



Salt Lake County Planning Commission

Public Meeting Agenda

Wednesday, March 15, 2023 8:30 A.M.

LOCATION:**Join meeting in WebEx**

Meeting number (access code): 961 841 420

<https://slco.webex.com/meet/wgurr>Join meeting in WebEx (download available at <https://www.webex.com/downloads.html> for Windows, Android, and Apple devices)**Tap to join from a mobile device (attendees only)**[+1-213-306-3065,961841420##](tel:+1-213-306-3065,961841420##) United States Toll (Los Angeles)[+1-602-666-0783,961841420##](tel:+1-602-666-0783,961841420##) United States Toll (Phoenix)**Join by phone**

+1-213-306-3065 United States Toll (Los Angeles)

+1-602-666-0783 United States Toll (Phoenix)

Access code: 961 841 420

Global call-in numbers**Join from a video conferencing system or application**Dial wgurr@slco.webex.com

You can also dial 173.243.2.68 and enter your meeting number.

Need help? Go to <http://help.webex.com>**Anchor Location: 2001 South State Street
North Building, Room N1-110**

*UPON REQUEST, WITH 5 WORKING DAYS NOTICE, REASONABLE ACCOMMODATIONS FOR QUALIFIED INDIVIDUALS MAY BE PROVIDED. PLEASE CONTACT WENDY GURR AT 385-468-6707.
TTY USERS SHOULD CALL 711.*

The Planning Commission Public Meeting is a public forum where, depending on the agenda item, the Planning Commission may receive comment and recommendations from applicants, the public, applicable agencies and MSD staff regarding land use applications and other items on the Commission's agenda. In addition, it is where the Planning Commission takes action on these items, which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

BUSINESS MEETING

- 1) Approval of the February 15, 2023 Planning Commission Meeting Minutes.
(Motion/Voting)
- 2) Other Business Items (as needed)

ADMINISTRATIVE LAND USE APPLICATION(S)

CUP2023-000812 – Northrup Grumman is requesting Site Plan and Conditional Use approval to include a mixing bowl cleaning building and associated storage building for the existing Rocket Motor Manufacturing Plant. **Acreage:** Approximately 1.4 Acres **Location:** 4098 South 8400 West (Legal Address) Approximately 4400 South 9200 West (Actual Location). **Zone:** Manufacturing (M-2). **Planner:** Brian Tucker (Motion/Voting)

ADJOURN

Rules of Conduct for the Planning Commission Meeting

1. Applications will be introduced by a Staff Member.
2. The applicant will be allowed up to 15 minutes to make their presentation.
3. The Community Council representative can present their comments.
4. Persons in favor of, or not opposed to, the application will be invited to speak.
 - a. Speakers will be called to the podium by the Chairman.
 - b. Because the meeting minutes are recorded it is important for each speaker to state their name and address prior to making any comments.
 - c. All comments should be directed to the Planning Commissioners, not to the Staff or to members of the audience.
 - d. For items where there are several people wishing to speak, the Chairman may impose a time limit, usually 3 minutes per person, or 5 minutes for a group spokesperson.
5. Persons opposed to the application will be invited to speak.
6. The applicant will be allowed 5 minutes to provide concluding statements.
 - a. After the hearing is closed, the discussion will be limited to the Planning Commission and the Staff.

This page intentionally left blank



MEETING MINUTE SUMMARY

SALT LAKE COUNTY PLANNING COMMISSION MEETING

Wednesday, February 15, 2023 8:30 a.m.

Approximate meeting length: 26 minutes

Number of public in attendance: 4

Summary Prepared by: Wendy Gurr

Meeting Conducted by: Commissioner Hiatt

***NOTE:** Staff Reports referenced in this document can be found on the State website, or from Planning & Development Services.

ATTENDANCE

Commissioners	Public Mtg	Business Mtg	Absent
Neil Cohen	x	x	
Ronald Vance	x	x	
Mark Elieson			x
Christopher Collard	x	x	
Sara Hiatt (Chair)	x	x	
Jeff Watkins (Vice Chair)	x	x	

Planning Staff / DA	Public Mtg	Business Mtg
Wendy Gurr	x	x
Morgan Julian	x	x
Jim Nakamura	x	x
Curtis Woodward	x	x
Kayla Mauldin		
Brian Tucker	x	x
Helen Peters		
Zach Shaw (DA)	x	x

BUSINESS MEETING

Meeting began at – 8:33 a.m.

Commissioner Hiatt read the Chairs Opening Statement.

- 1) Approval of the January 11, 2023 Planning Commission Meeting Minutes. (Motion/Voting)

Motion: To approve the January 11, 2023 Planning Commission Meeting Minutes as presented.

Motion by: Commissioner Cohen

2nd by: Commissioner Watkins

Vote: Commissioners voted unanimous in favor (of commissioners present)

- 2) Other Business Items. (As Needed)

Mr. Tucker advised the second application on the agenda has request tabled to a different meeting.

ADMINISTRATIVE LAND USE APPLICATION(S)

Meeting began at – 8:35 a.m.

CUP2023-000798 - George and Riley Spargen have requested a conditional use permit for ten (10) horses on a 5.62-acre lot. **Location:** 13688 South Shaggy Mountain Road. **Zone:** FR-5 (Forestry and Recreational). **Planner:** Morgan Julian (Motion/Voting)

The Planning Commission, in its discretion, may request public input on these applications prior to acting on the application. If public input is requested, public comment will be limited to three minutes per person.

Greater Salt Lake Municipal Services District Planner Morgan Julian provided an analysis of the staff report.

Commissioners and staff discussed if the house and barn already existed. Ms. Julian said the house is, but she doesn't know if they have started on the barn. When seeking the conditional use, the health department has been contacted for the recommendation for 10 horses. All agents reviewing went through the plan and there isn't anything in writing from the health department and health department conditions for waste management. Horses are allowed in the water protection zone. Property owners should reach out to Herriman City, MSD should require this to be done before being approved.

PUBLIC PORTION OF MEETING OPENED

Speaker # 1: Applicant

Name: Riley and George Spargen

Address: 13688 Shaggy Mountain Road

Comments: Ms. Spargen said they were new residents and finished the lot and moved in a week ago. Horse lover and advocate and this is a dream property. No intention of boarding; these are personal horses, and she is a competitive barrel racer. Lifelong horse owner and will maintain the property. If questions of boarding, this is a hobby passion and wants ability to live here and have her horses. Rumors started, but these are personal use and on average 3 to 4 horses. Previous home in Bluffdale was kept meticulous. Any concerns can be addressed.

Speaker # 2: Citizen

Name: Paul Dahle

Address: 8112 West Hi-Country Road

Comments: Mr. Dahle said he wants to affirm the proposal should go forward, and this is perfect land for the use. 5 acres flat and the property has wells and water rights. Meticulous on their home, no reason for a delay, happy to have them in the neighborhood, and they will enhance the community.

PUBLIC PORTION OF MEETING CLOSED

Commissioners and staff had a brief discussion regarding the comment received and discussed potential commercial equine activity, HOA and Land Use Authority, and personal use on private property.

Motion: To approve application #CUP2023-000798 for George and Riley Spargen requested a conditional use permit for ten (10) horses on a 5.62-acre lot with staff recommendations and one additional condition that if and when the applicants decide to board horses, they will be required to seek approval for commercial use.

Motion by: Commissioner Watkins

2nd by: Commissioner Vance

Vote: Commissioners voted unanimous in favor (of commissioners present)

MEETING ADJOURNED

Time Adjourned – 8:59 a.m.



GREATER SALT LAKE
**Municipal Services
District**

Planning and Development Services

2001 S. State Street N3-600 • Salt Lake City, UT 84190-4050

Phone: (385) 468-6700 • Fax: (385) 468-6674

msd.utah.gov

File # CUP 2023-000812

Site Plan and Conditional Use Permit for the Addition to an Existing Rocket Motor Manufacturing Plant of a Mixing Bowl Cleaning Building and Associated Storage Building

Public Body: Salt Lake County Planning Commission

Meeting Date: March 15, 2023

Parcel ID: Portions of 20-06-100-001 and 20-06-200-001

Current Zone: M-2 (Manufacturing Zone)

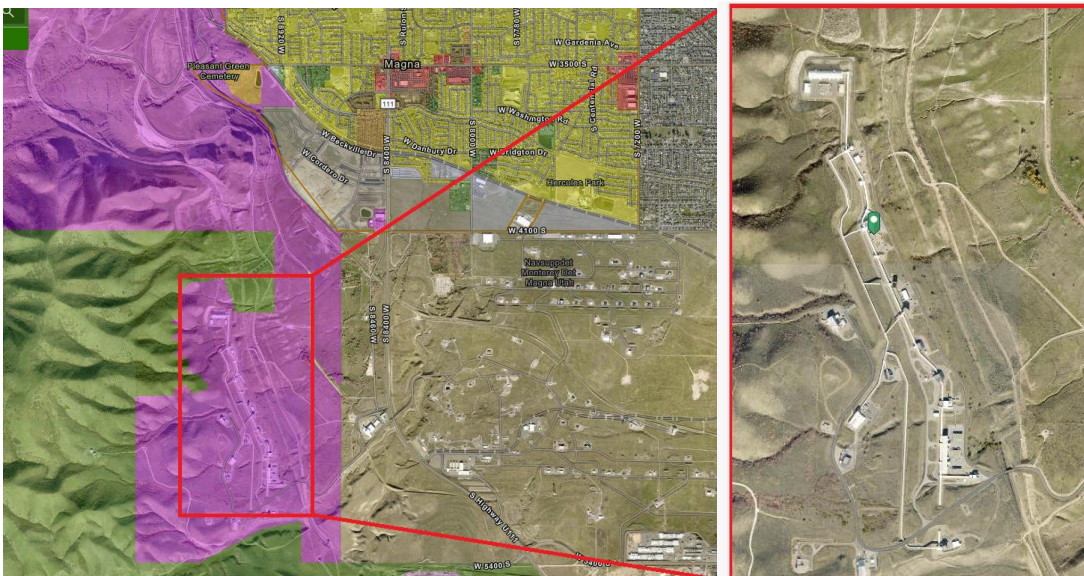
Property Address: 4098 South 8400 West (Legal Address) Approximately 4400 South 9200 West (Actual Location)

Request: Northrup Grumman is requesting Site Plan and Conditional Use approval to include a mixing bowl cleaning building and associated storage building for the existing Rocket Motor Manufacturing Plant.

Planner: Brian Tucker

Applicant Name: Northrup Grumman (Jake Tate, and Douglas Farley, Representatives)

SITE & VICINITY DESCRIPTION



The project area is located about 0.7 miles south and west of the Magna Township Boundary and 2.5 miles south of Magna Main Street. The proposed buildings are located in the northern half of the existing Northrop Grumman Plant, within the existing footprint. The legal address for this portion of the plant is 4098 West 8400 West, but the actual location is at approximately 4400 South and 9200 West. This existing plant is located to the west of the Northrop Grumman Facility, which was formerly known as the Hercules Bacchus Plant.

PROJECT BACKGROUND AND DESCRIPTION

The Bacchus facility occupies about 10,000 acres within West Valley City and unincorporated Salt Lake County. The facility includes over 400 buildings that are used to produce and prepare propellant ingredients, manufacture solid propellants, and produce solid propellant rocket motors. It is located south of the Magna Township, about 18 miles southwest of Salt Lake City. Plant 1 (Bacchus East) and the Naval Industrial Reserve Ordnance Plant (NIROP) are located in West Valley. Bacchus West straddles the boundary between West Valley City and unincorporated Salt Lake County, with most of the plant located to the south and west of Magna and in unincorporated Salt Lake County. This Bacchus West Facility began construction in 1983 and has been producing rockets for more than 35 years. It is this Bacchus West Facility that is the subject of the conditional use permit for site plan approval request.

The facilities that comprise Bacchus are owned or leased, and are operated by ATK Launch Systems, a subsidiary of Northrop Grumman Innovation Systems. The NIROP facility is owned by the United States Navy and is operated by ATK Launch Systems as an integral part of the facility. Plant 1 and a portion of the Bacchus West facilities are owned by ATK Launch Systems. Much of the Bacchus West property is owned by and leased from the Kennecott Utah Copper Corporation.

In June of this 2022, the Salt Lake County Council approved a rezone of 35 acres from A-20 (agricultural zone) to M-2 (manufacturing zone) to facilitate the expansion of the existing plant. In July 2022 the Planning Commission approved a conditional use permit for 5 buildings within that 35-acre area. The requested mixing bowl cleaning building and the associated buildings and construction are part of the larger project to triple the capacity of the existing plant.

PROPOSAL

Northrop Grumman is the only builder of specific rocket motor. Facing increased demand, they are looking to both upgrade the existing Bacchus facility and increase their production capacity by building additional buildings for storage and manufacturing. Some of these buildings will be in West Valley City but nine significant buildings are proposed in unincorporated Salt Lake County. Five of these buildings were granted conditional use permit approval by the Planning Commission in 2022. This request includes a portion of the four buildings to be constructed within the footprint of the existing plant.

The buildings to be constructed as a result of this conditional use permit will be used for cleaning the containers that the fuel is mixed in, along with a storage and a utility building to support the production line. The fuel is mixed in the West Valley portion of the plant, transported to the unincorporated portion of the plant where the rocket casings are cast with fuel. This casting work is done on the north end of the plant, with the 35-acre rezone area. The unfilled rocket motors are tipped on end and filled within

the casting/curing buildings. The fuel then cures into a rubber like state, at which point the rocket motors are transported to the Finishing building, located within the West Valley City portion of the plant.

While the Bacchus Facility does produce rocket motors with highly explosive fuels, the motors that will be manufactured in this expanded plant use a much less explosive fuel than the fuel the overpressure zone is based on. Consequently, expansion of the existing plant operations and manufacturing line to the north did not necessitate amending the overpressure zone. No intentional explosions will take place in association with this plant.

The Planning Commission is the decision-making body for conditional uses. The Planning Commission may impose reasonable conditions of approval to mitigate if a legitimate detrimental effect of the proposed land use can be identified.

PLANNING STAFF ANALYSIS

Zoning:

The Salt Lake County Council rezoned the property to M-2 to facilitate the expansion of this plant. The existing plant and the proposed expansion area are all zoned M-2, a zone that does not specifically include rocket motor manufacturing but does include *“manufacture, fabrication, assembly, compounding, packaging, processing, treatment, storage and maintenance of” “Airplanes and parts”*, among other uses. This *“airplanes and parts”* manufacturing use is a permitted use in the M-2 (but industrial developments over one acre are conditional uses). There is no other use that closely resembles what the applicants intend. When this is the case, Salt Lake County and its Planning Director are empowered to make an administrative determination for uses that are not listed but are of a similar nature to uses that are. There is very little historical information available about the initial permitting of the existing plant, but it was likely allowed through the conditional use process.

The Director of Planning and Development Services has made an administrative decision that the manufacture, fabrication, assembly, packaging, processing, storage and treatment of rocket motors is a permitted use in the M-2 zone.

Conditional Use Permit Review Criteria:

The Salt Lake County Planning Commission is the decision-making body for conditional uses. The Planning Commission may impose reasonable conditions of approval to mitigate any legitimate detrimental effects of the proposed land use that are identified. The standards of approval are as follows:

- A. The proposed site development plan shall comply with all applicable provisions of the zoning ordinance, including parking, building setbacks, and building height.
- B. The proposed use and site development plan shall comply with all other applicable laws and ordinances.
- C. The proposed use and site development plan shall not present a serious traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system as reviewed by Salt Lake County Engineering.

