



**RIVERTON CITY
REGULAR CITY COUNCIL MEETING &
WORK SESSION
AGENDA**

March 11, 2014

Notice is hereby given that the Riverton City Council will hold a **Regular City Council Meeting & Work Session** beginning at **6:30 pm** on **March 11, 2014**, at Riverton City Hall, located at 12830 South 1700 West, Riverton, Utah.

1. GENERAL BUSINESS

1. Call to Order and Roll Call
2. Pledge of Allegiance
3. Presentations/Reports
 1. Recognition of Boy Scout Troops
4. Public Comments

2. PUBLIC HEARINGS – *There are no Public Hearings scheduled.*

3. DISCUSSION/ACTION ITEMS

1. Amended Commercial Site Plan, Exterior Architecture, 3813 West 13400 South, C-R Zone, HB Boys, Applicant - *Jason Lethbridge, Planning Manager*
2. Commercial Site Plan, Riverton Market Grocer, 1206 West 12600 South, C-G Zone, Rich Piggot of Galloway & Co, Applicant - *Jason Lethbridge, Planning Manager*

4. CONSENT AGENDA

1. **Minutes:** RCCM/WS 03-04-14
2. **Bond Releases**
 1. Larkin Mortuary - 90% Performance Release

5. STAFF REPORTS

1. Lance Blackwood, City Manager
2. Safety Training – *Ryan Carter, City Attorney*

6. ELECTED OFFICIAL REPORTS

1. Mayor Bill Applegarth
2. Council Member Brent Johnson
3. Council Member Trent Staggs
4. Council Member Sheldon Stewart
5. Council Member Roy Tingey
6. Council Member Paul Wayman

7. UPCOMING MEETINGS

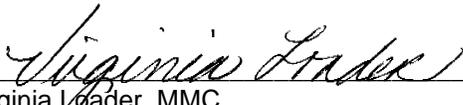
1. March 18, 2014 – Cancelled for Democratic Caucus
2. March 25, 2014 – Work Session – 6:30 p.m.
3. April 1, 2014 - Regular City Council Meeting – 6:30 p.m.

8. WORK SESSION

1. Unified Fire Authority (UFA) Update and Discussion
2. Final 2014 Strategic Plan

9. ADJOURN

Dated this 6th day of March 2014


Virginia Loader, MMC
Riverton City Recorder

Public Comment Procedure

At each Regular City Council Meeting any person wishing to comment on any item not otherwise on the Agenda may address the Governing Body during the Public Comment period. The comment period is limited to 30 minutes. Any person wishing to comment shall limit their comments to no more than three (3) minutes, unless additional time is authorized by the Mayor. Citizen groups will be asked to appoint a spokesperson, who shall limit their comments to no more than five (5) minutes. All comments shall be directed to the Mayor and City Council. No person addressing the Governing Body during the comment period shall be allowed to comment more than once during that comment period. Speakers should not expect any debate or dialogue with the Mayor, City Council or City Staff during the meeting.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations or assistance during this meeting shall notify the City Recorder's Office at 801-208-3126, at least 24 hours prior to the meeting. Accessible parking and entrance are located on the south end of the building with elevator access to the City Council Chambers located on the second floor.

Certificate of Posting

I, Virginia Loader, the duly appointed and acting Recorder for Riverton City certify that, at least 24 hours prior to such meeting, the foregoing City Council Agenda was emailed to the Salt Lake Tribune, Deseret News and the South Valley Journal. A copy of the Agenda was also posted in the City Hall Lobby, on the City's Website at www.rivertoncity.com, and on the Utah Public Meeting Notice Website at <http://pmn.utah.gov>.

Dated this 6th day of March 2014

Virginia Loader, MMC
Recorder

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Riverton City
REGULAR CITY COUNCIL MEETING &
WORK SESSION
Minutes
March 4, 2014

Riverton City Hall
12830 South 1700 West
Riverton, Utah 84065

11 **Attendance:**

12
13 Mayor William R. Applegarth

14
15 **Council Members:**

16 Council Member Brent Johnson - *Excused*
17 Council Member Trent Staggs
18 Council Member Sheldon Stewart
19 Council Member Roy Tingey
20 Council Member Paul Wayman

15 **City Staff:**

Lance Blackwood, City Manager - *Excused*
Jeff Hawker, Asst. City Attorney
Virginia Loader, Recorder
Ryan Carter, City Attorney
Jason Lethbridge, Planning Manager
Lisa Dudley, Finance Director
Rod Norton, UPD Chief, Riverton Precinct

21
22
23
24 **Citizens:** Michael S. Johnson, Wyoma Darlington, Norma Bench, Boy Scouts from Troops

25
26
27 **1. GENERAL BUSINESS**

28
29 **Call to Order and Roll Call**

30
31 [6:31:22 PM](#) Mayor Applegarth called the meeting to order at 6:31 p.m. and welcomed those in
32 attendance. He then conducted a Roll Call and Council Members Staggs, Stewart, Tingey and
33 Wayman were present. Council Member Brent Johnson was excused.

34
35 **Pledge of Allegiance** – Boy Scout Mason, Troop 4277, directed the Pledge of Allegiance.

36
37 **Presentations/Reports**

38
39 **Recognition of Boy Scout Troops**

40
41 Mayor Applegarth recognized Boy Scouts from Troops 4277, 1277, 1425, 266, 849 and 1105
42 that were in attendance and the Troop members and their leaders were introduced.

43
44 [6:38:36 PM](#) **Riverton Choice Awards for Excellence in Education – Rose Creek Elementary**

45
46 Council Member Roy Tingey presented the Riverton City Choice Awards for Excellence in
47 Education to the following individuals selected from Rose Creek Elementary School:

1 **Emma Visser - 5th Grade** - During Emma's birth, complications arose that
2 incapacitated her right arm. She has fought hard to overcome her limitation both
3 physically and emotionally. She participates in every activity done at school with
4 a cheerful disposition and determination to do her best. Her teacher states that she
5 has never heard her complain about not being able to something. She handles each
6 situation with grace and self confidence. She is an excellent student, kind person,
7 and an example of perseverance and determination.

8
9 **Luke Stack - 6th Grade** - All who know Luke respect him. He is very kind and
10 always comes to school with a positive attitude. Recently, a new student entered
11 his class and Luke went out of his way to welcome and befriend him. In fact, he
12 makes friends with everyone, which isn't always the way 6th graders handle
13 relationships. Luke is also a hard worker. His teacher states that he ALWAYS
14 turns his work in on time and he is always prepared with homework and
15 assignments. She also says that his science project was excellent just like
16 everything he does. He does his best and is conscientious. Luke is a kind person
17 and excellent student. We are very proud of him and appreciate how he helps to
18 create a good school culture.

19
20 **Teresa Eldredge - 3rd Grade Teacher** -Teresa is an exemplary teacher; she
21 works with a large class of third graders and knows the needs and abilities of each
22 student. As her Principal, I enjoy being in her classroom because students are
23 learning; she creates a pathway during instruction so that all students can be
24 successful. This includes the use of graphic organizers, clear learning targets
25 posted and stated in a child's language accompanied by significant amounts of
26 student participation throughout the lesson; indeed, no student is lost in her
27 classroom.

28
29 Ms. Eldredge wrote a grant to obtain innovation educational products for student
30 use. It was funded by the Shell Foundation and it has been a pleasure to see
31 students engaged in using these math and reading tools. Additionally, Teresa is
32 respected by staff members as being a person of integrity and strong character.
33 This holds true with the parent community, as well. I often observe her enhance
34 the conversation during professional learning community time with her team. She
35 comes prepared to discuss students, data, and curriculum. Her team respects her
36 direction and their productivity is often linked to her contribution. It is a pleasure
37 to nominate her for the Riverton City Choice Award. She represents her class,
38 team, and school well.

39 **Public Comments**

40
41
42 Mayor Applegarth explained the public comment procedure and called for public comments;

43
44 [6:46:53 PM](#) A Boy Scout inquired about the cause of the inversion that occurs within the Salt
45 Lake Valley and what measures could help in the elimination of the inversion. Mayor Applegarth
46 explained that approximately one half of the pollution in the Salt Lake Valley is due to
47 automobiles. He described a proposed bill currently before the State Legislature to use a small
48 percentage of sales tax revenue to improve bus services and rail services in the Salt Lake Valley.

1 Council Member Roy Tingey explained a proposed legislative bill regarding “Tier 3 Gasoline”
2 and he indicated that Governor Herbert was supporting the bill.

3
4 [6:50:38 PM](#) Norma Bench expressed her concern regarding elimination of public prayer in City
5 Council Meetings. She quoted a speech by Dalin H. Oaks which described the dangers that arise
6 when we fail to recognize God in our public discourse. She stated we should support public
7 recognition of the blessings we enjoy which come from God. Ms. Bench encouraged the City
8 Council to stand up for what they believe, to not be afraid of law suits and to reinstate public
9 prayer in public meetings. She said she recognized where the US Constitution came from and
10 what needs to be done to protect it. She stated for the record that she was knows that our
11 blessings come from God.

12
13 [6:55:17 PM](#) Boy Scout Brandon Stewart asked about the progress and funding of park
14 construction in the Mountain View Corridor area. Mayor Applegarth explained that funds from
15 Park Impact Fees are being used to expand the park at the Mountain View Corridor. He further
16 explained that funding from Park Impact Fees and from a Sales Tax Revenue Bond was being
17 used to fund the construction of the Main City Park.

18
19 [6:59:33 PM](#) A Boy Scout asked why residents were required to pay for secondary water all year
20 when it was only used during the summer months.

21
22 [7:02:48 PM](#) Boy Scout Seth asked where Riverton water comes from and Mayor Applegarth
23 explained Riverton’s water resources.

24
25 [7:05:02 PM](#) Boy Scout Jacob asked for the Mayor’s thoughts regarding moving the location of
26 the prison. Mayor Applegarth said his concern was for the ability of the current employees to
27 keep their jobs.

28
29 [7:06:15 PM](#) Tom Lamborne asked why he had to pay for secondary water before he was hooked
30 up to and using secondary water. Mayor Applegarth explained the process for secondary water.
31 He also said that the City is working on the hardness of the City’s water issue and on a
32 resolution.

33
34 [7:11:47 PM](#) Boy Scout Alex asked about the ponds located near the Roi Hardy Park and Mayor
35 Applegarth explained the process in that area that maintains the wetlands.

36
37 [7:14:30 PM](#) Jacob Mason also asked about the water issue and if water rates in his area (west)
38 would be impacted. He also asked about fiber options for Riverton City.

39
40 [7:19:03 PM](#) There were no further comments and Mayor Applegarth closed the Public Comment
41 period.

42
43 **2. PUBLIC HEARINGS** – There were no Public Hearings scheduled.

44
45 **3. DISCUSSION/ACTION ITEMS**

46
47 **1. Final Site Plan - The Pop Shop, 2936 West 12600 South, C-G Zone, Keri Cannon,**
48 **Applicant**

1 [7:19:09 PM](#) Jason Lethbridge, Planning Manager, explained that Keri Cannon submitted an
2 application requesting final site plan approval for a drive through beverage and snack business.
3 The business is proposed to be located at 2936 West 12600 South in the Riverton Gardens
4 commercial development. The property is zoned C-G (Commercial Gateway) and Riverton High
5 School sits directly north. To the west property is zoned C-G and is occupied by a dental office.
6 To the east property is zoned C-G and is occupied by a restaurant. To the south on the adjacent
7 side of 12600 South property is zoned R-4 (Residential ¼ acre lots) and C-PO (Commercial
8 Professional Office).

9
10 Mr. Lethbridge said that the proposed site plan utilizes a building pad that was originally
11 approved for a commercial building similar in size to the dental office to the west. Instead of
12 constructing a building the applicant is proposing to use the pad for a drive through aisle and
13 some landscaping. He said the building that will house the business is quite small at only 380
14 square feet.

15
16 Mr. Lethbridge said that on February 13, 2013, the Planning Commission voted to recommend
17 approval of the application with the following conditions:

- 18
19 1. Storm drainage systems and accommodation comply with Riverton City standards
20 and ordinances, and with the recommendations of the Riverton City Engineering
21 Division.
- 22 2. An interim storm drainage and erosion control plan and an access management plan
23 be approved by the City prior to any construction or grading on the site.
- 24 3. The site and structures comply with any and all applicable Riverton City standards
25 and ordinances, including the International Building and Fire Codes.
- 26 4. Two trees installed in the parking landscape end caps at the entrance to the drive
27 through windows, as required by ordinance.
- 28 5. All signs obtain the required sign permits prior to installation.

29
30 [7:22:41 PM](#) Mr. Lethbridge addressed questions from Council Members.

31
32 [7:23:17 PM](#) Council Member Sheldon Stewart **MOVED the City Council approve The Pop**
33 **Shop Final Commercial Site Plan, Application Number PL-13-8013, located at 2936 West**
34 **12600 South, with the conditions outlined in the Staff Report.** Council Member Paul Wyman
35 **SECONDED** the motion. Mayor Applegarth called for discussion on the motion; there being
36 none, he called for a Roll Call Vote. The vote was as follows: Johnson-Excused, Staggs-Yes,
37 Stewart-Yes, Tingey-Yes and Wayman-Yes. **The motion passed unanimously.**

38
39 **2. Final Site Plan - Premium Oil Gas Station and Convenience Store, 12567 South**
40 **Creek Meadow Road, C-R Zone, Verl Wagstaff, Applicant**

41
42 [7:24:01 PM](#) Jason Lethbridge, Planning Manager, explained that Verl Wagstaff submitted an
43 application requesting final site plan approval for property located in the Spring Creek
44 Commercial Center at 12567 South Creek Meadow Road. The property is zoned C-R as are all of
45 the surrounding properties.

46
47

1 Mr. Lethbridge said the applicant was proposing to construct a convenience store/gasoline
2 station, a car wash and a retail building. The convenience store and car wash structures will be
3 constructed and the retail building will be constructed later. The convenience store, gasoline
4 pump canopy and car wash building will be constructed first along the southern end of the
5 property with the gasoline pumps closer to the intersection and the car wash east of the
6 convenience store. The proposed retail building will be constructed on the north end of the
7 property.

