

NOTICE AND AGENDA
SANTA CLARA CITY COUNCIL MEETING
Wednesday, April 26, 2023
Time: 5:00 p.m.

AGENDA

Public Notice is hereby given that the Santa Clara City Council will hold a Regular Meeting in the City Council Chambers, located at 2603 Santa Clara Drive, Santa Clara, Utah on Wednesday April 26, 2023 commencing at 5:00 PM. The meeting will be broadcast via You Tube linked on our website at <https://sccity.org/meetings>.

1. Call to Order:

2. Opening Ceremony:

- Pledge of Allegiance: Leina Mathis
- Opening Comments: Michael Kruse, Unitarian Universalist Fellowship, St. George Interfaith Council.

3. General Citizen Public Comment:

4. Conflicts and Disclosures:

5. Working Agenda:

A. Public Hearing(s) 5:00 p.m.

- 1. Public Hearing to receive public input regarding a Partial Street Vacation of Victors Street.

B. Consent Agenda:

1. Approval of Claims and Minutes:

- April 12, 2023, Regular City Council Meeting
- Claims through April 26, 2023

2. Calendar of Events

- May 10, 2023, Regular City Council Meeting
- May 17, 2023, City Council Work Meeting
- May 24, 2023, Regular City Council Meeting

C. General Business:

- 1. Discussion and action to consider approval of Resolution 2023-07R proclaiming April 2023 as Child Abuse Prevention Month. Presented by Kristy Pike of Washington City Children's Justice Center.
- 2. Discussion and action to consider a Donation to Snow Canyon High School Grad Night. Presented by Brock Jacobsen, City Manager.
- 3. Discussion and action to approve the Fraud Assessment Risk Questionnaire Required by the State Auditor's Office. Presented by Debbie Bannon, Finance Officer.

4. Discussion and action on Ordinance #2023-10 granting a petition to vacate certain portions of Victors Street, south of Santa Clara Drive. Presented by Jim McNulty, City Planner.
5. Discussion and action for abandonment of an unused sewer easement in the proposed Santa Clara Valley Homes project at the end of Victors Street. Presented by Matt Ence, City Attorney.
6. Discussion and action to consider approval of Preliminary and Final Plat for Silverado Commercial Subdivision. The property is located at the intersection of Pioneer Parkway and the future extension of Red Mountain Drive. Julian Stemmer, applicant. Presented by Jim McNulty, City Planner.
7. Discussion and action to consider Final Plat approval for Santa Clara Valley Homes. The property is located at approximately 1402 Victors Street. Jim Ence, Applicant. Presented by Jim McNulty, City Planner.

6. Reports:

- a. Mayor / Council Reports

7. Executive Session

8. Adjournment

Note: In compliance with the Americans with Disabilities Act, individuals needing special accommodation during this meeting should notify the city no later than 24 hours in advance of the meeting by calling 435-673-6712. In accordance with State Statute and Council Policy, one or more Council Members may be connected via speakerphone or may by two-thirds vote to go into a closed meeting.

Zoom Meeting Participants: Participants on the Zoom call are limited to City Staff, Council Members, and applicants on the agenda. Email calendar invitations will be sent out in advance of the meeting. Instructions for each meeting will include the meeting ID, and password to join. When joining the meeting your screen name must show your full name. Each applicant will be accepted into the meeting when their item is up for discussion. Please contact Chris Shelley at (435)673-6712 Ext. 203 with any questions regarding public meetings..

The undersigned, duly appointed City Recorder does hereby certify that the above notice and agenda was posted within the Santa Clara City limits on this 20 day of April 2023 at Santa Clara City Hall, on the City Hall Notice Board, at the Santa Clara Post Office, on the Utah State Public Notice Website, and on the City Website at <http://www.sccity.org>. The 2021 meeting schedule was also provided to the Spectrum on January 3, 2023.

Chris Shelley – City Recorder

**City of Santa Clara
Check Register
Checking 1889 - 04/19/2023 to 04/19/2023**

Payee Name	Reference Number	Invoice Number	Invoice Ledger Date	Payment Date	Amount	Description	Ledger Account	Activity Code
CHILD SUPPORT SERVICES	70355	041923-873789	04/18/2023	04/19/2023	206.77	CASEY-C000873789 PAY PERIOD 04/19/2023	102595-000 - GARNISMENTS PAYABL	
					<u>\$206.77</u>			
GP INNOVATIVE SOLUTIONS, LLC	70356	113732	04/11/2023	04/19/2023	253.00	POSTAGE METER INK CARTRIDGE/SEALER	104130-240 - OFFICE SUPPLIES	
					<u>\$253.00</u>			
KARTCHNER, LANDON SPENCER	70357	41323-BAIL REF	04/13/2023	04/19/2023	125.00	BAIL REFUND CASE 225201525	102560-000 - BAIL & RESTITUTION	
					<u>\$125.00</u>			
MARY JO HAFEN	70358	336520	04/12/2023	04/19/2023	165.00	BANQUET ROOM Coordinator MAR 2023	104130-370 - PROFESSIONAL SERVI	
					<u>\$165.00</u>			
MONICA BRACKEN	70359	41223-FAIR PAR	04/14/2023	04/19/2023	72.06	Reimburse Fair Parade Expenses/candy	104610-023 - MISS SANTA CLARA PA	
					<u>\$72.06</u>			
POSTMASTER	70360	41823-POSTAGE	04/18/2023	04/19/2023	50.00	DEPOSIT POSTAGE FORWARDED MAIL	104130-245 - POSTAGE	
					<u>\$50.00</u>			
SANDEZ, ULISES	70361	41223-BAIL REF	04/13/2023	04/19/2023	1,150.00	BAIL REFUND CASE 135201333	102560-000 - BAIL & RESTITUTION	
					<u>\$1,150.00</u>			
TC SMITH, LLC	70362	41823-RETAININ	04/18/2023	04/19/2023	403,532.18	HILLS @SC PH 3 RETAINING WALL BOND REL	102585-000 - SUBDIVISION SECURIT	
					<u>\$403,532.18</u>			
UPPER CASE PRINTING INK.	70363	303	04/07/2023	04/19/2023	199.02	BACK OF BILL PRINTING	104130-370 - PROFESSIONAL SERVI	
					<u>\$199.02</u>			
UTAH DEPT WORKFORCE SERVIC	70364	APRIL 01-23	03/01/2023	04/19/2023	1,776.95	R WILDE UNEMPLOYMENT INS APRIL 1, 2023	104230-110 - SALARIES & WAGES	
					<u>\$1,776.95</u>			
WASH. COUNTY WATER CONSER	70365	53070	04/01/2023	04/19/2023	4,509.02	REG.PIPELINE BOND PAYMENT APRIL 2023	515110-822 - DEBT PAYMENT TO WA	
WASH. COUNTY WATER CONSER	70365	53088	03/31/2023	04/19/2023	5,956.96	REGIONAL WATER SURCHARGE-APR-2023	513714-000 - REGIONAL WATER SUR	
					<u>\$10,465.98</u>			
					<u>\$10,465.98</u>			
WASHINGTON COUNTY SOLID WA	70366	144149	03/31/2023	04/19/2023	12,215.35	2855 UNITS-GARBAGE @ 12.83 & 2053 BLUCAN	103445-000 - RECYCLING CHARGE	
WASHINGTON COUNTY SOLID WA	70366	144149	03/31/2023	04/19/2023	36,629.65	2855 UNITS-GARBAGE @ 12.83 & 2053 BLUCAN	104130-311 - SOLID WASTE DISPOS	
					<u>\$48,845.00</u>			
					<u>\$48,845.00</u>			
XEROX FINANCIAL SERVICES	EFT	4065783	04/19/2023	04/19/2023	96.01	Xerox Lease Payment	515110-250 - OPERATING SUPPLIES	
XEROX FINANCIAL SERVICES	EFT	4065783	04/19/2023	04/19/2023	<u>96.01</u>	Xerox Lease Payment	535310-250 - OPERATING SUPPLIES	
					<u>\$192.02</u>			
					<u>\$192.02</u>			
					<u>\$467,032.98</u>			

**SANTA CLARA CITY COUNCIL MEETING
WEDNESDAY, APRIL 12, 2023
MINUTES**

THE CITY COUNCIL FOR THE CITY OF SANTA CLARA, WASHINGTON COUNTY, UTAH, met for a Regular Meeting on Wednesday, March 8, 2023, at 5:30 p.m. in the City Council Chambers of the Town Hall at 2603 Santa Clara Drive, Santa Clara, Utah. Notice of the time, place, and agenda of the meeting was provided to The Spectrum and to each member of the governing body by emailing a copy of the Notice and Agenda to *The Spectrum* and also, along with any packet information, to the Mayor and each Council Member, at least two days before the meeting. The meeting will be broadcast via YouTube linked on our website at <https://sccity.org/meetings>.

Present: Mayor Rick Rosenberg

Council Members:
Jarrett Waite
Ben Shakespeare
Christa Hinton
Leina Mathis
Denny Drake

City Manager: Brock Jacobsen

City Recorder: Chris Shelley

Others Present:
Dustin Mouritsen, Public Works Director
Ryan VonCannon, Parks, and Trails Director
Gary Hall, Power Director
Andrew Parker, Fire Chief
Matt Ence, City Attorney
Jim McNulty, City Planner
Cody Mitchell, Building Official
Bob Flowers, Police Chief

1. Call to Order.

Mayor Rick Rosenberg called the meeting to order at 5:30 p.m.

2. Opening Ceremony.

A. Pledge of Allegiance: Ben Shakespeare.

B. Opening Comments (Invocation): Father Tristan Dillon from the Saint George Catholic Church, Saint George Interfaith Council.

3. General Citizen Public Comment.

Devin Ferguson gave his address as 3790 Nicholas Drive and asked that there be future discussion related to the Gubler Park lighting schedule. He noted that the lights went on at 6:00 a.m. and did not turn off until 11:00 p.m. He stated that it is a waste of City money to keep the lights on when the area is not being used. It is also a nuisance for the neighbors. Mr. Ferguson suggested that maintenance lighting be established so that it will not be as impactful on the neighbors.

Michael Lee gave his address as 2312 Jacob Drive and reported that he works as the Risk Manager for the Washington County School District. At a recent Administrative Meeting, there was discussion regarding an inquiry made by the City of Santa Clara. The City wanted to discuss the property adjacent to Gubler Park for a possible purchase. The district was not inclined to sell the property for two reasons. First, there is no other land on that side of the City and the second was due to the level of growth taking place. Mr. Lee informed the Council that part of his pertains to working with Safe Routes to School. As Santa Clara City did its long-term planning, he asked that the public-school land and the traffic generated be considered.

Justin Caplin gave his address as 1454 Boys Pond Circle and shared comments related to the Justice Court. There was an item on the agenda that would extend an offer to Jake Graff. Mr. Caplin looked at the applicants and found that all were qualified. He has worked with Mr. Graff on several cases and although they did not always see eye-to-eye, he felt he was a good choice.

Adam Ellis gave his address as 2288 Julie Drive. He noted that the term “City Staff” was used in the notes and documents related to proposed developments and zone changes. He wondered who that term described. In some of the meetings he attended, the documents mentioned that a developer who worked with City Staff or City Staff shared a recommendation. He asked for additional information about who is included and their role in decision-making. Additionally, he wanted to know if there were opportunities for community input on projects and proposals before there are discussions at a City Staff level. Mayor Rosenberg reported that City Staff includes the Technical Review Committee (“TRC”), which is where new applications for Building Permits or land development projects start. The Committee meets every Thursday morning, and those meetings include the City Manager, department heads, and so on. He monitors the meetings when possible. The TRC takes the applicant through various processes. All applications are reviewed to ensure that they are complete before moving forward.

Mr. Ellis noted that City Staff spoke to developers and applicants before an item was discussed at a public hearing. He wanted to know if it was possible to share community input beforehand. City Attorney, Matt Ence, explained that TRC Meetings and internal discussions are not required to be public meetings under State Law. The City generally follows a process that is defined by the Municipal Land Use Development and Management Act (“LUDMA”) and City Ordinances. When someone files a land use application on a piece of property that they own, has a contract to purchase, or have rights to, under State Law there is a vested rights doctrine. It means that once someone applies for a certain land use approval, the City has a legal obligation to take them through the process established by law and consider the application under all of the currently applicable

Ordinances and State Laws. That is the primary responsibility of City Staff and is done before public bodies such as the Planning Commission and City Council who can consider the application.

Under those laws, there is no public feedback component until the public meetings take place. The public does have opportunities to request information from the City through a Government Records Access and Management Act (“GRAMA”) request. If there is a particular application or piece of property that is of interest, it is possible to file a GRAMA request related to that. There is a page on the City’s website where residents can make that request. Mr. Ence reiterated that there are ways to obtain information about pending applications but that needs to be done through the appropriate channels. Mr. Ellis believed there should be more transparency beforehand so it would be easier for residents to respond to various applications.

Tom Pritt gave his address as 3918 Madison Avenue and shared comments related to zoning changes specifically related to Item 5 under the General Business portion of the City Council Meeting agenda. He had concerns about the area and asked that the rezone be denied.

Dahl Bond asked the City Council and Mayor to consider senior citizens when making changes in the City. It is important to consider noise, pollution, traffic, and costs. Mr. Bond also asked the City to consider residents who are handicapped and cannot walk along busy streets quickly or need wheelchairs. He felt it was important to consider everyone when making decisions.

There were no further citizen comments. The comment period was closed.

4. Conflicts and Disclosures.

Mayor Rosenberg disclosed that he had a conflict with Items 3 and 4 listed under the General Business portion of the City Council Meeting agenda. He explained that his wife is a Den Leader with Cub Scout Pack 407 and the firm he is employed by is connected to the rezone application for Item 4. There were no additional conflicts or disclosures shared by the Council.

5. Working Agenda.

A. Public Hearing.

i. Consent Agenda.

a. Approval of Claims and Minutes:

- **March 22, 2023, Regular City Council Meeting Minutes.**
- **Claims Through April 12, 2023.**

Council Member Hinton moved to APPROVE the Consent Agenda, as presented. Council Member Drake seconded the motion. Vote on motion: Council Member Shakespeare-Aye; Council Member Mathis-Aye; Council Member Hinton-Aye; Council Member Drake-Aye; Council Member Waite-Aye. The motion passed unanimously.

ii. **Calendar of Events:**

- **April 19, 2023, City Council Work Meeting.**
- **April 26, 2023, Regular City Council Meeting.**

Mayor Rosenberg reviewed the Calendar of Events listed.

B. General Business.

i. **Introduction of Santa Clara City Royalty and Update. Presented by Monica Bracken.**

Monica Bracken gave her address as 758 Country Place Court. She reported that the Santa Clara City Royalty will soon be busy with the County Fair and Parade. Miss Santa Clara, Anna Steel introduced herself as a Senior in high school. 1st Attendant, Gwendolyn Dooley, is a Senior. 2nd Attendant, Allie Souza, is a freshman in high school. Mayor Rosenberg appreciated the formal introduction to the Council. Ms. Bracken reported that the pageant will take place on June 15, 2023. The Santa Clara City Royalty has done a lot during the year, and everyone was very involved. There was discussion regarding the fair schedule. Ms. Bracken reported that there will be a rodeo. The Parade will take place on Tuesday. Santa Clara City Royalty needs to be present for the Ribbon Cutting. She noted that there will be a Princess Showcase on Thursday evening. Santa Clara Royalty will also assist with the concert on Friday night and Mses. Steel, Dooley, and Souza will be busy.

ii. **Discussion and Action Regarding Selection of New Judge.**

City Manager, Brock Jacobsen, reported that approximately 10 months ago, the Utah Administrative Office of the Courts conducted a search for a New Justice Court Judge. The 12 applications submitted were provided to a committee and narrowed down to six applicants. Six applicants were interviewed and narrowed down to four. Those applicants were submitted to the Mayor for consideration. The Mayor made a decision, and an offer was extended to Jake Graff. Mr. Graff currently serves as the Justice Court Judge for the cities of Washington and Hildale. Mr. Graff accepted the offer to become the New Judge of the Santa Clara Justice Court. The next step in the process was for the City Council to approve the appointment. Following approval from the Santa Clara City Council, Mr. Graff would need to take the Oath of Office.

Mayor Rosenberg reported that Mr. Graff stood out from the other applicants because of the recommendations made by the committee. He is a sitting judge that has served two communities in Southern Utah. After the interview, he felt that it was an appropriate selection. Mr. Graff is currently the substitute judge for the Santa Clara Justice Court and is familiar with the clerks and facilities. Mayor Rosenberg was excited that Mr. Graff had accepted the position.

Council Member Drake moved to APPROVE the Appointment of Jake Graff as the Santa Clara Justice Court Judge. Council Member White seconded the motion. Vote on motion: Council Member Shakespeare-Aye; Council Member Mathis-Aye; Council Member Hinton-

Aye; Council Member Drake-Aye; Council Member Waite-Aye. The motion passed unanimously.

iii. Discussion and Action Approving a Donation to the Cub Scout Pack 407. Presented by Brock Jacobsen, City Manager.

Mayor Rosenberg reported that the City has been sponsoring Cub Scout Pack 407 for the last few years. The Cub Scout Pack serves the communities of Santa Clara and Ivins. There was a request for \$500 to assist with the program. A letter was included in the packet submitted by Lesley Muir, the Cub Committee Chair from Pack 407 that contained additional information. The City budgeted funds for donations and this request was within the budget.

Council Member White moved to APPROVE a Donation to Cub Scout Pack 407. Council Member Hinton seconded the motion. Vote on motion: Council Member Shakespeare-Aye; Council Member Mathis-Aye; Council Member Hinton-Aye; Council Member Drake-Aye; Council Member Waite-Aye. The motion passed unanimously.

iv. Discussion and Action to Consider Rezoning of Property at Approximately 2276 Arrowhead Trail (Parcel SC-6-2-22-4148, SC-9-A-12, and SC-9-A-18, Described as 1.48 acres). Split Rock Construction is Proposing to Rezone the Property from the R-1-10 Single-Family Residential Zone, and Planned Development Commercial, PDC Zone, to R-1-6 Single-Family Residential Zone. The Rezoning is Part of the Process to Allow for a Proposed Single-Family Residential Subdivision Presented by Jim McNulty, City Planner.

City Planner, Jim McNulty shared the Concept Plan with those present. He reported that Split Rock Construction requested a rezone for 1.48-acre property located at 2276 Arrowhead Trail (Parcels #SC-6-2-22-4148, #SC-9-A-12, and #SC-9-A-18). The proposal is to rezone the subject property from R-1-10 Single-Family Residential and Planned Development Commercial (“PDC”) to the R-1-6 Single-Family Zone. Mr. McNulty reminded the Council that the General Plan Amendment for the property was reviewed by the Planning Commission on February 23, 2023. The item was then approved by the City Council on March 8, 2023. This placed a Medium-Density Residential (“MDR”) land use designation on the property, which supported the proposed R-1-6 Single-Family Residential Zone. He noted that the property is an irregular shape and the R-1-6 Zone is a good solution for an infill project.

Notices were sent to all property owners within 300 feet of the subject property. In addition, the subject property was also posted with signs per State Code. No responses were received by City Staff prior to the public hearing with the Planning Commission or the current City Council Meeting. Mr. McNulty noted that the General Plan addressed MDR and referenced single-family structures and townhomes on small lots with a density range of three to 12 dwelling units per acre. The proposed rezone application would allow for single-family homes on lots of 6,000 square feet or greater. The proposed use of the property was encouraged by the General Plan.

With the consideration of a rezone, there were certain requirements in Chapter 17.18.090 of the City Code, which included Items A through H. The application met the criteria of those items. Mr. McNulty clarified that this was a new rezone application. Previously, the applicant petitioned the City for a General Plan Amendment and Rezoning to allow for mancave commercial units across the street from the single-family neighborhood. That was reviewed by the Planning Commission and the City Council with the application ultimately being denied.

City Staff and legal counsel discussed the proposed rezoning application and believed the proposed rezone was in harmony with the existing single-family neighborhood. Previously, it was recommended that the applicant consider developing the site as a small lot single-family subdivision, per the recently adopted R-1-6 Zone. The applicant had chosen to pursue that. Mr. McNulty reported that the application meets the Utah Code, Section 10-9a-205, and the noticing requirements. He noted that the Planning Commission held a public hearing on March 23, 2023, and forwarded a recommendation of approval to the City Council. Staff recommended that the City Council review the submitted rezoning application to determine whether the application was complete. If the application was determined to be complete, the recommendation was that the City Council consider the application, subject to the Conditions of Approval and Findings of Fact, included in the Staff Report.

Council Member White referenced the smaller lots and asked about the average size of the home. Mr. McNulty believed the homes would be slab on grade. A two-story home would be between 2,000 and 3,000 square feet. A rambler would be between 1,500 and 2,000 square feet. On the Concept Plan, a variety of lot sizes were shown. He had seen three car garages on R-1-6 lots, so that was a possibility if the home was designed to be a bit smaller. Mr. McNulty noted that the smaller lots would have a slightly smaller home with a two-car garage while the larger lots would have a two-story home with a three-car garage. The two flag lots were more than 10,000 square feet in size so there could be a few large homes on the site. He clarified that the Concept Plan was only conceptual in nature, and nothing was finalized. There was discussion about how the plan could potentially change in the future.

Mr. Ence pointed out that this particular zone change was different from the rezone that was next on the City Council Meeting agenda. The currently discussed zone change would move to R-1-6, which does not require a specific layout. The City Council would like to see a specific layout during the Preliminary Plat stage of the application. On the other hand, the next item on the agenda was different because of the request for a Planned Development Residential (“PDR”) Zone. There was a much more extensive Project Plan that needed to be included in that case. Council Member Shakespeare noted that this application deals with a split zone through the middle of the property.

Council Member Mathis moved to APPROVE the rezoning of property located at approximately 2276 Arrowhead Trail (Parcel SC-6-2-22-4148, SC-9-A-12, and SC-9-A-18, described as 1.48 acres) from the R-1-10 Single-Family Residential Zone and Planned Development Commercial, PDC Zone, to the R-1-6 Single-Family Residential Zone and APPROVE Ordinance 2023-09, subject to the following Conditions of Approval and Findings of Fact:

Conditions of Approval:

1. The proposed property Rezoning complies with Chapter 17.18.090 items below:
 - a. The proposed use is suitable in view of the zoning and development of adjacent and nearby properties.
 - b. The proposed use will not adversely affect the existing use or suitability of adjacent or nearby property.
 - c. There are substantial reasons why the property cannot or should not be used as currently zoned.
 - d. The proposed use will not cause excessive or burdensome use of public facilities or services, including, but not limited to streets, schools, water or sewer utilities, and police or fire protection.
 - e. The proposed use is compatible with the purpose and intent of the General Plan.
 - f. The proposed use is consistent with the purpose and intent of the proposed zoning district.
 - g. The proposed use is not supported by new or changing conditions anticipated by the General Plan; and
 - h. The proposed use does reflect a reasonable balance between the promotion of public health, safety, morality, or general welfare and the right to the unrestricted use of the property.
2. That the applicant be required to go through the Subdivision Review process (Preliminary Plat and Final Plat).

Findings of Fact:

1. That the Rezoning is compliant with the Santa Clara City General Plan, Section 3.4.1, Residential Land Uses (Medium Density Residential, MDR).
2. That the R-1-6 Single-Family Zone allows for homes on lots of 6,000 square feet or larger; and
3. The properties to the north are zoned PDC, properties to the south and west are zoned R-1-10, with the R-1-6 Zone being an appropriate transition in between those existing land uses.

Council Member Shakespeare seconded the motion. Vote on motion: Council Member Shakespeare-Aye; Council Member Mathis-Aye; Council Member Hinton-Aye; Council Member Drake-Aye; Council Member Waite-Aye. The motion passed unanimously.

v. **Discussion and Action to Consider a Proposed Rezoning of Property at 400 East/Patricia Drive and Pioneer Parkway (Parcels SC-SB-90-A-2 and SC-SB-90-A-4-B, Described as 18.09 acres). The Applicant, Clayton Leavitt is Proposing to Rezone the Property from R-1-10 Single-Family Residential to the PDR Zone to Allow for a Proposed Residential Project that would include Single-Family Homes, Multi-Family Townhomes, and Amenities. Presented by Jim McNulty, City Planner.**

Mr. McNulty reported that the applicant, Clayton Leavitt, with Oak Creek, requested to rezone property at 400 East/Patricia Drive and Pioneer Parkway (Parcels #SC-SB-90-A-2, and #SC-SB-90-A-4-B). The subject property is 18.09 acres in size. The applicant has been working with City Staff on the project for several months. The item was discussed at multiple TRC meetings. Additionally, there were some discussions during Work Meetings with the City Council last year. One of those Work Meetings took place on May 4, 2022, and another on June 1, 2022.

Mr. McNulty reported that a Project Plan is required for a petition to rezone the property to a PD Zone. In this case, the request was to rezone from the R-1-10 Single-Family Residential Zone to the PDR Zone. The PDR Zone requires that a lot of information be submitted to the City during the application process. He reported that the project needs to meet the criteria of the PDR Zone. Mr. McNulty shared the Project Plan Review Items list with those present, which included:

1. **Residential Unit Count:** The Project Plan includes a total of one hundred forty-four (144) units on 18.09 acres of property. This equates to a density of 7.96 units/acre. A total of 69 single-family lots/pad lots are proposed along with 75 multi-family townhomes units. The PDR Zone allows for a base density of 8 units/acre. The applicant is not requesting a density bonus for the project. The PDR Zone allows for a potential density bonus of up to 12 units per acre if certain measures are met, but the plan proposes 7.96 units per acre.
2. **Project Phasing Plan:** A Phasing Plan has been included for the overall project. A total of eight phases have been proposed including Phases 1A, 1B, 2, 3, 4, 5, 6, and 7. The Phasing Plan will be required as part of the Planned Development and PD Subdivision review process.

Phase 1A will front Patricia Drive and have 14 single-family lots. Lots 1 through 7 are approximately 8,000 square feet, with Lots 8 through 14 being 6,000 square foot lots. Phase 1B is on the interior and includes smaller pad lots with single-family detached. The pool and restroom facility will also be included in that phase. Phase 2 will include single-family pad lots and three pickleball courts. Phase 3 will include more of the single-family pad lot homes as well as Phase 4 to the south. Phase 5 will transition to the north and include multi-family townhome units with a

public street system. Phase 6 includes multi-family dwelling units and Phase 7 has multi-family townhomes. Some of those were proposed to back onto 400 East.

3. Building Design/Materials/Height/Setbacks: Chapter 17.68 requires a review of building design, building materials, building height, and building setbacks. The Project Plan includes both single-family homes and multi-family townhomes as follows:

- Single-Family Home Lots/Pad Lots. Both one-story and two-story traditional home designs are proposed for these single-family lots. Home sizes will range from 1,500 to 3,000 square feet. Four to five different models with varying elevations and materials, including multiple brick and stone options, along with stucco, and tile roof options. Rambler homes will be approximately 20' in height, with two-story homes being 27' in height. Lots 1 – 14 (traditional lots) will have a 20' front yard setback, with 8' side yards, and a rear yard of 10'. Lots (pad lots) 31 - 44 and 46 – 69 will have a front yard setback of 15' to living space, with 20' to the garage. The side yard setback will be 16' between each building, with a rear setback of 10'.
- Single-Family Pad Lot/Narrow Homes. The smaller/narrow pad lot single-family homes will include a two-story design. Homes sizes will range from 1,700 to 1,850 square feet. Four different models with varying elevations and materials, including multiple brick and stone options along with Hardie board, stucco, and tile roof options. The two-story homes will be approximately 25' to 27' in height. Lots 15 – 30, and 45, will have a front yard setback of 15' to living space, with 20' to the garage. The side yard setback will be 16' between each building, with a rear setback of 10'.
- One-Story Townhomes. These units include two bedrooms and two bathrooms homes with a one-car garage and two-car driveway. The proposed units would be approximately 985 to 1,100 square feet in size. A two-car driveway will be included in front of each unit. Two different color palettes with a variety of building materials including brick and stone, Hardie board, stucco, and tile roof options are proposed. The one-story townhomes will be approximately 22' in height. Units 70, 74, 75, 79, and 80 – 94 will have a front yard setback of 15' to living space, with 20' to the garage. The side yard setback between buildings will be 12' with a rear setback of 10'.
- Two-Story Townhomes. These units include 3 and 4 bedrooms and 2.5 baths with a two-car garage and two-car driveway. The proposed units will be 1,400 to 1,600 square feet in size. Two different color palettes with a variety of building materials including brick and stone, Hardie board, stucco, and tile roof options are proposed. The two-story townhomes will be approximately 27' in height. Units 95 – 126 will have a rear/front yard driveway depth of 20', with a side yard setback of 15' between buildings. The front yard will include a courtyard patio that fronts a green court area. Units 127 – 144 will have a rear

yard/front yard driveway depth of 20' along Tuscany Drive, with a side yard setback of 15' between buildings. The front yard for these units is approximately 20' to the face of the building; however, an 8' courtyard patio will be allowed in the setback area allowing for 12' from the back of the sidewalk to the courtyard.

Mr. McNulty reviewed the proposed elevations and various sample images with the Council. He noted that there are several different unit types proposed. In the Project Plan, the one-story townhomes are the buildings that back onto 400 East. He shared an example of the two-story townhomes, which include a front and rear elevation with a rear garage. On the ends, there are rambler-style units shown. He explained that different unit types were shown on the Project Plan. For instance, the area in yellow indicated the one-story townhomes. Buildings 75-79 and 70-74 were two-story townhomes with rambler units on the edges. He noted that the green color indicates other areas where two-story townhome styles are proposed. The Landscape Plan was shared with those present and information about open space and amenities were reviewed.

4. Open Space: Chapter 17.68 requires at least 30% of a project area to be in common open space. The Project Plan includes approximately 33.83% (6.12 acres) of open space being proposed for the overall project. The applicant will be required to work with City Staff during the PD Subdivision review for each project phase to verify these calculations.
5. Project Amenities: Chapter 17.68 requires project amenities including recreational facilities such as tennis courts, playground equipment, swimming pool, clubhouse, and other common amenities such as outdoor cooking/eating areas, gazebo, or gardens. The Project Plan, Phase 1B includes restrooms, a pool, a hot tub, and an outdoor seating (covered and uncovered) area for the community. Additional open space areas with gazebos and barbecues have been shown in Phase 4, Phase 6, and Phase 7. Phase 2 includes three (3) pickleball courts. A series of walking paths providing a connection for residents to these amenity areas has also been included in multiple project phases. The applicant will be required to work with City Staff during the PD Subdivision review for each project phase to verify the project amenities as per the Phasing Plan.
6. Public Trail Access: An 8' asphalt public trail along 400 East has been shown on the Project Plan. This trail is required as per the 2018 Trails Master Plan. This required trail will tie in with the existing section of trail along the 400 East frontage of the Tuscany project, which provides a connection to other trails in the area. This will be reviewed during the PD Subdivision review process.
7. Landscaping and Water Efficiency: Chapter 17.68 requires project landscaping and puts standards in place for the PD Zone. Section 17.68.050 discusses landscape design and water conservation principles. The final landscape and irrigation plans will be required to comply with City Ordinance #2022-05 (Water Efficient Landscaping and Conservation Standards). A secondary water connection will be required for outdoor water use. The applicant has provided a preliminary landscape

plan; however, a more thorough review with additional details (landscaping and irrigation) will be required during the PD Subdivision review process.

8. Public Road Cross-Section: The Project Plan includes a required 45' public road cross-section within the interior of the project. This includes 30' of asphalt, 2.5' of curb, and gutter on either side, with a 5' sidewalk on each side of the road allowing for good pedestrian access and movement. Additionally, improvements such as but not limited to curb and gutter, park strip, sidewalk, and trails will be required along Patricia Drive (50' public street), Pioneer Parkway (70' public street), and 400 East (66' public street). The applicant will be required to work with city staff and comply with all department recommendations during the PD Subdivision review process.
9. Private Driveway Cross-Sections: The Project plan includes two (2) private driveways at 26'. Each private driveway would provide access to two (2) single-family pad lots (Units 38-39, and 59-60). The applicant will be required to work with City Staff and comply with all department recommendations during the PD Subdivision review process.
10. Parking: The Project Plan includes a total of 281 parking spaces for the 75 multi-family townhome units. This equates to 3.75 parking spaces per unit. An additional 20 parking spaces have been provided adjacent to the project amenities in the center of the property. Chapter 17.32 requires two (2) parking spaces per unit, one covered and one uncovered. Each of the single-family lots/pad lots have been designed to include a two-car garage with a two-car driveway. It appears that sufficient parking has been provided for the project. The project parking will be reviewed during the PD Subdivision review process.
11. Project Utilities: Utilities (e.g., water, sewer, power, gas, etc.) are required for the project. A secondary water connection will be required for outdoor water use. The applicant will be required to work with city staff and comply with all department recommendations during Preliminary Subdivision Plat and Final Subdivision Plat review for each phase.
12. Soils Report: A Geotech Report (Subsurface Investigation) was done by Applied Geo-Tech and was submitted for the property. It appears that expansive clay was encountered in multiple site locations (north and south); however, the site is suitable to support residential slab-on-grade construction provided that the report recommendations are implemented during construction. The applicant will be required to work with City Staff during the PD Subdivision review for each project phase to determine compliance.
13. Traffic Study: A Traffic Impact Study (“TIS”) was done by Hales Engineering and submitted for the property. Two project accesses were assumed, which resulted in an acceptable level of service (“LOS”) at intersections; however, a third access was also considered on Patricia Drive. The third access would improve the internal circulation of the project. Since the report was submitted, the project has been

redesigned to include a row of single-family lots along Patricia Drive without access to the interior of the site. This was done to tie in with the existing single-family neighborhood in the immediate vicinity. Access will be gained off Pioneer Parkway and 400 East.

14. Project Narrative: The applicant has submitted a project narrative for your review and consideration. City Staff asked the applicant to update this item to match the Project Plan. The Commission will have questions for the applicant during the meeting.
15. Block Privacy Wall: A 6' solid block privacy wall will be required along Pioneer Parkway and 400 East. This item will be further reviewed during the PD Subdivision process.

Mr. McNulty reported that notices were sent to all property owners within 300 feet. Additionally, the property was posted with signs. Several phone calls and emails were received from members of the public. Those comments were forwarded to the Planning Commission prior to the Planning Commission public hearing. That hearing was well attended, and a copy of the Draft Planning Commission Meeting Minutes was included in the packet for Council review and consideration. 26 individuals spoke during the public hearing. As part of the packet, a petition submitted by residents was also included. The City Recorder verified the individuals and the addresses listed on that petition.

As for the General Plan, the designation in the subject property area is MDR. He shared a map from the General Plan and identified the subject property, which has an MDR Land Use Designation. The description and character objectives for MDR were, “townhomes, multi-unit buildings, and small lot single-family structures on small lots. Accessory dwelling units (“ADUs”) are encouraged. MDR neighborhoods have a tree-lined local street grid and interconnected pedestrian circulation systems, with density ranges from three to 12 dwellings per acre.” The proposed Project Plan/Rezone application included small lot single-family homes, townhomes, and amenities for residents. The proposed use of the property was encouraged by the General Plan.

For a rezone, per Chapter 17.18.090, there were several items for consideration, which were listed as A through H. City Staff review indicated that the criteria was met, with the exception of Item C. Mr. McNulty reported that Item C asked whether there were substantial reasons why the property could not or should not be used as currently zoned. He noted that the property was zoned R-1-10 and the applicant had decided to petition the City for a rezone to PDR rather than developing within the R-1-10 Zone. He noted that the applicant had a right to this request.

Mr. McNulty referenced Utah Code Section 10-9a-205. All of the requirements as far as noticing had been met. It was determined that all State Code requirements had also been met with the application. He reported that the Planning Commission held a public hearing on March 23, 2023. A motion was made to recommend approval to the City Council, but the vote on the motion ended in a 3-to-3 tie. No other substitute motion was made or voted on. As a result, no recommendation was provided by the Planning Commission on the application. City Staff recommended that the City Council review the submitted rezoning application and Project Plan to determine whether the

application was complete. If the application was determined to be complete, City Staff recommended that the City Council consider the application, subject to the Conditions of Approval and Findings of Fact outlined in the Staff Report. There were 14 conditions and three findings.