- D. The proposed use and site development plan shall not pose a serious threat to the safety of persons who will work on, reside on, or visit the property nor pose a serious threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.
- E. The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.

Approval Process for Conditional Use Permits:

There is an approval process for conditional use permits. First, applicant submits an application and the required plan sets. When the MSD determines that the applicant has submitted all of the required and necessary plans and the applicant pays the necessary fees, the application is deemed to be complete. The project is then submitted to SL Co Engineering, the SL Co Surveyor, the Fire Marshall, Public Works Operations, Grading, Building, and SL Co Health for conceptual review. These agencies either approve the plans conceptually or require revisions prior to moving the project to Planning Commission. The application does not move on to the Planning Commission for approval until all of the agencies give conceptual approval. Conceptual approval is an approval of the concept. This is an acknowledgement that the proposed project likely can be made to work, not that it certainly does.

The Planning Commission holds a public meeting where they discuss the project and make a decision. This approval is preliminary and will typically include a number of conditions that are intended to mitigate legitimate potential impacts. The approval is always conditioned on agency approval through the technical review process. The MSD issues an after-action report, outlining the decision of the Planning Commission and the conditions of approval. The Planning Commission is not the final step in the approval process.

After the Planning Commission, the applicant submits revised plans for technical review. Technical review is the critical step that the applicant must overcome. These revised plans are placed in technical review, where comments and revisions go back and forth until the plans have final approval from each of the agencies. Only at the conclusion of the technical review process is a final approval letter with conditions of approval and copies of the approved plans issued. At this time the applicant may proceed.

Air Quality and other Environmental Impacts:

Air quality and other environmental concerns have been identified as potential detrimental effects both during a potential construction phase of the project and the longer-term operation of the plant.

The mass grading of any project, industrial or residential, carries with it concerns about air and water quality due to the movement of soils and removal of vegetative cover. Blowing winds, flowing water and the movement of machines can displace soils, causing air and water pollution. Storm Water Pollution Prevention Plans (SWPPP) and Fugitive Dust Control Plans are required by the State of Utah to ensure that the applicant uses best management practices to control air quality and water pollution that may result from construction activities. Penalties for violations of the plans can be imposed if these plans are violated. These plans must be in place for the entirety of the construction portion of a project and in some instances are required for the life of the facility.

The Bacchus Facility has air quality, water quality, waste, and hazardous waste permits through the Utah Department of Environmental Quality (DEQ). DEQ monitors and licenses air and water quality as well as waste and hazardous waste. These existing permits will need to be amended with DEQ in conjunction with this project. The existing plant has a permit to store hazardous waste at three locations at its current plant, all three of which are located within the West Valley City portion of the plant and have no bearing on this application.

Flood Control and Grading:

Grading plans will need to be approved by the MSD Storm Water and Grading Division. The construction associated with the 35-acre rezone on the north end of the plant will include nearly two (2) million cubic yards of cut and 75 thousand cubic yards of fill. The grading associated with this permit, since these buildings are located within the footprint of the existing plant, will be minimal. Newly hardscaped ground and rooftops will create additional runoff that will need to be mitigated by on-site detention or by some other permitted means. As mentioned previously, the County’s Engineering staff have given conceptual approval for urban hydrology. This conceptual approval includes several comments that will need to be resolved through the technical review process.

Soils, Liquefaction and Ground Water:

The applicant has submitted geotechnical reports covering all of the proposed building sites. A Geotechnical Report addresses the types of soils and their potential for liquefaction, along with ground water and drainage, to assess the stability of the site. The Geotech Report gives recommendations for mitigating any potential issues with soil stability for both buildings and infrastructure. Salt Lake County Engineering has examined these reports and have given the conceptual approval for the geology review.

Fire and Fire Code:

The rocket motors built in the existing facility are the same as those proposed for the expanded facility. While the rocket fuel is highly flammable, it is not a mass detonation hazard. Unified Fire Authority has conceptually approved the plans and have not identified any special concerns.

Transportation:

Transportation access for this site is primarily 8400 West (S.R 111/Bacchus Highway). The route passes through the plant between the West Bacchus and Plant 1 areas. 4100 South and 5400 South are along the north and south plant boundaries and may provide additional access to the site. Finally, a railroad spur provides rail service to the Bacchus Plant. Salt Lake County Engineering has given conceptual approval for traffic control.

Notice:

Notice has been given in accordance with Utah Code 17-27a-205 and Salt Lake County Code 19.90.020. Notice was mailed to each affected entity and property owner at least 10 calendar days before the public hearing. Notice was posted on the County’s official website, on the Utah Public Notice Website, and in three public locations at the Salt Lake County Government Center.

POTENTIAL PLANNING COMMISSION ACTIONS

The Planning Commission has three options with respect to the proposed conditional use permit:

- Option 1: Approve the conditional use permit with the conditions proposed by MSD Staff; or
- Option 2: Approve the conditional use permit with additional reasonable conditions determined by the Planning Commission, based on legitimate potential detrimental effects that have been identified; or
- Option 3: Deny the conditional use permit application because a legitimate detrimental effect has been identified that cannot be mitigated by a reasonable condition or conditions. If a legitimate detrimental effect is identified, unless it cannot be mitigated by a reasonable condition, the conditional use permit must be approved.

PLANNING STAFF RECOMMENDATION

Because the Salt Lake County Council approved the rezone of the 35 acres to facilitate the expansion of the existing plant, and because there have not been any legitimate potential effects identified that cannot be mitigated through the application of reasonable conditions, the Planning Staff recommend that the Site Plan and Conditional Use Permit for the proposed expansion of the existing Rocket Motor Manufacturing plant owned by Northrup Grumman be approved with the following conditions:

1. Final Conditional Use Permit Approval shall not be granted by the MSD until the applicant has complied with all requirements from reviewing agencies to date and any requirements that arise during the technical review process.
2. Building permits are required for any construction in accordance with the applicable building codes.
3. Storm Water Pollution Prevention Plans (SWPPP) and Fugitive Dust Control Plans are required.
4. The air quality, water quality, and waste permits through the Utah Department of Environmental Quality (DEQ) must be amended, with copies submitted to the MSD.
5. Grading plans must be approved by the MSD Storm Water and Grading Division.
6. If required, a stream alteration permit must be issued by the Division of Water Rights, Stream Alteration Permitting. If the division does not require a stream alteration permit, that must be communicated to Salt Lake County Engineering by Division of Water Rights, Stream Alteration Permitting.
7. Drainage and detention plans must be approved by Salt Lake County Engineering.

Attachments:

1. Administrative Determination
2. Northrup Grumman Bacchus Works Master Plan
3. Site Plan
4. Building Footprints and Elevations
5. Agency Conceptual Review Summary

**Municipal Services
District**

2001 So. State Street, Ste. N3-600
Salt Lake City, UT 84190
(385) 468-6700 MSD.UTAH.GOV



8952 W Magna Main St.
Magna, UT 84044
(801) 834-2577

magnametrotownship.org

July 5th, 2022

Northrup Grumman
PO Box 96, Attn Doug Farley
Magna, Utah 84044

RE: Administrative Determination Regarding a Rocket Motor Plant in the M-2 Zone

The Greater Salt Lake Municipal Services District (MSD) Planning and Development Services received your request to make an administrative determination for a rocket motor plant in the M-2 Zone in Salt Lake County, $\frac{3}{4}$ mile southwest of the intersection between 8400 West and 4100 South. The existing rocket motor plant was approved in the late 1980's and built in the early 1990's. As proposed, the applicant is requesting that an additional 9 buildings be added to this rocket motor plant. The Salt Lake County Council has approved a rezone to M-2 for 35.5 acres to facilitate these additional buildings, the purpose of which is to expand the plant capacity by up to 200%.

The M-2 Manufacturing zone of the Salt Lake County Code (Section 19.68.20) does not specifically list the manufacturing of rocket motors as a permitted or conditional use in the M-2 Zone. Salt Lake County Code, Section 19.76.030 allows the Planning and Development Service Director to make an administrative determination as to the classification of uses not specifically listed in the Salt Lake County Code. As such, after reviewing the Salt Lake County Code and the Salt Lake County West General Plan, the following administrative determination is made:

“The Manufacture, fabrication, assembly, compounding, processing, treatment and/or maintenance of rocket motors is allowed as a permitted use,¹ under Salt Lake County Code, Section 19.68.020.”

The determination is based on the fact that the manufacturing of rocket motors is of the same character and intensity and similar to other permitted uses in the M-2 zone, such as *“manufacturing, fabrication, assembly, compounding, processing, treatment and/or maintenance of airplanes and parts”*. This determination also considers the fact that rocket motors have been manufactured at this site for approximately 30 years. The approval for the expansion of this plant was a legislative policy decision, given that the Salt Lake County Council approved the rezone to accommodate this expansion.

An appeal of this administrative determination to the Salt Lake County Planning Commission may be files in writing to the MSD Planning and Development Services Department no later than 10 days from the filing of this mailing.

Respectfully,

Trent Sorensen, Director
Planning and Development Services Department

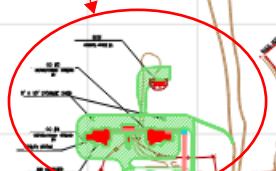
C: Salt Lake County Planning Commission



Note:

1. Any project containing 1 or more acres requires site plan approval through a conditional use permit.

Cast/Cure and associated buildings



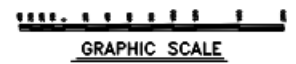
Mixing Bowl Cleaning and Associated Buildings

Buildings in West Valley

Other buildings in Salt Lake County

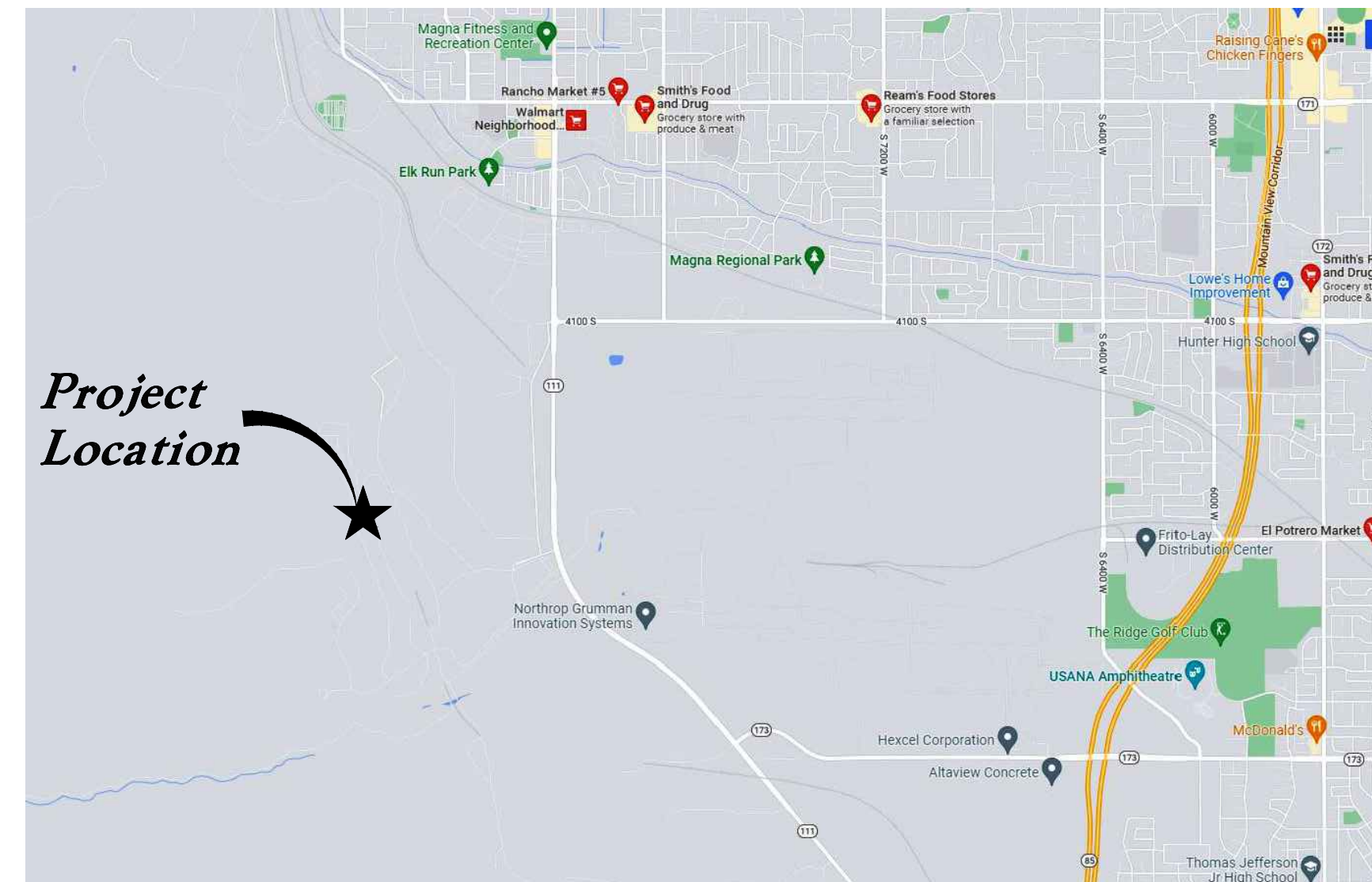
Attachment #2 Northrup Grumman Bacchus Works Master Plan

LEGEND	
	NEW BUILDINGS
	BUILDINGS
	BARRICADED BUILDING
	GRADED/IMPROVED ROADS
	PAVED ROADS
	RAILROADS
	WVC BOUNDARY LINE
	ATK PROPERTY LINE
	FENCE LINE



NORTHROP GRUMMAN - MIX BOWL CLEANING BUILDING #4

5000 SOUTH 8400 WEST
MAGNA, UTAH 84044



VICINITY MAP
NOT TO SCALE



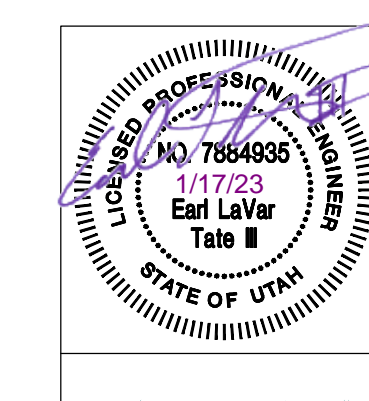
CIVIL SHEET INDEX

- 1 OF 9 COVER SHEET
- 2 OF 9 DEMOLITION PLAN
- 3 OF 9 SITE PLAN
- 4 OF 9 GRADING PLAN
- 5 OF 9 UTILITY PLAN
- 6 OF 9 DETAILS
- 7 OF 9 EROSION CONTROL PLAN - PHASE 1
- 8 OF 9 EROSION CONTROL PLAN - PHASE 2
- 9 OF 9 EROSION CONTROL DETAIL

