



Planning & Development Services Division

<http://pwpds.slco.org/agendas/index.html>

<http://www.utah.gov/pmn/index.html>

## Millcreek Township Planning Commission

Public Meeting Agenda

**Wednesday, March 12, 2014 4:00 P.M.**

**THE MEETING WILL BE HELD AT SALT LAKE COUNTY GOVERNMENT CENTER  
2001 SOUTH STATE STREET, NORTH BUILDING, MAIN FLOOR, COUNCIL CHAMBERS,  
ROOM N1100**

**ANY QUESTIONS, CALL (385) 468-6700**

*REASONABLE ACCOMMODATIONS FOR QUALIFIED INDIVIDUALS MAY BE PROVIDED  
UPON RECEIPT OF A REQUEST WITH 5 WORKING DAYS NOTICE. PLEASE CONTACT  
WENDY GURR AT 385-468-6707. TTY USERS SHOULD CALL 711.*

The Planning Commission Public Meeting is a public forum where the Planning Commission receives comment and recommendations from applicants, the public, applicable agencies and County staff regarding land use applications and other items on the Commission's agenda. In addition, it is where the Planning Commission takes action on these items. Action may be taken by the Planning Commission on any item listed on the agenda which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

### OTHER BUSINESS ITEMS

#### PUBLIC HEARINGS

##### Conditional Use –

**28747** – Merry Warner is requesting conditional use approval to amend the site plan of the Garden Acres Apartments in order to add additional units. The proposal would add 2 new triplexes for an additional 6 units. **Location:** 4415 South Garden Drive (970 East). **Zone:** R-4-8.5. **Community Council:** Millcreek. **Planner:** Lyle Gibson

##### P.U.D. Subdivision –

**28614** – (Continued from 1/15/2014) Eric Saxey of Everest Builders – Residential Planned Unit Development (8 units) to be known as the Atherton Park PUD. **Location:** 1451 East 3900 South. **Zone:** RM. **Community Council:** Millcreek. **Planner:** Lyle Gibson

#### BUSINESS MEETING

- 1) Approval of Minutes from the February 12, 2014 meeting.
- 2) PUD Ordinance issues - Discussion.
- 3) Other Business Items (as needed)

#### ADJOURN





**STAFF REPORT**

Executive Summary									
<b>Hearing Body:</b>	Millcreek Township Planning Commission								
<b>Meeting Date and Time:</b>	Wednesday, March 12, 2014	04:00 PM	<b>File No:</b>	2	8	7	4	7	
<b>Applicant Name:</b>	Merry Warner	<b>Request:</b>	Conditional Use						
<b>Description:</b>	Amendment to existing site / dwelling group								
<b>Location:</b>	4011 - 4015 S. Garden Dr. (970 E.)								
<b>Zone:</b>	R-4-8.5 Residential Four-Family	<b>Any Zoning Conditions?</b>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
<b>Planning Commission Rec:</b>	Not Yet Received								
<b>Community Council Rec:</b>	Not yet received								
<b>Staff Recommendation:</b>	Approval with Conditions								
<b>Planner:</b>	Lyle Gibson								

**1.0 BACKGROUND**

**1.1 Summary**

The applicant is proposing to add 2 new triplexes for a total of 6 additional units to the existing site. Currently the property has 10 existing units that were built in 1974 according to the Salt Lake County Assessor's Office. These existing units have recently undergone remodeling and the property was approved for a zone change to the current R-4-8.5 by the Salt Lake County Council on April 16, 2013.

The addition of 6 units would mean a total of 16 units at this location. The new units are proposed on an existing grass pad that does not currently include any amenities or structures. The proposal would also not require any removal to the existing mature landscaping and trees on site. The new units are proposed on the interior of the project so the structures would not create new impact on surrounding neighbors. The changes would only be noticed from the east which is the front lawn area of the Millcreek Activity center.

**1.2 Hearing Body Action**

This item is on the agenda for a final decision from the Millcreek Planning Commission.

**1.3 Neighborhood Response**

As of the date of this report staff has not received any response from the neighborhood.

**1.4 Community Council Response**

This item is scheduled to be heard by the Millcreek Community Council on 3/4/14 during their regularly scheduled meeting.

**2.0 ANALYSIS**

## 2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		As proposed this project complies with minimum requirements for parking, as well as meeting allowed setback and building height requirements from the zoning ordinance.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		The proposal appears to meet or be able to meet all other applicable laws and ordinances. This will be confirmed through the technical review process.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		Initial reviews by the fire department and traffic engineer indicate that the proposal should not present a traffic hazard. Access points to the property will remain the same. The number of units will add additional traffic, but not enough to cause concern on the existing road system or for the internal circulation of the site.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Initial reviews indicate that the site is located in an area of potential moderate liquefaction. This will require that a site specific liquefaction potential analysis be done. Based on the state of the other buildings on this property and in proximity to the newly proposed structures, it is anticipated that the new development may be done so as not to pose a threat to the safety of the persons on this site or in the nearby vicinity.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E`:</u> <i>The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i>
		The proposed structures will match the existing size, scale, and height of the structures already on site. Therefore, the proposed plan shall not adversely affect those currently living at this site or surrounding properties.

## 2.2 Zoning Requirements

Site Subject to R-4-8.5 zoning requirements. RCOZ does not apply.

### 19.40.100 Density.

The allowable density for planned unit developments and dwelling groups shall be determined by the planning commission on a case by case basis, taking into account the following factors: recommendations of county and non-county agencies; site constraints; compatibility with nearby land uses; and the provisions of the applicable general plan. Notwithstanding, the planning commission shall not approve a planned unit development with density higher than the following:

Single-family dwellings 7.0 units per acre  
Two-family dwellings 12.0 units per acre  
Three-family dwellings 15.0 units per acre  
Four-family dwellings 18.0 units per acre

$(15+12)/2 = 13.5$  Units Per Acre allowed.

Proposed Density is 13.3 Units Per Acre. \*Meets Requirement\*

### 19.40.090 Building height.

A. Except as otherwise specifically provided in this title, no building or structure shall exceed the following height:

1. Thirty feet on property where the slope of the original ground surface exceeds fifteen percent or the property is located in the hillside protection zone. The slope shall be determined using a line drawn from the highest point of elevation to the lowest point of elevation on the perimeter of a box which encircles the foundation line of the building or structure. The box shall extend for a distance of fifteen feet or to the property line, whichever is less, around the foundation line of the building or structure. The elevation shall be determined using a certified topographic survey with a maximum contour interval of two feet;
2. Thirty-five feet on other properties;
3. No dwelling structure shall contain less than one story.

Structures are proposed at approximately 20 ft. in height above grade. The applicant has also shown that though the zoning is not subject to RCOZ, the buildings fit under the building envelope that would apply to properties subject to RCOZ such as the adjacent neighbors.

### 19.40.030 Conditional uses.

— Dwelling group.

A. The development shall comply with the maximum allowable density for the R-4-8.5 zone.

\*meets requirement\*

B. The distance between the principal buildings shall be equal to the total side yards required in the zone; provided, however, that at the option of the developer the distance between the principal structures may be reduced to ten feet, provided that the difference between ten feet and the required side yards is maintained as permanently landscaped open space elsewhere on the site. The distance between principal buildings and the nearest perimeter lot line shall not be less than fifteen feet unless demonstrated by the development plan that

the yard required for a principal building in the district in which it is located is more appropriate. The distance between the building and a public street shall be not less than the front yard required in the zoning district, except for corner lots the side yard which faces on a public street shall be not less than twenty feet.  
\*meets requirement\*

C. Access shall be provided by a private street or right-of-way from a public street; such private street or right-of-way shall be not less than twenty feet wide for one or two rear dwelling units, and not less than thirty feet wide for three or more dwelling units.  
\*meets requirement\*

D. A minimum of two parking spaces shall be provided for each dwelling unit. Parking spaces and vehicular maneuvering areas shall be designed to comply with county standards.  
\*meets requirement\*

E. Every dwelling in the dwelling group shall be within sixty feet of an access roadway or drive.  
\*meets requirement\*

F. The development plan shall provide landscaping as specified in [Chapter 19.77](#) of this title. Solid visual barrier fences shall be provided along all property lines unless the planning commission approves otherwise by deleting or modifying the fence requirement.  
\*appears to meet this requirement\*

G. The development shall be approved by the development services director and the county fire chief before final approval is given by the planning commission.  
\*approval of the site plan has been given by Unified Fire Authority\*

### **2.3 Other Agency Recommendations or Requirements**

#### Geology:

Moderate liquefaction potential on this site requires a site specific geologic hazards investigation & liquefaction potential analysis per ordinance.

#### Grading:

- 1- Site is located in an existing complex open space area
- 2- The are is known to have potential high ground water and poor soils
- 3- No building Exterior building elevations were submitted with packet
- 4- Will need to submit site grading and drainage plans for review and comment
- 5- A Geotechnical report is required at this time
- 6- Erosion control plans and BMP's will be required at the time of the building permits

#### Unified Fire:

Verification of fire flow required.

Traffic, Urban Hydrology, and Building have given approval of the site plan, technical review to follow.

### **2.4 Other Issues**

#### **Open Space and Amenities**

Based on the required amenities per the size of the project and the amenities proposed, this project appears to meet the standards outlined in the Recreation and Open Space Requirements Policy. The standards request 2 amenities be provided based on the 38 bedroom units in this development. The baseline of open space required is 50% with a 2% reduction allowed per additional amenity. Under the new proposal the site will have 45 % open space.

*The applicant has provided 4 total amenities as listed below.*

Playground of 1,000 sq. ft. \*Meets Requirement\*

Picnic Area of 500 sq. ft. \*Meets Requirement\*

*Extra amenities*

Picnic area 500 sq. ft. (2% reduction)

Sports Court 1,000 sq. ft. (1% reduction)

Bocci Court (possible 2% reduction)

### **Parking**

Parking has been provided to meet the required 2 parking stalls per unit.

The parking lot is being brought into compliance with current landscape requirements.

Bicycle parking has been integrated into the site.

\*Additional guest parking has been provided making 5 guest parking spaces plus a handicap space that is not currently on site. The amount of needed guest parking is determined by the planning commission.

## **3.0 STAFF RECOMMENDATION**

### **3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:**

- 1 )Additional fence height be added around the sports court to prevent balls or play equipment from entering the street.
- 2 )Existing fencing at location of proposed playground/tot lot be removed or changed to a fence that allows visibility into the playground with a gate. The same shall apply to the proposed picnic area on the south side of the project.

### **3.2 Reasons for Recommendation**

- 1 ) Project as proposed appears to meet or be able to meet all applicable standards, laws, and ordinances.
- 2 ) Conditions imposed on the property by the planning commission would be able to mitigate any reasonably anticipated negative impacts.

### **3.3 Other Recommendations**

Applicant shall complete technical review with staff prior to final approval.

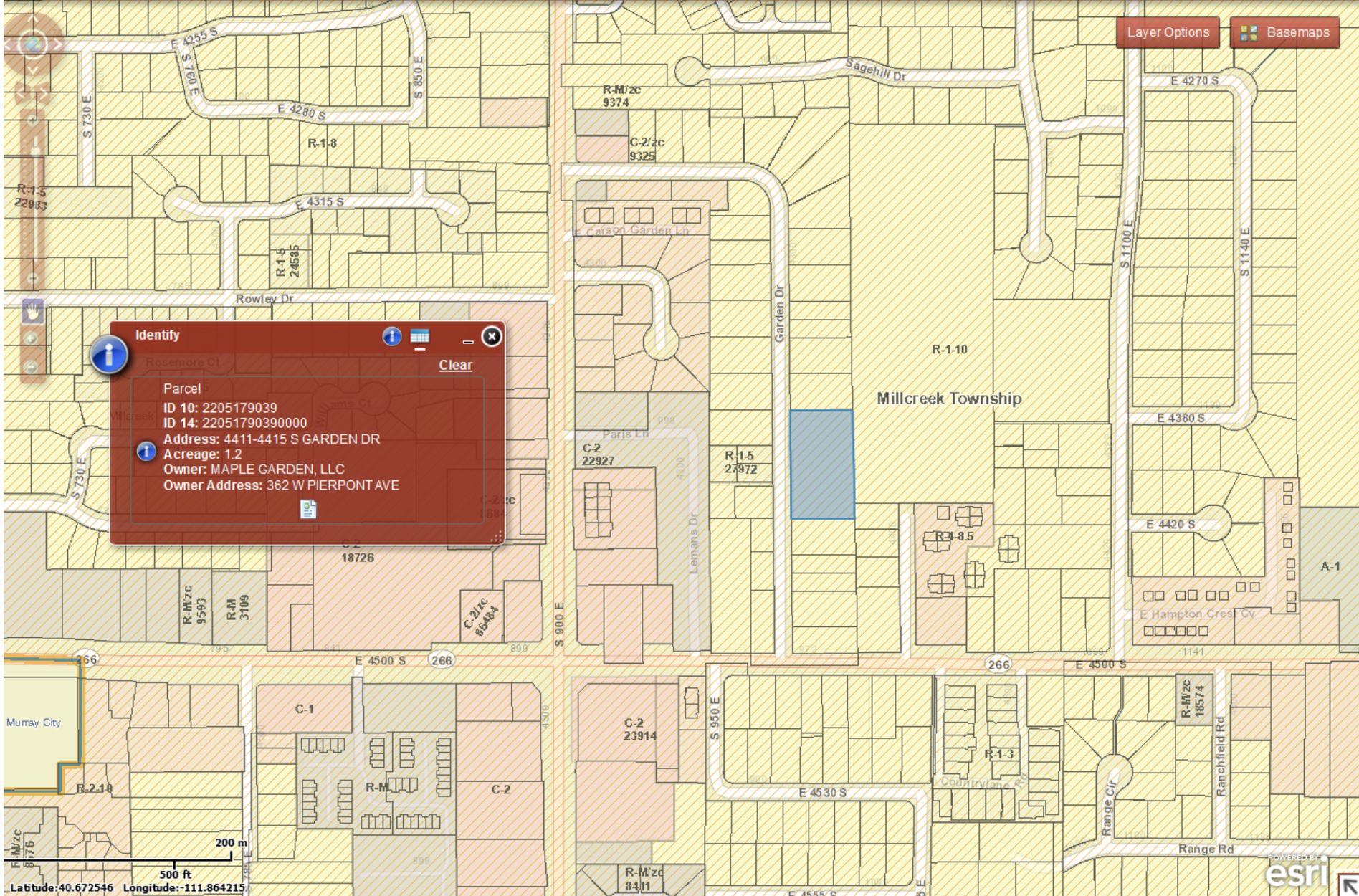


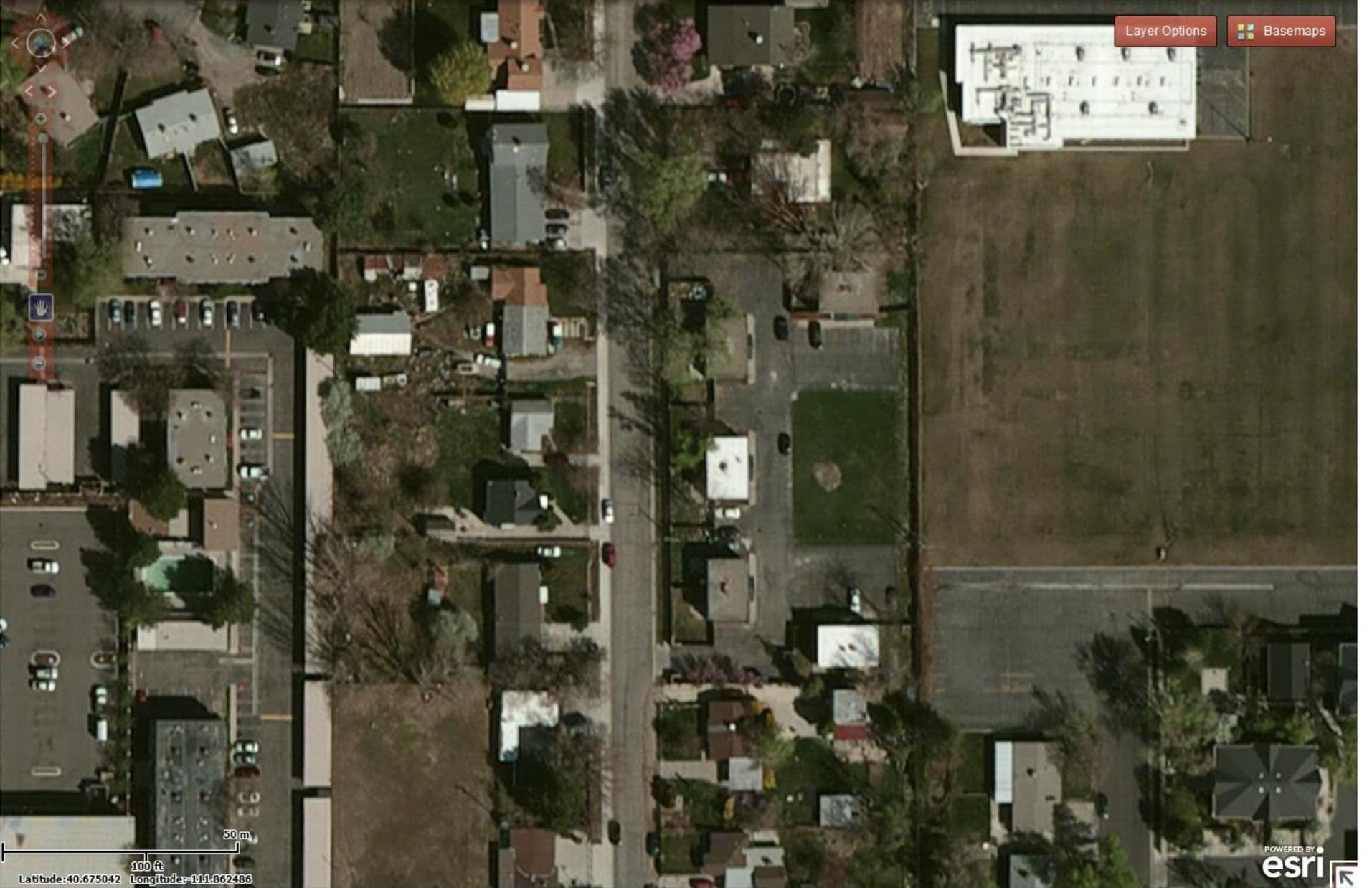
Layer Options Basemaps

**Identify** Clear

Rosemore Ct

Parcel  
ID 10: 2205179039  
ID 14: 22051790390000  
Address: 4411-4415 S GARDEN DR  
Acreage: 1.2  
Owner: MAPLE GARDEN, LLC  
Owner Address: 362 W PIERPONT AVE





Layer Options

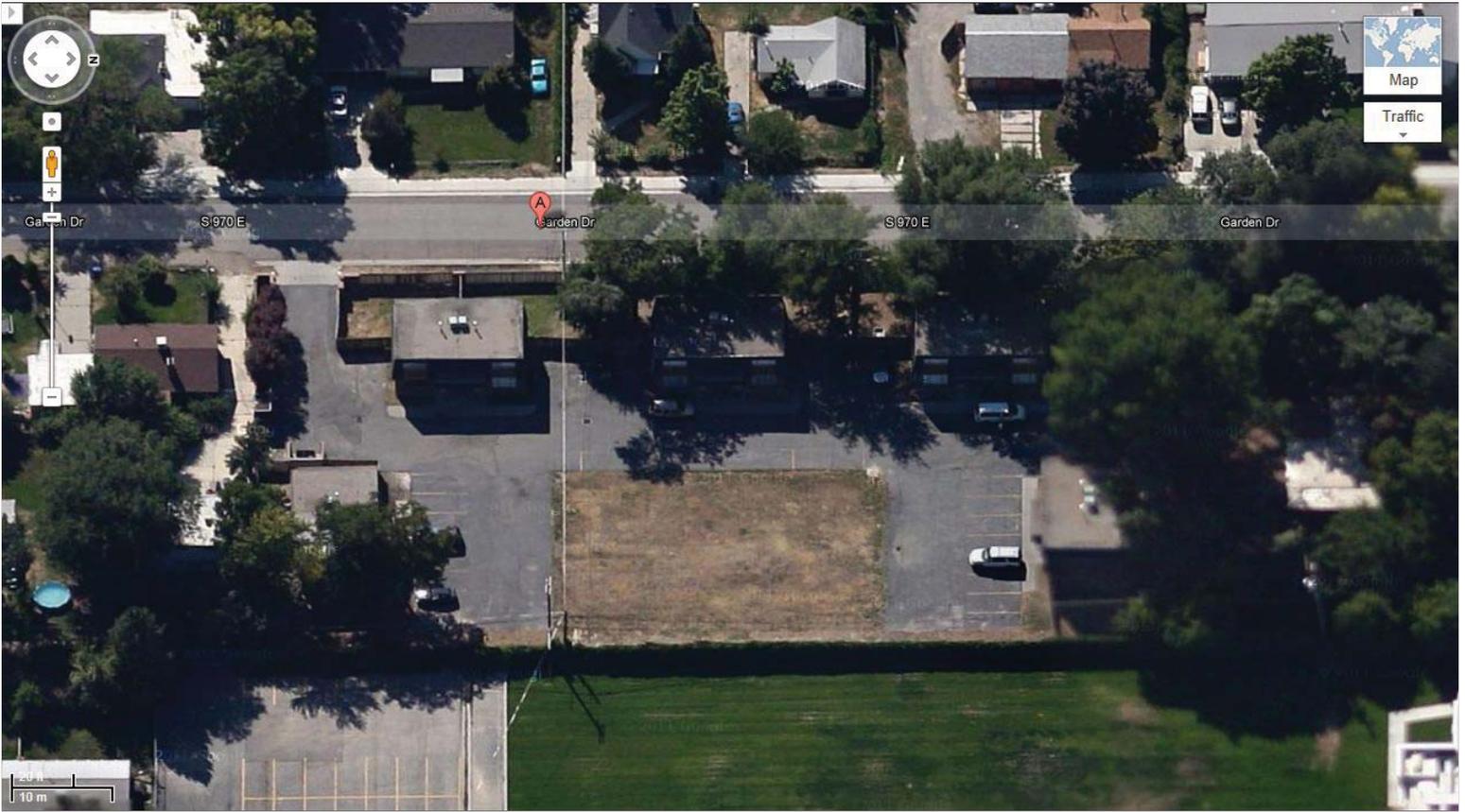
Basemaps

50 m

100 ft

Latitude: 40.675042 Longitude: -111.862486

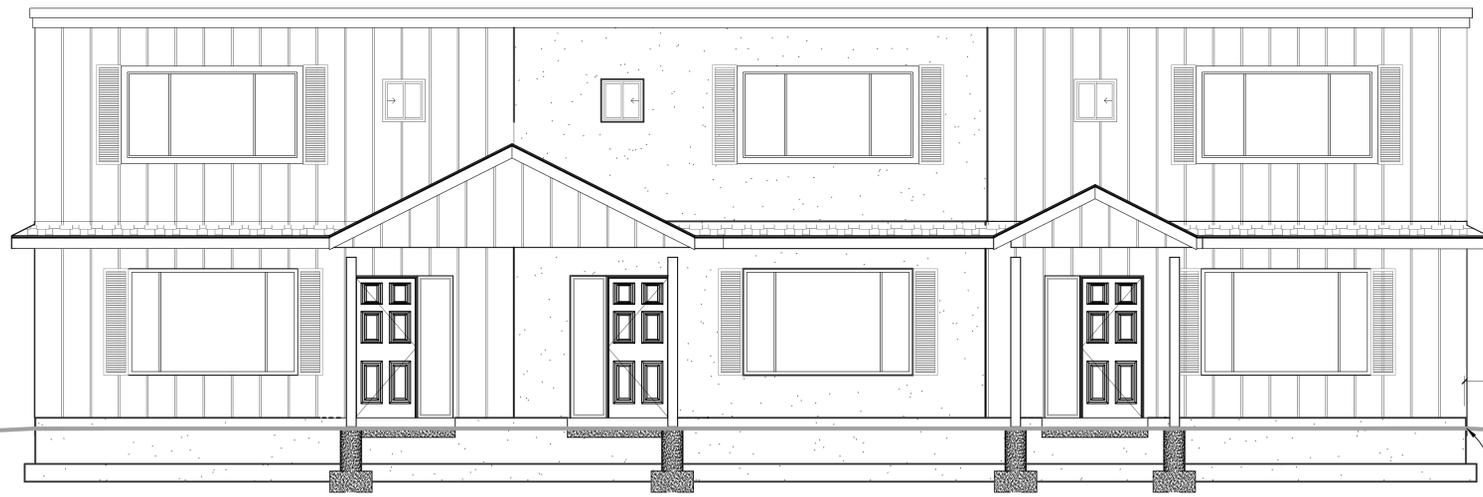




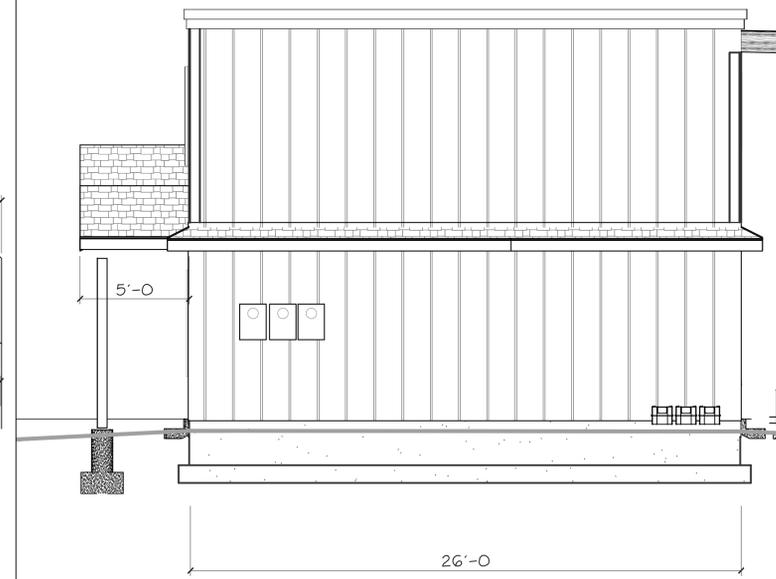




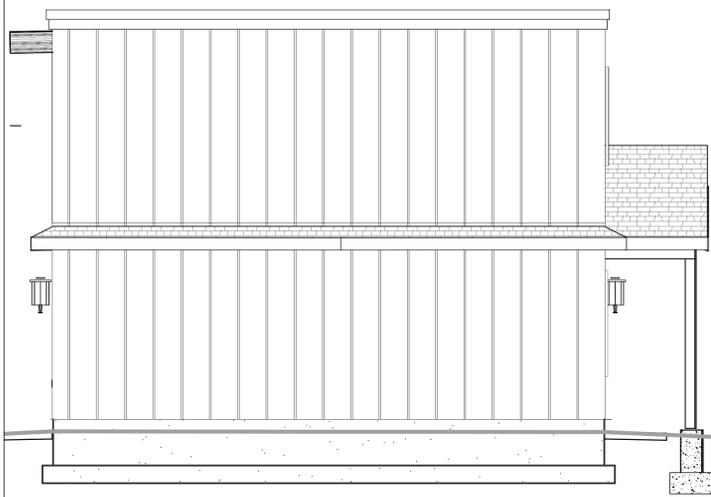
OPTION "A"  
 PROPOSED TWO NEW TRIPLEX UNIT APARTMENTS  
 BUILDING ENVELOPE =  
 ONLY ONE PROPERTY LINE IS CLOSER THAN 100'



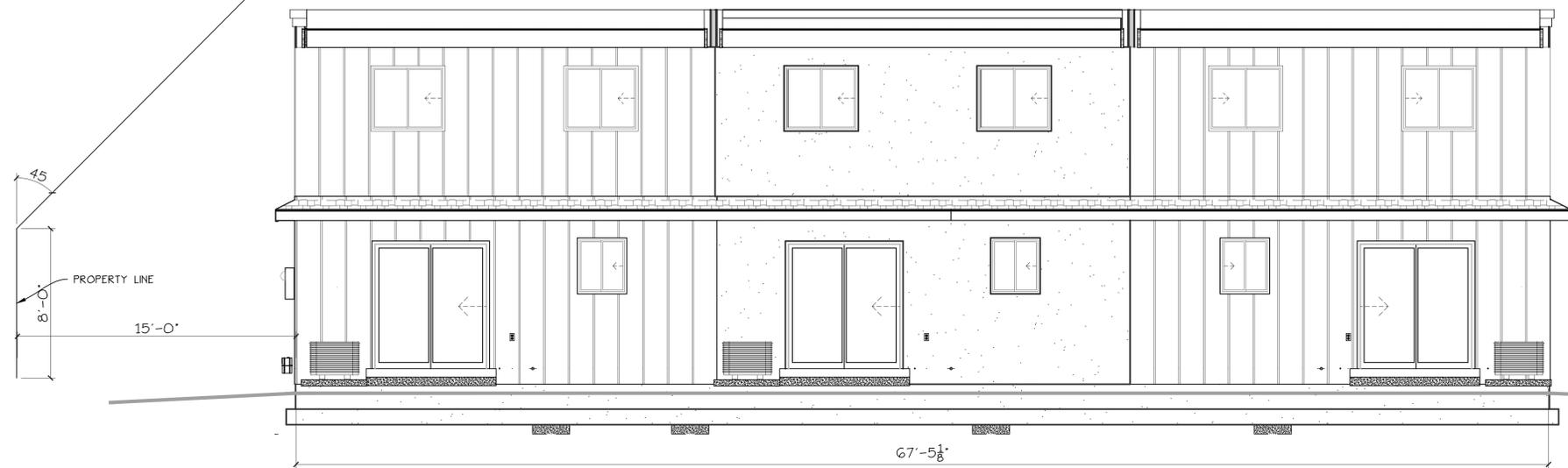
1 FRONT ELEVATION  
 1/4" = 1'-0"



2 RIGHT ELEVATION  
 1/4" = 1'-0"



3 LEFT ELEVATION  
 1/4" = 1'-0"



4 REAR ELEVATION  
 1/4" = 1'-0"

REFERENCE NOTES

STAMP

SCALE: 1/4" = 1'-0"

PERMIT SET

GARDEN ACRES  
 4411-4415 S GARDEN DR S.L.C., UTAH 84124

STRUCTO, INC.  
 ARCHITECTURE + DESIGN  
 1099 WINDSOR ST. SALT LAKE CITY, UT 84105

REVISIONS:

PROJECT NO.

10513

DATE:

12/30/13

SHEET:

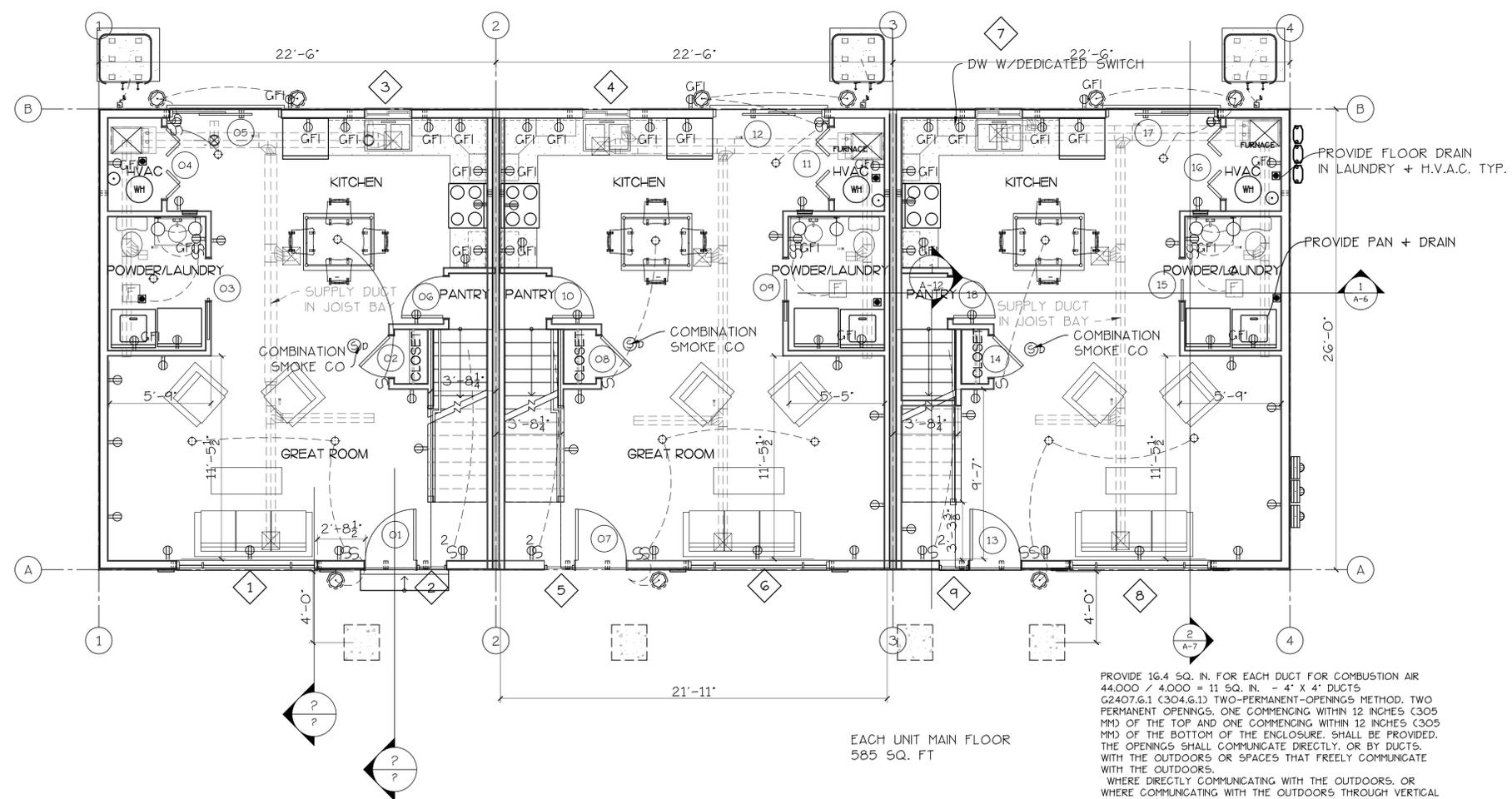
A-6

### WINDOW SCHEDULE

MARK	SIZE		TYPE	GLAZING	Solar Heat Gain Coefficient	Heat Transmission	NOTES
	Width	HEIGHT					
1	8'-0"	5'-0"	XOX SLIDER	DOUBLE GLZ LOW-E	.31	.34	---
2	1'-8"	6'-8"	FIXED	COZE DOUBLE GLAZED LOW-E	.31	.34	TEMPERED GLASS
3	2'-8"	3'-0"	SLIDER	DOUBLE GLZ LOW-E	.31	.34	---
4	2'-8"	3'-0"	SLIDER	DOUBLE GLZ LOW-E	.31	.34	---
5	1'-8"	6'-8"	FIXED	COZE DOUBLE GLAZED LOW-E	.31	.34	TEMPERED GLASS
6	8'-0"	9'-0"	XOX SLIDER	DOUBLE GLZ LOW-E	.31	.34	---
7	2'-8"	3'-0"	SLIDER	DOUBLE GLZ LOW-E	.31	.34	---
8	8'-0"	5'-0"	XOX SLIDER	DOUBLE GLZ LOW-E	.31	.34	---
9	1'-8"	6'-8"	FIXED	COZE DOUBLE GLAZED LOW-E	.31	.34	TEMPERED GLASS

### DOOR AND FRAME SCHEDULE

MARK	Style	DOOR SIZE			MATL	GLAZING	FRAME	NOTES
		WD	HGT	THK				
1	Hinged - Single - 6 Panel	3'-0"	6'-8"	1 3/4"	WOOD	---	WOOD	---
2	Hinged - Single	2'-4"	6'-8"	1 3/4"	WOOD	---	WOOD	---
3	Pocket - Single	2'-4"	6'-8"	1 3/8"	WOOD	---	WOOD	---
4	Bifold - Double	4'-0"	6'-8"	1 3/4"	WOOD	---	WOOD	---
5	Sliding - Double - Full Lite	6'-0"	6'-8"	1 1/4"	GLASS	LOW-E DOUBLE GLZ. TEMPERED	VINYL	.34 U RATING
6	Hinged - Single	2'-4"	6'-8"	1 3/4"	WOOD	---	WOOD	---
7	Hinged - Single - 6 Panel	3'-0"	6'-8"	1 3/4"	WOOD	---	WOOD	---
8	Hinged - Single	2'-4"	6'-8"	1 3/4"	WOOD	---	WOOD	---
9	Pocket - Single	2'-4"	6'-8"	1 3/8"	WOOD	---	WOOD	---
10	Hinged - Single	2'-4"	6'-8"	1 3/4"	WOOD	---	WOOD	---
11	Bifold - Double	4'-0"	6'-8"	1 3/4"	WOOD	---	WOOD	---
12	Sliding - Double - Full Lite	6'-0"	6'-8"	1 1/4"	WOOD	LOW-E DOUBLE GLZ. TEMPERED	VINYL	.34 U RATING
13	Hinged - Single - Full Lite - Frameless	3'-1 1/2"	6'-8 3/4"	1 3/4"	WOOD	---	WOOD	---
14	Hinged - Single	2'-4"	6'-8"	1 3/4"	WOOD	---	WOOD	---
15	Pocket - Single	2'-4"	6'-8"	1 3/8"	WOOD	---	WOOD	---
16	Bifold - Double	4'-0"	6'-8"	1 3/4"	WOOD	---	WOOD	---
17	Sliding - Double - Full Lite	6'-0"	6'-8"	1 1/4"	WOOD	LOW-E DOUBLE GLZ. TEMPERED	VINYL	.34 U RATING
18	Hinged - Single	2'-4"	6'-8"	1 3/4"	WOOD	---	WOOD	---

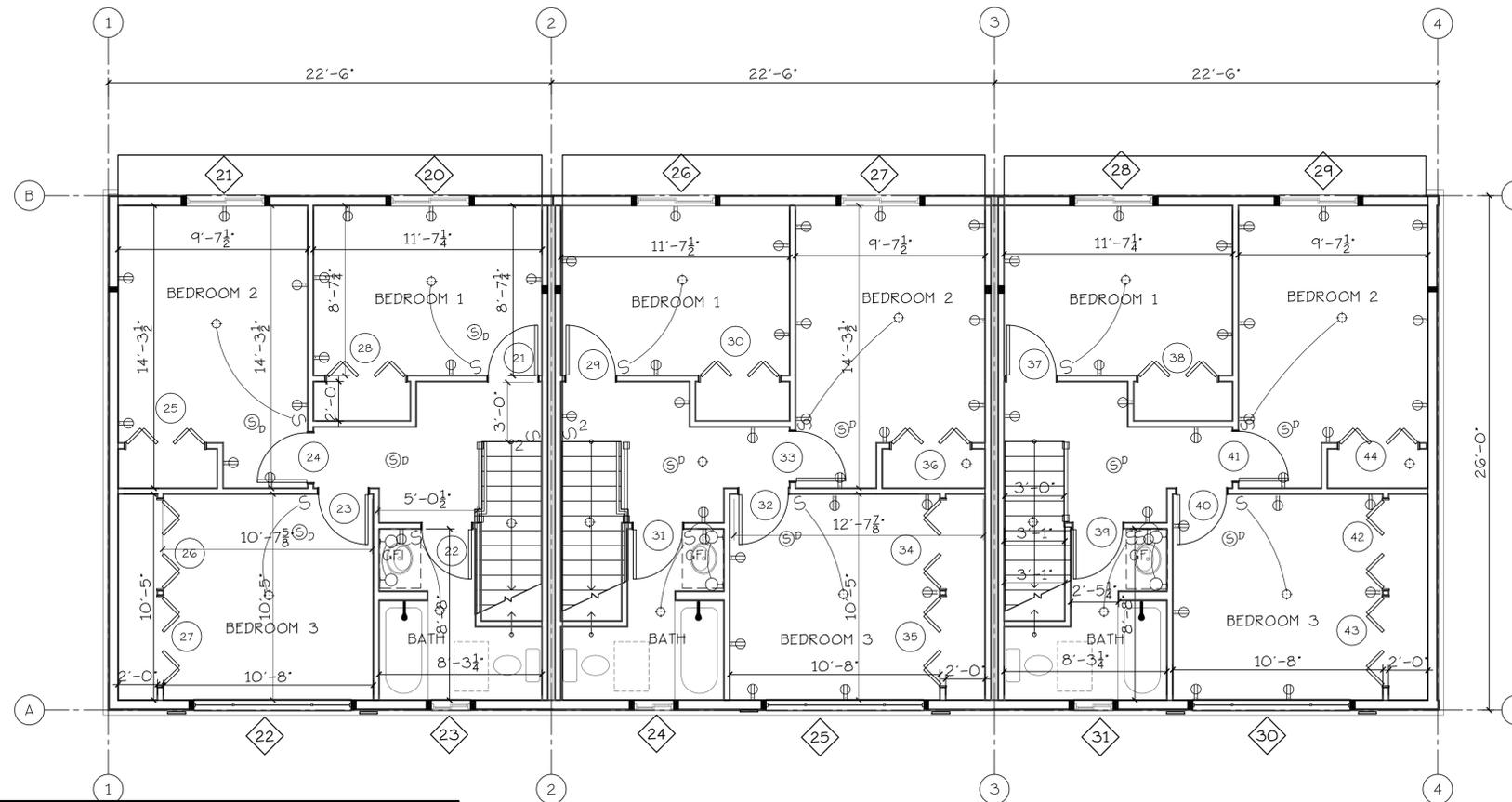


STAMP

SCALE: 1/4" = 1'-0"

REVISIONS:

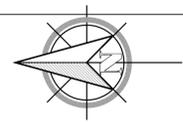
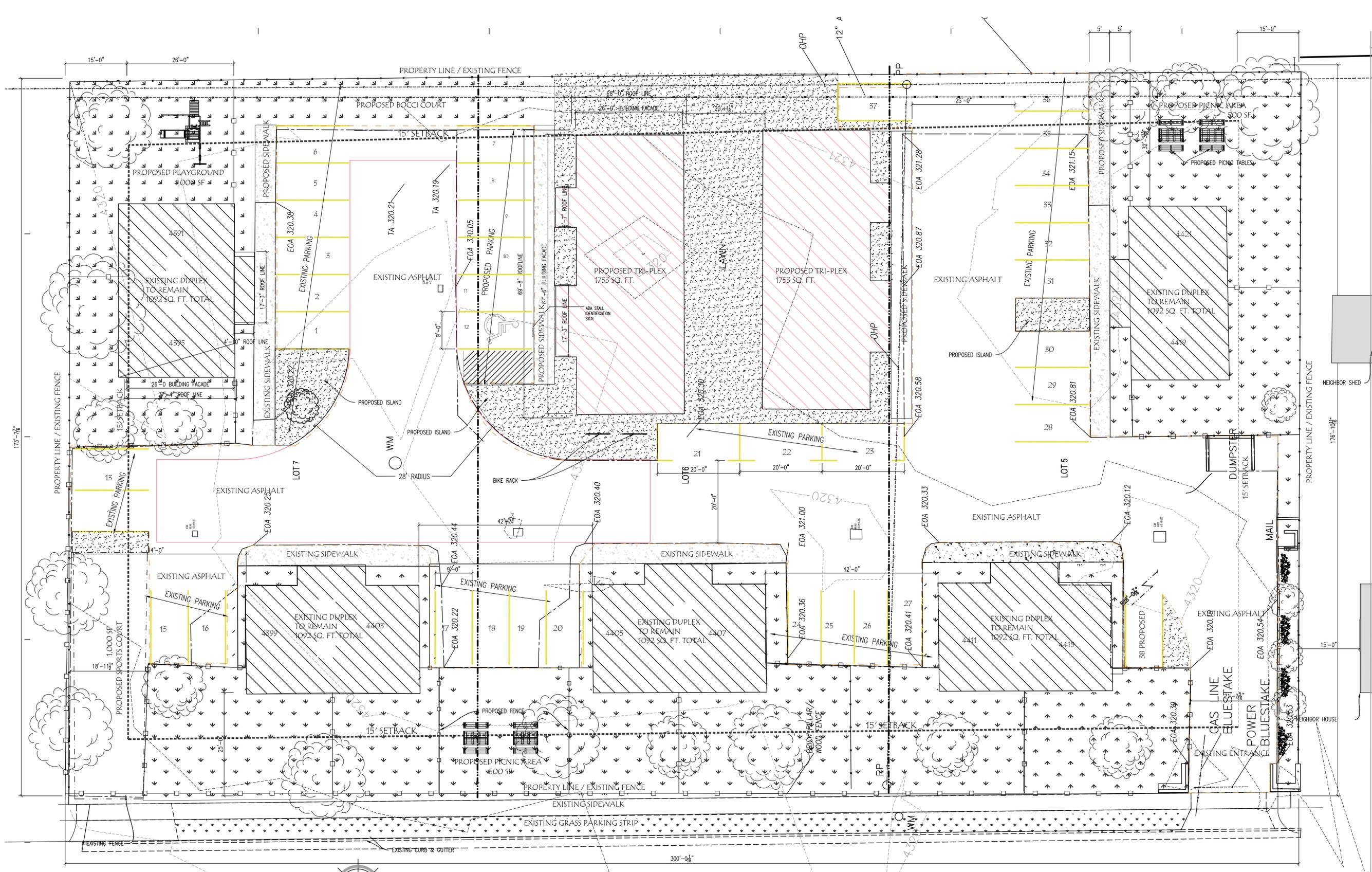
EACH UNIT UPPER FLOOR 585 SQ. FT COUNTING STAIRWELL



DOOR AND FRAME SCHEDULE							
MARK	Style	SIZE			MATL	GLAZING	NOTES
		WD	HGT	THK			
21	Hinged - Single - 6 Panel	2'-6"	6'-8"	1 3/4"	WOOD	--	--
22	Hinged - Single - 6 Panel	2'-6"	6'-8"	1 3/4"	WOOD	--	--
23	Hinged - Single - 6 Panel	2'-6"	6'-8"	1 3/4"	WOOD	--	--
24	Hinged - Single - 6 Panel	2'-6"	6'-8"	1 3/4"	WOOD	--	--
25	Bifold - Double	4'-0"	8'-8"	1 3/4"	WOOD	--	--
26	Bifold - Double	4'-6"	8'-8"	1 3/4"	WOOD	--	--
27	Bifold - Double	4'-6"	8'-8"	1 3/4"	WOOD	--	--
28	Bifold - Double	4'-0"	8'-8"	1 3/4"	WOOD	--	--
29	Hinged - Single - 6 Panel	2'-6"	6'-8"	1 3/4"	WOOD	--	--
30	Bifold - Double	4'-0"	8'-8"	1 3/4"	WOOD	--	--
31	Hinged - Single - 6 Panel	2'-6"	6'-8"	1 3/4"	WOOD	--	--
32	Hinged - Single - 6 Panel	2'-6"	6'-8"	1 3/4"	WOOD	--	--
33	Hinged - Single - 6 Panel	2'-6"	6'-8"	1 3/4"	WOOD	--	--
34	Bifold - Double	4'-6"	8'-8"	1 3/4"	WOOD	--	--
35	Bifold - Double	4'-6"	8'-8"	1 3/4"	WOOD	--	--
36	Bifold - Double	4'-0"	8'-8"	1 3/4"	WOOD	--	--
37	Hinged - Single - 6 Panel	2'-6"	6'-8"	1 3/4"	WOOD	--	--
38	Bifold - Double	4'-0"	8'-8"	1 3/4"	WOOD	--	--
39	Hinged - Single - 6 Panel	2'-6"	6'-8"	1 3/4"	WOOD	--	--
40	Hinged - Single - 6 Panel	2'-6"	6'-8"	1 3/4"	WOOD	--	--
41	Hinged - Single - 6 Panel	2'-6"	6'-8"	1 3/4"	WOOD	--	--
42	Bifold - Double	4'-6"	8'-8"	1 3/4"	WOOD	--	--
43	Bifold - Double	4'-6"	8'-8"	1 3/4"	WOOD	--	--
44	Bifold - Double	4'-0"	8'-8"	1 3/4"	WOOD	--	--

WINDOW SCHEDULE							
MARK	SIZE		TYPE	GLAZING	Solar Heat Gain Coefficient	Heat Transmission	NOTES
	Width	HEIGHT					
20	4'-0"	3'-6"	SLIDER	COZE DOUBLE GLAZ. LOW-E	.31	.34	--
21	4'-0"	3'-6"	SLIDER	COZE DOUBLE GLAZ. LOW-E	.31	.34	--
22	8'-0"	4'-0"	XOX SLIDER	COZE DOUBLE GLAZ. LOW-E	.31	.34	PROVIDE EGRESS 26" WIDE SASH
23	2'-0"	2'-0"	SLIDER	COZE DOUBLE GLAZ. LOW-E	.31	.34	--
24	2'-0"	2'-0"	SLIDER	COZE DOUBLE GLAZ. LOW-E	.31	.34	--
25	8'-0"	4'-0"	XOX SLIDER	COZE DOUBLE GLAZ. LOW-E	.31	.34	PROVIDE EGRESS 26" WIDE SASH
26	4'-0"	3'-6"	SLIDER	COZE DOUBLE GLAZ. LOW-E	.31	.34	--
27	4'-0"	3'-6"	SLIDER	COZE DOUBLE GLAZ. LOW-E	.31	.34	--
28	4'-0"	3'-6"	SLIDER	COZE DOUBLE GLAZ. LOW-E	.31	.34	--
29	4'-0"	3'-6"	SLIDER	COZE DOUBLE GLAZ. LOW-E	.31	.34	--
30	8'-0"	4'-0"	XOX SLIDER	COZE DOUBLE GLAZ. LOW-E	.31	.34	PROVIDE EGRESS 26" WIDE SASH
31	2'-0"	2'-0"	SLIDER	COZE DOUBLE GLAZ. LOW-E	.31	.34	--

3-UNIT UPPER FLOOR PLAN  
1/4" = 1'-0"



SITE PLAN  
3/32" = 1'-0"

GARDEN DRIVE

TOTAL ACREAGE 1.207 ≈ 52572.5 SQ. FT. SQ. FT.  
 EXISTING UNITS FOOT PRINT = 10,920 SQ. FT.  
 PROPOSED UNITS FOOT PRINT = 3506 SQ. FT.  
 TOTAL 16 UNITS FOOT PRINT = 14,426 SQ. FT.  
 PROPERTY TYPE 115- 10-19 UNITS  
 10 EXISTING UNITS 6 NEW PROPOSED  
 16 UNITS = 32 PARKING REQUIRED  
 31 EXISTING SPACES.-2 FOR ISLANDS + 7  
 PROPOSED= 38 TOTAL PARKING SPACES



REFERENCE NOTES

STAMP

SCALE: 3/32" = 1'-0"

PERMIT SET

GARDEN ACRES  
4411-4415 S GARDEN DR S.L.C., UTAH 84124

STRUCTO, INC. + DESIGN  
ARCHITECTURE  
1099 WINDSOR ST. SALT LAKE CITY, UT 84105

REVISIONS:

PROJECT NO.  
10513  
DATE  
1/31/14  
SHEET  
ST-1



**STAFF REPORT**

Executive Summary									
<b>Hearing Body:</b>	Millcreek Township Planning Commission								
<b>Meeting Date and Time:</b>	Wednesday, February 12, 2014	04:00 PM	<b>File No:</b>	2	8	6	1	4	
<b>Applicant Name:</b>	Eric Saxey	<b>Request:</b>	Conditional Use						
<b>Description:</b>	8 Unit (townhomes) - Planned Unit Development								
<b>Location:</b>	1451 E. 3900 S.								
<b>Zone:</b>	R-M Residential Multi-Family	<b>Any Zoning Conditions?</b>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
<b>Planning Commission Rec:</b>	Continue								
<b>Community Council Rec:</b>	Not yet received								
<b>Staff Recommendation:</b>	Approval with Conditions								
<b>Planner:</b>	Lyle Gibson								

**1.0 BACKGROUND**

**1.1 Summary**

This application was originally heard by the Planning Commission in October of 2013. The original proposal raised several concerns with planning staff so a continuance was requested to grant time to work with the applicant on changes to bring the project into compliance with Salt Lake County Ordinances and Standards. The project received a 2nd continuance during the January 2014 Planning Commission meeting per request of staff as updated plans had not yet been reviewed. The applicant has since submitted new drawings showing modifications to the original proposal which have been reviewed.

The applicant is requesting approval for an 8 unit Planned Unit Development (PUD) to be known as Atherton Park.

The property was recently rezoned from the R-2-6.5 to the RM zone and has a 12 foot wide private right of way along the Western portion of the property that is used to access three single family dwellings, two on the property that are slated to be removed and the third located behind the subject property.

Surrounding land uses are a mix of commercial and residential development. To the West is a large parking lot that recently received preliminary approval from the Millcreek Township Planning Commission for the Construction of 14 Townhomes (#28038).

The applicant has planned to fence the development with a 6' wood fence around the property, except for the first 30' off of 3900 S. will be a 3' tall fence.

Site lighting will be on the structures only. Lighting will shine on the building and stair landings only.

### 1.2 Hearing Body Action

This item has been continued from the October 2013 and January 2014 Millcreek Township Planning Commission Meetings. The item is on the agenda of the Millcreek Township Planning Commission for a decision.

### 1.3 Neighborhood Response

The property directly to the North of this development that is also accessed via Lemmon Lane has expressed concerns about the proposal both to staff and in Community Council and Planning Commission Meetings. To summarize concerns raised:

- They want to be sure that the access to their home remains and that Lemmon Lane remains the name of the drive.
- There are concerns with the survey that was done by the applicant and possible discrepancies with the property line in relation to their fence.
- They have seen the plans and feel there are issues with the site dimensions provided.
- Wants to make sure that new residents are able to turn vehicles around within their property.
- Concerns about sidewalk access, doesn't want to walk on the street to get out to 3900 S.
- Wants to be sure sufficient parking is provided so that parking along Lemmon Lane isn't a problem.

### 1.4 Community Council Response

At their *October 1, 2013* meeting the Millcreek Community Council recommended that the project be denied as proposed.

The council discussed several areas of the proposed plan that were not up to requirements such as, adequate green and recreational space, proper parking and fire lane areas, and setback requirements. The lot is neighboring another proposed project that was controversial with residents in the area, so the Council discussed that this would add to the density of development in that immediate area. Motion and second to deny the plan because of the issues discussed and recommending to the planning commission that the applicant provide proper adjustments to the plan and consider an alternative plan. Council members unanimously in favor of the motion.

The council also discussed the desire for the plan and the applicant to come before their body once revisions and adjustments were made.

*This is scheduled to be heard by the Millcreek Community Council again on 3/4/2014.*

## 2.0 ANALYSIS

### 2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES	NO	<u>Standard `A':</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		As proposed the application appears to be able to comply with all applicable provisions of

		<p>the Zoning Ordinance should the Planning Commission feel it appropriate to approve the setbacks, guest parking, and building height as proposed. The Planned Unit Development Ordinance allows the Planning Commission to determine these items and allows for deviations from the standards of the underlying zone.</p> <p>The proposed height on the new buildings would be 40 ft. tall to the peak of the roof. They are proposed as 3 story townhomes with a pitched roof. This is within the allowed maximum height for the zone. The R-M zone standards say that for a side yard a structure shall be set back an additional foot for every 2 feet over 35 ft. in height. Using this standard when looking at all property lines the structures comply with the zoning ordinance.</p>
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B'</u> : <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		Prior to receiving final approval this application will be required to comply with requirements of all applicable reviewing agencies. Considering reviews done to date, with some minor modifications this project appears to be able to comply with all other applicable laws and ordinances.
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	<u>Standard `C'</u> : <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		<p>The proposal will not create a traffic hazard through its impact on 3900 South.</p> <p>In regards to the internal traffic impact, the traffic engineer would require that all 8 possible parking stalls be in place along the west side of the private drive and that a small turnaround area be provided on site so cars can safely maneuver into the parallel stalls.</p> <p>Also, the proposed road width includes the sidewalk as part of the 20 ft. of hard surface. This does not meet county standards. The sidewalk may either be removed or located outside of the drive area.</p>
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	<u>Standard `D'</u> : <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Reviews done to date indicate that the site is in an area of potential poor soils and high ground water. A geotechnical report will be required. Following the findings of the report should allow for a safe project. The turnaround on the plans provided currently does not meet standards for an emergency vehicle turn-around. Changes to the site plan would be required to meet the fire departments standards. This could be achieved if a smaller amenity is allowed giving more space for the turnaround.
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	<u>Standard `E'</u> : <i>The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i>
		The proposed use is compatible with the nearby residential uses including the proposed townhome project adjacent to this property on the west. There is more discussion when it comes to the height of the buildings. Directly adjacent to this project to the north is a single family home. The proposal on the adjacent property to the west is a 2 story townhome

project, and existing directly east is a 2 story office building. While the buildings are taller than the existing and proposed buildings in the immediate area, nearby along Highland Cove Lane there are several 3 story pitched roof structures that would be compatible in scale if not larger than the proposal. These are within a few hundred yards of the property. The housing section of the Millcreek General Plan encourages a variation in housing types and sizes to allow for a diverse range of demographics and to accommodate population growth. The general plan also notes the following in regards to scale: 'Millcreek Township wishes to protect low-density residential neighborhoods from incompatible uses and maintain a traditional neighborhood scale and appearance as the predominant housing style.' The current land use and zoning along the north side of 3900 South at and near this property is not that of a low-density residential neighborhood so would not restrict the proposal to maintain that character.

## **2.2 Zoning Requirements**

### **19.44.070 Side yard.**

In the R-M zone, the minimum side yard for any dwelling shall be eight feet, and the total width of the two required side yards shall be not less than eighteen feet. Dwelling structures over thirty-five feet in height shall have one foot of additional side yard on each side of the building for each two feet such structure exceeds thirty-five feet in height.

### **19.44.080 Rear yard.**

In R-M zones, the minimum depth of the rear yard for any building shall be thirty feet, and for accessory buildings one foot.

### **19.44.090 Coverage restrictions.**

No building or group of buildings in an R-M zone, with their accessory buildings, shall cover more than sixty percent of the area of the lot.

### **19.44.100 Building height.**

A. No building or structure in an R-M zone shall contain more than six stories or exceed seventy-five feet in height, and no dwelling structure shall contain less than one story.

### **19.44.110 Density.**

The allowable density for planned unit developments, multiple dwellings and dwelling groups shall be determined by the planning commission on a case by case basis, taking into account the following factors: recommendations of county and non-county agencies; site constraints; compatibility with nearby land uses; and the provisions of the applicable general plan. Notwithstanding the above, the planning commission shall not approve a planned unit development with density higher than the following:

Single-family dwellings 7.0 units per acre  
Two-family dwellings 12.0 units per acre  
Three-family dwellings 15.0 units per acre  
Four-family dwellings 18.0 units per acre  
Multi-family dwellings 25.0 units per acre\*

\* Where supported by the community general plan, and found by the planning commission to be compatible with land uses in the vicinity, multi-family residential development which incorporates innovations of design, amenities, and features, may be approved by the planning commission for higher densities than shown above, but shall in no case be higher than 32.0 units per acre.

### **19.78.010 Scope of approval.**

*Provision of a planned unit development by this chapter in no way guarantees a property owner the right to exercise the provisions of the planned unit development. Planned unit developments shall be approved by the planning commission only if, in its judgment, the proposed planned unit development fully meets*

*the intent and purpose and requirements of the zoning ordinance.*

**19.78.020 Purpose.**

The purpose of the planned unit development is to allow diversification in the relationship of various uses and structures to their sites and to permit more flexibility in the use of such sites. *The application of planned unit concepts is intended to encourage good neighborhood, housing, or area design, thus ensuring substantial compliance with the intent of the district regulations and other provisions of this title* related to the public health, safety and general welfare and at the same time securing the advantages of large-scale site planning for residential, commercial or industrial development, or combinations thereof.

**19.78.030 Planned unit development defined.**

"Planned unit development" for the purpose of this chapter, means an integrated design for development of residential, commercial or industrial uses, or combination of such uses, *in which one or more of the regulations, other than use regulations, of the district in which the development is to be situated, is waived or varied* to allow flexibility and initiative in site and building design and location in accordance with an approved plan and imposed general requirements as specified in this chapter. A planned unit development may be:

- A. The development of compatible land uses arranged in such a way as to provide desirable living environments that may include private and common open spaces for recreation, circulation and/or aesthetic uses;
- B. The conservation or development of desirable amenities not otherwise possible by typical development standards;
- C. The creation of areas for multiple use that are of benefit to the neighborhood.
- D. The adaptive improvement of an existing development.

**19.78.090 Effect on adjacent properties.**

The planning commission shall require such arrangement of structures and open spaces within the site development plan, as necessary, to assure that adjacent properties will not be adversely affected.

- A. Height and intensity of buildings and uses shall be arranged, *around the boundaries of the planned unit development, to be compatible with existing adjacent developments or zones.* However, unless conditions of the site so warrant, *buildings located on the periphery of the development shall be limited to a maximum height of two stories.*
- B. Lot area, lot width, yard and coverage regulations shall be determined by approval of the site plan.
- C. Density of dwelling units per acre shall be the same as allowed in the zone in which the planned unit development is located.

**19.78.100 Preservation of open space.**

Preservation, maintenance and ownership of required open space within the development shall be accomplished by:

- A. Dedication of the land as a public park or parkway system;
- B. Granting to the county a permanent open space easement on or over the private open spaces to guarantee that the open space remain perpetually in recreational use with ownership and maintenance being the responsibility of the owner or an owner's association established with articles of association and bylaws which are satisfactory to the county; or
- C. Complying with the provisions of the Condominium Ownership Act of 1963, Title 57, Chapter 8, Utah Code Annotated (1953), as amended, which provided for the payment of common expenses for the upkeep of the common areas and facilities.

**19.78.170 Scope of planning commission action.**

In carrying out the intent of this chapter, the planning commission shall consider the following principles:

A. It is the intent of this chapter that site and building plans for a planned unit development shall be prepared by a designer or team of designers having professional competence in urban planning as proposed in the application. The commission may require the applicant to engage such a qualified designer or design team.

B. It is not the intent of this chapter that control of the design of a planned unit development by the planning commission be so rigidly exercised that individual initiative be stifled and substantial additional expense incurred; rather, it is the intent of this section that the control exercised be the minimum necessary to achieve the purpose of this chapter.

C. The planning commission may approve or disapprove an application for a planned unit development. In approving an application the commission may attach such conditions as it may deem necessary to secure compliance with the purposes set forth in Sections 19.84.050 through 19.84.090 of this title. The action of the planning commission may be appealed to the board of adjustment.

## **ALSO SEE ATTACHED RECREATIONAL FACILITY AND OPEN SPACE STANDARDS POLICY DOCUMENT**

### **2.3 Other Agency Recommendations or Requirements**

#### **Boundary C/G/S Check - Review Conditionally Approved**

These items are for the final plat

1. The RSC number on the preliminary plat does not correspond with the parcels in question. Record of Survey must be received by County Surveyor's office before plat can leave Planning and Development and the following statement A Record of Survey has been filed as #xxxxxxxxxxx in the S. L. County Surveyor's Office MUST be included in the Surveyor's Certificate on the final mylar, the x's being the RSC No. received from the County Surveyor's office
2. Final plat must be on regular County Titleblock
3. All required improvements shall be bonded for before plat can be recorded
4. Note to keep Fire turnaround open at all times must be on plat
5. Show street name (Lemmon Ln) and coordinate for same on plat
6. Show Fire Hydrants on Final Plat along with distance to back line of subdivision by path of travel
7. Require digital copy of Final Civil drawings signed by Licensed Engineer for all improvements after approvals from Hydrology, Grading and Traffic have been received
8. All Streets within 200 ft. of the proposed subdivision must be shown on plat
9. Label all utility and drainage easements on final plat
10. A preliminary report of title will be required at the final stage of the project. They are only good for 60 days so don't get it until we are at the final plat stage
11. Drive approach on east side of property must be removed and curb and gutter put in to match existing
12. County description shows frontage as 90.74 ft but drawing is showing 99.32 feet. Drawing also shows parking within Lemon Lane which is a private street that appears to be used by parcel north of subject parcels. Easement for ingress/egress for those parcels must be in place and travel can't be blocked by parked cars
13. Show tie from section corner to block corner on plat. Description on preliminary plat and drawing do not match at all. I think the block should be block 23 not 28 please check
14. The RSC number shown on preliminary plat is incorrect. Please show correct number on final plat
15. North arrow pointing in wrong direction

Building permits are required for the construction of the new townhomes and any other structure regulated by the building code.

1. At time of building permit application, provide complete building plans showing compliance with current building code.
2. At time of building permit application, provide fire flow verification and/or show how compliance is going to be made with any Unified Fire District Guidelines.

IN ADDITION TO THE NOTES ABOVE PREVIOUSLY ENTERED, CONDITIONAL APPROVAL IS ALSO BASED ON:

3. DEMOLITION PERMIT IS REQUIRED FOR THE REMOVAL OF THE HOME AND ANY OTHER STRUCTURES ON THE PROPERTY
4. PLEASE NOTE THAT PLANS AS SUBMITTED HAVE THE PAVILLION RIGHT UP AGAINST THE PROPERTY LINES ON THREE SIDES. ANY PORTION OF THE STRUCTURE LESS THAN 5' FROM THE PROPERTY LINES WILL NEED TO BE 1 HOUR FIRE RATED. WOULD NEED TO CONSTRUCT FIRE WALLS IF LESS THAN 5' TO THE PROPERTY LINES. COULD NOT BE OPEN. PLANS WILL NEED TO REFLECT THIS WHEN SUBMITTED FOR THE BUILDING PERMIT.
5. PLANS AS SUBMITTED ALSO SHOW DECKS AND POPOUTS WITHIN 5' OF PROPERTY LINES BETWEEN THE UNITS. WITH THE EXCEPTION OF WALLS THAT ARE PERPENDICULAR TO THE LOT LINE, ALL OTHER WALLS, PROJECTIONS, OVERHANGS, ETC. WITHIN 5' OF LOT LINE WILL NEED TO BE 1 HOUR FIRE RATED.

### **Geology**

Liquefaction potential is moderate. Applicant must file disclosure statements for each property with the county before Geology can be approved.

### **Grading**

- 1- The site is located in an area of potential poor soils and high ground water a Geotechnical report is required.
- 2- The site is less than one Acre so a full SWPPP is not required, however Erosion control plans and BMP plans are required to be submitted at the time of the building permit
- 3- The turn around does not meet the requirements of the UFA
- 3- Need to provide Documentation that the planned Geo-web system will meet H-20 loading and has UFA approvals
- 4- A single run of Swale or ditch cannot collect more area than 13,500 sq. ft. with out discharging into a down drain system.
- 5- Need to create PUE&D (Public Utilities easements and drainage)
- 6- The planned Detention pond will require a Storm water Maintenance agreement and Management plan recorded against the property and submitted to this office.

### **Traffic**

Show easement across property for existing access to the north.

Repair any damaged curb, gutter, and sidewalk pn 3900 S.

Plan appears to be using sidewalk as part of 20' required roadway width. Sidewalk may not be included in width. The improvements are not clearly labeled on my plan, so determination on true width of road cannot be made.

If parking in front of garages cannot be provided and parallel parking is the only option I would prefer to

see the four "possible proposed parking" stall installed even though there is no full size turn-around. Some accommodation for turning can be made at the south end of the property without providing a full size turn-around. The required dimensions for parallel parking are 8' by 20', not 9'x20' as previously stated.

### **Unified Fire Authority**

The proposed use is approved or not regulated by this agency.

revision to the site plan are required to bring it into compliance with the codes/ ordinances administered by this agency.

Unified fire authority plan review. This project must meet all local building and fire code requirements.

Fire Access requirements. Fire department access roads required an unobstructed width of 20'. Height of 13'6" designed and maintained to support the imposed loads of emergency apparatus. Surface to provide all weather driving capabilities. Shall have an inside turning radius of 28 feet. Maximum grade of 10%. Access roads over 150' shall have an approved turn around.

Fire Hydrant requirements. One Hydrant required. Fire flow required 1,500 G.P.M. Verification of fire flow is required. Hydrants must be installed as indicated on site plans, prior to delivery of combustible construction elements. Footings and Foundation only.

"Fire Lane" signs required.

1/23/14: The turn around is not 70 ft and we Do Not Allow the Geoweb pavers. (1) hydrant needs to be installed.

### **Planner:**

Property size and description on file with the county do not match up with the survey and acreage done by surveyor.

Setback from proposed deck on East side of property measured at 13'

Floor plans indicate the 2 car garage is 18'6" for first 10' or so then the garage expands to required 22' per 9'x18' stall plus 2' per side per walls. Technically only counts as 1 stall per structure other parallel stalls would be utilized to meet minimum parking. Still technically possible to park a second car on the proposed garage, but would have to be considered towards guest parking count as determined by PC.

Units 6' shorter than original proposal

Fence / Property Line a concern with neighbor to north. Surveyed line is used in plans, but existing fence not indicated.

PUD ordinance states "19.78.090 Effect on adjacent properties

The planning commission shall require such arrangement of structures and open spaces within the site development plan, as necessary, to assure that adjacent properties will not be adversely affected.

A. Height and intensity of buildings and uses shall be arranged, around the boundaries of the planned unit development, to be compatible with existing adjacent developments or zones. However, unless

conditions of the site so warrant, buildings located on the periphery of the development shall be limited to a maximum height of two stories.

Site is narrow so may warrant taller structures, perhaps to transition from properties to the south the northern most unit might be designed to be 2 stories. property to east is professional office and property to the west has proposed 2 story residential townhomes.

Building Height proposed at 40'

Easement not currently labeled as such, but should be called out on plat as Lemmon Lane.

19.78.120 Signs and floodlighting.

The size, location, design and nature of signs, if any, and the intensity and direction of area floodlighting shall be detailed in this application. Required during technical review.

comment in original staff reports notes that RM zone requires 30' rear yard... R-/21 zones.. 30' without covered parking, 15' with. Common practice in PUD to allow 15' perimeter setback. Any setback could be approved by the PC if deemed appropriate. Front setback only 20' can be approved smaller, typically 25 in RM zone.

A 20' landscape buffer is required between residential and non-residential uses. This appears to apply along the eastern boundary of the property. Only approximately 15 feet has been provided. Per landscape ordinance. Commercial property already exists, purpose is to buffer the residential from commercial.

Need separate tree removal / replacement plan .. required for technical review.

Only 1 amenity. 520 sq. ft. ... playground idea removed. Planning commission to decide if satisfies open space and amenities standard.

Per site plan site has 43% open space... 10,430 sq. ft. of 24,058 sq. ft. Would drop to 38% if geo web pavers or pervious asphalt does not count as open space. Would drop to 30% to allow for correct turn around size and utilization of 'possible parking'. Would also require the pavilion / amenity space be reduced to allow for turnaround length.

guest parking provided at .5 stalls per unit... stalls are parallel on west side of road. residents/guests would need to flip around heading south to parallel park.  
no handicap stall provided... would not count towards required parking

## **2.5 Subdivision Requirements**

### **18.08.015 Time limits.**

Subdivision applications are subject to expiration according to the following schedule unless, for good cause shown, the applicant is granted an extension of time by the director or director's designee:

- A. A subdivision application shall expire if the applicant has not filed any of the required documents for preliminary plat approval within six months of the submission of a complete application.
- B. A subdivision application shall expire if the final plat is not submitted to planning and development services within six months of the preliminary plat approval.
- C. A subdivision application shall expire if the final plat has not been signed by the county mayor within six months of the approval of the director or director's designee.

D. A subdivision application shall expire if the final plat has not been recorded within six months of the date of the county mayor's signature on the plat.

**18.12.010 Required information.** (*excerpts*)

A. The preliminary plat, prepared on paper twenty-one inches by thirty inches, shall contain the information specified in this section and comply with the following requirements:

**2. Existing Conditions.** The plat shall show:

- a. The location of and dimensions to the nearest bench mark or monument;
- b. The boundary lines of the proposed subdivision indicated by a solid heavy line and the total approximate acreage encompassed thereby;
- c. All property under the control of the subdivider, even though only a portion is being subdivided. Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in the light of existing general street plans, other planning commission studies and the County Transportation Improvement Plan;
- d. The location, width and names of all existing streets within two hundred feet of the subdivision and of all prior platted streets or other public ways, railroad and utility rights-of-way, parks and other public open spaces, permanent buildings and structures, houses or permanent easements and section and corporation lines, within and adjacent to the tract;
- e. The location of all wells, proposed, active and abandoned, and of all reservoirs within the tract and to a distance of at least one hundred feet beyond the tract boundaries;
- f. Existing sewers, water mains, culverts or other underground facilities within the tract and to a distance of at least one hundred feet beyond the tract boundaries, indicating pipe sizes, grades, manholes and exact location;
- g. Existing ditches, canals, natural drainage channels, and open waterways and proposed realignments;
- h. Boundary lines of adjacent tracts of unsubdivided land, showing ownership where possible;
- i. Contour at vertical intervals of not more than two feet. Highwater levels of all watercourses, if any, shall be indicated in the same datum for contour elevations;
- j. Nearest installed fire hydrants on or within five hundred feet of the proposed subdivision.

**4. Proposed Subdivision Plan.** The subdivision plan shall show:

- a. The layout of streets, showing location, widths and other dimensions of (designated by actual or proposed names and numbers) proposed streets, crosswalks, alleys and easements;
- b. The layout, numbers and typical dimensions of lots, and in areas subject to foothills and canyons overlay zone provisions, designation of buildable areas on individual lots.
- c. Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision;
- d. Building setback lines, including showing dimensions where required by the planning commission;
- e. Easements for water, sewers, drainage, utility lines and other purposes, if required by the planning commission;
- f. Typical street cross sections and grade sheets where required by the planning commission or other interested county divisions;
- g. A tentative plan or method by which the subdivider proposes to handle stormwater drainage for the subdivision.

B. Where required, evidence of any agreements with adjacent property owners relative to the subdivision development shall be presented to the planning and development services division in writing prior to its approval of the plat. These agreements shall include those relative to drainage, easements, protection strips and improvement bonds.

### **3.0 STAFF RECOMMENDATION**

#### **3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:**

- 1 ) The property acreage and boundary description must be verified by the county tax assessor and updated to match the survey completed by the applicant in order to allow the proposed density and verify the dimensions used on the proposed site plan.
- 2 ) The emergency vehicle turnaround must be an approved size and surface to be approved by Unified Fire Authority.
- 3 ) The end units on the north and south side of the project shall be restricted to 2 stories to achieve compliance with Conditional Use Criteria 'E' and section 19.78.090
- 4 ) Open space as defined by the Recreation Facility and Open Space Standards policy shall not be less than 30% of the property. This allows for the 'possible parking stalls' and the turnaround not to count as part of the open space calculation.
- 5 ) A minimum 5 ft. landscape buffer shall be required along the West property line between the drive or parking.
- 6 ) Decks as proposed on the East side of the property shall be set back a minimum of 10 ft. from the property line. Any structure including cantilevers (such as bay or box windows) shall be a minimum of 15' from any property line.
- 7 ) The proposed pavilion shall be a minimum of 250 sq. ft.
- 8 ) Lighting from the development shall be screened and directed as to not directly shine on neighboring properties.
- 9 ) Additional turnaround space shall be provided on the north end of the property. This is not an emergency vehicle turnaround but should allow passenger cars to turnaround without using neighboring property.

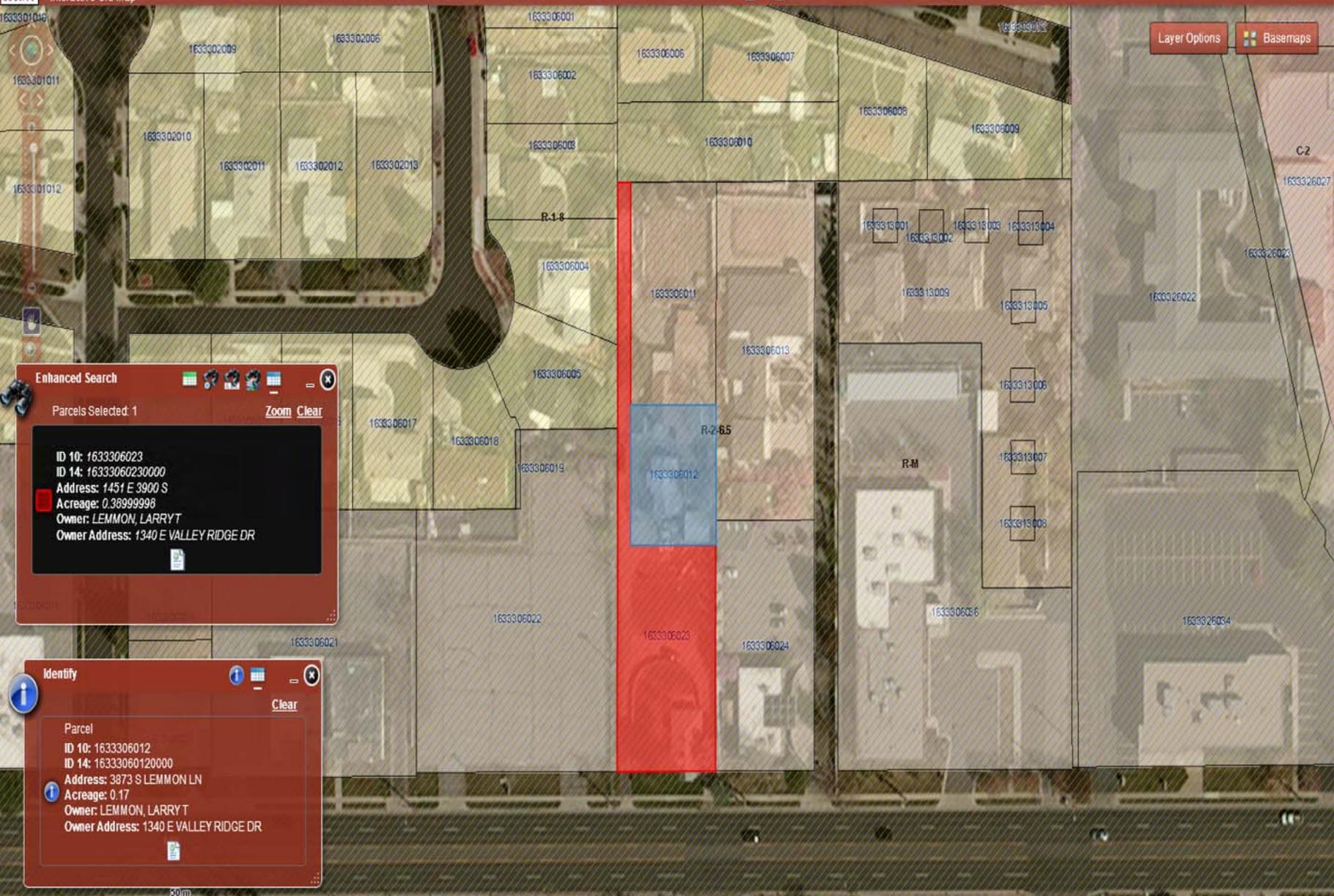
#### **3.2 Reasons for Recommendation**

- 1 ) The current zoning on the property indicates the expectation of some sort of multi-family development would likely be built on this property. The narrow width of the site is restrictive and limits the possible configuration for development on the property. Recently on the adjacent property it was determined that townhomes were preferable to an apartment type development. While this proposal needs to make sense and stand on its own merits for compliance with ordinance and applicable standards, the proposal appears to meet the intent of applicable standards and may comply with county ordinance for all reviewers with adherence to appropriate conditions.

#### **3.3 Other Recommendations**

- The proposed conditions would require that the internal sidewalk shown on the plans be eliminated for the drive width parking, and setbacks to function.
- The proposed conditions would create a development that has 30% open space and only 1 substandard amenity compared to the 50% open space and 2 amenities that would meet the strict requirements of the rec. facilities and open space standards.

As currently proposed, without modification and approval for variation from the underlying zone requirements such as setbacks, the site plan does not meet all the requirement and criteria for a conditional use approval. The planning commission may determine that the proposed conditions do not resolve the concerns or criteria of reviewing agencies and the ordinance and may deny the application.



**Enhanced Search**

Parcels Selected: 1 [Zoom](#) [Clear](#)

ID 10: 1633306023  
ID 14: 16333060230000  
Address: 1451 E 3900 S  
Acreage: 0.38999998  
Owner: LEMMON, LARRY T  
Owner Address: 1340 E VALLEY RIDGE DR

**Identify**

Parcel

ID 10: 1633306012  
ID 14: 16333060120000  
Address: 3873 S LEMMON LN  
Acreage: 0.17  
Owner: LEMMON, LARRY T  
Owner Address: 1340 E VALLEY RIDGE DR

VTDI 16-33-306-023-0000  
EVEREST BUILDERS LLC

DIST 17

TAX CLASS

UPDATE  
LEGAL  
PRINT

TOTAL ACRES  
REAL ESTATE  
BUILDINGS  
TOTAL VALUE

0.39

676 E MARKEA AVE # 9  
SALT LAKE CITY UT  
LOC: 1451 E 3900 S  
SUB: UNKNOWN

NO: 84102470176  
EDIT 0

FACTOR BYPASS  
BOOK 10171 PAGE 3630 DATE 08/23/2013  
TYPE UNKN PLAT

02/28/2014 PROPERTY DESCRIPTION FOR TAXATION PURPOSES ONLY  
BEG N 488.8 FT & W 321.75 FT FR THE CEN OF SW 1/4 SEC 33, T  
IS R 1E S L M: W 90.75 FT; N 413.75 FT; E 12 FT; S 260 FT;  
E 78.75 FT; S 153.75 FT TO BEG. 0.39 AC, M OR L 5112-0151  
6867-1411 7066-0448 7826-1495 7976-0743 7976-0751 9412-1575  
10166-1192

PFKEYS: 1=RXPH 4=VTAU 6=NEXT 7=RTRN VTAS 8=RXMU 10=RXBK 11=RXPN 12=PREV



























PERGOLA → steel or wood  
FLOOR → ~~per~~ soft surface w/ benches

# ATHERTON PARK PUD

1451 EAST 3900 SOUTH  
SALT LAKE COUNTY, UTAH



● VICINITY MAP

## INFORMATION

### CLIENT

ERIC SAXEY  
EVEREST BUILDERS  
676 MARKEA AVE #9  
SALT LAKE CITY, UTAH 84102  
PH. 801-554-8424

### CIVIL ENGINEER

JOHANSON ENGINEERING  
909 EAST 4500 SOUTH  
SUITE C, SALT LAKE CITY, UTAH  
PH. 801-859-1862

### SURVEY INFORMATION

JOHANSON ENGINEERING  
909 EAST 4500 SOUTH  
SUITE C, SALT LAKE CITY, UTAH  
PH. 801-859-1862

### CONTRACTOR

EVEREST BUILDERS  
676 MARKEA AVE #9  
SALT LAKE CITY, UTAH 84102  
PH. 801-554-8424

## SHEET LIST

ATHERTON	PARK
Sheet Number	Sheet Title
C-01	COVER SEET
C-02	SITE PLAN
C-03	GRADING PLAN
C-04	UTILITY PLAN
C-05	UTILITY PLAN
C-06	SWPPP
C-700	APWA EROSION CONTROL
C-701	DETAILS
C-702	DETAILS

### CAUTION NOTICE TO CONTRACTOR

- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location for utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- The contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; the contractor shall defend, indemnify and hold the owner and the engineer harmless from any and all liability real or alleged, in connection with performance of work on this project.

## LEGEND

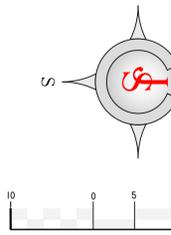
PROPERTY LINE	EXISTING CONTOURS
PROPERTY CORNER	PROPOSED CONTOURS
P.U.E. LINE/EASEMENT	TOP BACK OF GUTTER
FIRE HYDRANT	LANDSCAPING
EXISTING POWER POLE	EXISTING SEWER MANHOLE
NEW ASPHALT	EXISTING CATCH BASIN
EXISTING WATERLINE	OVERHEAD POWER LINES
EXISTING GAS LINE	INLET STORM BOX
PROPOSED WATER LINE	

## DETAILS CALLOUTS

FIRE HYDRANT WITH VALVE	GEOWEB LOAD
FLARE DRIVEWAY APPROACH	EQUIPMENT WASH DOWN
ASPHALT CONCRETE T PATCH	STABILIZED ROADWAY ENTRANCE
SEWER MANHOLE	STRAW BALE BARRIER
2 WATER METER	CONCRETE WASHOUT
SEWER LATERAL CONNECTION	SILT FENCE
CURB & GUTTER	
OIL-DEBRIS HOOD SPECS & INSTALLATION	
GEOWEB PAVEMENT	

# ATHERTON PARK

3900 South 1451 East  
PLANNED UNIT DEVELOPMENT



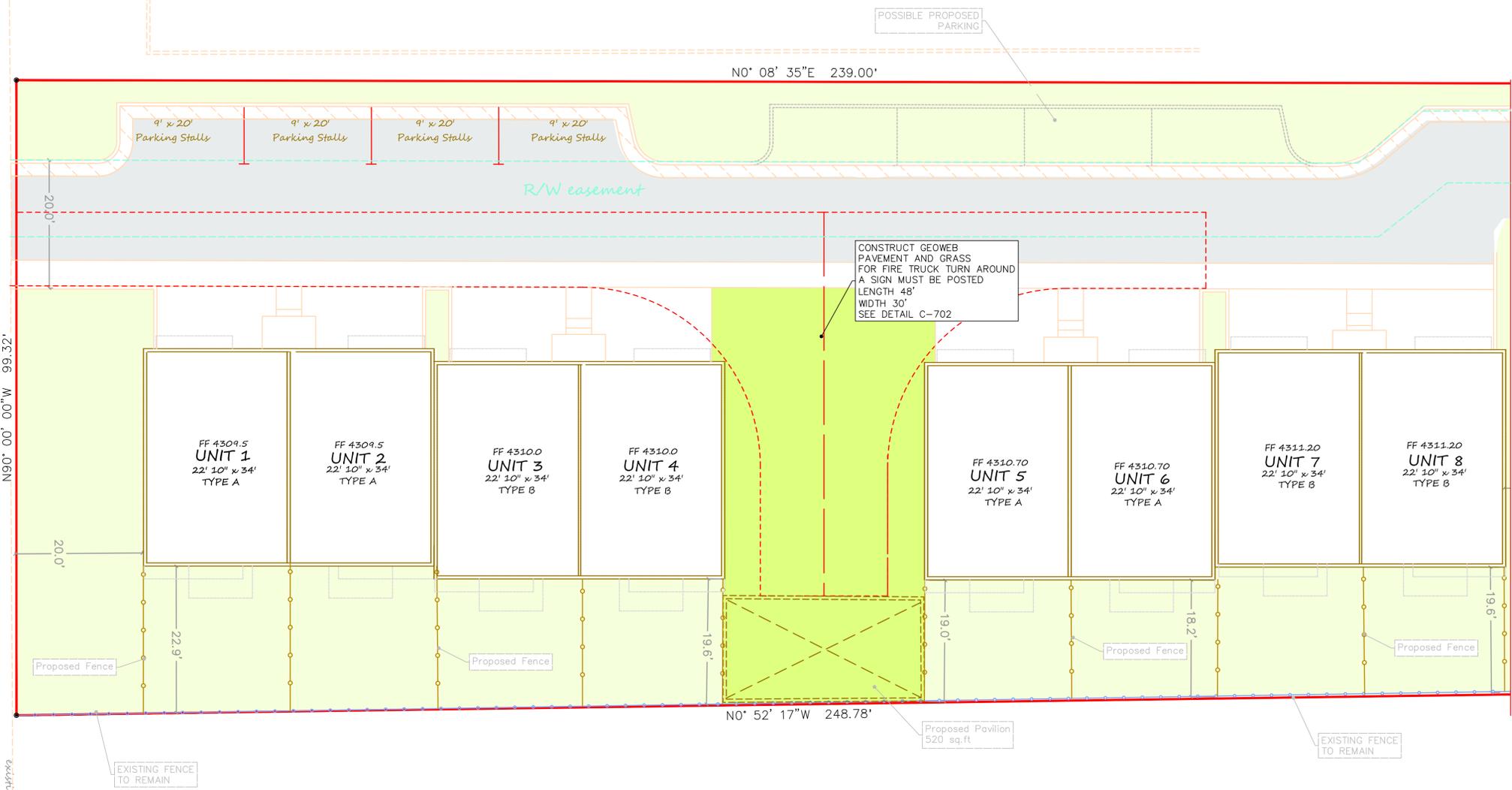
## LEGEND

PROPERTY LINE	EXISTING CONTOURS
PROPERTY CORNER	PROPOSED CONTOURS
P.U.E. LINE/EASEMENT	TOP BACK OF GUTTER
FIRE HYDRANT	LANDSCAPING
EXISTING POWER POLE	EXISTING SEWER MANHOLE
NEW ASPHALT	EXISTING CATCH BASIN
EXISTING WATERLINE	OVERHEAD POWER LINES
EXISTING GAS LINE	INLET STORM BOX
PROPOSED WATER LINE	
PRESSURED IRRIGATION	

3900 south street

existing sidewalk

existing sidewalk



### SITE PLAN NOTE

PROVIDED LANDSCAPING = 1  
PROPERTY AREA = 24058 SQ.

- BUILDING FOOTPRINT =
- PROPOSED PAVEMENT =
- TOTAL ACREAGE = 0.55
- 1 GUEST PARKING FOR I
- REQUIRED GUEST PARKI
- PARKING STALLS PROVIE

**CALL BEFORE YOU DIG.**  
IT'S FREE & IT'S THE LAW.

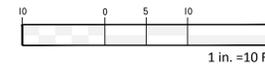
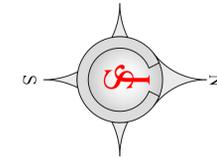
(TOLL-FREE)  
**1-800-662-4111**  
**208-2100**

(SALT LAKE METRO)  
148 EAST 13200 SOUTH  
PO BOX 1517  
DRAPER, UTAH 84020-1517



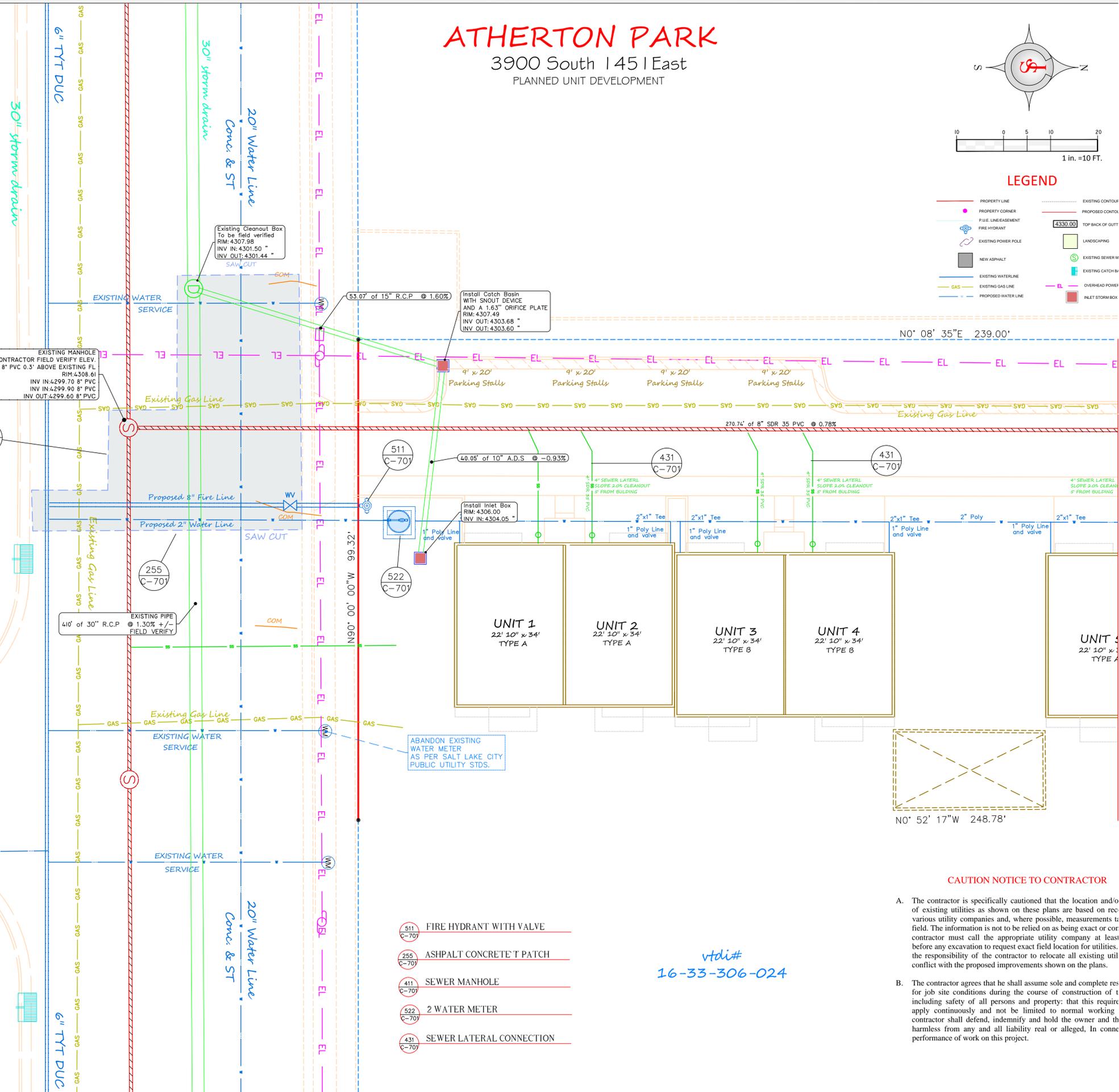
# ATHERTON PARK

3900 South 145 | East  
PLANNED UNIT DEVELOPMENT



## LEGEND

PROPERTY LINE	EXISTING CONTOUR
PROPERTY CORNER	PROPOSED CONTROL
F.U.E. LINE/EASEMENT	TOP BACK OF GUTT
FIRE HYDRANT	LANDSCAPING
EXISTING POWER POLE	EXISTING SEWER MANHOLE
NEW ASPHALT	EXISTING CATCH BASIN
EXISTING WATERLINE	OVERHEAD POWER
EXISTING GAS LINE	INLET STORM BOX
PROPOSED WATER LINE	



- FIRE HYDRANT WITH VALVE
- ASPHALT CONCRETE PATCH
- SEWER MANHOLE
- 2 WATER METER
- SEWER LATERAL CONNECTION

*vtidi#*  
16-33-306-024

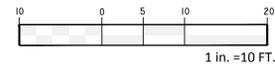
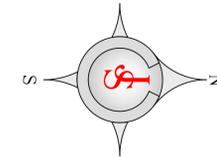
### CAUTION NOTICE TO CONTRACTOR

- A. The contractor is specifically cautioned that the location and/or of existing utilities as shown on these plans are based on various utility companies and, where possible, measurements in the field. The information is not to be relied on as being exact or correct. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location for utilities. The responsibility of the contractor to relocate all existing utilities that conflict with the proposed improvements shown on the plans.
- B. The contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours. The contractor shall defend, indemnify and hold the owner and the architect harmless from any and all liability real or alleged, in connection with the performance of work on this project.

**CALL BEFORE YOU DIG.**  
IT'S FREE & IT'S THE LAW.  
(TOLL-FREE)  
**1-800-662-4111**  
**208-2100**  
GALT LAKE METRO  
148 EAST 15200 SOUTH  
PO BOX 1517  
DRAPER, UTAH 84020-1517

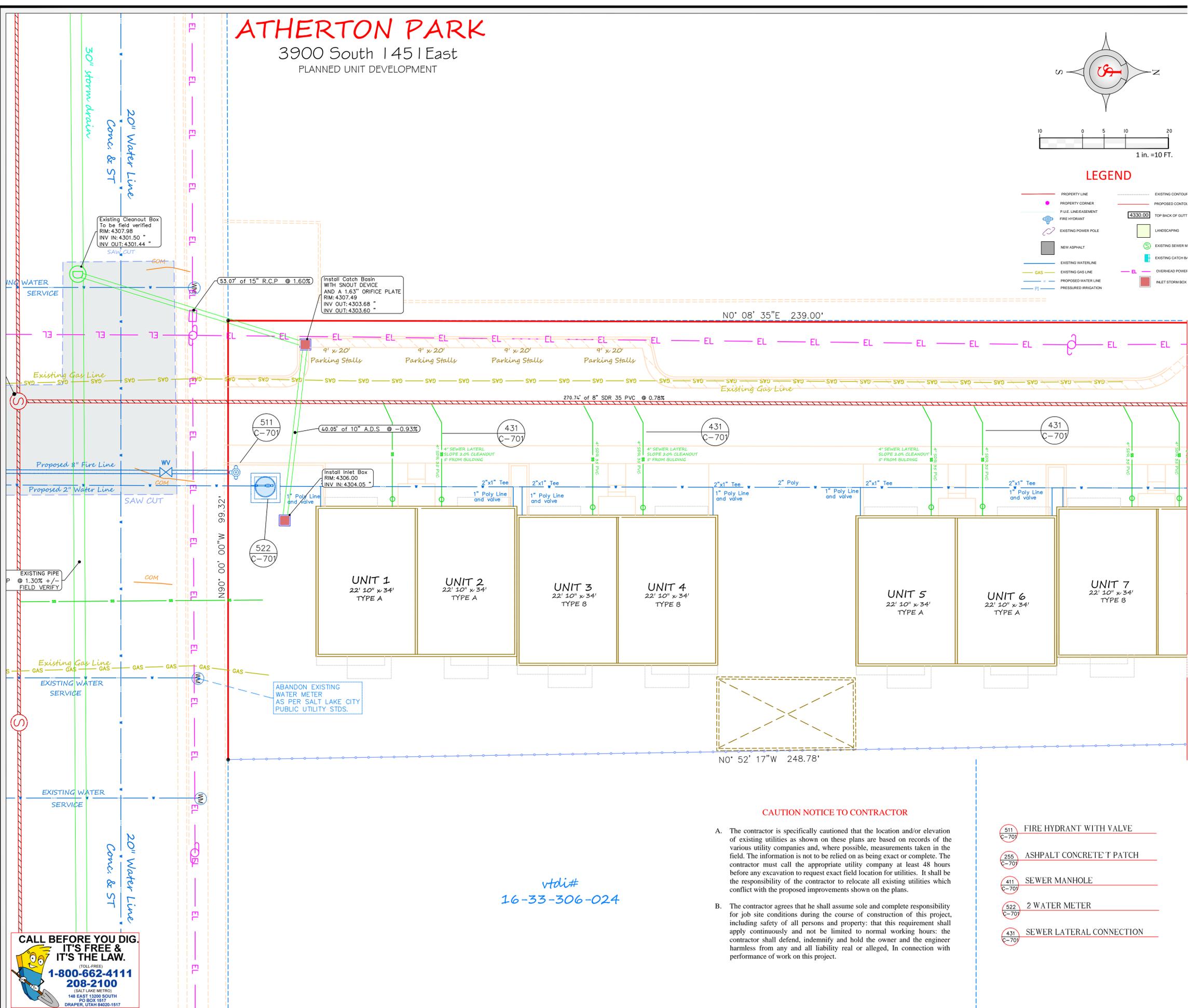
# ATHERTON PARK

3900 South 145 East  
PLANNED UNIT DEVELOPMENT



## LEGEND

PROPERTY LINE	EXISTING CONTOUR
PROPERTY CORNER	PROPOSED CONTROL
F.U.E. LINE/SEGMENT	TOP BACK OF GUTT
FIRE HYDRANT	LANDSCAPING
EXISTING POWER POLE	EXISTING SEWER
NEW ASPHALT	EXISTING CATCH BASIN
EXISTING WATERLINE	OVERHEAD POWER
EXISTING GAS LINE	INLET STORM BOX
PROPOSED WATER LINE	
PRESSURED IRRIGATION	



### CAUTION NOTICE TO CONTRACTOR

- A. The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location for utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- B. The contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; the contractor shall defend, indemnify and hold the owner and the engineer harmless from any and all liability real or alleged, in connection with performance of work on this project.

- FIRE HYDRANT WITH VALVE
- ASPHALT CONCRETE PATCH
- SEWER MANHOLE
- 2 WATER METER
- SEWER LATERAL CONNECTION

vtol#  
16-33-306-024

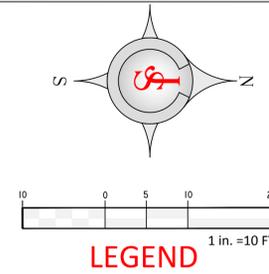
**CALL BEFORE YOU DIG.**  
IT'S FREE & IT'S THE LAW.  
(TOLL-FREE)  
**1-800-662-4111**  
**208-2100**  
SALT LAKE METRO  
148 EAST 13200 SOUTH  
PO BOX 1517  
DRAPER, UTAH 84020-1517

**BMP's for Erosion Control**

- \* 60 construction days total.
- \* Place stabilized construction entrance and staging yard as shown on drawing. (place temporary port a john inside staging yard)
- \* Construct and place silt fencing as shown on drawing.
- \* Install temporary inlet protection of the catch basin until the completion of the project.
- \* Temporary detention basin shall be in the location shown on the drawing.
- \* Plant grass seeds on or before October 15th.
- \* Place erosion control RE-vegetation matting on all cut and fill slopes 2:1 or greater.

# ATHERTON PARK

3900 South 145 | East  
PLANNED UNIT DEVELOPMENT

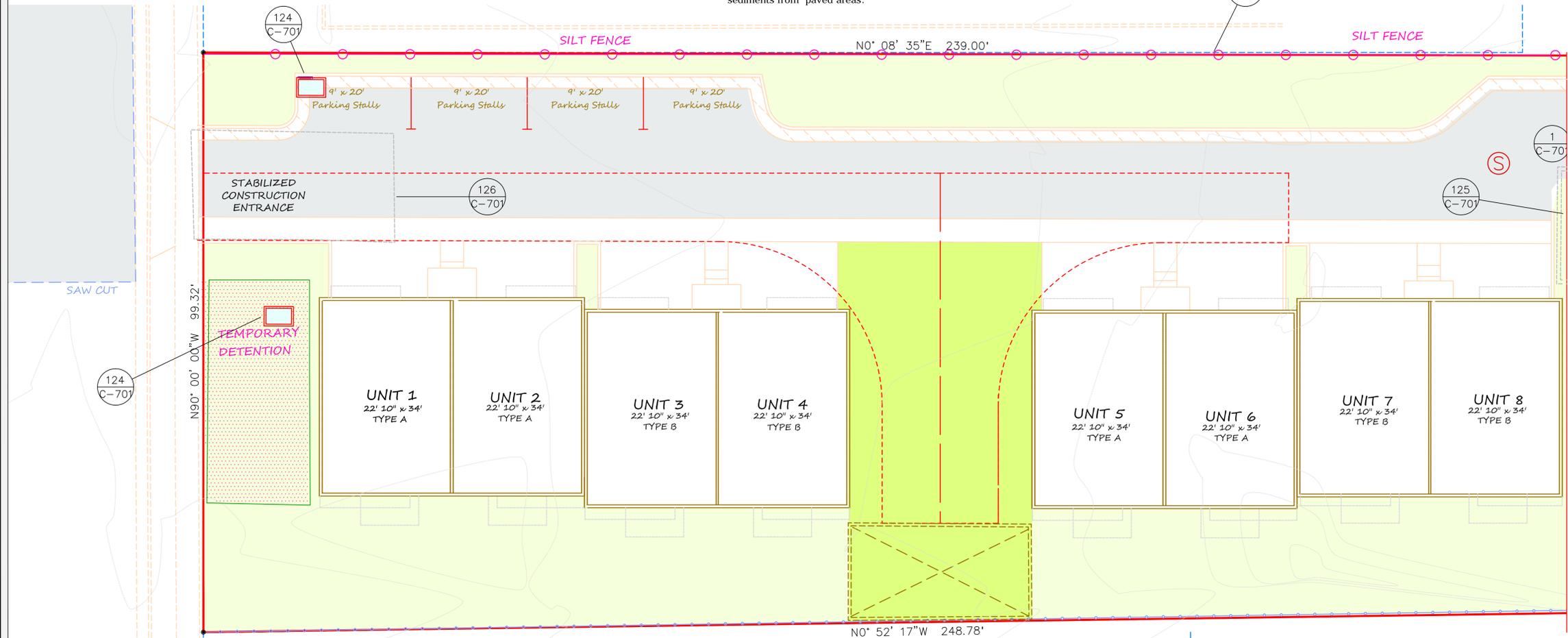


**BMP's for Erosion and Sedimentation**

- \* Conduct routine inspection or grading or clearing and properly maintain all erosion and sedimentation control resources.
- \* Before commencing grading or clearing, stabilize slopes, areas adjacent to water bodies, and the site perimeter to prevent erosion and sediment transport into receiving water and onto adjacent properties and roadways.
- \* Before grading or clearing, provide and maintain designated stabilized site access points for vehicle entry/egress or otherwise prevent vehicle trackout of sediments.
- \* Minimize site disturbance and vegetation clearing. Before commencing grading or clearing, delineate clearing limits, easements, setbacks, and vegetation to be preserved by marking in the field. Upon completion of grading or clearing, thoroughly sweep sediments from paved areas.



- M S D C E r d W**
- \* Quarry spalls (or hog fuel) shall be added if the pad is no longer in accordance with the specifications. If the rock (or hog fuel) entrance is not working to keep streets clean, then install wheel wash, sweep streets, or wash streets if wash water can be collected. (Daily)
- M S F**
- \* Repair damaged fencing immediately. Intercept concentrated flows and reroute. Remove sediment accumulations as 6-inches. Replace deteriorated fencing material. Properly dispose of used fencing. (Weekly and following storms)



**BMP's for Handling and Disposal of Concrete and Cement**

- Concrete and cement-related mortars are toxic to fish and the aquatic environment and require proper handling and disposal to minimize or eliminate discharges to gutters, storm drains, and watercourses.
- \* Never dispose of wash-out into the street, storm drains, drainage ditches, or watercourses. Wash out concrete transit mixers only in designated wash-out areas where the water will flow into temporary pit in dirt area or onto stockpiles of aggregate base or sand.

**BMP's for Pavement Construction Management**

- Proper management of pavement construction materials and activities minimizes or eliminates discharges to gutters, storm drains, and watercourses resulting from on-site road paving, surfacing, and asphalt removal activities.
- \* Apply concrete, asphalt, and seal coat during dry weather to prevent contaminants from contacting stormwater runoff.
  - \* Cover storm drain inlets and manholes when paving or applying seal coat, tack seal, slurry seal, fog seal, or similar materials
  - \* Always park paving machines over drip pans or absorbent materials, since they tend to drip continuously.
  - \* Protect drainage ways by using earth dikes, straw bales, sand bags, or other controls which will divert or trap and filter runoff.

- M D C**
- \* Re-apply dust control measures as necessary to keep dust to a minimum. (Daily during dry weather)

- M W W**
- \* Wheel wash water shall not be discharged into a storm drain or the site's storm water collection system. Use closed-loop re-circulation, land application, or discharge to sanitary sewer (by permit). (Daily)

- M D**
- \* Ensure storm water flows towards temporary detention pond at all times. Remove sediment when it reaches a depth of one foot. Repair damage to pond embankments and slopes. (Weekly and following storms)

- M S Dr I**
- \* Replace clogged filter fabric. Clean sediment from stone filters. Do not wash collected sediments into storm drains - remove to soil stockpile. (Weekly and following storms)

**STORM WATER NOTES**

- \* Maintain & inspect vehicles regularly to be sure they are not leaking
- \* Recycle or dispose of waste fluids properly-never dump in trash and receptacles on site for the storage of refuse.
- \* Dry sweep the areas around storm drains, and dispose of debris rather than hosing debris down the storm drain.
- \* Do not dump, or allow contractors to dump, anything onto parking strips. Clean storm drains regularly to keep clear of build-up of leaves and sediments.
- \* Minimize sand or salt usage during the winter months- use calcium chloride. If these materials are stored outdoors, contain runoff contamination.



**Straw bale barrier**

1. DESCRIPTION: A temporary sediment barrier consisting of a row of entrenched and anchored straw bales.

2. APPLICATION: To intercept and detain small amounts of sediment from disturbed areas of limited extent. To decrease the velocity of sheet flows and low-to-moderate level channel flows.

3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.

4. MAINTENANCE:

February 2008

Plan No. 121

121 STRAW BALE BARRIER

**Silt fence**

1. DESCRIPTION: A temporary sediment barrier consisting of a filter fabric stretched across and attached to supporting posts and entrenched.

2. APPLICATION: To intercept sediment from disturbed areas of limited extent.

3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.

4. MAINTENANCE:

February 2008

Plan No. 122

122 SILT FENCE

**Inlet protection - gravel sock**

1. DESCRIPTION: Placement of gravel sock on grade upstream of, or in front of storm drain inlets to filter or pond water runoff.

2. APPLICATION: At inlets in paved or unpaved areas where up gradient area is to be disturbed by construction activities.

3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.

4. MAINTENANCE:

February 2008

Plan No. 124

124 INLET PROTECTION

**Equipment and vehicle wash down area**

1. DESCRIPTION: A temporary stabilized pad of gravel for general washing of equipment and construction vehicles.

2. APPLICATION: At any site where regular washing of vehicles and equipment will occur.

3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.

4. MAINTENANCE:

February 2008

Plan No. 125

125 EQUIPMENT AND VEHICLE WASH DOWN AREA

**Stabilized roadway entrance**

1. DESCRIPTION: A temporary stabilized pad of gravel for controlling equipment and construction vehicle access to the site.

2. APPLICATION: At any site where vehicles and equipment enter the public right of way.

3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.

4. MAINTENANCE:

February 2008

Plan No. 126

126 STABILIZED ROADWAY ENTRANCE

**CONCRETE WASHOUT**

1-1

SCALE: NTS

1-1 CONCRETE WASHOUT

**1 1/2" and 2" meter**

1. **METER PLACEMENT:**  
 A. In new construction, install meter at center of lot or per agency requirements.  
 B. All meters are to be installed in the park strip or within 7 feet of the property line (street side).  
 C. Do not install meters under driveway approaches, sidewalks, or curb and gutter.

2. **PIPE:** Install type K copper pipe to property line. Coordinate with utility agency for type of pipe to be used outside of right-of-way.

3. **ALTERNATE:** Turbine meters are required on all systems used exclusively for irrigation or fire protection. Where domestic use is applicable, use a standard meter.

4. **BYPASS VALVE:** Lock in off position.

5. **BLOCKING:** Use clay brick or concrete block.

6. **CONCRETE BOX:**  
 A. Center frame and cover over water meter.  
 B. Allow 1 inch clearance around waterline where line passes through wall. Seal opening with compressible seal.

7. **INSPECTION:** Prior to backfilling around the meter box, secure inspection of installation by ENGINEER.

8. **BACKFILL:** Provide and place per APWA Section 33 05 20. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness is 8 inches before compaction.

**LEGEND**

No.	ITEM	DESCRIPTION
(A)	2" FRAME AND COVER	PLAN No. 502
(B)	CONCRETE BOX	PLAN No. 503
(C)	METER BOLTS	3/8" x 2 3/4" BRASS
(D)	1 1/2" CUSTOM SETTER WITH BYPASS	
(E)	1" CUSTOM SETTER WITH BYPASS	

FURNISHED BY UTILITY AGENCY

216 August 2003 **1 1/2" and 2" meter** Plan No. **522**

**Fire hydrant with valve**

1. **INSPECTION:** Prior to backfilling, secure inspection of installation by ENGINEER.

2. **BACKFILL:** Provide and place per APWA Section 33 05 20. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness is 8 inches before compaction.

3. **HYDRANT:** Dry barrel per AWWA C502. Additional water system requirements are specified in APWA Section 33 11 00.  
 A. Provide at least 1 cubic yard of APWA Section 31 05 13 sewer rock around drain hole at base of hydrant. Wrap plastic over sewer rock to prevent silt.  
 B. Paint fire hydrant to agency's fire hydrant paint code.  
 C. Apply non-oxide grease to all buried metal surfaces. Wrap with 8 mil thick polyethylene sheet and tape wrap.  
 D. Notify fire department as soon as hydrant is placed in service.

4. **THRUST BLOCKS:**  
 A. Prior to pouring concrete, wrap pipe system with 8 mil thick plastic sheet to prevent bonding of concrete to pipe system.  
 B. Not required for flange or welded pipe systems.

**LEGEND**

No.	ITEM	DESCRIPTION
(A)	FIRE HYDRANT	AWWA C502
(B)	VALVE BOX WITH LID	2 PCE. CAST IRON
(C)	GATE VALVE WITH 2"x2" NUT	AWWA C509
(D)	TEE WITH 125 # FLANGE	AWWA C110

FURNISHED BY UTILITY AGENCY

January 2003 **Fire hydrant with valve** Plan No. **511**

**522 2" WATER METER**

**511 FIRE HYDRANT WITH VALVE**

**Sanitary sewer manhole**

1. **BACKFILL:** Provide and place per APWA Section 31 23 23. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness is 8 inches before compaction.

2. **CONCRETE:** Class 4000 per APWA Section 03 30 04. Place concrete per APWA Section 03 30 10. Cure per APWA Section 03 39 00.

3. **MANHOLE SIZE:** For sewers under 12" diameter, build a 4 feet diameter manhole. For sewers 12" and larger, and when 3 or more pipes intersect in the manhole, build a 5 feet diameter manhole.

4. **GROUT:** Grout around all pipe openings with 2:1 sand/cement mortar.

5. **JOINTS:** Place flexible gasket-type sealant in all manhole joints.

6. **ALTERNATES:**  
 A. Precast reinforced concrete walls 5 inches thick (to be acceptable to the ENGINEER).  
 B. Cast in-place concrete to be 8 inches thick minimum.

7. **INVERT COVERS:** Place invert covers over the top of pipe in all manholes during construction. See Plan No. 412.

8. **WATER STOPS:** Install rubber water-stop on all plastic pipes when connecting plastic pipes to manholes. Hold water-stop in place with stainless steel bands.

**LEGEND**

No.	ITEM	DESCRIPTION
(A)	CONCRETE COLLAR	PLAN No. 413
(B)	FRAME AND COVER	PLAN No. 402
(C)	INVERT COVER	PLAN No. 412

APRIL 1997 **Sanitary sewer manhole** Plan No. **411**

**411 SEWER MANHOLE**

**Sewer lateral connection**

1. **INSPECTION:**  
 A. Prior to installation, secure acceptance by ENGINEER for all pipe, fittings, and couplings to be used.  
 B. Prior to backfilling, secure inspection of installation by ENGINEER. Give at least 24 hours notice.

2. **INSTALLATION:**  
 A. Provide agency approved wye or tee with appropriate donut. Verify whether CONTRACTOR or agency is to install the wye.  
 B. Tape wrap pipe as required by soil conditions.  
 C. Remove core plug from sewer main. Do not break into sewer main to make connection.  
 D. Stainless steel straps required.

3. **BACKFILL:** Provide and place per APWA Section 33 05 20. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness is 8 inches before compaction.

**LEGEND**

No.	ITEM	DESCRIPTION
(A)	SEWER LATERAL	PLAN No. 382
(B)	SEWER MAIN	PLAN No. 381
(C)	TRENCH BACKFILL	PLAN No. 381 AND 382

APRIL 1997 **Sewer lateral connection** Plan No. **431**

**431 SEWER LATERAL CONNECTION**

**Asphalt concrete "T" patch**

1. **ADDITIONAL PAVEMENT REMOVAL:** Remove additional pavement to a painted lane stripe, a lip of gutter, a curb, an existing pavement patch, or an edge of the pavement if such street feature is within 2 feet of the second saw cut.

2. **UNTREATED BASE COURSE:** Provide material specified in APWA Section 32 11 23.  
 A. Do not use gravel as a substitute for untreated base course without ENGINEER's permission.  
 B. Place material per APWA Section 32 05 10.  
 C. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction equipment.

3. **FLOWABLE FILL:** Provide 28 day 60 psi controlled low strength material as specified in APWA Section 31 05 15. Use fill material which flows easily and vibration is not required. Cure to initial set before placing aggregate base or asphalt pavement. Use flowable fill in excavations that are too narrow to receive compaction equipment.

4. **TACK COAT:** APWA Section 32 12 14. Full tack coat coverage on all vertical surfaces.

5. **ASPHALT PAVEMENT:** Use asphalt concrete specified in APWA Section 33 05 25.  
 A. Install in lifts no greater than 3 inches after compaction.  
 B. Compact to 94 percent of ASTM D 2041 (Rice Method) plus or minus 2 percent.

6. **REINFORCEMENT:** ASTM A 615, Grade 60, No. 5 galvanized or epoxy coated deformed steel 12 inches on center.  
 A. Required if existing concrete thickness is 6 inches or greater.  
 B. Not required if (1) existing concrete is less than 6 inches thick, (2) existing concrete is deteriorating, (3) excavation is less than 3 feet square, (4) asphalt pavement is substituted for concrete substrate.

7. **CONCRETE SUBSTRATE:** Class 4000 per APWA Section 03 30 04. Place concrete per APWA Section 03 30 10.  
 A. Cure to initial set before placing new asphalt concrete patch.  
 B. Cracks at least 1/8 inch long and 1/4 inch wide occur more often than 1 in 10 square feet. Repair option: Crack seal.  
 C. Asphalt cracking is greater than 1 square foot per 100 square feet. Repair option: Mill and inlay.

**LEGEND**

No.	ITEM	DESCRIPTION
(A)	SECOND CUT	PLAN No. 251 OR 252
(B)	JOINT REPAIR	PLAN No. 251 OR 252
(C)	REINFORCEMENT	PLAN No. 251 OR 252

March 2006 **Asphalt concrete "T" patch** Plan No. **255**

**255 ASPHALT CONCRETE "T" PATCH**

**Flare driveway approach - type A**

1. **UNTREATED BASE COURSE:** Provide material specified in APWA Section 32 11 23.  
 A. Do not use gravel as a substitute for untreated base course without ENGINEER's permission.  
 B. Place material per APWA Section 32 05 10.  
 C. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction equipment.

2. **CONCRETE:** Class 4000 per APWA Section 03 30 04.  
 A. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (topor cracks) may develop if air temperature exceeds 90 degrees F.  
 B. Place concrete per APWA Section 03 30 10.  
 C. Provide 1/2 inch radius on concrete edges exposed to public view.  
 D. Cure concrete per APWA Section 03 30 03 with type ID Class A or B (clear with fugitive dye) membrane forming compound unless specified otherwise.

3. **EXPANSION JOINT:** Make expansion joints vertical, full depth, 1/2 inch wide with type F1 joint filler material per APWA Section 32 13 73. Set top of filler flush with surface of concrete.

4. **CONTRACTION JOINT:** Make contraction joints vertical.  
 A. 1/8 inch wide and 1 inch deep or 1/4 inch thickness if slab is greater than 4 inches thick.  
 B. Maximum length to width ratio for non-expansion joints is 1.5 to 1.  
 C. Maximum panel length (in feet) is 2.5 times the slab thickness (in inches) to a maximum of 15 feet.

5. **REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel. See APWA Section 03 30 00 requirements. Not required if driveway ramp is constructed without a cold joint.

6. **FIELD CHANGES TO SLOPE REQUIREMENTS:** The following design parameters are to be used as a guide. Specific uses or site conditions may require profile design submitted for review and acceptance.  
 A. As a rule, driveway grades may have a 6 percent change in slope over a 11 feet wheel base run for both crest or sag vertical curves.  
 B. Where heavy truck use and fire truck access applies, or to improve design speed, design grades should be cut in half.

7. **FINISH:** Broomed.

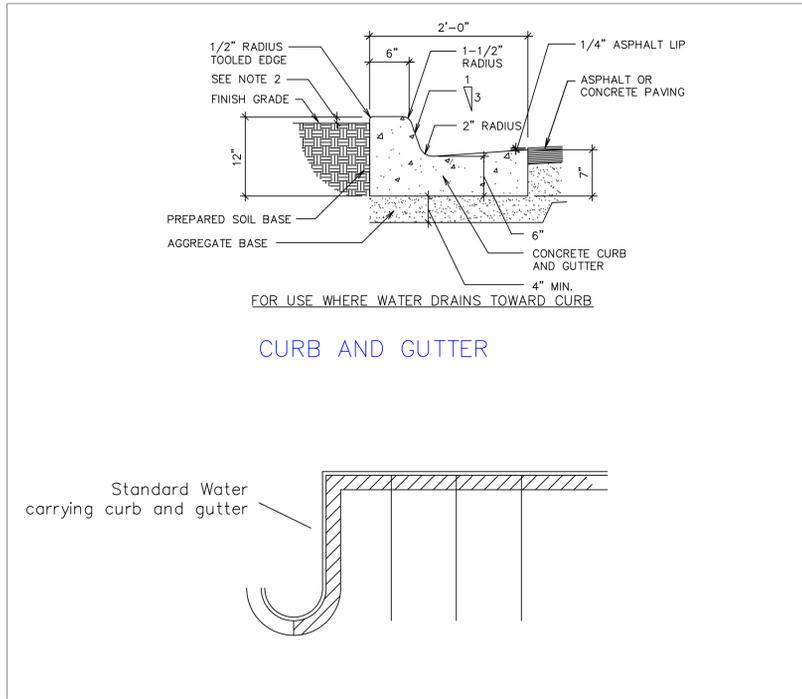
8. **PROTECTION AND REPAIR:**  
 A. Fill low-line with water. Repair construction that doesn't drain.  
 B. Protect concrete from deicing chemicals during cure period.

**LEGEND**

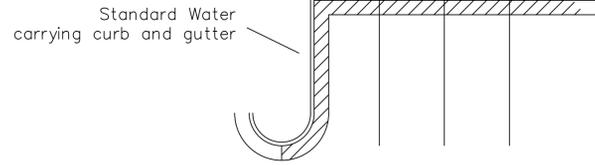
No.	ITEM	DESCRIPTION
(A)	CONCRETE	PLAN No. 251 OR 252
(B)	REINFORCEMENT	PLAN No. 251 OR 252
(C)	EXPANSION JOINT	PLAN No. 251 OR 252

December 2005 **Flare driveway approach - type A** Plan No. **221**

**221 FLARE DRIVEWAY APPROACH**

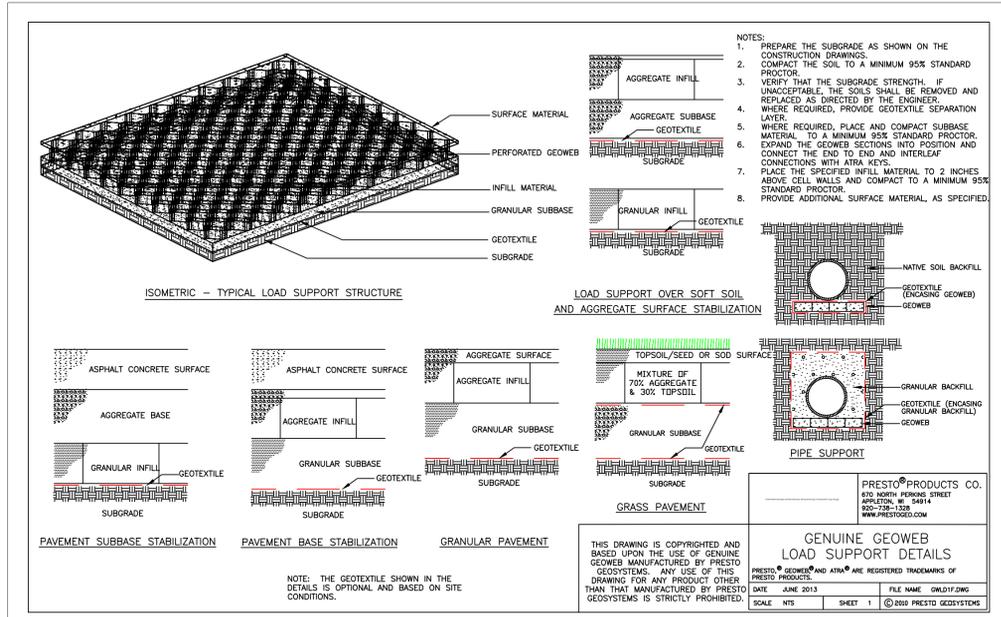


CURB AND GUTTER



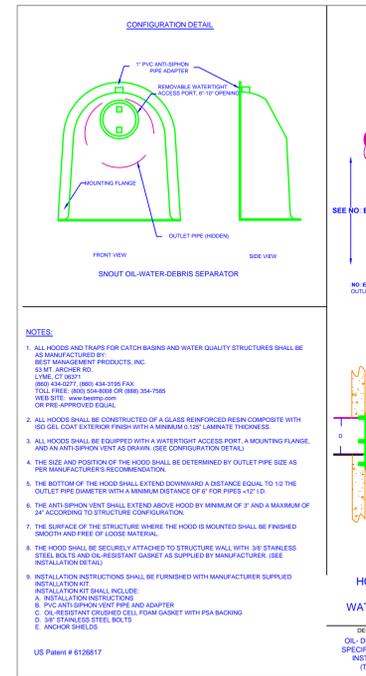
CG CURB & GUTTER

SCALE: NTS



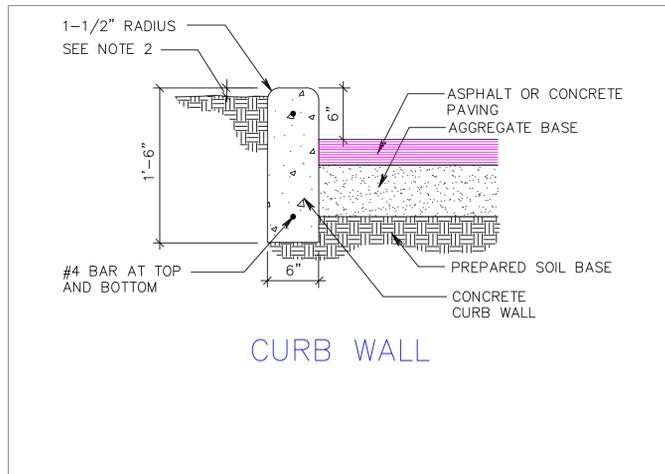
GP GEOWEB PAVEMENT

SCALE: NTS



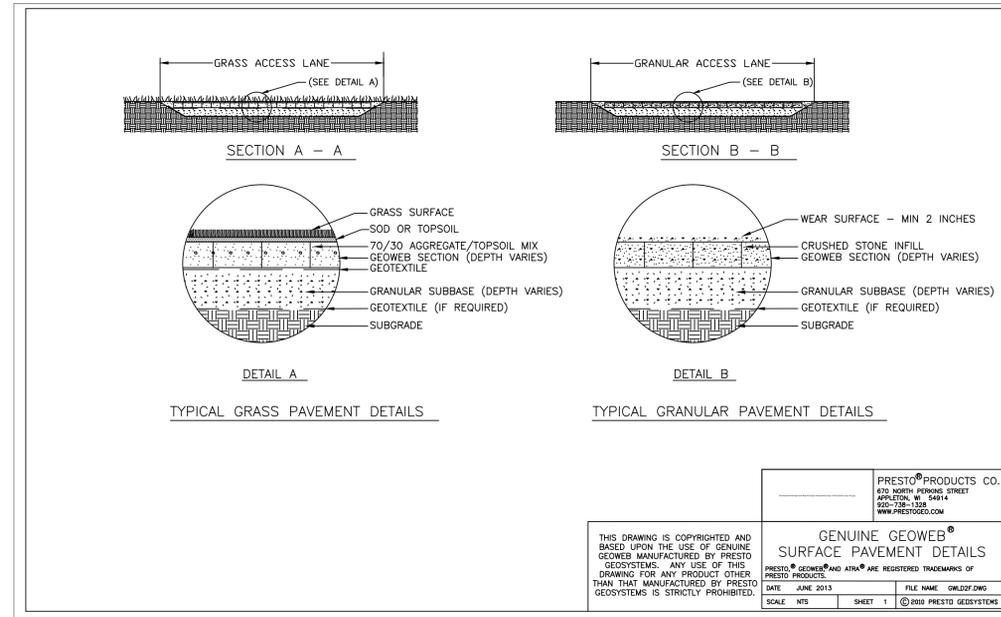
SN OIL-DEBRIS HOOD SPECS & INSTALLATION

SCALE: NTS



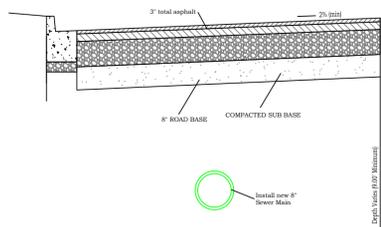
CW CURB WALL

SCALE: NTS



GP GEOWEB PAVEMENT

SCALE: NTS



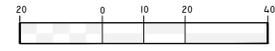
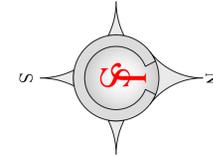
3" ASPHALT PAVEMENT  
8" ROAD BASE  
COMPACTED SUB BASE  
CONTRACTOR TO VERIFY PAVEMENT SECTION WITH SOILS REPORT

Note:  
All sewer, water and storm drain locations are approximate only. refer to plan for precise locations.

PAVEMENT SECTION

# ATHERTON PARK

1451 EAST 3900 SOUTH  
SALT LAKE COUNTY, UTAH  
SOUTHWEST QUARTER OF SECTION 33  
TOWNSHIP 1 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN

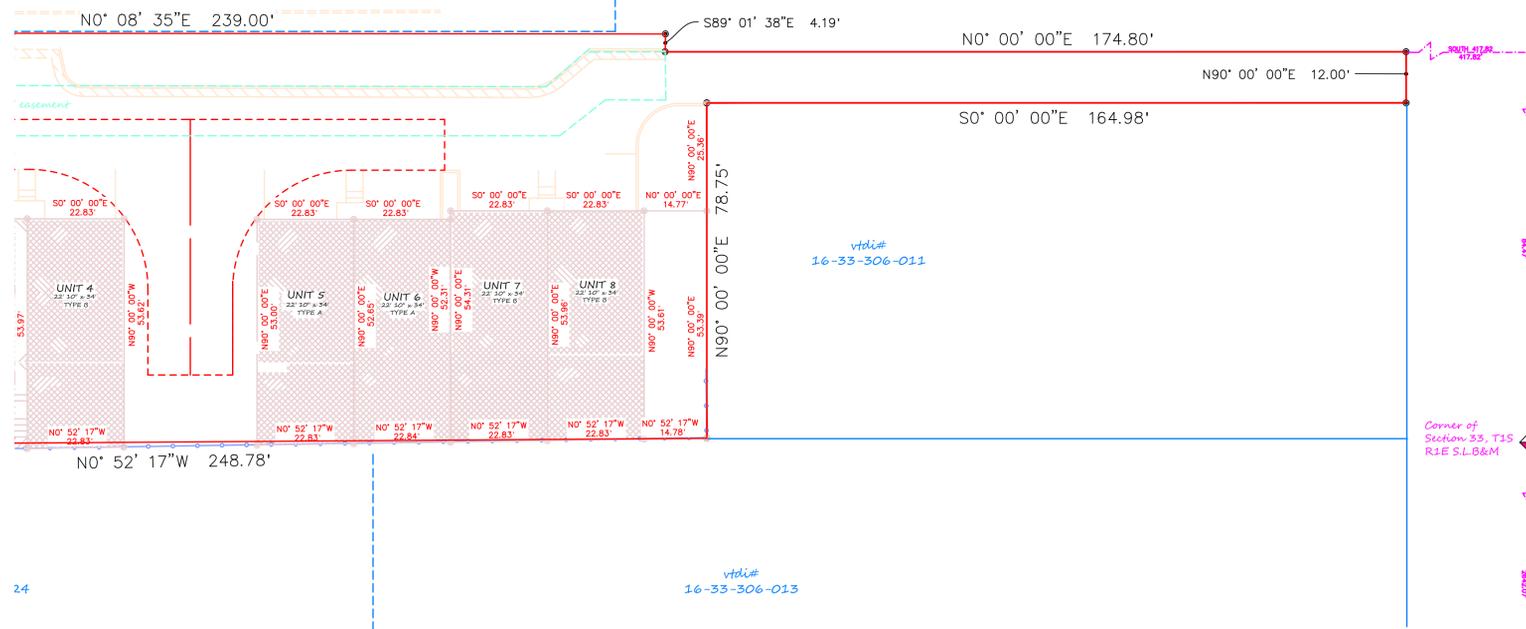


DRAWING SCALE 1 in. = 20 FT.

### LEGEND

- Property Line
- Existing Curb & Gutter
- Existing Fire Hydrant
- Private Ownership
- Limited Common Ownership
- Limited Private Ownership
- set 5/8 rebar with cap # 16-352956

# 6-022



24



VICINITY MAP



**JOHANSON ENGINEERING**  
CIVIL • PLANNING • SURVEYING  
909 EAST 4500 SOUTH SUITE C  
SALT LAKE CITY, UTAH  
PHONE (801) 859-1862 FAX (801) 495-2547

East Corner Section 33, T1S R1E S1-L8&M

SURVEY

11-0410

UNIFIED FIRE AUTHORITY APPROVAL

DATE \_\_\_\_\_ SIGNED \_\_\_\_\_

### SURVEYORS CERTIFICATE

I, Richard Johanson, do hereby certify that I am a Land Surveyor, and that I hold certificate No. 152956, as prescribed under the laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, hereafter to be known as ATHERTON PARK and that same has been surveyed and shown on this plat. This survey was performed within the accordance of the minimum accuracy of an urban survey, Class "A", or a linear closure of 1:15,000'.

The purpose of this survey is to locate the boundaries of the described parcel and create a plat for a legal one lot subdivision as shown hereon.

Prepared this 19th day of April, 2012

### BOUNDARY DESCRIPTION

BEGINNING AT A POINT THAT IS NORTH 89°46'53" WEST 1757.19 FEET AND SOUTH 1417.82 FEET FROM A FOUND BRASS CAP MARKING THE CENTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE EAST 12.0' THENCE SOUTH 164.98 FEET; THENCE EAST 78.75 FEET; THENCE SOUTH 0° 52' 17" EAST 248.78 FEET; THENCE EAST 89.32 FEET; NORTH 0°08' 35 EAST 239.00 FEET; THENCE SOUTH 89° 01' 38" EAST 4.19 FEET. NORTH 174.80 FEET. TO THE POINT OF BEGINNING.

AS PER THE NORTHERN ALTA SURVEY DONE IN 7/10/02

### NOTES

Utilities shall include the right to install, maintain and operate their equipment above and below ground and all other related facilities within the public utility easements identified on this plat map as may be necessary or desirable in providing utility services within and without the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures, trees and vegetation that may be placed within the pue. The utility may require the lot owner to remove all structures within the pue at the lot owners expense, or the utility may remove such structures at the owners expense. At no time may any permanent structures be placed within the pue or any other obstruction which interferes with the use of the pue without the prior written approval of the utilities with facilities in the pue.

### OWNER'S DEDICATION

Know all men by these presents that \_\_\_\_\_, the undersigned owner(s) of the above described tract of land having caused same to be subdivided into lots and streets to be hereafter known as

### ATHERTON PARK

do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for public use.

In witness whereof \_\_\_\_\_ have hereunto set this \_\_\_\_\_ day of A.D., 20\_\_\_\_.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### ACKNOWLEDGMENT

STATE OF UTAH } S.S.  
County of SALT LAKE

On the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_, personally appeared before me \_\_\_\_\_, who being by me duly sworn did say the he/she is the \_\_\_\_\_ of \_\_\_\_\_, and that the within and foregoing instrument was signed voluntarily for said corporation and for the uses and purposes herein mentioned.

My commission expires: \_\_\_\_\_ Notary Public

residing in: \_\_\_\_\_

### ATHERTON PARK

SALT LAKE COUNTY, UTAH  
SOUTHWEST QUARTER OF SECTION 33  
TOWNSHIP 1 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN

RECORDED # \_\_\_\_\_

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF  
DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

FEE \$ \_\_\_\_\_ SALT LAKE COUNTY RECORDER

PLAN CHECK

\_\_\_\_\_  
A.D., 20\_\_\_\_

T. \_\_\_\_\_  
DATE \_\_\_\_\_

PLAN REVIEW SECTION MANAGER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

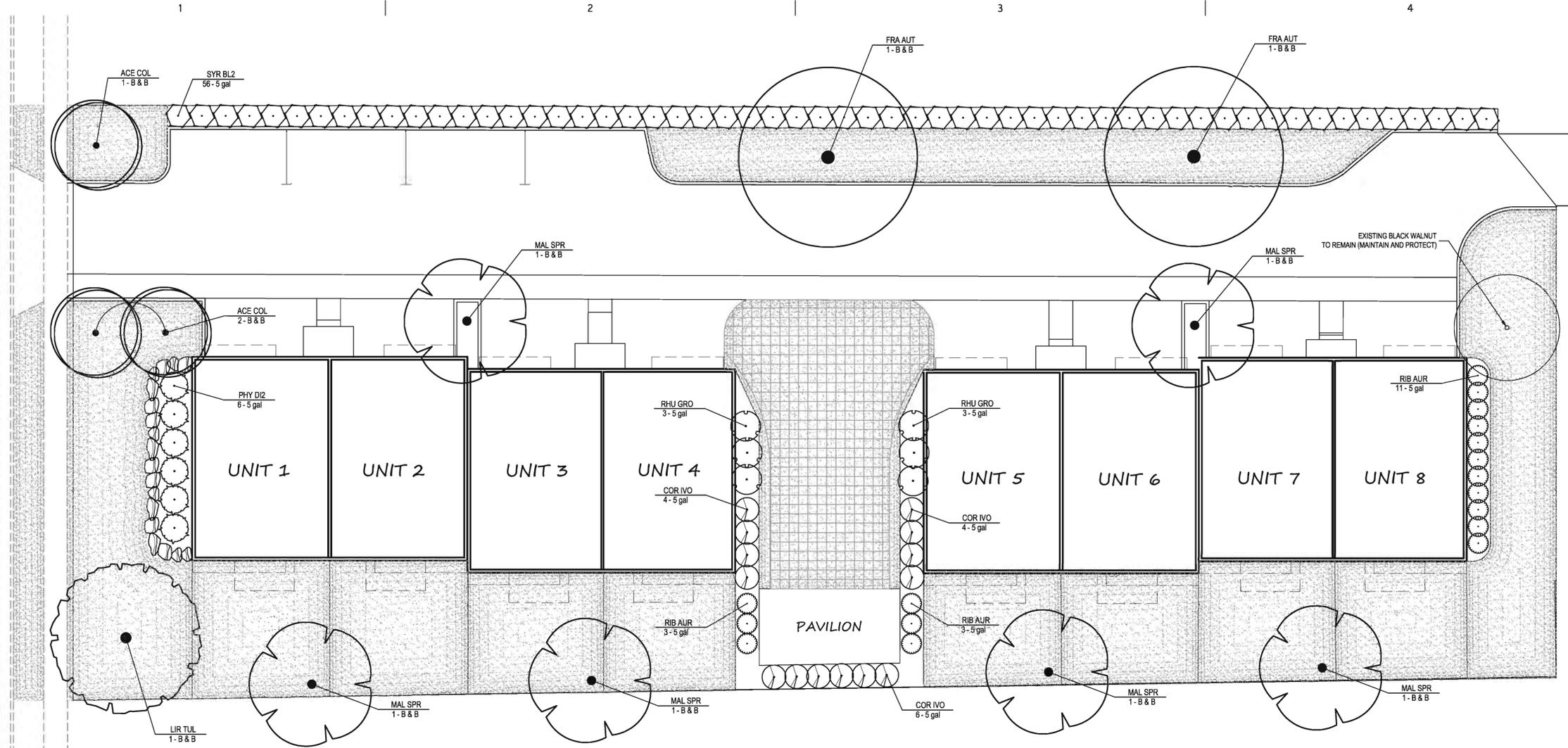
SALT LAKE COUNTY DISTRICT ATTORNEY

MAYOR

PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

MAYOR, OR DESIGNEE

3900 South Street



**B1** LANDSCAPE PLAN  
 0' 5' 10' 20' N  
 1"=10'-0"

MILLCREEK DEVELOPMENT  
 ERIC SAXEY  
 1451 EAST 3900 SOUTH  
 SALT LAKE CITY, UTAH 84124

**LANDSCAPE NOTES**

EXAMINE SUBGRADE AND VERIFY THE DEPTHS OF TOPSOIL AND MULCH. NOTIFY THE ARCHITECT OF ANY UNSATISFACTORY CONDITIONS. DO NOT BEGIN LANDSCAPE WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN RESOLVED.

VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO ANY DIGGING. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THIS CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER.

TOPSOIL IS TO BE STOCKPILED ON THE SITE, SCREENED AND AMENDED IF NECESSARY TO MEET 'ACCEPTABLE' STANDARDS FOR TOPSOIL AS DESCRIBED IN 'TOPSOIL QUALITY GUIDELINES FOR LANDSCAPING' (KOEING, ISAMAN, UTAH STATE UNIVERSITY) <http://extension.usu.edu/files/publications/publication/AG-SO-02.pdf> CONTRACTOR IS RESPONSIBLE FOR PROVIDING 6" OF TOPSOIL FOR TURF AND 12" OF TOPSOIL FOR SHRUBS AND TREES.

TURFGRASS SOD SHALL BE CERTIFIED NUMBER 1 QUALITY/PREMIUM SOD

MULCH FOR SHRUB AREAS SHALL BE PREMIUM BARK MULCH 3" DEEP (CRUSHED OR SHREADED WOOD IS NOT ACCEPTABLE)

WEED BARRIER FABRIC SHALL BE DEWITT PRO 5 AND SHALL BE INSTALLED IN ALL SHRUB/TREE/PERENNIAL AREAS

ALL SHRUB BEDS SHALL CONSIST OF 12" DEEP TOPSOIL RAKED WITH A SMOOTH AND UNIFORM SURFACE AND COVERED WITH WEED BARRIER FABRIC. PLANTING SHALL OCCUR BY CUTTING THROUGH FABRIC THEN PLACE BARK MULCH

FOR TREES IN LAWN AREAS, PROVIDE A 3' DIAMETER GRASS-FREE RING OF BARK MULCH AT 4" DEPTH.

**PLANT SCHEDULE**

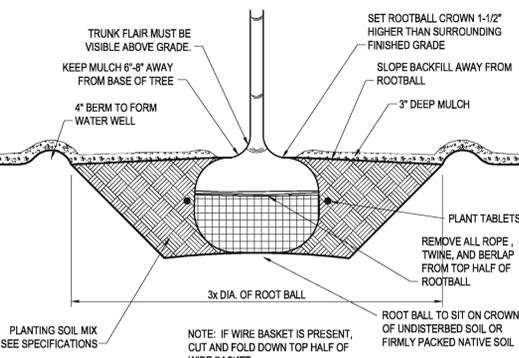
TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL
ACE COL	3	Columnar Norway Maple	Acer platanoides 'Columnare'	B & B	2"Cal
FRA AUT	2	Autumn Purple Ash	Fraxinus americana 'Autumn Purple'	B & B	2"Cal
LIR TUL	1	Tulip Tree	Liriodendron tulipifera	B & B	2"Cal
MAL SPR	2	Spring Snow Crab Apple	Malus x 'Spring Snow'	B & B	1.5"Cal

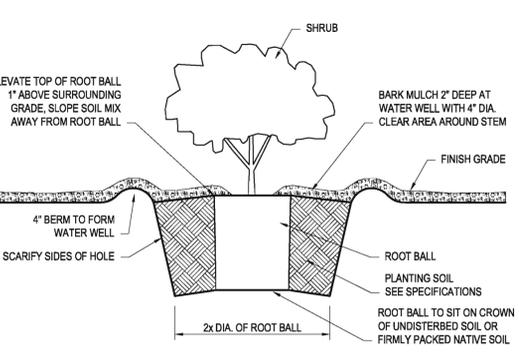
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT
COR IVO	14	Variegated Redtwig Dogwood	Cornus sericea 'Ivory Halo'	5 gal
PHY DI2	7	Diablo Ninebark	Physocarpus opulifolius 'Diablo'	5 gal
RHU GRO	6	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	5 gal
RIB AUR	19	Dwarf Golden Alpine Currant	Ribes alpinum 'Aureum'	5 gal
SYR BL2	56	Lilac	Syringa x 'Bloomerang'	5 gal

GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SPACING
	4,604 sf	Xerigrass	Xerigrass Turf Company, Meridian ID sod		
		NDS EZ-Roll Grass Paver or equal.			Install using manufacturers fire lane detail.

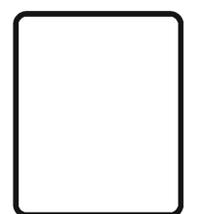


**A1** TREE PLANTING  
 1/2" = 1" LP101\_8467



**A2** SHRUB PLANTING  
 1" = 1'-0" LP101\_8467

PRELIMINARY, NOT FOR PERMIT OR CONSTRUCTION



PROJECT NO. 2010.01  
 DRAWN BY: JZ CHECKED BY: JZ

ISSUED:

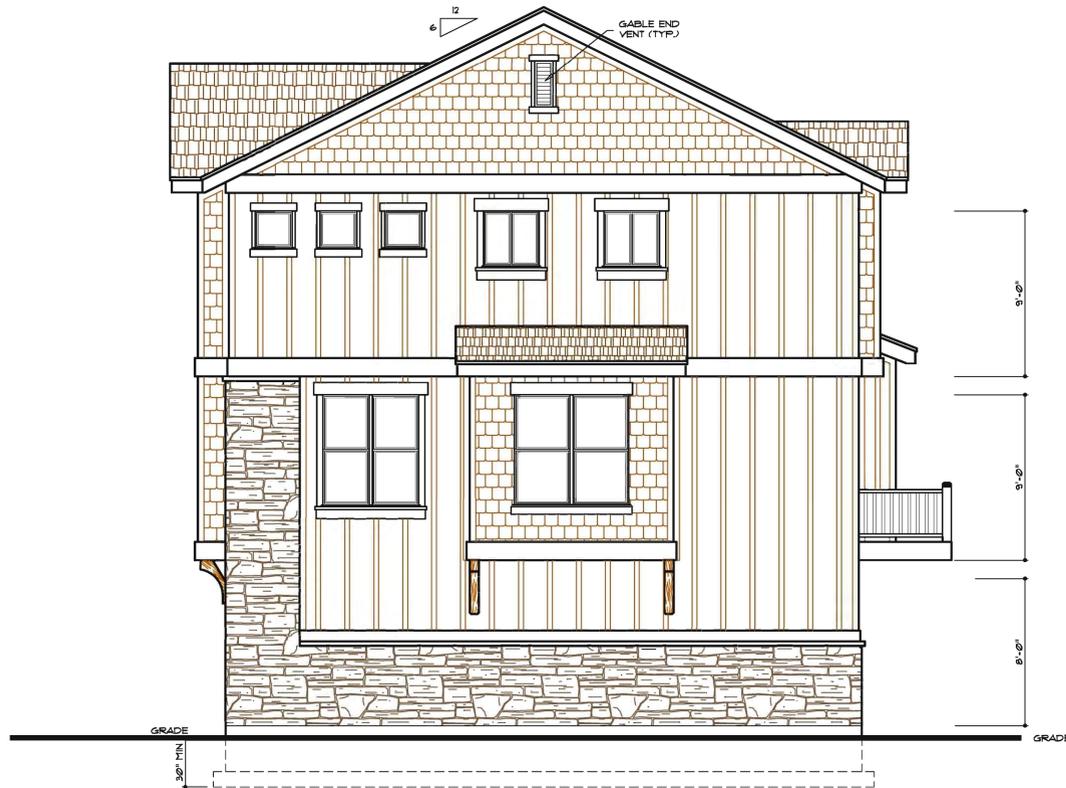
NO.	DATE	DESCRIPTION

REVISIONS:

NO.	DATE	DESCRIPTION
△		
△		
△		
△		
△		

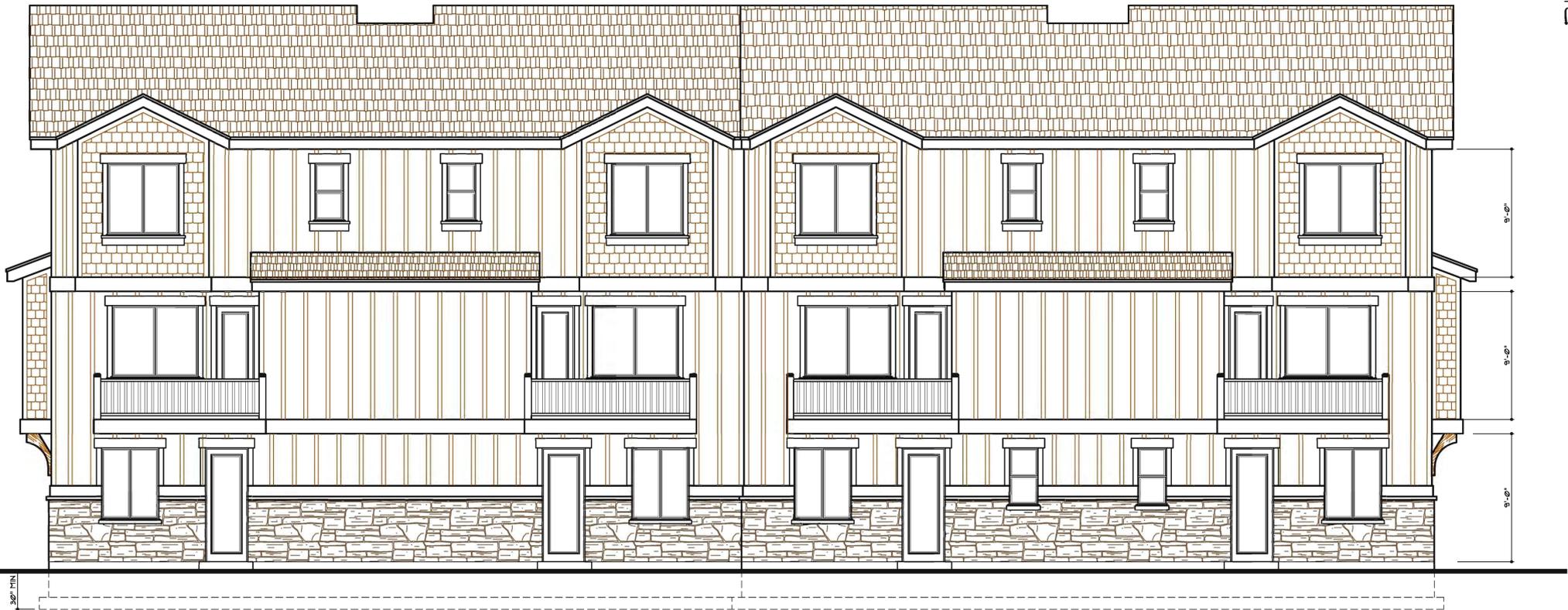
LANDSCAPE PLAN

LP-101



RIGHT SIDE ELEVATION  
BUILDING A

SCALE: 1/4"=1'-0"



REAR ELEVATION  
BUILDING A

SCALE: 1/4"=1'-0"

BUILDING A  
UNITS 1-4

BUILDING A: UNITS 1-4

TECHNI-GRAPHIC SERVICES INC.

64 E. WINCHESTER, STE215, MURRAY, UT 84101

TGSpokane@gmail.com

(801) 268-9249

MICHAEL LOBB

EVEREST BUILDERS

ATHERTON PARK

3900 S. 1451 E.  
SALT LAKE CITY

COPYRIGHT © 2013  
Techni-Graphic Services, Inc.  
Salt Lake City, Utah

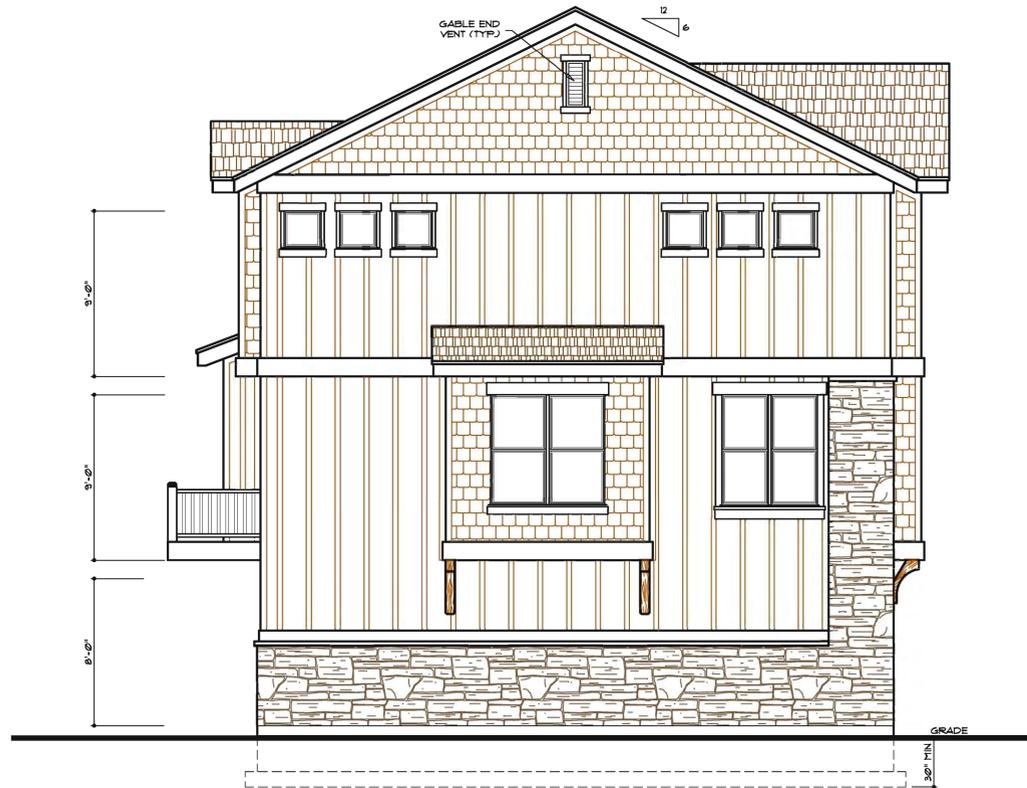
Reproduction of any portion of these drawings without the written consent of Techni-Graphic Services, Inc. is prohibited.

DATE:

1/2014

REVISION DATE:

SHEET \*  
5 OF 5



 LEFT SIDE ELEVATION  
 BUILDING A

SCALE: 1/4"=1'-0"



 FRONT ELEVATION  
 BUILDING A

SCALE: 1/4"=1'-0"

UNIT #1  
TYPE A

UNIT #2  
TYPE A

UNIT #3  
TYPE B

UNIT #4  
TYPE B

BUILDING A: UNITS 1-4

MICHAEL LOBB

EVEREST BUILDERS

ATHERTON PARK

3900 S. 1451 E.  
SALT LAKE CITY

TECHNI-GRAPHIC SERVICES INC.

64 E. WINCHESTER, STE215, MURRAY, UT 84107

TGSpokane@gmail.com

(801) 268-9249

COPYRIGHT © 2013  
Techni-Graphic Services, Inc.  
Salt Lake City, Utah

Reproduction of any portion of these drawings without the written consent of Techni-Graphic Services, Inc. is prohibited.

DATE:

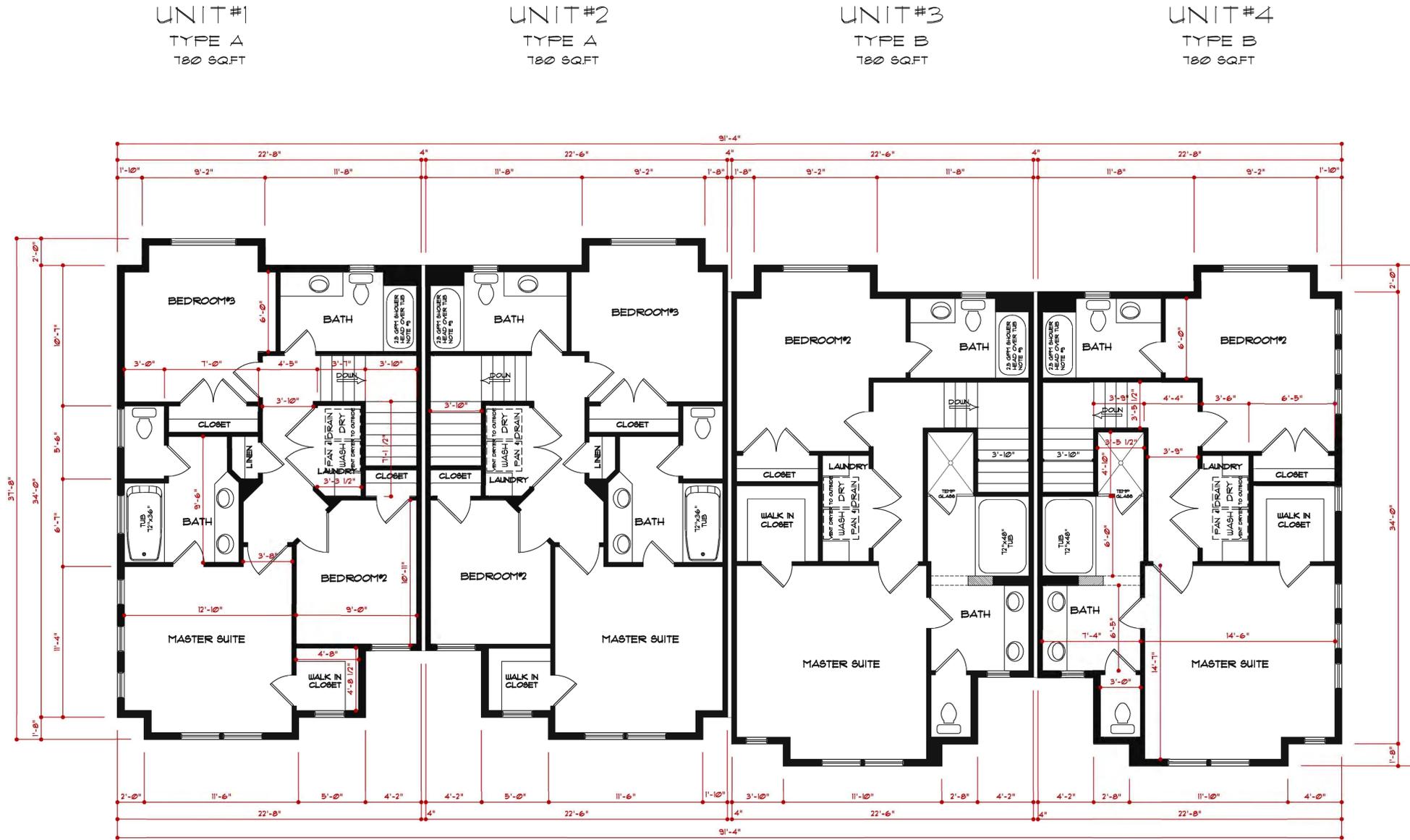
1/2014

REVISION DATE:

SHEET #

4 OF 5

BUILDING A  
UNITS 1-4



UPPER LEVEL FLOOR PLAN  
BUILDING A  
SCALE: 1/4" = 1'-0"

BUILDING A  
UNITS 1-4

SQUARE FOOTAGES			
UNIT #1	UNIT #2	UNIT #3	UNIT #4
LOWER LEVEL - 320 #			
MAIN LEVEL - 180 #			
UPPER LEVEL - 180 #			
<b>TOTAL SQFT = 1800 #</b>			
(GARAGE SQFT = 480)			

NOTE:  
CONTRACTOR AND ALL SUBCONTRACTORS BIDDING ON THIS PROJECT SHALL  
THOROUGHLY REVIEW AND VERIFY ALL DIMENSIONS, LOCATIONS, NOTES, ETC.  
AND ADDRESS ANY DISCREPANCIES OR CONCERNS WITH TECHNICAL  
SERVICES, INC. BEFORE CONSTRUCTION COMMENCES. DIMENSIONS ON PLAN  
TAKE PRECEDENCE OVER SCALE.

BUILDING A: UNITS 1-4

TECHNI-GRAPHIC SERVICES INC.

64 E. WINCHESTER, STE#215, MURRAY, UT 84101

TGSpokane@gmail.com  
(801) 268-9249

MICHAEL LOBB  
EVEREST BUILDERS

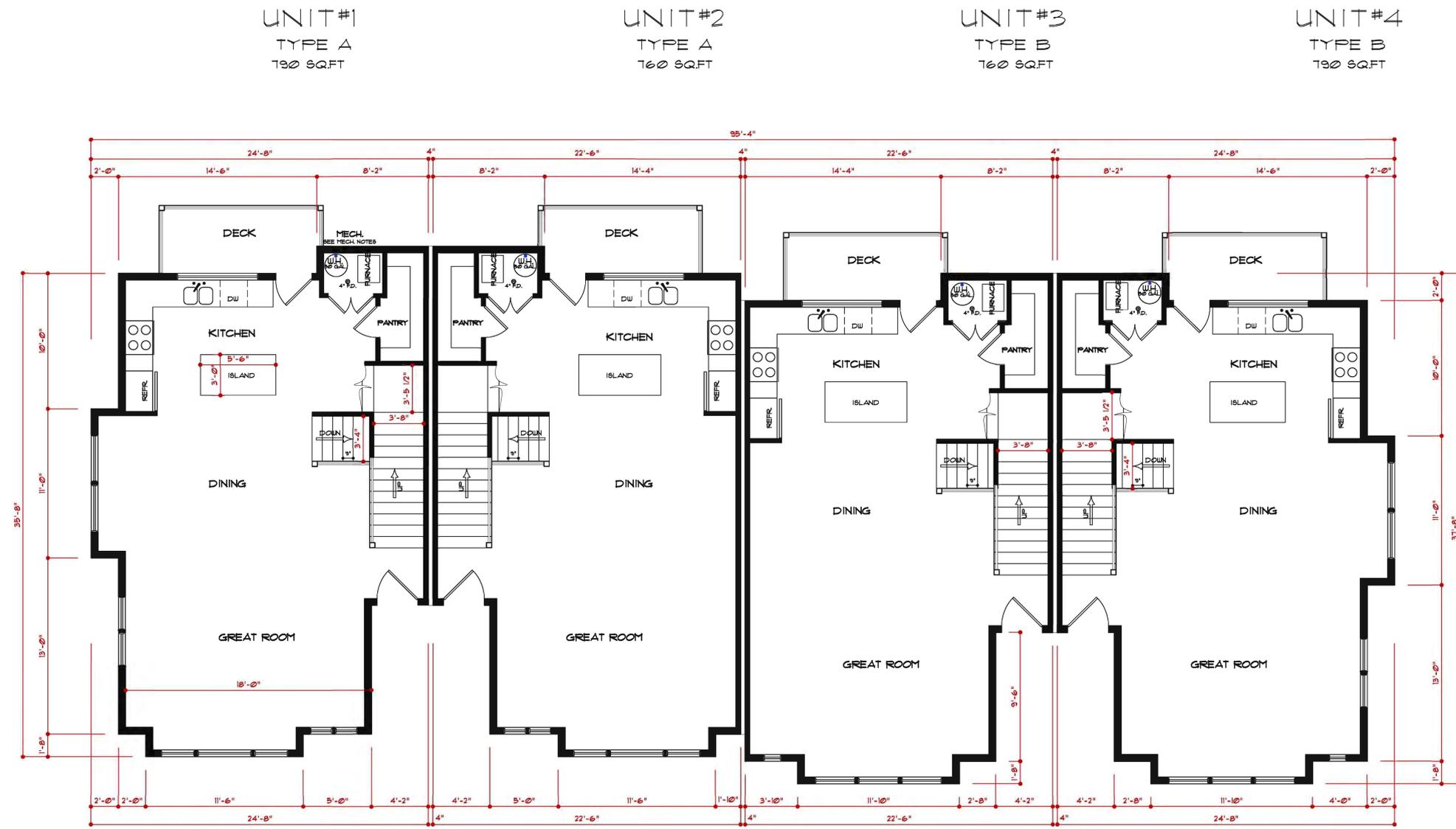
ATHERTON PARK  
3900 S. 1451 E.  
SALT LAKE CITY

COPYRIGHT © 2013  
Techni-Graphic Services, Inc.  
Salt Lake City, Utah

Reproduction of any portion of these  
plans without the written consent of  
Techni-Graphic Services, Inc. is  
prohibited. These drawings are to be  
used for the construction of the  
project only. No other use of these  
drawings is permitted.  
Techni-Graphic Services, Inc. is  
not responsible for any errors or  
omissions.

DATE:  
1/2014  
REVISION DATE:

SHEET #  
3 OF 5



MAIN LEVEL FLOOR PLAN  
BUILDING A  
SCALE: 1/4" = 1'-0"

BUILDING A  
UNITS 1-4

SQUARE FOOTAGES			
UNIT #1	UNIT #2	UNIT #3	UNIT #4
LOWER LEVEL - 320 #			
MAIN LEVEL - 160 #			
UPPER LEVEL - 160 #			
TOTAL SQFT = 1820 #			
(GARAGE SQFT = 480)			

NOTE:  
CONTRACTOR AND ALL SUBCONTRACTORS WORKING ON THIS PROJECT SHALL  
THOROUGHLY REVIEW AND VERIFY ALL DIMENSIONS, LOCATIONS, NOTES, ETC.  
AND ADDRESS ANY DISCREPANCIES OR CONCERNS WITH TECHNICAL SERVICES  
SERVICES, INC. BEFORE CONSTRUCTION COMMENCES. DIMENSIONS ON PLANS  
TAKE PRECEDENCE OVER SCALE.

BUILDING A: UNITS 1-4

MICHAEL LOBB  
EVEREST BUILDERS  
ATHERTON PARK  
3900 S. 1451 E.  
SALT LAKE CITY

TECHNI-GRAPHIC SERVICES INC.  
64 E. WINCHESTER, STE 215, MURRAY, UT 84107  
TGSpokane@gmail.com  
(801) 268-9249

COPYRIGHT © 2013  
Techni-Graphic Services, Inc.  
Salt Lake City, Utah  
Reproduction of any portion of these  
plans without the written consent of  
Techni-Graphic Services, Inc. is prohibited.

DATE:  
1/2014  
REVISION DATE:

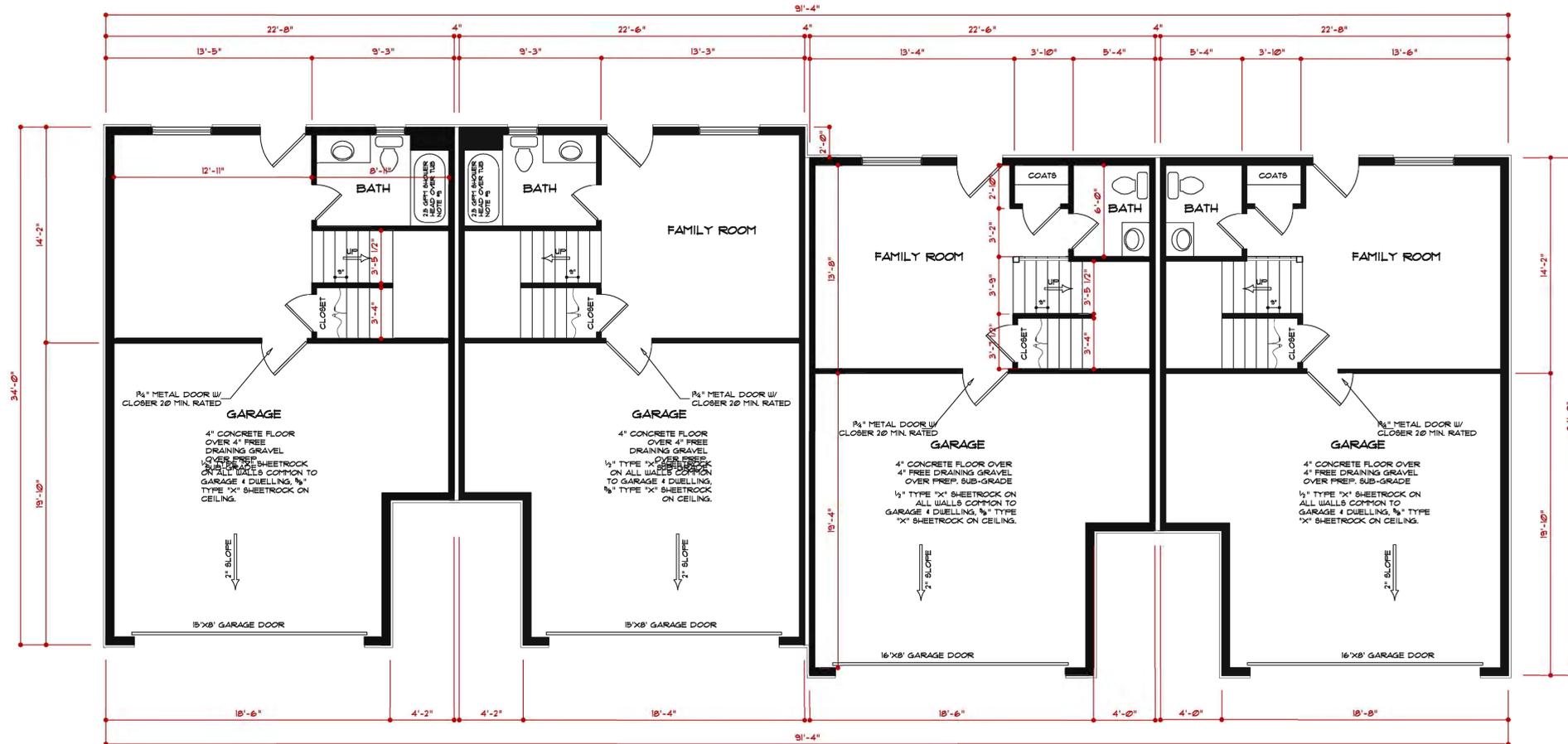
SHEET #  
2 OF 5

UNIT #1  
TYPE A  
320 SQFT  
(410 GARAGE SQFT)

UNIT #2  
TYPE A  
320 SQFT  
(410 GARAGE SQFT)

UNIT #3  
TYPE B  
320 SQFT  
(410 GARAGE SQFT)

UNIT #4  
TYPE B  
320 SQFT  
(410 GARAGE SQFT)



LOWER LEVEL FLOOR PLAN  
BUILDING A  
SCALE: 1/4"=1'-0"

BUILDING A  
UNITS 1-4

SQUARE FOOTAGES			
UNIT #1	UNIT #2	UNIT #3	UNIT #4
LOWER LEVEL - 320 #			
MAIN LEVEL - 780 #			
UPPER LEVEL - 180 #			
TOTAL SQFT = 1280 #			
(GARAGE SQFT = 410)			

NOTE:  
CONTRACTOR AND ALL SUBCONTRACTORS WORKING ON THIS PROJECT SHALL THOROUGHLY REVIEW AND VERIFY ALL DIMENSIONS, LOCATIONS, NOTES, ETC., AND ADDRESS ANY DISCREPANCIES OR CONCERNS WITH TECHNI-GRAPHIC SERVICES, INC. BEFORE COMMENCING CONSTRUCTION. DIMENSIONS ON PLANS TAKE PRECEDENCE OVER SCALE.

BUILDING A: UNITS 1-4

TECHNI-GRAPHIC SERVICES INC.

64 E. WINCHESTER, STE215, MURRAY, UT 84107

TGSpilane@gmail.com

(801) 268-9249

MICHAEL LOBB

EVEREST BUILDERS

ATHERTON PARK

3900 S. 1451 E.  
SALT LAKE CITY

COPYRIGHT © 2013  
Techni-Graphic Services, Inc.  
Salt Lake City, Utah

Reproduction of any portion of these drawings without the written consent of Techni-Graphic Services, Inc. is prohibited.

DATE:

1/2014

REVISION DATE:

SHEET #

1 OF 5



**MEETING MINUTE SUMMARY**  
**MILLCREEK TOWNSHIP PLANNING COMMISSION MEETING**

Wednesday, February 12, 2014 4:00 p.m.

**Approximate meeting length:** 3 hours 18 minutes

**Number of public in attendance:** 15

**Summary Prepared by:** Wendy Gurr

**Meeting Conducted by:** Commissioner Janson (Chair)

**\*NOTE:** Staff Reports referenced in this document can be found on the State and County websites, or from Salt Lake County Planning & Development Services.

**ATTENDANCE**

**Commissioners and Staff:**

Commissioners	Public Mtg	Business Mtg	Absent	Planning Staff / DA	Public Mtg	Business Mtg
John Janson – Chair	x	x		Lyle Gibson	x	x
Julia Tillou (Alternate)	x			Wendy Gurr	x	x
Tom Stephens	x	x		Max Johnson	x	x
Geralyn Parker-Perkins	x	x		Chris Preston (DA)	x	x
Ann Ober	x	x				
Andrew Gruber	x	x				
Jonny Jemming (Alternate)	x	x				
Shawn Lamar			x			
Pamela B. Juliano			x			

**OTHER BUSINESS ITEMS**

**Began at – 4:05 p.m.**

- 1) Township Services Introduction, Patrick Leary  
*Continued to the March 12<sup>th</sup> meeting, Patrick was unable to make it.*

*Commissioner Janson introduced new Planning Commissioners and asked they give their name and Occupation.*

*Commissioner Jemming resides in Canyon Rim by Valley Avenue for 10 years. He spent 2 ½ years in Alaska, worked in the Governor’s Office for 3 years. Prior to that he worked in the Attorney General’s Office and Environmental Planning for 12 years.*

*Commissioner Gruber is a resident of Canyon Rim, loves Millcreek and hopes to be working with his neighbors. He is a Lawyer by training and currently works for Wasatch Front Regional Council developing Long Range transportation and land use plans.*

*Commissioner Perkins recused herself from application #28270.*

**PUBLIC HEARINGS**

**Hearings began at – 4:10 p.m.**

## Rezone -

**28270** – Ms. Osborne & Mr. Fetzler are requesting approval of a Zone Change of the subject properties from the R-1-10 zone (Residential, Single-Family, 10,000 sq. ft. minimum lot size) and the R-2-10 zone (Residential, Two-Family, 10,000 sq. ft. minimum lot size) zones to the R-1-21 (Residential, Single-Family, 21,780 sq. ft. minimum lot size, w/agricultural animal rights) zone. **Location:** 2254 and 2257 East Alva Circle. **Community Council:** East Mill Creek. **Planner:** Lyle Gibson

*Staff Lyle Gibson presented the Staff report and analysis.*

*Commissioners and Staff had a brief discussion.*

### PUBLIC PORTION OF MEETING OPENED

**Speaker # 1:** Applicant

**Name:** Laurel Osborne

**Address:** 2254 East Alva Circle

**Comments:** Request for R-1-21 for .50 and .7 acre lots. Moved here in 1969 and has had critters regularly and usually as her neighbors contested. In 1969 when her family moved in, there were horses on the Southern property. She had them for many years and believed the land to be big and open. Since then, they acquired 1.25 acres. She has always had these animals and Salt Lake County can attest to this. Mr. Pimental and Mrs. Burns expressed opposition. Mr. Pimental is concerned about sanitation and this is a test to the fact this has not been an issue. The L piece of land she has only owned for 3 years and every step will be taken that this will not be an issue. Cleanliness has been and will continue to be an important factor. They've owned it for 3 years and recently asphalted a 20 foot stretch. They have let the far north duplex drive to their carport and do not anticipate changing it. They will have good fencing and good sanitation. They will not allow horses. Within her circle of familiarity and community, there are multiple pockets of family farms and multiple horse properties within a ½ mile to a mile from their property with 8 properties in which livestock is kept.

*Commissioners asked what type of animals she has on the property and what does she want to do differently than what she has done before. Ms. Osborne has had geese and goats, currently only chickens. Zoning allows for three types of animals. She wants to obtain a small cow and wants to do this legally and have zoning in line.*

*Commissioners had a brief discussion.*

**Speaker # 2:** East Millcreek Community Council

**Name:** Lee Ann Hansen

**Address:** 3507 Clarke Circle

**Comments:** She stated the main reason they approved the application last year and were advised by Planning and Development is they felt compelled to do so by state law and didn't have any options or able to place conditions. They appreciate her hard work, has created a community discussion with the ordinance and it does exist. Some have better buffer zones in clusters, and feel neighbors have an expectation living in the area, but see homes with some form of conformity and open this to their backyards. Ultimately denied by the Planning Commission a year ago, based on the fact that it was not consistent with the general plan. She asked the general plan be given some weight, not firm solid ground and make some decision variations. Vote was 5-4 recommending denial at the Community Council.

**Speaker # 3:** Citizen

**Name:** Gary Pimentel

**Address:** 2528 East Neffs Circle

**Comments:** He owns two properties affected by this. He share 375 feet of property line and it goes all the way around the top duplex. He rents them out and when there is a vacancy it takes a long time to fill. He lost \$1,400 in rent, because the duplex went empty for two. He feels long term tenants bring more stability, but the top duplex is

very close to the property line, according to the County Assessors. Twenty-seven feet from the kitchen window is near manure. His renter is a young mother with small children and he is afraid they will move out. He believes large farm animals are smelly. East Millcreek Community Council member Dave Carlson grew up near horse property and said it smells. When he bought his property, this was not his expectation and doesn't want it changed to something different. He has nine other properties boarding his property. Her chickens are not next to her dwelling, but near his fence. His units are cooled by swamp coolers, they blow stench into the house. East Millcreek Community Council recommends denial and he recommends denial.

*Commissioners and Staff had a brief discussion. Staff Max Johnson advised the East Millcreek Community Council General Plan was amended in 1999.*

**Speaker # 4:** Citizen

**Name:** Stephanie Cannon

**Address:** Not provided

**Comments:** She is a friend of Laurel and Wally. They've had three generations in the area since 1947. She has worked with Laurel on an expert capacity and consulted with her on cleanliness and safe. They take very good care of their property. She thinks it's petty, that Mr. Pimental is using her driveway and he won't speak up for her. She is talking about purchasing a pony size cow and shouldn't have much impact difference then the animals in the past. Water dumps into Millcreek in an irrigation ditch and farm animals use it as water. She has looked at property and it would be appropriate for one small cow. She thinks she has a good situation in her professional opinion.

**Speaker # 5:** Citizen

**Name:** Blake Keithley

**Address:** 3682 South 2175 East

**Comments:** A year ago Ms. Osborne didn't have any other recourse. A year ago this was a lot consolidation. She has the right to go to 32 feet. Historical use of this property in this area has been animal use. What we're granting is the right to conform under the new conditional use act under County ordinance. The property is for horses, even though horses aren't there now and are legal in the current zone. This just gives the applicant the right to apply. And neighbors have recourse through the board of health.

*Commissioners, Counsel and Staff had a brief discussion.*

### **PUBLIC PORTION OF MEETING CLOSED**

**Motion:** to deny application #28270 recommendation to the County Council for the following reasons as:

- 1) Is not consistent with Millcreek Township Planning Commission General Plan,
- 2) Concerns of introducing animals into the residential area, the potential of animals that would be allowed under the new zoning may impact neighbors with smell and sanitation issues, it may also adversely affect property values and is contrary to the general plan and expectation of being away from agricultural uses in a more urban and residential area.

**Motion by:** Commissioner Stephens

**2<sup>nd</sup> by:** Commissioner Tillou

**Vote:** Unanimous in favor (of commissioners present)

*Commissioner Perkins joined at 5:29pm.*

### **Subdivision -**

**28746** – Chip Hawkes is requesting approval of a standard 2 lot subdivision to be known as Hawkes Subdivision. **Location:** 3082 South Connor Street (2150 East). **Zone:** A-1/zc. **Community Council:** Canyon Rim. **Planner:** Lyle Gibson

*Staff Lyle Gibson presented the Staff report and analysis.*

## PUBLIC PORTION OF MEETING OPENED

**Speaker # 1: Applicant**

**Name:** Chip Hawkes

**Address:** 2049 East Glacier View Drive

**Comments:** He purchased the property in November 2013, with the intent to build a house on the western part of the property. He will rehabilitate the duplex and reside there while the new home is under construction.

*Commissioners had a question for Staff regarding duplex and parking.*

**Speaker # 2: Citizen**

**Name:** Steve Neff

**Address:** 2110 East 3300 South

**Comments:** He doesn't mind splitting the property and have new neighbors rehabilitating the property.

**Speaker # 3: Citizen**

**Name:** Gerald Olsen

**Address:** 3045 Connor

**Comments:** He doesn't have a problem, would love new neighbors and rebuild the area.

## PUBLIC PORTION OF MEETING CLOSED

*Commissioners had a brief discussion.*

**Motion:** to approve application #28746 as presented.

**Motion by:** Commissioner Ober

**2<sup>nd</sup> by:** Commissioner Stephens

**Vote:** unanimous in favor

### Exception Request –

**28750** – Chip Hawkes is requesting approval of an exception to the installation of curb, gutter, and sidewalk in connection with application #28746. **Location:** 3082 South Connor Street (2150 East). **Zone:** A-1/zc. **Community Council:** Canyon Rim. **Planner:** Lyle Gibson

*Staff Lyle Gibson presented the Staff report and analysis.*

*Commissioners and Staff had a brief discussion.*

## PUBLIC PORTION OF MEETING OPENED

**Speaker # 1: Applicant**

**Name:** Chip and Stephanie Hawkes

**Address:** 2049 East Glacier View Drive

**Comments:** Adjacent to their property is Mr. Neff's property. He sits on 1 ½ acre lot, with no sidewalk. There was a property built within the last year that has no sidewalk, just curb and gutter. He pointed out 3070 South is a private lane. There are no schools nearby. There is not any sidewalk North or West, they feel it would stick out with a requirement to have it. Mr. Neff has a chain link fence that goes right to the street. On 3070, West of Mr. Neff where sidewalk starts there is a side entry garage and there is no sidewalk. They drove through today and are in the process of rehabbing their home in Sandy. There is sidewalk on West side of the street only and when you turn West, there is sidewalk. There is nothing on the East side. They are attracted to the area and love the charm on the lane. On Claybourne and Atkin, between 2000 East, West of Melbourne, there is a school there with six new homes. Out of the six, three have sidewalk. If you had sidewalk, you're going to run into a fence. They dedicated a

portion of the property to the County. The right of way for 3070 is not established and they are adding property to street.

*Commissioners and Staff had a brief discussion.*

**Speaker # 2:** Citizen

**Name:** Steve Neff

**Address:** 2110 East 3300 South

**Comments:** His property has no sidewalk and doesn't plan to remodel. Having walked through the subdivision, putting a sidewalk in would go to waste and would not be used. The road gets hardly any traffic. He would agree with installing curb and gutter.

**Speaker # 3:** Citizen

**Name:** Blake Keithley

**Address:** 3682 South 2175 East

**Comments:** He spent 7 years canvassing the neighborhood. It would be nice to have a planned sidewalk. Seems to be unreasonable and it should be a county project, not the responsibility of the property owner.

**Speaker # 4:** Citizen

**Name:** Gerald Olsen

**Address:** 3045 Connor Street

**Comments:** He would like to address sidewalks on Connor. At 3050 Connor Street there is one section of sidewalk built. On Lambourne, the sidewalk was built out onto the street and he feels surveyors need to come out and address the property line for sidewalk. If they add curb and gutter to Lambourne, they won't have any room at all on the street. Sidewalk is on the North side and South side is curb and gutter.

*Staff Lyle Gibson provided comments from a phone call with a citizen.*

### **PUBLIC PORTION OF MEETING CLOSED**

*Commissioners and Staff had a brief discussion.*

**Motion:** to recommend to the Mayor's Office application #28750 approval of the exception request on Connor Street and denial of the exception request on 3070 South.

**Motion by:** Commissioner Stephens

**2<sup>nd</sup> by:** Commissioner Tillou

**Vote:** Commissioner Perkins and Commissioner Janson nay, all other commissioners in favor.

<b>Commissioner Name</b>	<b>For Motion</b>	<b>Against Motion</b>
John Janson		x
Julia Tillou	x	
Tom Stephens	x	
Geralyn Parker-Perkins		x
Ann Ober	x	
Andrew Gruber	x	
Jonny Jemming	x	

Commissioner Tillou excused herself.

### **Planned Unit Development (PUD) Subdivision -**

**28719** – Brian Pearson is requesting approval of a 6-lot Residential Planned Unit Development (PUD) to be known as the Millcreek Terrace PUD. **Location:** 4297 South and 4309 South on 700 East. **Zone:** R-1-5. **Community Council:** Millcreek. **Planner:** Lyle Gibson

*Staff Lyle Gibson presented the Staff report and analysis.*

*Commissioners and Staff had a brief discussion.*

### **PUBLIC PORTION OF MEETING OPENED**

**Speaker # 1:** Applicant representing Liberty Homes

**Name:** Brian Pearson

**Address:** Not provided

**Comments:** They created fire turnaround that hasn't been there previously. They decided to add a second hot lot and pavilion. They added a parcel, which is an additional open space. They met with Fire and the fire sprinklers that were added are more than adequate. They just completed an area for high back curb into a community similar to this. Lots 3-6 are close to amenities, so the sidewalk would be more of a deterrent. Lot 2 to be proposed will face East with garage entrance to the North. Driveway comes in from the north. They did a lot of daybreak buildings. Setbacks, because of height restrictions, they would try and get as many single story, but were forced to do double story with square foot restrictions. They are asking Council for 5 foot setback, though accommodating option b with RCOZ. They provided a copy of a Geotechnical report. They understand they will have to mitigate against that. They are raising the ground for height issues. It needs to be 5 to 7 feet above the required 3 feet.

*Commissioners had questions for applicant regarding HOA, Sidewalk on 700 East and grading. Will install an attractive wall and what are the pros and cons, and graffiti? Mr. Pearson advised HOA should maintain 700 East. Snow plows create a mess, but they don't know how that would be maintained. 700 East should have sidewalk, main park strip should be concrete to have a wider sidewalk. They met residents touching on the lots and they were very positive. They are looking for a wall to have safety to seal in the area for children. They will look into a product for anti-graffiti.*

### **PUBLIC PORTION OF MEETING CLOSED**

*Commissioners had a brief discussion.*

**Motion:** to approve application #28719 as proposed strike #4, add with no exception to RCOZ ordinance and anti-graffiti measures must be added.

**Motion by:** Commissioner Stephens

**2<sup>nd</sup> by:** Commissioner Jemming

**Vote:** unanimous in favor (of commissioners present)

### **BUSINESS MEETING**

**Meeting began at – 7:10 p.m.**

3) Approval of Minutes from the January 15, 2014 meeting.

**Motion:** to approve minutes from the January 15, 2014 meeting as presented.

**Motion by:** Commissioner Ober

**2<sup>nd</sup> by:** Commissioner Stephens

**Vote:** unanimous in favor (of commissioners present)

4) Collection of completed documents

*Commissioners agreed to have them completed and turned in by the end of February.*

5) Election of Chair and Vice Chair for 2014

*Appointment of Chair:*

- Nomination **for:** John Janson

**Motion by:** Commissioner Stephens

**2<sup>nd</sup> by:** Commissioner Ober

**Vote:** unanimous in favor (of commissioners present). Commissioner Janson accepted the position.

*Appointment of Vice-Chair:*

- Nomination **for:** Tom Stephens

**Motion by:** Commissioner Gruber

**2<sup>nd</sup> by:** Commissioner Perkins

**Vote:** unanimous in favor (of commissioners present). Commissioner Stephens accepted the position.

6) Other Business Items (as needed)

*Commissioner Janson had met last week regarding a sidewalk outline that needs to be discussed and has come pretty far. He hopes Staff assignments will be made. He hopes this would be done in the next month. Staff Max, advised this has nothing to do with cost.*

*Commissioner Stephens asked to add the accuracy of a PUD, definition and requirements to the March Agenda. He asked Commissioners to bring other ordinances that reference PUD's and any possible language changes. He is not sure what Millcreek expects. He recommends to County Council to have the ordinance amended.*

*Commissioner Gruber and Commissioner Ober will not be here for the March meeting.*

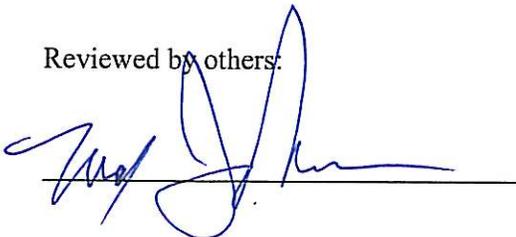
**MEETING ADJOURNED**

**Time Adjourned – 7:23 p.m.**

Minutes reviewed by:

  
\_\_\_\_\_ 2/27/14

Reviewed by others:

  
\_\_\_\_\_ 2-27-14