It was confirmed that there is a block wall on Pioneer Parkway and 400 East. On Patricia Drive, Council Member Shakespeare believed there would be traditional standard lots with sidewalks. Mr. McNulty shared the Project Plan. The lots shown on Patricia Drive are front-loaded, so there would not be a wall. The multi-family townhomes on Tuscany have driveways that front onto Tuscany. The front of the home and the outdoor patio face the interior. Council Member Shakespeare asked about the proximity to the school. He wanted to make sure there was pedestrian access around the entire property. Mr. McNulty confirmed that there was and reported that there would be curb, gutter, and sidewalks. He reported that there are three access points in between the townhome buildings themselves onto Tuscany but there is no direct access to Patricia Drive because there is a row of 14 single-family homes. He noted that access could tie into the walkway adjacent to 127, work around 15, and tie into Patricia Drive along that property line. Public streets with sidewalks on both sides were needed to create walkability.

Council Member Hinton asked about the setbacks on the interior for the driveways. Mr. McNulty explained that the typical pad lot and the narrow pad lot all have a front setback to the living area of 15 feet, with a driveway depth of 20 feet. The garage will be 20 feet and the living space will be 15 feet. This allows for a 20-foot driveway from the back of the sidewalk.

Mr. Ence explained that when there is a zone change application, it was considered an amendment to the Zoning Ordinances. Any kind of amendment to an Ordinance is a Legislative decision. That was a decision where the Legislative body of the City has broad discretion to make a decision about an application. During the decision-making process, the Council could take into consideration a broad spectrum of factors and considerations. This is especially true in this situation, where the existing zoning complied with the General Plan and the zoning being sought by the applicant also complied. It was a question of what the City Council believed was best for the City and how the various considerations would be weighed.

The applicant, Clayton Leavitt, gave his address as 2499 River Circle. He explained that the earliest concept for the property was to provide more affordable housing options to the neighborhood. After speaking with City Staff and members of the City Council, it was stressed that there need to be single-family homes in the Project Plan as well. Additionally, there need to be transitions in the density. He noted that City and resident feedback were considered, and some compromises were made. Like many residents, he had concerns about the multi-family to the north and building single-family next to it. He did not necessarily like to build single-family homes right next to multi-family homes and understood that it was important to have transitions in density. That was one of the main reasons that a comprehensively planned development community was needed. It would address the planned development project to the north, the planned development project to the south, and the single-family development to the east. Even though the single-family that exists to the west is in Ivins, it needs to be considered as well with the application.

Mr. Leavitt explained that the Project Plan has a lot of diversity, which is important for the community and the neighborhood. A buffer was created to the east and the south. There had been

discussions with some residents in Ivins and there were early concerns about the height. Those residents did not want their views to be jeopardized and wanted to see single-family. He believed a good compromise was to do single-level homes in that area. There had been a lot of discussions with residents and the intention was to be sensitive to their concerns about the existing neighborhoods. At one point, some of the townhomes were designed to face 400 East but the decision was made to match what is across the street and place a wall across 400 East and along Pioneer Parkway. The townhomes were designed with courtyards so there would be a strong sense of community. The intention was to have nice amenities within the development.

Mr. Leavitt noted that in the northeast there is a detention area. He hoped the area would become smaller to allow for more open space and an additional park. It is approximately one-quarter acre that was not counted in the total open space calculation. There is a lot of open space planned within the development, which is important for the area. In addition, there are smaller pad lots to address the soils report. Mr. Leavitt shared information about the proposed amenities for the site. There would be events held to bring the neighborhood together.

Council Member Waite asked about Lots 15 through 69. He believed the land underneath the house is owned and wanted to understand how that works with a backyard. For instance, if there are walls between the units. Mr. Leavitt wanted to see the backyards stay open. There would be some type of private area that would come off of the building itself so there was private space, but the intention was not to enclose the backyard. The Landscape Plan was further reviewed. Mr. Leavitt reported that the proposal was for those units to have a patio, some green space, and some open space. There were a variety of sizes as far as the rear yards were concerned. Mr. McNulty clarified that the pad lots themselves have 16 feet of separation between the pad lots and the side yards. That would allow there to be enough space between the units.

Council Member Hinton wondered if it was possible to have a garage pad if the land was not owned. This was confirmed. It was noted that it would be part of the Homeowners Association (“HOA”). Council Member Mathis explained that her home is similar. If she wanted to do anything on her side or rear yard, she must go to the HOA for approval. That is generally covered in the Covenants, Conditions, and Restrictions (“CC&Rs”). Mr. Leavitt explained that the owners will own their pad and there are also common areas.

Council Member Hinton asked about the parking requirements. Mr. McNulty reported that an individual single-family unit, whether it is a multi-family townhome or a single-family home, is required to have two parking spaces (one covered and one uncovered). The parking requirements would be met and only one additional parking space was needed for an ADU. Mr. McNulty explained that Internal Accessory Dwelling Units (“IADUs”) are mandated by the State. Council Member Hinton wondered if short-term rentals will be permitted. This was denied. Mr. McNulty added that in the case of an IADU, it must be owner-occupied.

Mr. Leavitt explained that there was a desire to have some flexibility so residents could enjoy the community. The intention was to create a maintenance-free lifestyle so that all common areas will be maintained and presented in a professional manner. The amenities were further reviewed. He wanted the amenities to be both tasteful and functional. It is important to have usable common areas rather than unused open spaces. The General Plan was reviewed, and he shared information

about past developments in Santa Clara. There were several meetings held in 2013 and it was decided that the medium density would be located outside of the City. At that time, there were concerns about a lack of affordable housing in the community. He felt that the current design made sense of the existing developments and also addressed a housing need.

Mr. Leavitt noted that in the State of Utah, there continues to be a shortage of homes. Additionally, there is pressure with increased building costs and increased land costs. He reported that there are currently 27 homes listed for sale in Santa Clara but only two of those listings are under \$500,000. More than 15 of the listings are greater than \$795,000. There is a real need to have affordable options and a wider variety of housing types available in the City. Mr. Leavitt was aware that a petition against the rezone had been created. However, he pointed out that the majority of the signatures were dated last year. There seemed to be a lot of opposition before the design layout and plans had even been presented. He understood change was difficult. Mr. Leavitt asked the Council to allow the development to be a planned development community.

The color palettes for the single-family homes and townhomes were reviewed. Mr. Leavitt noted that the nearby homes will not decrease in value as a result of the development. The intention was to create something that is high-end, functional, and aesthetically pleasing. He reported that the townhome buildings will not all be the exact same color. There will be some variety in both the colors and the stone to create enough variation. As for the single-family homes, six different varieties of colors and stone can be done.

Council Member Hinton reported that she received a lot of communication from residents about the application. One of the recurring themes related to rentals. She wanted to know if the CC&Rs will be used to restrict a number of townhome residences to be owner-occupied. Mr. Ence clarified that the City does not have a mechanism to regulate or monitor that, but the City Council could require a Condition of Approval that stated there needs to be a restriction on rental units in the CC&Rs. That would then be up to the HOA and property owners to enforce. Mr. Leavitt was supportive of the suggestion. He noted that there could be language specifying that if someone purchases a property and later decides to rent it, the owner will need to go through a developer-appointed property manager to control the situation. The intention was to have a professional management company oversee the entire project. Mr. Leavitt was willing to put something in the CC&Rs for the townhomes to state that 50% needed to be owner-occupied.

Council Member Drake asked why the applicant did not want to utilize the R-1-10 Zone. Mr. Leavitt explained that the main reason had to do with buffering to the north and south. Those areas were rezoned from R-1-10 to PDR. In order to buffer appropriately, the development also needs to have a PDR Zone. As the General Plan suggested, there could be a density buffer between the proposed development and the existing developments. Council Member Drake expressed concerns about density. Mr. Leavitt appreciated the concerns but asked that the General Plan be considered. The area was planned to be medium density and he did not want to build single-family homes right next to Tuscany. The General Plan encouraged diversity in housing, which the proposed development included. Additionally, he reiterated that it was important to bring more affordable homes to the area. A lot of people were unable to afford single-family homes on large lots. Times have changed and it is necessary to provide a variety of housing stock in order to meet the existing needs. Mr. Leavitt shared information about water conservation.

Council Member Shakespeare noted that the application was discussed previously. A lot of comments from residents have also been considered. There were some positive attributes to keep in mind, such as the lack of driveways on 400 East and the potential for affordable housing. He understood that there was a need for affordable housing in the community. Council Member Shakespeare was in favor of a PDR Zone for transition but noted that MDR guidelines were vague and allowed between three to 12 units per acre. That was a broad spectrum. There had been a lot of discussions about the development and some compromises had been made, but he was still concerned about the density. He believed this was a good property for a transition zone but reiterated his concerns about the density proposed. The plan could be done in a similar way with a slightly lower density. While this was a property that could be in a PDR, he still had concerns.

Council Member Mathis noted that she lives near the subject property. She attended the Planning Commission Meeting and heard all of the comments shared by residents at that time. Though she understood the comments shared by Council Member Shakespeare about density, she believed there needed to be a transition somewhere. Council Member Mathis reminded Council Members that the current R-1-10 Zone was a holding zone. She noted that there had been a lot of outreach from residents about the development and she had met with some of those residents in her neighborhood. Their main concerns related to parking off of Patricia Drive and the issues in Tuscany. Something she liked about the plan was that the units on Tuscany mirrored what was across the street. Since the driveways faced Tuscany, that meant the parking along there would not continue to be an issue in the future. It limited people being able to park on that street.

Council Member Hinton noted that there is not a lot of attainable housing in Santa Clara. Not having housing in a more affordable price range is impacting the overall quality of life. She appreciated that there are a number of different housing types in the proposal as it means that many residents can enter the housing market. That being said, she understood that density and parking are of concern. She felt that the traffic had been addressed with the two entrances and believed the driveways out onto Patricia and Tuscany would solve a lot of the existing issues.

Council Member Drake believed that single-family residential homes are essential to maintain the lifestyle in Santa Clara. He also believed that affordability will be determined by the market and pointed out that what was affordable to one person may not be affordable to another. He noted that Mr. Leavitt has done a good job of listening to resident concerns, but the density levels were considerably higher than what he believed was appropriate for the neighborhood.

Council Member Waite agreed with a lot of the comments shared by his fellow Council Members. He had spoken to several residents and read all of the submitted email comments. Though a lot of residents appreciated the desire to offer different housing types, the City did not necessarily have the best track record with that. As a result, single-family homes were desired. Council Member White preferred to see a mirror of the project to the south. He could see changing the density to the R-1-6 Zone rather than PDR. He believed that transition areas were important but did not necessarily believe that half the units needed to be townhomes to create that transition.

Council Member Shakespeare asked about the different motion options. He noted that this was a rezone application and wondered if it was possible to table the item and spend more time reviewing

the material. Mr. Ence explained that the Council could take additional time to consider the application if that was necessary. However, he suggested that the extra information needed be clearly identified so the applicant could provide those details. Other than tabling the item, the City Council could vote to approve or deny the rezone application. The application could be approved with certain conditions as well. Council Member Shakespeare wondered what would happen if the application was denied. He wanted to know if the applicant would have the opportunity to return with a new Project Plan with lower densities. Mr. Ence clarified that if the Council wanted to reconsider it again within a year, it needed to come back with significant changes.

Council Member Hinton wondered what would happen if the PDR Zone was approved. For instance, if the rezone would remain with the property if the applicant chose to sell the property in the future. Mr. Ence explained that the PDR Zone approval incorporated the Project Plan. If the applicant decided to sell the property before it was developed, the new owner would take on the property with that zoning, which would include the approved Project Plan. In order to make a change, the new owner would need to come in and amend either the zoning or Project Plan.

Council Member Waite moved to DENY the Proposed Rezoning of Property at 400 East/Patricia Drive and Pioneer Parkway. Council Member Drake seconded the motion.

There was discussion about the motion. Council Member Shakespeare wondered what would happen if the applicant came back with slightly lower densities. He wanted to better understand the process if the current application was denied. The Council believed lower densities would be considered a significant change and a significant change could come back to the Council in less than a year. Mayor Rosenberg noted that if the densities were reduced, that would be a substantial change in his mind. Mr. McNulty agreed with that assessment. Mr. Ence clarified that he could not express a legal opinion on whether or not that would be a significant enough change but based on the Ordinance, that determination would be made by the Planning Commission.

Council Member Shakespeare stressed the need for different housing in Santa Clara. It did not make sense for the applicant to wait another year to bring the item back for consideration. The application still needed some work, but he would hate to see a denial that would prevent needed housing from being added to the City. He felt it might be better to table the item instead. Mayor Rosenberg noted that a motion had been made to deny the rezone application. If that motion was defeated, an alternate or substitute motion could be made by another Council Member. He reminded the Council that a motion had been made and asked that the vote be conducted.

Council Member Waite moved to DENY the proposed rezoning of property at 400 East/Patricia Drive and Pioneer Parkway. Council Member Drake seconded the motion. Vote on motion: Council Member Shakespeare-Nay; Council Member Mathis-Nay; Council Member Hinton-Nay; Council Member Drake-Aye; Council Member Waite-Aye. The motion failed 3-to-2.

Mayor Rosenberg asked for an alternate motion from the City Council.

Council Member Shakespeare moved to TABLE the proposed rezoning of property at 400 East/Patricia Drive and Pioneer Parkway, to allow the applicant to work with City Staff,

incorporate some of the City Council comments, and propose a new layout with slightly lower densities. Council Member Hinton seconded the motion.

Mr. Ence shared comments about the second motion. The changes being discussed were significant enough that the application would need to return to the Planning Commission for consideration. He reminded the Council that there is no recommendation from the Planning Commission on the current application. Council Member Shakespeare thought the process made sense and noted that it would allow the Planning Commission and residents to look at the application again and share additional comments. Council Member Drake believed that in this instance, tabling the item means that the application would return to the Council in a different form. There was further discussion about the motion. It was determined that tabling the item would allow the applicant to make changes and respond to the City Council comments that had been shared. The item may or may not need to return to the Planning Commission.

Vote on motion: Council Member Shakespeare-Aye; Council Member Mathis-Aye; Council Member Hinton-Aye; Council Member Drake-Nay; Council Member Waite-Nay. The motion passed 3-to-2.

vi. Discussion and Action to Consider Approval of the Spring Slurry Seal Project to Morgan Pavement for a Total Project Price of \$304,407.00. Presented by Dustin Mouritsen, Public Works Director.

Public Works Director, Dustin Mouritsen, reported that the above item pertains to the spring slurry seal projects. There was a list of streets included in the packet as well as a map and a list of the three competitive bids received. Morgan Pavement was the lowest bidder at \$.79 per square foot. 1,700,600 square feet of slurry seal was needed, which totaled \$304,407. The street locations and map were reviewed by the City Council Members.

Council Member Shakespeare moved to AWARD the Spring Slurry Seal Project to Morgan Pavement for a total project price of \$304,407. Council Member Drake seconded the motion. Vote on motion: Council Member Shakespeare-Aye; Council Member Mathis-Aye; Council Member Hinton-Aye; Council Member Drake-Aye; Council Member Waite-Aye. The motion passed unanimously.

6. Reports.

A. Mayor/Council Reports.

Council Member Shakespeare reported that Flood Control approved emergency relief at Southgate to remove sediment where buildup flooded the golf course. He informed those present that he attended a voting meeting earlier that day, which was helpful. Ryan Sullivan was in favor of the sorting machine, where there could be precincts.

Council Member Shakespeare was looking forward to the Parade scheduled for the following week.

Council Member Mathis reminded the Council of the Luncheon scheduled for April 24, 2023, from 11:00 a.m. to 1:00 p.m. It was the year-end celebration for the City Alliance. She asked those interested in attending RSVP. Council Member Mathis shared information about the Fair and stated that she shared dates and times with the Council Members who wish to participate. It is on Friday and Saturday with the Rodeo. Council Members interested in riding in the truck at the Rodeo need to be at the outdoor area at the park by 6:00 p.m. on Friday and Saturday. April 18, 2023 was the night of the Parade. The fire truck will be there. The lineup starts at 4:30 p.m. and goes until 5:30 p.m. She received an email recently and the Council was asked to participate in the Ribbon Cutting for the Washington Museum at 5:30 p.m. on the night of the Parade.

Council Member Hinton had the opportunity to attend the Salt Lake Tribune Opinions on Housing Meeting where there was a roundtable discussion with various stakeholders. It included real estate agents, Habitat for Humanity representatives, and investors. While there was not a lot of consensuses, there were many ideas shared about addressing the housing crisis in the State. Council Member Hinton reported that she reached out to the Dowdle Puzzle company as there should be an initial draft soon. She had not heard back but would share updates when possible.

Council Member Drake reported that there was a Solid Waste District Meeting earlier that week. The costs had been maintained by bid and there was an application into the CIB for low-interest loans and a grant. There was a good chance that would be received, which would reduce the costs. No significant increase was anticipated for the rates, but those figures would not be finalized for another two months or so. He offered to share updates with the Council in the future. Council Member Drake reported that the Advisory Board for Snow Canyon met. There was a desire to create new parking areas in the park itself in two different locations. It was put on hold due to funding needs. He noted that there was good representation at the meeting.

Council Member Waite reported that there was a meeting with the County Commissioners about potentially renaming the station to Greater Zion Television. The feedback from the Commissioners was not positive in terms of content on the station and the views on YouTube. It seemed that the station was in need of a reboot. He did not know if partnering with the County was the best solution, so those discussions were ongoing. Revenues continued to decline from TDS and the options were to increase the cost to cities, scale back services, or bring in new revenue. One of the ideas was naming rights for the station. However, based on the meeting, he did not get a sense that would happen. Council Member White referenced the Utah Associated Municipal Power Systems (“UAMPS”) workshop that was scheduled.

Mayor Rosenberg discussed meetings with the water district. There was a struggle between the east side and the west side that was limiting the ability to move forward with the Rural Water Supply Agreement Amendment. There would be another meeting the following day. He had concerns about the seven cities reaching a consensus. Mayor Rosenberg discussed flooding. That morning, there were the highest peaks that had been seen in the river since the major flood event that occurred a few weeks ago. However, the levels were still manageable. The biggest threat currently is rain. If there is a lot of rain, it could cause significant damage throughout the County along the river system. He noted that the 10-day forecast did not predict rain.

Mayor Rosenberg reported that the luncheon with the school district went well. Representatives from the school district would be present at a future City Council Meeting to discuss the new bond financing alternatives. The district will not go after bond financing moves forward. Years ago, whenever a new school was needed, the bonds would be issued and there would normally be an 80% approval on the ballot. The bond last year passed by only 1%. The school district was now looking into alternative financing options. Mayor Rosenberg noted that a presentation would be made to the Santa Clara City Council in the next month or so.

Information was shared about UTOPIA. Mayor Rosenberg reported that the plans were approved and released from the City of St. George, which had been holding up the plan approval on the connection line. However, now TDS is holding up the actual connection. There was some type of splice that was required, and TDS needs to either do the splice or grant permission for the splice. That was unlikely to be done until the end of June 2023. He believed it was best to reach out to UTOPA and TDS about the issue. The work needed to move forward in a timely manner.

7. Executive Session.

The Council determined that there would be a five-minute break before the Executive Session.

Council Member Drake moved that the City Council go into Executive Session to discuss pending litigation. Council Member Hinton seconded the motion. The motion passed with the unanimous consent of the Council.

The City Council was in Executive Session from 8:30 p.m. to 8:50 p.m.

Following the Executive Session, the Council discussed the next City Council Meeting. Mayor Rosenberg reported that there was a site visit scheduled ahead of the Work Meeting at 4:00 p.m. He informed the Council that there needs to be a disturbance corridor for the utilities. Council Member Mathis what would happen if a road does not go in there. Mayor Rosenberg explained that the utility loop will be lost. There was discussion regarding development in the area.

8. Adjournment.

Council Member Drake moved to ADJOURN the City Council Meeting. Council Member Waite seconded the motion. The motion passed with the unanimous consent of the Council.

The City Council Meeting adjourned at 8:57 p.m.

Chris Shelley
City Recorder
Approved: _____

RESOLUTION NO. 2023-07R

A RESOLUTION PROCLAIMING APRIL 2023 AS CHILD ABUSE PREVENTION MONTH IN SANTA CLARA CITY, UTAH

WHEREAS, April is National Child Abuse Prevention Month, a time to recommit to strengthening homes and giving every child a chance to succeed; and

WHEREAS, Santa Clara joins businesses, government agencies, non-profit organizations, and others across our Nation in observing April as Child Abuse Prevention Month; and

WHEREAS, children are vital to the current and future well-being of Santa Clara, the State of Utah, this great Nation, and the World; and

WHEREAS, our children are also some of the most vulnerable members of our society, and their protection is of the greatest importance, therefore, addressing child abuse and neglect is an effort we all must undertake as a community; and

WHEREAS, child abuse is a complex issue and ongoing in every community, including in Santa Clara; and

WHEREAS, we publicly thank our community's parents, the Washington County Children's Justice Center, childcare providers, doctors, nurses, police officers, social workers, teachers, therapists, and countless other professionals who selflessly care, serve, and protect; and

WHEREAS, in Santa Clara and Washington County, the Washington County Children's Justice Center leads the collaborative efforts to protect each child, advance justice, promote healing, and educate our community about child abuse; and

WHEREAS, in 2022 the Washington County Children's Justice Center:

- Served 420 primary victims
- Conducted 283 forensic interviews
- Performed 142 medical exams
- Provided 1,214 hours of trauma-focused mental healthcare, and
- 114 primary victims were under 7 years old; and

NOW, THEREFORE, we recommit to ensuring that every child grows up in a safe, nurturing environment that is free from abuse and neglect. We, the Mayor and City of Council of Santa Clara, do hereby proclaim the month of April 2023 as **CHILD ABUSE PREVENTION MONTH** in Santa Clara City, Utah and urge our citizens to join in preventing child abuse and providing ongoing support for survivors.

IN WITNESS THERETO:

Rick Rosenberg, Mayor

ATTEST:

Chris Shelley, City Recorder

Grad Night!! ITEM 2

To one of our local businesses:

The Snow Canyon High School PTA is hosting a grad night for the graduating seniors. To make it a memorable night requires a lot of resources. We would love to have your support! Below is a list of what we are looking for:

- Cash donations (checks can be made out to Snow Canyon High School PTA)
- Gift cards, merchandise, and/or swag
- Food donations (snacks, treats, drinks)

To meet the goals of what we have planned, we need \$5,000 minimum in cash donations and 200 gift cards. Our goal is to send each graduating senior home with a cash prize and gift card. We are planning between 250-300 seniors to be in attendance.

We are happy to arrange for pickup of any donated items. Donations can be made today through May 15, 2023. Because the PTA is a non-profit organization, donations can be a tax deduction. Here is the PTA tax ID for that purpose: 87-0545525

Thank you in advance for your contributions to a successful Grad Night to celebrate these seniors and their accomplishments. If you have any questions, please do not hesitate to contact me.

Sincerely,

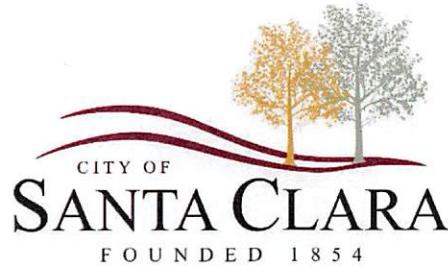
Sheridan Harris
435-229-2890
Sheridanharris@gmail.com

From: [Santa Clara City ITEM 3](#)
To: [Kate Casselman](#); [Chris Shelley](#); [Brock Jacobsen](#); [Selena Nez](#)
Subject: City Council Action Application Form submitted on Santa Clara City by [990] Tuesday, April 18, 2023
Date: 4:19:58 PM
Attachments: [230418221950_city-council-action-application_formidable_entries_iaram.csv](#)

Meeting Type	CITY COUNCIL
Date Submitted	April 18, 2023
Requested Meeting Date	April 26, 2023
Applicant	Debbie Bannon
Subject	Review and Approval of Ethics Policy and Pledge Form.
Background Description	To increase our score for the Fraud Assessment Risk questionnaire required by the State Auditor's Office, we're adding an Ethics Policy where all elected/appointed/employees are required to sign on an annual basis.
Proposed Recommendation (drop-down select)	Approval
Cost	0
File Upload	https://s3.us-west-004.backblazeb2.com/sccity/formidable/21/Ethical-Behavior-Pledge-Form.pdf https://s3.us-west-004.backblazeb2.com/sccity/formidable/21/Ethical-Behavior-Policy.pdf
Approved by Legal Department (drop-down select)	N/A
Approved in Budget? (drop-down select)	N/A
Approved by City Finance Department? (drop-down select)	N/A
Amount	0

Requested By

Debbie Bannon



Ethical Behavior Pledge Form

Annual Ethics Pledge

The following pledge is required to be made annually by all officers and employees of Santa Clara City:

I, _____, am the duly elected/appointed/employee of Santa Clara City.

I pledge to adhere to the code of ethics as approved by the City Council. These topics include but are not limited to: improper use of official position, accepting gifts or loans, disclosing privileged information, retaining a financial or beneficial interest in a transaction, nepotism, misuse of public resources or property, outside employment, political activity, fair and equal treatment, and conduct after leaving office or employment. Additionally, I pledge to disclose all conflicts of interest on the conflict-of-interest disclosure form. I understand that state statute provides for penalties for violation of specific unethical behavior. Signing this document verifies that I have been provided time to read applicable statutes and ordinances, as well as the Santa Clara City code of ethics.

DATED THIS _____ DAY OF _____ [2023]

By: _____

Title/Office: _____

Witness:

Name

Signature



Ethical Behavior Policy

Employee Code of Ethics

Prohibited Conduct

No current employee or officer, as specified, shall:

1. Disqualification from Acting on Santa Clara City Business.

- a. Engage in any transaction or activity, which is, or would to a reasonable person appear to be, in conflict with or incompatible with the proper discharge of official duties, or which impairs, or would to a reasonable person appear to impair, the employee's independence of judgment or action in the performance of official duties and fail to disqualify him or herself from official action in those instances where conflict occurs;
- b. Have a financial or other private interest, direct or indirect, personally or through a member of his or her immediate family, in any matter upon which the employee is required to act in the discharge of his or her official duties, and fail to disqualify him or herself from acting or participating;
- c. Fail to disqualify him or herself from acting on any transaction which involves Santa Clara City and any person who is, or at any time within the preceding twelve (12) month period has been a private client of his or hers, or of his or her firm or partnership;
- d. Have a financial or other private interest, direct or indirect, personally or through a member of his or her immediate family, in any contract or transaction to which Santa Clara City or any City agency may be a party, and fails to disclose such interest to the appropriate authority prior to the formation of the contract or the time Santa Clara City or City agency enters into the transaction; provided, that this paragraph shall not apply to any contract awarded through the public bid process in accordance with applicable law.

2. Improper Use of Official Position.

- a. Use his or her official position for a purpose that is, or would to a reasonable person appear to be primarily for the private benefit of the employee, rather than primarily for the benefit of Santa Clara City; or to achieve a private gain or an exemption from duty or responsibility for the employee or any other person.
- b. Use or permit the use of any person, funds, or property under his or her official control, direction, or custody, or of any Santa Clara City funds or property, for a purpose which is, or to a reasonable person would appear to be, for something other than a legitimate purpose.
- c. Except in the course of official duties, assist any person in any transaction where the employee's assistance is, or to a reasonable person would appear to be, enhanced by that employee's position with the City; provided that this subsection shall not apply to: any

employee appearing on his or her own behalf or representing himself or herself as to any matter in which he or she has a proprietary interest, if not otherwise prohibited by ordinance;

d. Regardless of prior disclosure thereof, have a financial interest, direct or indirect, personally or through a member of his or her immediate family, in a business entity doing or seeking to do business with Santa Clara City, and influence or attempt to influence the selection of, or the conduct of business with that business or entity.

3. Accept Gifts or Loans.

a. Ask for or receive, directly or indirectly, any compensation, gift, gratuity, or thing of value, or promise thereof, for performing or for omitting or deferring the performance of any official duty; except that the following shall be allowed:

- i. Unsolicited flowers, plants, and floral arrangements;
- ii. Unsolicited advertising or promotional items of nominal value, such as pens and notepads;
- iii. Unsolicited token or awards of appreciation in the form of a plaque, trophy, desk item, wall memento, or similar item;
- iv. Unsolicited food items given to a department when the contents are shared among employees and the public;
- v. Unsolicited items received for the purpose of evaluation or review provided the officer or employee has no personal beneficial interest in the eventual use or acquisition of the item by the City;
- vi. Information material, publications, or subscriptions related to the recipient's performance of official duties;
- vii. Food and beverages consumed at hosted receptions where attendance is related to official duties;
- viii. Meals, beverages, and lodging associated with retreats or other meetings where the official serves as a representative, designee or is otherwise assigned to another organization or entity from the City;
- ix. Travel costs, lodging, and tuition costs associated with city sanctioned training or education when not provided by a private entity under contract with the City;
- x. Admission to, and the cost of food and beverages consumed at, events sponsored by or in conjunction with a civic, charitable, governmental, or community organization and other officials or employees of similar agencies are in attendance;
- xi. Unsolicited gifts from dignitaries from another entity or other jurisdiction that are intended to be personal in nature;
- xii. Campaign contributions; and
- xiii. Unsolicited gifts with an aggregate economic value of \$50.00 or less from a single source in a calendar year received either directly or indirectly by the official or employee.

4. Disclose Privileged Information.

Disclose or use any privileged or proprietary information gained by reason of his or her official position for the immediate or anticipated personal gain or benefit of the employee or any other

person or entity; provided, that nothing shall prohibit the disclosure or use of information which is a matter of public knowledge, or which is available to the public on request.

5. Financial or Beneficial Interest in Transactions.

Regardless of prior disclosure an employee or officer may not participate in or benefit from (personally or through his or her family) a contract or agreement where that employee or officer acted as an agent of Santa Clara City. This includes receiving compensation, gratuity or other benefit from an interested party of an agreement or contract with Santa Clara City.

6. Nepotism.

a. Violate *Utah Code § 52-3*, which prohibits employment of relatives, with few exceptions.

7. Misuse of Public Resources or Property.

a. Violate *Utah Code § 76-8-4*, which delineates the unlawful use of public funds and destruction of property, including records.

8. Outside Employment.

a. Retain secondary employment outside of Santa Clara City employment, which, as determined by City Council, and according to Utah Administrative Code R477-9-2:

- i. Interferes with an employee's performance.
- ii. Conflicts with the interests of Santa Clara City or the State of Utah.
- iii. Gives reason for criticism or suspicion of conflicting interests or duties.

9. Political Activity.

a. Except as otherwise provided by law:

- i. The partisan political activity, political opinion, or political affiliation of an applicant for a position with Santa Clara City may not provide a basis for denying employment to the applicant.
- ii. A Santa Clara City officer's or employee's partisan political activity, political opinion, or political affiliation may not provide the basis for the officer or employee's employment, promotion, disciplinary action, demotion, or dismissal.
- iii. A Santa Clara City employee may not engage in political campaigning or solicit political contributions during hours of employment.
- iv. A Santa Clara City officer or employee may not use City equipment while engaged in campaigning or other political activity.
- v. A Santa Clara City officer or employee may not directly or indirectly coerce, command, or advise another Santa Clara City officer or employee to pay, lend, or contribute part of the officer's or employee's salary or compensation, or anything else of value to a political party, committee, organization, agency, or person for political purposes.
- vi. A Santa Clara City officer or employee may not attempt to make another officer or employee's employment status dependent on the officers or employee's support or lack of support of a political party, affiliation, opinion, committee, organization, agency, or person engaged in political activity.

b. A Santa Clara City employee who has filed a declaration of candidacy may:

- i. be given a leave of absence for the period between the primary election and the general election; and
- ii. Use any vacation or other leave available to engage in campaign activities.
- c. Neither the filing of a declaration of candidacy nor a leave of absence under this section may be used as the basis for an adverse employment action, including discipline and termination, against the employee.
- d. Nothing in this chapter shall be construed to:
 - i. prohibit a Santa Clara City officer or employee's voluntary contribution to a party or candidate of the officer or employee's choice; or
 - ii. Permit a Santa Clara City officer or employee partisan political activity that is prohibited under federal law.
- e. No Santa Clara City officer or employee shall solicit or participate in soliciting any assessment, subscription, or contribution to any political party during working hours on the premises of any Santa Clara City property.
- f. No Santa Clara City officer or employee shall promise any appointment to any position with Santa Clara City as a reward for any political activity.
- g. A Santa Clara City employee who is elected to an office with Santa Clara City shall terminate City employment prior to being sworn into the elected office.

10. Fair and Equal Treatment.

- a. No person shall be appointed to, removed from, or in any way favored or discriminated against with respect to any appointive public office because of such person's race, color, age, religion, sex, national origin, or functional limitation as defined by applicable state or federal laws, if otherwise qualified for the position or office.
- b. No Santa Clara City officer or employee shall grant any special consideration, treatment or advantage to any citizen beyond that which is available to every other citizen.

11. Prohibited Conduct After Leaving Santa Clara City:

- a. No former employee shall, during the period of one (1) year after leaving Santa Clara City office or employment:
 - i. Disclose or use any privileged or proprietary information gained by reason of his/her City employment for his/her gain or anticipated gain, or for the gain or anticipated gain of any person, unless the information is a matter of public knowledge or is available to the public on request;
 - ii. Assist any person in proceedings involving an agency of Santa Clara City with which he/she was previously employed, involving a matter in which he or she was officially involved, participated or acted in the course of duty;
 - iii. Represent any person as an advocate in any matter in which the former employee was officially involved while a Santa Clara City employee;
 - iv. Participate as a competitor in any competitive selection process for a City contract in which he or she assisted the City in determining the project or work to be done or the process to be used.

Mayor

Rick Rosenberg

City Manager

Brock Jacobsen



City Council

Denny Drake

Leina Mathis

Ben Shakespeare

Jarett Waite

Christa Hinton

CITY COUNCIL

Meeting Date: April 26, 2023

Agenda Item: 4

Applicant: Santa Clara City

Requested by: Jim McNulty

Subject: Partial Street Vacation (Victors Street)

Description:

Santa Clara City is requesting a Partial Street Vacation for Victors Street, south of Santa Clara Drive. A total of (7) parcels will be affected by the proposed street vacation. A staff report with supporting documents has been included in your packet.

Recommendation:

Attachments: Yes

Cost: N/A

Legal Approval: Yes

Finance Approval: N/A

Budget Approval: N/A

2603 Santa Clara Drive, Santa Clara,
Utah 84765 Phone (435) 673-6712 Fax
(435) 628-7338



City of Santa Clara
2603 Santa Clara Drive
(435) 656-4690, Ext. 225
jmcnulty@sccity.org

Staff Report

Partial Street Vacation (Victors Street) Summary and Recommendation

Public Body: Santa Clara City Council

Meeting Date: April 26, 2022

Current Zone: R-1-10/Historic District & PDR

General Plan Designation: Low Density Residential & Medium Density Residential

Property Address: Victors Street, south of Santa Clara Drive

Request: Partial Street Vacation of Victors Street

Applicant Name: Santa Clara City

Staff Planner: Jim McNulty

Staff Recommendation: Approve with conditions

Meeting Type: Public Hearing

PROJECT DESCRIPTION

Santa Clara City is requesting a Partial Street Vacation for Victors Street. Specifically, this is for the portion of Victors Street directly south of Santa Clara Drive. A total of **seven (7) parcels will be affected** by the proposed street vacation. This includes Parcels SC-117-B (0.03 acres), SC-117-C (0.03 acres), SC-117-A (0.02 acres), SC-75-D (185 square feet), SC-124-B (0.01 acres), SC-123-A-1 (0.03 acres), and SC-124-A-1 (0.02 acres). A map along with the legal descriptions of each affected property as indicated above has been attached for review.