Abbreviations			
BCR	Begin Curb Return	FT	Point of Tangency
BCL	Bulford	PVC	Polyvinyl Chloride
BRW	Finish Grade - Bottom of Retaining Wall	PVI	Point of Vertical Intersection
CATV	Cable Television Box	RCP	Reinforced Concrete Pipe
CB	Catch Basin	RD	Roof Drain
CMP	Corrugated Metal Pipe	SB	Signal Box
COB	Cleanout Box	SD	Storm Drain
COG	Cleanout to Grade	SDM	Storm Drain Manhole
EA	Edge of Asphalt	SMH	Sewer Manhole
EB	Electrical Box	SP	Signal Pole
EC	End of Curve	SS	Sanitary Sewer
EDR	End Curb Return	SSZ	Sign Visibility Zone
GB	Grade Break	SW	Secondary Water
GM	Gas Meter	TA	Top of Asphalt
HB	Hose Bib	TB	Telephone Box
HP	High Point	TBC	Top Back of Curb
I	Irrigation Line	TC	Top of Grate
ICB	Irrigation Control Box	TMH	Telephone Manhole
LP	Lip of Gutter	TP	Top of Concrete
LP	Light Pole	TW	Finish Grade - Top of Retaining Wall
MH	Manhole	TW	Top of Walk
Mon	Monument	VC	Vertical Curve
PC	Point of Curvature	VPC	Vertical Point of Curve
PCC	Point of Compound Curvature	VPT	Vertical Point of Tangency
PI	Point of Intersection	WL	Waterline
PM	Power Meter	WP	Working Point
PP	Power Pole	WV	Water Valve

Legend			
Proposed Curb & Gutter	Existing Improvements	Existing Asphalt	Existing Concrete
Proposed Open Face C & G	Existing Asphalt	Existing Catch Basin	Existing Inlet Box
Proposed Asphalt	Existing Concrete	Existing Manhole	Existing Fire Hydrant
Proposed Concrete	Existing Inlet Box	Existing Water Valve	Existing Overhead Power Line
Proposed Truncated Domes	Existing Manhole	Existing Sewer	Existing Storm Drain
Proposed Inlet Box	Existing Fire Hydrant	Existing Gas	Existing Power
Proposed Catch Basin	Existing Water Valve	Existing Telephone	Existing Fence
Proposed Manhole	Existing Overhead Power Line	Existing Fence	Existing Gas
Proposed Transformer	Existing Water	Existing Gas	Existing Power
Proposed Meter Box	Existing Secondary Water	Existing Power	Existing Telephone
Proposed Water Meter	Existing Sewer	Existing Telephone	Existing Fence
Proposed Combo Box	Existing Storm Drain	Existing Gas	Existing Power
Proposed Fire Hydrant	Existing Gas	Existing Power	Existing Telephone
Proposed Water Valve	Existing Power	Existing Telephone	Existing Fence
Proposed Water Line	Existing Telephone	Existing Fence	Existing Gas
Proposed Sanitary Sewer	Existing Fence	Existing Gas	Existing Power
Proposed Storm Drain	Existing Gas	Existing Power	Existing Telephone
Proposed Conduit Line	Existing Power	Existing Telephone	Existing Fence
Proposed Power Line	Existing Telephone	Existing Fence	Existing Gas
Proposed Gas Line	Existing Fence	Existing Gas	Existing Power
Proposed Fire Line	Existing Gas	Existing Power	Existing Telephone
Proposed Secondary Water Line	Existing Power	Existing Telephone	Existing Fence
Proposed Roof Drain	Existing Telephone	Existing Fence	Existing Gas
Proposed Fence	Existing Fence	Existing Gas	Existing Power
Ridge line	Existing Gas	Existing Power	Existing Telephone
Grade Break	Existing Power	Existing Telephone	Existing Fence
Proposed Contour	Existing Telephone	Existing Fence	Existing Gas
Direction of Drainage	Existing Fence	Existing Gas	Existing Power
Proposed Spot	Existing Gas	Existing Power	Existing Telephone
ADA Accessible Route	Existing Power	Existing Telephone	Existing Fence
Property Line	Existing Telephone	Existing Fence	Existing Gas
Sawcut Line	Existing Fence	Existing Gas	Existing Power
Proposed Light Pole	Existing Gas	Existing Power	Existing Telephone
Proposed Street Light	Existing Power	Existing Telephone	Existing Fence
Existing Power Pole	Existing Telephone	Existing Fence	Existing Gas
Existing Power Pole / Guy	Existing Fence	Existing Gas	Existing Power
Existing Utility Marker	Existing Gas	Existing Power	Existing Telephone
Existing Post	Existing Power	Existing Telephone	Existing Fence

ISSUED FOR PERMIT



REVISIONS				APPROVALS			
REV	DESCRIPTION	FEED NO.	DATE	APPROVED	DATE	BY	DATE
A	ISSUED FOR 30% REVIEW		08/01/2022	DRAWN	DC	Jake Tote	05/12/2022
B	ISSUED FOR 50% REVIEW		12/14/2022	CHECKED	DC	Jake Tote	
C	COUNTY SUBMITTAL		01/13/2023	ENGINEER	DC	Jake Tote	
				OPERATIONS			
				PROCESS/MFG ENG			
				SAFETY			
				MAINTENANCE			

NORTHROP GRUMMAN SPACE SYSTEMS SECTOR
PROPULSION SYSTEMS, BACCHUS

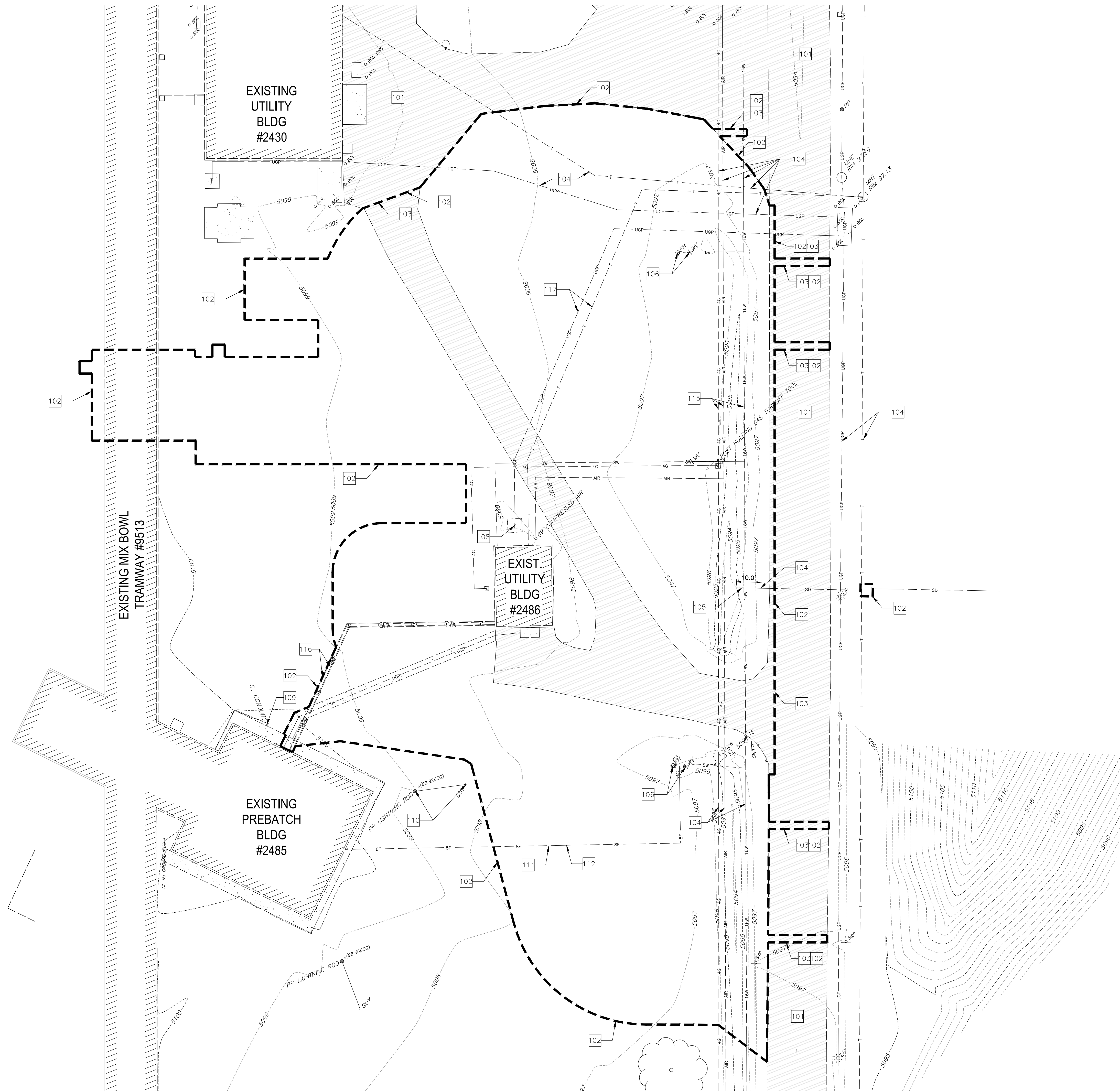
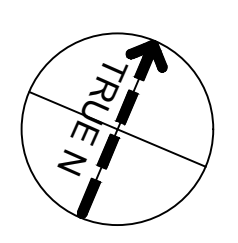
FACILITIES ENGINEERING

MIX BOWL CLEANING BUILDING #4
COVER SHEET
PROJECT PRIME

DRAWING NO: 2609-21001

SCALE: NONE SHEET: 1 OF 9

GRAPHIC SCALE



GENERAL DEMOLITION NOTES

1. DEMOLITION AND SITE CLEARING FOR THIS CONTRACT ARE TO INCLUDE ALL AREAS SHOWN WITHIN DEMOLITION LIMITS OR BY NOTE.
2. REFER TO SITE IMPROVEMENT PLANS FOR MORE DETAILS ON LIMITS OF REMOVAL.
3. ALL CURBS, GUTTERS, WALKS, SLABS, WALLS, FENCES, FLATWORK, ASPHALT, WATERLINES AND METERS, GAS LINES, SEWER LINES, LIGHT POLES, BURIED CABLES, STORM DRAIN PIPING AND STRUCTURES WITHIN THE DEMOLITION LIMITS TO BE CLEARED FROM SITE UNLESS OTHERWISE SHOWN.
4. ALL UTILITIES, SEWER, WATER, GAS, TELEPHONE AND ELECTRICAL SERVICES TO BE DISCONNECTED AND CAPPED ACCORDING TO CITY, COUNTY AND UTILITY COMPANY REQUIREMENTS, UNLESS OTHERWISE SHOWN.
5. CLEAR AND GRUB TREES, SHRUBS, AND VEGETATION WITHIN DEMOLITION LIMITS, DISPOSAL TO BE OFF-SITE EXCEPT WHERE NOTED OTHERWISE.
6. DO NOT INTERRUPT ANY SERVICES OR DISRUPT THE OPERATION OF ANY BUSINESSES SHOWN OUTSIDE THE DEMOLITION LIMITS.
7. REMOVE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM THE DEMOLITION AND SITE CLEARING OPERATIONS FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER.
8. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. CONTACT AUTHORITIES HAVING JURISDICTION FOR FIELD LOCATIONS. PROTECT IN PLACE AND RELOCATED UTILITIES DURING CONSTRUCTION.
9. STOCKPILES MUST BE GRADED TO MAINTAIN SLOPES NOT GREATER THAN 3 HORIZONTAL TO 1 VERTICAL. PROVIDE EROSION CONTROL AS NEEDED TO PREVENT SEDIMENT TRANSPORT TO ADJACENT DRAINAGE WAYS.
10. DISPOSE OF ALL WASTE MATERIAL. DISPOSAL MUST BE AT AN APPROVED SITE FOR SUCH MATERIAL. BURNING ONSITE IS NOT PERMITTED.
11. VERIFY WITH NORTHPROP GRUMMAN ANY STREET REMOVAL, CURB CUTS, AND ANY RESTORATION REQUIRED FOR UTILITY LINE REMOVAL.
12. INSTALL TRAFFIC WARNING DEVICES AS NEEDED IN ACCORDANCE WITH LOCAL STANDARDS.
13. OBTAIN ALL PERMITS NECESSARY FOR DEMOLITION FROM CITY, COUNTY, STATE OR FEDERAL AGENCIES AS REQUIRED.
14. DEMOLISH EXISTING BUILDINGS AND CLEAR FROM SITE. (INCLUDING REMOVAL OF ALL FOOTINGS AND FOUNDATIONS.)
15. IF ASBESTOS IS FOUND IN EXISTING STRUCTURES, THE ASBESTOS MUST BE REMOVED IN A LEGAL MANNER BY A CONTRACTOR LICENSED TO HANDLE ASBESTOS MATERIALS. (NOT A PART OF CONTRACT)
16. IF EVIDENCE OF HAZARDOUS MATERIALS OR CONTAMINATED SOILS IS OBSERVED, CONTACT THE PROJECT ENGINEER TO PROVIDE NOTIFICATION AND OBTAIN DIRECTION BEFORE PROCEEDING WITH DISTURBANCE OF SAID MATERIALS OR CONTAMINATED SOIL.
17. LIMITS OF DEMOLITION/DISTURBED AREAS SHOWN ON THE PLANS MAY NOT BE AN EXACT DEPICTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEANS AND METHODS OF HOW THE WORK WILL BE COMPLETED. DETERMINE THE AREA OF CONSTRUCTION IMPACT. RESTORE ALL IMPACTED AREAS AND ALL RESTORATION MUST BE PART OF THE CONTRACT BID.
18. SHORE AND PROTECT NEIGHBORING PROPERTIES PER OSHA STDS. DURING EXCAVATION ACTIVITIES WHEN NECESSARY. ALL EXCAVATION MUST REMAIN ON AND WITHIN THE BOUNDS OF THE SUBJECT PROPERTY. UNLESS SPECIFICALLY NOTED ON THE PLANS AND APPROVAL FROM THE ADJOINING NEIGHBOR HAS BEEN OBTAINED PRIOR TO ANY EXCAVATION BEYOND THE SUBJECT PROPERTY LIMITS.

KEY NOTES

- 101 EXISTING ASPHALT PAVING TO REMAIN
- 102 DEMOLITION LIMITS LINE
- 103 SAWCUT EXISTING ASPHALT PROVIDE SMOOTH CLEAN EDGE
- 104 EXISTING UTILITY LINES TO REMAIN
- 105 REMOVE 10' EXISTING STORM DRAIN PIPE TO NEW JUNCTION BOX. SEE UTILITY PLAN
- 106 EXISTING FIRE HYDRANT & VALVE TO BE RELOCATED. SEE UTILITY PLAN
- 107 EXISTING UTILITY LATERALS, STRUCTURES TO BE REMOVED. CAP AT MAIN
- 108 SALVAGE EXISTING TRANSFORMER TO NGC. COORDINATE W/ NGC CONSTRUCTION REPRESENTATIVE
- 109 EXISTING CONDUITS TO REMAIN
- 110 EXISTING CATENARY POLE AND GUY WIRE TO REMAIN
- 111 EXISTING WATER LINE TO REMAIN
- 112 EXISTING FIRE LINE TO BE RELOCATED (SEE UTILITY PLAN)
- 113 NOT USED
- 114 NOT USED
- 115 EXISTING UTILITY LINES TO BE RELOCATED (SEE UTILITY PLAN)
- 116 REMOVE EXISTING ABOVE GROUND HOT WATER PIPING & PIPE SUPPORT
- 117 EXISTING POWER & TELECOM TO BE RELOCATED (SEE UTILITY PLAN)

LEGEND

- EXISTING ASPHALT PAVING
- EXISTING CONCRETE PAVING
- BUILDING ENVELOPE
- EXISTING POWER POLE
- EXISTING MANHOLE
- EXISTING BOLLARD
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING TELEPHONE LINE
- EXISTING UNDERGROUND POWER LINE
- EXISTING 16" WATER LINE
- EXISTING 8" WATER LINE
- EXISTING 4" GAS LINE
- EXISTING AIR LINE
- EXISTING STORM PIPE

CAUTION

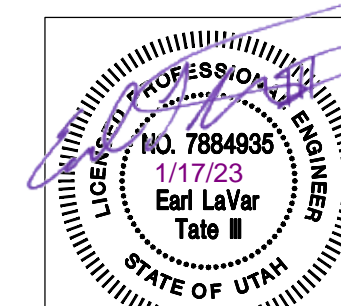
THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.