8
9 Mr. Lethbridge said that on February 13, 2013, the Planning Commission voted to recommend
10 approval of the application with the following conditions:

- 11
- 12 1. Storm drainage systems and accommodation comply with Riverton City standards
13 and ordinances, and with the recommendations of the Riverton City Engineering
14 Division.
- 15 2. An interim storm drainage and erosion control plan and an access management plan
16 be approved by the City prior to any construction or grading on the site.
- 17 3. The site and structures comply with any and all applicable Riverton City standards
18 and ordinances, including the International Building and Fire Codes.
- 19 4. Any and all rooftop equipment shall be screened from view with parapet walls.
- 20 5. Retail building architecture shall resemble that of the convenience store and car wash
21 structures.
- 22 6. Planter boxes shall contain a minimum of 3' of soil for plantings and shall extend the
23 entire length of the building where parking is adjacent to the building.
- 24 7. Gasoline canopy shall have masonry elements installed at the base of each support
25 column and shall be of the same material used on the convenience store building.
- 26 8. Dumpster enclosure shall resemble the building in material and appearance.
- 27 9. The building pad for the future retail building shall be landscaped with sod and an
28 irrigation system.
- 29 10. Roofline variation be added to east facade of the convenience store as well as the car
30 wash.

31
32 [7:27:12 PM](#) Mr. Lethbridge addressed questions from Council Members.

33
34 [7:27:45 PM](#) Council Member Trent Staggs **MOVED the City Council approve the Premium**
35 **Oil final Commercial Site Plan, Application Number PL-13-8012, located at 12567 South**
36 **Creek Meadow Road, with the conditions outlined in the Staff Report.** Council Member
37 Sheldon Stewart **SECONDED** the motion. Mayor Applegarth called for discussion on the
38 motion; there being none, he called for a Roll Call Vote. The vote was as follows: Johnson-
39 Excused, Staggs-Yes, Stewart-Yes, Tingey-Yes and Wayman-Yes. **The motion passed**
40 **unanimously.**

41
42 **3. Single Phase Subdivision - Manchester Fields, 1863 West 11900 South, R-4-SD**
43 **Zone, Henry Walker Homes, Applicant**

44
45 [7:28:32 PM](#) Jason Lethbridge, Planning Manager, explained Henry Walker Homes has submitted
46 an application to subdivide property located at 1863 West 11900 South. The property is
47 currently zoned R-4 (Residential ¼ acre lots) and is vacant land. Properties to the north are

1 zoned R-3 (Residential 14,000 square foot lots) and RR-22 (Rural Residential ½ acre lots).
2 Property to the west is zoned R-3 and is currently vacant ground. Property south of the subject
3 property is zoned R-3 and R-4 with the R-3 portion being utilized as a church meeting house.
4 East of the subject parcel property is zoned R-4 and R-3.
5

6 Mr. Lethbridge said the applicant is proposing to subdivide property totaling approximately 6
7 acres into 17 single-family lots along with the accommodating roads and infrastructure to serve
8 the new subdivision. Currently, there is an existing residential structure and accessory buildings
9 on the easternmost portion of the development that will be razed in favor of newer development.
10

11 Mr. Lethbridge said that on January 9, 2014, the Planning Commission voted to recommend
12 approval of this application with the following conditions:
13

- 14 1. Storm drainage systems and installation shall comply with Engineering Department
15 requirements and standards.
- 16 2. Any and all irrigation ditches associated with the property be addressed, with
17 disposition of the irrigation systems approved by Riverton City and the proper
18 irrigation company or users.
- 19 3. The subdivision comply with any and all applicable Riverton City standards and
20 ordinances, including the International Building and Fire Codes.
- 21 4. 6' solid masonry fencing installed along the northern boundary of lots 101, 102 and
22 107 where adjacent to property zoned RR-22.
- 23 5. A revised landscaping and irrigation plan for the park strip landscaping along the
24 northern edge of the proposed 11930 South where adjacent to the Flanders property
25 be submitted to Riverton City Planning for review and approval.
- 26 6. Relocation or release of the 20' sewer easement extending through lots 101, 102 and
27 103 and a revised subdivision Plat submitted to Riverton City.
28

29 [7:31:18 PM](#) Mr. Lethbridge addressed questions from Council Members.
30

31 [7:33:34 PM](#) Leslie Mascaro, Henry Walker Homes, explained the site plan and fencing concerns
32 along the parameter of Lots 101, 102 and 107. She further explained that uniformity is also
33 concern for her firm and that the color of the fencing will match.
34

35 [7:36:23 PM](#) Council Member Roy Tingey discussed concerns regarding the mixed fencing above
36 lots 102 and 103. He said that City Ordinances would not prohibit the use of mixed materials on
37 those lots; however, Mr. Tingey strongly encouraged the developer to extend the masonry fence
38 the entire length of the lots for consistency purposes.
39

40 [7:36:55 PM](#) Following discussion, Council Member Tingey encouraged the developer to take
41 careful consideration and be considerate to the neighbors and extend the masonry fence.
42

43 [7:40:00 PM](#) Council Member Trent Staggs **MOVED the City Council approve Application**
44 **#13-1009, Manchester Fields Subdivision, located at approximately 1863 West 11900 South**
45 **with the conditions outlined in the Staff Report.** Council Member Sheldon
46 Stewart **SECONDED** the motion. Mayor Applegarth called for discussion on the motion; there
47 being none, he called for a Roll Call Vote. The vote was as follows: Johnson-Excused, Staggs-
48 Yes, Stewart-Yes, Tingey-Yes and Wayman-Yes. **The motion passed unanimously.**

1 **4. Single Phase Subdivision - Green Haven Subdivision, 11911 South 2160 West, 28**
2 **Single-Family Lots, R-3 Zone, Dave Helm, Applicant**

3
4 [7:41:43 PM](#) Jason Lethbridge, Planning Manager, explained Dave Helm of Ponderosa Properties
5 has submitted an application requesting subdivision approval for property located at 11911 South
6 2160 West. The property is currently vacant ground and is zoned R-3 (Residential 14,000 square
7 foot lots). To the north property is zoned R-3 and RR-22 (Rural Residential ½ acre lots). To the
8 east property is zoned RR-22 and R-4 (Residential 10,000 square foot lots). Property to the south
9 is zoned R-4 and property to the west is zoned R-3.

10
11 Mr. Lethbridge said the applicant is proposing subdividing 11.45 acres into 28 single-family
12 residential lots. The lots range in size from 14,000 square feet up to 17,000 square feet. He said
13 each lot conforms with the minimum size, width and frontage requirements as found in the R-3
14 Zoning District.

15
16 Mr. Lethbridge said on February 13, 2013, the Planning Commission voted to recommend
17 approval of the application with the following conditions:

- 18
- 19 1. Storm drainage systems and installation shall comply with Engineering Department
- 20 requirements and standards.
- 21 2. Any and all irrigation ditches associated with the property be addressed, with
- 22 disposition of the irrigation systems approved by Riverton City and the proper
- 23 irrigation company or users.
- 24 3. The subdivision comply with any and all applicable Riverton City standards and
- 25 ordinances, including the International Building and Fire Codes.
- 26 4. 6' solid masonry fencing installed along the northern boundaries where the
- 27 subdivision is adjacent to properties zoned RR-22.
- 28

29 [7:43:28 PM](#) Mr. Lethbridge addressed questions from Council Members.

30
31 [7:44:48 PM](#) Council Member Trent Staggs **MOVED the City Council approve Application**
32 **#13-1013, the Green Haven Subdivision, located at approximately 11911 South 2160 West,**
33 **with the conditions outlined in the Staff Report.** Council Member Roy Tingey **SECONDED**
34 the motion. Mayor Applegarth called for discussion on the motion; there being none, he called
35 for a Roll Call Vote. The vote was as follows: Johnson-Excused, Staggs-Yes, Stewart-Yes,
36 Tingey-Yes and Wayman-Yes. **The motion passed unanimously.**

37
38 **4. CONSENT AGENDA**

39
40 [7:45:47 PM](#) Mayor Applegarth presented the following Consent Agenda:

- 41 1. **Minutes:** RCCM/WS 02-18-14, CC/PCWS 02-25-14
2. **Bond Releases:**
 1. Villages at Park Avenue (East) Phase 2 – 90% Performance Release
 2. Kenadi Cove Phase 1 – Performance Release
3. Removed
4. Removed

5. **Resolution No. 14-23** – Approving a Statement of Agreement for the use of Jordan School District Facilities as Emergency/Disaster Shelters; and approving Facility Agreements for each of the Following Schools: Riverton Elementary, Rosamond Elementary, Midas Creek Elementary, Rose Creek Elementary, Southland Elementary, Riverton High School, Oquirrh Hills Middle School and South Hills Middle School

1
2 [7:46:17 PM](#) Council Member Sheldon Stewart **MOVED the City Council approve the**
3 **Consent Agenda excluding Items 4.3 and 4.4.** Council Member Paul Wayman **SECONDED**
4 the motion. Mayor Applegarth called for discussion on the motion; there being none, he called
5 for a Roll Call Vote. The vote was as follows: Johnson-Excused, Staggs-Yes, Stewart-Yes,
6 Tingey-Yes and Wayman-Yes. **The motion passed unanimously.**

7
8 **Item No. 4.3**

9 **Resolution No. 14-21 - Authorizing the City to enter into a contract with Glover**
10 **Landscape to provide landscape maintenance to parks, park strips and water facilities**
11 **within the City**

12
13 **Item No. 4.4**

14 **Resolution No. 14-22 - Authorizing the City to enter into a contract with Intermountain**
15 **Plantings to provide landscape maintenance to parks, park strips and water facilities**
16 **within the City**

17
18 [7:46:57 PM](#) Mayor Applegarth explained that the City contracts for the landscape maintenance
19 of City parks, park strips and water facilities and the previous contract was for one contractor to
20 service all areas of the City. City Staff recommended multiple contractors with different
21 specialties and equipment, instead of one contractor; for that reason the City was divided into
22 three areas.

23
24 Mayor Applegarth explained the bid documents stated that the award of the contract would be
25 made to the low contractor per area. Glover Landscape was low bidder on area 1 and area 3 and
26 Intermountain Plantings was low bidder on area 2.

27
28 [7:53:11 PM](#) Council Member Sheldon Stewart **MOVED the City Council approve Items 4.3**
29 **and 4.4.** Council Member Trent Staggs **SECONDED** the motion. Mayor Applegarth called for
30 discussion on the motion; there being none, he called for a Roll Call Vote. The vote was as
31 follows: Johnson-Excused, Staggs-Yes, Stewart-Yes, Tingey-Yes and Wayman-Yes. **The**
32 **motion passed unanimously.**

33
34 **5. STAFF REPORTS**

35
36 **1. Asst. City Manager Jeff Hawker** – [7:53:48 PM](#) there were no Staff Reports.

37
38 **2. Safety Training**

39
40 [7:53:55 PM](#) Ryan Carter, City Attorney, reported that the results of the recent safety survey were
41 not adequate in identifying employee safety concerns and he said further action would be taken
42 to acquire additional information.

6. ELECTED OFFICIAL REPORTS

Mayor Bill Applegarth – [7:54:43 PM](#) reported on activities of the current legislative session. He then spoke of the prayer issue that was addressed in the Public Comments. He stated the concern was not about being sued but what people were asking for. He said other cities have had experiences where groups have and offered offensive prayers in their City meetings.

City Attorney Ryan Carter explained that if prayer or invocations are allowed, the City cannot control what is said by the person offering the prayer. He said any and all types of prayers or invocations could be allowed, which may have an unsettling affect on the Council and the citizens present and the great number of youth, especially Boy Scouts that attend City meetings. He also said the possibility of litigation, attorney fees, and monetary awards for a civil suit resulting in a jury trial would be substantial.

Council Member Brent Johnson – Excused

Council Member Trent Staggs – [8:08:01 PM](#) reported on construction activity in Council District 4 and the current upswing in the economy. He also discussed the water quality issue and assured the citizen who commented earlier that the issue was being addressed.

Council Member Sheldon Stewart – [8:10:03 PM](#) reported on fencing installations in District 1 near Autumn Creek.

Council Member Roy Tingey - [8:11:12 PM](#) reported that four dead trees that had been cut down and left at Harvest Creek Park Mini Park; he expressed concern trees were being cut down but not removed. Mr. Hawker agreed to follow up on the issue.

Council Member Paul Wayman – [8:12:40 PM](#) reported on City beautification efforts and spoke of illegal signage on canal company fences and on UDOT property.

7. UPCOMING MEETINGS

[8:13:58 PM](#) Mayor Applegarth reviewed the following upcoming meetings:

1. March 11, 2014 – Regular City Council Meeting/Work Session – 6:30 p.m.
2. March 18, 2014 – Cancelled for Democratic Caucus
3. March 25, 2014 – Regular City Council Meeting/Work Session – 6:30 p.m.
4. April 1, 2014 - Regular City Council Meeting/Work Session – 6:30 p.m.
5. April 15, 2014 - Regular City Council Meeting/Work Session – 6:30 p.m.

Break to Work Session [8:17:31 PM](#)

8. WORK SESSION

Council Members Staggs, Stewart, Tingey and Wayman were present. The following individuals were also present: Asst. City Manager Jeff Hawker, City Recorder Virginia Loader, and Finance Director Lisa Dudley.

1 Mayor Applegarth presented information regarding the PDM Park and said there was an existing
2 backstop at that park and with a \$5-6,000 expense a baseball field could be installed. The field
3 would be for general use, non-programmable, and no lights would be installed. Discussion was
4 held regarding dirt vs. grass fields and the Mayor asked for a nod of the Council Members to
5 move ahead with quotes and construction of the park. The nods were as follows: Staggs-Yes,
6 Stewart-Yes, Tingey-No and Wayman-Yes. The probability of other areas being used for
7 baseball fields was discussed and the Council concurred to base the need for expansion on the
8 utilization of the PDM Park.

9
10 Mayor Applegarth led discussion of the Mountain View Park and difficulties that have occurred
11 in working with UDOT. He then said that there is a fund balance in the Park Impact Fees
12 account and recommended putting a freeze on that account to let it increase. The Council
13 Members concurred with the Mayor.

14 15 **1. Discussion of Draft 2014 Strategic Plans**

16
17 The 2014 Strategic Plan was provided to the Council Members and their proposed changes were
18 discussed. Lisa Dudley noted the changes and will incorporate them into the Plan, which will be
19 finalized on March 11, 2014.

20
21 Council Member Tingey reminded the Council Members that a Report Card would be prepared
22 at the completion of the Strategic Plan year to report on the status of their goals.

23 24 **2. Other**

25
26 Riverton Choice assignments were briefly discussed by the Council Members and they agreed to
27 review the list of schools that Riverton students attend and report to Council Member Wayman
28 as to the schools they would make Riverton Choice presentations to.

