



RIVERDALE CITY PLANNING COMMISSION AGENDA CIVIC CENTER - 4600 S. WEBER RIVER DR. TUESDAY – MARCH 14, 2023

6:00 p.m. – Planning Commission Work Session Meeting (Conference Room)

The purpose of the work session is to review maps, plans, paperwork, etc. No motions or decisions will be considered during this session, which is open to the public.

Planning Commission Work Session Items - Planning Commission Training to be determined 6:30 p.m. – Planning Commission Meeting (Council Chambers)

A. Welcome & Roll Call

B. <u>Public Comment</u>

This is an opportunity to address the Planning Commission regarding your concerns or ideas. Please try to limit your comments to three minutes. No action will be taken during public comment.

C. <u>Presentations and Reports</u>

D. Consent Items

1. Consideration of Meeting Minutes from:

February 28, 2023 Work Session February 28, 2023 Regular Meeting

E. Action Items

- 1. a. **Public hearing** to receive and consider comments regarding proposed ordinance amendments to Title 10, Chapter 15 "Parking Loading Space; Vehicle Traffic and Access" of the Riverdale Municipal Code.
 - b. Consideration to forward a recommendation to City Council regarding proposed ordinance amendments to Title 10, Chapter 15 "Parking Loading Space; Vehicle Traffic and Access" of the Riverdale Municipal Code.
- Consideration of recommendation to City Council regarding Final Subdivision and Site Plan request for Coleman Vu Heights PRUD Subdivision and Site Plan located at approximately 5368 South 1050 West, as requested by Goldcrest Homes/RD Development Group.
- Consideration of recommendation to City Council regarding Final Site Plan request for Crossroads Center at Riverdale Site Plan located at approximately 4850 South 1500 West, as requested by Riverdale Commercial Holdings, LLC.

Items presented by: Mike Eggett, Community Development

F. Comments

- 1. Planning Commission
- 2. City Staff

G. Adjournment

In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Offices (801) 394-5541 at least 48 hours in advance of the meeting.

Certificate of Posting

Noticing Board 2) the City website at http://www.riverdalecity.com/ 3) the Public Notice Website: http://www.utah.gov/pmn/index.html and 4) A copy was also provided to the Standard-Examiner.

Michelle Marigoni

Riverdale City Recorder



Minutes of the **Work Session** of the Riverdale City **Planning Commission** held Tuesday February 28, 2023, at 6:00 p.m., at the Civic Center, 4600 S Weber River Dr, 4360 S Parker Dr., Riverdale City, Weber County, Utah.

Present: Commissioners: Kathy Eskelsen, Chairman

Kent Anderson, Vice Chair Blair Jones, Commissioner Amy Ann Spiers, Commissioner Rikard Hermann, Commissioner Wanda Ney, Commissioner Celeste Noland, Commissioner

City Employees: Mike Eggett, Community Development

Michelle Marigoni, City Recorder

Steve Brooks, City Administrator/Attorney

Excused:

A. Welcome & Roll Call

The Planning Commission Work Session began at 6:00 p.m. Chairman Eskelsen welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present.

B. Public Comment

C. Presentations and Reports

Commissioner Eskelsen turned the time over to Mr. Eggett, who reported the following:

- Sierra Trading Post is getting very close to opening.
- Twisted Sugar is also getting close to a final inspection.
- Chick-Fil-A is open.
- Legislative session ends this week. There have been more bills on this session than ever before.

D. Consent Items

1. Consideration of Meeting Minutes from February 14, 2023 Work Session, and February 14, 2023 Regular Meeting

Commissioner Eskelsen asked if there were any changes to the minutes. There were no changes.

E. Action Items

1. Review and discussion of proposed ordinance amendments to Title 10, Chapter 15 "Parking Loading Space; Vehicle Traffic and Access" of the Riverdale Municipal Code.

Mr. Eggett stated he has created new language, which was included in the packet. There was discussion about the updated language and proposed amendments.

b. Consideration to set a Public Hearing regarding proposed ordinance amendments to Title 10, Chapter 15 "Parking Loading Space; Vehicle Traffic and Access' of the Riverdale Municipal Code.

Mr. Eggett presented a training video from the Land Use Academy of Utah: <u>Land Use Authority Resources: What Hat Do You Wear? Part 3.</u>

F. Comments

There was general discussion about potholes in the city.

G. Adjournment

As there was no further business to discuss, the Planning Commission Work Session adjourned at 6:27 p.m.

Date Approved: _____





Planning Commission Regular Session, February 28, 2023

Minutes of the **Regular Session** of the Riverdale City **Planning Commission** held Tuesday, February 28, 2023, at 6:30 p.m., at the Community Center, 4360 S Parker Dr., Riverdale City, Weber County, Utah.

Present: Commissioners: Kathy Eskelsen, Chairman

Kent Anderson, Vice Chair Blair Jones, Commissioner Amy Ann Spiers, Commissioner Wanda Ney, Commissioner Rikard Hermann, Commissioner Celeste Noland, Commissioner

City Employees: Mike Eggett, Community Development

Michelle Marigoni, City Recorder

Excused:

Visitors:

A. Welcome & Roll Call

The Planning Commission Meeting began at 6:30 p.m. Chairman Eskelsen welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present.

B. Public Comment

Chairman Eskelsen asked if any public were present with comments. There was no public comment.

C. Presentations and Reports

Commissioner Eskelsen turned the time over to Mr. Eggett, who reported the following:

- Sierra Trading Post is nearly ready to open.
- Chick-Fil-A is open.
- Twisted Sugar is getting closer to opening.
- Buckle should be open this week.
- Fiiz is moving along.
- The legislative session ends Friday at midnight.

D. Consent Items

 Consideration of Meeting Minutes from February 15, 2023 Work Session, and February 15, 2023 Regular Meeting

Motion: Commissioner Anderson moved to approve the minutes from February 15, 2023.

Second: Commissioner Spiers.

All in favor, minutes approved.

E. Action Items

1. Review and discussion of proposed ordinance amendments to Title 10, Chapter 15 "Parking Loading Space; Vehicle Traffic and Access" of the Riverdale Municipal Code.

Mr. Eggett noted that a change has been deemed necessary recently with some new multi-family development considerations. He went over the new changes as included in the packet. The new code will include a 150-foot minimum from access points and a larger number of spaces per unit. There are also some changes to the language in the code regarding commercial developments.

Commissioner Hermann said he believes the new changes are appropriate and asked how the 150 feet would be measured. Mr. Eggett explained this would be an "as the crow flies" measurement. Commissioner Spiers thanked Mr. Eggett

b. Consideration to set a Public Hearing regarding proposed ordinance amendments to Title 10, Chapter 15 "Parking Loading Space; Vehicle Traffic and Access' of the Riverdale Municipal Code.

Motion: Commissioner Spiers moved to set a Public Hearing regarding these proposed ordinance amendments for March 14, 2023

Second: Commissioner Anderson

Commissioners Polled:

Commissioner Noland: Yes
Commissioner Eskelsen: Yes
Commissioner Hermann: Yes
Commissioner Spiers: Yes
Commissioner Anderson: Yes
Commissioner Ney: Yes
Commissioner Jones: Yes

Motion passes unanimously.

F. Comments

G. Adjournment

As there was no further business to discuss, Commissioner Spiers moved to adjourn. This was seconded by Commissioner Jones. All were in favor and the Planning Commission meeting adjourned at 6:39 p.m.

Date Approved:	
Date Apployed.	

RIVERDALE CITY PLANNING COMMISSION AGENDA

March 14, 2023

AGENDA ITEM: E1

SUBJECT: a. Public hearing to receive and consider comments regarding proposed

ordinance amendments to Title 10, Chapter 15 "Parking Loading Space;

Vehicle Traffic and Access" of the Riverdale Municipal Code.

b. Consideration to forward a recommendation to City Council regarding

proposed ordinance amendments to Title 10, Chapter 15 "Parking Loading

Space; Vehicle Traffic and Access" of the Riverdale Municipal Code.

PRESENTER: Mike Eggett, Community Development

INFORMATION: a. Executive Summary

b. Proposed Park Update Multi-Fam and Drive-Thru DRAFT]

c. Saratoga Springs – Chapter 19.09.05 Shared Parking (2022-11-01)

d. Notice of Public Hearing

e. Standard Examiner Ad Proof

BACK TO AGENDA



Planning Commission Executive Summary

For the Commission meeting on: 3-14-2023

Petitioner: Community Development Department and City Administrator

Summary of Proposed Action

Recently, the Community Development Director and City Administrator completed a discussion and review of parking standards for multi-family dwellings. At the conclusion of the discussion and review, it was determined than an update to the multi-family dwelling parking standards would be a benefit to consider amending and updating to better reflect the uses and needs of household units in multi-family settings. Therefore, the Community Development Department carried out a survey of cities to look at parking concepts for multi-family dwelling uses and identified in particular a city code from the city of Saratoga Springs that is reflective of a distance relationship concept for parking access to household units. Further, the City Administrator and staff have determined that increasing the minimum parking requirement for each multi-family unit would be advantageous to better accommodate the parking needs of each unit in a multi-family project. As a result, the provided proposed parking amendments reflect these ideas for consideration by the Planning Commission.

On February 28, 2023, the Planning Commission scheduled a public hearing to review these proposed Municipal Code amendments to various sections of Title 10, Chapter 15. This public hearing, regarding the proposed code amendments, was posted and advertised in accordance with State Code. No public comments have been provided prior to this public hearing. At the conclusion of the public hearing, the Planning Commission may discuss the proposed land use codes amendments.

Following discussion of the matter, the Planning Commission may take action to recommend City Council approval of the proposed City Code changes to Title 10 ordinances (as found in Title 10, Chapter 15), approval of the proposed code changes with recommended modifications, table the matter to allow more time to gather additional information, or not recommend approval of the proposed City Code change to the above noted Title 10 ordinances, subject to outlining the appropriate findings of facts to support the conclusion. If the Planning Commission provides a recommendation to City Council, then the proposed code amendments would be directed to the City Council for their final approval consideration.

Title 10 Ordinance Guidelines (Code Reference)

Suggested Code revisions are regulated under City Code Title 10, Chapter 15. Documentation outlining the existing language and the proposed amendments to this chapter has been provided in your packet for review and commentary.

The City Attorney has also reviewed the proposed City Code amendments as found in the packet.

Staff would encourage the Planning Commission to discuss this matter and then recommend that the Council take action to recommend City Council approval of the proposed City Code changes to Title 10 ordinances (as found in Title 10, Chapter 15), approval of the proposed code changes with recommended modifications, table the matter to allow more time to gather additional information, or not recommend approval of the proposed City Code change to the above noted Title 10 ordinances, subject to outlining the appropriate findings of facts to support the conclusion.

General Plan Guidance (Section Ref	erence)
There is no General Plan Guidance for this request.	
Legal Comments – City Attorney	
zegar comments — etc) riccome)	
Administrative Comments – City Admin	Steve Brooks, Attorney
Administrative comments only Admin	
	Steve Brooks, City Administrator

CHAPTER 15 PARKING, LOADING SPACE; VEHICLE TRAFFIC AND ACCESS

SECTION:

<u> 10-15-1</u>	:	Purpose	And	Intent
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- 10-15-2: Parking Space For Dwellings
- 10-15-3: Parking Space For Nondwelling Buildings
- **10-15-4**: Computation Of Parking Requirements
- 10-15-5: Parking Lot Design And Maintenance
- 10-15-6: Off Street Truck Loading Space
- 10-15-7: Businesses Requiring Motor Vehicle Access
- 10-15-8: Vehicular Traffic To Commercial Or Manufacturing Zones

10-15-1: PURPOSE AND INTENT:

The purpose of this chapter is to regulate parking and loading spaces, vehicle traffic and access in order to provide orderly and adequate development of these needed amenities, and in so doing, promote the safety and well—being of the citizens of the city. Consequently, there shall be provided at the time of the erection of any main building or at the time any main building is enlarged or increased, minimum off street parking space with adequate provisions for ingress and egress by standard sized automobiles. (1985 Code § 19-4-1)

10-15-2: PARKING SPACE FOR DWELLINGS:

In all zones there shall be provided the following number of parking spaces:

- A. For a single-family dwelling, two (2) parking spaces.
- B. For a two-family dwelling, four (4) spaces.
- C. For a three-family dwelling, six (6) parking spaces.
- D. For a four-family dwelling, eight (8) parking spaces.
- E. For other multiple-family dwellings:
- 1. Standard multiple-family dwelling, one and three two and one-fourths (2113/4) parking spaces per dwelling unit;
- 2. Multiple-family dwelling designed to accommodate exclusively bachelor and/or bachelorette (presence of resident manager does not make this type a standard multiple-family dwelling), one parking space for each person in each unit. Building permit will stipulate maximum number of persons per unit and number and type of unit;
 - 3. Housing exclusively for elderly and/or handicapped, one parking space per unit.
- F. If any dwelling unit is increased by occupant use after the original building permit is issued, the parking requirements shall reflect that increase.

- G. In addition to the above parking space requirements, one parking space shall be provided for every two (2) paying guests residing in such dwelling units. Such paying guests refers to the rental of sleeping rooms within the dwelling unit. (Ord. 819, 10-2-2012)
- H. For two-family, three-family, four-family, and multiple-family dwellings, visitor/guest parking shall be required to be located within one-hundred and fifty feet (150') of measured linear distance from the nearest accessible entranceway of each dwelling unit. (Ord. (# here), 3-21-2023)

10-15-3: PARKING SPACE FOR NONDWELLING BUILDINGS:

For new buildings or for any enlargement or increase in seating capacity, floor area or guestrooms of any existing building, there shall be provided:

Apartment hotel	1 space per 2 sleeping units.
Auditor's office	1 space per staff member, plus 3 spaces for clients.
Auto repair shop	1 space per employee, plus 5 spaces for client use.
Bank	1 space per 300 square feet of gross floor space in building.
Barber	2 spaces per staff member.
Beautician shop	3 spaces per staff member.
Boarding house	3 spaces per 4 persons to whom rooms will be rented.
Business office	1 space per employee on highest shift.
Cafe	1 space per eating booth and table, plus 1 space per 3 stools.
Cafeteria	1 space per eating booth and table, plus 1 space per 3 stools.
Car wash	4 spaces per professional staff, plus 1 space per subordinate staff.
Chiropractor office	4 spaces per professional staff, plus 1 space per subordinate staff.
Church	1 space per 5 fixed seats.
Clinic	4 spaces per professional staff, plus 1 space per subordinate staff.
Club, private	At least 20 client spaces.
Dance hall	1 space per 200 square feet of floor space.
Daycare/preschool center	1 space per employee, plus 4 spaces for client use.
Dental office	4 spaces per professional staff, plus 1 per subordinate staff.
Drive-in food/ <u>fast food</u> establishment <u>with drive-through</u> <u>window</u>	1 space per 100 square feet of floor space, but not less than 10 spaces, plus stacking capacity

	of 5 cars per delivery window on the property.
Dry cleaner	1 space per employee, plus 5 spaces for client use.
Educational institution, public and private	Elementary and junior high schools (K - 9 grades): 2 spaces per classroom and other teaching stations; high schools and trade schools: 4 spaces per classroom and other teaching stations; colleges and universities: 2 spaces per 3 student capacity, plus 1 space per staff member.
Employment office	1 space per employee, plus 6 spaces for client use.
Finance office	1 space per staff member, plus 3 spaces for client use.
Fraternity	2 spaces per 4 persons whom the building is designed to accommodate.
Furniture store	1 space per 300 square feet of sales floor space in building.
Hospital	1 space per 2 bed capacity.
Hotel	1 space per 2 sleeping units.
Insurance office	1 space per staff member, plus 4 spaces for client use.
Laboratory	1 space per employee on highest shift.
Laundromat	1 space per 3 coin operated machines.
Legal office	1 space per professional staff, plus 4 spaces for client use.
Library	At least 30 spaces.
Liquor store	At least 20 spaces.
Lodging house	3 spaces per 4 persons to whom rooms will be rented.
Lounge	At least 20 client spaces.
Medical office	4 spaces per professional staff, plus 1 space per subordinate staff.
Mortuary	At least 30 spaces.
Motel	1 space per sleeping or living unit.
Museum	At least 30 spaces.
Nightclub	At least 20 client spaces.
Nursing home	1 space per 2 bed capacity.

Optometrist office	4 spaces per professional staff, plus 1 space per subordinate staff.
Photo studio	At least 6 spaces.
Post office	At least 20 client spaces.
Psychiatric office	4 spaces per professional staff, plus 1 space per subordinate staff.
Real estate office	1 space per employee, plus 4 spaces for client use.
Reception center	At least 30 spaces.
Recreation center	1 space per 200 square feet of recreation area.
Rental establishment	At least 4 client spaces.
Restaurant	1 space per eating booth or table.
Retail store	1 space per 300 square feet of gross floor space in building.
Retail store with drive-in-through window	1 space per 300 square feet of gross floor space in building, plus storage stacking capacity of 4 cars per delivery window on the property.
Sanatorium	1 space per 2 bed capacity.
Service repair shop, general	At least 4 client spaces.
Sorority	2 spaces per 4 persons whom the building is designed to accommodate.
Stadium	1 space per 5 fixed seats.
Tavern	At least 15 spaces.
Terminal, transportation	At least 30 spaces.
Theater	1 space per 5 fixed seats.
Travel agency	1 space per employee, plus 4 spaces for client use.
Upholstery shop	1 space per employee, plus 3 spaces for client use.
Used car lot	1 space per employee, plus 4 spaces for client use.
Warehouse	2 spaces per 3 employees.
Wedding chapel	At least 30 spaces.
Wholesale business	2 spaces per 3 employees, plus 3 spaces for client use.
For other uses not listed above	Where use is not listed above, the parking requirements shall be established by the planning commission based on a reasonable

number of spaces for staff and customers and
similar requirements of like businesses.

When a property or properties are part of a business/retail center development that has a reciprocal agreement that pertains to parking and cross access, the city may consider the entire development's parking availability rather than calculating the parking requirement for individual business uses. Parking/land that is not part of the individual businesses' property may be included as meeting the parking requirement if there is a reciprocal agreement for parking within the business center. (Ord. (# here), 3-21-2023)(Ord. 881, 7-20-2016)

10-15-4: COMPUTATION OF PARKING REQUIREMENTS:

When measurements determining number of required parking spaces result in a fractional space, any fraction up to one-half $(^{1}/_{2})$ shall be disregarded, and fractions including one-half $(^{1}/_{2})$ and over shall require one parking space. (1985 Code § 19-4-4)

10-15-5: PARKING LOT DESIGN AND MAINTENANCE:

- A. Location: Parking space as required in sections <u>10-15-2</u> and <u>10-15-3</u> of this chapter shall be on the same lot with the main building or in the case of buildings other than dwellings, may be located no further than five hundred feet (500') therefrom.
- B. Surface; Drainage: Every parcel of land hereafter used as a public parking area shall be paved with an asphalt or concrete surface and shall have appropriate bumper guards or curbs where needed, as determined by the building inspector, to protect adjacent property owners or persons using a sidewalk. Catch basins and drains shall be provided to collect surface drainage of all paved areas at a minimum rate of one inch (1") an hour rainfall. Surface drainage is not allowable across pedestrian walkways.
- C. Access: Access across and over the required front yard is allowed to the side yard or rear yards. In the case of multiple- family dwellings, not more than fifty percent (50%) of the required side and rear yards shall be used for parking or vehicular access lanes. In such cases where it is deemed necessary to utilize more than fifty percent (50%) of the required side and rear yards, any said yard area used in excess of said limits shall be provided in an equivalent amount of land area elsewhere on the same lot as the building as open green space, patios, play areas or courts.
- D. Design, Maintenance: The design and maintenance of off_-street parking facilities shall be subject to the following provisions:
- 1. Each parking space shall encompass not less than one hundred eighty (180) square feet, with a minimum width of nine feet (9'), the width being measured at a right angle to the side lines of the parking space.
- 2. Adequate automobile access to and from parking areas for interior block developments shall be provided. Minimum size of the access strip shall be as follows based on the number of units to be served:
 - a. Up to and including four (4) dwelling units, sixteen feet (16');
- b. From five (5) to eleven (11) dwelling units, one 24-foot two- way access strip or two (2) 16-foot one-way access rights of way;
- c. Twelve (12) or more dwelling units, one 36-foot two-way access strip, or two (2) 18-foot one-way access strips;

- d. A greater size of access right of way may be required as deemed necessary by the planning commission, especially in cases where access right of way will create corner lots from otherwise interior lots.
- 3. All off street parking spaces and associated access lanes shall be effectively screened on any side adjoining any property in a residential zone by a masonry wall or fences not less than four feet (4') nor more than seven feet (7') high, except that some type of hedgerow shrubs may be used in place of a wall or fence, provided the hedge is continuous along adjoining property and at maturity is not less than five feet (5') nor more than seven feet (7') high. Hedgerow shrubs shall be maintained and replaced where necessary in order that the hedge may become an effective screen from bordering property within a maximum five (5) year period. Front yard and corner lot fences or hedgerow plantings shall maintain height requirements of their respective zones and shall be compatible with the requirements of section 10-14-7 of this title.
 - 4. Lighting and signs shall conform to the requirements set forth in this title.
- 5. Parking spaces for dwellings will be located on the same lot with the dwelling. (1985 Code § 19-4-5)

10-15-6: OFF STREET TRUCK LOADING SPACE:

On the same premises with every building or use involved in the receipt of distribution by vehicles of materials or merchandise, there shall be provided and maintained on the lot adequate space for standing, loading and unloading services in order to avoid undue interference with public use of streets or alleys. Such space, unless otherwise adequately provided, shall include a ten foot by twenty five foot (10' x 25') loading space with fourteen foot (14') height clearance, for every twenty thousand (20,000) square feet or fraction thereof in excess of three thousand (3,000) square feet of land use for the above mentioned purposes. (1985 Code § 19-4-6)

10-15-7: BUSINESSES REQUIRING MOTOR VEHICLE ACCESS:

Service stations, roadside stands, public parking lots and all other business needing motor vehicle access shall meet the following requirements:

- A. Access to the station or other structure or parking lot shall be by not more than two (2) roadways for each one hundred feet (100') or fraction thereof of frontage on any street; no two (2) said approaches shall be closer to each other than twelve feet (12'); each of said approaches shall be not more than fifty feet (50') in width. Location of approaches shall be as approved by the planning commission as part of the site plan; and a curb, hedge or fence of not more than two feet (2') in height shall be provided by the owner to limit access to the permitted roadway.
- B. Gasoline pumps shall be set back at least twenty feet (20') from any property line bordering a street; provided, that a pump island parallel to an adjoining street may be located not less than fifteen feet (15') from the property line bordering said street. (1985 Code § 19-4-7)

10-15-8: VEHICULAR TRAFFIC TO COMMERCIAL OR MANUFACTURING ZONES:

Privately owned land within an area zoned for residential purposes shall not be used as a regular means of vehicular passage to and from property in commercial or manufacturing zones. (1985 Code § 19-4-8)

19.09.05. Parking Requirements and Shared Parking

This Section describes criteria to be used in assessing required parking. The following criteria shall be used in conjunction with the table found in Section 19.09.10, Required Minimum Parking, when determining required parking for any project:

- 1. Available on-street parking shall not be counted towards meeting the required parking stalls.
- 2. When a parking requirement is based upon square footage, the assessed parking shall be based upon gross square footage of the building or use unless otherwise specified in the requirement.
- 3. When parking requirements are based upon the number of employees, parking calculations shall use the largest number of employees who work at any one shift. Where shift changes may cause substantial overcrowding of parking facilities, additional stalls may be required.
- 4. When a development contains multiple uses, more than one parking requirement may be applied.
- 5. Tandem parking spaces will not be counted as parking spaces for non-residential uses except for stacking spaces where identified.
- 6. Any fraction obtained when calculating the parking requirement shall be rounded up to the next whole number to determine the required number of parking stalls.
- 7. Where no comparative land use standard for parking is found in Section 19.09.10, Required Minimum Parking, the Land Use Authority for the related development shall determine an appropriate requirement using the following criteria:
 - a. the intensity of the proposed use;
 - b. times of operation and use;
 - c. whether the hours or days of operation are staggered thereby reducing the need for the full amount of required parking;
 - d. whether there is shared parking agreement in accordance with Section 19.09.05.10 below—if there is a shared parking agreement, a reduction may not be granted;
 - e. the number of employees;
 - f. the number of customers and patrons;
 - g. trip generation; and
 - h. peak demands.
- 8. Any information provided by the developer relative to trip generation, hours of operation, shared parking, peak demands, or other information relative to parking shall be considered when evaluating parking needs.
- 9. Parking Deviations. Parking requirements may deviate from the standards contained in Section 19.09.10, Required Minimum Parking, when the Land Use Authority determines that the deviation meets the intent of this Chapter. Reductions may not exceed 25% of the parking requirements and shall be based on the following criteria:
 - a. the intensity of the proposed use;

- b. times of operation and use;
- c. whether the hours or days of operation are staggered thereby reducing the need for the full amount of required parking;
- d. whether there is shared parking agreement in accordance with Section 19.09.05.10 below;
- e. trip generation; and
- f. peak demands.
- 10. Shared Parking. Up to twenty-five percent of the required parking may be shared with an adjacent use upon approval by the Land Use Authority. The developer must provide:
 - a. an agreement granting shared parking or mutual access to the entire parking lot;
 - b. peak demand data by a professional traffic engineer showing that shared parking will accommodate the uses.
- 11. Guest Parking. Two-Family dwellings, Three-Family dwellings, Multi-Family dwellings, and dwellings above commercial.
 - a. Guest parking shall be provided at a ratio of 0.25 stalls per unit.
 - i. When a rear-load product is allowed in a village plan or neighborhood plan, and is accessed with aprons rather than driveways, guest parking shall be provided at a ratio of one stall per unit.
 - b. Driveways shall not count towards the guest parking requirement.
 - c. Guest parking shall be located within two-hundred feet of the dwelling unit.

(Ord. 22-21, Ord. 22-5, Ord. 17-14, Ord 17-08, Ord. 15-13, Ord. 14-13, Ord. 13-16, Ord. 12-9, Ord. 11-9)

19.09.06. Dimensions for Parking Stalls.

The standards in this Section shall apply to all parking areas unless otherwise noted. The dimensions of parking stalls and aisles contained within the parking areas shall be dependent upon the orientation of stalls.

Dimensions for Parking Stalls and Aisle

Parking Angle	Stall Width	Stall Length	Aisle Width	Aisle Width
			(two-way	(one-way
			traffic)	traffic)
Parallel	9'	20'	N/A	12'
45	9'	18'	25'	14'
60	9'	18'	25'	18'
90	9'	18'	24'	24'

(Ord 16-17, Ord. 14-13, Ord. 13-16, Ord. 12-9, Ord. 11-9)

19.09.07. Accessible Parking.

Accessible parking spaces shall be provided in off-street parking areas and shall count towards fulfilling the minimum requirements for automobile parking. The City of Saratoga Springs



RIVERDALE CITY PLANNING COMMISSION PUBLIC HEARING NOTICE

Riverdale City gives notice that on Tuesday, March 14, 2023, at 6:30 p.m., at the Riverdale City Civic Center, 4600 South Weber River Drive, Riverdale, Utah, the Planning Commission will hold a public hearing to receive and consider public comments regarding the following:

Proposed ordinance amendments to Title 10, Chapter 15 "Parking Loading Space; Vehicle Traffic and Access" of the Riverdale Municipal Code.

The public is invited to review and inspect all information available concerning such proposal(s) at the Riverdale City Offices during the regular office hours, 8:00 a.m. to 5:00 p.m. Monday through Friday. The public or any interested parties may present written or oral testimony to the Riverdale City Planning Commission concerning the proposed action at the aforementioned time and place.

Certificate of Posting

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Riverdale City limits on this 3rd day of March, 2023 at the following locations: 1) Riverdale City Hall Noticing Board 2) Riverdale City website at http://www.riverdalecity.com/ 3) the Public Notice Website: http://www.utah.gov/pmn/index.html.

This notice is scheduled to be published in the Standard Examiner on Saturday, March 4, 2023.

Michelle Marigoni Riverdale City Recorder



INTERIM AD DRAFT

This is the proof of your ad scheduled to run in **Standard-Examiner** on the dates indicated below. If changes are needed, please contact us prior to deadline at **(801)** 625-4302.

Notice ID: 88NVlw71CvlirJC4nRzW | **Proof Updated: Mar. 03, 2023 at 10:06am MST**Notice Name: Public Hearing 3/14/2023 Parking Code

This is not an invoice. Below is an estimated price, and it is subject to change. You will receive an invoice with the final price upon invoice creation by the publisher.

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Michelle Marigoni Standard-Examiner

mmarigoni@riverdalecity.com

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RIVERDALE CITY PLANNING COMMISSION AGENDA

March 14, 2023

AGENDA ITEM: E2

SUBJECT: Consideration of recommendation to City Council Regarding Final

Subdivision and Site Plan request for Coleman Vu Heights PRUD

Subdivision and Site Plan located at approximately 5368 South 1050 West,

as requested by Goldcrest Homes/RD Development Group.

PRESENTER: Mike Eggett, Community Development

INFORMATION: a. Exec Summ Final Coleman Vu PRUD Sub – PC [20230314]

b. Coleman Vu PRUD Final Sub Plan PC Review – 20230308

c. Dept Staff Reports – PC Coleman Vu Final Sub Plan [20230309]

d. City Eng – Coleman VU Estates review #2 [20230309]

e. Coleman Vu PRUD Subdiv Update App [20220808]

f. Letter of Intent and Cost Est Final Signed - Riverdale

g. Coleman Vu Estates Signs

h. Motor Vu Hard Surface Calcs

i. Motor Vu Ext Arch Bldg Concepts

j. Variance Request 3-18-2022

k. COLEMAN VU HEIGHTS LANDSCAPE 2022.08.11

I. 2023-03-02 Coleman Vu – For Review [use this one]

m. Ex-100 – Round-about exhibit

BACK TO AGENDA



Planning Commission Executive Summary

For the Commission meeting on: 3-14-2023

Petitioner: RD Development
Represented by Thatiam Falls and Adam Anderson

Summary of Proposed Action

Goldcrest Homes, as represented by Thatiam Falls and Adam Anderson, have resubmitted documents for the Final Subdivision Site Plan and Plat review and approval for the Motor Vu Heights PRUD Subdivision proposal as located at approximately 5368 South 1050 West in a Single-Family Residential R-2 zone. Goldcrest Homes has taken over responsibility for this subdivision process from RD Development Group.

This preliminary submittal was previously approved by the Planning Commission on August 23, 2022. The proposed subdivision site plan is now before the Planning Commission for final approval review of the submitted plan and plat. A public hearing is not required for review of this proposed subdivision.

A secondary component of this request is the application of the Planned Residential Unit Development (PRUD) to this subdivision request. The main reason for the request of the PRUD to allow for limited variation in setbacks, more specifically the sideyard setbacks of the proposed lots and building footprints thereupon. On September 13, 2022, there was a public hearing held regarding this PRUD request. At the conclusion of the public hearing, the Planning Commission reviewed the request and made a favorable recommendation to the City Council to approve the PRUD request for this project area.

Following the presentation and discussion of the final site plan and plat proposal, the Planning Commission may make a motion to recommend City Council approval of the final site plan and plat, approve with additional requirements and criteria, or not recommend approval of the proposed Motor Vu Heights PRUD subdivision final site plan and plat with the appropriate findings of fact. Should this proposal receive a recommendation from the Commission, then the site plan and plat would be updated and brought before the City Council for Final Site Plan and Plat consideration on a future meeting date.

Title 10 Ordinance Guidelines (Code Reference)

This Residential Subdivision Site Plan review is regulated under City Code 10-21 "Subdivisions" and is affected by City Codes 10-9C "Single-Family and Single-Family with Rental Unit Residential Zone (R-2)", 10-14 "Regulations Applicable to All Zones", and 10-15 "Parking, Loading Space; Vehicle Traffic and Access".

The petitioner's properties are currently listed in the County Records under the ownership of two different parties as follows: MOVU, LLC and BRENT H & KIMBERLY A COLEMAN FAMILY TRUST. These properties are all part of an existing drive-in theater property that is no longer functioning on site and otherwise undeveloped areas that have been maintained as agricultural properties or otherwise unused land for many years.

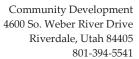
Attached with this executive summary is a supplementary document addressing items on the Preliminary Site Plan application and as directed by 10-21 of the City Code. Also attached, following this executive summary, are comments from the contracted City Engineer, Public Works Department, Fire Department, and Police Department. The Planning Commission should discuss these summaries and any noted Planning Commission and/or staff concerns.

Staff encourages the Planning Commission to review this matter, including concerns outlined herein, and then discuss with the petitioner concerns associated with this application. Staff would then recommend that the Planning Commission make a motion to recommend City Council approval of the final site plan and plat, approve with additional requirements and criteria, or not recommend approval of the proposed Motor Vu Heights PRUD subdivision final site plan and plat with the appropriate findings of fact.

General Plan Guidance (Section Reference)

The General Plan use for this property is currently set as "Residential Overlay Zone" and "Recreational/Open Space". The General Plan designation of "Residential Overlay Zone" is set to provide a residential area adjacent to the golf course that may create a synergistic relationship between the two uses side-by-side. The proposed requested use is in compliance with this land use designation and is supported in this area by the General Plan language for Area 8 of the Riverdale General Plan. Per the General Plan language for Area 8, an alternative approach for the future land use of this property is "Residential – Low Density" housing, which this proposed plan matches.