ISSUED FOR PERMIT

1 DEMOLITION PLAN

1" = 20'-0"



REVISIONS				APPROVALS			
REV	DESCRIPTION	FEQ NO.	DATE	APPROVED BY	DATE	DATE	DATE
A	ISSUED FOR 30% REVIEW		08/01/2022	DC	05/12/2022		
B	ISSUED FOR 60% REVIEW		12/14/2022	Jake Tate			
C	COUNTY SUBMITTAL		01/13/2023	Jake Tate			

NORTHROP GRUMMAN SPACE SYSTEMS SECTOR
PROPULSION SYSTEMS, BACCHUS

FACILITIES ENGINEERING

MIX BOWL CLEANING BUILDING #4
DEMOLITION PLAN
PROJECT PRIME

DRAWING NO: 2609-21001

SCALE: 1" = 20'-0"

SHEET: 2 OF 9

22-061 M8C4 - DM

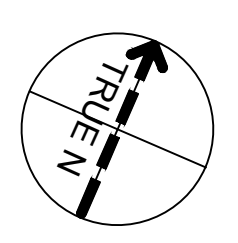
REFERENCE DRAWINGS

THIS PRINT, AND THE INFORMATION AND TECHNOLOGY HEREON, IS THE PROPERTY OF NORTHROP GRUMMAN, AND MAY NOT BE USED, REPRODUCED, OR DISCLOSED TO OTHERS WITHOUT THE WRITTEN PERMISSION OF NORTHROP GRUMMAN. PERMITTED REPRODUCTIONS IN WHOLE OR PART, INCLUDING BORDOWNER'S SHOP DRAWINGS, SHALL BEAR OR REFER TO THIS NOTICE. RETURN OF THIS PRINT SHALL BE MADE TO NORTHROP GRUMMAN UPON REQUEST.

APPROVED FOR CONSTRUCTION PROJECT ENGINEER

APPROVED FOR CONSTRUCTION PROJECT ENGINEER

GRAPHIC SCALE



BASIS OF BEARINGS

A LINE BETWEEN BRASS CAP MONUMENTS FOUND MARKING THE NORTH QUARTER CORNER OF SECTION 6 AND THE NORTHEAST CORNER OF SECTION 3 OF TOWNSHIP 2 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, WAS ASSIGNED THE VRS DERIVED BEARING OF SOUTH 89°34'30" EAST IN ORDER TO MATCH THE NORTH AMERICAN DATUM OF 1983 STATE PLANE CENTRAL ZONE REFERENCE TO NORTH.

BENCHMARK

BRASS CAP MONUMENT FOUND MARKING THE SOUTH QUARTER CORNER OF SECTION 9, TOWNSHIP 2 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. ELEVATION = 5335.66' (COUNTY RTK ELEVATION OF 1534.874 NAVD88 METERS)

GENERAL SITE NOTES

- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- FIRE LANE MARKINGS AND SIGNS TO BE INSTALLED AS DIRECTED BY THE FIRE MARSHAL.
- AISLE MARKINGS, DIRECTIONAL ARROWS AND STOP BARS WILL BE PAINTED AT EACH DRIVEWAY AS SHOWN ON THE PLANS.
- CONST. CURB TRANSITION AT ALL POINTS WHERE CURB ABUTS SIDEWALK. SEE DETAIL.
- PLACE ASPHALT PAVING IN THE DIRECTION OF VEHICLE TRAVEL WHERE POSSIBLE.
- LIMITS OF DEMOLITION/DISTURBED AREAS SHOWN ON THE PLANS MAY NOT BE AN EXACT DEPICTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEANS AND METHODS OF HOW THE WORK WILL BE COMPLETED. DETERMINE THE AREA OF CONSTRUCTION IMPACT AND RESTORE ALL IMPACTED AREAS AND ALL RESTORATION MUST BE PART OF THE CONTRACT BID.

KEYED NOTES

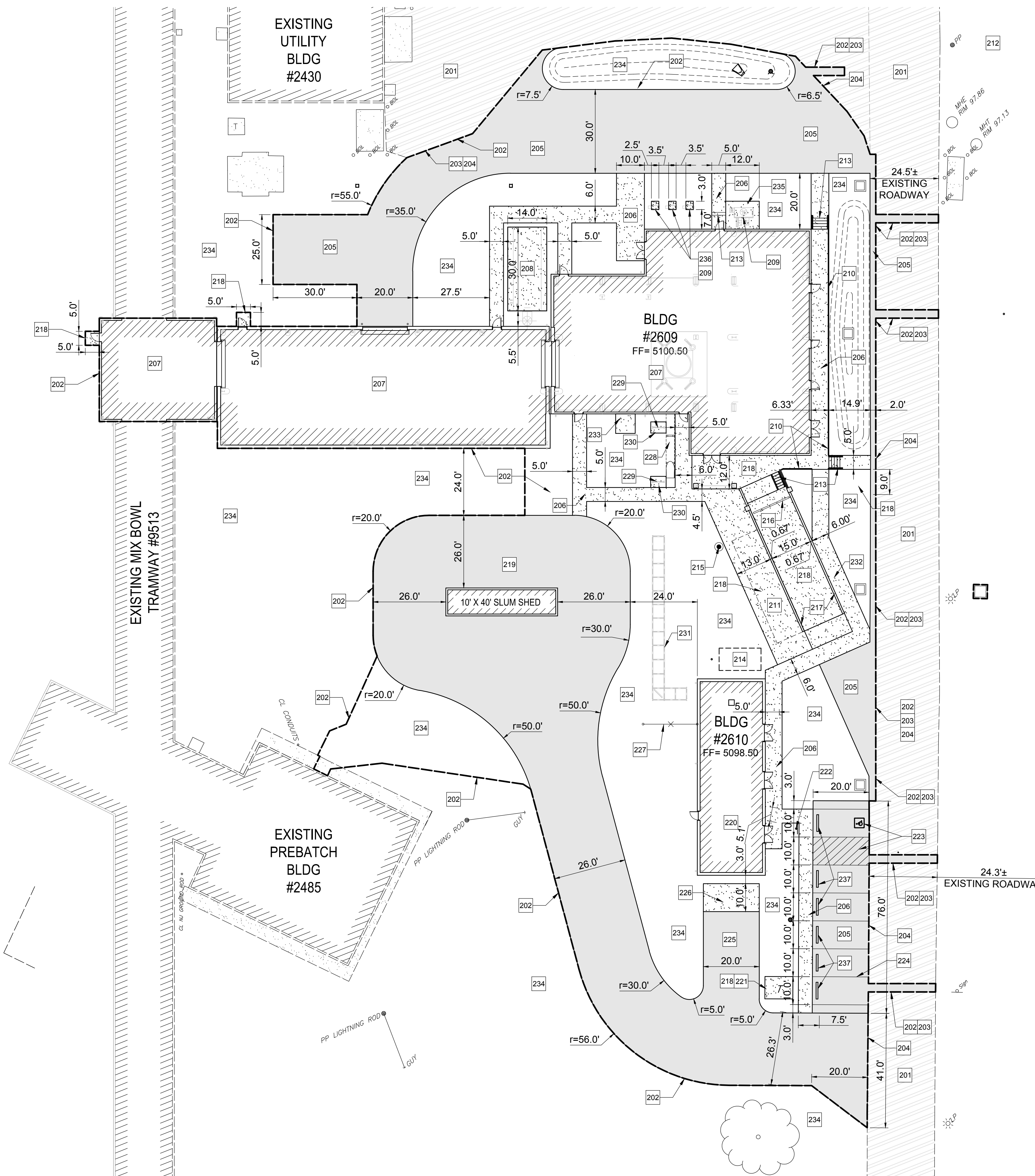
- 201 EXISTING ASPHALT PAVING
- 202 CONSTRUCTION LIMITS LINE
- 203 SAWCUT EXISTING ASPHALT PROVIDE SMOOTH CLEAN EDGE
- 204 CONNECT & MATCH EXISTING IMPROVEMENTS
- 205 CONSTRUCT ASPHALT PAVING SEE DETAIL #1 SHEET 6 OF 9
- 206 CONSTRUCT CONCRETE SIDEWALK SEE DETAIL #2 SHEET 6 OF 9
- 207 PROPOSED MIX BOWL BUILDING (SEE ARCHITECTURAL PLANS)
- 208 CONSTRUCT 30' X 14' EXTERIOR EQUIPMENT PAD (SEE STRUCTURAL PLANS)
- 209 MECHANICAL UNITS (SEE MECHANICAL PLANS)
- 210 CONSTRUCT GUARDRAIL
- 211 10' X 40' CONNEX BOX BY OWNER
- 212 EXISTING SEPTIC SYSTEM FIELD
- 213 STAIRS WITH HANDRAIL (SEE ARCHITECTURAL PLANS)
- 214 CONSTRUCT 500 GALLONS DEAD END VAULT
- 215 LIGHT POLE (SEE ELECTRICAL PLANS)
- 216 TRENCH DRAIN (SEE UTILITY PLAN)
- 217 DOCK RETAINING WALL (SEE ARCHITECTURAL PLANS)
- 218 CONSTRUCT CONCRETE PAVING SEE DETAIL #6 SHEET 6 OF 9
- 219 CONSTRUCT 26' WIDE ASPHALT RING ROAD ACCESS FOR SLUM SHED
- 220 PROPOSED UTILITY BUILDING (SEE ARCHITECTURAL PLANS)
- 221 TRANSFORMER (SEE ELECTRICAL PLANS)
- 222 CONSTRUCT BOLLARD ACCESSIBLE VAN SIGN PER MUTCD & ICC/ANSI A117.1 (LATEST EDITION)
- 223 CONSTRUCT ACCESSIBLE STRIPING PER MUTCD & ICC/ANSI A117.1 (LATEST EDITION)
- 224 CONSTRUCT 4" WHITE PAINT STRIPE (TYP.) CONTRACTOR SHALL PROVIDE 15 MILS MIN. DRY THICKNESS (TWO COATS)
- 225 CONSTRUCT 20' WIDE ASPHALT ACCESS FOR GENERATOR SERVICE
- 226 CONSTRUCT 10' X 20' EXTERIOR EQUIPMENT PAD FOR GENERATOR. (SEE STRUCTURAL & ELECTRICAL PLANS)
- 227 CONSTRUCT FENCE (SEE ARCHITECTURAL PLANS)
- 228 EMERGENCY SLIDE CHUTE (SEE ARCHITECTURAL PLANS)
- 229 OVERHEAD UTILITY SUPPORT (SEE STRUCTURAL PLANS)
- 230 OVERHEAD UTILITY SUPPORT CONCRETE FOOTING (SEE STRUCTURAL PLANS)
- 231 ABOVE GROUND UTILITY SUPPORT (SEE STRUCTURAL PLANS)
- 232 ACCESSIBLE SIDEWALK ROUTE
- 233 CONSTRUCT 7' X 7' STRUCTURAL CONCRETE PAD FOR VENTSTACK SUPPORT (SEE STRUCTURAL PLANS)
- 234 RESEED DISTURBED NATURAL GROUND W/ NATIVE SEED MIX
- 235 CONSTRUCT 10' X 12' EXTERIOR EQUIPMENT PAD (SEE STRUCTURAL PLANS)
- 236 CONSTRUCT 3' X 2'-8" EXTERIOR EQUIPMENT PAD (SEE STRUCTURAL PLANS)
- 237 CONSTRUCT CONCRETE WHEEL STOP SEE DETAIL #3 SHEET 3 OF 9

LEGEND

- EXISTING ASPHALT PAVING
- PROPOSED ASPHALT PAVING
- EXISTING CONCRETE PAVING
- PROPOSED CONCRETE PAVING
- BUILDING ENVELOPE
- PROPOSED GRAVEL ACCESS WAY
- FDC
- PIV
- EXISTING POWER POLE
- PROPOSED LIGHT POLE
- EXISTING MANHOLE
- EXISTING BOLLARD
- PROPOSED FIRE HYDRANT

SURVEY CONTROL NOTE

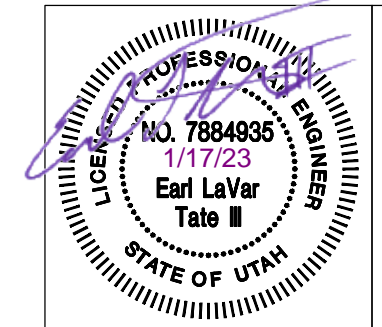
THE CONTRACTOR OR SURVEYOR MUST BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING ANDERSON WAHLEN AND ASSOCIATES ALTA SURVEYS OR ANDERSON WAHLEN AND ASSOCIATES CONSTRUCTION IMPROVEMENT PLANS. PRIOR TO PROCEEDING WITH CONSTRUCTION STAKING, THE SURVEYOR MUST BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY, IMPROVEMENT PLAN, OR ON ELECTRONIC DATA PROVIDED BY ANDERSON WAHLEN AND ASSOCIATES. THE SURVEYOR MUST ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY ANDERSON WAHLEN AND ASSOCIATES. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION STAKING.



ISSUED FOR PERMIT

1 SITE PLAN

1" = 20'



REVISIONS		APPROVALS	
REV	DESCRIPTION	FEO NO.	DATE
A	ISSUED FOR 30% REVIEW	08/01/2022	
B	ISSUED FOR 60% REVIEW	12/14/2022	
C	COUNTY SUBMITTAL	01/13/2023	

APPROVALS	
DATE	BY
08/01/2022	DC
12/14/2022	Jake Tate
01/13/2023	Jake Tate

NORTHROP GRUMMAN SPACE SYSTEMS SECTOR
PROPULSION SYSTEMS, BACCHUS

FACILITIES ENGINEERING

MIX BOWL CLEANING BUILDING #4
SITE PLAN
PROJECT PRIME

DRAWING NUMBER: 22-061 MRC4 - SP

DESCRIPTION: REFERENCE DRAWINGS

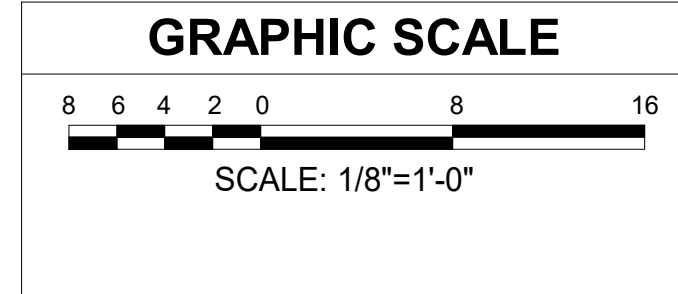
THIS PRINT, AND THE INFORMATION AND TECHNOLOGY HEREOF, IS THE PROPERTY OF NORTHROP GRUMMAN, AND MAY NOT BE USED, REPRODUCED, OR DISCLOSED TO OTHERS WITHOUT THE WRITTEN PERMISSION OF NORTHROP GRUMMAN. PERMITTED REPRODUCTIONS IN WHOLE OR PART, INCLUDING BORDERS, SHALL BEAR OR REFER TO THIS NOTICE. RETURN OF THIS PRINT SHALL BE MADE TO NORTHROP GRUMMAN UPON REQUEST.