Victors Street was originally intended to be a 66' public right-of-way which could possibly connect to another public street. This is no longer an option as other properties in the vicinity are developed. However, this portion of Victors Street will terminate with a cul-de-sac adjacent to the proposed Santa Clara Valley Homes project. This will include a 45' public right-of-way with a 50' radius cul-de-sac. This cross-section also includes curb, gutter, and sidewalk on both sides of the street.

SITE & VICINITY DESCRIPTION

Victors Street is in the Historic District of Santa Clara City. The south side of Victors Street is accessed via Santa Clara Drive. Chapel Street is one block west and Vernon's Street is one block east of Victors Street.

ISSUES OF CONCERN/SURPLUS PROPERTY

No issues of concern have been identified with the proposed street vacation.

NEIGHBORHOOD RESPONSE

Notices were sent to the property owners of each parcel that is accessed by the public street (Victors Street) as per State Code. No responses have been received by city staff as of the writing of this report. The property has also been posted for a public hearing as per State Code requirements.

STATE CODE CONSIDERATIONS

Utah Code, Section 10-9a-208 includes requirements for a petition to vacate a public street. To vacate a public street, a city must hold at least one public hearing. Additionally, a public hearing to vacate a public street requires 10 days' notice rather than 24 hours' notice. A notice must also be sent to all property owners of each parcel that is accessed by the public street, with a notice in a visible location, with a sign of sufficient size and durability. City Staff has determined that all State Code requirements have been met with this application.

CITY STAFF RECOMMENDATION

City staff recommends that the City Council consider approving the Partial Street Vacation for Victors Street (south of Santa Clara Drive) subject to the following conditions:

1. That the Partial Street Vacation be adopted by City Ordinance.
2. That appropriate documents as directed by city legal counsel be recorded with Washington County to document the Partial Street Vacation for Victors Street.
3. That future public right-of-way improvements to Victors Street comply with this approval.

DATE:	4/12/23
JOB NO.:	9740-16
DRAWN BY:	B.E.A.
DESIGNED BY:	B.E.A.
SCALE:	1"=50'
DWG:	ROAD-VACA
DATE	
REVISIONS	



352 EAST RIVERSIDE
DRIVE, SUITE A-2 ST.
GEORGE, UTAH 84790
PH (435) 673-8586
FX (435) 673-8397
WWW.RACIVIL.COM

EXHIBIT MAP

SHEET
1

SANTA CLARA DRIVE

NE COR.,
BLOCK 15,
SCT&FS

RMM RENTALS LLC
PARCEL No. SC-124-A-1

BROOKSBY EARNEST &
DARRYLIN RAE HAFEN
TRUST
PARCEL No. SC-123-A-1

BLOCK 15

VICTOR STREET

CHARLES P. & DIANE S.
HILL
PARCEL No. SC-117-B

RAYMOND H. &
DOROTHY
ORTON TRUST
PARCEL No. SC-117-C

BLOCK 14

MELVIN JAMES & JOYCE
D. TAYLOR
PARCEL No. SC-124-B

JAMES NORMAN & DEBORAH
JENNINGS ENCE TRUST
PARCEL No. SC-117-A

SUMMERWOOD
ESTATES

TRACY L. HOSKINS TRUST
PARCEL No. SC-75-D





East Parcels:

Parcel No. SC-117-B

Beginning at Northwest Corner of Block 14 of the Santa Clara Townsite and Field Survey, said parcel being located in Section 16, Township 42 South, Range 16 West, Salt Lake Base & Meridian, and running;

thence South 01°43'40" West 98.63 feet along said westerly line of Block 14;
thence North 88°16'20" West 13.50 feet;
thence North 01°52'13" East 98.69 feet;
thence South 88°00'30" East 13.25 feet to the Point of Beginning.

Containing 1,319 square feet or 0.03 acres.

Parcel No. SC-117-C

Beginning at a point on the westerly line of Block 14 of the Santa Clara Townsite and Field Survey, said point being South 01°43'40" West 98.63 feet from the northwest corner of said Block 14, said parcel being located in Section 16, Township 42 South, Range 16 West, Salt Lake Base & Meridian, and running;

thence South 01°43'40" West 98.63 feet along said westerly line of Block 14;
thence North 88°16'20" West 13.74 feet;
thence North 01°52'13" East 98.63 feet;
thence South 88°16'20" East 13.50 feet to the Point of Beginning.

Containing 1,343 square feet or 0.03 acres.

Parcel No. SC-117-A

Beginning at a point on the westerly line of Block 14 of the Santa Clara Townsite and Field Survey, said point being South 01°43'40" West 197.26 feet from the northwest corner of said Block 14, said parcel being located in Section 16, Township 42 South, Range 16 West, Salt Lake Base & Meridian, and running;

thence South 01°43'40" West 81.15 feet along said westerly line of Block 14;
thence Westerly 0.23 feet along an arc of a 50.00 foot radius curve to the left (center bears South 20°25'05" West, long chord bears North 69°42'48" West 0.23 feet with a central angle of 00°15'46");
thence Northwesterly 25.03 feet along an arc of a 20.00 foot radius curve to the right (center bears North 20°09'20" East, long chord bears North 33°59'13" West 23.43 feet with a central angle of 71°42'54");
thence North 01°52'13" East 62.05 feet;
thence South 88°16'20" East 13.74 feet to the Point of Beginning.

Containing 1,052 square feet or 0.02 acres.



West Parcels:

Parcel No. SC-124-A-1

Beginning at Northeast Corner of Block 15 of the Santa Clara Townsite and Field Survey, said parcel being located in Section 16, Township 42 South, Range 16 West, Salt Lake Base & Meridian, and running;

thence South 88°00'30" East 7.75 feet;
thence South 01°52'13" West 96.96 feet;
thence North 88°16'20" West 7.51 feet to the easterly line of said Block 15;
thence North 01°43'40" East 97.00 feet along said Block 15 to the Point of Beginning.

Containing 740 square feet or 0.02 acres.

Parcel No. SC-123-A-1

Beginning at a point on the easterly line of Block 15 said point being South 01°43'40" West 97.00 feet Northeast Corner of Block 15 of the Santa Clara Townsite and Field Survey, said parcel being located in Section 16, Township 42 South, Range 16 West, Salt Lake Base & Meridian, and running;

thence South 88°16'20" East 7.51 feet;
thence South 01°52'13" West 155.19 feet;
thence North 88°16'20" West 7.12 feet to the northeasterly line of said Block 15;
thence North 01°43'40" East 155.19 feet along said Block 15 to the Point of Beginning.

Containing 1,135 square feet or 0.03 acres.

Parcel No. SC-124-B

Beginning at a point on the easterly line of Block 15 said point being South 01°43'40" West 252.19 feet Northeast Corner of Block 15 of the Santa Clara Townsite and Field Survey, said parcel being located in Section 16, Township 42 South, Range 16 West, Salt Lake Base & Meridian, and running;

thence South 88°16'20" East 7.12 feet;
thence South 01°52'13" West 43.34 feet;
thence Southerly 9.00 feet along an arc of a 20.00 foot radius curve to the right (center bears North 88°07'47" West, long chord bears South 14°45'21" West 8.92 feet with a central angle of 25°46'15");
thence Southwesterly 62.98 feet along an arc of a 50.00 foot radius curve to the left (center bears South 62°24'55" East, long chord bears South 08°30'35" East 58.90 feet with a central angle of 72°11'18");
thence North 88°16'20" West 15.47 feet to the northeasterly corner of Summerwood Estates, as found on file as Entry No. 737746 with the Washington County Recorder's Office;
thence North 01°43'40" East 109.99 feet along said easterly line of Block 15 to the Point of Beginning.



Containing 570 square feet or 0.01 acres.

Parcel No. SC-75-D

Beginning at a point on the easterly line of Block 15 said point being South 01°43'40" West 362.18 feet Northeast Corner of Block 15 of the Santa Clara Townsite and Field Survey, said point being the northeasterly corner of Summerwood Estates, as found on file as Entry No. 737746 with the Washington County Recorder's Office, said parcel being located in Section 16, Township 42 South, Range 16 West, Salt Lake Base & Meridian, and running;

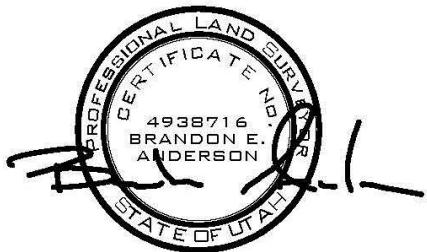
thence South 88°16'20" East 15.48 feet;

thence Easterly 54.40 feet along an arc of a 50.00 foot radius curve to the left (center bears North 45°23'46" East, long chord bears South 75°46'43" East 51.75 feet with a central angle of 62°20'58") to the westerly line of Block 14, said Santa Clara Townsite and Field Survey;

thence South 01°43'40" West 10.64 feet along said westerly line to the southwest corner of said Block 14, said point also being on the northerly line of Lot 14, Block 10 said Santa Clara Townsite and Field Survey;

thence North 69°58'04" West 69.53 feet along said northerly line of Lot 14 to the Point of Beginning.

Containing 185 square feet



February 2, 2023



NOTICE OF PUBLIC HEARING

The Santa Clara City Council will hold a Public Hearing at 5:00 PM on Wednesday, April 26, 2023, in the City Council Chambers, 2603 Santa Clara Drive, Santa Clara, Utah 84765.

The purpose of the Public Hearing is to receive public input on the following items:

1. Consider a proposed Partial Street Vacation of Victors Street located in Santa Clara, Utah for a portion of Parcels SC-117-B (approx. 0.03 acres), SC-117-C (approx. 0.03 acres), SC-117-A (approx. 0.02 acres), SC-75-D (containing 185 square feet), SC-124-B (approx. 0.01 acres), SC-123-A-1 (approx. 0.03 acres), and SC-124-A-1 (approx. 0.02 acres). The proposed partial street vacation will allow for a finished public right-of-way width of 45' with a 50' radius cul-de-sac to meet city requirements.

Citizens of Santa Clara are encouraged to attend the meeting where they will be given the opportunity to express any concerns they may have about the proposed action.

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary Communicative aids and services) during this hearing should notify the City Recorder, Chris Shelley at 673-6712, ext. 203 at least 24 hours prior to the hearing.

CHRIS SHELLEY, City Recorder

DATE: 4/02/23
 JOB NO.: 9140-16
 DRAWN BY: BEA
 DESIGNED BY: BEA
 SCALE: 1"-50'
 DWG: ROAD-VACA

DATE
 REVISIONS



352 EAST RIVERSIDE
 DRIVE, SUITE A-2 BT,
 GEORGE, UTAH 84790
 PH (435) 673-0398
 FX (435) 673-0397
 WWW.RACIVIL.COM

EXHIBIT MAP

SHEET
 1

SANTA CLARA DRIVE

NE COR.,
BLOCK 15,
SCT&FS

RMM RENTALS LLC
PARCEL NO. SC-124-A-1

BROOKSBY EARNEST &
DARRYLIN RAE HAFEN
TRUST
PARCEL NO. SC-123-A-1

BLOCK 15

VICTOR STREET

NW COR.,
BLOCK 14,
SCT&FS

CHARLES P. & DIANE S.
HILL
PARCEL NO. SC-117-B

RAYMOND H. &
DOROTHY
ORTON TRUST
PARCEL NO. SC-117-C

BLOCK 14

MELVIN JAMES & JOYCE
D. TAYLOR
PARCEL NO. SC-124-B

JAMES NORMAN & DEBORAH
JENNINGS ENCE TRUST
PARCEL NO. SC-117-A

SUMMERWOOD
ESTATES

TRACY L. HOSKINS TRUST
PARCEL NO. SC-75-D



SHEET
 1

HOSKINS TRACY L TR
SC-75-D
1385 VERNONS ST
SANTA CLARA, UT 84765

HILL CHARLES P & DIANE S
SC-117-B
2963 SANTA CLARA DR
SANTA CLARA, UT 84765-5302

TAYLOR MELVIN JAMES & JOYCE D
SC-124-B
1401 VICTOR ST
SANTA CLARA, UT 84765

HAFEN BROOKSBY ERNEST & DARRYLIN RAE 1
SC-123-A-1
1427 VICTORS ST
SANTA CLARA, UT 84765-5309

RMM RENTALS LLC
SC-124-A-1
3685 RIM VIEW DR
SANTA CLARA, UT 84765

ENCE JAMES NORMAN & DEBORAH JENNINGS
SC-117-A
800 OLD FARM RD
SANTA CLARA, UT 84765

ORTON RAYMOND H & DOROTHY TRS
SC-117-C
719 COVEY LN
SANTA CLARA, UT 84765-5663

**CITY OF SANTA CLARA
ORDINANCE NO. 2023-10**

**AN ORDINANCE OF THE CITY OF SANTA CLARA, UTAH, GRANTING A
PETITION BY THE CITY OF SANTA CLARA TO VACATE CERTAIN PORTIONS OF
VICTORS STREET, SOUTH OF SANTA CLARA DRIVE.**

WHEREAS, pursuant to Utah Code Ann. § 10-9a-609.5, a municipality may submit a petition, in accordance with the same section, to initiate and complete a process to vacate some or all of a public street; and

WHEREAS, the City of Santa Clara has initiated said process with respect to certain portions of Victors Street, south of Santa Clara Drive, as depicted on the “Exhibit Map” prepared by Rosenberg Associates, attached hereto as **Exhibit A**; and

WHEREAS, the City has identified the name and address of each owner of record of land that is adjacent to the relevant portions of Victors Street, and accessed exclusively by or within 300 feet of Victors Street; and

WHEREAS, as required by Utah Code Ann. §§ 10-9a-208 and 609.5, the City Council scheduled a public hearing to be held on April 26, 2023, at 5:00 pm, during a regular meeting of the City Council; and

WHEREAS, and, at least 10 days prior to the scheduled hearing, gave notice of the date, place and time of the public hearing by: (1) mailing notice of the public hearing to the record owner of each parcel accessed by the relevant portions of Victors Street; (2) posting notice of the public hearing on or near the relevant portions of Victors Street in a manner calculated to alert the public; and (3) publishing the notice of the public hearing on the City’s website and on the Utah Public Notice website; and

WHEREAS, the City Council, during its regular meeting held on April 26, 2023, at 5:00 pm, conducted the public hearing, and then after considering the public comments received, and the information presented by City staff, voted to grant the City’s petition by adopting this ordinance.

NOW, THEREFORE, BE IT ORDAINED by the Santa Clara City Council, State of Utah, as follows:

Section 1. Classification

This is a non-code ordinance.

Section 2. General Provisions

Certain portions of Victors Street, south of Santa Clara Drive, as depicted in the “Exhibit Map” attached as **Exhibit A**, and as more particularly described with the legal descriptions set forth in

Exhibit B, are hereby vacated and abandoned by the City, the title to said vacated and abandoned portions of Victors Street being vested in the record owners of the adjoining parcels, as set forth in Utah Code Ann. § 72-5-105, and as depicted in said Exhibits. The Exhibits are incorporated herein with this reference.

Section 3. Findings

In support of the vacation set forth herein, the Santa Clara City Council makes the following findings:

1. That good cause for the vacation exists, in that following the vacation of the identified portions of Victors Street, the remaining street dedication will (a) be more consistent with City road standards and cross-sections, (b) be better configured for future improvements to the roadway and associated storm water surface improvements, and (c) be easier and more cost-efficient for the City to maintain.
2. That the properties adjacent to Victors Street which utilize the street for ingress and egress shall not have their access impaired by this vacation.
3. That no public utilities are adversely impacted by the vacation, and there are in the vacated portions no easements owned by any culinary water authority or sanitary sewer authority save for the City itself, which has determined that the vacation does not adversely impact any utilities which may be present in the street.
4. That neither the public interest nor any person will be materially injured by the vacation.

Section 4. Effective Date

This ordinance shall become effective upon recording in the records of the Washington County Recorder in the manner required by law.

ADOPTED by a duly constituted quorum of the Santa Clara City Council this 26th day of April, 2023.

IN WITNESS THERETO:

Attest:

Rick Rosenberg, Mayor

Chris Shelley, City Recorder

**EXHIBIT A
TO ORDINANCE 2023-10**

EXHIBIT MAP
(See following page)

EXHIBIT B
TO ORDINANCE 2023-10

LEGAL DESCRIPTIONS
(See following pages)

Mayor

Rick Rosenberg

City Manager

Brock Jacobsen



City Council

Denny Drake

Leina Mathis

Ben Shakespeare

Jarett Waite

Christa Hinton

CITY COUNCIL

Meeting Date: April 26, 2023

Agenda Item: 5

Applicant: Santa Clara City

Requested by: Matt Ence

Subject: Abandonment of Sewer Easement

Description:

Santa Clara City is proposing to abandon an unused sewer easement in the proposed Santa Clara Valley Homes project at the end of Victors Street. Additional information will be provided for review.

Recommendation:

Attachments: Yes

Cost: N/A

Legal Approval: Yes

Finance Approval: N/A

Budget Approval: N/A

2603 Santa Clara Drive, Santa Clara,
Utah 84765 Phone (435) 673-6712 Fax
(435) 628-7338

WHEN RECORDED, RETURN TO:
Santa Clara City
1603 Santa Clara Dr.
Santa Clara, UT 84765

Affecting Parcel Nos.
SC-117-A, SC-75-D, SC-ANDR-2, SC-ANDR-3

TERMINATION OF EASEMENT BY RELEASE

THIS TERMINATION OF EASEMENT BY RELEASE (“**Release**”) is made as of the ____ day of April, 2023, by Santa Clara City, a municipality and political subdivision of the State of Utah (“**Releasor**”).

WHEREAS, on or around February 16, 2006, certain property owners granted to Releasor that certain *Storm Drain Easement* which was recorded in the office of the Washington County Recorder on February 16, 2006, as Doc. No. 20060003562 (the “**Easement**”), across certain real property in Washington County, State of Utah.

NOW, THEREFORE, pursuant to the approval of the Santa Clara City Council on April 26, 2023, Releasor does, by this instrument, release any and all claims pursuant to the Easement, it being the City’s express intention to terminate and abandon the Easement, effective as of the date of recording hereof.

[Signature and Acknowledgement Page Follows]

IN WITNESS WHEREOF, Releasor has executed this Release as of the 26th day of April, 2023.

RELEASOR

SANTA CLARA CITY, a municipality and political subdivision of the State of Utah

By: _____
Mayor, Rick Rosenberg

ATTEST

By: _____
City Recorder, Chris Shelley

STATE OF UTAH)
§
COUNTY OF WASHINGTON)

On this ____ day of April, 2023, personally appeared before me Mayor Rick Rosenberg, the authorized signer of Santa Clara City, whose identity is personally known to me, to be the person who executed the Termination of Easement by Release on behalf of Santa Clara City, and who duly acknowledged to me that he executed the same for the purposes therein stated.

Witness my hand and official seal.

(Notary Public)

(Seal)

Mayor

Rick Rosenberg

City Manager

Brock Jacobsen



City Council

Denny Drake

Leina Mathis

Ben Shakespeare

Jarett Waite

Christa Hinton

CITY COUNCIL

Meeting Date: April 26, 2023

Agenda Item: 6

Applicant: Santa Clara City

Requested by: Jim McNulty

Subject: Preliminary & Final Plat

Description:

Julian Stemmer (Silverado LLC) is requesting to subdivide an existing meets and bounds property (Parcel #SC-6-2-9-43051212, described as 20.74 acres). The proposed Silverado Commercial Subdivision includes 4-lots. A staff report and subdivision plat have been included in your packet.

Recommendation:

Attachments: Yes

Cost: N/A

Legal Approval: Yes

Finance Approval: N/A

Budget Approval: N/A



City of Santa Clara
2603 Santa Clara Drive
(435) 656-4690, Ext. 225
jmcnulty@sccity.org

Staff Report

Preliminary & Final Subdivision Plat Summary and Recommendation

Public Body: Santa Clara City Council

Meeting Date: April 26, 2023

Current Zone: Planned Development Residential, PDR

General Plan Designation: Main Street Commercial, MSC & Open Space, OS

Property Address: Intersection of Pioneer Parkway & future extension of Red Mountain Drive

Request: Preliminary & Final Subdivision Plat (Silverado Commercial Subdivision)

Applicant Name: Julian Stemmer

Staff Planner: Jim McNulty

Planning Staff Recommendation: Approval with conditions

Meeting Type: Public Meeting

PROJECT DESCRIPTION

The applicant, **Julian Stemmer (Silverado LLC)**, is requesting to subdivide an existing meets and bounds property (Parcel #SC-6-2-9-43051212, described as 20.74 acres). The proposed **Silverado Commercial Subdivision includes 4-lots**. Lot 1 is 6.44 acres (280,459 sq. ft.) in size, Lot 2 is 5.22 acres (227,420 sq. ft.) in size, Lot 3 is 2.61 acres (113,666 sq. ft.) in size, with Lot 4 being 5.45 acres (237,423 sq. ft.) in size. Lots 3 & 4 have frontage off Pioneer Parkway. Lots 1 & 2 will have frontage on Red Mountain Drive once completed. Each of the proposed lots appears to be of sufficient size to allow for the proposed commercial and residential uses.

Ingress/Egress will be available to the lots from Pioneer Parkway, Red Mountain Drive, and Rachel Drive. The future extension of Red Mountain Drive will provide access to this development as well as the Black Desert Community.

Currently, a medical office building is proposed for Lot 4. This property will be sold to Intermountain Healthcare. Previously, the applicant (Silverado LLC) had proposed a pickleball facility with a sports themed Bar & Grille on this property; however, that is no longer an option. The remaining property (Lots 1, 2, and 3) would be developed as previously discussed with the Planning Commission and City Council. A mancave/residential project is proposed for Lot 1, with a multi-family apartment project proposed on Lot 2. The applicant intends to develop commercial pads on Lot 3 as it has good visibility and frontage along both Pioneer Parkway and Red Mountain Drive. The proposed commercial subdivision is intended to allow for a legal division of property; however, **the applicant will be required to submit an updated Project Plan, Rezoning, and General Plan Amendment applications**.

SITE & VICINITY DESCRIPTION

The subject property is located at the intersection of Pioneer Parkway and future extension of Red Mountain Drive.

NEIGHBORHOOD RESPONSE

Public notices are not required for a subdivision. The Planning Commission agenda has been posted in multiple locations as per State Code. No comments have been received by city staff as of the writing of this report.

REVIEWING DEPARTMENTS

DEPARTMENT: Building

Recommendations: A geotechnical report will be required for each building at the time of building permit submittal.

Required Revisions: None at this time.

DEPARTMENT: Parks & Recreation

Recommendations: N/A

Required Revisions: N/A

DEPARTMENT: Police & Fire

Recommendations: N/A

Required Revisions: N/A

DEPARTMENT: Power

Recommendations: Public Utility Easements (PUE's) are required to be shown on the subdivision plat.

Required Revisions: None at this time.

DEPARTMENT: Public Works

Recommendations: Public Utility Easement (PUE's) must be shown on the final plat. A final mylar with signature blocks is required.

Required Revisions: None at this time.

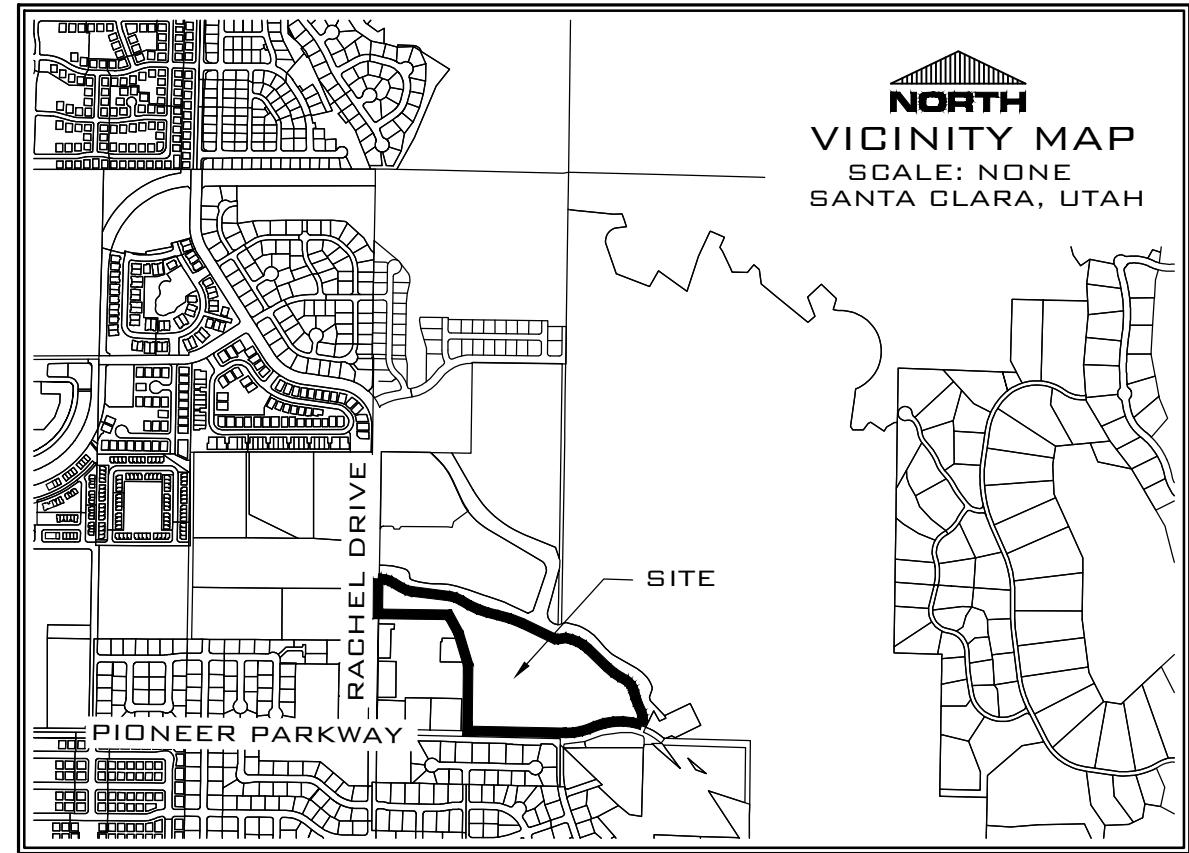
CITY STAFF RECOMMENDATION

On April 13, 2023, the Planning Commission held a public meeting and forwarded a recommendation of approval to the City Council. City staff recommends that the City Council consider granting Preliminary & Final Plat Approval for the Silverado Commercial Subdivision subject to the following conditions:

1. That the applicant be required to comply with the recommendations from all city reviewing departments.
2. That the applicant be required to include all Public Utility Easements (PUE's) on the final plat.
3. That the applicant be required to record the subdivision plat and provide an electronic copy to city staff.
4. That the applicant be required to obtain a will-serve letter or other verified documentation from the Washington County Water Conservancy District, WCWCD prior to obtaining a building permit.

Request: Preliminary & Final Plat

5. That the applicant be required to submit an updated Project Plan, Rezoning, and General Plan Amendment applications.
6. That the applicant be required to submit a geotechnical report for each building prior to permit issuance.



TUACAHN & LAVA FLOW WASH HAZARD NOTICE:

- PORTIONS OF THIS DEVELOPMENT ARE LOCATED WITHIN THE TUACAHN WASH EROSION HAZARD BOUNDARY. THE EROSION HAZARD BOUNDARY SHOWN WAS ADOPTED BY SANTA CLARA CITY IN 2014 BASED ON THE EROSION HAZARD STUDY COMPLETED BY SUNRISE ENGINEERING FEBRUARY 2014. THE EROSION HAZARD ZONE (EZ) CONSISTS OF AREAS ADJACENT TO THE RIVER CHANNEL LIKELY TO BECOME REACHES OF A TYPICAL SERIES OF FLOOD EVENTS OVER A 60 YEAR PERIOD, PLUS THE EROSION CAUSED BY A SINGLE 100 YEAR FLOOD EVENT. THE EZ ALSO INCLUDES AREAS PRONE TO NATURAL CHANNEL MOVEMENT DUE TO GEOMORPHIC PROCESSES SUCH AS MEANDER MIGRATION OR CHANNEL AVULSION.
- BY PURCHASER'S ASSUMPTION AND ALL RISKS OF DAMAGE AND PERSONAL INJURY AS A RESULT OF ITS PROXIMITY TO THE TUACAHN WASH, AND DOES INDEMNIFY AND HOLD SANTA CLARA CITY, ITS OFFICERS, BOARDS, EMPLOYEES, AGENTS AND ASSIGNS, HARMLESS FROM ANY AND ALL CLAIMS OF INJURY, DAMAGE, EXPENSE OR LOSS OF WHATEVER NATURE, AND BY ANY PERSON, RELATED TO THE USE OF THEIR PROPERTY NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, OR ANY DAMAGE, DIRECTLY OR INDIRECTLY, CAUSED BY WATER, EROSION, OR DEPOSITION, SUDDEN OR GRADUAL, WHETHER SURFACE, FLOOD, OR RAINFALL.
- APPROVAL OF BUILDING PERMITS FOR THE DEVELOPMENT ARE CONDITIONED UPON ACKNOWLEDGEMENT BY PROPERTY OWNERS OF THE POTENTIAL RISKS OF FLOOD AND EROSION DAMAGE AT THIS LOCATION.
- THIS DEVELOPMENT IS ADJACENT TO THE TUACAHN WASH REGULATORY FLOODPLAIN BASED ON FEMA LETTER OF MAP REVISION (LOMR) CASE # 19-08-0375P, APPROVED 8/14/2019. MINIMUM FINISHED FLOOR ELEVATIONS (FFE) FOR UNITS 22-25 ARE SHOWN BELOW. MINIMUM FINISHED FLOOR ELEVATIONS (FFE) ARE BASED ON 100 YEAR WATER SURFACE ELEVATIONS (WSELS) ESTABLISHED BY LOMR CASE # 19-08-0375P + 2.0' AS PER SANTA CLARA CITY ORDINANCE. MINIMUM FINISHED FLOOR ELEVATIONS ARE BASED ON THE NAVD 88 VERTICAL DATUM.

NOTES:

- NOT WITHSTANDING THE POSTING OF BOND FOR INSTALLATION OF OFF-SITE IMPROVEMENTS, NO BUILDING PERMIT WILL BE ISSUED FOR ANY LOT IN THIS SUBDIVISION UNTIL ALL UTILITIES ARE FULLY INSTALLED IN THE ENTIRE SUBDIVISION.
- UNSTABLE SOIL CONDITIONS MIGHT EXIST ON LOTS IN THIS SUBDIVISION. PURCHASERS OF LOTS HEREIN HAVE THE SOLE RESPONSIBILITY FOR OBTAINING APPROPRIATE ENGINEERING SERVICES AND ADVICE RELATIVE TO THE USABILITY OF THE LOTS. THE CITY OF SANTA CLARA DISCLAIMS ALL RESPONSIBILITY FOR SUCH SOIL CONDITIONS, WATER CONTROL (SURFACE AND/OR SUBSURFACE), AND DRAINAGE CONTROL.
- ALL STREET LANDSCAPING SHALL CONFORM TO SANTA CLARA CITY'S LANDSCAPE ORDINANCE.
- A 10.0' PUBLIC UTILITY AND DRAINAGE EASEMENT TO BE DEDICATED ALONG RED MOUNTAIN DRIVE & PIONEER PARKWAY AS SHOWN.
- FLOOD ZONE CLASSIFICATION - FLOOD ZONE CLASSIFICATION - THE SURVEYED PARCEL IS LOCATED WITHIN ZONE "X" & "AE". "X" WHICH IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", "AE" WHICH IS DEFINED AS "WITHOUT BASE FLOOD ELEVATION (BFE)" AND SUCH FLOOD CONDITION IS SHOWN ON THE FEDERAL FLOOD INSURANCE RATE MAP, NO. 49053C07638G & 49053C07639G, EFFECTIVE DATES, APRIL 2, 2009.

NOTE: SAID ZONE DETERMINED BY DEPICTED SCALE MAP LOCATION AND GRAPHIC PLOTTING ONLY

OWNER'S DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF ALL THE ABOVE DESCRIBED TRACT OF LAND HAVING CAUSED THE SAME TO BE SUBDIVIDED LOTS, PUBLIC STREETS, AND EASEMENTS TO BE HERINAFTER KNOWN AS:

SILVERADO SANTA CLARA

FOR GOOD AND VALUABLE CONSIDERATION RECEIVED, THE UNDERSIGNED OWNER(S) DO(E)S HEREBY DEDICATE AND CONVEY TO SANTA CLARA CITY FOR PERPETUAL USE OF THE PUBLIC, ALL PARCELS OF LAND SHOWN ON THIS PLAT AS PUBLIC STREETS, AND PUBLIC UTILITY AND DRAINAGE EASEMENTS. ALL PUBLIC STREETS, AND PUBLIC UTILITY EASEMENTS ARE AS NOTED OR SHOWN. THE OWNER(S) DO(E)S HEREBY WARRANT TO SANTA CLARA CITY, ITS SUCCESSORS AND ASSIGNS, TITLE TO ALL PROPERTY DEDICATED AND CONVEYED TO PUBLIC USE HEREIN AGAINST THE CLAIMS OF ALL PERSONS.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF ____, 2023.

SILVERADO STORAGE SG LLC, A UTAH LIMITED LIABILITY

MANGER (PRINT) _____

ACKNOWLEDGMENT:

STATE OF _____) S.S.

COUNTY OF _____)
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF
A.D. 20____ BY _____, PARTNER.

FULL NAME SIGNATURE: _____

FULL NAME PRINT: _____

COMMISSION NO.: _____

EXPIRATION DATE: _____

(STAMP NOT REQUIRED PER
UTAH CODE 46-1-16 (7) IF
ABOVE INFORMATION IS
ILLED IN)

A NOTARY COMMISSIONED
IN THE STATE OF _____

MORTGAGEE AND LENDER CONSENT TO RECORD:

STATE BANK OF SECURITY NATIONAL LIFE INSURANCE COMPANY, A MORTGAGEE AND LENDER OF THE SAID TRACT OF LAND DOES HEREBY GIVE CONSENT OF SAID TRACT OF LAND TO BE USED FOR THE USES AND PURPOSES DESCRIBED IN THE PLAT, TO RECORDING PLAT, RECORDING OF COVENANTS, CONDITIONS AND RESTRICTIONS AND JOINS IN ALL DEDICATIONS AND CONVEYANCES.

VICE PRESIDENT (PRINT NAME): _____

MORTGAGEE ACKNOWLEDGMENT:

STATE OF UTAH) S.S.

COUNTY OF _____)
ON THIS ____ DAY OF _____ IN THE YEAR _____, BEFORE ME, A NOTARY PUBLIC, PERSONALLY
APPEARED _____ PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE
THE PERSON WHOSE NAME IS SUBSCRIBED TO IN THIS DOCUMENT, AND ACKNOWLEDGED (HE/SHE)
EXECUTED THE SAME.

FULL NAME SIGNATURE: _____

FULL NAME PRINT: _____

COMMISSION NO.: _____

EXPIRATION DATE: _____

(STAMP NOT REQUIRED PER
UTAH CODE 46-1-16 (7) IF
ABOVE INFORMATION IS
ILLED IN)

A NOTARY PUBLIC COMMISSIONED
IN THE STATE OF _____

SURVEYOR'S CERTIFICATE:

I, BRANDON E. ANDERSON, PROFESSIONAL LAND SURVEYOR NUMBER 4938716, HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT AND HAVE COMPLETED A SURVEY OF THE PROPERTY DESIGNATED HEREIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAME. I HEREBY CERTIFY ALL MEASUREMENTS AND DESCRIPTIONS ARE CORRECT. MONUMENTS WILL BE SET AND REPRESENTED ON THIS PLAT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE HEREIN OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND HAVE SUBDIVIDED THE SAME TRACT INTO LOTS, PUBLIC STREETS, AND EASEMENTS TO BE HERINAFTER KNOWN AS:

SILVERADO SANTA CLARA

THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND POINTS ESTABLISHED ON THE GROUND IN ACCORDANCE WITH THE HEREON LEGAL DESCRIPTION.