Legal Comments – City Attorney	
	Steve Brooks, Attorney
Administrative Comments – City Administrato	
	Steve Brooks, City Administrator





Final Subdivision Review – Coleman Vu Heights PRUD Subdivision - 5368 South 1050 West

Completed by Mike Eggett, Community Dev. Director on 8/17/2022, 8/18/2022, and 3/8/2023

Recommendation: City staff recommends that the Planning Commission examine and review this proposed final subdivision plan and plat. Items of consideration or note have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to recommend Council approval of the final plan and plat, approval the plan and plat with additional comments or concerns to be addressed by the developer, or not recommend approval of the final site plan and plat proposal for the Coleman Vu Heights PRUD Subdivision project.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	August 8, 2022, update on February 28, 2023
Date Application Submitted to City:	August 8, 2022
Date Fee Paid:	Paid on August 8 and 15, 2022 (see application and receipts for details)
Subdivision/Site Plan – Preliminary	Departmental Review Comments
Requirements	
COVER SHEET	Provided
<u>Title Block</u>	
Project name and address	Project name shown and address shown
Property Owner's name, address, and phone number	This current owner of the property information needs to be added to the cover page of the plan drawings - Movu, LLC, 5406 S Weber Drive, Riverdale, Utah 84041, Contact: Not identified, phone number needs to be provided
Developer's name, address, and phone number	Goldcrest Homes, 9730 South 700 East, Sandy, Utah 84070, Contact: Adam Anderson, 385-200- 0040
Approving agency's name and address: Utility companies as applicable	Shown - Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405; <u>Utility company names</u> , <u>address</u> , and phone number not provided as <u>applicable</u>
Consulting Engineer's name, address, and phone number	Ensign Engineering, 45 W. 10000 S., Suite 500, Sandy, Utah 84070, 801-255-0529

Licensed Land Surveyor's name, address, phone	Trent R. Williams, Ensign Engineering, 919 North
number, signature, and seal	400 West, Layton, Utah 84041, 801-547-1100, <u>seal</u>
	and signature not shown at this time
Date	Yes – 2/27/2023
Revision block with date and initials	Revision block shown for use
Sheet number and total sheets	23 total sheets (includes the plat) and other
General	supporting documents in binder
Street names	Shown – Columbia Court (5350 S.), Century Way
Street names	(900 W.), Motor Vu Drive (5250 S.), Paramount Drive (950 W.), Paramount Cove (5175 S.), and Universal Street (1000 W. and 5050 S.) (all new roads), 1050 West and South Weber Drive; Universal Street needs to be split into two distinct roads for addressing and directional purposes – Universal needs to be 1000 W. or 5050 S. and then a new street name needs to be added for the other road numbering, this will avoid future issues
Layouts of lots with lot numbers and addresses	68 lots shown, 4 open space/detention parcels; addresses are shown on plat for each lot
Adjacent tract ownership and tax identification numbers	Adjacent property tract ownership names shown with tax ID numbers
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown as 1" = 40' on plat
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements shown on plat; existing structures on site shown; existing utility lines shown; unsure of approvals provided to cross, use, relocate
Space for notes	Yes, provided
Contours	Yes, shown on multiple sheets
Public areas	Sidewalks and curb/gutter shown on multiple sheets; open space parcels identified
Vicinity Map	
Street names	Yes
Site location	Yes
North arrow	Yes
Scale	"Not to scale" noted

PLAT SHEET	Note that Lots 105-106, 210-211, 317-318 will have no vehicular access to 1050 West and Lots 105-106 will have no access to South Weber Drive
Title Block	
Project name and address	Project name shown and address shown
Approving Agency's name and address	This is provided: Riverdale City, 4600 S. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	Ensign Engineering, 45 W. 1000 S., Suite 500, Sandy, Utah 84070, 801-255-0529
Consulting Engineer's stamp, signature, and license expiration date	Engineer's stamp, signature, and license expiration provided
Date	Yes - 2/27/2023
Names of approving agents with titles, stamps, signatures, and license expiration dates	Names of approving utility agents, titles, stamps, signatures, and license expiration shown
Names of approving departments (Attorney, Planning Commission, Mayor, Engineer)	Shown on plat
<u>Layout</u>	
Street Names	Shown – Columbia Court (5350 S.), Century Way (900 W.), Motor Vu Drive (5250 S.), Paramount Drive (950 W.), Paramount Cove (5175 S.), and Universal Street (1000 W. and 5050 S.) (all new roads), 1050 West and South Weber Drive; Universal Street needs to be split into two distinct roads for addressing and directional purposes – Universal needs to be 1000 W. or 5050 S. and then a new street name needs to be added for the other road numbering, this will avoid future issues
Layouts of lots with lot numbers	68 lots shown, 4 open space/detention parcels; addresses are shown on plat for each lot
Bearings and distances for all property lines and section ties	Shown, defer to City Engineer review
Boundary and Legal description	Shown, defer to City Engineer review
Adjacent tract ownership and tax identification numbers	Tract ownership names and tax ID shown
Scale (minimum 1"=50')	Yes, scale is shown as 1"= 40'
North arrow	Yes
Owner's dedication certificate for subdivision (Notary Acknowledgement)	Yes, shown

Landscaping (location and type with area	Is landscaping plan same as previously provided?
calculations)	Please provide updated plan if there is one that
	shows stamped colored concrete in park strips.
	Landscaping plan shown or provided for detention
	pond areas and open space areas; gravel mulch in
	basin, park amenities shown as well, plantings
	shown also; stamped concrete should be
	considered in park strips along 1050 West and
	South Weber Drive; no landscaping or private
	irrigation plans provided this time
Location of exterior lighting devices, signs, and	Existing and anticipated exterior lighting devices
outdoor advertising	(streetlights) shown; no anticipated subdivision
	signage locations shown, if applicable
Location of underground tanks, dumpsters, etc	No underground tanks shown for this site;
	dumpsters not anticipated for this site
Additional Information	
Benchmark	Shown, defer to City Engineer review
Basis of bearings	Shown, defer to City Engineer review
Legend	Yes, shown
PLAN AND PROFILE SHEETS	Site Plan and Utility Plan sheet provided
Title Block	
Project name and address	Project name shown and address shown
Approving Agency's name and address	This is provided: Riverdale City, 4600 S. Weber
	River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone	Ensign Engineering, 45 W. 1000 S., Suite 500,
number	Sandy, Utah 84070, 801-255-0529
Date	Yes - 2/27/2023
Scale	Yes, scale is shown as 1"= 40'
Revision block with date and initials	Revision block shown for use
Sheet number and total sheets	23 total sheets (includes the plat) and other
	supporting documents in binder
General	
North arrow	Yes

Street names	Shown – Columbia Court (5350 S.), Century Way (900 W.), Motor Vu Drive (5250 S.), Paramount Drive (950 W.), Paramount Cove (5175 S.), and Universal Street (1000 W. and 5050 S.) (all new roads), 1050 West and South Weber Drive; Universal Street needs to be split into two distinct roads for addressing and directional purposes – Universal needs to be 1000 W. or 5050 S. and then a new street name needs to be added for the other road numbering, this will avoid future issues
Lot numbers	68 lots shown, 4 open space/detention parcels; addresses are shown on plat for each lot
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet C-100
Signage	Subdivision signage location shown on corner of Lot 101; may inquire future signage intent
Height	Dimensions unknown at this time
Size	Dimensions unknown at this time
Locations	Shown on corner of Lot 101
Colors	Refer to provided imagery
Lighting	Not available
New and Existing Buildings	
Height and Size (multiple homes)	New building - Height = range of height unknown at this time; Building size = range of size unknown at this time; existing buildings and utility structures on site shown; may inquire for more details about the planned structures
Location, setbacks, and all dimensions	Setbacks will vary based upon homes placed on lots, please show some typical lot setbacks in the subdivision; building footprints shown on drawings should be set to meet R-2 zoning reqs, with exceptions if PRUD is approved and setbacks slightly modified per approval of PRUD
Type of construction	Building materials and types of construction shown on Home Elevation drawings; see Home Elevations for more regarding colors, material, and proposed style of homes; 40% rock and/or stone req per PRUD application and met on dwg calcs
Type of occupancy and proposed uses	Single family residential uses

Show handicapped access	ADA accessible ramp shown and identified on multiple sheets
New and Existing Landscaping & Percentage	Is landscaping plan same as previously provided? Please provide updated plan if there is one that shows stamped colored concrete in park strips. Landscaping plan shown or provided for detention pond areas and open space areas; gravel mulch in basin, park amenities shown as well, plantings shown also; stamped concrete should be considered in park strips along 1050 West and South Weber Drive; no landscaping or private irrigation plans provided this time
Number of trees	16 trees, 221 shrubs, plantings, and mulch locations shown
Landscape plan showing all planting, hardscaping, berming, and watering	Shown on landscaping plan
Xeriscaping alternatives being considered	Yes, shown on landscaping plan
New and Existing Walls and Fences	
Location, design, and height	Existing fences identified on C-0.1; new fences planned for site and shown on site plan around entirety of subdivision per PRUD
Materials proposed for construction	6' vinyl fence planned for site
New and Existing Ingress and Egress	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown
Circulation pattern	Not shown, <u>may discuss traffic movement but</u> <u>seems intuitive</u>
New and Existing Streets	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	Shown and clearly identified as r-o-w on plans
Face of curb lines	Yes, this is shown
Centerline slope	Yes, this is shown
Signing and striping	Signing installation should be coordinated with public works dept and paid for by applicant; roadway striping should be coordinated with public works;
Light poles	Shown at intersections and cul-de-sac ends
Street lights	Proposed site plan street lighting shown

Street name signs	Sign locations shown on plans; signing installation, if any, should be coordinated with public works
	dept and paid for by applicant;
Stop signs	Sign locations shown on plans; signing installation,
	if any, should be coordinated with public works
	dept and paid for by applicant;
UDOT approval (if required for project)	Not applicable to this project
Sidewalk (4' side with 4" of road base or 6' side	Yes, shown and defined on sheet C-600 "Civil
with 6" of road base through the approach)	Details"; no cross section shown and unsure as to
	sidewalk standard depth and approach depth
Diantin a Chain	meeting these standards
Planting Strip	Shown
New and Existing Storm Drainage	
Top of curb elevations	Shown, defer to City Engineer
Slope of gutter	Shown, defer to City Engineer
Manholes	Existing and new shown on multiple sheets
Invert elevations	Shown, defer to City Engineer
Length, size, slope, and type of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets
Ditches, location and ownership	No ditches or waterways of note
Approval to pipe, reroute or use	Other than future City approval, unknown if other
	approval required; defer to City Engineer
Calculations for retention system	Storm runoff and retention calcs shown on "Storm
Mathad of storm water clean up	Drain Detention" document; defer to City Engineer
Method of storm water clean-up	Shown on sheets C-300, C-500, and C-600; <u>defer to Public Works Director</u>
New and Existing Sanitary Sewers	
Manholes	Existing and new shown on multiple sheets
Invert elevations	Shown, defer to City Engineer
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
New and Existing Water Lines	
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, <u>defer to City Engineer</u>
Location, size, and type of water meters, valves,	Water meter locations shown on sheet C-400:
and fire hydrants	water meter size is 1", type per public works;
	Location of new and existing valves shown;
	Existing and new fire hydrants shown, reference to hydrant comments from FD

New and Existing Gas Lines	
Size and type	Known existing locations shown; new gas lines size and type location in project not shown
New and Existing Electrical Lines	
Size, location, and type	Existing location shown; new electrical lines size and type location in project not shown
Location of power poles	Sites of proposed power poles not shown, if applicable
New and Existing Telephone Lines	
Location of poles, junction boxes, and manholes	Known existing locations shown; new telephone lines size and type location in project not shown
New and Existing Cable TV Lines	
Location of lines (if applicable)	Known existing locations shown; new cable TV lines size and type location in project not shown
DETAILED DRAWINGS	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Shown on sheet C-600 "Civil Details"; defer to City Engineer
Cross section of curb and gutter (standard 30" high back)	No cross section shown on sheet C-600 "Civil Details" or otherwise in plans; defer to City Engineer
Gutter inlet box with bicycle safe grate	Locations shown on sheet C-300, no details or cross section shown on C-600 "Civil Details"; bicycle safe grates not clearly identified; defer to City Engineer
Cleanout box	Not shown; <u>defer to City Engineer</u>
Thrust blocking	Not shown; defer to City Engineer
Special energy dissipating or drop manholes	May not be applicable; <u>defer to City Engineer</u>
ADDITIONAL INFORMATION	
Soils report	Provided as prepared by CMT Engineering on March 10, 2022
Drainage and runoff calculations	Storm runoff and retention calcs shown on "Storm Drain Detention" document; defer to City Engineer
Water right transfer documentation	Applicant needs to show proof of transfer to Public Works or other water solutions provided; defer to PW Director
Copy of protective covenants, codes, and regulations for development Three large full set of plan drawings (24x36), one full set of plan drawings (11x17 sized), and one	Proposed PRUD CCR's required for this project have been provided for proposed subdivision Yes, provided as requested
digital full set copy of plan drawings	

Building elevation renderings	Yes, these have been provided
Corp of Engineers approval (if required)	Not applicable or required
Zoning compliance	Yes, Single-Family Residential (R-2) meets intended
	uses for site design
RDA compliance (if applicable)	Not applicable in this matter
Use compliance	Yes, site designed for Single-Family Residential
	homes at R-2 zoning density, also allows for
	application of PRUD proposal
Engineering comments and letter of approval	City Engineer, Public Works, Fire Dept, and Police
recommendation	Dept comments provided
Traffic study	Provided as required and approved by UDOT for
	access onto 1050 West
All Planning Commission and City Staff conditions	Currently consideration of Final Subdivision Plan
for approval have been met	and Plat submission being reviewed for final
	recommendation consideration by Planning
	Commission

DEPARTMENTAL STAFF REPORTS - 3/6/2023 to 3/9/2023

From: Shawn Douglas

Sent: Thu 3/9/2023 10:45 AM

To: Mike Eggett **Subject:** Coleman

Mike,

I have attached my review comments for the Coleman VU Heights subdivision. Thanks

Plan Review For Coleman VU Estates

Storm Water

- 1-Drainage system operation and maintenance plan and BMPS approved and recorded with plat.
- 2-Free board on detention/retention structure, free board on structure, and emergency overflow.
- 3-Retention pond liner materials, pond design detail, landscaping and irrigation need to be on plan.
- 4-Hydralic separator efficiency and plan detail need to be included on plan.
- 5-Storm water prevention plan for construction site including BMP's. Eliminate construction outlet on South Weber Drive after phase 1. Provide erosion control plan for phase 3. Provide storm drain protection for 1050 W. Only one construction outlet per phase is allowed. Provide necessary fencing or controls to prevent entering or exiting to construction outlet only. All storm water inspections will need to completed on Compliance Go.
- 6-Notice of intent filed with state.
- 7-Letter with Canal company approval of design and plans for bench canal work. Pipe material and size need to be included on the plan. Verify if canal company requires 10' or 20' easement.
- 8-Show detail for location and design of well blow off.

<u>Streets</u>

- 1-Street names and sign locations shown on plans.
- 2-Street signs including stop/yield, and speed limits shown as required.

Water

- 1-Meter box design as per Riverdale City standards. Include detail in plans.
- 2-All water service need to be connected before hydrant valve in cul-de-sacs.
- 3-Our standard residential water meters are ¾" are 1" required?
- 4-All tees require three valves as shown in Riverdale City Specifications (1050 W and South Weber Drive).
- 5-Backflow preventor location, type, and size.
- 6-Proposed irrigation/sprinkler system plan.
- 7-Blow off for phase 1.
- 8-Provide what water shares will be used to meet water requirements.

Sewer

- 1-Proposed sewer flows daily and peak. Including peak demand time.
- 2-Show existing sewer mains and laterals.
- 3-Abandoned sewer lines will need to be capped at the property line.
- 4-We are concerned with the amount of pipe being laid at .5. We have a strict standard for pipe bellies and deviations. I think the contractor is going to have a hard time meeting the standards with the current grade of the pipe.

Other

- 1-Note requiring all missing, nonfunctioning, and or damage surface improvements shall be replaced. (sidewalk, curb and gutter, fencing, etc.)
- 2-A fence that doesn't allow access will need to be installed on rear yards on 1050 W and South Weber drive. Fence design and materials need to be shown. The park strip will need to be colored and stamped concrete.
- 3-Notes need to indicate that infrastructure is installed according to Riverdale City standards. APWA will only be used if Riverdale City doesn't have a standard.
- 4-Provide locations for community mailboxes.
- 5-Please include a response letter indicating where comments were addressed.

Shawn Douglas

Riverdale City Public Works 801-394-5541 ext 1217 Sdouglas@Riverdalecity.com

From: Scott Brenkman

Sent: Mon 3/6/2023 3:54 PM

To: Mike Eggett

Subject: RE: Comments Needed - Coleman Vu Heights PRUD PC Final Review

I do not have concerns.

Chief Scott Brenkman Riverdale Police Department 4580 S. Weber River Dr. Riverdale, UT 84405 (801)394-6616

sbrenkman@riverdalecity.com

From: Jared Sholly

Sent:

To: Mike Eggett **Cc:** Randy Koger

Subject:

No comments provided. Verbal deferral to comments by Randy Koger.

Jared Sholly
Fire Chief
Riverdale City Fire Department
Office 801-394-7481
Cell 801-628-6562

From: Randy Koger

Sent: Wed 3/8/2023 3:21 PM

To: Mike Eggett **Cc:** Jared Sholly

Subject: RE: Comments Needed - Coleman Vu Heights PRUD PC Final Review

REVIEW COMMENTS:

The following review comments are based on information provided on the Preliminary Coleman Vu Heights Subdivision, and shall not extend to means, methods, techniques, sequences, or procedures of construction nor conformance to any specifications. Acceptance of the project is the prerogative of the Authority Having Jurisdiction.

1. Install Hydrants at the entrance of the cul-de-sac.

2. **501.4** Timing of installation.

Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except where *approved* alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection where construction of new roadways allows passage by vehicles in accordance with Section 505.2

Comments made during this review are advisory and do not prevent the necessity of conforming with requirements which might have been overlooked in the review process. Ultimate responsibility for compliance rest with the owner.

RESBUMITTAL INSTRUCTIONS

Please have the contractor/designer:

- 1) Address each comment and submit a written response in addition to revised plans and calculations as necessary,
- 2) Cloud any revisions made to the construction drawings and provide the date of the latest revision on each revised sheet and,
- 3) Submit written responses to our review letter, provide revised plans, and supplemental information as necessary.

Fire Marshal/Code Enforcement Officer

Fandy S. Kagev

Riverdale City 801-436-1241



5141 South 1500 West Riverdale City, Utah 84405 801-866-0550

9 March 2023

Riverdale City 4600 South Weber River Drive Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director

Proj: Coleman VU Estates

Subj: Three Phase Plat and Improvement Drawings dated "2/28/2023 For Review"

Dear Mike,

Attached for consideration is our engineering review of the "Three phases of preliminary Plat and Improvement Drawings" and the Engineer's Cost estimate of the above referenced project. The following items should be considered and addressed prior to receiving recommended approval from our office.

General Note:

- UDOT needs to review and approve drawings. All work within UDOT right-of-way needs to meet UDOT standards. UDOT approval letter must be provided for roadway connection to 1050 West and South Weber Drive and UDOT requirements must be met for all improvements along UDOT roadways.
- 2. Open spaces platted need to have maintenance plans provided to ensure they don't become open nuisance lots. Need storm water maintenance plan.

Plat

- 1. The bearing on the drawings from the section corner to the point of beginning (POB) does not match the bearing called out in the Boundary Description. (All three phases).
- 2. The irrigation easement description needs to be shown on the plat map.

<u>Site Plan – Improvement Drawings</u>

Sheet C-100 Demolition Plan

1. The approaches to the existing home should be removed.

Sheet C-200 Site Plan

1. The curb, gutter, and sidewalk adjacent to the roundabout needs to be connected to existing improvements unless roundabout is under construction.

Sheet C-300 Grading and Drainage Plan

- 1. Because the detention basin has the potential to be over 30" deep with water, it must be fenced.
- 2. Provide a "Storm Water Maintenance Schedule" and a "Maintenance Plan".
- 3. The temporary retention basins need to have emergency spillway identified to ensure no flooding on adjacent properties.

Sheet C-400 Utility Plan

- 1. The residential service connection needs to be relocated to the 8" waterline on the opposite side of the fire hydrant valve.
- 2. The irrigation pipe and structures need to be detailed. Need pipe type and size, structure details for connections to existing irrigation system.

Sheet C-500 Erosion Control Plan

- 1. The plans need to be updated to reflect the multiple phase projection for the site.
- 2. "Vehicle washdown and stabilized construction entrances" need to be identified for the different phases.

Sheet C-600 Details

- 1. The details for the hydrodynamic separators need to be added to the plans.
- 2. Details for manholes, boxes, waterlines, water meters, etc. need to be included as part of the improvement drawings.

Sheets PP-0 to PP-9 Plan and Profile

1. Sheets should be updated with information contained on other pages as they are updated.

Engineer's Cost Estimate

1. We have reviewed the engineer's cost estimate and find the following: the irrigation piping and structures need to be included, missing four handicap ramps; a sewer and

water service, missing seven storm drain manholes, missing waterline tees and bends, and roadbase and trenchfill.

We would be happy to meet with the Developer and/or his Engineer to review the above items should they have any questions.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.

R Tooled Freeman

R. Todd Freeman, S.E., P.E.

City Engineer

Cc. Shawn Douglas, Public Works Director

Jeff Woody, Building Official and Inspector





Community Development 4600 So. Weber River Drive Riverdale, Utah 84405

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR RESIDENTIAL SUBDIVISION SITE PLAN APPROVAL

CASE NO: 2022-09	DATE SUBMITTED: <u>8/8/2022</u>
APPLICANT'S NAME: RD Development - Keaton Mor	ton
ADDRESS: 9730 South 700 East Suite 100 Sandy, Uta	h 84070
PHONE: 801-856-2478 Address of Site: 5369 South 1050 West	TAXI.D. NO: 07-076-0010, 08-111-0047, & 07-076-0028, 07-076-0001
APPLICANT'S INTEREST: PRUD Subdivisión	×
Application is hereby made to the Riverdale City Plannin	g Commission requesting that a
residential subdivision consisting of (number of lots)	lots be approved on 19.68 (sq. ft./acreage)
property in the R-2 zone in accordance with the at	tached site plan.
Signature of Applicant	Signature of Property Owner
I authorize RD Development LLC relating to this application.	Signature of Property Owner
NOTE: A fee will be charged at the time the site plan is Fee: \$ 10, 200	submitted for review - \$150 per lot/unit Date paid: 8/9/2022 & 9/15/2022
Planning Commission sets public hearing: Yes No	Date of Public Hearing: See PRWD Application
Planning Commission scheduled to hear this application for Date: 8/23/2072 53-14-2023 Decision of Com	or site plan approval on:
City Council sets public hearing:Yes □ No □ Date	
City Council scheduled to hear this application for site pla	an approval on:
Date: Decision of Cour	ncil:

RIVERDALE CITY CORPORATION 4600 SOUTH WEBER RIVER DRIVE RIVERDALE UT 84405

394-5541

Receipt No: 15.551544

Ger -

N2.

7 8 2

Aug 15, 2022

RD DEVELOPMENT HOLDINGS,LLC

Previous Balance:	.00
MISCELLANEOUS - 5369 S 1050 W	3,400.00
10-34-1500 ZONING & SUB. FEES	
Total:	3,400.00
CHECK C Check No: 002005	3,400.00
Total Applied:	3,400.00

08/15/2022 1:41 PM

HL 580

RIVERDALE CITY CORPORATION 4600 SOUTH WEBER RIVER DRIVE RIVERDALE UT 84405

394-5541

Receipt No: 15,551384

Aug 8, 2022

RD DEVELOPMENT HOLDINGS,

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Previous Balance:	.00			
MISCELLANEOUS - PRUD REQUEST FEE 5369 S 1050 W	500.00			
10-36-9000 SUNDRY REVENUE				
Total:	500.00			
RD DEVELOPMENT HOLDINGS, LLC				
Previous Balance:	.00			
MISCELLANEOUS - 5369 s 1050 w	6,800.00			
10-34-1500 ZONING & SUB. FEES				
Total:	6,800.00			
CHECK Check No: 002004	7,300.00			
Total Applied:	7,300.00			
Change Tendered:	.00			

08/08/2022 3:37 PM



OFFICAL LETTER OF INTENT

This document has been drafted with the purpose of disclosing Goldcrest Homes intentions on how they plan to execute the bonding for the Coleman Vu Estates improvements.

Developer will pursue and establish security financing, via a surety bond for this project, matching the amount reflected on the approved Engineer's Cost Estimate document for this project, as directed by applicable Riverdale City Codes.

Developer Signature

Date

—

Date

Developer Print Name

Coleman Vu Estates - Engineer's Cost Estimate

Description of Item	Quantity	Unit	Unit Price	Total
SITE PREPARATION	Next N			
Mobilization				
Demolition	26,780	SF	\$2.73	\$73,109.40
Demolish and remove 26,780 sqft. of buildings				
Demolition	252,736	SF	\$0.47	\$118,785.92
Remove 252,736 sqft. of asphalt				
SEWER	VIII TENENT			
Sewer	3,300	LF	\$35.94	\$118,602.00
Install 3,300 feet of 8" sewer main				
Sewer	1	Each	\$3,894.00	\$3,894.00
Install SSMH 103				
Sewer	1	Each	\$3,894.00	\$3,894.00
Install SSMH 104				
Sewer	1	Each	\$3,894.00	\$3,894.00
Install SSMH 105				
Sewer	1	Each	\$4,187.00	\$4,187.00
Install SSMH 106				
Sewer	1	Each	\$4,187.00	\$4,187.00
Install SSMH 107				
Sewer	1	Each	\$3,399.00	\$3,399.00
Install SSMH 109				
Sewer	1	Each	\$3,399.00	\$3,399.00
Install SSMH 110				
Sewer	1	Each	\$3,938.00	\$3,938.00
Install SSMH 111				
Sewer	1	Each	\$4,570.00	\$4,570.00
Install SSMH 112				
Sewer	1	Each	\$4,570.00	\$4,570.00
Install SSMH 113				
Sewer	1	Each	\$4,726.00	\$4,726.00
Install SSMH 114				
Sewer	1	Each	\$4,095.00	\$4,095.00
Install SSMH 116				
Sewer	1	Each	\$4,187.00	\$4,187.00
Install SSMH 117				
Sewer	1	Each	\$4,187.00	\$4,187.00
Install SSMH 118				
Sewer	1	Each	\$4,187.00	\$4,187.00
Install SSMH 119				
Sewer	1	Each	\$3,864.00	\$3,864.00
Install SSMH 120				
Sewer	1	Each	\$24,676.00	\$24,676.00
Install SSMH 101				
Sewer	1	Each	\$24,944.00	\$24,944.00
Install SSMH 115				
Sewer	1	Each	\$5,302.00	\$5,302.00

Install SSMH 102				
Sewer	1	Each	\$4,761.00	\$4,761.00
Install SSMH 108	<u> </u>	Luon	ψ+,7 σ 1.00	ψ-1,7 0 1.00
Sewer	67	Each	\$1,271.00	\$85,157.00
Install 67 4" sewer Laterals		Lucii	Ψ1,271.00	φου, τον .οι
Sewer	1	LS	\$2,500.00	\$2,500.00
Testing	<u> </u>		Ψ2,000.00	Ψ2,000.00
resuing				
				MININE ALEXANDER OF THE PARTY O
CULINARY WATER	Track Inc.			EN TOPE
Water	2	Each	\$11,415.00	\$22,830.00
Go into road and tap existing water main for new 8" water main				
Water	3,834	LF	\$39.27	\$150,561.1
Install 3,834 feet of 8" C900 waer main				
Water	4	Each	\$1,001.00	\$4,004.0
Install (4) 8" tees				
Water	12	Each	\$3,127.00	\$37,524.00
Install (12) 8" valves				
Water	9	Each	\$661.00	\$5,949.00
Install (9) 45 degree bends			\$00 H00	\$0 ,0 10.00
Water	5	Each	\$656.00	\$3,280.00
Install (5) 22.5 degree bends		Luon	Ψοσο.σσ	Ψ0,200.00
Water	2	Each	\$6,677.00	\$13,354.00
Install 2 end of line hydrants	1 1	Laon	ψ0,077.00	ψ10,004.00
Water	5	Each	\$7,152.00	\$35,760.00
Install 5 fire hydrants		Lacii	ψ1,132.00	ψ33,700.00
Water	67	Each	\$2,072.00	\$138,824.00
Install (67) 3/4" water laterals	1 0	Lacii	Ψ2,072.00	ψ100,024.00
Water	32	Each	\$250.00	\$8,000.00
Install 32 thrust blocks	52	Lacii	Ψ230.00	ψ0,000.00
Water	1	LS	\$1,000.00	\$1,000.00
Testing	-		ψ1,000.00	ψ1,000.00
STREETS				
Concrete	7,450	LF	\$5.10	\$37,995.00
Pour 7,450 feet of curb				
Concrete	37,250	SF	\$7.40	\$275,650.00
Pour 37,250 sqft. of sidewalk				
Concrete	8	Each	\$600.00	\$4,800.00
8 ADA Ramps				
3" Asphalt	143,510	SF	\$2.50	\$358,775.00
Pave 143,510 sqft. of 3" thick asphalt				
STORM DRAINAGE	Mark 11			
Storm Drain	2,536	LF	\$33.65	\$85,336.40
Install 2,536 ft of 12" HDPE pip				
Storm Drain	1	Each	\$2,695.00	\$2,695.00
Install SDCB 201				
Storm Drain	1	Each	\$2,695.00	\$2,695.00
Install SDCB 204				
Storm Drain	1	Each	\$2,735.00	\$2,735.00
Install SDCB 205				

Storm Drain	1	Each	\$2,735.00	\$2,735.
Install SDCB 208		G-57 W		
Storm Drain	1	Each	\$2,755.00	\$2,755
Install SDCB 209				
Storm Drain	1	Each	\$2,735.00	\$2,735
Install SDCB 211				
Storm Drain	1	Each	\$3,650.00	\$3,650
Install SDCB 212				
Storm Drain	1	Each	\$2,735.00	\$2,735
Install SDCB 213				
Storm Drain	1	Each	\$2,735.00	\$2,735
Install SDCB 218				
Storm Drain	1	Each	\$2,735.00	\$2,735
Install SDCB 219				
Storm Drain	1	Each	\$2,735.00	\$2,735
Install SDCB 222				
Storm Drain	1	Each	\$2,735.00	\$2,735
Install SDCB 226				
Storm Drain	1	Each	\$2,735.00	\$2,735
Install SDCB 227				
Storm Drain	1	Each	\$3,771.00	\$3,771
Install SDCB 229	19			
Storm Drain	1	Each	\$4,746.00	\$4,746
Install SD COMB 202				
Storm Drain	1	Each	\$6,038.00	\$6,038
Install SD COMB 203				
Storm Drain	1	Each	\$5,971.00	\$5,971
Install SD COMB 207				
Storm Drain	1	Each	\$4,732.00	\$4,732
Install SD COMB 214				
Storm Drain	1	Each	\$7,335.00	\$7,335
Install SD COMB 216			7.1/2.2.2.2	7.11
Storm Drain	1	Each	\$6,950.00	\$6,950
Install SD COMB 221			73,333,63	70,000
Storm Drain	1	Each	\$8,153.00	\$8,153
Install SD COMB 224		Luon	ψ0,100.00	φο,του
Storm Drain	1	Each	\$6,250.00	\$6,250
Install SD COMB 228	- 1	Luon	ψ0,200.00	ΨΟ,ΖΟΟ
Storm Drain	1	Each	\$3,396.00	\$3,396
Install SDCO 206		Ladii	ψ0,000.00	ψυ,υθυ
Storm Drain	1	Each	\$4,270.00	\$4,270
Install SDCO 210		Laur	Ψπ, Σ / 0.00	ψ4,210
Storm Drain	1	Each	\$3,892.00	\$3,892
Install SDCO 215		Lauii	ψυ,υσ2.00	ψυ,092
Storm Drain	1	Each	\$5,045.00	¢E 04E
Install SDCO 217		⊏aUII	φ5,045.00	\$5,045
	1	Each	¢3 903 00	£2 000
Storm Drain	- 1	Each	\$3,892.00	\$3,892
Install SDCO 220		-2-0	#0 COO OO	#0.000
Storm Drain	1	Each	\$3,892.00	\$3,892
Install SDCO 223			6.10.1	A :-
Storm Drain	1	Each	\$4,847.00	\$4,847
Install SDCO 225	-	1000	Va. 2011 1200 1200	901910 Spileton
Storm Drain	52	Each	\$350.00	\$18,200

Storm Drain	1	LS	\$2,500.00	\$2,500.00
Testing				
CONSTRUCTION MANAGEMENT/MISC.	division of the second			
As Builts Mylar & Disks	1	Each		\$0.00
Construction Staking	1	LS	\$5,000.00	\$5,000.00
Testing, Cleaning, Inspections	3	LS	\$1,000.00	\$3,000.00
Street Sign	6	Each	\$100.00	\$600.00
Traffic Sign	6	Each	\$150.00	\$900.00
Subdivision Monument	2	Each	\$10,000.00	\$20,000.00
Street Light	10	Each	\$2,000.00	\$20,000.00
				\$0.00

Improvement Completion Assurance

\$1,896,447.90

Improvement Warranty \$189,644.79

TOTAL \$2,086,092.69

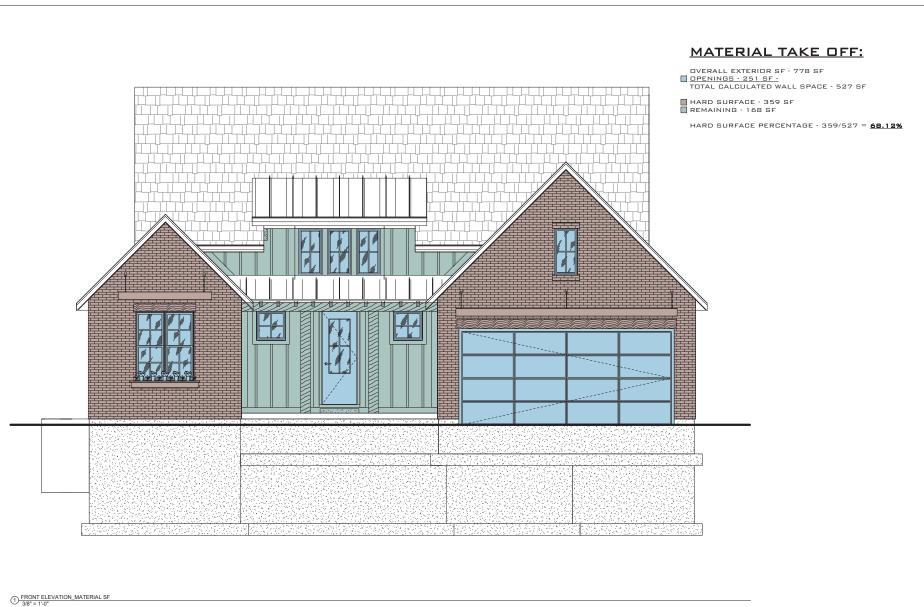
Recording Fees

Total Fees \$60.00

Total Bond & Fees \$2,086,152.69







CONSTRUCTION

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GOLDCREST HOMES 9730 SGUTH 700 EAST STE. 100

LOT 185 ENGLAND RIDGE ENGLAND RIDGE

TRANSPORTER TRANSPORTER TO THE TRANSPORTER TRANSPORT

A4

CONSTRUCTION DOCUMENTS

GOLDCREST HOMES

MATERIAL TAKE OFF:

OVERALL EXTERIOR SF - 546 SF OPENINGS - 250 SF
TOTAL CALCULATED WALL SPACE - 296 SF

HARD SURFACE - 129 SF REMAINING - 167 SF

HARD SURFACE PERCENTAGE - 129/296 = 43.58%



1 FRONT ELEVATION - COLORED
3/8" = 1'-0"













Variance Request Form



INTERNAL UDOT USE ONLY							
OLP Application ID No:		Project Name:					

Access-related variances are governed by Utah Administrative Code R930-6-9. A variance may be considered for any design standard of this rule that is not applicable or feasible given the proposed physical and operational characteristics of the site. Applicants seeking a variance for these design standards must submit a thoroughly detailed variance request using this form.

The applicant must clearly demonstrate the variance request meets minimum acceptable engineering, operation, and safety standards. The applicant must also clearly demonstrate the variance is not detrimental to the health, welfare, and safety of the public.

INSTRUCTIONS: Complete all fields below and submit with a complete application. Additional sheets may be attached, however a summary of your responses must be included in the spaces provided below. Simply stating "see attached" is considered insufficient information.

PROPER	RTY OWNER INFORMATION	APPLICANT INFORMATION								
Name:	MOVU LLC	Name:	Brooke Anderson							
Mailing Address:		Mailing Address:	9730 South 700 East							
City, State, Zip:		City, State, Zip:	Sandy, Utah 84070							
Email:		Email:	brookea@and-dev.com							
Phone:		Phone:	801-414-8360							
PROPOSED ACCESS INFORMATION										
Physical Address:		Parcel Number:								
State Route ID:	SR-60	Milepost Marker:	0.6							
Latitude (decimal degrees)	41.1670	Longitude (decimal degrees)	112.0072							
Access Width:		Access Use Type:	Residential							
	PRE-APPLICATION COORDINAT	ION MEETING INFO	RMATION							
Has a pre-application	coordination meeting been held with the app	propriate Region?								
Yes: Meeting I	Date: Feburary 1 2022 No:									
	VARIANCE REQU	EST OVERVIEW								
Describe why this var	iance is being requested:									
The proposed access along 1050 West (SR 60) is located approximately 370 feet south of 5150 South and 300 feet north of Ritter Drive. There are several single-family driveways within 350 feet of the roadway, and the spacing to Ritter Drive does not meet the requirement, therefore a variance is requested for this access.										

VARIANCE JUSTIFICATION (1)

Describe how the applicant has considered all other feasible alternatives to provide reasonable alternative access to the property or development and demonstrate that better alternatives in terms of highway operations are not feasible or do not exist:

The site is bordered by a school to the north, the road network to the west (1050 West), southwest (Weber Drive) and northeast (I-84). It is bordered to the east by vacant land. The site only has access to 1050 West and Weber Drive. The site is planning one access to each roadway. The ideal location for the access on 1050 West would be to align with 5150 South, however this location is not viable due to a major power pole needing to be relocated. The cost of moving the power pole would be substantial and not financially viable to the project and the majority of the land needed for this access is not owned by the property but by another landowner (Utah Military Academy). Therefore an access centered between the roadways aligning with a single family residence was determined as the optimal place for the access.

VARIANCE JUSTIFICATION (2)

Describe how the applicant has considered access through a shared use driveway or access point with an adjacent land use and such a shared use access is not feasible:

Due to the surrounding developments and vacant land, there is no possibility for cross access or shared access.

VARIANCE JUSTIFICATION (3)

Describe how the applicant is voluntarily providing on-site or off-site mitigation efforts that might offset the negative impacts of approving an access that does not meet the provisions of the rule. Examples, may include, but are not limited to: installing acceleration/deceleration or turn lanes, installing raised median barriers, or other devices that physically restrict turning movements, or the consolidation of existing access connections.

The site is removing a single curb cut near the north of the property on 1050 West. The site is aligning the access to an existing driveway on the opposite side of the roadway. The site is utilizing the two way left turn lane as a deceleration lane for the access. There are also wide shoulders that can be utilized for deceleration right turn traffic.

VARIANCE JUSTIFICATION (4)

Describe how the applicant has considered and demonstrated trip reduction strategies that allow the access to properly function without creating a negative impact to the highway:

Due to the nature of the site, there is a no possibility for pass-by or internal trip reductions. Pedestrian, bike and transit reductions are possible for this land use but they are expected to be minimal. No trip reduction strategies were implemented within the TIA.

VARIANCE JUSTIFICATION (5)

Describe the traffic engineering or other studies the applicant has provided to determine the access will not degrade the efficient flow of traffic on the highway in terms of safety, capacity, travel speed, and other functional features of the highway.

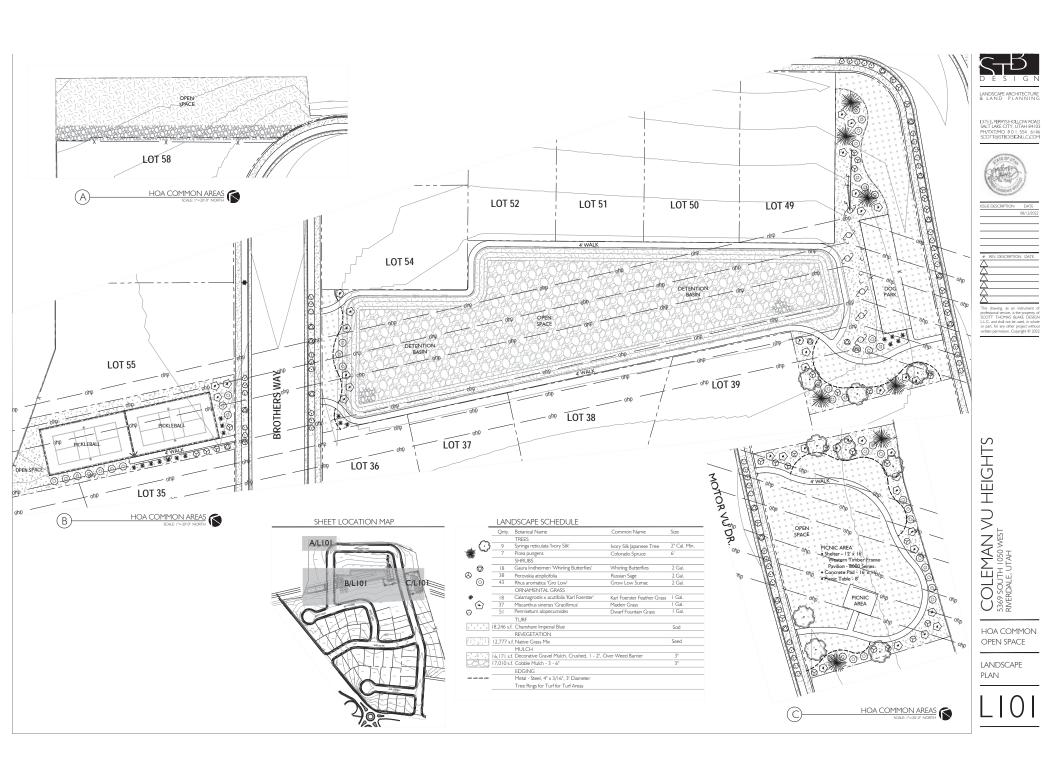
The proposed site traffic and access is projected to have minimal impact to the state road relative to degrading the safety and capacity. The access is providing a left turn deceleration lane in the two way left turn lane and right turn deceleration can occur within the shoulder. These mitigations will move decelerating traffic out of the travel lanes decreasing the impact on safety, travel speed and capacity of the roadway.

LIST OF ATTACHED DOCUMENTS

In the spaces provided below please list each document being attached in support of this variance request.