APPROVED FOR CONSTRUCTION PROJECT ENGINEER

DRAWING NO.: 2609-21001
SCALE: 1" = 20'
SHEET: 3 OF 9

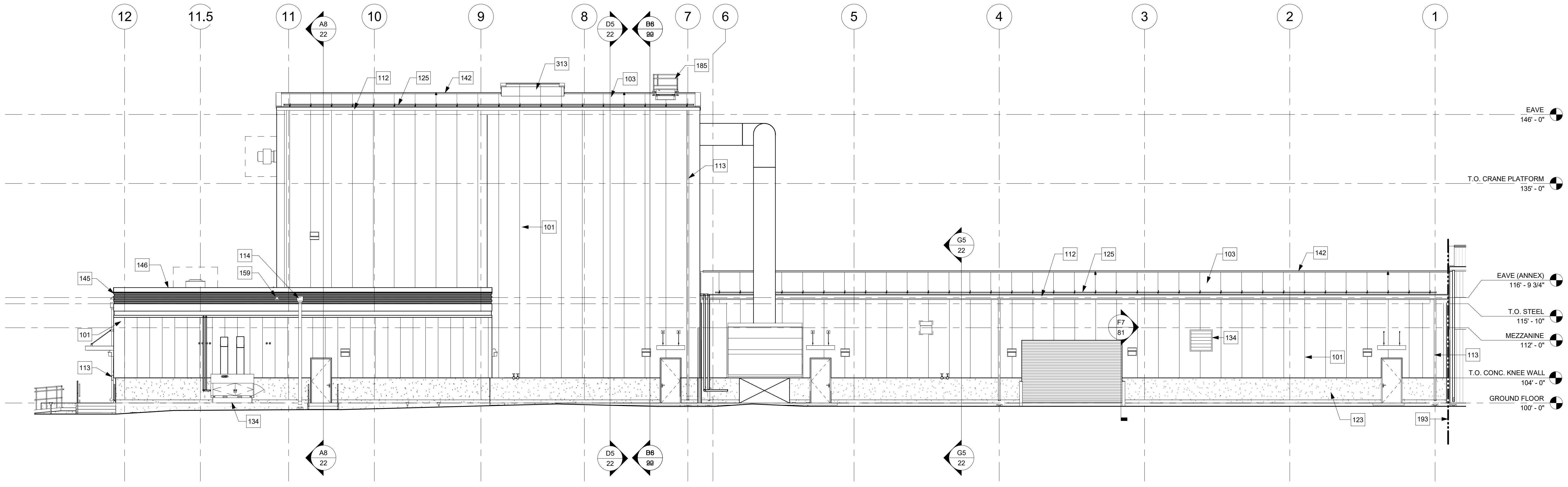
GENERAL NOTES

1. FINISHED FLOOR ELEVATION 100'-0" IS A REFERENCE ELEVATION FOR COORDINATION WITH BUILDING ELEMENTS. ACTUAL ELEVATION IS INDICATED ON CIVIL DRAWINGS.
2. ALL WALL MOUNTED MECHANICAL, ELECTRICAL, FIRE PROTECTION, AND TELECOMMUNICATIONS EQUIPMENT IS SHOWN ON ARCHITECTURAL EXTERIOR ELEVATIONS FOR REFERENCE ONLY. SEE DISCIPLINE SPECIFIC DRAWINGS INFORMATION AND REQUIREMENTS.
3. SEE CIVIL DRAWINGS FOR SITE GRADINGS / UTILITIES, SIDEWALKS, MECHANICAL PADS, EXTERIOR STAIRS / RAMPS, EXTERIOR RAILINGS, AND BOLLARD DETAILS.
4. EXTERIOR DOORS TO BE INSULATED HOLLOW METAL IN THERMALLY INSULATED FRAMES. SEE DOOR SCHEDULE AND DOOR DETAILS SHEETS.
5. SEE CIVIL DRAWINGS FOR SITE GRADINGS / UTILITIES, SIDEWALKS, MECHANICAL PADS, EXTERIOR STAIRS / RAMPS, EXTERIOR RAILINGS, AND BOLLARD DETAILS.

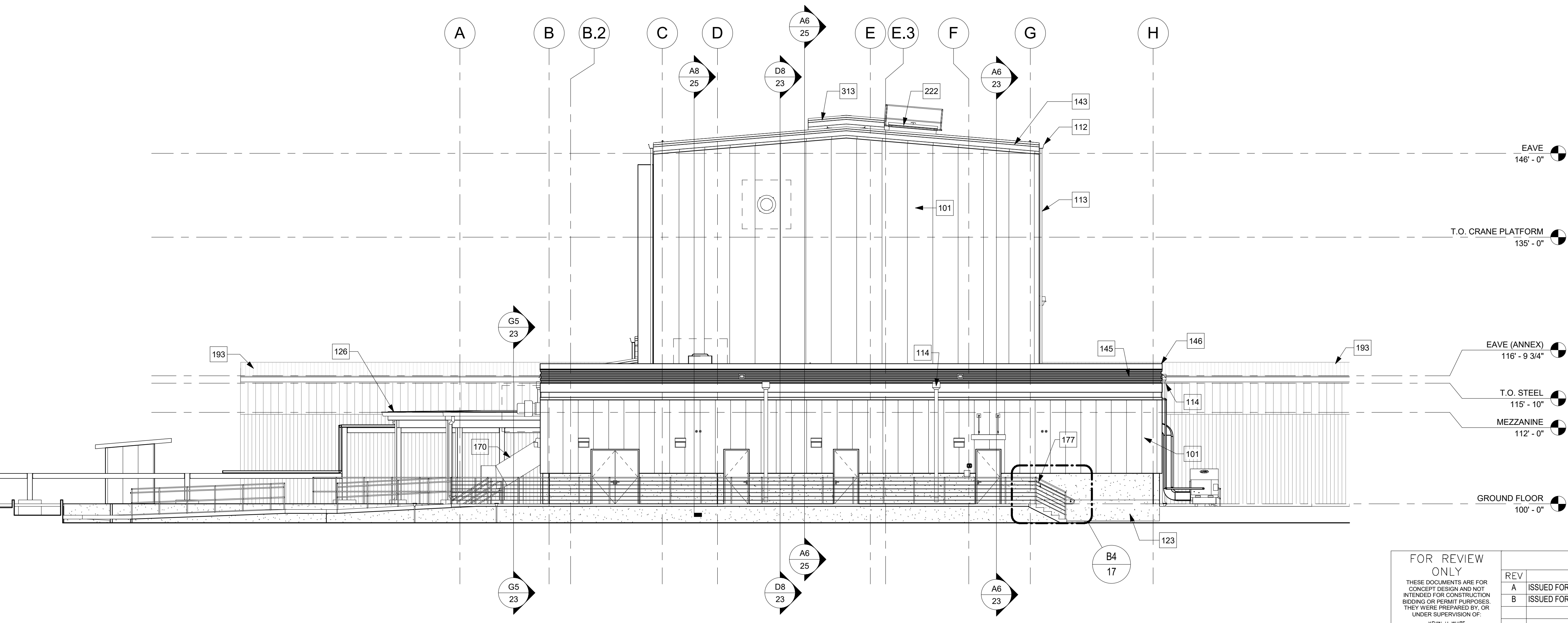


KEYNOTES

- 101 PREFINISHED INSULATED METAL WALL PANELS, 4" THICK (R-26 MINIMUM) - TYPICAL
- 103 PREFINISHED INSULATED METAL ROOF PANELS, 1":1'-0" SLOPE, 6" THICK (R-30 MIN.) - TYPICAL
- 112 PREFINISHED METAL GUTTER, MIN. 10.5" WIDE X 8" DEEP - TYPICAL
- 113 PREFINISHED METAL DOWNSPOUT - TYPICAL
- 114 PREFINISHED METAL SCUPPER, CONDUCTOR HEAD AND DOWNSPOUT - TYPICAL
- 123 CAST-IN-PLACE CONCRETE KNEE WALL - TYPICAL
- 125 SNOWGUARD SYSTEM - TYPICAL
- 126 EXTERIOR ENTRY CANOPY
- 134 MECHANICAL EQUIPMENT, REFER TO MECHANICAL
- 142 PREFINISHED RIDGE CAP - TYPICAL
- 143 PREFINISHED METAL RAKE TRIM - TYPICAL
- 145 PREFINISHED CORRUGATED INSULATED METAL WALL PANELS, 4" THICK (R-26 MINIMUM) - TYPICAL
- 146 PREFINISHED METAL COPING - TYPICAL
- 159 SECONDARY SCUPPER - TYPICAL
- 170 EMERGENCY SLIDE
- 177 GUARD WITH HANDRAIL - TYPICAL
- 185 ACCESS LADDER WITH FALL PROTECTION
- 193 REFER TO DOCUMENTATION FOR BUILDING 9513 MB TRANSPORTER TRAMWAY
- 222 ROOF ACCESS HATCH
- 313 CRANE ACCESS OPENING



D8 EXTERIOR ELEVATION
1/8" = 1'-0"



A8 EXTERIOR ELEVATION
1/8" = 1'-0"

FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR CONCEPT DESIGN AND NOT INTENDED FOR CONSTRUCTION. BEFORE USE IN ANY PURPOSE, THEY WERE PREPARED BY OR UNDER SUPERVISION OF:
KORIN WHITE
DATE: 10/31/22
PROJECT: 2609-45001

JACOBS
Jacobs Project Management Company Inc.
177 Main Street
Fort Worth, TX 76102
Engineering Form F-2008

REVISIONS				APPROVALS			
REV	DESCRIPTION	FEO NO.	DATE	APPY'D	BY	DATE	
A	ISSUED FOR 30% REVIEW		08/01/2022		C. PERRY		
B	ISSUED FOR 60% REVIEW		12/14/2022		CHECKED ENGINEER R. SMITH OPERATIONS R. NORMAN PROCESS/MFG ENG S. MARSTON SAFETY B. BRISCOE ENVIRONMENTAL A. ABDALLAH		

NORTHROP GRUMMAN SPACE SYSTEMS SECTOR
PROPULSION SYSTEMS, BACCHUS

FACILITIES ENGINEERING

MIX BOWL CLEANING BUILDING #4

EXTERIOR ELEVATIONS

PROJECT PRIME

DRAWING NO: 2609-45001

SCALE: AS INDICATED

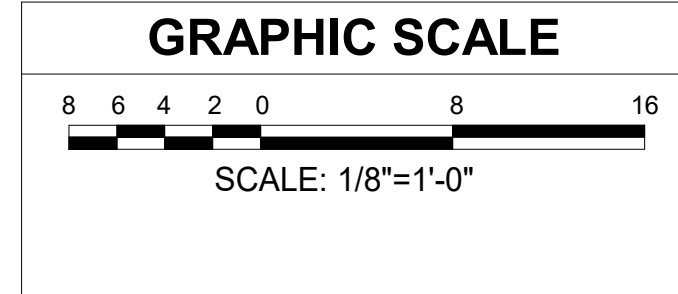
SHEET: 20 OF

DRAWING NUMBER	DESCRIPTION	REFERENCE DRAWINGS	FEO NO.	DATE	SCALE	SHEET
			3X741	AS INDICATED	20 OF	

60% DESIGN SUBMITTAL

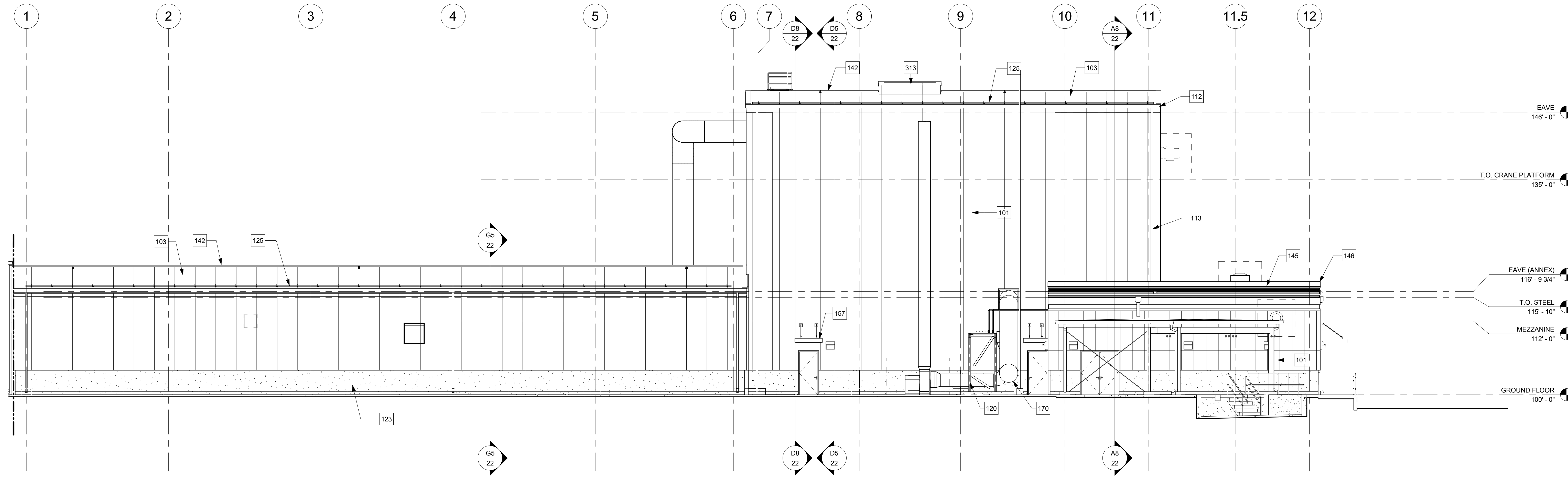
GENERAL NOTES

1. FINISHED FLOOR ELEVATION 100'-0" IS A REFERENCE ELEVATION FOR COORDINATION WITH BUILDING ELEMENTS. ACTUAL ELEVATION IS INDICATED ON CIVIL DRAWINGS.
2. ALL WALL MOUNTED MECHANICAL, ELECTRICAL, FIRE PROTECTION, AND TELECOMMUNICATIONS EQUIPMENT IS SHOWN ON ARCHITECTURAL EXTERIOR ELEVATIONS FOR REFERENCE ONLY. SEE DISCIPLINE SPECIFIC DRAWINGS INFORMATION AND REQUIREMENTS.
3. SEE CIVIL DRAWINGS FOR SITE GRADINGS / UTILITIES, SIDEWALKS, MECHANICAL PADS, EXTERIOR STAIRS / RAMPS, EXTERIOR RAILINGS, AND BOLLARD DETAILS.
4. EXTERIOR DOORS TO BE INSULATED HOLLOW METAL IN THERMALLY INSULATED FRAMES. SEE DOOR SCHEDULE AND DOOR DETAILS SHEETS.
5. SEE CIVIL DRAWINGS FOR SITE GRADINGS / UTILITIES, SIDEWALKS, MECHANICAL PADS, EXTERIOR STAIRS / RAMPS, EXTERIOR RAILINGS, AND BOLLARD DETAILS.