CERTIFICATE NO. 4938716

DATE: _____

BRANDON E. ANDERSON

CERTIFICATE NO. 4938716

LEGAL DESCRIPTION:

BEGINNING AT THE NORTHWEST CORNER OF THE HARMONS SANTA CLARA SUBDIVISION, AS FOUND ON RECORDS WITH THE WASHINGTON COUNTY RECORDER'S OFFICE AS ENTRY NO. 201-0002079, SAID POINT BEING ON THE EASTERLY LINE OF RACHEL DRIVE AS FOUND ON RECORD WITH THE WASHINGTON COUNTY RECORDER'S OFFICE AS ENTRY NO. 852034, SAID POINT ALSO BEING NORTH 00°37'37" EAST 857.89 FEET ALONG THE SECTION LINE AND EAST 30.00 FEET FROM THE WEST QUARTER CORNER OF SECTION 9, TOWNSHIP 42 SOUTH, RANGE 16 WEST, SALT LAKE BASE & MERIDIAN, AND RUNNING;

THENCE NORTH 00°37'37" East 250.27 feet along said easterly line of RACHEL DRIVE;

THENCE SOUTH 86°54'29" East 18.83 feet;

THENCE Easterly 99.80 feet along an arc of a 200.00 foot radius curve to the right (center bears south 00°53'35" west, long chord bears south 72°36'43" east 98.77 feet with a central angle of 28°32'11");

THENCE South 56°18'59" East 59.95 feet;

THENCE Easterly 85.62 feet along an arc of a 200.00 foot radius curve to the left (center bears north 31°41'02" east, long chord bears south 70°33'36" east 84.83 feet with a central angle of 24°29'16");

THENCE South 56°18'59" East 26.30 feet;

THENCE Easterly 89.00 feet along an arc of a 200.00 foot radius curve to the right (center bears south 07°11'46" west, long chord bears south 70°03'19" east 88.27 feet with a central angle of 25°29'49");

THENCE Easterly 279.62 feet along an arc of a 750.00 foot radius curve to the left (center bears north 32°41'35" east, long chord bears south 67°59'16" east 278.00 feet with a central angle of 22°21'11");

THENCE Easterly 183.42 feet along an arc of a 750.00 foot radius curve to the right (center bears south 11°19'54" west, long chord bears south 71°39'15" east 183.17 feet with a central angle of 25°01'42");

THENCE South 64°38'24" East 265.08 feet;

THENCE South 64°38'24" East 19.96 feet to the easterly line of BLOCK 28, ST. GEORGE AND SANTA CLARA BENCH IRRIGATION COMPANY SURVEY;

THENCE North 81°14'21" East 50.27 feet to the easterly line of a 49.50 foot right-of-way as shown on the ST. GEORGE AND SANTA CLARA BENCH IRRIGATION COMPANY SURVEY;

THENCE South 06°06'53" West 100.86 feet with a central angle of 22°21'03";

THENCE South 46°08'29" East 102.07 feet;

THENCE Southwesterly 115.93 feet along an arc of a 470.00 foot radius curve to the left (center bears north 43°51'31" east, long chord bears south 53°12'27" east 115.63 feet with a central angle of 14°07'56");

THENCE South 23°34'05" East 60.82 feet;

THENCE Southwesterly 104.85 feet along an arc of a 125.00 foot radius curve to the right (center bears south 29°43'35" west, long chord bears south 36°14'35" east 101.81 feet with a central angle of 48°03'39");

THENCE Southerly 94.14 feet along an arc of a 475.00 foot radius curve to the left (center bears north 77°17'41" east, long chord bears south 17°53'25" east 93.98 feet with a central angle of 22°21'03");

THENCE South 23°34'05" East 60.89 feet;

THENCE Southwesterly 94.81 feet along an arc of a 125.00 foot radius curve to the right (center bears south 66°25'55" west, long chord bears south 01°50'17" east 92.56 feet with a central angle of 43°27'36");

THENCE Westerly the following (4) courses along said northerly line of PIONEER PARKWAY;

THENCE Westerly 337.48 feet along an arc of a 482.91 foot radius curve to the left (center bears south 18°24'18" west, long chord bears south 88°23'05" west 330.65 feet with a central angle of 40°02'26");

THENCE South 68°21'52" West 53.92 feet;

THENCE South 160.89 feet along an arc of a 402.91 foot radius curve to the right (center bears north 21°36'09" west, long chord bears south 79°47'19" west 159.61 feet with a central angle of 22°50'56");

THENCE North 88°47'13" West 703.18 feet to the southeast corner of said HARMONS SANTA CLARA SUBDIVISION;

THENCE the following (4) courses along said HARMONS SANTA CLARA SUBDIVISION;

THENCE North 03°37'49" West 149.30 feet;

THENCE North 16°36'53" West 238.27 feet;

THENCE North 28°38'27" West 146.96 feet;

THENCE North 89°22'23" West 504.53 feet to the point of beginning.

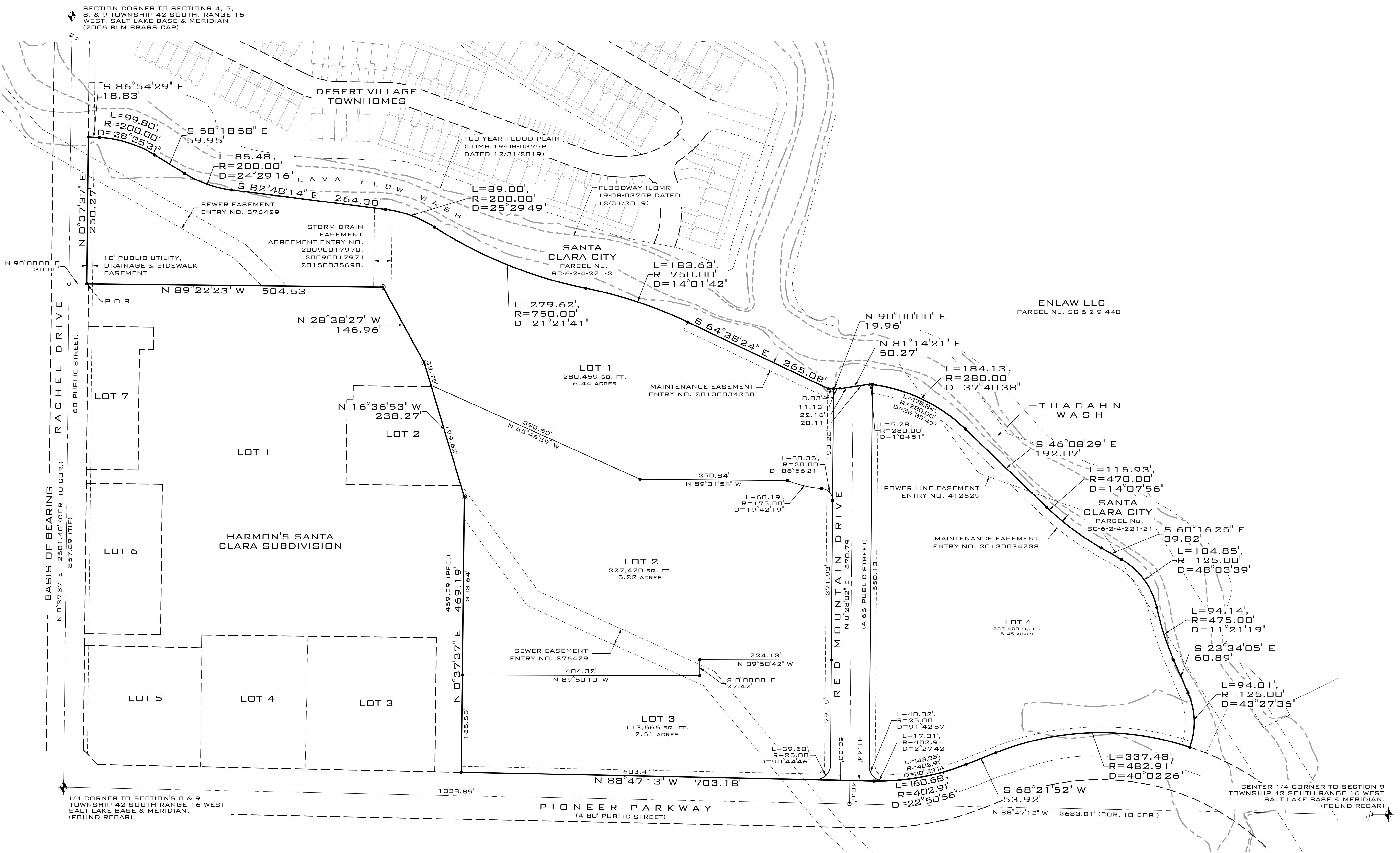
CONTAINING 903,522 SQUARE FEET OR 20.74 ACRES.

THE FINAL PLAT FOR SILVERADO SANTA CLARA

LOCATED IN THE N.W. 1/4 OF SECTION 9,
TOWNSHIP 42 SOUTH, RANGE 16 WEST,
SALT LAKE BASE AND MERIDIAN,
SANTA CLARA CITY | WASHINGTON COUNTY | UTAH.

SHEET 1 OF 2

ROSENBERG ASSOCIATES CIVIL ENGINEERS • LAND SURVEYORS 352 EAST RIVERSIDE DRIVE, SUITE A-2, ST. GEORGE, UTAH 84790 PH (435) 673-8586 • www.RACIVIL.COM		ENGINEER'S APPROVAL: THE HERON SUBDIVISION HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE, THIS DAY OF _____, A.D. _____.		APPROVAL OF THE PLANNING COMMISSION: ON THIS THE _____ DAY OF _____, A.D. _____, THE HERON SUBDIVISION HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE, THIS DAY OF _____, A.D. _____.		CITY SURVEYOR'S CERTIFICATE: I, THE SANTA CLARA CITY SURVEYOR, DO HEREBY VERIFY THAT THIS OFFICE HAS EXAMINED THIS SUBDIVISION PLAT AND HAVE DETERMINED THAT IT IS CORRECT AND IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.		APPROVAL AND ACCEPTANCE BY THE CITY OF SANTA CLARA, UTAH: WE THE MAYOR AND CITY COUNCIL OF SANTA CLARA CITY, UTAH HAVE REVIEWED THE ABOVE SUBDIVISION FINAL PLAT AND BY AUTHORIZATION OF THE CITY COUNCIL, RECORDED IN THE MINUTES OF IT'S MEETING OF THE _____ DAY OF _____, A.D. _____, HEREBY ACCEPT THE SAID SUBDIVISION WITH ALL COMMITMENTS AND ALL OBLIGATIONS PERTAINING THERETO.		APPROVAL AS TO FORM: APPROVED AS TO FORM, THIS DAY OF _____, A.D. _____.		TREASURER APPROVAL I, WASHINGTON COUNTY TREASURER, CERTIFY ON THIS THE _____ DAY OF _____, A.D. _____, THAT ALL TAXES, SPECIAL ASSESSMENTS, AND FEES DUE AND OWING ON THIS SUBDIVISION FINAL PLAT HAVE BEEN PAID IN FULL.		RECORDED NO. SHEET 1 OF 2			
SURVEY-FPLAT FILE NUMBER: 12472-21-001		03/02/2023 DATE: B.E.A. DRAWN: 1" = 60' SCALE: B.E.A. CHECKED:		CHAIRMAN OF THE PLANNING COMMISSION SANTA CLARA CITY, UTAH		CITY SURVEYOR SANTA CLARA CITY, UTAH		CITY RECORDER SANTA CLARA CITY, UTAH		MAYOR SANTA CLARA CITY, UTAH		CITY ATTORNEY SANTA CLARA CITY, UTAH		WASHINGTON COUNTY TREASURER		FEE: COUNTY RECORDER WASHINGTON COUNTY, UTAH	

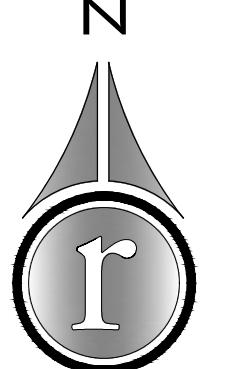


352 EAST RIVERSIDE DRIVE, SUITE A-2, ST. GEORGE, UTAH 84790
PH (435) 673-8586 - WWW.RACIVIL.COM

352 EAST RIVERSIDE DRIVE, SUITE A-2, ST. GEORGE, UTAH 84790
PH (435) 673-8586 - www.RACIVIL.COM

SURVEY-FPLAT FILE NUMBER:	03/02/2023 DATE:	B.E.A. DRAWN:

12472-21-001 JOB NUMBER:	1" = 60' SCALE:	B.E.A. CHECKED:
-----------------------------	--------------------	--------------------



SCALE: 1"=80'

LEGEND

- ◆ FOUND SECTION MONUMENTATION AS SHOWN AND DESCRIBED
- NOTHING SET OR FOUND

- SET CORNER - 5/8" X 20" REB
PLASTIC CAP - ROSENBERG
ASSOCIATES
- FOUND REBAR & CAP (AWA)

THE FINAL PLAT FOR
SILVERADO □
SANTA CLARA

LOCATED IN THE N.W. 1/4 OF SECTION 9,
TOWNSHIP 42 SOUTH, RANGE 16 WEST,
SALT LAKE BASE AND MERIDIAN,
SANTA CLARA CITY | WASHINGTON COUNTY | UTAH.

SHEET 2 OF 2

Mayor

Rick Rosenberg

City Manager

Brock Jacobsen



City Council

Denny Drake

Leina Mathis

Ben Shakespeare

Jarett Waite

Christa Hinton

CITY COUNCIL

Meeting Date: April 26, 2023

Agenda Item: 7

Applicant: Santa Clara City

Requested by: Jim McNulty

Subject: Final Subdivision Plat

Description:

Jim Ence is requesting Final Plat Approval for the Santa Clara Valley Homes project. This includes eight (8) townhome units (3 twin homes and 2 single-family units) on 0.89 acres. This equates to a density of 9 units/acre. A staff report with supporting documents has been included in your packet.

Recommendation:

Attachments: Yes

Cost: N/A

Legal Approval:

Finance Approval: N/A

Budget Approval: N/A

2603 Santa Clara Drive, Santa Clara,
Utah 84765 Phone (435) 673-6712 Fax
(435) 628-7338



City of Santa Clara
2603 Santa Clara Drive
(435) 656-4690, Ext. 225
jmcnulty@sccity.org

Staff Report

Final Subdivision Plat Summary and Recommendation

Public Body: Santa Clara City Council

Meeting Date: April 26, 2023

Current Zone: Planned Development Residential, PDR

General Plan Designation: (Historic District) Medium Density Residential, MDR

Property Address: 1402 Victors Street

Request: Final Plat Approval

Applicant Name: Jim Ence

Staff Planner: Jim McNulty

Planning Staff Recommendation: Approval with conditions

Meeting Type: Public Meeting

PROJECT DESCRIPTION

The applicant, **Jim Ence**, is requesting Final Plat Approval for the Santa Clara Valley Homes project. This includes eight (8) townhome units (3 twin homes and 2 single-family units) on 0.89 acres. This equates to a density of 9 units/acre. The townhomes will be located on site with common area open space, project landscaping, a private driveway, and nine (9) guest parking spaces.

The subject property was rezoned from R-1-10 Single-Family Residential to Planned Development Residential, PDR on March 22, 2017. Additionally, the General Plan Map was updated from Historic Low Density Residential, LDR to Historic Medium Density Residential, MDR in support of the project. A copy of **City Ordinance #2017-03** is attached. The Planning Commission reviewed a preliminary plat on June 20, 2017, and recommended approval to the City Council. The City Council approved the preliminary plat on June 28, 2017. On August 22, 2018, the City Council approved a 3 ½ year time extension for the preliminary plat as the applicant left the country to serve a mission for the Church of Jesus Christ of Latter-Day Saints. Upon coming home in late 2021, a second extension of time was requested and granted by the City Council on January 26, 2022, allowing for an additional 18 months (minutes attached).

Ingress/Egress to the site will be provided from Victors Street, and the extension of a private driveway into the interior of the site (see plat map). A portion of Victors Street will be vacated to allow for a newly finished public right-of-way width of 45'. The City Council will be required to hold a public hearing on this item as per State Code.

SITE & VICINITY DESCRIPTION

The subject property is located at approximately 1402 Victors Street, south of Santa Clara Drive. Other properties in the vicinity are developed.

ITEMS TO ADDRESS WITH FINAL PLAT

City staff has identified the following items that need to be addressed with Final Plat Approval:

1. **Public Street & Dedication:** All required public street improvements need to meet city standards and be installed or bonded for prior to final plat recordation.
2. **Private Driveway/Parking:** A 26' private driveway will be provided for access into the project. Also, nine (9) guest parking spaces have been included. These areas will be owned and maintained by the HOA.
3. **Street Vacation:** A portion of Victors Street will be vacated to allow for a newly finished road width of 45'. Previously, this right-of-way was planned at 66'; however, this road will now terminate in a cul-de-sac with a 50' radius as per the subdivision plat.
4. **Building Setbacks/Height:** The building setbacks are required to meet the requirements of Chapter 17.68, Planned Development Residential, PDR Zone. The building height for all homes/units in the subdivision is limited to 35'.
5. **Building Design/Colors/Materials:** The Heritage Commission reviewed the building elevations, colors, and materials on January 18, 2017. After this recommendation, the Planning Commission & City Council agreed with the following: gray lap siding (hardi board), stucco, red brick, and white trim. An upstairs balcony with white railing and columns, and a gabled roof to provide architectural interest.
6. **Common Landscape/Open Space:** The applicant is proposing approximately 40% of the total lot area as common landscape/open space. A copy of the landscape plan and irrigation plan has been included. Both appear to meet the requirements of City Ordinance #2022-05 (Water Efficiency & Conservation).
7. **Culinary Water Availability:** The applicant is required to obtain a will-serve letter or other verified documentation from the Washington County Water Conservancy District, WCWCD prior to final plat recordation.
8. **Secondary Water Availability:** The applicant is required to connect/install secondary water for outdoor water use.
9. **Storm Drain Easement:** The existing storm drain easement adjacent to Unit 7 (along the south property line) will be abandoned.
10. **Dust Control:** The applicant will be required to submit a dust control plan prior to final plat recordation. Precautionary measures are needed to protect the general health, safety, and welfare of residents living in the vicinity.

NEIGHBORHOOD RESPONSE

Public notices are not required for a subdivision. The Planning Commission agenda has been posted in multiple locations as per State Code. No comments have been received by city staff as of the writing of this report.

REVIEWING DEPARTMENTS

DEPARTMENT: Building

Recommendations: A geotechnical report will be required for each residential building/unit prior to building permit issuance.

Required Revisions: None at this time.

DEPARTMENT: Parks & Recreation

Recommendations: N/A

Required Revisions: N/A

DEPARTMENT: Police & Fire

Recommendations: Fire & Emergency Vehicle access is required.

Required Revisions: None at this time.

DEPARTMENT: Power

Recommendations: Public Utility Easements (PUE's) are required for each final plat.

Required Revisions: None at this time.

DEPARTMENT: Public Works

Recommendations: Public Utility Easements (PUE's) are required to be shown on the final plat. All public streets must be included on the final plat. A final mylar with signature blocks is required for the final plat.

Required Revisions: None at this time.

STATE CODE CONSIDERATIONS

Utah Code, Section 52-4-202 includes requirements for subdivisions. A city must hold a public meeting to consider a subdivision plat. The meeting agenda, date, time, and place of the meeting must be placed on the city website and in public locations (e.g., City Hall, Post Office, local library) at least 24 hours before the meeting. The city is also required to post on the State Public Notice Website. Planning Staff has determined that all State Code requirements have been met with this application.

CITY STAFF RECOMMENDATION

On April 13, 2023, the Planning Commission held a public meeting and forwarded a recommendation of approval to the City Council. City staff recommends that the City Council consider granting Final Plat Approval for Santa Clara Valley Homes, subject to the following conditions:

1. That the applicant be required to comply with the recommendations from all city reviewing departments for each project phase.

Request: Santa Clara Valley Homes

2. That the applicant be required to install public street improvements which meet city standards. Also, that a 26' private driveway with nine (9) guest parking spaces be installed in the interior of the project.
3. That the building setbacks for this subdivision meet the requirements of Chapter 17.68, Planned Development Residential, PDR Zone.
4. That a two-car driveway with a minimum depth of 20' and a two-car garage be provided for each home/unit.
5. That the building height for all homes/units in this subdivision be limited to 35'.
6. That the building design, colors, and materials be as presented to the Heritage Commission, reviewed by the Planning Commission, and approved by the City Council. Any changes would be required to go back to the Heritage Commission for review along with the Planning Commission and City Council for approval.
7. That 40% of the lot area be utilized as common landscape/open space.
8. That the applicant provides a will-serve letter or other verified documentation from the WCWCD prior to final plat recordation.
9. That a secondary water system is required for outdoor use. That the applicant be required to comply with City Ordinance #2022-05.
10. That the City Council approve the abandonment of existing storm drain easement adjacent to Unit 7 (along south property line).
11. That the City Council approve the partial street vacation for Victors Street.
12. That the applicant provides a dust control plan prior to final plat recordation.

SANTA CLARA VALLEY HOMES A GARDEN COMMUNITY

LOCATED IN SECTION 16, TOWNSHIP 42 SOUTH, RANGE 16 WEST
SALT LAKE BASE AND MERIDIAN
SANTA CLARA, WASHINGTON COUNTY, UTAH.



**Know what's below.
Call before you dig.**

NOTICE:
EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

0 20' 40'

SCALE: 1"=20'

FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

BROOKSBY & DARRYLIN
HAFFEN, TRUST

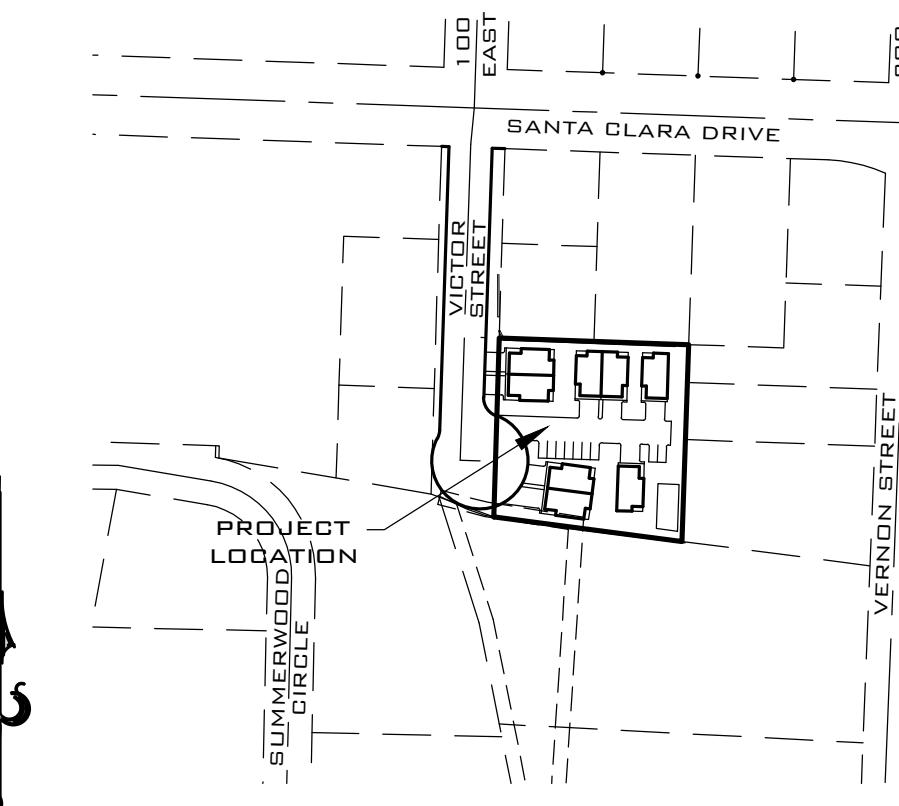
RAYMOND & DOROTHY
ORTON, TRUST

VICTOR & GWENDOLYN
FREI, TRUST

FREI PROPERTIES LLC

GENERAL NOTES

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7. ALL FIELD DESIGN CHANGES SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.



VICINITY MAP SANTA CLARA (NO SCALE)

SITE INFORMATION

CURRENT ZONE: PDR - PLANNED DEVELOPMENT
TOTAL AREA: 0.89 AC
TOTAL UNITS: 8 (0.25 AC)
TOTAL DENSITY: 9 UNITS PER ACRE
SINGLE FAMILY: 8 UNITS 0.25 AC = 28%
DRIVEWAYS & PARKING: 0.19 AC = 21% PUBLIC STREET: 0.05 AC = 6% TOTAL COMMON AREA/OPEN SPACE: 0.40 AC = 45%

PROJECT ENGINEER

THE ENGINEER FOR THIS PROJECT IS:
ROSENBERG ASSOCIATES
CONTACT: ALLEN HALL
352 EAST RIVERSIDE DRIVE, SUITE A2
ST. GEORGE, UTAH 84790
(435) 673-8586

GEOTECHNICAL ENGINEER

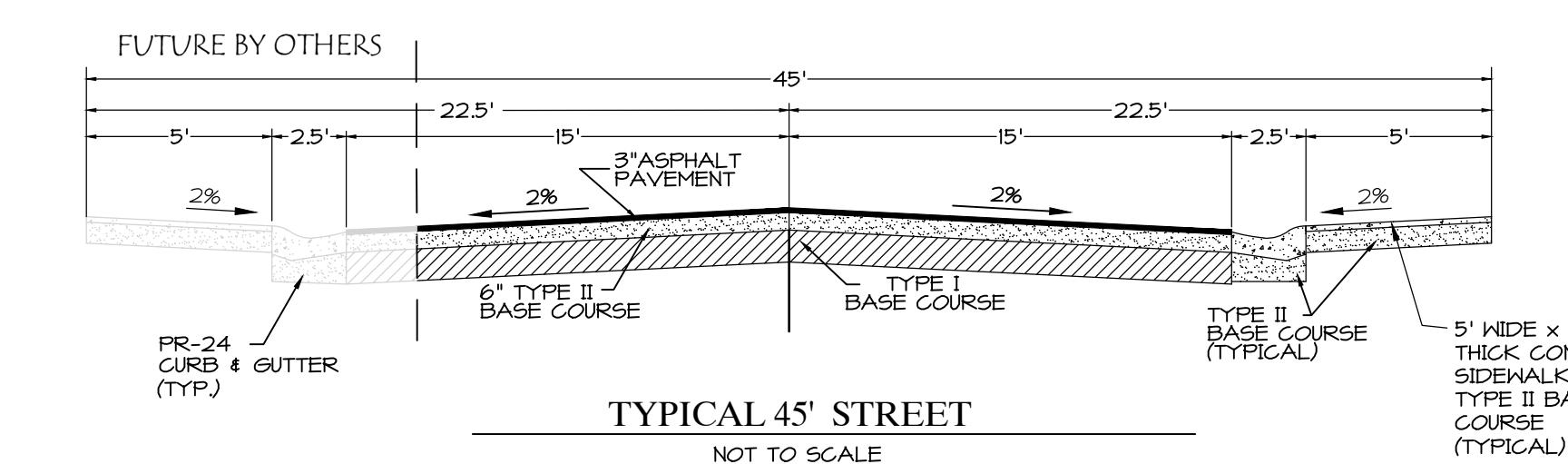
THE GEOTECHNICAL ENGINEER FOR THIS PROJECT IS:
APPLIED GEOTECHNICAL ENGINEERING CONSULTANTS, INC.
CONTACT: WAYNE ROGERS, P.E.
1420 SOUTH 270 EAST
ST. GEORGE, UTAH 84790
(435) 673-6850

OWNER/DEVELOPER CONTACT

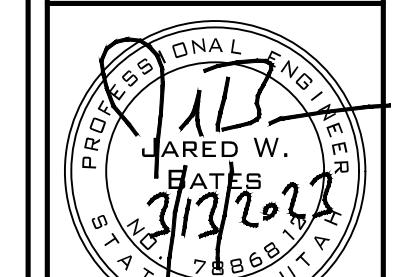
THE DEVELOPER FOR THIS PROJECT IS:
SANTA CLARA VALLEY HOMES
CONTACT: JIM ENCE
800 OLD FARM ROAD
SANTA CLARA, UTAH 84765
(435) 632-2668

EASEMENT NOTE

WHEN FINAL PLAT IS RECORDED EASEMENTS WILL BE GRANTED TO THE COMMON USE OF THE PROPERTY OWNERS, BUT NOT TO THE USE OF THE GENERAL PUBLIC (UNLESS NOTED) WITHIN ALL COMMON AND LIMITED COMMON AREAS WITHIN THIS SUBDIVISION FOR INSTALLATION, ACCESS, MAINTENANCE, AND REPAIR OF ALL UTILITIES INCLUDING NATURAL GAS, CABLE TV, TELEPHONE, WATER AND POWER, AND FOR SEWER AND DRAINAGE IMPROVEMENTS.



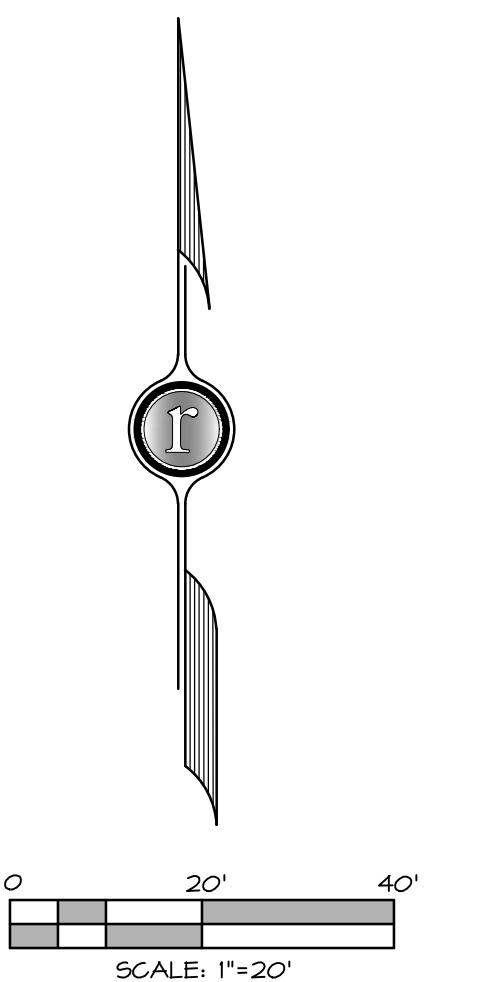
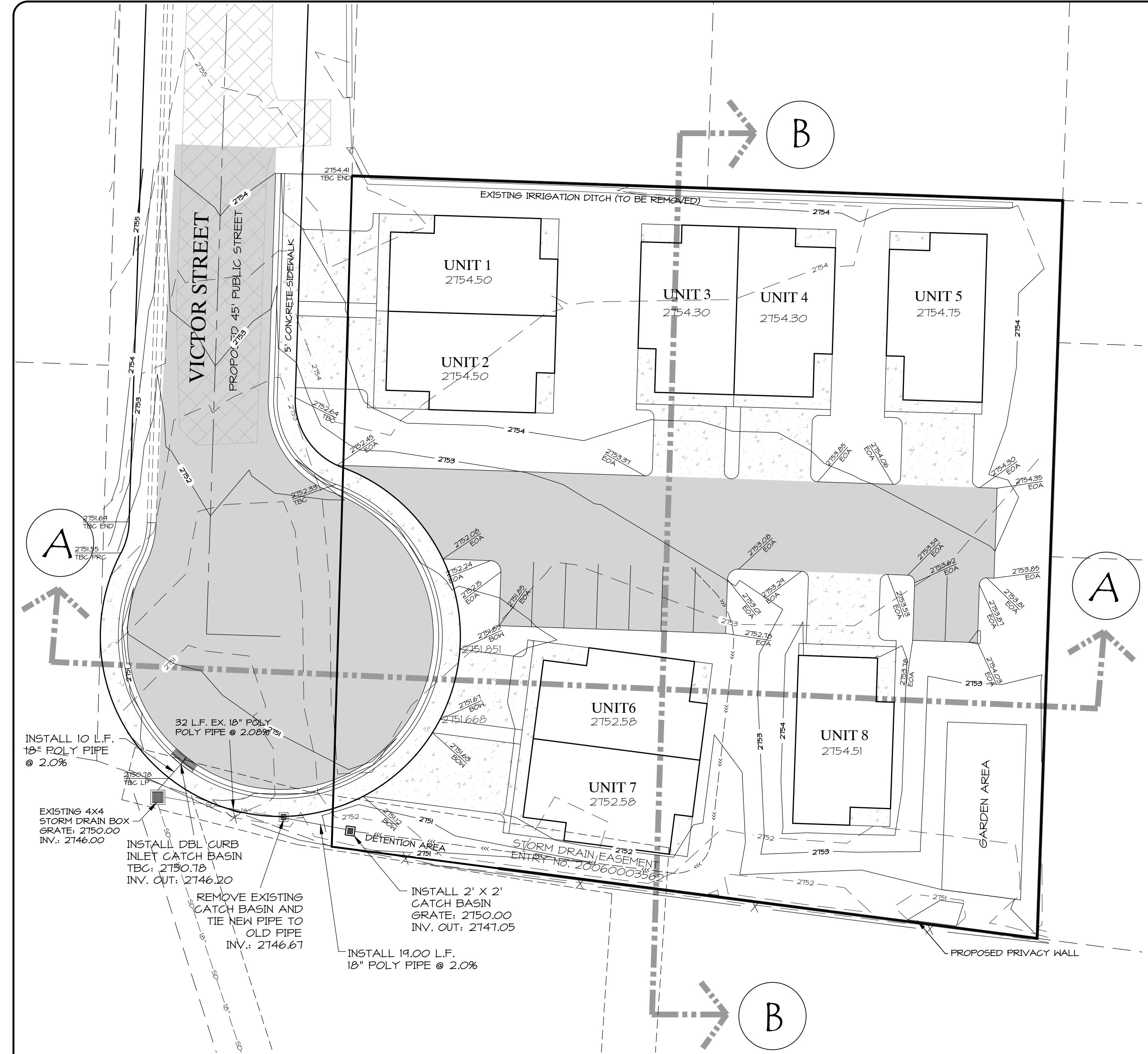
SITE PLAN
FOR
SANTA CLARA VALLEY HOMES
SANTA CLARA
UTAH



SHLEY

2.0

2 OF 12 SHEETS



LEGEND:

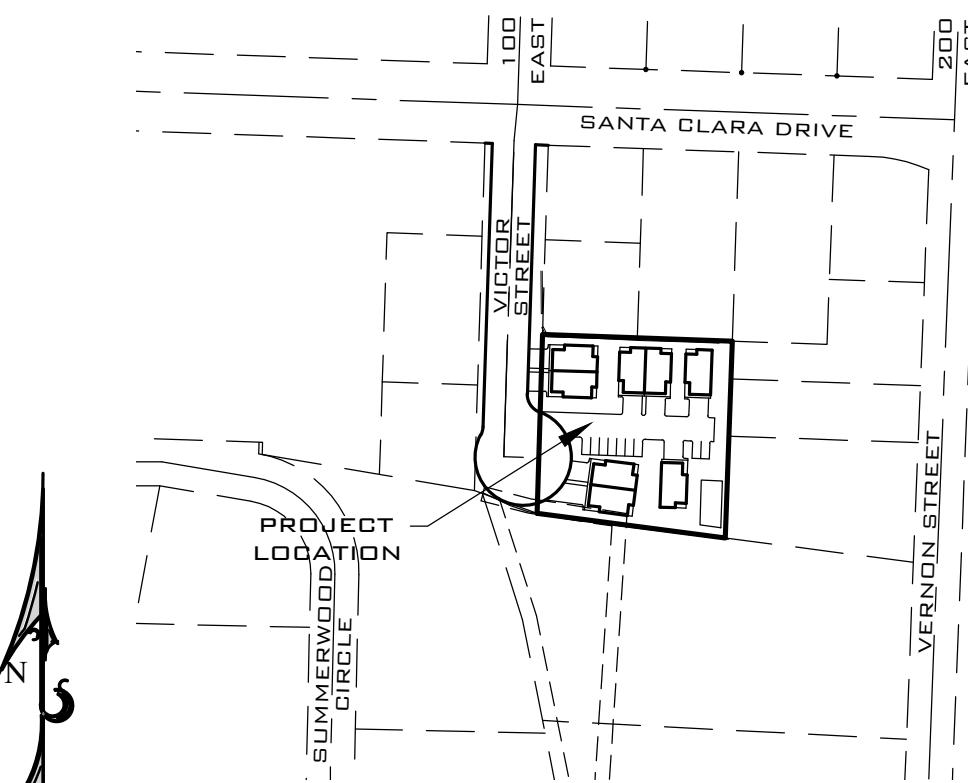
- 2754.25 EXISTING 1' CONTOUR
- 2754.30 EXISTING 5' CONTOUR
- 2754.25 PROPOSED 1' CONTOUR
- 2754.30 PROPOSED 5' CONTOUR
- 2754.25 PROPOSED DRAINAGE SWALE
- XXXX TBC STATION AND ELEVATION
- EXISTING CATCH BASIN
- PROPOSED ASPHALT
- PROPOSED CONCRETE

