Cook said that, according to State statute, a study should always be done when a city provides a nonmonetary contribution to a nonprofit, but the City hasn't done one up until now.

Mayor Pengra allowed representatives of the Rodeo Committee make a presentation.

Councilmember Bradley asked Jared Gray, President of the Rodeo Committee, what changes he would like to see in the contract. Mr. Gray pointed out that the committee hadn't requested \$140,000. He wanted to remove the item regarding bleacher rental, as they plan to buy bleachers. He would like City time defined more clearly, to include time for discussions with the City Administrator and City Attorney and perhaps help from City staff with miscellaneous repairs.

Councilmember Burnham mentioned a request made by Mr. Gray in an email, to change the wording that referred to an attempt to continue the rodeo, because they will definitely hold the rodeo.

Councilmember Ireland noted that the resolution only refers to 2014. He asked if there was an expectation for help in the future. Mr. Cook said that in the future there will probably only be a lease agreement for the rodeo grounds. No other assistance is expected.

15. TM Crushing Impact Fee Agreement

Scott Hazard of The Real Estate Group explained that TM Crushing never paid an impact fee because it was planning to be a temporary use. "Temporary" was never defined. TM Crushing has requested additional electrical power and expects to be a long-term temporary power user, so it plans to pay the impact fee for the electric infrastructure it needs. Mr. Hazard requested an installment agreement dividing the fee into four payments.

Councilmember Bradley asked why this question is being brought to the Council. City Attorney Jeremy Cook read 15.110.050, which specifies that impact fee exceptions must be determined by the Council.

16. Rural Economic Development Loan/Grant Program

Economic Development Director Ikani Taumoepeau and Economic Development Board President Justin Loera explained the REDL/G program. It is a Federal program designed to promote small business in underserved rural areas. It is a combination grant/loan program. Direct Communications has requested that the City participate in the program so the company can build an office building. Direct Communications will pay all of the costs, but they need the City to administer the loan for them. The program is not exclusively available to Direct Communications. Any other business in the City can apply to the program through Direct Communications, which has committed to provide the service to other businesses.

Councilmember Bradley asked what risk there is to the City. Mr. Loera said there is no risk because Direct Communications is taking out a bond to guarantee the costs of the building.

Councilmember Ireland asked how the Federal program stays funded if it disburses \$1.3M and only receives \$1M in return. Mr. Loera said as long as the USDA chooses to offer the program and the City's population remains under 50,000, businesses in the City can apply.

Mr. Loera said that the City has lost business development because land was too expensive for the potential buyer. This program might have helped those businesses locate here.

Mr. Pili pointed out that this program provides a revolving loan fund that will serve a niche market that banks don't serve. If an applicant applies for money that could be borrowed from a bank, they'll have to go to the bank rather than the program.

Mr. Taumoepeau noted that Utah Valley University has expressed interest in using some of the office space in the new building for an educational center.

3. ADJOURN TO A CLOSED EXECUTIVE SESSION – The City Council will adjourn into a Closed Executive Session for the purpose of discussing reasonably imminent litigation and the purchase, lease or exchange of real property pursuant to Section 52-4-205(1) of the Utah Code, Annotated.

MOTION: *Councilmember Burnham moved to adjourn into a Closed Executive Session for the purpose of discussing reasonably imminent litigation and the purchase, lease or exchange of real property, pursuant to Section 52-4-205(1) of the Utah Code, Annotated. Councilmember Ireland seconded the motion. Those voting aye: Adam Bradley, Donna Burnham, Ryan Ireland, Richard Steinkopf and Tom Westmoreland. The motion passed with a unanimous vote.*

The meeting was adjourned at 5:51 p.m.

POLICY SESSION – CITY COUNCIL CHAMBERS

ELECTED OFFICIALS PRESENT: Adam Bradley, Donna Burnham, Ryan Ireland, Richard Steinkopf and Tom Westmoreland.

CITY STAFF PRESENT: Ifo Pili, City Administrator; Jason Walker, Assistant City Administrator; Jeremy Cook, City Attorney; Fionnuala Kofoed, City Recorder; Melanie Lahman, Deputy City Recorder; Paul Jerome, Finance Director; Ikani Taumoepeau, Economic Development Director; Rand Andrus, Fire Chief; Chris Trusty, Public Works Director; Adam Ferre, Energy Director; Kent Partridge, Building Official; Linda Peterson, Public Information Director; Eric McDowell, Sheriff's Deputy.

4. CALL TO ORDER

Mayor Pengra called the meeting to order at 7:06 p.m.

5. PLEDGE OF ALLEGIANCE

Boy Scout Troop 1061 presented a flag ceremony.

6. INFORMATION ITEMS/UPCOMING EVENTS

- **PRCA Rodeo Camp** – A PRCA Rodeo Camp will be held on Saturday, March 22, from 9:00 a.m. to 2:00 p.m. at the rodeo grounds. It is free to attend and offers instruction in bareback, saddle bronc and bull riding. Participants will learn about safety techniques, learn the correct spurring moves, have riding equipment checked/fixed, learn chute procedures, handling livestock, working with pickup men and an overall review of the rodeo business. Camps are for ages 8 and older. No live buck-outs. Registration is required and is available on the City website, Events page.
- **Seniors Garden Preparation Class** – The Seniors will host a garden preparation class in the City Council Chambers on Monday, March 31 at 5:00 p.m.
- **Spring Clean-up** – The City will offer our annual spring clean-up dumpsters for yard and general waste April 1-20. Dumpsters will be located near the Public Works building, in front of the wastewater treatment plant. A schedule for the dumpsters to be emptied and a

list of items unacceptable for the dumpsters is available on the City website, News page. Utah County is offering a household hazardous waste collection day on April 12 at the Provo Towne Centre Mall. Information for this event is also available on the City website.

- **Blood Battle Blood Drive** – The third annual Blood Battle blood drive sponsored by Horrocks Engineers and administered by the Red Cross will be held on Tuesday, April 8, in the Council Chambers from 8:00 a.m. to 1:00 p.m. The drive is a friendly competition among northern Utah County cities to provide much needed donations for the blood bank. Eagle Mountain City has been the winner of the battle for the past two years. Employees from Horrocks will donate community service hours to the city with the most donors. This year's theme is Community Hero, in honor of Sgt. Cory Wride. Donation jars will also be available for Sgt. Cory Wride's family. Registration is required and is available via the City website, Events page.

7. **PUBLIC COMMENTS** – Time has been set aside for the public to express their ideas, concerns and comments.

David Busk, of the Executive Board of Directors of the National Little Britches Rodeo Association, presented Mayor Pengra with a plaque thanking Eagle Mountain for its support of the association and its events.

Kristy Strongo, representing the Westlake Ute Football League, said that their 7th grade team won its division and the 5th grade team took third place. The teams also competed in the USA Invitational in Mesquite. They practice and play in Mid Valley Regional Park. Because the program is growing, the League is applying for a grant to expand the playing fields. She requested that the City budget some funds to add to the grant funds.

Bruno Hunziker, a White Hills resident, said that during the last election, he went to several meetings in which a major issue was keeping the cost of Pony Express Days down. He would like the rodeo to be privately managed. He said that when Pole Canyon and White Hills were annexed, the developer promised to build a rodeo ground. He asked the elected officials to hold them to their promise. He asked Mr. Pili to see that the White Hills Park is completed this year.

Heather Woffinden asked the Council to spend no more than the contracted \$61,000 on the rodeo.

Jen Morrison objected to the rodeo. She felt that the money was wasted, rodeo animals are mistreated and the rodeo appeals to nonresidents more than residents.

Brian & Lindsay Bills, owners of the Little Dress-Up Shop, said that they've been unable to find affordable retail space in Eagle Mountain. They asked the Council to support the REDL/G loan and grant program that will be voted on at this meeting.

Luke Pannell, a White Hills resident, said that if the City had held the developer to the master development agreement when White Hills was annexed, the rodeo wouldn't be a problem because a rodeo grounds was to be built as part of the agreement. He encouraged everyone to stop talking about special interest groups and be united, and he asked the Council to support the incubator program and small businesses.

Wendy Lojik, a member of the Rodeo Committee, wanted to clarify what the committee was asking for to help hold the rodeo, as there has been some misunderstanding, especially on social media. The committee is requesting the \$61,400 the City is already contracted to pay the stock

contractor, \$14,000 for half the purse, the PRCA and WPRCA dues. She said the Rodeo Committee is not just about the rodeo, it's about building the community. She volunteers in every area she can for the community. She's disturbed at how the Rodeo Committee is sometimes portrayed. It had to be started as a new entity to expend funds, but it's composed of experienced volunteers who want to support City events without using taxpayer funds.

Mayor Pengra thanked everyone for speaking and asked that all residents remember that they're one city, even though everyone can't always agree.

8. CITY COUNCIL/MAYOR'S ITEMS – Time has been set aside for the City Council and Mayor to make comments.

Councilmember Steinkopf

Councilmember Steinkopf said it's great to hear everyone's comments and to see Boy Scouts attending the meeting. It shows that the City is unified.

Councilmember Burnham

Councilmember Burnham asked those under 18 to stand, and asked those in attendance to give them a round of applause. She loves it when youth are involved in City government. She appreciated all the volunteers who help the community. She asked everyone to remember that the rodeo committee is made up of volunteers. Whether or not residents agree with the proposal, they should respect the efforts of the volunteers on the committee. She reminded everyone that the Republican caucus meetings will be held on Thursday.

Councilmember Burnham also said that several months ago, a resident from White Hills asked about the status of the agreement with the developer who annexed White Hills to the City. Mayor Jackson had responded that she would be meeting with the developer to go over the contract and there would be a follow up report. Councilmember Burnham asked for a copy of the report. Mayor Pengra said he would provide it directly after the meeting.

Councilmember Ireland

Councilmember Ireland expressed appreciation to those in attendance, especially those who made public comments. He loves seeing Boy Scouts in uniforms attending the meeting.

Councilmember Westmoreland

Councilmember Westmoreland said everyone has different opinions, but everyone's goal is to improve the City. He thanked Luke Pannell for reminding the residents of the City to be unified. Working together allows people to get things done, make friends and become interested in each other's concerns.

Councilmember Bradley

Councilmember Bradley was excited to be part of this process and excited for the residents' involvement. He wasn't able to attend the 5K Run for the Fallen, but he heard it was a great, well-run event.

Mayor Pengra

Mayor Pengra thanked Boy Scout Troop 1061 for presenting the flag ceremony.

9. PRESENTATION – I.P.S.A. Safety Awards

Energy Director Adam Ferre stated that the Electrical Department received an award from the Intermountain Power Superintendents' Association for five years without a lost-time accident. Mayor Pengra commended the Energy and Public Works employees for their focus on safety.

10. PROCLAMATION – Child Abuse Prevention Month

Mayor Pengra read the proclamation declaring April, 2014, Child Abuse Prevention Month.

MOTION: *Councilmember Steinkopf moved to approve the proclamation declaring April, 2014, Child Abuse Prevention Month in Eagle Mountain City. Councilmember Burnham seconded the motion. Those voting aye: Adam Bradley, Donna Burnham, Ryan Ireland, Richard Steinkopf and Tom Westmoreland. The motion passed with a unanimous vote.*

Councilmember Ireland said that approving a proclamation doesn't accomplish a lot. He requested that the City actively support child abuse prevention. He suggested putting information and resources on the City's website and Facebook page.

CONSENT AGENDA

11. MINUTES

A. March 4, 2014 – Regular City Council Meeting

12. BOND RELEASE – Into Warranty

- A. Meadow Ranch V, Plat 1 – Subdivision Improvement Bond
- B. Meadow Ranch V, Plat 1 – Onsite Utilities Bond
- C. Sunset Ridge A, Plat 1 – Onsite Utilities Bond

MOTION: *Councilmember Ireland moved to approve the Consent Agenda. Councilmember Burnham seconded the motion. Those voting aye: Adam Bradley, Donna Burnham, Ryan Ireland, Richard Steinkopf and Tom Westmoreland. The motion passed with a unanimous vote.*

SCHEDULED ITEMS

PUBLIC HEARING

13. ORDINANCE – Consideration and Adoption of an Ordinance of Eagle Mountain City, Utah, Amending the Fiscal Year 2013-2014 Budget.

This item was presented by Finance Director Paul Jerome. The proposed amendments to the FY 2013-2014 budget are for paying the fiscal year 2014 road bond payment from the General Fund, reimbursing the transportation impact fee fund for the fiscal year 2013 road bond payment and for HVAC improvements to City Hall.

Mayor Pengra opened the public hearing at 7:47 p.m.

Tyler Shimakonis asked where in the General Fund the money was being taken from to fund the amendments. Mr. Jerome explained that it will come from the unrestricted General Fund balance.

Mayor Pengra closed the public hearing at 7:49 p.m.

MOTION: *Councilmember Burnham moved to adopt an Ordinance of Eagle Mountain City, Utah, amending the fiscal year 2013-2014 budget. Councilmember Steinkopf seconded the motion. Those voting aye: Adam Bradley, Donna Burnham, Ryan Ireland, Richard Steinkopf and Tom Westmoreland. The motion passed with a unanimous vote.*

PUBLIC HEARING

14. RESOLUTION – Consideration and Adoption of a Resolution of Eagle Mountain City, Utah, Approving an Assignment and Addendum to the Pony Express Days PRCA Rodeo, Eagle Mountain, Utah Rodeo Contract.

This item was presented by City Attorney Jeremy Cook. Due to budget constraints and changes in policy, Eagle Mountain City will not conduct a 2014 rodeo. Certain residents have formed a non-profit committee, separate from the City, to conduct the rodeo. The City has agreed to rent the rodeo grounds to the committee, and to assign the original rodeo agreement to the non-profit committee. The proposal documents the terms of the agreement.

Jared Gray presented the Rodeo Committee's plan for the rodeo. They noted that the rodeo began in 2010 when the City built the rodeo grounds and hosted the rodeo all within 45 days.

He also discussed options for purchasing bleachers, assuming a nonprofit committee can purchase amenities for public facilities. Mr. Gray said that, because there are plans to build a rodeo grounds in Pole Canyon, the rodeo can be moved to that facility if desired. Other events that could be held in the rodeo grounds include Little Britches rodeos, which are already held there, 4-H, BMX, and a demolition derby.

He noted that some people have objected to the rodeo because it appeals to a relatively small group of residents. He pointed out that there are 43 other parks, plus a splash pad and a skate park, each of which appeals to a limited segment of the population.

Mr. Gray distributed copies of the anticipated budget for the event. He pointed out a number of expenses that the City incurred due to the rodeo that will be paid by the Rodeo Committee if it is allowed to take over the rodeo. He said the committee is only asking for cash support for the stock contract, half of the purse and the PRCA and WPRCA dues. The cost of the stock contract has to be paid by the City whether the rodeo is held or not. As a nonprofit, if the committee acquires any extra funds, the City can approach it for donations to community improvement projects. The Rodeo Committee considers the rodeo itself an improvement to the community.

Mayor Pengra opened the public hearing at 8:04 p.m.

Peggy Hunziker, a resident of White Hills, stated that the Pole Canyon annexation agreement included a promise that a rodeo facility would be built in Pole Canyon by 2015. She said Councilmembers Burnham and Ireland voted for that agreement and had failed to require the developer to meet that commitment.

Paul Riley, a resident of North Ranch, said his daughters had grown up participating in rodeos. He and his family were supporters of the rodeo. Since the approximately \$60,000 being requested by the Rodeo Committee is contractually required to be paid by the City, the committee will make it useful. As to rodeo participants being a minority, so is every other group of sports fans in the City.

Matt Morrison asked if the City Council has seen proof that the Rodeo Committee has 501©3 nonprofit status. Mayor Pengra said that he had looked it up and it does.

Luke Pannell said that he joined last year's Rodeo Committee two days after returning home from Afghanistan because he cared about the City and the events it holds. This year's Rodeo Committee proposes to take over the rodeo so that the City doesn't have to use taxpayer money to fund it. He noted that the Pendleton Round-Up in Oregon is run by a nonprofit group and brings 50,000 to the city every year. He wanted Nate Shipp of DAI and the Mayor and Council to do what they agreed to do.

Diana Bird said that before she came to this meeting, she was against the rodeo because of the cost. Through listening to the discussions in this meeting, she felt that the cost was a concern for both sides and was more inclined to support it if it doesn't cost the City too much.

David Busk, of the Little Britches Rodeo Association, stated that all municipal rodeos are run by civic improvement associations and all of them bring money into their communities. If the City is going to allow a rodeo, they should allow experienced people like those on the Rodeo Committee manage it.

Travis Gray said he's lived in the City for eleven years and has been a rodeo fan his whole life. He hasn't seen a lot of opportunities to volunteer in the City. The rodeo provides the opportunity to volunteer, save the City some money and perhaps provide money for improvements to other parks.

Wendy Pendleton asked about the statement that 20% of the City is horse property. She wondered how much of that property actually had horses. She thought it was a very small percentage. She felt that the City has never held developers to their promises. The developer of her subdivision didn't follow through, and neither has the developer that annexed White Hills to the City.

Nick Jessen came to the meeting to understand more about the rodeo issue. He felt that the issue was creating momentum for the City. If the City is locked into a contract anyway, it should let the committee show the detractors it can be successful.

James Crandall, a White Hills resident, said there's been some talk that support of the rodeo will detract from White Hills getting what it was promised. He felt with the current Mayor and City Council in place, there's a way to make the rodeo happen and bring White Hills more into Eagle Mountain.

Doreen Turner stated that her daughter Brianna is very involved with 4-H. The Eagle Mountain 4-H is huge and is utilizing the rodeo grounds. She asked the City to support the rodeo because of the great opportunity it provides to the youth.

Angie Burgess, a resident of Valley View Ranch, said that she has horses, but doesn't participate in rodeo. She felt that the rodeo is a great opportunity to get to know people and the rodeo grounds will improve the community.

Melissa Garrett has been in Eagle Mountain for 14 years. She felt that the rodeo grounds provide activities for kids and adults and brings money into the City and the surrounding communities.

Dwayne Webber used to come to Council meetings regularly because he needed his water meter moved and the Mayor promised it for years. Then Nate Shipp of DAI promised that for years. The meter was finally moved after Luke Pannell went to Nate Shipp and told him he needed to move the meter. He felt that the City needs to hold him to his commitments.

Becky Painter of Cedar Pass Ranch has all kinds of animals. She's done 4-H for years, almost always in Spanish Fork. 4-H is in Eagle Mountain now, and she encouraged the City to make the rodeo grounds available for kids in 4-H who work with all kinds of animals.

Casey Mascaro said that he plans to move to Eagle Mountain soon and locate his rodeo stock contracting company, Circle J, into the area. He commended the Rodeo Committee for taking on the project. He felt the rodeo could be managed for much less than it has cost so far.

Mayor Pengra closed the public hearing at 8:34 p.m.

MOTION: *Councilmember Burnham moved to adopt a Resolution of Eagle Mountain City, Utah, approving an assignment and addendum to the Pony Express Days PRCA Rodeo, Eagle Mountain, Utah Rodeo contract, removing item 5 from the contract. Councilmember Ireland seconded the motion. Those voting aye: Donna Burnham, Ryan Ireland, Richard Steinkopf and Tom Westmoreland. Those voting no: Adam Bradley. The motion passed with a 4:1 vote.*

Item 5, removed from the contract, was an appropriation to help pay for bleacher rental for the rodeo grounds.

Mayor Pengra expressed appreciation for everyone who came to the meeting to talk about the rodeo. He said he didn't support the rodeo because he felt he was elected to be fiscally conservative. He was happy that the Rodeo Committee was willing to raise the money and have the rodeo.

Councilmember Westmoreland explained that he voted yes because he felt the cost of Pony Express Days needed to be reduced and the rodeo needed to be made private. He was grateful that residents stepped up to make it happen. They will make mistakes and correct them, and will be a model for others who want to take up other public projects.

Councilmember Ireland appreciated everyone being at the meeting, especially those who stepped up to make public comments. He appreciated the Rodeo Committee. He hoped that everyone understood that the City entered into an agreement with a third party to run a rodeo because the City was obligated to pay the \$61,000 to the stock contractor. If a rodeo was held, the City was obligated to pay the entire purse. This agreement reduces the City's obligation to half of the purse. He voted "no" on the rodeo for four years, because he didn't want taxpayer funds committed to make the rodeo happen. He hoped the Rodeo Committee was very successful.

Councilmember Bradley congratulated the Rodeo Committee. He explained that his "no" vote didn't mean he didn't support them. He supported them and their venture; but he couldn't vote to fund an entity with taxpayer money. He hoped to help however he could.

15. AGREEMENT – Consideration and Approval of an Electrical Service Impact Fee Installment Agreement with TM Crushing.

This item was presented by Energy Director Adam Ferre. TM Crushing leases property north of SR 73 and operates a stone and gravel pit on the property. The proposed agreement is for additional electrical service to the site. The City will impose a payment of \$175,452.59 in electric impact fees over a period of three years as a condition to connecting to the system improvement and for new electrical services.

Mr. Ferre explained that TM Crushing began working in Eagle Mountain in 2011, powering their rock crushers with diesel generators. Within a year they decided to connect to the City power system. They installed infrastructure that didn't meet City standards. They signed an agreement with the City to maintain it at TM Crushing's cost. The Council waived impact fees on a temporary basis.

The impact fees now need to be paid. TM Crushing proposes to pay the fees in four payments over three years.

Councilmember Bradley asked what would happen if the Council voted this proposal down? He felt that approving the agreement gives the company a three-year, interest-free loan. Mr. Ferre said that TM Crushing will have to pay the fee, be disconnected from the system, or propose another solution.

Councilmember Westmoreland asked who installed the line. Mr. Ferre said that TM Crushing paid the Energy Department to install and maintain the power line. Because it wasn't a permanent location for the line, it wasn't required to meet City standards.

Councilmember Ireland said a temporary, conditional use permit isn't charged impact fees. He asked what the impact to the system will be in 20 years or so when the company is no longer operating in Eagle Mountain. Mr. Ferre said that it will impact the rates. The City has to build a system that meets their need, which is 2000 amps.

MOTION: *Councilmember Westmoreland moved to approve an electrical service impact fee installment agreement with TM Crushing and authorize the Mayor to sign the contract. Councilmember Burnham seconded the motion. Those voting no: Adam Bradley, Donna Burnham, Ryan Ireland, Richard Steinkopf and Tom Westmoreland. The motion failed with a unanimous vote.*

Councilmember Ireland asked Mr. Ferre what his next step would be. Mr. Ferre and Mr. Pili responded that they will meet with representatives of TM Crushing, explain the Council vote and discuss their options. Mr. Ferre invited the Councilmembers to email him and Mr. Pili with their suggestions for reasonable terms for an agreement with TM Crushing. The Mayor invited TM Crushing's representatives to send their suggestions to him and the Council.

City Attorney Jeremy Cook pointed out that the two-year time limit on TM Crushing's temporary agreement ends on August 2nd, so they have that long to work out an agreement on paying the impact fees.

16. MOTION – Consideration and Approval of the Rural Economic Development Grant and Loan Letters of Conditions.

This item was presented by Economic Development Director Ikani Taumoepeau and Economic Development Board President Justin Loera. The REDL/G provides zero-interest (0%) loans for

ten years to promote sustainable economic development and job creation projects in rural areas. For this project, Eagle Mountain City would serve as a pass-through intermediary for Star West Properties, which is interested in building an 11,000 sq. ft. office building in the Eagle Mountain Business Campus. “Pass-through” means that Eagle Mountain City won’t pay any taxpayer money into the program. The \$60,000 grant fee will be paid by Direct Communications. Ultimately, the City will receive \$300,000 for a revolving loan fund to help small businesses.

Councilmember Burnham has struggled with this, largely because she has a hard time taking money from the government. Although this is a wonderful program, she feels that the City should not take money from the Federal government that it doesn’t have.

Councilmember Bradley said he objected to this program because he felt that the federal government is side-stepping the free market. However, he is willing to approve it because it fills a need not being met by the private sector.

Councilmember Westmoreland pointed out that this is a loan that will be paid back, so it doesn’t add to the national debt. At this point, the City is losing businesses because there is too little commercial space for them to use.

Councilmember Ireland said that banks don’t give zero-cost loans because there are costs to giving loans. There are costs to this loan, as well. City employees have already spent a lot of time working on this proposal, which is a cost.

MOTION: *Councilmember Ireland moved not to approve the Rural Economic Development Grant and Loan Letters of Conditions. Councilmember Burnham seconded the motion.*

Councilmember Bradley wondered why the City would vote to fund a private group so it can hold a rodeo, but not to fund a permanent improvement to the City.

*Those voting aye: Adam Bradley, Richard Steinkopf and Tom Westmoreland.
Those voting no: Donna Burnham, Ryan Ireland. The motion failed with a 3:2 vote.*

MOTION: *Councilmember Westmoreland moved to approve the Rural Economic Development Grant and Loan Letters of Condition with the condition that Direct Communications pay the \$60,000 for the grant portion. Councilmember Bradley seconded the motion.*

Councilmember Westmoreland noted that this vote doesn’t bind the City to the agreement. This just puts the USDA on notice that the City is interested in the program.

Councilmember Burnham pointed out that banks do make loans for projects like this office building, because all of the office buildings in Eagle Mountain have been built using bank loans.

Councilmember Steinkopf asked Mr. Cook if the Council can require the applicant to pay the \$60,000. Mr. Cook said it could.

*Those voting aye: Adam Bradley, Richard Steinkopf and Tom Westmoreland.
Those voting no: Donna Burnham, Ryan Ireland. The motion passed with a 3:2 vote.*

17. RESOLUTION – Consideration and Adoption of a Resolution of Eagle Mountain City, Utah, Amending the Policies and Procedures Manual.

This item was presented by Assistant City Administrator Jason Walker. The Policies and Procedures Manual is being amended to clarify the sick leave policy and to change the time card policy to bring it in line with FLSA guidelines.

The time card policy says that the City can delay payment to employees who fail to complete their time cards properly. Eagle Mountain has never done that in practice, but the wording is in the manual and needs to be removed. The sick leave policy is being changed to clarify that a three-day absence due to illness must be documented by a note from a doctor.

MOTION: *Councilmember Ireland moved to adopt a Resolution of Eagle Mountain City, Utah, amending the Policies and Procedures Manual. Councilmember Steinkopf seconded the motion. Those voting aye: Adam Bradley, Donna Burnham, Ryan Ireland, Richard Steinkopf and Tom Westmoreland. The motion passed with a unanimous vote.*

18. AGREEMENT – Consideration and Approval of an Interlocal Agreement for NPDES Phase II Storm Water Public Education and Outreach BMPs Compliance.

This item was presented by Public Works Director Chris Trusty. As part of the Storm Water Management Plan, Eagle Mountain City proposes joining the Utah County Storm Water Coalition. The Coalition will provide the City with staff training, public education and outreach opportunities.

MOTION: *Councilmember Burnham moved to approve an interlocal agreement for NPDES Phase II storm water public education and outreach BMPs compliance. Councilmember Ireland seconded the motion. Those voting aye: Adam Bradley, Donna Burnham, Ryan Ireland, Richard Steinkopf and Tom Westmoreland. The motion passed with a unanimous vote.*

19. ORDINANCE – Consideration and Adoption of an Ordinance of Eagle Mountain City, Utah, Amending Chapter 13.75 of the Eagle Mountain Municipal Code, Storm Water Management.

This item was presented by City Attorney Jeremy Cook. On February 18, 2014, the City Council adopted the Eagle Mountain City Storm Water Management Program. The program is required in order to comply with the City's Municipal Separate Storm Sewer System (MS4) Permit. The amendments to Chapter 13.75 coincide with the Program.

MOTION: *Councilmember Steinkopf moved to adopt an Ordinance of Eagle Mountain City, Utah, amending Chapter 13.75 of the Eagle Mountain Municipal Code, Storm Water Management. Councilmember Bradley seconded the motion. Those voting aye: Adam Bradley, Donna Burnham, Ryan Ireland, Richard Steinkopf and Tom Westmoreland. The motion passed with a unanimous vote.*

20. CITY COUNCIL/MAYOR’S BUSINESS – This time is set aside for the City Council’s and Mayor’s comments on City business.

Councilmember Steinkopf

Councilmember Steinkopf reported that he attended the Public Works Board’s meeting last week. They discussed the storm drain management program and road maintenance.

Councilmember Burnham

Councilmember Burnham thanked everyone who stayed until the end of the meeting. She felt that there had been some good discussion.

Councilmember Ireland

Councilmember Ireland said that the Library Board meeting scheduled for Thursday has been cancelled due to the caucus meetings scheduled for that evening.

Councilmember Westmoreland

Councilmember Westmoreland thanked everyone for participating. He was glad that the discussions weren’t contentious.

Councilmember Bradley

Councilmember Bradley stated that the Planning Commission scheduled for this week was cancelled. He was excited about the process in the meeting tonight.

Mayor Pengra

Mayor Pengra congratulated the rodeo committee and looked forward to what they bring to the community.

21. CITY COUNCIL BOARD LIAISON REPORTS – This time is set aside for Councilmembers to report on the boards they are assigned to as liaisons to the City Council.
22. COMMUNICATION ITEMS
- a. Upcoming Agenda Items
 - b. Financial Report
23. ADJOURNMENT

MOTION: *Councilmember Ireland moved to adjourn the meeting at 9:20 p.m. Councilmember Westmoreland seconded the motion. Those voting aye: Adam Bradley, Donna Burnham, Ryan Ireland, Richard Steinkopf and Tom Westmoreland. The motion passed with a unanimous vote.*



EAGLE MOUNTAIN CITY
City Council Staff Report

APRIL 1, 2014

Project: **Valley View Ranch Phase A Plats 4,5,6 & 7 – Final Plats**
Applicant: Steve Maddox – Edge Homes
Request: Final Plat Approval
Type of Action: Action Item; Consent Agenda
Planning Commission: Recommended Approval (4-0)

Planning Commission Action

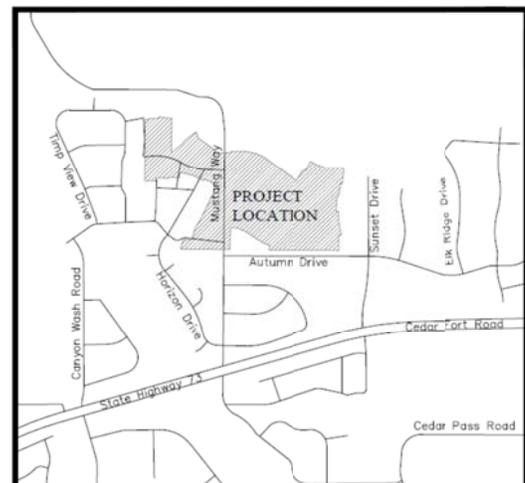
The Planning Commission recommends approval of this proposed final plat with the following conditions of approval:

1. Master Plan Compliance. That this subdivision complies with all conditions of the Valley View Master Plan and Agreement.
2. Neighborhood Park. That the entire Neighborhood Park is completed by the developer prior to the issuance of the 150th Valley View building permit. That berms are added to help buffer the park areas from the streets. That the park area shows grass as ground cover. That they will have to improve the equestrian trail with the final plat.
3. Military Vehicle Access. That access is maintained for military and emergency vehicles along the current Camp Williams road alignment (Mustang Way). No Parking along Hummer Dr.
4. Water pressure and tank. That the developer remains in compliance with section 3.3 of the Master Development Agreement regarding water pressure.
5. Cul-de-sacs. That the minimum radius on a cul-de-sac is 60 feet.
6. Lots. A soils report is required for every lot. Lots that are one-half to three-quarters of an acre shall have a front and rear setback of no less than 50 feet and a side yard setback no less than 25 feet. If a road is constructed with curb and gutter and/or a trailway, then the front setback may be reduced to 35 feet. Lots with a slope greater than 2:1 will require engineered retaining walls.
7. Septic Approval. Preliminary septic approval required by the Utah County Health Department.

PROPOSAL

Valley View Ranch Phase A Plats 4-9 are a part of the approved Valley View Master Development Plan. Previously, in March 2006, the Planning Commission approved the Valley View North preliminary plat. Approval of the preliminary plat allowed 177 lots on 132.77 acres with an average lot size of 24,665 sq. ft. Valley View North Final Plats A-1, A-2, A-3, and B have been approved and are within the preliminary plat.

The final plat is an 85-acre configuration of the 132.77 acre approved preliminary plat and includes 123 lots in six phases. A preliminary and final plat review includes the layout of lots, proper street circulation, utility demands, park and recreation sites, etc. The lots in this plat substantially conform to the approved preliminary plat, and the tabulations are shown below:



SITE TABULATIONS PHASE 4

• TOTAL # OF LOTS:	10 LOTS
• TOTAL ACREAGE:	8.38 ACRES
• TOTAL ACREAGE IN LOTS:	7.10 ACRES
• TOTAL OPEN SPACE:	0.00 ACRES
• TOTAL IMPROVED OPEN SPACE:	0.00 ACRES
• AVERAGE LOT SIZE:	0.71 ACRES OR 30,928 SQFT.
• LARGEST LOT SIZE:	1.03 ACRES
• SMALLEST LOT SIZE:	0.50 ACRES
• OVERALL DENSITY:	1.19 UNITS/ACRE

SITE TABULATION PHASE 5

• TOTAL # OF LOTS:	18 LOTS
• TOTAL ACREAGE:	12.17 ACRES
• TOTAL ACREAGE IN LOTS:	9.69 ACRES
• TOTAL OPEN SPACE:	0.00 ACRES
• TOTAL IMPROVED OPEN SPACE:	0.00 ACRES
• AVERAGE LOT SIZE:	0.54 ACRES OR 23,522 SQFT.
• LARGEST LOT SIZE:	0.75 ACRES
• SMALLEST LOT SIZE:	0.50 ACRES
• OVERALL DENSITY:	1.48 UNITS/ACRE

SITE TABULATION PHASE 6

• TOTAL # OF LOTS:	17 LOTS
• TOTAL ACREAGE:	11.32 ACRES
• TOTAL ACREAGE IN LOTS:	9.38 ACRES
• TOTAL OPEN SPACE:	0.00 ACRES
• TOTAL IMPROVED OPEN SPACE:	0.00 ACRES
• AVERAGE LOT SIZE:	0.55 ACRES OR 23,958 SQFT.
• LARGEST LOT SIZE:	0.86 ACRES
• SMALLEST LOT SIZE:	0.50 ACRES
• OVERALL DENSITY:	1.50 UNITS/ACRE

SITE TABULATION PHASE 7

• TOTAL # OF LOTS:	15 LOTS & 1 PARCEL
• TOTAL ACREAGE:	14.40 ACRES
• TOTAL ACREAGE IN LOTS:	10.06 ACRES
• TOTAL OPEN SPACE:	1.99 ACRES
• TOTAL IMPROVED OPEN SPACE:	0.00 ACRES
• AVERAGE LOT SIZE:	0.67 ACRES OR 29,185 SQFT.
• LARGEST LOT SIZE:	1.02 ACRES
• SMALLEST LOT SIZE:	0.49 ACRES
• OVERALL DENSITY:	1.04 UNITS/ACRE

SITE TABULATION PHASE 8

• TOTAL # OF LOTS:	24 LOTS
• TOTAL ACREAGE:	15.07 ACRES
• TOTAL ACREAGE IN LOTS:	13.20 ACRES
• TOTAL OPEN SPACE:	0.00 ACRES
• TOTAL IMPROVED OPEN SPACE:	0.00 ACRES
• AVERAGE LOT SIZE:	0.55 ACRES OR 23,958 SQFT.
• LARGEST LOT SIZE:	0.69 ACRES
• SMALLEST LOT SIZE:	0.48 ACRES
• OVERALL DENSITY:	1.59 UNITS/ACRE

SITE TABULATION PHASE 9

• TOTAL # OF LOTS:	39 LOTS
• TOTAL ACREAGE:	23.64 ACRES
• TOTAL ACREAGE IN LOTS:	20.21 ACRES
• TOTAL OPEN SPACE:	0.00 ACRES
• TOTAL IMPROVED OPEN SPACE:	0.00 ACRES
• AVERAGE LOT SIZE:	0.52 ACRES OR 22,216 SQFT.
• LARGEST LOT SIZE:	0.64 ACRES
• SMALLEST LOT SIZE:	0.50 ACRES
• OVERALL DENSITY:	1.65 UNITS/ACRE

Noteworthy Items

- Utilities – The City cannot confirm that there is sufficient water for the total number of lots (123) and is in the process of updating the City's model. We can only recommend approval for 60 lots until the City verifies that there is availability of water for any additional lots. This means we can only recommend approval of Phases 4-7 (60 lots). The remaining plats, Plats 8 & 9, should be tabled until the issue can be resolved.
- Sewer – All lots in Phases 4, 5 & 6 will have septic; however, Camp Williams has plans to run a sewer line through Phases 4 & 5. Staff would like to discuss phasing and potential redundancy of sewer infrastructure with the Council.
- Fire -- Fire flow test required prior to receiving building permits.
- Water Rights – The developer must submit a letter indicating either the banked water rights that he plans to use for this plat, or a commitment to purchase water from the City.
- Park Improvement – Park completion is required prior to 150 building permits being issued in all of Valley View. 72 homes have been built or permits issued; approximately 16 vacant improved lots remain. Each final plat recordation requires a cash escrow for park improvements in the amount of \$1,219.68 per lot.
- Community Improvements – Improve the equestrian trail on the west side (condition of preliminary plat approval).
- Roads – No parking along Hummer Drive (condition of preliminary plat). The preliminary plat was approved with a gate between Mustang Way and Hummer Drive to limit access for Camp Williams' use. Current military installation security requirements preclude gated access points. As this access

point will now remain open across unimproved City property, a solution needs to be identified whether to improve the dirt road.

- Lots – A soils report is required for every lot. Lots that are one-half to three-quarters of an acre shall have a front and rear setback of no less than 50 feet and a side yard setback no less than 25 feet. If a road is constructed with curb and gutter and/or a trailway, then the front setback may be reduced to 35 feet. Lots with a slope greater than 2:1 will require engineered retaining walls.

Motion Options

The City Council may choose to take any of the following actions:

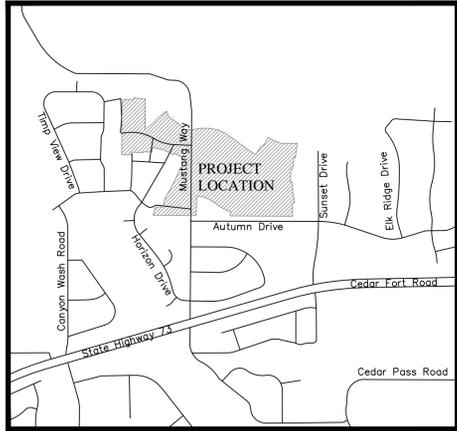
- (1) Approve the project with the conditions as recommended by the Planning Commission;
- (2) Deny the project based upon specific findings of fact (valid reasons);
- (3) Table the project with valid reasons;
- (4) Approve the project with modifications to the conditions of approval.

ATTACHMENTS:

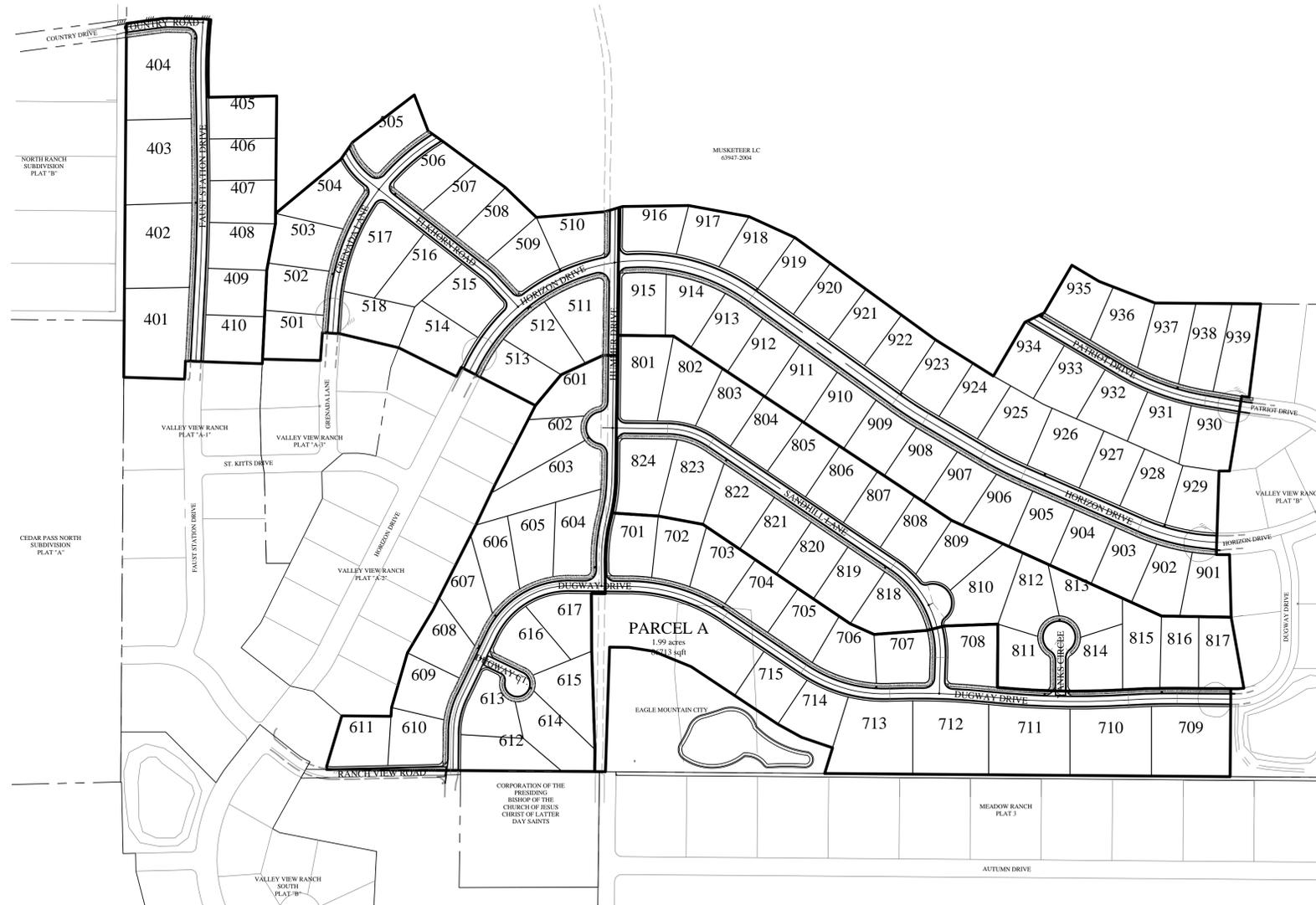
- Proposed final plat/plans

VALLEY VIEW RANCH

PREPARED FOR:
EDGE HOMES
LOCATED IN:
EAGLE MOUNTAIN, UTAH



VICINITY MAP
NTS



SITE MAP

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO EAGLE MOUNTAIN CITY AND APWA STANDARD PLANS AND SPECIFICATIONS
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

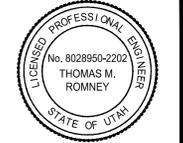
CONTACTS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING
502 WEST 8360 SOUTH
SANDY, UTAH 84070
(801) 352-0075
CONTACT: THOMAS ROMNEY

OWNER/DEVELOPER
EDGE HOMES
480 WEST 800 NORTH SUITE 200
OREM, UTAH 84059
(801) 494-0150
CONTACT: BRANDON WATSON

Sheet List Table	
Sheet Number	Sheet Title
C1	Cover
C2	Final Plat Phase 4
C3	Final Plat Phase 5
C4	Final Plat Phase 6
C5	Final Plat Phase 7
C6	Final Plat Phase 8
C7	Final Plat Phase 9
C8	Phasing Plan
C9	Plan and Profile Sheet Index
C10	Detention Plan
C11	Erosion Control Plan
PP1	Country Drive Plan and Profile
PP2	Faust Station Drive Plan and Profile
PP3	Faust Station Drive Plan and Profile
PP4	Grenada Lane Plan and Profile
PP5	Elkhorn Road Plan and Profile
PP6	Horizon Drive Plan and Profile
PP7	Ranch View Road Plan and Profile
PP8	Dugway Drive Plan and Profile
PP9	Dugway Drive Plan and Profile
PP10	Dugway Court Plan and Profile
PP11	Hummer Drive Plan and Profile
PP12	Hummer Drive Plan and Profile
PP13	Dugway Drive Plan and Profile
PP14	Dugway Drive Plan and Profile
PP15	Yanks Circle Plan and Profile
PP16	Sandhill Lane Plan and Profile
PP17	Sandhill Lane Plan and Profile
PP18	Horizon Drive Plan and Profile
PP19	Horizon Drive Plan and Profile
PP20	Horizon Drive Plan and Profile
PP21	Water Line Plan and Profile
PP22	Patriot Drive Plan and Profile

VALLEY VIEW RANCH
EAGLE MOUNTAIN
Cover

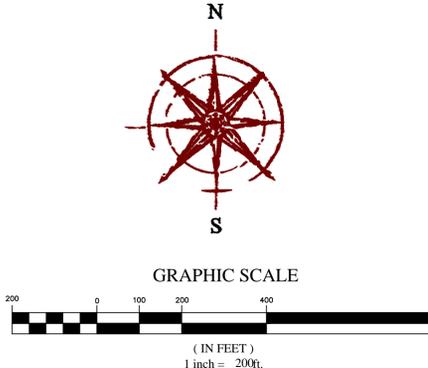


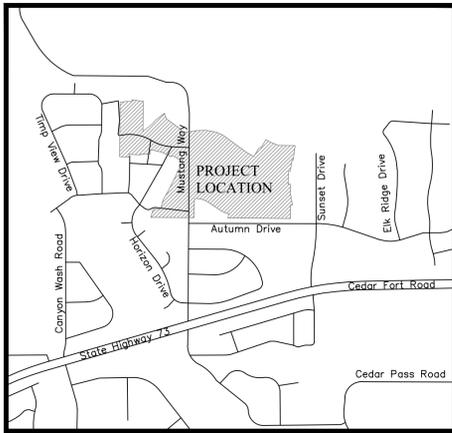
REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

COVER

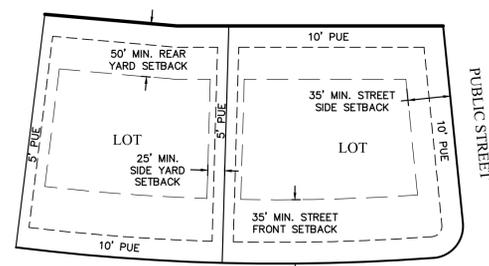
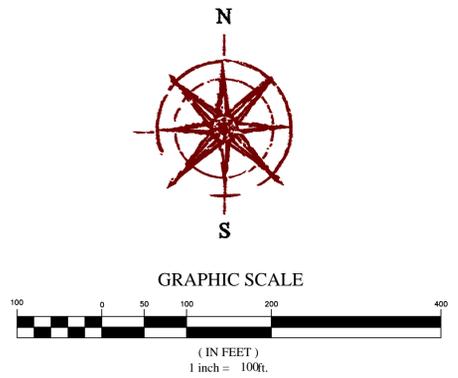
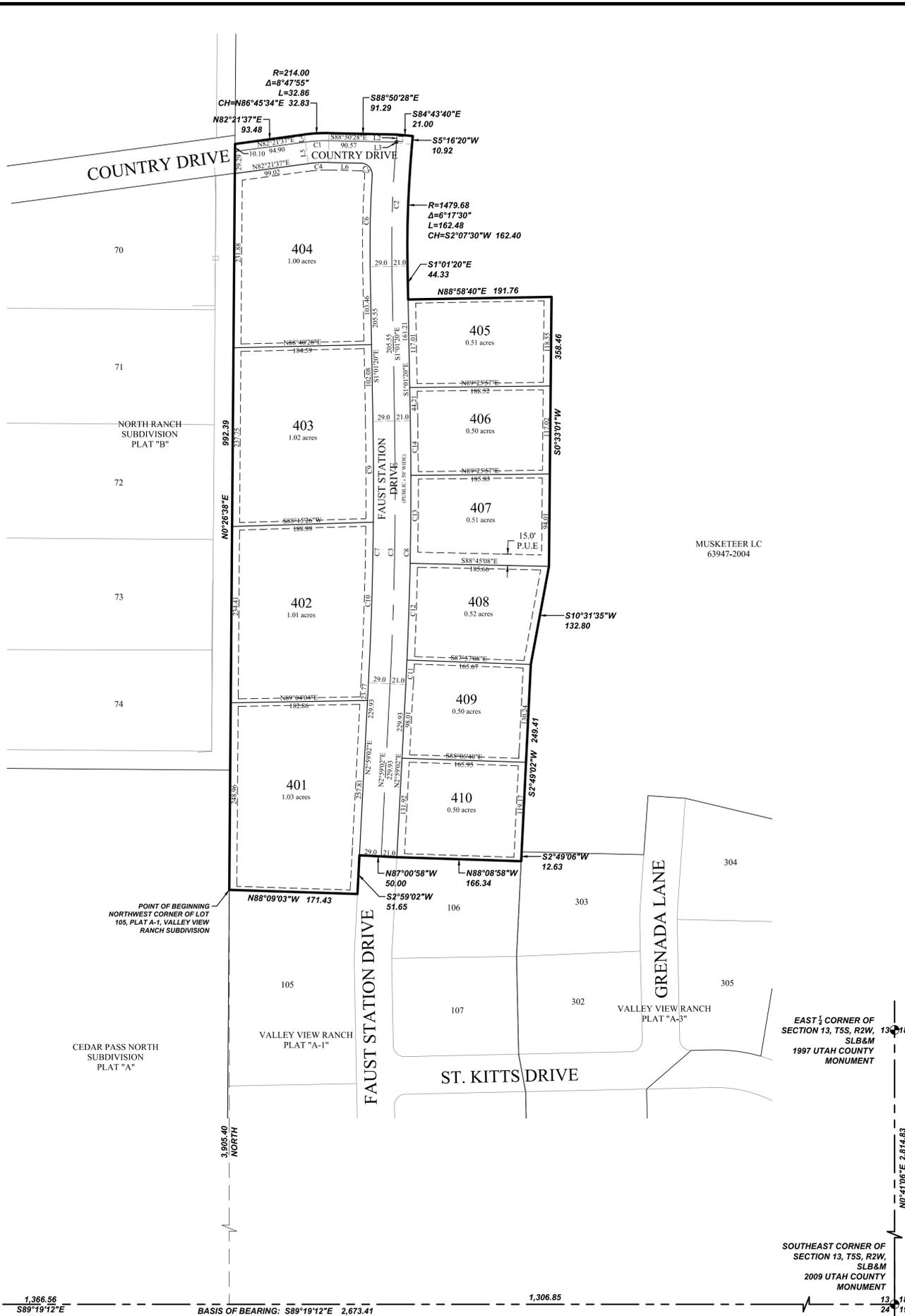
Scale: 1"=200'
Date: 03/20/2014
Sheet: C1

Drawn: TMR
Job #: 13-209





VICINITY MAP



TYPICAL BUILDING SETBACKS

LINE	LENGTH	DIRECTION
L1	10.92	N05°16'20"E
L2	10.03	S05°16'20"W
L3	0.89	S05°16'20"W
L4	10.00	S07°38'23"E
L5	29.00	S07°38'23"E
L6	43.99	S88°50'28"E

CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	204.00	8°47'55"	31.33	S86°45'34"W	31.30
C2	1500.00	6°17'40"	164.79	S02°07'30"W	164.71
C3	5002.50	4°00'22"	349.78	N00°58'51"E	349.71
C4	175.00	8°47'55"	26.87	S86°45'34"W	26.85
C5	15.00	92°23'37"	24.19	N42°38'40"W	21.65
C6	1529.00	4°34'29"	122.08	S01°15'54"W	122.05
C7	4973.50	4°00'22"	347.76	N00°58'51"E	347.68
C8	5023.50	4°00'22"	351.25	N00°58'51"E	351.18
C9	4973.50	1°32'46"	134.20	N00°14'57"W	134.20
C10	4973.50	2°27'37"	213.55	N01°48'14"E	213.54
C11	5023.50	0°22'22"	32.69	S02°47'51"W	32.69
C12	5023.50	1°28'07"	128.76	S01°52'36"W	128.76
C13	5023.50	1°20'04"	117.01	S00°28'31"W	117.00
C14	5023.50	0°49'49"	72.80	S00°36'26"E	72.79

SITE TABULATIONS

- TOTAL # OF LOTS: 10 LOTS
- TOTAL ACREAGE: 8.38 ACRES
- TOTAL ACREAGE IN LOTS: 7.10 ACRES
- TOTAL OPEN SPACE: 0.00 ACRES
- TOTAL IMPROVED OPEN SPACE: 0.00 ACRES
- AVERAGE LOT SIZE: 0.71 ACRES OR 30,928 SQFT.
- LARGEST LOT SIZE: 1.03 ACRES
- SMALLEST LOT SIZE: 0.50 ACRES
- OVERALL DENSITY: 1.19 UNITS/ACRE

NOTES:

- STREET MONUMENT TO BE SET
- REBAR AND CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. LEAD PUGS TO BE SET IN THE TOP BACK OF CURB ON THE PROJECTION OF SIDE LOT LINES.
- ALL LOTS IN PHASE 4 WILL REQUIRE A SEPTIC SYSTEM.