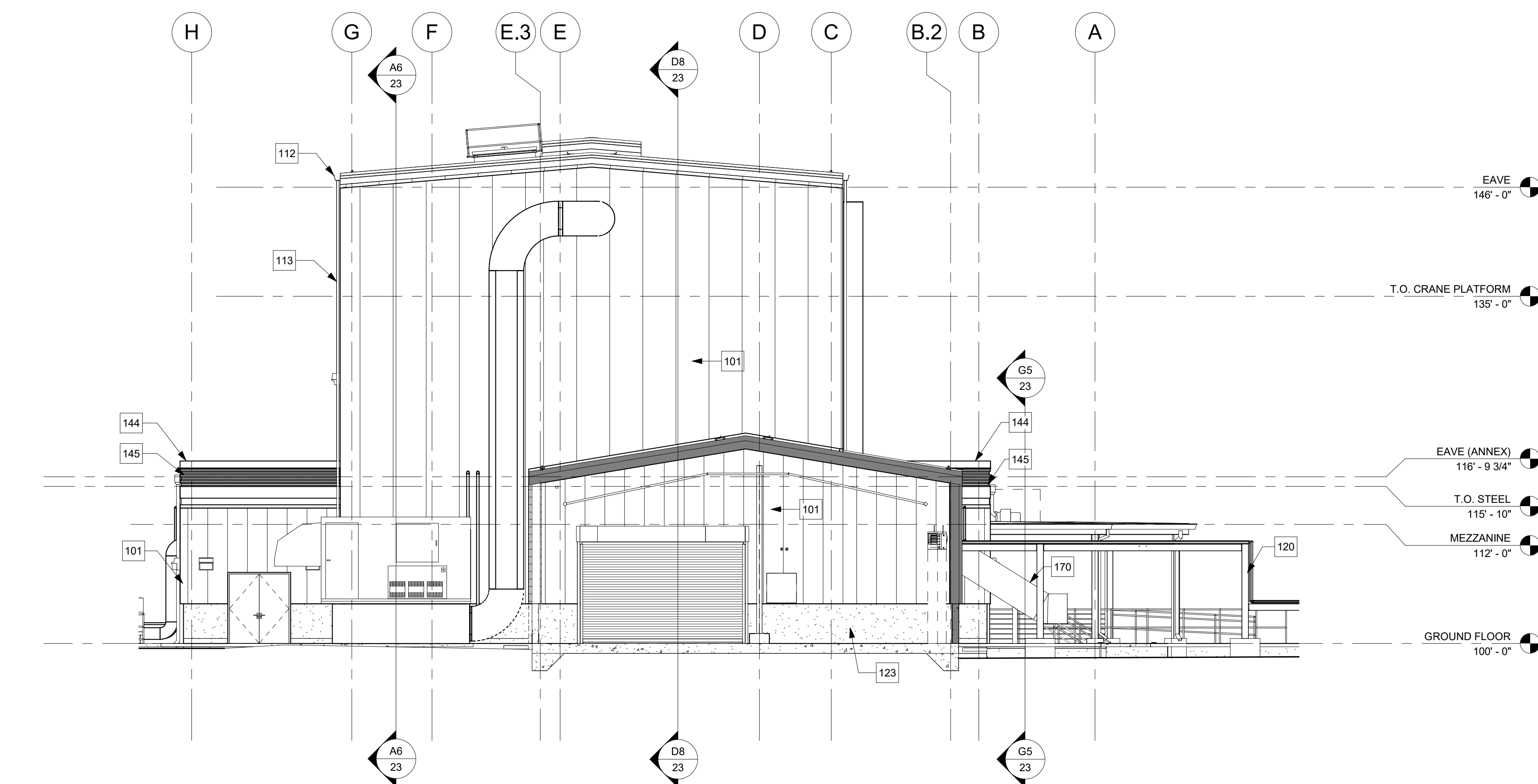


KEYNOTES

- | | |
|-----|---|
| 101 | PREFINISHED INSULATED METAL WALL PANELS, 4" THICK (R-26 MINIMUM) - TYPICAL |
| 103 | PREFINISHED INSULATED METAL ROOF PANELS, 1":1'-0" SLOPE, 6" THICK (R-30 MIN.) - TYPICAL |
| 112 | PREFINISHED METAL GUTTER, MIN. 10.5" WIDE X 8" DEEP - TYPICAL |
| 113 | PREFINISHED METAL DOWNSPOUT - TYPICAL |
| 120 | PIPE SUPPORT STRUCTURE, REFER TO STRUCTURAL |
| 123 | CAST-IN-PLACE CONCRETE KNEE WALL - TYPICAL |
| 125 | SNOWGUARD SYSTEM - TYPICAL |
| 142 | PREFINISHED RIDGE CAP - TYPICAL |
| 144 | PREFINISHED METAL FLASHING - TYPICAL |
| 145 | PREFINISHED CORRUGATED INSULATED METAL WALL PANELS, 4" THICK (R-26 MINIMUM) - TYPICAL |
| 146 | PREFINISHED METAL COPING - TYPICAL |
| 157 | TIE-BACK CANOPY |
| 170 | EMERGENCY SLIDE |
| 313 | CRANE ACCESS OPENING |



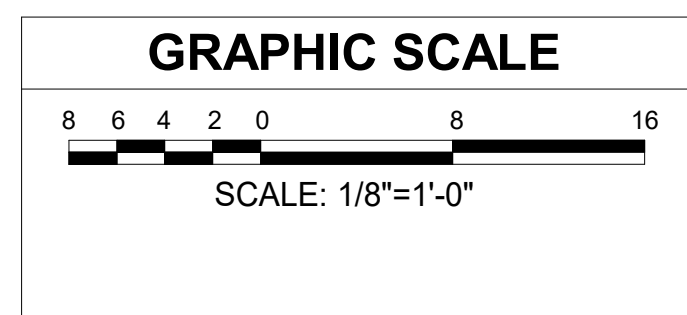
D8 EXTERIOR ELEVATION
1/8" = 1'-0"



A8 EXTERIOR ELEVATION
1/8" = 1'-0"

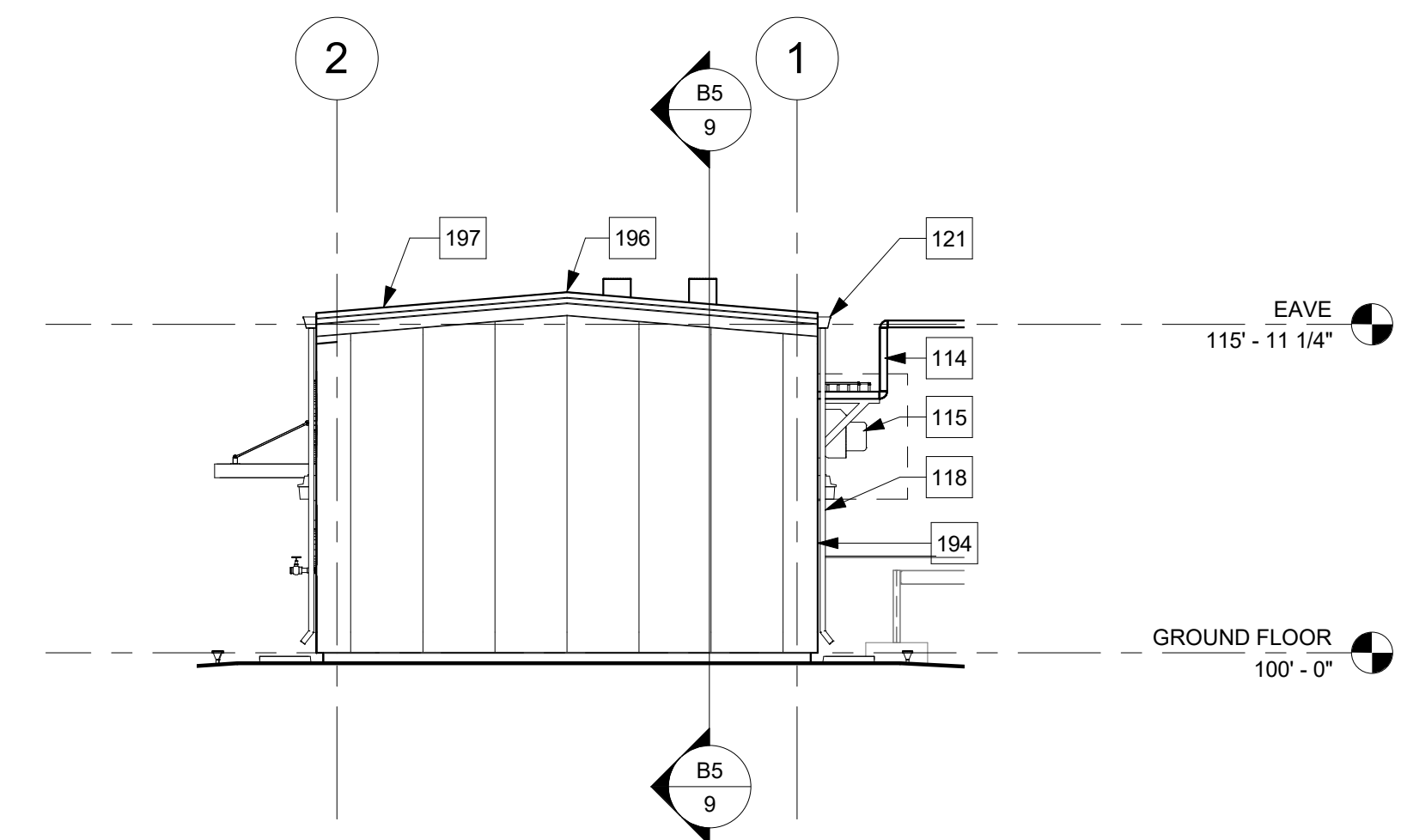
60% DESIGN SUBMITTAL

<p>FOR REVIEW ONLY</p> <p>THESE DOCUMENTS ARE FOR CONCEPT DESIGN AND NOT INTENDED FOR CONSTRUCTION. BEFORE USE IN ANY PURPOSE, THEY WERE PREPARED BY OR UNDER SUPERVISION OF:</p> <p>ACR II WHITE</p> <p>DATE: 10/31/22</p> <p>PROJECT NO. 2609-45001</p> <p>Jacobs</p> <p>Jacobs Project Management Company Inc. 177 Main Street Fort Worth, TX 76102 Engineering Form F-2088</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>FEO NO.</th> <th>DATE</th> <th>APP'Y'D</th> </tr> <tr> <td>A</td> <td>ISSUED FOR 30% REVIEW</td> <td></td> <td>08/01/2022</td> <td></td> </tr> <tr> <td>B</td> <td>ISSUED FOR 60% REVIEW</td> <td></td> <td>12/14/2022</td> <td></td> </tr> </table>				REV	DESCRIPTION	FEO NO.	DATE	APP'Y'D	A	ISSUED FOR 30% REVIEW		08/01/2022		B	ISSUED FOR 60% REVIEW		12/14/2022		<p>APPROVALS</p> <table border="1"> <tr> <th>BY</th> <th>DATE</th> </tr> <tr> <td>DRAWN: C. PERRY</td> <td></td> </tr> <tr> <td>CHECKED: R. SMITH</td> <td></td> </tr> <tr> <td>ENGINEER: K. WHITE</td> <td></td> </tr> <tr> <td>OPERATIONS: R. NORMAN</td> <td>07/14/2022</td> </tr> <tr> <td>PROCESS/MFG ENG: S. MARSTON</td> <td>07/14/2022</td> </tr> <tr> <td>SAFETY: B. BRISCOE</td> <td>07/14/2022</td> </tr> <tr> <td>ENVIRONMENTAL: A. ABDALLAH</td> <td>07/14/2022</td> </tr> </table>				BY	DATE	DRAWN: C. PERRY		CHECKED: R. SMITH		ENGINEER: K. WHITE		OPERATIONS: R. NORMAN	07/14/2022	PROCESS/MFG ENG: S. MARSTON	07/14/2022	SAFETY: B. BRISCOE	07/14/2022	ENVIRONMENTAL: A. ABDALLAH	07/14/2022
	REV	DESCRIPTION	FEO NO.	DATE	APP'Y'D																																		
	A	ISSUED FOR 30% REVIEW		08/01/2022																																			
B	ISSUED FOR 60% REVIEW		12/14/2022																																				
BY	DATE																																						
DRAWN: C. PERRY																																							
CHECKED: R. SMITH																																							
ENGINEER: K. WHITE																																							
OPERATIONS: R. NORMAN	07/14/2022																																						
PROCESS/MFG ENG: S. MARSTON	07/14/2022																																						
SAFETY: B. BRISCOE	07/14/2022																																						
ENVIRONMENTAL: A. ABDALLAH	07/14/2022																																						
<p>THIS PRINT, AND THE INFORMATION AND TECHNOLOGY HEREON, IS THE PROPERTY OF NORTHROP GRUMMAN, AND MAY NOT BE USED, REPRODUCED, OR DISCLOSED TO OTHERS WITHOUT THE WRITTEN PERMISSION OF NORTHROP GRUMMAN. PERMITTED REPRODUCTIONS IN WHOLE OR PART, INCLUDING BIDDING AND SHOP DRAWINGS, SHALL BEAR OR REFER TO THIS NOTICE. RETURN OF THIS PRINT SHALL BE MADE TO NORTHROP GRUMMAN UPON REQUEST.</p>																																							
<p>APPROVED FOR CONSTRUCTION</p> <p>PROJECT ENGINEER</p>		<p>FEO NO. 3X741</p>		<p>APPROVED FOR CONSTRUCTION</p> <p>PROJECT ENGINEER</p>		<p>REVISION: B</p>																																	