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VICINITY MAP
SANTA CLARA (NO SCALE)

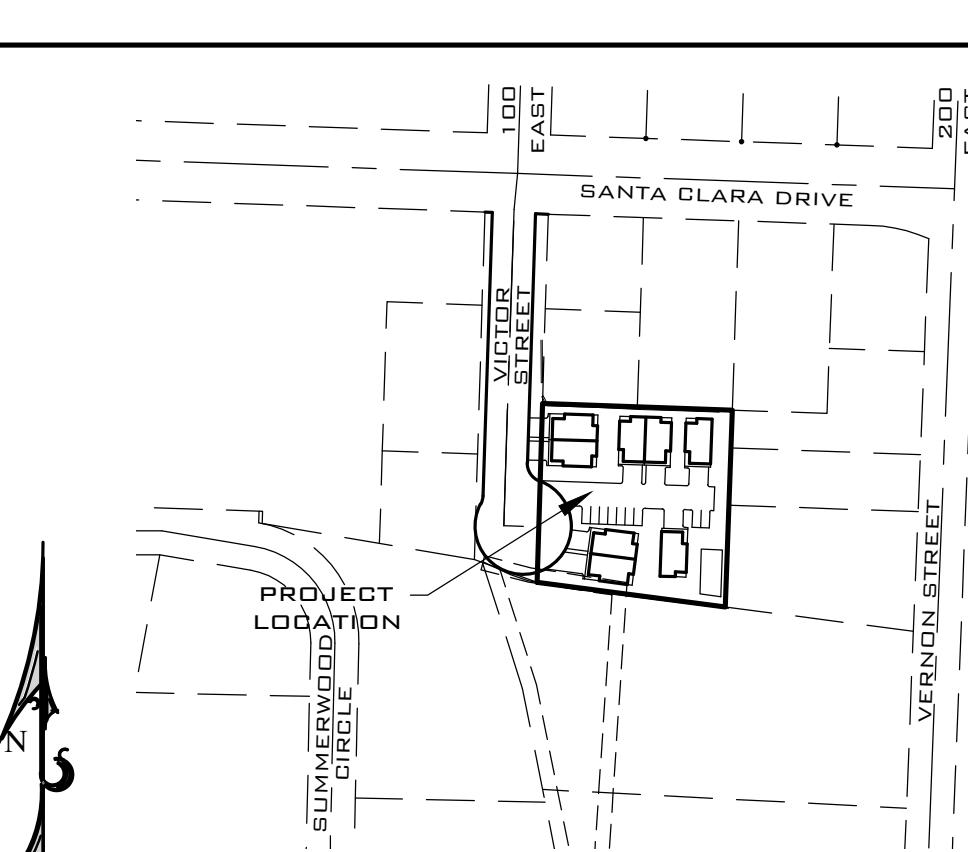
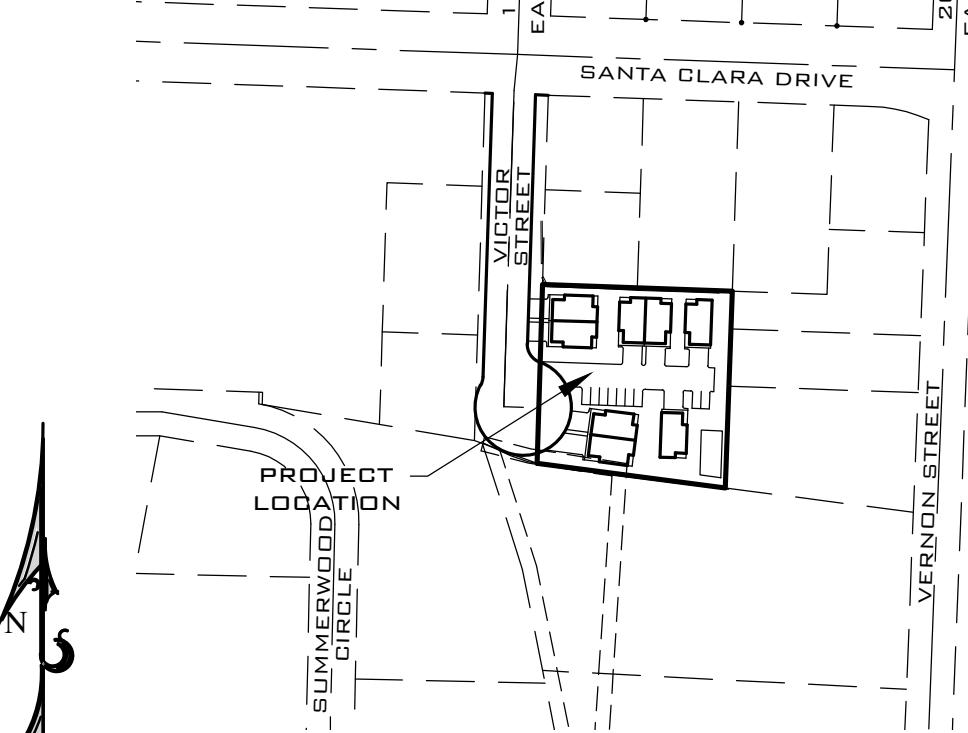
ESTIMATED EARTHWORK VOLUMES:

675 (C) CU. YD. CUT
650 (F) CU. YD. FILL
25 (C) CU. YD. NET

THE EARTHWORK CUT AND FILL VOLUMES SHOWN ON THIS PLAN ARE BASED SOLELY ON THE VOLUME DIFFERENCES BETWEEN TWO DIGITAL TERRAIN MODELS (DTMs), OR SURFACES, THE EXISTING GROUND SURFACE AND THE PROPOSED FINISHED GRADE SURFACE. THIS IS PRESENTED FOR REFERENCE ONLY AS THE FIRST STEP IN THE PROCESS OF PERFORMING THE EARTHWORK QUANTIFICATION. THE VOLUMES SHOWN HEREIN DO NOT REPRESENT A FINAL ESTIMATE OF ACTUAL EARTH TO BE MOVED UPON REVIEW OF THE GEOTECHNICAL REPORT. THE CONTRACTOR RESPONSIBLE FOR EXCAVATION SHALL ACCOUNT FOR OVER-EXCAVATION, SCRAPPING, AND ADJUSTMENT TO SUB-GRADE FOR ALL IMPROVEMENTS INCLUDING LANDSCAPING, ETC. AND SHALL MAKE DETERMINATION OF IMPORT OF BOUNDING MATERIAL AND OTHER MATERIALS EXCAVATION AND COMPACTION OF UTILITY TRENCHES, AND OTHER FACTORS TO MAKE A FINAL DETERMINATION OF THE TOTAL EARTHWORK REQUIRED FOR THE PROJECT. IN SOME CASES ADDITIONAL CONSULTATIONS WITH THE GEOTECHNICAL ENGINEER AND CIVIL ENGINEER MAY BE REQUIRED.

GENERAL NOTES

- ALL EXCAVATIONS AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SANTA CLARA CITY, SPECIFICALLY APPENDIX B3 OF THE "UNIFORM BUILDING CODE" (LAWNS, ETC.) FOR FREEHOLD PROPERTY. APPENDIX K OF THE UTAH UNIFORM BUILDING STANDARD ACT RULES* FOR GRADING, EXCAVATION AND EARTHWORK CONSTRUCTION AND THE SPECIFICATIONS AND REQUIREMENTS INCLUDED IN THE GEO-TECHNICAL STUDY.
- THE CONTRACTOR SHALL PROVIDE SUITABLE EQUIPMENT TO CONTROL DUST AND AIR POLLUTION CAUSED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL ALSO PROVIDE SUITABLE MUD AND DIRT CONTAINMENT TO MAINTAIN THE WORK SITE, ACCESS ROADWAYS AND ADJACENT PROPERTIES IN A CLEAN CONDITION.
- ALL IMPORTED STRUCTURAL FILL SHALL BE APPROVED BY THE GEO-TECHNICAL ENGINEER PRIOR TO DELIVERY TO THE SITE. ALL STRUCTURAL FILL SHALL BE PLACED IN 6 INCH LOOSE HORIZONTAL LIFTS AND COMPAKTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY (ASTM D-1557).
- ALL EXCAVATIONS, GRADING AND FILL OPERATIONS WITHIN THE BUILDING AREA SHOULD BE OBSERVED BY THE GEO-TECHNICAL ENGINEER TO VERIFY SUB-GRADE CONDITIONS AND DETERMINE ADEQUACY OF SITE PREPARATION, SUITABILITY OF FILL MATERIALS AND COMPLIANCE WITH COMPACTION REQUIREMENTS.
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THE EARTHWORK CUT AND FILL VOLUMES SHOWN ON THIS PLAN ARE BASED SOLELY ON THE VOLUME DIFFERENCES BETWEEN TWO DIGITAL TERRAIN MODELS (DTMs), OR SURFACES, THE EXISTING GROUND SURFACE AND THE PROPOSED FINISHED GRADE SURFACE. THIS IS PRESENTED FOR REFERENCE ONLY AS THE FIRST STEP IN THE PROCESS OF PERFORMING THE EARTHWORK QUANTIFICATION. THE VOLUMES SHOWN HEREIN DO NOT REPRESENT A FINAL ESTIMATE OF ACTUAL EARTH TO BE MOVED UPON REVIEW OF THE GEOTECHNICAL REPORT. THE CONTRACTOR RESPONSIBLE FOR EXCAVATION SHALL ACCOUNT FOR OVER-EXCAVATION, SCRAPPING, AND ADJUSTMENT TO SUB-GRADE FOR ALL IMPROVEMENTS INCLUDING LANDSCAPING, ETC. AND SHALL MAKE DETERMINATION OF IMPORT OF BOUNDING MATERIAL AND OTHER MATERIALS EXCAVATION AND COMPACTION OF UTILITY TRENCHES, AND OTHER FACTORS TO MAKE A FINAL DETERMINATION OF THE TOTAL EARTHWORK REQUIRED FOR THE PROJECT. IN SOME CASES ADDITIONAL CONSULTATIONS WITH THE GEOTECHNICAL ENGINEER AND CIVIL ENGINEER MAY BE REQUIRED.

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL MEET SANTA CLARA CITY CONSTRUCTION DESIGN STANDARDS (2023 UPDATE).
- A MANDATORY PRE-CONSTRUCTION MEETING WILL BE REQUIRED ON ALL PROJECTS PRIOR TO ANY GRUBBING, GRADING, OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICES INSPECTORS.
- PROJECTS SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE BEGINNING CONSTRUCTION. THIS SIGN WILL HAVE A MINIMUM SIZE, PLACEMENT LOCATION AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT & GRADING PERMIT NUMBER.
- ALL WORK SHALL BE CONTAINED ON THE SUBJECT SITE ONLY. NO STOCKPILING OR CONSTRUCTION ACTIVITY SHALL OCCUR OFF SITE.
- THE PROJECT SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING AND REPORTING OF DUST CONTROL ACTIVITIES. A WATER TRUCK SHALL BE AVAILABLE ON-SITE THROUGHOUT CONSTRUCTION TO CONTROL AIRBORNE PARTICLES.
- THE CONTRACTOR SHALL PROVIDE PORTABLE RESTROOMS AND A TEMPORARY TRASH ENCLOSURE ON SITE DURING ALL CONSTRUCTION ACTIVITIES.
- ALL FIELD DESIGN CHANGES SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

ESTIMATED EARTHWORK VOLUMES:

675 (C) CU. YD. CUT
650 (F) CU. YD. FILL
25 (C) CU. YD. NET

THE EARTHWORK CUT AND FILL VOLUMES SHOWN ON THIS PLAN ARE BASED SOLELY ON THE VOLUME DIFFERENCES BETWEEN TWO DIGITAL TERRAIN MODELS (DTMs), OR SURFACES, THE EXISTING GROUND SURFACE AND THE PROPOSED FINISHED GRADE SURFACE. THIS IS PRESENTED FOR REFERENCE ONLY AS THE FIRST STEP IN THE PROCESS OF PERFORMING THE EARTHWORK QUANTIFICATION. THE VOLUMES SHOWN HEREIN DO NOT REPRESENT A FINAL ESTIMATE OF ACTUAL EARTH TO BE MOVED UPON REVIEW OF THE GEOTECHNICAL REPORT. THE CONTRACTOR RESPONSIBLE FOR EXCAVATION SHALL ACCOUNT FOR OVER-EXCAVATION, SCRAPPING, AND ADJUSTMENT TO SUB-GRADE FOR ALL IMPROVEMENTS INCLUDING LANDSCAPING, ETC. AND SHALL MAKE DETERMINATION OF IMPORT OF BOUNDING MATERIAL AND OTHER MATERIALS EXCAVATION AND COMPACTION OF UTILITY TRENCHES, AND OTHER FACTORS TO MAKE A FINAL DETERMINATION OF THE TOTAL EARTHWORK REQUIRED FOR THE PROJECT. IN SOME CASES ADDITIONAL CONSULTATIONS WITH THE GEOTECHNICAL ENGINEER AND CIVIL ENGINEER MAY BE REQUIRED.

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- ALL FIELD DESIGN CHANGES SHALL BE APPROVED BY THE

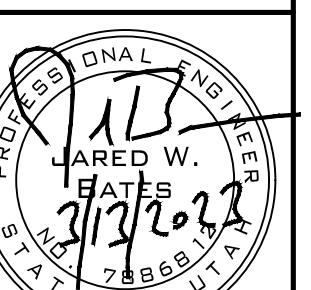
DATE:	3/13/23
JOB NO.:	9740-16
DESIGNED BY:	TKH/AMH
CHECKED BY:	JNB
DWG:	Const. Drawgs

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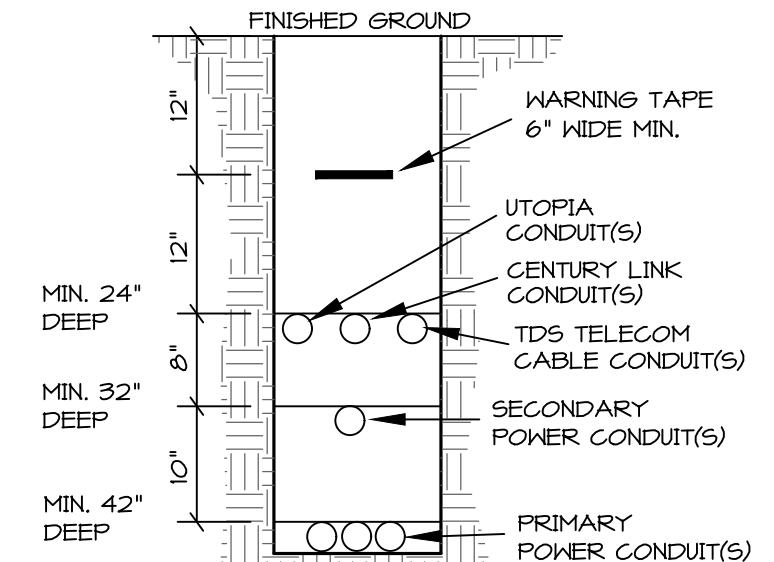
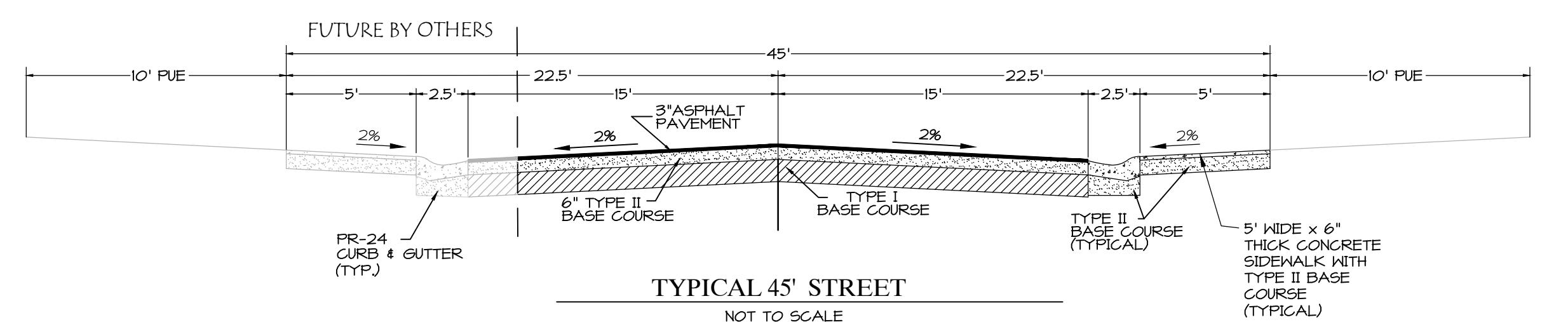


352 East Riverside Drive, Suite A-2
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UTILITY PLAN - WATER, POWER & SEWER
FOR
SANTA CLARA VALLEY HOMES
SANTA CLARA
UTAH



4.0
4 OF 12 SHEETS



NOTE:

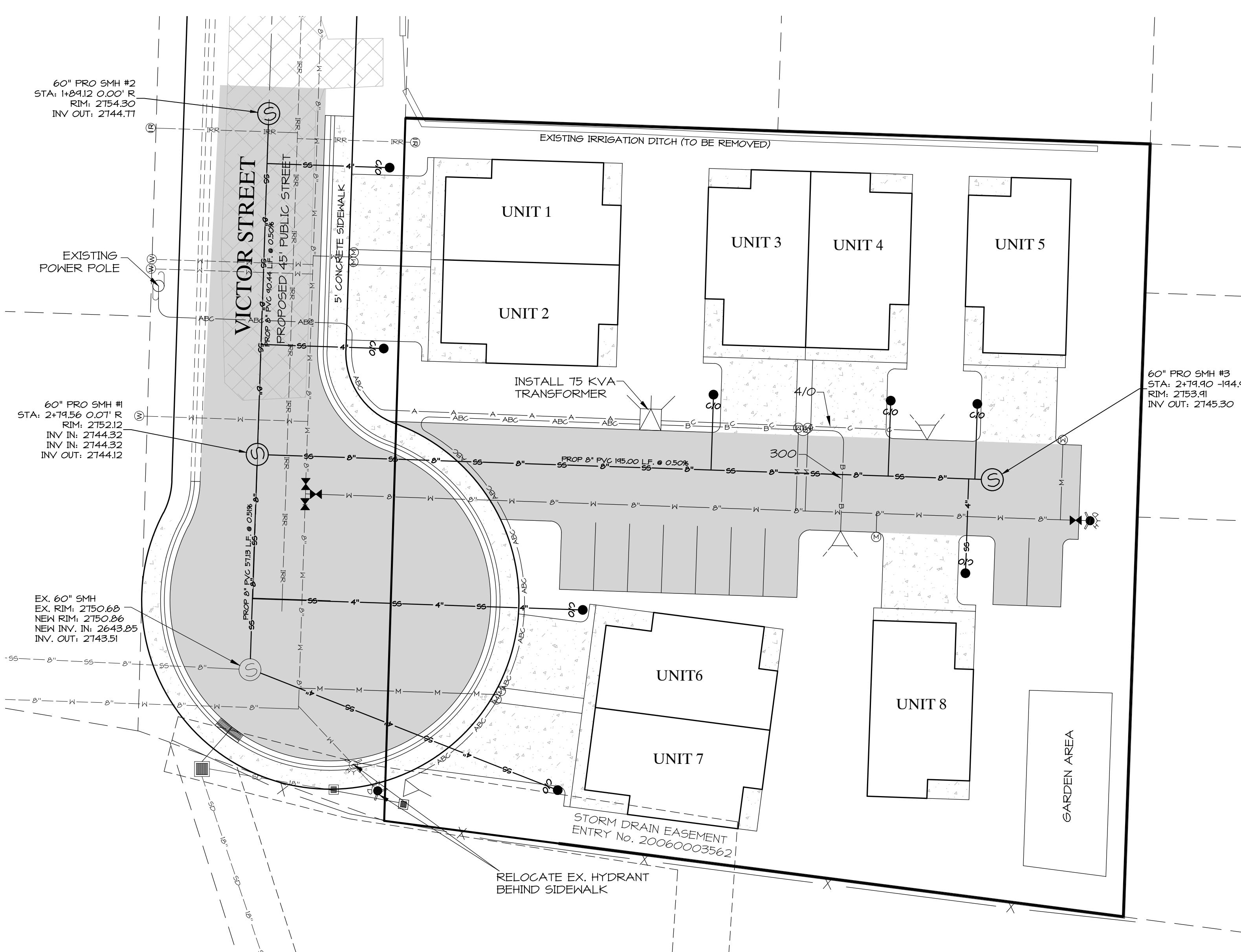
UTILITIES SHOWN ON THE PLANS ARE SCHEMATIC AND NOT TO SCALE TO SHOW DETAIL. ACTUAL LOCATION OF UTILITIES TO BE WITHIN THE PUBLIC UTILITIES EASEMENT OR DEDICATED RIGHT-OF-WAY.

CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES, STORM DRAIN, SEWER LINES AND WATER LINES SHOWN OR NOT SHOWN ON UTILITY PLAN AND RELOCATE IF THERE IS CONFLICTS WITH PROPOSED STRUCTURES OR PROPOSED SITE CONSTRUCTION

ALL CONSTRUCTION SHALL CONFORM TO "SANTA CLARA CITY CONSTRUCTION DESIGN STANDARDS", "THE INTERNATIONAL BUILDING CODE" LATEST EDITIONS AS ADMINISTERED BY THE CITY OF SANTA CLARA.

UTILITY SEPARATION:

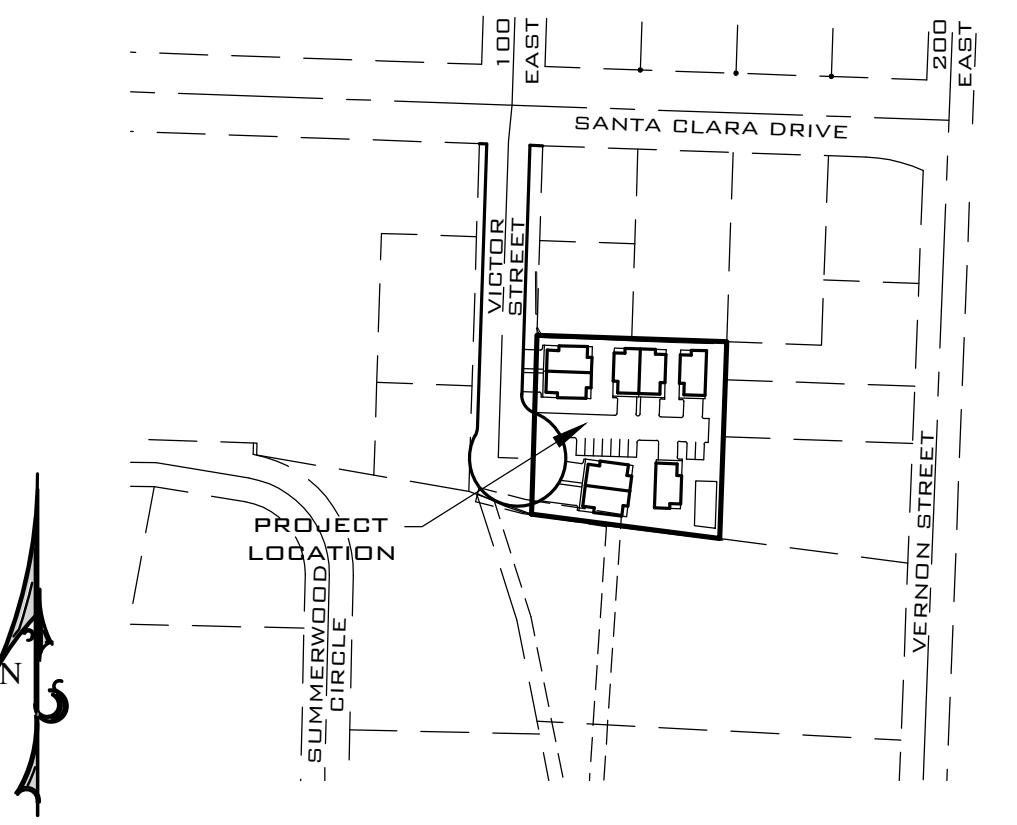
- Water to phone lines/cable TV 5 ft.
- Gas to water or wastewater - 5 ft.
- Water to power - 10 ft.
- Water to irrigation - 5 ft.
- Water to wastewater - 10 ft. horizontal and 12 inches vertical.
- Gas to power - 10 ft.



LEGEND:

PROJECT PROPERTY BOUNDARY	PROPOSED FIRE HYDRANT
W - 8"	EXISTING WATER LINE
W - 8"	PROPOSED WATER LINE
SS - 8"	EXISTING SANITARY SEWER
SS - 8"	PROPOSED SANITARY SEWER
ABC - ABC - ABC	UNDERGROUND PRIMARY 3-PHASE
A - A - A	UNDERGROUND PRIMARY 1-PHASE (A)
B - B - B	UNDERGROUND PRIMARY 1-PHASE (B)
C - C - C	UNDERGROUND PRIMARY 1-PHASE (C)
-----	UNDERGROUND SECONDARY 350 MCM & 500 MCM
-----	EXISTING UNDERGROUND PRIMARY 1-PHASE (C)
-----	EXISTING UNDERGROUND PRIMARY 1-PHASE (B)
-----	EXISTING UNDERGROUND PRIMARY 1-PHASE (A)
-----	EXISTING UNDERGROUND 3-PHASE
-----	EXISTING UNDERGROUND SECONDARY
T - T - T	PROPOSED PHONE LINE
TV - TV - TV	PROPOSED CATV LINE

WV	EX. WATER VALVE
WV	EXISTING WATER VALVE
SS	PROPOSED SEWER MANHOLE
SS	PROPOSED SANITARY SEWER MANHOLE
SS	EX. FIRE HYDRANT
SS	WATER METER
SS	TELEPHONE PEDESTAL
SS	T.V. PEDESTAL



GENERAL NOTES

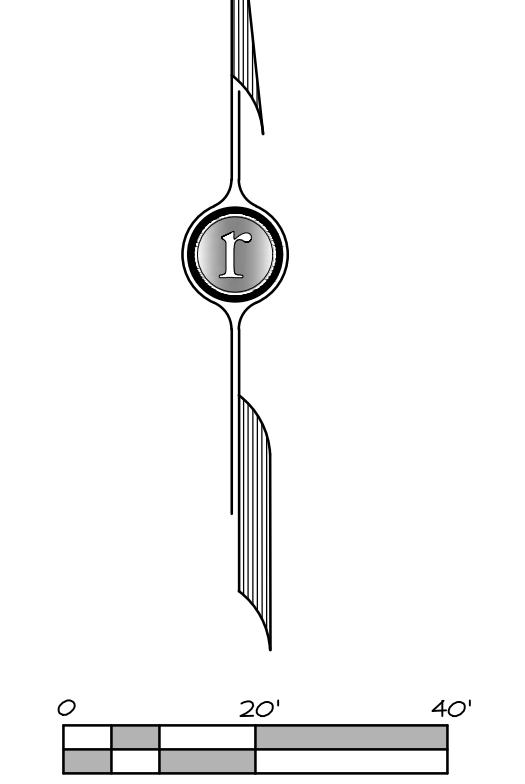
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO CALL THE CITY FOR INSPECTION OF ALL IMPROVEMENTS RELATED TO THIS PROJECT.
- THE CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK DONE IN A PUBLIC RIGHT-OF-WAY.
- ANY NECESSARY MODIFICATIONS SHALL BE APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- UNLESS OTHERWISE ON THESE PLANS ALL CONSTRUCTION SHALL CONFORM TO THE "SANTA CLARA CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION", "THE UNIFORM PLUMBING CODE", AND "THE UNIFORM BUILDING CODE" LATEST EDITIONS AS ADMINISTERED BY SANTA CLARA CITY.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITY, STORM DRAIN AND FIRE SERVICE LINES SHOWN OR NOT SHOWN ON UTILITY PLAN.

POWER
SANTA CLARA CITY POWER DEPT.
2603 SANTA CLARA DR.
SANTA CLARA, UTAH 84765
(435) 673-6712

WATER
SANTA CLARA CITY WATER SERVICES
2603 SANTA CLARA DR.
SANTA CLARA, UTAH 84765
(435) 673-6712

POWER NOTES:

- THE POWER DESIGN ON THIS UTILITY PLAN IS CONSIDERED BY SANTA CLARA CITY AS PRELIMINARY AND NON-BIDABLE UNTIL PLANS HAVE BEEN SIGNED FOR APPROVAL BY SANTA CLARA CITY.
- ALL PRIMARY UNDER-GROUND POWER WORK/INSTALLATION MUST BE COMPLETED BY A CONTRACTOR THAT HAS BEEN PRE-QUALIFIED BY SANTA CLARA CITY AND MEET ALL SANTA CLARA CITY STANDARDS. ALL OVER-HEAD WORK/INSTALLATION MUST BE COMPLETED BY SANTA CLARA CITY.
- ALL WORK DONE BY SANTA CLARA CITY WILL BE BILLABLE TO THE DEVELOPER.
- IT IS THE RESPONSIBILITY OF THE DESIGN ENGINEER TO PROVIDE LOCATION AND ELEVATION OF ALL EXISTING AND DESIGN UNDER-GROUND/OVER-HEAD UTILITIES AND STRUCTURES THAT WILL IMPACT THE SANTA CLARA CITY POWER DESIGN.
- ALL JUG TRENCHES WILL BE BACKFILLED AND COMPACTION IN 6" TO 8" LIFTS TO A COMPACTION OF 95% IN ROADWAYS/SIDEWALKS AND 90% BEHIND SIDEWALK. TESTING IS TO BE DONE AT MIDDLE AND TOP OF TRENCH.
- ALL CHANGES TO EXISTING GRADES NEAR EXISTING POWER UTILITIES MUST BE APPROVED BY SANTA CLARA CITY PRIOR TO CONSTRUCTION.
- ANY FIELD CHANGES TO THE APPROVED POWER DESIGN WILL BE AT THE DEVELOPER'S EXPENSE AND MUST BE PRE-APPROVED AND DOCUMENTED BY SANTA CLARA CITY PRIOR TO INSTALLATION.



WATER NOTES:

- ALL WATERLINE WORKS MUST BE INSTALLED BY A CONTRACTOR THAT HAS BEEN PRE-QUALIFIED BY THE CITY OF SANTA CLARA WATER DEPARTMENT.
- ALL CONSTRUCTION SHALL CONFORM TO THE "SANTA CLARA CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION", "THE INTERNATIONAL PLUMBING CODE", AND "THE UNIFORM BUILDING CODE" LATEST EDITION AS ADMINISTERED BY THE CITY OF SANTA CLARA.
- CONTRACTOR SHALL POTHOLE ALL PIPELINES AND VERIFY LOCATION AND DEPTH PRIOR TO PROVISIONING WITH ANY BUILDING OR PIPELINE CONSTRUCTION.
- THE POTABLE WATER SUPPLY TO LAWN IRRIGATION SYSTEMS SHALL BE PROTECTED AGAINST BACKFLOW PER THE INTERNATIONAL PLUMBING CODE (IPC) SECTION 602.16.5 AND FOR FIRE SPRINKLER SYSTEMS PER (IPC) 602.16.4.
- ALL BACKFLOW ASSEMBLY INSTALLATION SHALL COMPLY WITH SANTA CLARA CITY ORDINANCES. TEST REQUIREMENTS SHALL BE IN ACCORDANCE WITH SANTA CLARA CITY 14 GAUGE WIRE SHALL BE TAPE TO ALL WATER LINES FOR LOCATING PURPOSES. THE WIRE SHALL ALSO BE BROUGHT UP AT EACH VALVE BOX AND HYDRANT.
- THRUST RESTRAINT ON THE NEW PIPELINE WILL BE AS SHOWN ON THE DETAILS. USE MEGA-LUG ON THE FITTINGS AND FIELD LOCK GASKETS ON THE REQUIRED LENGTH OF RESTRAINED PIPE.
- ASPHALT REPLACED OVER THE PIPE TRENCHING IS TO MATCH EXISTING PAVEMENT DEPTHS WITH A 6" OVER CUT FROM EDGE OF THE TRENCH LINE ON EACH SIDE OF THE TRENCH.
- CONTRACTORS SHALL CUT OFF AND CAP (BACK AT THE WATER MAIN), ALL EXISTING SERVICE LINES OR UNUSED STUB LINES THAT WILL BE ABANDONED.
- ANY CHANGES MADE IN THE FIELD MUST BE FIRST APPROVED AND DOCUMENTED BY SANTA CLARA CITY WATER SERVICES ENGINEER.
- ALL FIRE HYDRANTS AND WATER METERS SHALL BE INSTALLED 3 FT. BEHIND BACK OF CURB.