29 30 **9. ADJOURN**

31
32 Council Member Roy Tingey **MOVED to adjourn the City Council Meeting.** Council Member
33 Trent Staggs **SECONDED** the motion. Mayor Applegarth called for discussion on the motion;
34 there being none, he called for a vote. The vote was as follows: Council Member Johnson-
35 Excused, Staggs-Yes, Stewart-Yes, Tingey-Yes and Wayman-Yes. **The motion passed**
36 **unanimously.** Mayor Applegarth declared the meeting adjourned at 10:30 p.m.

37
38
39
40
41 _____
42 Virginia Loader, MMC
43 Recorder

44 Approved: CC
45



Item No. _____

Issue Paper

Presenter/Submitted By:	G Trace Robinson	
Subject: <u>90 %</u> Bond release for <u>LARKIN MORTUARY</u>	Meeting Date: 03/11/2014	
	Fiscal Impact: \$N/A	
	Funding Source: N/A	
Background: Engineering, Public Works and Water Departments have performed the necessary infrastructure inspections for the <u>LARKIN MORTUARY</u> and have found the site complete and constructed to Riverton City's standards. All improvements have been constructed and we recommend that approval be given for a <u>90 %</u> release of the bond and that the City accept the improvements.		
Recommendation: It is recommended that approval be give to release <u>90 %</u> of the bond and that the City accept the improvements.		
Recommended Motion: Motion for approval of bond release.		

RIVERTON CITY
SUBDIVISION BOND REDUCTION REQUEST

DEVELOPER'S INFORMATION

1. Subdivision Name: **LARKIN MORTUARY**
2. Address: **3688 W 12600 S**
3. Subdivision Developer: **LARKIN MORTUARY**
4. Bond Company: **Bank of Utah**
5. **90%** Bond Release Request date: **February 6, 2014**
6. Date of bond release approval by City Council: **March 11, 2014**
7. Description of completed subdivision improvements (attached.)

CITY APPROVAL

Amount of bond release approved by Staff: **\$ 45,960.23**

Date of bond release approval by Staff: **March 3, 2014**

The bond amount for the subdivision shall be reduced by an amount equal to as shown above.

Mayor, Riverton City

Date

Attest:

Date

**DESCRIPTION OF SUBDIVISION IMPROVEMENTS COMPLETED
AND THE DOLLAR AMOUNT REQUESTED FOR EACH.**

LARKIN MORTUARY Improvement	ORIGINAL BOND AMOUNT 3/11/2013	80% RELEASE DATE	80% RELEASE AMOUNT	90% RELEASE DATE	90% RELEASE AMOUNT	100% RELEASE DATE	100% RELEASE AMOUNT	AMOUNT REMAINING
SEWER	Separate Agreement							
Culinary Water	\$ 44,284.19							\$ 44,284.19
Secondary Water	6,532.73							6,532.73
Demolition	-							-
Storm Drain	-							-
Streets	-							-
Sidewalk & Signs	-							-
Fencing & Landscaping	-							-
Record Drawings & GIS	-							-
Other	250.00							250.00
								-
								-
								-
								-
								-
								-
Total	\$ 51,066.92		\$ -		\$ -		\$ -	\$ 51,066.92

Total amount of bond release requested: \$45,960-23

**APPROVAL AND ACCEPTANCE STATUS
OF THE SUBJECT SUBDIVISION IMPROVEMENTS:**

Engineer's Certification: All work described above has been inspected and the above quantities verified. All work appears to have been completed in accordance with Riverton City Subdivision Standards and Specifications.

Jason DeLeon
Public Works Director/ City Engineer

3-4-14
Date

City Inspection Certification: All work described above has been inspected and the appropriate testing requirements have been successfully completed or exceeded.

Scott Hill
Water Director's Signature

3-4-14
Date



Issue Paper

Item No. 3.1

Presenter/Submitted By:	Jason Lethbridge, Planning Manager	
Subject: AMENDED COMMERCIAL SITE PLAN, EXTERIOR ARCHITECTURE, 3813 WEST 13400 SOUTH), C-R ZONE, HB BOYS, APPLICANT	Meeting Date: March 11, 2014	
	Fiscal Impact: N/A	
	Funding Source: N/A	
Background: The applicant, HB Boys, has applied for an amended site plan to allow exterior modifications to the building and materials of an existing commercial structure located at 3813 West 13400 South. The property and all surrounding properties are zoned Commercial Regional. The building is currently occupied by Wendy's fast food restaurant. That use will be changing to a Burger King, and the applicant is proposing exterior modifications based on Burger King's architectural plans.		
Recommendation: On February 27, 2014, the Planning Commission voted to recommend APPROVAL of this application with the following conditions: <ol style="list-style-type: none"> 1. The exterior renovations comply with the approved drawings, and with any and all applicable Riverton City standards and ordinances. 2. Signage shall be subject to a separate sign permit, and shall conform to Riverton City's Sign Ordinance. 		
Recommended Motion: "I move City Council approve the Amended Commercial Site Plan, with modifications to the existing exterior architecture of the commercial building located at 3813 West 13400 South, with the conditions outlined in the Staff Report."		

**RIVERTON CITY
MEMORANDUM**

TO: Honorable Mayor and City Council

FROM: Planning Department

DATE: February 27, 2014

SUBJECT: AMENDED COMMERCIAL SITE PLAN, EXTERIOR ARCHITECTURE, 3813 WEST 13400 SOUTH), C-R ZONE, HB BOYS, APPLICANT.

On February 27, 2014, the Planning Commission voted to recommend APPROVAL of this amended site plan application. This item did not require a public hearing with the Commission, and so a record of motion is included below. The Planning Commission recommended the following motion:

I move City Council APPROVE Amended Commercial Site Plan, with modifications to the existing exterior architecture of the commercial building located at 3813 West 13400 South, with the following conditions;

1. The exterior renovations comply with the approved drawings, and with any and all applicable Riverton City standards and ordinances.
2. Signage shall be subject to a separate sign permit, and shall conform to Riverton City's Sign Ordinance.

BACKGROUND:

The applicant, HB Boys, has applied for an amended site plan to allow exterior modifications to the building an materials of an existing commercial structure located at 3813 West 13400 South. The property and all surrounding properties are zoned Commercial Regional. The building is currently occupied by Wendy's fast food restaurant. That use will be changing to a Burger King, and the applicant is proposing exterior modifications based on Burger King's architectural plans.

The majority of the building materials will stay the same. The primary additions are several areas of black fiber-cement siding, which is a standard corporate look for Burger King. The Commercial Regional Zone does allow for this material on the upper portion of the building, and reads as follows:

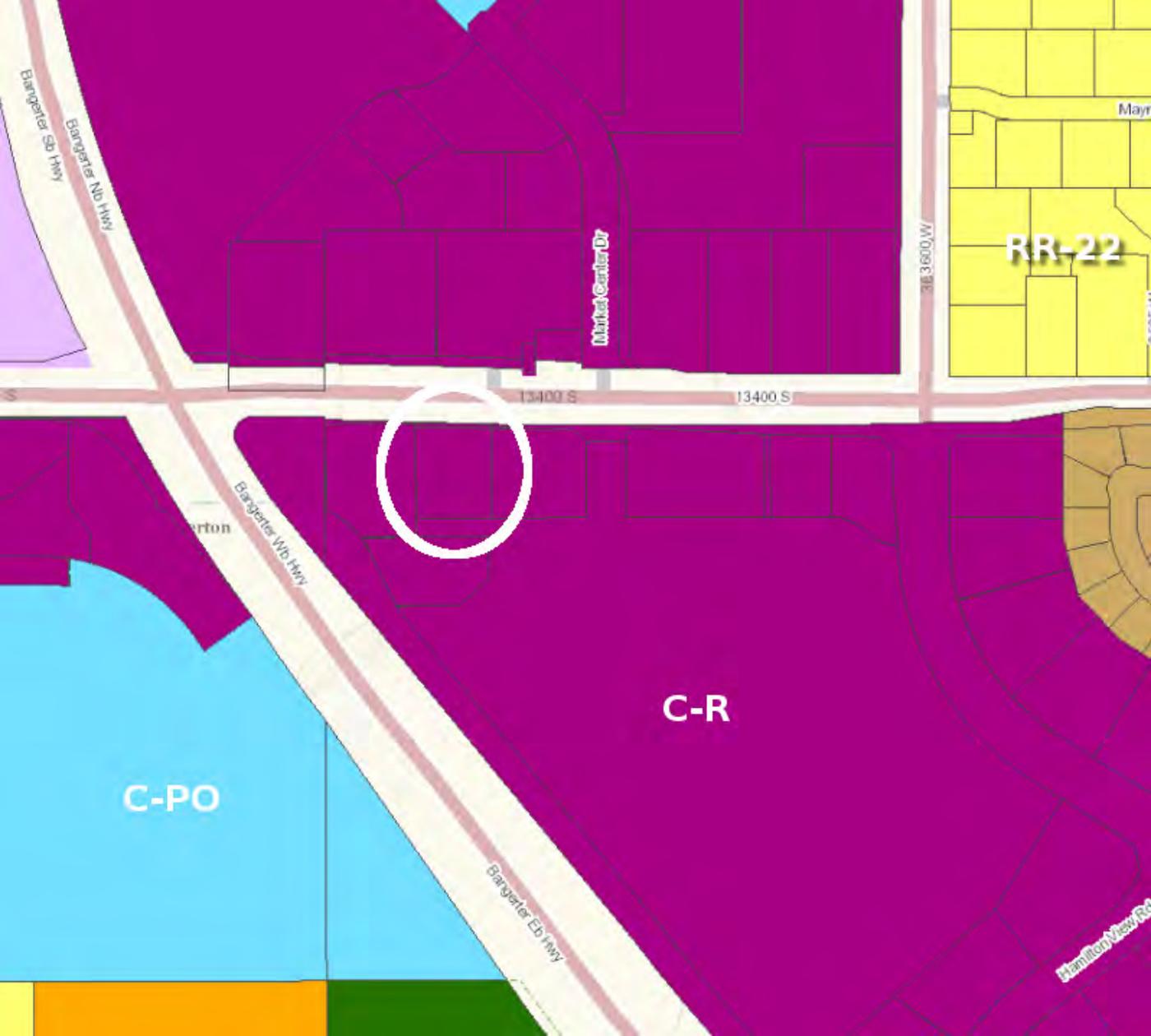
Upper Wall Materials. The remaining portions of the exterior building may consist of glass, brick, stucco, and stone. Fiber-cement siding, metal accents, and wood and simulated wood products may be utilized where appropriate to the use and the surrounding development.

With the majority of the exterior remaining as originally approved, the additions as proposed by the applicant do maintain the overall architectural look of the building and center. Staff is recommending approval of the exterior renovations as proposed.

ATTACHMENTS:

The following items are attached for your review:

1. A copy of the Zoning Map
2. A copy of the Aerial Views
3. A copy of the Site Plan.
4. A copy of the existing elevations.
5. A copy of the proposed building elevations