#	Description	#	Description	#	Description
1	Riverdale UDOT Variance Image	5		9	
2		6		10	
3		7		11	
4		8		12	

APPLICANT/OWNER CERTIFICATION AND ACKNOWLEDGEMENT The applicant and owner declare under the penalty of perjury, and any other applicable state or federal law, that all information provided on this form and submitted attachments are true, factual, and accurate. The applicant and owner also hereby acknowledge any false or misleading information contained herein is grounds for variance denial and/or permit revocation. Owner Name (Printed): Sign Name: Date: **Applicant Name (Printed):** Sign Name: Date: **INTERNAL UDOT USE ONLY** Pursuant to Utah Administrative Code R930-6-9(2)(b), the Department shall not approve variances that, in the Department's determination, pose hazards to public mobility, health, safety, and welfare. The Department shall not approve variances for procedural requirements. The department shall review the variance request for consistency with the purposes of this rule. Pursuant to Utah Administrative Code R930-6-9(2)(d), the Department shall include in its files documentation of reasons for approving or denying a variance request. This form is established, in part, to fulfill this legal requirement. Pursuant to Utah Administrative Code R930-6-9(2)(e), an approved access or encroachment permit may stipulate conditions and terms for the expiration of the permit when the necessity for the variance no longer exists. It may also require the permittee to improve, modify, eliminate, or correct the condition responsible for the variance when it is evident that the justification for the variance is no longer valid. Such stipulations and requirements shall be stated in the approved permit. **REGION PERMITTING OPERATIONS OFFICE RECOMMENDATION** Basis for recommendation: **RECOMMENDED FOR: APPROVAL DENIAL** Name (Printed): Date: Sign Name: REGION ENGINEER FINAL DETERMINATION **APPROVED DENIED** Name (Printed): Sign Name: Date:





COLEMAN VU ESTATES

5368 SOUTH 1050 WEST RIVERDALE, UTAH



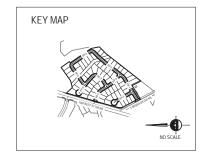
INDEX OF DRAWINGS

INDEX OF	Brawnes		
1-1	PHASE 1 SUBDIVISION PLAT	PP-0	PLAN AND PROFILE KEY MAP
1-1	PHASE 2 SUBDIVISION PLAT	PP-1	PLAN AND PROFILE CENTURY WAY
1-2	PHASE 3 SUBDIVISION PLAT	PP-2	PLAN AND PROFILE CENTURY WAY
2-2	PHASE 3 SUBDIVISION PLAT	PP-3	PLAN AND PROFILE CENTURY WAY / UNIVERSAL STREET
C-001	GENERAL NOTES	PP-4	PLAN AND PROFILE UNIVERSAL STREET
C-100	DEMOLITION PLAN	PP-5	PLAN AND PROFILE MOTOR VU DRIVE
C-200	SITE PLAN	PP-6	PLAN AND PROFILE MOTOR VU DRIVE
C-300	GRADING AND DRAINAGE PLAN	PP-7	PLAN AND PROFILE COLUMBIA COURT
C-400	UTILITY PLAN	PP-8	PLAN AND PROFILE PARAMOUNT COVE / PARAMOUNT DRIVE
C-500	EROSION CONTROL PLAN	PP-9	PLAN AND PROFILE PARAMOUNT DRIVE
		C-600	DETAILS

NOTICE TO CONTRACTOR

ALL CONTRACTIONS AND SUBCONTRACTORS PERFORMEN, MORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONTRACT THE OPERATIONS SO THAT ALL LEMPORTES ARE PROVIDED AS ASPER PAGE TO MORK AND THE PRINCE OF PROTECTIO ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMEY WITH THE "COCUMENTORS ASPETY AND RELATIVE REGULATIONS OF THE U.S DEPARTMENT OF LABOR AND THE STATE OF THAT DEPARTMENT OF ROLLETION SHEETY AND RELATIVE CONSTRUCTION SHEETY ORDERS." THE CONTRACTORS AND THE STATE OF THAT DEPARTMENT OF ROLLETION SHEETY AND RELATIVE CONSTRUCTION SHEETY ORDERS. THE CONTRACTORS AND SHEAT OF THE CONTRACTORS AND SHEAT OF

CONTINCTOR FURTHER AGRESS TO ASSIME SOLE AND COMPLETE RESPONSIBILITY FOR JUB-STEE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUMES SHETT OF ALL RESCORS AND PROPERTY, THAT THIS CONTINCTION SHETT OF THE PROPERTY THAT THIS CONTINCTION SHELD AND ENGINEER OF THE PROPERTY THAT THIS CONTINCTION SHELD ADDRESS DIRECTION AND THE OWNER AND THE OWNER FOR ANY ADDRESS STREAM ANY ADDRESS AND ANY ADDRESS STREAM ANY ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS A





NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENCINEERING PRODUCT. ANY WORK UNDERTRAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTRAKEN. IS CALLED WITH THE OF BOILS, ESTIMATION,

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECEFULLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UILLIES AS SKOWN ON THESE PLANS IS MASED ON RECORDS OF THE WOODLD UITLIN' COMPANIES AND WHERE PLOSSIBLE MISCOSERIANTS INSERT IN HE FIRED THE REPORNMENTOR SHOT OF THE RELEGIO AND STREET CONCENSET. THE MISCOSERIANTS INSERT IN HE FIRED THE REPORT OF THE PROPERTY OF THE CONTRACTOR TO RELOCATE ALL DESISTED UITLIES WHEN CHECKED WITH THE PROPERTY SHOW MADERNING SHOWN OF THE CONTRACTOR TO RELOCATE ALL DESISTED UITLIES WHEN CHECKED WITH THE PROPERTY SHOWN THE SHOWN SHOWN THE SHOP

GENERAL NOTES

- ALL WORK SHALL CONFORM TO RIVERDALE CITY STANDARDS & SPECIFICATIONS
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- BENCHMARK ELEVATION WEST CORNER SECTION 18. TSN. RZW SALT LAKE BASE & MERIDIAN. ELEV. 4390.4
- OWNER INFORMATION: GOLDCREST HOMES, 9730 SOUTH 700 EAST, SANDY, UTAH 84070, ADAM ANDERSON, 385-290-0040
- APPROVING AGENCY: RIVERDALE CITY, 4600 SOUTH WEBER RIVER DRIVE, RIVERDALE, UTAH 84405

ENSIGN

SALT LAKE CITY 45 W. 10000 S., Suite 500 Sandy, UT 84070 Phone: 801.255.0529

LAYTON Phone: 801.547.1100

TOOELE Phone: 435.843.3590 CEDAR CITY Phone: 435.865.1453

RICHFIELD Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR: GOLDCREST HOMES 9730 SOUTH 700 EAST SANDY, UTAH 84070 CONTACT:

SANDY, UTAH 84070 CONTACT: ADAM ANDERSON PHONE: 385-200-0040

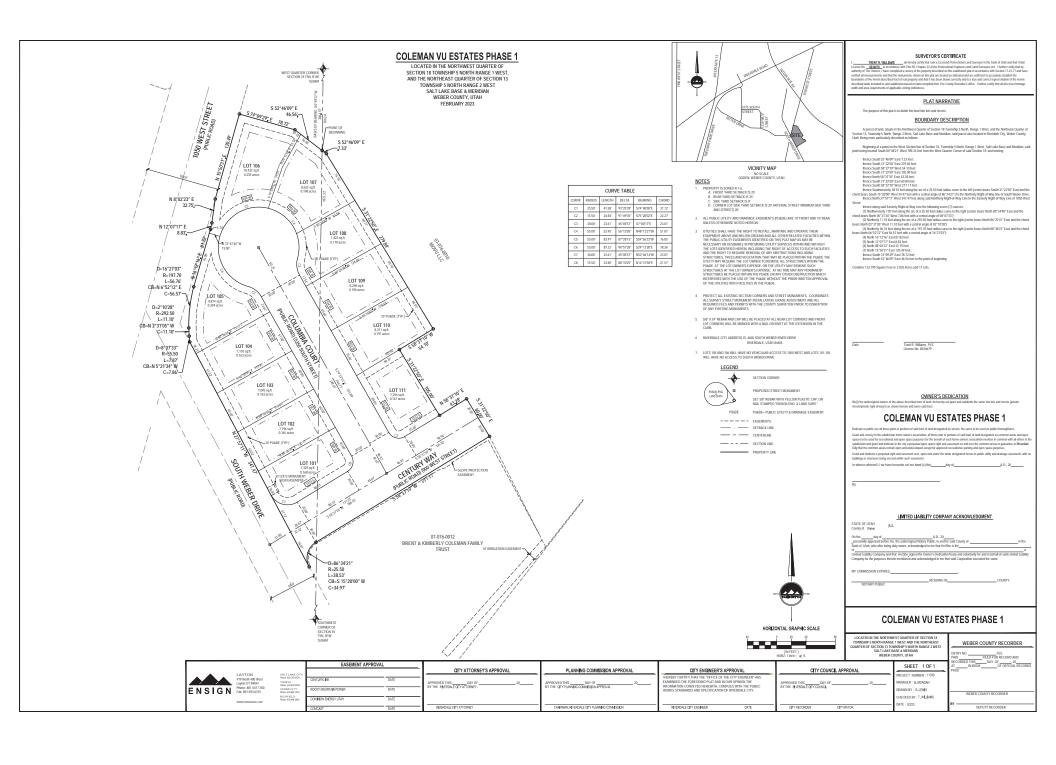
COLEMAN VU ESTATES

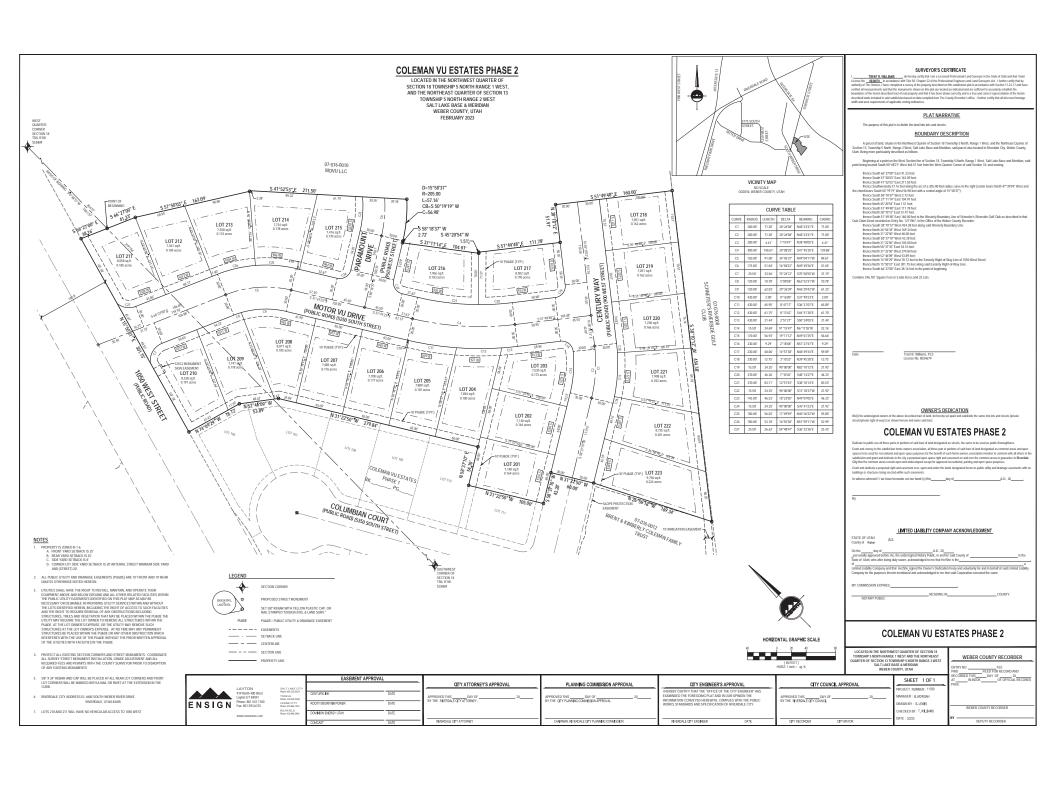
5368 SOUTH 1050 WEST RIVERDALE, UTAH

2023-03-02 FOR REVIEW

COVER

SECT NUMBER PRINT DATE
339B 3/2/23
AVERY ORICKED BY
S BAM





COLEMAN VU ESTATES PHASE 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 18 TOWNSHIP 5 NORTH RANGE 1 WEST AND THE NORTHEAST QUARTER OF SECTION 13 SALT LAKE BASE & MERIDIAN WEBER COUNTY, UTAH FEBRUARY 2023



CURVE TABLE							CURVE TABLE							CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD	1	CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD	ı	CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	2000.00	244.35	7"00'00"	S41°40′12′W	244.19'		C14	15.50"	19.28'	71"16'34"	S89"33"31"E	18.06"		C27	205.00'	9.95	2"46'50"	N39"33"37"E	9.95"
C2	65.00	90.42	79"42'00"	N5°19'12'E	83.30'	1	C15	30.00	8.85"	16"54"40"	S45"27"54"E	8.82"		C28	95.00"	39.42	23"46'27"	N26"16'59"E	39.14"
C3	45.00	71.21'	90"40'00"	N79°51'48'W	64.01"]	C16	30.00	19.40'	37"03'26"	S18*28'51'E	19.07		C29	95.00"	55.42	33"25'21"	N2"18'55"W	54.63'
C4	380.00'	44.58	6"43"18"	N50133351W	44.55		C17	55.00"	62.45	65"03'23"	N32*28'50'W	59.15'		C30	95.00"	46.71"	28"10'20"	N33"06'46"W	46.24
C5	65.00	96.85	85"22'08"	N4°30′52′W	88.13'	1	C18	55.00	95.18'	99"08'58"	S65°25'00'W	83.74'		C31	410.00"	48.10'	6"43"18"	N50°33'35'W	48.07
C6	175.00	9.67	3"10'03"	N39"45"13"E	9.67		C19	55.00"	93.41	97"18'43"	S32"48"51"E	82.58'		C32	15.50"	29.41'	108"43'26"	S0*26'29'W	25.19
C7	1970.00	4.20	0°07'19"	S38*13'52'W	4.20"	1	C20	55.00"	6.73	7"00'39"	S84"58'32"E	6.73		C33	15.00"	23.74	90"40'00"	N79°51'48'W	21.34'
C8	1970.00	158.06"	4"35'50"	S40°35'26'W	158.02"]	C21	30.00	18.10'	34"33'37"	N71*12'02'W	17.82'		C34	35.00"	48.69	79"42'00"	N5*19'12'E	44.85
C9	1970.00	75.00'	2"10'53"	S43°58'48'W	75.00'	1	C22	350.00'	20.35"	3*1955*	N52*15'16'W	20.35		C35	2030.00'	141.33	3"59'20"	S43*10'32'W	141.30
C10	1970.00	3.41'	0"05'58"	S45°07'13'W	3.41"	1	C23	350.00'	20.71	3"23'23"	N48*53'37'W	20.70		C36	2030.00'	73.86	2"05'05"	S40108'20'W	73.85'
C11	95.00	132.15	79"42'00"	N5"19'12'E	121.75		C24	35.00	52.15	85"22'08"	N4°30'52'W	47.46		C37	2030.00'	32.82	0"55'35"	S38,38,00,M	32.82'
C12	75.00'	53.27	40"41"55"	N54*5Z45'W	52.16'	1	C25	145.00'	4.44	1"45'20"	N39°02'52'E	4.44"		C38	65.00"	76.27	67"13'59"	S83*09'25"W	71.97
C13	75.00	65.41"	49"5805"	\$79°47'15'W	63.35	1	C26	205.00	62.111	17"21"35"	N49*3750°F	61.87							



VICINITY MAP

- NOTES

 1. PROPERTY IS ZONED R. 1.4.

 A FRONT YARD SETBLACK IS 25°

 B. REARY VARD SETBLACK IS 25°

 C. SIGN YARD SETBLACK IS 25°

 D. CORRER OLD SETBLACK IS 26°

 AND STREAKE PLAY.

 AND STREAKE PLAY.

 AND STREAKE PLAY.
- ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (PUBDE) ARE 10' FRONT AND 10' REAR UNLESS OTHERWISE NOTED HEREON.
- URLES OTHERWISE NOTICE RESIDENCE.

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- RIVERDALE CITY ADDRESS IS: 4600 SOUTH WEBER RIVER DRIVE RIVERDALE, UTAH 84405
- 7. LOTS 317 AND 318 WILL HAVE NO VEHICULAR ACCESS TO 1050 WEST
- DISTURBANCE OF ANY IMPROVEMENTS WITHIN THE IRRIGATION EASEMENT SHOWN ON THIS PLAT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION COMPANY TO REPLACE OR REPAIR AT THEIR EXPENSE.

IRRIGATION EASEMENT

Beginning at a point on the Easterly Right-of-Way line of 1050 West Street, said point being located South 00'4821' West 227.71 feet along the Section Line and East 24.56 feet from the West Quarter Corner of Section 18, Township 5 North, Range 1 West, Sait Lake Base and Moristian and numing

thonce South 65' 08'4V" East 77.58 feet thonce Neith 39'17.10' East 83.37 feet thonce Neith 39'17.10' East 83.37 feet thonce South 47.37 East 10.08 feet thonce South 37'17.10' Weet 989 Feet thonce South 39'17.10' Weet 989 Feet thonce Neith 57' 05'4V' Weet 82.75 feet in the Easterly Right el-Way line of 1050 Weet Stored thonce Neith 57' 95'30'11' East 10'12' feet all story saled Easterly Right el-Way line to the point of thonce Neith 57' 95'30'11' East 10'12' feet all story saled Easterly Right el-Way line to the point of

Contains 1,673 Square Feet or 0.038 Acres.

SURVEYOR'S CERTIFICATE

The purpose of this plat is to divide the land into lots and streets.

BOUNDARY DESCRIPTION

A parcel of land, situate in the Northwest Quarter of Section 18 Township 5 North, Range 1 West, and the Northwest Quarter of Section 13, Township 5 North, Range 2 West, Salt Lake Base and Meridian, said parcel also located in Riverdale City, Weber County, Ulah Being more particularly described as follows:

returning the Cardian Signal of Way Lose of 100 Med Sheet, and paint also has been for CHET VIEW IN 18th from the Cardian Signal of Way Lose of 100 Med Sheet, and paint also have been shown to the Chet Sheet Sh

Date

Contains 464.786 Square Feet or 10.670 Acres. 34 Lots and 4 Open Space Parcels.

Trent R. Williams, PLS	
License No. 8034679	

OWNER'S DEDICATION

COLEMAN VU ESTATES PHASE 3 Dedicate to public use all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughtan

Const and consey to the substitution from centers accordant, all those part or portions of said trant of land designated as common areas, and open agrees to be used the consortational and open appears for the posted from the most accordant management or common with all affects accordant on adjust and confidence in the city open pages agrees agree right and exament on and over the common areas to guarantee to Bivertable CRylly with the common areas remain pages and acceleration pages of common accordant and the city of the common acceleration and confidence to the common acceleration to the city of the common acceleration and confidence to the common acceleration to the city of the common acceleration and common acceleration and common acceleration and common acceleration and common acceleration acceleration acceleration acceleration and common acceleration acceler Grant and dedicate a perpetual right and easoment over, upon and under the lands designated heren as public utility and drainage ear buildings or structures being exected within such easoments. In witness whereof I / we have hereunto set our hand (s) this day of

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH |S.S. of Limited Liability Company and that Hei'She signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned and acknowledged to me that said Corporation executed the same.

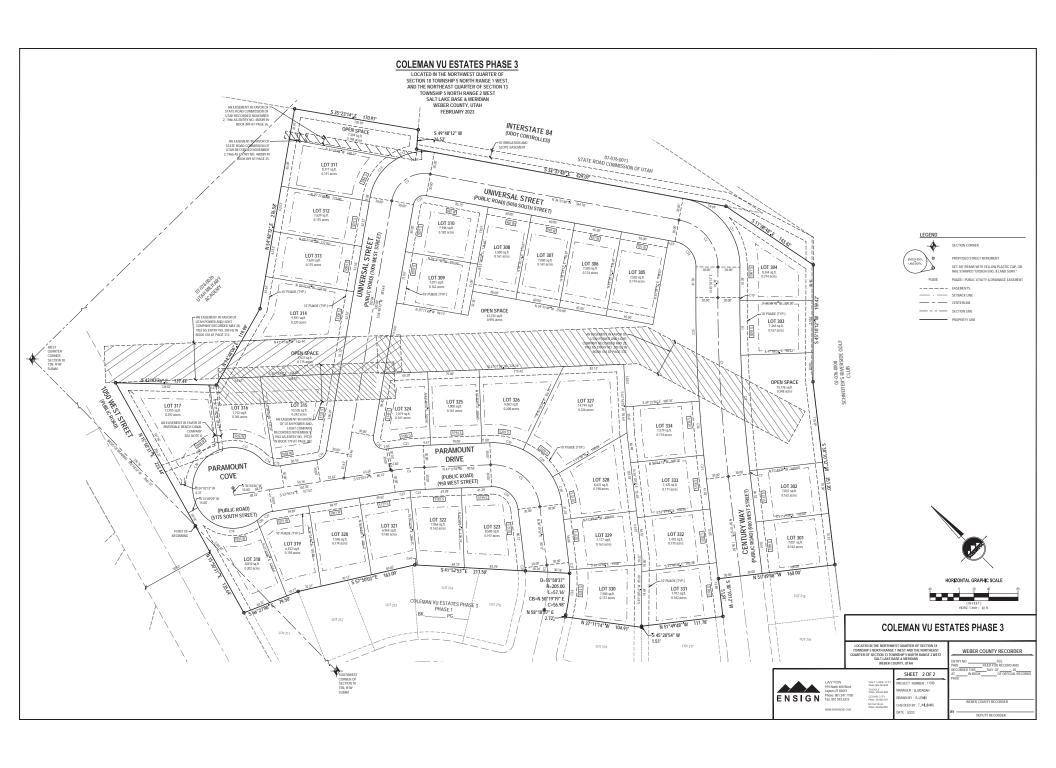
NOTARY PUBLIC RESIDING IN_

COLEMAN VU ESTATES PHASE 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 18 TOWNSHIP 5 NORTH RANGE 1 WEST AND THE NORTHEAST QUARTER OF SECTION 13 TOWNSHIP 5 NORTH RANGE 2 WEST

WEBER COUNTY RECORDER

_								BASE & MERIDIAN COUNTY, UTAH	ENTRY NOFEE PAIDFILED FOR RECORD AND
	LAYTON 719 Namh 600 Wel 1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-	EASEMENT APPROVAL CONTUNTAR CONTUNTAR POWER CONTUNTAR	CITY ATTORNEY'S APPROVAL APPROVED THIS SKY OF 20 BY THE INJURIOUS CITY ATTORNEY. 20	PLANNING COMMISSION APPROVAL APPROVED THES DAY OF THE CITY FLANNING COMMISSION APPROVAL 20 20	CITY ENGINEER'S APPROVAL INSIGHT CHERT THAT THE TOTIC OF THE CITY ENGINEER HAS SOMEOCHAST OF THE THE TOTIC OF THE CITY ENGINEER HAS SOMEOCHAST OF THE TOTIC OF THE CITY OF THE CITY WORKS STANDARDS AND SPECIFICATION OF RIVERDALE CITY.	APPROVED THIS DAY OF BY THE RIVERBULE CITY COUNCIL.	, 20	SHEET 1 OF 2 PROJECT NUMBER: 11830 MANAGER: 8, MORGAN DRAWN BY: S. LEVIS CHECKED BY: T. VALLIMAS DATE: 32/23	RECORDED THIS DAY OF 20 AT N BOOK OF OFFICIAL RECORDS PAGE WEBER COUNTY RECORDER BY
		CONCAST DATE	RIVERDALE CITY ATTORNEY	CHAIRWAN, RIVERDALE CITY PLANNING CONNISSION	RIVERDALE CITY ENGINEER DATE	CITY RECORDER CITY	WAYOR	2000	DEPUTY RECORDER



GENERAL NOTES

- ALL CONSTRUCTION MUST DIVERDALE CITY, APWA (C LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO.

 IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLIDING BUT NOT LIMITED TO CUIT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATIONIBACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- 3. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- A PAPPONALS NAVE BEEN ORSTAND, ITEL CONTINUE DE TOMES DE RESPUNSIBLE FOR YEART THRO THAT ALL NEUDIRED PERMITS AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 11. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL LITELITY COMPANY RECORDS. IT SHALL BE THE CONTRACTIONS FOR ELLA RESPONSE UPON TO CONTRACT THE VARIOUS DITLITY COMPANES TO LOCALET THERE FACILITIES PROPRE OF PROCEEDING WITH CONTRIGUENT ON ADDICATIONAL COMPRESATION SHALL BE PAID TO THE CONTRACTION FOR DAMAGE AND RESPAR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL SHART BISTALLITIONS ALT DOP POINT OF ALL BENEFACTIVE FOR CHAPTER CHAPTER CONTRACTOR SHALL SHART CHAPTER CHAP
- 12. ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTBY THE ENGINEER F ANY DISCRETANCIES EXIST, FROM TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY FALM OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID THE ECONOMISMOR HAWING TO BE RECORD FOUR TO THE DIMENSIONS OR GRADE'S SHOWN INCORRECTLY ON THESE PLAYS, IF SUCH AND INTERCRETANCE OF THE DIMENSIONS OR GRADE'S SHOWN INCORRECTLY ON THESE PLAYS, IF SUCH AND INTERCRETANCE OF THE PAIR SHOWN INCORRECTLY ON THESE PLAYS, IF SUCH AND INTERCRETANCE OF THE PAIR SHOWN INCORRECTLY ON THESE PLAYS, IF SUCH AND INTERCRETANCE OF THE PAIR SHOWN INCORRECTLY ON THESE PLAYS, IF SUCH AND INTERCRETANCE OF THE PAIR SHOWN INCORRECTLY ON THESE PLAYS, IF SUCH AND INTERCRETANCE OF THE PAIR SHOWN INCORRECTLY ON THESE PLAYS, IF SUCH AND INTERCRETANCE OF THE PAIR SHOWN INCORRECTLY ON THESE PLAYS, IF SUCH AND INCORRECTLY ON THESE PLAYS, IF SUCH AND INCORPORATION IN THE PAIR SHOWN INCORRECTLY ON THESE PLAYS, IF SUCH AND INCORPORATION IN THE PAIR SHOWN INCORPORATION IN THE PAIR SHOWN IN
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- 14. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- 15. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- THE DESIGNATION OF THE STATE OF
- THATE BELOW IS SEQUENTED TO LOCATE AND POINT. ALL EXPENSION FOR SECURITY THAN 5 ROTH INFORMATIALY AND VIRTUALLY CONTINUED. IN SECURITY AND SECURITY
- F THE CONTRACTOR FALLS TO FALLOW THEN RESOURCE REQUIREMENT AND CONTRACTOR AND EXPRESS CONTRACTIONS THE FITTED THE CONTRACTOR FALLOW THE CONTRACTOR AND THE CONTRACTOR
- ORBITATION OF A CHARACTER DESTRUCTURES AND RESIDENTIAL STREET OF MOTHER ASPECT OF PROPOSED CONCENTRATION OF THE ASPECT OF
- 17. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO COMMED
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- 20. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY
- 21. CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- 22. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- 23. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIE UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY ACENCY'S STANDARD SPECIFICATIO RE-TESTING AND/OR RE-INSPECTION SHALL BE FAND FOR BY THE CONTRACTOR.
- 24. E DISTING REPROVERENTS NEED TO BE DISTURBED AND/DRIFFUNDED TO THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED THE HESE FARS. THE CONTRACTOR SHE BE REPROSEDE FOR PROTECTING DESIGNA APPROVEMENTS FORM DAMAGE. COST OF REPLACANOE REPROFESSIONS ASSESSED AND SHE DISTURBED THE HEAD PROFESSION DESIGNATIONS SHELL BE RELIED THE HEAD PROFESSION DESIGNATIONS SHELL BE RELIED THE HEAD PROFESSION DESIGNATION SHELL BE RELIED THE HEAD PROFESSION DESIGNATION OF THE PLACEMENT. THESE WAS ABLE FOR DESIGNATION OF THE MOST PROPERATIONS OF REPROVALENCES.
- WHE NEVER MS NIGHT ACLITIES ARE HEADYFUL DRAWGELD BROKEN, OR CUIT IN THE INSTALLATION OF THE WORK CUPERED BY THESE PLANS OR SPECIFICATIONS, SADE PACIFIES SMALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXSTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER. AND THE RESPECTIVE REGULATION'S AGENCY.
- 26. COMPRICTOR SHALL MARKETA KARA Y LYMEND ST. OF THE LASK SECOND CHARMEN CONTROL FOR THE ALL LICECTURES AND THE AND THE SECOND CHARMEN CONTROL SHALL SHA
- 27. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- 29 ALL EXISTING TREES ARE TO REMAIN LINESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE
- 30. ASPHALT MOX DESIGN MUST BE SUBMITTED AND APPROVED BY THE RIVERDALE CITY PRIOR TO THE PLACEMENT
- 31. CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE: UTAH PROMOTE AND 1 THE MUST INSLAND FOR THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DEPONDEN WATER REGULATIONS, PAYM ANNULL OF STRANDARD PLANS AND SPECEFACTIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW 'DRY UTILITIES' WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- A CARE SHOULD BE TAKEN IN ALL EVEN MATIONS DUE TO BOSSIBLE EVISTENCE OF LINDECORDED LITTLITY LINES. EVEN MATION
- TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APMA STANDARD SPECIFICATIONS (CURR
 EDITION, SECTION 33 65 30 BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE
 MATERIALS ARE USED. NO NATIVE WHETERIALS ARE ALLOWED IN THE PIRE ZONE. THE MAXIMUM LET FOR BACKFILLING
 EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
- 7. THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS WICLIDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCANATION. IT IS THE CONTRACTORS SESPONSIBILITY TO GRAIN PERMISSION MODER SEASMINST SHOULT HE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WIGH OR STAGING CUTSIDE OF THE CONTRACT LIMIT.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING MY DAMAGE, CAUSED BY MY CONDITION INCLIDING SETTLEMENT, TO DISTRIBUTE STROM WORK PREFORMED AT OR NAME INSTRUMENTS. THE CONTRACTOR SHALL TAKE ALL MEASURES INSECREDANT OF PROTECT ALL SENSITION FEMALE AND ADMINIST REMOVING AND UNITY FACILITIES. DAMAGE TO DISTRIBUTE FACILITIES CAUSED BY THE CONTRACTOR MAST SER REPAIRED BY THE CONTRACTOR AT HIS-HER EMPENSE TO THE SATISFACTION OF MOMERS OF SIMPLECTION.
- 9. ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL RIVERDALE CITY'S
- 10. ALL MANHOLES, HYDRANTS, WALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED THING GRADE PER APPLY CHIRDREN'S FORTIONS OF ANNI MEDICATION DEVALUATION. THAT CHARLE PER APPRIA CURRENT EDITION) STANDARDS AND INSPECTION REQUIREMENTS. SOURCHE IS CULLARS MINST BE CONSTRUCTED ON ALL MAMMEDES, CLEANOUR BOXES, CATCH ABOXES, AND WALVES PER APPRIA STANDARDS. ALL MANHED CATCH BASIN, OR CLEANOUR BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED ON ESALED.
- 11. CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- 13. CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- 14. EACH TRENCH SHALL BE EXCAVATED SO THAT THE MPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRIANED SO THE MPE LAYNOR MAY TAKE PLACE IN DEWATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- 17. CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- 18. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAYING.
- 19. CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- 2. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALEBOAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF THE OPERATION OF THE PERIOD OF SIX CONSECUTIVE CALEBOARD STRONG BY SANCBLASTING. THE DETOURING STIPPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE RIVERDALE CITY FOR REVIEW AND APPROVIAL.
- 6. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE RIVERDALE CITY
- 7. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, RECAPOLESS OF THE STATUS OF COMPLETION OF PAYMOR OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUSSTOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- ATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVE AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION CONSTRUCTION.
- 2. THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENCINEER WHEN INFORESTED LITELITIES ARE
- 1 THE CONTRACTOR SHALL BE FILLY RESPONSED FOR DELICATING AND PROFITEDING FROM DAMAGE ALL EXESTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SOCIATION OF THE FLACE HE ALCELITIES AND IMPROVEMENTS WHE ELEVALD TO ACCURACY OF THE COLOSTORS. ANY COMPRESE OF PREFORMING WORK ON THIS PROFILE TO SHALL HARMLARGE WHISTELD WITH HE STEE AND SHALL BE HELD SOLELY RESPONSED FOR ANY DAMAGE TO DESTING FACILITIES STEEL THE DIRECTLY. OR RISDICTLY, FORMAN SOCIATIONS, ON MERTING ROWS TO SHOULTHEST SHALL SHA

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECEMBAN PLANTONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- ONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PRO NG AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COUNSE. THE AREA SHOULD BE PROOF ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ROCOUNTERED THE CONTRACTOR SHALL REMOVE THE SOIL AND REFLACE WITH COMPACTED FILL.
- 4. ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAID TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS
 TRAVELING THOSE STREETS.
- 8. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- 9. THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH RASHINS
- 10. THE LOCATIONS OF BURBERGROUND FACULTIES SHOWN ON THESE PLANS ARE BASED ON ON SITE SURVEY. IT SHALL BE THE CONTRACTORS FULL RESPONSEBILTY DO CONTACT THE WARDOUS UTILITY COMPRISES TO LOCATE THEIR FACULTIES. PRIOR TO PROCEEDING WITH CONSTRUCTION, NO ADDITIONAL COMPRESATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND SEPARTO THESE FACULTIES CALIFED SHY BURNEY FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS
 OF THIS PROJECT AND THE RELATED OFF-SITE WORK. SO AS TO GENERATE THE DESIRED SUBGRADE. FINISH GRADES, AND SLOPES SHOWN.
- 12. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL RECURRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- 14. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED. 15. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLIDING CONSCILIDATION OF BACKFILL OR DUST CONTROL IS PROVIDED THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WHATER FROM INVERBALE CITY.
- 16. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, BOCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY BEHAVIOR FROM THE PUBLICLY COMBEP PROPERTY DUBLIC CONSTRUCTION AND UPON COMPETION OF THE PROJECT. ALL ADMICENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

UDOT NOTES

- UDDT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHTOUT AT ANY TIME.
- 2. WORK ON THE UDOT RIGHT-OF-WAY IS SEASONALLY RESTRICTED FROM OCTOBER 15 TO APRIL 15.
- ROW WORK: WORK IS NOT ALLOWED ON THE RIGHT-OF-WAY DURING THE AMPM PEAK TRAFFIC HOURS (6:00 9:00 AM AND 3:30 6:00 PM). ADDITIONAL WORK RESTRICTIONS OR MODIFICATIONS MAY BE IMPOSED AT THE TIME OF THE EINCROCHMENT PERMIT.
- 4. REPLACE ALL PAVEMENT MARKINGS IN KIND (TAPE WITH TAPE AND PAINT WITH PAINT), INSTALL ALL PAINT LINES WITH PERMANENT PAINT APPLICATION PER LIDOT SPECIFICATION 02765. PAINT WITH PAINT). INSTALL ALL PAINT LINES WI DETERMINED BY LIDOT'S PERMITS OFFICER.
- 5. ALL NEW PAVEMENT WORDS, ARROWS AND SYMBOLS MARKING WITHIN THE RIGHT OF WAY SHALL BE PRE-FORMED T PLASTIC. ALL LETTERS, ARROWS, AND SYMBOLS SHALL COMFORM WITH THE "STANDARD ALPHABET FOR HIGHWAY SI AND PAVEMENT MARKINGS" ADOPTED BY THE FEBREA HIGHWAY SIMMINISTRATION.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
- BEFORE COMMENCING WORK ON THE STATE HIGHWAY, THE GENERAL CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE REGION'S PERMITS OFFICE BEFORE WORKING WITHIN THE STATE RIGHT-OF-WAY
- B. NO ROAD CUTS ALLOWED ON THIS JOB.
- 9. FOR ALL UTILITY TAPS (ROAD CUTS), USE FLOWABLE FILL PER UDOT'S CURRENT MIX DESIGN (50-150 PSI) UDOT SPEC. 03575
- 10. ALL UTILITIES WITHIN THE PAVED SURFACE MUST BE BORED

- OWNER, DEVELOPER, AND THE CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGE TO THE UDOT RIGHT-OF-WAY THAT MAY BE DIRECTLY OR INDIRECTLY CAUSED BY THE DEVELOPMENT ACTIVITY.
- 14. TRAFFIC SIGNAL INSTALLATION OR MODIFICATION REQUIRES A SEPARATE WARRANTY BOND ONCE THE WORK HAS BEEN COMPLETED AND ACCEPTED. THE PRIMITEE IS RESPONSIBLE FOR INSING AN INDEPENDENT INSPECTION COMPANY TO PERFORM INSPECTION SERVICES FOR ALL SIGNAL WORK COMPLETED. FOR A LIST OF THE UDD'T APPROVED CONTRACTORS AND CONSULTANTS CONTACT HAPPROPRIATE REGIONS TRAFFES SIGNALS SENDINCE.
- PARTIAL CONCRETE PANEL REPLACEMENT IS NOT ALLOWED. WHEN PANELS ARE REMOVED, THE ENTIRE PANEL IS
 REQUIRED TO BE REPLACED PER UDDT STANDARDS. SPECIFICATIONS. AND STANDARD DRAWNOS.
- 16. CORES SANCET PER CONFESSET DE MENEROTE ES CALLAGE OF CHES CONCESTE PARES, SE DO FARRO PER CONTE CORE CORTO DE PARES. SEL EXCEPTION DE METAL ACTUAL REPORTANCES I TURNA MONTE PARES AND CORTO DE CACCES PRIMA EL RESTA DUTAN AND METAL PER CONTENION DE LOS PROPRIEMENTS STANDAGES AND GUIELLES SECREMON CACCES PRIMATS AND ESTA DE PROPRIÉMENT CORTO DE PARES PER LOS CONTENIONS DE LOS CONTENIONS DE CONTENION DE LOS CONTENIONS DE CONTENION DE LOS CONTENIONS DE LOS
- ALL ABOVE GROUND FEATURES INCLUDING UTILITIES (POLES, FIRE HYDRANTS, BOXES, ETC.) MUST BE RELOCATED OUT OF THE AASHTO CLEAR ZONE OR A MINIMUM OF 18' BEHIND CURB.