4.0
4 OF 12 SHEETS

DATE: 3/13/23
 JOB NO: 9740-16
 DESIGNED BY: TKH/AMH
 CHECKED BY: JNB
 DWG: Const. Drawgs

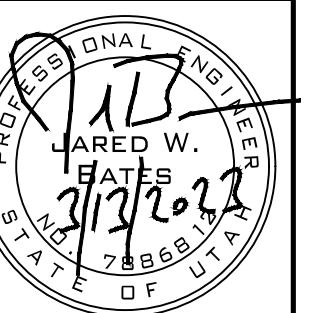
DATE: 10/24/17
 REVISED: AMH
 DESIGNED: CUL-DE-SAC
 CHECKED: AMH
 DWG: 6/20/16
 REVISED: AMH
 DESIGNED: 3/7/23
 CHECKED: AMH
 DWG: 3/7/23

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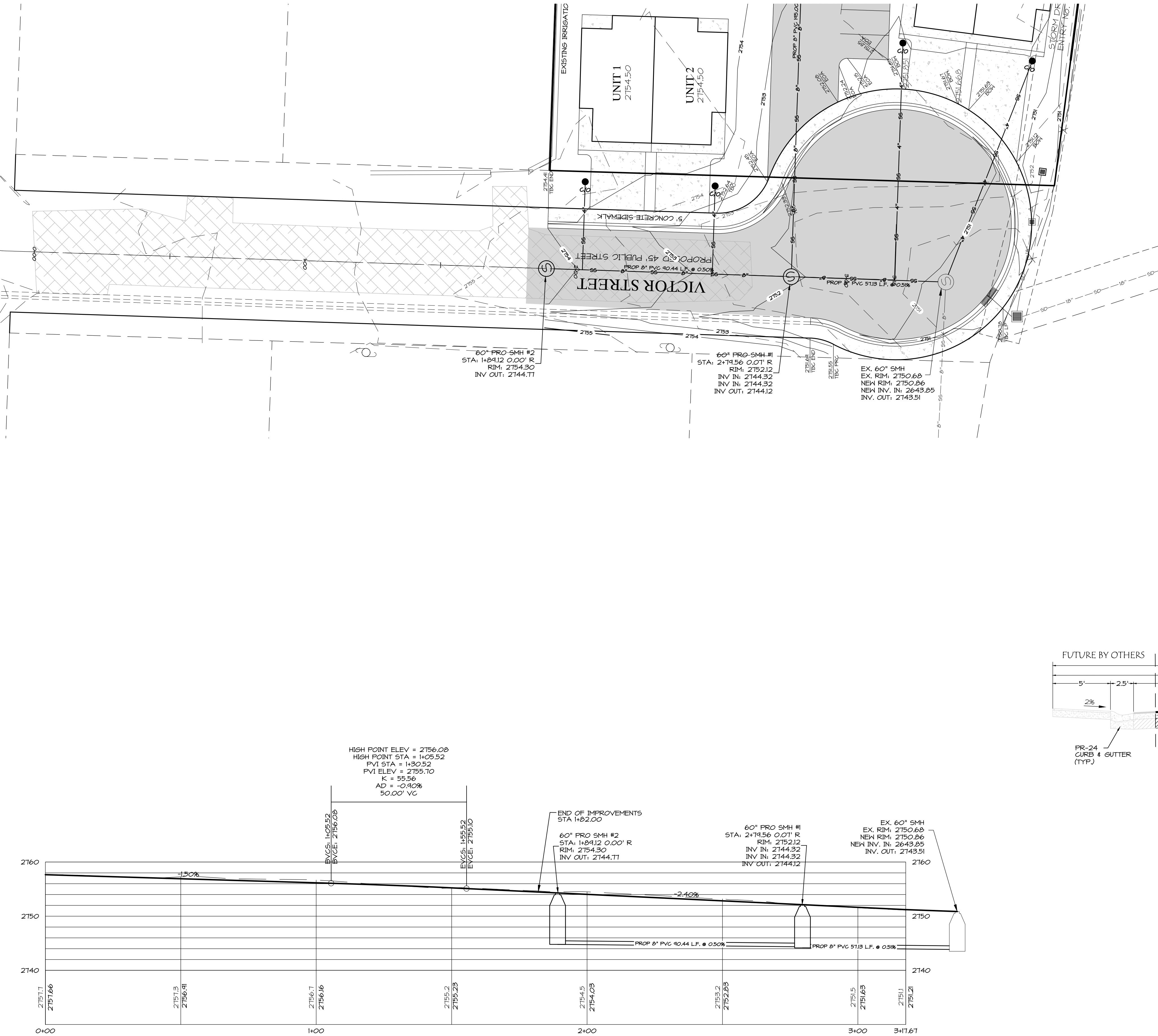
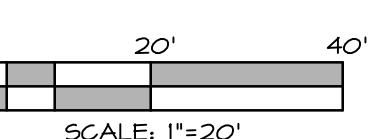
PLAN AND PROFILE VICTOR STREET
 FOR
 SANTA CLARA VALLEY HOMES
 SANTA CLARA
 UTAH



811
 Know what's below.
 Call before you dig.
 SHEET
 5.0
 6 OF 12 SHEETS



NOTICE:
 UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE
 OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE
 FOR LOCATING UTILITIES. THE CONTRACTOR IS ALSO
 RESPONSIBLE FOR CALLING 811. THE CONTRACTOR IS
 LIABLE FOR DAMAGE TO UTILITIES NOT SHOWN
 OR SHOWN INCORRECTLY.



DATE:	3/13/23
JOB NO.:	9740-16
DESIGNED BY:	TKH/AMH
CHECKED BY:	JNB
DWG:	Const. Drawgs

SIGN SUMMARY

ALL TRAFFIC CONTROL SIGNS AND STRIPING SHALL CONFORM TO CITY OF SANTA CLARA CITY CONSTRUCTION DESIGN STANDARDS (SECTION 5) AS WELL AS THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

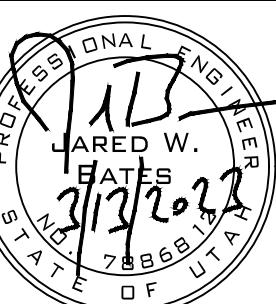
ALL SIGN DIMENSIONS SHALL BE STANDARD SIZES UNLESS OTHERWISE INDICATED ON THE PLANS.

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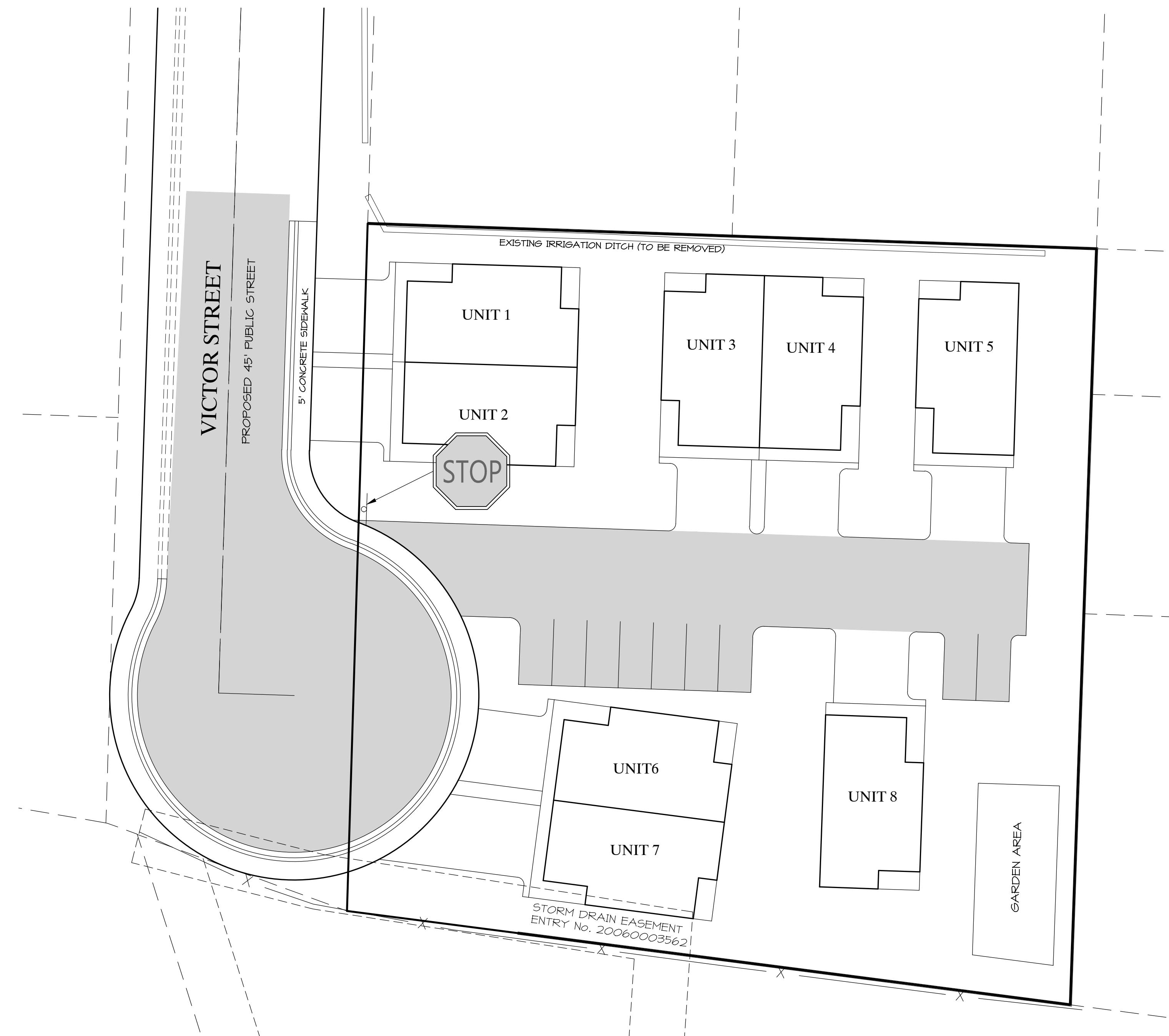


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St. George, Utah 84790
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www.civil.com

SIGNING PLAN
FOR
SANTA CLARA VALLEY HOMES
SANTA CLARA
UTAH

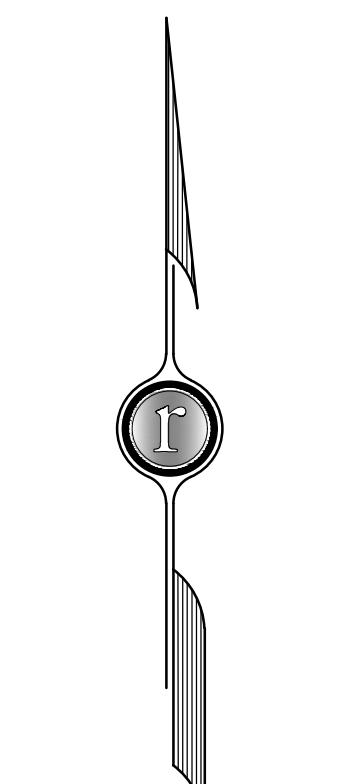


6.0
7 OF 12 SHEETS



Know what's below.
Call before you dig.

NOTICE: EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE OWNER AND CONTRACTOR. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO LOCATE AND PROTECT ALL UTILITIES. THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.



SCALE: 1"=20'

DATE:	3/13/23
JOB NO.:	9740-16
DESIGNED BY:	TKH/AMH
CHECKED BY:	JNB
DWG:	Const. Drawgs

REVISIONS
City Revisions
Revised Ctr-Dra-Soc
Plan Updates

DATE
10/24/17
AMH
6/20/18
AMH
3/13/23
AMH

DESIGN NOTES:

1. CONTRACTOR TO ENSURE THAT THE DESIGN INTENT OF THE LANDSCAPE IS UPHELD AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.

2. ANY CONFLICTING INFORMATION THAT RELATES TO THE DESIGN INTENT OF THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IF ANY INFORMATION IS WITHHELD THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE OF SUCH NOTIFICATIONS.

3. CONTRACTOR SHALL BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND UTILITY COMPANIES FOR ALL LOCATES PRIOR TO CONSTRUCTION.

4. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR LAYOUT AND/OR DESIGN CHANGES AND/OR MODIFICATIONS MADE BY THE OWNER AND/OR ANY PROJECT CONTRACTOR WITHOUT THE EXPRESSED CONSENT OF THE LANDSCAPE ARCHITECT.

DRAINAGE NOTES:

1. DRAINAGE ARROWS: CONCRETE CONTRACTOR TO SLOPE CONCRETE IN DIRECTIONS SHOWN BY THE ARROWS. CONCRETE CONTRACTOR IS TO ENSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE. LANDSCAPE CONTRACTOR TO SLOPE ALL LANDSCAPE AREAS IN DIRECTIONS SHOWN. LANDSCAPE CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM HOUSE AND TO THE STREET.

2. ALL ROOF DRAINS SHALL BE CONNECTED TO SUBSURFACE DRAINS THAT HAVE POSITIVE DRAINAGE TO THE STREET. ALL ROOF DRAINS AND SUBSURFACE DRAINAGE SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE SURFACES. LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE TO PLACE OF DISCHARGE. CONCRETE CONTRACTOR TO VERIFY ALL LOCATIONS OF DRAINS WITH LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION OF ANY CONCRETE SURFACE ON THE OUTSIDE OF STRUCTURE.

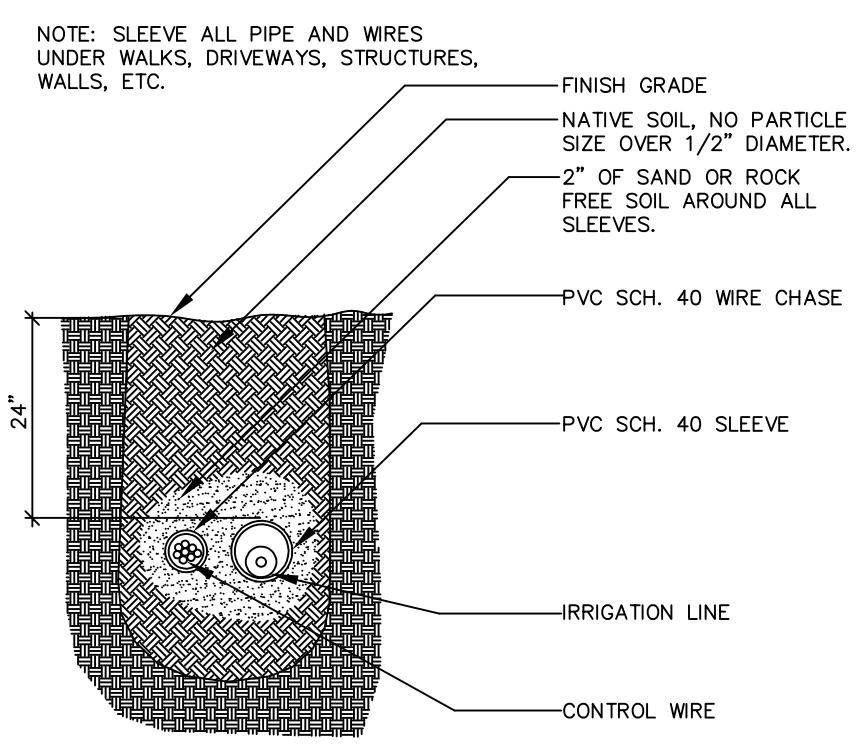
3. LANDSCAPE CONTRACTOR RESPONSIBLE FOR THE CONNECTION AND LAYOUT OF ALL ROOF DRAINS AND SURFACE DRAINS TO APPROVED LOCATIONS.

ROCK MULCH NOTE:

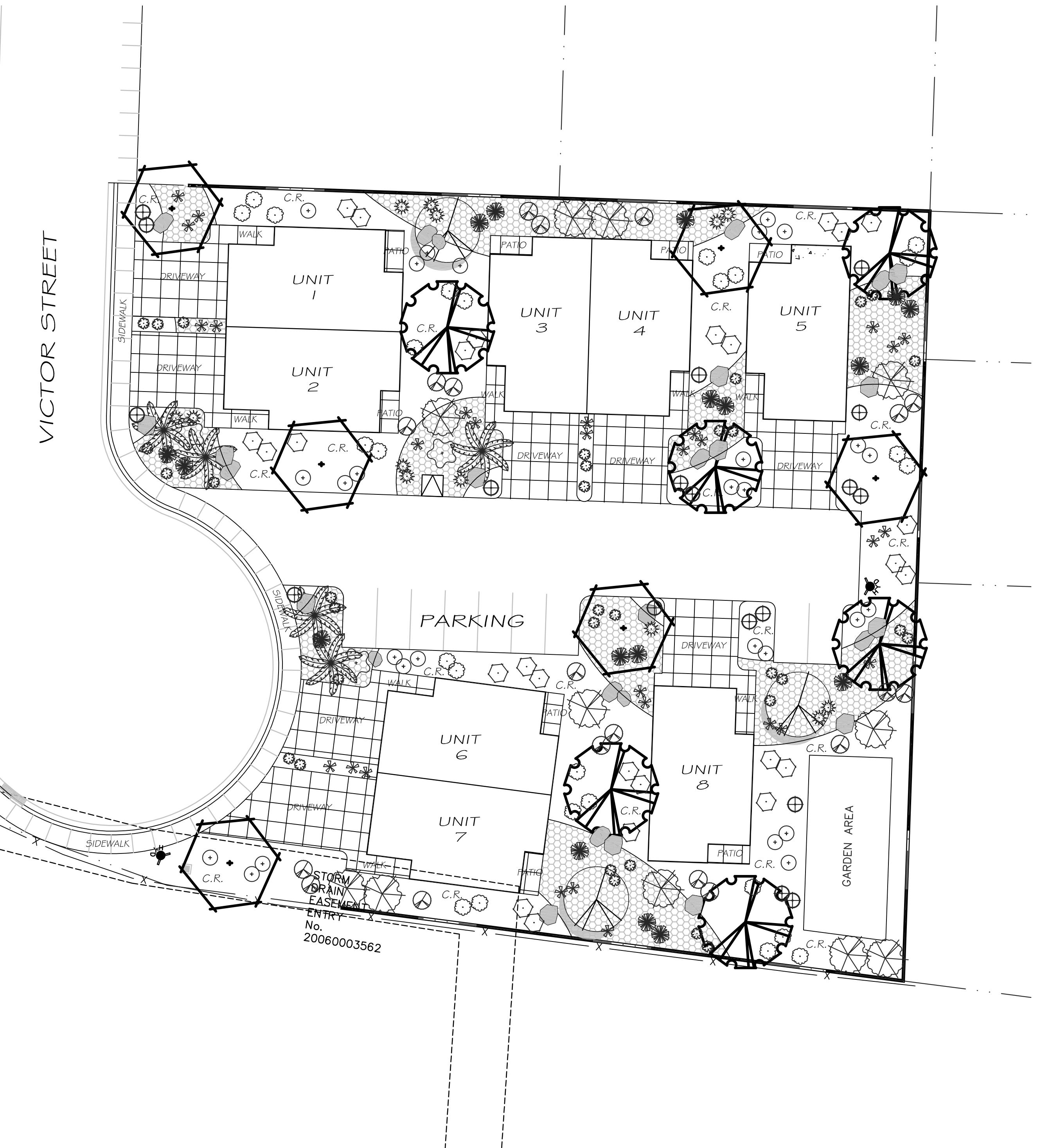
1) CRUSHED ROCK (C.R.) - INSTALL A 3" LAYER OF 3/4" CRUSHED ROCK IN ALL PLANTERS UNDER ALL TREES AND SHRUBS. ROCK TO MATCH COLOR AND SIZE OF EXISTING PHASE 1 ROCK. KEEP TOP OF ROCK 1" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL AFTER INSTALLATION OF PLANT MATERIAL.

SLEEVING NOTE:

1. ALL SLEEVING SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE SURFACES. CONCRETE CONTRACTOR TO VERIFY INSTALLATION OF SUCH ITEMS AND LOCATIONS WITH LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL SLEEVES AND SIZES. SEE DETAIL FOR PROPER SIZING.



SLEEVE SECTION

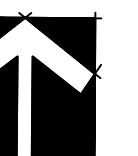


TREE LEGEND

SYMBOL	BOTANICAL / COMMON NAME
Quercus virginiana	SOUTHERN LIVE OAK
Pistache chinensis 'Red Push'	CHINESE PISTACHE
Olea europaea 'Swans Hill'	SWANS HILL OLIVE
Washingtonia filifera	CALIFORNIA FAN PALM
Lagerstroemia indica	CREPE MYRTLE
Chamaerops humilis	MEDITERRANEAN FAN PALM
Rosa 'Red Carpet'	RED CARPET ROSE
Leucophyllum 'Rio Bravo'	RIO BRAVO TEXAS RANGER
Ilex vomitoria	YAPON HOLLY
Nerium oleander 'Petite Red'	RED DWARF OLEANDER
Dasyliion wheeleri	GRAY DESERT SPOON
Muhlenbergia capillaris 'Regal Mist'	REGAL MIST GRASS
Hesperaloe parviflora	RED YUCCA
Nandina domestica 'Moon Bay'	MOON BAY NANDINA
Echinocactus grusonii	GOLDEN BARREL CACTUS

MATERIAL LEGEND

SYMBOL	BOTANICAL / COMMON NAME
Landscape Boulders	VARY IN SIZE: 50% - 4' X 4' 50% - 3' X 3'
2"-4" Crushed Rock	
0 20'-0" 40'-0" 60'-0"	SCALE: 1" - 20'-0"



Know what's below.
Call before you dig.

PROJECT:
SANTA CLARA
VALLEY HOMES
DEVELOPMENT
SHEET CONTENTS:
LANDSCAPE
PLAN

DATE:
03-7-2023
JOB NO:
03072023

Sheet:
L1.01

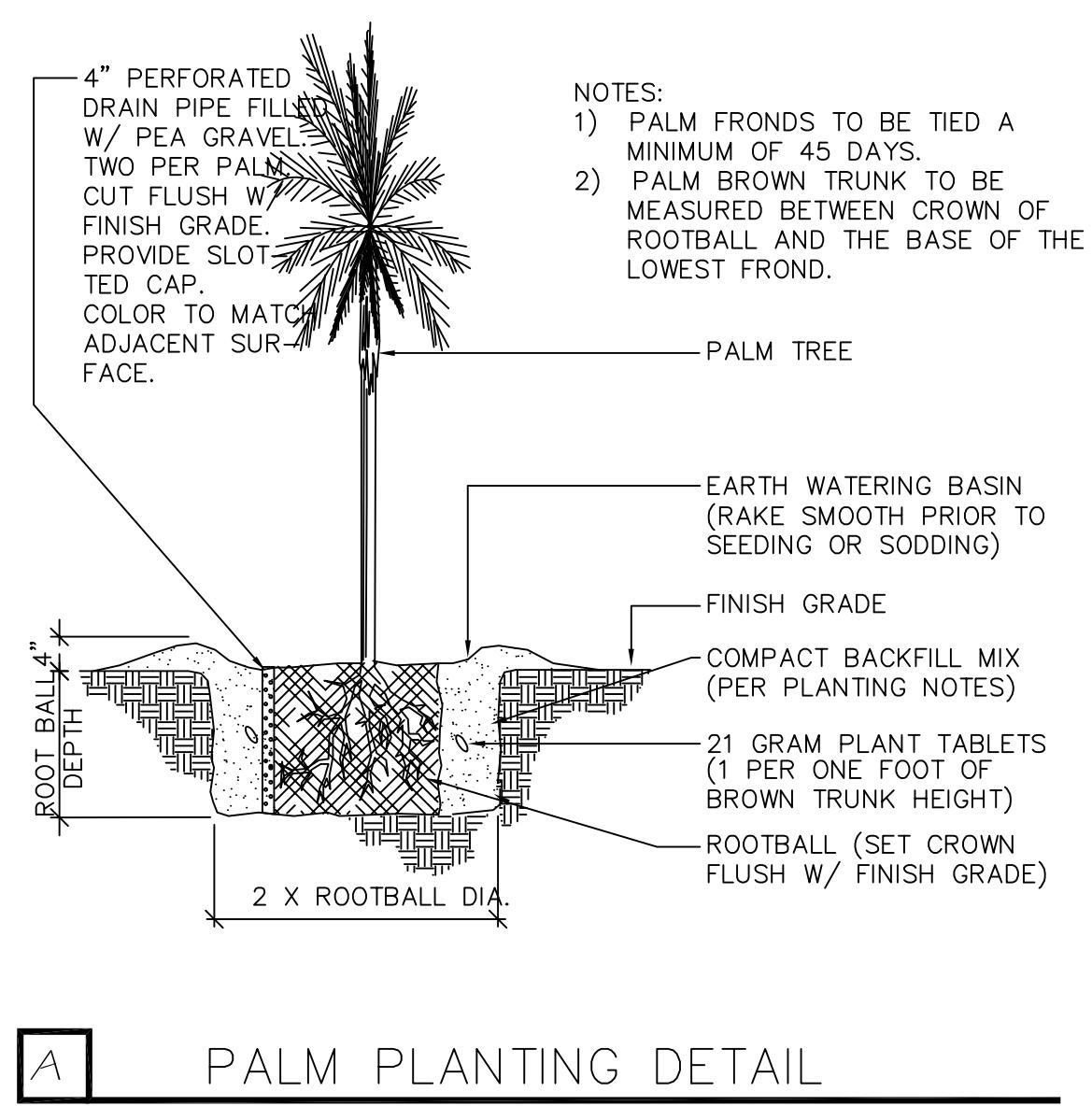


PROJECT:
SANTA CLARA
VALLEY HOMES
DEVELOPMENT
SHEET CONTENTS:
LANDSCAPE
DETAILS

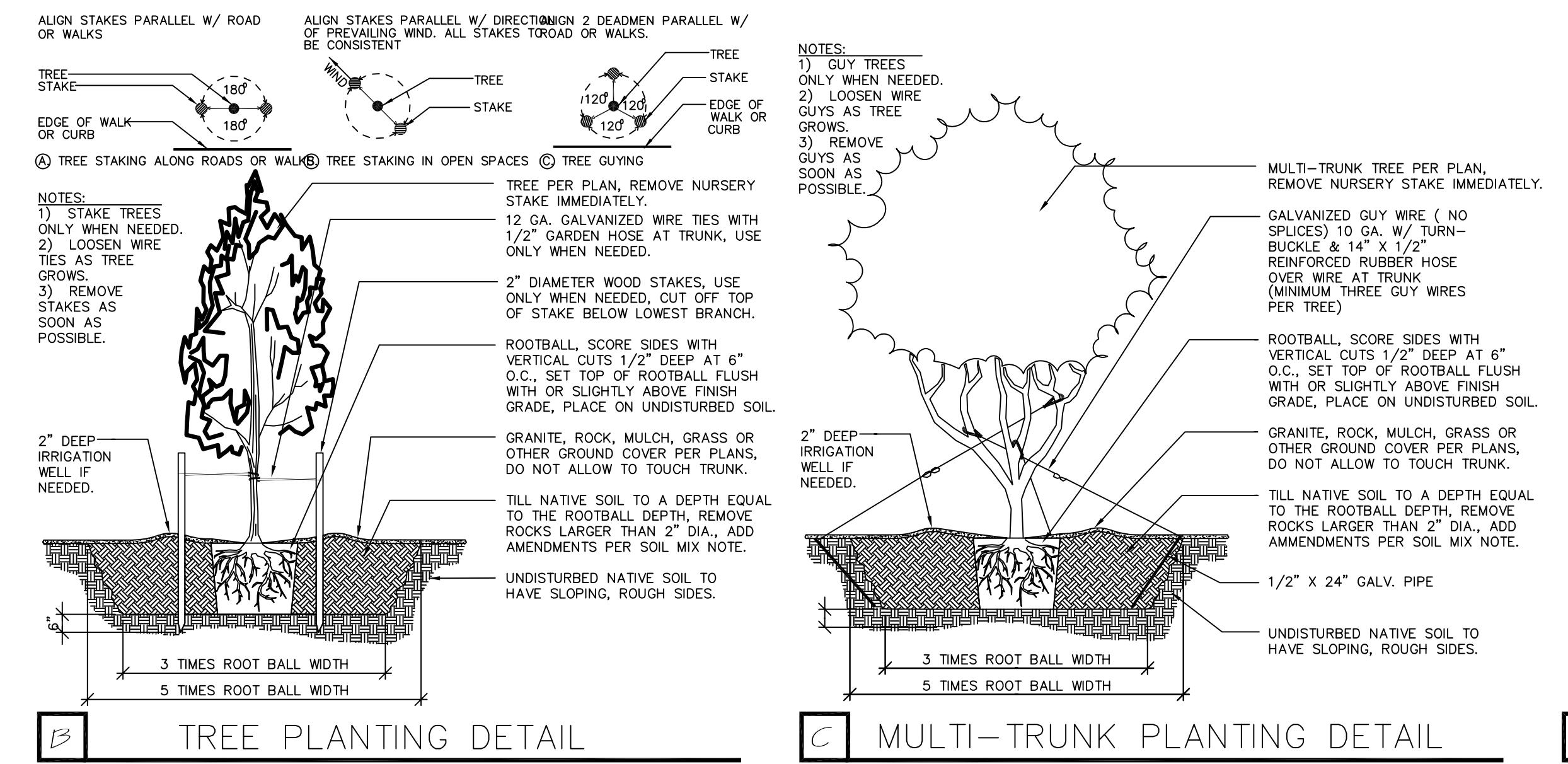
DATE:
03-7-2023
JOB NO:
03072023

PLANTING LEGEND

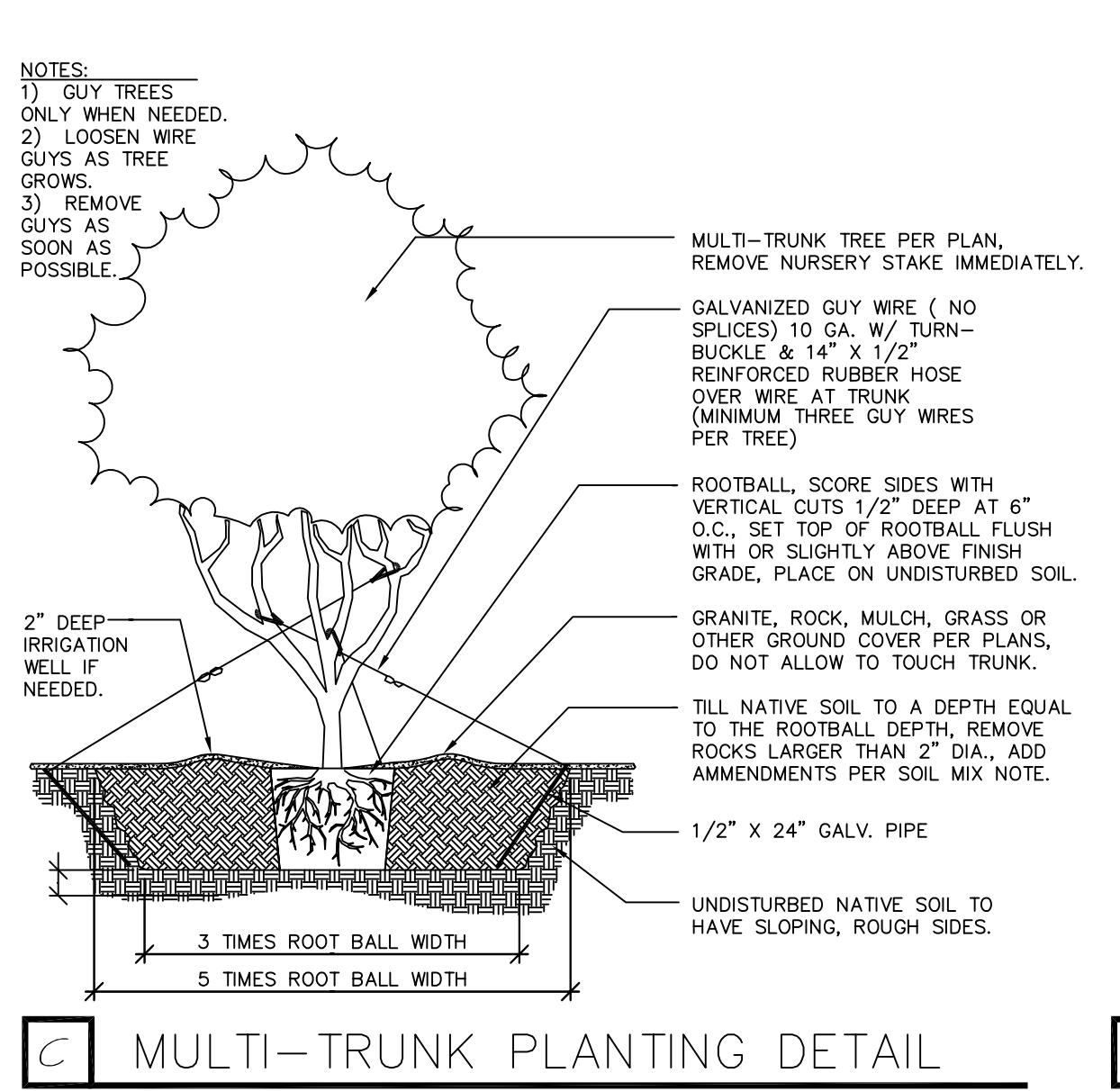
NOTE: PLANT QUANTITIES ARE FOR REFERENCE ONLY, EXACT PLANT COUNTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.