Maynard Ct

Bergeron Nbtwy
Bergeron Sbtwy

Market Center Dr

3000 W

6325 W

13400 S

Bergeron Nbtwy



Walmart

Bergeron Sbtwy

Hamilton View Rd

Marble Way



13400 S



Bangerter Wb Hwy
Bangerter Eb Hwy

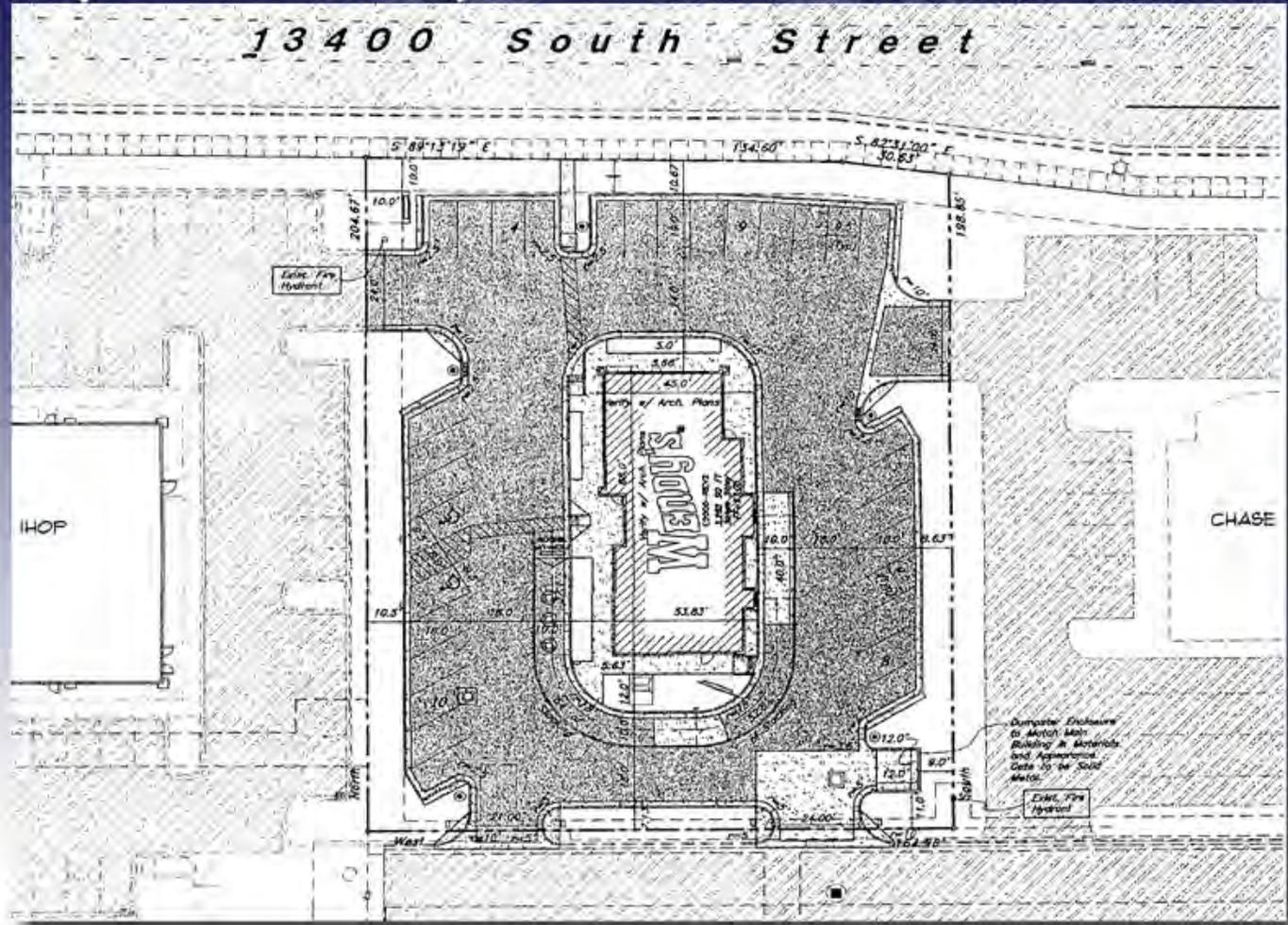


Existing Site Plan and Elevations



Wendy's Commercial Site Plan

Site Plan





Wendy's Commercial Site Plan

Architecture

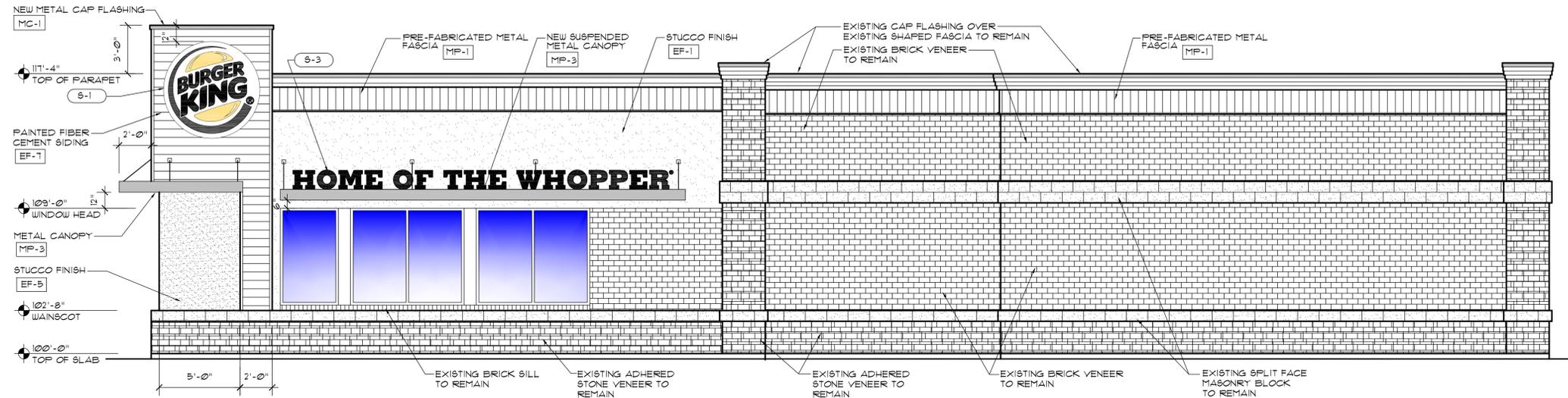


East Elevation

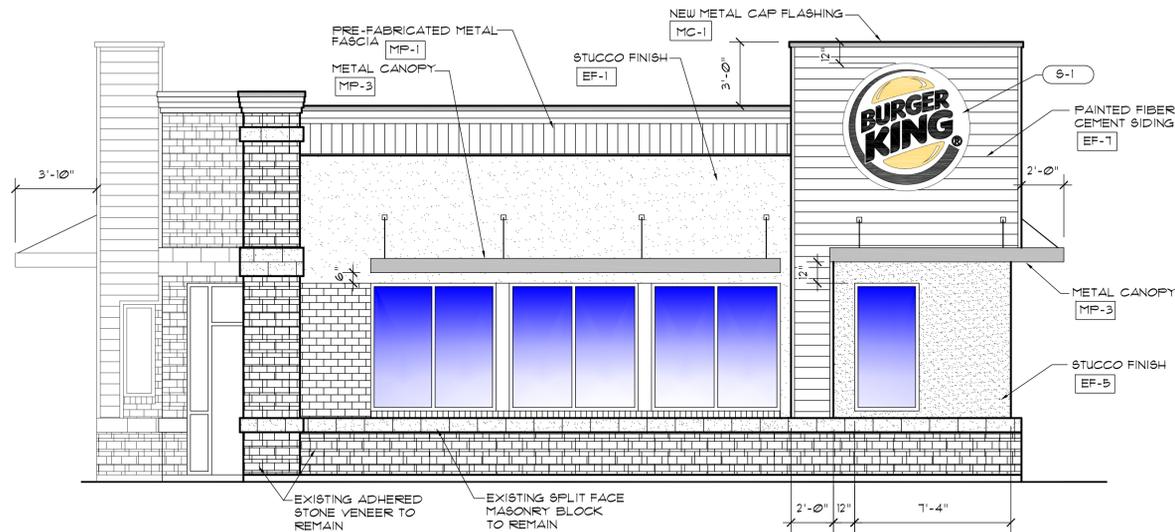


West Elevation

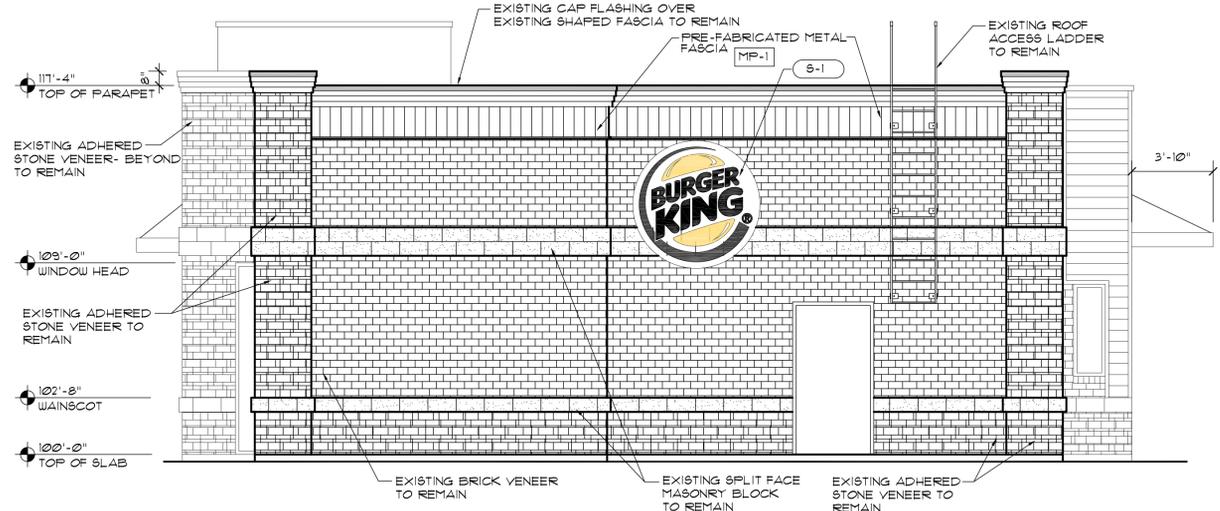
Proposed Elevations



WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

BRIAN D. RUSSELL ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 (801) 307-0801 FAX

BUILDING REMODEL FOR:
BURGER KING CORPORATION
3813 WEST 13400 SOUTH RIVERTON, UTAH 84065

REVISED ELEVATIONS

A-6

NO.	DATE	DESCRIPTION
1	2/14/13	

ALL DRAWINGS SPECIFICATIONS PLANS IDEAS ARRANGEMENTS AND DESIGNS REPRESENTED BY OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY BRIAN D. RUSSELL ARCHITECTS, INC. WHETHER THE PROJECT FOR WHICH THEY WERE DEVELOPED OR NOT. THE IDEAS WERE CREATED, DEVELOPED, AND PRODUCED FOR THE SOLE USE OF THE CLIENT. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION AND SIGNATURE OF BRIAN D. RUSSELL ARCHITECTS, INC.

Planning Commission Motion

Meeting Date: 2-27-14

Item: Burger King Agenda Item# II.A

	Brian Russell	Jim Webb	Dennis Hansen	James Endrizzi	Cade Bryant	Kent Hartley	Scott Kochevar
Motion			✓				
Second						✓	

Motion: Motion # _____ (if multiple motions)

No Change From Proposed Motion In Packet

I move that the Planning Commission recommend APPROVAL of Amended Commercial Site Plan, with modifications to the existing exterior architecture of the commercial building located at 3813 West 13400 South, with the following conditions;

1. The exterior renovations comply with the approved drawings, and with any and all applicable Riverton City standards and ordinances.
2. Signage shall be subject to a separate sign permit, and shall conform to Riverton City's Sign Ordinance.

VOTE:

	Brian Russell	Jim Webb	Dennis Hansen	James Endrizzi	Cade Bryant	Kent Hartley	Scott Kochevar
AYE		✓	✓	✓	✓	✓	✓
NAY							
ABSTAIN	✓						

PASS

FAIL



Issue Paper

Presenter/Submitted By:	Jason Lethbridge, Planning Manager	
Subject: COMMERCIAL SITE PLAN, RIVERTON MARKET GROCER, 1206 WEST 12600 SOUTH, C-G ZONE, RICH PIGGOT OF GALLOWAY & CO, APPLICANT	Meeting Date: March 11, 2014	
	Fiscal Impact: N/A	
	Funding Source: N/A	
<p>Background:</p> <p>Rich Piggott of Galloway and Co has submitted an application requesting a conditional use permit and commercial site plan approval for property located at 1206 West 12600 South. The property is zoned C-G (Commercial Gateway) and is currently vacant ground with some improvements that have been previously installed. Property directly north is zoned R-3 (Residential 14,000 square foot lots) and is utilized as single-family residential. To the east property is zoned R-3 and is the Tithing Hills Condominium development. South of 12600 South property is zoned C-G as is property to the west.</p> <p>The applicant is requesting approval to construct a 41,117 square foot grocery building and accommodating site plan parking areas and infrastructure. Grocery stores retail type uses are permitted in the C-G Zone with a Conditional Use Permit.</p>		
<p>Recommendation:</p> <p>On February 27, 2014, the Planning Commission voted to recommend APPROVAL of this application with the following conditions:</p> <ol style="list-style-type: none"> 1. Storm drainage systems and accommodations comply with Riverton City standards and ordinances, and with the recommendations of the Riverton City Engineering Division. 2. Lighting, both on the building and in the site shall be designed and installed to minimize impacts to the surrounding properties, as shown and approved on the site plan. 3. An interim storm drainage and erosion control plan and an access management plan be approved by the City prior to any construction or grading on the site. 4. Access to the site shall be in compliance with the recommendations of the traffic study, with Riverton City standards, and with an approved UDOT access permit for 12600 South. 5. Any and all rooftop equipment shall be screened from view with parapet walls. 6. Install eight-foot solid masonry fencing along the northern property line of the development, prior to construction of the building. 7. The site and structures comply with any and all applicable Riverton City standards and ordinances, including the International Building and Fire Codes. 		
<p>Recommended Motion:</p> <p>“I move the City Council approve the Riverton Market Grocer Commercial Site Plan, Application Number PL-13-8014, located at 1206 West 12600 South, with the conditions outlined in the Staff Report.”</p>		

**RIVERTON CITY
MEMORANDUM**

TO: Honorable Mayor and City Council

FROM: Development Review Committee

DATE: March 4, 2014

SUBJECT: COMMERCIAL SITE PLAN, RIVERTON MARKET GROCER, 1206 WEST 12600 SOUTH, C-G ZONE, RICH PIGGOT OF GALLOWAY & CO, APPLICANT

PL NO.: 13-8014 – Riverton Market Grocer Commercial Site Plan

On February 27, 2014, the Planning Commission voted to recommend APPROVAL of this Site Plan application. Minutes from that meeting are attached below. The Planning Commission recommended the following motion:

I move the City Council APPROVE the Riverton Market Grocer commercial site plan, application number PL-13-8014, located at 1206 West 12600 South, with the following conditions:

1. Storm drainage systems and accommodations comply with Riverton City standards and ordinances, and with the recommendations of the Riverton City Engineering Division.
2. Lighting, both on the building and in the site shall be designed and installed to minimize impacts to the surrounding properties, as shown and approved on the site plan.
3. An interim storm drainage and erosion control plan and an access management plan be approved by the City prior to any construction or grading on the site.
4. Access to the site shall be in compliance with the recommendations of the traffic study, with Riverton City standards, and with an approved UDOT access permit for 12600 South.
5. Any and all rooftop equipment shall be screened from view with parapet walls.
6. Install eight-foot solid masonry fencing along the northern property line of the development, prior to construction of the building.
7. The site and structures comply with any and all applicable Riverton City standards and ordinances, including the International Building and Fire Codes.

BACKGROUND:

Rich Piggott of Galloway and Co has submitted an application requesting a conditional use permit and commercial site plan approval for property located at 1206 West 12600 South. The property is zoned C-G (Commercial Gateway) and is currently vacant ground with some improvements that have been previously installed. Property directly north is zoned R-3 (Residential 14,000 square foot lots) and is utilized as single-family residential. To the east property is zoned R-3 and is the Tithing Hills Condominium development. South of 12600 South property is zoned C-G as is property to the west.

The applicant is requesting approval to construct a 41,117 square foot grocery building and

accommodating site plan parking areas and infrastructure. Grocery stores retail type uses are permitted in the C-G zone with a conditional use permit.

Existing lot lines will be reconfigured and lots consolidated creating a 5.07 acre parcel on the far eastern end of the Riverton Market commercial subdivision. The proposed grocery store will be located in the north east corner of the new parcel with parking areas on the south and western sides. Loading docks and truck turn around will be located on the north and north western sides of the building.

Grocery stores are required by city ordinance to have 1 parking space per 200 square feet of retail floor area. At 41,117 square feet the building is required to have a minimum of 165 parking stalls. The site plan as proposed is providing 179 total parking stalls thus exceeding the minimum required by ordinance by 14 parking stalls.

Side yard setbacks are required to be a minimum of 20 feet. The building has a minimum side yard setback of 47' feet at it closest location. Rear yard setbacks are measured as 1 foot for every 1 foot in building height. The building has a minimum rear yard setback of 75 feet at its closest location.

No additional accesses are proposed to be constructed with this development. Existing accesses onto 12600 South and 1300 West will be utilized. The access onto 12600 South is a limited motion access restricted to a right-in and right-out configuration. The access onto 1300 West is a full motion access providing access to a signalized intersection.

City ordinance requires an 8 foot solid masonry fence when commercial development occurs adjacent to residential zones. Therefore, 8 solid masonry fencing is required along the northern and eastern property lines. The fencing along the eastern property line has already been installed by previous developers. Fencing along the northern property line has not been installed and will be required as part of this development. Condition #5 addresses this.