APWA	AMERICAN PURLIC WORKS ASSOCIATION	EXIST	EXISTING
AR	ACCESSIBLE ROUTE	FF	FINISH FLOOR
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	FG	FINISH GRADE
AWWA	AMERICAN WATER WORKS ASSOCIATION	FH	FIRE HYDRANT
BOS	BOTTOM OF STEP	FL	FLOW LINE OR FLANGE
BVC	BEGIN VERTICAL CURVE	GB	GRADE BREAK
C	CURVE	GF	GARAGE FLOOR
CB	CATCH BASIN	GV	GATE VALVE
CF	CURB FACE OR CUBIC FEET	HC	HANDICAP
CO	CLEAN OUT	HP	HIGH POINT
COMM	COMMUNICATION	IRR	IRRIGATION
CONC	CONCRETE	K	RATE OF VERTICAL CURVA
CONT	CONTINUOUS	LD	LAND DRAIN
DIA	DIAMETER	LF	LINEAR FEET
DIP	DUCTILE IRON PIPE	LP	LOW POINT
ELEC	ELECTRICAL	MH	MANHOLE
ELEV	ELEVATION	MIN	MINIMUM
EOA	EDGE OF ASPHALT	MJ	MECHANICAL JOINT
EVC	END OF VERTICAL CURVE	NG	NATURAL GROUND

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET

LEGEND

EGEND			
+	SECTION CORNER		EXISTING EDGE OF ASPHALT
4	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
0	PROPOSED MONUMENT		EXISTING STRIPING
0	EXISTING REBAR AND CAP		PROPOSED STRIPING
0	SET ENSIGN REBAR AND CAP	x	EXISTING FENCE
Ö	EXISTING WATER METER	—х—	PROPOSED FENCE
8	PROPOSED WATER METER		EXISTING FLOW LINE
0	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
@	PROPOSED WATER MANHOLE		GRADE BREAK
77	EXISTING WATER BOX	- -st $-$ -	EXISTING STORM DRAIN LINE
×	EXISTING WATER VALVE	so	PROPOSED STORM DRAIN LINE
×	PROPOSED WATER VALVE		ROOF DRAIN LINE
200	EXISTING FIRE HYDRANT		CATCHMENTS
*	PROPOSED FIRE HYDRANT		HIGHWATER LINE
~	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
$\bar{\bowtie}$	EXISTING SECONDARY WATER VALVE	——ss——	PROPOSED SANITARY SEWER LINE
⋈	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
[3]	EXISTING IRRIGATION BOX	- $ H$ $ -$	EXISTING LAND DRAIN LINE
Ñ	EXISTING IRRIGATION VALVE	—п—	PROPOSED LAND DRAIN LINE
×	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
0	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
0	PROPOSED SANITARY SEWER MANHOLE	w	PROPOSED CULINARY WATER LINE
8	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
•	EXISTING STORM DRAIN CLEAN OUT BOX	sx	EXISTING SECONDARY WATER LINE
0	PROPOSED STORM DRAIN CLEAN OUT BOX	sw	PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
国	EXISTING STORM DRAIN CATCH BASIN	ir	EXISTING IRRIGATION LINE
Ξ	PROPOSED STORM DRAIN CATCH BASIN	—— IRR ——	PROPOSED IRRIGATION LINE
⊖≣	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
⊕▮	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE

EXISTING STORM DRAIN CULVERT PROPOSED STORM DRAIN CULVERT TEMPORARY SAG INLET PROTECTION

mmC TEMPORARY IN LINE INLET PROTECTION • ROOF DRAIN EXISTING FLECTRICAL MANHOLE EXISTING ELECTRICAL BOX EXISTING TRANSFORMER 200 B EXISTING UTILITY POLE

EXISTING LIGHT pondocen right

EXISTING GAS VALVE

1

(31)

63

Ñ EXISTING TELEPHONE MANHOLE 0 FOR EXCAVATIONS OUTSIDE OF THE ROADWAY, BACK FILL WITH UDOT APPROVED GRANULAR BORROW AND ROAD BASE. COMPACTION PER UDOT SPEC. 2056 AND 2721. EXISTING TELEPHONE BOX

OWNER, DEVELOPER, AND/OR THE CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.

EXISTING TREE DENSE VEGETATION NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET

ON CENTER ON CENTER EACH WAY OVERHEAD POWER

PUNIT OF INTERSECTION
PLASTIC IRRIGATION PIPE
POST INDICATOR VALVE
PROPERTY LINE
POINT OF REVERSE CURVATUR
PROPOSED
POINT OF VERTICAL CURVATUR
POINT OF VERTICAL CURVATUR
POINT OF VERTICAL TRESSECT
POINT OF VERTICAL TRANSENCY

POINT OF CURVATURE OR PRESSURE CLASS POINT OF COMPOUND CURVATURE POINT OF INTERSECTION

STA SW SWL TBC TOG TOA TOC TOF TOW TOS TYP

TOP BACK OF CURB TOP OF GRATE TOP OF ASPHALT TOP OF CONCRETE
TOP OF FOUNDATIO
TOP OF WALL
TOP OF STEP
TYPICAL
VERTICAL CURVE

WALL INDICATOR VALVE WATER LINE

EXISTING TRAFFIC SIGNAL BOX

EVICTING CARLE DOV

EXISTING SIGN

PROPOSED SIGN

PROPOSED SPOT ELEVATION

EXISTING SPOT ELEVATION

EXISTING FLOW DIRECTION

— — : — — EXISTING TELEPHONE LINE ACCESSIBLE ROUTE · · · · · · · · SAW CUT LINE STRAW WATTLE TEMPORARY BERM TEMPORARY SILT FENCE E====== EXISTING WALL PROPOSED WALL PROPOSED CONTOURS

BUILDABLE AREA WITHIN SETBACKS

PUBLIC DRAINAGE EASEMENT EXISTING ASPHALT TO BE REMOVED PROPOSED ASPHALT P. こうでです Existing CURB AND GUTTER PROPOSED CURB AND GUTTER PROPOSED REVERSE PAN CURB AND GUTTER TRANSITION TO REVERSE PAN CURB CONCRETE TO BE REMOVED EXISTING CONCRETE PROPOSED CONCRETE SULLDING TO BE REMOVED EXISTING BUILDING PROPOSED BUILDING

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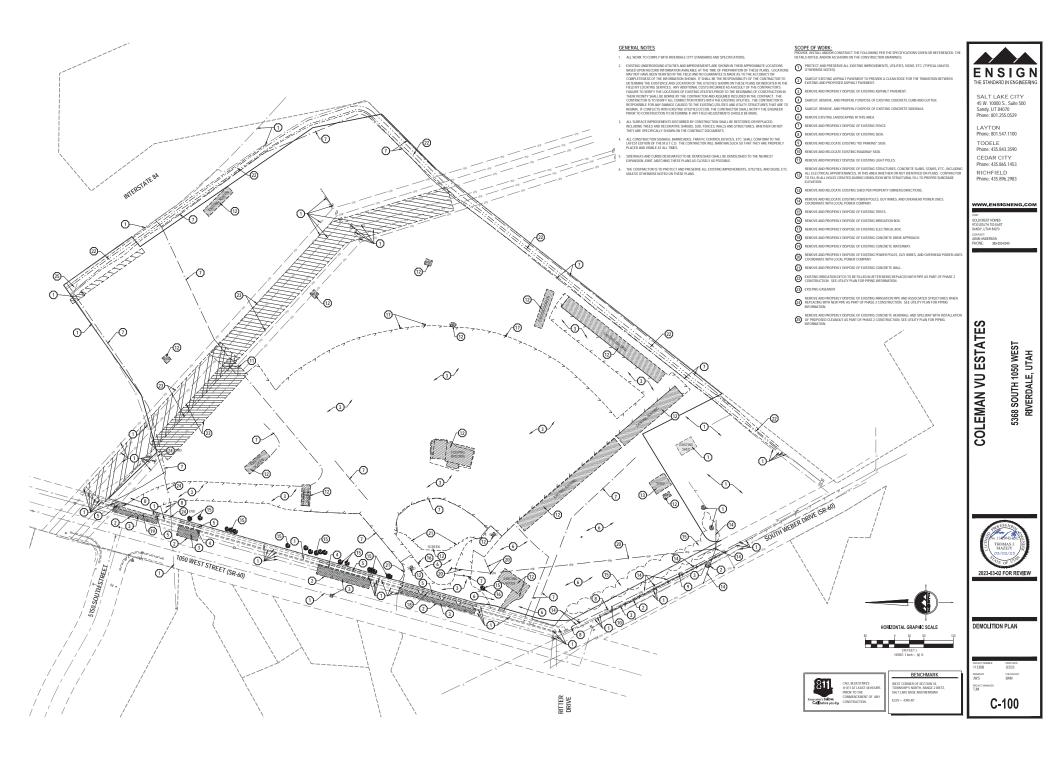
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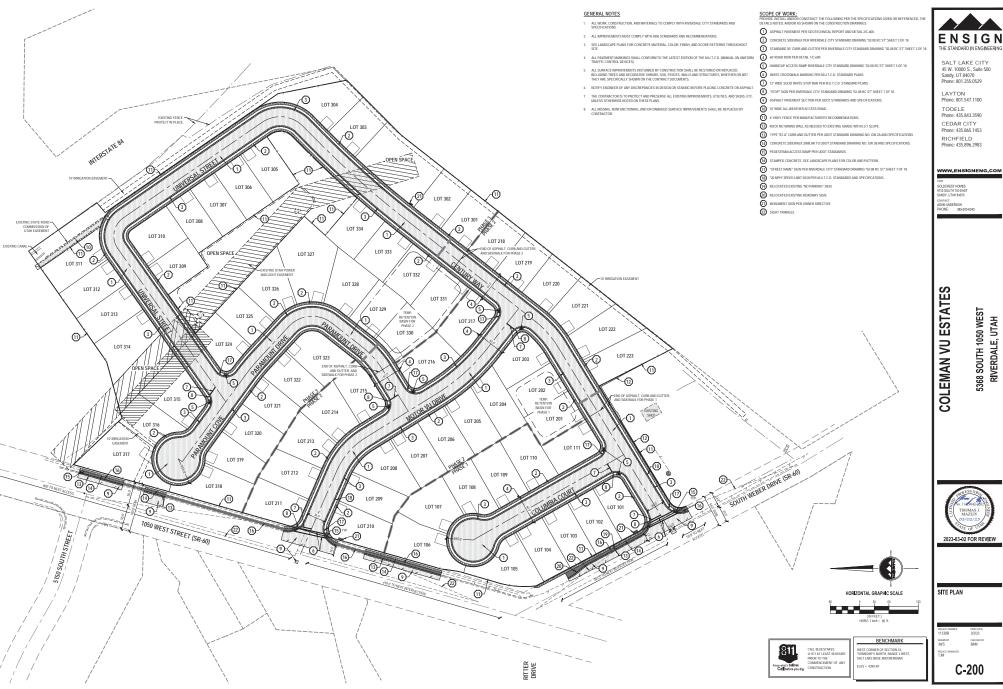


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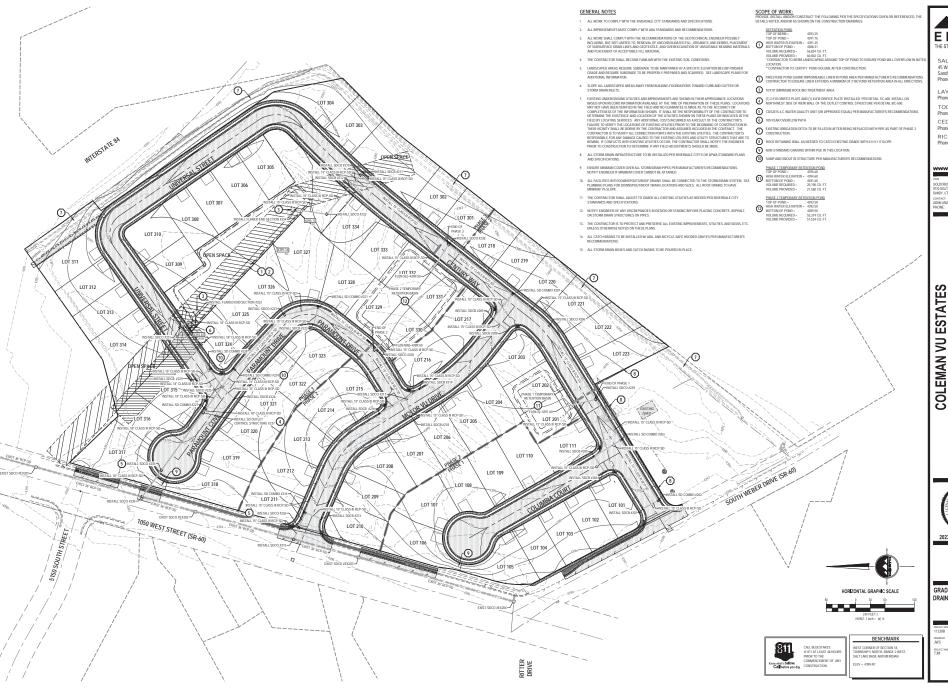
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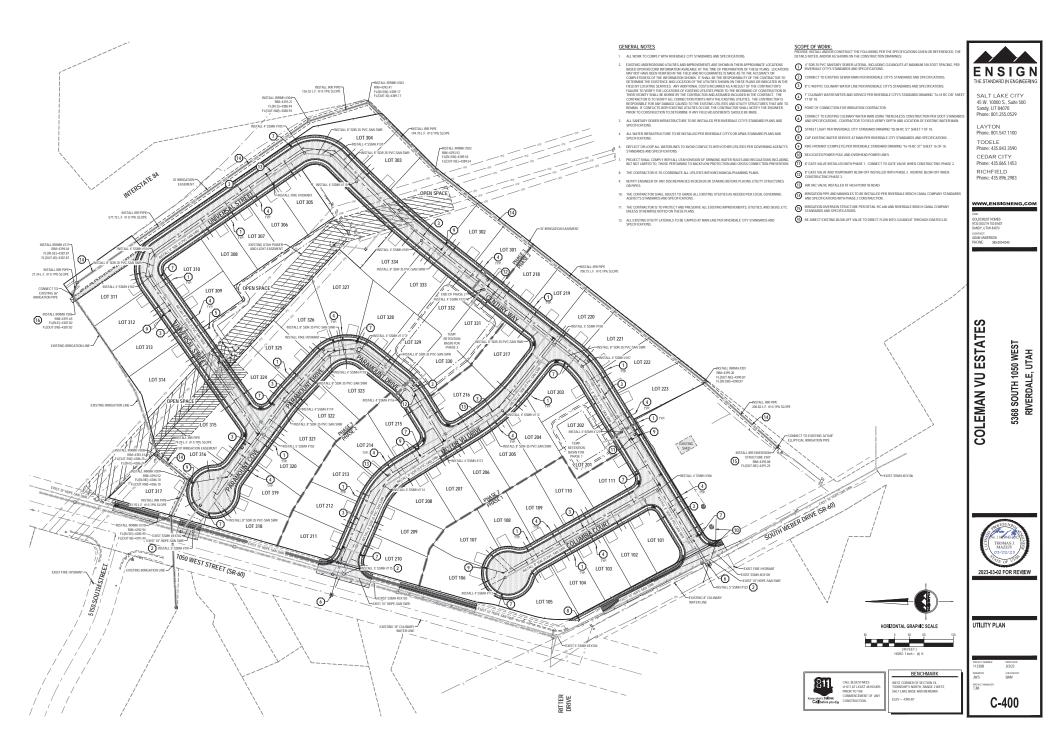
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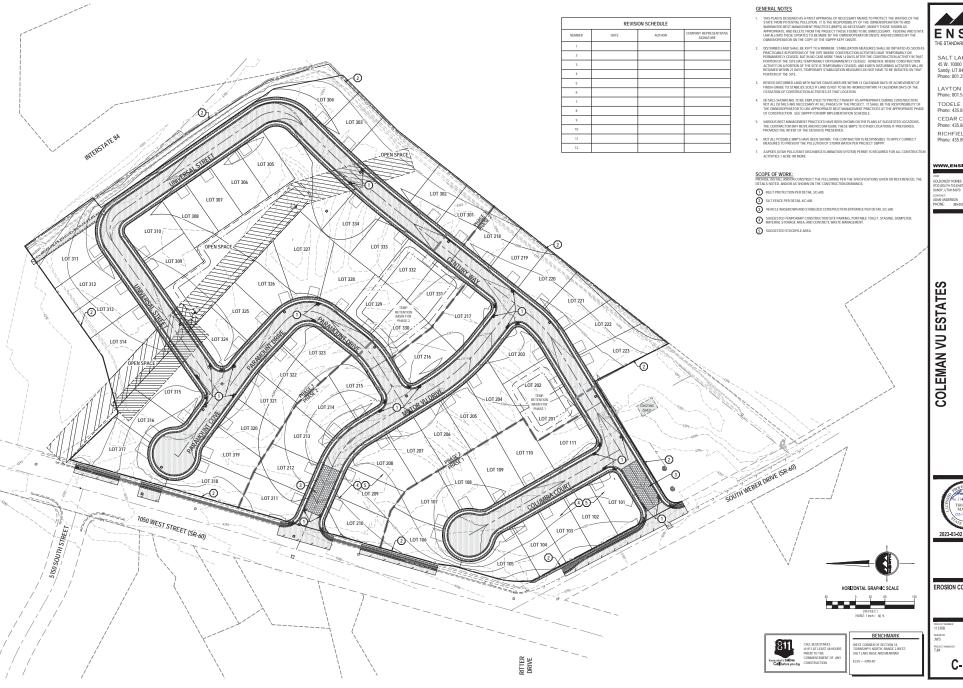
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2023-03-02 FOR REVIEW

GRADING AND DRAINAGE PLAN

C-300





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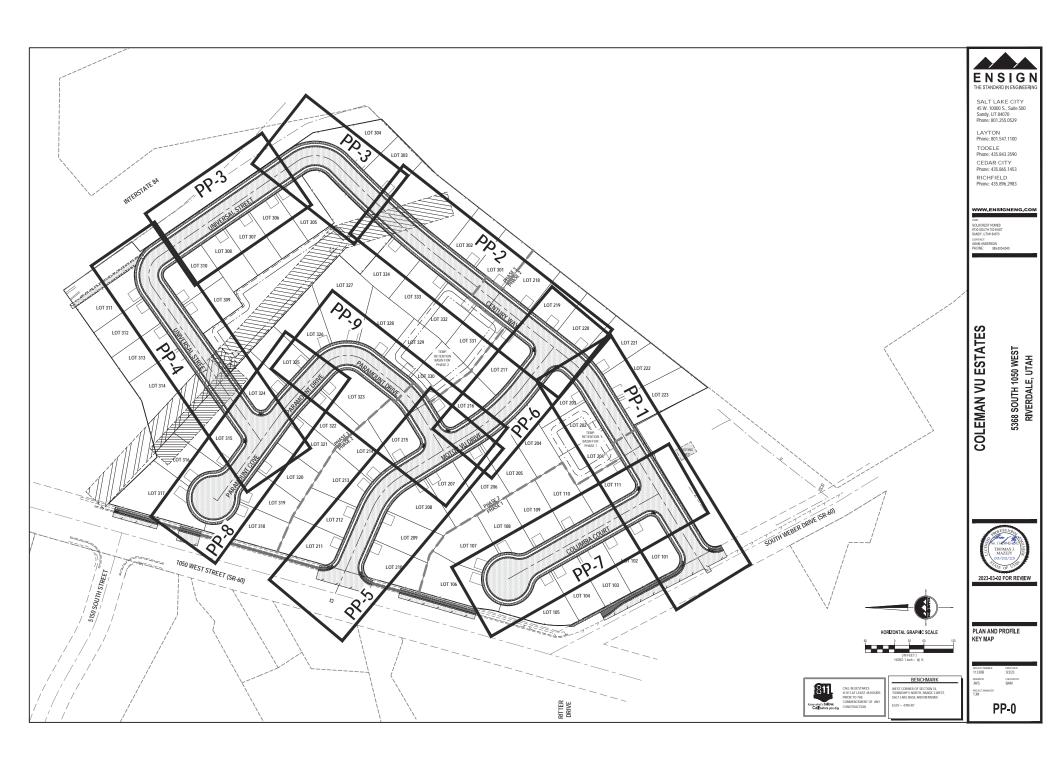
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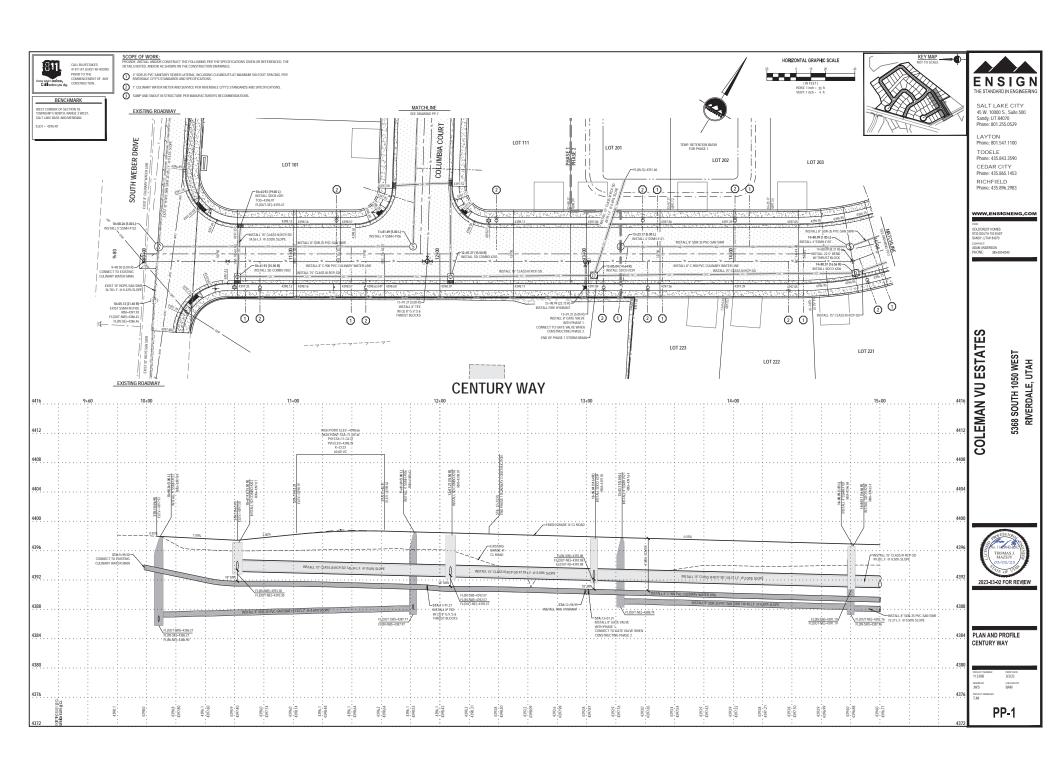
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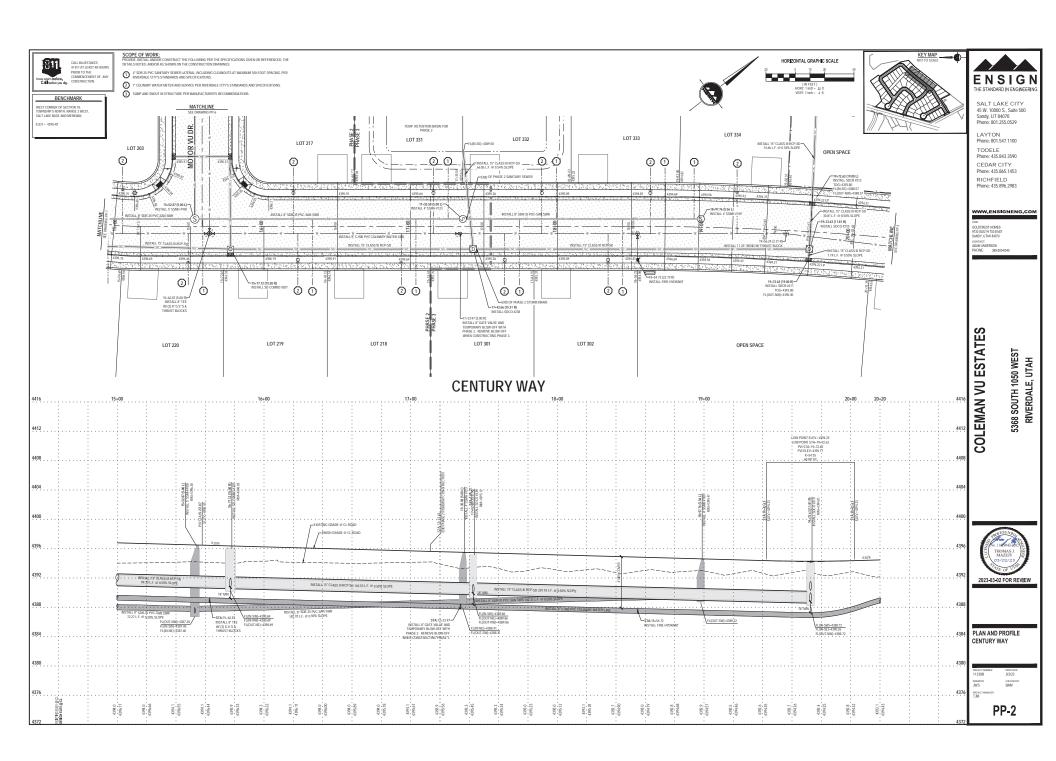
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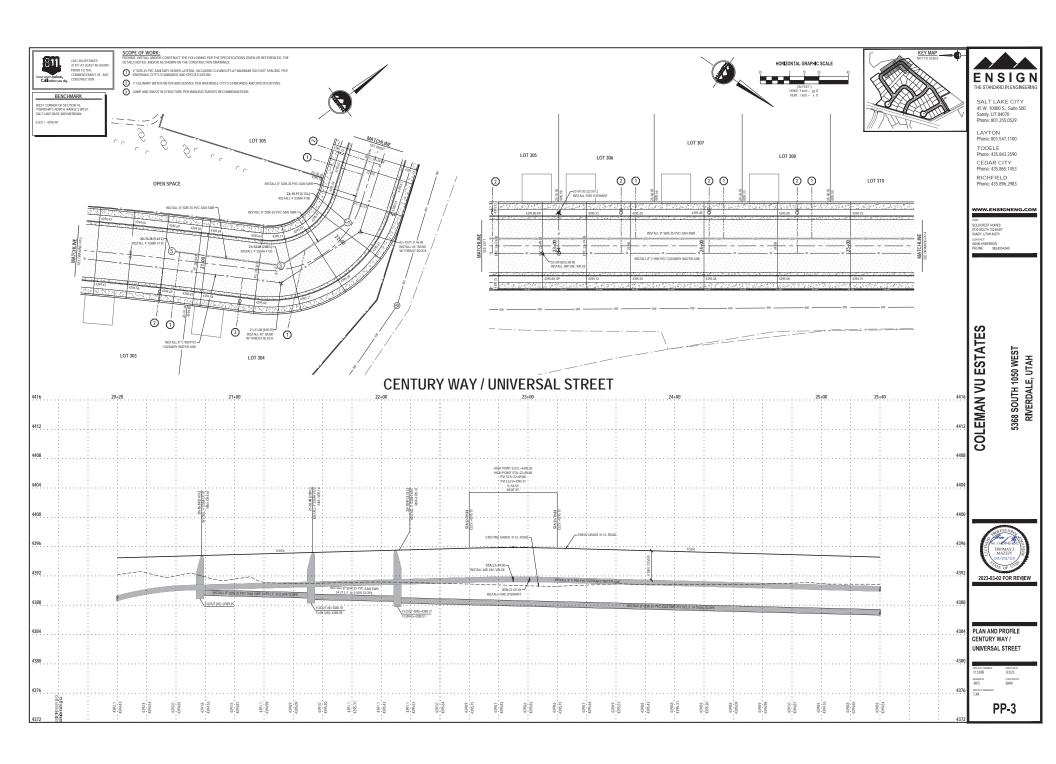
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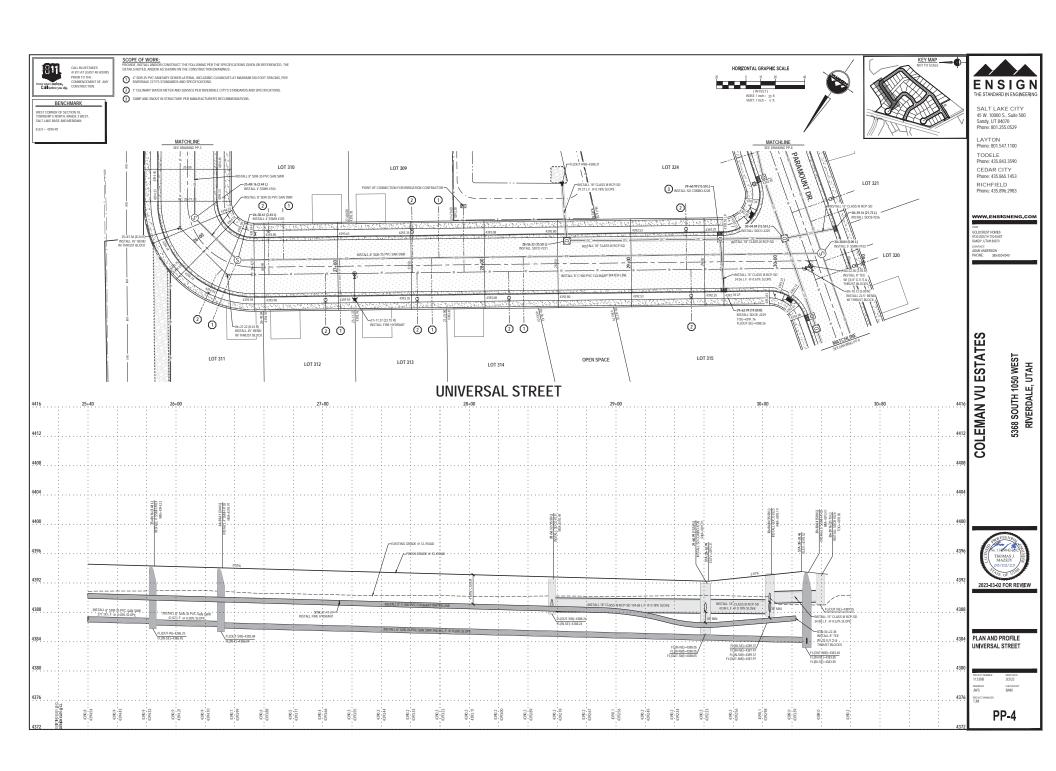
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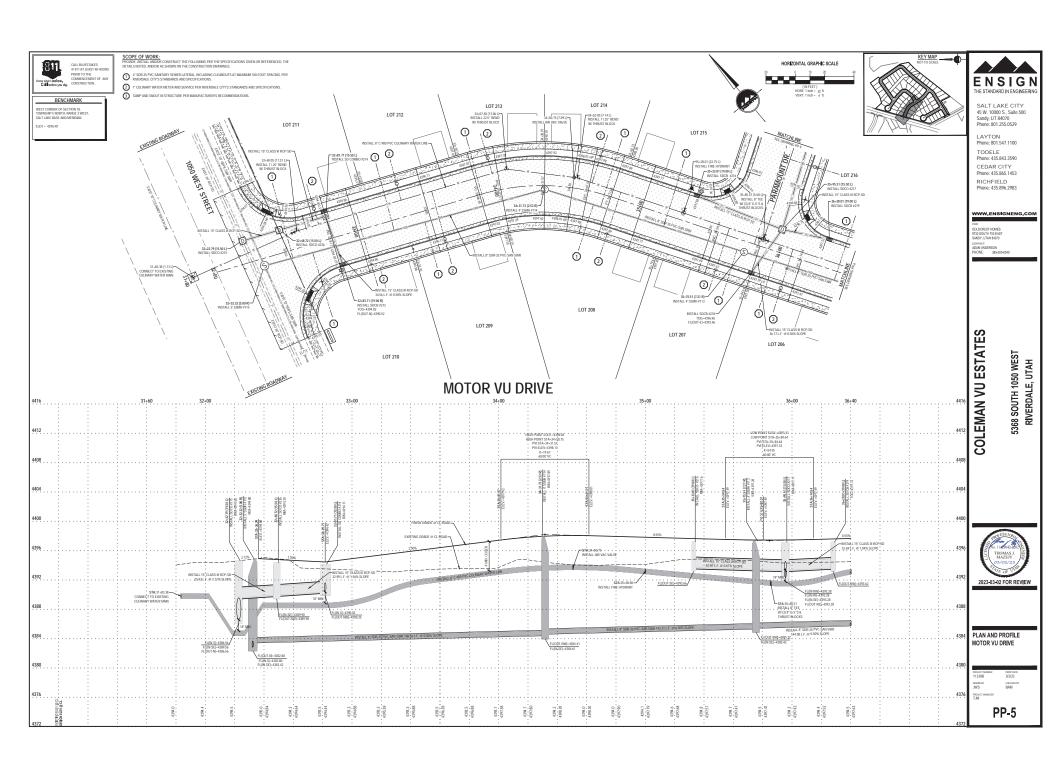


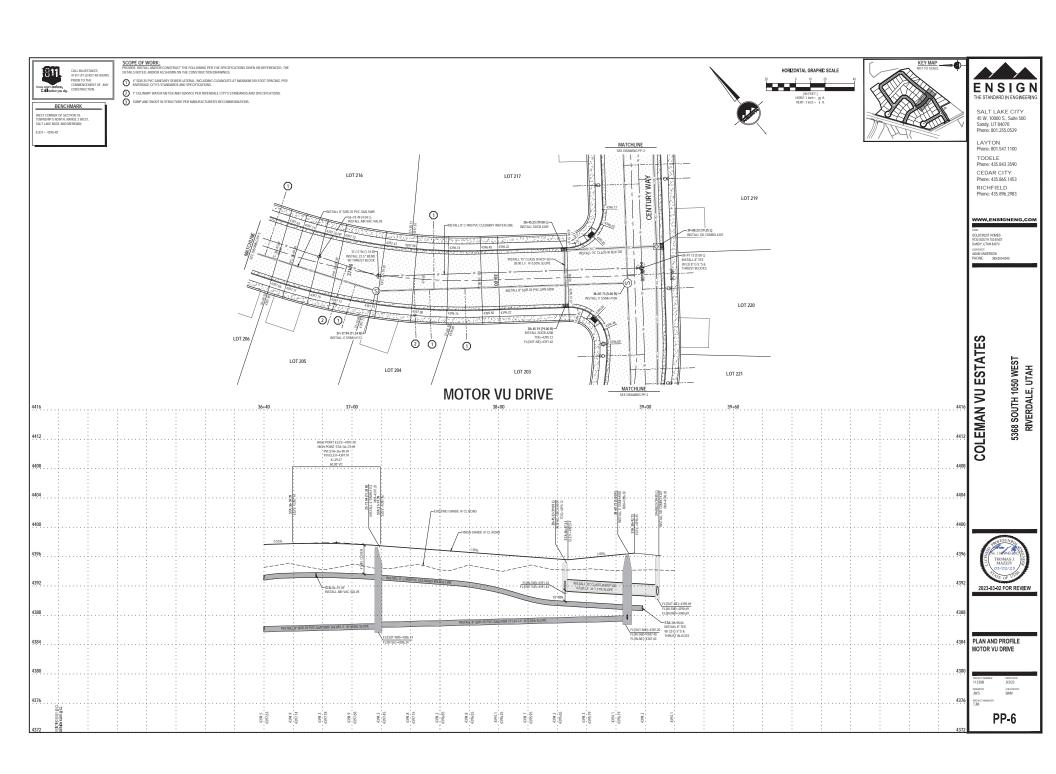


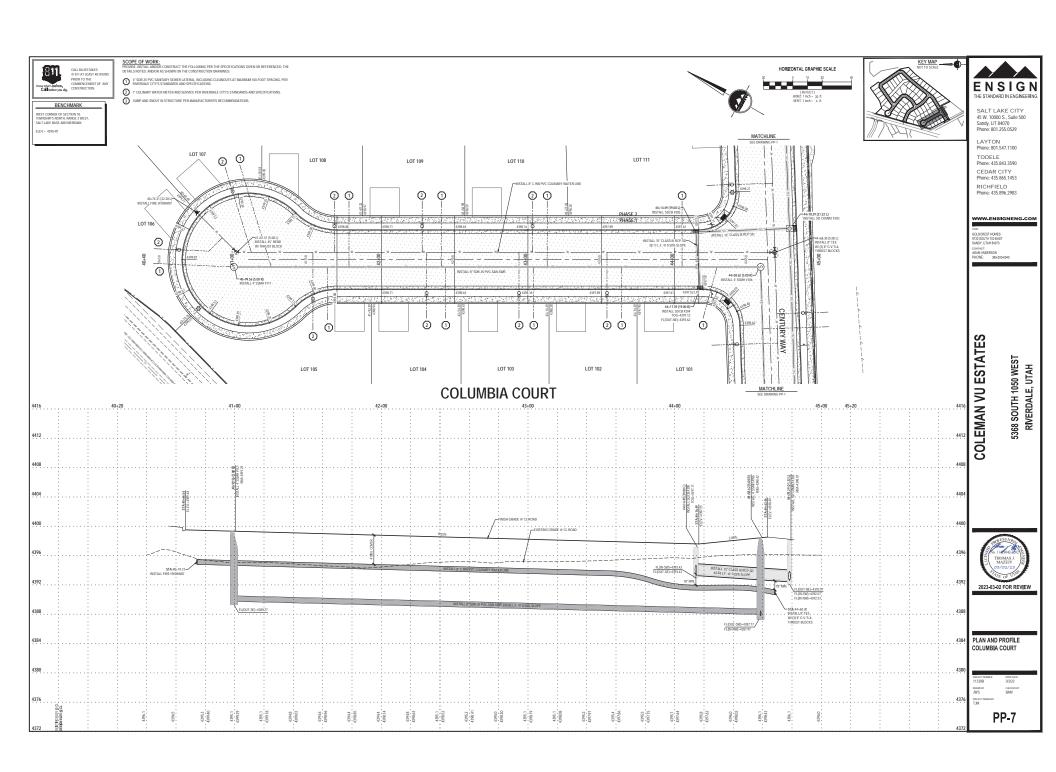


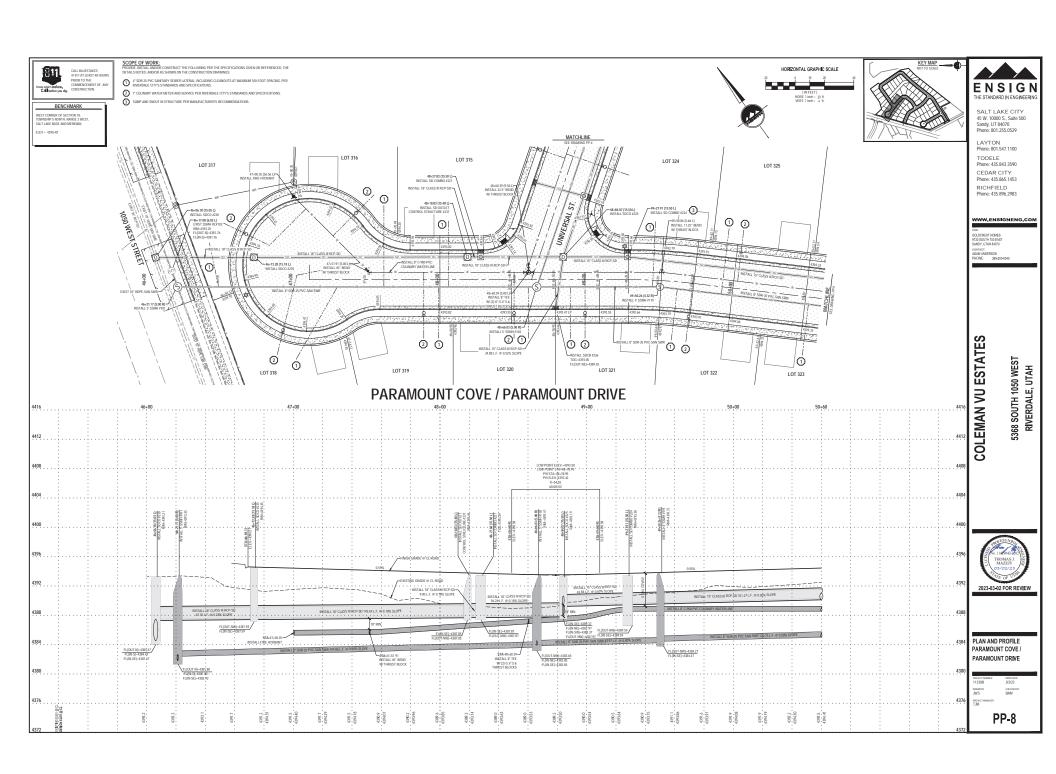


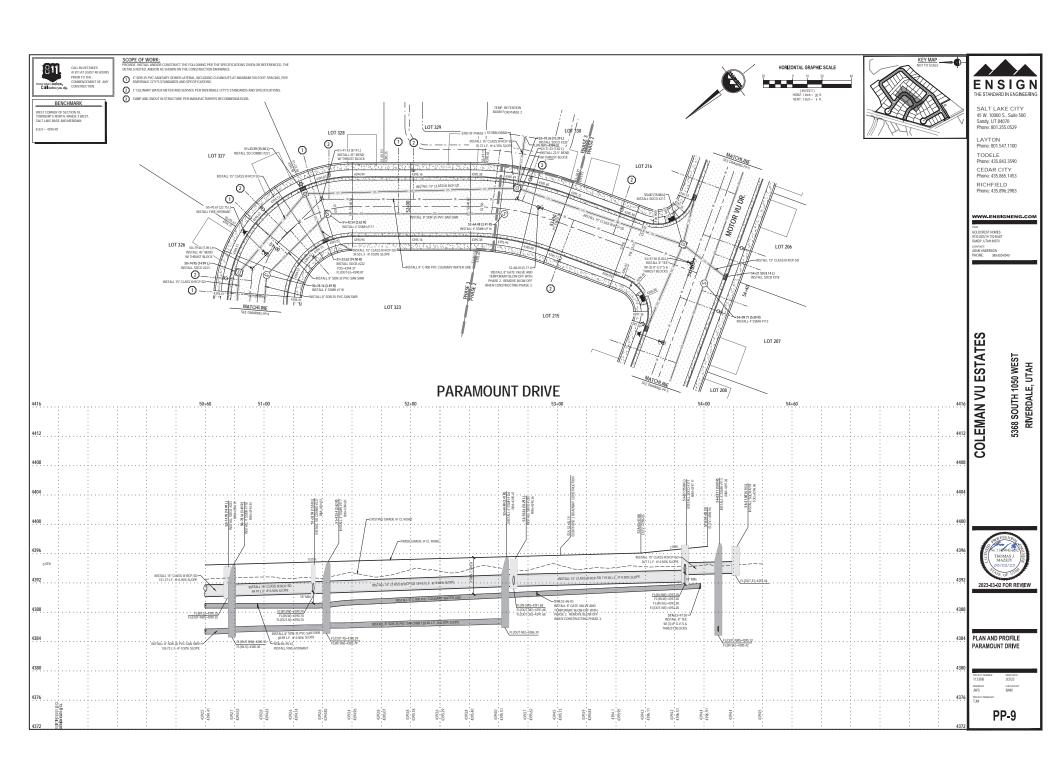






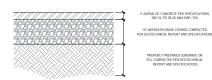






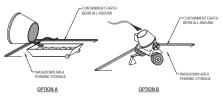
- ASPHALT NOTES

 1. ALL PRIVINCE TO BE PLACED OVER PROPERLY PREPARED INITIALIA, SOLS AND/OR PROPERLY PREPARED EXISTING FILL SOLS AND PROPERLY COMPACTED STRUCTURAR FILL WHISHE SPECIFIED.
- ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINMUM OF 95% OF
 THE MAXMAM DRY DENISTY AS DETERMINED BY THE ASSHOT OF 1880 (ID-1957) METHOD OF COMPACTION. LIFTS SHOULD BE PLACEE
 PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED IN ILLOSE TRICKING.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