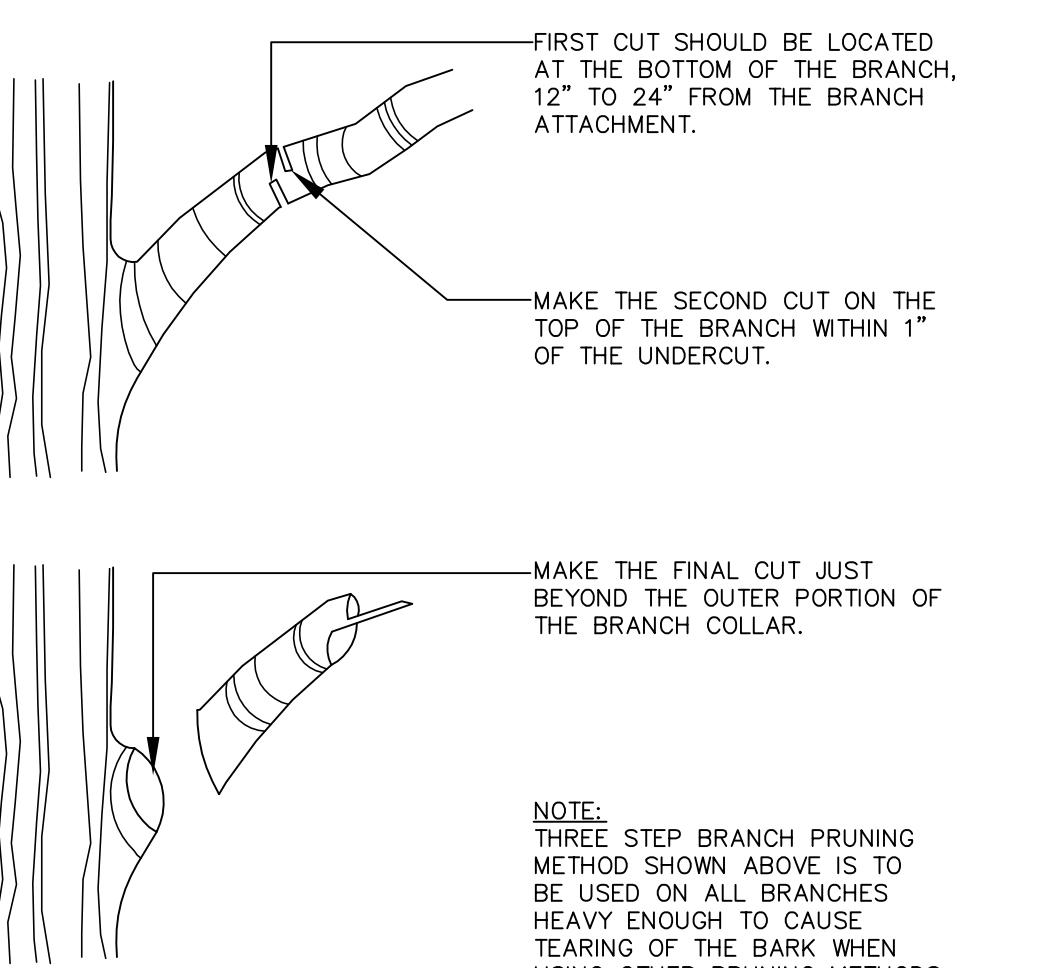
A PALM PLANTING DETAIL



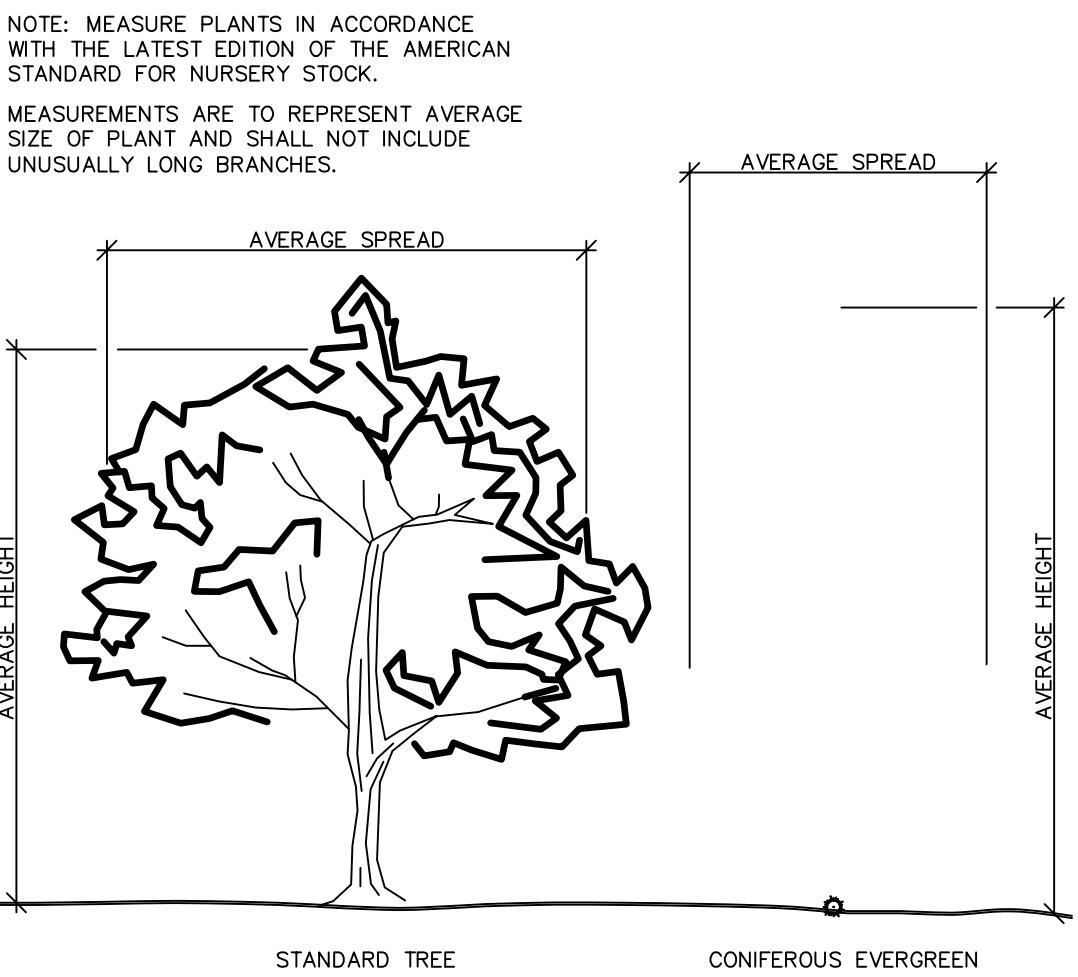
B TREE PLANTING DETAIL



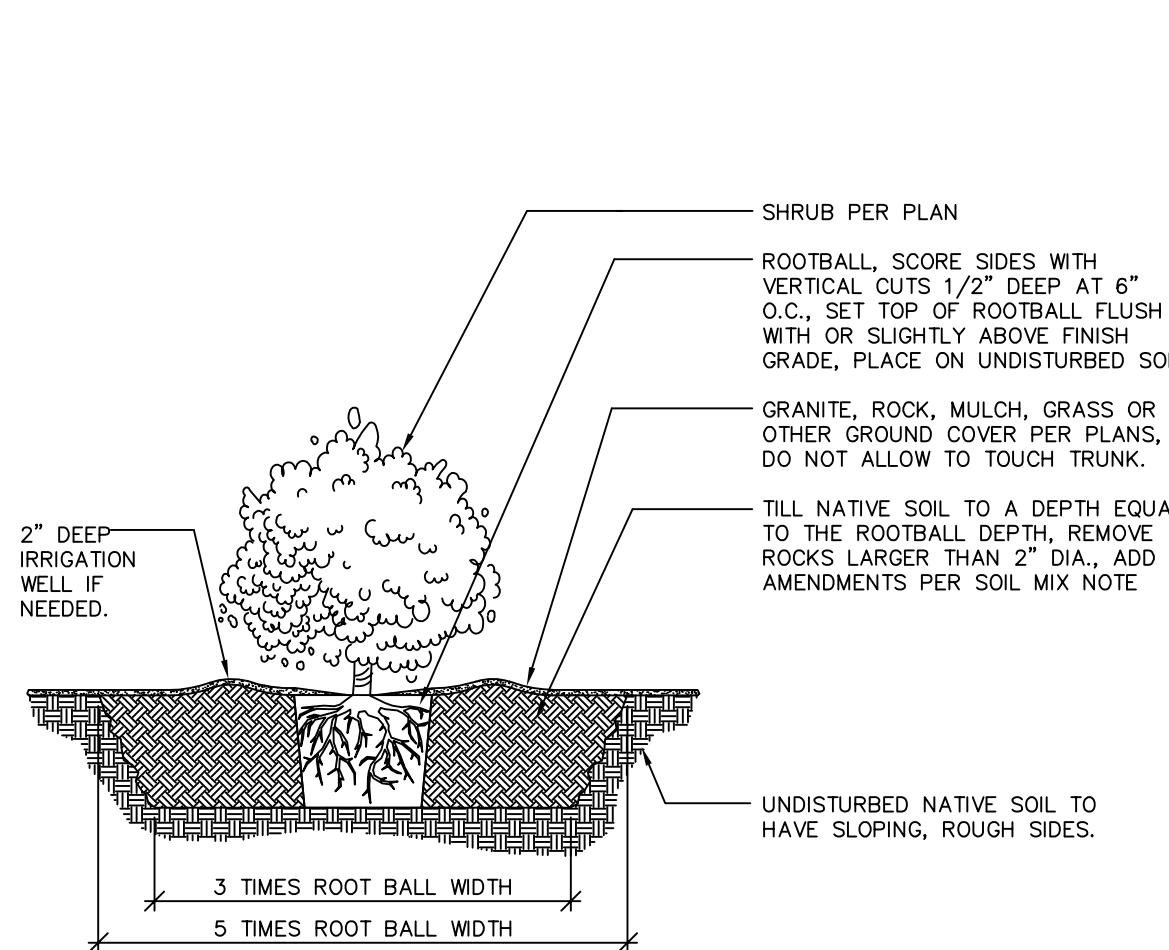
C MULTI-TRUNK PLANTING DETAIL



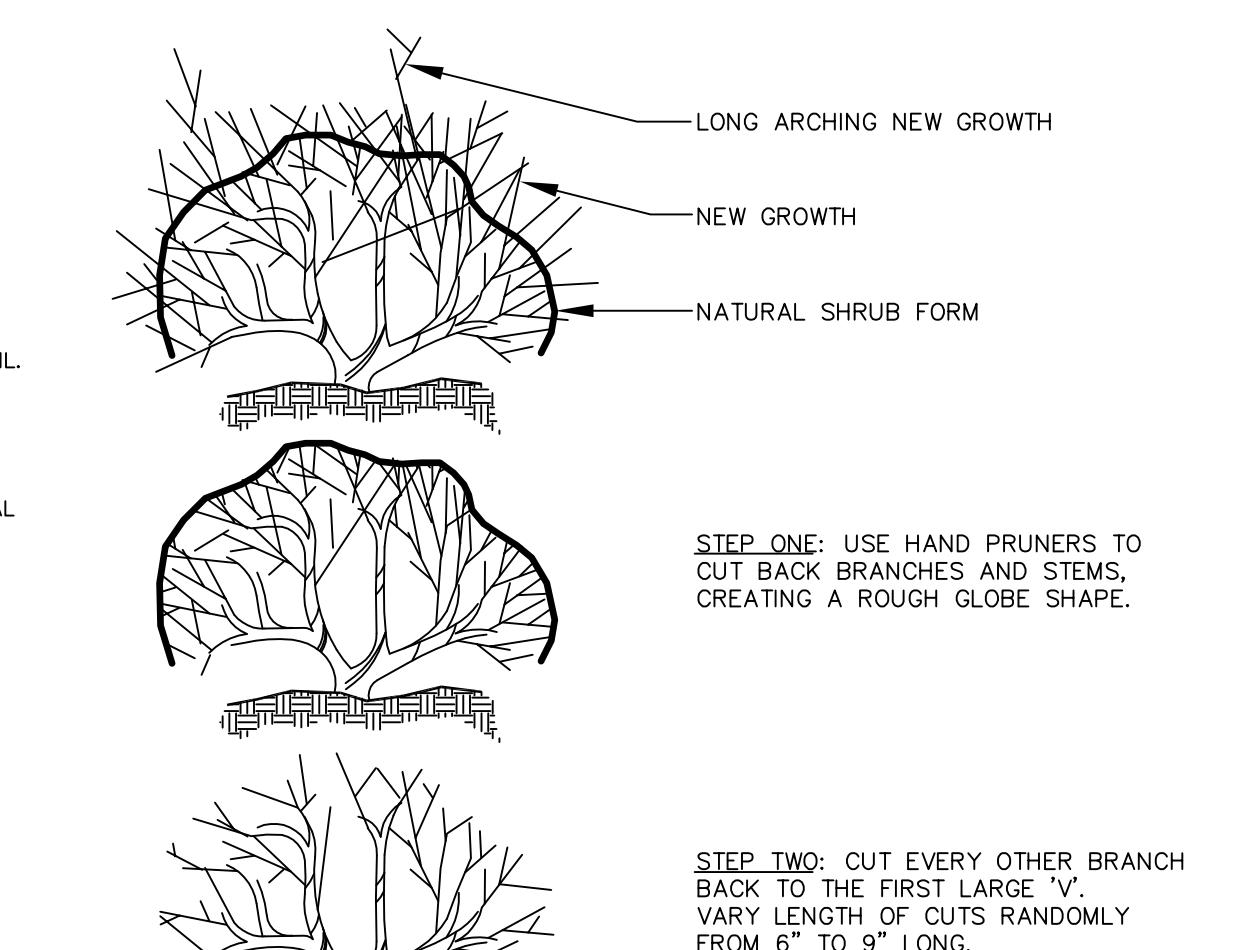
D TREE BRANCH PRUNING DETAIL



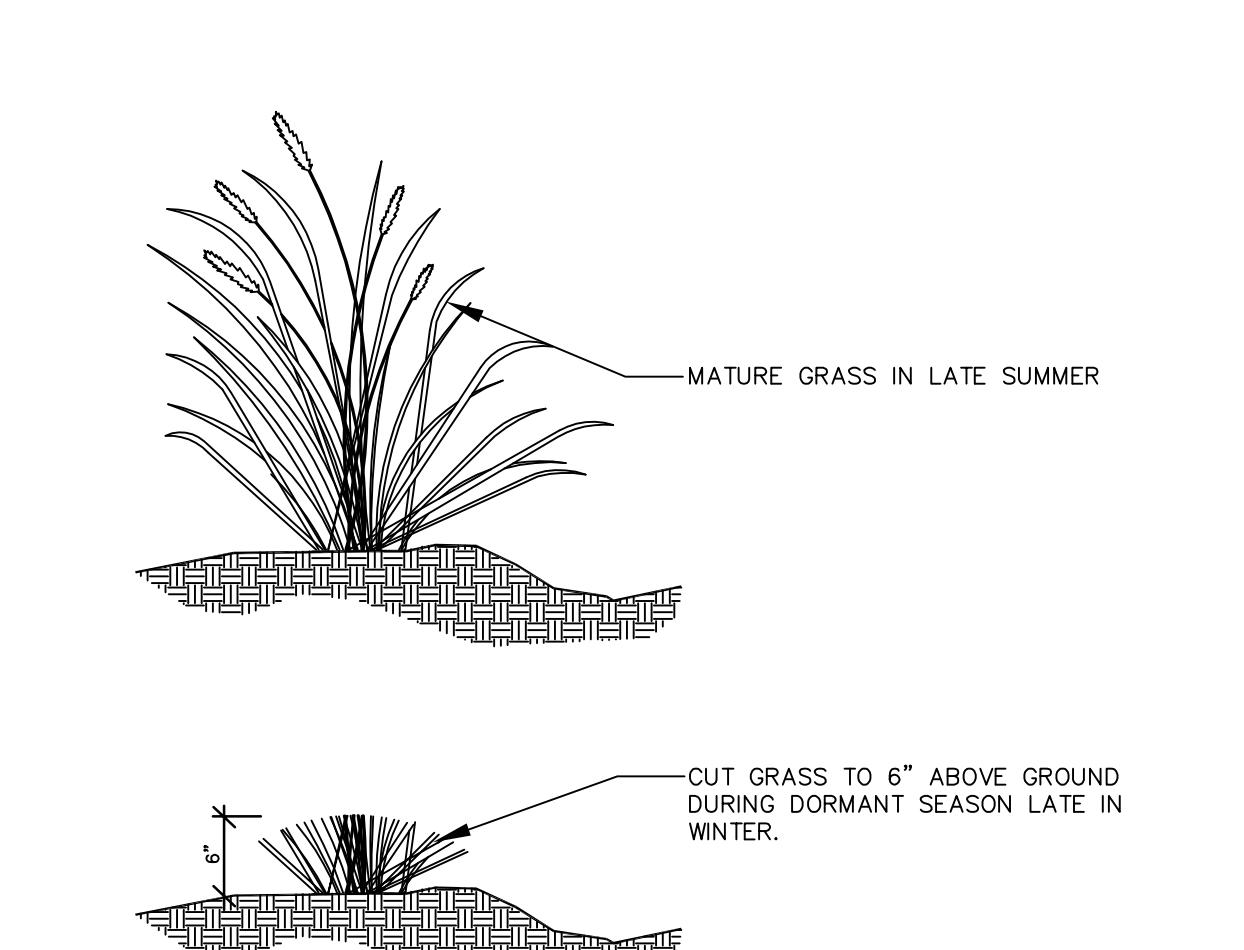
E PLANT MEASUREMENT DETAIL



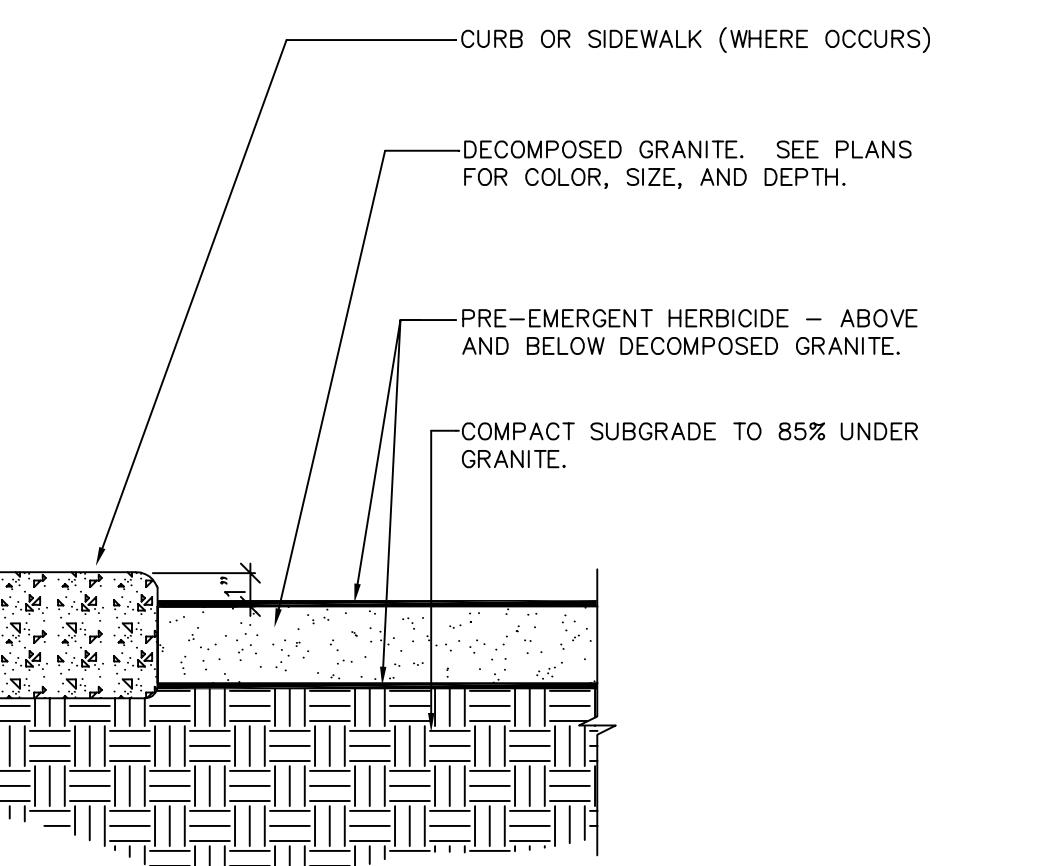
F SHRUB PLANTING DETAIL



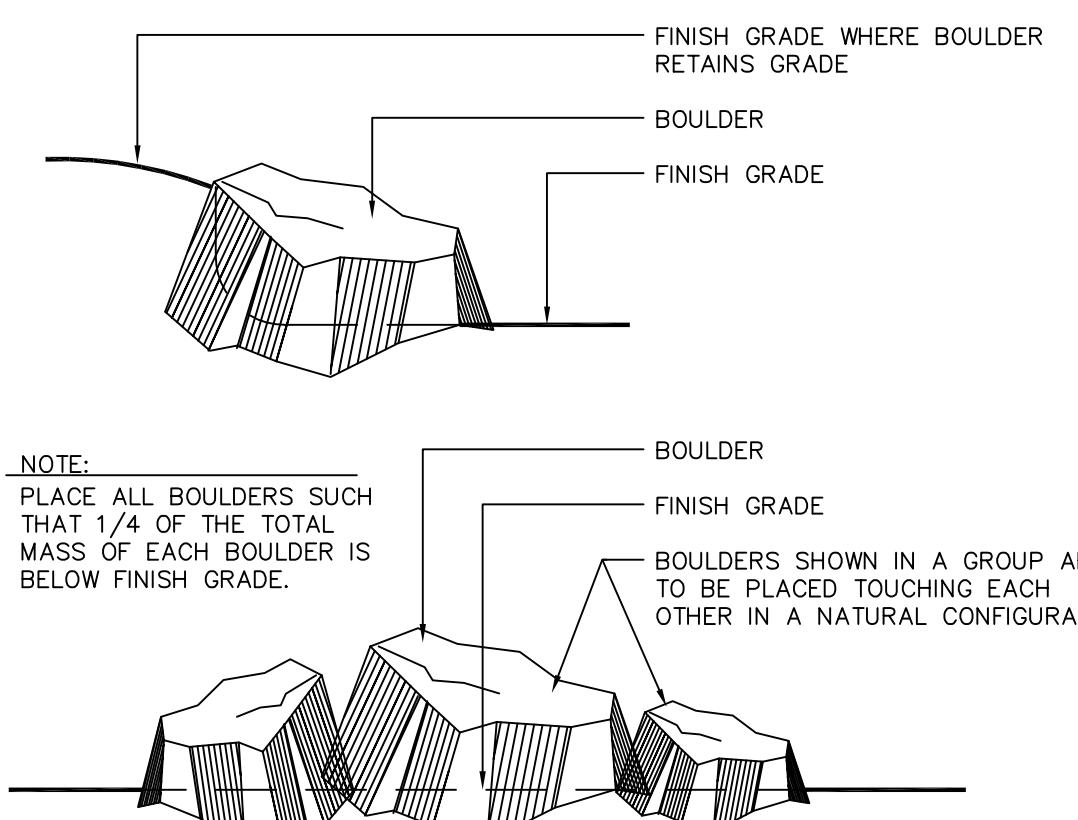
G SHRUB PRUNING DETAIL



H GRASS PRUNING DETAIL



I DECOMPOSED GRANITE DETAIL



J BOULDER PLACEMENT DETAIL

BOTANICAL NAME	COMMON NAME	QTY	SIZE (MINIMUM)	COND	DTL	REMARKS
TREES						
LAGERSTROEMIA INDICA	CREPE MYRTLE	11	24"	BOX	B,D,E	
OLEA EUROPEA "SWANS HILL"	SWANS HILL OLIVE	3	24"	BOX	B,D,E	
PISTACHE CHINENSIS 'RED PUSH'	RED PUSH PISTACHE	6	24"	BOX	B,D,E	
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	6	24"	BOX	B,D,E	
WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	5	4'-0" TO 8'-0" BTW	B4B	A,E	SEE PLANTING PLAN FOR SIZE AND LOCATION
SHRUBS						
AGAVE PARRYI	PARRY'S AGAVE	33	15	GALLON	F,G	
CHAMAEROPS HUMIUS	MEDITERRANEAN FAN PALM	3	5	GALLON	F,G	
DASYLIRION WHEELERI	DESERT SPOON	17	5	GALLON	F,G	
HESPERALOAE PARVIFLORA	RED YUCCA	29	5	GALLON	F,G	
ILEX VOMITORIA	YUAPON HOLLY	28	5	GALLON	F,G	
LEUCOPHYLLUM FRUTESCENS 'RIO BRAVO'	RIO BRAVO TEXAS RANGER	26	5	GALLON	F,G	
MUHLENBERGA CAPILLARIS 'REGAL MIST'	REGAL MIST GRASS	13	5	GALLON	F,G,H	
NANDINA DOMESTICA 'MOON BAY'	MOON BAY NANDINA	18	5	GALLON	F,G	
NERIUM OLEANDER 'PETITE RED'	RED DWARF OLEANDER	26	5	GALLON	F,G	
ROSA 'RED CARPET'	RED CARPET ROSE	19	5	GALLON	F,G	
		1	GALLON	F,G		
BOULDERS						
LANDSCAPE BOULDERS VARY IN SIZE: 50% - 3' X 3', AND 50% - 2' X 3'		26	3'- 4'		J	

PLANTING LEGEND

NOTE: PLANT QUANTITIES ARE FOR REFERENCE ONLY, EXACT PLANT COUNTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

DATE:
03-7-2023
JOB NO:
03072023

PLANTING LEGEND

L1.02



IRRIGATION LEGEND

- POINT OF CONNECTION
- A RAINBIRD ESP-ME SERIES CONTROLLER
- Z 1" WILKINS 975XLVSR RPA - REDUCED PRESSURE BACKFLOW DEVICE (SEE DTL. SHEET)
- X 1" SCHEDULE 40 PVC BALL VALVE
- - - - 1" SCHEDULE 40 PVC MAINLINE
- - - 3/4" FLEXIBLE BLUE STRIP DRIP LINE
- - - AUTOMATIC FLUSH VALVE IN 10" ROUND BOX (SEE DTL. SHEET FOR SPECs.)
- ⊕ 1" DRIP VALVE ASSEMBLY (SEE DTL. SHEET FOR SPECs.)
- ◎ HOSE BIB (SEE DTL. SHEET FOR SPECs.)
- - - SLV SLEEVES 2 X DIAMETER OF PIPE

VALVE ID LEGEND



NOTES:

- 1) SEE SHEET L2.02 FOR IRRIGATION DETAILS.
- 2) INSTALL MAINLINE ADJACENT TO CURB OR SIDEWALK WHERE POSSIBLE. SEE MAINLINE SPEC. FOR PROPER DEPTH
- 3) INSTALL CONTROL WIRE ADJACENT TO MAINLINE WHERE POSSIBLE. TAPE EVERY 20'-0"
- 4) IRRIGATION PLAN IS A DIAGRAM REFERENCE ONLY. ACCURATE INSTALLATION IS DEPENDANT UPON OPPORTUNITY AND CONSTRAINTS IN THE FIELD.
- 5) CONTRACTOR RESPONSIBLE TO VERIFY EXACT LOCATION OF SLEEVES WITH GENERAL CONTRACTOR.
- 6) CONTRACTOR TO PROVIDE TEST ON BACKFLOW DEVICE.

0 20'-0" 40'-0" 60'-0"
SCALE: 1" - 20'-0"



Know what's below.
Call before you dig.

PROJECT:
SANTA CLARA
VALLEY HOMES
DEVELOPMENT
SHEET CONTENTS:
IRRIGATION
PLAN

DATE:
03-7-2023
JOB NO.
03072023

SHEET:
L2.01

SANTA CLARA
VALLEY HOMES
DEVELOPMENT
SANTA CLARA

CSLA
Cody Schmitt
LANDSCAPE ARCHITECT

CONSULTANTS:

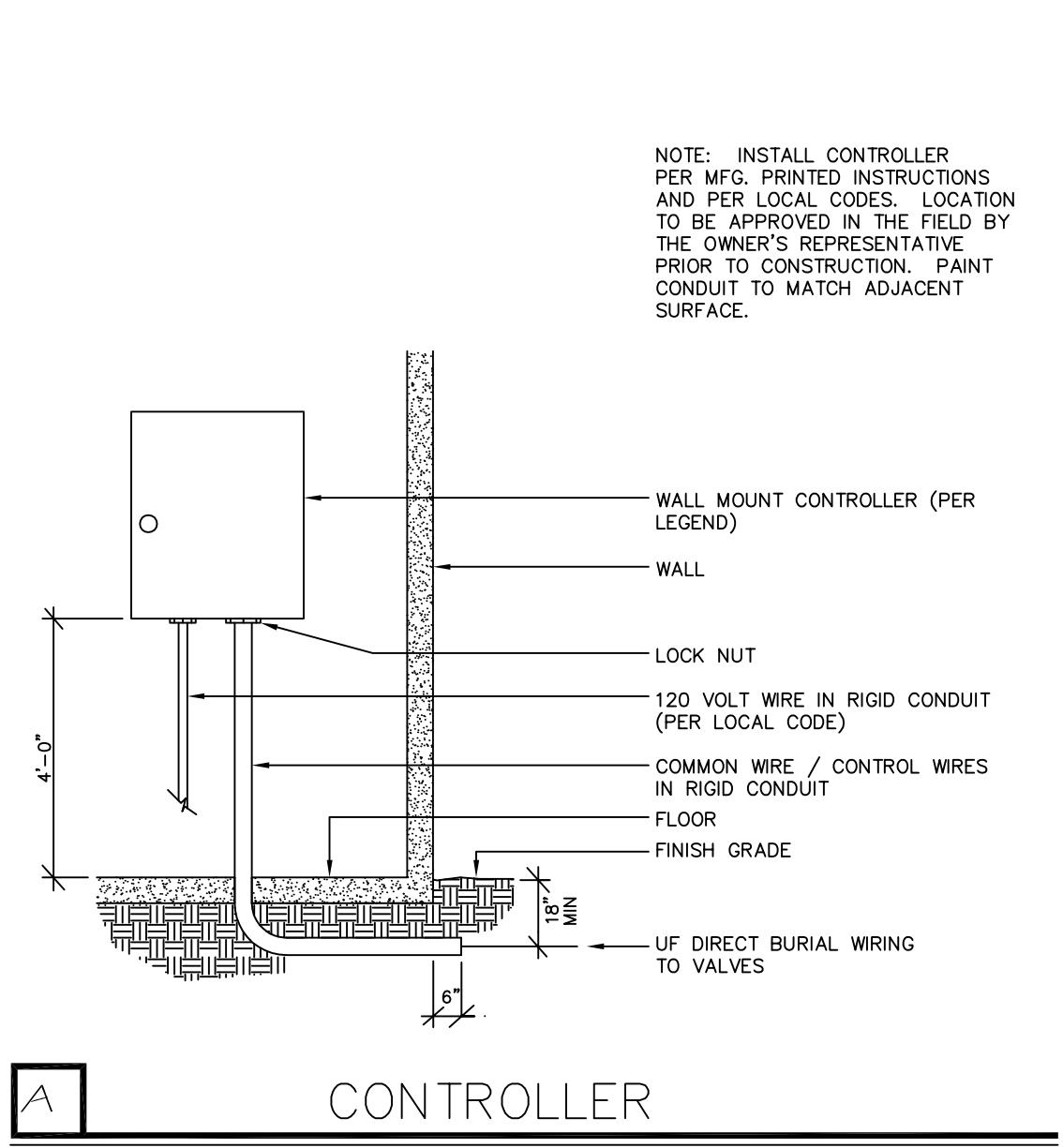


Know what's below.
Call before you dig.

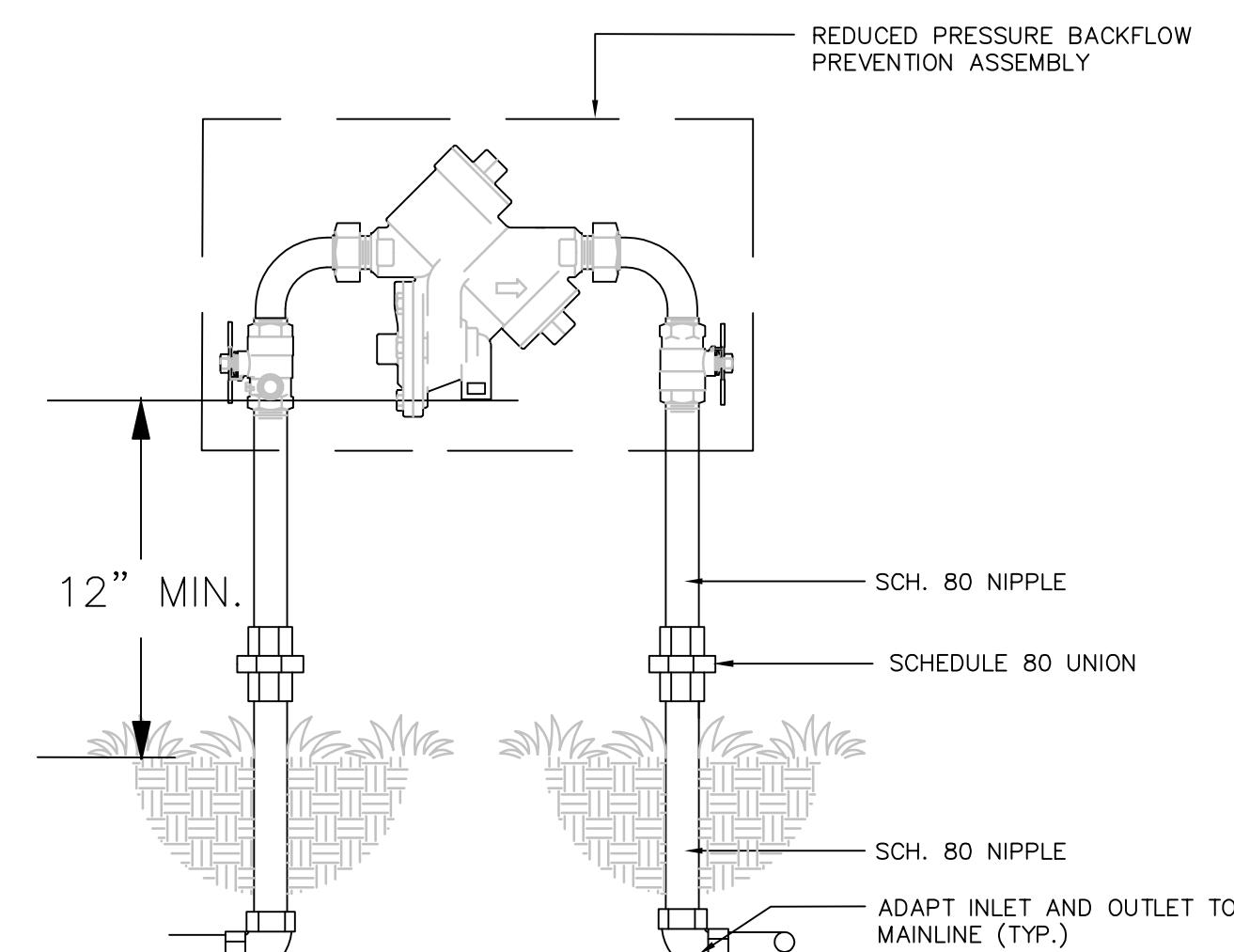
PROJECT:
SANTA CLARA
VALLEY HOMES
DEVELOPMENT
SHEET CONTENTS:
IRRIGATION
DETAILS