SURVEYOR'S CERTIFICATE

I, DENNIS P. CARLISLE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 172675 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF SAID CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND THE MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

A portion of Section 13, Township 5 South, Range 2 West, Salt Lake Base & Meridian, more particularly described as follows:
Beginning at a rebar & cap (found) at the northwest corner of Lot 105, Plat A-1, VALLEY VIEW RANCH NORTH Subdivision, as constructed, according to the Official Plat thereof on file in the Office of the Utah County Recorder, coincident with the easterly line of CEDAR PASS NORTH "A" Subdivision, as constructed, according to the Official Plat thereof on file in the Office of the Utah County Recorder, said lot corner is located S89°19'12"E along the Section line 1,366.56 feet and North 3,905.40 feet from the South 1/4 Corner of Section 13, T5S, R2W, S.L.B.& M.; thence N0°26'38"E 992.39 feet along said CEDAR PASS NORTH "A" Subdivision and NORTH RANCH Subdivision, Plat "B"; thence N82°21'37"E 93.48 feet; thence along the arc of a 214.00 foot radius curve to the right 32.86 feet through a central angle of 8°47'55" (chord: N86°45'35"E 32.83 feet; thence S88°50'28"E 91.29 feet; thence S84°43'40"E 21.00 feet; thence S5°16'20"W 10.92 feet; thence along the arc of a 1,479.00 foot radius curve to the left 162.48 feet through a central angle of 6°17'40" (chord: S2°07'30"W 162.40 feet; thence S1°01'20"E 44.33 feet; thence N88°58'40"E 191.77 feet; thence S0°33'01"W 358.46 feet; thence S10°31'35"W 132.80 feet; thence S2°49'06"W 249.41 feet to the northwest corner of Lot 303, VALLEY VIEW RANCH NORTH, Plat A-3, as constructed, according to the Official Plat thereof on file in the Office of the Utah County Recorder; thence S2°49'06"W along said Plat 12.63 feet to the northeast corner of said VALLEY VIEW RANCH NORTH, Plat A-1; thence along said Plat the following 4 (four) courses and distances: thence N88°08'58"W 166.34 feet; thence N87°00'58"W 50.00 feet; thence S2°59'02"W 51.65 feet; thence N88°09'03"W 171.43 feet the point of beginning.

Contains: 8.38 +/- acres

PROFESSIONAL LAND SURVEYOR _____ DATE _____

OWNERS DEDICATION

WE, THE UNDERSIGNED OWNERS OF ALL OF THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THAT THE LAND DESCRIBED ON THIS PLAT TO BE DIVIDED INTO LOTS, STREETS, PARKS, OPEN SPACES, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THE PLAT AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-9a-607, UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO EAGLE MOUNTAIN CITY, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY EASEMENTS AND IMPROVEMENTS, OPEN SPACES SHOWN AS PUBLIC OPEN SPACES, PARKS AND ALL OTHER PLACES OF PUBLIC USE AND ENJOYMENT TO EAGLE MOUNTAIN CITY, UTAH TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND EAGLE MOUNTAIN CITY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____ A.D. 20____.

ACKNOWLEDGMENT

STATE OF UTAH _____ S.S.
COUNTY OF UTAH _____

ON THE _____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ A NOTARY PUBLIC COMMISSIONED IN UTAH
NOTARY ADDRESS _____ PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF EAGLE MOUNTAIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL ROADS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.

APPROVED: _____ ATTEST: _____
MAYOR (SEE SEAL BELOW) _____ CLERK/RECORDER (SEE SEAL BELOW) _____

CITY ENGINEER APPROVAL

I CERTIFY THAT THE PLAT AND IMPROVEMENT PLANS MEET THE MINIMUM CITY STANDARDS FOR SUBDIVISION WITHIN THE BOUNDARY OF THE CITY OF EAGLE MOUNTAIN APPROVED THIS _____ DAY OF _____, A.D. 20____.

CITY ENGINEER _____

CITY ATTORNEY APPROVAL

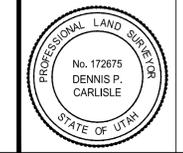
APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE CITY ATTORNEY OF EAGLE MOUNTAIN CITY _____

CITY ATTORNEY _____

PLAT "A" PHASE 4
VALLEY VIEW RANCH
SUBDIVISION

EAGLE MOUNTAIN, UTAH COUNTY, UTAH

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY-COUNTY ENGINEER SEAL COUNTY RECORDER SEAL



SOUTH 1/4 CORNER OF SECTION 13, T5S, R2W, SLB&M 2005 UTAH COUNTY MONUMENT

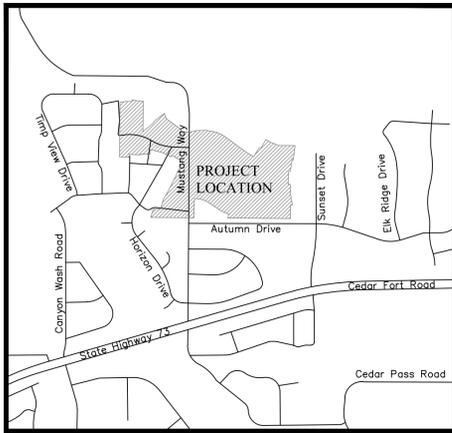


FAUST STATION DRIVE BASIS OF BEARING: S89°19'12"E 2,673.41

1,306.85

SOUTHEAST CORNER OF SECTION 13, T5S, R2W, SLB&M 2009 UTAH COUNTY MONUMENT





VICINITY MAP

NOTES:

- ...STREET MONUMENT TO BE SET
- #5 REBAR AND CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. LEAD PLUGS TO BE SET IN THE TOP BACK OF CURB ON THE PROJECTION OF SIDE LOT LINES.
- ALL LOTS IN PHASE 5 WILL REQUIRE A SEPTIC SYSTEM.
- NO PARKING ALONG HUMMER DRIVE.

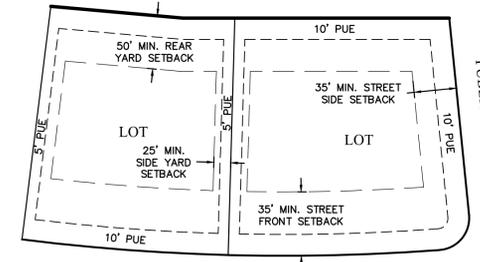
SITE TABULATION

• TOTAL # OF LOTS:	18 LOTS
• TOTAL ACREAGE:	12.17 ACRES
• TOTAL ACREAGE IN LOTS:	9.69 ACRES
• TOTAL OPEN SPACE:	0.00 ACRES
• TOTAL IMPROVED OPEN SPACE:	0.00 ACRES
• AVERAGE LOT SIZE:	0.54 ACRES OR 23,522 SQFT.
• LARGEST LOT SIZE:	0.75 ACRES
• SMALLEST LOT SIZE:	0.50 ACRES
• OVERALL DENSITY:	1.48 UNITS/ACRE



GRAPHIC SCALE

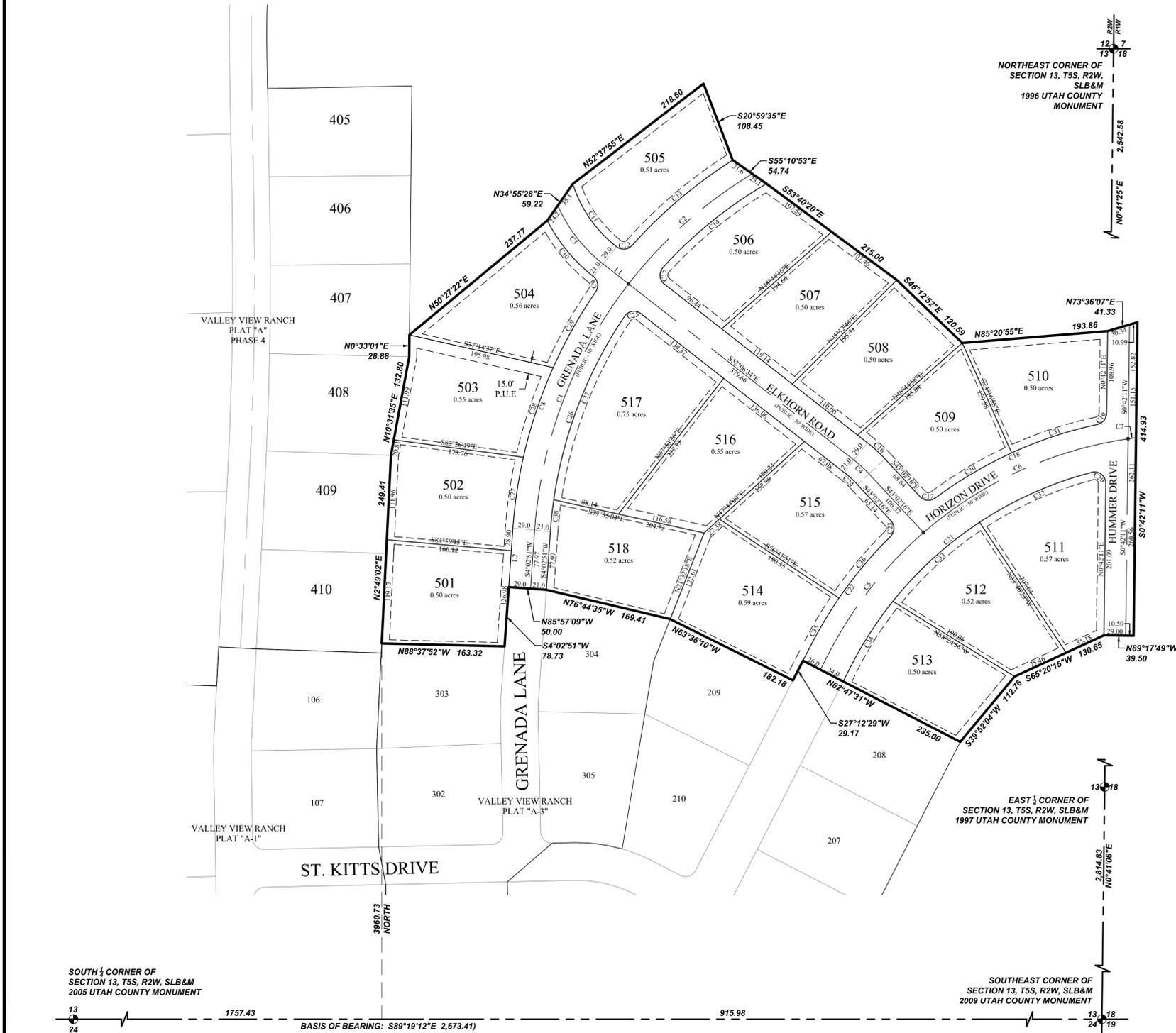
(IN FEET)
1 inch = 80 ft.



TYPICAL BUILDING SETBACKS

LINE	LENGTH	DIRECTION
L1	43.14	S52°06'34"E
L2	77.97	S04°02'51"W

CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	600.00	33°48'10"	353.98	S20°59'11"W	348.87
C2	600.00	21°06'05"	220.97	S48°26'18"W	219.73
C3	200.00	28°19'20"	98.86	S37°56'54"E	97.86
C4	171.00	9°04'18"	27.07	N47°34'25"W	27.05
C5	534.00	22°00'46"	205.16	S38°12'52"W	203.90
C6	534.00	32°30'23"	302.96	S65°28'27"W	298.92
C7	534.00	1°08'20"	10.61	S82°17'49"W	10.61
C8	629.00	30°35'54"	335.91	S19°23'03"W	331.93
C9	15.00	86°47'34"	22.72	N08°42'47"W	20.61
C10	221.00	25°04'04"	96.69	S39°34'32"E	95.92
C11	171.00	34°26'09"	102.77	S34°53'29"E	101.23
C12	15.00	86°05'06"	22.54	N84°50'53"E	20.48
C13	629.00	16°00'12"	175.69	S49°48'26"W	175.12
C14	579.00	17°33'47"	177.48	S51°08'37"W	176.79
C15	15.00	94°28'17"	24.73	S04°52'26"E	22.02
C16	200.00	9°04'18"	31.67	N47°34'25"W	31.63
C17	15.00	83°30'16"	21.86	S84°47'25"E	19.98
C18	560.00	24°27'13"	239.01	S65°41'03"W	237.20
C19	15.00	77°12'29"	20.21	N39°18'25"E	18.72
C20	15.00	105°13'06"	27.55	N51°54'22"W	23.84
C21	500.00	48°16'36"	421.29	S51°20'47"W	408.94
C22	560.00	18°15'50"	178.51	S36°20'24"W	177.75
C23	15.00	88°30'35"	23.17	N01°13'01"E	20.94
C24	150.00	9°04'18"	23.75	N47°34'25"W	23.72
C25	15.00	93°39'46"	24.52	S81°03'33"W	21.88
C26	579.00	30°08'34"	304.61	S19°09'23"W	301.11
C27	629.00	8°46'06"	96.26	N08°23'39"E	96.17
C28	629.00	11°24'18"	125.21	N18°28'51"E	125.00
C29	629.00	10°30'00"	115.27	N29°26'00"E	115.11
C30	560.00	12°06'13"	118.30	N59°30'33"E	118.08
C31	560.00	12°21'00"	120.71	N71°44'10"E	120.47
C32	500.00	18°45'23"	163.68	S66°06'23"W	162.95
C33	500.00	17°55'44"	156.46	S47°45'50"W	155.82
C34	500.00	11°35'28"	101.15	S33°00'13"W	100.98
C35	560.00	7°20'56"	71.83	N30°52'57"E	71.78
C36	560.00	10°54'54"	106.68	N40°00'52"E	106.52
C37	579.00	26°00'54"	262.89	S21°13'13"W	260.64
C38	579.00	4°12'16"	42.49	S06°06'38"W	42.48



SOUTH 1/4 CORNER OF SECTION 13, T5S, R2W, SLB&M 2005 UTAH COUNTY MONUMENT

EAST 1/4 CORNER OF SECTION 13, T5S, R2W, SLB&M 1997 UTAH COUNTY MONUMENT

SOUTHEAST CORNER OF SECTION 13, T5S, R2W, SLB&M 2009 UTAH COUNTY MONUMENT

BASIS OF BEARING: S89°19'12"E 2,673.41'

SURVEYOR'S CERTIFICATE

I, DENNIS P. CARLISLE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 172675 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAN IN ACCORDANCE WITH SECTION 17-23-17 OF SAID CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND THE MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAN, AND THAT THIS PLAN IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

A portion of Section 13, Township 5 South, Range 2 West, and Section 18, Township 5 South, Range 1 West, Salt Lake Base & Meridian, more particularly described as follows:
Beginning at a rebar & cap (found) at the northwest corner of Lot 303, Plat A-3, VALLEY VIEW RANCH NORTH Subdivision, as constructed, according to the Official Plat thereof on file in the Office of the Utah County Recorder, said lot corner is located S89°19'12"E along the Section line 1,757.43 feet and North 3,960.73 feet from the South 1/4 Corner of Section 13, T5S, R2W, S.L.B. & M.; thence N2°49'06"E 249.41 feet; thence N10°31'35"E 132.80 feet; thence N0°33'01"E 28.88 feet; thence N50°27'22"E 237.77 feet; thence N34°55'28"E 59.22 feet; thence N52°37'55"E 218.60 feet; thence S20°59'35"E 108.45 feet; thence S55°10'53"E 54.74 feet; thence S53°40'20"E 215.00 feet; thence S46°12'52"E 120.59 feet; thence N85°20'55"E 193.86 feet; thence N73°36'07"E 41.33 feet to a point located S0°41'25"W along the Section line 960.27 feet and East 36.10 feet from the Northeast Corner of said Section 13; thence S0°42'11"W 414.93 feet; thence N89°17'49"W 39.50 feet; thence S65°20'15"W 130.64 feet; thence S39°52'04"W 112.77 feet to a rebar & cap (found) at the northeast corner of Lot 208, VALLEY VIEW RANCH NORTH, Plat A-2, as constructed, according to the Official Plat thereof on file in the Office of the Utah County Recorder; thence along said Plat the following 3 (three) courses and distances: thence N62°47'31"W 235.00 feet; thence S27°12'29"W 29.17 feet; thence N63°36'10"W 182.18 feet to a rebar & cap (found) at the northeast corner of Lot 304, VALLEY VIEW RANCH NORTH, Plat A-3, as constructed, according to the Official Plat thereof on file in the Office of the Utah County Recorder; thence along said Plat the following 4 (four) courses and distances: thence N76°44'35"W 169.41 feet; thence N85°57'09"W 50.00 feet; thence S4°02'51"W 78.73 feet; thence N88°37'52"W 163.32 feet the point of beginning.
Contains: 12.17 +/- acres

PROFESSIONAL LAND SURVEYOR _____ DATE _____

OWNERS DEDICATION

WE, THE UNDERSIGNED OWNERS OF ALL OF THE REAL PROPERTY DEPICTED ON THIS PLAN AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAN, HAVE CAUSED THAT THE LAND DESCRIBED ON THIS PLAN TO BE DIVIDED INTO LOTS, STREETS, PARKS, OPEN SPACES, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THE PLAN AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-9a-607, UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO EAGLE MOUNTAIN CITY, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY EASEMENTS AND IMPROVEMENTS, OPEN SPACES SHOWN AS PUBLIC OPEN SPACES, PARKS AND ALL OTHER PLACES OF PUBLIC USE AND ENJOYMENT TO EAGLE MOUNTAIN CITY, UTAH TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND EAGLE MOUNTAIN CITY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____ A.D. 20____.

ACKNOWLEDGMENT

STATE OF UTAH _____ S.S.
COUNTY OF UTAH _____

ON THE _____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS _____ PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF EAGLE MOUNTAIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL ROADS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____ A.D. 20____.

APPROVED: _____ ATTEST: _____

MAYOR (SEE SEAL BELOW) _____ CLERK/RECORDER (SEE SEAL BELOW) _____

CITY ENGINEER APPROVAL

I CERTIFY THAT THE PLAN AND IMPROVEMENT PLANS MEET THE MINIMUM CITY STANDARDS FOR SUBDIVISION WITHIN THE BOUNDARY OF THE CITY OF EAGLE MOUNTAIN APPROVED THIS _____ DAY OF _____ A.D. 20____.

CITY ENGINEER _____

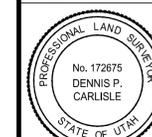
CITY ATTORNEY APPROVAL

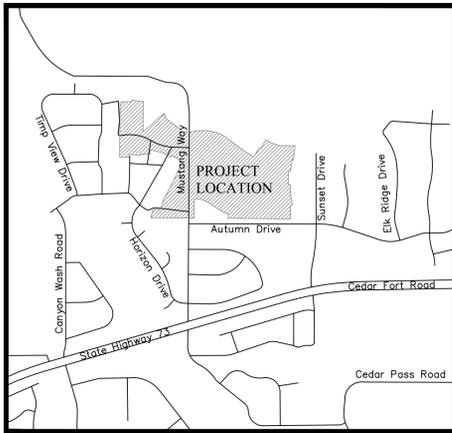
APPROVED THIS _____ DAY OF _____ A.D. 20____ BY THE CITY ATTORNEY OF EAGLE MOUNTAIN CITY _____

CITY ATTORNEY _____

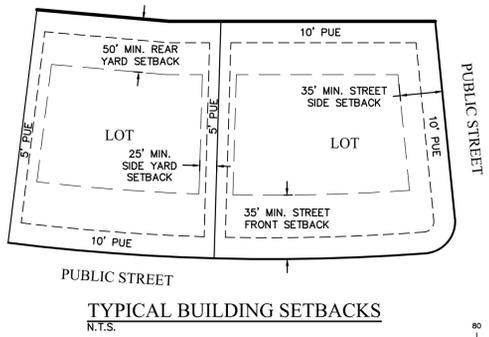
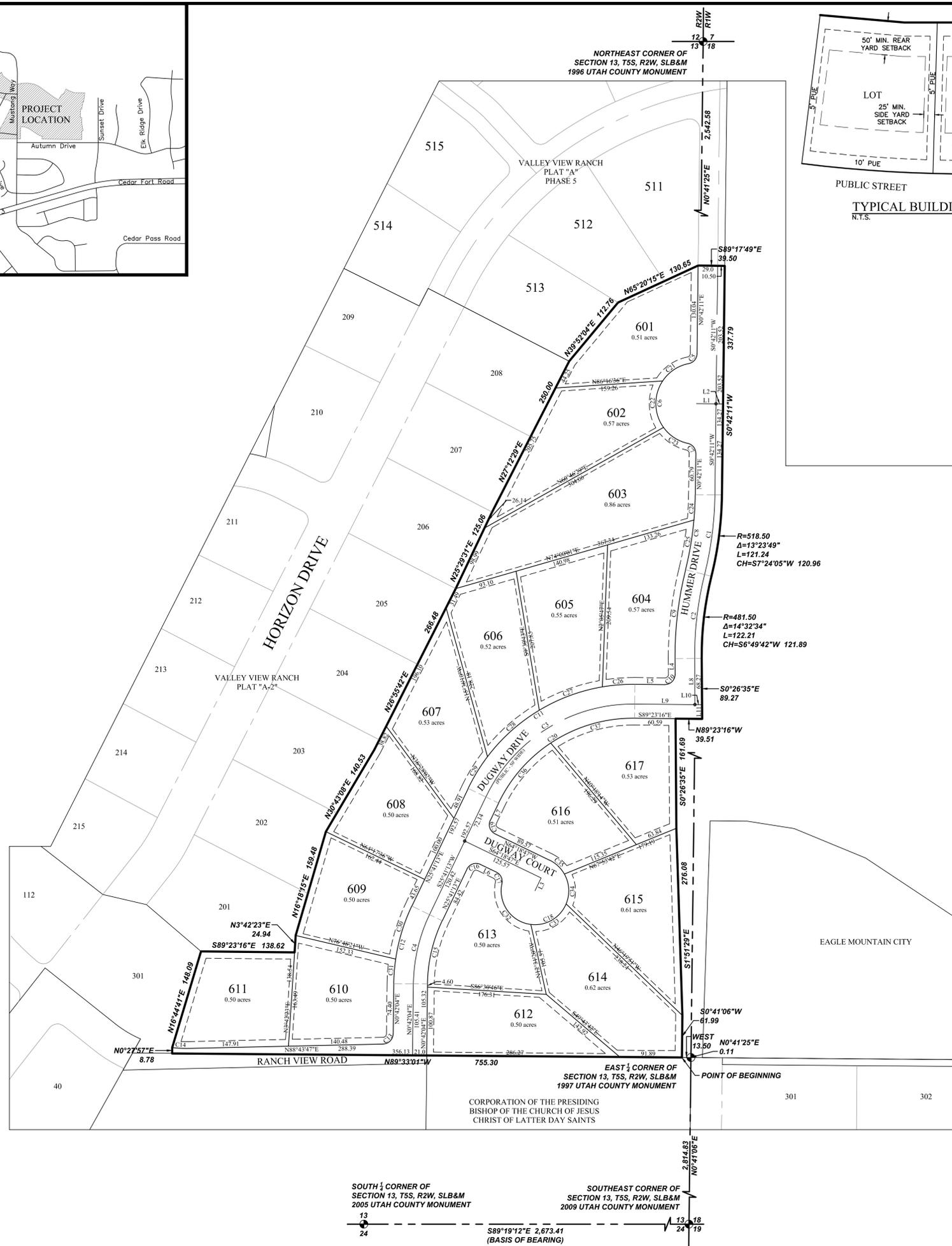
PLAT "A" PHASE 5
VALLEY VIEW RANCH
SUBDIVISION
EAGLE MOUNTAIN, UTAH COUNTY, UTAH

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY-COUNTY ENGINEER SEAL COUNTY RECORDER SEAL





VICINITY MAP



GRAPHIC SCALE

(IN FEET)
1 inch = 80 ft.

SITE TABULATION

- TOTAL # OF LOTS: 17 LOTS
- TOTAL ACREAGE: 11.32 ACRES
- TOTAL ACREAGE IN LOTS: 9.38 ACRES
- TOTAL OPEN SPACE: 0.00 ACRES
- TOTAL IMPROVED OPEN SPACE: 0.00 ACRES
- AVERAGE LOT SIZE: 0.55 ACRES OR 23,958 SQFT.
- LARGEST LOT SIZE: 0.86 ACRES
- SMALLEST LOT SIZE: 0.50 ACRES
- OVERALL DENSITY: 1.50 UNITS/ACRE

NOTES:

- @.....STREET MONUMENT TO BE SET
- #5 REBAR AND CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. LEAD PLUGS TO BE SET IN THE TOP BACK OF CURB ON THE PROJECTION OF SIDE LOT LINES.
- ALL LOTS IN PHASE 6 WILL REQUIRE A SEPTIC SYSTEM.
- NO PARKING ALONG HUMMER DRIVE.

LINE	LENGTH	DIRECTION
L1	29.00	S89°17'49"E
L2	10.50	S89°17'49"E
L3	21.00	S25°41'13"W
L4	23.26	N00°26'35"W
L5	44.39	S89°23'16"E
L6	26.33	S64°18'47"E
L7	28.14	N25°41'13"E
L8	68.08	S00°26'35"E
L9	89.21	S89°23'16"E
L10	10.50	S89°23'16"E
L11	21.00	N00°26'35"W

CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	508.00	13°23'49"	118.78	N07°24'05"E	118.51
C2	492.00	14°32'34"	124.88	S06°49'42"W	124.54
C3	242.00	64°55'31"	274.22	S58°08'59"W	259.79
C4	242.00	24°59'09"	105.53	S13°11'39"W	104.70
C5	15.00	78°27'41"	20.54	N39°56'01"E	18.97
C6	60.00	156°55'22"	164.33	S00°42'11"W	117.57
C7	15.00	78°27'41"	20.54	N38°31'40"W	18.97
C8	479.00	13°23'49"	112.00	N07°24'05"E	111.74
C9	521.00	14°32'34"	132.24	S06°49'42"W	131.89
C10	15.00	91°03'19"	23.84	N45°05'05"E	21.41
C11	271.00	64°55'31"	307.09	S58°08'59"W	290.92
C12	271.00	24°59'09"	118.18	S13°11'39"W	117.25
C13	15.00	88°01'43"	23.05	N44°42'56"E	20.85
C14	170.00	8°15'19"	24.49	S87°08'33"E	24.47
C15	221.00	24°59'09"	96.38	S13°11'39"W	95.61
C16	15.00	90°00'00"	23.56	S70°41'13"W	21.21
C17	15.00	76°39'27"	20.07	N25°59'03"W	18.61
C18	50.00	256°39'27"	223.98	N64°00'57"E	78.45
C19	15.00	90°00'00"	23.56	S19°18'47"E	21.21
C20	221.00	64°55'31"	250.43	S58°08'59"W	237.24
C21	60.00	45°18'24"	47.44	N56°30'40"E	46.22
C22	60.00	69°34'37"	72.86	N00°55'50"W	68.47
C23	60.00	42°02'22"	44.02	N56°44'20"W	43.04
C24	479.00	4°28'20"	37.39	N02°56'21"E	37.38
C25	479.00	8°55'28"	74.61	N09°38'15"E	74.53
C26	271.00	10°14'37"	48.45	N85°29'26"E	48.39
C27	271.00	21°11'20"	100.22	N69°46'27"E	99.65
C28	271.00	21°52'51"	103.49	N48°14'22"E	102.87
C29	271.00	11°36'43"	54.92	N31°29'35"E	54.83
C30	271.00	17°20'00"	81.98	N17°01'13"E	81.67
C31	271.00	7°39'09"	36.20	N04°31'39"E	36.17
C32	50.00	95°18'47"	83.18	N35°18'43"W	73.91
C33	50.00	74°18'52"	64.85	S59°52'28"W	60.40
C34	50.00	52°19'04"	45.66	S03°26'30"E	44.09
C35	50.00	34°42'44"	30.29	S46°57'24"E	29.83
C36	221.00	30°49'53"	118.92	S41°06'10"W	117.49
C37	221.00	34°05'37"	131.51	S73°33'56"W	129.57

SURVEYOR'S CERTIFICATE
I, DENNIS P. CARLISLE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 172675 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF SAID CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND THE MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION
A portion of Section 13, Township 5 South, Range 2 West, and Section 18, Township 5 South, Range 1 West, Salt Lake Base & Meridian, more particularly described as follows:
Beginning at a point located N0°41'25"E along the Section line 0.11 feet and West 13.50 feet from the East 1/4 Corner of said Section 13, said 1/4 Corner bears N0°41'06"E 2,814.83 feet (MEADOW RANCH 3 & VALLEY VIEW RANCH "B"; N0°42'04"E) feet from the Southeast Corner of said Section 13; thence N89°33'01"W 755.30 feet; thence N0°27'57"E 8.78 feet to the southeast corner of Lot 113 of said VALLEY VIEW RANCH NORTH, Plat A-1; thence N16°44'41"E along said Plat 148.08 feet to the south line of VALLEY VIEW RANCH NORTH, Plat A-2, as constructed, according to the Official Plat thereof on file in the Office of the Utah County Recorder; thence along said Plat the following 10 (ten) courses and distances: thence S89°23'16"E 138.62 feet; thence N3°42'23"E 24.94 feet; thence N16°18'15"E 159.48 feet; thence N30°43'08"E 140.53 feet; thence N26°55'42"E 266.48 feet; thence N25°29'31"E 125.06 feet; thence N27°12'29"E 250.00 feet to #5 rebar & cap (found) at the northeast corner of Lot 208, Plat A-2, VALLEY VIEW RANCH NORTH Subdivision, as constructed, according to the Official Plat thereof on file in the Office of the Utah County Recorder; thence N39°52'04"E 112.77 feet; thence N65°20'15"E 130.64 feet; thence S89°17'49"E 39.50 feet; thence S0°42'11"W 337.80 feet; thence along the arc of a 518.50 foot radius curve to the right 121.24 feet through a central angle of 13°23'49" (chord: S7°24'06"W 120.96 feet) to a point of reverse curvature; thence along the arc of a 481.50 foot radius curve to the left 122.22 feet through a central angle of 14°32'35" (chord: S6°49'43"W 121.89 feet); thence S0°26'35"E 89.27 feet; thence N89°23'16"W 39.50 feet; thence S0°26'35"E 161.68 feet; thence S1°51'29"E 276.08 feet; thence S0°41'06"W 61.99 feet to the point of beginning.

Contains: 11.32 +/- acres

PROFESSIONAL LAND SURVEYOR _____ DATE _____

OWNERS DEDICATION
WE, THE UNDERSIGNED OWNERS OF ALL OF THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THAT THE LAND DESCRIBED ON THIS PLAT TO BE DIVIDED INTO LOTS, STREETS, PARKS, OPEN SPACES, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THE PLAT AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-9a-607, UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO EAGLE MOUNTAIN CITY, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY EASEMENTS AND IMPROVEMENTS, OPEN SPACES SHOWN AS PUBLIC OPEN SPACES, PARKS AND ALL OTHER PLACES OF PUBLIC USE AND ENJOYMENT TO EAGLE MOUNTAIN CITY, UTAH TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND EAGLE MOUNTAIN CITY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____ A.D. 20____.

ACKNOWLEDGMENT

STATE OF UTAH _____ S.S.
COUNTY OF UTAH _____

ON THE _____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS _____ PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF EAGLE MOUNTAIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL ROADS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____ A.D. 20____.

APPROVED: _____ ATTEST: _____

MAYOR (SEE SEAL BELOW) _____ CLERK/RECORDER (SEE SEAL BELOW) _____

CITY ENGINEER APPROVAL

I CERTIFY THAT THE PLAT AND IMPROVEMENT PLANS MEET THE MINIMUM CITY STANDARDS FOR SUBDIVISION WITHIN THE BOUNDARY OF THE CITY OF EAGLE MOUNTAIN APPROVED THIS _____ DAY OF _____ A.D. 20____.

CITY ENGINEER _____

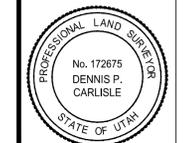
CITY ATTORNEY APPROVAL

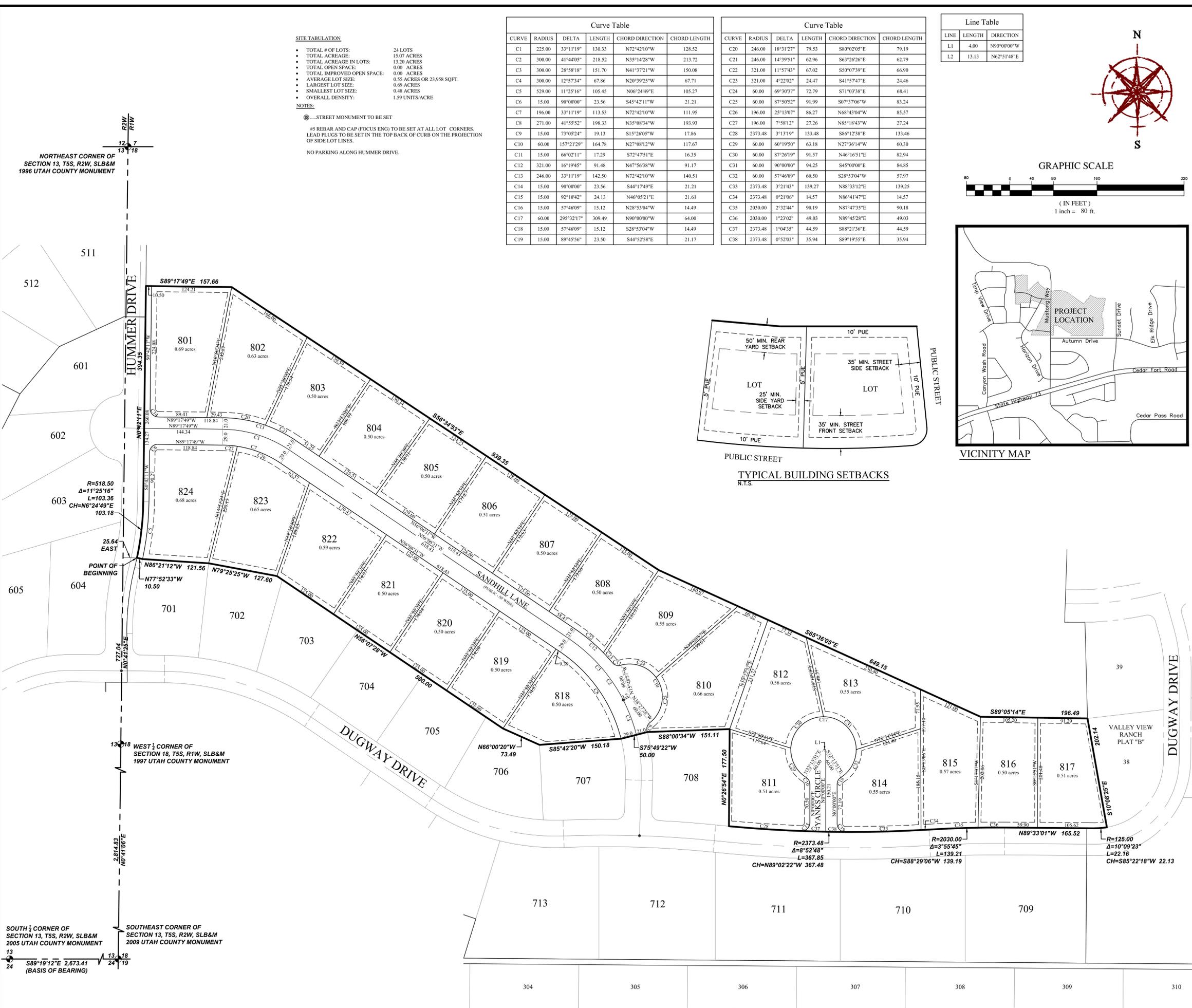
APPROVED THIS _____ DAY OF _____ A.D. 20____ BY THE CITY ATTORNEY OF EAGLE MOUNTAIN CITY _____

CITY ATTORNEY _____

PLAT "A" PHASE 6
VALLEY VIEW RANCH
SUBDIVISION
EAGLE MOUNTAIN, UTAH COUNTY, UTAH

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY-COUNTY ENGINEER SEAL COUNTY RECORDER SEAL





SITE TABULATION

- TOTAL # OF LOTS: 24 LOTS
- TOTAL ACREAGE: 15.07 ACRES
- TOTAL ACREAGE IN LOTS: 13.20 ACRES
- TOTAL OPEN SPACE: 0.00 ACRES
- TOTAL IMPROVED OPEN SPACE: 0.00 ACRES
- AVERAGE LOT SIZE: 0.55 ACRES OR 23,958 SQFT.
- LARGEST LOT SIZE: 0.69 ACRES
- SMALLEST LOT SIZE: 0.48 ACRES
- OVERALL DENSITY: 1.59 UNITS/ACRE

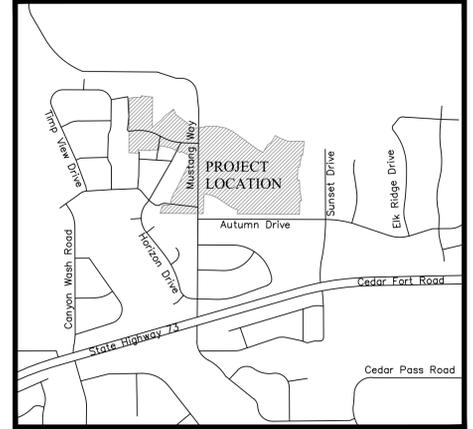
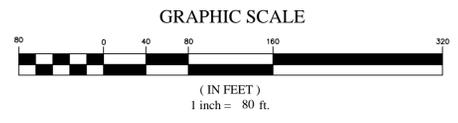
NOTES:

- STREET MONUMENT TO BE SET
- REBAR AND CAP (FOCUS ENG) TO BE SET AT ALL LOT CORNERS. LEAD PLUGS TO BE SET IN THE TOP BACK OF CURB ON THE PROJECTION OF SIDE LOT LINES.
- NO PARKING ALONG HUMMER DRIVE.

Curve Table				
CURVE	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	225.00	33°11'19"	N72°42'10"W	128.52
C2	300.00	41°44'05"	N35°14'28"W	213.72
C3	300.00	28°58'18"	N41°37'21"W	150.08
C4	300.00	12°57'34"	N20°39'25"W	67.71
C5	529.00	11°25'16"	N06°24'49"E	105.27
C6	15.00	90°00'00"	S45°42'11"W	21.21
C7	196.00	33°11'19"	N72°42'10"W	111.95
C8	271.00	41°55'52"	N35°08'34"W	193.93
C9	15.00	73°05'24"	S15°26'05"W	17.86
C10	60.00	157°21'29"	N27°08'12"W	117.67
C11	15.00	66°02'11"	S72°47'51"E	16.35
C12	321.00	16°19'45"	N47°56'38"W	91.17
C13	246.00	33°11'19"	N72°42'10"W	140.51
C14	15.00	90°00'00"	S44°17'49"E	21.21
C15	15.00	92°10'42"	N46°05'21"E	21.61
C16	15.00	57°46'09"	N28°53'04"W	14.49
C17	60.00	295°32'17"	N90°00'00"W	64.00
C18	15.00	57°46'09"	S28°53'04"W	14.49
C19	15.00	89°45'56"	S44°52'58"E	21.17

Curve Table				
CURVE	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C20	246.00	18°31'27"	S80°02'05"E	79.19
C21	246.00	14°39'51"	S63°26'26"E	62.79
C22	321.00	11°57'43"	S50°07'39"E	66.90
C23	321.00	4°22'02"	S41°57'47"E	24.46
C24	60.00	69°30'37"	S71°03'38"E	68.41
C25	60.00	87°50'52"	S07°37'06"W	83.24
C26	196.00	25°13'07"	N68°43'04"W	85.57
C27	196.00	7°58'12"	N85°18'43"W	27.24
C28	2373.48	3°13'19"	S86°12'38"E	133.46
C29	60.00	60°19'50"	N27°36'14"W	60.30
C30	60.00	87°26'19"	N46°16'51"E	82.94
C31	60.00	90°00'00"	S45°00'00"E	84.85
C32	60.00	57°46'09"	S28°53'04"W	57.97
C33	2373.48	3°21'43"	N88°53'12"E	139.25
C34	2373.48	0°21'06"	N86°41'47"E	14.57
C35	2030.00	2°32'44"	N87°47'35"E	90.18
C36	2030.00	1°23'02"	N89°45'28"E	49.03
C37	2373.48	1°04'35"	S88°21'36"E	44.59
C38	2373.48	0°52'03"	S89°19'55"E	35.94

Line Table		
LINE	LENGTH	DIRECTION
L1	4.00	N90°00'00"W
L2	13.13	N62°51'48"E



SURVEYOR'S CERTIFICATE

I, DENNIS P. CARLISLE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 172675 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAN IN ACCORDANCE WITH SECTION 17-23-17 OF SAID CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND THE MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAN, AND THAT THIS PLAN IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

A portion of Section 18, Township 5 South, Range 1 West, Salt Lake Base & Meridian, more particularly described as follows:

Beginning at a point located N0°41'25"E along the Section line 727.04 feet and East 25.64 feet from the West 1/4 Corner of Section 18, T5S, R1W, S.L.B. & M.; thence Northeasterly along the arc of a 518.50 foot radius non-tangent curve (radius bears: N77°52'33"W) 103.36 feet through a central angle of 11°25'16" (chord: N6°24'49"E 103.18 feet; thence N0°42'11"E 394.35 feet; thence S89°17'49"E 157.66 feet; thence S56°34'33"E 339.35 feet; thence S65°36'05"E 649.15 feet; thence S89°03'22"E 106.49 feet to the westerly line of VALLEY VIEW RANCH Subdivision, Plat "B", as constructed, according to the Official Plat thereof on file in the Office of the Utah County Recorder; thence along said Plat the following 2 (two) courses and distances: thence S10°08'25"E 202.14 feet; thence Southwesterly along the arc of a 125.00 foot radius non-tangent curve (radius bears: N9°42'24"W) 22.16 feet through a central angle of 10°09'23" (chord: S85°22'18"W 22.13 feet); thence N89°33'01"W along said Plat and extension thereof 165.52 feet; thence along the arc of a 2,030.00 foot radius curve to the left 139.21 feet through a central angle of 3°55'45" (chord: S88°29'07"W 139.18 feet) to a point of reverse curvature; thence along the arc of a 2,373.48 foot radius curve to the right 367.85 feet through a central angle of 8°52'48" (chord: N89°02'22"W 367.49 feet); thence N0°26'54"E 177.50 feet; thence S88°00'34"W 151.11 feet; thence S75°49'22"W 50.00 feet; thence S85°42'20"W 150.18 feet; thence N66°00'20"W 73.49 feet; thence N56°07'28"W 500.00 feet; thence N79°25'25"W 127.60 feet; thence N86°21'12"W 121.56 feet; thence N77°52'33"W 10.50 feet the point of beginning.

Contains: 15.07 +/- acres

PROFESSIONAL LAND SURVEYOR _____ DATE _____

OWNERS DEDICATION

WE, THE UNDERSIGNED OWNERS OF ALL OF THE REAL PROPERTY DEPICTED ON THIS PLAN AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAN, HAVE CAUSED THAT THE LAND DESCRIBED ON THIS PLAN TO BE DIVIDED INTO LOTS, STREETS, PARKS, OPEN SPACES, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THE PLAN AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-9a-607, UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO EAGLE MOUNTAIN CITY, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY EASEMENTS AND IMPROVEMENTS, OPEN SPACES SHOWN AS PUBLIC OPEN SPACES, PARKS AND ALL OTHER PLACES OF PUBLIC USE AND ENJOYMENT TO EAGLE MOUNTAIN CITY, UTAH TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND EAGLE MOUNTAIN CITY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____.

ACKNOWLEDGMENT

STATE OF UTAH _____ S.S.
COUNTY OF UTAH _____

ON THE _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS _____ PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF EAGLE MOUNTAIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL ROADS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.

APPROVED: _____ ATTEST: _____

MAYOR (SEE SEAL BELOW) _____ CLERK/RECORDER (SEE SEAL BELOW) _____

CITY ENGINEER APPROVAL

I CERTIFY THAT THE PLAN AND IMPROVEMENT PLANS MEET THE MINIMUM CITY STANDARDS FOR SUBDIVISION WITHIN THE BOUNDARY OF THE CITY OF EAGLE MOUNTAIN APPROVED THIS _____ DAY OF _____, A.D. 20____.

CITY ENGINEER _____

CITY ATTORNEY APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE CITY ATTORNEY OF EAGLE MOUNTAIN CITY

CITY ATTORNEY _____

PLAT "A" PHASE 8

VALLEY VIEW RANCH

SUBDIVISION

EAGLE MOUNTAIN, UTAH COUNTY, UTAH

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	COUNTY RECORDER SEAL

NORTHEAST CORNER OF SECTION 13, T5S, R2W, SLB&M 1996 UTAH COUNTY MONUMENT

VALLEY VIEW RANCH PLAT "A" PHASE 5

WEST 1/4 CORNER OF SECTION 18, T5S, R1W, SLB&M 1997 UTAH COUNTY MONUMENT

SOUTH 1/4 CORNER OF SECTION 13, T5S, R2W, SLB&M 2005 UTAH COUNTY MONUMENT

SOUTHEAST CORNER OF SECTION 13, T5S, R2W, SLB&M 2009 UTAH COUNTY MONUMENT

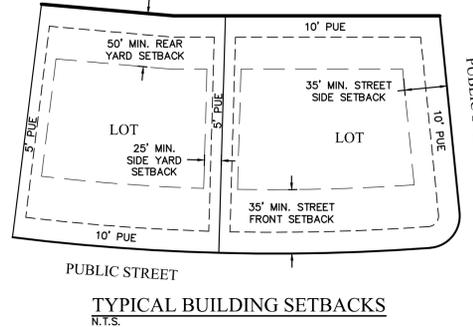
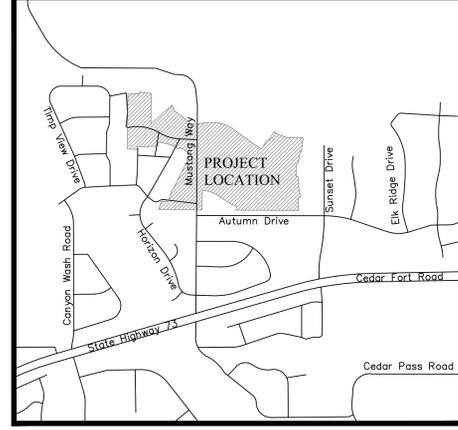
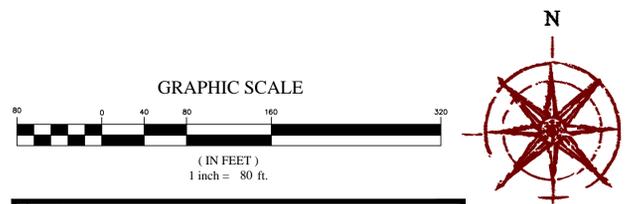
2,814.83
N0°41'05"E
N0°41'05"E

13
24

589°19'12"E 2,673.41
(BASIS OF BEARING)

- SITE TABULATION**
- TOTAL # OF LOTS: 39 LOTS
 - TOTAL ACREAGE: 23.64 ACRES
 - TOTAL ACREAGE IN LOTS: 20.21 ACRES
 - TOTAL OPEN SPACE: 0.00 ACRES
 - TOTAL IMPROVED OPEN SPACE: 0.00 ACRES
 - AVERAGE LOT SIZE: 0.52 ACRES OR 22,216 SQFT.
 - LARGEST LOT SIZE: 0.64 ACRES
 - SMALLEST LOT SIZE: 0.50 ACRES
 - OVERALL DENSITY: 1.65 UNITS/ACRE
- NOTES:**
- STREET MONUMENT TO BE SET
 - #5 REBAR AND CAP (FOCUS LENG) TO BE SET AT ALL LOT CORNERS. LEAD PLUGS TO BE SET IN THE TOP BACK OF CURB ON THE PROJECTION OF SIDE LOT LINES.
 - NO PARKING ALONG HUMMER DRIVE.

Curve Table						Curve Table					
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH	CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	534.00	42°47'30"	398.82	N75°44'17"W	389.62	C20	624.00	5°55'42"	64.56	N69°23'34"W	64.53
C2	1056.08	5°24'08"	99.57	S56°51'11"E	99.54	C21	1090.00	3°39'14"	69.51	N64°36'07"W	69.50
C3	1056.08	6°52'28"	126.70	S62°59'29"E	126.62	C22	1090.00	3°13'14"	61.27	N61°09'53"W	61.26
C4	590.00	21°36'44"	222.55	S77°14'05"E	221.23	C23	1090.08	0°28'41"	9.10	N59°18'55"W	9.10
C5	700.00	21°03'20"	257.24	S70°04'55"E	255.80	C24	1090.08	4°55'16"	93.63	N56°36'56"W	93.60
C6	15.00	84°24'07"	22.10	S42°54'14"W	20.15	C25	300.00	7°39'01"	66.76	N58°10'02"W	66.71
C7	500.00	40°33'10"	353.89	N74°37'07"W	346.55	C26	500.00	20°07'46"	175.66	N72°03'26"W	174.76
C8	1090.08	5°23'57"	102.72	S56°51'16"E	102.68	C27	500.00	12°46'23"	111.47	N58°30'31"W	111.24
C9	1090.00	6°52'28"	130.78	S62°59'29"E	130.70	C28	560.00	13°58'53"	136.65	S87°01'34"E	136.31
C10	624.00	21°41'36"	236.29	S77°16'36"E	234.88	C29	560.00	12°48'55"	125.25	S73°37'40"E	124.99
C11	564.00	21°36'44"	212.74	S77°14'05"E	211.48	C30	560.00	12°52'41"	125.87	S60°46'52"E	125.60
C12	1030.00	6°52'28"	123.58	S62°59'29"E	123.51	C31	564.00	6°27'48"	63.62	S69°39'37"E	63.59
C13	1030.08	5°24'16"	97.16	S56°51'07"E	97.13	C32	564.00	15°08'44"	149.09	S80°27'53"E	148.65
C14	560.00	39°40'28"	387.77	N74°10'46"W	380.07	C33	671.00	3°28'21"	40.67	S61°17'26"W	40.66
C15	15.00	94°43'11"	24.80	S46°39'25"E	22.07	C34	671.00	10°35'46"	124.09	S68°19'29"E	123.92
C16	721.00	21°03'20"	264.96	S70°04'55"E	263.47	C35	671.00	6°59'13"	81.83	S77°06'59"E	81.78
C17	671.00	21°03'20"	246.59	S70°04'55"E	245.20	C36	721.00	2°51'23"	35.94	N79°10'54"W	35.94
C18	624.00	6°14'42"	68.01	N84°55'21"W	67.98	C37	721.00	7°56'42"	99.98	N63°31'36"W	99.90
C19	624.00	9°26'35"	102.84	N77°04'42"W	102.73	C38	721.00	10°15'15"	129.04	N72°37'35"W	128.87



SURVEYOR'S CERTIFICATE

I, DENNIS P. CARLISLE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 172675 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF SAID CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND THE MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

A portion of Section 18, Township 5 South, Range 1 West, Salt Lake Base & Meridian, more particularly described as follows:

Beginning at a point located N0°41'25"E along the Section line 1,223.94 feet and East 36.02 feet from the West 1/4 Corner of Section 18, T5S, R1W, S.L.B. & M.; thence N0°42'11"E 358.38 feet; thence N73°36'07"E 10.98 feet; thence N89°09'41"E 185.98 feet; thence S79°33'09"E 172.70 feet; thence S65°32'37"E 141.76 feet; thence S54°07'45"E 489.53 feet; thence S58°01'53"E 191.86 feet; thence N30°26'45"E 175.00 feet; thence N64°01'57"E 60.02 feet; thence N30°26'45"E 155.00 feet; thence S89°33'15"E 88.91 feet; thence S68°55'51"E 168.89 feet; thence S89°31'20"E 297.83 feet to the westerly line of VALLEY VIEW RANCH Subdivision, Plat "B", as constructed, according to the Official Plat thereof on file in the Office of the Utah County Recorder; thence along said Plat the following 7 (seven) courses and distances: thence S7°06'52"W 264.32 feet; thence Northwesterly along the arc of a 630.00 foot radius non-tangent curve (radius bears: N7°28'19"E) 20.88 feet through a central angle of 1°53'55" (chord: N81°34'44"W 20.87 feet); thence S9°22'15"W 212.43 feet; thence S89°36'49"W 29.41 feet; thence S1°53'09"W 234.19 feet; thence Southeasterly along the arc of a 624.00 foot radius non-tangent curve (radius bears: N1°57'18"E) 37.24 feet through a central angle of 3°25'08" (chord: S89°45'16"E 37.23 feet); thence S1°32'16"E 175.68 feet; thence N89°05'22"W 196.49 feet; thence N65°36'05"W 649.15 feet; thence N56°34'53"W 939.35 feet; thence N89°17'49"W 157.66 feet the point of beginning.