The landscape plan as proposed by the applicant is a largely xeriscape water saving design utilizing cobble and rock mulches with tree and shrub plantings. Some irrigated sod is proposed near the 12600 South access to comply with ordinance requirements for some sod in the landscaping. The applicant has responded to Riverton City requests that a dense landscape buffer be provided between the residential subdivision to the north and the Tithing Hill development to the east by providing a dense buffer of coniferous and deciduous trees. The addition of these trees as well as the extra distance provided in building setback will help to limit noise and light pollution to surrounding properties.

City staff has worked closely with the architect to present a building that meets Riverton City's expectations of building exterior and complies with the code's requirements. The northern and western facades are the most visible, however, the proximity of the building to residential zones places importance on all four building elevations. The southern and western facades are those most visible from 12600 South. The lower wall combines a mixture of stone veneer and decorative block wainscot around the entire perimeter of the building. Upper wall materials are composed of smooth or honed face CMU block along with EIFS stucco at the corners, columns, entrances and other locations. Decorative faux windows are also added to add variety to the upper walls. The roofline parapet is broken up to provide additional variety to the long roofline expanse as required by City ordinance.

Staff has received numerous comments from property owners expressing concern and

opposition to a use of this kind occurring on this property. Please keep in mind that the use is already permitted in this zone. This hearing is not to discuss the appropriateness of the use on this site. This hearing is to determine potential impacts that may be generated by the proposed use and establishing conditions that will help to mitigate those impacts.

This use is conditional in the Commercial Regional Zone. On February 27, 2014, the Planning Commission approved the Conditional Use Permit for this site with the following conditions beyond those specific to the Site Plan:

1. No deliveries be allowed between the hours of 10:00 p.m. and 7:00 a.m.
2. Weight limits and double yellow lines be resolved on 1300 West.

The second item is in reference to concerns regarding traffic and access from 1300 West to the property. An issue was raised with the left turn movement out of this site on 1300 West, which would involve crossing the double yellow line in the center of 1300 West. The legality of that turn movement was questioned at the Planning Commission hearing, but not fully resolved. Staff, including the City Attorney, City Engineer, and Unified Police District representatives, will address this with the Council during the upcoming meeting. A question was also raised regarding the 'weight limit' on 1300 West, and whether truck traffic would be allowed to utilize access to the site from 1300 West for deliveries. Riverton City's Streets Department confirmed that 1300 West itself is not a designated truck route, but that that restriction did not extend to a prohibition on delivery trucks taking the shortest route from a major roadway. This would mean that a delivery truck could use the 1300 West driveway as access to the site, but would not be able to use 1300 West itself as a travel route.

With the conditions outlined above, the Planning Commission recommended APPROVAL of this Commercial Site Plan.

ATTACHMENTS:

The following items are attached for your review:

1. A copy of the Site Plan application
2. A copy of the Zoning Map
3. A copy of the Aerial Views
4. A copy of the Site Plan and Landscape Plans.
5. A copy of the building elevations



PL No. 13-8014
Date 12/2/2013

Application

Site Plan

A. Applicant's Name Galloway & Co. Inc.

Home Address 515 South 700 East, Suite 3F

City SLC State UT Zip 84102

Telephone # 801-953-1357 Mobile # _____

E-mail Address RichPiggott@gallowayus.com Fax # _____

B. Primary Contact Person Rich Piggott, PE

Address 515 South 700 East, Suite 3F

City SLC State UT Zip 84102

Telephone # 801-953-1357 Mobile # _____

E-mail Address RichPiggott@gallowayus.com Fax # _____

C. Project Information

1. Name of Proposed Business Riverton Market Subdivision

2. Address 1206 West 12600 South, Riverton, UT 84065

3. Description of the Proposed Business 40,000 square foot grocery store and drive-thru pharmacy

4. Sidwell/Tax ID# 27-26-354-025 Total Acreage of the Site 5.07

5. Current Zoning of the Proposed Site C-G, Commercial Gateway

Zoning of Adjacent Parcels: North R4/R5 South C-G East R5 West C-G

6. Current Use of the Land Vacant, undeveloped land

7. Number of Existing Structures N/A

8. Describe the Proposed Use and Structures for the Site 40,000 SF Grocery Store

9. Did this Project Require a Rezone? Yes / No If Yes, PL# No

10. Did this Project Require a Conditional Use Permit? Yes / No If Yes, PL# Yes, TBD

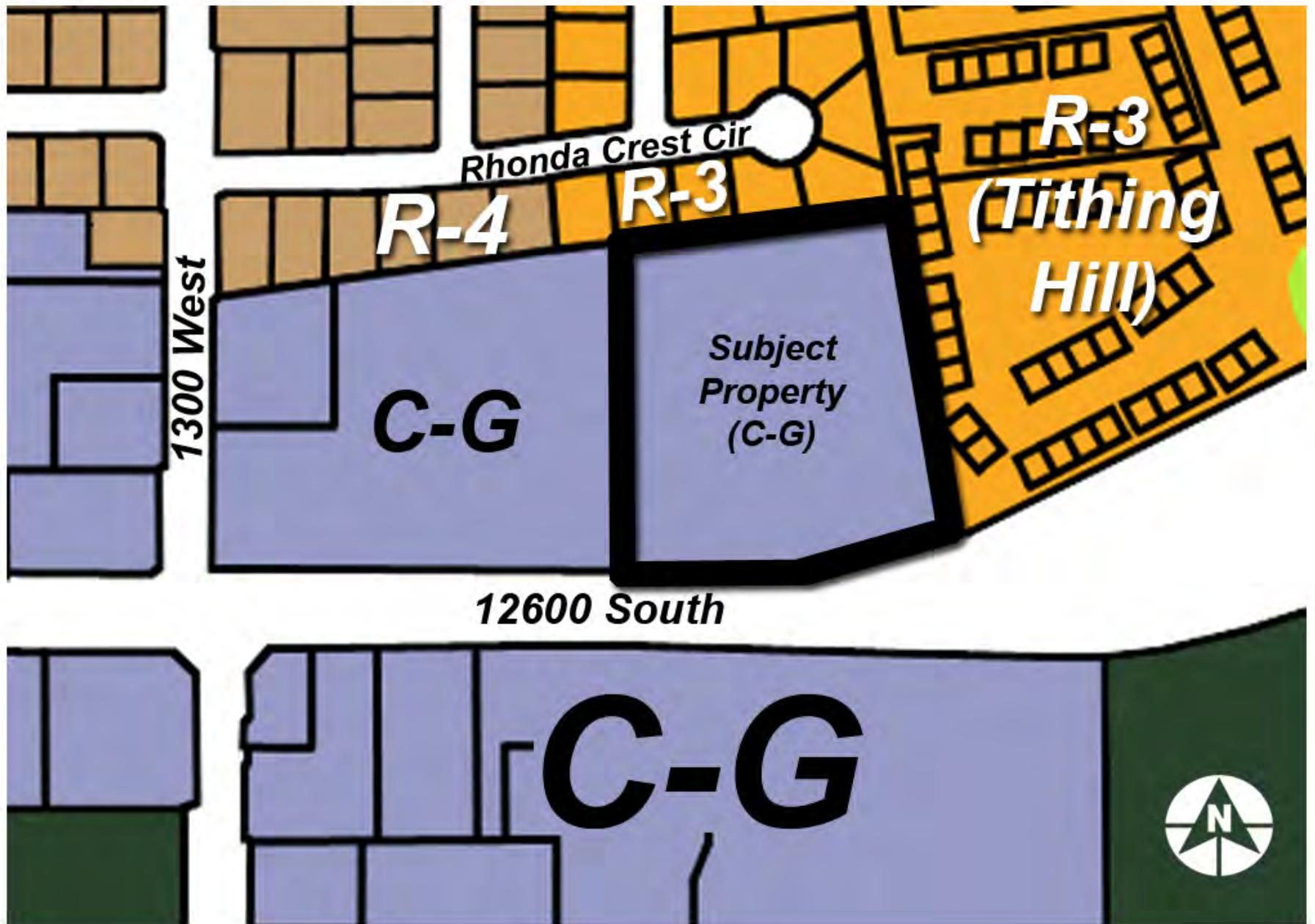
By signing this application, I acknowledge that I have read and understood the application, ordinances, checklists, etc. associated with this application, and that any and all required drawings, plans, and other submittals are included and complete. All drawings and plans, and the proposed development, must comply with the requirements of the Engineering Plan Review Checklist, Riverton City Standards and Specifications, and all applicable Riverton City ordinances and standards.

Applicant's Signature

Date

You will receive a letter following the Planning Commission and City Council meeting providing status of your application

RIVERTON MARKET GROCER SITE PLAN / CONDITIONAL USE



ZONING MAP

RIVERTON MARKET GROCER SITE PLAN / CONDITIONAL USE

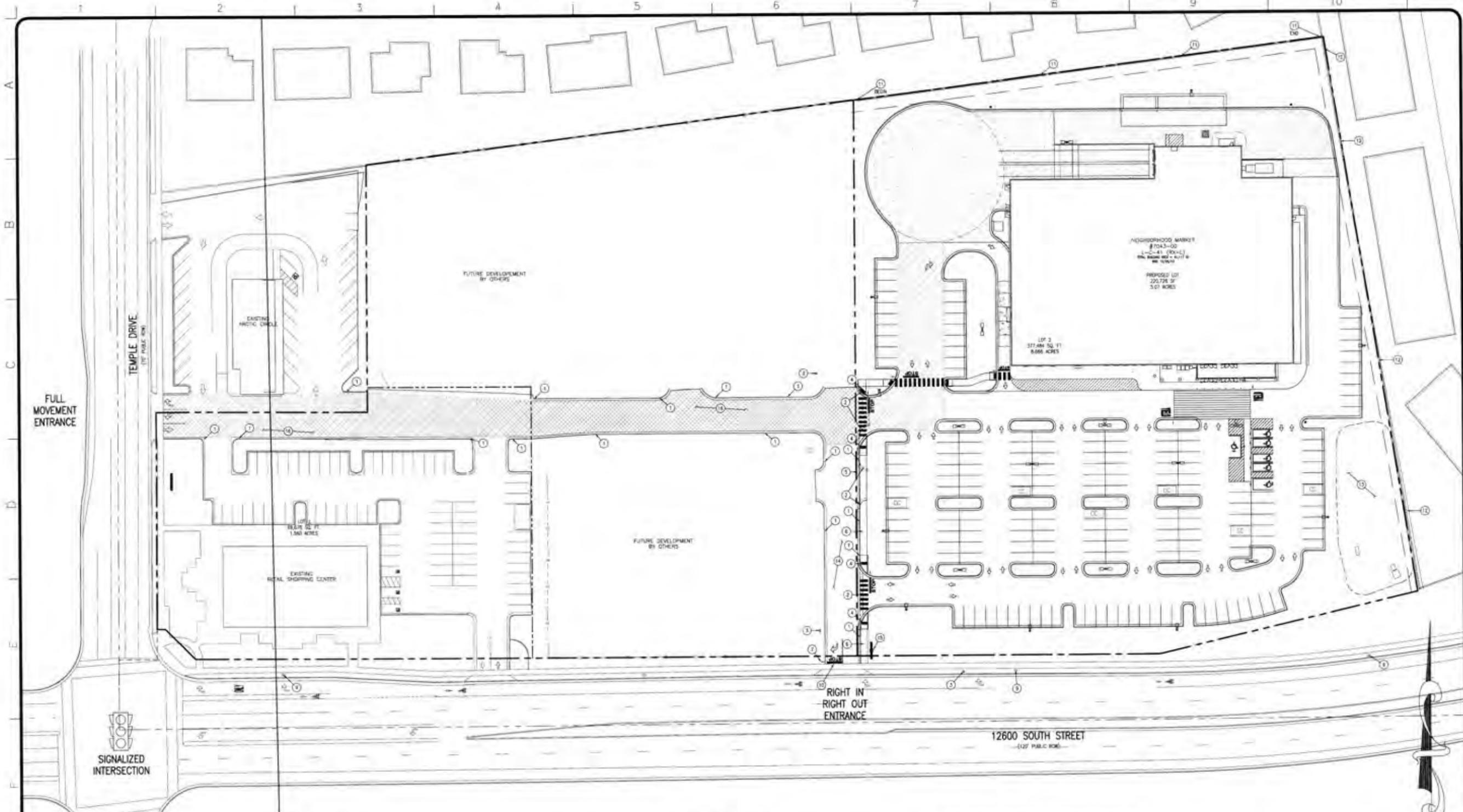


AERIAL VIEW

RIVERTON MARKET GROCER SITE PLAN / CONDITIONAL USE



AERIAL PERSPECTIVE



REVISIONS	BY



Galloway
 Planning, Architecture, Engineering
 915 South 700 East, Suite 2F
 Salt Lake City, UT 84102
 801.363.1337
 303.703.3038

RIVERTON GROCER
RIVERTON, UTAH

DRAWN: JJA
 CHECKED: RP
 DATE: NOVEMBER 2013
 SCALE: 1" = 40'
 JOB NO.: WMT/043
 SHEET: **C1.0**

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING FENCE
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING TO BE REMOVED
- FUTURE DEVELOPMENT BY OTHERS
- PROPOSED SIGN
- TRAFFIC DIRECTION
- EXISTING STREET LIGHT
- PROPOSED SITE LIGHT
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING UTILITY HOLES
- PROPOSED CLEANOUT
- EXISTING WATER METERS
- EXISTING FIRE HOSEWELL
- PROPOSED FIRE HOSEWELL
- PROPOSED ELECTRICAL TRANSFORMER
- PROPOSED WULT
- PROPOSED PAVEN SIGN BY OTHERS
- PROPOSED CURB CORNER
- EXISTING STANDARD DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED HEAVY DUTY CONCRETE PARKING
- PROPOSED MILL AND OVERLAY

AREA SITE SCHEDULE

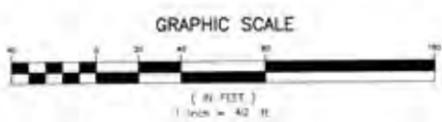
- 1 EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- 2 EXISTING CONCRETE CURB AND GUTTER RETURN TO BE REWORKED
- 3 EXISTING FIBC HOSEWELL TO REMAIN
- 4 CONTRACTOR TO CONSTRUCT ADA ACCESSIBLE RAMP
- 5 CONTRACTOR CURB AND GUTTER - 4" VERTICAL AND 1" GUTTER (ON MATCH EXISTING) TYPICAL REF. SITE DETAILS
- 6 CONTRACTOR 5 FOOT CONCRETE SIDEWALK
- 7 EXISTING "STOP" SIGN TO REMAIN
- 8 INSTALL "STOP" SIGN REF. C1.0/1 & C1.0/1
- 9 EXISTING STREET LIGHT TO REMAIN
- 10 PAINT "STOP" AND "STOP AHEAD" - WHITE REF. C1.0/4
- 11 FURNISH AND INSTALL 8 FOOT PRE-CAST CONCRETE WALL. CONTRACTOR TO MATCH EXISTING EAST WALL IN APPEARANCE, TEXTURE, COLOR AND STYLE
- 12 EXISTING 8 FOOT PRE-CAST CONCRETE WALL TO REMAIN
- 13 EXISTING DETENTION POND TO BE MODIFIED. REF. GRADING AND DRAINAGE PLANS
- 14 EXISTING ASPHALT ROADWAY TO REMAIN
- 15 PROPOSED PAVEN SIGN TO BE INSTALLED BY DROCKER SOURCE CONTRACTOR
- 16 CONTRACTOR TO COMPLETE 1" MILL AND 2" ASPHALT OVERLAY