DATE:
03-7-2023
JOB NO:
03072023

SHEET:
L2.02

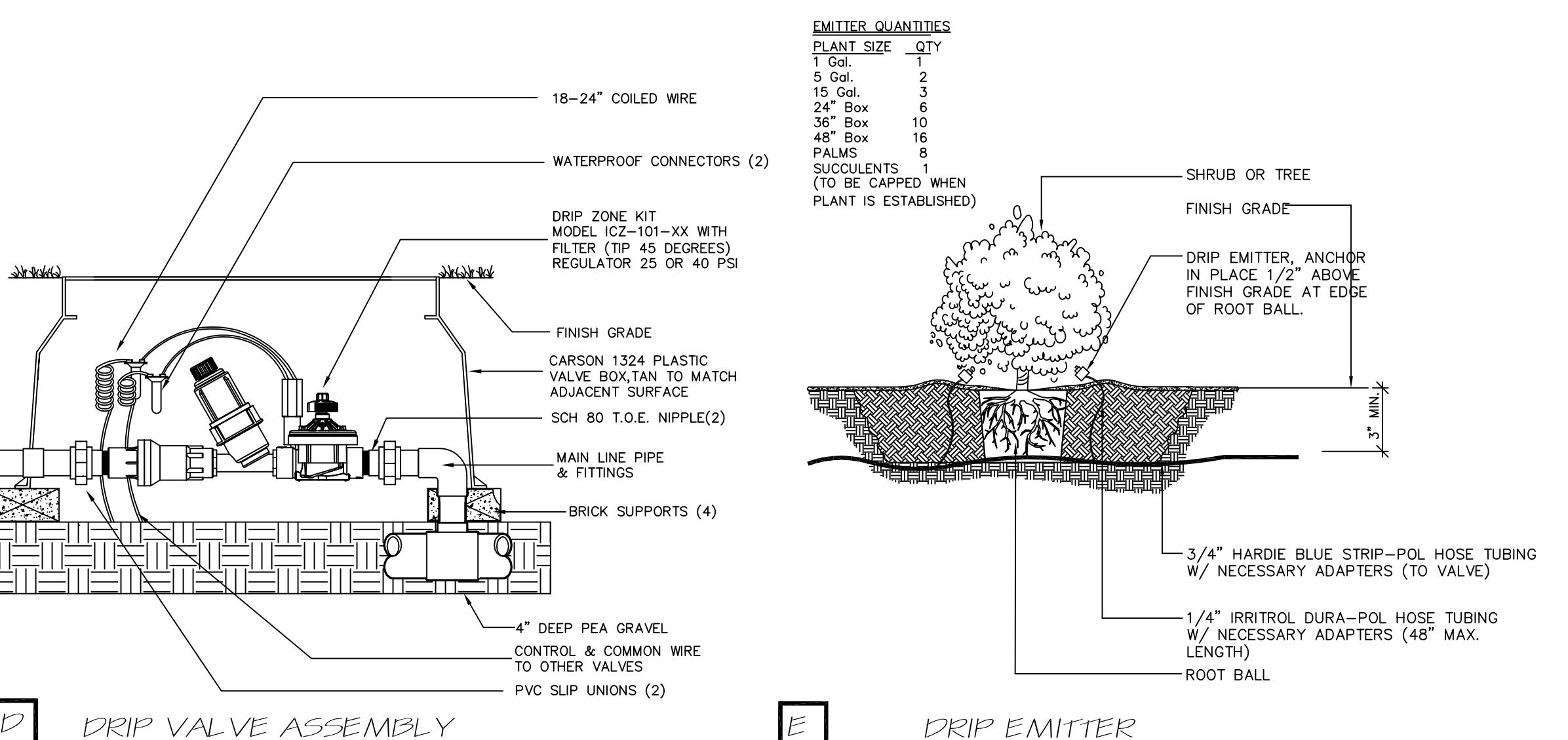


A CONTROLLER



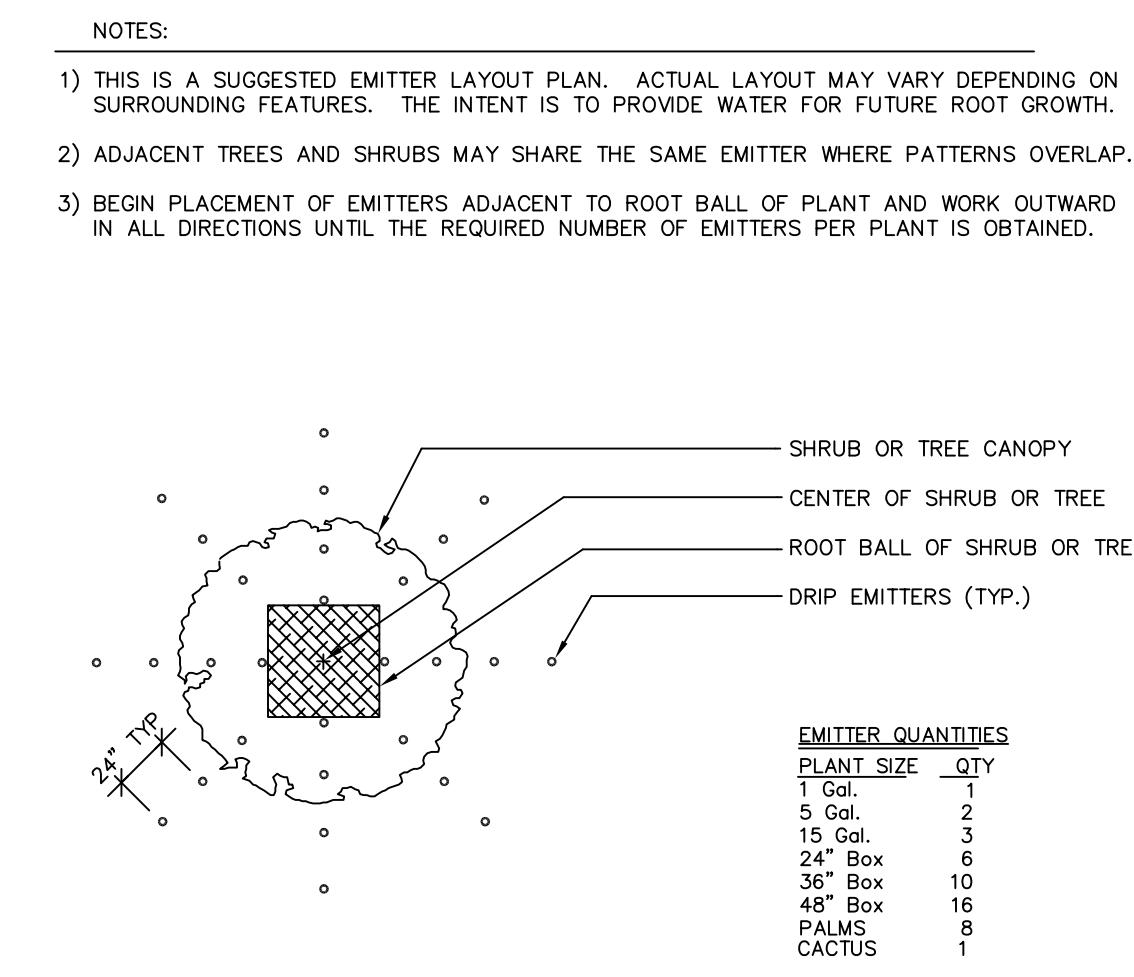
B BACKFLOW PREVENTER

C DETAIL NOT USED

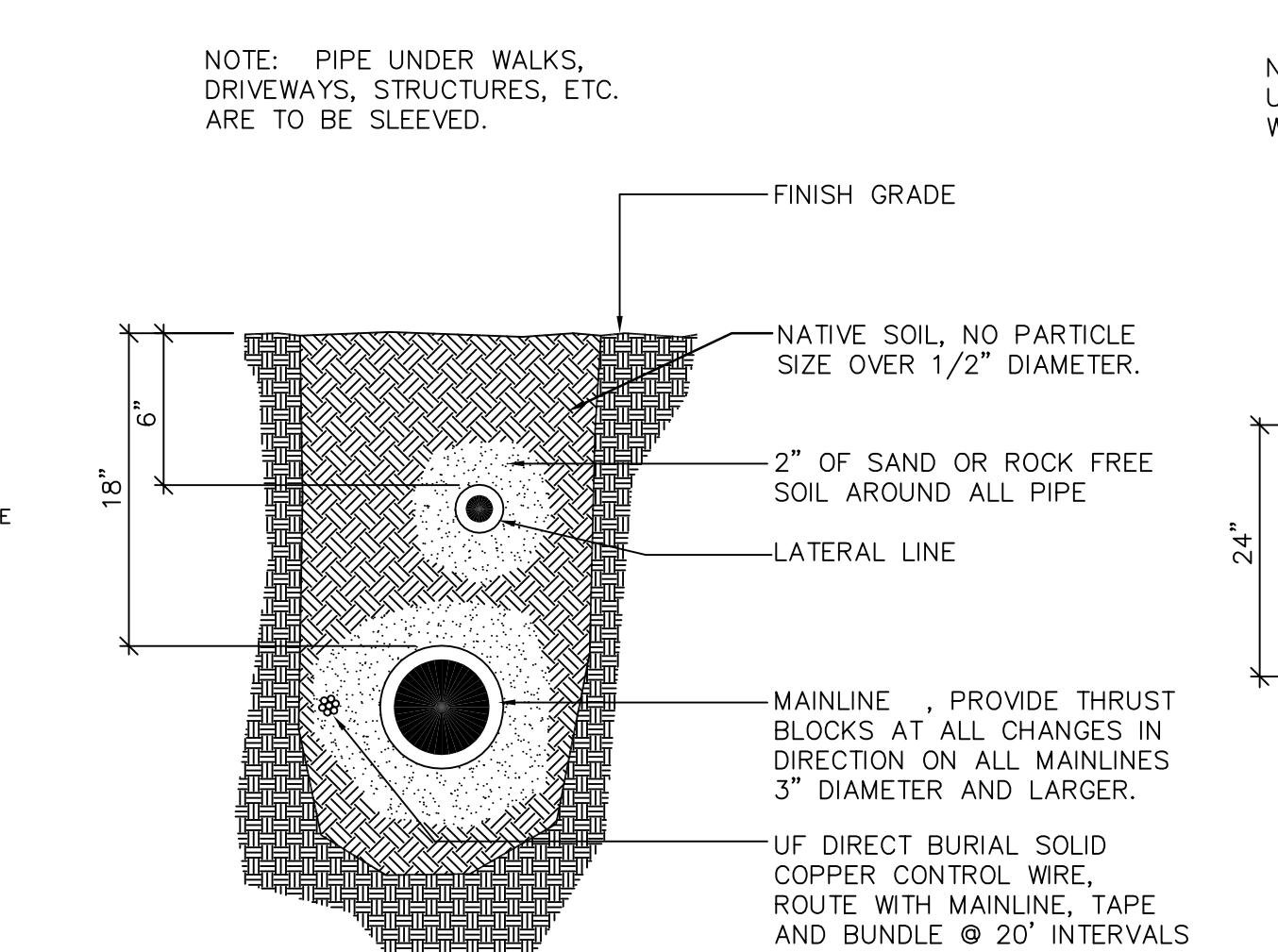


D Drip valve assembly

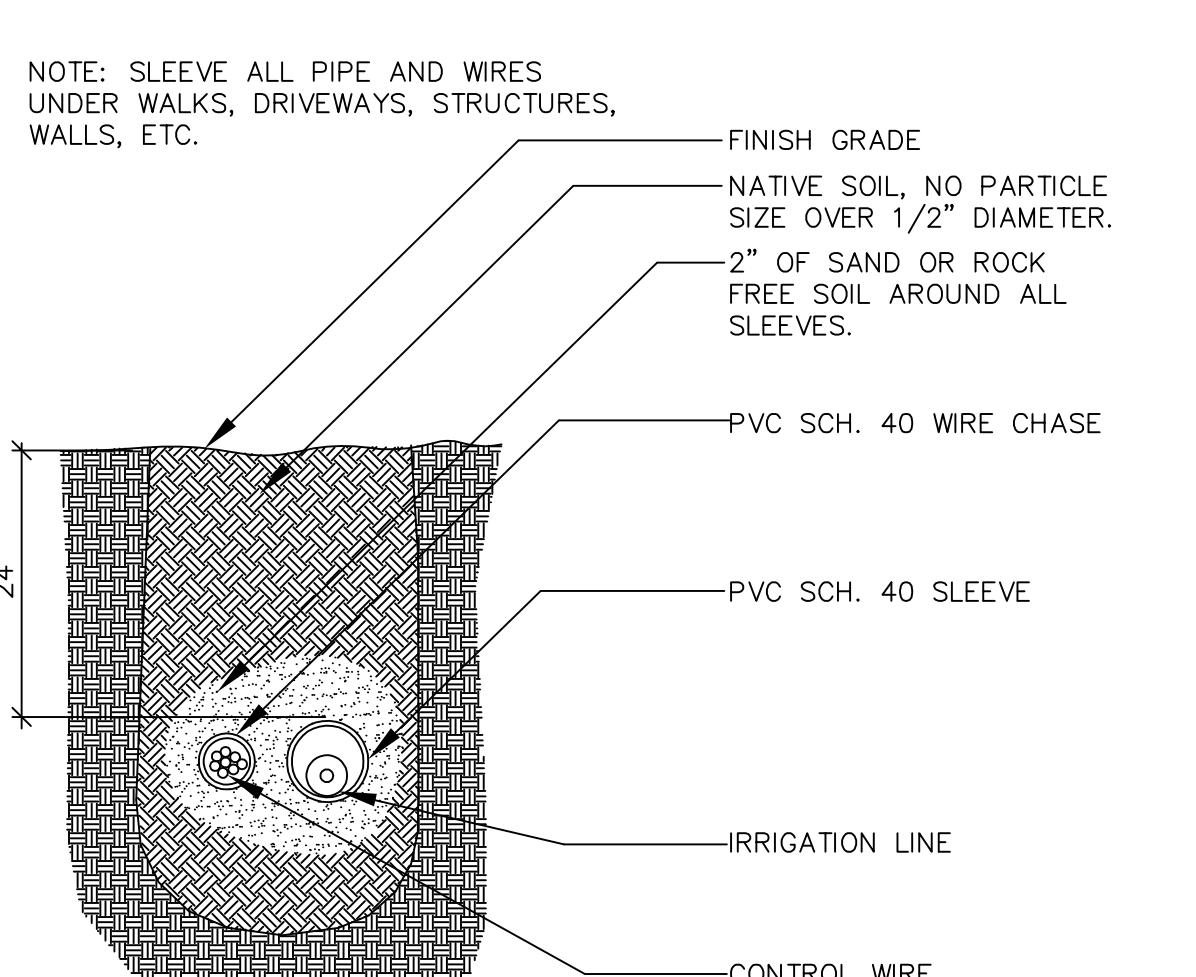
E Drip Emitter



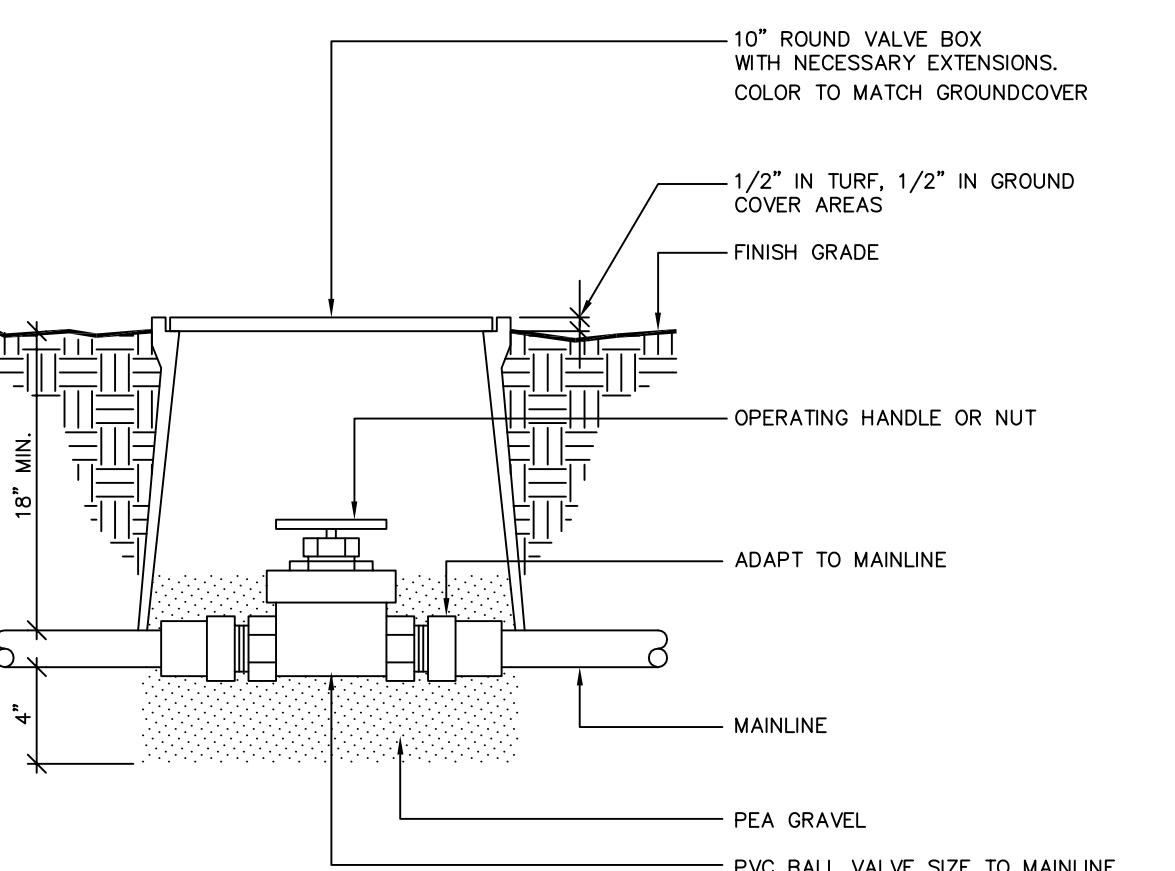
F Emitter Layout Detail



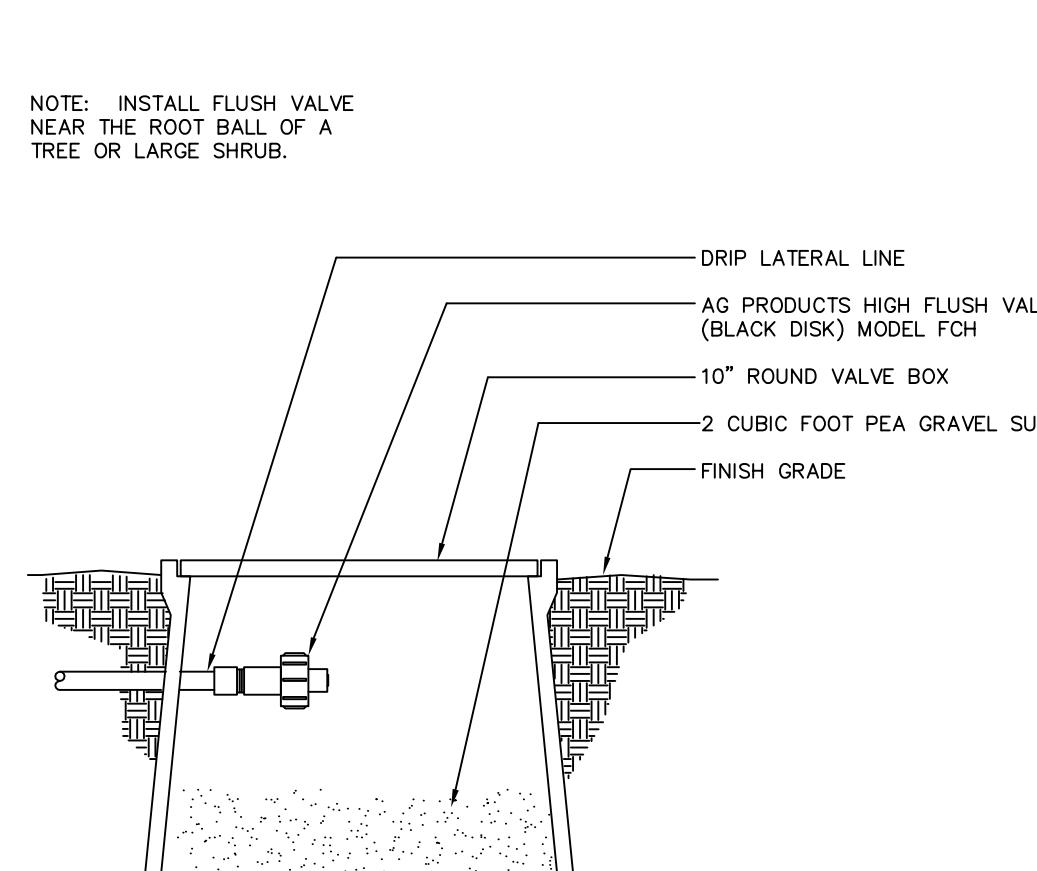
G TRENCH SECTION



H SLEEVE SECTION



I PVC Ball Valve



J Drip Flush Valve

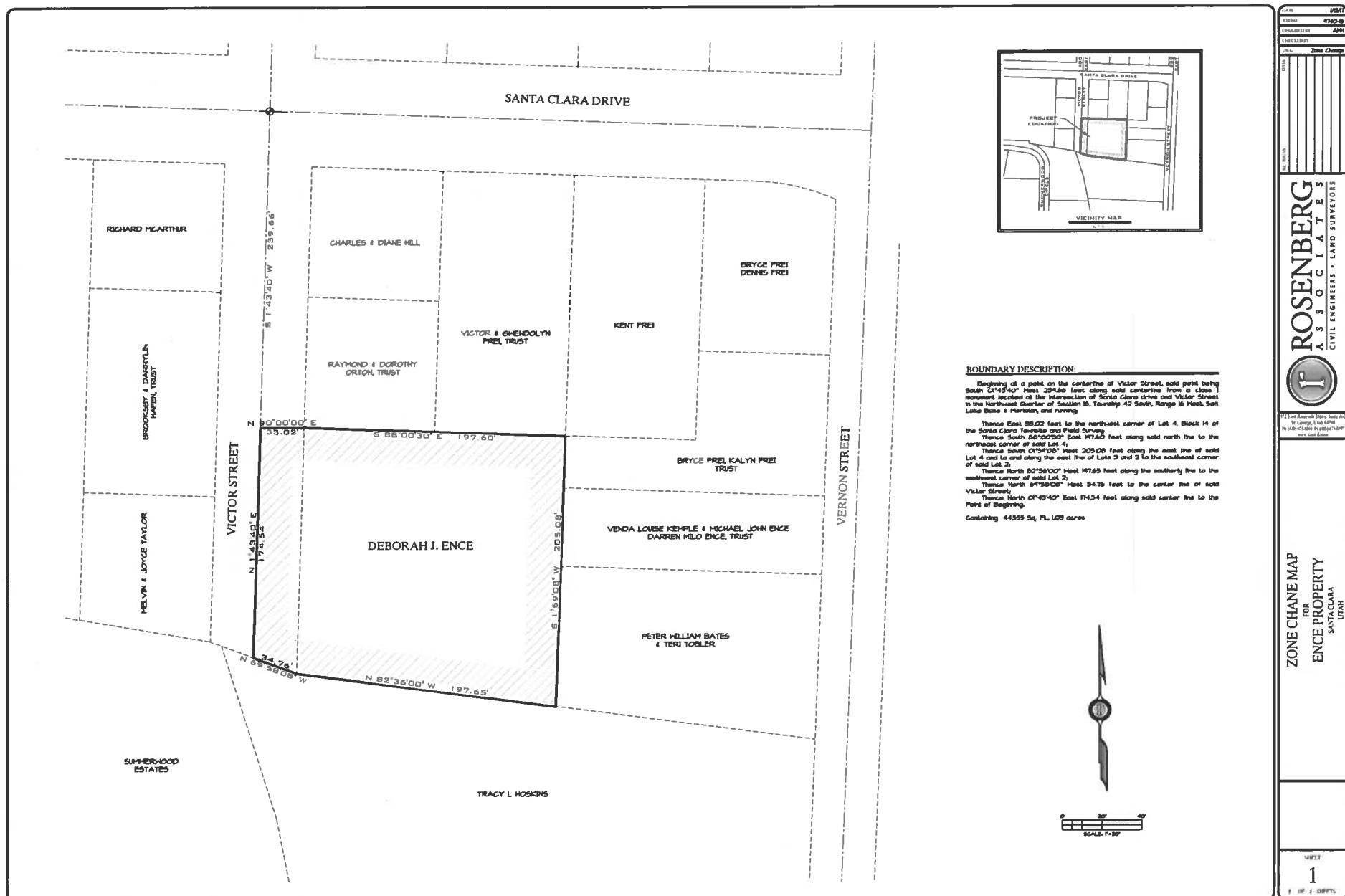
Pipe Sizing - Sch. 40		
Pipe Size	Gallons Per Minute	
3/4"	= 0 - 8 gpm	
1"	= 9-13 gpm	
1 1/4"	= 14 - 23 gpm	
1 1/2"	= 24 - 32 gpm	
2"	= 33 - 53 gpm	
2 1/2"	= 54 - 74 gpm	
3"	= 75 - 116 gpm	

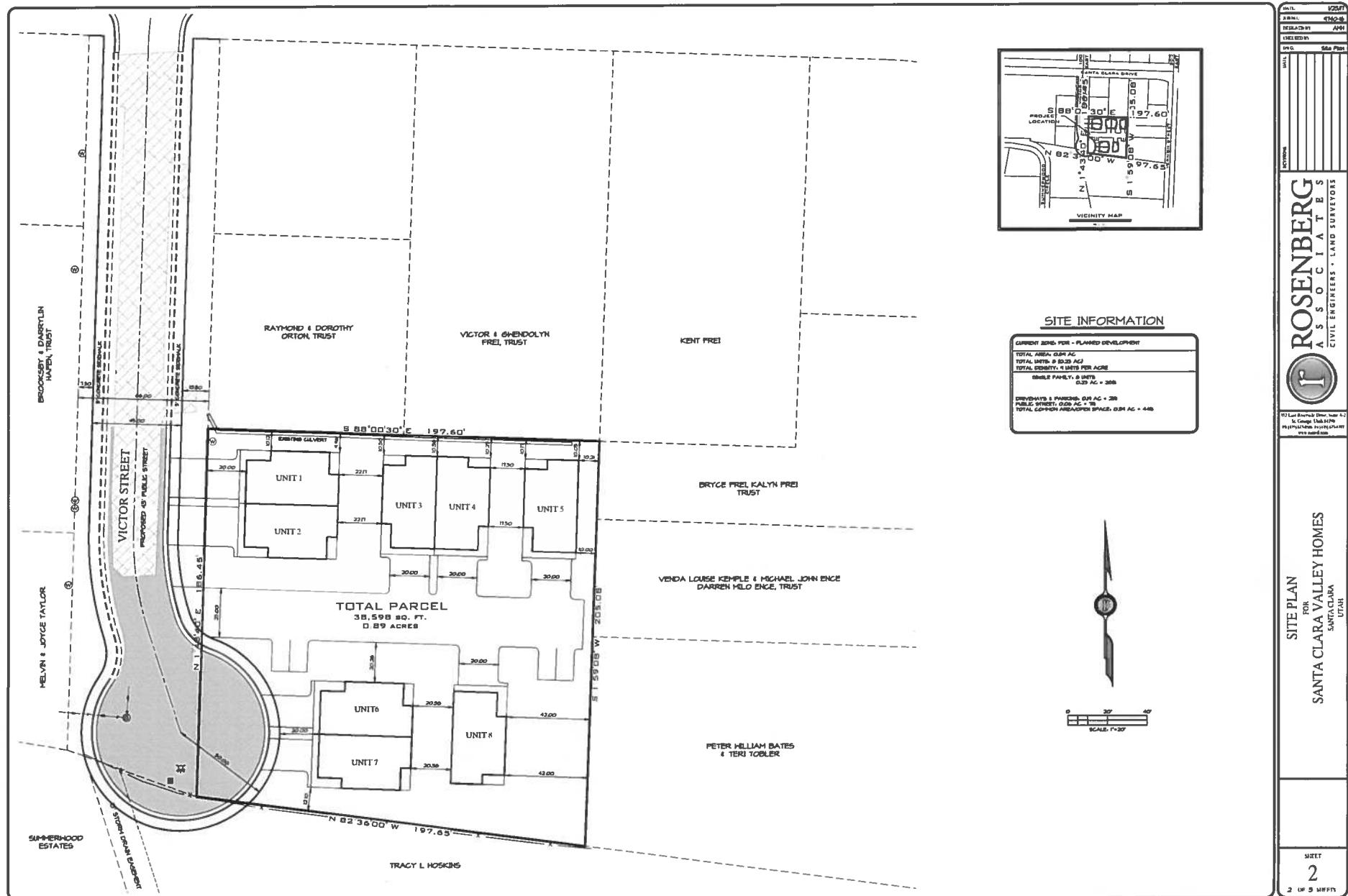
Pipe Sleeve Chart		
Sleeve Size	Number of Wires	Lateral Size
1"	7	-
1 1/2"	12	-
2"	17	1/2" to 1 1/4"
2 1/2"	22	1 1/2"
4"	27	2"
4"	-	2 1/2"
6"	-	3"
8"	-	4"
12"	-	6"

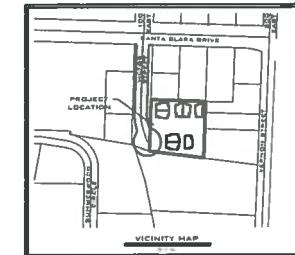
Valve Sizing		
Valve Size	Gallons Per Minute	
3/4"	= 0 - 20 gpm	
1"	= 0 - 30 gpm	
1 1/2"	= 31 - 75 gpm	
2"	= 76 - 116 gpm	

K PIPE SIZING DETAIL

SYMBOL	MANUFACTURER-MODEL NUMBER	PAT.	RD.	PSI	GPM					GPH	DTL.	REMARKS
					F	TQ	TT	H	T	Q		
NOT SHOWN	RAINBIRD MODEL XB-20PC, BARD INLET DRIP Emitter FOR TREES	--	--	30							2.0	SEE DETAIL FOR # OF EmitterS PER PLANT
NOT SHOWN	RAINBIRD MODEL XB-20PC, BARD INLET DRIP Emitter FOR SHRUBS	--	--	30							2.0	
[A]	RAINBIRD ESP-ME SERIES CONTROLLER LOCKING PLASTIC CABINET WITH 120VAC TRANSFORMER WITH ADDITIONAL FCM-300 1" RP BACKFLOW VALVE ASSEMBLY WITH FREEZE PROTECTION PER CITY CODE DRIP VALVE ASSEMBLY: RAINBIRD XC2-PRB-100-COM, 1" DRIP ZONE CONTROLL KIT TYPICAL HOSE BIB IN VALVE BOX WITH CONTROLLERS (1" BALL VALVE PLACED VERTICALLY IN BOX WITH HOSE ADAPTER) AUTOMATIC END FLUSH CAP, AGRICULTURAL PRODUCTS MODEL FCH BLACK DISK, INSTALL AT THE END OF ALL DRIP LINES 1" MAINLINE, PVC SCH. 40, 18" MINIMUM COVER LATERAL LINE, 3/4" PVC SCH. 40 UNLESS NOTED ON IRRIGATION PLAN. DRIP LINE, HARDIE BLUE STIPE, 3/4" DIAMETER POLYETHYLENE PIPE, COVERAGE PER DETAIL SLEEVES, PVC SCH. 40, 2 X PIPE SIZE, 18" MINIMUM COVER NOT SHOWN CONTROL WIRE: UF DIRECT BURIAL, SOLID COPPER, 14 GA. COMMON, 14 GA. PILOT 1" SCHEDULE 40 PVC BALL VALVE											







SITE INFORMATION

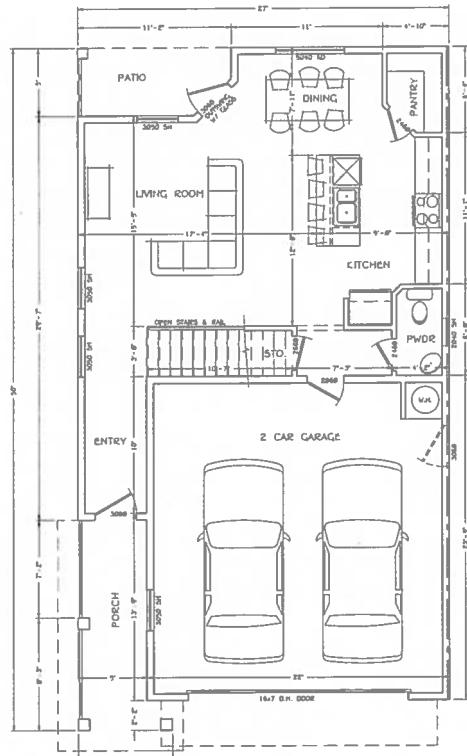
CURRENT ZONE: PDR - PLANNED DEVELOPMENT
 TOTAL AREA: 0.619 AC.
 TOTAL UNITS: 8 1020 SQ FT
 TOTAL DENSITY: 4 UNITS PER ACRE
 SINGLE FAMILY: 8 UNITS
 0.62 AC = 256
 DRIVEWAYS & PARKING: 0.14 AC = 38
 PUBLIC STREET: 0.029 AC = 12
 TOTAL COMMON AREA/OPEN SPACES: 0.30 AC = 448



0 30°
80-24 R. F. 30°

COLORED SITE PLAN
FOR
SANTA CLARA VALLEY HOME
SANTA CLARA

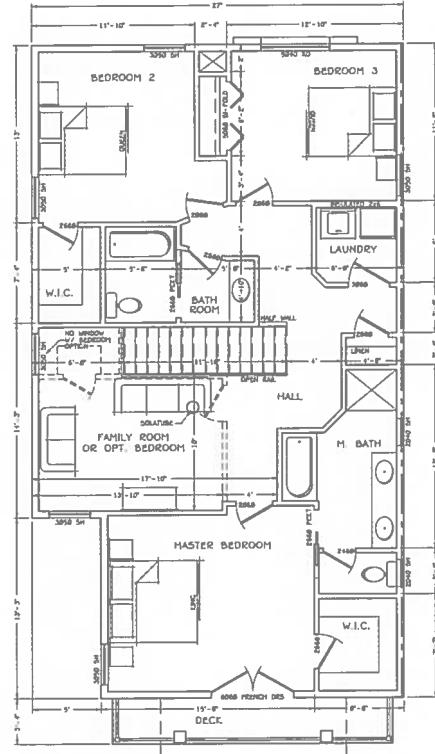
3
3 OF 3 SHEETS



MAIN FLOOR PLAN

SCALE: 5/16" = 1'-0"

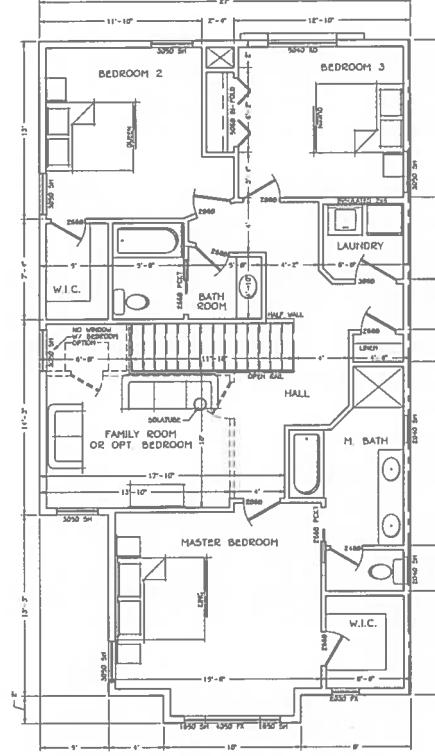
9' CEILING HEIGHT



2nd FLOOR PLAN

SCALE: 3/16" = 1'-0"

B' CEILING HEIGHT
1,185 sq.



2nd FLOOR PLAN TYPE
SCALE: 3/16" = 1'-0"

SCALE: 3/16" = 1-0

6' CEILING HEIGHT
1,205 cu. ft.

UNIT FLOOR PLANS ENCE TOWNHOMES

SANTA CLARA CITY, UTAH

11/10/16
DATE
1106 N MURKIN
1 1/4" - 1"
RECALL
S. R. S.
DEARWELL
CENSORED

251 W HILTON DR # 202
P O BOX 2775
ST. GEORGE UTAH 84770
(435) 628-2377 (435) 673-3580
www.mrwdesign.com

UNIT FLOOR PLANS ENCE TOWNHOMES

A2.1
09 - 042273









CITY OF SANTA CLARA
ORDINANCE NO. 2017-03

AN ORDINANCE OF THE CITY OF SANTA CLARA, UTAH, AMENDING THE GENERAL PLAN & LAND USE MAP FROM HISTORIC LOW DENSITY TO HISTORIC MEDIUM DENSITY, AND AMENDING THE ZONE FROM R1-10 TO PDR, ON 0.89 ACRES, LOCATED AT 1428 VICTOR STREET, PARCEL NO. SC-117-A.

Section 1. Amendment

WHEREAS, the petitioners, James & Deborah Ence, of Santa Clara, are requesting an amendment of the General Plan and Land Use Map from Historic Low Density to Historic Medium Density, and an amendment of the zone designation from Single Family Residential (R-1-10) to Planned Development Residential (PDR), on property located at 1428 Victors Street, known as Parcel No. SC-117-A; and

WHEREAS, the purpose for the amendment is to allow for development of a total of eight (8) multi-family residential units; and

WHEREAS, pursuant to the requirements of the Santa Clara Municipal Code, the Land Use Authority/Planning Commission conducted properly advertised public hearings on both the proposed General Plan and Land Use Map amendment, and the proposed zone change, on February 21, 2017; and

WHEREAS, the Planning Commission, during its regular meeting held on said date, voted to recommend denial of the proposed amendments to the City Council; and

WHEREAS, the City Council, during its regular meeting held on March 8, 2017, took additional public input and considered both the Planning Commission's recommendations, and the proposed amendments, and voted to approve both of the proposed amendments.

NOW, THEREFORE, BE IT ORDAINED by the Santa Clara City Council, State of Utah, as follows:

Section 2. Classification

This ordinance amends the General Plan and Land Use Map, and the official zoning map, of the City of Santa Clara, Utah.

Section 3. General Provisions

1. The General Plan and Land Use Map of the City of Santa Clara, Utah, is hereby amended to change the following described property from Historic Low Density to Historic Medium Density.
2. The official zoning map of the City of Santa Clara, Utah is hereby amended to change the

Ordinance 2017-03

Amending General Plan & Land Use Map from Historic Low Density to Historic Medium Density
And Amending Zone from R1-10 to RPD, on 0.89 acres on Victors Street
Page 1 of 2

1. The first step in the process of bioassay is to determine the lethal dose (LD₅₀) of the test compound.

2. The second step is to determine the therapeutic index of the test compound.

3. The third step is to determine the therapeutic dose of the test compound.

4. The fourth step is to determine the side effects of the test compound.

5. The fifth step is to determine the metabolism of the test compound.

6. The sixth step is to determine the toxicity of the test compound.

7. The seventh step is to determine the pharmacokinetics of the test compound.

8. The eighth step is to determine the pharmacodynamics of the test compound.

9. The ninth step is to determine the pharmacogenetics of the test compound.

10. The tenth step is to determine the pharmacogenomics of the test compound.

11. The eleventh step is to determine the pharmacogenetics of the test compound.

12. The twelfth step is to determine the pharmacogenomics of the test compound.

13. The thirteenth step is to determine the pharmacogenetics of the test compound.

14. The fourteenth step is to determine the pharmacogenomics of the test compound.

15. The fifteenth step is to determine the pharmacogenetics of the test compound.

16. The sixteenth step is to determine the pharmacogenomics of the test compound.

17. The seventeenth step is to determine the pharmacogenetics of the test compound.

18. The eighteenth step is to determine the pharmacogenomics of the test compound.

19. The nineteenth step is to determine the pharmacogenetics of the test compound.

20. The twentieth step is to determine the pharmacogenomics of the test compound.

21. The twenty-first step is to determine the pharmacogenetics of the test compound.

22. The twenty-second step is to determine the pharmacogenomics of the test compound.

following described property from Single Family Residential (R-1-10) to Planned Development Residential (PDR).

DESCRIPTION:

1428 Victors Street, known as Parcel No. SC-117-A, more particularly described as follows:

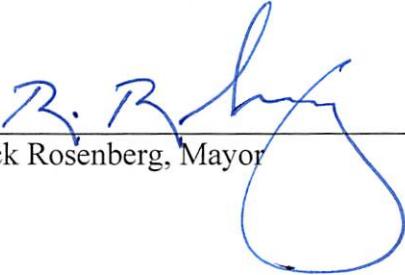
SANTA CLARA TOWN & FIELD SUR BLK 14 (SC) Lot: 2 THRU:- Lot: 4 S: 16 T: 42S R: 16W, SLB&M.

Section 4. Effective Date

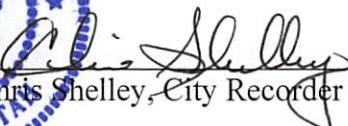
This ordinance shall become effective immediately upon adoption, recording and posting in the manner required by law.

ADOPTED by a duly constituted quorum of the Santa Clara City Council this 22nd day of March, 2017.

IN WITNESS THERETO:


Rick Rosenberg, Mayor




Chris Shelley, City Recorder