Contains: 23.64 +/- acres

PROFESSIONAL LAND SURVEYOR _____ DATE _____

OWNERS DEDICATION

WE, THE UNDERSIGNED OWNERS OF ALL OF THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THAT THE LAND DESCRIBED ON THIS PLAT TO BE DIVIDED INTO LOTS, STREETS, PARKS, OPEN SPACES, EASEMENTS AND OTHER PUBLIC USES AS DESIGNATED ON THE PLAT AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-9a-607, UTAH CODE, WITHOUT CONDITION, RESTRICTION OR RESERVATION TO EAGLE MOUNTAIN CITY, UTAH, ALL STREETS, WATER, SEWER AND OTHER UTILITY EASEMENTS AND IMPROVEMENTS, OPEN SPACES SHOWN AS PUBLIC OPEN SPACES, PARKS AND ALL OTHER PLACES OF PUBLIC USE AND ENJOYMENT TO EAGLE MOUNTAIN CITY, UTAH TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND EAGLE MOUNTAIN CITY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____ A.D. 20____.

ACKNOWLEDGMENT

STATE OF UTAH _____ S.S.
COUNTY OF UTAH _____

ON THE _____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS _____ PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF EAGLE MOUNTAIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL ROADS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____ A.D. 20____.

APPROVED: _____ ATTEST: _____

MAYOR (SEE SEAL BELOW) _____ CLERK/RECORDER (SEE SEAL BELOW) _____

CITY ENGINEER APPROVAL

I CERTIFY THAT THE PLAT AND IMPROVEMENT PLANS MEET THE MINIMUM CITY STANDARDS FOR SUBDIVISION WITHIN THE BOUNDARY OF THE CITY OF EAGLE MOUNTAIN APPROVED THIS _____ DAY OF _____ A.D. 20____.

CITY ENGINEER _____

CITY ATTORNEY APPROVAL

APPROVED THIS _____ DAY OF _____ A.D. 20____ BY THE CITY ATTORNEY OF EAGLE MOUNTAIN CITY

CITY ATTORNEY _____

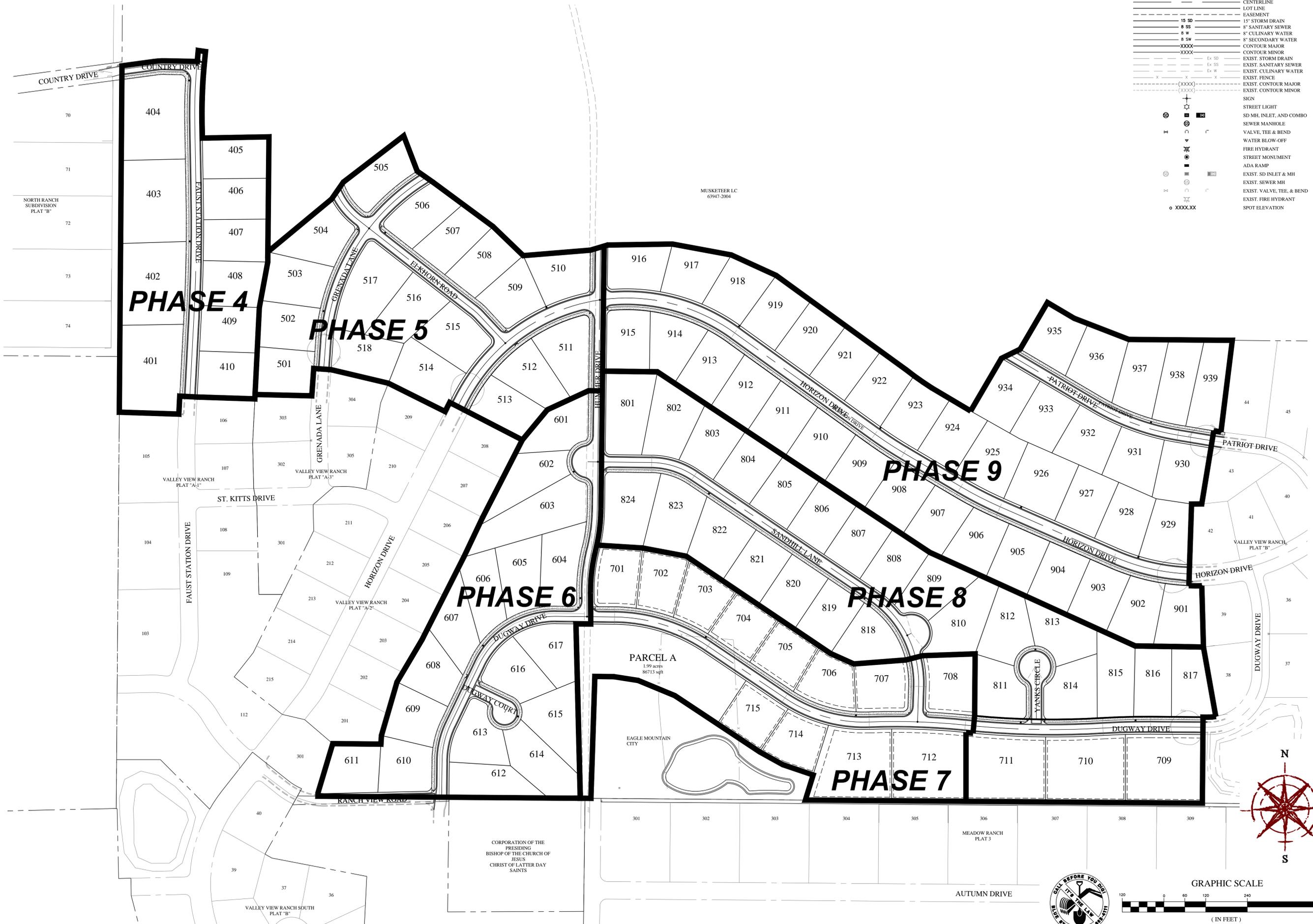
PLAT "A" PHASE 9

VALLEY VIEW RANCH

SUBDIVISION

EAGLE MOUNTAIN, UTAH COUNTY, UTAH

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	COUNTY RECORDER SEAL



LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
15 SD	15" STORM DRAIN
8 SS	8" SANITARY SEWER
8 W	8" CULINARY WATER
8 SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
(XXXX)	EXIST. CONTOUR MAJOR
(XXXX)	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT
+	ADA RAMP
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

FOCUS
 ENGINEERING AND SURVEYING, LLC
 502 WEST 8360 SOUTH
 SANDY, UTAH 84070 PH: (801) 352-0075
 www.focusutah.com



VALLEY VIEW RANCH
 EAGLE MOUNTAIN
 Phasing Plan

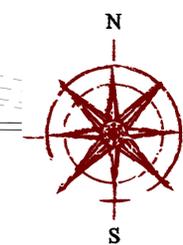
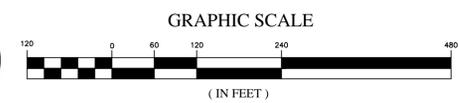
REVISION BLOCK

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

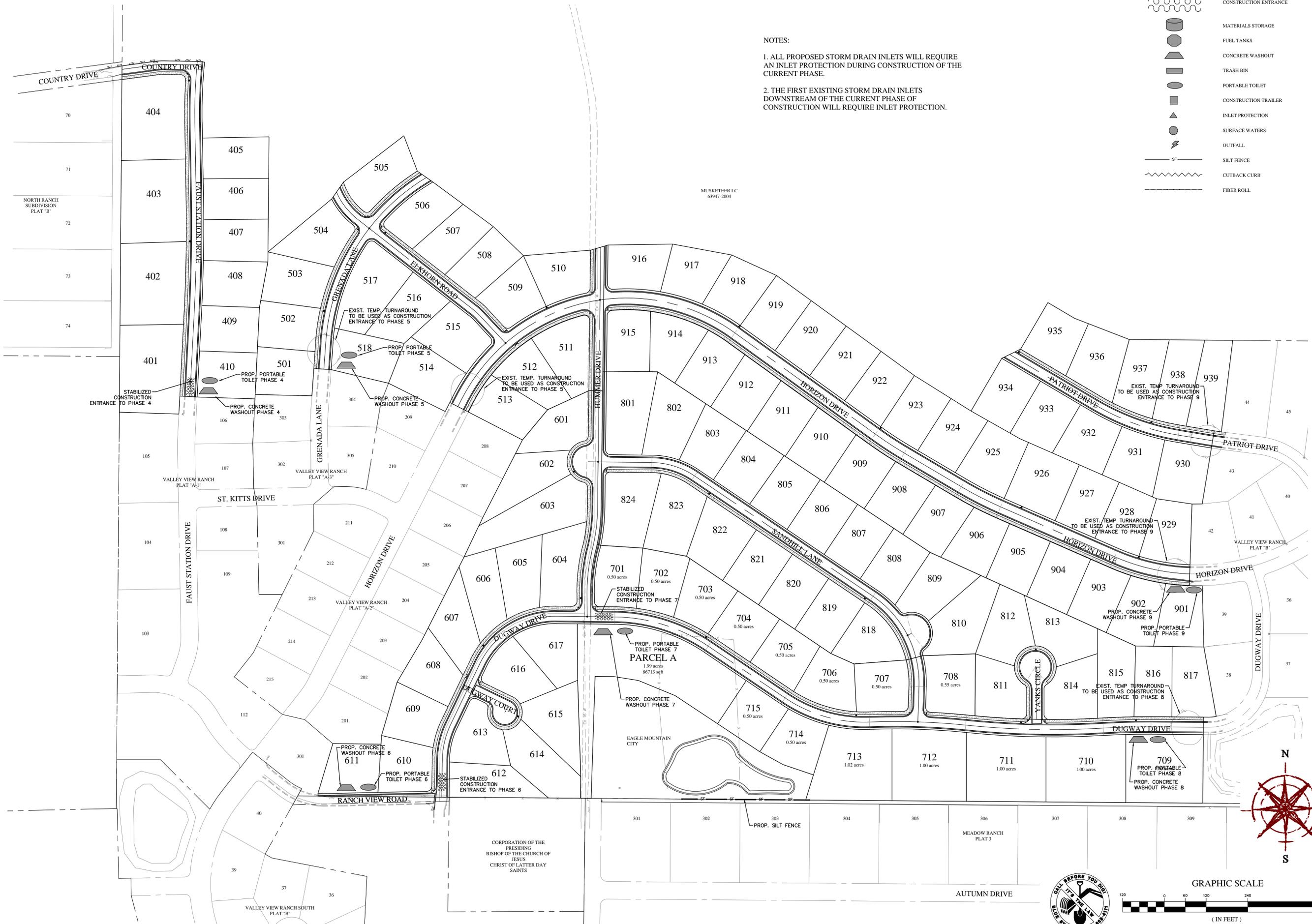
PHASING PLAN

Scale: 1"=120'
 Date: 03/20/2014
 Sheet: C8

Drawn: TMR
 Job #: 13-209



21_2013\13-209 Eagle Mountain Valley View Ranch-Eagle Mountain Phasing Plan.dwg



NOTES:

1. ALL PROPOSED STORM DRAIN INLETS WILL REQUIRE AN INLET PROTECTION DURING CONSTRUCTION OF THE CURRENT PHASE.
2. THE FIRST EXISTING STORM DRAIN INLETS DOWNSTREAM OF THE CURRENT PHASE OF CONSTRUCTION WILL REQUIRE INLET PROTECTION.

EROSION CONTROL LEGEND

- CONSTRUCTION ENTRANCE
- MATERIALS STORAGE
- FUEL TANKS
- CONCRETE WASHOUT
- TRASH BIN
- PORTABLE TOILET
- CONSTRUCTION TRAILER
- INLET PROTECTION
- SURFACE WATERS
- OUTFALL
- SILT FENCE
- CUTBACK CURB
- FIBER ROLL



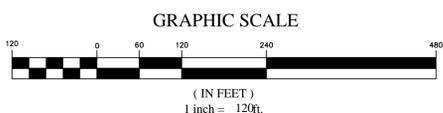
VALLEY VIEW RANCH
EAGLE MOUNTAIN
Erosion Control Plan

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

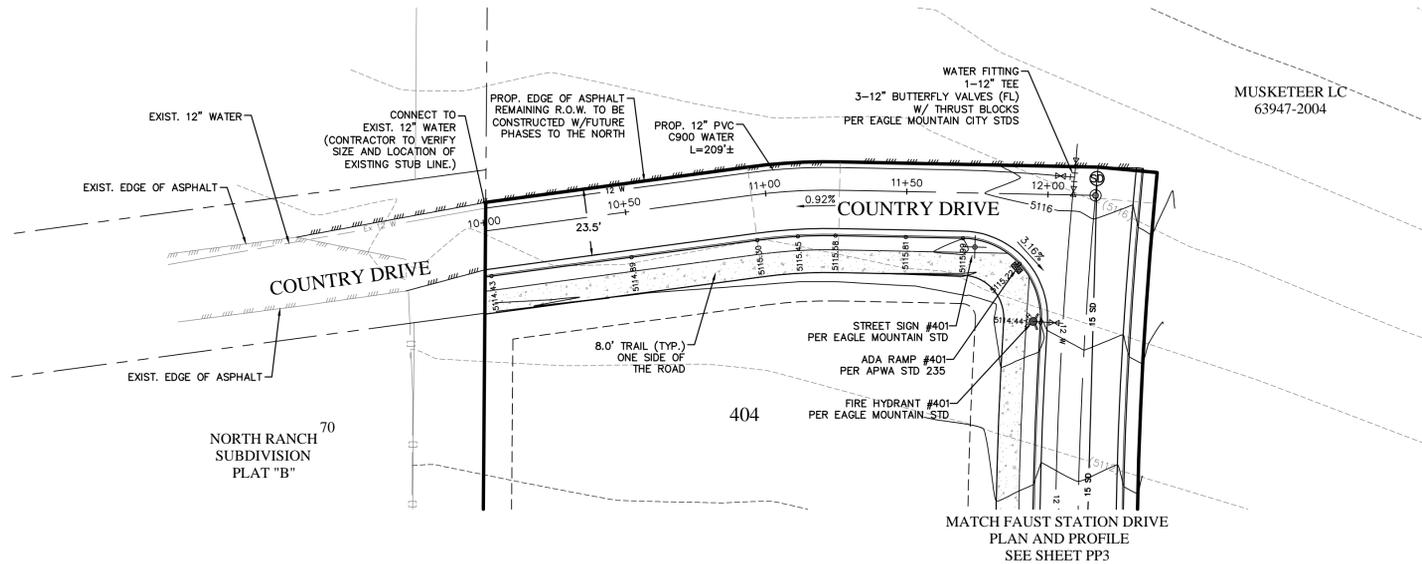
EROSION CONTROL PLAN

Scale: 1"=120'
Date: 03/20/2014
Sheet: C11

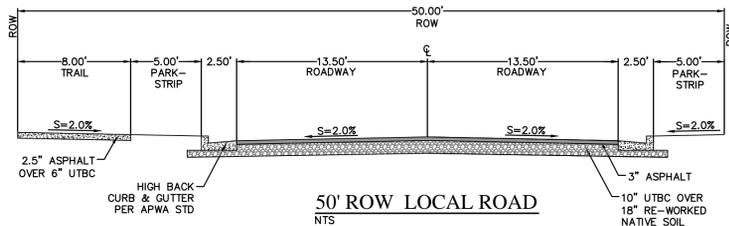
Drawn: TMR
Job #: 13-209



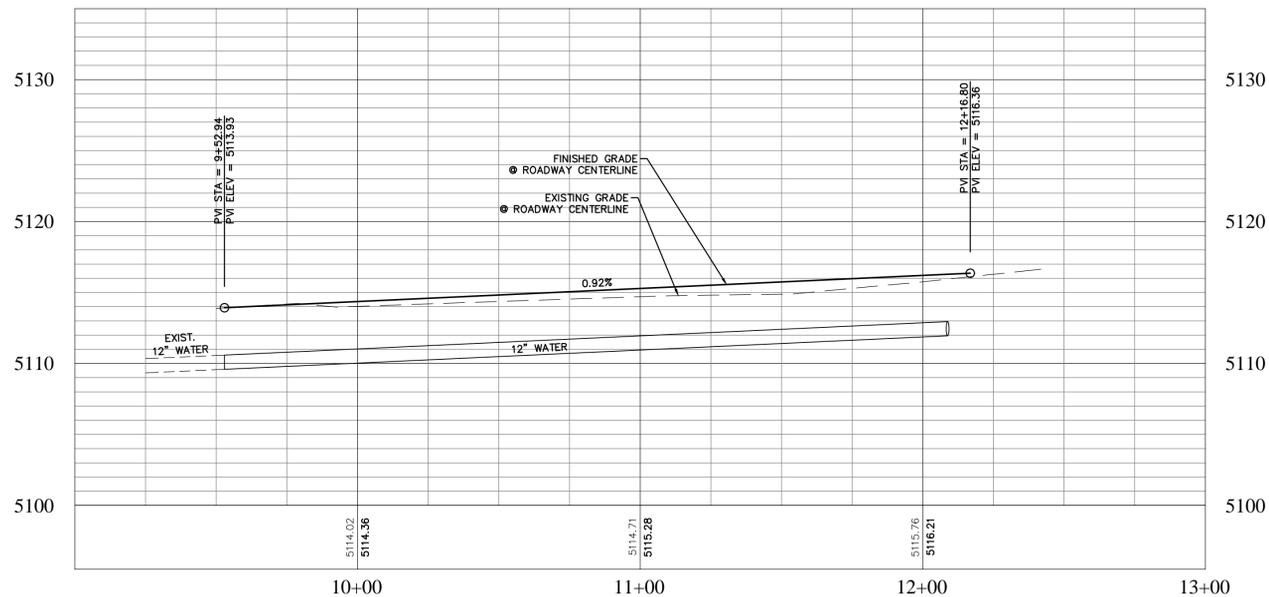
Z:\2013\13-209 Eagle Mountain Valley View Ranch\Drawings\13-209\Drawings\13-209\erosion_control_plan.dwg



COUNTRY DRIVE PLAN



50' ROW LOCAL ROAD



COUNTRY DRIVE PROFILE

LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
15 SD	15" STORM DRAIN
8 SS	8" SANITARY SEWER
8 W	8" CULINARY WATER
8 SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex SD	EXIST. STORM DRAIN
Ex SS	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
Ex SW	EXIST. SECONDARY WATER
---	EXIST. FENCE
(XXXX)	EXIST. CONTOUR MAJOR
(XXXX)	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT
+	ADA RAMP
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
o XXXX.XX	SPOT ELEVATION

NOTES:

1. ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
2. ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
3. ALL CULINARY WATER VALVES SHALL BE FLANGED.
4. IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
5. IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
6. IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
7. IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
8. STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM.
9. THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR.

FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com

PROFESSIONAL ENGINEER
No. 8028950-2202
THOMAS M. ROMNEY
STATE OF UTAH

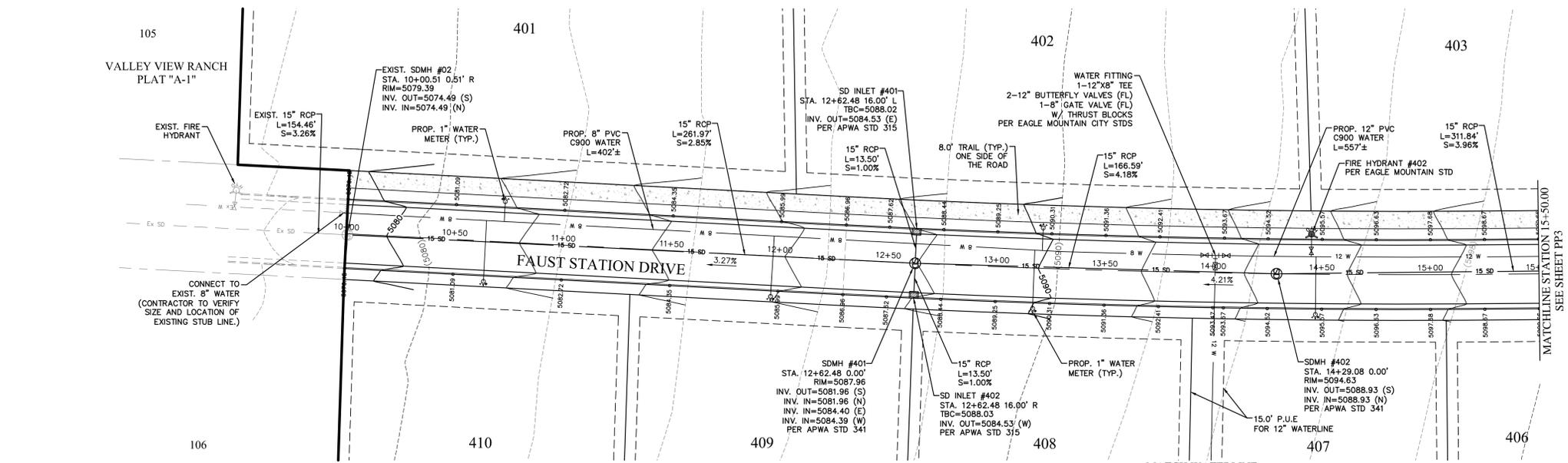
VALLEY VIEW RANCH
EAGLE MOUNTAIN
Country Drive Plan and Profile

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

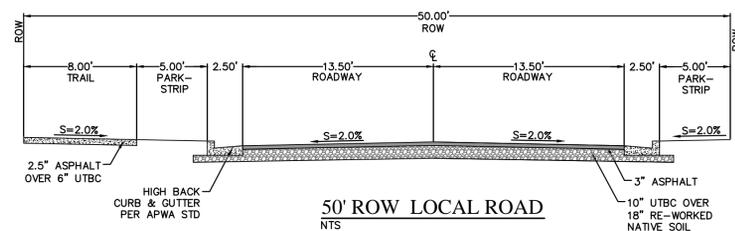
#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

COUNTRY DRIVE PLAN AND PROFILE
Scale: 1"=30'
Date: 03/20/2014
Sheet: PP1
Drawn: TMR
Job #: 13-209

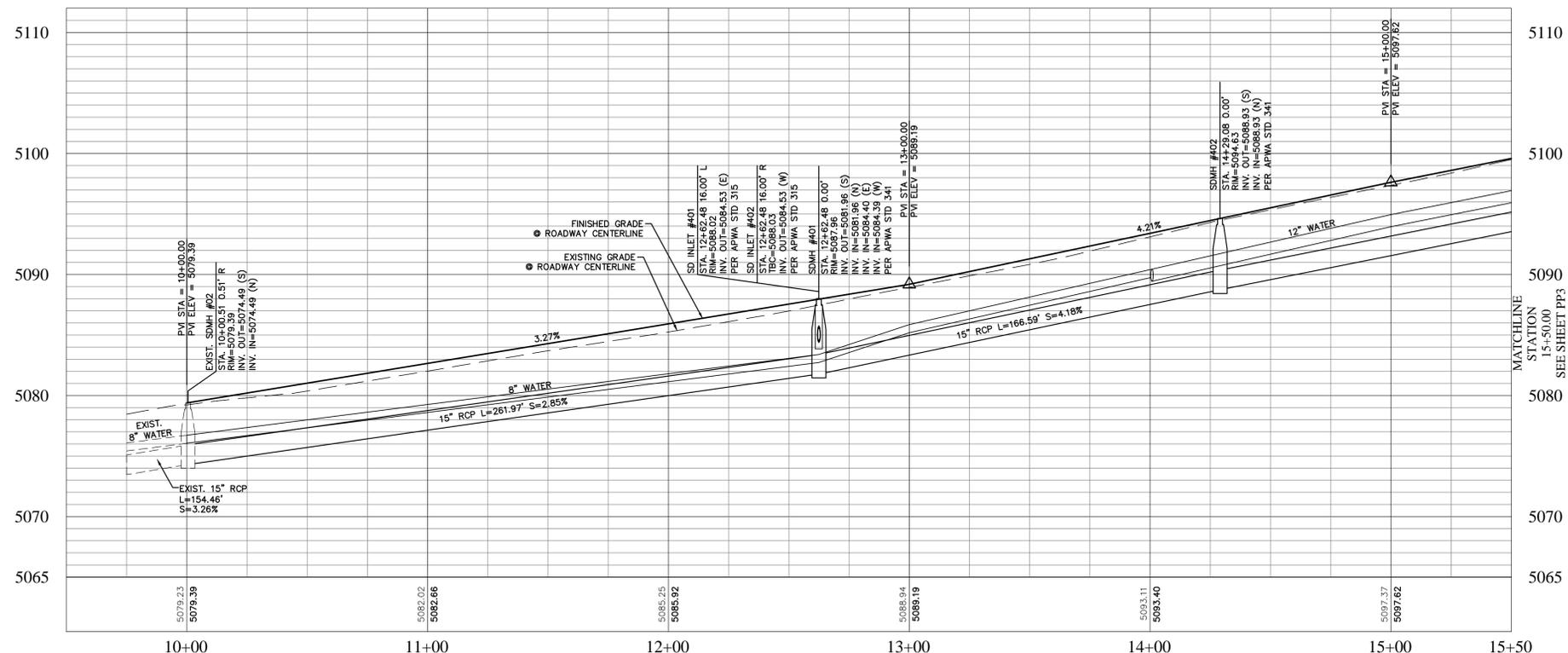




FAUST STATION DRIVE PLAN



50' ROW LOCAL ROAD

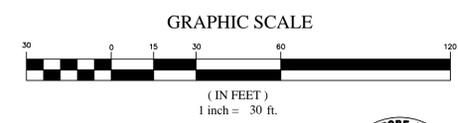


FAUST STATION DRIVE PROFILE

LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	15" STORM DRAIN
---	8" SANITARY SEWER
---	8" W
---	8" CULINARY WATER
---	8" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SIGN
---	STREET LIGHT
---	SD MH, INLET, AND COMBO
---	SEWER MANHOLE
---	WATER, TEE & BEND
---	WATER BLOW-OFF
---	FIRE HYDRANT
---	STREET MONUMENT
---	ADA RAMP
---	EXIST. SD INLET & MH
---	EXIST. SEWER MH
---	EXIST. VALVE, TEE, & BEND
---	EXIST. FIRE HYDRANT
---	SPOT ELEVATION

- NOTES:**
1. ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 2. ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 3. ALL CULINARY WATER VALVES SHALL BE FLANGED.
 4. IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 5. IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 6. IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 7. IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 8. STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR



FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com

PROFESSIONAL ENGINEER
LICENSED
No. 8028950-2202
THOMAS M. ROMNEY
STATE OF UTAH

VALLEY VIEW RANCH
EAGLE MOUNTAIN
Faust Station Drive Plan and Profile

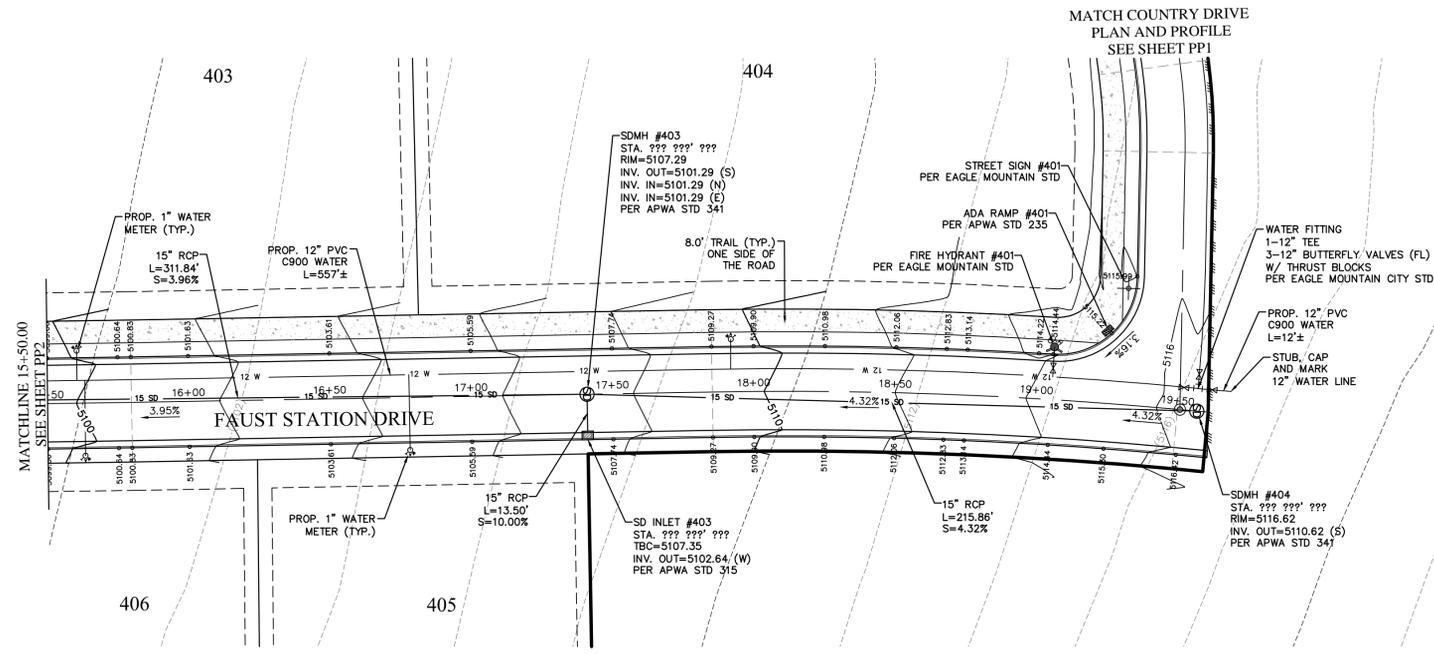
REVISION BLOCK

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

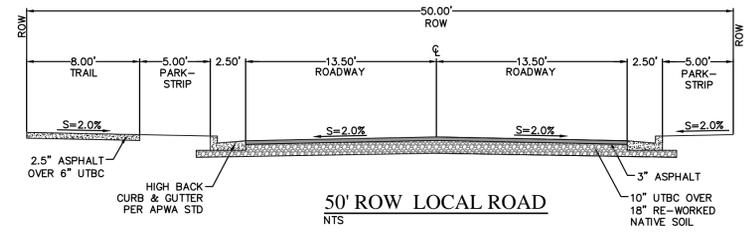
FAUST STATION DRIVE PLAN AND PROFILE

Scale: 1"=30' Drawn: TMR
Date: 03/20/2014 Job #: 13-209
Sheet: PP2

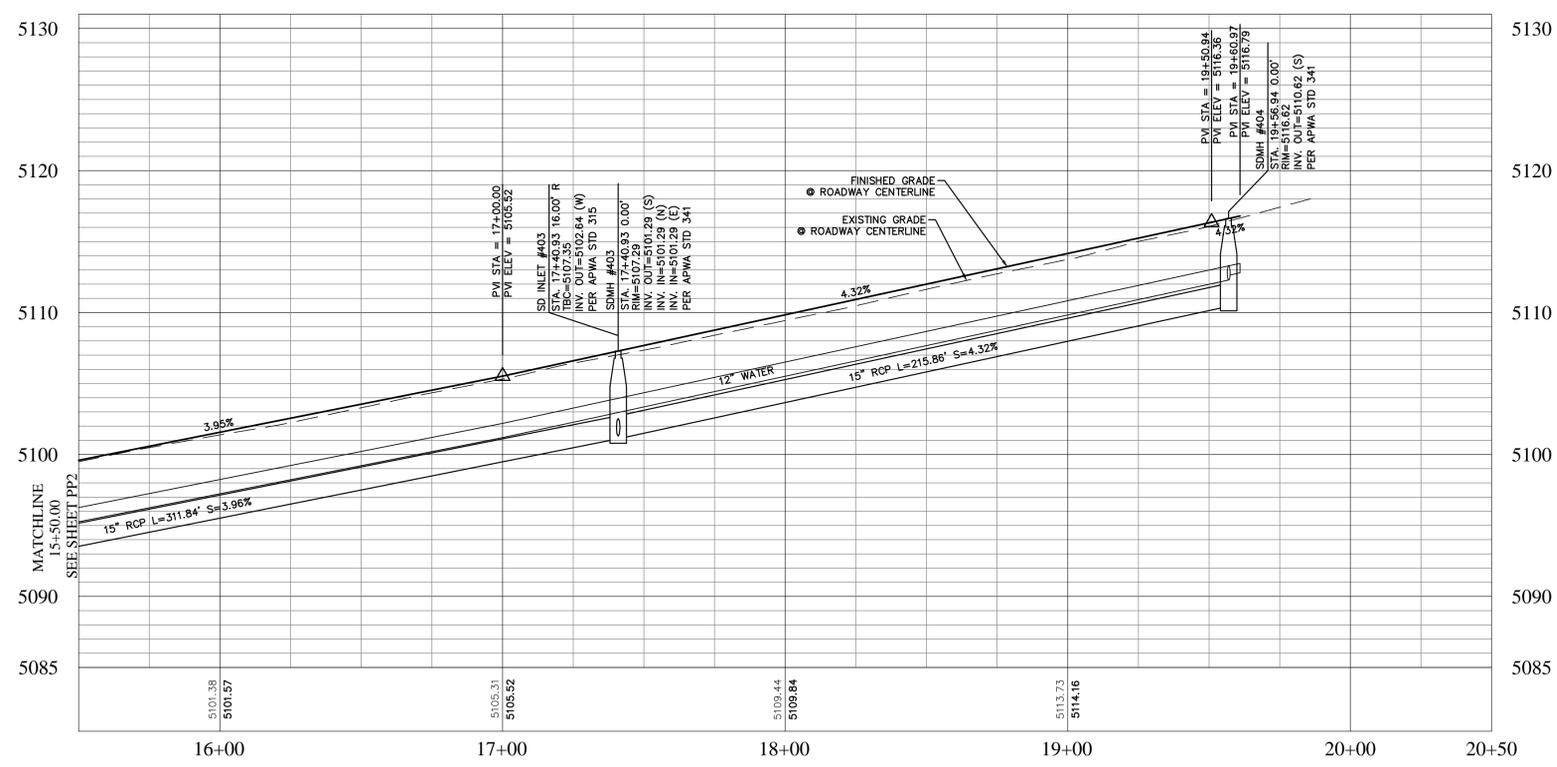




FAUST STATION DRIVE PLAN



50' ROW LOCAL ROAD NTS

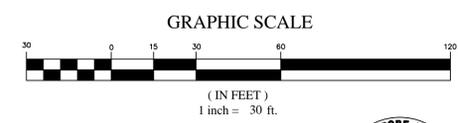


FAUST STATION DRIVE PROFILE

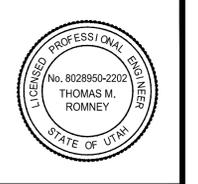
LEGEND

--- (dashed)	BOUNDARY
--- (dotted)	ROW
--- (dash-dot)	CENTERLINE
--- (long-dash)	LOT LINE
--- (short-dash)	EASEMENT
--- (dash-dot-dot)	15" STORM DRAIN
--- (dash-dot-dot-dot)	8" SANITARY SEWER
--- (dash-dot-dot-dot-dot)	8" CULINARY WATER
--- (dash-dot-dot-dot-dot-dot)	8" SW
--- (dash-dot-dot-dot-dot-dot-dot)	8" SECONDARY WATER
--- (dash-dot-dot-dot-dot-dot-dot-dot)	CONTOUR MAJOR
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot)	CONTOUR MINOR
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot-dot)	EXIST. STORM DRAIN
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	EXIST. SANITARY SEWER
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	EXIST. CULINARY WATER
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	EXIST. FENCE
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	EXIST. CONTOUR MAJOR
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	EXIST. CONTOUR MINOR
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	SIGN
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	STREET LIGHT
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	SD MH, INLET, AND COMBO
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	SEWER MANHOLE
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot-dot)	VALVE, TEE & BEND
--- (dash-dot)	WATER BLOW-OFF
--- (dash-dot)	FIRE HYDRANT
--- (dash-dot)	STREET MONUMENT
--- (dash-dot)	ADA RAMP
--- (dash-dot)	EXIST. SD INLET & MH
--- (dash-dot)	EXIST. SEWER MH
--- (dash-dot)	EXIST. VALVE, TEE, & BEND
--- (dash-dot)	EXIST. FIRE HYDRANT
--- (dash-dot)	SPOT ELEVATION

- NOTES:**
1. ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 2. ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 3. ALL CULINARY WATER VALVES SHALL BE FLANGED.
 4. IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 5. IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 6. IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 7. IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 8. STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR



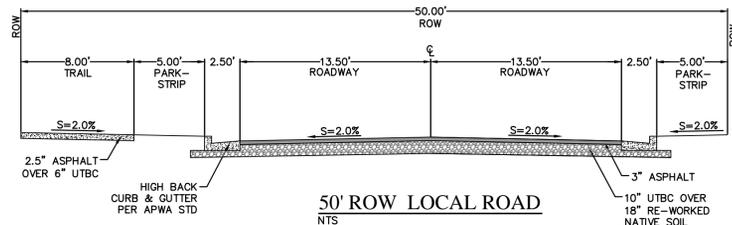
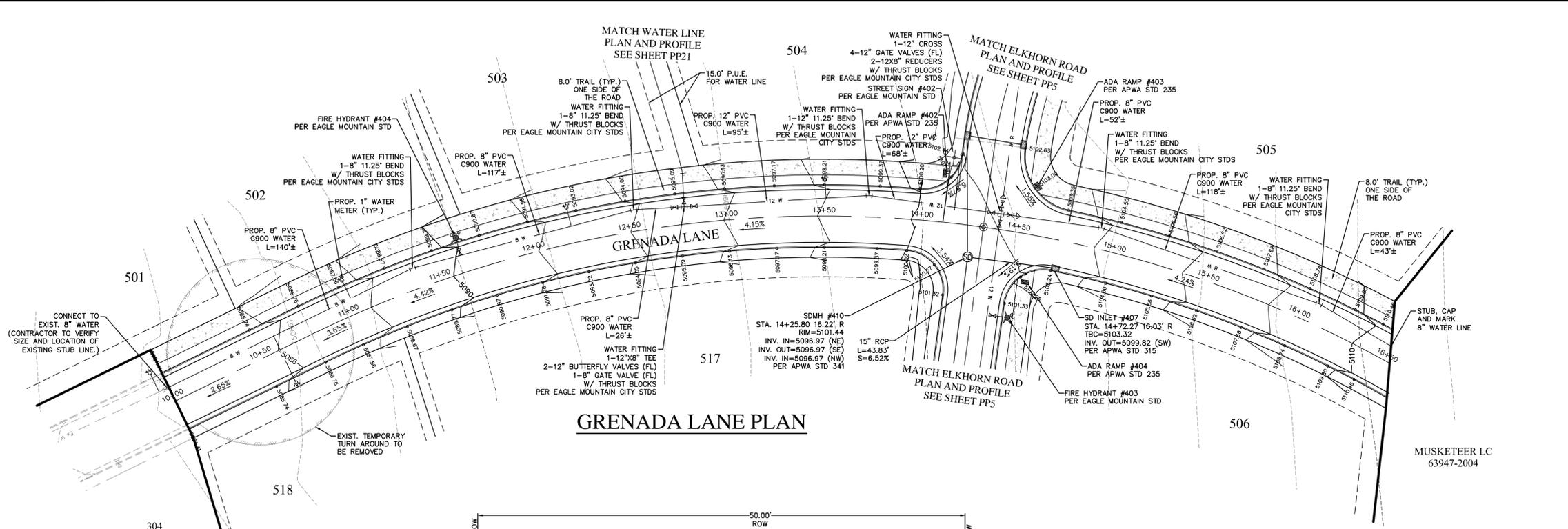
FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focus Utah.com



VALLEY VIEW RANCH
EAGLE MOUNTAIN
Faust Station Drive Plan and Profile

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

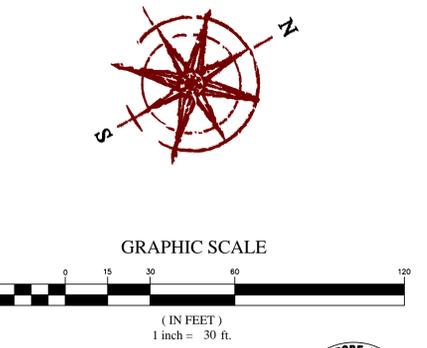
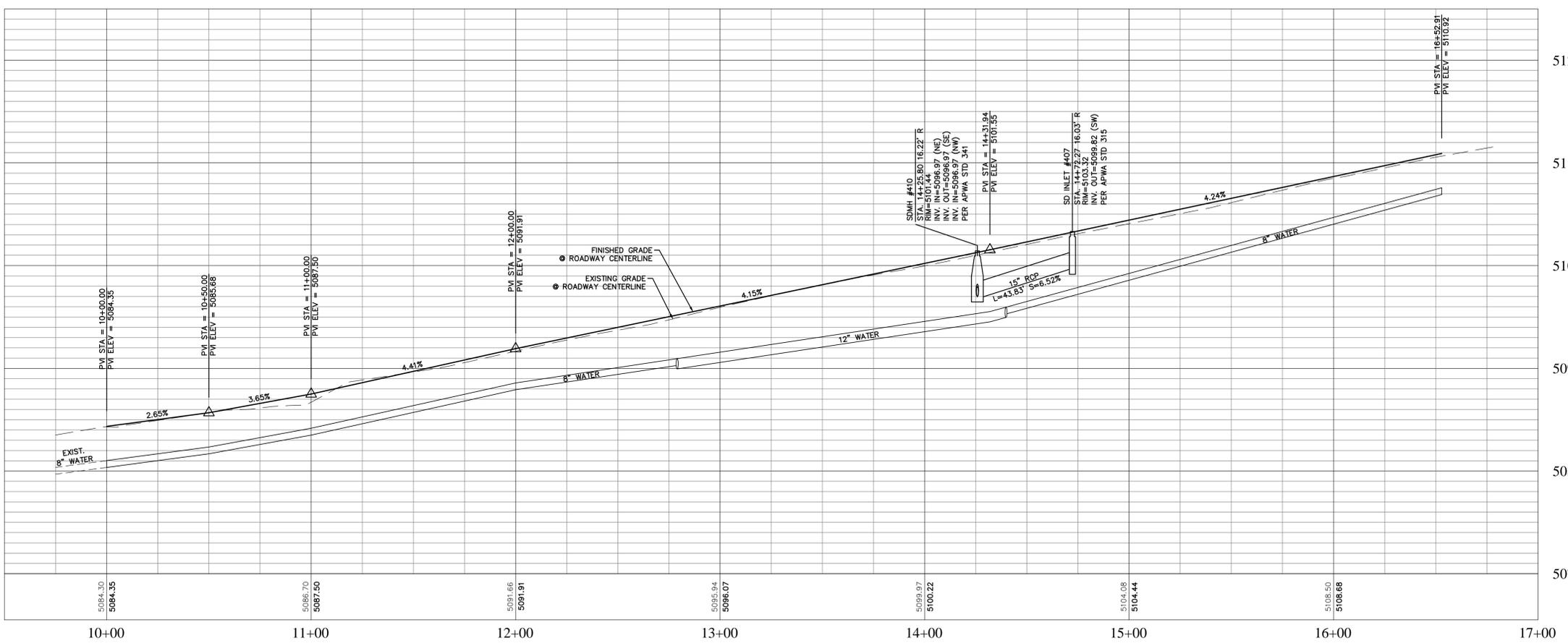
FAUST STATION DRIVE PLAN AND PROFILE
Scale: 1"=30' Drawn: TMR
Date: 03/20/2014 Job #: 13-209
Sheet: **PP3**



LEGEND

--- (dashed)	BOUNDARY
--- (dotted)	ROW
--- (dash-dot)	CENTERLINE
--- (long-dash)	LOT LINE
---	EASEMENT
15 SD	15" STORM DRAIN
8 SS	8" SANITARY SEWER
8 W	8" CULINARY WATER
8 SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex SD	EXIST. STORM DRAIN
Ex SS	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
Ex SW	EXIST. SECONDARY WATER
(XXXX)	EXIST. CONTOUR MAJOR
(XXXX)	EXIST. CONTOUR MINOR
+	SIGN
⊙	STREET LIGHT
⊙	SD MH, INLET, AND COMBO
⊙	SEWER MANHOLE
⊙	VALVE, TEE & BEND
⊙	WATER BLOW-OFF
⊙	FIRE HYDRANT
⊙	STREET MONUMENT
⊙	ADA RAMP
⊙	EXIST. SD INLET & MH
⊙	EXIST. SEWER MH
⊙	EXIST. VALVE, TEE, & BEND
⊙	EXIST. FIRE HYDRANT
⊙	SPOT ELEVATION

- NOTES:**
1. ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 2. ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 3. ALL CULINARY WATER VALVES SHALL BE FLANGED.
 4. IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 5. IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 6. IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 7. IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 8. STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR



FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com

PROFESSIONAL ENGINEER
No. 8028950-2202
THOMAS M. ROMNEY
STATE OF UTAH

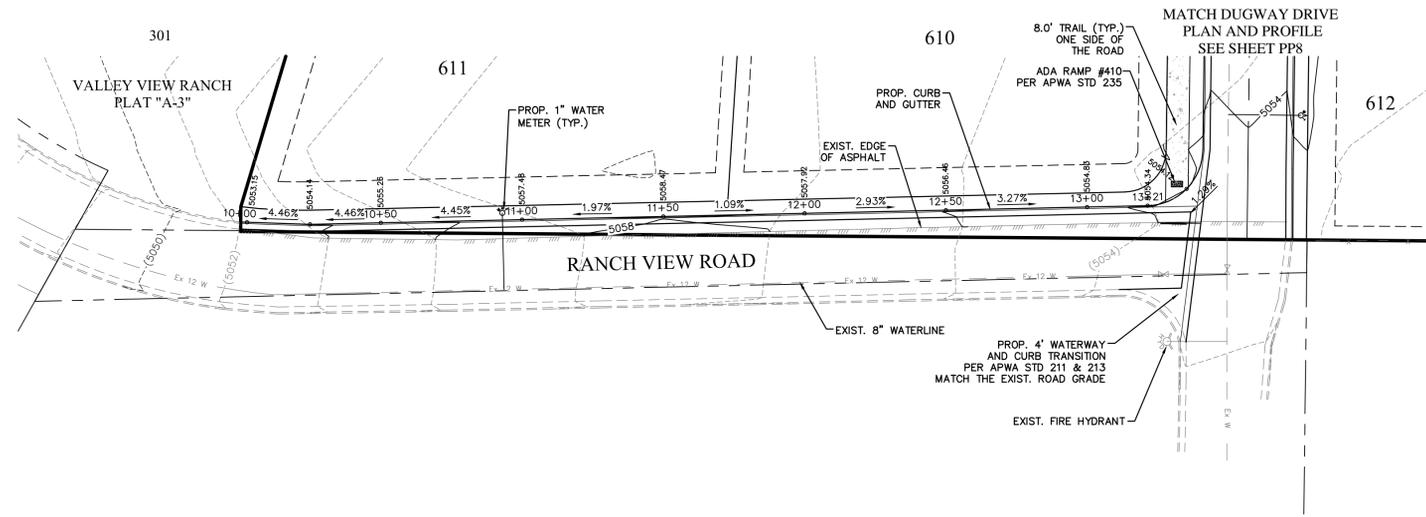
VALLEY VIEW RANCH
EAGLE MOUNTAIN
Grenada Lane Plan and Profile

REVISION BLOCK

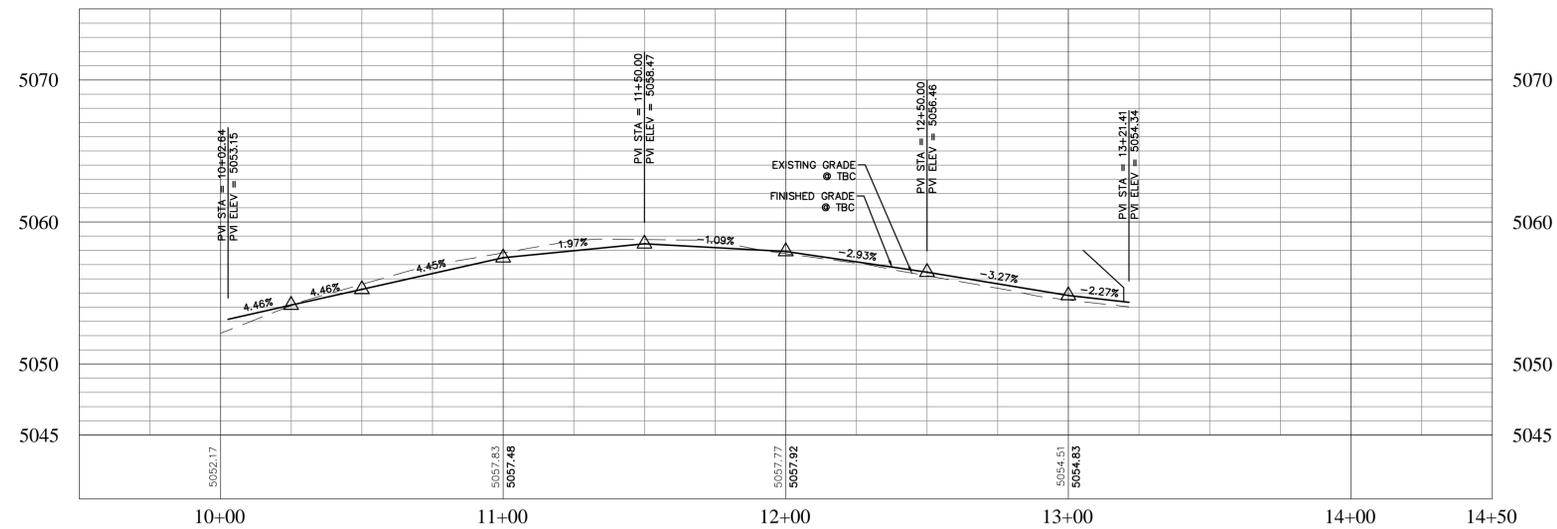
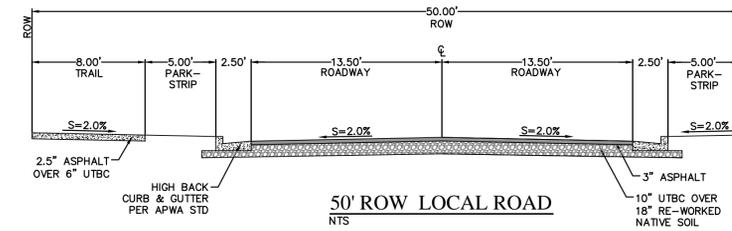
#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

GRENADA LANE PLAN AND PROFILE
Scale: 1"=30'
Date: 03/20/2014
Sheet: PP4
Drawn: TMR
Job #: 13-209





RANCH VIEW ROAD TBC PLAN

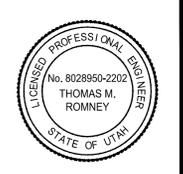
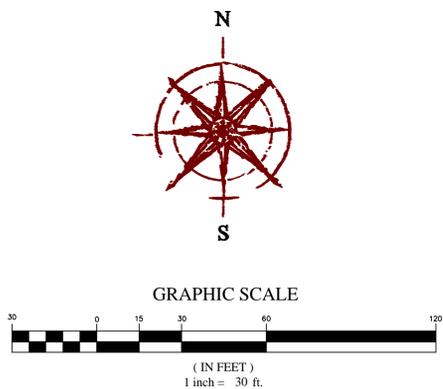


RANCH VIEW ROAD TBC PROFILE

LEGEND

--- (dashed)	BOUNDARY
--- (dotted)	ROW
--- (dash-dot)	CENTERLINE
--- (long-dash)	LOT LINE
---	EASEMENT
15 SS	15" STORM DRAIN
8 SS	8" SANITARY SEWER
8 W	8" CULINARY WATER
8 SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex 10	EXIST. STORM DRAIN
Ex SS	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
Ex SW	EXIST. SECONDARY WATER
XXXX	EXIST. CONTOUR MAJOR
XXXX	EXIST. CONTOUR MINOR
+	SIGN
⊙	STREET LIGHT
⊙	SD MH, INLET, AND COMBO
⊙	SEWER MANHOLE
⊙	VALVE, TEE & BEND
⊙	WATER BLOW-OFF
⊙	FIRE HYDRANT
⊙	STREET MONUMENT
⊙	ADA RAMP
⊙	EXIST. SD INLET & MH
⊙	EXIST. SEWER MH
⊙	EXIST. VALVE, TEE, & BEND
⊙	EXIST. FIRE HYDRANT
○ XXXX.XX	SPOT ELEVATION

- NOTES:**
- ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 - ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 - ALL CULINARY WATER VALVES SHALL BE FLANGED.
 - IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 - IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 - IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 - IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 - STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM. THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR.



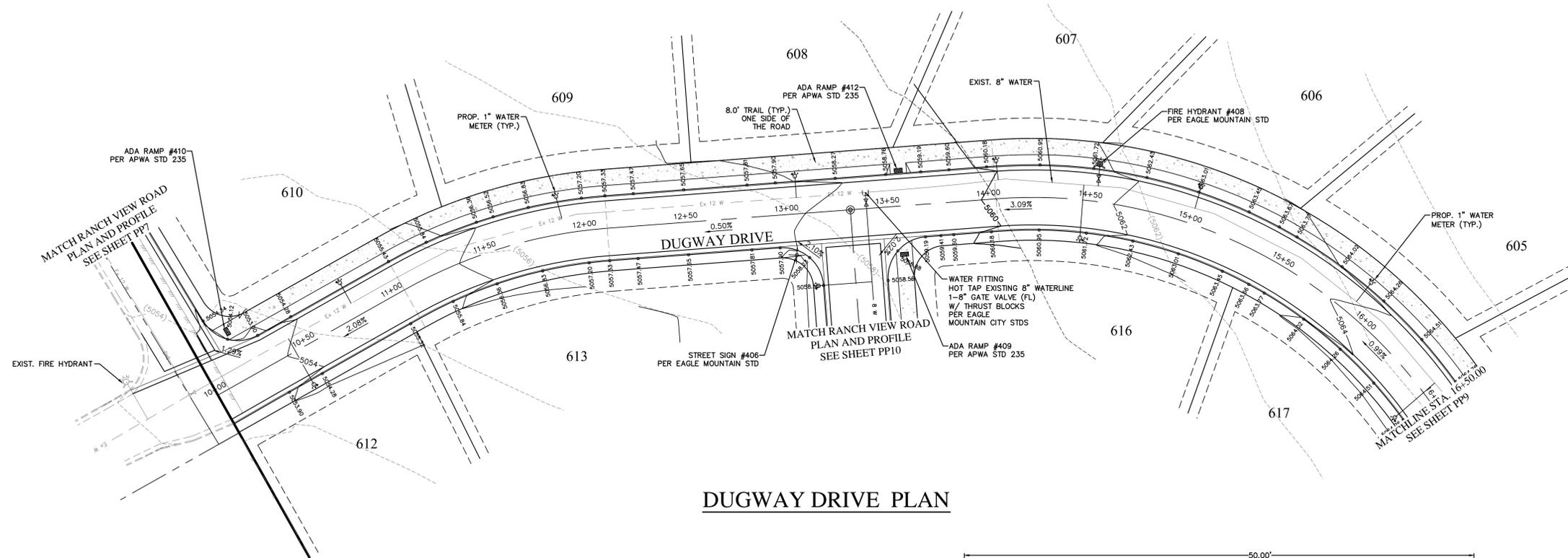
VALLEY VIEW RANCH
EAGLE MOUNTAIN
Ranch View Road Plan and Profile

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

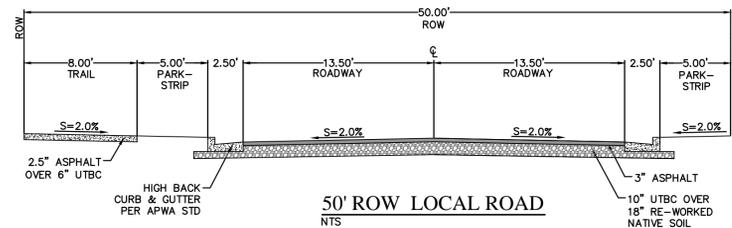
RANCH VIEW ROAD PLAN AND PROFILE

Scale: 1"=30'
Date: 03/20/2014
Sheet: PP7

Drawn: TMR
Job #: 13-209



DUGWAY DRIVE PLAN

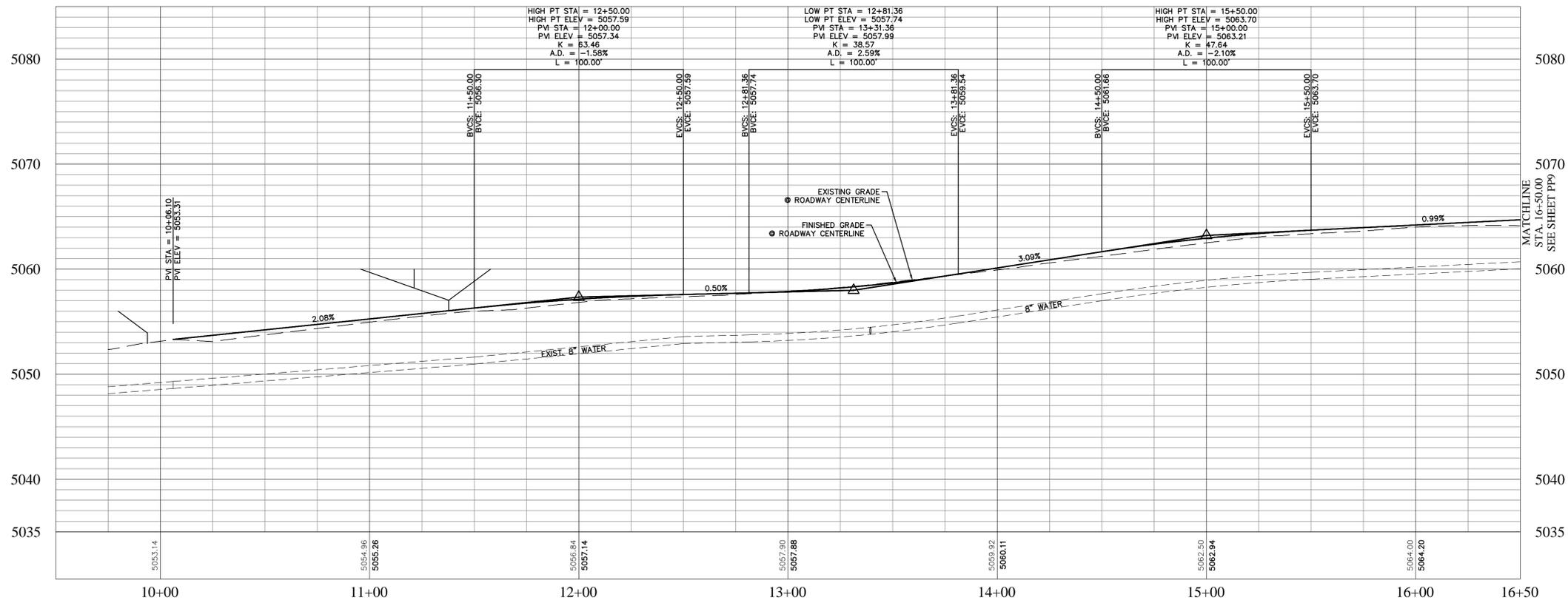


50' ROW LOCAL ROAD

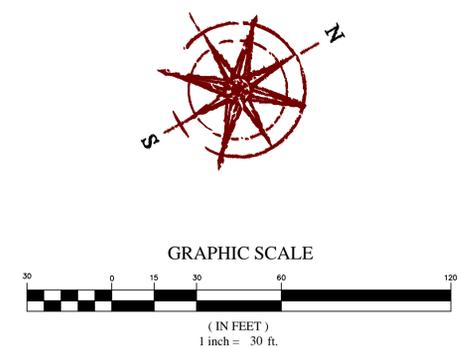
LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
15" SD	15" STORM DRAIN
8" SW	8" SANITARY SEWER
8" W	8" CULINARY WATER
8" SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex SD	EXIST. STORM DRAIN
Ex SW	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
---	EXIST. FENCE
(XXXX)	EXIST. CONTOUR MAJOR
(XXXX)	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT
+	ADA RAMP
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
o XXXXX	SPOT ELEVATION

- NOTES:**
- ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 - ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 - ALL CULINARY WATER VALVES SHALL BE FLANGED.
 - IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 - IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 - IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 - IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 - STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM.
 - THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR.



DUGWAY DRIVE PROFILE



FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com

PROFESSIONAL ENGINEER
No. 8028950-2202
THOMAS M. ROMNEY
STATE OF UTAH

VALLEY VIEW RANCH
EAGLE MOUNTAIN
Dugway Drive Plan and Profile

REVISION BLOCK

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

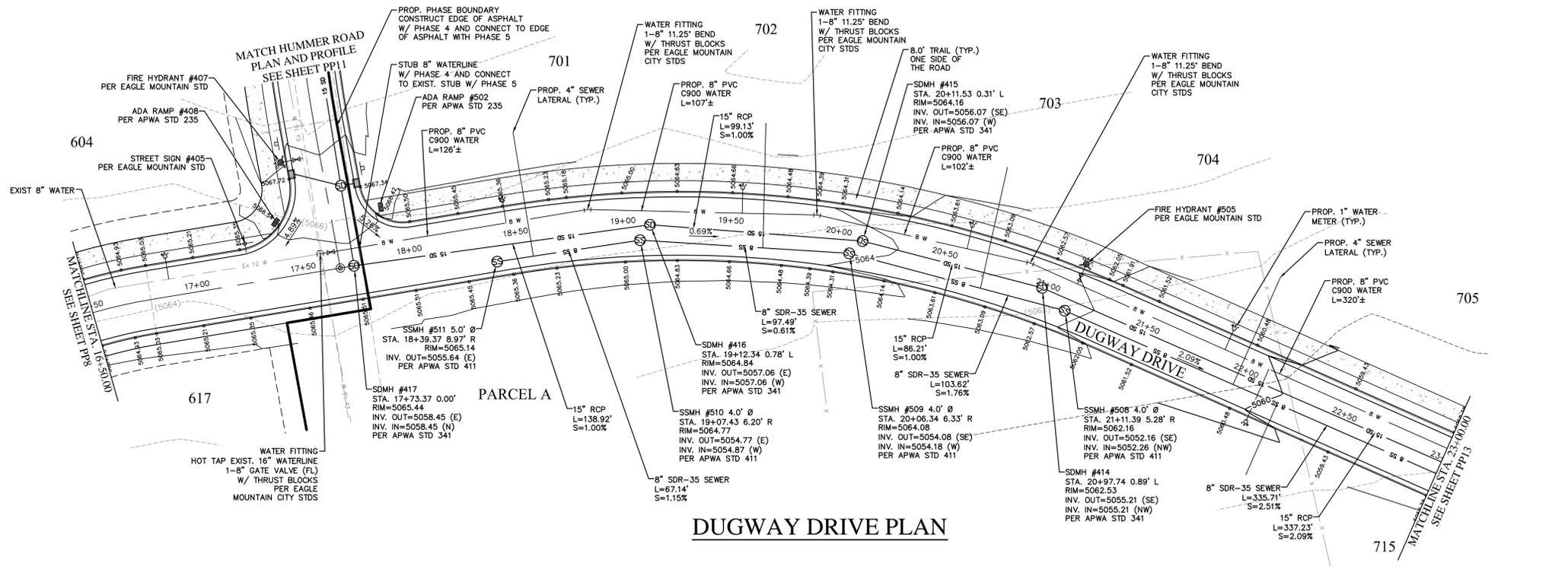
DUGWAY DRIVE PLAN AND PROFILE

Scale: 1"=30'
Date: 03/20/2014
Sheet: PP8

Drawn: TMR
Job #: 13-209



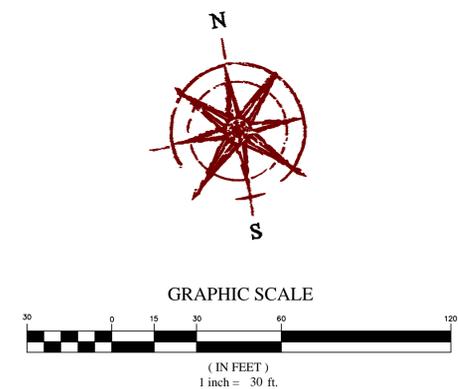
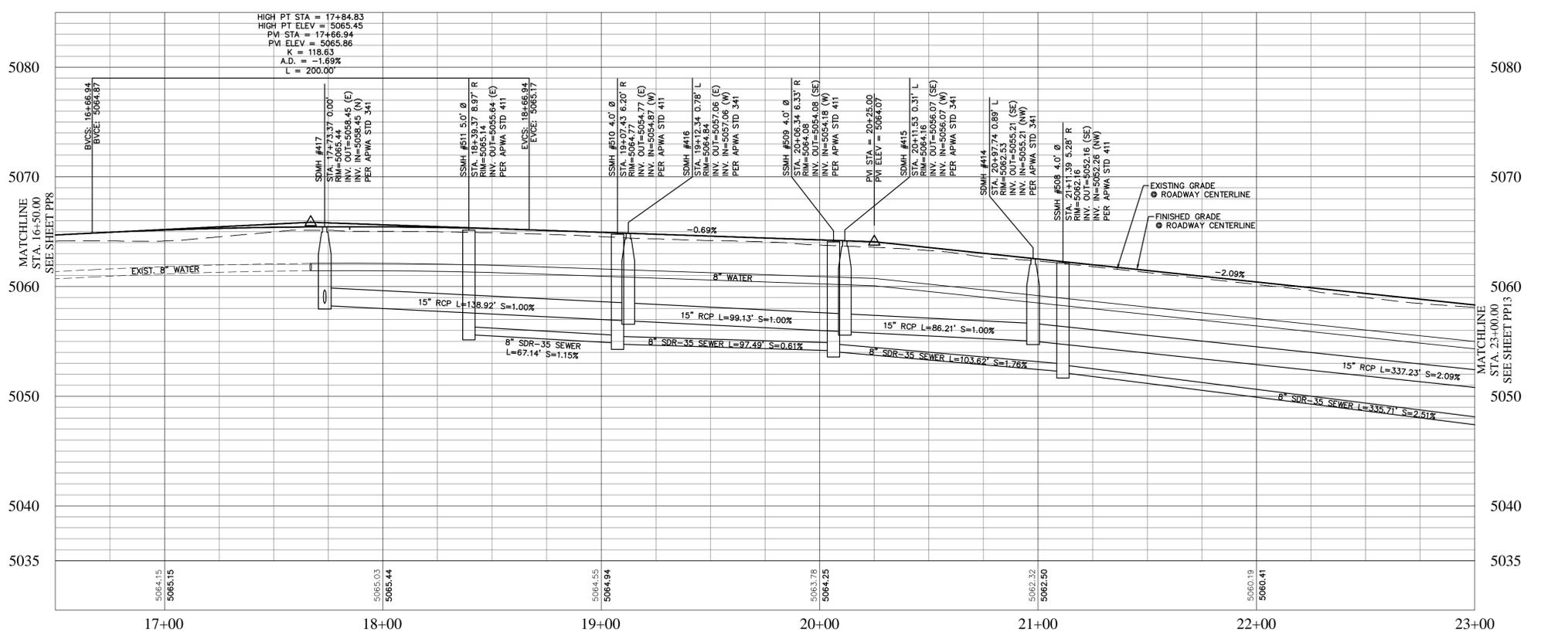
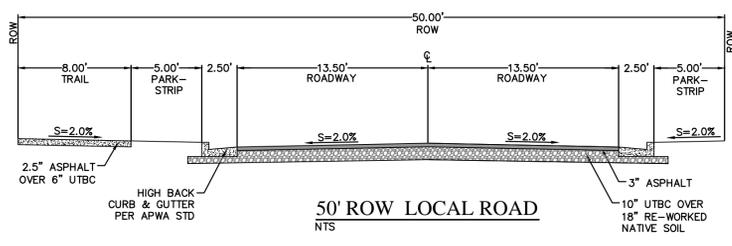
Z:\2013\13-209 Valley View Ranch-Eagle Mountain\design\13-209\dwg\sheet\PP8 Dugway Drive.dwg



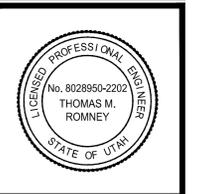
LEGEND

--- BOUNDARY
--- ROW
--- CENTERLINE
--- LOT LINE
--- EASEMENT
15 SD 15" STORM DRAIN
8 SW 8" SANITARY SEWER
8 W 8" CULINARY WATER
8 SW 8" SECONDARY WATER
--- CONTOUR MAJOR
--- CONTOUR MINOR
--- EXIST. STORM DRAIN
--- EXIST. SANITARY SEWER
--- EXIST. CULINARY WATER
--- EXIST. FENCE
--- EXIST. CONTOUR MAJOR
--- EXIST. CONTOUR MINOR
--- SIGN
--- STREET LIGHT
--- SD MH, INLET, AND COMBO
--- SEWER MANHOLE
--- VALVE, TEE & BEND
--- WATER BLOW-OFF
--- FIRE HYDRANT
--- STREET MONUMENT
--- ADA RAMP
--- EXIST. SD INLET & MH
--- EXIST. SEWER MH
--- EXIST. VALVE, TEE, & BEND
--- EXIST. FIRE HYDRANT
--- SPOT ELEVATION

- NOTES:**
1. ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 2. ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 3. ALL CULINARY WATER VALVES SHALL BE FLANGED.
 4. IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 5. IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 6. IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 7. IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 8. STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR.



FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focus Utah.com



VALLEY VIEW RANCH
EAGLE MOUNTAIN
Dugway Drive Plan and Profile

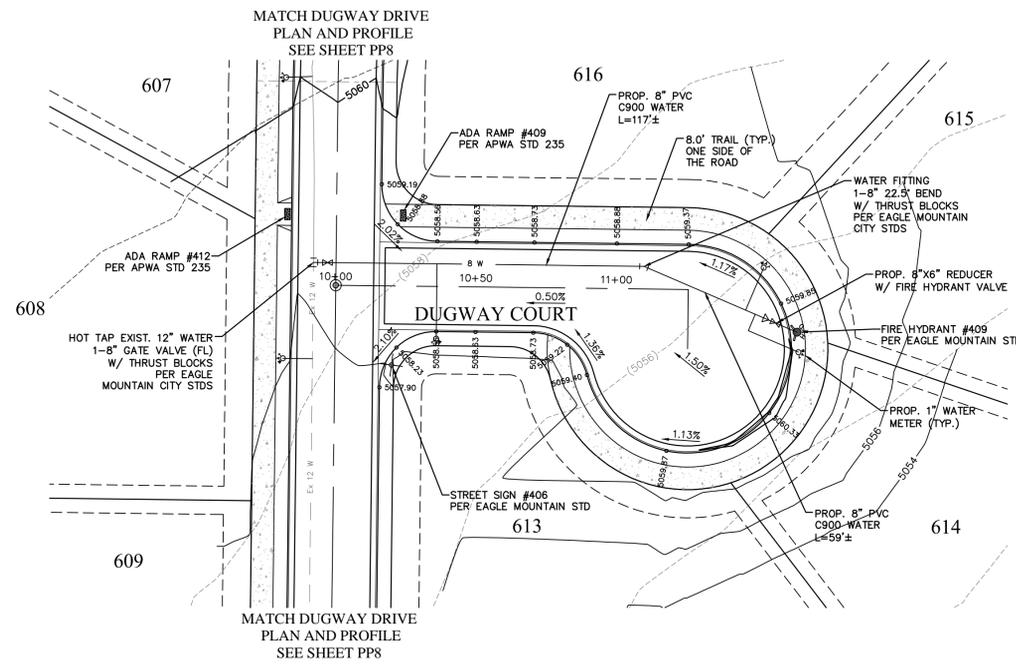
REVISION BLOCK

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

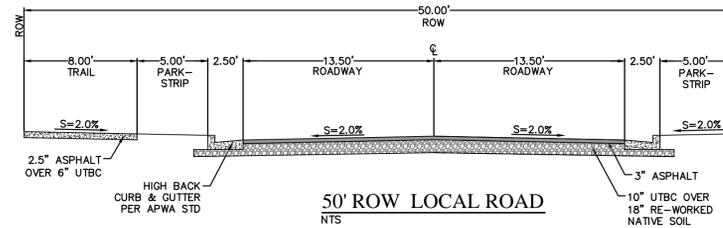
DUGWAY DRIVE PLAN AND PROFILE

Scale: 1"=30'
Date: 03/20/2014
Sheet: PP9

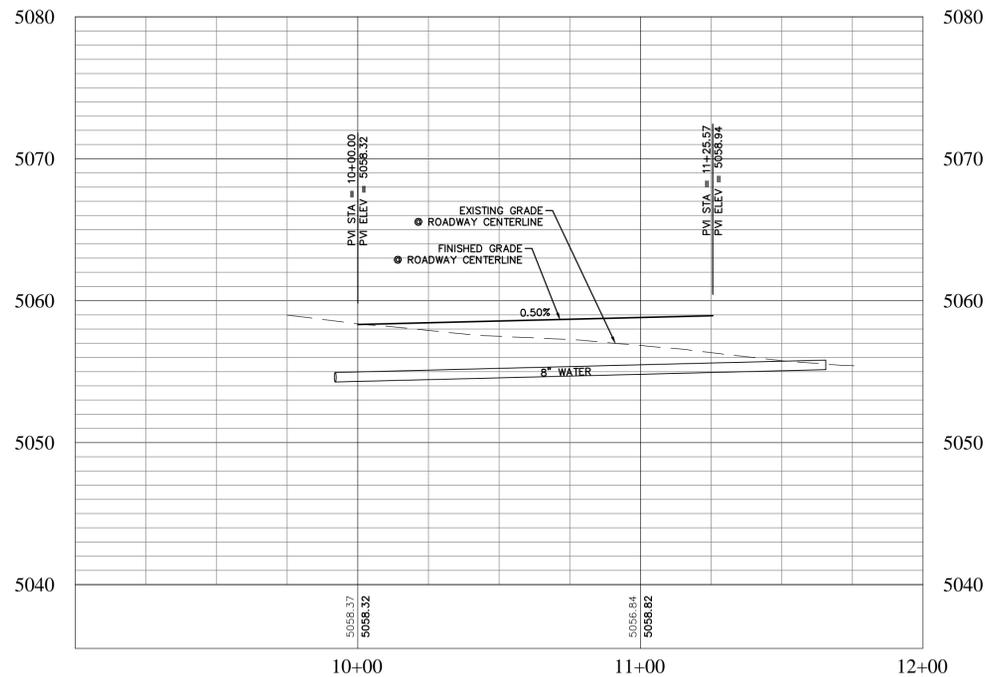
Drawn: TMR
Job #: 13-209



DUGWAY COURT PLAN



50' ROW LOCAL ROAD
NTS



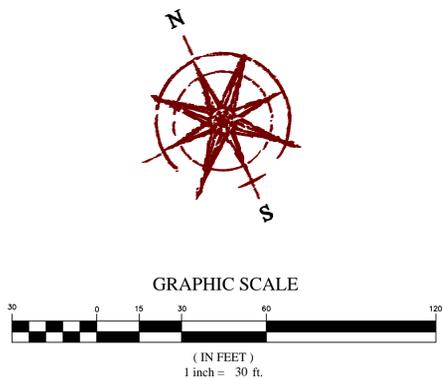
DUGWAY COURT PROFILE

LEGEND

--- (dashed)	BOUNDARY
--- (dotted)	ROW
--- (dash-dot)	CENTERLINE
--- (long-dash)	LOT LINE
---	EASEMENT
15 SD	15" STORM DRAIN
8 SS	8" SANITARY SEWER
8 W	8" CULINARY WATER
8 SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex SD	EXIST. STORM DRAIN
Ex SS	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
Ex SW	EXIST. SECONDARY WATER
X	EXIST. FENCE
(XXXX)	EXIST. CONTOUR MAJOR
(XXXX)	EXIST. CONTOUR MINOR
+	SIGN
⊕	STREET LIGHT
⊙	SD MH, INLET, AND COMBO
⊗	SEWER MANHOLE
⊕	VALVE, TEE & BEND
⊕	WATER BLOW-OFF
⊕	FIRE HYDRANT
⊕	STREET MONUMENT
⊕	ADA RAMP
⊕	EXIST. SD INLET & MH
⊕	EXIST. SEWER MH
⊕	EXIST. VALVE, TEE, & BEND
⊕	EXIST. FIRE HYDRANT
○ XXXX.XX	SPOT ELEVATION

NOTES:

1. ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
2. ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
3. ALL CULINARY WATER VALVES SHALL BE FLANGED.
4. IMPROVEMENTS SHOWN ON SHEETS PP4-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
5. IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
6. IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
7. IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
8. STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM.
9. THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR.



FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com



VALLEY VIEW RANCH
EAGLE MOUNTAIN
Dugway Court Plan and Profile

REVISION BLOCK

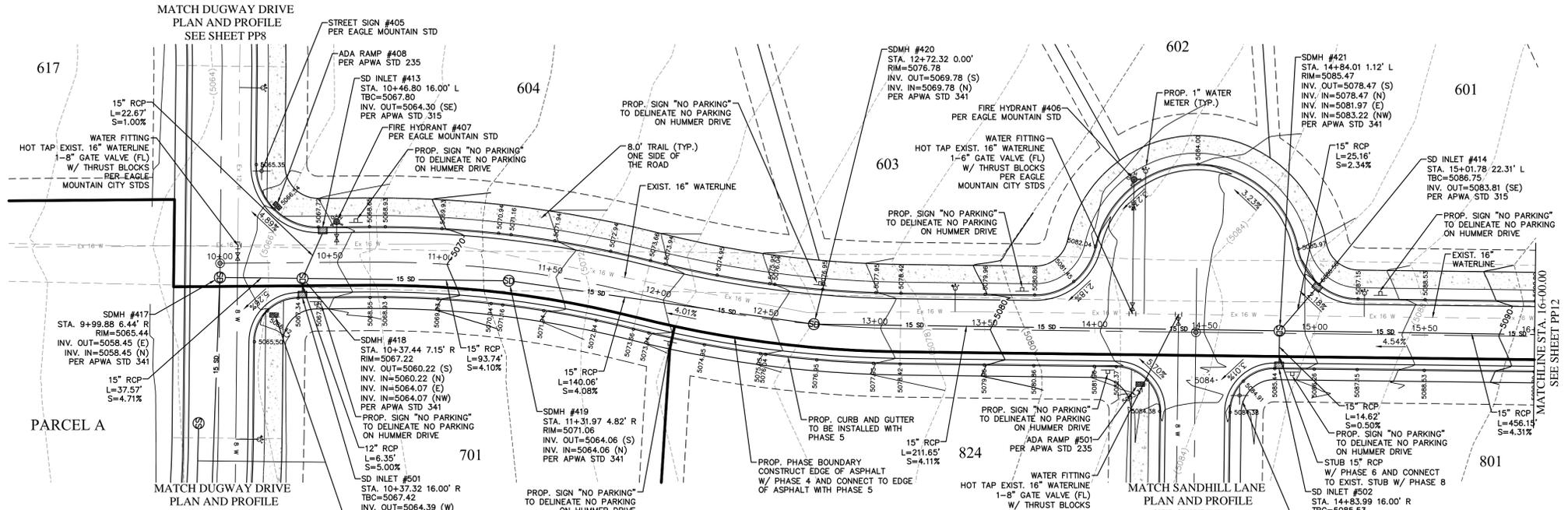
#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

DUGWAY COURT PLAN AND PROFILE

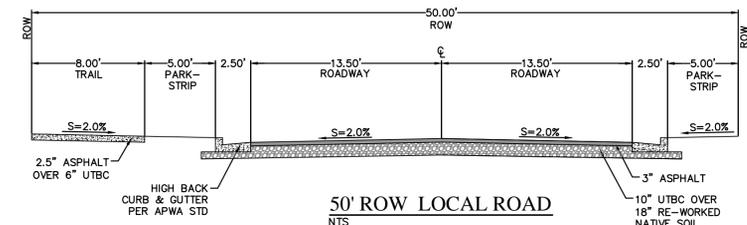
Scale: 1"=30'
Date: 03/20/2014
Sheet: PP10

Drawn: TMR
Job #: 13-209

Z:\2013\13-209 Edge Homes Valley View Ranch-Eagle Mountain\Drawings\13-209\Drawings\PP10 Dugway Court.dwg



HUMMER DRIVE PLAN

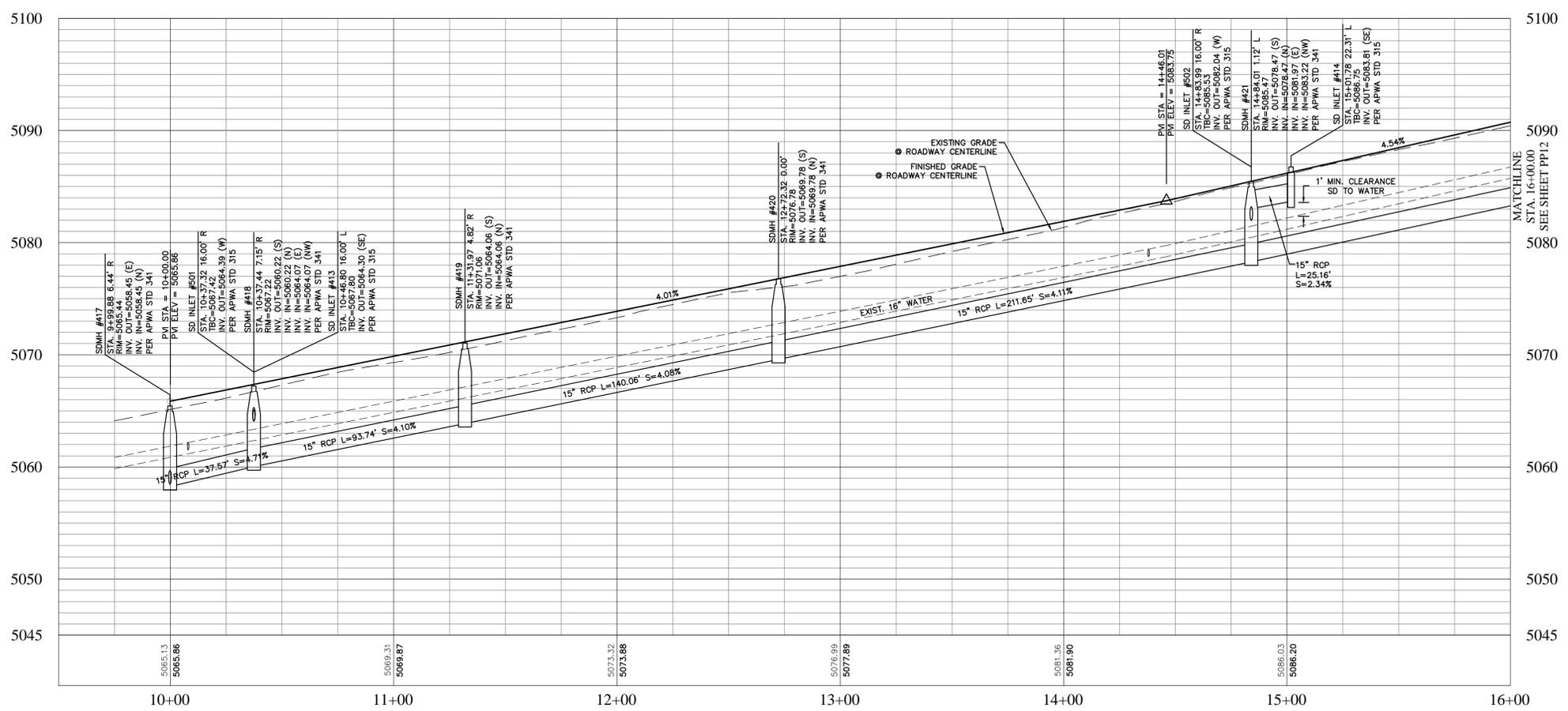


50' ROW LOCAL ROAD

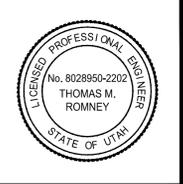
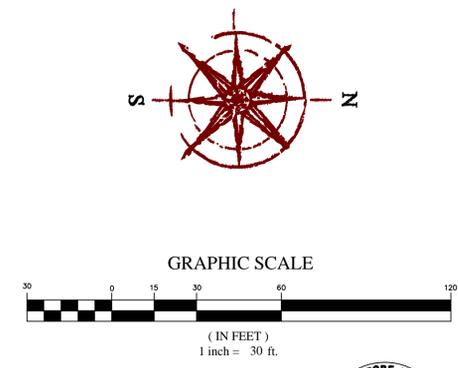
LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	15" STORM DRAIN
---	8" SANITARY SEWER
---	8" CULINARY WATER
---	8" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SIGN
---	STREET LIGHT
---	SD MH, INLET, AND COMBO
---	SEWER MANHOLE
---	VALVE, TEE & BEND
---	WATER BLOW-OFF
---	FIRE HYDRANT
---	STREET MONUMENT
---	ADA RAMP
---	EXIST. SD INLET & MH
---	EXIST. SEWER MH
---	EXIST. VALVE, TEE, & BEND
---	EXIST. FIRE HYDRANT
---	SPOT ELEVATION

- NOTES:**
1. ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 2. ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT TO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 3. ALL CULINARY WATER VALVES SHALL BE FLANGED.
 4. IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 5. IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 6. IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 7. IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 8. STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR



HUMMER DRIVE PROFILE



VALLEY VIEW RANCH
EAGLE MOUNTAIN
Hummer Drive Plan and Profile

REVISION BLOCK

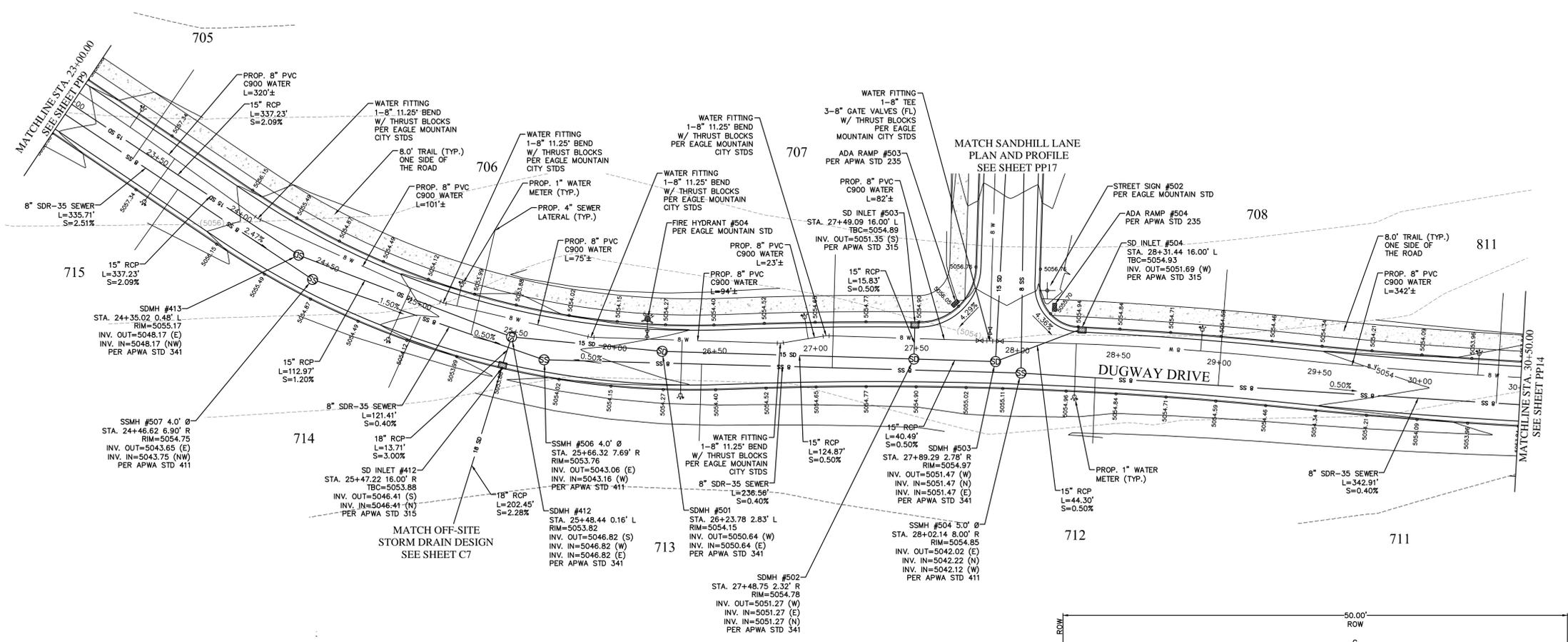
#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

HUMMER DRIVE PLAN AND PROFILE

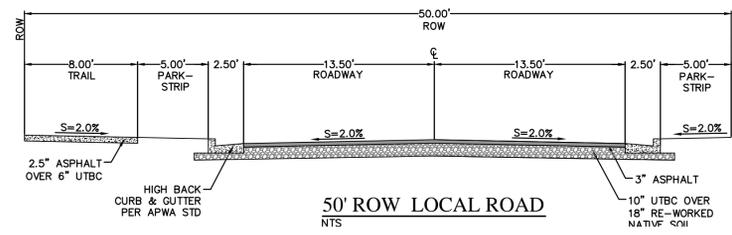
Scale: 1"=30'
Date: 03/20/2014
Sheet: PP11

Drawn: TMR
Job #: 13-209

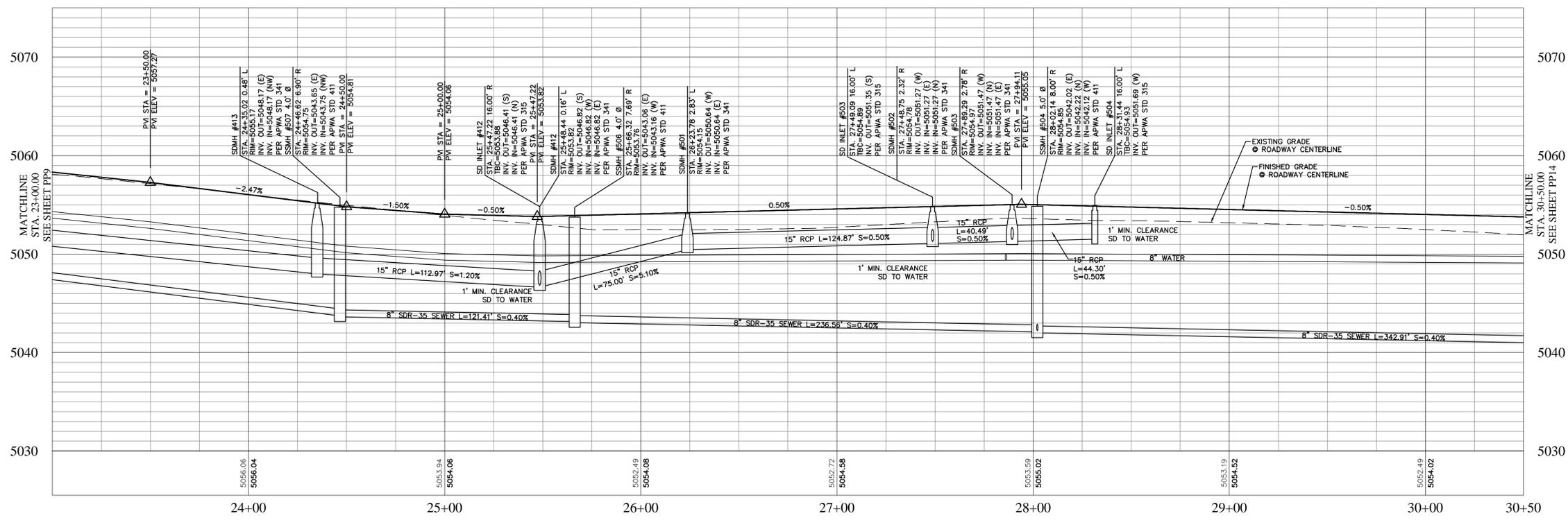




DUGWAY DRIVE PLAN



50' ROW LOCAL ROAD

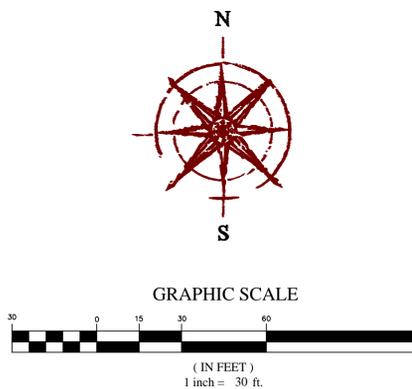


DUGWAY DRIVE PROFILE

LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	15" SDR
---	8" SDR
---	8" W
---	8" CULINARY WATER
---	8" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SIGN
---	STREET LIGHT
---	SD MH, INLET, AND COMBO
---	SEWER MANHOLE
---	VALVE, TEE & BEND
---	WATER BLOW-OFF
---	FIRE HYDRANT
---	STREET MONUMENT
---	ADA RAMP
---	EXIST. SD INLET & MH
---	EXIST. SEWER MH
---	EXIST. VALVE, TEE, & BEND
---	EXIST. FIRE HYDRANT
---	SPOT ELEVATION

- NOTES:**
1. ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 2. ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT TO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 3. ALL CULINARY WATER VALVES SHALL BE FLANGED.
 4. IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 5. IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 6. IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 7. IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 8. STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM RAINFALL INTENSITY IS 1.31 IN/HR



FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com

PROFESSIONAL ENGINEER
LICENSED
No. 8028950-2202
THOMAS M. ROMNEY
STATE OF UTAH

VALLEY VIEW RANCH
EAGLE MOUNTAIN
Dugway Drive Plan and Profile

REVISION BLOCK

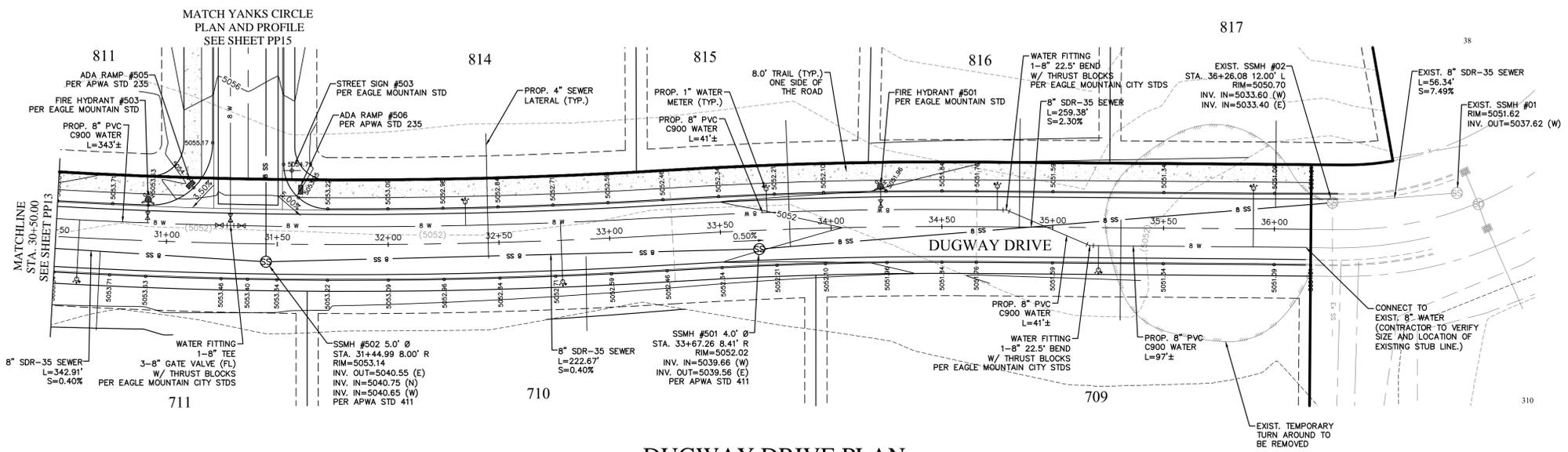
#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

DUGWAY DRIVE PLAN AND PROFILE

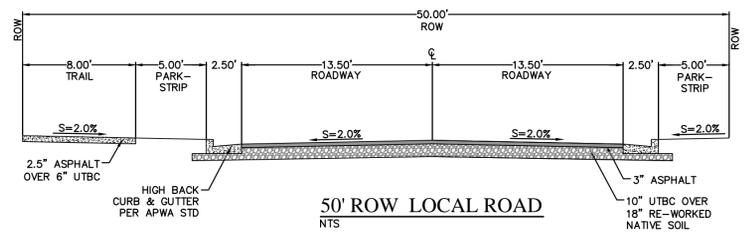
Scale: 1"=30'
Date: 03/20/2014
Job #: 13-209
Sheet: PP13

Drawn: TMR
Job #: 13-209

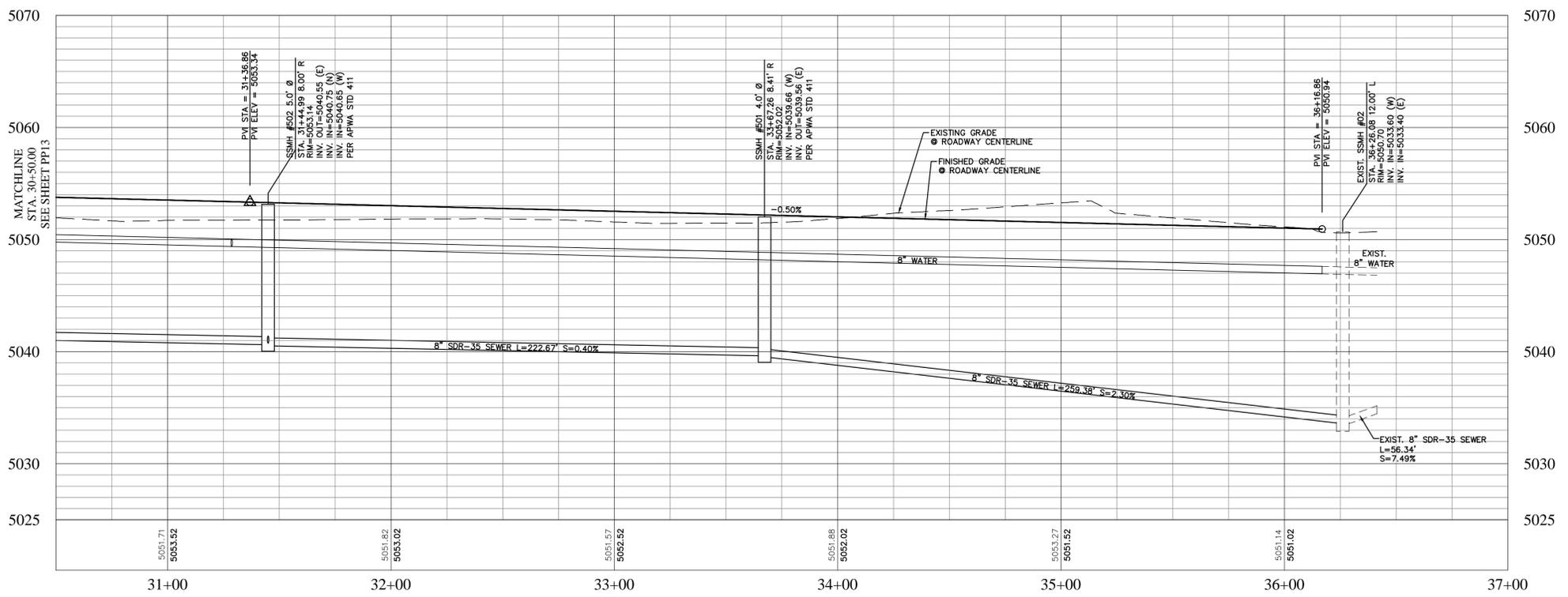




DUGWAY DRIVE PLAN



50' ROW LOCAL ROAD NTS

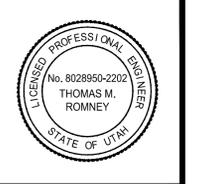
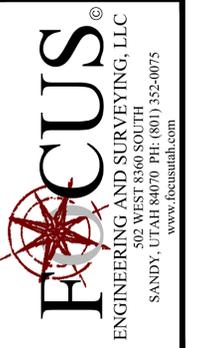
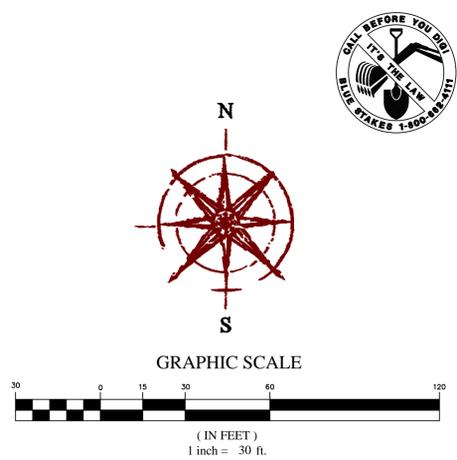


DUGWAY DRIVE PROFILE

LEGEND

--- (dashed line)	BOUNDARY
--- (solid line)	ROW
--- (dashed line)	CENTERLINE
--- (dashed line)	LOT LINE
--- (dashed line)	EASEMENT
--- (dashed line)	15" STORM DRAIN
--- (dashed line)	8" SANITARY SEWER
--- (dashed line)	8" W
--- (dashed line)	8" SW
--- (dashed line)	8" SECONDARY WATER
--- (dashed line)	CONTOUR MAJOR
--- (dashed line)	CONTOUR MINOR
--- (dashed line)	EXIST. STORM DRAIN
--- (dashed line)	EXIST. SANITARY SEWER
--- (dashed line)	EXIST. CULINARY WATER
--- (dashed line)	EXIST. FENCE
--- (dashed line)	EXIST. CONTOUR MAJOR
--- (dashed line)	EXIST. CONTOUR MINOR
--- (dashed line)	SIGN
--- (dashed line)	STREET LIGHT
--- (dashed line)	SD MH, INLET, AND COMBO
--- (dashed line)	SEWER MANHOLE
--- (dashed line)	VALVE, TEE & BEND
--- (dashed line)	WATER BLOW-OFF
--- (dashed line)	FIRE HYDRANT
--- (dashed line)	STREET MONUMENT
--- (dashed line)	ADA RAMP
--- (dashed line)	EXIST. SD INLET & MH
--- (dashed line)	EXIST. SEWER MH
--- (dashed line)	EXIST. VALVE, TEE, & BEND
--- (dashed line)	EXIST. FIRE HYDRANT
--- (dashed line)	SPOT ELEVATION

- NOTES:**
1. ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 2. ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 3. ALL CULINARY WATER VALVES SHALL BE FLANGED.
 4. IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 5. IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 6. IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 7. IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 8. STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM.
 9. THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR.



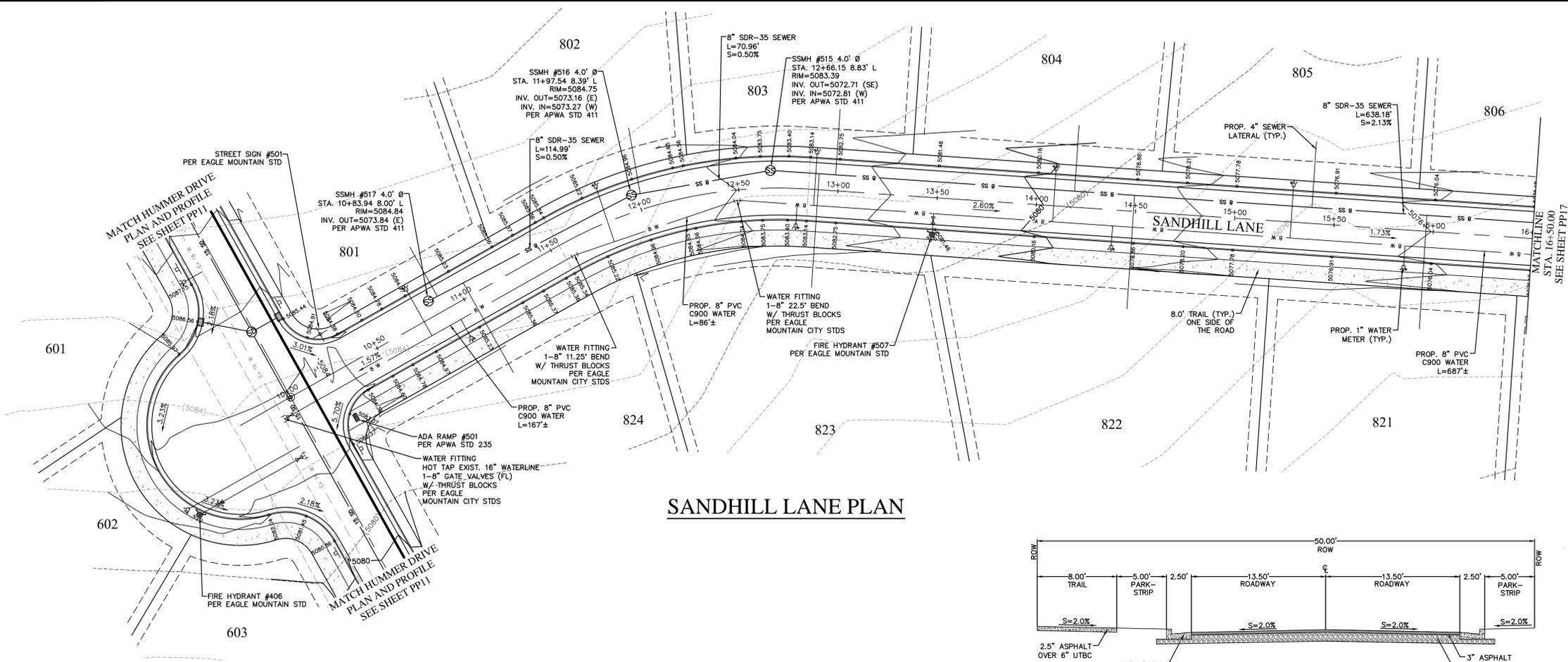
VALLEY VIEW RANCH
EAGLE MOUNTAIN
Dugway Drive Plan and Profile

REVISION BLOCK	#	DATE	DESCRIPTION
	1		
	2		
	3		
	4		
	5		
	6		

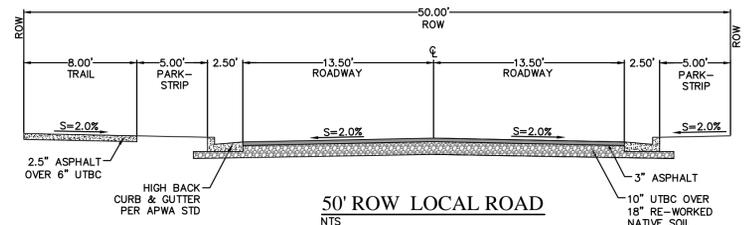
DUGWAY DRIVE PLAN AND PROFILE

Scale: 1"=30' Drawn: TMR
Date: 03/20/2014 Job #: 13-209
Sheet: **PP14**

Z:\2013\13-209 Edge Homes Valley View Ranch-Eagle Mountain\design\13-209\dwg\sheet\PP14_Dugway Drive.dwg



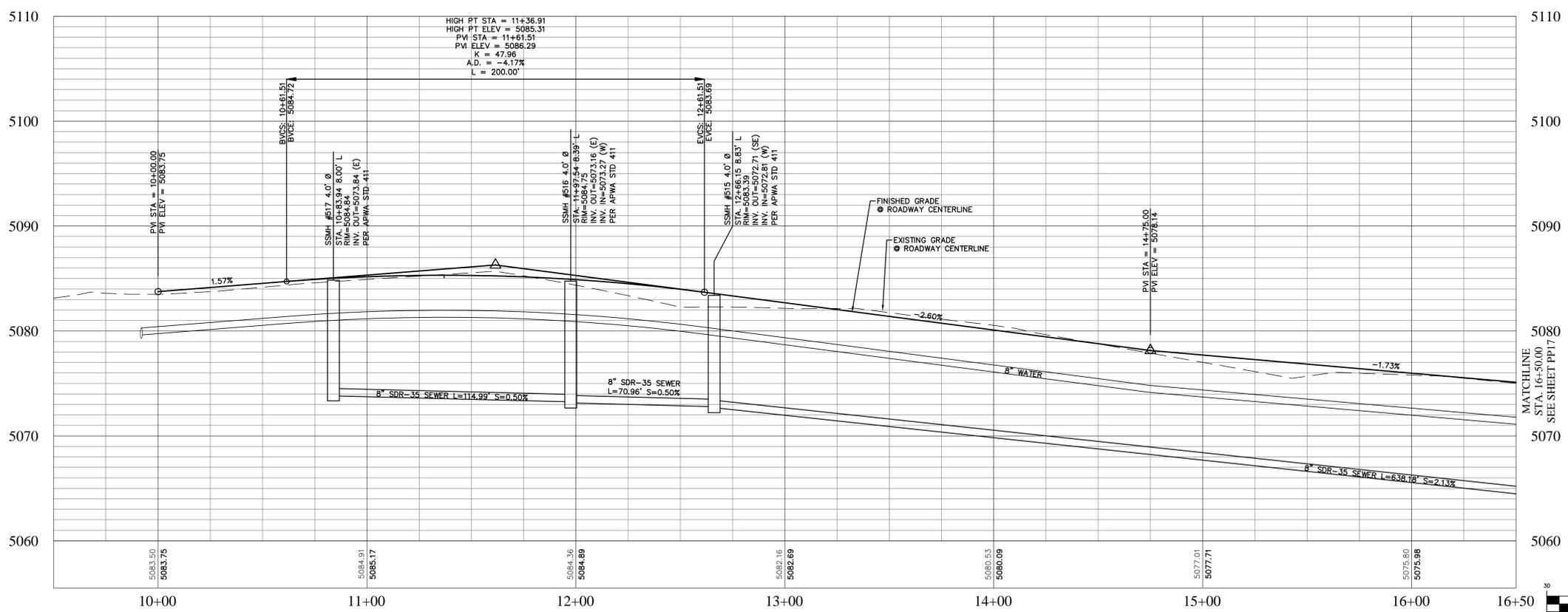
SANDHILL LANE PLAN



LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	15" STORM DRAIN
---	8" SANITARY SEWER
---	8" W
---	8" CULINARY WATER
---	8" SW
---	8" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SIGN
---	STREET LIGHT
---	SD MH, INLET, AND COMBO
---	SEWER MANHOLE
---	VALVE, TEE & BEND
---	WATER BLOW-OFF
---	FIRE HYDRANT
---	STREET MONUMENT
---	ADA RAMP
---	EXIST. SD INLET & MH
---	EXIST. SEWER MH
---	EXIST. VALVE, TEE, & BEND
---	EXIST. FIRE HYDRANT
---	SPOT ELEVATION

- NOTES:**
1. ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 2. ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 3. ALL CULINARY WATER VALVES SHALL BE FLANGED.
 4. IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 5. IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4.
 6. IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 7. IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 8. STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR



SANDHILL LANE PROFILE

GRAPHIC SCALE
1 inch = 30 ft.

CALL BEFORE YOU DIG
BLUE STAKES 1-800-485-5111

REVISION BLOCK

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

Scale: 1"=30'
Date: 03/20/2014
Sheet: PP16

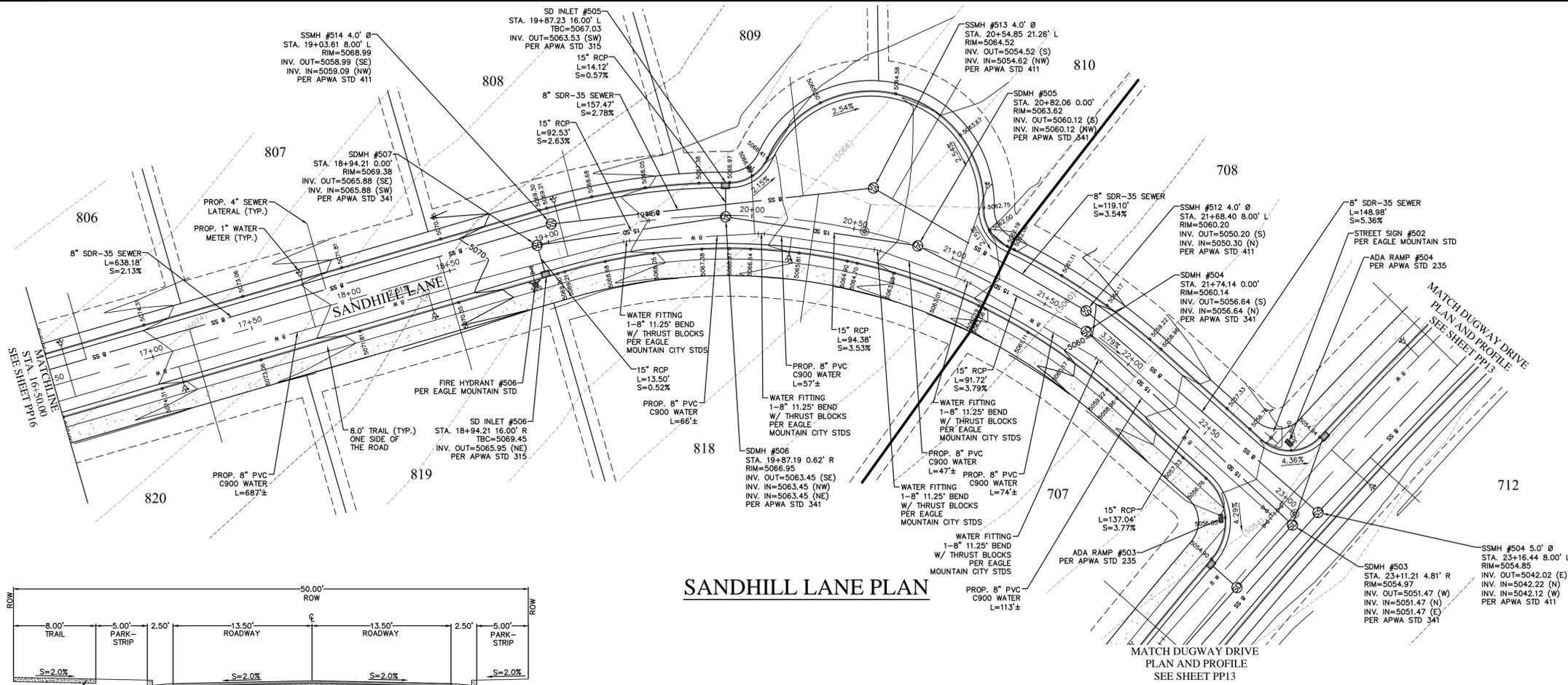
FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com

PROFESSIONAL ENGINEER
No. 8028950-2202
THOMAS M. ROMNEY
STATE OF UTAH

VALLEY VIEW RANCH
EAGLE MOUNTAIN
Sandhill Lane Plan and Profile

SANDHILL LANE PLAN AND PROFILE

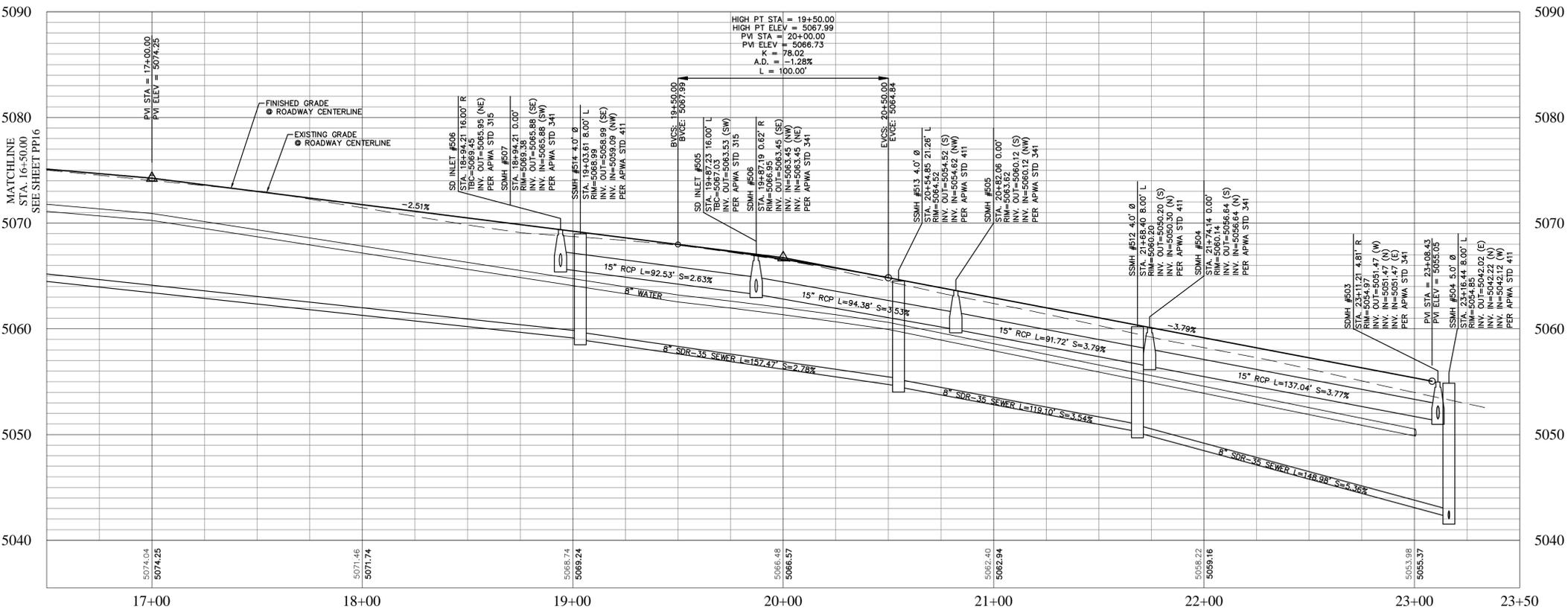
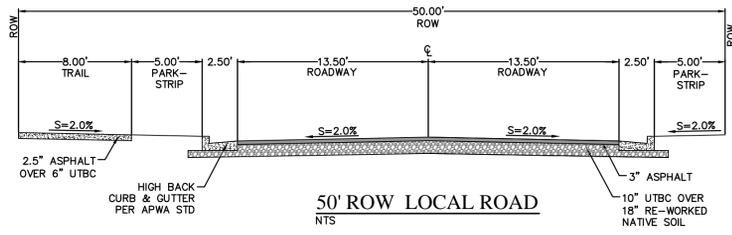
Scale: 1"=30'
Date: 03/20/2014
Job #: 13-209
Sheet: PP16



LEGEND

--- (dashed)	BOUNDARY
--- (dotted)	ROW
--- (dash-dot)	CENTERLINE
--- (long-dash)	LOT LINE
--- (short-dash)	EASEMENT
--- (dash-dot-dot)	15" STORM DRAIN
--- (long-dash-dot)	8" SANITARY SEWER
--- (short-dash-dot)	8" CULINARY WATER
--- (dash-dot-dot-dot)	8" SECONDARY WATER
--- (long-dash-dot-dot)	CONTOUR MAJOR
--- (short-dash-dot-dot)	CONTOUR MINOR
--- (dash-dot-dot-dot-dot)	EXIST. STORM DRAIN
--- (long-dash-dot-dot-dot)	EXIST. SANITARY SEWER
--- (short-dash-dot-dot-dot)	EXIST. CULINARY WATER
--- (dash-dot-dot-dot-dot-dot)	EXIST. FENCE
--- (long-dash-dot-dot-dot-dot)	EXIST. CONTOUR MAJOR
--- (short-dash-dot-dot-dot-dot)	EXIST. CONTOUR MINOR
--- (dash-dot-dot-dot-dot-dot-dot)	SIGN
--- (long-dash-dot-dot-dot-dot-dot)	STREET LIGHT
--- (short-dash-dot-dot-dot-dot-dot)	SD MH, INLET, AND COMBO
--- (dash-dot-dot-dot-dot-dot-dot)	SEWER MANHOLE
--- (long-dash-dot-dot-dot-dot-dot-dot)	VALVE, TEE & BEND
--- (short-dash-dot-dot-dot-dot-dot-dot)	WATER BLOW-OFF
--- (dash-dot-dot-dot-dot-dot-dot-dot)	FIRE HYDRANT
--- (long-dash-dot-dot-dot-dot-dot-dot-dot)	STREET MONUMENT
--- (short-dash-dot-dot-dot-dot-dot-dot-dot)	ADA RAMP
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot)	EXIST. SD INLET & MH
--- (long-dash-dot-dot-dot-dot-dot-dot-dot-dot)	EXIST. SEWER MH
--- (short-dash-dot-dot-dot-dot-dot-dot-dot-dot)	EXIST. VALVE, TEE, & BEND
--- (dash-dot-dot-dot-dot-dot-dot-dot-dot-dot)	EXIST. FIRE HYDRANT
--- (long-dash-dot-dot-dot-dot-dot-dot-dot-dot-dot)	SPOT ELEVATION

- NOTES:**
- ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 - ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 - ALL CULINARY WATER VALVES SHALL BE FLANGED.
 - IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 - IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 - IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 - IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 - STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR



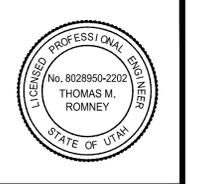
GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

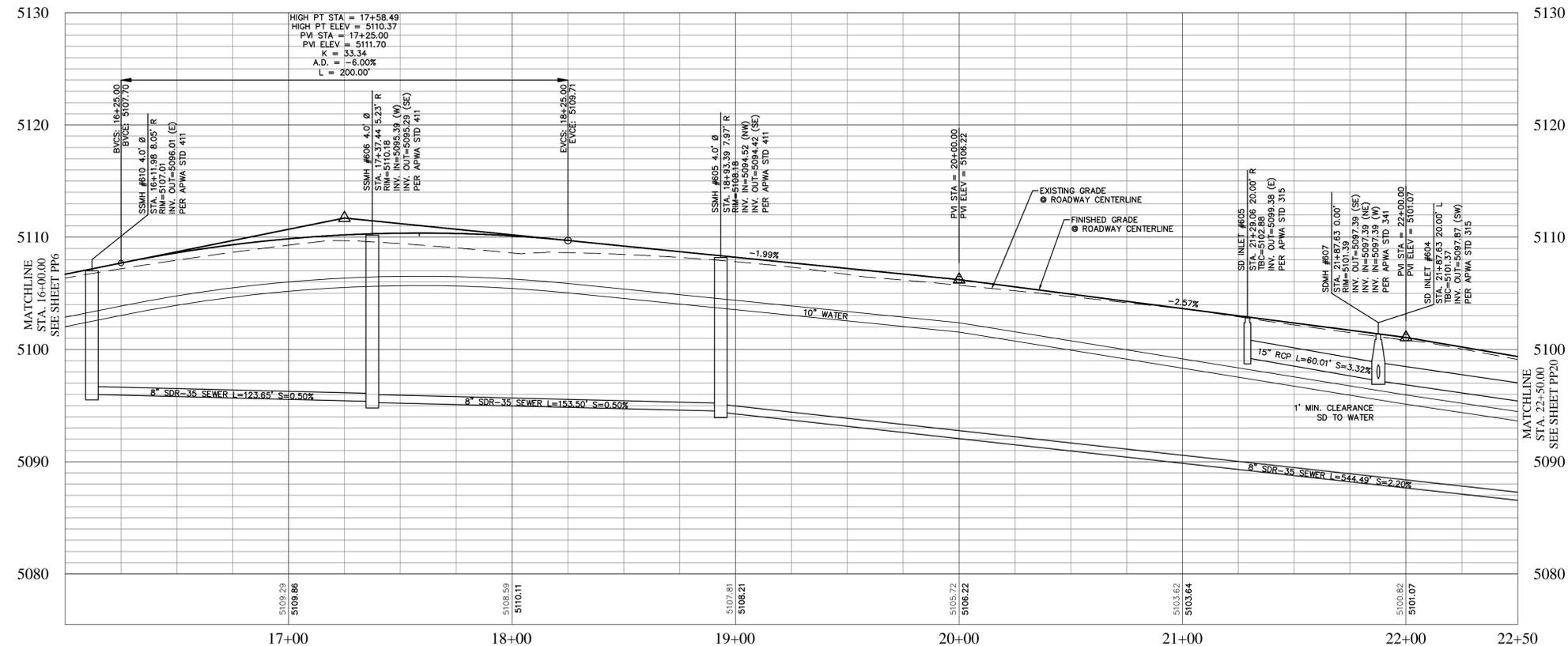
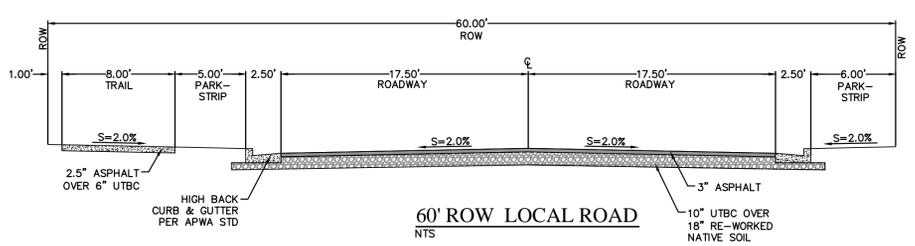
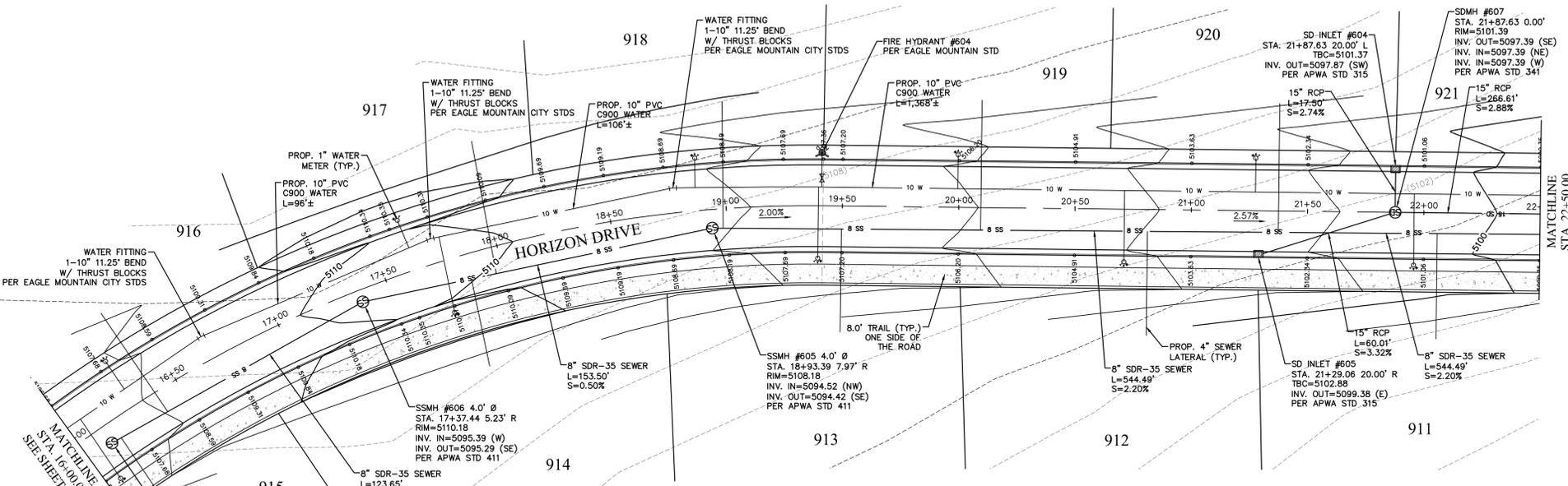
CALL BEFORE YOU DIG
BLUE STAKES 1-800-485-6171

REVISION BLOCK

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		



VALLEY VIEW RANCH
EAGLE MOUNTAIN
Sandhill Lane Plan and Profile



LEGEND

--- (dashed)	BOUNDARY
--- (solid)	ROW
--- (dotted)	CENTERLINE
--- (dash-dot)	LOT LINE
--- (long-dash)	EASEMENT
--- (short-dash)	15" STORM DRAIN
--- (dash-dot-dot)	8" SANITARY SEWER
--- (dotted)	8" CULINARY WATER
--- (dash-dot-dot-dot)	8" SECONDARY WATER
--- (solid)	CONTOUR MAJOR
--- (dotted)	CONTOUR MINOR
--- (dash-dot)	EXIST. STORM DRAIN
--- (dash-dot-dot)	EXIST. SANITARY SEWER
--- (dash-dot-dot-dot)	EXIST. CULINARY WATER
--- (solid)	EXIST. FENCE
--- (dotted)	EXIST. CONTOUR MAJOR
--- (dash-dot)	EXIST. CONTOUR MINOR
--- (dash-dot-dot)	SIGN
--- (dash-dot-dot-dot)	STREET LIGHT
--- (solid)	SD MH, INLET, AND COMBO
--- (dotted)	SEWER MANHOLE
--- (dash-dot)	VALVE, TEE & BEND
--- (dash-dot-dot)	WATER BLOW-OFF
--- (dash-dot-dot-dot)	FIRE HYDRANT
--- (solid)	STREET MONUMENT
--- (dotted)	ADA RAMP
--- (dash-dot)	EXIST. SD INLET & MH
--- (dash-dot-dot)	EXIST. SEWER MH
--- (dash-dot-dot-dot)	EXIST. VALVE, TEE, & BEND
--- (solid)	EXIST. FIRE HYDRANT
--- (dotted)	SPOT ELEVATION

- NOTES:**
- ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 - ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 - ALL CULINARY WATER VALVES SHALL BE FLANGED.
 - IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 - IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 - IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 - IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 - STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR.

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

CALL IT BEFORE YOU DIG
BLUE STAKES 1-800-485-4871

REVISION BLOCK

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focus Utah.com

PROFESSIONAL ENGINEER
No. 8028950-2202
THOMAS M. ROMNEY
STATE OF UTAH

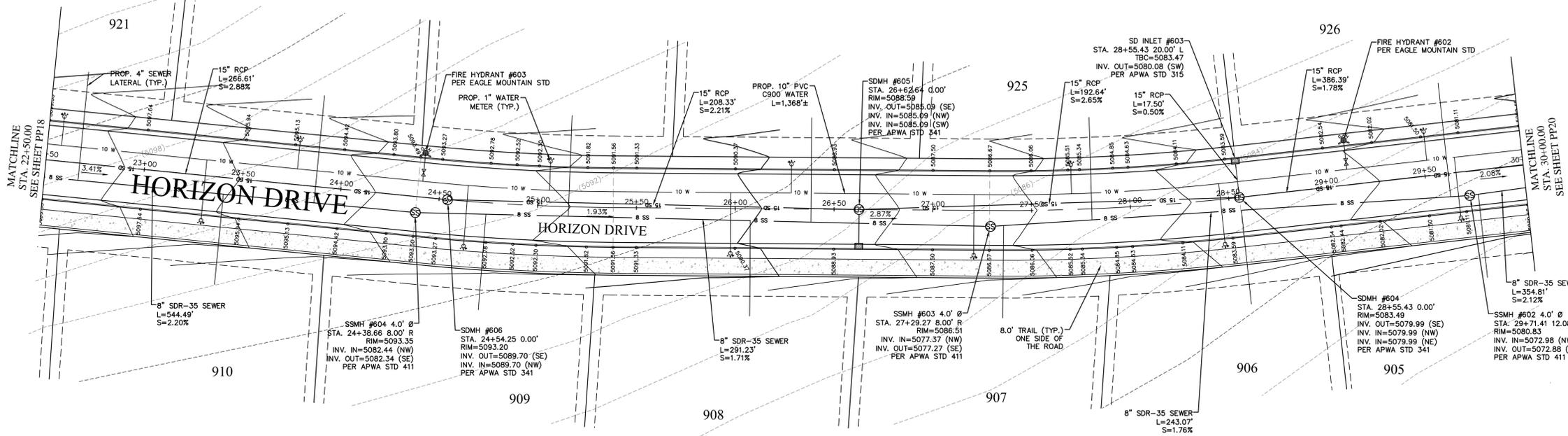
VALLEY VIEW RANCH
EAGLE MOUNTAIN
Horizon Drive Plan and Profile

HORIZON DRIVE PLAN AND PROFILE

Scale: 1"=30'
Date: 03/20/2014
Job #: 13-209
Sheet: PP18

HORIZON DRIVE PLAN AND PROFILE

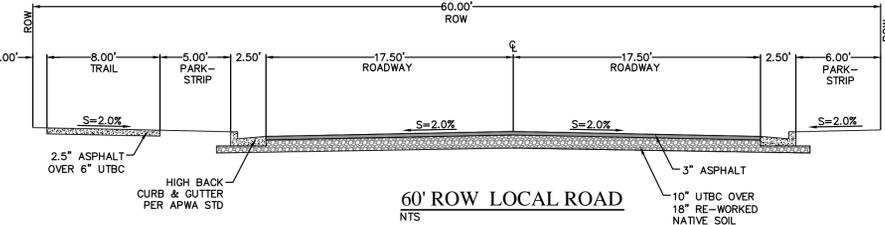
Scale: 1"=30'
Date: 03/20/2014
Job #: 13-209
Sheet: PP18



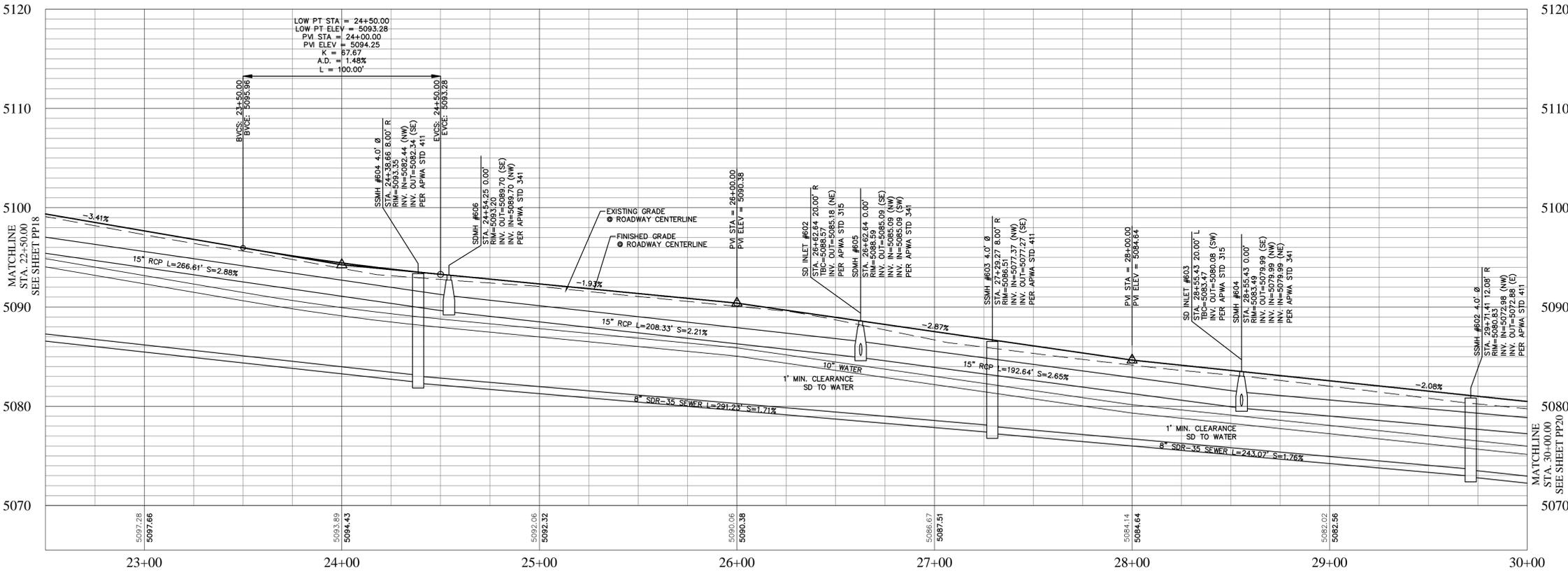
LEGEND

[Symbol]	BOUNDARY
[Symbol]	ROW
[Symbol]	CENTERLINE
[Symbol]	LOT LINE
[Symbol]	EASEMENT
[Symbol]	15" STORM DRAIN
[Symbol]	8" SANITARY SEWER
[Symbol]	8" W
[Symbol]	8" CULINARY WATER
[Symbol]	8" SECONDARY WATER
[Symbol]	CONTOUR MAJOR
[Symbol]	CONTOUR MINOR
[Symbol]	EXIST. STORM DRAIN
[Symbol]	EXIST. SANITARY SEWER
[Symbol]	EXIST. CULINARY WATER
[Symbol]	EXIST. FENCE
[Symbol]	EXIST. CONTOUR MAJOR
[Symbol]	EXIST. CONTOUR MINOR
[Symbol]	SIGN
[Symbol]	STREET LIGHT
[Symbol]	SD MH, INLET, AND COMBO
[Symbol]	SEWER MANHOLE
[Symbol]	VALVE, TEE & BEND
[Symbol]	WATER BLOW-OFF
[Symbol]	FIRE HYDRANT
[Symbol]	STREET MONUMENT
[Symbol]	ADA RAMP
[Symbol]	EXIST. SD INLET & MH
[Symbol]	EXIST. SEWER MH
[Symbol]	EXIST. VALVE, TEE, & BEND
[Symbol]	EXIST. FIRE HYDRANT
[Symbol]	SPOT ELEVATION

- NOTES:**
1. ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 2. ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 3. ALL CULINARY WATER VALVES SHALL BE FLANGED.
 4. IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 5. IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 6. IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 7. IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 8. STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR



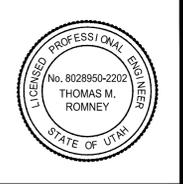
HORIZON DRIVE PLAN



HORIZON DRIVE PROFILE

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.



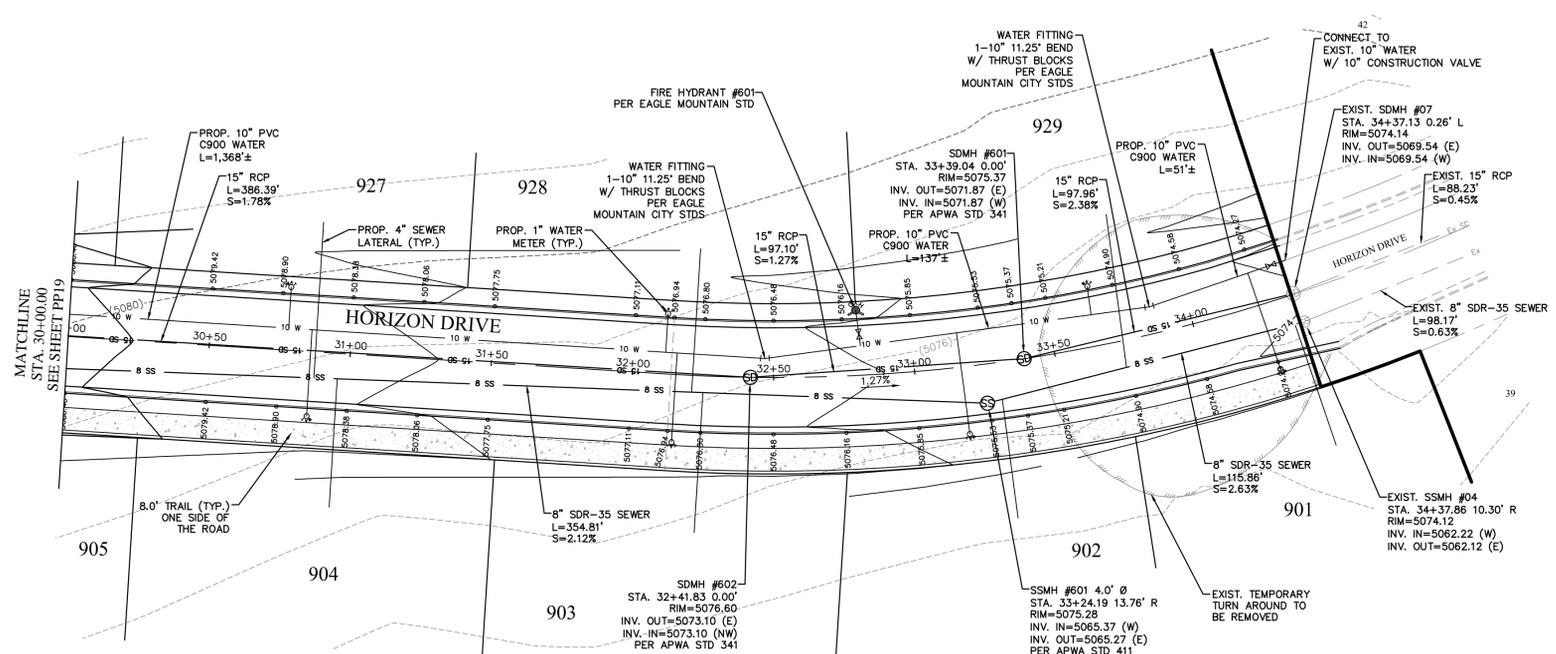
VALLEY VIEW RANCH
EAGLE MOUNTAIN
Horizon Drive Plan and Profile

REVISION BLOCK

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

HORIZON DRIVE PLAN AND PROFILE

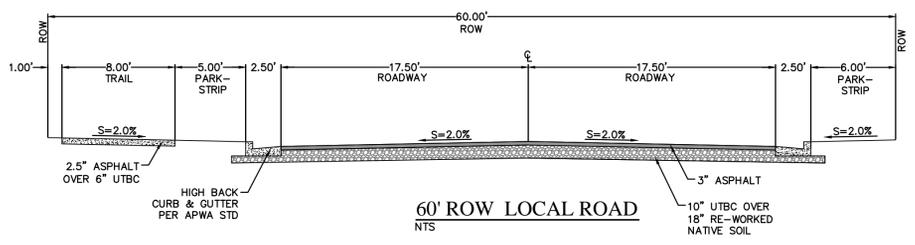
Z:\2013\13-209 Edge Homes Valley View Ranch-Eagle Mountain\Drawings\PP19 - Horizon Drive.dwg



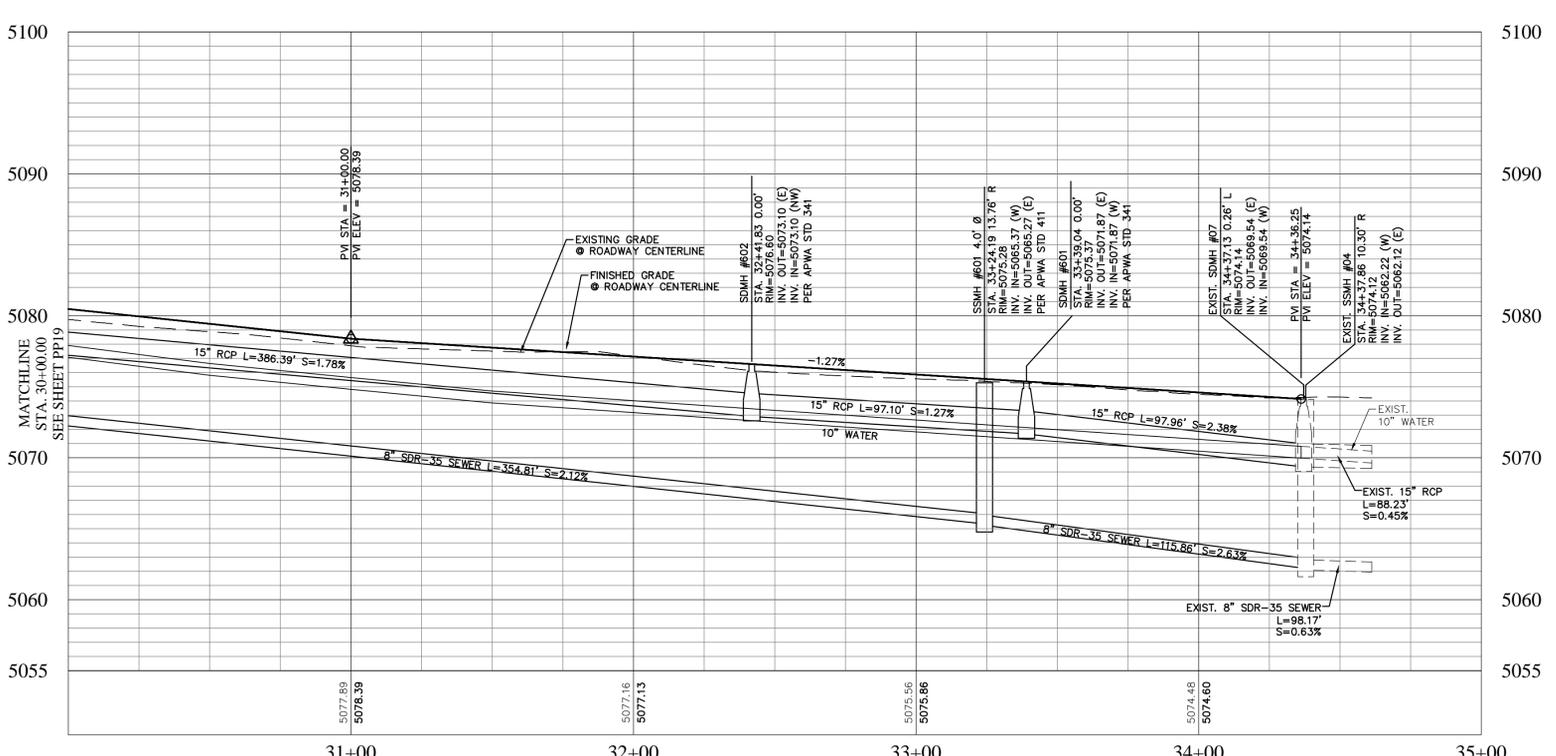
LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	15" SD
---	8" SS
---	8" W
---	8" SW
---	8" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
---	SIGN
---	STREET LIGHT
---	SD MH, INLET, AND COMBO
---	SEWER MANHOLE
---	VALVE, TEE & BEND
---	WATER BLOW-OFF
---	FIRE HYDRANT
---	STREET MONUMENT
---	ADA RAMP
---	EXIST. SD INLET & MH
---	EXIST. SEWER MH
---	EXIST. VALVE, TEE, & BEND
---	EXIST. FIRE HYDRANT
---	SPOT ELEVATION

- NOTES:**
- ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 - ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 - ALL CULINARY WATER VALVES SHALL BE FLANGED.
 - IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 - IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 4, 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 - IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 - IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 - STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR



HORIZON DRIVE PLAN



HORIZON DRIVE PROFILE

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

REVISION BLOCK

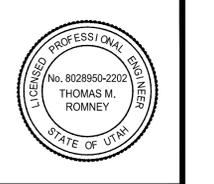
#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

HORIZON DRIVE PLAN AND PROFILE

Scale: 1"=30'
Date: 03/20/2014
Sheet: PP20

Drawn: TMR
Job #: 13-209

FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focus Utah.com



VALLEY VIEW RANCH
EAGLE MOUNTAIN
Horizon Drive Plan and Profile

HORIZON DRIVE PLAN AND PROFILE

Scale: 1"=30'
Date: 03/20/2014
Sheet: PP20

Drawn: TMR
Job #: 13-209

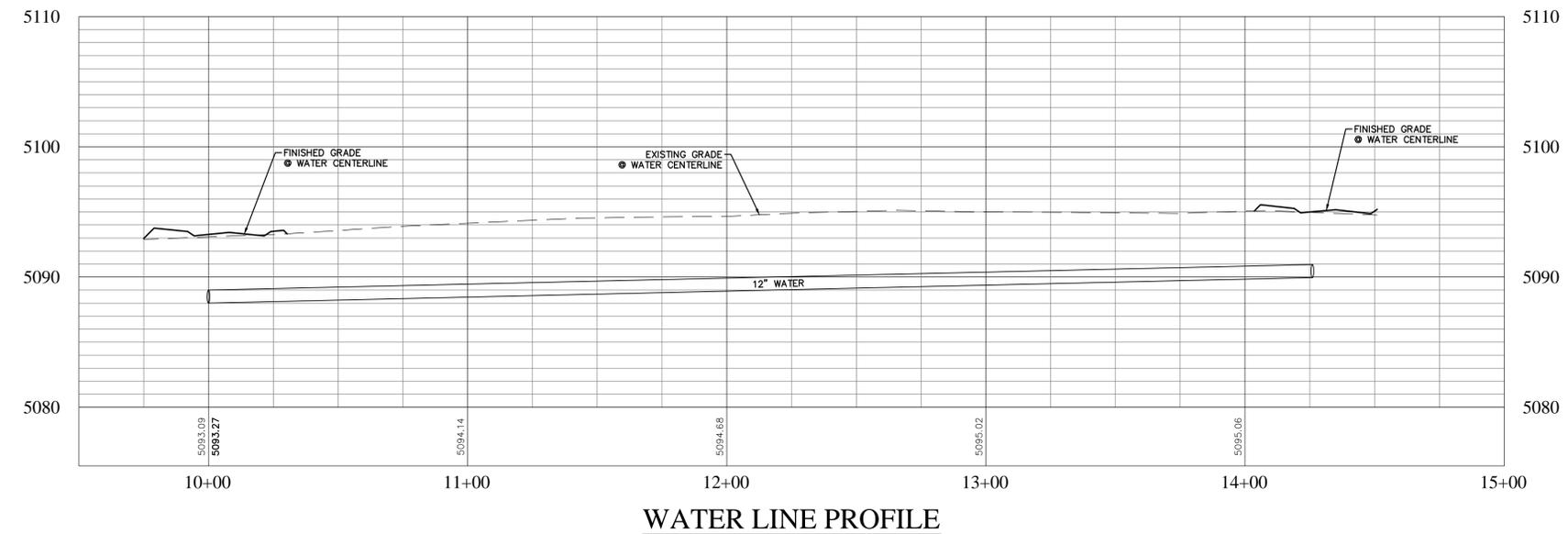
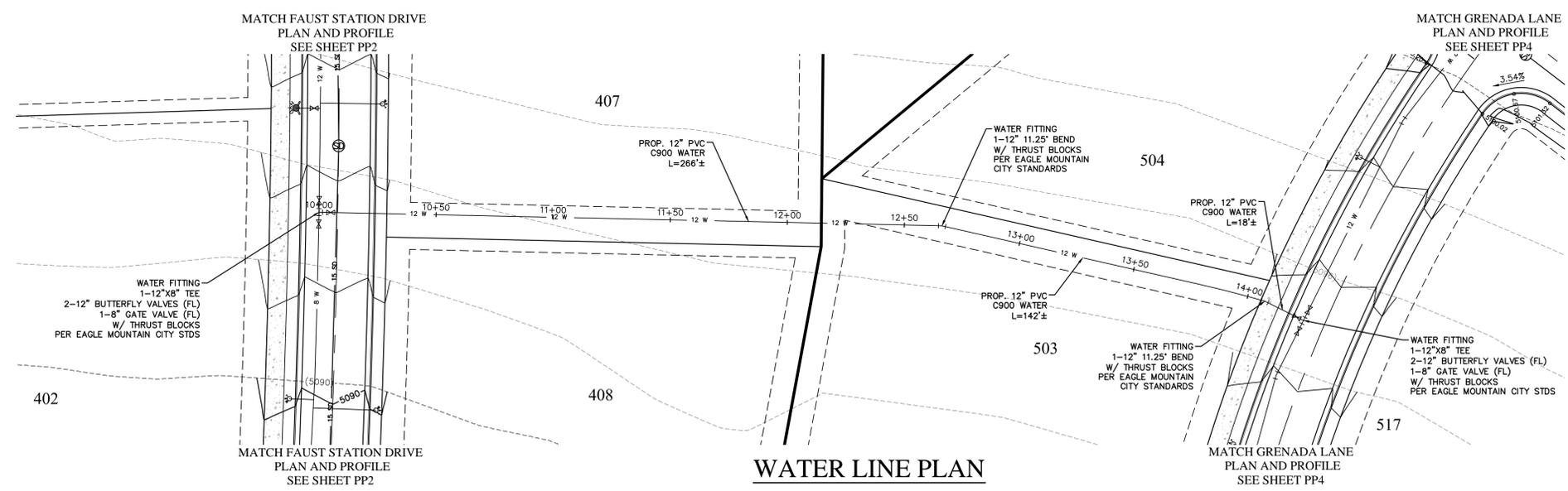
2...2013\13-209 Edge Homes Valley View Ranch-Eagle Mountain\Drawings\13-209\Drawings\PP20-Horizon Drive.dwg

VALLEY VIEW RANCH
EAGLE MOUNTAIN
Water Line Plan and Profile

LEGEND

--- (thick)	BOUNDARY
--- (medium)	ROW
--- (thin)	CENTERLINE
---	LOT LINE
---	EASEMENT
15 SD	15" STORM DRAIN
8 SS	8" SANITARY SEWER
8 W	8" CULINARY WATER
8 SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex SD	EXIST. STORM DRAIN
Ex SS	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
Ex SW	EXIST. SECONDARY WATER
X	EXIST. FENCE
(XXXX)	EXIST. CONTOUR MAJOR
(XXXX)	EXIST. CONTOUR MINOR
+	SIGN
⊙	STREET LIGHT
⊙	SD MH, INLET, AND COMBO
⊙	SEWER MANHOLE
⊙	VALVE, TEE & BEND
⊙	WATER BLOW-OFF
⊙	FIRE HYDRANT
⊙	STREET MONUMENT
⊙	ADA RAMP
⊙	EXIST. SD INLET & MH
⊙	EXIST. SEWER MH
⊙	EXIST. VALVE, TEE, & BEND
⊙	EXIST. FIRE HYDRANT
○ XXXX.XX	SPOT ELEVATION

- NOTES:**
- ALL SEWER IN PHASE 4 WILL BE HANDLED W/ SEPTIC SYSTEMS ON INDIVIDUAL LOTS IN PHASE 4. ALL SEPTIC SYSTEMS TO BE DESIGNED WITH THE BUILDING PERMIT FOR EACH INDIVIDUAL LOT PER EAGLE MOUNTAIN CITY STANDARDS. ALL SEPTIC SYSTEMS MUST BE APPROVED BY THE UTAH COUNTY BOARD OF HEALTH.
 - ALL SEWER IN PHASE 5 AND PHASE 6 WILL BE HANDLED WITH PROPOSED SEWER PIPING THAT WILL CONNECT ONTO THE EXIST. SEWER SYSTEM CONSTRUCTED WITH PREVIOUS DEVELOPMENTS TO THE EAST.
 - ALL CULINARY WATER VALVES SHALL BE FLANGED.
 - IMPROVEMENTS SHOWN ON SHEETS PP1-PP5, PP7, PP8, AND PP10 WILL BE CONSTRUCTED WITH PHASE 4.
 - IMPROVEMENTS SHOWN ON SHEETS PP6, PP9, PP11, PP12, PP16 AND PP18 WILL BE CONSTRUCTED WITH PHASE 5 OR 6 AS SHOWN ON THE PLANS BASED ON THE PHASING BOUNDARIES.
 - IMPROVEMENTS SHOWN ON SHEETS PP13-PP15 AND PP17 WILL BE CONSTRUCTED WITH PHASE 5.
 - IMPROVEMENTS SHOWN ON SHEETS PP19-PP22 WILL BE CONSTRUCTED WITH PHASE 6.
 - STORM DRAIN SYSTEM SIZED TO CONVEY THE 10-YEAR 24-HOUR STORM THE DETERMINED RUNOFF COEFFICIENT FOR THE SITE IS 0.27 AND THE DESIGN RAINFALL INTENSITY IS 1.31 IN/HR



GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

30 0 15 30 45 60 75 90 120

REVISION BLOCK

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

WATER LINE PLAN AND PROFILE

Scale: 1"=30' Drawn: TMR
Date: 03/20/2014 Job #: 13-209
Sheet: PP21





EAGLE MOUNTAIN CITY
City Council Staff Report

APRIL 1, 2014

Project: Seminary Site Plan
Applicant: Lafe Harris BHD Architects/LDS Church
Request: Site Plan Approval
Type of Action: Action Item; Consent Agenda
Planning Commission: Recommended Approval (4-0)

Planning Commission Action

The Planning Commission recommends approval of this proposed site plan.