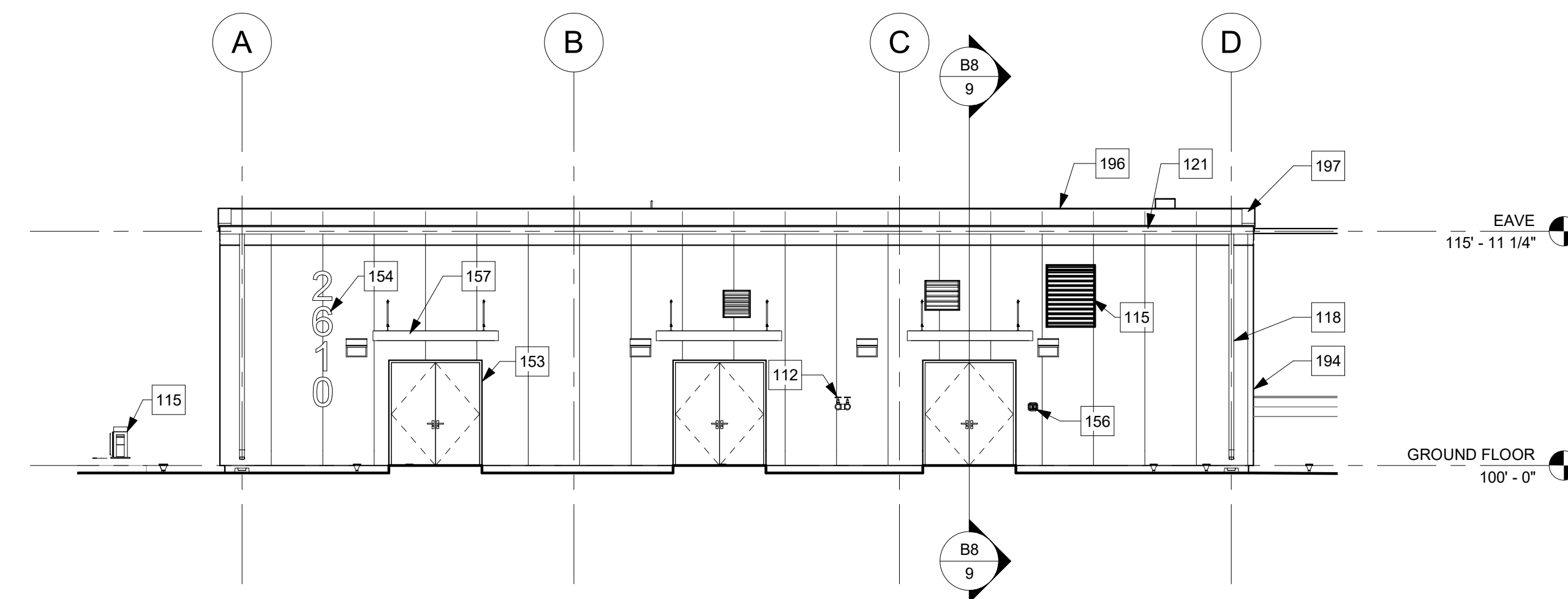


GENERAL NOTES

1. FINISHED FLOOR ELEVATION **100'-0"** IS A REFERENCE ELEVATION FOR COORDINATION WITH BUILDING ELEMENTS. ACTUAL ELEVATION IS INDICATED ON CIVIL DRAWINGS.
2. ALL WALL MOUNTED MECHANICAL, ELECTRICAL, FIRE PROTECTION, AND TELECOMMUNICATIONS EQUIPMENT IS SHOWN ON ARCHITECTURAL EXTERIOR ELEVATIONS FOR REFERENCE ONLY. SEE DISCIPLINE SPECIFIC DRAWINGS INFORMATION AND REQUIREMENTS.
3. SEE CIVIL DRAWINGS FOR SITE GRADING, SIDEWALKS, AND BOLLARD DETAILS.



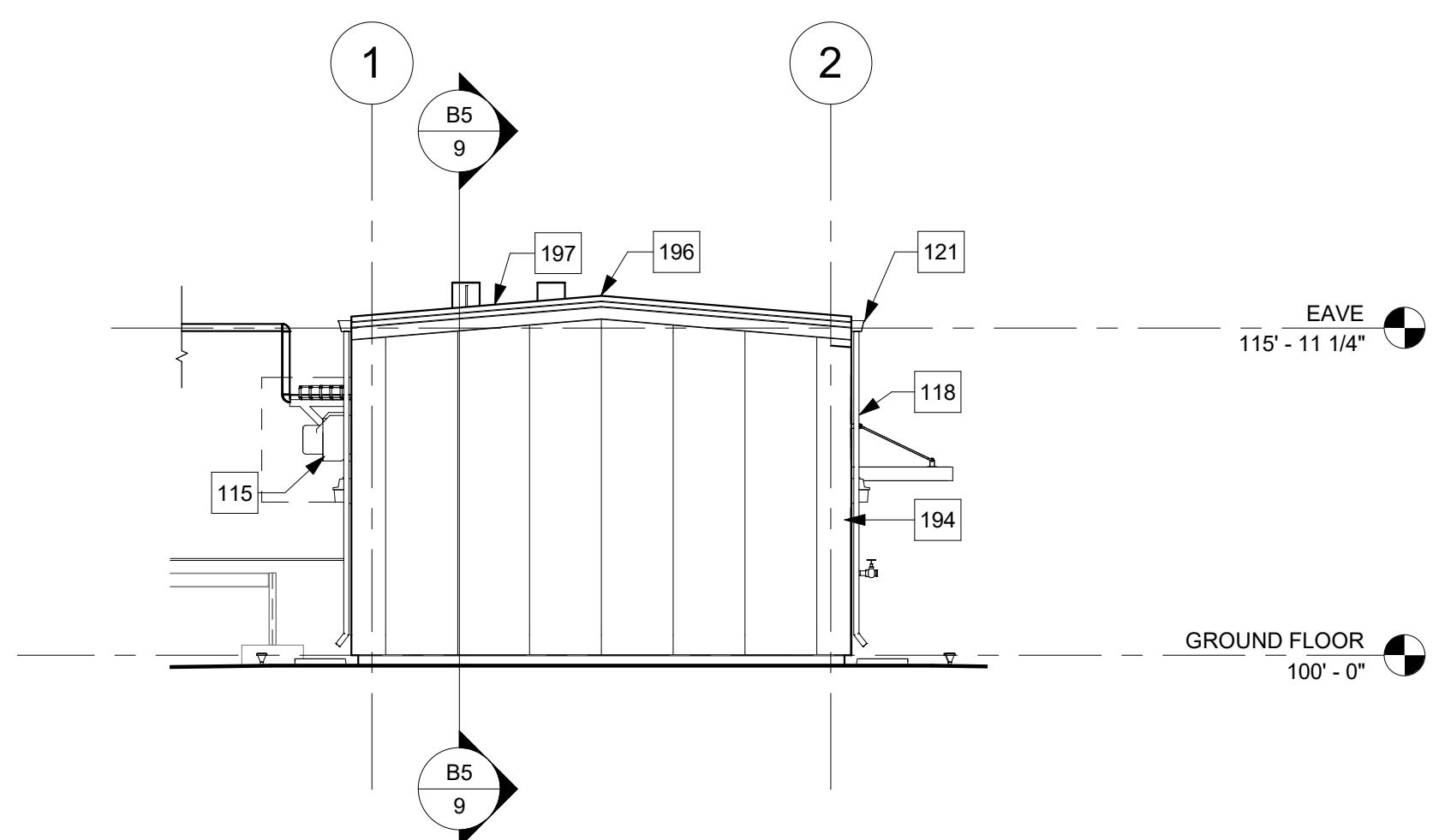
F8 EXTERIOR ELEVATION
1/8" = 1'-0"



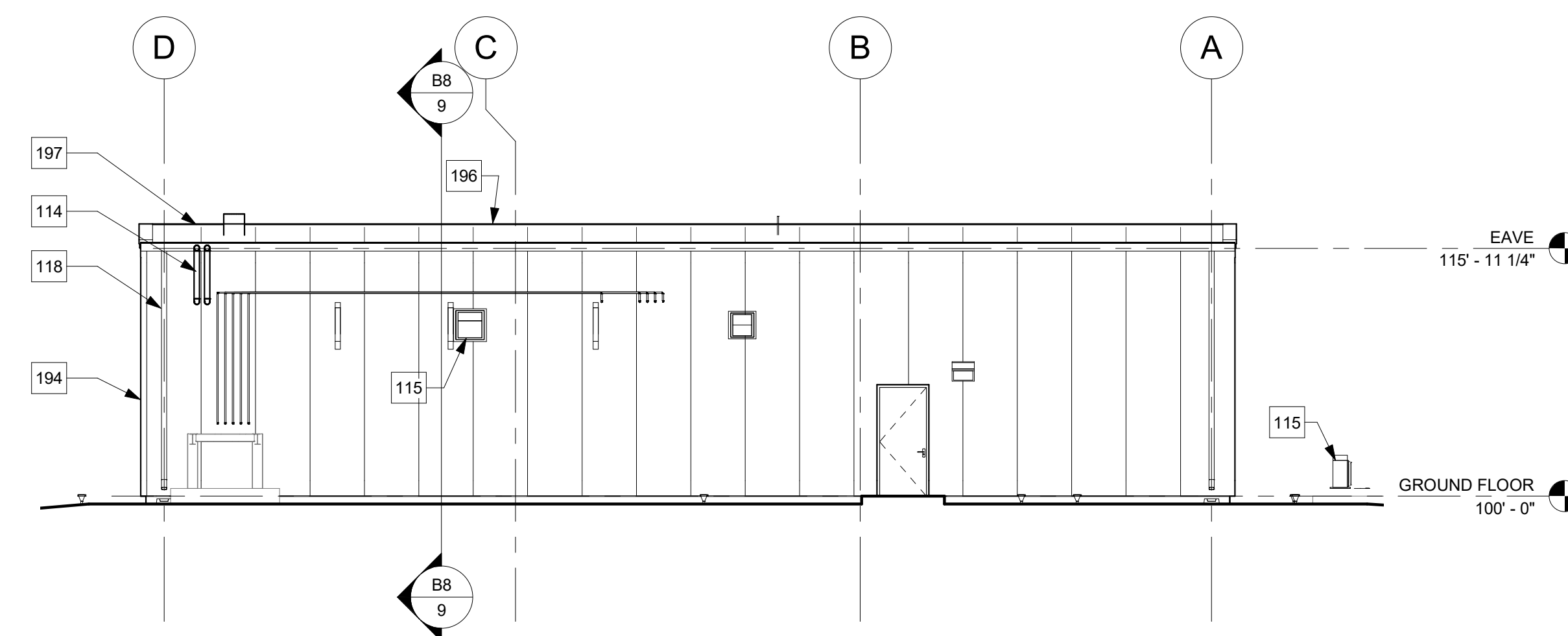
F5 EXTERIOR ELEVATION
1/8" = 1'-0"

KEYNOTES

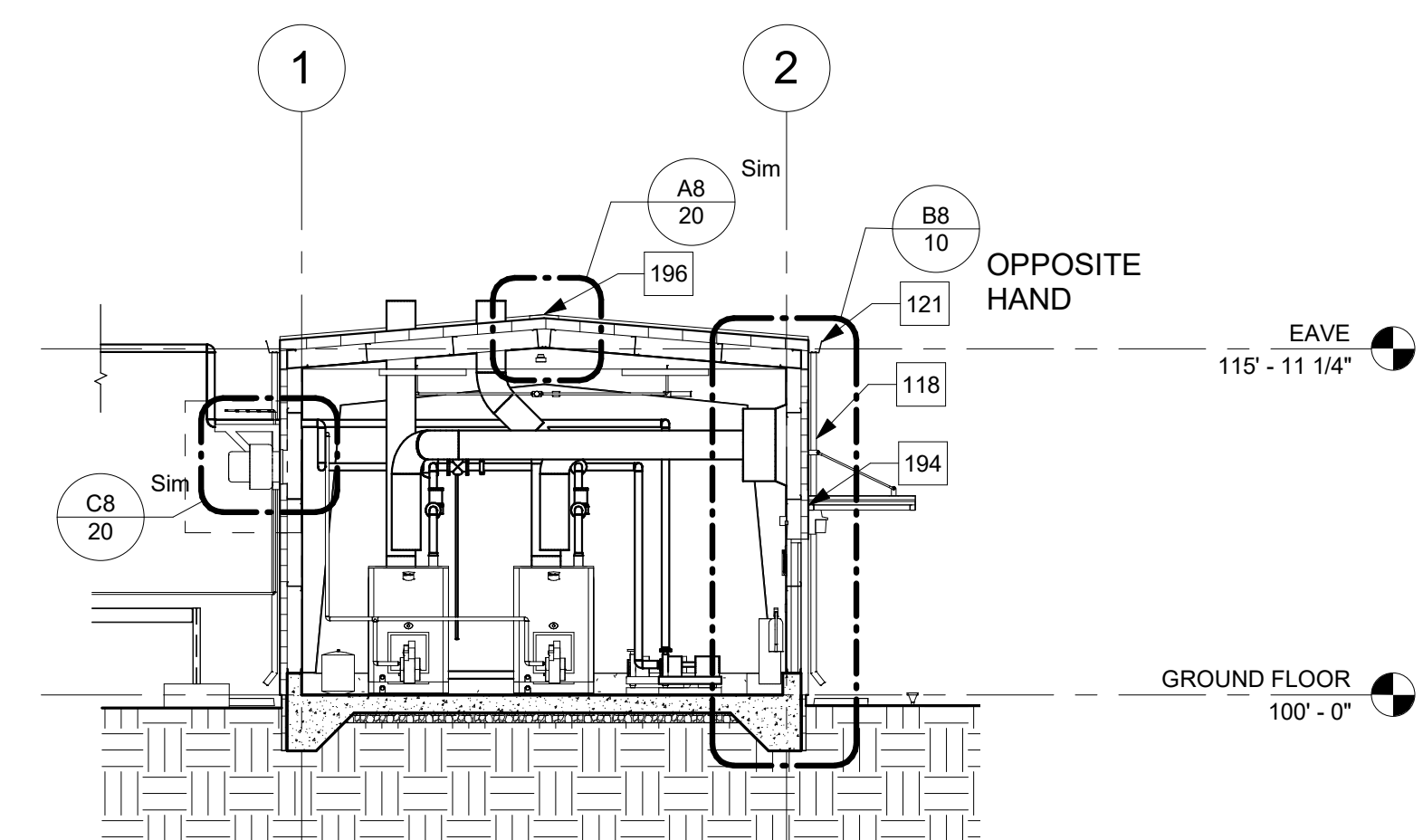
- 112 FIRE PROTECTION EQUIPMENT, REFER TO FIRE PROTECTION DRAWINGS
- 114 MECHANICAL PIPING, REFER TO MECHANICAL DRAWINGS
- 115 MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS
- 118 PREFINISHED METAL DOWNSPOUT, TYPICAL
- 121 PREFINISHED METAL GUTTER, MIN. 10.5" WIDE X 8" DEEP - TYPICAL
- 153 HOLLOW METAL DOOR AND FRAME - TYPICAL
- 154 ADDRESS BLOCKS
- 156 KNOX BOX
- 157 TIE-BACK CANOPY, TYPICAL
- 194 PREFINISHED INSULATED METAL WALL PANELS, 4" THICK (R-29 MINIMUM), TYPICAL
- 196 PREFINISHED FASCIA METAL TRIM, TYPICAL
- 197 PREFINISHED METAL FLASHING, TYPICAL