(2) STANDARD ASPHALT SECTION

SCALE: NONE



6 CONCRETE WASTE MANAGEMENT

SCALE: NONE

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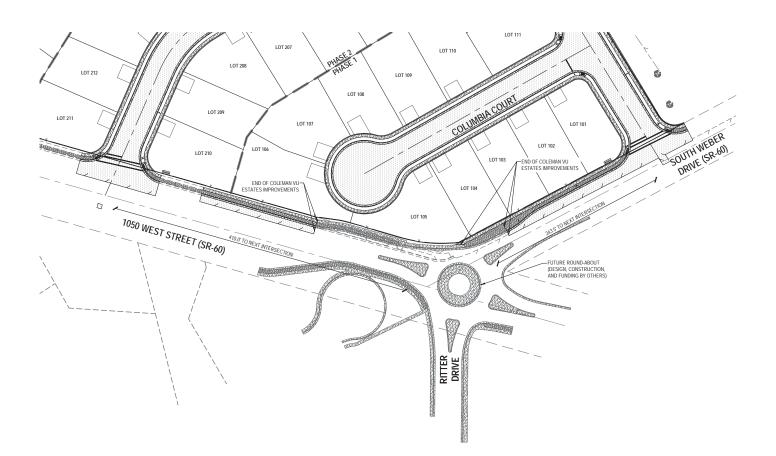
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2023-02-28 FOR REVIEW

ROUND-ABOUT EXHIBIT

EX-100

BENCHMARK

HORIZONTAL GRAPHIC SCALE



RIVERDALE CITY PLANNING COMMISSION AGENDA

March 14, 2023

AGENDA ITEM: E3

SUBJECT: Consideration of recommendation to City Council Regarding Final Site Plan

request for Crossroads at Riverdale Site Plan located at approximately 4850 South 1500 West, as requested by Riverdale Commercial Holdings,

LLC.

PRESENTER: Mike Eggett, Community Development

INFORMATION: a. Exec Summ Crossroads BP Final Site Plan – PC [20230314]

b. Crossroads Center BP Final Site Plan Review – 20230309

c. Dept Staff Reports – Crossroads Center Final Site Plan PC [

d. Crossroads Center at Riv City Eng review letter #3 – 03 09 2023

e. Crossroads Center Business Park Update App - 20211026

f. 03_Arch Elev 10.07.2021 Riv Bus Park Set

g. 04 Riverdale Material Board

h. 2023-02-28 Crossroads Center at Riv [update, reduced]

BACK TO AGENDA



Planning Commission Executive Summary

For the Commission meeting on: 3-14-2023

Petitioner: Riverdale Commercial Holdings, LLC represented by Ted Heap, Paul Willie, and Jake Tate (AWA Engineering)

Summary of Proposed Action

Riverdale Commercial Holdings, LLC, as represented by Jake Tate with AWA Engineering, Ted Heap, and/or Paul Willie, have submitted Final Site Plan documentation for a regional commercial center and ecommerce distribution hub on real estate located at approximately 4850 South 1500 West. The affected parcels are zoned in the Regional Commercial (C-3) zone. This site plan is being proposed for development on property that is currently undeveloped and also three previously occupied and developed residential home lots. The property is currently owned by Riverdale Commercial Holding. A public hearing is not required to consider this site plan proposal.

On November 9, 2021 the Preliminary Site Plan was reviewed and discussed by the Planning Commission. At the conclusion of the meeting, the Planning Commission approved the Preliminary Site Plan submittal and directed the applicant group to work with staff and engineering on resolving outstanding issues.

Following the presentation and discussion of the proposal, the Planning Commission may make a motion to recommend Council approval of the proposed Crossroads Center at Riverdale Site Plan, recommend approval of the proposed final site plan with any requested modifications, tabling the matter to a later date, or not recommend Council approval of the proposed final site plan with the appropriate findings of facts. If a Commission recommendation is provided, then this matter could move forward to a future final site plan consideration process with the City Council.

Title 10 Ordinance Guidelines (Code Reference)

This Final Subdivision and Site Plan review is regulated under City Code 10-21 "Subdivisions", 10-25 "Development in All Zones" and is affected by City Codes 10-10A "Commercial Zones (C-1, C-2, C-3)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".

The proposed development parcels are located on property east of 1500 West currently owned by Riverdale Commercial Holding, LLC. The properties are located in a C-3 zoned areas and the requested use for a regional commercial center and ecommerce distribution hub would come with a variation of future permitted and conditional use possibilities in this zone.

Attached with this executive summary is a document entitled "Final Site Plan Review – Ellis Orchard Business Park"; this is a supplementary document addressing items on the Final Site Plan application documents. Also attached, following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The Planning Commission should discuss any concerns raised by these summaries.

Staff would recommend that the Planning Commission make a motion to recommend Council approval of the

proposed Crossroads Center at Riverdale Site Plan, recommend approval of the proposed final site plan with any requested modifications, tabling the matter to a later date, or not recommend Council approval of the proposed final site plan with the appropriate findings of facts.		
General Plan Guidance (Section Reference)	
The General Plan use for this area is currently set as "Planned Commercial - High" and this proposed project would comply with this land use.		
Legal Comments – City Attorney		
	 Steve Brooks, Attorney	
Administrative Comments – City Administrator		
	Steve Brooks, City Administrator	





Final Site Plan Review – Crossroads Center at Riverdale Business Park, 4850 South 1500 West

Completed by Mike Eggett, Community Dev. Director on 11/3/2021, 1/19/2022, and 3/9/2023

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this proposed final site plan review. Items of consideration or note (if any) have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to approve the final site plan or not approve the proposed business park final site plan with any additional comments, requirements or concerns to be addressed by the developer.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	October 26, 2021 and updated January 11, 2022 and February 28, 2023	
Date Application Submitted to City:	October 26, 2021	
Date Fee Paid:	October 26, 2021 (see receipt for detail)	
Site Plan – Preliminary Requirements	Departmental Review Comments	
COVER SHEET	Provided	
<u>Title Block</u>		
Project name and address	Project name and address locations shown; addressing for lots shown	
Property Owner's name, address, and phone number	Provided: Riverdale Commercial Holdings, LLC, 95 W 100 S, Suite 340, Logan, Utah 84321; 435-227-2410	
Property Developer's name, address, and phone number	Provided: Riverdale Commercial Holdings, LLC, 95 W 100 S, Suite 340, Logan, Utah 84321; 435-227-2410	
Approving agency's name and address: Utility companies if applicable	Provided on plat associated with this project: Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; other utility agencies name and contact info not provided, where applicable	
Consulting Engineer's name, address, and phone number	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801- 521-8529	
Licensed Land Surveyor's name, address, phone number, signature, and seal	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801- 521-8529; seal and signature provided	

Date	Yes – 28 Feb, 2023	
Revision block with date and initials	Revision blocks shown and no notes yet	
Sheet number and total sheets	Shown (45 total sheets), elevations and signage plans submitted as well, Subdivision Plat sheet has also been provided	
General		
Street names	Shown – 4800 South, 1500 West, Riverdale Road, America First Blvd, I-84, and 1300 West	
Layouts of lots with lot numbers	Yes, shown	
Adjacent tract ownership and tax identification numbers	Current tract ownership names and tax ID shown on multiple pages	
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown, 1"=20', 1" = 30', and 1" = 60' respectively	
North arrow	Yes	
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements identified, existing structures currently on site shown, existing utility lines shown on sheet C0.1 and other sheets	
Space for notes	Yes, provided	
Contours	Yes, shown on multiple sheets	
Public areas	Existing and planned sidewalks and curb/gutter shown on multiple sheets, newly dedicated public areas shown as well	
Vicinity Map		
Street names	Yes	
Site location	Yes	
North arrow	Yes	
Scale	Note of "Not to Scale"	
PLAT SHEET	Provided	
<u>Title Block</u>		
Project name and address	Project name and address locations shown; addressing for lots shown	
Approving Agency's name and address	Provided on plat associated with this project: Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405	
Consulting Engineer's name, address, and phone number	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801- 521-8529	

Consulting Engineer's stamp, signature, and license expiration date	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801- 521-8529; engineer's stamp and signature provided	
Date	February 2023	
Names of approving agents with titles, stamps, signatures, and license expiration dates Names of approving departments (Attorney,	No names of approving agents, titles, stamps, signatures shown, may not be applicable Approving department signature lines provided	
Planning Commission, Mayor, Engineer)	Approving department signature lines provided	
Layout		
Landscaping (location and type with area calculations)	Yes, provided on sheet L1.0-L3.1, area calculations shown on L1.0	
Location of exterior lighting devices, signs, and outdoor advertising	Yes, location of existing lighting shown in packet; location of proposed onsite lighting devices shown; proposed signage locations shown; architectural elevations provided; planned building lighting provided	
Location of underground tanks, dumpsters, etc	No tanks present on site; dumpster and dumpster enclosure location shown in packet	
Additional Information		
Benchmark	Shown on cover sheet	
Basis of bearings	Shown on cover sheet	
Legend	Shown on cover sheet	
PLAN AND PROFILE SHEETS	Site plan and profile sheets provided	
Title Block		
Project name and address	Project name and address locations shown; addressing for lots shown	
Approving Agency's name and address	Provided on plat associated with this project: Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405	
Consulting Engineer's name, address, and phone number	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801- 521-8529	
Date	Yes – 28 Feb, 2023	
Scale	Yes, scale is shown, $1''=20'$, $1''=30'$, and $1''=60'$ respectively	
Revision block with date and initials	Revision blocks shown and no notes yet	
Sheet number and total sheets	Shown (45 total sheets), elevations and signage plans submitted as well, Subdivision Plat sheet has also been provided	

General		
North arrow	Yes	
Street names	Shown – 4800 South, 1500 West, Riverdale Road, America First Blvd, I-84, and 1300 West	
Lot numbers	Yes, shown (lot numbers not really applicable)	
Reference to sheets showing adjacent areas	Not applicable	
Center line stationing	Shown on plans	
Existing natural ground	Shown on sheet C0.1 and C2.0-C2.6	
Signage	Building signage concepts shown on architectural rendering; monument signs concepts have been shared with staff; may inquire more regarding future signage intent if desired	
Height	Unknown at this time	
Size	Monument sign size unknown; building signs sizing unknown	
Locations	Building signage concepts shown on arch drawings; on site sign location shown	
Colors	Building signage concepts shown on arch drawings; pole signage not provided at this time	
Lighting	Lighting for signage unknown at this time	
New and Existing Buildings		
Height and Size	New building - Height = approximately unknown at highest point; Building sizes = varies from 42,417 sf to 48,531 sf	

Location, setbacks, and all dimensions	Building setbacks provided; approxs, Bldg A: front (west) setback – 86.2 ft at nearest point; rear (east) setback – well beyond minimum at nearest point; north side setback – 55.1 ft at nearest point; south side setback – well beyond at nearest point; Bldg B: front (east) setback – 98.2 ft at nearest point; rear (west) setback – well beyond minimum at nearest point; north side setback – 55.1 ft at nearest point; south side setback – well beyond at nearest point; rear (east) setback – well beyond minimum at nearest point; rear (east) setback – well beyond minimum at nearest point; north side setback – well beyond at nearest point; Bldg D: front (east) setback – 141.8 ft at nearest point; rear (west) setback – well beyond minimum at nearest point; north side setback – well beyond at nearest point; south side setback – well beyond at nearest point; rear (west) setback – well beyond at nearest point; south side setback – 55.1 ft at nearest point; south side setback – 55.1 ft at nearest point; south side setback – 55.1 ft at nearest point; south side setback – 55.1 ft at nearest point; south setback – 154.3 ft at nearest point; west side setback – 92.3 ft at nearest point; east side setback – 38.4 ft at nearest point
Type of construction	Materials for structure, texture, color appearance provided on architectural drawings; DRC will need to approve the building colorations and material, signage concepts, and landscape plan
Type of occupancy and proposed uses	Regional commercial, warehousing, and distribution retail
Show handicapped access	ADA accessible ramp and access areas shown and handicapped parking stalls shown
New and Existing Landscaping & Percentage	Landscaping identified on sheets L1.0-L3.1; Percentage of landscaping provided for this site is 20%, meets minimum requirement of 20% or more landscaping coverage per City Code 10-14-12(B.)(2.)
Number of trees	71 trees, 704 shrubs, 60 ornamental grasses, 60 perennials; there needs to be more tree plantings in project site per City Code 10-14-12 (B.)(2.)(e.)
Landscape plan showing all planting, hardscaping, berming, and watering	Planting, hardscaping shown; new site development requires gentle berming/screening locations, as required in 10-14-12 (B.)(2.), which berming/screening is shown and identified in landscaping plan, irrigation plan provided
Xeriscaping alternatives being considered	Yes, xeriscaping seems to be applied in the rock mulch and ground cover areas of landscape plan; for more, inquire of the developer

New and Existing Walls and Fences		
Location, design, and height	Existing fences on site shown; no new fences appear to be planned for site	
Materials proposed for construction	No new fences planned for site	
New and Existing Parking		
Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	350 dedicated stalls are provided and shown; handicapped parking space provided and shown; size meets city requirements	
Location of employees' parking, customer parking, and handicapped parking	Established as shown in drawings; employee parking and customer parking appear shared	
Internal circulation pattern	Internal circulation not identified	
New and Existing Ingress and Egress		
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown	
Circulation pattern	Internal circulation not identified; inquire more if desired	
New and Existing Streets		
All access points	Yes, this is shown	
Center lines	Yes, this is shown	
Right-of-way lines	Shown, dedicated "right-of-way" not identified	
Face of curb lines	Yes, this is shown	
Centerline slope	Shown on drawings and established per previous and other project road development	
Signing and striping	Public signing installation should be coordinated with public works dept and paid for by applicant, where applicable; roadway striping should be coordinated with public works, where applicable	
Light poles	Yes, location of existing light poles and power equipment shown; location of onsite proposed light poles and equipment shown in packet	
Street lights	Yes, location of existing street light poles and power equipment shown; no newly proposed street light poles or devices appear to be planned	
Street name signs	Location of street name signs not shown	
Stop signs	Location of stop signs on site shown	
UDOT approval (if required for project)	This project does not require UDOT approval	
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown and details on sheet C4.1 and C4.3	

Planting Strip	Yes, planting strips are shown along all streets	
New and Existing Storm Drainage		
Top of curb elevations	Top of curb elevations provided on Utility Plans, in detail shown on sheet C4.1 and C4.3	
Slope of gutter	Shown on C2.1, in detail on sheet C4.1 and C4.3	
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;	
Invert elevations	Shown on C2.1, in detail on sheet C4.1, <u>defer to</u> <u>City Engineer</u>	
Length, size, slope, and type of mains and laterals	Shown on C3.0-3.3, in detail on sheets C4.1-4.9, defer to City Engineer	
Location of catch basins	Shown on multiple sheets in packet	
Ditches, location and ownership	Waterways shown on sheets C1.0-1.3; no ditches located on this site or planned for this project	
Approval to pipe, reroute or use	Other than future City approval, <u>unknown if other</u> <u>approval required, defer to City Engineer</u>	
Calculations for retention system	Provided on Storm Water Analysis document; defer to City Engineer	
Method of storm water clean-up	Shown on sheet C3.0-3.3; erosion control plan provided as well on sheets C6.1-6.3	
New and Existing Sanitary Sewers		
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;	
Invert elevations	Shown on C.3.0-3.3, <u>defer to City Engineer</u>	
Length, size, type, and slope of mains and laterals	Shown on C3.0-3.3, detail provided on sheets C4.1-4.3, defer to City Engineer	
New and Existing Water Lines		
Length, size, type, and slope of mains and laterals	Shown on C3.0-3.3, detail provided on sheets C4.1-4.9, <u>defer to City Engineer</u>	
Location, size, and type of water meters, valves, and fire hydrants	Shown on C3.0-C3.3, water meter location, size, and type (note reference) shown; Location of existing valves shown; Location of new valves shown; existing fire hydrants on site shown; new hydrants planned for this site plan shown, defer fire department on quantity and locations	
New and Existing Gas Lines		
Size and type	Existing and new gas lines shown, where applicable; size and type not shown	
New and Existing Electrical Lines		

- I I		
Size, location, and type	Existing power lines locations shown, new power lines not clearly shown, size and type not identified; where are overhead power lines going to be relocated in context of site development? There is no sign of power poles relocation on site	
Location of power poles	Existing power poles and overhead lines location; new power poles location not shown if any planned; where are overhead power lines going to be relocated in context of site development?	
New and Existing Telephone Lines		
Location of poles, junction boxes, and manholes	Existing location of telephone lines shown, new telephone lines not shown (see note 6 on sheet C3.0 for more), but new fiber optic utility lines shown, where applicable; associated manholes shown, where applicable	
New and Existing Cable TV Lines		
Location of lines (if applicable)	Cable TV/ fiber optic lines shown, where applicable	
DETAILED DRAWINGS		
Cross section of roadway (minimum 8" road base and 3" asphalt)	Refer to sheets C4.1 for roadway cross section connection to curb, gutter, and sidewalk areas	
Cross section of curb and gutter (standard 30" high back)	Shown on sheets C4.1 and C4.3, <u>defer to City</u> <u>Engineer</u>	
Gutter inlet box with bicycle safe grate	Detail drawing provided on sheet C4.1-4.3, locations identified on multiple sheets; gutter inlet boxes not identified as having bicycle safe grates; defer to City Engineer	
Cleanout box	Detail shown on sheets C4.2, location identified on multiple sheets; defer to City Engineer	
Thrust blocking	Locations and detail not shown, if applicable; defer to City Engineer	
Special energy dissipating or drop manholes	None showing and may not be applicable; <u>defer to</u> <u>City Engineer</u>	
ADDITIONAL INFORMATION		
Soils report	Geotechnical report has been provided as completed by GSH Geotechnical, Inc on September 8, 2021 for this site	
Drainage and runoff calculations	Provided on Storm Water Analysis document; defer to City Engineer	
Water right transfer documentation	Applicant needs to work with Public Works Department to provide adequate water rights for this site per 8-6-3 of City Code	
Copy of protective covenants, codes, and regulations for development	Not applicable to this project	

Three (3) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Concepts provided with packet
Corp of Engineers approval (if required)	Noted as FEMA flood zone determination outside of the 0.2% annual floodplain; no approval req.
Zoning compliance	Yes, Regional Commercial (C-3) Zone meets intended uses for site design
RDA compliance (if applicable)	No applicable RDA regulations for this project area; uses in this area are required to have a commercial/retail use component of business operations, developer is aware of this and plans are for such uses
Use compliance	Yes, the planned uses for this project comply with the zoning for this C-3 zoned area
Engineering comments and letter of approval recommendation	Engineering comments, along with Public Works, Police Department, Fire Department provided
Traffic study	Traffic study for AFCU Campus project applicable for this project as well; completed on March 23, 2021 by Hales Engineering group
All Planning Commission and City Staff conditions for approval have been met	Currently Final Site Plan recommendation for approval consideration being reviewed by Planning Commission

DEPARTMENTAL STAFF REPORTS – 3/6/2023 to 3/9/2023

From: Shawn Douglas

Sent: Thu 3/9/2023 11:10 AM

To: Mike Eggett **Subject:** Crossroads

Mike,

I have attached my review comments for Crossroads Center at Riverdale. Thanks

Plan Review For Crossroads Center at Riverdale

Storm Water

- 1-Drainage system operation and maintenance plan and BMPS approved and recorded with plat.
- 2-Orfice size, location and plan detail, free board on detention/retention structure, free board on structure, and emergency overflow. Design detail and landscape plan for the retention basin.
- 3-Storm water prevention plan for construction site including BMP's. Locate construction entrance on 1300 West. Include fence or other device to limit construction entrance to one location. All storm water inspections will need to completed on Compliance Go.
- 4-Notice of intent filed with state.
- 5-Note to certify each retention/detention structure size after construction.
- 6-Injection well permit.

Streets

- 1-Traffic impact study.
- 2-No trees are allowed in city owned park strips.

Water

- 1-Irrigation controllers need to be Smart controllers and noted.
- 2-Clarify water connections and abandoned lines on 1500 W.
- 3-Update water usage peak demands including landscaping and buildings.
- 4-Provide what water shares will be used to meet water requirements.
- 5-Easement for PRV Vault.
- 6-Scada control system.
- 7-Provide 10" valve with hand wheels in PRV Vault.
- 8-Eight inch valve on North connection to building F/G.
- 9-3 Valves on mainline connections on 1500 W.
- 10-All services lines need to be the same size as the meter from the connection to the building.
- 11- Any service lines or main line that are PVC or Poly will need to include a tracer wire.
- 12-Detail and design for electrical connection on vaults.

13-Included fan in PRV vault.

Sewer

- 1-Are any Grease traps or separators required for tenants?
- 2-Updated sewer flows daily and peak. Including peak demand time.

Other

- 1-Note requiring all missing, nonfunctioning, and or damage surface improvements shall be replaced. (sidewalk, curb and gutter, fencing, etc.)
- 2-Dimensions and square footage of each lot.
- 3-Square footage of impervious surface for each lot.
- 4-Please include a response letter indicating where comments were addressed.

Shawn Douglas

Riverdale City Public Works 801-394-5541 ext 1217

Sdouglas@Riverdalecity.com

From: Scott Brenkman

Sent: Mon 3/6/2023 3:05 PM

To: Mike Eggett

Subject: RE: Comments Needed - Crossroads Center at Riverdale Site Plan PC Final Review

I do not have concerns.

Scott

Chief Scott Brenkman Riverdale Police Department 4580 S. Weber River Dr. Riverdale, UT 84405 (801)394-6616 sbrenkman@riverdalecity.com

From: Jared Sholly

Sent:

To: Mike Eggett CC: Randy Koger

Subject: RE: Comments Needed - Crossroads Center at Riverdale Site Plan PC Final Review

No comments provided.

Jared Sholly
Fire Chief

Riverdale City Fire Department

Cell: 801-628-6562 Office: 801-394-7481

From: Randy Koger

Sent: Wed 3/8/2023 2:47 PM

To: Mike Eggett **CC:** Jared Sholly

Subject: RE: Comments Needed - Crossroads Center at Riverdale Site Plan PC Final Review

REVIEW COMMENTS:

The following review comments are based on information provided on the Preliminary Site Plan Proposal, and shall not extend to means, methods, techniques, sequences, or procedures of construction nor conformance to any specifications. Acceptance of the project is the prerogative of the Authority Having Jurisdiction.

- 1. IFC Table B105.1(2) & C 102.1: Spacing, location, and number of hydrants needs to be discussed and clarified to meet Fire Codes. Hydrants may need to be moved and additional hydrants may be needed depending on fire flow results.
- 2. Verify that fire flows meet code requirements.
- 3. Hydrants must be a max of 100 ft of FDC per NFPA 6.4.5.4
- 4. Location of the FDC needs to be discussed
- 5. Fire flow concerns of 2,250 for 2 hours. The max allowed distance from any point on the street or road frontage to a hydrant is 225 ft.
- 6. Turning radius will be verified by city engineer.

RESUBMITTAL INSTRUCTIONS

Please have the contractor/designer:

- 1. Address each comment and submit a written response in addition to revised plans and calculations, as necessary.
- 2. Cloud any revisions made to the construction drawings and provide the date of the latest revision on each revised sheet and.
- 3. Submit written responses to our review letter, provide revised plans, and supplemental information, as necessary.

fandy S. Kogev

Fire Marshal/Code Enforcement Officer

Riverdale City

801-436-1241



5141 South 1500 West Riverdale City, Utah 84405 801-866-0550

9 March 2023

Riverdale City 4600 South Weber River Drive Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director

Proj: Crossroads Center at Riverdale

4850 South 1500 West Riverdale, Utah 84405

Subj: Improvement Drawings review – dated 28 February 2023

Dear Mike,

Attached for consideration is our engineering review of the Improvement Drawings of the above referenced project. The following items should be considered and addressed prior to receiving recommended approval from our office.

General Notes

Please request the Developer or his Engineer, submit a response letter with their resubmittal of drawings answering all Engineering review comments contained herein.

1. An <u>electronic copy</u> of the Site Plan drawings and details must be submitted to the Public Work Department via our office for record keeping upon design completion and prior to approval of the Site Plan drawings from our office.

Site Plan - Improvement Drawings

- 1. The current Month and Year should be added to Cover Sheet above the Vicinity Map with the final drawing submittal. The site construction notes and details need to be reviewed and updated to match the callouts throughout the drawings.
- 2. Street names and stationing should be identified on all drawings. Redwood Road should be changed to Rivedale Road.

Storm Water Issues

1. The storm water on 1300 West does not get treated before it is released into the storm water discharge pipe. Reevaluate to make sure storm water is treated.

- 2. The retention/detention system on north side of building E doesn't appear to be designed to collect the water and then discharge. Please verify that storm water is treated.
- 3. The storm drainage system connects to Utah Department of Transportation (UDOT) storm drain system on the south side of I-84. The development is going to impact UDOT's storm drain system. A written letter of connection approval from the Utah Department of Transportation (UDOT) must approve the connection into their storm drainage system, and state there is capacity for the proposed storm water discharge.
- 4. The orifice detail is shown but there doesn't appear to be sizes and details for each basin.
- 5. Upon construction completion the design engineer must verify in writing to the Public Works Department that the design storage volume has been correctly built. Please place this inspection note on the improvement drawings.
- 6. There needs to be a note on the drawings that the storm water collection boxes, on-site and off-site will be "hooded" boxes.
- 9. Storm water pipe notes need clarification for pipes 15" or larger. There appears to be two options.
- 10. The detention basin east of building E appears to have the top at 4461.00. Where is the emergency overflow if storm water tops over?

Sanitary Sewer Issues

- 1. What sanitary sewer flows are going to be generated from the development and how will it impact the existing sanitary sewer system. The existing sanitary sewer system may need to be upsized for the additional flows.
- 2. The sanitary sewer on sheet C3.3 as it connects to the existing line the elevations have a little reverse grade.

Culinary Water Issues

- 1. The 10" waterline that comes out of the west side of the prv vault need to connect to the existing to the 10" waterline in the middle of 1500 West. Then just to the north of that disconnect the 8" waterline that tee's off to the northwest will need to be disconnected and the line on the north side and be capped and abandoned.
- 2. The prv vault for Riverdale City needs to be reviewed and updated. The prv vault shall have a SCADA system installed that matches the current system. The prv vault shall have a concrete floor, access manhole and stairs, a floor drain. Notes appear to be duplicated. Coordinate the SCADA system design with Jesse Row with Wetco. The SCADA system also needs to be coordinated with WBWCD SCADA system (M8 Automation).

- 3. The swing check valve connection between the two 10" waterlines need to show the flow direction.
- 4. The 10" connection to the existing waterline needs to be shown and how will coordination work for waterline connections and abandonments. Additional valves need to be installed at the connections to the 10-inch waterline on 1500 West.
- 5. The 10" waterline near Sta 17+75 that turns and goes west of 1500 West shows it dead ends. Please show cap and thrust block with a marker to grade to locate for future connection. This needs to have a blow-off installed.
- 6. Waterline callout shall be C900 DR 18 (not class 200).

We would be happy to meet with the Developer and/or his Engineer to review the above items should they have any questions.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.

Tool Freeman

R. Todd Freeman, P.E., S.E.

City Engineer

Cc. Shawn Douglas, Public Works Director Jeff Woody, Building Official and Inspector



Riverdale City

Community Development 4600 So. Weber River Drive Riverdale, Utah 84405 Acct # 10-34-1500

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL OR MANUFACTURING SITE PLAN APPROVAL

CASE No: 2021-11	DATE SUBMITTED: 10 (26/2021
**************************************	DATE SUBMITTED: 10 20 2021
APPLICANT'S NAME: Jake Tate	
Address: 2010 North Redwood	Road, Salt Lake City, UT 84116
PHONE: 801-410-8505	08-103-0075, 08-092-0024, 08-098-0030, 08-098-0056, 08-098-0031, 08-098-0080
ADDRESS OF SITE: RDA Parcel, 48	344 S. 1500 W., 4816 S. 1500 W., 4804 S. 1500 W.
APPLICANT'S INTEREST: Owners At	uthorized Representative
Application is hereby made to the Rive	erdale City Planning Commission requesting that the following permitted use,
be approved on 1,020,745 s.f. / 23 (sq. ft./acreage)	3.43 a.c. of property in the zone in
accordance with the attached site plan.	
Signature of Applican	Signature of Property Owner
I authorize Anderson, Wahlen &	Associates - Jake Tate to act as my representative in all matters
relating to this application.	
	1 Monnin
	Signature of Property Owner
NOTE: A fee will be charged at the ti	me the site plan is submitted for review - \$200 per acre or portion of
Fee: \$ 4686.00	Date paid: 0-27-202
Planning Commission set public hearing	ng: Yes □ No ☑ Date of Public Hearing:
	ar this application for site plan approval on:
relim.	Decision of Commission: Pretim Approved;
City Council set public hearing: Yes	3.3
City Council scheduled to hear this app	lication for site plan approval on:
Date:	Decision of Council:



Riverdale City 4600 South Weber River Drive Riverdale, UT 84405 (801) 394-5541

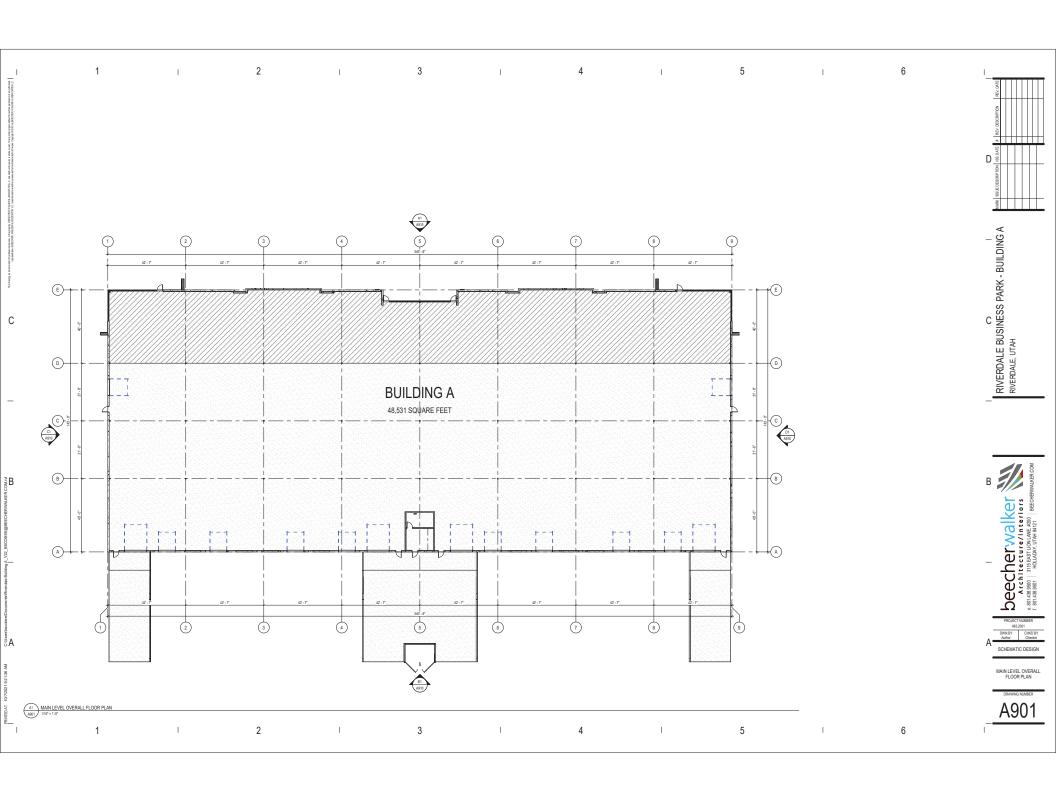
XBP Confirmation Number: 108827297

► Transaction	detail for payment to Riverdale City. Transaction Number: Visa — XXXX-XXXX Status: Succe	159439995PT -XXXX-8211	0/27/2021 - 2:13:17 PM MT
Account #	Item	Quantity	Item Amount
10341500	Zoning ampamp Subdiv. Fee	1	\$4686.00
Notes: SITE PL	AN APPROVAL	10-4-4 America Res & 1 4 10-4 10-4 10-4 10-4 10-4 10-4 10-4 10-4 10-4 10-4 10-4 10-4	

TOTAL:

\$4686.00

Billing Information BRENT WILLIE , 84405 Transaction taken by: cjacobsen











SW - Nautral Linen 9109 Concrete Panel



Longboard - Light National Walnut Wood Finish Composite Metal Panel System



Alucobond - Black Anodized

Metal Panel System



Black Anodized Metal Roofing Fascia Trim System

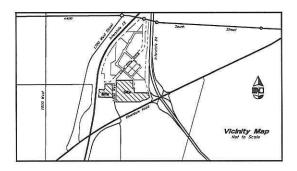


RIVERDALE BUSINESS PARK

RIVERDALE BUSINESS PARK
RIVERDALE, UTAH

Crossroads Center at Riverdale

4850 South 1500 West Riverdale, UT, 84405



Know what's below. Call 811 before yourdig.