Preface

This application is for a proposed LDS seminary building located west and adjacent to the Frontier Middle School. The original Mid-Valley Road Phase 1 Final plat was approved on January 24, 2012. The existing Frontier Middle School was built on this one lot subdivision. On March 4, 2014 the City approved the Mid-Valley road Phase 1 amended plat. The amended plat includes the new seminary site. The seminary site is on .54 ac. The main building is 3,598.00 sq ft.



SITE PLAN

Elevations

Building elevations and renderings have been submitted for the LDS Seminary building. Staff has no concerns with these elevations. Staff recommends that the brick for the seminary building is similar to the existing middle school.

Parking

There are a total of nine parking stalls located on the seminary site which includes 1 required ADA stall. Directly to the east of the seminary site is a parking area for the middle school. Parking stalls need to be 9' by 20'

Lighting

The lighting for the seminary building will be required to be shielded and directed downward to prevent the light from being visible to surrounding properties.

Landscaping

The applicants have designed the site according to City standards. Staff approves of the submitted landscape plan for the site.

Utilities

All of the required utilities for the site plan are located on the site the applicant will need to hook up to the existing stubs.

Motion Options

The City Council may choose to take any of the following actions:

- (1) Approve the project as recommended by the Planning Commission;
- (2) Deny the project based upon specific findings of fact (valid reasons);
- (3) Table the project with valid reasons;
- (4) Approve the project with conditions of approval.

Attachments

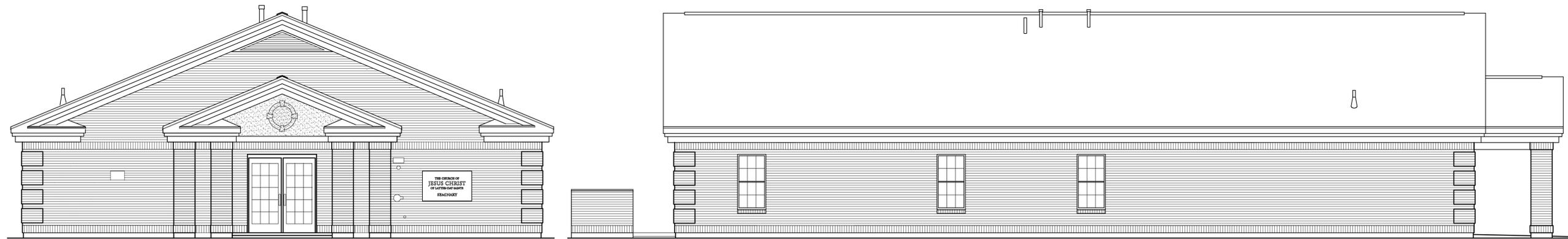
Overall Site Plan

Landscape Plans

Building Elevations & Renderings

A NEW 2 ROOM SEMINARY FOR EAGLE MOUNTAIN UT JR SEMINARY

APPROX. 1400 EAST MID VALLEY ROAD
EAGLE MOUNTAIN, UTAH



PROJECT TEAM

Architect
Lafe Harris lafe@bhdarchitects.com
BHD Architects
 65 East Wadsworth Park Drive, Suite 205 Phone - 801.571.0010
 Draper, Utah 84020 Mobile - 801.367.0609

Church Project Manager
Joe Christensen christensenjd@ldschurch.org
Utah American Fork PM Office
 PO Box 268 Phone - 801.763.4520
 American Fork, Utah 84003 Mobile - 801.842.5356

Church Facilities Manager
Travis Gividen GividenTV@ldschurch.org
Saratoga Springs UT FM Office
 PO Box 677 Phone - 801.766.0231
 Lehi, Utah 84043 Mobile - 801.885.7820

Soils Engineer
Rick Chesnut rlchesnut@terracon.com
Terracon
 12217 South Lone Peak Parkway, Suite 100 Phone - 801.545.8500
 Draper, Utah 84020 Mobile - 801.879.3099

Surveyor
Travis Jensen tjensen@epiceng.net
Epic Engineering
 324 South State Street, Suite 400 Phone - 801.955.5605
 Salt Lake City, Utah 84111 Mobile - 801.509.8660

Civil Engineer
Rocky Malin rmalin@epiceng.net
Epic Engineering
 50 East 100 South Phone - 435.654.6600
 Heber, Utah 84032 Mobile - 435.801.9331

Landscape Architect
Greg Wolfley greg@earthwisedesign.com
Earthwise Design
 PO Box 249 Phone - 801.619.4040
 Riverton, Utah 84065 Mobile - 801.631.7554

Structural Engineer
J. Karl Jacobson karl@ckrengineers.com
CKR Engineers
 1295 North State Street Phone - 801.984.1301
 Orem, Utah 84057 Mobile - 801.362.0196

Mechanical Engineer
John Alexander jalexander@vbfa.com
Van Boerum & Frank Associates
 330 South 300 East, Suite 200 Phone - 801.530.3148
 Salt Lake City, Utah 84111 Mobile - 801.201.2590

Electrical Engineer
David Hincley dgh@spectrum-engineers.com
Spectrum Engineers
 324 South State Street, Suite 400 Phone - 801.401.8435
 Salt Lake City, Utah 84111 Mobile - 801.201.8369

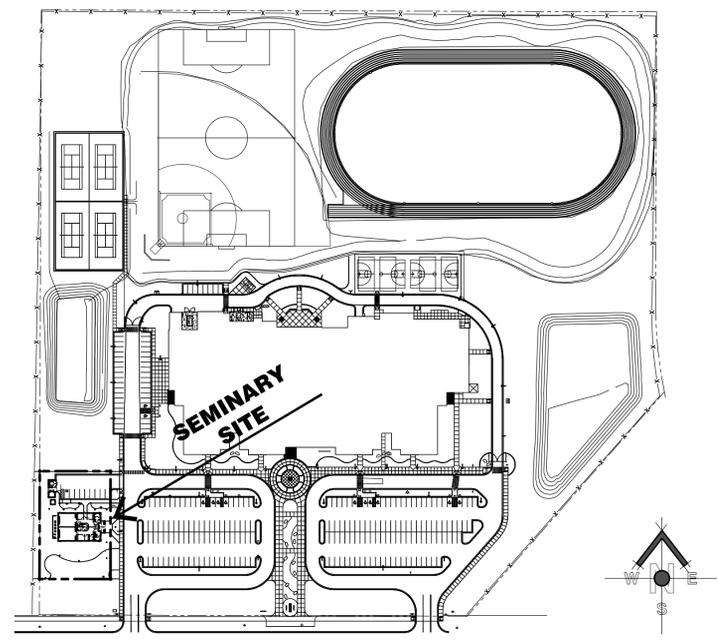
Fire Protection Consultant
Robert Fazzio rdfeng@comcast.net
RDF Engineering & Design, Inc.
 3668 South Eastwood Drive Phone - 801.277.4933
 Salt Lake City, Utah 84109 Mobile - 801.556.3343

Sound Consultant
Aaron Abbott awa@spectrum-engineers.com
Spectrum Engineers
 324 South State Street, Suite 400 Phone - 801.401.8435
 Salt Lake City, Utah 84111 Mobile - 801.678.6383

VICINITY SITE MAP



SCHOOL SITE MAP



DRAWING INDEX

Sheet #	Sheet Name	Sheet #	Sheet Name	Sheet #	Sheet Name	Sheet #	Sheet Name	Sheet #	Sheet Name
GENERAL		ARCHITECTURAL							
G1.1	COVER & INDEX SHEET	A2.1	EXTERIOR ELEVATIONS						
SITE DEVELOPMENT									
C101	SITE SURVEY	C111	SITE ARCHITECTURAL PLAN						
C121	GRADING AND DRAINAGE PLAN	C151	UTILITY PLAN						
C171	SWPPP / SITE EROSION CONTROL PLAN	C501	SITE DETAILS						
C502	SITE DETAILS	C801	OUTSIDE STORAGE BUILDING						
LANDSCAPE									
L101	LANDSCAPE PLAN	L121	IRRIGATION PLAN						
ELECTRICAL									
E111	ELECTRICAL SITE PLAN								

#	DATE	DESCRIPTION	FILE REVIEW
1	30 Jan 2014	Final Review	



bhd ARCHITECTS
 65 E Wadsworth Park Dr, Ste 205 Phone: 801.571.0010
 Draper, Utah 84020 Fax: 801.571.0003
 bhdarchitects.com Toll Free: 888.571.0010

PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

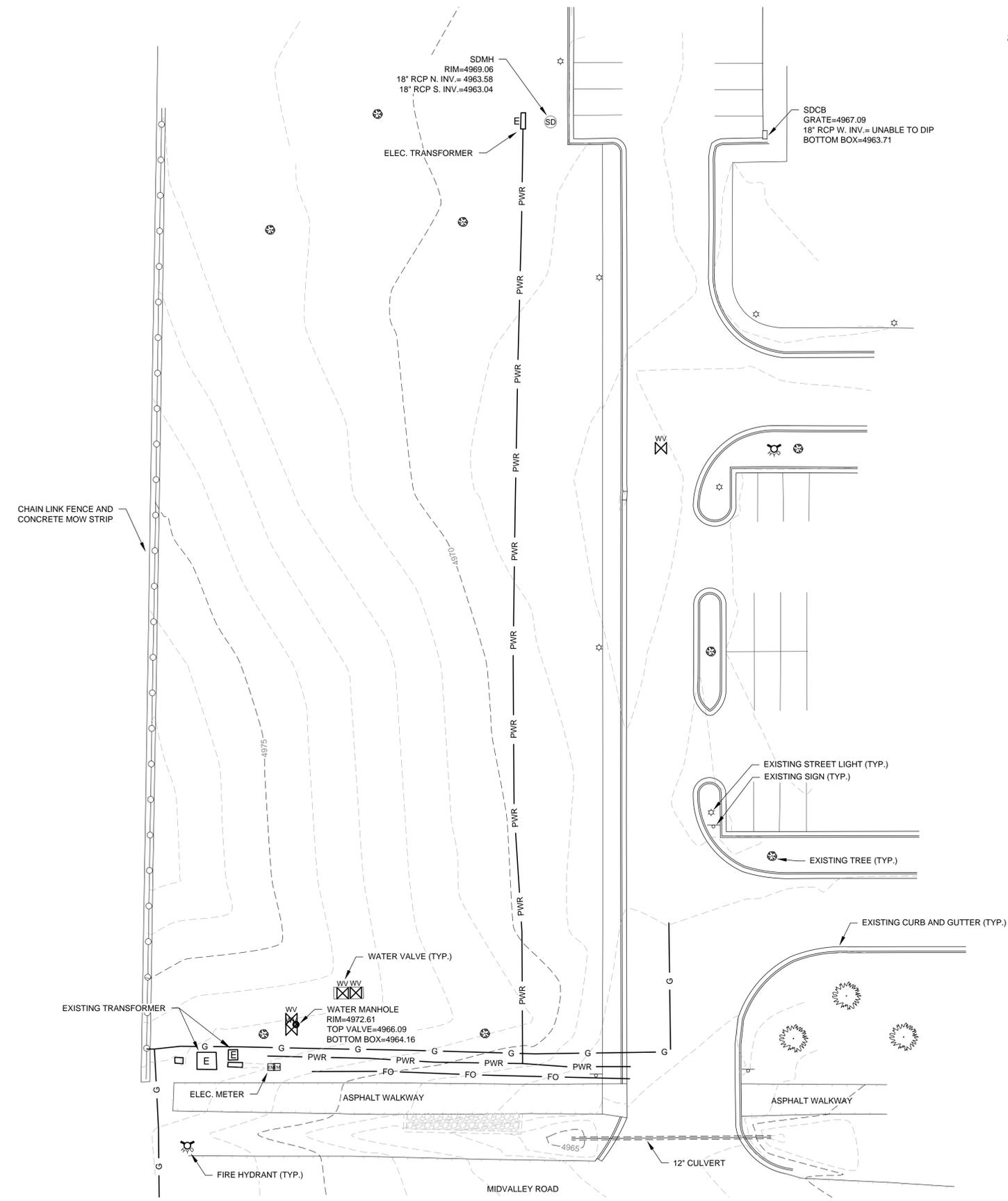
PROJECT NAME:
Eagle Mountain UT Jr Seminary
 Approx. 1400 East Mid Valley Road
 Eagle Mountain, Utah
 BHA PROJECT #: SEM07-02-7
 1223
 PROPERTY #: 500-8512

SHEET TITLE:
COVER & INDEX SHEET

SHEET:
G1.1

EAGLE MOUNTAIN JR. HIGH TOPOGRAPHIC SURVEY

LOCATED IN:
SW1/4 SECTION 36, TOWNSHIP 5 SOUTH, RANGE 2 WEST, S.L.B. & M.,
EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH



#	DATE	DESCRIPTION
1	30 Jan 2014	Plan Review



STAMP:



PROJECT FOR:
**THE CHURCH OF
 JESUS CHRIST
 OF LATTER-DAY SAINTS**

PROJECT NAME:
Eagle Mountain UT Jr Seminary
 Approx. 1400 East Mid Valley Road
 Eagle Mountain, Utah
 BHA/PROJECT #: 1223
 PLAN SERIES: CUSTOM
 PROPERTY #: 500-8512

SHEET TITLE:
SITE SURVEY

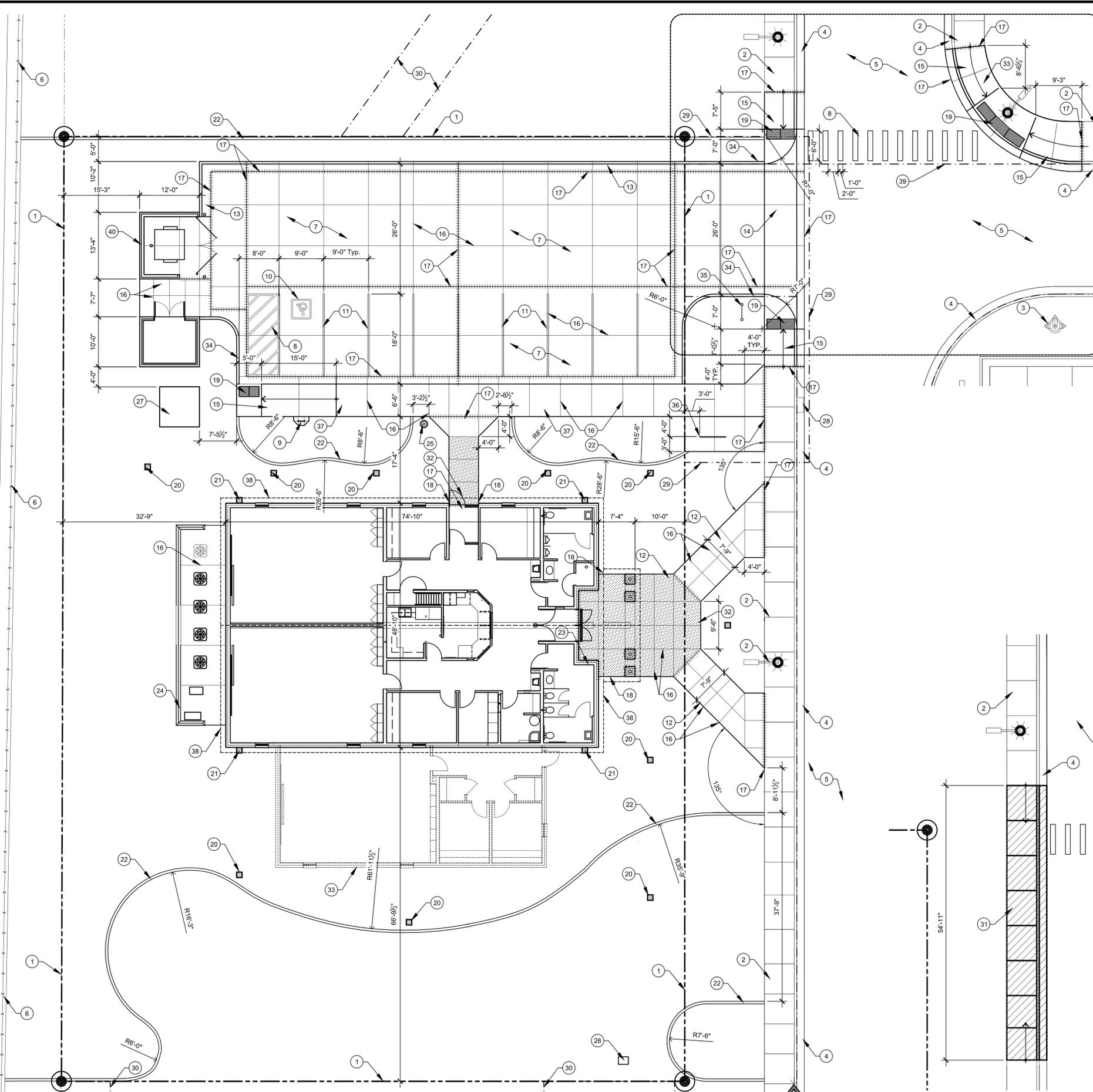
DATE:
 17 Dec 2013

SHEET:
C101

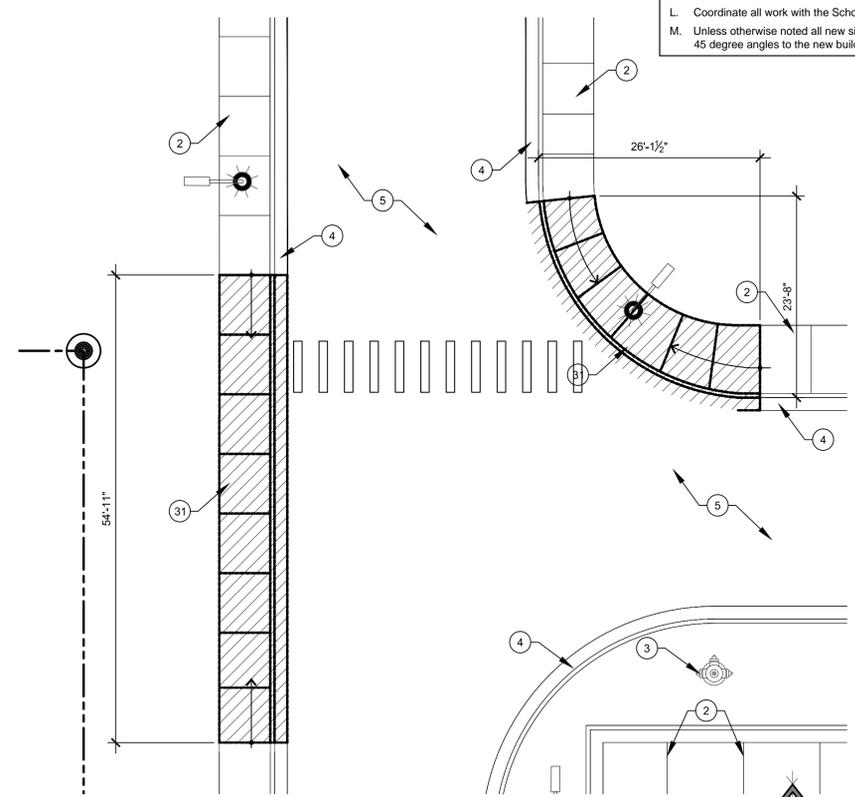
Site Data		
Seminary Site Areas		
Main Building	3,598.00 sf	15.24%
Concrete	6,345.75 sf	26.89%
Storage	120.00 sf	0.51%
Landscaping	13,659.25 sf	57.87%
Total Site	23,603 sf	0.54 Acres
Seminary Parking		
Total Parking stalls	9	
(Includes 1 ADA Stall)		

- ### Keyed Notes
- Property line.
 - Existing to remain.
 - Existing fire hydrant to remain.
 - Existing concrete curb and gutter to remain.
 - Existing paving to remain.
 - Existing fence and concrete mowstrip to remain.
 - Concrete paving - typical. See Site Details and Grading Plan.
 - Accessible access aisle. 4" wide stripes at 45° angles 2'-0" O.C.
 - Accessible parking sign. See A/C502.
 - Blue and white painted accessible parking symbol - typical.
 - 4" wide painted parking lines. White lines. Typical.
 - Concrete sidewalk. See F/C501.
 - Concrete curb and gutter - typical. See Site Details and infall / outfall notation on the Grading and Drainage Plan.
 - Concrete drive approach.
 - Sloped portion of sidewalk. See Grading Plan.
 - Concrete control joints - typical. Locate as shown on plans - typical. See J&K/ C501.
 - Concrete expansion joints where shown and at all on-site gutter joints with paving - typical. See J&K/C501.
 - Align edge of sidewalk with edge of foundation.
 - Truncated dome detectable warning surface.
 - Catch basin. See Drainage Plan.
 - Roof drain basin. See Grading and Drainage Plan.
 - Concrete landscape curbing. See Landscape Sheets & H/C501.
 - Fire department key box location, recessed in brick.
 - Masonry mechanical enclosure. See F/C502 and Structural Sheets.
 - Pole light. See C/C502 and Electrical Sheets.
 - Irrigation water point of connection. See Site Utility and Irrigation Plans.
 - Transformer and pad per power company requirements.
 - Existing catch basin. See Drainage Plan.
 - Storm Drain Easement.
 - Utility Easement.
 - Remove existing concrete sidewalk, curb, and gutter as shown.
 - Hatch area indicates area of 18" deep aggregate base. See E/C501.
 - Area of future addition.
 - Transition height of curb from full height to even top of adjacent sidewalk & gutter in 5'-0" see G/C501.
 - "Seminary Parking Only" sign provided by owner and installed by contractor.
 - Bike Rack. See G/C502.
 - Integral curb, gutter, and sidewalk. See A/C501.
 - Roof overhang.
 - Access Easement.
 - Dumpster enclosure. See E/C502.

- ### General Notes
- The contractor shall verify all existing site conditions prior to bidding.
 - All noted items are new unless noted otherwise.
 - Dimensions of buildings and enclosures are to foundation - typical.
 - This and any other demolition drawings are not intended to be all-inclusive, nor to define the scope of all demolition work required for this project. Demolition drawings are shown only to aid the contractor in preparing his bid and performing the work. Contractor shall examine all contract documents and visit the site during bidding as required to determine the total extent and scope of the demolition portion of this work. All items that are not required to remain shall be of the demolition work whether shown specifically or not. Contractor shall be responsible for all demolition work required to carry out the work as shown in the contract documents.
 - The building & parking lot are parallel/perpendicular to the South and East property lines.
 - Coordinate all site work with all other Contract Documents.
 - See Site Details for detail at exterior door landings.
 - For mow strips in landscaped areas / landscape edging, see Landscaping Sheets. And site details.
 - Coordinate all work affecting adjacent properties with respective property owners prior to any demolition or construction work. Repair and replace all existing items on adjacent properties damaged or affected during construction to the satisfaction of the property owner.
 - Contractor shall enclose the entire site with a temporary fence throughout construction - coordinate timing & location with adjacent property owners.
 - For property line dimensions - see Site Survey.
 - Coordinate all work with the School District.
 - Unless otherwise noted all new sidewalks and mow strips are installed parallel to or at 45 degree angles to the new building.



2 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"



1 DEMOLITION ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"

#	DATE	DESCRIPTION
1	30 Jan 2014	Final Review



bb ARCHITECTS
65 E. Wadsworth Park Dr., Ste. 205
Draper, Utah 84020
Phone: 801.571.0010
Fax: 801.571.0003
Toll Free: 888.571.0010
bbarchitects.com

PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:
Eagle Mountain UT Jr Seminary

PROPERTY #:
500-6512

PLAN SERIES:
SEM07-02-7

DATE:
14 Feb 2014

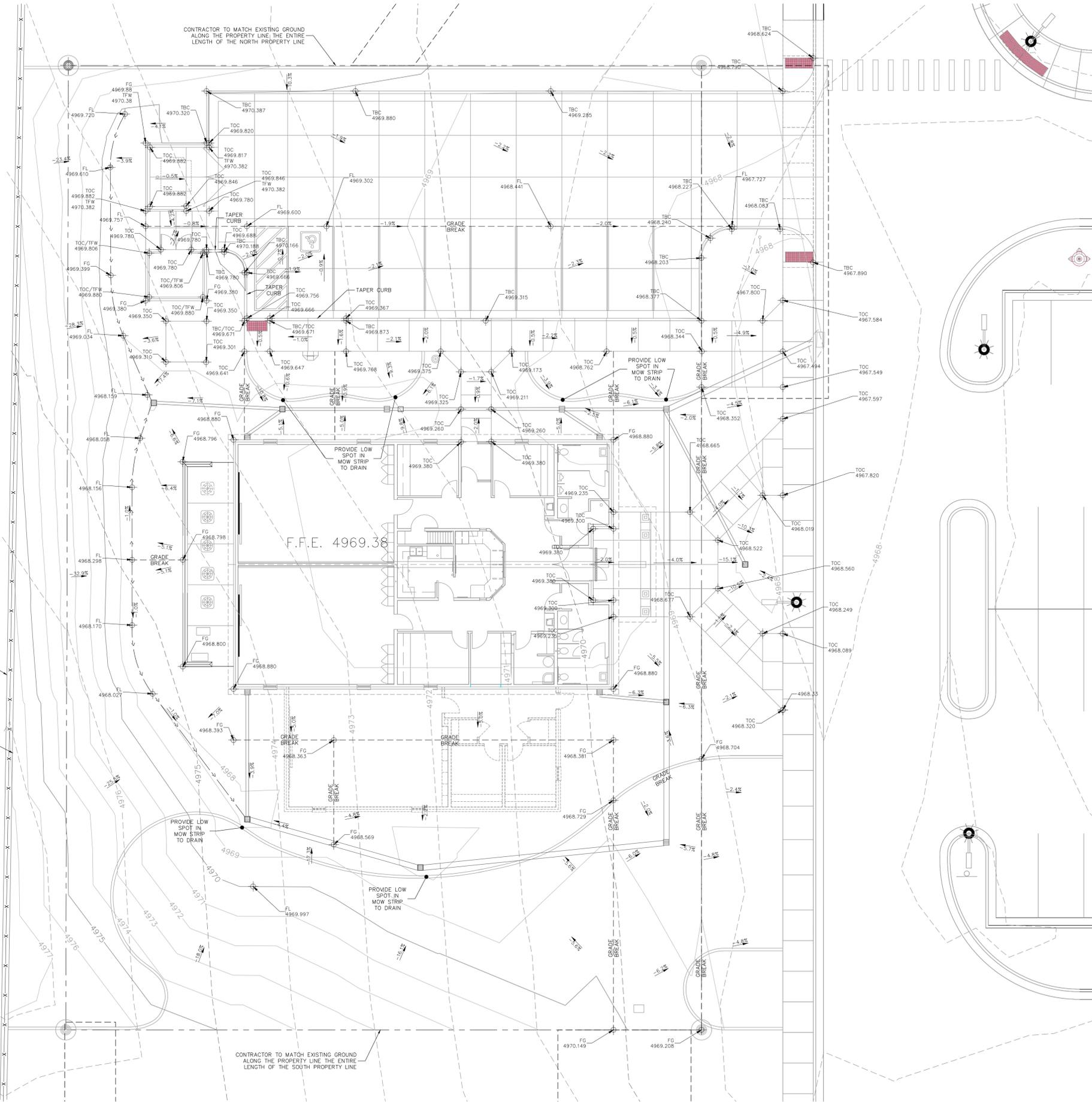
1223

SHEET TITLE:
ARCHITECTURAL SITE PLAN

SHEET:
C111

- LEGEND**
- EXISTING 1' CONTOURS MAJOR
 - EXISTING 1' CONTOURS MINOR
 - PROPOSED 1' CONTOURS MAJOR
 - PROPOSED 1' CONTOURS MINOR
 - DRAINAGE SWALE
 - UTILITY EASEMENT
 - PROPERTY BOUNDARY

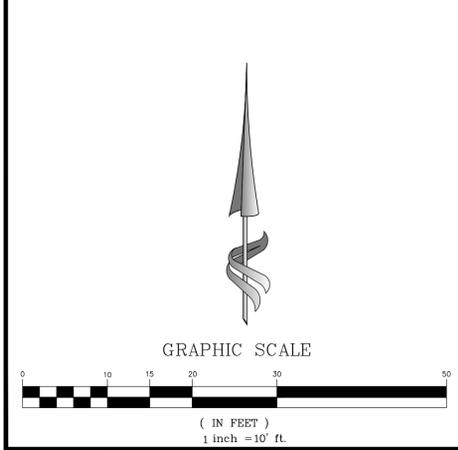
- TOC TOP CONCRETE ELEVATION
- TBC TOP BACK OF CURB
- FL FLOW LINE ELEVATION
- TOW TOP OF WALL
- BOW BOTTOM OF WALL



EXISTING MOW STRIP

CONTRACTOR TO MATCH EXISTING GROUND ALONG EXISTING MOW STRIP THE ENTIRE LENGTH OF THE WEST PROPERTY LINE

CONTRACTOR TO MATCH EXISTING GROUND ALONG THE PROPERTY LINE THE ENTIRE LENGTH OF THE SOUTH PROPERTY LINE



PLOTTED: 2/6/2014

#	DATE	DESCRIPTION



1b CHITECTS

65 E. Wadsworth Park Dr., Ste#806 • 801.571.0010
 Draper, Utah 84020 • Fax: 801.571.0303
 info@chitects.com • Toll Free: 888.571.0010

PROJECT FOR:

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:

Eagle Mountain UT Jr Seminary

Approx. 1000 East Mid Valley Road
 Eagle Mountain, Utah

DATE: 29 Oct 2013
 BIDD PROJECT #: 1223
 PLAN SERIES: CUSTOM
 PROPERTY #: 500-6512

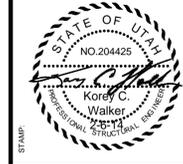
SHEET TITLE:

GRADING AND DRAINAGE PLAN

SHEET:

C121

#	DATE	DESCRIPTION



1b CHITECTS

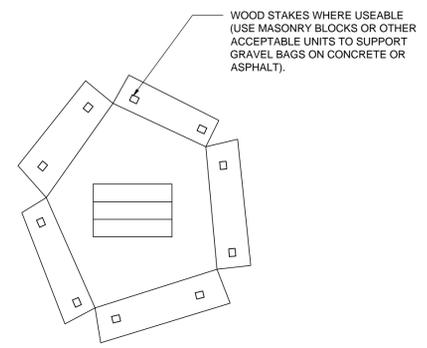
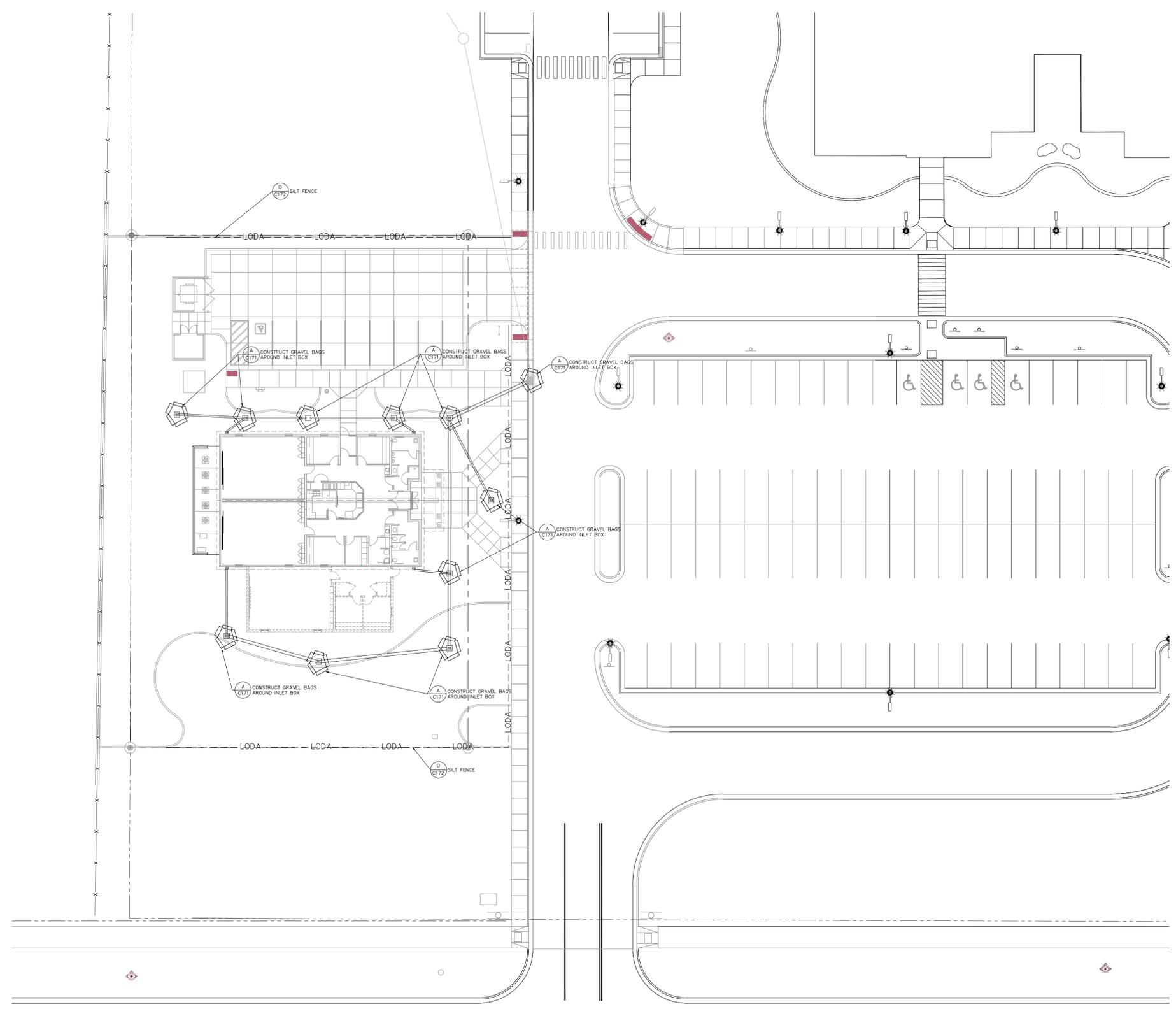
65 E. Wadsworth Park Dr., Ste#806 • 801.571.0010
 Draper, Utah 84020 Fax: 801.571.0303
 Tdd: 888.571.0010
 info@chitects.com

PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME: **Eagle Mountain UT Jr Seminary**
 ADDRESS: 1000 East Mid Valley Road, Eagle Mountain, Utah
 BIDDING PROJECT #: 1223
 DATE: 29 Oct 2013
 PLAN SERIES: CUSTOM
 PROPERTY #: 500-6512

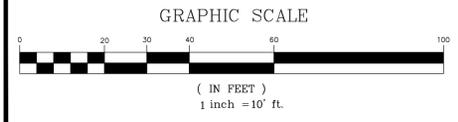
SHEET TITLE: **SWPPP**

SHEET: **C171**

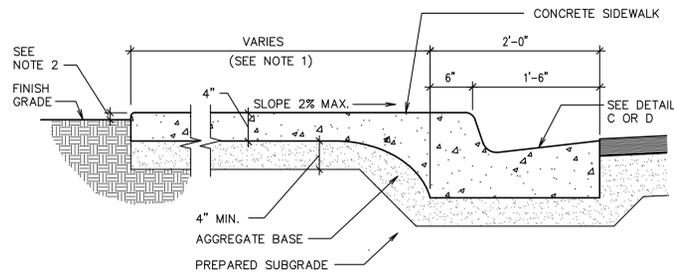


A GRAVEL BAG DETAIL
 N.T.S.

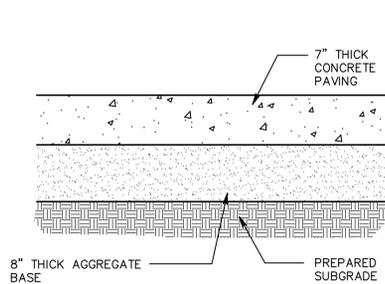
NOTE: CONTRACTOR TO DETERMINE CONSTRUCTION ENTRANCE, CONCRETE WASH OUT AND VEHICLE MAINTENANCE/MATERIAL STORAGE AREA ON SITE (SEE DETAILS SHEET C172)



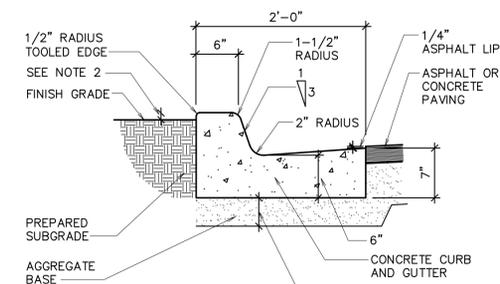
S:\Projects\1000 Eagle Mountain UT Jr Seminary\Drawings\Site\SWPPP\SWPPP_C171.dwg



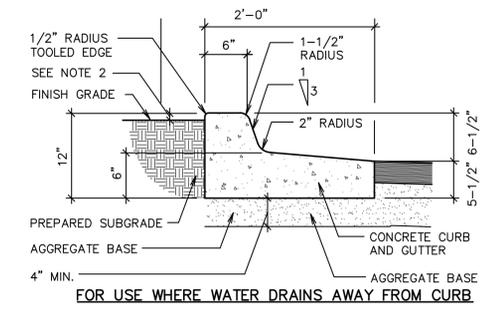
OFF SITE AND ON SITE WHEN WATER DRAINS TOWARD CURB
A INTEGRAL SIDEWALK, CURB AND GUTTER
 1" = 1'-0"



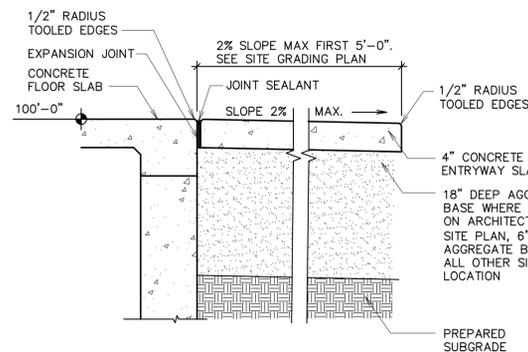
B CONCRETE PAVING
 1" = 1'-0"



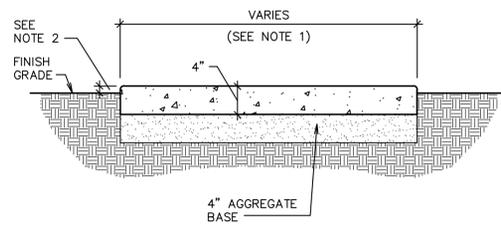
FOR USE WHERE WATER DRAINS TOWARD CURB
C CURB AND GUTTER - IN FLOW
 1" = 1'-0"



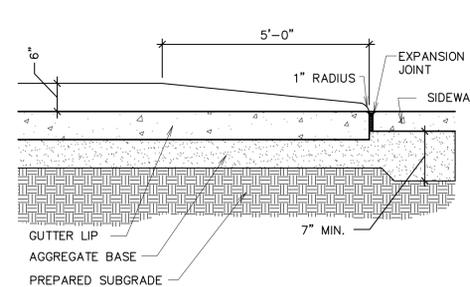
FOR USE WHERE WATER DRAINS AWAY FROM CURB
D OPEN FACE CURB AND GUTTER - OUT FLOW
 1" = 1'-0"



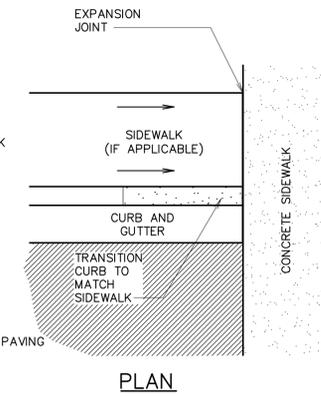
E ENTRYWAY AT DOOR
 1" = 1'-0"



F SIDEWALK DETAIL
 1" = 1'-0"



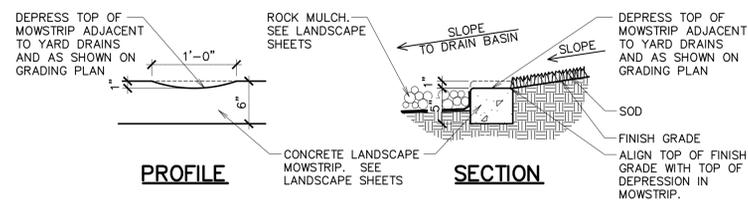
G CURB TRANSITION
 Not to Scale



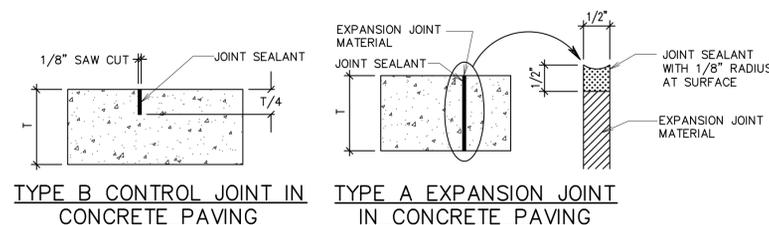
PLAN

GENERAL NOTES

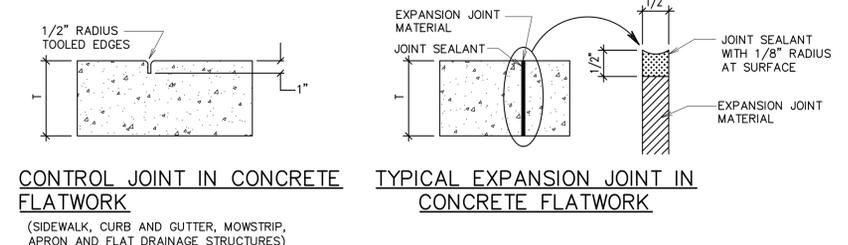
- SEE SITE PLAN FOR APRON, MOW STRIP AND SIDEWALK LOCATIONS AND WIDTHS.
- 1" PRIOR TO SEEDING, 2" PRIOR TO SODDING AND 4" IN PLANTING AREAS.
- EXPANSION JOINT MATERIAL SHALL BE RECESSED 1/4" WHERE SEALANT IS NOT APPLIED, AND 1/2" WHERE SEALANT IS APPLIED.
- EXTERIOR CONCRETE - USE 4,500 PSI. MIN. TYPE D IF EXPOSED TO FREEZING AND/OR DE-ICERS; 4,000 PSI. MIN. TYPE C OTHERWISE.
- CONTRACTOR SHALL INSTALL EXPANSION AND CONTRACTION JOINTS AS REQUIRED BY THE SITE ARCHITECTURAL PLAN THE SPECIFICATIONS.
- ALL AGGREGATES SHALL SATISFY ASTM AND DEPARTMENT OF TRANSPORTATION STRENGTH AND DURABILITY REQUIREMENTS. GRANITE AGGREGATES ARE PREFERRED BUT HIGH QUALITY LIMESTONE AGGREGATES ARE ACCEPTABLE. SEE SPECIFICATIONS



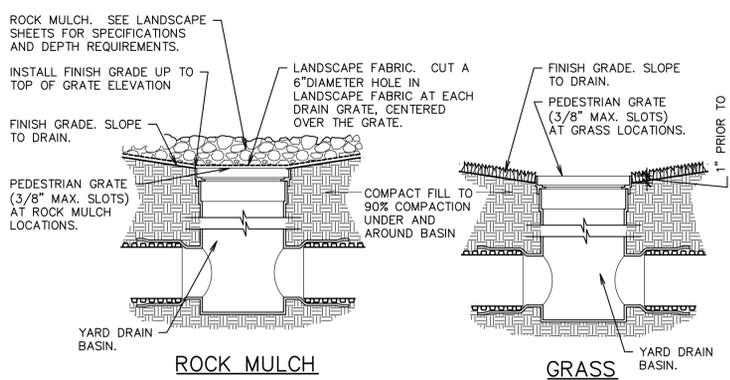
H MOWSTRIP DEPRESSION DETAIL
 Not to Scale



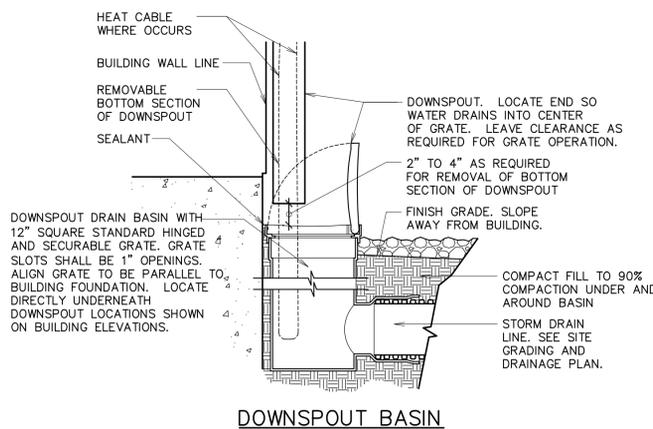
J TYPICAL PAVING JOINT DETAILS
 Not to Scale



K TYPICAL CONCRETE FLATWORK JOINT DETAIL
 Not to Scale



L DRAIN BASIN DETAIL
 1" = 1'-0"



M DOWNSPOUT BASIN

#	DATE	DESCRIPTION
1	30 JAN 2014	FILE REVISION

#	DATE	DESCRIPTION
1	30 JAN 2014	FILE REVISION



bb ARCHITECTS
 65 E Wadsworth Park Dr., Ste 205 Phone: 801.571.0010
 Draper, Utah 84020 Fax: 801.571.0003
 Toll Free: 888.571.0010
 bbdarchitects.com

PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:
Eagle Mountain UT Jr Seminary
 Approx. 1400 East Mid Valley Road
 Eagle Mountain, Utah
 BIDD PROJECT #: SEM07-02-7
 DATE: 14 Feb 2014
 PROPERTY #: 500-8512

SHEET TITLE:
SITE DETAILS

SHEET:
C501

#	DATE	DESCRIPTION
1	30 Jan 2014	Final Review



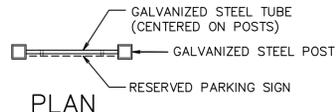
PROJECT NAME: Eagle Mountain UT Jr Seminary
 PROPERTY #: 500-8512
 APPROX. 1400 East Mid Valley Road
 Eagle Mountain, Utah
 BIDD. PROJECT #: SEM07-02-7
 DATE: 14 Feb 2014 1223
 PLAN SERIES: SEM07-02-7
 65 E. Wadsworth Park Dr., Ste. 205 Phone: 801.571.0010
 Draper, Utah 84020 Fax: 801.571.0003
 bbaarchitects.com Toll Free: 888.571.0010

PROJECT FOLIO: THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

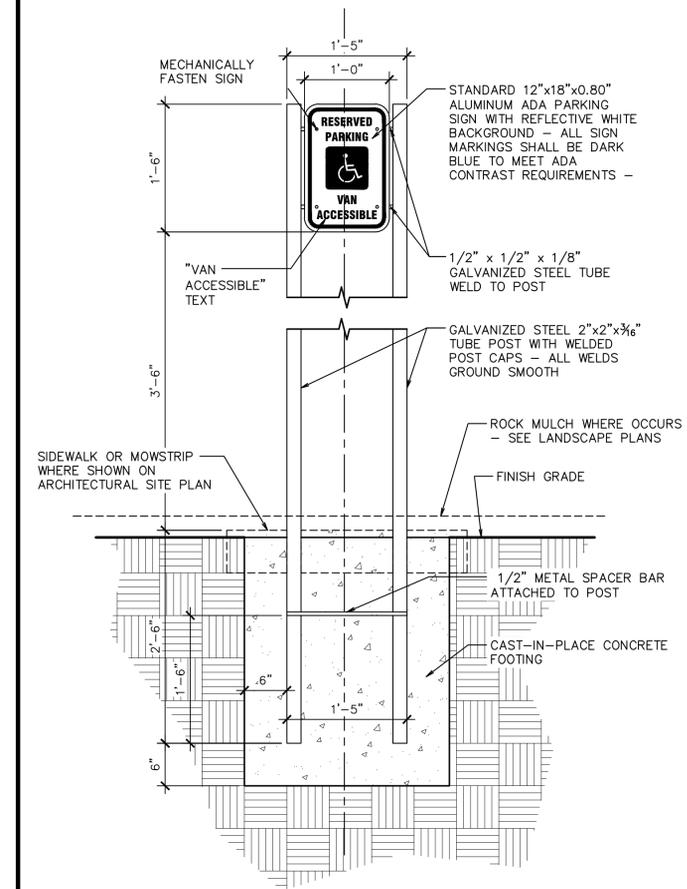
PROJECT NAME: Eagle Mountain UT Jr Seminary
 PROPERTY #: 500-8512
 APPROX. 1400 East Mid Valley Road
 Eagle Mountain, Utah
 BIDD. PROJECT #: SEM07-02-7
 DATE: 14 Feb 2014 1223
 PLAN SERIES: SEM07-02-7

SHEET TITLE: SITE DETAILS

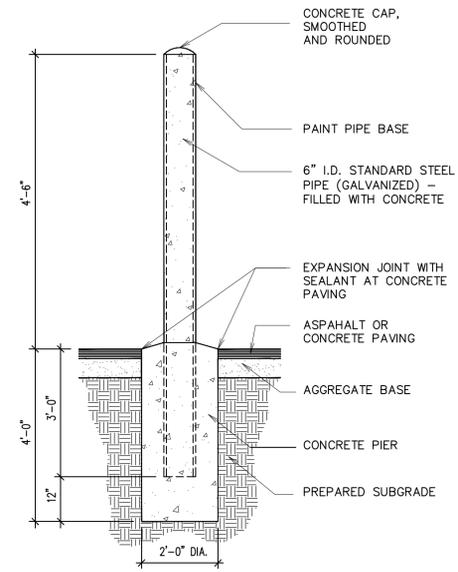
SHEET: C502



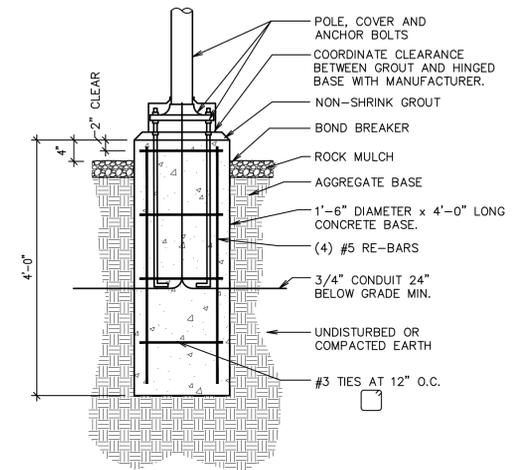
PLAN



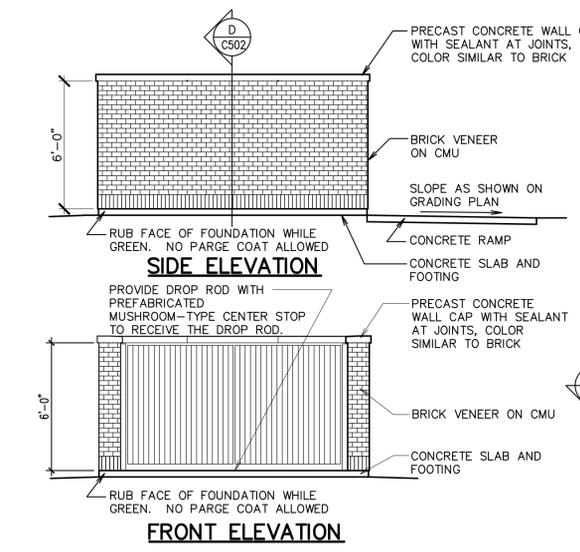
A ACCESSIBLE PARKING SIGN
 1" = 1'-0"