SITE ANALYSIS TABLE

DRIVER	41,111 S.F.
PARKING (ASSOCIATED AND DRIVEWAY)	773 SPACES
ACCESSIBLE	8 SPACES
TOTAL PARKING	781 SPACES
RATIO	4.4/1,000 S.F.
*CART CORNERS	6 CORNERS / 4 SPACES
*PARKING SPACES OCCUPIED BY CART CORNERS ARE NOT INCLUDED IN OVERALL PARKING RATIO	

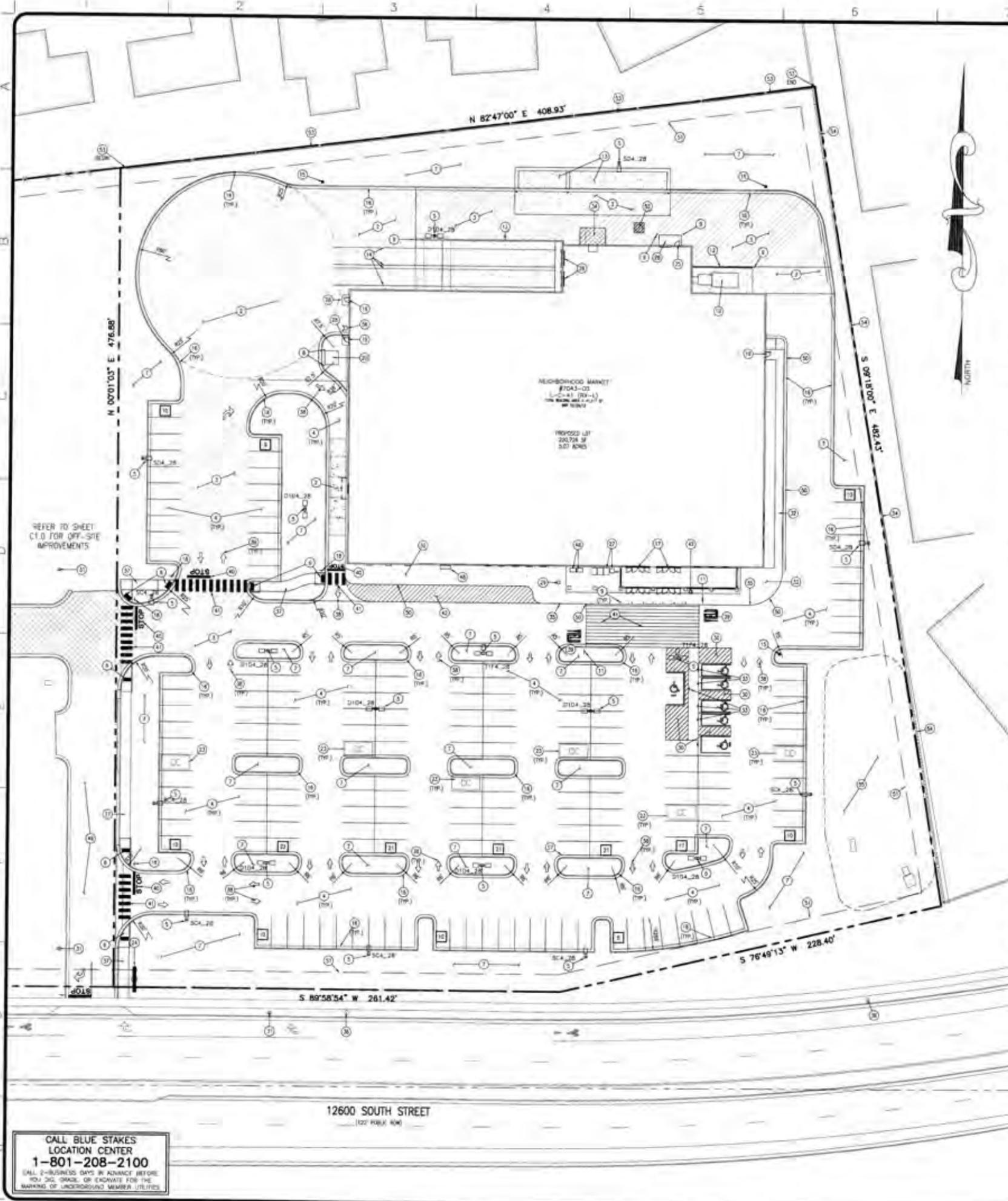
PAINTING/STRIPING SCHEDULE

- 1 PAINT CYL/A - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- 2 PAINT STR/A - SINGLE YELLOW BROWN LINE / 4" WIDE X LONG W/ 1" GAPS TR



AREA SITE PLAN

CALL BLUE STAKES
 LOCATION CENTER
 1-801-208-2100
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE
 YOU DIG, GRADE, OR EXCAVATE FOR THE
 MARKING OF UNDERGROUND MEMBER UTILITIES



SITE SCHEDULE:

- 1 NOT USED
- 2 CONSTRUCT HUMAN DUTY CONCRETE PAVING (REF. SITE DETAILS C1.4/1)
- 3 CONSTRUCT HUMAN DUTY ASPHALT PAVING (REF. SITE DETAILS C1.4/2)
- 4 CONSTRUCT STANDING DUTY ASPHALT PAVING FOR BASE BED. STANDING DUTY (CONCRETE SHALL BE 80 ALTERNATE OR ALL STANDING DUTY PAVING AREAS (REF. SITE DETAILS C1.4/2)
- 5 INSTALL SITE LIGHT - CONSTRUCT BASE AND APPURTENANCES (REF. SITE DETAILS C1.4/2/1 AND PHOTOGRAPHIC PLAN)
- 6 CONSTRUCT HATCHWAY RAMP (REF. SITE DETAILS C1.4/3)
- 7 INSTALL LANDSCAPING (REF. LANDSCAPE PLAN (1))
- 8 INSTALL BOLLARD (REF. SITE DETAILS C1.4/3)
- 9 INSTALL BOLLARD (REF. ARCH. PLAN)
- 10 INSTALL BRUSH COMPACTOR (REF. ARCH. PLAN)
- 11 INSTALL PEDESTRIAN CROSSING SIGNAL (REF. SITE DETAILS C1.4/4)
- 12 CONSTRUCT TRUCK DOCK AND TRUCK COMPACTOR SCREEN WALL (REF. ARCH. PLAN)
- 13 CONSTRUCT BULK AND PELLET RECYCLING AND ORGANICS AREA WITH SCREENING AND 10' HIGH-100' LONG WALLS (REF. ARCH. PLAN)
- 14 PAINT YELLOW TRUCK DOCK ALIGNMENT STRIPES (4" WIDE x 130' LENGTH)
- 15 INSTALL FINE HYDRANT (REF. UTILITY PLAN C2.1 AND UTILITY DETAILS)
- 16 CONSTRUCT CURB AND UTTER - 4" VERTICAL AND 18" UTTER TYPICAL (REF. SITE DETAILS C1.4/2/1)
- 17 EXISTING/NEW SIGNAGE (REF. ARCH. PLAN)
- 18 INSTALL "STOP" SIGN (REF. SITE DETAILS C1.4/1)
- 19 PROPOSED DOOR EXCESS LOCATION TYPICAL
- 20 PROPOSED ELECTRICAL SWITCHGEAR
- 21 PROPOSED 20' BUILDING SETBACK (FRONT AND REAR)
- 22 PROPOSED 20' BUILDING SETBACK (SIDE)
- 23 INSTALL GATE CORNER (REF. SITE DETAILS C1.4/1). CORNERING SHALL CORNERING EXACT LOCATIONS WITH STORE MANAGER.
- 24 PROPOSED PULN SIGN TO BE INSTALLED BY WALL-WART SIGNAGE CONTRACTOR
- 25 PROPOSED AT GATE DELIVERY DOOR (REF. ARCH. PLAN)
- 26 PROPOSED TRUCK DOCK DOOR (REF. ARCH. PLAN)
- 27 PROPOSED VENDING MACHINE (REF. ARCH. PLAN)
- 28 CONSTRUCT CONCRETE STOOP (REF. ARCH. PLAN)
- 29 INSTALL FLAG POLE (REF. ARCH. PLAN)
- 30 PAINT ACCESSIBLE PARKING STRIPING (REF. SITE DETAILS C1.4/4)
- 31 EXISTING FINE HYDRANT TO REMAIN
- 32 CONSTRUCT PROPOSED CONCRETE SIDEWALK (REF. ARCH. PLAN)
- 33 INSTALL ACCESSIBLE PARKING SIGN (INCLUDE SIGN PLACED WHERE SCHEDULED BY SIGN SPACE) (REF. SITE DETAILS C1.4)
- 34 PAINT 10'-15' STRIPED AREA AT JOB CRANE LOCATION. SMALL 4" PAINTED SOLID TRAFFIC YELLOW STRIPES AT 2'-0" O.C. AT 45-DEGREES (REF. ARCH. PLAN FOR EXACT LOCATION OF JOB CRANE)
- 35 CONSTRUCT PROPOSED EDGE OF WALK PAVEMENT WITH ADJACENT DRIVE (REF. ARCH. PLAN AND DRAWING PLAN C2.1 FOR ADDITIONAL INFORMATION)
- 36 EXISTING STREET LIGHT TO REMAIN
- 37 CONSTRUCT 4" CONCRETE SIDEWALK (REF. SITE DETAILS C1.4/4)
- 38 PAINT PARKING LOT DIRECTIONAL ARROWS - GREEN (REF. SITE DETAILS C1.4/5) - TYPICAL
- 39 PAINT "WALK" - WHITE (REF. SITE DETAILS C1.4/5)
- 40 PAINT "STOP" AND "STOP SIGN" - WHITE (REF. SITE DETAILS C1.4/5)
- 41 PAINT PEDESTRIAN CROSSWALKS WITH 4" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 11" 4" WHITE STRIPES PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE (REF. SITE DETAILS C1.4/4)
- 42 PAINT 4" SOLID YELLOW STRIPING AT 2'-0" O.C. AT 45-DEGREES (REF. SITE DETAILS)
- 43 PAINT 4" SOLID WHITE ACCESSIBLE PARKING LOT STRIPING (REF. SITE DETAILS)
- 44 PAINT 4" SOLID YELLOW CUSTOMER PARKING LOT STRIPING (REF. SITE DETAILS)
- 45 NOT USED
- 46 INSTALL BENCH (REF. ARCH. PLAN)
- 47 INSTALL TRASH CAN (REF. ARCH. PLAN)
- 48 INSTALL BIRD RACK (REF. ARCH. PLAN)
- 49 EXISTING HYDRANT TO REMAIN
- 50 PAINT PROPOSED 4" WIDE LANE STRIPING TRAFFIC RED WITH "NO PARKING - FIRE LANE" PAINTED WITH 4" HIGH WHITE LETTERING AT TOP OF CURB/EDGE OF WALK AT 20' O.C. (REF. SITE DETAILS C1.4/2)
- 51 PUBLIC UTILITY LOCATION
- 52 PAINT 4" WIDE STRIPED AREA CENTERED ON SYMBIOTE ORGAN MANHOLE. PAINT 4" SOLID TRAFFIC YELLOW STRIPES AT 18" O.C. AT 45-DEGREES. (REF. SITE DETAILS C1.4/2)
- 53 FURNISH AND INSTALL 8" CONCRETE PRE-CAST WALL
- 54 EXISTING 8" FOOT PRE-CAST WALL TO REMAIN
- 55 MODIFY EXISTING DRAINAGE POND. REF. GRADING AND DRAINAGE PLAN (C2.1-C2.3)
- 56 PROPOSED ELECTRICAL SWITCHGEAR (REF. ELECTRICAL PLAN)
- 57 CONTRACTOR TO FLOW PROPOSED CURB AND UTTER AROUND EXISTING SWITCHGEAR MANHOLE. AVOID POSSIBLE DAMAGE TO STORM DRAIN.