Abbreviations Point of Empany: Point of Empany: Point of Inforced Internetion Relationed Consorte Floe Read Point Especial Bost Especial Especi Abbrevia Bagin Cura Brium Baism Baism Fasta Grade — Bottom of Rentaining Wed Cable Television Dur. Catch Bass Catch Bass Catch Bass Control Bass Control Catch Comment to Greek Lingue of Asphali Control Bass Cod of Cura One Cura One Cura One Cura Catch Gas beter Nose 83b Nigh Pibot Infigition Line Inregistion Clantral Blee Light Phile Manniel Monaire Mo

	Lege	nd	
Proposed Curb & Gutter		Existing improvements	===
Proposed Open Face C & G	-	Existing Asphalt	
Proposed Asphall	7	Existing Concrete	
Proposed Concrete	F27.50	Existing Inlet Day	1000
Proposed Truncated Domes	1300	Drixling Cotch Basin	CED
Proposed Inlet Box	-	Existing Manhale	0
Proposed Catch Basin	121	Existing Fire Hydrant	d W
Proposed Hanhole	n	Eristing Water Valve	DOWN
Proposed Transformer	m	Existing Overhead Power Line	46
Proposed Heler Dos		Existing Water	W
Proposed Bater Heler	- E	Existing Secondary Water	5#-
Proposed Combo Box	107	Cristing Sever	5
Proposed Fire Hydrant	-	Coisting Storm Drain	50
Proposed Hater Volve		Existing Gas	C
Proposed Water Line		Existing Power	P
Proposed Sanitary Sever		Existing Telephone	
Proposed Starm Drain		Existing Fence	X
Proposed Conduit Line		Florine Centerine	
Proposed Power Line		Eristina Contaur	00000
Proposed Gas Line		Eristing Spet	*CZA DOCK
Proposed Fire Line	-5-	Existing Light Pole	- Mr
Prepared Secondary Water Line		Existing Street Light	<>
Proposed Roof Drain	-10-	Existing Quilding	Loud
Proposed Fance		Existing Telephone Box	D/II
Ridge fine		Existing Power Mater	DPV
Grade Break		Existing Destrical Bar	0.00
Prepaged Contour	-78-	Existing Dectrical Cobinet	I rou
Direction of Drainage	-	Existing Gas Meter	DGY
Proposed Soat	 73.00TA 	Existing Water Meter	- 2004
424 Accessible Floute		Drieting Irris, Control Box	9 KC#
Property Line	-	Drieting Dollard	+80L
Specul Line		Existing Hope Bib	- 140
Proposed Light Pale	•	Working Point	
Proposed Street Light	0	Existing Deciduous Tree	1
Proposed Suiding	Terreta	Commission of the Commission o	~
Existing Power Pole	-	SWAR STAR IN	ATA.
Existing Power Pole W/ Gur		Eristing Coniferous Tree	6:3
Delating Utility Harker		Datell Number -	10

Civil Sheet Index

CO.0	Cover Sheet	C4.5	WBWCD General Notes
	Subdivision Plat	C4.6	PRV Vault Details
CO.1	Demolition Plan	C4.7	WBWCD Details
C1.0	Overall Site Plan	C4.8	Water Meter Vault Details
CI.1	Site Plan	C4.9	PRV Vault Detail
C1.2	Site Plan	C5.1	Improvement Plan - 1500 West Street
C1.3	Site Plan	C5.2	Improvement Plan - 1500 West Street
C2.0	Overall Grading Plan	C5.3	Striping Plan - 1500 West Street
C2.1	Grading Plan	C5.4	Water Line Plan and Profile
C2.2	Grading Plan	C5.5	Water Line Plan and Profile
C2.3	Grading Plan	C6.1	Erosion Control Plan - Phase 1
C2.4	Grading Plan	C6.2	Erosion Control Plan - Phase 2
C2.5	Grading Plan	C6.3	Erosion Control Details
C2.6	Grading Plan	L1.0	Overall Landscape Plan
C3.0	Overall Utility Plan	L1.1	Landscape Plan
C3.1	Utility Plan	L1.2	Landscape Plan
C3.2	Utility Plan	L1.3	Landscape Plan
C3.3	Utility Plan	L2.0	Overall Irrigation Plan
C4.1	Details	L2.1	Irrigation Plan
C4.2	Details	L2.2	Irrigation Plan
C4.3	Details	L2.3	Irrigation Plan
C4.4	Water Meter Vault Details	L3.1	Landscape & Irrigation Details
		ESP01	Electrical Site Photometric Plan

Flood Zone

Benchmark

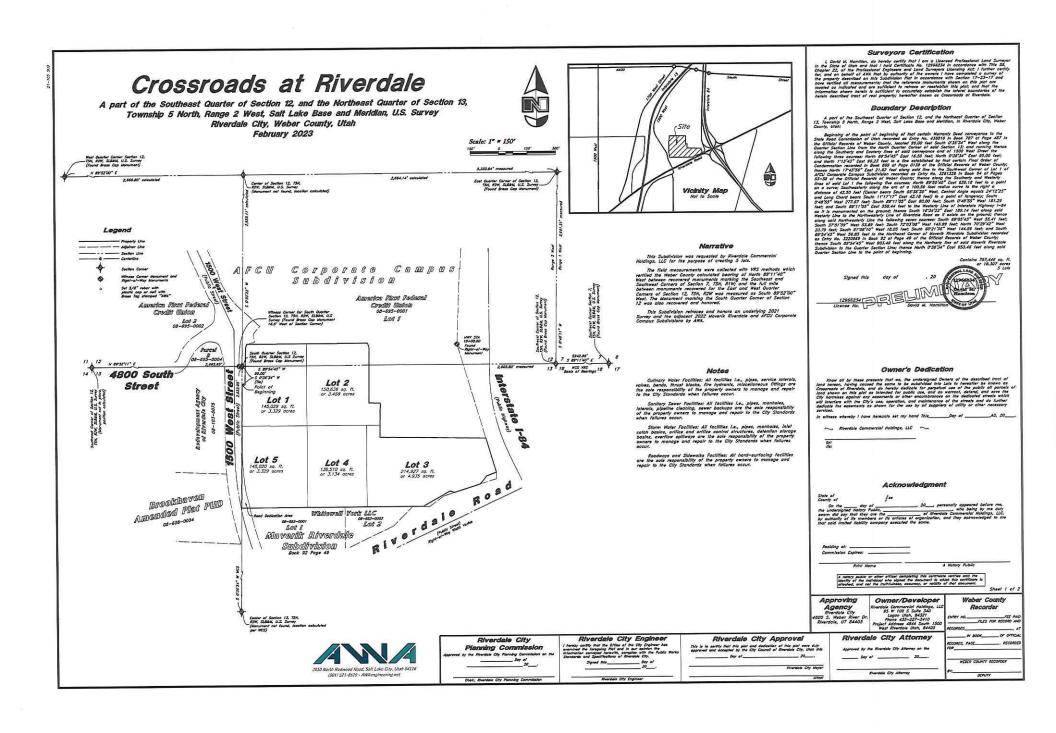
Bress Cop Monument for the East Ownier of Section 12, TSM, 82H, SLRAW Elevation = 4599.00 feet (Ortho Helphi) Weber County Surveyor Tie Sheet Observed April 8, 2020

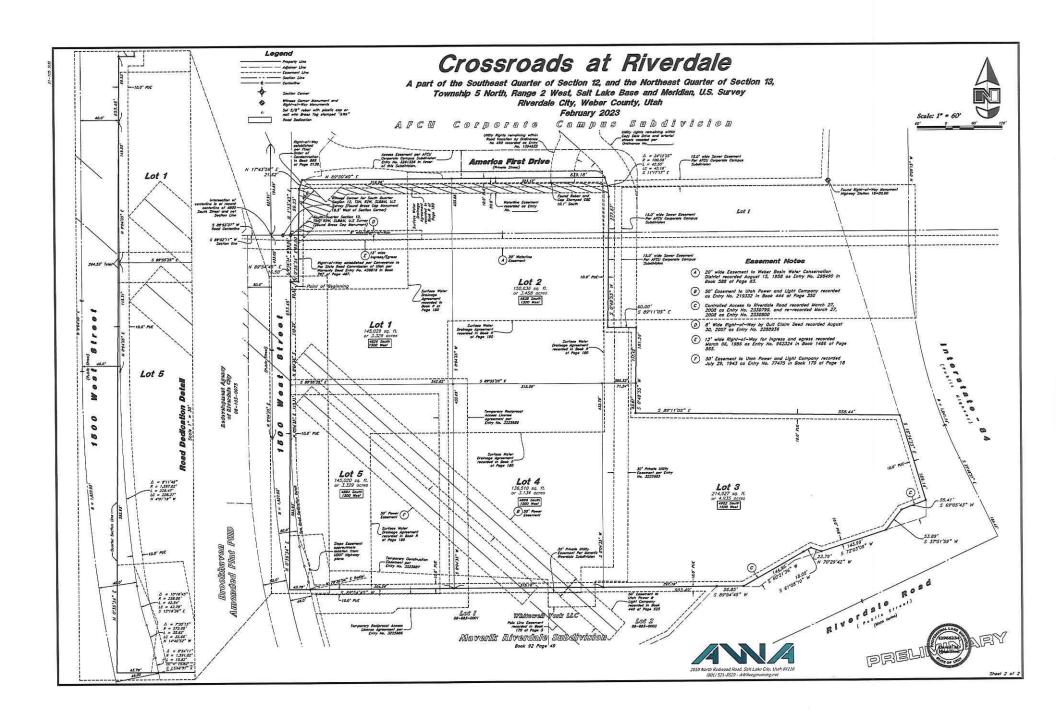
Legal Description

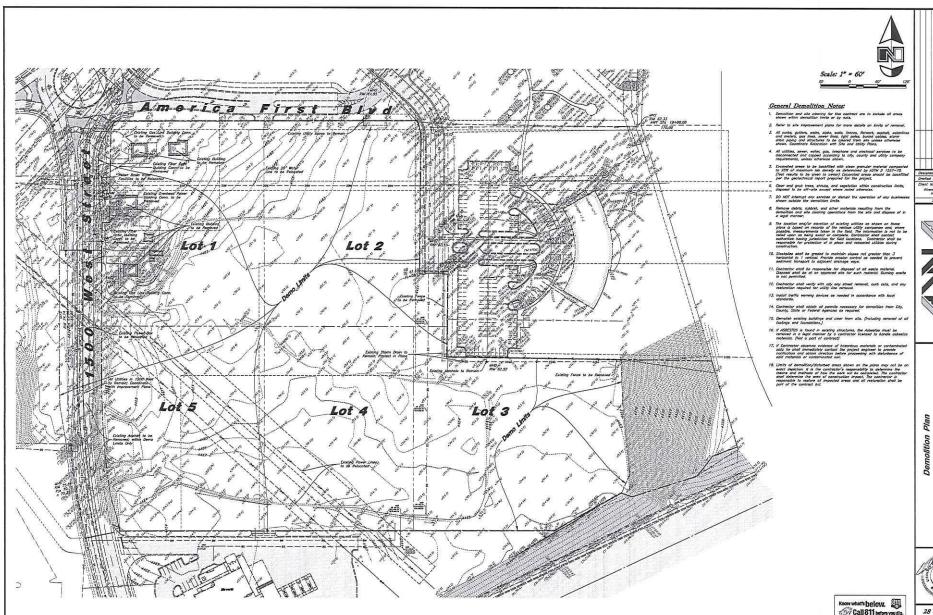
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Riverdale Crossroads Center at Cover Sheet

28 Feb, 2023 CO.0







Know what's below.

ANDERSON WALLEN & ASSOCIATES
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Riverdale

Crossroads Center at

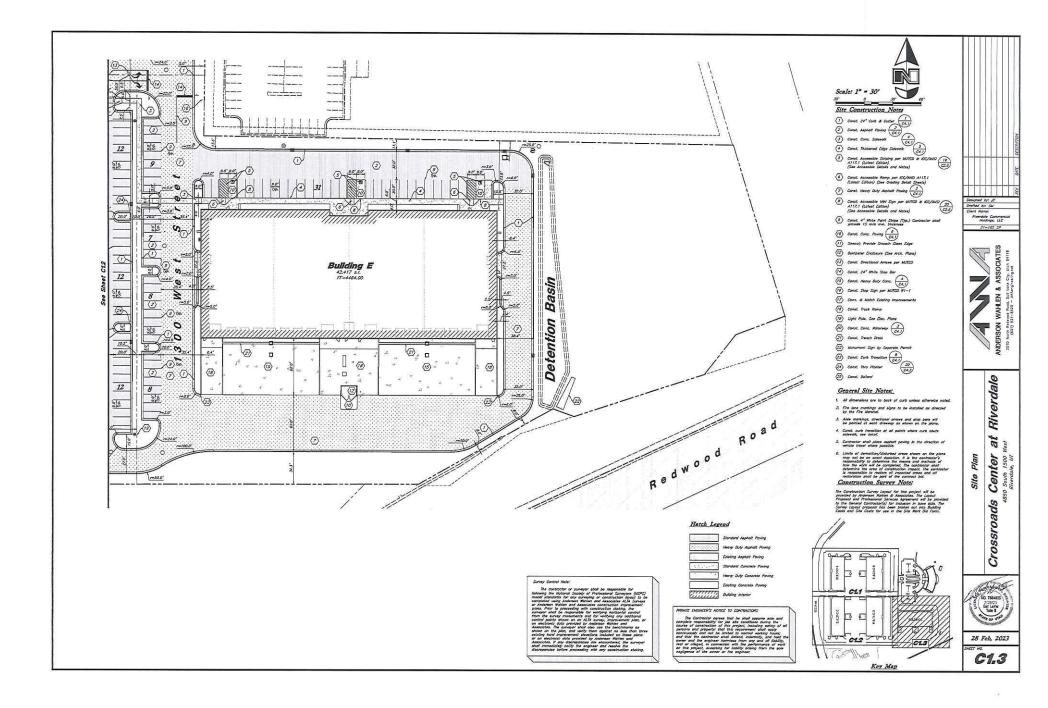
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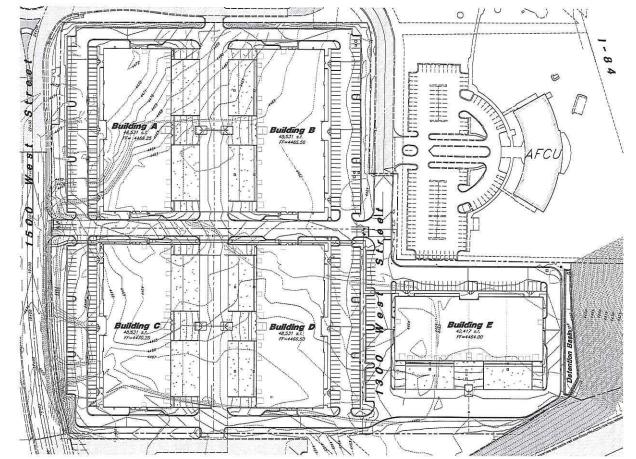


General Grading Notes:

- 1. All grading shall be in accordance with the project geotechnical study
- 2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
- 3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical
- 4. Fits shall be compacted per the recommendations of the geolechnical report prepared for the project and shall be certified by a Cestishnical Engineer.
- 5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
- 6. Fills shall be benched into competent material as per specifications and geotechnical report. 7. All trench backfil shall be tested and certified by a Geolechnical Engineer,
- A peolechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough protony.
- 9. The final compaction report and certification from a Geolechnical Engineer shall contain the type of field tauting
- performed. Each test shall be identified with the method of obtaining the im-place density, whether send cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the occurrecy of the regimmed density curves used by the field beanchion.
- 10. Dust shall be controlled by watering.
- 11. The location and protection of all utilities is the responsibility of the permitee
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
- 1.1. All public readways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
- 14. The site shall be cleared and grubbed of all regulation and deleterious matter prior to grading.
- 15. The contractor shall provide sharing in accordance with GSHA requirements for trench walls.



Scale: 1" = 60'



Curb and Gutter Construction Notes:

- Open face gutter shall be constructed where drainage is directed away from ours.
- 2. Open face gutter locations are indicated by shading and notes on the gridding plan.
- It is the responsibility of the surveyor to odjust top of curb grades at the time of construction aloking.
- 4. Refer to the typical details for standard and open face curb and gutter dimensions. Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.
- 2 5. Transitions from open face to standard curb and gutter are to be smooth, fland form these areas if accessory.

Sidewalk Construction Notes:

- Concrete aidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
- Running slope of sidewalts shall be built per grades shown on the plan where grades are not provided, sidewalts shall be constructed with a maximum running slope of 4.55.
- J. Refer to the Site Plan for aldevolk dimensions.



Designed by: JT
Destad by: SM
Client Name:
Riverdale Commercial
Holdings, LLC

ANDERSON WALLEN & ASSOCIATES 2010 been Retroot front, Set Less Cr., una fettile (301) 501-507 - Advancements.

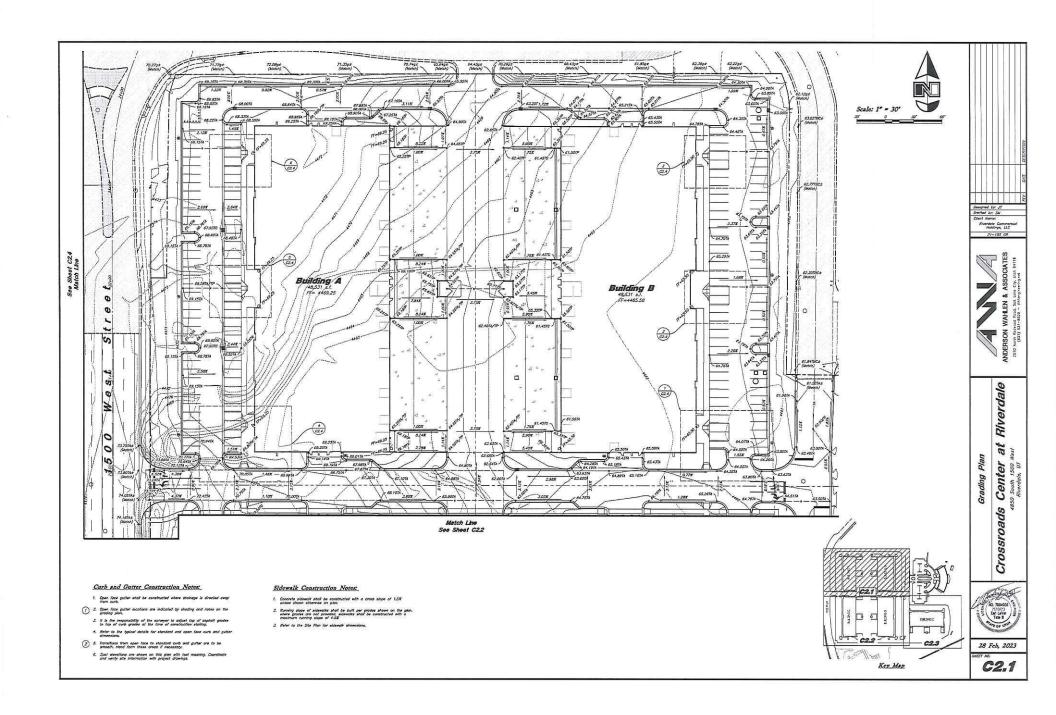
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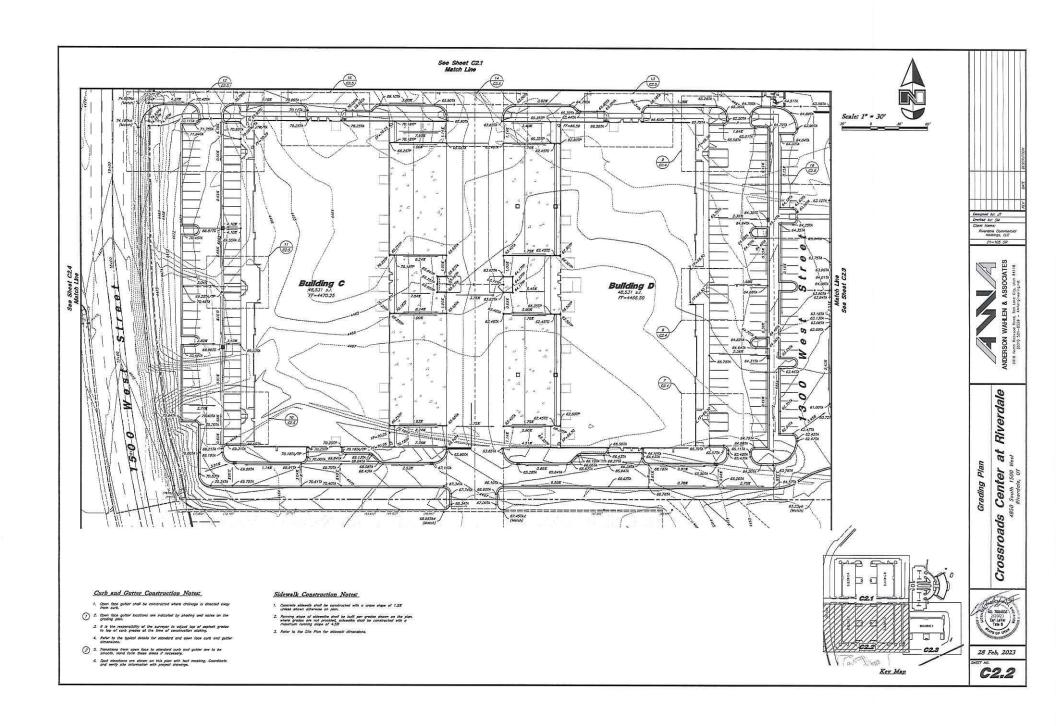
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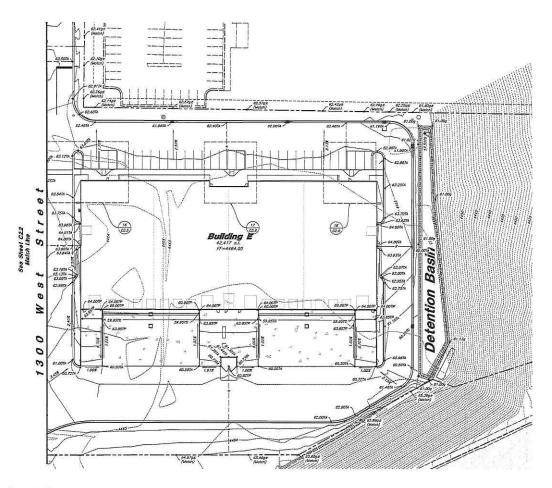
Overall Grading Plan

28 Feb. 2023



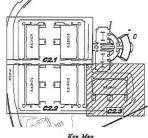


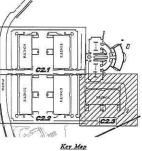




Curb and Gutter Construction Notes:

- Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

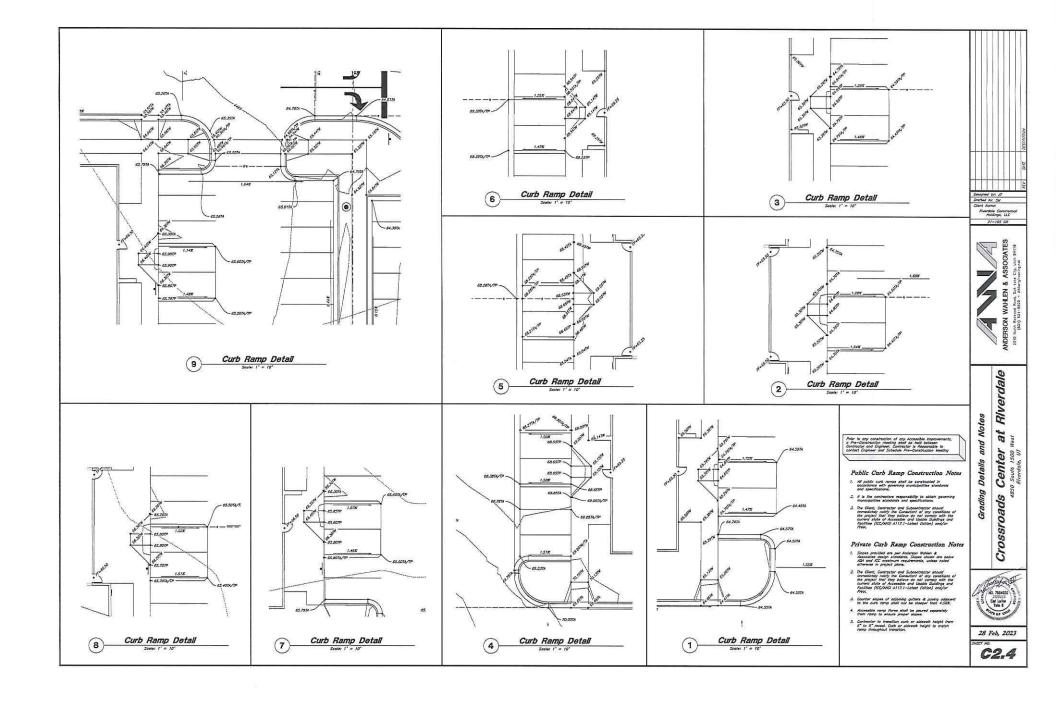


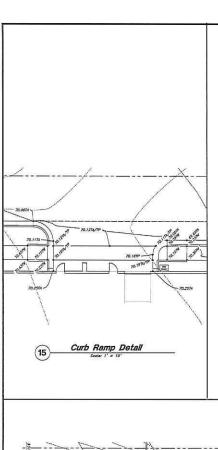


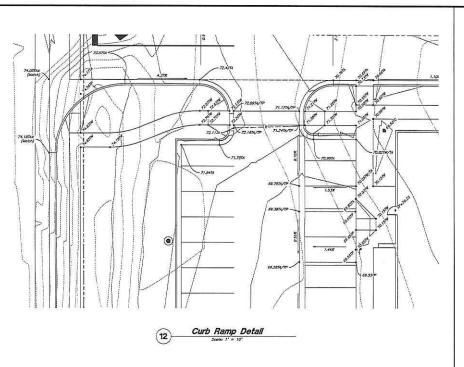
Riverdale Center at 1 Grading Plan Crossroads

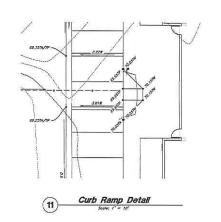


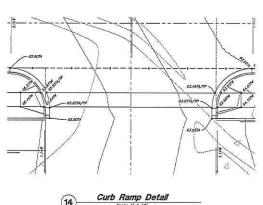
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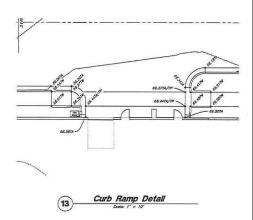


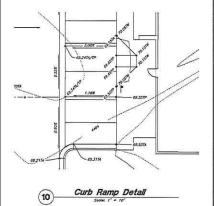












Prior to any construction of any Accessible Improvements, in Pre-Construction meeting shall be held between Contractor and Engineer. Contractor is Responsible to contact Topineer and Schedule Pre-Construction Meeting

Public Curb Ramp Construction Notes

- All public curb ramps shall be constructed in
- 2. If is the contractors responsibility to obtain gover-
- The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions a the project that they believe do not comply with current state of Accessible and Usable Buildings and Facilities (ECC/ACS ATTS)—Latest Edition) and one facilities (ECC/ACS ATTS)—Latest Edition) and one

Private Curb Ramp Construction Notes

- Associates design standards, Stopes shown are b ADA and ICC maximum requirements, unless note otherwise in project plans.
- The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions the project that they believe do not comply with the current state of Accessible and Decole Buildings on Facilities (ICC/AMS ATT7.1—Latest Edition) and/or
- Counter slopes of adjaining gutters & poving odj to the curb ramp shall not be elemen than 4.50
- Accessible romp flores shot be poured sept from ramp to ensure proper slopes.
- Contractor to transition curb or sidewall height fra 6" to 0" reveal. Curb or sidewall height to match ramp throughout transition.



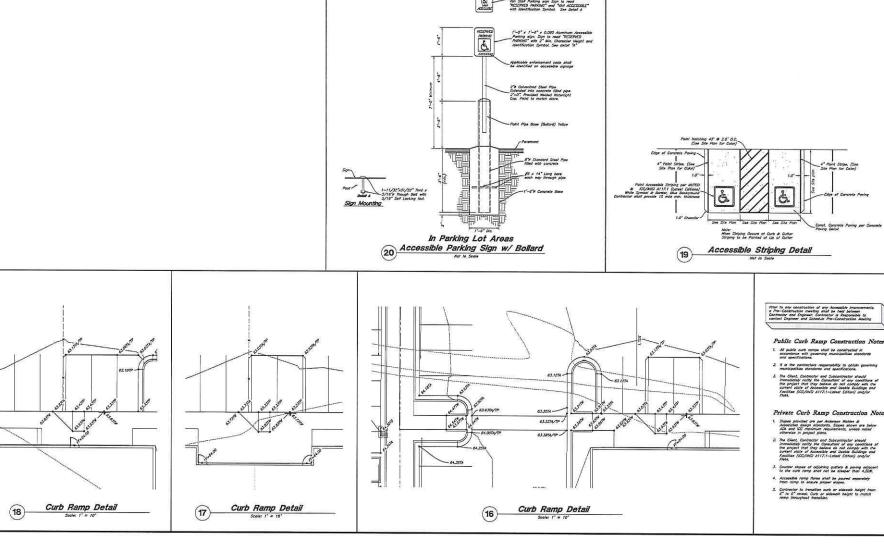
ANDERSON WAHEN & ASSOCIATES 700 box 100 pc. 10

Center at Riverdale
Riverdale, UT

Crossroads (

Grading Details and Notes

28 Feb, 2023



Accessible Van Staff Alternate Sign

Designed by: JT Drofted by: SM Client Home: Riverdale Commercial Holdings, LLC 21–105 GR

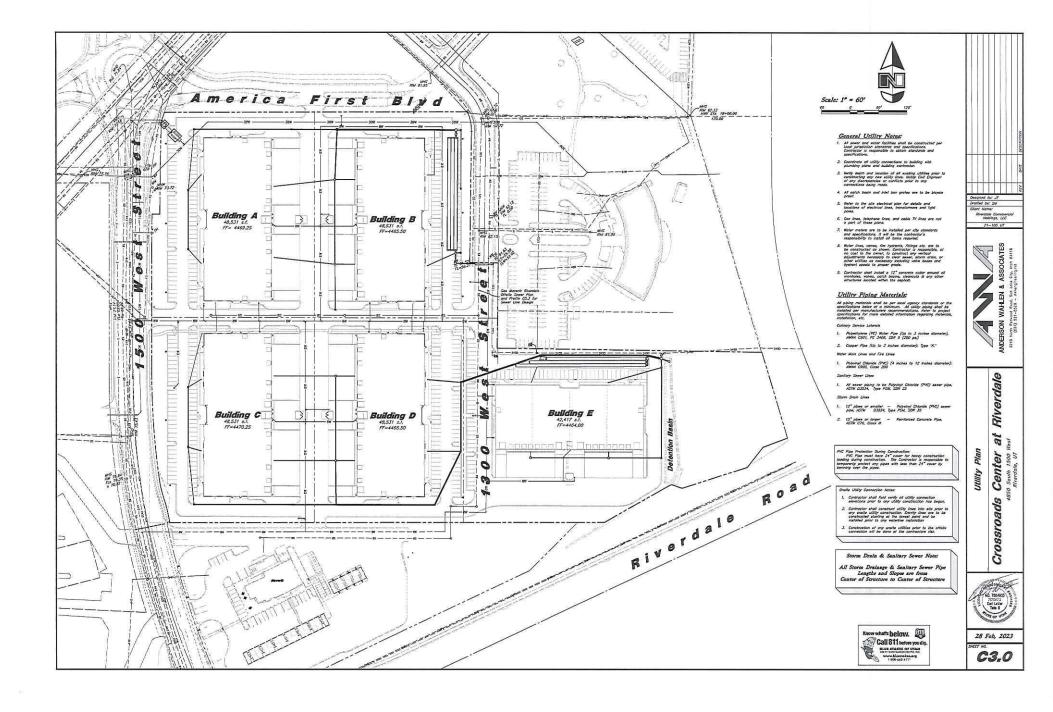
Riverdale Grading Details and Notes Center at 1

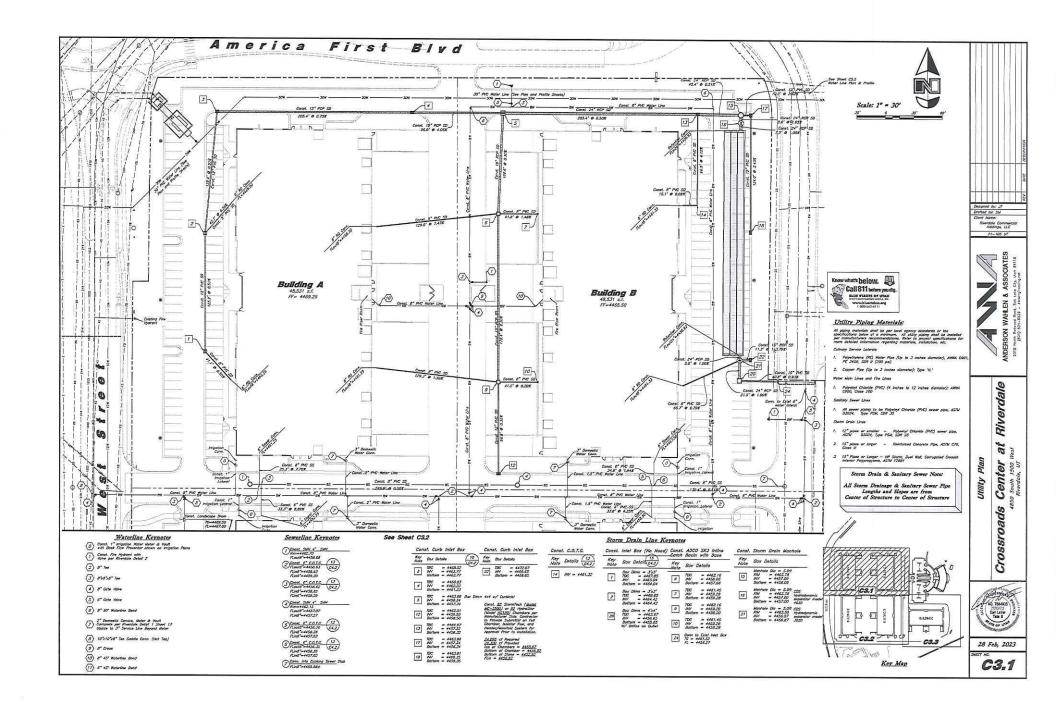
Private Curb Ramp Construction Notes

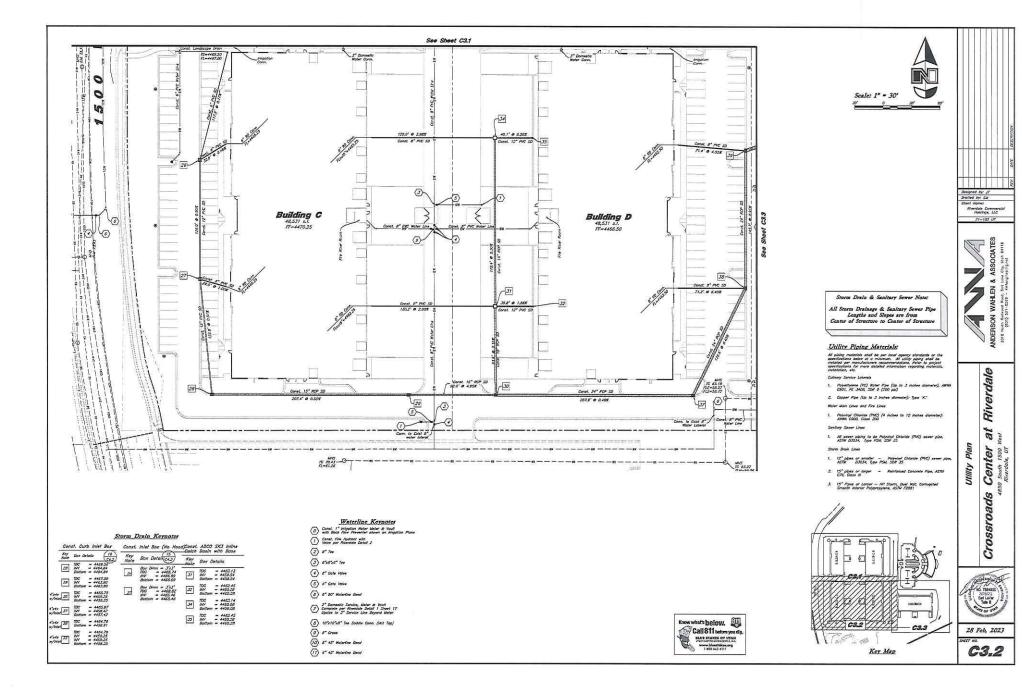


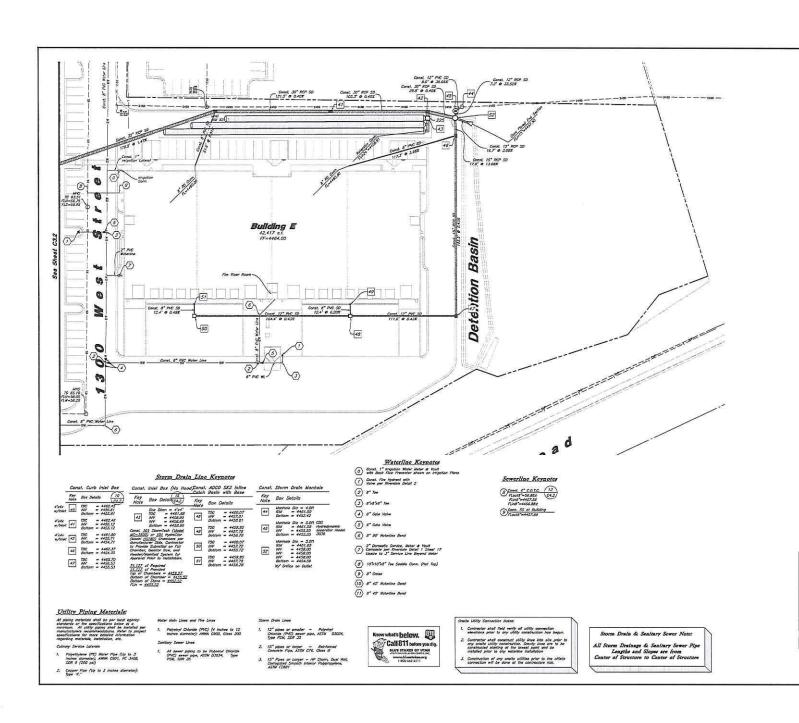
Crossroads

28 Feb, 2023











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Key Map

Designed by: JT
Drafted by: SU
Client Name:
Rivertible Commercial
Holdings, LLC
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Utility Plan