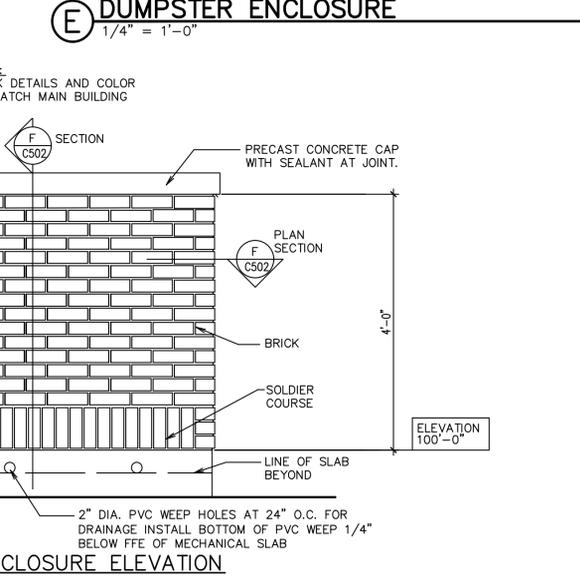
B CONCRETE BOLLARD
 NOT TO SCALE



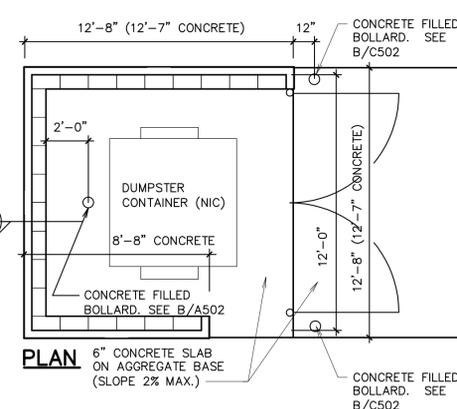
C POLE BASE
 3/4" = 1'-0"



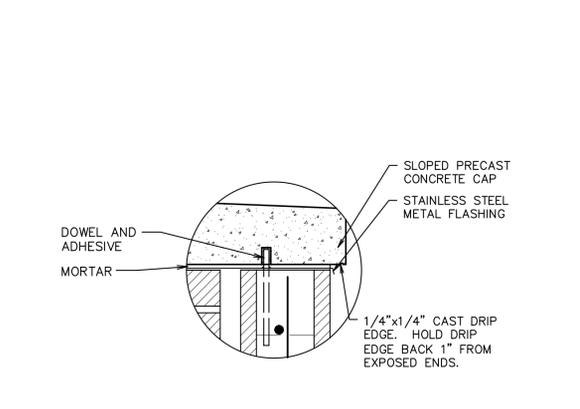
D DUMPSTER ENCLOSURE WALL SECTION
 1/2" = 1'-0"



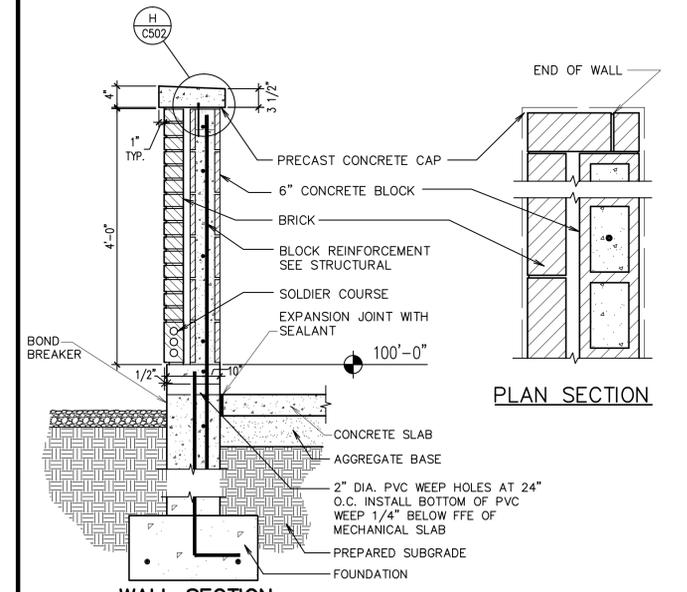
E DUMPSTER ENCLOSURE
 1/4" = 1'-0"



PLAN

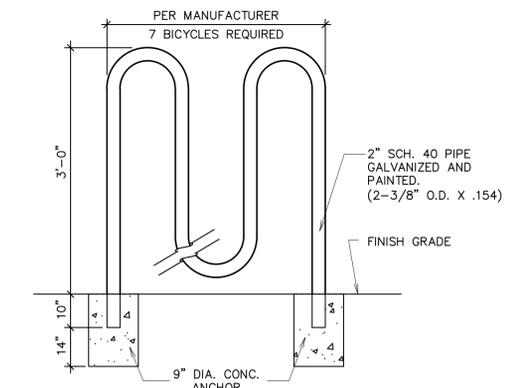


H WALL CAP DETAIL
 Not to Scale

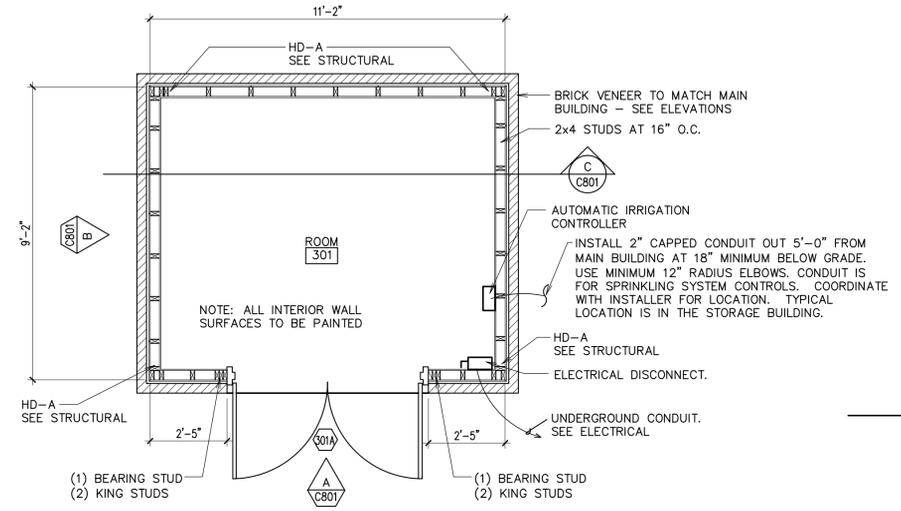


F WALL SECTION

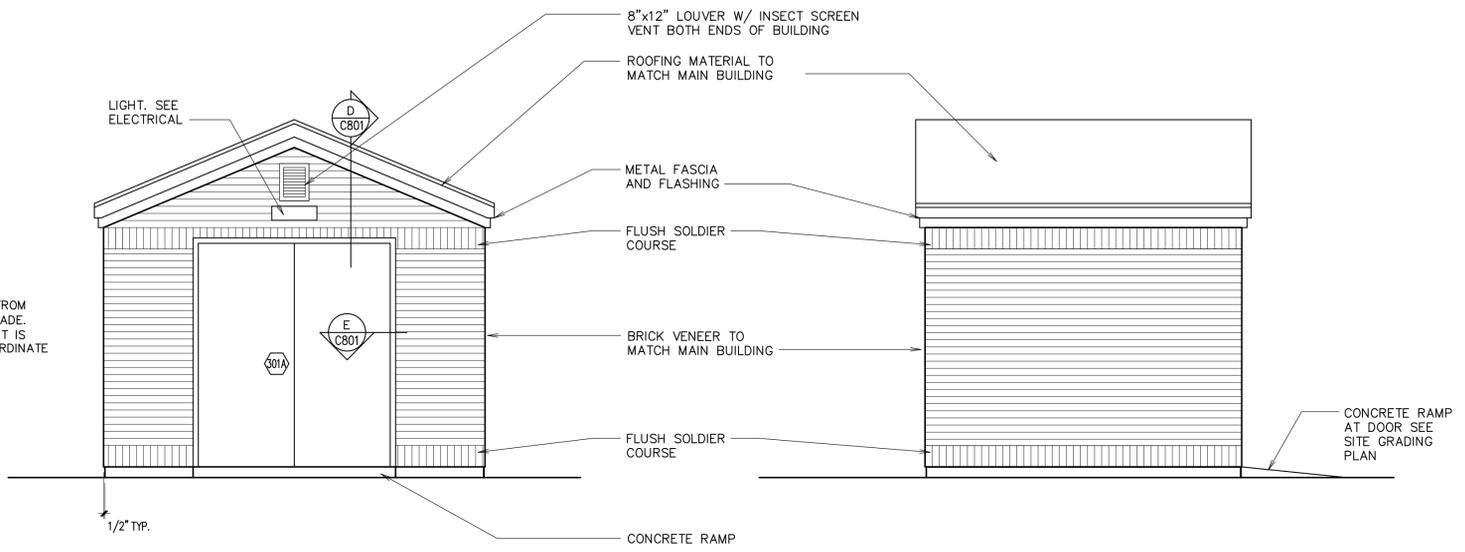
F MECHANICAL ENCLOSURE
 3/4" = 1'-0"



G BICYCLE RACK
 Not to Scale

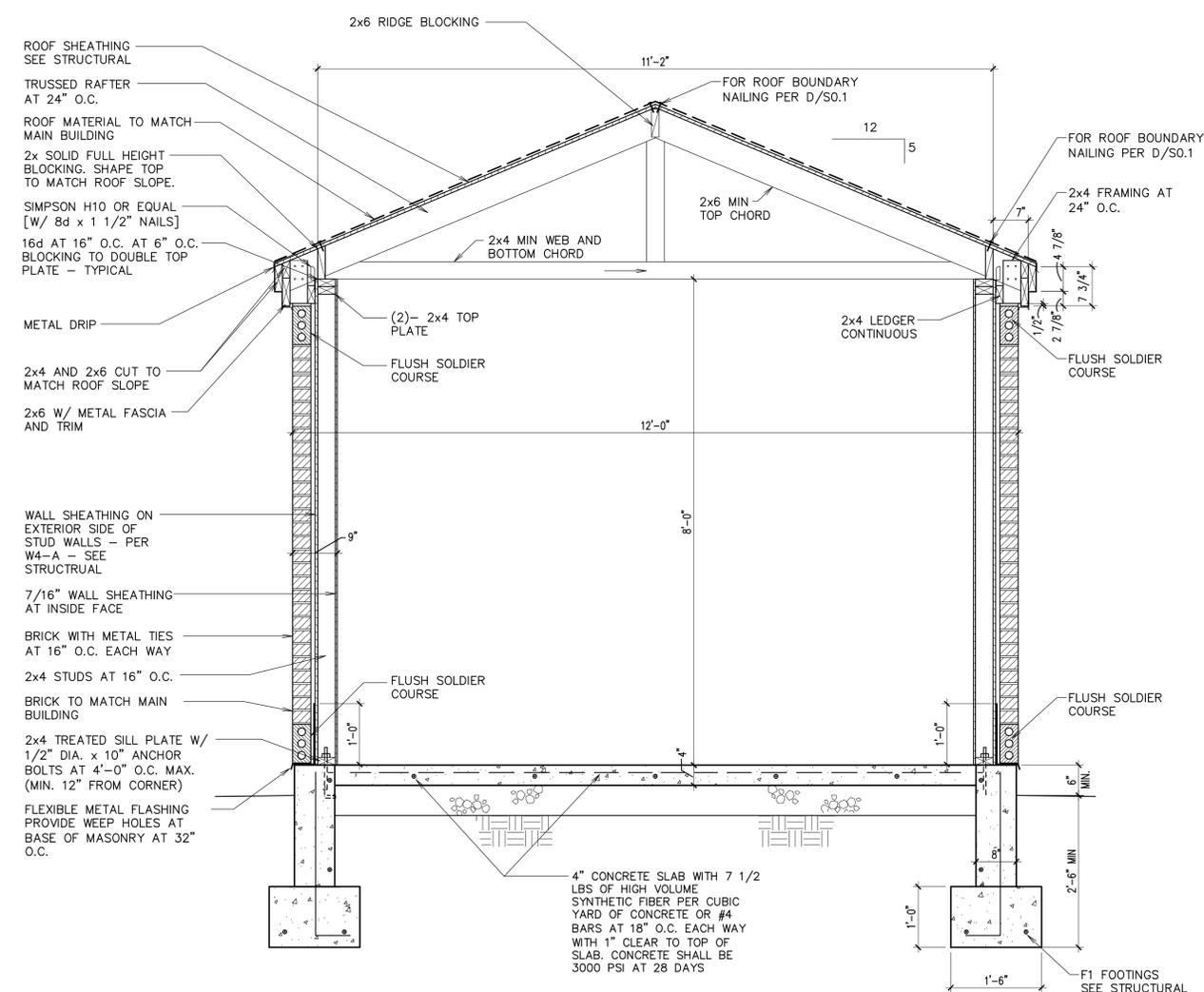


1 FLOOR PLAN
3/8" = 1'-0"

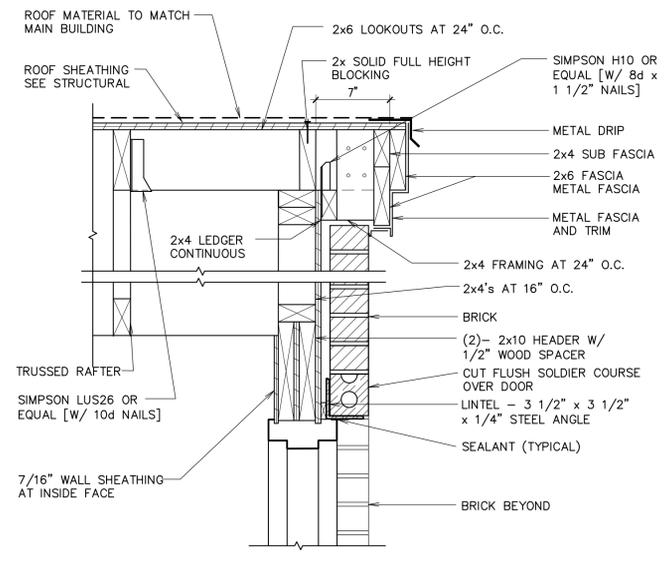


A ELEVATION
3/8" = 1'-0"

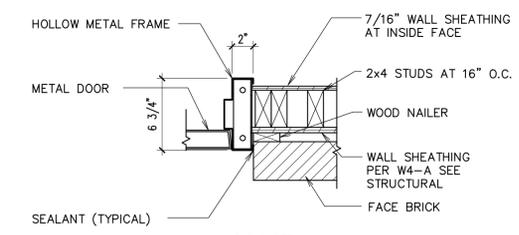
B ELEVATION
3/8" = 1'-0"



C CROSS SECTION
3/4" = 1'-0"



D HEAD
1 1/2" = 1'-0"



E JAMB
1 1/2" = 1'-0"

PROJECT NO.	2014-3-39-17
DATE	09 Dec 2013
DESCRIPTION	City Site Plan Submittal

Stamp:	
--------	--



1bd ARCHITECTS
 Phone: 801.571.0010
 Project: 801.571.0008
 Paper: Utah 84020
 Address: 888.571.0010

PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Project Number:	SEM07-027
Plan Sheet:	C8.1
Property Number:	
DATE:	29 Oct 2013

Sheet Title:
OUTSIDE STORAGE BUILDING

Sheet:
C8.1

TREE LEGEND

Symbol	Plant Type	Scientific Name / Common Name	Planting Size	Planting Size		Mature Size	
				Height	Width	Height	Width
	Deciduous	Celtis occidentalis Hackberry	2'- Caliber Container	10'	4'	50'	35'
	Deciduous	Pyrus calleryana 'Capitol' Capitol Flowering Pear	2'- Cal Container	8'	3'	35'	15'
	Deciduous	Prunus virginiana 'Canada Red' Canada Red Chokecherry - Clump (3 Trunk Min.)	20 Gal. Container	7'-8'	3'	25'	20'
	Evergreen	Pinus lg. 'Vanderwolfes' Vanderwolfes Pine	888 or Container	8'	4'	30'	15'

SHRUB / GRASS /PERENNIAL LEGEND

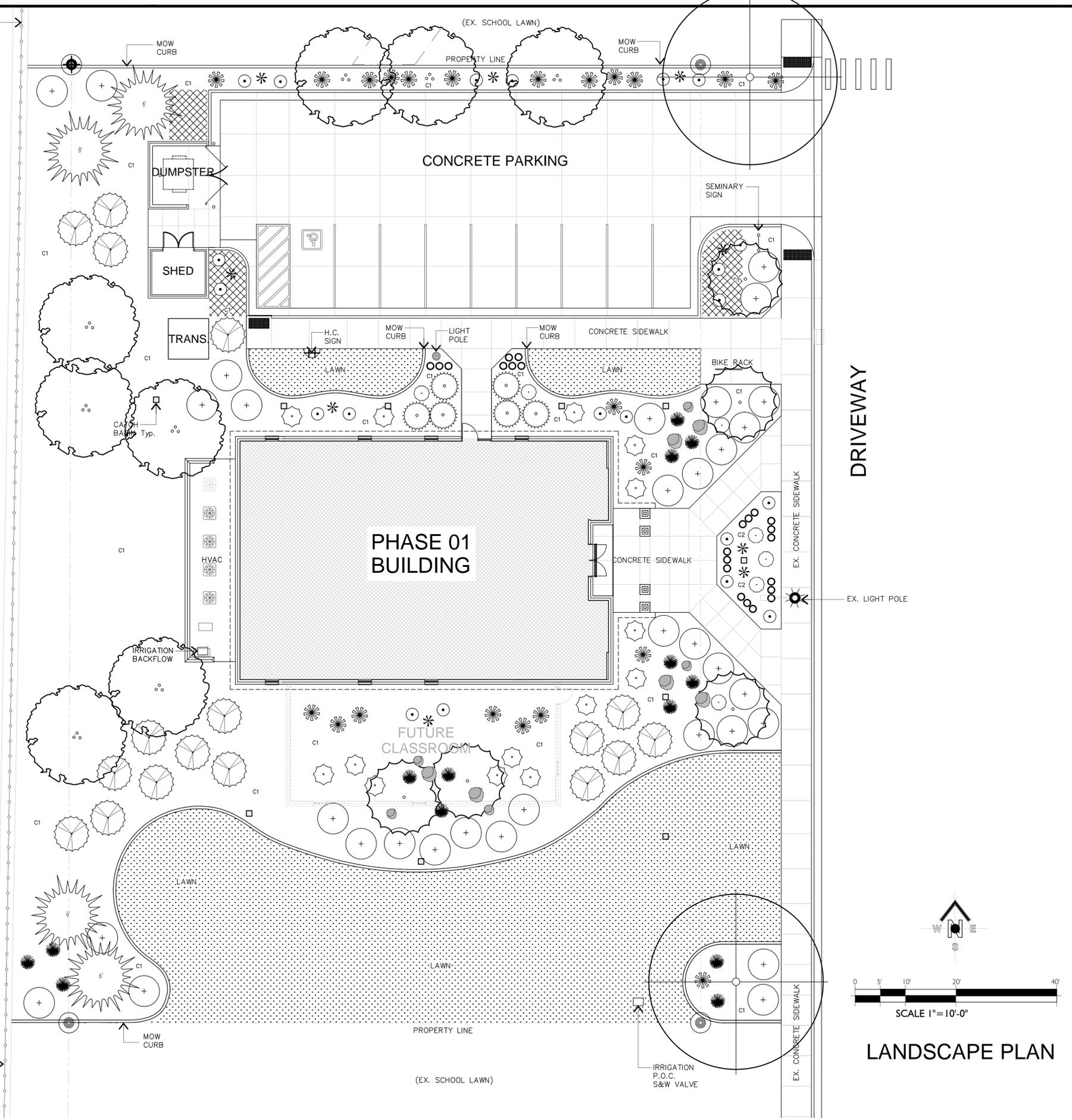
Symbol	Plant Type	Scientific Name / Common Name	Planting Size	Planting Size		Mature Size	
				Height	Width	Height	Width
	Evergreen	Yucca filamentosa Yucca	5- Gal	12"	18"	3'	3'
	Evergreen	Taxus media var. 'Dark Green Spreader' Dark Green Spreader Yew	5- Gal	3'	12"	3'	5'
	Evergreen	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	5- Gal	3'	18"	1'	6'
	Deciduous	Spiraea bumalda 'Anthony Waterer' Anthony Waterer Spiraea	5- Gal	16"	14"	3'	4'
	Deciduous	Rosa sp. 'Knock Out' Knock Out Rose	5- Gal	12"	12"	3'	3'
	Deciduous	Berberis thunbergii 'Crimson Pigmy' Crimson Pigmy Barberry	5- Gal	18"	12"	2'	3'
	Deciduous	Cornus sericea 'Kelsey' Kelsey Dwarf Dogwood	5- Gal	12"	12"	3'	3'
	Deciduous	Rhus aromatica 'Gro Low' Gro-Low Sumac	5- Gal	24"	12"	2'	7'
	Perennial	Hemerocallis 'Texas Sunlight' Diyflly	5- Gal	12"	6"	24"	18"
	Grass	Calamagrostis s. acutiflora 'Kari Foerster' Feather Grass	5- Gal	12"	6"	3'	2'
	Grass	Pennisetum alopecuroides 'Hameln' Hameln Fountain Grass	5- Gal	12"	6"	30'	30'

MISC.

Key	Description
	Turf - Install as sod
	Boulder - 2' Diameter
	Boulder - 3' Diameter
	Snow Storage

LANDSCAPE NOTES

- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING AND OUT OF ALL AREAS OF THE LANDSCAPE BEFORE PROCEEDING WITH LANDSCAPE PLANTING.
- ALL AREAS NOT TURF GRASS SHALL BE COVERED WITH COBBLE ROCK. 'C1' COBBLE TO BE 1.5" DIAMETER WASHED "SOUTHTOWN" COBBLE ROCK FROM NEPHI SANDSTONE. 'C2' COBBLE TO BE 3/4" CRUSHED "SOUTHTOWN" ROCK. SUBMIT SAMPLES FOR APPROVAL TO OWNER BEFORE INSTALLATION. MULCH TO BE INSTALLED 3" DEEP. MULCH TO BE FINISH GRADED 1" BELOW ADJACENT CONCRETE.
- DeWITT WEED 4.1 OZ. 20 YEAR WOVEN POLYPROPYLENE WEED BARRIER FABRIC TO BE PLACED UNDER ALL MULCH COBBLE ROCK. OVERLAP 6" AT JOINTS AND ADHERE TO GROUND USING 1" BY 6" STEEL WIRE STAKES PLACED 4' O.C.
- ALL LAWN AREAS TO RECEIVE 5" OF TOPSOIL MINIMUM. USE STOCKPILED OR IMPORTED TOPSOIL. ADD AMENDMENTS AS PER TOPSOIL ANALYSIS AND SPECIFICATIONS. ALL SHRUB BEDS MAY RETAIN NATIVE SOILS OR RECEIVE 12" OF APPROVED STOCKPILED OR IMPORTED TOPSOIL. IMPORT TOPSOIL IF NECESSARY. A TOPSOIL ANALYSIS MUST BE SUBMITTED FOR ALL IMPORTED TOPSOIL FOR APPROVAL BEFORE DELIVERY OR INSTALLATION. ALL TOPSOIL MUST MEET THE TOPSOIL SPECIFICATIONS.
- ALL TURF GRASS SHALL BE A BLEND OF AT LEAST FOUR KENTUCKY BLUEGRASS VARIETIES. TURF GRASS SHALL BE INSTALLED IN THE FORM OF SOD FROM A LOCAL GROWER. SOD SUPPLIER MUST BE APPROVED BEFORE INSTALLATION.
- ALL LAWN AND MULCH AREAS MUST BE SEPARATED BY A CONCRETE MOW CURB. MOW STRIP SHALL BE 6" WIDE AND 6" THICK CAST IN PLACE CONCRETE. THE GROUND UNDER THE CONCRETE SHALL BE COMPACTED TO PREVENT SETTLING.
- CALL BLUE STAKES TO LOCATE AND MARK UTILITY LINES AT LEAST TWO (2) DAYS BEFORE PERFORMING ANY DIGGING ON THIS SITE. CONTACT THE OWNERS REPRESENTATIVE FOR INFORMATION ON THE LOCATION OF ANY UTILITIES NOT MARKED BY BLUE STAKES. I.E. LIGHT POLE CONDUIT AND WIRING.
- A FULL SET OF APPLICABLE LANDSCAPE AND IRRIGATION DRAWINGS AND SPECIFICATIONS MUST BE ON SITE IN THE POSSESSION OF THE INSTALLERS EMPLOYEES AT ALL TIMES.
- BOULDERS SHALL BE THE BURGUNDY COLORED BOULDERS FROM THE STAKER PARSONS BEEF HOLLOW PIT. BOULDERS SHALL BE 2', 3' AND 4' DIAMETER. PROVIDE FULL SIZED SAMPLE FOR APPROVAL BEFORE INSTALLATION.
- MAKE A SMOOTH TRANSITION GRADE BETWEEN NEW LANDSCAPING AND THE EXISTING SCHOOL LAWNS AND LANDSCAPE.



NO.	DATE	DESCRIPTION

earthwise
LANDSCAPE - IRRIGATION
801-619-4040

ARCHITECTS
GREGORY WOLFLEY
100791-5001

ARCHITECTS
65 E Wadsworth Park Dr. Ste 205 Phone: 801.571.0010
Draper, Utah 84020 Fax: 801.571.0393
Toll Free: 888.571.0010
bharchitects.com

PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:
Eagle Mountain UT Jr Seminary
Approx. 4400 East Mid Valley Road
Eagle Mountain, Utah
DATE: 28 Jan 2014
BIDD PROJECT #: 1223
PROPERTY #: 500-8512
PLAN SERIES: CUSTOM

SHEET TITLE:
LANDSCAPE PLAN

SHEET:
L101

#	DATE	DESCRIPTION
1	09 Dec 2013	Cy: Site Plan Submittal



STAMP

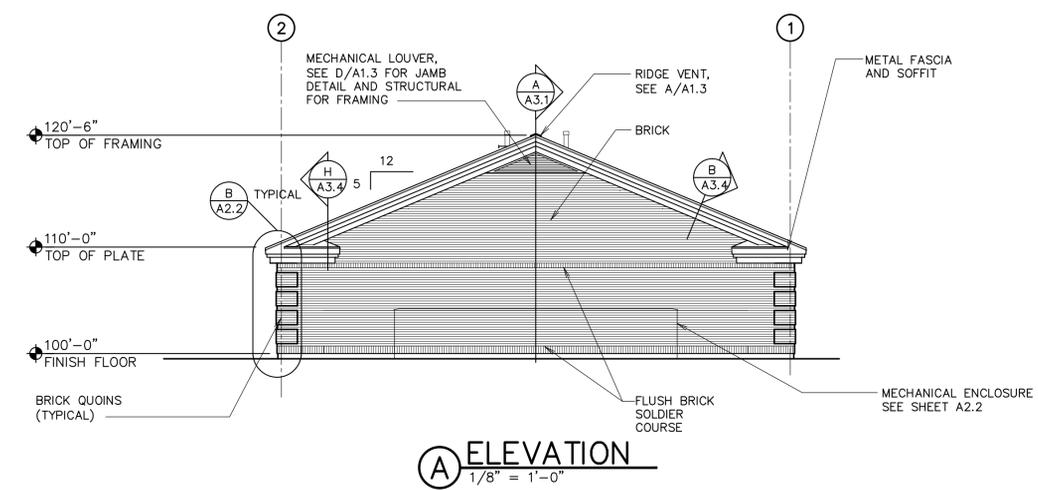
bb ARCHITECTS
 65 E Wadsworth Park Dr., Ste. 205 Phone: 801.571.0010
 Draper, Utah 84020 Fax: 801.571.0003
 Toll Free: 888.571.0010
 bbarchitects.com

PROJECT FOR
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

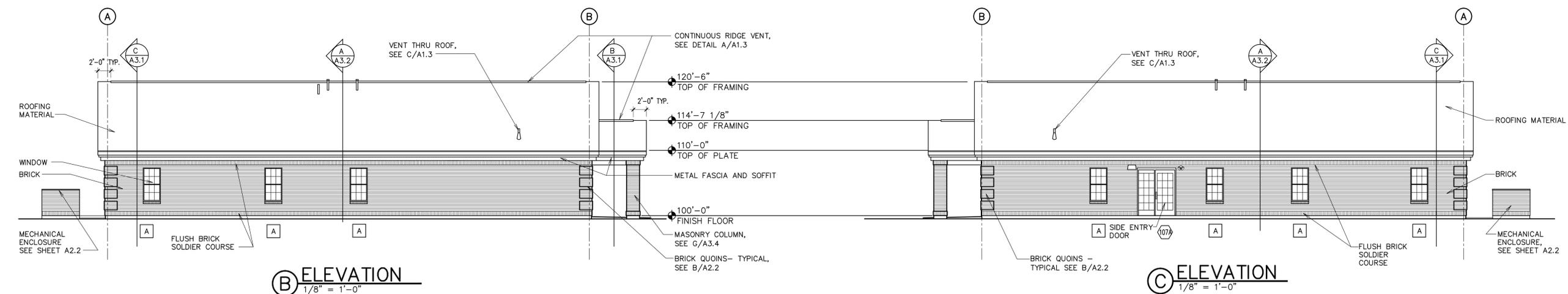
PROJECT NAME
Eagle Mountain UT Jr Seminary
 Approx. 1400 East Mid Valley Road
 Eagle Mountain, Utah
 BIDD PROJECT # 1223
 DATE 28 Oct 2013
 PROPERTY # 500-8512
 PLAN SERIES CUSTOM

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET
A2.1

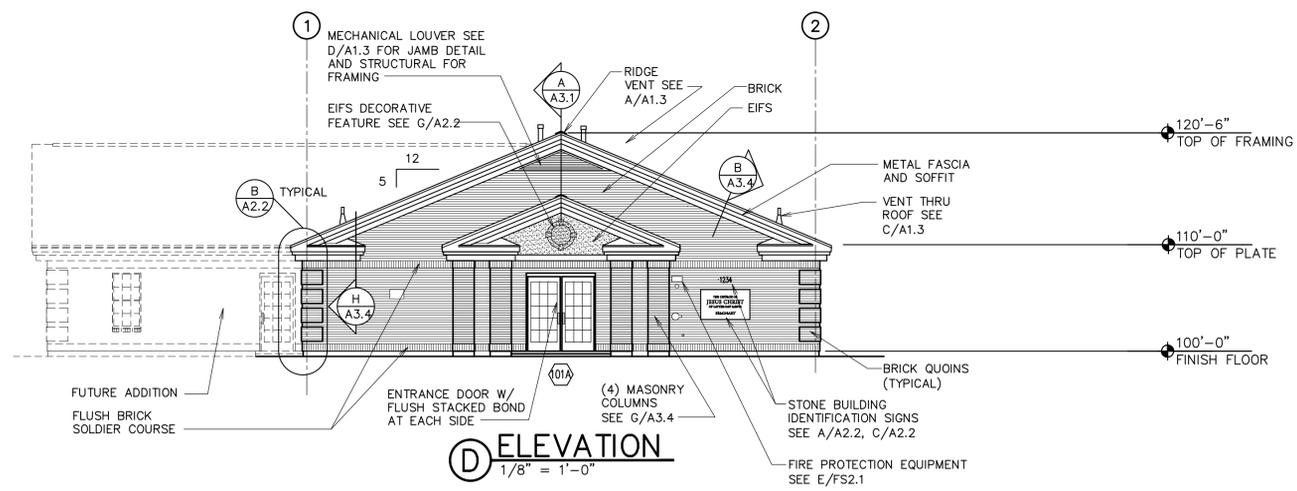


A ELEVATION
 1/8" = 1'-0"



B ELEVATION
 1/8" = 1'-0"

C ELEVATION
 1/8" = 1'-0"



D ELEVATION
 1/8" = 1'-0"

#	DATE	DESCRIPTION
1	10/28/2013	City Site Plan Submittals



bba
ARCHITECTS
65 E Wadsworth Park Dr., Ste. 205
Draper, Utah 84020
Phone: 801.571.0010
Fax: 801.571.0033
Toll Free: 888.571.0010
bbaarchitects.com

PROJECT FOR:
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

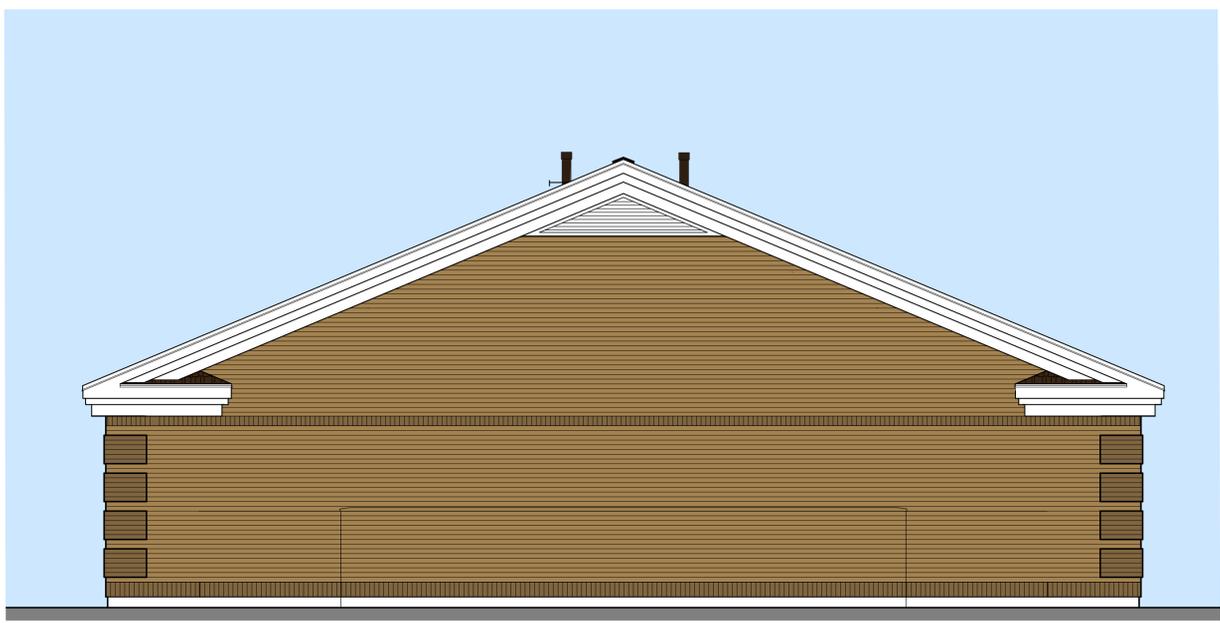
PROJECT NAME:
Eagle Mountain UT Jr Seminary
PROPERTY #:
500-8512
APPROX. 1400 East Mid Valley Road
Eagle Mountain, Utah
BIDD. PROJECT #:
1223
DATE:
28 Oct 2013
PLAN SERIES:
CUSTOM

SHEET TITLE:
**EXTERIOR
ELEVATIONS**

SHEET:
A2.1



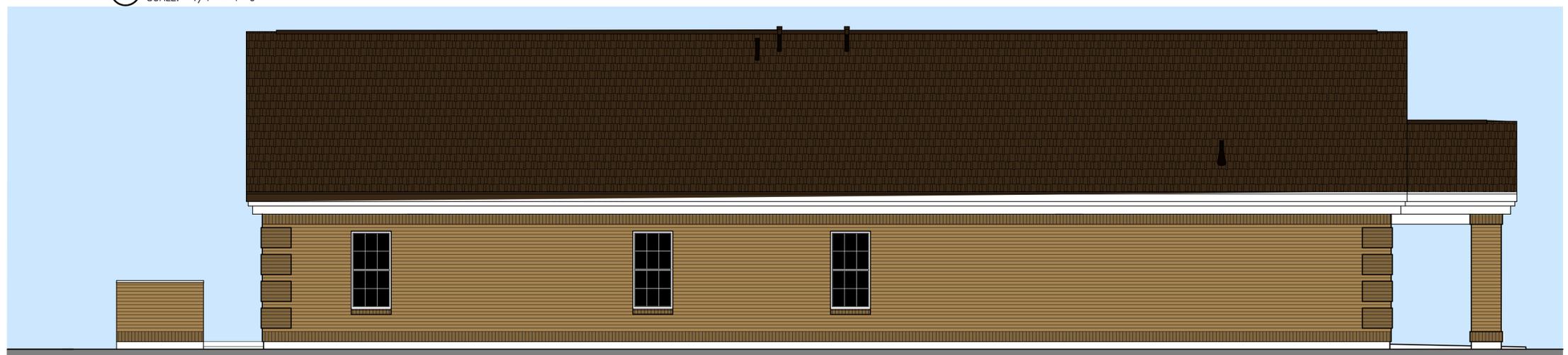
(A) EAST ELEVATION
SCALE: 1/4" = 1'-0"



(B) WEST ELEVATION
SCALE: 1/4" = 1'-0"



(C) NORTH ELEVATION
SCALE: 1/4" = 1'-0"

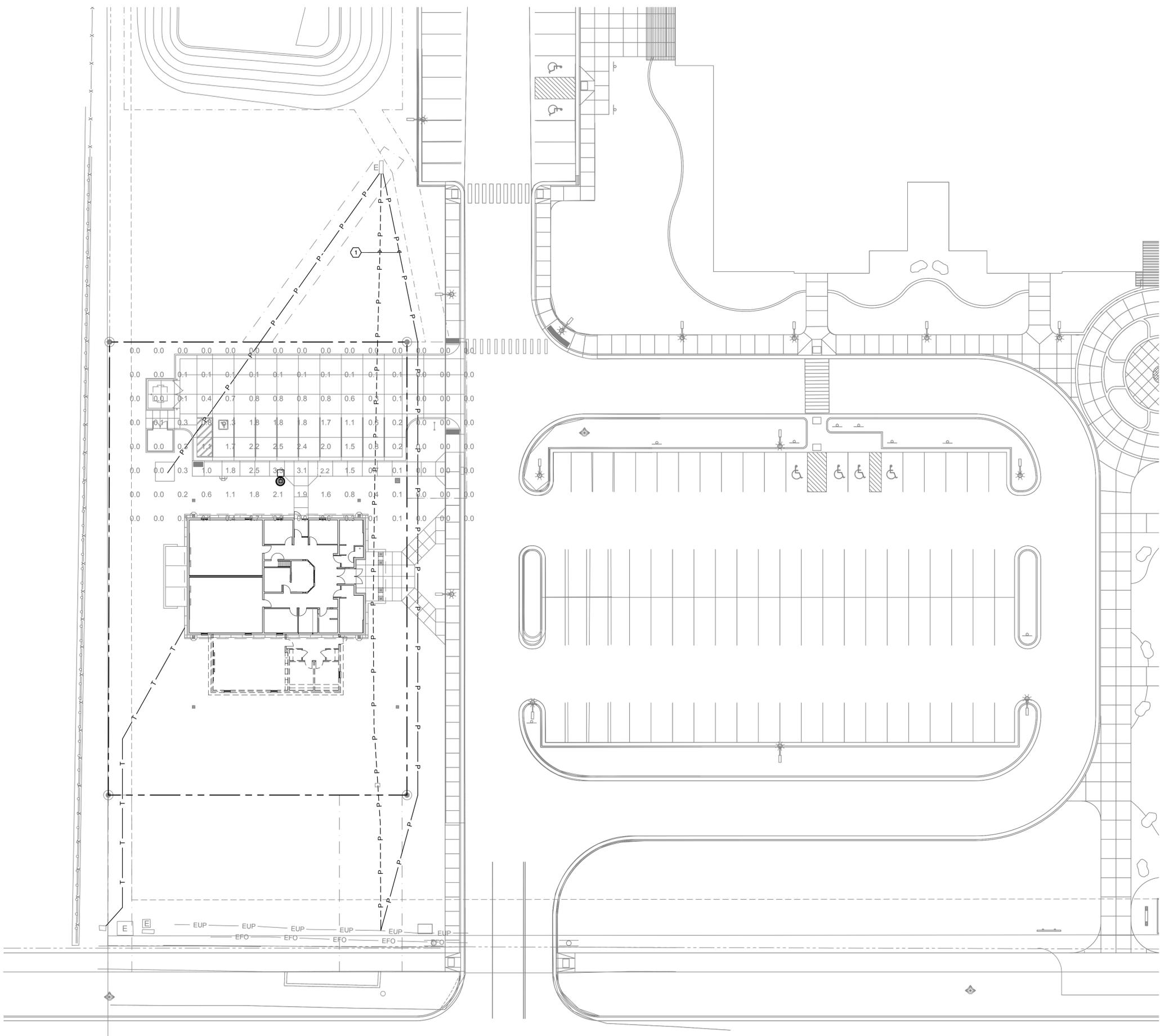
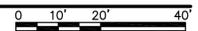


(D) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

File Name: P:\2014\20140052\Drawings\3Sheet\52E111.dwg Last Plotted: 2014/01/29 @ 12:11 PM By: rachel

1 ELECTRICAL SITE PLAN

SCALE: 1" = 20'-0"



GENERAL SHEET NOTES

#	DATE	DESCRIPTION
1	08 Dec 2013	City Site Plan Summary

SHEET KEYNOTES

- COORDINATE RE-LOCATION OF EXISTING POWER LINE WITH UTILITY.

PLOTTED: 1/29/2014 12:11 PM

DRAWING ISSUE SCHEDULE		
#	DATE	DESCRIPTION
1	08 Dec 2013	City Site Plan Summary

PRELIMINARY - NOT FOR CONSTRUCTION

STAMP:



11m ARCHITECTS
65 E. Wadsworth Park Dr., Ste. 205 Phone: 801.571.0010
Draper, Utah 84020 Fax: 801.571.0903
bidrarchitects.com Toll Free: 888.371.0010

PROJECT FOR:

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME: **Eagle Mountain UT Jr Seminary**

Approx. 1400 East Mid Valley Road
Eagle Mountain, Utah

DATE: 29 Jan 2014
ISSUE PROJECT #: 1223
SHEET STATUS: CUSTOM
PROPERTY #: 500-6512

SHEET TITLE:
ELECTRICAL SITE PLAN

SHEET: **E111**

DEVELOPMENT AGREEMENT

**EAGLE MOUNTAIN CITY, UTAH,
and
WREN HOLDINGS, LLC
for
AUTUMN RIDGE - PHASE 2**

This Development Agreement, which is referred to herein as the “Development Agreement”, is entered into as of the _____ day of _____, 2014, by and between Eagle Mountain City, Utah, a Utah Municipal Corporation (the “City”) and Wren Holdings, LLC, a Utah limited liability company (“Developer”).

This Development Agreement is made with reference to the following facts:

The Developer is the owner of the private land designated on Exhibit 1 (Subdivision Plat) which is the Subdivision Plat approved by Eagle Mountain City for the Developer’s project.

The Eagle Mountain City Planning Commission and City Council have approved the Subdivision Plat which is Exhibit 1, the City and the Developer wish to preserve and to define specifically the rights and responsibilities of each party with this Development Agreement.

The parties desire to assure fair and equitable treatment for the Developer and the City in the terms and conditions of this Agreement.

Now, therefore, in consideration of the approval of the Subdivision Plat by the City and the following mutual promises, the parties agree as follows:

1. Definitions.

1.1 The City’s Development Code means the “Eagle Mountain Development Code” the planning and zoning code of the City, adopted by the City pursuant to the Utah Municipal Land Use Planning Enabling Act, Section 10-9-101 et. seq., U.C.A.

1.2 The City’s General Plan means the General Plan adopted pursuant to Section 10-9-103 (1)(f) and 301, U.C.A.

2. Rights and Responsibilities of Parties.

2.1 Developer has received in writing the requirements of the City for public works, utilities and other infrastructure improvements (“Infrastructure Improvements”) that are required as a condition of approval for the Project, which requirements are set forth in Exhibit 2, attached hereto and incorporated herein.

2.2 The Developer will dedicate or cause to be dedicated to the City, all roads, trails, parks, storm drainage and other Infrastructure Improvements that are required to be provided by the Developer for the Project, without reimbursement by the City to the Developer and as a

condition of development approval. Dedication of the land for the Infrastructure Improvements shall occur at recordation of the Subdivision Plat and all of the Infrastructure Improvements must be completed and accepted by the City within one year of the recordation of the Subdivision Plat.

2.3 To the maximum extent permissible under the law, it is the intent both of the City and the Developer that subject to the full compliance of the Developer with all conditions, standards and/or requirements of development described more specifically in the Development Code and on Exhibit 2, including dedication of water rights for the project and payment by Developer (or its successors or assigns) of all applicable impact fees and connection fees, the execution of this Development Agreement grants and vests in Developer all rights, consistent with the City's General Plan, the City's Development Codes, and other specific plans, ordinances, and plans generally applicable throughout the City, to develop Developer's property as approved in the Subdivision Plat.

2.4 The Infrastructure improvements and land area depicted on the Subdivision Plat for public use, which include roads, storm drainage and detention areas and facilities shall be dedicated to the City and shall be completed as defined on Exhibit 2 and maintained for the warranty period required by the Development Code after the completion of the improvements by the developer. Developer shall comply with all bonding requirements of the City, and the improvement security held by the City shall not be fully released until the Developer has demonstrated to the satisfaction of the City that all public improvements of every kind required to be improved and maintained by the Developer have been completed and maintained through the warranty period and as otherwise required by this Agreement. Partial releases may be approved upon recommendation of the City Engineer under the provisions of the Development Code and the Ordinance controlling authorization for such releases.

2.5 Developer must improve a minimum of eight feet of landscaping extending from the sidewalk into the open space areas to provide a transition between the road area and the native vegetation. During construction Developer shall not disturb the areas to remain as native open space.

2.6 In accordance with the final plat approval, entryway monument signage shall be installed for the Autumn Ridge subdivision prior to 50% of the building permits being issued in the subdivision.

3. General Provisions.

3.1 Authority. The parties to this Development Agreement each warrant that they have all of the necessary authority to execute this Development Agreement.

3.2 Time Is Of The Essence. Time is of the essence to this Development Agreement and every right or responsibility shall be performed within the times specified.

3.3 Developer's Remedies Upon Default. Developer acknowledges and agrees that Developer's sole and exclusive remedy under this Agreement shall be specific performance of the development rights granted in this Agreement and City's obligations under this Agreement. **IN NO EVENT SHALL CITY BE LIABLE TO DEVELOPER, ITS SUCCESSORS OR ASSIGNS, FOR ANY INDIRECT, SPECIAL, PUNITIVE, INCIDENTAL OR CONSEQUENTIAL DAMAGES, INCLUDING, WITHOUT LIMITATION, LOST PROFITS, COSTS OF DELAY, OR LIABILITIES TO THIRD PARTIES.**

3.4 City's Remedies Upon Default. In addition to the remedies set forth herein, including, but not limited to, enforcement and use of any improvement or warranty bonds, upon

default of any terms or conditions of this Agreement, City may require specific performance of Developer's obligations and City may withhold issuance of any building permits or further approvals with the Project until Developer has fully complied with the terms and conditions of this Agreement.

3.5 Non-Waiver. Failure of any party hereto to exercise any right hereunder shall not be deemed a waiver of any such right and shall not affect the right of such party to exercise at some future date any such right or any other right it may have.

3.6 Severability. If any provision of this Development Agreement is held by a court of competent jurisdiction to be invalid for any reason, the parties consider and intend that this Development Agreement shall be deemed amended to the extent necessary to make it consistent with such decision and the balance of this Development Agreement shall remain in full force and affect.

3.7 No Joint Venture/No Third Party Beneficiaries. This Development Agreement does not create a joint venture relationship, partnership or agency relationship between the City and Owner. Further, the parties do not intend this Development Agreement to create any third-party beneficiary rights. The parties acknowledge that this Development Agreement refers to a private development and that the City has no interest in, responsibility for or duty to any third parties concerning any improvements to Owner's properties unless the City has accepted the dedication of such improvements by which time all rights and responsibilities for the dedicated public improvement shall be the City's. Owner shall have full and exclusive control of all of Developer's properties.

3.8 Applicable Law. This Development Agreement is entered into in Utah County in the State of Utah and shall be construed in accordance with the laws of the State of Utah irrespective of Utah's choice of law rules.

3.9 Venue. Any action to enforce this Development Agreement shall be brought only in the Fourth District Court for the State of Utah.

3.10 Notices. All notices required or permitted under this Development Agreement shall be given in writing by certified mail and regular mail to the following address:

To the City:

Eagle Mountain City, Utah
1650 Stagecoach Run
Eagle Mountain, Utah 84043

With Copies to
Developer:

Wren Holdings, LLC
1757 E. American Way #1
Eagle Mountain, UT 84005

The addresses for notice may be modified by either party or their successors by written notice to the other party.

MADE AND ENTERED into as of the date and year first written above.

Developer:
Wren Holdings LLC

The City:
Eagle Mountain, Utah

By: _____
Michael S Wren

By: _____
Christopher Pengra, Mayor

Attest:

Fionnuala Kofoed, City Recorder

Approved as to form and legality:

Jeremy Cook, City Counsel

EXHIBIT 1
SUBDIVISION PLAT

EXHIBIT 2

**CITY ENGINEER'S
BONDING REQUIREMENTS**



EAGLE
M O U N T A I N

Engineering Division
2545 North Pony Express Parkway
Eagle Mountain City, Utah 84005
(801) 789-6671

Wednesday, January 15, 2014

Mayor Christopher Pengra
Eagle Mountain City
1650 East Stagecoach Run
Eagle Mountain, Utah 84005

Subject: **Autumn Ridge phase 2** Reduced Bond Letter Requirements

Dear Mayor Pengra:
I have reviewed the improvement requirements for **Autumn Ridge phase 2** Subdivision, and recommend the following bonding amount for this concept:

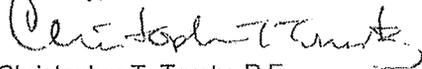
ITEM	DESCRIPTION	ORIGINAL QUANTITY	REDUCED QUANTITY	UNIT	UNIT COST	TOTAL
1	ROADWAY IMPROVEMENTS					
a	3 inch Surface Course	81525	4076.25	SF	\$1.45	\$5,910.56
b	6 inch Road base	99813	4990.65	SF	\$0.65	\$3,243.92
c	9 inch granular sub base	99813	4990.65	SF	\$0.55	\$2,744.86
d	2.5 foot Curb and Gutter	5225	130.625	LF	\$12.00	\$1,567.50
e	4 foot Sidewalk	5206	260.3	LF	\$12.00	\$3,123.60
f	Cross gutter	1	0.05	EA	\$1,000.00	\$50.00
g	Sidewalk Prep.	2377	118.85	LF	\$5.50	\$653.68
h	Street Signs	4	0.2	EA	\$150.00	\$30.00
i	Stop Signs	6	0.3	EA	\$150.00	\$45.00
j	Street Lights	4	0.2	EA	\$1,500.00	\$300.00
2	CULINARY WATER					
a	8 inch Culinary Water	2949	147.45	LF	\$20.00	\$2,949.00
b	8 inch Gate Valve	14	0.7	EA	\$600.00	\$420.00
c	8 inch Fire Line	1	0.05	EA	\$2,000.00	\$100.00
d	2 inch Culinary Water service	1	0.05	EA	\$1,000.00	\$50.00
e	3/4 inch Service Meter & Can	33	1.65	EA	\$500.00	\$825.00
f	Fire Hydrant w/ Valve	6	0.3	EA	\$2,000.00	\$600.00
g	Temporary Blow off	4	0.2	EA	\$1,000.00	\$200.00
3	SEWER IMPROVEMENTS					
a	8 inch PVC Sewer	2562	128.1	LF	\$25.00	\$3,202.50
b	12 inch PVC Sewer	5	0.25	LF	\$30.00	\$7.50
c	48 inch Manhole	11	0.55	EA	\$2,000.00	\$1,100.00
d	4 inch Sewer Lateral	34	1.7	EA	\$500.00	\$850.00
4	STORM DRAIN					

a	15 inch RCP	1373	68.65	LF	\$28.00	\$1,922.20
b	18 inch RCP	581	29.05	LF	\$32.00	\$929.60
c	2' x 3' Catch Basin w/cf inlet	6	0.3	EA	\$2,000.00	\$600.00
d	Combo Box w/Curb Face Inlet	7	0.35	EA	\$3,000.00	\$1,050.00
e	5' SD Manhole	5	0.25	EA	\$3,000.00	\$750.00
5	SITE					
a	Site Clearing and Grading	1	0.05	LS	\$1,000.00	\$50.00
6	DRY UTILITIES					
a	Power	1	0	LS	\$58,104.00	\$0.00
b	Excavation	1	0	LS	\$22,177.00	\$0.00
c	Crossings	1	0	LS	\$10,600.00	\$0.00
d	Gas	1	0	LS	\$11,407.00	\$0.00
	TOTAL CONSTRUCTION COST					\$33,274.92
	10% Bond Coverage Original Amount					\$79,913.64
	Rotomill and 2 inch Overlay	20381.25		SF	\$3.00	\$61,143.75
	Open Space Maintenance	0.09		AC/mon	\$600.00	\$648.00
	TOTAL BOND AMOUNT:					\$174,980.31

A total of 110 percent of the total construction cost shall be guaranteed in the form of a performance bond totaling **\$174,980.31**. The above estimate is for determining the required bond amount only. The developer is fully responsible to comply with the Eagle Mountain City Construction Standards and Ordinances.

Please call me if you have any questions.

Sincerely,



Christopher T. Trusty, P.E.
Public Works Director
Eagle Mountain City

Cc: Fionnuala Kofoed, Eagle Mountain City Recorder

**EAGLE MOUNTAIN CITY
CITY COUNCIL MEETING
APRIL 1, 2014**

TITLE:	Consideration and Approval of Final Payment and Settlement Agreement Between Eagle Mountain City and CraCar Construction.		
FISCAL IMPACT:	\$-4,216		
APPLICANT:	Adam Ferre, Energy Department Director		
GENERAL PLAN DESIGNATION	CURRENT ZONE	ACREAGE	COMMUNITY
N/A	N/A	N/A	N/A

NOTICES:

- Posted in 2 public places
- Posted on City webpage
- Notice to newspapers

REQUIRED FINDINGS:

Vote: N/A

Prepared By:
Steven Olsen

NOTES/COMMENTS:

RECOMMENDATION:

The Energy Director recommends that the City Council approve the Settlement Agreement and final payment to CraCar Construction in the amount of \$57,347.07 for the Energy Building project.

BACKGROUND

The staff, building architect, City Attorney, and representatives of CraCar Construction have reviewed all issues pertaining to closing out the contract for construction of the Energy Building. A settlement agreement has been drafted that addresses all outstanding issues related to the project. The final agreement results in a savings of \$4,216 to the original contract amount.

Original contract amount: \$1,478,584.63
 Net value of all change orders: \$18,284.00
 Credit for liquidated damages: \$-22,500.00
 Final contract amount: \$1,474,368.63

Settlement Agreement

THIS SETTLEMENT AGREEMENT (this “**Settlement**”) is entered into as of the date first executed below, by and between Eagle Mountain City, a municipal corporation of the State of Utah (the “**City**”) and CraCar Construction Company, a Utah corporation (together “**CraCar**”).

RECITALS:

A. On June 19, 2012, CraCar and City entered into that certain Eagle Mountain City Construction Agreement (the “**Agreement**”) for construction of the Eagle Mountain City Energy Building Project.

B. In accordance with the terms of the Agreement, CraCar was required to pay liquidated damages in the amount of \$500.00 per day if it failed to complete construction within 180 days.

C. CraCar acknowledges that it failed to timely complete construction of the Project, but has asserted that some the delay was the result of actions by the City.

D. The City and CraCar have reached an agreement that CraCar will pay liquidated damages in the amount of \$22,500.00 (the “**Liquidate Damages**”).

E. The City is currently withholding \$74,580.08 in retainage (Retainage”) and \$5,266.99 in approved but unpaid change orders (“**Unpaid COs**”), or the total amount of \$79,847.07.

F. The City has agreed to release to CraCar the Retainage and Unpaid COs less the Liquidated Damages in amount of \$57,347.07 (the “**Release Amount**”) pursuant to the terms and conditions set forth herein.

AGREEMENT:

NOW, THEREFORE, in consideration of the promises contained herein, and for good and valuable consideration, the receipt and sufficiency of which is acknowledged, the Parties hereby agree as follows:

1. Liquidated Damages. CraCar agrees to pay the City the amount of \$22,500.00 as liquidated damages which amount shall be deducted by the City from the Retainage.

2. Change Order. City acknowledges that City has approved the Change Order for the Project in the amount of \$38,284.00, as set forth on Exhibit A. Upon execution of this Agreement, City shall immediately pay to CraCar the Unpaid COs in the amount of \$5,266.99.

3. Warranty Items. CraCar acknowledges that CraCar must complete certain warranty items for the Project that include repairs to planter boxes, landscaping and replacement of dead trees. CraCar shall complete the warranty items on or before May 15, 2014.

4. Payment of Release Amount. City shall release and pay to CraCar \$52,347.07 of the Release Amount once CraCar has provided evidence satisfactory to the City that all subcontractors and all outstanding indebtedness has been paid or will be paid by CraCar. City shall release the remaining \$5,000.00 of the Release Amount once CraCar has completed the warranty items set forth in paragraph 3, and the warranty items have been inspected and accepted by the City. CraCar acknowledges and agrees that the Unpaid CO and Release Amount represent the full amount due and owing to CraCar for all work on the Project.

5. Warranty. CraCar acknowledges and agrees that pursuant to the terms of the Agreement, CraCar warrants all materials, equipment, parts and labor, and any necessary corrections to the Project for a period of one year from substantial completion, which warranty period shall extend until June 6, 2014. Nothing contained herein shall release or limit the warranty obligations in the Agreement or release or limit the payment or performance bonds for the Project.

6. Miscellaneous Provisions. The following provisions are also an integral part of this Settlement:

A. Successors Bound. This Settlement shall bind and benefit the parties' respective heirs, successors, assigns, agents, servants, employees and attorneys.

B. Captions. The captions used in this Settlement are inserted for reference purposes only and shall not be deemed to define, limit, extend, describe, or affect in any way the meaning, scope or interpretation of any of the terms of this Settlement or its intent.

C. Counterparts. This Settlement may be signed in any number of counterparts with the same effect as if the signatures upon any counterpart were upon the same instrument. All signed counterparts shall be deemed to be one original. A facsimile transmittal bearing a photocopied signature shall be deemed an original.

D. Severability. The provisions of this Settlement are severable and should any provision be void, voidable, unenforceable or invalid, such provision shall not affect the remaining provisions of this Settlement.

E. Waiver of Breach. Any waiver by any party of any breach of any kind by the other, whether direct or implied, shall not be construed as a continuing waiver of, or consent to, any subsequent breach of this Settlement.

F. Cumulative Remedies. The rights and remedies of the parties shall be construed cumulatively, and none of such rights and remedies shall be exclusive of, or in lieu or limitation of, any other right, remedy or priority allowed by law, unless specifically set forth herein.

G. Integration and Amendment. This Settlement represents the parties' full and final agreement respecting its subject matter. All prior and contemporaneous negotiations, representations and agreements are superseded hereby, and there are no agreements or understandings at variance with this Settlement. This Settlement may not be modified except by an instrument in writing signed by the parties hereto.

H. Interpretation. This Settlement shall be interpreted, construed and enforced according to the substantive laws of the state of Utah. Any dispute arising out of this Settlement, or the breach thereof, shall be brought in the District Court of Utah County, Utah, the parties expressly consenting to jurisdiction and venue in that district and county.

I. Attorneys' Fees/Breach. In the event any action, suit or proceeding is commenced by a party against another party under this Settlement, the prevailing party shall be entitled to recover reasonable attorneys' fees, costs related to the discovery process and court costs, in such amounts as the court may adjudge reasonable, including, but not limited to, those fees and costs incident to any action or participation in (or in connection with) a case or a proceeding involving a party under the applicable chapter of the Federal Bankruptcy Code (11 U.S.C. § 101, et seq.), or any successor statute thereto.

J. Recitals Incorporated. The recitals set forth in the preamble of this Settlement are incorporated herein by reference and made contractual in nature.

DATED this ____ day of _____, 2014.

EAGLE MOUNTAIN CITY

Christopher Pengra, Mayor

ATTEST

City Recorder

DATED this ____ day of _____, 2014.

CRACAR CONSTRUCTION COMPANY

Print Name: _____

Title: _____

Exhibit A

EAGLE MOUNTAIN CITY
CITY COUNCIL MEETING
APRIL 1, 2014

TITLE:	Amendment to Golf Course Donation Agreement		
FISCAL IMPACT:	N/A		
APPLICANT:	Monte Kingston		
GENERAL PLAN DESIGNATION	CURRENT ZONE	ACREAGE	COMMUNITY
N/A	N/A	N/A	

NOTICES:

REQUIRED FINDINGS:

Recommendation: To Approve
Vote: N/A

Prepared By: Fionnuala Kofoed City Recorder
--

NOTES/COMMENTS:

RECOMMENDATION:

Staff recommends that the City Council approve an extension to the construction deadline, until July 2016. A new bond will need to be filed with the City Recorder's Office.

BACKGROUND:

In July 2009, Eagle Mountain Links, LLC (Ames Construction) donated The Ranches Golf Course to Eagle Mountain City. There were certain stipulations and agreements that accompanied that donation, including the requirement that Ames relocate and improve Tee Box #12 and the related cart path, which is located closest to Stonebridge Lane and Ranches Parkway (see attached map). The reconstruction was to be completed by late July 2011. The City Council approved an extension of time in February 2010, extending the completion date to July 2013.

Monte Kingston, representing the developer, has requested that the reconstruction deadline be extended by an additional two (2) years, until July 2016. Because of the economic downturn, the property adjacent to Tee #12 has not developed as quickly as anticipated and so Ames is seeking an additional extension. Ames has expended approximately \$40,000 to pipe the wash which is part of the work that needed to be completed; however, Ames is not seeking to reduce the bond. This is the only part of the agreement that he is seeking an amendment to. Staff has no objections.

SECOND AMENDMENT
TO THE
DONATION AGREEMENT

by and among

EAGLE MOUNTAIN HOLDINGS, LLC, A MINNESOTA LIMITED LIABILITY COMPANY

and

EAGLE MOUNTAIN LINKS, LLC, A MINNESOTA LIMITED LIABILITY COMPANY

as “Donor”

and

EAGLE MOUNTAIN CITY, A POLITICAL SUBDIVISION OF THE STATE OF UTAH

as “Donee”

Amending the Donation Agreement
between the parties effective July 22, 2009

This Second Amendment to the Donation Agreement of July 22, 2009 between the parties, (this "Amendment Agreement") is entered into as of the effective date which is the date the Amendment Agreement is executed by the Mayor of Eagle Mountain City, by and among Eagle Mountain Holdings, LLC, a Minnesota limited liability company, and Eagle Mountain Links, LLC, a Minnesota limited liability company as "Donors" and Eagle Mountain City, a political subdivision of the State of Utah as "Donee".

In consideration of the mutual covenants of the parties contained in the Donation Agreement of July 22, 2009, between the parties, and the mutual covenants contained herein, in receipt and sufficiency of which are hereby acknowledged, the parties agree as follows.

1. The Donation Agreement between the parties of July 22, 2009 is hereby amended as to paragraph 7 of the Donation Agreement only, to provide that paragraph 7 of the Donation Agreement shall read as follows:

7. DONORS' WORK. Donors agree to complete the Donors' Work on or before July 22, 2016. Donors shall submit plans and specifications for the work to the City Engineer of Eagle Mountain City for comment and approval and shall consult Donee as to the best time to perform the Donors' Work. Donors shall, notify the Donee or the Agent of the Donee as directed in writing by the Donee, in writing at least thirty (30) days prior to commencing the work. The Donors shall take such measures as directed by the Donee to minimize disruption to the golf course operations. As security for the completion of the work in accordance with this Agreement for the benefit of the Donee, Donors agree to provide an Improvements Surety Bond in a form acceptable to the Donor in the amount of Seventy One Thousand Five Hundred Dollars (\$71,500.00) upon acceptance of the Donation Property by the Donee. In the event the Donors fail to complete the Donors' Work on or before July 22, 2016, regardless of cause, Donee may, upon written notice to Donors, make claim against the Improvement Surety Bond posted by the Donors and make provisions to undertake to complete the Donors' Work. The Donors shall pay to Donee within thirty (30) days of demand any amount not paid by the Surety for any reason, up to the full cost of completing the work. Up to and ending on the date the Donors' Work is fully completed, Donee is permitted to use and occupy all property owned by Donor which is used for hole 12 of the golf course on the date of closing, for a tee box and related access trail and cart path at no cost to either Donee or Donee's agents.

This Amendment Agreement shall supersede any and all prior amendments to the Donation Agreement. In all other respects, the terms of the Donation Agreement between the parties of July 22, 2009 is not amended and is confirmed.

DONORS:

EAGLE MOUNTAIN HOLDINGS, LLC,
a Minnesota limited liability company

By: _____
Name: Dennis D. McGill
Its: CFM

DONEE:

EAGLE MOUNTAIN CITY,
a political subdivision of the State of Utah

By: _____
Name: Chris Pengra, Mayor

EAGLE MOUNTAIN LINKS, LLC,
a Minnesota limited liability company

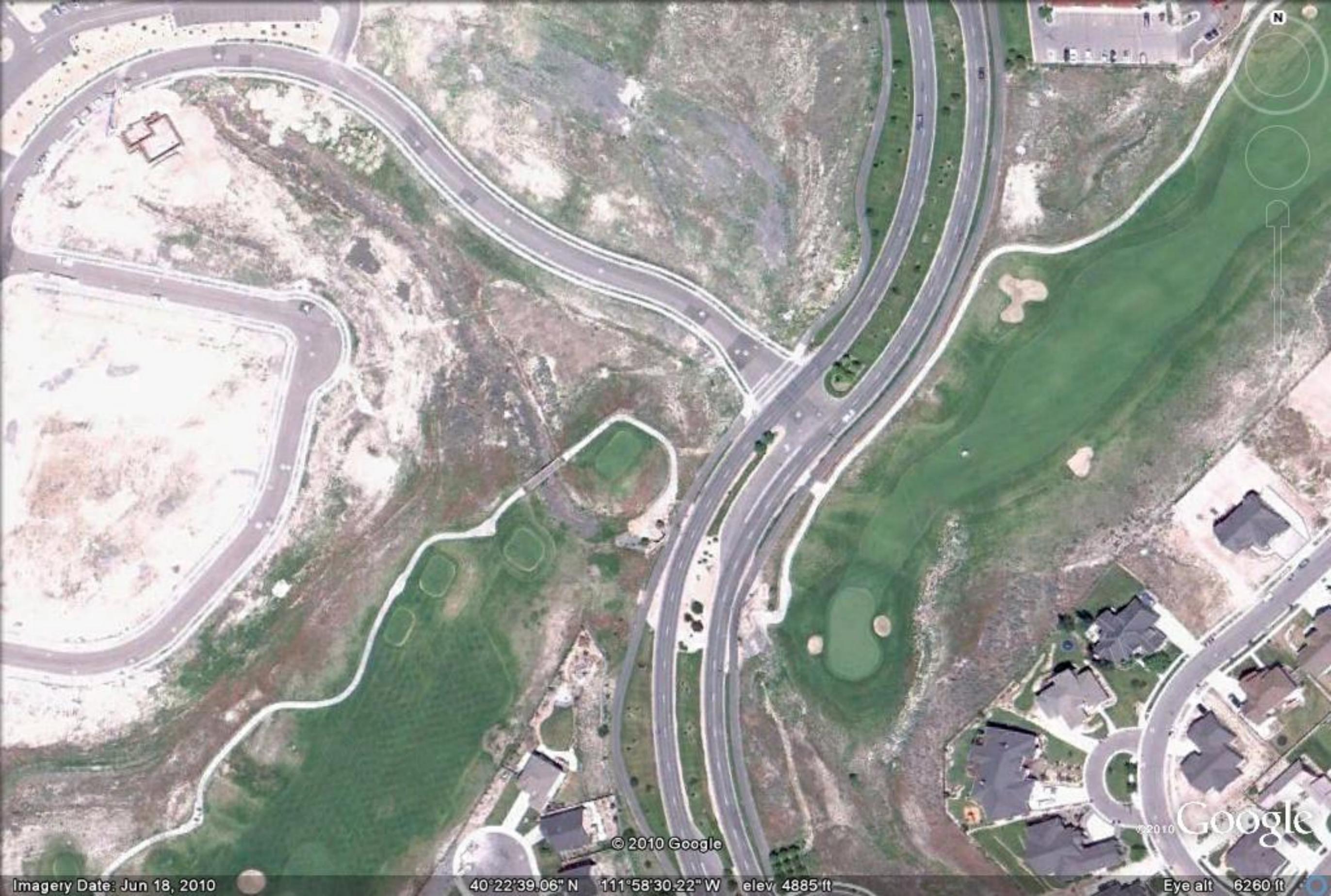
ATTEST:

By: _____
Name: Dennis D. McGill
Its: CFM

By: _____
Fionnuala B. Kofoed, City Recorder

APPROVED AS TO FORM:

By: _____
Jeremy Cook, City Attorney



N

© 2010 Google

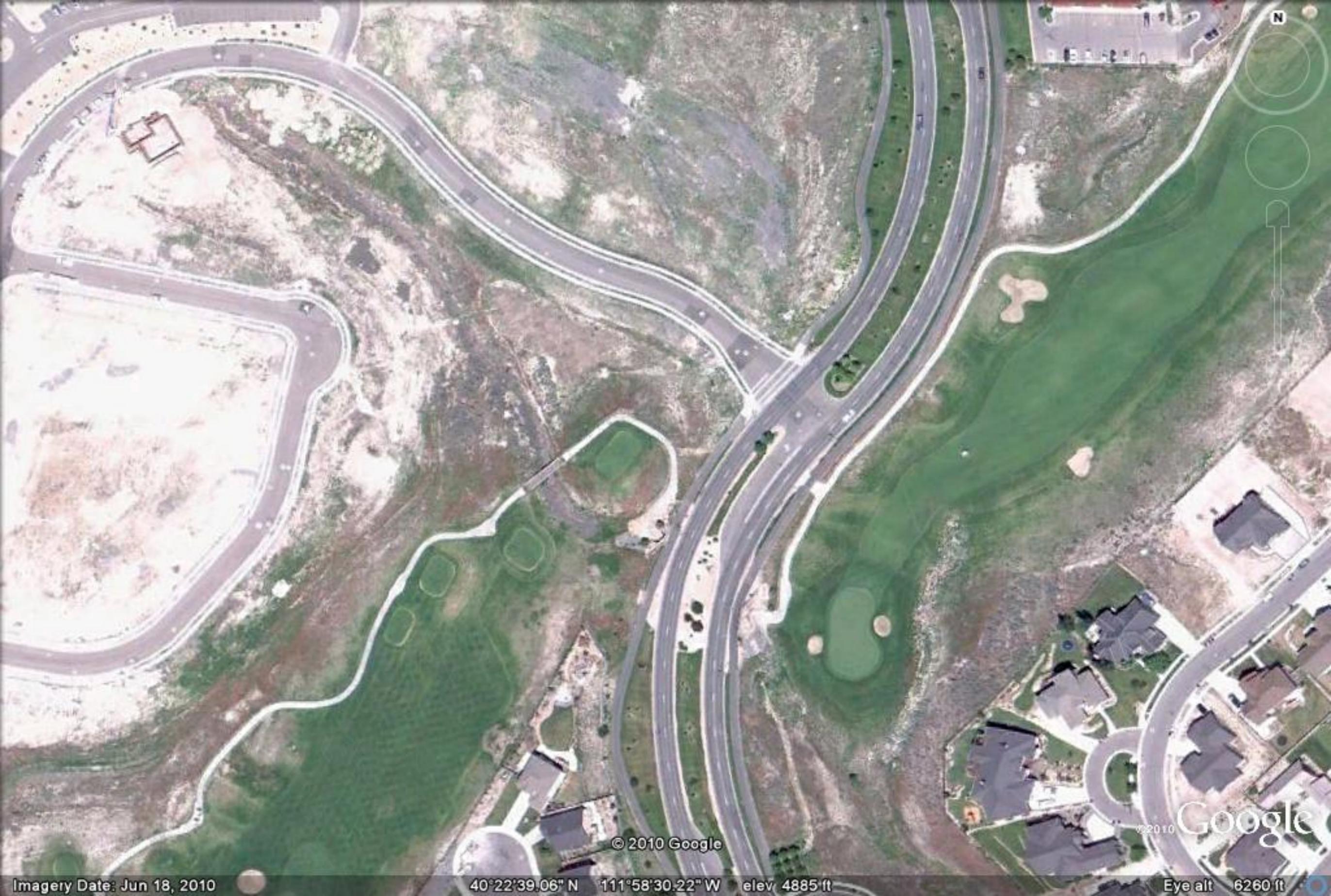
Google

© 2010

Imagery Date: Jun 18, 2010

40°22'39.06" N 111°58'30.22" W elev 4885 ft

Eye alt 6260 ft



N

© 2010 Google

Google

© 2010

Imagery Date: Jun 18, 2010

40°22'39.06" N 111°58'30.22" W elev 4885 ft

Eye alt 6260 ft

EAGLE MOUNTAIN CITY
CITY COUNCIL MEETING
 April 1, 2014

TITLE:	Consideration and Approval of First Amendment to the Power Sales Agreement Between Utah Municipal Power Agency and Eagle Mountain City, Utah		
FISCAL IMPACT:	Unknown		
APPLICANT:	Staff		
GENERAL PLAN DESIGNATION N/A	CURRENT ZONE N/A	ACREAGE N/A	COMMUNITY Citywide

NOTICES:

- Posted in 2 public places
- Posted on City webpage

REQUIRED FINDINGS:

Planning Commission Action / Recommendation
Vote: N/A

Prepared By: Adam Ferre Jeremy Cook
--

NOTES/COMMENTS:

RECOMMENDATION:

Staff recommends that the City Council approve the First Amendment to the Power Sales Agreement Between Utah Municipal Power Agency and Eagle Mountain City, Utah.

BACKGROUND:

The Utah Municipal Power Agency (UMPA) is an interlocal entity whose services include: power supply and control area support, scheduling, joint financing, energy load forecasting, wheeling arrangements, load research, limited political action, demand-side management, engineering, legal assistance and Federal Energy Regulatory Commission (FERC) case support. UMPA's members consist of: Levan, Manti, Nephi, Provo, Salem and Spanish Fork. Eagle Mountain City is not a member entity of UMPA.

However, on August 12, 2012, Eagle Mountain City entered into a Power Sales Agreement with UMPA for the purchase of electric capacity and certain energy requirements from UMPA. The Power Sales Agreement provides for UMPA to accommodate delivery of resource acquired by Eagle Mountain City and to sell supplemental electrical capacity and energy to Eagle Mountain City. The current term of the Agreement runs through June 30, 2015, and the Agreement may be terminated upon thirteen months' notice.

UMPA has requested an Amendment to extend the term of the Agreement through June 30, 2017. The City has requested an additional provision be included in the Amendment that provides for the assignability of the Agreement by Eagle Mountain City to another public entity.

**FIRST AMENDMENT
TO THE
POWER SALES AGREEMENT
BETWEEN
UTAH MUNICIPAL POWER AGENCY
AND
EAGLE MOUNTAIN CITY, UTAH**

This First Amendment to the Power Sales Agreement dated August 12, 2011 (Amendment) is dated this ___ day of March, 2014 (the "Effective Date") by and between Utah Municipal Power Agency (UMPA), a Joint Action Agency and political subdivision of the State of Utah organized and existing under the Utah Interlocal Co-operation Act, and Eagle Mountain City, Utah, (Eagle Mountain) a municipal corporation organized and existing under the laws of the State of Utah, each sometimes hereinafter individually referred to as a "Party", and both hereinafter collectively referred to as the "Parties."

WITNESSETH

WHEREAS, UMPA is engaged in the generation and transmission of electric capacity and energy; and,

WHEREAS, Eagle Mountain is engaged in the procurement and distribution of electric capacity and energy; and,

WHEREAS, UMPA and Eagle Mountain are Parties to a Power Sales Agreement (Agreement) dated August 12, 2011; and,

WHEREAS, the Parties desire to amend "Section 2: Term and Termination" and "Exhibit A" of the Agreement; and,

NOW THEREFORE, UMPA and Eagle Mountain hereby agree as follows:

1. Unless otherwise defined in this Amendment, capitalized terms used in this Amendment shall have the same meaning as that given to such terms in the Agreement.
2. The parties agree to amend the Agreement and replace "Section 2: Term and Termination"; "Section 14: Assignability" and "Exhibit A" as follows:

Section 2: Term and Termination.

Unless the Parties mutually agree to terminate this Agreement as of another date, this Agreement shall remain in effect until 11:59 p.m. on June 30, 2017, and thereafter on a year-to-year basis, beginning July 1st, until terminated by either Party by giving to the other at least thirteen (13) months advance written notice of its intention to terminate this Agreement.

Section 14: Assignability.

Eagle Mountain may assign this Agreement to another public entity in conjunction with the sale or transfer of substantially all of Eagle Mountain’s electric system. Eagle Mountain shall provide UMPA at least sixty (60) days advance written notice of the assignment. In the event of an assignment, the assignee shall be required to comply with the terms of the Agreement for the purpose of supplying electricity within the municipal boundaries of Eagle Mountain City during the remaining term of the Agreement. Subject to the foregoing, this Agreement shall be binding upon, inure to the benefit of, and be binding upon the Parties and their respective successors and assigns.

Exhibit A

Exhibit A, as set forth in Section 1: Capacity and Energy Provided, Subsection 5 of the Agreement is amended and replaced as Exhibit A - First Amendment.

- 3. Unless expressly changed by this Amendment, all other terms of the Agreement shall remain in full force and effect.
- 4. This Amendment may be executed in multiple counterparts, including facsimile counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument.
- 5. This Amendment Sets forth the entire agreement between the Parties with respect to the subject matter of the Amendment and supersedes any previous understanding, commitment, or agreement, oral or written, with respect to such subject matter of the Amendment.
- 6. The Parties acknowledge and agree to this Amendment effective as of the Effective Date.

IN WITNESS WHEREOF, the Parties hereto have caused this Agreement to be executed in their respective names by their respective officers thereunder duly authorized.

UTAH MUNICIPAL POWER AGENCY

By: _____
 Layne Burningham
 Title: General Manager and Chief Operating Officer
 Address: UTAH MUNICIPAL POWER AGENCY
 P.O. Box 818
 Spanish Fork, UT 84660

EAGLE MOUNTAIN CITY

By: _____
Chris Pengra
Title: Mayor

ATTEST:

Fionnuala B. Kofoed, CMC
City Recorder

DRAFT

Exhibit A First Amendment

This Exhibit is attached to and made of part of the First Amendment to the Power Sales Agreement between Utah Municipal Power Agency and Eagle Mountain City, Utah, dated ____, March, 2014. Fiscal Year is the twelve month period ending June 30.

Fiscal Year	Month	UMPA Capacity and Energy to be Delivered
2014	Jul - Jun	Full requirements above Eagle Mountain Resources
2015	Jul-Jun	Full requirements above Eagle Mountain Resources
2016	Jul-Jun	Full requirements above Eagle Mountain Resources
2017	Jul-Jun	Full requirements above Eagle Mountain Resources

UPCOMING AGENDA ITEMS

APRIL 15, 2014

MAY 6, 2014

MAY 20, 2014

OTHER PROJECTS

- AGREEMENT – Camp Williams Gas
- Flag Ceremony – October 14 Troop 1250

EXECUTIVE SUMMARY OF REVENUES AND EXPENSES

Through March 26, 2014

GENERAL FUND

General Fund Revenues

Budget:	\$	7,563,928
Revenue Collected to Date:	\$	5,928,474
Percent of Total Budget Collected:		78%
Percent of Year Completed:		75%



Revenue Analysis

Property Taxes: The bulk of the year's property tax amount has been collected.

Sales Tax:

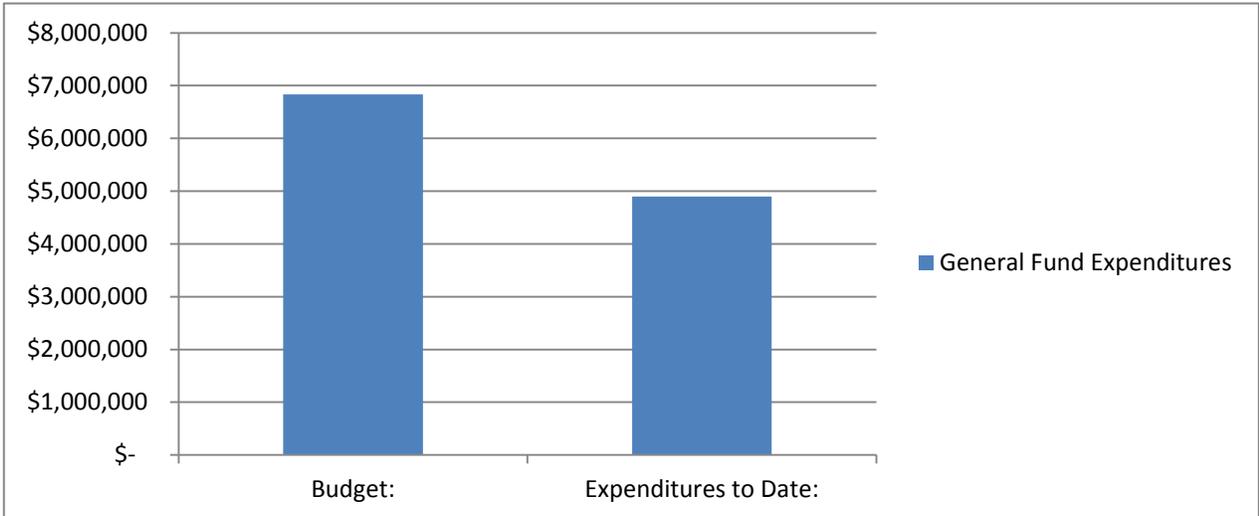
B&C Road Funds:

Transfers:

Miscellaneous: Proceeds from Fire Station #2 not yet received.

General Fund Expenditures

Budget:	\$ 6,830,632
Expenditures to Date:	\$ 4,896,876
Percent of Total Budget Expended:	72%
Percent of Year Completed:	75%



Expense Analysis

	Budget	To Date	% Expended	% Yr. Completed
Sub 11 - General Administration	\$ 1,779,549	\$ 1,490,270	84%	75%
Sub 18 - Community Services	\$ 463,721	\$ 319,396	69%	75%
Sub 19 - Non-Departmental	\$ 524,325	\$ 415,148	79%	75%
Sub 21/25 - Public Safety	\$ 2,062,631	\$ 1,106,436	54%	75%
Sub 32 - Planning/Zoning	\$ 252,183	\$ 255,536	101%	75%
Sub 33 - Building	\$ 439,325	\$ 264,194	60%	75%
Sub 41 - Streets/Parks/Recreation	\$ 1,327,894	\$ 1,045,895	79%	75%

Sub 11 - General Administration: Utility Billing expenses to be reclassified to Enterprise Funds; Auditing expense for the year has been spent; Attorney Fees higher than budget.

Sub 18 - Community Services: Spring recreation expenses ramping up.

Sub 19 - Non-Departmental: Most of the computer budget has been expended.

Sub 21/25 - Public Safety: There is some lag time with County billing of Sheriff services.

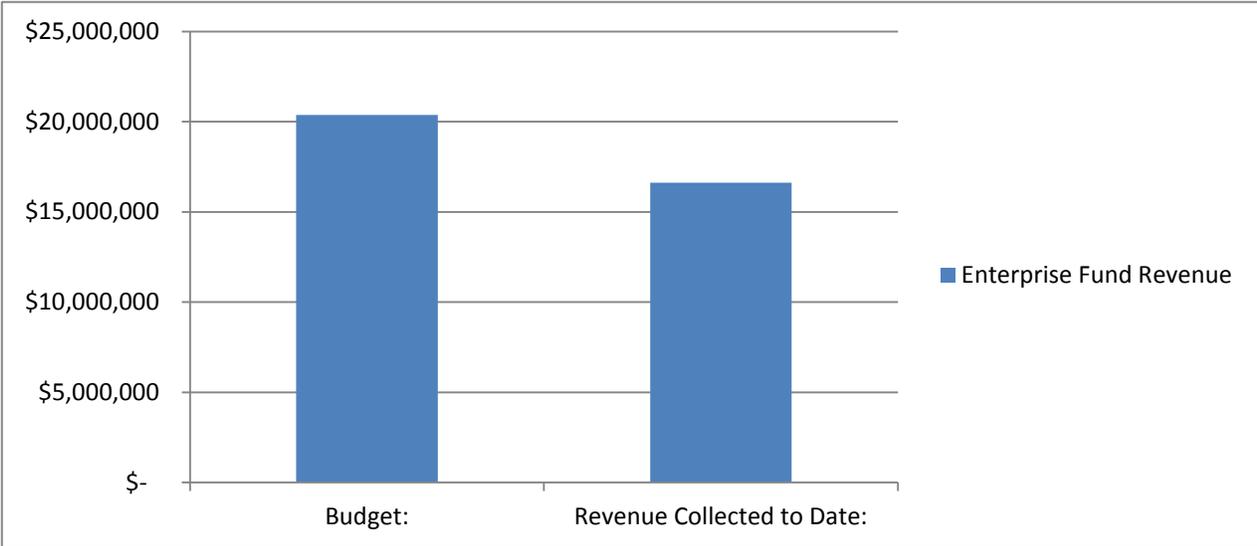
Sub 32/33 - Planning/Zoning/Building: Code Enforcement budgeted for in Building but was changed to Planning - combined, both budgets together are at 75%.

Sub 41 - Streets/Parks/Recreation: Some paved road maintenance will be reclassified to capital.

ENTERPRISE FUNDS

Enterprise Fund Revenues

Budget:	\$ 20,379,500
Revenue Collected to Date:	\$ 16,613,101
Percent of Total Budget Collected:	82%
Percent of Year Completed:	75%



Revenue Analysis

	Budget	To Date	% Received	% Yr. Completed
Fund 51 - Water Fund	\$ 3,578,500	\$ 2,474,334	69%	75%
Fund 52 - Wastewater Fund	\$ 2,400,000	\$ 1,994,675	83%	75%
Fund 53 - Electrical Fund	\$ 8,765,000	\$ 7,499,890	86%	75%
Fund 55 - Gas Fund	\$ 4,401,000	\$ 3,703,734	84%	75%
Fund 57 - Solid Waste Fund	\$ 975,000	\$ 761,699	78%	75%
Fund 59 - Storm Water Fund	\$ 260,000	\$ 178,768	69%	75%

Fund 51 - Water Fund: Less shares sold from CWP than anticipated. Spring watering yet to come.

Fund 52 - Wastewater Fund:

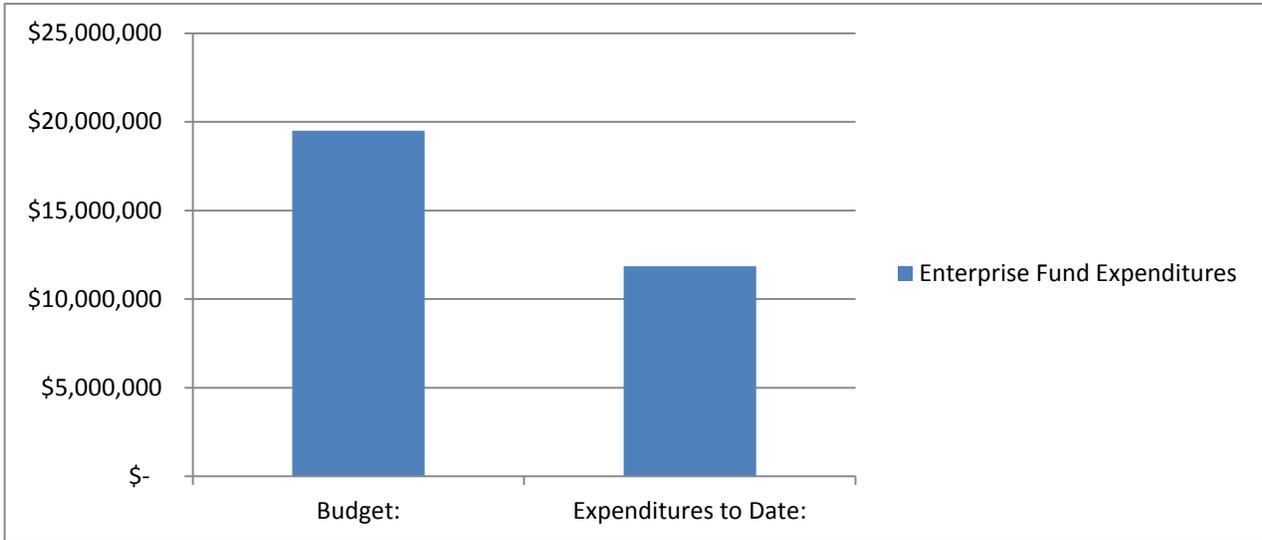
Fund 53 - Electrical Fund: Summer air conditioning bill revenue - will slow down during winter and spring months. Also increased in-house construction & connection fees.

Fund 55 - Gas Fund: Winter heating revenue received - will slow down in warmer months.

Fund 57/59 - Solid Waste/Storm Water Funds: Storm Water rate increase will increase this amt.

Enterprise Fund Expenditures

Budget:	\$ 19,501,268
Expenditures to Date:	\$ 11,854,384
Percent of Total Budget Expended:	61%
Percent of Year Completed:	75%



Expense Analysis

	Budget	To Date	% Expended	% Yr. Completed
Fund 51 - Water Fund	\$ 3,521,740	\$ 1,390,740	39%	75%
Fund 52 - Wastewater Fund	\$ 2,230,863	\$ 1,645,133	74%	75%
Fund 53 - Electrical Fund	\$ 8,647,008	\$ 5,145,708	60%	75%
Fund 55 - Gas Fund	\$ 4,050,736	\$ 2,915,148	72%	75%
Fund 57 - Solid Waste Fund	\$ 802,116	\$ 561,408	70%	75%
Fund 59 - Storm Water Fund	\$ 248,805	\$ 196,246	79%	75%

Fund 51 - Water Fund: CWP Shares for FY 2014 not purchased but budgeted for.

Fund 52 - Wastewater Fund: Debt service obligations for FY14 are paid.

Fund 53 - Electrical Fund: Bucket Truck not yet purchased; lag time in electrical purchases.

Fund 55 - Gas Fund:

Fund 57/59 - Solid Waste/Storm Water Funds: Lag in Ace Disposal invoices.

IMPACT FEE FUNDS

Fund Balance - current total balance in the fund.

Restricted Balance - current amount that is restricted to paying reimbursement agreements, etc.

Available Balance - amount in the fund that is available for projects in the Capital Facilities plan.

Projected Available Balance - amount projected through building trends to be available for projects in the Capital Facilities Plan by the end of the current fiscal year.

FUND NAME	Fund Balance as of 3/26/14	Restricted Balance as of 3/26/14	Available Balance as of 3/26/14	Projected Available Balance by 6/30/14
Water Impact Fee Fund*	\$1,641,096	\$1,185,123	\$455,973	\$674,841
Wastewater Impact Fee Fund**	\$483,930	\$18,971	\$464,959	\$519,638
Electric Impact Fee Fund	\$1,711,141	\$43,303	\$1,667,838	\$1,772,912
Parks/Trails Impact Fee Fund	\$271,444	\$190,069	\$81,375	\$100,726
Public Safety Impact Fee Fund~	\$161,627	\$147,432	\$14,195	\$21,745
Stormwater Impact Fee Fund	\$119,061	\$174	\$118,887	\$163,826
Transportation Impact Fee Fund^	\$274,967	\$119,153	\$155,814	\$225,743

*1,136,296 of the restricted amount is related to the Cedar Valley Impact Fee and will be transferred to fund 51 for the settlement.

**Includes \$193,000 for bond payment service.

~The restricted amount represents the approximate reimbursement to the General Fund for Fire Station #2 that will be done in Fiscal Year 2014.

^All amounts shown for the Transportation Impact Fee Fund include a reimbursement from the General Fund for Fiscal Year 2013 Road Bond payment.

EAGLE MOUNTAIN DEBT SERVICE SCHEDULE

BALANCES

GOVERNMENTAL ACTIVITIES

Bal. End of FY	Road Bond	ST 2013 (2000-1)	SA 2013	TOTALS
2014	146,000	2,207,000	-	2,353,000
2015	-	2,207,000	2,360,000	4,567,000
2016		2,207,000	2,265,000	4,472,000
2017		1,892,000	2,170,000	4,062,000
2018		1,358,000	2,070,000	3,428,000
2019		691,000	1,970,000	2,661,000
2020		-	1,865,000	1,865,000
2021			1,755,000	1,755,000
2022			1,645,000	1,645,000
2023			1,530,000	1,530,000
2024			1,410,000	1,410,000
2025			1,285,000	1,285,000
2026			1,150,000	1,150,000
2027			1,010,000	1,010,000
2028			860,000	860,000
2029			705,000	705,000
2030			540,000	540,000
2031			370,000	370,000
2032			190,000	190,000
2033			-	-
2034				

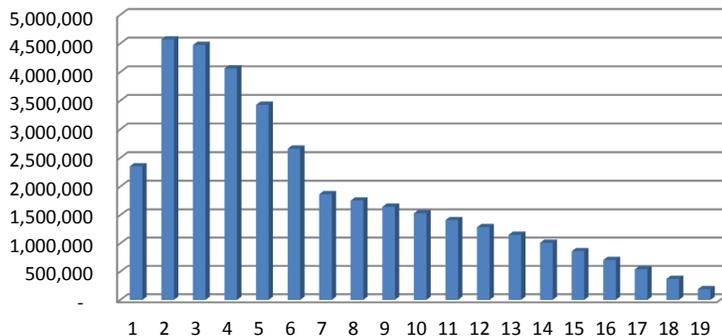
Call Date: Anytime 2/1/2011

BUSINESS-TYPE ACTIVITIES

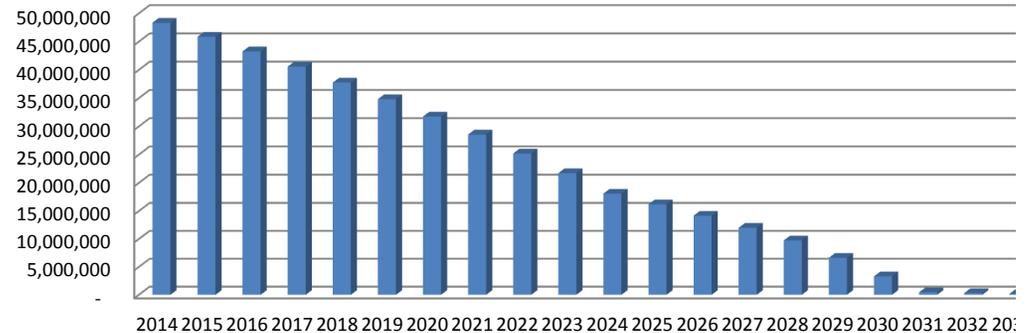
Bal. End of FY	'13 ('05) G&E Bond	'07 W&S Bond	'08 DEQ Bond	'11 G&E Bond	'13 W&S Bond
2014	16,143,000	14,225,000	6,235,000	9,195,000	2,536,000
2015	14,814,000	13,865,000	6,078,000	8,665,000	2,436,000
2016	13,403,000	13,465,000	5,895,000	8,180,000	2,334,000
2017	11,908,000	13,020,000	5,680,000	7,735,000	2,231,000
2018	10,321,000	12,545,000	5,435,000	7,330,000	2,126,000
2019	8,695,000	12,035,000	5,160,000	6,910,000	2,019,000
2020	7,033,000	11,495,000	4,850,000	6,465,000	1,910,000
2021	5,336,000	10,920,000	4,510,000	5,995,000	1,799,000
2022	3,597,000	10,290,000	4,135,000	5,505,000	1,686,000
2023	1,819,000	9,615,000	3,725,000	5,000,000	1,572,000
2024	-	8,895,000	3,295,000	4,475,000	1,441,000
2025		8,130,000	2,835,000	3,935,000	1,308,000
2026		7,305,000	2,340,000	3,360,000	1,172,000
2027		6,425,000	1,810,000	2,745,000	1,034,000
2028		5,500,000	1,250,000	2,100,000	894,000
2029		3,805,000	650,000	1,430,000	751,000
2030		1,975,000	-	730,000	606,000
2031		-	-	-	458,000
2032					308,000
2033					155,000
2034					-

Call Date: 6/1/2022 11/15/2017 Anytime 6/1/2021

Governmental Activities Debt Balances by Year



Business-Type Activities Debt Balances by Year



Notes: The 2013 Sales Tax Bond (ST 2013) and the SA 2013 are both paid by landowners within the boundary of the SA's rather than the city as an entity.

PRINCIPAL PAYMENTS

GOVERNMENTAL ACTIVITIES

Principal Pmt. (FY)	Road Bond	ST 2013 (2000-1)	SA 2013	TOTALS
2014	139,000	-	-	139,000
2015	146,000	-	40,000	186,000
2016		-	95,000	95,000
2017		315,000	95,000	410,000
2018		534,000	100,000	634,000
2019		667,000	100,000	767,000
2020		691,000	105,000	796,000
2021			110,000	110,000
2022			110,000	110,000
2023			115,000	115,000
2024			120,000	120,000
2025			125,000	125,000
2026			135,000	135,000
2027			140,000	140,000
2028			150,000	150,000
2029			155,000	155,000
2030			165,000	165,000
2031			170,000	170,000
2032			180,000	180,000
2033			190,000	190,000
2034				

BUSINESS-TYPE ACTIVITIES

Principal Pmt. (FY)	'13 ('05) G&E Bond	'07 W&S Bond	'08 DEQ Bond	'11 G&E Bond	'13 W&S Bond
2014	1,359,000	320,000	130,000	565,000	-
2015	1,329,000	335,000	157,000	530,000	100,000
2016	1,411,000	360,000	183,000	485,000	102,000
2017	1,495,000	400,000	215,000	445,000	103,000
2018	1,587,000	445,000	245,000	405,000	105,000
2019	1,626,000	475,000	280,000	420,000	107,000
2020	1,662,000	510,000	310,000	445,000	109,000
2021	1,697,000	540,000	340,000	470,000	111,000
2022	1,739,000	575,000	375,000	490,000	113,000
2023	1,778,000	630,000	405,000	505,000	114,000
2024	1,819,000	675,000	430,000	525,000	131,000
2025		720,000	465,000	540,000	133,000
2026		765,000	495,000	575,000	136,000
2027		825,000	525,000	615,000	138,000
2028		880,000	560,000	645,000	140,000
2029		925,000	600,000	670,000	143,000
2030		1,695,000	650,000	700,000	145,000
2031		1,830,000		730,000	148,000
2032		1,975,000			150,000
2033					153,000
2034					155,000

INTEREST PAYMENTS

GOVERNMENTAL ACTIVITIES

Interest Pmt. (FY)	Road Bond	ST 2013 (2000-1)	SA 2013	TOTALS
2014	9,635	16,348	-	25,983
2015	3,285	43,919	159,315	206,519
2016		43,919	103,669	147,588
2017		43,919	101,769	145,688
2018		37,651	98,919	136,570
2019		27,024	95,919	122,943
2020		13,751	92,919	106,670
2021			89,769	89,769
2022			86,194	86,194

BUSINESS-TYPE ACTIVITIES

Interest Pmt. (FY)	'13 ('05) G&E Bond	'07 W&S Bond	'08 DEQ Bond	'11 G&E Bond	'13 W&S Bond
2014	290,728	717,713	63,650	393,944	19,386
2015	371,289	703,794	62,350	382,644	43,619
2016	340,722	689,475	60,780	370,719	41,899
2017	308,269	674,275	58,950	359,806	40,145
2018	273,884	655,150	56,800	342,006	38,373
2019	237,383	632,150	54,350	325,806	36,567
2020	199,985	607,525	51,600	304,806	34,727
2021	161,759	581,275	48,500	282,556	32,852
2022	122,728	553,400	45,100	259,056	30,943

2023			82,344	82,344
2024			78,175	78,175
2025			71,875	71,875
2026			65,313	65,313
2027			58,225	58,225
2028			50,875	50,875
2029			43,000	43,000
2030			35,250	35,250
2031			27,000	27,000
2032			18,500	18,500
2033			9,500	9,500
2034				

2023	82,731	524,063	41,350	241,906	28,999
2024	41,837	493,069	37,250	223,600	27,038
2025		459,938	32,950	197,350	24,785
2026		424,669	28,350	175,750	22,498
2027		385,875	23,400	147,000	20,158
2028		343,250	18,100	120,094	17,785
2029		298,125	12,500	91,875	15,377
2030		232,625	6,500	62,563	12,917
2031		144,500		31,938	10,423
2032		49,375			7,878
2033					5,298
2034					2,666

TOTAL PAYMENTS

GOVERNMENTAL ACTIVITIES

Total Pmt. (FY)	Road Bond	AA 2013 (2000-1)	SA 2013	TOTALS
2014	148,635	16,348	-	164,983
2015	149,285	43,919	199,315	392,519
2016		43,919	198,669	242,588
2017		358,919	196,769	555,688
2018		571,651	198,919	770,570
2019		694,024	195,919	889,943
2020		704,751	197,919	902,670
2021			199,769	199,769
2022			196,194	196,194
2023			197,344	197,344
2024			198,175	198,175
2025			196,875	196,875
2026			200,313	200,313
2027			198,225	198,225
2028			200,875	200,875
2029			198,000	198,000
2030			200,250	200,250
2031			197,000	197,000
2032			198,500	198,500
2033			199,500	199,500
2034				

BUSINESS-TYPE ACTIVITIES

Total Pmt. (FY)	'13 ('05) G&E Bond	'07 W&S Bond	'08 DEQ Bond	'11 G&E Bond	'13 W&S Bond
2014	1,649,728	1,037,713	193,650	958,944	19,386
2015	1,700,289	1,038,794	219,350	912,644	143,619
2016	1,751,722	1,049,475	243,780	855,719	143,899
2017	1,803,269	1,074,275	273,950	804,806	143,145
2018	1,860,884	1,100,150	301,800	747,006	143,373
2019	1,863,383	1,107,150	334,350	745,806	143,567
2020	1,861,985	1,117,525	361,600	749,806	143,727
2021	1,858,759	1,121,275	388,500	752,556	143,852
2022	1,861,728	1,128,400	420,100	749,056	143,943
2023	1,860,731	1,154,063	446,350	746,906	142,999
2024	1,860,837	1,168,069	467,250	748,600	158,038
2025		1,179,938	497,950	737,350	157,785
2026		1,189,669	523,350	750,750	158,498
2027		1,210,875	548,400	762,000	158,158
2028		1,223,250	578,100	765,094	157,785
2029		1,223,125	612,500	761,875	158,377
2030		1,927,625	656,500	762,563	157,917
2031		1,974,500		761,938	158,423
2032					157,878
2033					158,298
2034					157,666



TOTALS
2,374,000
2,451,000
2,541,000
2,658,000
2,787,000
2,908,000
3,036,000
3,158,000
3,292,000
3,432,000
3,580,000
1,858,000
1,971,000
2,103,000
2,225,000
2,338,000
3,190,000
2,708,000
2,125,000
153,000
155,000



TOTALS
1,485,420
1,563,696
1,503,595
1,441,445
1,366,213
1,286,256
1,198,643
1,106,942
1,011,227

919,049
822,794
715,023
651,266
576,433
499,229
417,877
314,605
186,861
57,253
5,298
2,666



TOTALS
3,840,034
3,871,077
3,900,696
3,956,300
4,009,840
4,050,689
4,090,916
4,121,090
4,159,284
4,208,050
4,244,756
2,415,238
2,463,769
2,521,275
2,566,444
2,597,500
3,346,688
2,736,438
157,878
158,298
157,666