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EXISTING EXISTENCE LINE
- PROPOSED EXISTENCE LINE
- EXISTING FENCE
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- FUTURE DEVELOPMENT BY OTHERS
- PROPOSED SIGN
- TRAFFIC DIRECTION
- PARKING COUNT (CUSTOMER)
- PARKING COUNT (ASSOCIATE)
- EXISTING STREET LIGHT
- PROPOSED SITE LIGHT
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING TRUCK DOCK
- EXISTING WALKWAY
- PROPOSED GATE WALK
- PROPOSED CLEANOUT
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED ELECTRICAL TRANSFORMER
- EXISTING SIGN
- PROPOSED SIGN
- PROPOSED PULN SIGN BY OTHERS
- PROPOSED GATE CORNER
- PROPOSED (TRUCK) (BY ASPHALT)
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED HEAVY DUTY CONCRETE PAVING

SITE ANALYSIS TABLE

RAW-LAND	41,117 SF
PARKING (ASSOCIATE AND CUSTOMER)	171 SPACES
ACCESSIBLE	8 SPACES
TOTAL PARKING	179 SPACES
AVOID	447,000 SF
TOTAL CORNERS	8 CORNERS / 8 SPACES

WORKING SPACES OCCUPIED BY GATE CORNERS ARE NOT INCLUDED IN CUSTOMER PARKING COUNT

PAINTING/STRIPING SCHEDULE

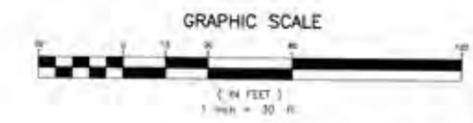
- TRAFFIC 205L/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- TRAFFIC 205L/4" - SINGLE YELLOW SOLID LINE / 4" WIDE / 1" LONG W/ 18" GATE THE

LIGHT LEGEND

SYMBOL	LABEL	ARRANGEMENT	DESCRIPTION
○	0104_ZR	BACK-TO-BACK	(2) - EXISTING/PROPOSED/20' TRIP POLE ON 30' BASE
○	0104_ZR	SINGLE	(1) - EXISTING/PROPOSED/20' TRIP POLE ON 30' BASE
○	0104_ZR	SINGLE	(1) - EXISTING/PROPOSED/20' TRIP POLE ON 30' BASE
○	1114_ZR	3 @ 45 DEGREES	(3) - EXISTING/PROPOSED/20' TRIP POLE ON 30' BASE

SITE NOTES

1. ALL CURB RACK = 3.0' UNLESS NOTED OTHERWISE.
2. CONCRETE JOINTING AND FILLERS TO BE COMPLETED PER DETAILS (TYPICAL OF ALL EXTERIOR CONCRETE EXCLUSIVE OF ARCHITECTURAL CONCRETE). SEE SITE DETAILS.
3. ISOLATION JOINTS SHALL BE PLACED AT FIXED STRUCTURES (BUILDINGS, RETAINING WALLS/DOCK WALLS, DROP PANELS, MANHOLES, LIGHT POLE BASES AND BOLLARDS). SEE SITE DETAILS.
4. REFER TO CD-6 FOR ADDITIONAL PROJECT NOTES.
5. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND OSHA STANDARDS.
6. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIGNAGE, EXIT DOORS, TRUCK DOCKS, PROTECT BUILDING DASHBOARD AND EXIST BUILDING EXTERIOR LOCATIONS.
7. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNITS. A HEALTHY STAND OF GRASS IS ESTABLISHED. SEE 02000 SPECIFICATION.
8. ALL DISTURBED AREAS ARE TO BE THE FACE OF CURB UNLESS OTHERWISE NOTED.
9. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BIDDING.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO: ALL UTILITIES, STORM DRAINAGE, SIGNALS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH CORRESPONDING REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SIGN. ALL COST SHALL BE INCLUDED IN BIDDING.
11. SEE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
12. SOME LAND AREA FOR THE WALL-WART LOT IS 3.074 ACRES.
13. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE WALL-WART STANDARD SIGN WORK SPECIFICATION.
14. REFER TO C2.1 FOR OFF-SITE IMPROVEMENTS.
15. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
16. ALL NON-GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.



SITE PLAN

REVISIONS	BY



Galloway
 Planning, Architecture, Engineering
 515 South 700 East, Suite 307
 Salt Lake City, UT 84102
 313.201.1300
 www.gallowayut.com

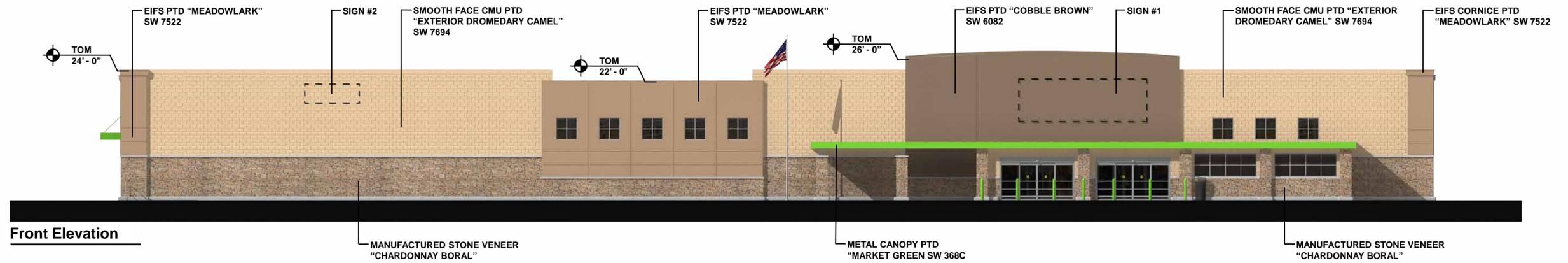
RIVERTON GROCER
RIVERTON, UTAH

DRAWN
 JIA
 CHECKED
 RP
 DATE
 NOVEMBER 2018
 SCALE
 1"=30'
 JOB NO.
 WMT7045
 SHEET

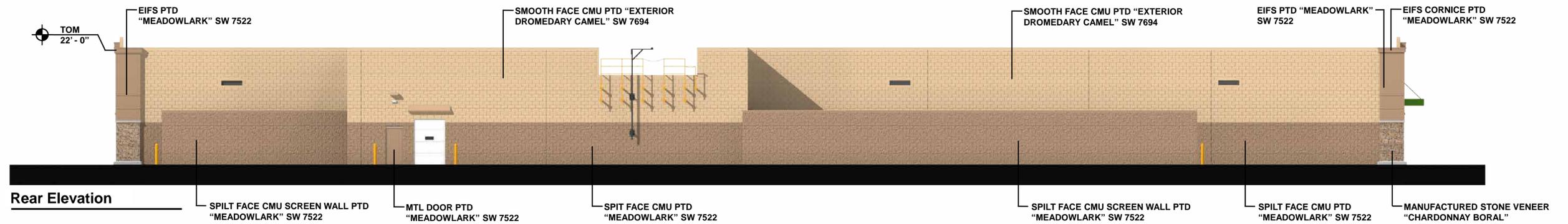
C1.1

CALL BLUE STAKES
 LOCATION CENTER
 1-801-208-2100
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE
 YOU DIG, GRADE, OR EXCAVATE FOR THE
 MARKING OF UNDERGROUND MEMBER UTILITIES.

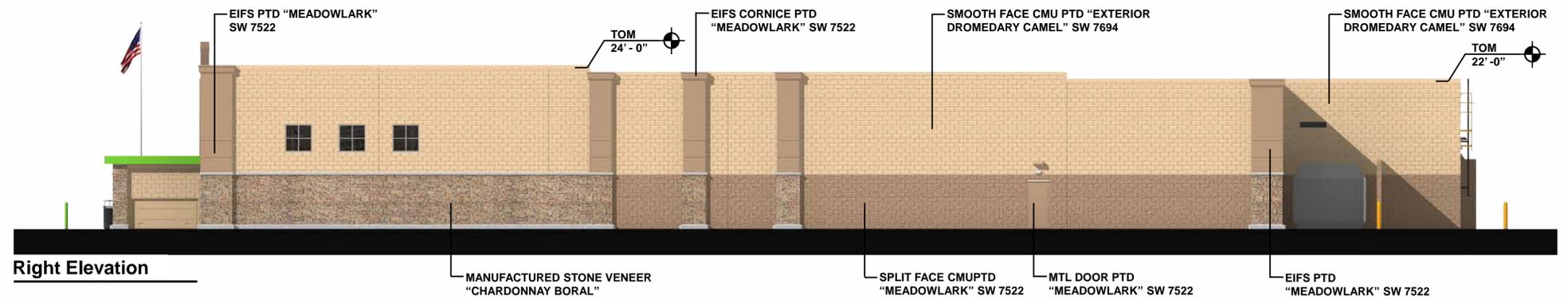
12600 SOUTH STREET
 (127 PUBLIC ROW)



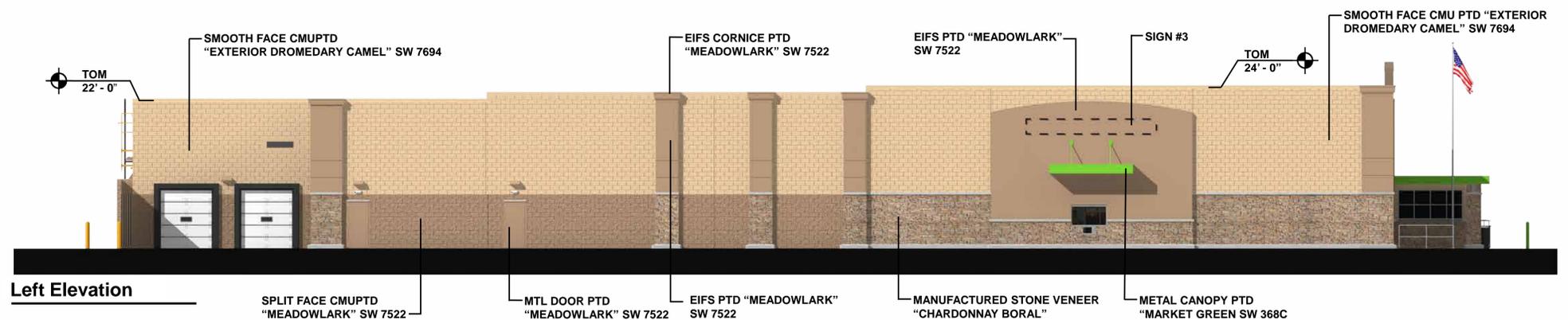
Front Elevation



Rear Elevation



Right Elevation



Left Elevation

Front Signage	#	Height	Total Sq. Ft.
Sign #1	1	5' - 1 5/8"	188.30
Sign #2	1	1' - 0"	33.33
Total Front Signage			221.63

Left Signage	#	Height	Total Sq. Ft.
Sign #3	1	1' - 6"	39.90
Total Left Signage			39.90

Total Building Signage			261.53
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1 RIVERTON CITY PLANNING COMMISSION
2 MEETING MINUTES

3
4 February 27, 2014

5
6 The Riverton City Planning Commission convened at 6:30 p.m. in the Riverton City
7 Municipal Building, 12830 South 1700 West, Riverton, Utah.

8
9 Planning Commission Members:

Staff:

10
11 James Endrizzi
12 Kent Hartley
13 Cade Bryant
14 Brian Russell
15 James Webb
16 Dennis Hansen
17 Scott Kochevar

Jason Lethbridge, City Planning Manager
Casey Taylor, Deputy City Attorney

18
19 Chair Brian Russell called the meeting to order. Commissioner Hansen led the Pledge
20 of Allegiance.

21
22 I. PUBLIC HEARING

23
24 A. **CONDITIONAL USE PERMIT / COMMERCIAL SITE PLAN, PL-13-8014, RIVERTON**
25 **MARKET GROCER, 1206 WEST 12600 SOUTH, C-G ZONE, RICH PIGGOT OF**
26 **GALLOWAY AND COMPANY, APPLICANT.**

27
28 City Planning Manager, Jason Lethbridge, presented the application, and described the
29 surrounding properties. The property to the west is also zoned Commercial Gateway, as well
30 to the south across from 12600 South. To the north, the property is zoned R-3, which is a
31 single-family designation. The property to the east is also zoned R-3, but it was developed
32 as a PUD, which means that there are multi-family attached units. The overall density is
33 three units per acre, and it is a private, gated community. An aerial photo of the subject
34 property was reviewed.

35
36 The subject property is part of some vacant commercial property, and at this point the only
37 businesses that have been developed on the property are an Arctic Circle and one retail
38 building. The originally approved master site plan was also reviewed and discussed.

39 Mr. Lethbridge explained that the proposed site plan is consistent with the master plan, in
40 regard to access layout as well as the square footage that is contemplated on the property.
41 The site plan is for a single building with a grocery tenant, and it was noted that a specific
42 user or tenant has not yet been identified in the application.

43
44 The building will occupy the eastern portion of the property from the existing access drive, all
45 the way to the perimeters of the property. The building is toward the rear, with the majority of
46 the parking in the front of the building. There is also a small area of detention in the
47 southeast corner, and a drive-thru will be located on the west side of the building. The
48 loading area is to the north, which is the back side of the building and a screen wall is located
49 along the loading dock.

1
2 Mr. Lethbridge explained that the landscaping plan that was submitted and approved by staff.
3 He explained that there is some landscape treatment along the slope that is adjacent to 12600
4 South; however, the majority of the landscaping is more interior to the site. The detention
5 pond in the southeast corner has been included in the landscaping and will be treated
6 accordingly. As is typically required, there will be significant landscaping along the property
7 lines that border residential properties. Mr. Lethbridge also noted that there is some
8 additional landscape buffer along the fence line and in the back area of the building in both
9 distance and treatment of the ground. The closest point on the east side is at about 46 ½,
10 and the closest point in the back is just over 73 feet. These measurements comply with
11 Riverton City Ordinances, and meet the expectations that the City would have for a site this
12 size.

13
14 With regard to fencing, there is existing fencing along the east side, which will remain. This
15 project will be installing the required eight-foot masonry fencing along the north side, and will
16 match the fencing on the east side. The master site plan approval required the full length of
17 that fencing to be installed with any development that encroached in the northern part of the
18 property.

19
20 Mr. Lethbridge presented a light study, which measures how much light is present from the
21 building itself, and noted that there will be some visual impacts. However, the lighting that is
22 being installed on the building and within the parking lot does meet Riverton City standards,
23 as well as Accepted Industry Standards for minimizing spillage into the surrounding
24 properties. This will be accomplished with down lighting and shield lighting.

25
26 One of the concerns that surrounding property owners had with the project relates to traffic
27 and access. A traffic study was conducted that measured existing traffic, as well as traffic
28 generated by the site between the years 2014 through 2030. The traffic study confirmed that
29 this site will function at both of the access points onto the roadways, and the intersection itself
30 will continue to function at an acceptable level. Mr. Lethbridge explained that access onto
31 12600 South is under the jurisdiction of UDOT, so there is a separate access permit that is
32 required through them. This same data is also reviewed by UDOT upon granting a permit.

33
34 Architecturally, the City has worked very closely with the applicant. The materials required in
35 the Commercial Gateway zone were reviewed, and it was noted that materials are
36 differentiated between the upper and lower courses of the building. The lower course in the
37 front of the building will predominantly be stone, which is consistent with other buildings on
38 the site and in the City. The upper portion of the wall will be a mix of color differentiation and
39 material differentiation. There will also be some column features, which are very typical of
40 Riverton City. These expectations are consistent with Riverton City Ordinances, and a
41 conceptual image that was rendered with the original master plan was presented. The
42 building elevations were also reviewed.

43
44 Mr. Lethbridge elaborated on the rear, or north side of the building. He referred to the loading
45 docks, and noted that the screen wall will help conceal them visually as well as absorb any
46 potential noise from that area. He reiterated that the project proposal is in line with City
47 Ordinances and in trying to mitigate the kinds of impacts that will be had on the adjacent

1 properties. In conclusion, Mr. Lethbridge reviewed the purpose of a conditional use permit,
2 and explained the two actions that need to be taken on the matter during this meeting.
3

4 Commissioner Hansen felt that building another box store in an area where there is already a
5 vacancy with the old Peterson building, could potentially cause another vacancy in the future.
6 Mr. Lethbridge stated that this is always a concern, and something that staff has discussed at
7 length with their Economic Development Director. He explained that as they look to build a
8 tax base, they want to be sensitive to the existing uses within the City, and how they may
9 compete or build off of each other. They also want to be sensitive to the potential for
10 increased loss of business to surrounding communities.
11

12 Mr. Lethbridge provided a business example occurring in Herriman, and stated that they have
13 to carefully balance the consideration of protecting existing businesses within the City. At the
14 same time they need to be able to capture business and money that is being spent to the
15 greatest extent possible. Mr. Lethbridge explained that with the structure of City Ordinance,
16 there would need to be a strong and quantifiable basis for turning this aside based on
17 economic issues.
18

19 Commissioner Webb asked if the existing wall on the east side was six or eight feet tall.
20 Mr. Lethbridge replied that it is an eight-foot fence, which would be mirrored by an eight-foot
21 fence on the north side. Commissioner Webb also inquired on the traffic study, specifically
22 asking if cars on the left side of the intersection by the Arctic Circle would be able to exit
23 safely during peak hours. Mr. Lethbridge explained that similar movements for making a left-
24 hand turn onto 12600 South can be made as right-hand turns for people going west.
25

26 Commissioner Webb asked about specifications within City Ordinance regarding noise
27 impacts from truck deliveries. Mr. Lethbridge stated that the ordinance doesn't specify
28 delivery times; however there is a noise level that can be enforced. In other situations, the
29 approval process has included the mandate of specific delivery times; however, the
30 ordinance itself does not include language about this issue. Commissioner Webb also
31 wanted to know if a geotechnical study was conducted. Mr. Lethbridge apologized for not
32 being able to provide a more technical response, and mentioned that the engineering
33 department forwarded the application on with a positive recommendation. He preferred to
34 defer to the applicant to answer some of Commissioner Webb's more technical questions.
35

36 The applicant, Richard Piggot of Galloway and Company, was present and thanked the
37 Planning Commission and City Staff for their public service and assistance throughout the
38 planning stages of the project. He provided a brief description of Galloway and Company
39 and explained that a geotechnical study was conducted, which is where a recommendation to
40 have a 1 ½ inch overlay was generated, in order to better support truck traffic. Mr. Piggot
41 agreed with what Mr. Lethbridge presented and with what was stated in the staff report.
42

43 Commissioner Hartley asked what the existing pavement was for adding the overlay.
44 Mr. Piggot replied that it was approximately a three or four-inch section, and was increased to
45 a five or six-inch section.
46

1 There was further discussion regarding the economic climate in the subject area. A question
2 was asked of Mr. Piggot as to why they were drawn to this particular piece of property, and
3 why they weren't using the vacant Peterson building, rather than constructing a new one.
4 Mr. Piggot replied that there has been a lot of interest communicated by a certain grocer to
5 pursue a store at this location. Mr. Carl Schmitline of Galloway was also present at the
6 meeting, and he stepped forward to explain that the seller of the existing building is not
7 interested in allowing a grocery type use, and that there is a grocery-use restriction at that
8 location.

9
10 The public hearing was opened.

11
12 Delores Baker asked if this was going to be a Walmart Neighborhood Market, and wanted to
13 know if the community could support two Walmart stores. Mr. Lethbridge stated that a tenant
14 has not been listed in the application, which is not uncommon. He also explained that the
15 City doesn't possess the authority to mandate that a tenant be listed. Ms. Baker explained
16 that she formerly managed a large, discount retailer store, and felt that the community could
17 not support these two locations.

18
19 Elaine Cane stated that many people want to know what's wrong with the old grocery store
20 that was recently vacated. Mr. Lethbridge pointed out that this question had been asked and
21 answered, and referred to the response that was previously given by Mr. Schmitline of
22 Galloway.

23
24 Rick Stone stated that he lives to the northwest of the subject property, and was representing
25 a community group. Mr. Stone explained that as a community group, they felt that a 10-day
26 notice was not enough time for them to convene and organize themselves. As a community,
27 they were hopeful that any decision regarding the grocery store would be postponed.

28
29 Mr. Stone continued that as a community, their biggest concern is the traffic, particularly with
30 the left-hand turn out of Arctic Circle. Currently it's a double yellow line which prohibits
31 crossing, so there shouldn't even be left-hand turns at that location. Anyone coming from
32 Draper will have an easy right-hand in, however, they will have to go left-out at the
33 intersection. The same applies to anyone coming from the south up 1300 West. The other
34 alternative was for individuals to make a right-hand turn out, and cross two lanes of oncoming
35 traffic that's traveling between 45 and 50 miles per hour to do a u-turn at the intersection.
36 Additionally, there will be delivery trucks trying to maneuver the same kind of traffic.

37
38 Mr. Stone pointed out that the fire station is south of this same intersection, and explained
39 that the community group was concerned that the traffic congestion going north on 1300
40 West would cause delays in response time.

41
42 Mr. Stone explained that even though a grocery store is listed as an approved condition for a
43 conditional use permit, the community feels that this does not meet the intent of the
44 Commercial Gateway zone. He described language in the ordinance that pertains to the
45 architectural requirements for this zone, and also noted that it also prohibits restaurants with
46 a drive-thru, pointing out that the proposed site plan includes a drive-thru.

47

1 Another issue that Mr. Stone explained included that of added crime. The community is in
2 the process of gathering more information from the Unified Police Department on what they
3 can expect. They were waiting to hear back from them, which is another reason why they
4 would like a decision to be postponed. Another concern was that 1300 West is part of the
5 safe-walking zone for children. The added traffic will complicate the ability for children to
6 walk to schools. Lastly, the community had questions about environmental impacts, and
7 Mr. Stone asked questions regarding drainage and runoff into the Jordan Parkway.

8
9 Commissioner Endrizzi briefly interjected that the project requires more than one step, and
10 that the final decision will ultimately be made by the City Council.

11
12 Greg Durmond echoed previous were made, reiterating that the community is very concerned
13 with the safety of their neighborhood. The roads in the area are small, and will not be able to
14 support the kind of traffic that will occur with the addition of the grocery store. Mr. Durmond
15 referred to comments made about the double yellow line turning left out of Arctic Circle,
16 adding that in the past he's gotten a ticket for making that turn.

17
18 Mr. Durmond expressed his concerns with the fencing, and requested that a condition be
19 added to have the fencing for the entire store be completed prior to construction. He
20 continued to explain that he felt that the 24-hours of operation would have a negative impact
21 on the community, and asked that a condition be added to specify reasonable delivery times.
22 Mr. Durmond commented on light pollution, and requested that the Planning Commission
23 require lighting that will minimize the impacts on the surrounding properties.

24
25 Lastly, he suggested constructing a cement median to prevent people from turning left onto
26 12600 South. The traffic on the road during peak hours is backed up all the way to the
27 Jordan River. The people who pay for the traffic study are those who are in favor of the
28 store, which can question the independence of that traffic study. Mr. Durmond summarized
29 his comments by explaining that the construction of the store will compromise the quality of
30 life for the residents in the area.

31
32 The Commission added that with regard to the noise ordinance, there are not any restrictions
33 on delivery times. However, there is restriction on garbage collection and the emptying of
34 dumpsters. The restriction is that garbage collection cannot occur between the hours of
35 10:00 p.m. and 7:00 a.m. within 800 feet of a dwelling.

36
37 Dave Lundgren asked about the right-hand turn onto 1300 West, and stated that turning 1300
38 West into an outlet from the store will make it more of a main thoroughfare than it is designed
39 to be. There is no way to expand the road to the east or west, but it's expected to sustain a
40 higher level of traffic. Mr. Lundgren asked rhetorically if it was possible to live in Riverton and
41 not be eight minutes away from a Walmart. From an economic standpoint, he explained that
42 once this Walmart comes in they won't compete against themselves. He asked if increasing
43 the economic base by taxing a dollar once and then shipping it off to Arkansas was worth the
44 trade-off of keeping a dollar in Utah and taxing it over and over again, thereby having it rest in
45 Utah banks so that it can be used to borrow against for home development loans and other
46 small businesses.

47

1 Paul Kelsh wanted to know the overall estimated cost of the building. Mr. Kelsh
2 acknowledged that he was unaware of any laws that would prohibit sharing such information;
3 however, he was curious as to the finances and other resources that will be required for such
4 a project. The Commission replied that to their knowledge this is a private corporation
5 endeavor, and that no city monies will be allocated toward the project. It was also noted that
6 use of public resources surrounding the property such as roads, City water and facilities, are
7 addressed through the use of impact fees, which is paid by every commercial and residential
8 user that comes to the City.

9
10 Matt Nelson acknowledged that there is speculation of who the tenant will be, and understood
11 that this information does not have to be disclosed. Mr. Nelson stated that the manager of
12 the South Jordan Walmart relayed to him that their acceptable loss amount through
13 vandalism and theft is \$1.2 million per year. Mr. Nelson asked if this was desirable for
14 Riverton.

15
16 An unidentified gentleman stood up and voiced his support for the project, and felt that a lot
17 of thought had been put into the planning. He acknowledged comments that other residents
18 made and encouraged the Planning Commission to consider their feedback. He felt that
19 Riverton was in need of another grocery store because they are losing business to nearby
20 cities. He remarked that this project would be a good first start to rebuilding their economic
21 base.

22
23 Roy Toone expressed his opposition to the project, and explained that he's familiar with these
24 kinds of projects due to his previous work experiences. He stated that these projects always
25 end up with light pollution, a compactor on hot days that carries unpleasant smells, and
26 unbearable truck traffic. Mr. Toone also asked if an application has been submitted for an
27 additional traffic light. There was further discussion on the matter.

28
29 Al Leavitt stated that he is in the grocery business, and rated the proposed location for the
30 new store as a "D" location, as opposed to an "A" location. Mr. Leavitt stated that he is a
31 former City Council Member, and that they always wanted economic development. As he
32 reviewed this project prior to leaving the Council, he had some concerns. His original thought
33 was that perhaps they could draw shoppers from Draper across the river and benefit from
34 their business. However, he didn't feel that they would be able to accomplish this objective
35 with this project, because it will be too difficult for them to get back to Draper. He stated that
36 they will cannibalize the tax base that already exists. Mr. Leavitt reported losses other stores
37 have faced.

38
39 Terry Heady asked about a weight restriction on 1300 West for trucks. He wanted to know if
40 there was any consideration or concern to change that weight restriction. Mr. Lethbridge
41 didn't have an answer available, and referred Mr. Heady to the City Engineer.

42
43 There were no further public comments. The public hearing was closed.

44
45 Chair Russell also explained to the new Commissioners that as a Commission they have the
46 authority to vote on a recommendation to pass to the City Council prior to final approval of the
47 project.

1 There was further discussion regarding comments that were previously made regarding the
2 double yellow lines at the turn off from Arctic Circle. It was noted that even if it is currently
3 illegal to make left-hand turns at that location, the City Engineer does have the authority to
4 change those lines. There was further discussion regarding the current design of the
5 intersection, and Mr. Lethbridge stated that in the approval of the overall site of the existing
6 retail building and the review of this application, it is clearly marked for left turns. This was
7 done under the direction of City Engineering staff. Mr. Lethbridge explained that by the
8 existing circumstances and review of everything that has happened on this site, there is no
9 indication that a left turn is prohibited. There are very well-established standards from the
10 distance back from an intersection where those movements can occur, which are reviewed in
11 the traffic study and acknowledged by City staff.

12
13 Commissioner Hansen wanted to clarify whether or not there would be an access point on
14 the north side of the Arctic Circle, and Mr. Lethbridge answered affirmatively. As the
15 remainder of the property develops, there will be roadway connection to that point as well.
16 However, in the first phase of the development there will not be a road connecting to the
17 access point. The most direct point will be the existing point which is south of Arctic Circle. A
18 reciprocal access agreement with Arctic Circle is already in place.

19
20 Mr. Lethbridge responded to a question raised by the Commission about a requirement to
21 have the fencing constructed before the rest of the building, by explaining that this request
22 could be added as a condition to the staff report. He also answered questions asked
23 regarding drive-thru requirements, and explained that the ordinance contains language
24 prohibiting drive-thrus for fast food restaurants. However, the ordinance doesn't prohibit drive-
25 thrus of any type; due to the nature of this proposed drive-thru, it will be less utilized and will
26 have much better stacking ability outside of the main access and parking.

27
28 **Commissioner Hartley moved that the Planning Commission APPROVE the conditional**
29 **use permit and recommend APPROVAL of the Riverton Market Grocer commercial site**
30 **plan, Application Number PL-13-8014, located at 1206 West 12600 South, with the**
31 **following conditions:**

- 32
33 **1. No deliveries be allowed between the hours of 10:00 p.m. and 7:00 a.m.**
- 34
35 **2. Storm drainage systems and accommodations comply with Riverton City**
36 **standards and ordinances, and with the recommendations of the Riverton City**
37 **Engineering Division.**
- 38
39 **3. Lighting, both on the building and in the site shall be designed and installed to**
40 **minimize impacts to the surrounding properties, as shown and approved on the**
41 **site plan.**
- 42
43 **4. An interim storm drainage and erosion control plan and an access management**
44 **plan be approved by the City prior to any construction or grading on the site.**
45

- 1 **5. Access to the site shall be in compliance with the recommendations of the**
2 **traffic study, with Riverton City standards, and with an approved UDOT access**
3 **permit for 12600 South.**
- 4
- 5 **6. Any and all rooftop equipment shall be screened from view with parapet walls.**
6
- 7 **7. Install eight-foot solid masonry fencing along the northern property line of the**
8 **development, prior to construction of the building.**
- 9
- 10 **8. The site and structures comply with any and all applicable Riverton City**
11 **standards and ordinances, including the International Building and Fire Codes.**
- 12
- 13 **9. Weight limits and double yellow lines be resolved on 1300 West.**
- 14

15 **Commissioner Kochevar seconded the motion. Vote on motion: Brian Russell –**
16 **Abstain; Dennis Hansen – Nay; Kent Hartley – Aye; Cade Bryant – Aye; James Endrizzi**
17 **– Aye; Scott Kochevar – Aye; James Webb – Aye. The motion passed 5-to-1.**
18

19 **B. COMMERCIAL SITE PLAN, PL-14-8001, BIOLIFE PLASMA CENTER, 13503 SOUTH**
20 **HAMILTON VIEW ROAD (3600 WEST), C-R ZONE, JASON HARDER, APPLICANT.**
21

22 **II. ACTION ITEMS**
23

24 **A. AMENDED FINAL SITE PLAN, EXTERIOR ARCHITECTURAL MODIFICATIONS,**
25 **3813 WEST 13400 SOUTH, C-R ZONE, HB BOYS, APPLICANT.**
26

27 **III. ADJOURNMENT**
28

29 The meeting adjourned at approximately