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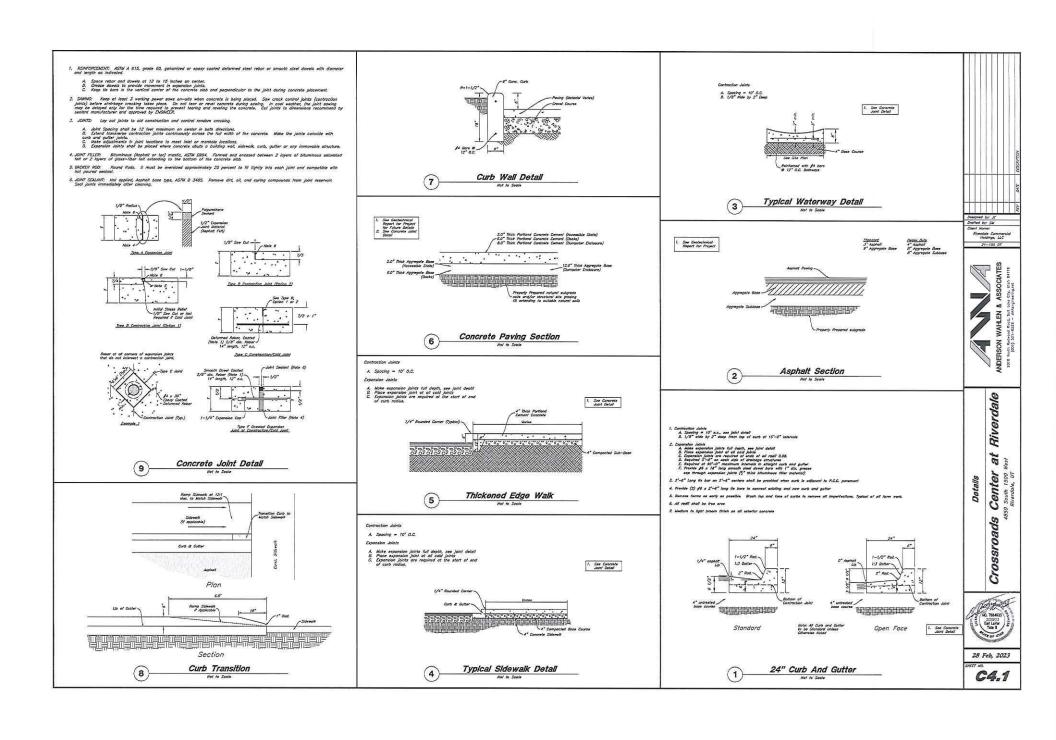
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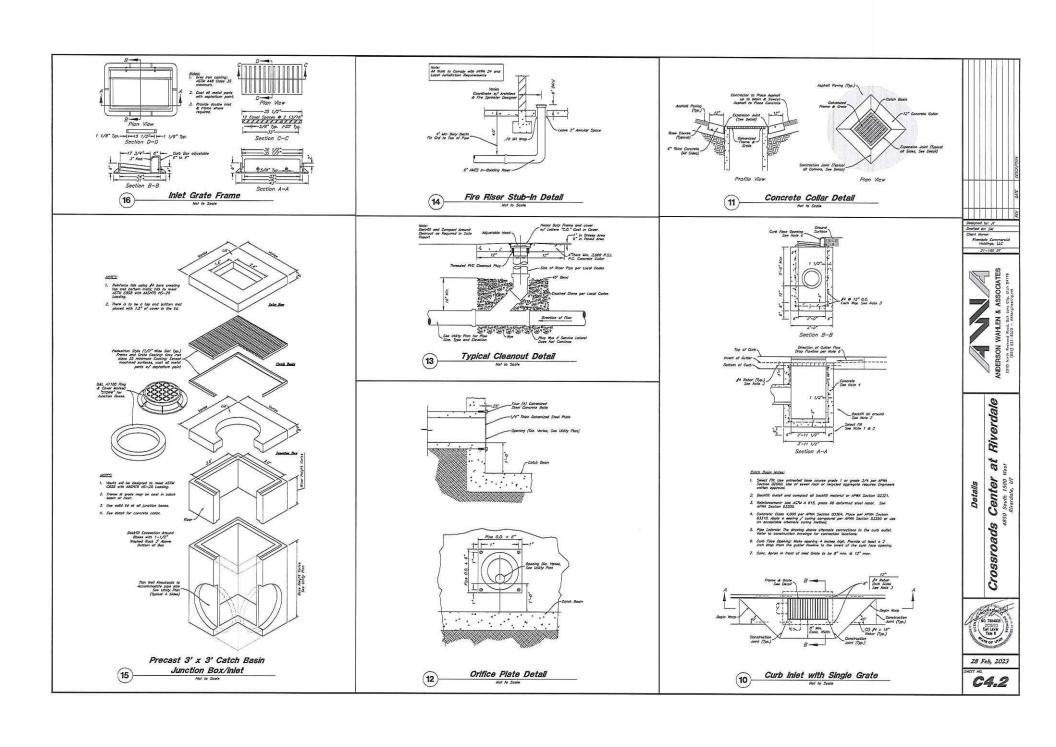
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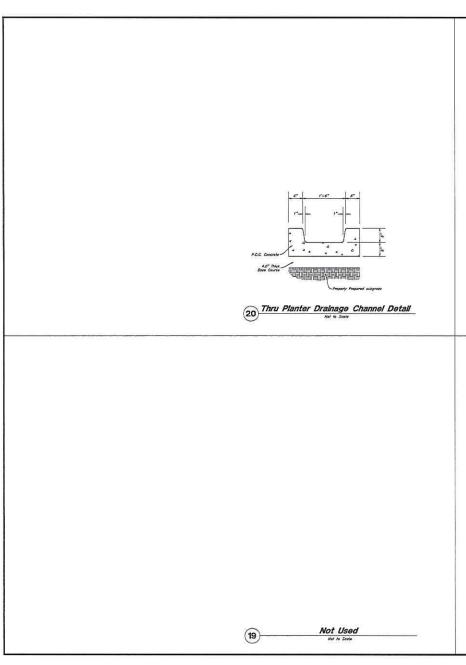


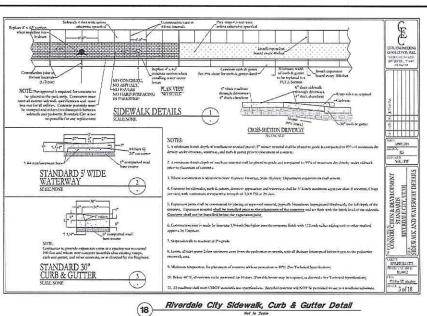
28 Feb, 2023

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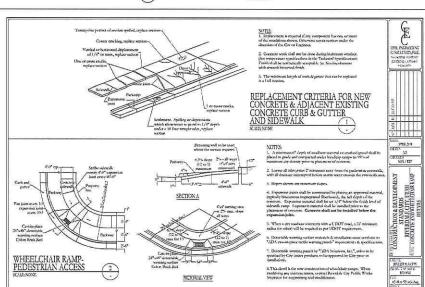








Riverdale City Sidewalk, Curb & Gutter Detail Hal to Scale



Riverdale City Accessible Ramp Detail

A ASSOCIATES IN CANADA SITE WAHEN ANDERSON Riverdale

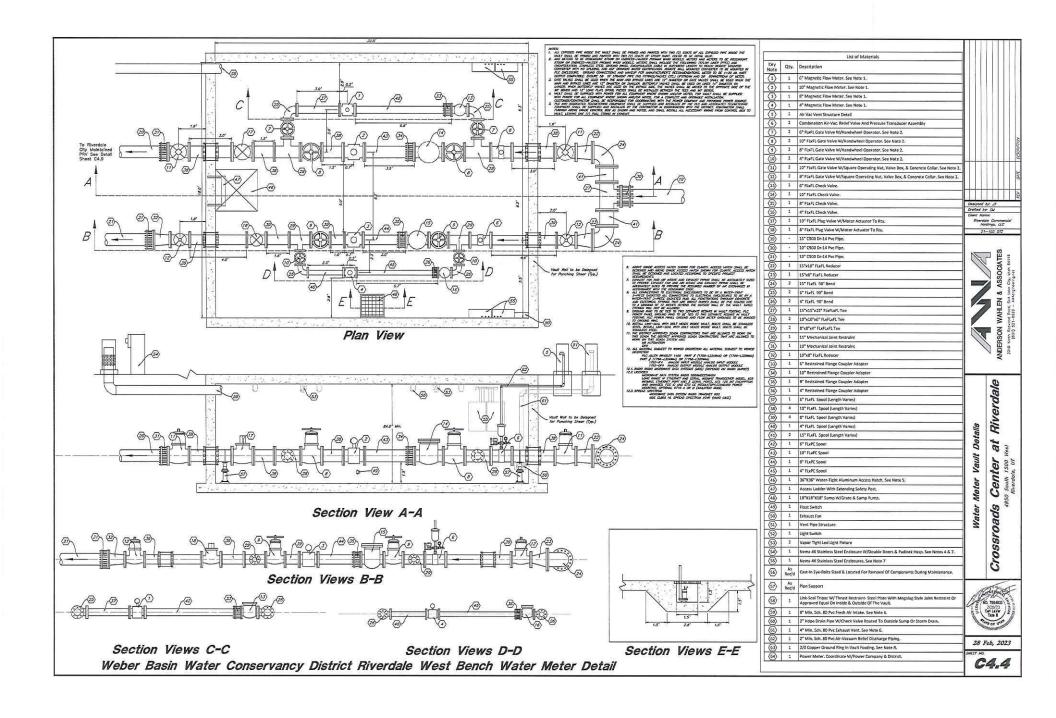
Designed by: Jf Drafted by: SU Client Name:

Riverdale Commercial Holdings, LLC 21-105 DF

at Center Details Crossroads



28 Feb. 2023



General Notes:

- General Notes:

 1. General: The Information On These Drawings Should Be Considered General In Nature And Not Necessarily All Inclusive. This Detail Is To Be Used As A Guide For Design And Shall Not Used For Any Specific Site Or Project. Prior To Bidding. Prior To Bidding Out Any Project Affecting Existing Or Proposed Distinct—owned Facilities, The Customer Shall Submit To The District Complete Site And Project Specific Plans And Specifications (collectively Referred To As "construction Drawings") For Review And Approval. The Construction Drawing Submittal Shall Include Written Certification From The Customer That The Customer Has Thoroughly Reviewed The Submittal, And That The Construction Drawings Meet Dr Exceed District Requirements In All Aspects, And If Necessary, Clearly Noting And Requesting Approval Of Any And All Deviations From District Specifications. Unless Noted Otherwise Herein, The Customer Shall Provide All Labor And Equipment Necessary For A Complete And Operable Installation
- Changes: It Shall Be The Responsibility Of The Customer To Perform Construction As Per District Specifications And The Approved Construction Drawings. Any Additions, Deletions, Or Changes Shall Be Approved By The District.
- 3. Discrepancies: Project Plans Shall Take Precedence Over These General Notes And Specifications In The Event Of A Conflict Between The Two. District Engineer Shall Be Notified In Regard To The Conflict Prior To Execution.
- 4. Existing Facilities: The Customer Shall Take All Precautionary Measures Necessary To Protect Existing District Improvements, Which Are To Remain In Place, From Damage, All Such Improvements Or Structures Damaged By The Customer's Operations Shall Be Repaired Or Reconstructed To Original Or Better Condition To The Satisfaction Of The District At The Expense Of The Customer.
- 5. Easements: The Customer Shall Be Required To Provide All Rights-of-way As Deemed Necessary By The District Prior To Construction, And To Keep All Construction Activities Within Soid Rights-of-way. This Shall Include But Not Be Limited To Vehicles And Equipment, Limits Of Trench Excavation, And Excavated Material And Back Fill Storage. If The Customer Requires Additional Construction Easements, It Shall Be Solely The Customer's Responsibility To Obtain Such Easements From Individual Property Owners.
- 6. Seismic: Vault Shall Not Be Located Within 100 Feet Of A Known Active Earthquake Fault Scarp. Concrete Pad And Anchor Bolts For Support Of Power Control Box Shall Be Adequately Sized For Seismic Overturning. In Areas Where Vault Floor Is Within 5 Feet Of Ground Water Level, Customer Shall Provide Calculations Verifying Vault Flootation Will Not Occur Due To Seismically, Induced.
- 7. Concrete: Design Of Concrete Must Meet Applicable Requirements For Site And Loading Conditions Expected. Customer Shall Submit Complete Concrete And Reinforcing Steel Design Prepared By A Licenced Professional Engineer To The District For Approval Prior To Commencing With Construction.
- 8. Pipeline Construction: Lay Pipe To Uniform Grade Between Indicated Elevation Points And Along Horizontal Alignment As Defined In The Approved Construction Drawings, Customer Shall Not Deviate From Approved Alignment Without Written Approved Of Requested Change By The District Engineer, Customer Shall Also Verify In The Field All Dimensions Shawn On The Approved Construction Drawings Against Those Dimensions Actually Staked On The Ground, If Any Discrepancy is Discovered, Customer Shall Discontinue All Work And Immediately Notify The District Engineer Of Said Discrepancy. Construction Work Shall Only Resume Upon Resolving Said Discrepancy,
- 9. Pipe Deflections: Pipe Deflections: Angles In The Project Piping May Be Made Using Combinations Of Bend Fittings As Specified In The District Approved Construction Drawings And/or Pipe Deflections So Long As Deflections Are Within The Pipe Manufacturers
- 10. Pipe Connections: Specific Mechanical Layout Details Of Pipe Connections, Air—vac Structures, Drain Structures, Etc., Can Be Altered To Include Other Types Of Joint Restraints Than Those That Are Shown On The Drawings. Use Of Victaulic Couplings, Flanged Adapters, Mega-lug Bolting, Locking Mechanical Joints And Flanged End Pipe May Be Used In Combinations & Needed To Aid In Construction.

 Customer Shall Submit A Mechanical Layout Detail To The District For Approval Prior To Construction.
- 11. Thrust Restraint: Thrust Restraint: Customer Shall Protect Adjacent Pressure Pipelines And Provide Temporary Thrust Restraint As Necessary During Construction, All New Pressure Pipe And Fittings Shall Have Thrust Restrained Joints, Thrust Blocks, Thrust Ties, Or Other Approved Restraint Mechanisms, Which Shall Be Adequate For The Greater Of 1.5 Times The Operating Pressure Or A Test Pressure Of 200 Psi. Seep Rings Shall Not To Be Considered As A Thrust Restraint. You'll Must Be Engineered With A Thrust Restraint To Hold Static Head. Customer Shall Submit Restraint Calculations Prepared By A Licensed Professional Engineer To The District For Approval Prior To Commencing With Construction.
- 12. Pressure Reducing Valves Pressure Reducing Valves Pressure Reducing Valves (prvs) Are The Responsibility Of The Customer. If Desired, Customer Is To Coordinate Design Requirements With Project And District Engineer For Approval, Prv Is To Be Installed On Main And Bypass Leg And Overall Vault Design Will Need To Be Modified To Incorporate Valves.
- 13. As-constructed Drawings: As-constructed Drawings: Actual Arrangement Of Equipment, Quantities, And/or Dimensions May Vary From That Shown Depending Upon Project Specific Requirements And Specific Materials Selected. Following Construction And Testing But Prior To Operation, Customer Shall Provide The District With One (1) Full Pdf Set Of Complete Structural, Mechanical, And Electrical As—constructed Drawings Or A Copy In Auto—cad Or Other District Approved Electronic Format.
- 14. Submittal Review: Submittal Review: Submittals For All Appurtenances Associated With The District's Existing Or Proposed Facilities Shall Be Reviewed And Approved By The District Prior To Purchase Or Installation. This Shall Include All Electrical Equipment, Instrumentation, Piping, Fittings, And Materials.

Riverdale Commerci Holdings, LLC

Center at Riverdale Crossroads

WBWCD General Notes

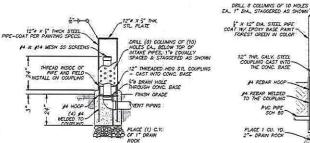


28 Feb, 2023

NOTES:

- I. PROVIDE 6" THICK CONCRETE PAD EXTENDING 3' IN FRONT & 6" TO BACK & SIDES OF CABINET. RUN #4 REBAR 9" O.C. EACH WAY. SECURE CABINET TO PAD W / 4) MIN. 1/2" DIA. x 6" LG. STAINLESS 304 SS SEISMIC RATED ANCHOR BOLTS W/ MIN. 3" EMBEDMENT. SLOPE GRADE TO DRAIN AWAY FROM SLAB.
- CONTRACTOR SHALL BE RESPONSIBLE TO SIZE ENCLOSURE FOR EQUIPMENT. ENCLOSURE SHALL BE NEWA 4X STAINLESS STEEL, &
 SHALL HAVE DOUBLE DOORS W/ 3 POINT LOCKING HANDLE THAT WILL ACCEPT A PADLOCK. INCLUDE A BACK PANEL FOR ENCLOSURE.
- 3. PROVIDE & INSTALL 24"x24"x12" HOFFMAN NEMA I ENCLOSURE W/BACKPLATE FOR PLC & RADIO
- 4. CONTRACTOR SHALL FURNISH AND INSTALL PLC, RADIO, ANTENINA & CONNECTIONS. CONTRACTOR SHALL PROVIDE GROUNDING ROD & GROUNDING COMBUSTOR ALONG ENCLOSURE STAND. CONTRACTOR SHALL PROVIDE TERMINAL STRIP FOR ALL CONTRECTIONS TO PLC. CABINET FROM FLOW METER CONVERTERS, PRESSURE TRANSPUGER, ALARM, ETC. PROVIDE 2 EACH FDP pl6 AWD TO EACH FLOW METER CONVERTER (ONE FOR 4-20 MAMP-DC FLOW), ONE FOR PULSE TOTAL). ALSO PROVIDE RELAY, FOR PULSE TOTAL.
- 5. SEPARATE CONDUITS SHALL BE USED FOR POWER LINES & CONTROL/INSTRUMENTATION LINES.
- 6. ALL ELECTRICAL CONDUITS IN VAULT SHALL BE GRC OR SCHEDULE 80 PVC.
- 7. CONTRACTOR SHALL PROVIDE 3" CONDUIT FOR MAIN POWER FROM CONTROL BOX METER MAIN TO POWER COMPANY TERMINUS, WITH REDWIRED HTTINGS AND APPURTENANCES, AND SHALL PROVIDE A PULL STRING INSIDE CONDUIT. POWER COMPANY SHALL PROVIDE 120/240 VICT. SINGLE PHASE 100 AMP SERVICE (TO BE COORDINATED BY CUSTOMER AND CUSTOMER'S CONTRACTOR MY POWER COMPANY AND DISTRICT),
- 8. CONTRACTOR SHALL PROVIDE (2) 1" CONDUITS TO VAULT FOR FLOW METERS AND (1) #16 TSP IN 3/4" CONDUIT FOR 4-20 MAMP-DC SIGNAL FROM PRESSURE TRANSDUCER TRANSMITTER TO PLC. SEE DETAIL 2/D-5 FOR METER SPECIFICATION
- 9. CONTRACTOR SHALL PROVIDE (1) 20 AMP 1 PHASE CB & (3) #12 CONDUCTORS IN 3/4" CONDUIT FOR (2) VAPOR—TIGHT LED LIGHT FIXTURES INSIDE OF VALUE, INSTALL LIGHT SWITCH W/ WF COVER M CLOSE PROMINEY TO HATCH ENTEY, PROVIDE (1) 20 AMP 1 PHASE CB & (3) #12 CONDUCTORS IN 3/4" CONDUITS FOR (2) GFCI OUTLETS IN HEATHERPROOF ENCLOSURES AND IN—USE COVERS INSIDE OF VAULT, INSTALL OUTLETS & SWITCHES 4" MIN. ABOVE FLOOR, PROVIDE (1) 20 AMP 1 PHASE CB & (3) #12 WIRE IN 3/4" CONDUIT FOR SUITE PLUMP W/NEMA 3-20R SINGLE RECEPTACLE OUTLET (LEVTON 5801-IN) WITH IN-SERVICE COVER OVER SUMP FOR PUMP, PROVIDE (1) 20 AMP 1 FOLE CB & (3) #12 WIRE IN 3/4" CONDUIT FOR EXHAUST FAIN, AMP 1 FOLE CB & (3) #12 WIRE IN 3/4" CONDUIT FOR EXHAUST FAIN, PROVIDE TIGHT ZHER FILIO 24-HOUR ADJUSTABLE TIMER SWITCH WITH 2 SETS OF ON/OFF PINS TO CYCLE THE FAIN & LIGHTS ON FOR ONE HOUR INCREMENTS TWO TIMES PER DAY, PROVIDE BY—ASS FROM THE CONTROL FOR HATCH ACCESS LIGHT SWITCH, ALL OUTLETS, EXCEPT THE ONE FOR THE SUMP PUMP, TO HAVE GFCI PROTECTION.
- 10. CONDUIT NUMBER & SIZE SHOWN ON DRAWING DETAIL ARE ONLY REPRESENTATIONAL. ACTUAL NUMBER & SIZE SHALL BE AS REO'D. (2) MIN. ADDITIONAL 2" SPARE CONDUITS SHALL BE INSTALLED FROM THE CONTROL BOX TO THE VAULT J-BOXES 1-2" TO EACH J-BOX IN VAULT #/PULL STRINGS.
- 11. SIZE & PROVIDE HEATER TO MAINTAIN TEMPERATURE FOR INTERNAL EQUIPMENT ABOVE 40F (5°C).
- 12. PROVIDE 2" THICK FOAM INSULATION INSIDE OF ENCLOSURE TOP, BOTTOM, BACK, SIDES & DOORS, SECURE INSULATION W/ADHESIVE,
- 13. ALL JUNCTION BOXES IN VAULT SHALL BE STAINLESS STEEL NEWA 4X BOXES (16"x12"x6").
- 14. ALL WIRE SHALL BE XHHW-2 COPPER WIRE.
- 15. PROVIDE THERMOSTAT FOR PANEL EXHAUST FAN TO KEEP TEMPERATURE BELOW 80° F.







FOREST GREEN IN COLO	* 1.				
	1.	1			
		· 3			
12" THR. GALV. STEEL					
COUPLING CAST INTO	1.1				
THE CONC. BASE	1	- 1 /			
		11 1		200	
#4 REBAR HOOP-		SIDEWAL	K OR GRAD	E	
		116/2			
#4 REBAR WELDED	273	111550			
TO THE COUPLING	- A -	1/10			
PIE PIOT	1/4	MINIO		*	
SCH BO	< ××/ 1 : L	1 2-06	AIN HOLE	· ·	
250 (850)		THRU	BASE		
			100000		
PLACE I CU. YO.	10.6	1			
2"+ DRAIN ROCK	- 10 Miles	21576			
	8270	TOIO!			
	ASKA	Land of			
Autor Equipolica					
	12" THR. GALV. STEEL COUPLING CAST INTO THE CONC. BASS. ## REBAR MOOP— ## REBAR MELDED TO THE COUPLING PVC. PICE SON 80 FLACE 1 CU, YO	12° THR. GALV. STEEL COUNTING CAST WTO THE CONG. BASS JA REBAR MEDDED TO THE COMPLING TO THE COMPLING SON BO FLAGE 1 CU. VO. 2°- DRAIN FOCK	12" THE GREY STEEL COUPLING CAST WID THE CONE BASE 4 REBAR MOOP TO THE COUPLING THE COUPLING SON BO FLACE 1 CU YD. 2" - DRAW ROCK	12" THR. GALV STEEL COUPLING CAST WID THE CONE BASE 4 REBAR MOOD TO THE COULING TO PLE COUPLING SON BO FLACE 1 CU. YD. 2" - DRAW ROCK	12" THR. CALV. STEEL COMPINIO CAST INTO THE CONC. BAST A REBAR HOOP TO THE COMPINE PUC PRIC PUC PRIC FLACE 1 OU. YD. PLACE 1 OU. YD.

3	AIR VAC VENT STRUCTURE DETAIL
	NTS

DISTANCE TO

DETERMINED SY ENGINEER MAINTAIN 12"

MIN FROM CEILING

0

NO.	ary.	Size	DESCRIPTION
1	1	2" PIPE SIZE	APPROVED TAPPING SADDLE.
2	3		Sch. 40 GALV. THREADED STEEL NIPPLE THURTH.
3	-1	2"	BRONZE BALL VALVE WITH LEVER OPERATOR.
4	1	2*	Sch. 40 GALV. STEEL THREADED CROSS
5	1	2"X1"	BRASS BUSHING
6	1	1"x2" LONG	Sch. 40 GALY. THREADED STEEL NIPPLE THATA.
7	-1	7-	Son. 40 GALV. STEEL THREADED TEE
8	1	1-	HOSE BIB WITH SMOOTH OUTLET
9	1	1"x1"	BRASS: BUSHING
10	1	47	GLYCERIN FILLED PRESSURE GAUGE, 0-200 pdi
11	1	1."xg"	BRASS BUSHING
12	1	8"	Sch. 40 GALV. THREADED STEEL NIPPLE THATM.
13:	1	8"	COMPRESSION. COUPLING
14	. 1	8"	TYPE K COPPER PIPE (LENGTH DETERMINED BY ENGINEER)
15	1	2"	COMBINATION AIR/VAC. RELIEF VALVE ASSEMBLY
16	1	2"	COMPRESSION ADAPTOR FIFTING
17	1	2"	CL-200 PVC PIPE (LENGTH DETERMINED BY ENGINEER)
18	1	2"	90' PVC BEND
18	. 1	10	STANDARD STEEL THREADED FLANGE BOLTED TO FLOOR.
20	1	1"x60"	Sch. 40 GALV. STEEL PIPE, ThixTin.
21	1	1-	Sch. 40 GALV, STEEL END CAP
22.	1	1-	PIPE CLAMP ASS'Y.
23	1	<u>1</u> -	ROSEMOUNT MODEL 2088G3S22A1M5B4DW PRESSURE TRANSDUCER (SEE NOTE 1)
24	1	8-	CONNECT COPPER PIPE W/ COMP. COUPLING PER MANUFACTURER'S DIRECTIONS

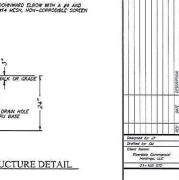
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	CONC. F	LOCE S	

1. SET PRESSURE TRANSDUCER AT 200 PSI AND WIRE 4-20 MAMP SIGNAL FROM TRANSMITTER TO PLC W/ #16 TSP IN A 3/4" CONDUIT.



ELECTRICAL INSPECTIONS:

- 1. GROUNDING: INSPECTION OF COMPLETED GROUND RING.
- INSPECTION OF ALL CONDUIT PENETRATIONS AND ALL CONDUIT TO BE RAN IN CONCRETE AND OR BURIED IN THE GROUND BEFORE CONCRETE POUR OR BURYING.
- 3. INSPECTION OF CONDUIT RUNS IN VAULTS BEFORE AND AFTER WIRE PULLS.
- 4. FINAL INSPECTION.



W

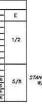
Riverda at Center Crossroads

Detalls

WBWCD

Earl LaVar Tata II

28 Feb, 2023



NOUNAL NOMINAL PIPE SIZE "A" STANCHION, ANVIL FIGURE 63T W/ SOURCE GUT THREADED END OR EQUIVALENT

FMREDMENT

NOTES:

- 1. HOT DIP GALVANIZE ALL PARTS FOLLOWING FABRICATION
- 2. THIS PIPE SUPPORT IS UMITED TO PIPE FROM 4" THROUGH 36" IN DIAMETER INCLUSIVE.



FLOOR SUPPORT DETAIL

MISCELLANEOUS SPECIFICATIONS

WINDOWS OF VENT STRUCTURES.
SYSTEM NO. 2: APPLIED TO INTERIOR AND EXTERIOR OF VENT STRUCTURES.
SURFACE PROFILE: 1.5 — 2.6 MLS
SURFACE PROFILE: 1.5 — 2.6 MLS

COATING SYSTEM:

COATING SYSTEM:
PRIMER: THEMEO SERIES N140, 3.0 — 5.0 MDFT
INTERMEDIATE: THEMEO SERIES N140, 3.0 — 5.0 MDFT
INTERMEDIATE: THEMEO SERIES N140, 3.0 — 5.0 MDFT
INTERMEDIATE: THEMEO SERIES 750, 2.5 — 5.0 MDFT
SYSTEM NO. 3: APPUED TO INTERIOR OF ACCESS MANWAYS AND COVERS, INTERIOR AND EXTERIOR OF MELDED STEEL PIPE, WELDED
STEEL FITTINGS AND SPECIALS.

ITEL ITTINGS AND SPECIALS.
SURFACE PREPARATION: SSPC-SP10
SURFACE PROFILE: 1.5 - 2.0 MLS
COATING SYSTEM:
PRIMER: SERIES 91-M20, 2.5 - 3.5 MDFT
INTERNEDIATE: TIMEMEC SERIES N140, 4.0 - 6.0 MDFT
FINISH: TIMEMEC SERIES N140, 4.0 - 6.0 MDFT

GENERAL:

- GREARIST .

 COUPLINGS SHALL BE RATED FOR APPROPRIATE OPERATING PRESSURE AND HYDROSTATIC TEST PRESSURE.

 COUPLINGS SHALL BE FACTORY LINED AND COATED WITH FUSION SONDED EPOXY.

 FOR PIPE WITH GROOVED CHOST ENDS.

 GROOVED COUPLINGS, IN ACCORDANCE WITH AWWA COSO. SYSTEM SHALL PROVIDE FOR RIGID JOINTS.

 EMPOSED COUPLINGS SHALL BE LINED AND COATED WITH LIQUID EPOXY IN ACCORDANCE WITH AWWA C210.

- EXPOSED COUPLINGS SHALL BE LINED AND CORTED WITH LIQUID EPOXY IN ACCORDANCE WITH AWMA C210.
 DISMANTING JOINTS FOR CONNECTING FLANGED PIPE SHALL BE AWMA C219 COMPLIANT.
 DISMANTING JOINT SHALL CONSIST OF A SELF-CONTAINED FLANGED RESTRAINED JOINT FITTING THAT ALLOWS FOR LONGITUDINAL ADJUSTMENT. PROVIDE AS COMPLETE ASSEMBLY CONSISTING OF FLANGED SPIGOT PIECE, FLANGE ADAPTER, FOLLOWER RING AND BOLTS, TE BARS, AND GASKET.

BOLTING/FASTENING

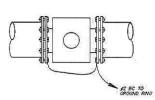
1. BOLTS OR THREADED ROD: STAINLESS STEEL ASTM A193, GRADE BT, OR BLUE BOLTS. 2. NUTS: STAINLESS STEEL, ASTM A194 GRADE 2H HEX HEAD NUTS, OR BLUE NUTS.

GENERAL:

- EMERAL!

 I VALVES SHALL INCLUDE OPERATOR, ACTUATOR, HANDWHEEL, CHAIN WHEEL, EXTENSION STEM, FLOOR STAND, OPERATING NUT, CHAIN, WRENCH, AND ALL ACCESSORIS REQUIRED TO ALLOW A COMPLETE OPERATION FROM THE INTENDED OPERATING LEVEL, AND SHALL BE SUTFACE FOR NITENDED SERVICE.
- BE SUTABLE FOR INTENDED SERVICE.

 2. MALVES SHALL BE FACTORY LINED AND COATED WITH FUSION BONDED EPONY IN FULL COMPLIANCE WITH ANS/INST STANDARD OF CORRESPONDED AND REPORT STORM COMPOUNDED WITH STORM COMPOUNDED FOR THE STANDARD OF THE FUNCTION OF THE STANDARD OF THE FUNCTION OF THE STANDARD STANDAR
- - 2. NIBCO: T-595-Y



NOTES:

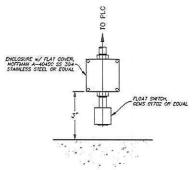
5" DIA. 304SS U-BOLT W/ (1) NUT AND (1) FW EACH

(4) "E" 0 , 6 ½" JOHSS -EXPOXY ANGHOR BOLTS W/ (2) NUTS & (2) FW EACH

-1" MIN. NON-SHRINK GROUT

 MAG METERS TO BE ROSEMOUNT 8750W OR ENDRESS—HAUSER PROMAG W400 MODELS. METERS SHALL INCLUDE THE FOLLOWING: TEX.ON LINER (PTE) AND ENCAPSULATION, STANLESS STEEL GROUND RINGS, ENCAPSULATED CABLE IN SUFFICIENT LENGTH TO REACH REMOTE MOUNTED CONVENER WITH NO SPLICING, AND NSF DRINKING WATER CERTIFICATION. REMOTE WALL MOUNTED CONVERTER TO BE MOUNTED IN RTU ENCLOSURE, GROUND CONNECTIONS AND MAKEUP PER MANUFACTURER'S RECOMMENDATIONS. METERS TO BE 4-20 MA HART HART OUTPUT COMPATIBLE. ENSURE 5 DIAMETERS OF STRAIGHT PIPE (NO FITTINGS. VALVES, ETC.) UPSTREAM, AND 2 DIAMETERS DOWNSTREAM.







MISCELLANEOUS SPECIFICATIONS (CONT.)

NES (CONT.)
PLUS VALVES 3-12 INCHES: NONLUBRICATED TYPE RATED 175 PSIG CWP, DRIP-TIGHT SHUTGFF WITH PRESSURE FROM EITHER DIRECTION, CAST IRON BODY, EMPOSED SERVICE FLANGED ENDS PER ASUE BIG.1, PLUS CAST IRON WITH ROUND OR RECTANGULAR PORT OF NO LESS THAN 80 PERCENT OF CONNECTING PIPE AREA AND COATED WITH SUMA-N, SEATS WELDED MOVEL, STEM BEARINGS LUBRICATED STAMLESS STEEL OR BRONZES, STEM SEA MUNTUPLE V-RINGS, OR U-C-LOPS WITH O-RINGS OF INTELIE BUBBER, ORTS ESTAD ON BOTH UPPER AND LOWER BEARINGS, I. PRATT, BALLCONTROL.

I. PRATT, BALLCONTROL.

BUTTEREN, VALUES 3-48 INCHES AWWA CSO4, CLASS ISOB, SHORT BODY, TYPE WITH FLANCED ENDS, CAST IRON BODY, CAST OR DUCTLE IRON DISC, 304 STAMLESS STEEL SHATTS, BUNA-H, OR FEDDM RUBBER SEAT BONDED OR MOLDED IN BODY ONLY, AND STAMLESS STEEL SEATING SURFACE. FOR INVESTIGATION ON INVESTIGAT PLANDISTING V-TYPE OR O'RING SHATT SEALS; SIGNLE METAL—TO-METAL THRUST BEARING SURFACES FROM FLOWSTREAM, ELASTOMER SEATS SHALL HAVE ADMESTIVE INTEGRITY OF BODD BETWEEN SEAT AND BODY ASSURED BY TESTING, WITH MINIMUM 75-POUND PULL ACCORDANCE WITH ASTO METAL BY SEATH WITH HARDED PRESSURE APPLIED IN BOTH DIRECTIONS. PROVIDE TRAVELUNG NUT OR WORM CEAR ACTUATOR WITH HARDWELL. VALVE ACTUATORS ON BETT HER PRESSURE APPLIED IN BOTH DIRECTIONS. PROVIDE TRAVELUNG NUT OR WORM CEAR ACTUATOR WITH HARDWELL. VALVE ACTUATORS ON BETT HER PROVIDED ONE.

3. MUELLER, LINESCAL SEARIS.

3. MUELLER, LINESCAL SEARIS. SIENT OFFICE AWAY VALVE.

3. MUELLER, LINESCAL SEARIS. SIENT DIRECT CHECK VALVE CONSTRUCTED OF ASTM A126 CLASS B CAST IRON FOR CLASS 125 VALVES. THE SEAT AND DISC SHALL BE ASIN BOSA ALLOY BROWZE. THE COMPRESSION SPRING SHALL BE ASIM A315 TYPE 316 STAMLESS STEEL WITH ORROWDE DISK. A BUNA-N-SEAL SEAL BE PROVIDED ON THE SEAT OF PROVIDE TRAVELING FOR HARDEN OF HER SEAL.

1. APEC, SERIES 600.

COMBINATION ARE VALVES TO THE SEAL.

1. APEC, SERIES 600.

COMBINATION ARE VALVES TO THE SEAL.

1. APEC, SERIES 600.

COMBINATION ARE VALVES TO THE VALVE FOR WHITE SERVES. COMBINES THE OPERATION BULLOUGH FOR HAR AND VACU

2. VAL—MATIC, SERIES 1800.

COMBINATION ARE VALVES 1-TO RICHES: SUITABLE FOR WATER SERVICE, COMBINES THE OPERATING FEATURES OF BOTH AN AIR AND VACUUM VALVE AND AIR RELEASE VALVE, AIR AND VACUUM PORTION TO AUTOMATICALLY EMPAUST AIR DURING FILLING OF SYSTEM AND ALLOW AIR TO RE-ENTER DURING DURING OR WHEN VACUUM OCCURS. THE AIR RELEASE PORTION OF AUTOMATICALLY EMPAUST BURNED AIR THAN ACCUMULATES IN SYSTEM, VALVE SINGLE BODY OR DUAL BODY, AIR RELEASE VALVE MOUNTED ON AIR AND VACUUM VALVE, ISOLATION VALVE MOUNTED BETWEEN THE DUAL VALVES, AIRT THEREADE MILLET AND DUTIET, RAINED 200 PSY WORKING PRESSURE, CAST IRON OR DUCTILE IRON BODY AND COVER, STANLESS STEEL FLOAT, AND TRIM, BUILT AND TESSED TO AWWA CS12.

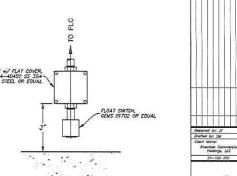
1, APCO VALVE AND PRIMER CORP., SERIES 1430 TO 147C OR 1804 TO 1816.

2. VAL—MATIC VALVE, SERIES 140-CA.

OPERATORS AND ACTUATORS

EMAINS, AND ACTION TOWNS
MAINTAL GREATORS: FOR AWMA VALVES, OPERATOR FORCE NOT TO EXCEED THE REQUIREMENTS OF THE APPLICABLE VALVE STANDARD, FOR NON-AWMA VALVES, OPERATOR FORCE NOT TO EXCEED APPLICABLE INDUSTRY STANDARD OR SO POUNDS, WHICHEVER IS LESS, UNDER ANY OFFERATING CONDITION, INCLUDING INTIAL BREAKAMAY. FOR YOUNDE GEAR REDUCTION OFFERATOR WHEN FORCE EXCEED RECOVERMENTS. WORM AND GEAR OPERATORS ONE-PIECE, DESIGN WORM-GEARS OF GEAR BRONZE MATERIAL WORM HARDERED ALLOY SIELE WITH THREAD GROUND, AND POLISHED, TRAVELING NOT THE OPERATOR'S THREADER STELL READ RESULTS AND STELL READ RESULTS

INIG HOROSTATIC TEST FOR PRESSURE PIPING: MAINTAIN HYDROSTATIC TEST PRESSURE CONTINUOUSLY FOR 2 HOURS MINIMUM, AND FOR SUCH ADDITIONAL THE AS NECESSARY TO CONDUCT EXAMINATIONS FOR LEAKAGE, EXAMINE JOINTS AND CONNECTIONS FOR LEAKAGE, CORRECT VISIBLE LEAKAGE AND RETEST AS SPECIFIED.



ASSOCIATES WAHLEN ANDERSON

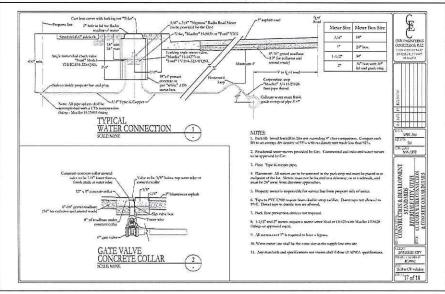
> Riverdale at Center Crossroads

Detalls

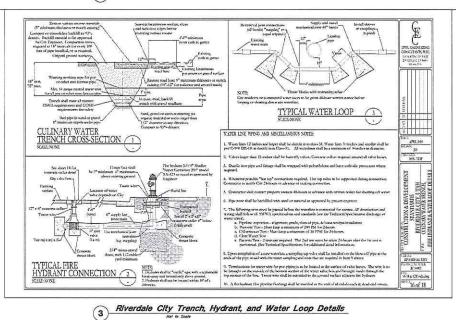
WBWCD

2/28/23 Carl LaVer Tate II

28 Feb, 2023

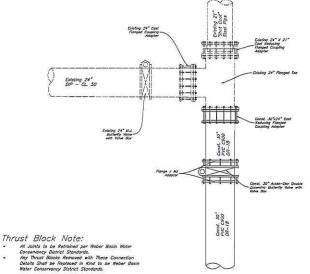


Riverdale City Water Connection and Gate Valve Details 4



Capata de la Par Existing 36" Casing to Remain Thrust Block Note:

JSC DIOCK IVOICE:
MI Joints to be Retrained per Weber Basin Water
Conservancy District Standards.
Any Thrust Blocks Removed with These Connection
Details Shall be Replaced in Kind to be Weber Basin.
Water Conservancy District Standards. Existing Bend Connection at AFCU Campus Detail



Existing Tee in 1500 West Street Connection Detail

Crossroads NO. 7004030 2723/23 Earl LaVar Tato II

Center at Riverdale

Vault Detalls

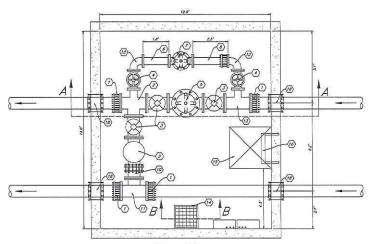
Motor

Water

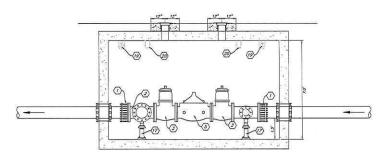
28 Feb, 2023

- ALL EXPOSED PIPE INSIDE THE VAULT SHALL BE PRIMED AND PAINTED WITH TWO (2) COATS OF ALL EXPOSED PIPE INSIDE THE
- VALET SHALL SE SUPPLED WITH POWER FOR ALL EQUIPMENT WHERE SHOWN AND/OR NOTED, FOR VAULT SHALL SE SUPPLED
 WITH POWER FOR ALL EQUIPMENT WHERE SHOWN AND/OR NOTED, FOR A COMPLETE AND OPERAGE. INSTALLATION.
 CHISTOLISPOCHISTICIDES SHALL SE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY AND PROVISION POWER SOURCE.
- 3. PLC MIO ASSOCIATO TIELLETERRIO EGURICHI SAVL. BE SUPPLED AND INTALLED RY THE PLC AND ASSOCIATO TIELLETERRIO. COURMINT SONLL RE SUPPLIA DANI DISTULLED BY THE COMMINION ON COORDINATION WITH THE DISTRICT, COMPRISION SHALL FURNISH ABOVE CRUE CONTROL BOX AS SHOWN AND NOTED, AND SHALL INSTALL ALL NECESSARY WRING FROM CONTROL BOX TO WALT, LEAVING ONE (1) PLUL STRING IN COORDINATION.
- 4. ABOVE GRADE ACCESS HATCH SHOWN FOR CLARITY, ACCESS HATCH SHALL BE DESIGNED AND ABOVE GRADE ACCESS HATCH SHOWN FOR CLARITY ACCESS HATCH SHALL RED DESIGNED AND LOCATED ACCESSING TO SPECIFIC PROJECT REQUIREMENTS.
- S. ALL COMMETCIONS TO ELECTROLL ENCLOSURES TO BE BY A WITER-TOCHT 3—PIECE CASKEED ALL COMMETCIONS TO ELECTROLL
 ENCLOSIESES TO BE BY A WITER-THAT 3—PIECE CASKEED AND ALL PERFERENCES PRODUCT CONCRETE AND ELECTROLL
 HTTIMOS THAT ARE DEFOT BURBLO SHALL BE PYC CONTED GRC TO A MINIMAN OF 12 WORKS BEYOND THE OUTSDE WALL OF THE
 WALLS THERE DITTIMOS THAT OF BE ALLOWED.
- 6. CROUND RING TO BE TIED TO TWO SEPARATE REBARS IN VALLET FOOTING, PLC POWER PANEL GROUND RING TO BE TIED TO TWO
- 7. INSTALL LINK-SEAL WITH BOLT HEADS INSIDE WALLT. BOLTS SHALL BE STAINLESS STEEL INSTALL LINK-SEAL WITH BOLT HEADS INSIDE WALLT. BOLTS SHALL BE STAINLESS STEEL.

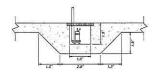
		List of Materials
(ey Note	Qty.	Description
(1)	4	10" M.J. X Flange Adaptor
(2)	1	10"x10"x10"x6" Flanged Cross
(3)	3	10" Gate Valve with 2"x2" Operating Nut with
(4)	2	6" Gate Valve W/Handwheel Operator
(3)	1	10" Pressure Reducing Valve
(6)	1	6" FLxFL Spool
(7)	1	6" Pressure Reducing Valve
(8)	1	6" FLxPE Spool
(9)	1	10" FLxFL Check Valve
(10)	1	10" Dismantling Joint Romae DJ400
(13)	1	10"x10"x10" FLxFtxFL Tee
(12)	2	6" FixFL 90" Bend
(13)	1	10"x10"x6" FlxFlxFl Tee
(14)	1	18"X18"X18" Sump W/Grate & Sump Pump.
(15)	1	36"X36" Water-Tight Aluminum Access Hatch,
(16)	3	Access Ladder With Extending Safety Post.
(17)	4	Pipe Support
13	4	Link-Seal Tripac W/ Thrust Restraint- Steel Plate With Megalug Style Joint Restraint Or Approved Equal On Inside & Outside Of The Vault.
(19)	2	Vapor Tight Led Light Fixture
(20)	2	Cast-in Eye-Bolts Sized & Located For Removal Of Components During Maintenance.
(21)	3	Valve Box with Concrete Collar



Plan View



Section View A-A



Section View B-B





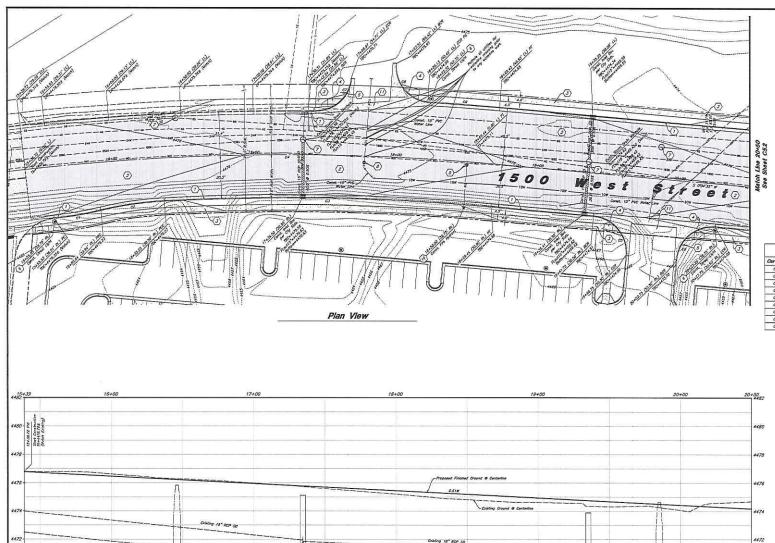
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PRV Vault Dotall

Crossroads Center at Riverdale



28 Feb, 2023



Profile View



Horisontal Scale: 1" = 20' Vertical Scale: 1" = 2'

Plan & Profile Construction Notes

Const. 30" Care & Califer par City State.

Const. Asphot Points per City State.

Const. Concrete Sitemai per City State.

Const. Concrete Sitemai per City State.

Const. Concrete Sitemai per City State.

Const. 30" Step Sign per City MUTCO R1-1
 Const. Street Light per City State.
 Aljust AH to Grade & Install Concrete Color per City State.

(8) Const. 10° Gate Valve per City Sids.
(9) Hot Top Erist, 19° Hoterine & Const. 6° Cate Valve per City Sids.

(II) Const. Fire Hydrant Complete #/ Valve per City State.

(1) Const. 5' Concrete Waterway per City State.

Curve Table					
Carve #	Delta	Redine	Length	Chord	Chord Lengti
cı	00738'00"	252.50*	JJ.49*	N14'42'58'W	33.47
C2	0102544	247.50	44.91"	SIJ 19'06'E	44.84"
CJ	008'11'48"	1606,52"	229.83"	504'01'19'T	229.63"
C4	0J0725'50"	1637.02"	869.44	\$150520T	859.26"
cs	090'00'00"	25.00	39.27	545°04'35'W	35.36*
CG	090'00'01"	25.00"	39.27	S445525T	J5.J5*
C7	084'38'29"	25.00	36.83*	N4736'1174	33.66
CB	091'40'35"	25.00"	40.00*	H44'14'16'T	35.87
CO	001'40'38"	1677.52"	49.10*	500'45'44'T	49.10

Storm Drain & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Know what's below.

Call 811 before yourdig.

BLUE STACES OF UTAM

SHOWN SHOWN OF THE STATE OF T

Sewar Pipe from 1 Structure 1



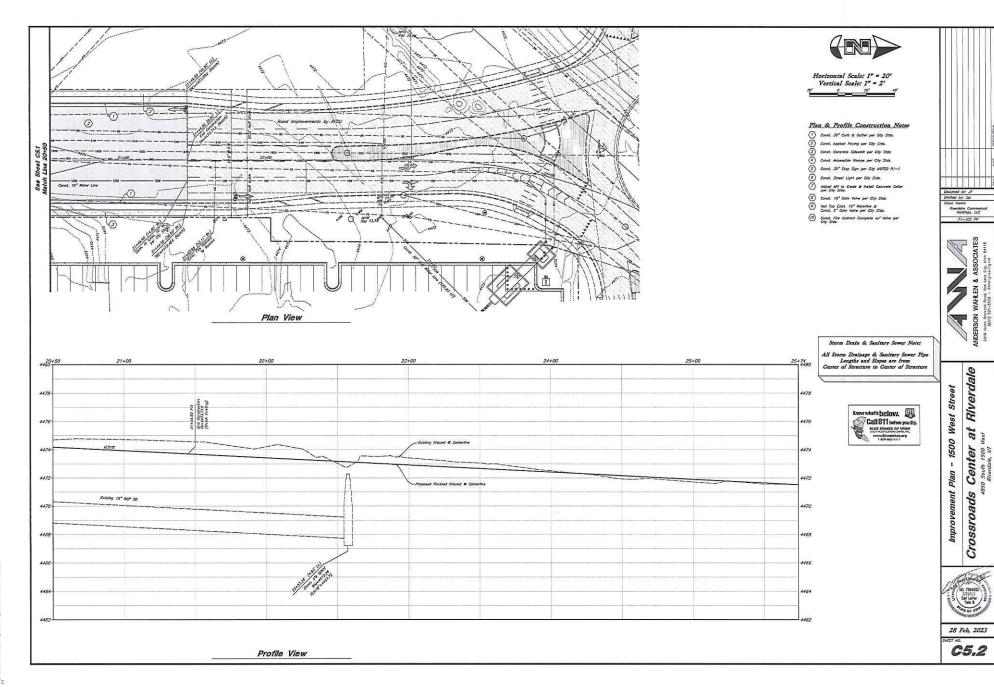
ANDERSON WALLEN & ASSOCIATES

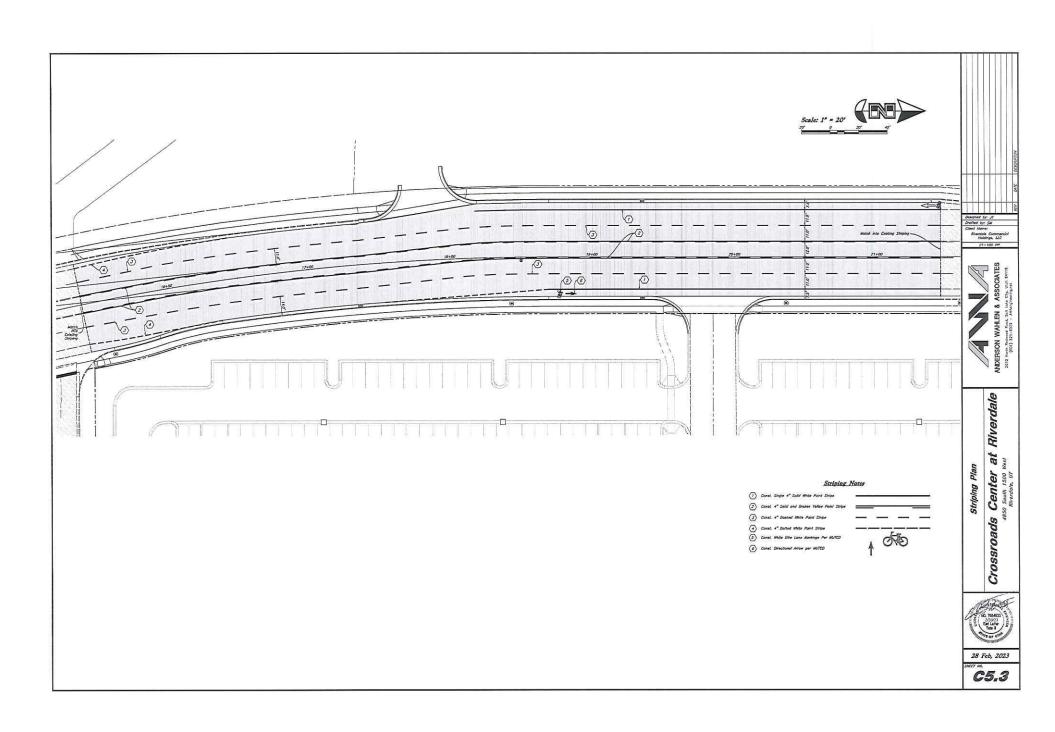


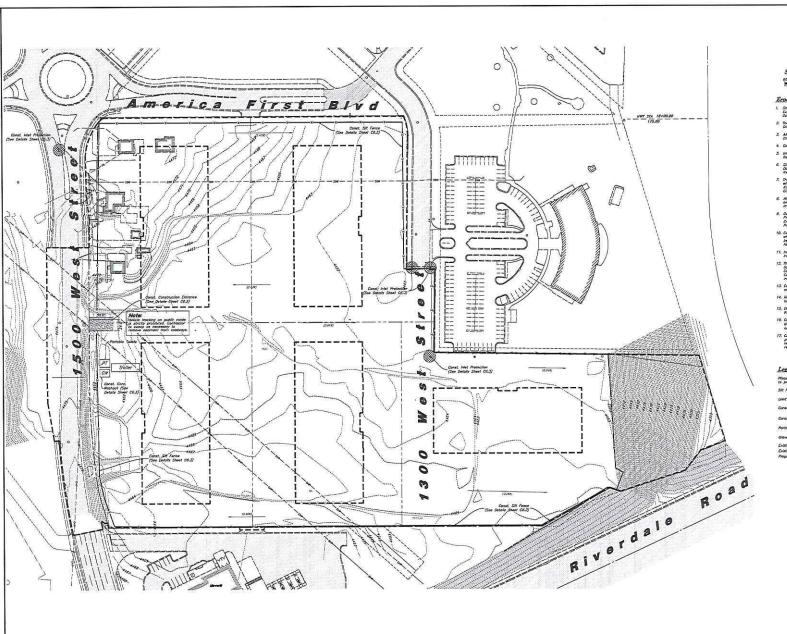
28 Feb, 2023

C5.1

Name of the Control o









Legend

CW PT - 178

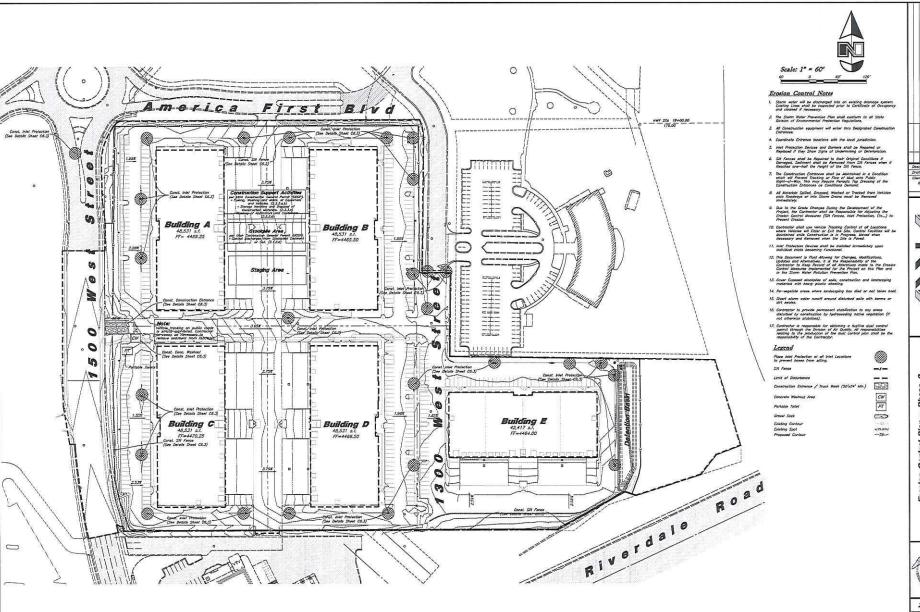
Crossroads Center at Riverdale Erosion Control Plan - Phase 1

ANDERSON WAHLEN & ASSOCIATES
ANDERSON WAHLEN & ASSOCIATES
AND Now Forter that Size of your series
(00) 311-831 - Association and



28 Feb, 2023

C6.1



ANDERSON WAHEN & ASSOCIATES
2000 bar facend fact, alter top, use at 1818
(00) 331-8321 - Asseptivering at 1

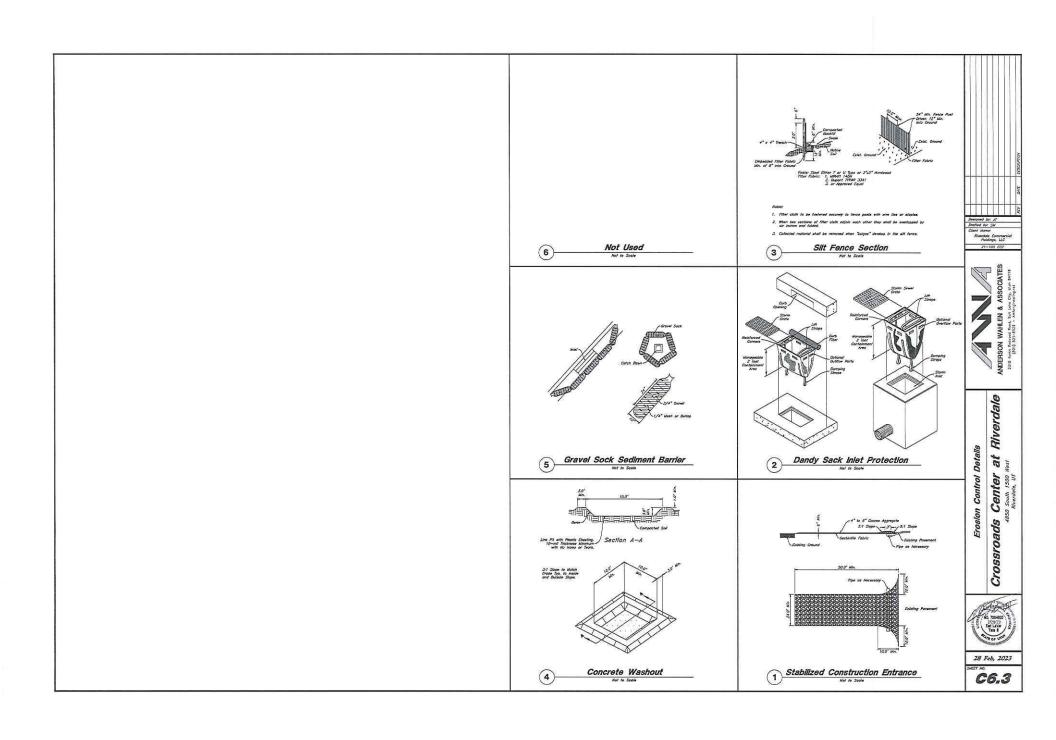
Erosion Control Plan - Phase 2

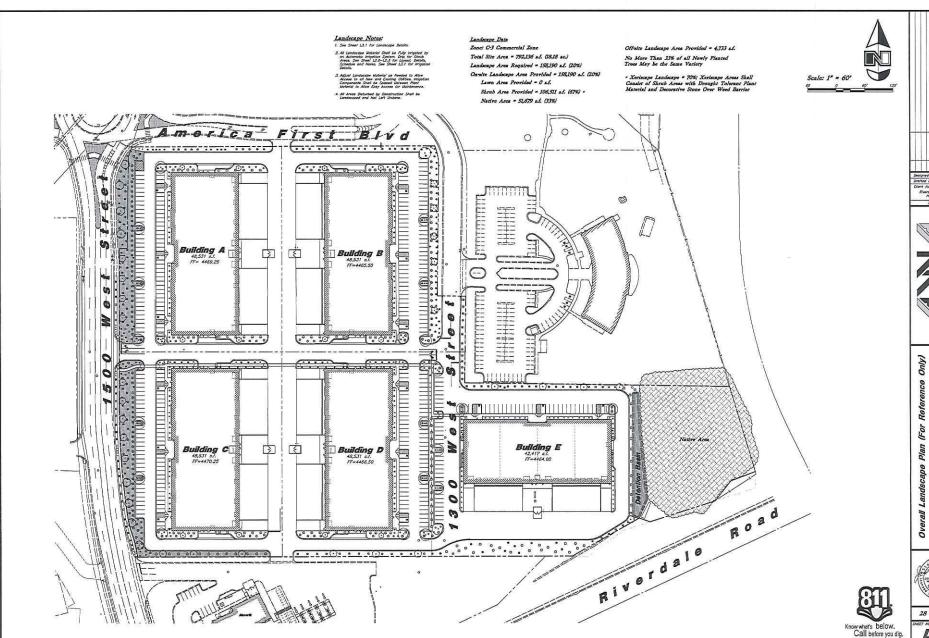
Crossroads Center at Riverdale



28 Feb, 2023

C6.2





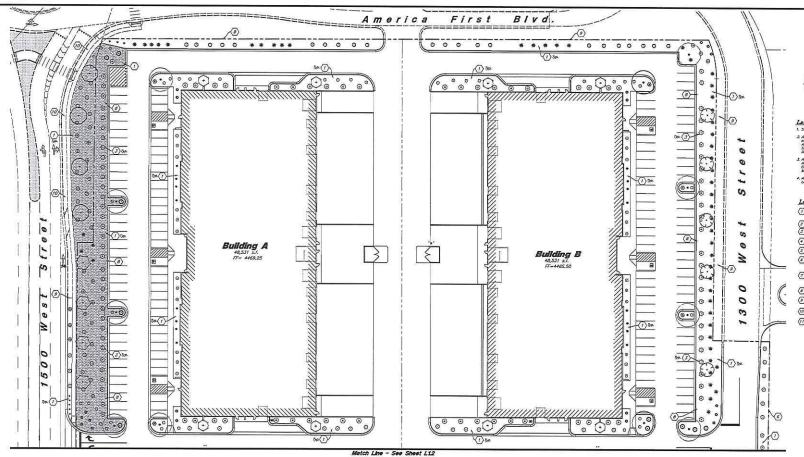


Crossroads Center at Riverdale

2 /2 /2023

28 Feb, 2023

L1.0



Landscape Notes:

First material quantiliae are prevised the blobby purposes only, it is the controllar responsibility to welly all quantiles likely on the passe and submitting a bid. The confector man early the functions Architect print to submitting a bid in the confector man early the functions Architect print to submitting a bid if the confector destinates a quantity print to submitting a bid if the confector destinates a quantity and printer submitted in passes and printer submitted quantities of piece submitted quantities of piece submitted quantities of piece submitted quantities of piece submitted quantities.

- All new plant material shall conform to the minimum quidelines established by the American Standard for Nursery Stock Published by the American Association of Nurseryman, Inc. In addition, all new plant material shall be of specimen quality.

- 17. Prior to blockment of toprett in all lendscaping areas remove of construction debats and from AF subgrade areas shall be leavened by scorping the soil to a death of 6 inches in order to create a transiti type between availing and new sails.

- 15. Provide on <u>2 mich</u> depth of stockpiled or imported topsoil in all strub orest.

- 4. Low-league infaller shall report or repicte plantings and occasionies that failure includes the property of the following the property of the following the followin



Landscape Notes:

- All Londscape Material Shall be Fully Irrigated by on Automatic Irrigation System. Dry for Shrub Areas. See Sheet L2:0-L2.3 for Layout, Detaits, Schedule and Moles. See Sheet L1.1 for Irrigatis

Designed by: JT Drafted by: SM

Eant Home: Riverdale Commercial Holdings, LLC

A ASSOCIATES

WAHLEN & ASSOCIATION OF THE CITY UNIN P.

ANDERSON W

Riverdale

at West

4850

Plan

f. All Areas Disturbed by Construction Short be Landscaped and Not Left Undone,

Landscape Keynotes

- Install Simb Planter with Weed Barrier
 Decorative Stone See Material Sch. for
 More Detail

 Installing Wall See Circl Plant for More Detail

 J.-41 High Planting Heige to Scheen Parking
 Lell Plant Street lines.
- Detention Pond with Weed Barrier and
 Decarative Stane #2

- New Light Pole See Site Dect. Plans
- Disting Landscope Shell Smoothly Bland into New (B) Existing Landscape Shall Remain and be Protected
- Protected

 Residual Existing Moverit Landscape and Irrigal

 After Construction of New Vehicular Access;

 Verity that the Existing Irrigation System

 Remains Functional During all Stayes of

 Construction to Provide Liviting Plant Materia
 with Adequate Wolds.







L1.1

28 Feb. 2023

Key Map

THINGS

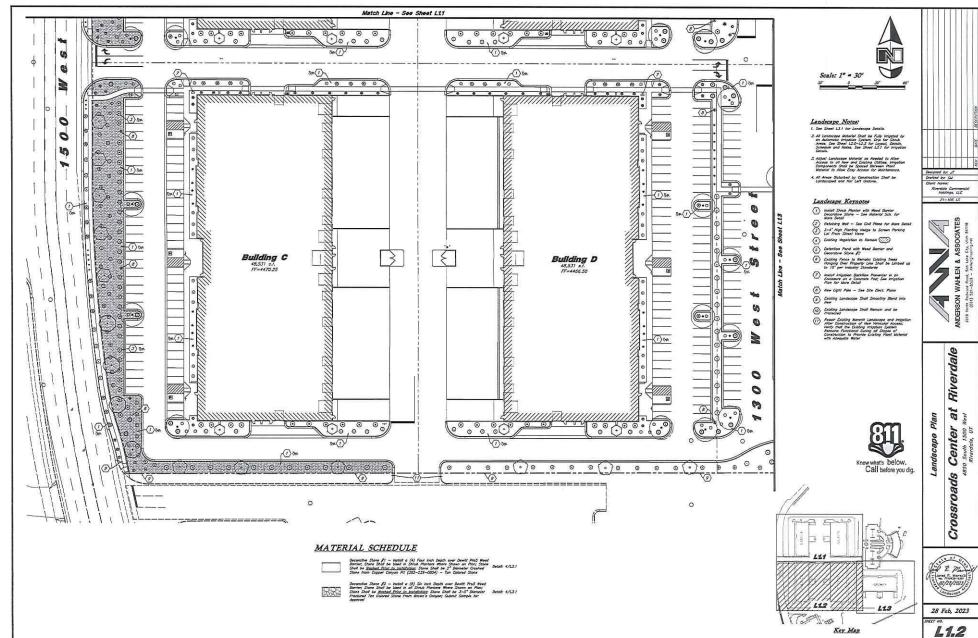
L13

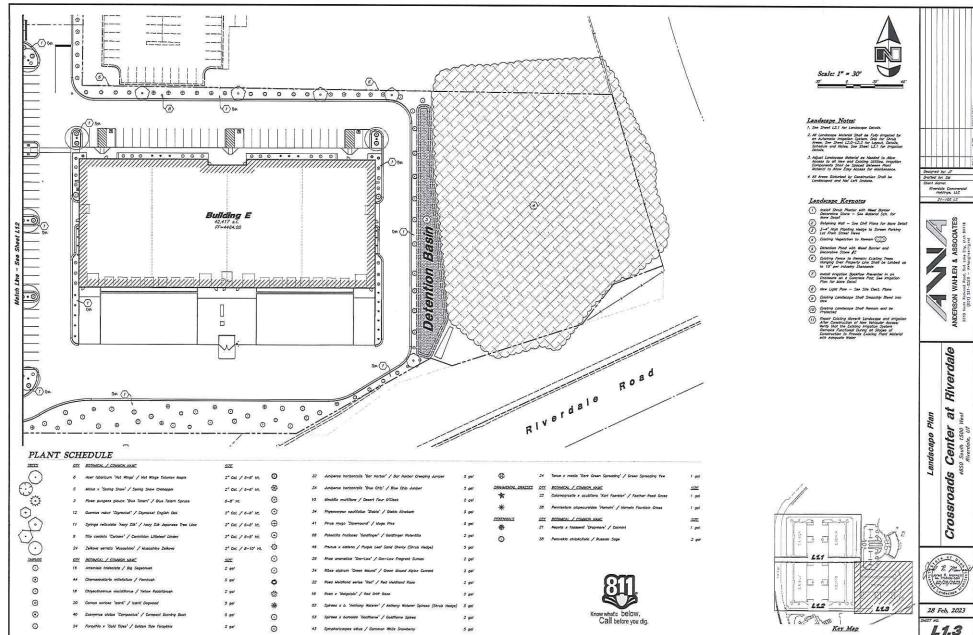
L11

□ 6

L12

Vas Ilm





L1.3



Irrigation Notes

- 1. See Sheet L1.0-L1.3 for Plant Layout and Sheet L3.1 for Planting Details.



Crossroads Center at Riverdale Overall Irrigation Plan (For Reference Only)



28 Feb, 2023

L2.0

Know what's below. Call before you dig.



Irrigation Notes

Scale: 1" = 30'

- 1. See Sheet L1.0-L1.J for Plant Layout and Sheet LJ.1 for Planting Details.
- 2. See Sheet LJ.1 for Irrigation Details and Valve Schedule.



Riverdale Commercia Holdings, LLC

Riverdale **at** Irrigation Plan Center 50 South 1500 N Riverdale, UT

Crossroads

Know what's below. Call before you dig.

E m 02/28/2025

28 Feb. 2023

L2.1

Match Line - See Sheet L22

- Irrigation Notes:

- 4. See chil and architectural drawings for all structures, hardscape, grading, and drainage
- ner/Landscape Architect has the right to reject any and all irrigation material not may be the plane and specifications.
- 7. The contractor shall install all irrigation material per plan, notes and details.
- irrigation system components must be premium quality only and installed to manufactures requirements and senticications. The contractor is responsible for checking state and local laws for all send-field contraction and versionables, ideal-billioners must be approved by investages orchitect. Provide source and maintenance personnel with instruction mensul and oil projects data to ejecute, to-bet, whiletias, pages, and oight against
- G. Irripollion system check must be done before the system is bookfiled, irripollion soch control volve section must be flushed and pressure checked. Assure the host no documented problems and full head to head colvemented problems and full head to head colvemented problems and full head to have documented with the problems of participation, Adjust system to avoid syrup on building, burtiscope, and adjusted problems or plant discrepancies must be reported to the hardecope architects.

- Ouick couplers shall be a Rain Bird 44RC with a one inch Lasco unitized swing joint assembly. Support with repor in each redoiner ksp. Install where shown on the plans.

- 24. Drip system painty shall consist of a rigid schedule 40 PMC pipe distribution system connecting impated planter areas. Poly taking or drip line shall be run off the rigid PMC in each planting area or island with a PMC to poly taking adopter. No poly taking and run under parement.
- Bectrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with senser.

- 20. Upon completion and approved of integrition system, impetion contractor to provide the ermor with two sets of drawings indicating actual location of plains, valves, sprintler heads, wring, and
- 29. An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.
- 30. It shall be the responsibility of the sprinkler contractor to demonstrate to the Dener the proper winterstation and start-up procedures for the entire system prior to final payment.

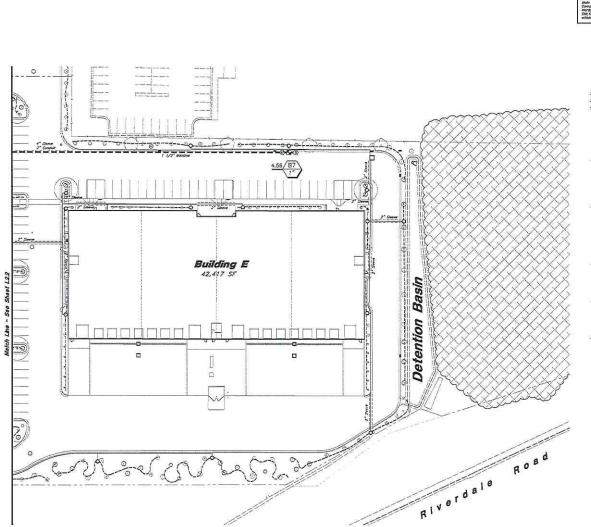
inches minimum. Sleeves shall be a minimum of two altes larger than the pipe to be sleeved. All valve wining shall be contained in separate sleeving. 21. Plans are diagrammatic and approximate due to scale, where possible, all piping is to be installed within the planting areas, the tess, ells, or changes in direction shall occur under hardcone. 22. It is the contractors responsibility to verify all quantities based upon the pion prior to completion of a construction cost estimate.

- 25. Provide and Install all manufacturer's recommended surge and lighting protection equipment on all controllers.

1214 DE DIMEED 123 1 Cass Mars

Key Map

L2.2



Irrigation Notes

- See Sheet L1.0-L1.3 for Plant Layout and Sheet L3.1 for Planting Details.
- See Sheet L3.1 for irrigation Details and Yahre Schedule.



IRRIG.	ATION SCHEDU	ULE			
Dented.	Manufactures/Model #	Description	Moles	Cotal.	
Valves					
82	Role Bird XCZ-100-PRO-COM	Drip Remote Control Yoke	I inch Size; Drip Control Zone Kit; Install in Standard Volve Box with 3" Depth of Gravel over Heed Borrier; Install with Hater Proof Mre Connectors	2/11	
@	Roin Bird 44RC	Quick Coupler Valve with Swing Joint	I loch Size Install in 10" Round Valve Box with 3" Depth of Cravel over Reed Borrier	7/11	
(D)	Matee-Norce 759	Manual Drain Valve	1/2" Inch Size; install at End of Mainline in a 10" Round Yoke Dar with 6" Depth Sump of Gravel Diver Head Barner	10/111	
Drip					
0	PVC Pipe To Drip Tuoing	Provide Connection Fittings	Install 1" Fooder Line To All Drip Areas	11/131	
	Roin Bird XBS-D40 Roin Bird XO-100 Roin Bird XB-20PC Roin Bird T5025	J./4 Distribution Taking — Pipe anom on Film is Schemotic: Adjust as freeded J./4 Distribution Taking — Instito new par Comition Jen-Sun Emitter (2 Gal/Mr.) — I Perennial, 2 Onaia, 2 Oroamental Grass, J Tree- tre Deem State — Taking to be Stated early and State of State State of State — Taking to be Stated early and State of State			

Roin Bird XS-20PC Roin Bird 15025 Roin Bird DBC-025 Roin Bird MOCFCAP P.O.C. Components

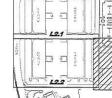
1 1/2 Inch Sire; Install in 10" Round Valve Bar with 14/1.1 ! 8/13.1

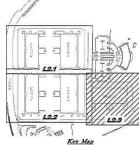
Plan for Pipe Sizes; Pipes Unmarked Shall be 1 Minimum Pipe Size Shall be 1 Inch for PVC

A B Rain Bird CSP4MC 12/11 RS) Rain Bird HRZ-RFC

=== Schedule 40 PVC









Riverdale

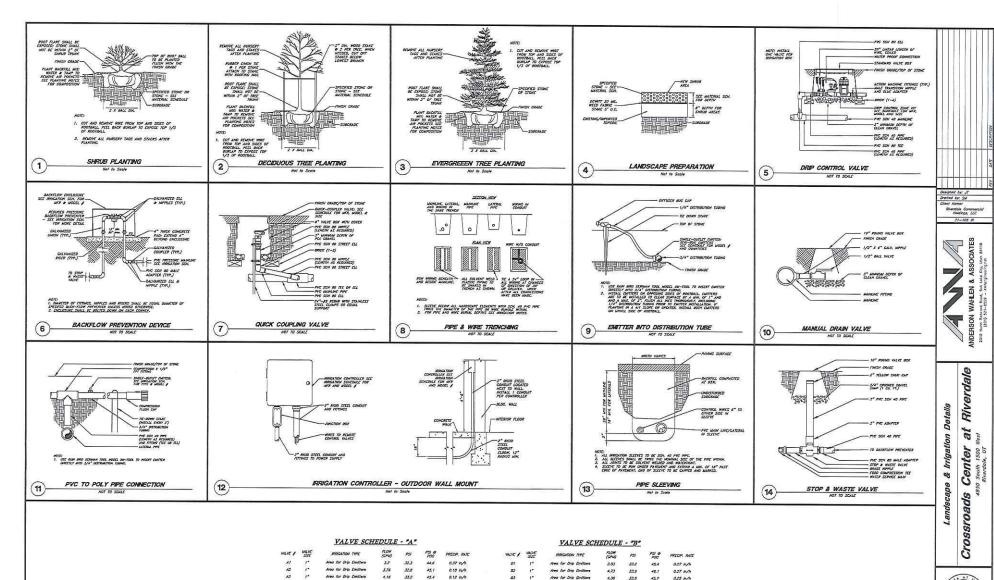
at West

Irrigation Plan Center

28 Feb, 2023

L2.3

Know what's below. Call before you dig.



Area for Drip Driftlers

Area for Drip Dnittere

Aren for Dry Dritters

Arms for Drip Emilitars

4.36 .114 447 0.25 40

2.3 31.9

4.8 34.1 35.3

5.93

4.56 All Values Shall be Mired to Controller "3" Located on Outside of Bldg. 0.6 M

0.55 mm

47.9 0.00 m/h

JXZ

33.8

4.53 33.7 45.8

3.45 32.8 45.0 0.6 WM

062 m/h

021 mm

Area for Drip Emitters

Area for Drip Dmitters

Area for Drip Emitters Area for Drip Emitters



Knowwhat's below. Call before you dig.



28 Feb, 2023

L3.1