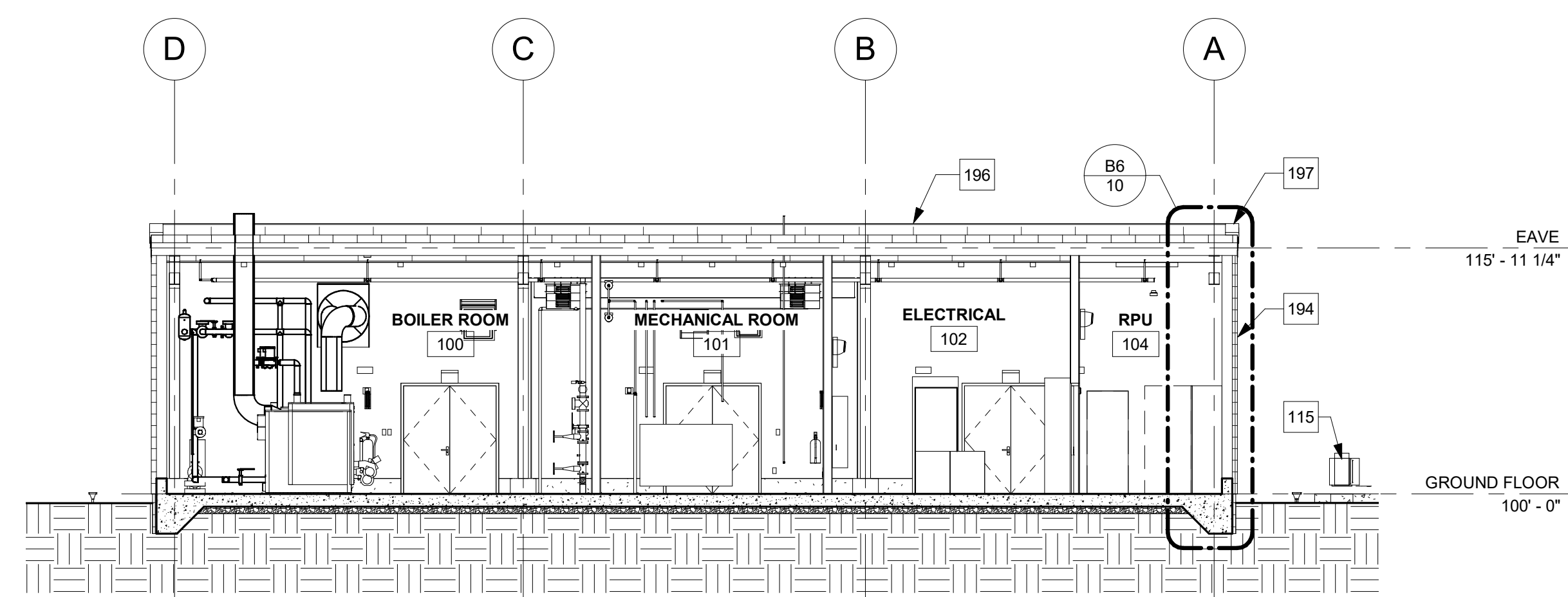
D8 EXTERIOR ELEVATION
1/8" = 1'-0"



D5 EXTERIOR ELEVATION
1/8" = 1'-0"



B8 BUILDING SECTION
1/8" = 1'-0"



B5 BUILDING SECTION
1/8" = 1'-0"

60% DESIGN SUBMITTAL

<p>FOR REVIEW ONLY</p> <p>THESE DOCUMENTS ARE FOR CONCEPT DESIGN AND NOT INTENDED FOR CONSTRUCTION. BEFORE USE, THE USER MUST BE AWARE OF THE FOLLOWING: THESE DRAWINGS WERE PREPARED BY OR UNDER SUPERVISION OF:</p> <p>JACOBS</p> <p>177 Main Street Fort Worth, TX 76102 Engineering Form F-2008</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>FEO NO.</th> <th>DATE</th> <th>APP'D</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>ISSUED FOR 30% REVIEW</td> <td></td> <td>08/01/2022</td> <td></td> </tr> <tr> <td>B</td> <td>ISSUED FOR 60% REVIEW</td> <td></td> <td>12/14/2022</td> <td></td> </tr> </tbody> </table>				REV	DESCRIPTION	FEO NO.	DATE	APP'D	A	ISSUED FOR 30% REVIEW		08/01/2022		B	ISSUED FOR 60% REVIEW		12/14/2022		<p>APPROVALS</p> <table border="1"> <thead> <tr> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>C. PERRY</td> <td></td> </tr> <tr> <td>R. SMITH</td> <td></td> </tr> <tr> <td>K. WHITE</td> <td></td> </tr> <tr> <td>R. NORMAN</td> <td>07/14/2022</td> </tr> <tr> <td>S. MARSTON</td> <td>07/14/2022</td> </tr> <tr> <td>B. BRISCOE</td> <td>07/14/2022</td> </tr> <tr> <td>A. ABDALLAH</td> <td>07/14/2022</td> </tr> </tbody> </table>				BY	DATE	C. PERRY		R. SMITH		K. WHITE		R. NORMAN	07/14/2022	S. MARSTON	07/14/2022	B. BRISCOE	07/14/2022	A. ABDALLAH	07/14/2022
	REV	DESCRIPTION	FEO NO.	DATE	APP'D																																		
A	ISSUED FOR 30% REVIEW		08/01/2022																																				
B	ISSUED FOR 60% REVIEW		12/14/2022																																				
BY	DATE																																						
C. PERRY																																							
R. SMITH																																							
K. WHITE																																							
R. NORMAN	07/14/2022																																						
S. MARSTON	07/14/2022																																						
B. BRISCOE	07/14/2022																																						
A. ABDALLAH	07/14/2022																																						
<p>THIS PRINT, AND THE INFORMATION AND TECHNOLOGY HEREON, IS THE PROPERTY OF NORTHROP GRUMMAN, AND MAY NOT BE USED, REPRODUCED, OR DISCLOSED TO OTHERS WITHOUT THE WRITTEN PERMISSION OF NORTHROP GRUMMAN. PERMITTED REPRODUCTIONS IN WHOLE OR PART, INCLUDING BIDDING AND SHOP DRAWINGS, SHALL BEAR OR REFER TO THIS NOTICE. RETURN OF THIS PRINT SHALL BE MADE TO NORTHROP GRUMMAN UPON REQUEST.</p>	<p>APPROVED FOR CONSTRUCTION PROJECT ENGINEER</p> <p>FEO NO. 3X741</p>				<p>APPROVED FOR CONSTRUCTION PROJECT ENGINEER</p> <p>FEO NO. 3X741</p>																																		



Planning and Development Services
2001 S State Street N3-600
Salt Lake City, UT 84190-4050
Phone: (385) 468-6700
www.msd.utah.gov

Project Title: CUP2023-000812_Northrup
Grumman Mixing Bowl 4
Address: 4098 South 8400 West
Project Type: Conditional Use Permit
Due Date: 03.10.22
Review Stage: Conceptual Approval
Notes: Site Plan/CUP Review for 1+ acre
Manufacturing Use in the M-2 Zone

Circle as Applicable:

Plans are Conceptually O.K.

Revisions Required

Additional Items Required

Agency Review Comment Sheet

Planning Comments

Reviewer Name: **Brian Tucker**

Phone Number: **385-468-6696**

Email Address: **btucker@msd.utah.gov**

Date of Review: **02/28/23**

Comments on Conceptual Plans:

1. Manufacturing of airplanes and airplane parts is a permitted use in the M-2 Zone. The manufacturing of rockets and rocket engines is substantially the same use.
2. Any use in the M-2 zone over 1 acre requires conditional use approval of the site plan.
3. The buildings meet the 20' setback requirement to a street.
4. The buildings will not cover more than 80% of the lot.
5. A landscaping plan must be submitted in accordance with Chapter 19.77 of the Salt Lake County Code.

An alternate landscaping plan can be submitted by a qualified professional. This plan must:

- a. Provide exceptional preservation and incorporation of existing site vegetation;
- b. Provide significant protection of natural areas and features;
- c. Provide for maximum retention of existing tree canopy cover;
- d. Create exceptional enhancement of neighborhood continuity and connectivity;
- e. Provide for extensive accommodation of nonvehicular access and use;
- f. Represent greater innovation in site design and plant use.

Comments and Items for Technical Review:

1. Please submit information to evaluate parking requirements. The parking is based on the number of employees present during the highest employment shift. Please submit a parking plan to ensure that sufficient parking is available for the current and future employees.



Planning and Development Services

2001 S State Street N3-600
Salt Lake City, UT 84190-4050
Phone: (385) 468-6700
www.msds.utah.gov

Circle as Applicable:

Plans are Conceptually O.K.

Revisions Required

Additional Items Required

Agency Review Comment Sheet

Application #: 000812

Geology Comments

Reviewer Name: Jefferson Thomson

Phone Number: 385-468-6614

Email Address: jethomson@slco.org

Date of Review: 3/9/2023

Comments on Conceptual Plans:

1. The parcel within which the subject development is proposed lies within a surface-fault-rupture hazard special study area (the same special study area as application #000622) and therefore has the same fault-rupture study requirements. Since this is the case, we believe that an additional study for this application may not be necessary, however consideration of this development should be included in the current fault-rupture study being conducted under application #000622.
2. Follow the recommendations from the provided geotechnical report (G2 - April 6, 2022). It appears as though additional geotechnical investigation was performed in locations outside of the area of development applied for with this application. Therefore, additional investigation may be necessary for development of those locations under separate land use applications and if recommendations for this site were based on data gathered mostly at other locations significant distances away from this site they may need to be revised.
3. Footing and foundation excavations shall be inspected and approved in writing by a Qualified Geotechnical Engineer prior to the placement of concrete forms or rebar.

Comments and Items for Technical Review:

Same as conceptual comments above.



Planning and Development Services

2001 S State Street N3-600
Salt Lake City, UT 84190-4050
Phone: (385) 468-6700
www.msdc.utah.gov

Circle as Applicable:

Plans are Conceptually O.K.

Revisions Required

Additional Items Required

Agency Review Comment Sheet

Application #: 000812

Urban Hydrology Comments

Reviewer Name: Jefferson Thomson

Phone Number: 385-468-6614

Email Address: jethomson@slco.org

Date of Review: 3/9/2023

Comments on Conceptual Plans:

1. The provided plans appear to be sized for sheets which are not 24"X36", please revise.
2. The drainage analysis appears to have errors in the drainage and orifice calculations, please see the drainage analysis for details.
3. See Sheet 5 "Utility Plan" for an additional comment.

Comments and Items for Technical Review:

1. Follow final drainage and grading plan approved during building review process.
2. Provide calculations, showing how storm water from the 10 year 24 hour storm will be contained on the property or routed to an approved Salt Lake County system at a rate of 0.2 cfs/acre or less. Provide details of how 100 year storm will be directed safely away from adjoining properties. It is recommended to use NOAA ATLAS 14 POINT PRECIPITATION FREQUENCY ESTIMATES.
3. Provide details of all proposed detention basin(s) and swale(s) including volume, side slope, high-water mark and freeboard.
4. Show percentage of grade with direction of flow of all storm water.
5. How is storm water quality being addressed before storm water enters detention basin?
6. Suggest using Low Impact Development BMPs to manage storm water
7. Geographic Information Systems (GIS) data is due prior to final approval. After drawings are approved please submit GIS data for review and approval (Section 17.20.150.A.2 & 17.20.540.A.2). Contact Jefferson Thomson at JeThomson@slco.org or 385-468-6614 regarding data type and format.
8. Provide Engineer's estimate of all public and private storm drain and transportation improvements for bond estimate after plans are finalized.
9. If there is an irrigation component, water master must approve all drawings that show irrigation. Water master's approval is required as a signature block on the final irrigation drawings prior to approval.
10. How is added storm water from the roof drains being directed? Where are the roof drain outlet(s) located?



Planning and Development Services

2001 S State Street N3-600
Salt Lake City, UT 84190-4050
Phone: (385) 468-6700
www.msdl.utah.gov

Circle as Applicable:

Plans are Conceptually O.K.

Revisions Required

Additional Items Required

Agency Review Comment Sheet

Application #: 000812

Traffic Comments

Reviewer Name: Jefferson Thomson

Phone Number: 385-468-6614

Email Address: jethomson@slco.org

Date of Review: 3/9/2023

Comments on Conceptual Plans:

1. Follow the recommendations from the provided geotechnical report (G2 - April 6, 2022) and update associated plans as necessary.

Comments and Items for Technical Review:

All roadway improvements, private or public, must comply with Salt Lake County standards. (See SLCO ordinance 14.12 and Salt Lake County Standard Plans for Public Works Construction). A performance bond is required for all improvements. A right-of-way excavation permit is required for all cuts into roadway for utility connections or for any other purpose.



Planning and Development Services

2001 S State Street N3-600
Salt Lake City, UT 84190-4050
Phone: (385) 468-6700
www.msdc.utah.gov

Circle as Applicable:

Plans are Conceptually O.K.

Revisions Required

Additional Items Required

Agency Review Comment Sheet

Surveyor Comments

Reviewer Name: Steve Keisel
Phone Number: 385-468-8251
Email Address: skeisel@slco.org
Date of Review: March 7, 2023

Comments on Conceptual Plans:

1. Add the Salt Lake County Surveyor monument point number to the referenced vertical and horizontal survey control monuments.
2. Verify the RTK Elevation of the South Quarter Corner of Section 9 T2S R2W (2S2W2902). The shown value is inconsistent with the County Surveyor Monument Reference Sheet.
3. Recommend survey control be provided at a location near the project.

Comments and Items for Technical Review:



Planning and Development Services

2001 S State Street N3-600
Salt Lake City, UT 84190-4050
Phone: (385) 468-6700
www.msd.utah.gov

Circle as Applicable:

Plans are Conceptually O.K.

Revisions Required

Additional Items Required

Agency Review Comment Sheet

Health Department Comments

Reviewer Name: **Fuaad Hararah**
Phone Number: **3854683823**
Email Address: **FHararah@slco.org**
Date of Review: **3/3/23**

Comments on Conceptual Plans:

Conceptual Plans are O.K.

The facility does border a Ground Water Protection Zone. <https://enviro.deq.utah.gov/>

Any construction / manufacturing use in ground water protection zones requires a letter from public water approving the use.

Comments and Items for Technical Review:

Water and Sewer availability letters are required for the Health Department prior to approval. If you are unable to connect to the sewer a septic system can be approved if the conditions are met. "Onsite Wastewater System" shall mean an underground wastewater disposal system that is designed for capacity of 5,000 gallons per day or less.

An onsite wastewater construction permit is required for the septic system. Instructions on the permitting process can be found on the Health Department Website at: <https://slco.org/health/waste/septic-wastewater-systems/>
Please contact the Water Quality Bureau with any questions at 385-468-3862 or healthwater@slco.org

Pre-demolition of any building requires a permit - you can follow the instructions here: <https://slco.org/health/construction-contractors/pre-demolition/>



Planning and Development Services

2001 S State Street N3-600
Salt Lake City, UT 84190-4050
Phone: (385) 468-6700
www.msd.utah.gov

Circle as Applicable:

Plans are Conceptually O.K.

Revisions Required

Additional Items Required

Agency Review Comment Sheet

Building Comments

Reviewer Name: **Lori Jessop**
Phone Number: **385-468-6705**
Email Address: **ljessop@msd.utah.gov**
Date of Review: **3/9/23**

Comments on Conceptual Plans:

Plan review for code compliance of the building will not be done at this stage. It will be done under the building permit process. That being said, please note the following:

1. Separate building permits are required for the construction of each new building. There appears to be a separate utility building included with the documents provided.
2. A demolition permit is required to remove any existing structures from the property.
2. At time of building permit application:
 - a) Provide complete building plans and documents showing compliance with current building code.
 - b) Provide fire flow verification for the nearest fire hydrant and show how compliance is going to be made with any Unified Fire District Guidelines.

Comments and Items for Technical Review:

Please clarify if any parking will be provided for this structure. If so, show the required accessible parking as required by IBC Section 1106.



Planning and Development Services

2001 S State Street N3-600
Salt Lake City, UT 84190-4050
Phone: (385) 468-6700
www.msd.utah.gov

Circle as Applicable:

Plans are Conceptually O.K.

Revisions Required

Additional Items Required

Agency Review Comment Sheet

Addressing
~~Other Comments~~

Reviewer Name: James Burton
Phone Number: 385-468-6680
Email Address: jburton@msd.utah.gov
Date of Review: 3/1/23

Comments on Conceptual Plans:

This private area is not addressed.

Comments and Items for Technical Review: