

PLANNING COMMISSION

City of Holladay

February 21, 2023

City Council Chambers – 4580 S. 2300 E. Holladay



City of Holladay

This public meeting will be held in-person and also transmitted via live video stream on the [City of Holladay webpage](#).

Participation in a *public hearing* portion of this meeting can be accomplished in either of the following ways:

- During the meeting: address the Commission when the item is called by the Commission Chair
- Email: comments must be received by 9:00 am on **02/21/2023** to the Community and Economic Development Department; cmarsh@cityofholladay.com. Emailed comments will be read by the Commission Chair.

MEETING AGENDA

5:30 PM WORK SESSION – The Commission may discuss any or all agenda items. No decisions or voting to occur.

6:00 PM CONVENE REGULAR MEETING – Public Welcome & Chair Opening Statement

PLANNING COMMISSION TRAINING – Required training session conducted by the City's Attorney's office

PUBLIC HEARING

1. “Dancing Crickets Flower Farm” – Application for Conditional Use – 1959 LONGVIEW DR. (R-1 15 Zone)

Review and consideration of a request by Maylene White for a Conditional Permit allowing the use of .15 acres of the property for agricultural use with an associated Home Occupation which would involve customers coming to/from the property. Item reviewed as an administrative application as per provisions stated in Holladay Ordinance §13.14.030 & 13.08.040 13.14.030 & 13.08.040

File #23-2-01

ACTION ITEMS

2. “Highland Park” PUD – Final Plat – 4880 S HIGHLAND CIR (R-M Zone)

Final review and consideration of submittals by Applicant, Alec Moffit, of a final plat of the Highland Park PUD, a .74 acre site containing 11 units within the R-M Zone. Review conducted according to Final site and building approvals (Conceptual:10/4/22, Preliminary: 1/10/23) and development standards of the Residential Multi-family zone §13.32 and §13.08.080 of the City of Holladay code.

File #22-1-11

3. “Millwood Estates” Townhomes – Conceptual Plan – 4600 S HOLLADAY BLVD (HV Zone)

Conceptual/preliminary level review and consideration of a residential development proposal by Property Owner, Marlyn Miller for 6 duplex townhomes within the Holladay Village Zone. Item to be reviewed as an administrative action of a permitted land use. Review to include; amenities and site layout details as per procedures and development standards of the Holladay Village zone §13.71, and §13.08.080 of the Holladay code.

File #18-9-02-1

4. Approval of Minutes – 11/15/2022, 1/10/2023

PLANNING COMMISSION TRAINING

5. Required Training for Planning Commission Members – Conducted by the City Attorney's office.

ADJOURN

CERTIFICATE OF POSTING

I, Stephanie N. Carlson, the City Recorder of the City of Holladay, certify that the above agenda notice was posted on the City of Holladay bulletin board, the City website www.cityofholladay.com, the Utah Public Notice website www.utah.gov/pmn, and was emailed to the Salt Lake Tribune and Desert News and others who have indicated interest.

DATE POSTED: [DAY, MONTH DATE, 2022 @ TIME AM/PM]

*Stephanie N. Carlson MMC, City Recorder
City of Holladay*

Reasonable accommodations for individuals with disabilities or those in need of language interpretation service can be provided upon request. For assistance, please call the City Recorder's office at 272-9450 at least three days in advance. TTY/TDD number is (801)270-2425 or call Relay Utah at #7-1-1



FILE#

DANCING CRICKETS FLOWER FARM - CONDITIONAL USE

ADDRESS:

DECISION TYPE:

LEGAL DESCRIPTION:

APPLICANT/REPRESENTATIVE:

SITE VICINITY MAP

PROPERTY OWNER:

ZONING:

GENERAL PLAN DISTRICT:

CITY COUNCIL DISTRICT:

PUBLIC NOTICE DETAILS:

REQUEST:

APPLICABLE REGULATIONS:

EXHIBITS:

Notes:

STAFF:



Request: **CONDITIONAL USE – HOME OCCUPATION**
Project: Dancing Crickets Flower Farm
Address: 1959 Longview Dr.
Zone: R-1-10
Applicant: Maylene White
File No: 23-2-01
Notice: Mailed to properties within 500' on 2/10/2023
Planner: Carrie Marsh

GOVERNING ORDINANCES:	13.03.020	CONDITIONAL USE- SUBMITTAL REQUIREMENTS
	13.08.040	CONDITIONAL USE PERMIT REVIEW/APPROVAL STANDARDS
	13.76.730	HOME OCCUPATION
	13.100	ALLOWED LAND USES BY ZONE

EXCECUTIVE SUMMARY

The City of Holladay conditionally allows the use of an individual's dwelling for business purposes when the business use is incidental and secondary to the use of the dwelling for dwelling purposes.

Ms. White is seeking a Conditional Use Permit to conduct business which involves customers coming to the dwelling to purchase commodities produced on the premises by appointment. Home occupation allows for the production of goods on the property and requires that the sale of those goods involve the use of the main building, not an accessory building or yard space. The site plan shows a second driveway/parking area. Chapter 14.12.110B restricts a single-family dwelling from having a second driveway approach unless a circular driveway approach is utilized. A permit would be required to add the second approach and circular connection.

APPLICANT / PROPERTY SUMMARY

Applicant Maylene White owns property at 1959 Longview Dr., in a single-family residential zone (R-1-10). Agricultural use is a permitted use of the property. The applicant seeks to sell fresh flowers to the local community at farmers markets and specialty stores, for special events, and through a weekly bouquet subscription. The applicant has applied for a conditional use to allow for customers to purchase bouquet subscriptions at the home. Other flower sales (farmers markets and special events) will not take place at the home. The purchase of floral bouquets will not be open to the public and requires an appointment to pick up bouquet shares.

TECHNICAL REVIEW COMMITTEE ASSESSMENT

The TRC has reviewed the application in accordance with regulating section 13.08.040 (Conditional Use Permit Review/Approval Standards) and 13.76.730 (Home Occupation) of the ordinance and found that the application has met the required provisions.

TRC RECOMMENDATIONS

The TRC recommends the commission consider the applicant's oral presentation as well as any public comments (written or oral) while considering this conditional use permit request.

Staff recommends approval of this item with the following findings and conditions:

Findings:

1. Land use and home occupation requirements as proposed are in compliance with existing city ordinances
2. The conditional use as proposed meets approval standards as outlined in Chapter 13.08.040

Conditions:

1. The addition of a second driveway approach requires a circular connection and a building permit.
2. Accommodate peak traffic to the site without impairing the use and enjoyment of adjacent properties
3. Provide an internal circulation system to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic.

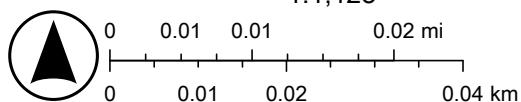
4. Restrict hours of operation to mitigate noise, light, odor, or other nuisances that unreasonably impair the use and enjoyment of adjacent properties.
5. Obtain a Holladay business license
6. Conditions or complaints found to be in violation of set standards will require re-review by the planning commission or possible revocation of this permit as determined by the Community Development Director

1959 Longview



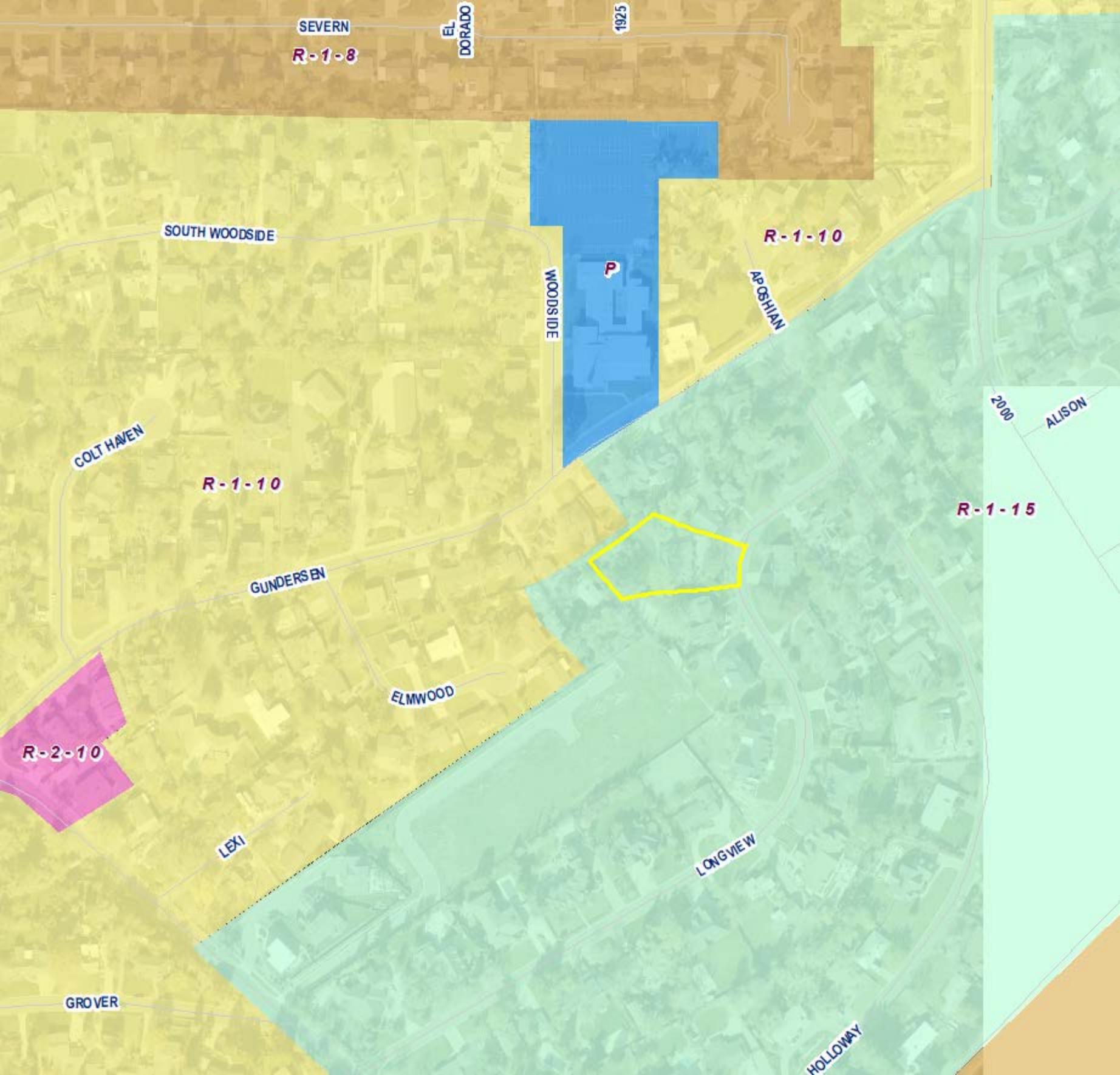
2/16/2023

1:1,128



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City of Holladay





City of Holladay

COMMUNITY ECONOMIC DEVELOPMENT DEPARTMENT

4580 S 2300 E, Holladay, Utah 84117

Phone: 801-527-3890

GENERAL LAND USE/DEVELOPMENT APPLICATION

Name of Proposed Project: **Dancing Cricket Flower Farm**

Address of Project: **1959 Longview Dr. Holladay, UT 84124**

TYPE OF REQUEST: (mark all that apply)

ADMINISTRATIVE PROCEDURES APPLY (ORD. 13.08)		LEGISLATIVE PROCEDURES APPLY (ORD. 13.07)	
<input type="checkbox"/>	SITE PLAN (<input type="checkbox"/>) PERMITTED of (<input type="checkbox"/>) CONDITIONAL	<input type="checkbox"/>	REZONE OF PROPERTY
<input type="checkbox"/>	SUBDIVISION PLAT	<input type="checkbox"/>	GENERAL PLAN AMENDMENT
<input type="checkbox"/>	CONDOMINIUM PLAT	<input type="checkbox"/>	CODE AMENDMENT
<input checked="" type="checkbox"/>	CONDITIONAL USE PERMIT	<input type="checkbox"/>	PUBLIC STREET: NAME CHANGE, VACATION / CLOSURE or DESIGNATION
<input type="checkbox"/>	SPECIAL EXCEPTION	<input type="checkbox"/>	HISTORIC SITE DESIGNATION
<input type="checkbox"/>	NON-CONFORMING USE DECLARATION	<input type="checkbox"/>	DEVELOPMENT AGREEMENT AMENDMENT
<input type="checkbox"/>	OTHER:	<input type="checkbox"/>	ANNEXATION

Applicant Name: (Please Print)

T. Maylene White

Property Owners Name: (Please Print) ****ATTACH SIGNED "OWNER AFFIDAVIT"****

T. Maylene White

Applicant's Mailing:

Address: **1959 Longview Drive**

City: **Holladay**

State: **UT**

Zip: **84124**

Applicant Phone:

8012435958

Applicant's Email Address:

maylene@dancingcricketflowerfarm.com

Main Contact Person (Please Print):

Name: **Maylene White**

Phone: **8012435958**

email: **maylenew@netscape.net**

Brief summary of proposal / request:

We are repurposing a portion of our backyard lawn to grow fresh flowers for local businesses, subscription bouquets and interested local parties. The property will

only be open to the public by appointment only, primarily for flower pick-up, so there will be few additional visitors to our actual property on a daily basis.

FILING FEES: (ORD 3.35)

SITE PLAN REVIEW	\$600.00
SITE PLAN AMENDMENT	\$250.00
SUBDIVISION: <i>Final = 6% of the cost of improvements</i>	\$2,000.00 + \$100.00/lot
CONDOMINIUM	\$1,000.00 + \$100.00/unit
CONDITIONAL USE PERMIT - COMMERCIAL	\$1,000.00 + \$35.00/acre
CONDITIONAL USE PERMIT - RESIDENTIAL	\$900.00 + \$50.00/unit
CONDITIONAL USE PERMIT - HOME BUSINESS	\$100.00 <input checked="" type="checkbox"/>
CONVERSION TO CONDOMINIUM	\$50.00/unit
SPECIAL EXCEPTION	\$600.00
SUBDIVISION AMENDMENT	\$500.00

<u>OFFICE USE ONLY</u>	
FILE NUMBER	_____
PARCEL NUMBER	_____
GENERAL PLAN:	_____
ZONE:	_____ ACREAGE:
PC ACTION:	_____ DATE:
CC ACTION:	_____ DATE:
FILE DATE:	_____

FINAL TOTAL DUE: **100.00**

NEXT STEPS:

1. To be considered COMPLETE, this form must be accompanied by all applicable "project tracking" checklist(s)/submittals or it will not be accepted.
2. Complete applications must be submitted 3 weeks prior to the desired Planning Commission date
3. Applications are reviewed every Tuesday by the Holladay TRC. You will be notified of any deficiencies, decisions and/or meetings dates at that time
4. Your Attendance at the Planning Commission and/or City Council meetings is required by the applicant or a representative of the applicant.



Thank you for considering my request for a conditional use permit for Dancing Cricket Flower Farm, a small business in Holladay that:

- Is disabled woman owned
- Is a true micro farm (.15 acre of our property)
- Is local with local customers
- Replaces lawn with a water-wise use
- Has minimal traffic impact
- Enhances our unique community

People love the idea of buying local and supporting local. Community Supported Agriculture (CSA) as a model has been around for almost 40 years. In the last 10 years this model has taken off in the flower industry. I mean, who doesn't love fresh flowers? Traditionally, 80% of the cut flowers sold in the United States are imported from other countries. Nationally, there has been a growing movement to get away from this model, and get back to buying and supporting local farmers. In Utah, the emergence of flower farms has grown exponentially in the last few years. These farms vary in size. However, most of these farms tend to be outside Salt Lake County; and those few within the County are mostly in the southwest quadrant.

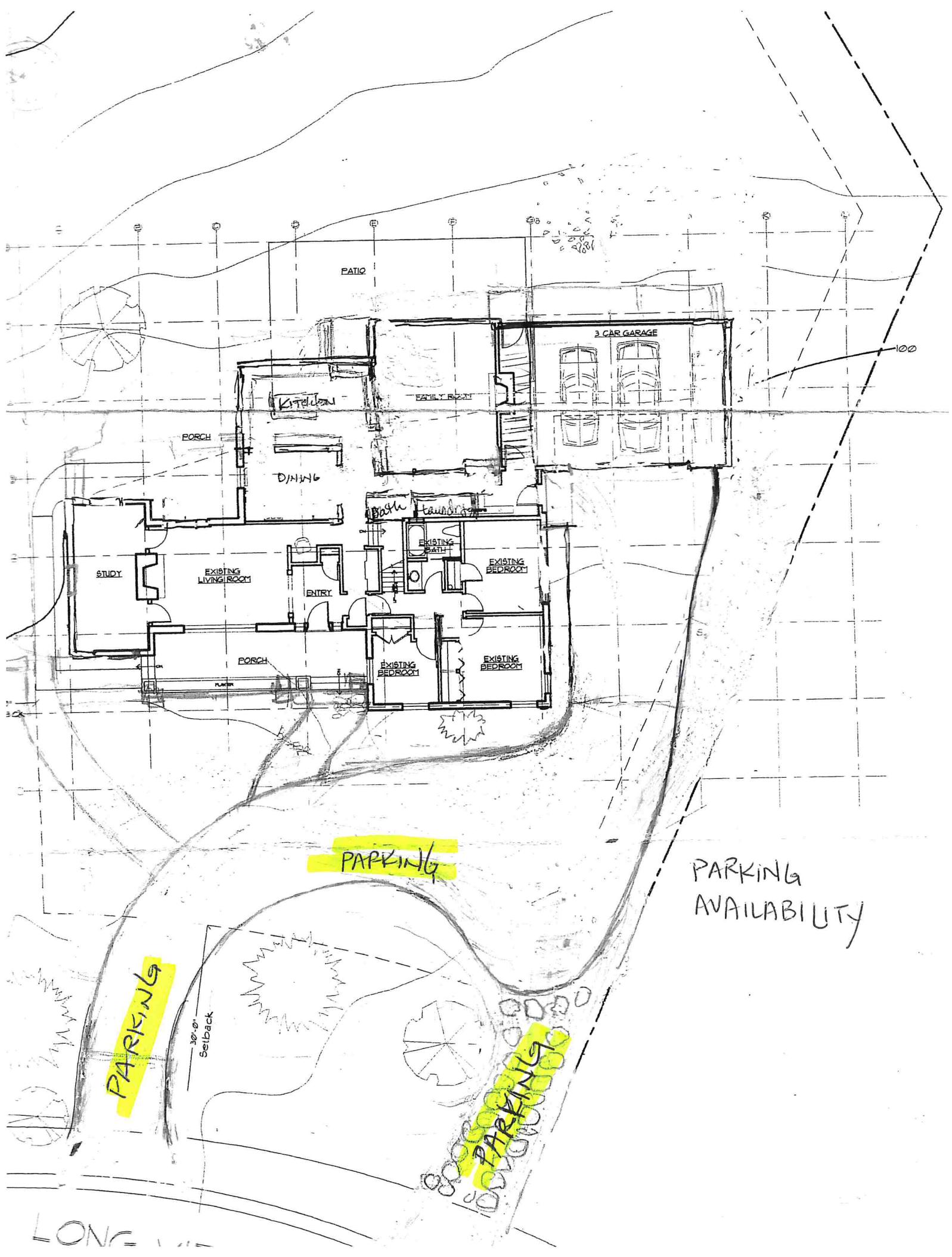
I desire to provide locally grown, specialty cut flowers using sustainable practices. We are lucky enough to have a large piece of property right in Holladay and I would like repurpose part of our back lawn to farm it seasonally for cut flowers that can be sold within our community. Why buy local? You know the flowers are fresh. And they are acclimated to Utah's climate, so they have a longer vase life. You know the flowers are produced using responsible farming methods. They even smell better because they aren't bred for long-distance travel, just their beauty. And with locally grown flowers, the carbon footprint is smaller and uses less water than a grass lawn. Plus, flowers make everybody feel better!

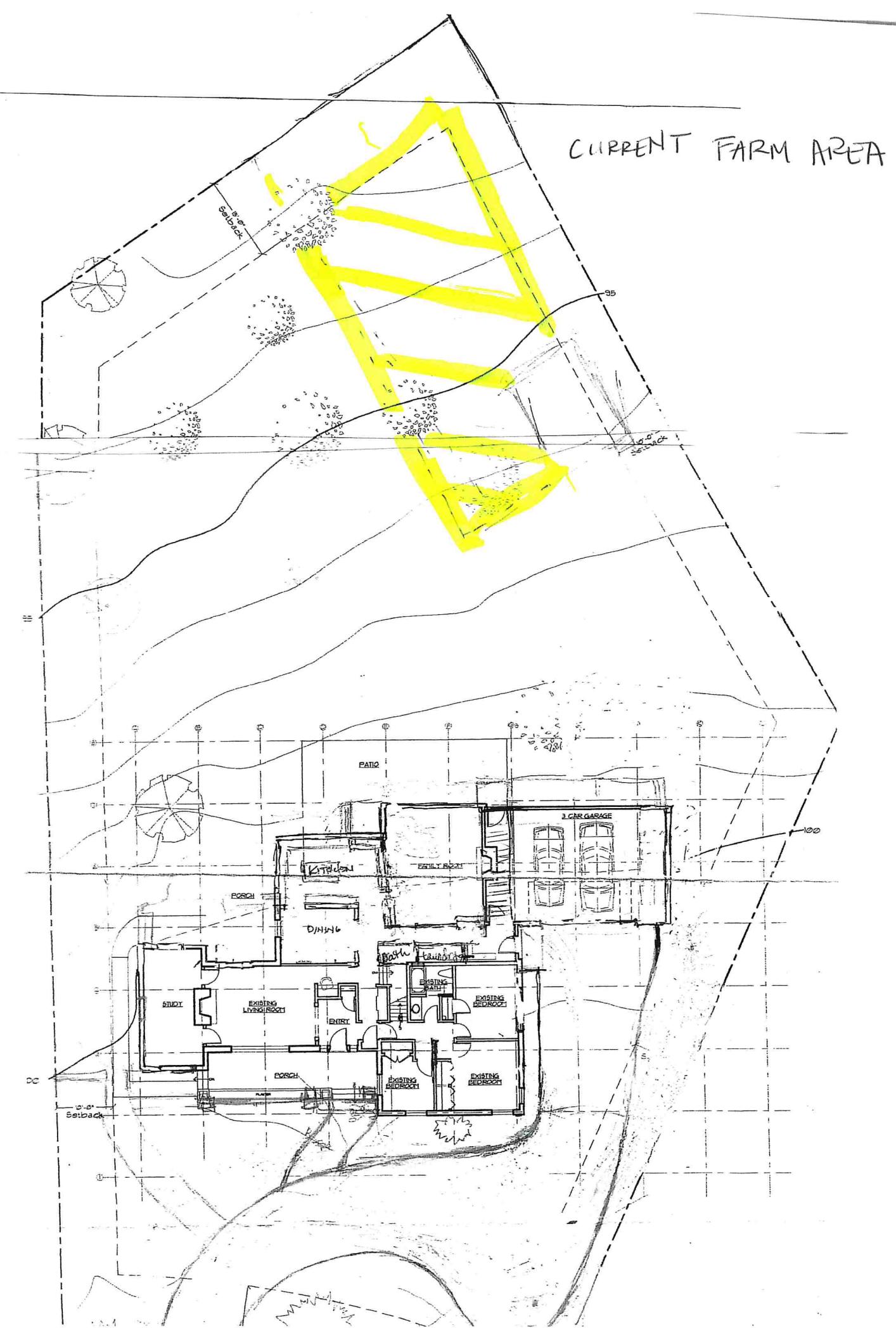
Dancing Cricket Flower Farm aims to provide specialty cut fresh flowers within our community through a few different avenues. The first being bouquet subscriptions. Clients have the opportunity to buy shares and receive fresh flowers on a weekly basis. Dancing Cricket will also be offering flowers at farmer's markets and specialty stores locally. "Flower bars" are also offered. Dancing Cricket will bring buckets of blooms for your event in which your guests can make their own bouquets. Dancing Cricket is not a florist, but rather, local florists should feel encouraged to buy focal flowers directly from the farm for their use.

Concerning the conditional use permit—The farm is closed to the public, except by appointment only. This will be mostly for picking up the bouquet share flowers. Customers can park in the driveway—there is ample space in our horseshoe driveway. No clients are allowed in the home.

A little bit about me—I have lived in Holladay since 1992 and we raised our family here. I recently retired from teaching in the dance department at UVU, after 27 years in higher education. I've always been a gardener, so this venture is a labor of love. I volunteer with the USU Extension Master Gardener program, mostly with their cut flower trial garden at Wheeler Farm. I'm a member of the Utah Cut Flower Association, Utah Dahlia Society and the Utah and American Rose Societies. I love flowers (if you drive by my home in the summertime, it's pretty obvious)!

I'm excited to share with you more about my plans. As I've mentioned this idea to neighbors and friends (some of whom are local business owners), their excitement and enthusiasm to participate in some way has been amazing. They're as eager to get locally produced, fresh-cut flowers as I am to grow them. Thank you for your time and consideration. I'd love to welcome you to Dancing Cricket Flower Farm one day in the near future.







Neighbors who received a notification letter (Meeting date Feb 9 @ 6:30 p.m.)

Erma Todd
Matt Durham
Mary Margaret Pingree
Gary and Leisa Groscost
Mike and Mary Malmquist
Mike and Jenn Pingree
Todd and Rachel Thurgood
Drew and Rachel Rigby
Dotty Karras
Doug and Julie Christison
Tim and Paula Barney
Lois Sager
Carol Zimmerman
Will and Amy Wilson
Dick and Vicki Warner
Bob and Tammy Whiting
Mary Louise Wilson
Stephen and Barbara Stathis
Ron and Sharon Knowlton
Nicholas Parsons
Kirk and Kris Gundersen
John and Betty Gundersen
Brian and Tara Rosander
Gus Schultz
Suzanne Rankin
Michelle Merrill
Bob and Michaeleen Hill
Clark Bartley
Brandon and Jennifer Nelson
Christian and Rebecca Bell
James and Tashina Foster
Ryan and Meredith Shatzer
Ray Adamson
Susan Funk
Scott and Cynthia Young
Bonnie Weber
Howard and Anne Lowe
Dennis and Julia Hogan (deceased)
Jannie Spader



FILE# 22-1-11

"HIGHLAND PARK" - RES. REDEVELOPMENT

ADDRESS:

4881 South Highland Cir

LEGAL DESCRIPTION: 22-09-254-004

COM S 46°32'20" W 228.28 FT; N 1°32'20" E 100.8 FT; N 56°02' W 720.4 FT; N 57°55' W 518.3 FT; N 38°43' W 518.1 FT; N 24° 37' W 44.67 FT; S 86°39' W 35.41 FT FR SE COR OF NE 1/4 OF SEC 9, T 2S, R 1E, S L M; S 86°39' W 123.86 FT; S 89°21' W 110.43 FT; N 3° W 6.5 FT; N 89°05' W 122.26 FT; N 5°24' W 80.3 FT; N 85°58' E 7.3 FT, M OR L; N 3°27' W 9.86 FT; N 88° 31' E 63.07 FT; N 83°11' E 28.25 FT; N 86°16' E 235.14 FT, M OR L; +

APPLICANT/REPRESENTATIVE:

Sequoia Development, Alec Moffat

PROPERTY OWNER:

GAS&JFSRT, TRUST

ZONING:

RM

GENERAL PLAN DISTRICT:

Medium Density Residential-Stable (MDR-S)

CITY COUNCIL DISTRICT:

District #3

PUBLIC NOTICE DETAILS:

Not Required

REQUEST:

Site Plan Review- PRELIMINARY

APPLICABLE REGULATIONS:

13.08
13.78
13.32.040
General Plan - HDMP Seg B

EXHIBITS:

Zone map
Staff Report
Applicant Narrative
Applicant supporting doc.

DECISION TYPE:

Administrative:

PC shall make a motion of either, denial, approval or to continue. All motions require findings which support the decision. As directed by ordinance, applications shall be approved if the Land Use Authority finds Substantial Evidence of compliance with applicable requirements. Holladay Ord. 13.06.050.B2 and 13.08

SITE VICINITY MAP



Notes:

STAFF:

Carrie Marsh, City Planner



CITY OF HOLLADAY
Planning Commission
February 21, 2023
Item #2

Request: **RESIDENTIAL SUBDIVISION – PLANNED UNIT DEVELOPMENT - FINAL**
Project: Highland Park Subdivision
Address: 4880 S Highland Circle
Zone: R-M
Applicant: Sequoia Development Inc.
File No: 22-1-11
Notice: N/A – Public Hearing held for Concept Subdivision 10/4/2022
Staff: Carrie Marsh

GOVERNING ORDINANCES:	13.08.010E	FINAL REVIEW & APPROVAL STANDARDS
	13.78	PLANNED UNIT DEVELOPMENT
	13.10.050C	SUBDIVISIONS SUBMISSION REQUIREMENTS – FINAL
	13.32	R-M MULTIPLE FAMILY RESIDENTIAL ZONES

REQUIRED PLANNING COMMISSION ACTION: *Administrative*

Creation of a subdivision plat for new lots of record requires Administrative review and approval by the Land Use Authority (Planning Commission) in a three-step process; Concept, Preliminary and Final plat. Decisions to approve or continue a preliminary plat submittal must be during public meeting.

October 4th 2022, Concept Subdivision approval
January 10th 2023, Preliminary Subdivision approval

SUMMARY

- Applicant has submitted Final subdivision details for three three-unit townhomes and one two-unit townhome on .74 acres (32,234.4 square feet) of land. The development is to be accessed by a shared, 20' wide private drive and complies with unit density limits in the R-M zone.
- Public hearing held on October 4th, no comments received
- The existing historical home will be demolished as it was not feasible to relocate it.
- Subdivision layout complies with the Planned Unit Development approval granted on October 4th; requesting flexibility in building setbacks and lot sizes in order to maximize open space on the site.

TECHNICAL REVIEW COMMITTEE ANALYSIS

The TRC has reviewed the supplied final development drawings for compliance with plat formatting and finalized development standards for multiple unit development in the R-M zone.

- PRELIMINARY PLAN / PUD COMPLIANCE: (minimum zone standards; land use, parking etc.)
 - ✓ Verification of utility connection serve letters (required element conceptual approval)
- FINALIZED SITE DEVELOPMENT: all elements as required by Holladay Ord 13.10.050C
 - ✓ Utility design and connection locations
 - ✓ Widened approach area at the common driveway
 - ✓ Storm water/erosion control plans
 - ✓ Inclusion of Storm Water Protection Plans SWPP
 - ✓ Dust mitigation plan during construction and demolition
 - ✓ UFA approval
- FINAL PLAT/OWNERSHIP
 - ✓ Preparation of Residential Plat as a recordable instrument in accordance with State of Utah formatting standards

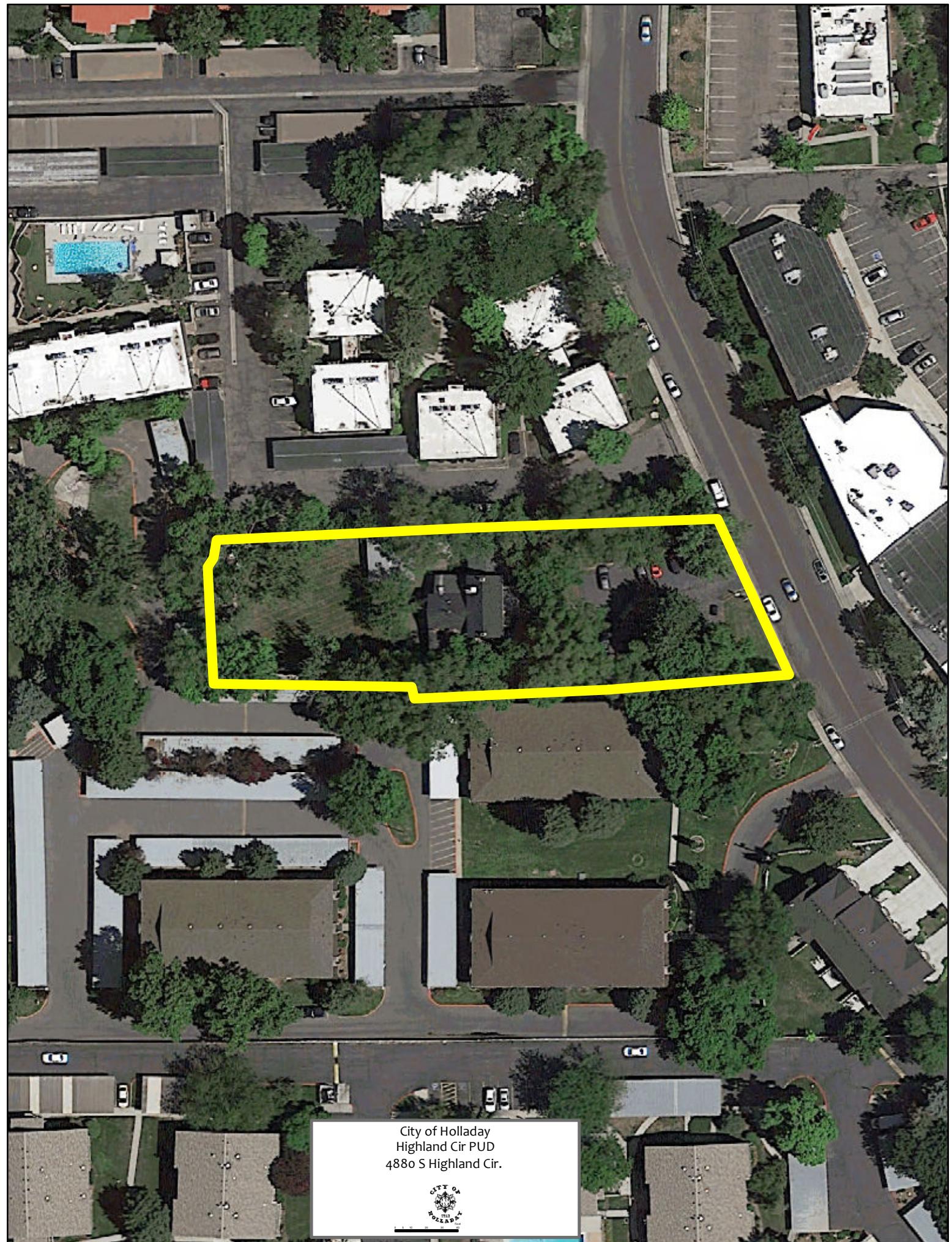
RECOMMENDATION

The TRC has verified that all required *Final* level elements of a residential subdivision proposal have been reviewed and determined to be substantially complete as per the City's submission requirements. If elements of the PUD plan have been modified during this meeting – a revision to the Plat may be necessary, but not recommended to accurately reflect the PC approval details. In which case a motion to continue is recommended.

Should the PC approve the PUD, the TRC recommends approval of the **FINAL SUBDIVISION PLAT** with the following suggested findings and conditions;

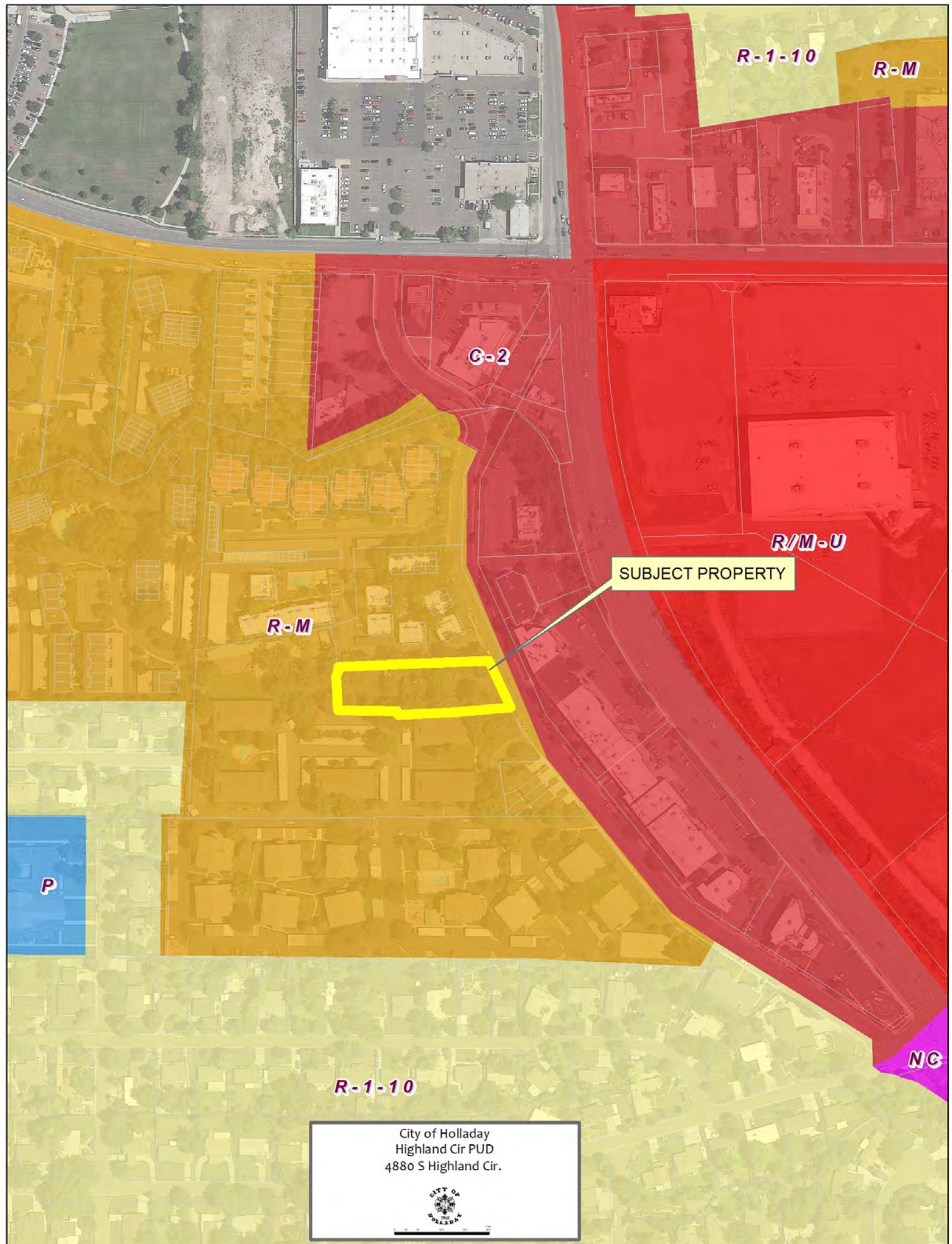
*"I _____ motion for approval of the Final Plat for "**Highland Park**", a residential Planned Unit Development subdivision in the R-M zone located at 4880 S Highland Circle, finding that the proposal;*

- 1. Complies with Preliminary plan approved January 10, 2023*
- 2. PUD elements are found to be incorporated on the approved drawings.*
- 3. Construction elements and details are found to be acceptable by various divisions and the Technical Review Committee*
- 4. The development complies with the underlying zone and General Plan*
- 5. Plat is found to be formatted in compliance with City of Holladay and State of Utah regulations.*



City of Holladay
Highland Cir PUD
4880 S Highland Cir.







Dear City of Holladay Representative,

We are proposing a subdivision of 11 homes located at 4880 S. Highland Circle, Holladay, UT 84117. This narrative is for the purpose of detailing our construction plan.

Upon Plat and Site Plan Final Approval, we will start Demo and the civil work. Approximately February 15th for demo and civil work March 1st.

Upon Building Permit Approval, we will start the basement dig simultaneous with the civil work if the timeline overlaps.

All footings and foundations will then be poured end of April.

We will start construction of the duplex along Highland Circle and a larger unit triplex in the back of our development. Once we have traction on sales or interest in the project, we will start construction of all other buildings working from the back of the project to the front towards Highland Circle.

Once homes are built, we will install curb, gutter and flatwork for the site.

We will then asphalt right at the end for C of O. Vertical construction estimated to be complete by end of 2023.

If there are any questions or concerns, please contact a member of our team.

Sincerely,

Alec

A handwritten signature in black ink that reads "Alec Moffitt".

Alec Moffitt

Sequoia Development, Inc.

(w) 801-944-4469

(c) 801-830-7560

(f) 801-944-4947

alec@sequoiadevelopment.com



November 22, 2022

Alec Moffitt
Sequoia Development, Inc.
9055 South 1300 East #104,
Sandy, Utah 84094

RE: Tree Canopy 4880 South Highland Circle

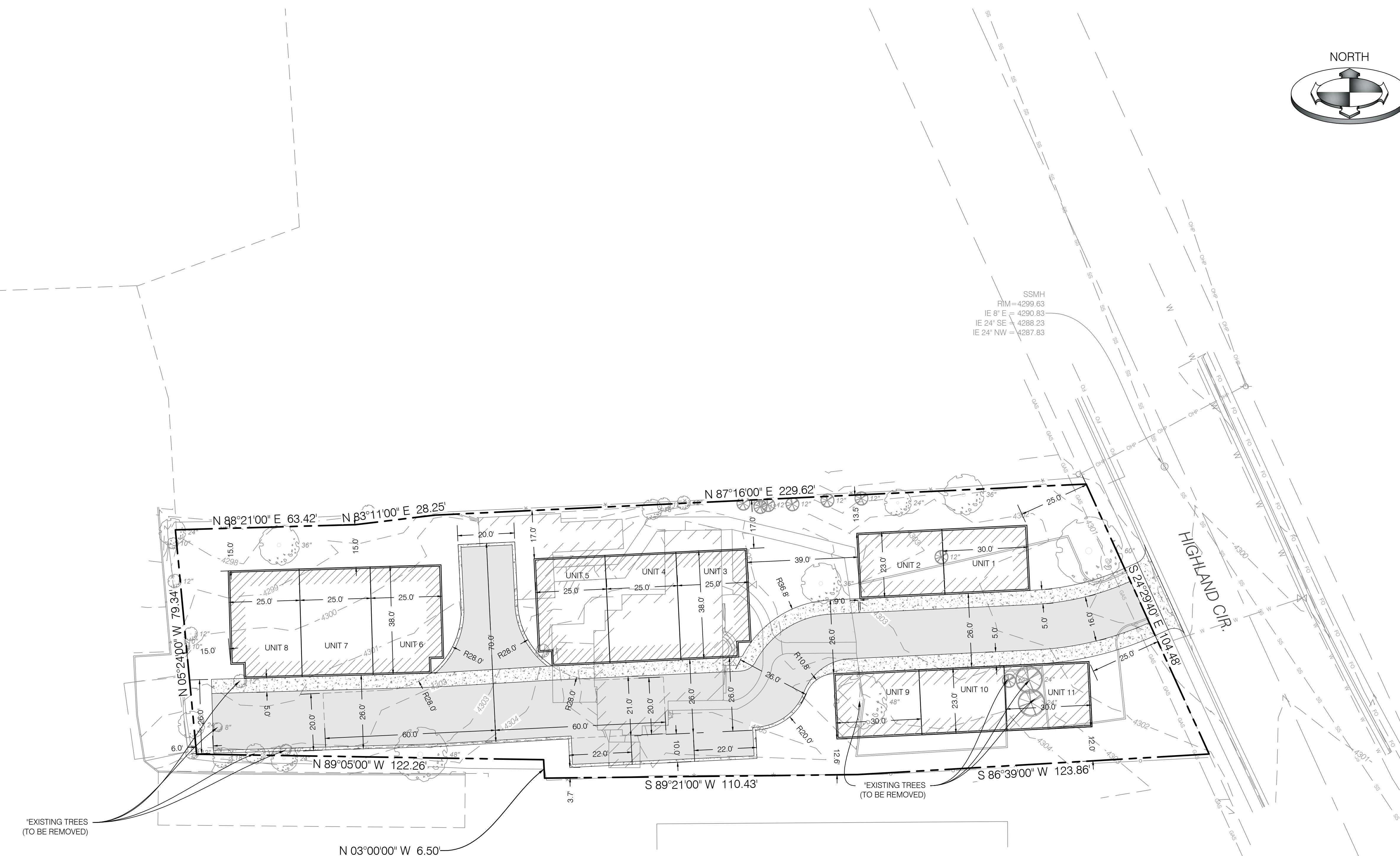
Dear City Staff and Planning Commission,

This letter is regarding The Tree Canopy Sustainability in Holladay City Code and Ordinance Section 13.77.080 for the property at 4880 South Highland Circle. We have 21 trees that are within our Buildable areas of the homes and the proposed right of way. 1 1/2" caliper trees will be planted to replace the current tree canopy that exists. This is in accordance with the Sustainability plan in subsection D.

Sincerely,

A handwritten signature in blue ink that reads "Alec Moffitt".

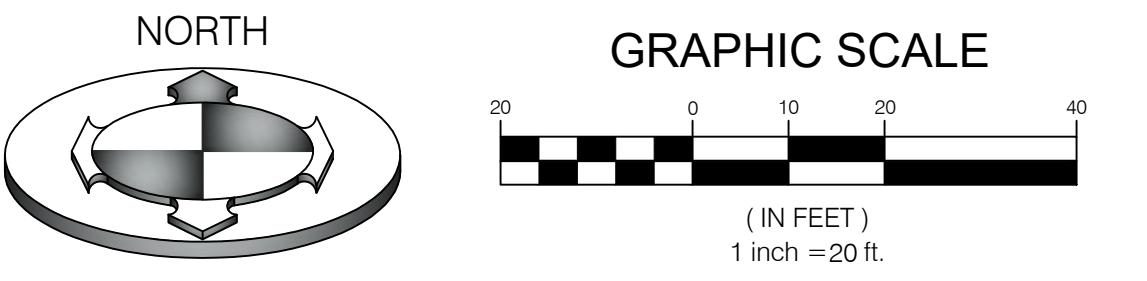
Alec Moffitt



AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	9,057	29.1
Hardscape	9,623	30.9
Landscape	12,454	40.0
TOTAL	31,134	100

PARKING COUNT		
PARTICULARS	PROVIDED	
11 UNITS x 2 CAR GARAGE		GUEST
PARKING STALLS	22	3
TOTAL		25

NOTE:
THE CONCEPTUAL PLANS PROVIDED ARE NOT REPRESENTATIVE OF A COMPLETE OR FINAL DESIGN. IT IS YOUR RESPONSIBILITY TO CONTRACT WITH A PROFESSIONAL THAT IS LICENSED IN THIS STATE TO COMPLETE A DESIGN THAT CONFORMS TO REQUIRED LOT SIZES, SETBACKS, ROAD WIDTHS, UTILITIES, CITY ORDINANCES, ETC. THE RECIPIENT ASSUMES FULL RESPONSIBILITY AND HOLDS BENCHMARK ENGINEERING AND LAND SURVEYING, LLC HARMLESS OF ANY AND ALL LOSSES OR DAMAGES RESULTING FROM YOUR USE OF THIS DATA. THE USER OF THIS DATA FURTHER AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND BENCHMARK ENGINEERING AND LAND SURVEYING, LLC, AND ITS CONSULTANTS FROM AND AGAINST ALL CLAIMS WHICH MIGHT ARISE FROM THE MISUSE OF THE INFORMATION PROVIDED HEREIN.



SEQUOIA DEVELOPMENT TOWNHOMES

4880 S. HIGHLAND CIRCLE
HOLLADAY, UTAH

DRAWN BY	FBA
CHECKED BY	DKB
FIELD CHECK	
DATE	09/27/2022
ASSOC.	2208240...
SCALE	1:50
SCALE MEASURED INCHES ON FULL SIZE SHEET ADJUST ACCORDINGLY FOR REDUCED SIZE SHEET	

BENCHMARK
ENGINEERING &
LAND SURVEYING
9130 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 922-7102
www.benchmarkcivil.com

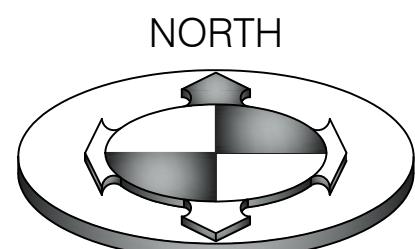
PROJECT NO.
2208240

CONCEPT
PLAN

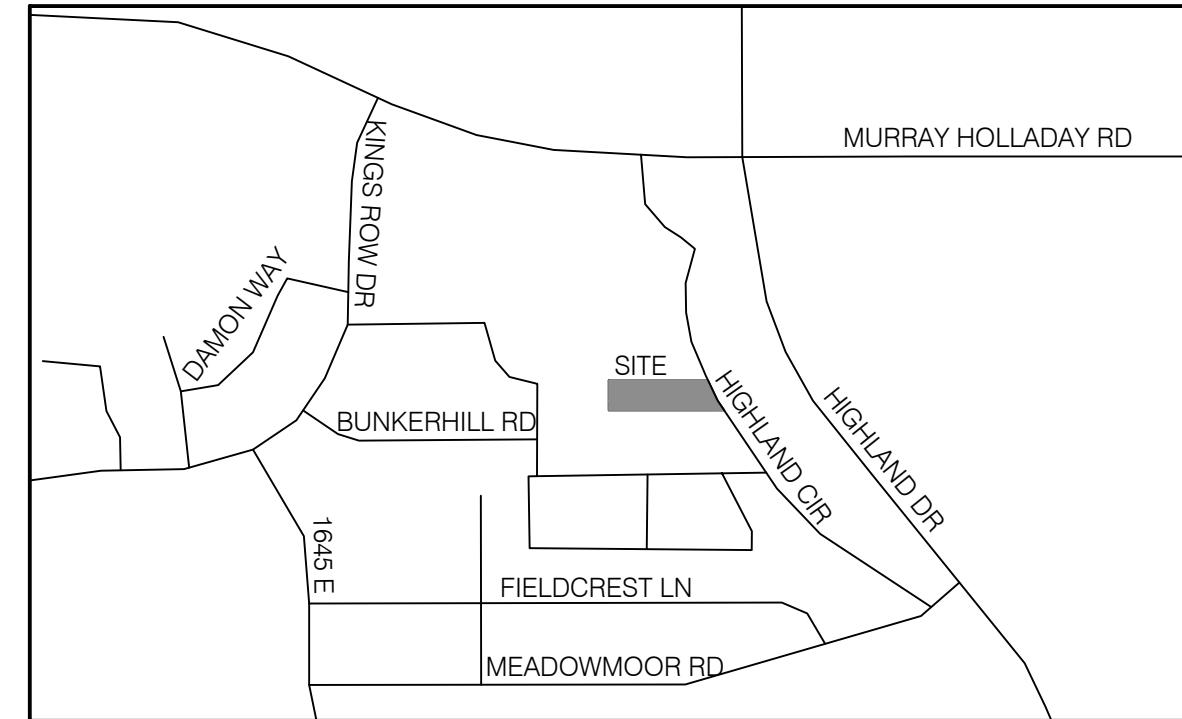
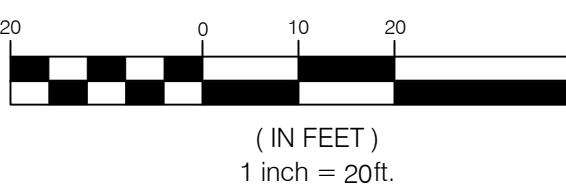
CONCEPT
1 OF 1

HIGHLAND PARK

LOCATED IN THE NORTHEAST QUARTER OF SECTION 9,
TOWNSHIP 2 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
HOLLADAY CITY, SALT LAKE COUNTY, UTAH



GRAPHIC SCALE



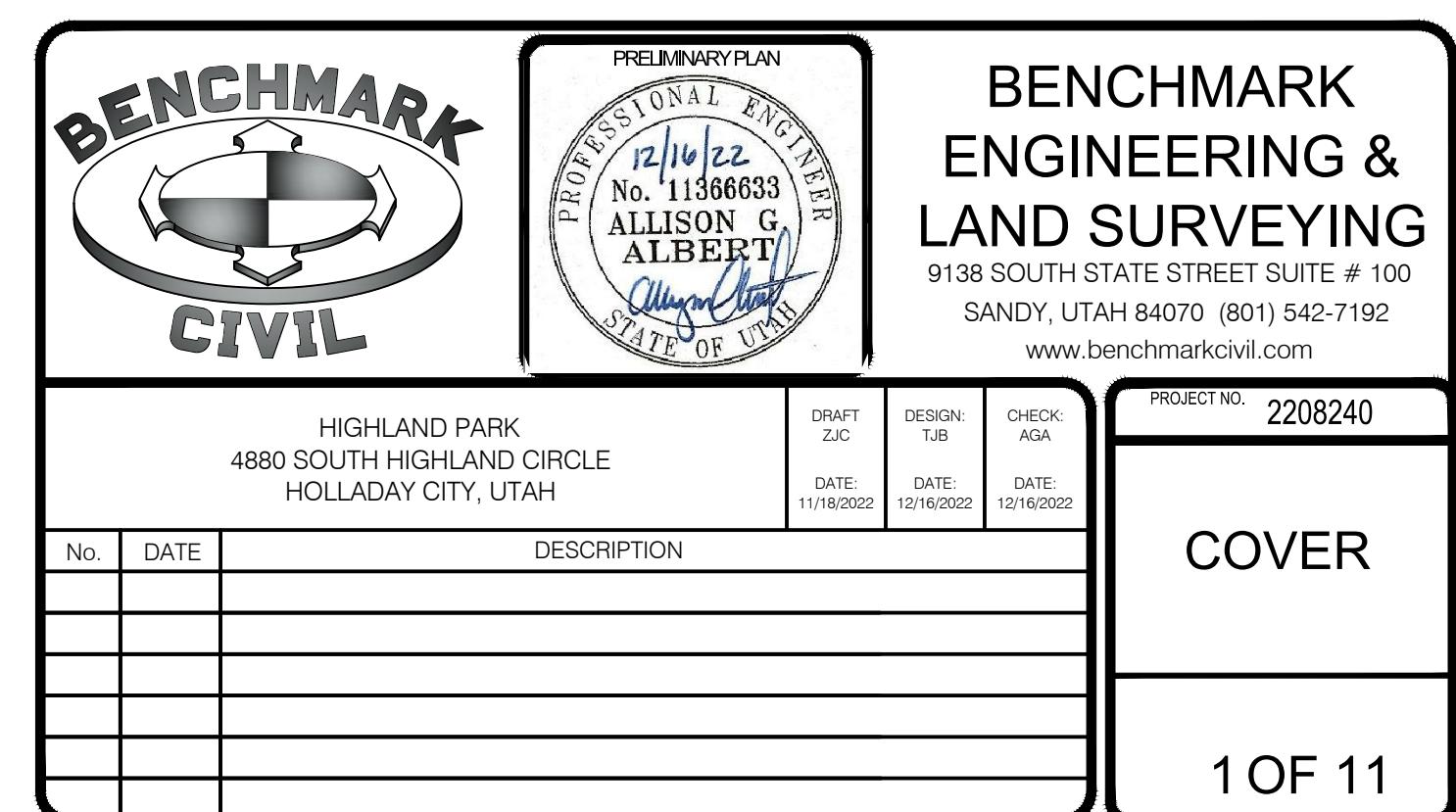
VICINITY MAP
N.T.S

OWNER/DEVELOPER:
SEQUOIA DEVELOPMENT
KEVIN LUDLOW
KEVIN@SEQUOIADEVELOPMENT.COM

DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CGN.02	SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES
CDP.01	DEMO PLAN
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CEP.01	EROSION CONTROL PLAN
CEP.02	EROSION CONTROL DETAILS
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES

PRELIMINARY CIVIL PLANS NOT FOR CONSTRUCTION



SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES

1. COMPLIANCE:
ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, AND SLC PUBLIC UTILITIES MODIFICATIONS TO APWA STANDARD PLANS AND APPROVED MATERIALS AND SLC PUBLIC UTILITIES APWA SPECIFICATIONS MODIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED IN WRITING BY THE SALT CITY DIRECTOR OF PUBLIC UTILITIES.

2. COORDINATION:
THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL APPROPRIATE GOVERNMENT AND PRIVATE ENTITIES ASSOCIATED WITH THE PROJECT. THE FOLLOWING MUST BE CONTACTED 48-HOURS PRIOR TO CONSTRUCTION AS APPLICABLE TO THE PROJECT:

PUBLIC UTILITIES:
BACKFLOW PREVENTION - 483-6795
DEVELOPMENT REVIEW ENGINEERING - 483-6781
INSPECTIONS, PERMITS, CONTRACTS & AGREEMENTS - 483-6727
PRE-TREATMENT - 799-4002
STORM WATER - 483-6721

SLC DEPARTMENTS:
ENGINEERING - PUBLIC WAY PERMITS AND ISSUES - 535-6248
ENGINEERING - SUBDIVISIONS - 535-6159
FIRE DEPARTMENT - 535-6636
PERMITS AND LICENSING (BLDG/SERVICES) - 535-7752
PLANNING AND ZONING - 535-7700
TRANSPORTATION - 535-6630

- ALL OTHER POTENTIALLY IMPACTED GOVERNING AGENCIES OR ENTITIES
- ALL WATER USERS INVOLVED IN WATER MAIN SHUTDOWNS
- APPLICABLE SEWER, WATER AND DRAINAGE DISTRICTS
- BLUESTAKES LOCATING SERVICES - 532-5000
- COUNTY FIRE DEPARTMENT - 743-7231
- COUNTY FLOOD CONTROL - 468-2779
- COUNTY PUBLIC WORKS - 385-468-3913
- COUNTY PUBLIC WAY PERMITS - 468-2241
- HOLLADAY CITY - 373-0450
- SALT LAKE COUNTY HIGHWAY DEPARTMENT - 468-3705 OR 468-2156
- THE UTAH TRANSIT AUTHORITY FOR RE-ROUTING SERVICE - 262-5626
- UNION PACIFIC RAILROAD CO., SUPERINTENDENTS OFFICE - 593-5405
- UTAH DEPARTMENT OF TRANSPORTATION, REGION #2 - 975-4800
- UTAH STATE ENGINEER - 538-7240

3. SCHEDULE:
PRIOR TO CONSTRUCTION THE CONTRACTOR WILL PROVIDE, AND WILL UPDATE AS CHANGES OCCUR, A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SPECIFICATIONS AND SALT LAKE CITY ENGINEERING OR SALT LAKE COUNTY REGULATIONS AS APPLICABLE FOR WORKING WITHIN THE PUBLIC WAY.

4. PERMITS, FEES AND AGREEMENTS:
CONTRACTOR MUST OBTAIN ALL THE NECESSARY PERMITS AND AGREEMENTS AND PAY ALL APPLICABLE FEES PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT SALT LAKE CITY ENGINEERING (535-6248) FOR PERMITS AND INSPECTIONS REQUIRED FOR ANY WORK CONDUCTED WITHIN SALT LAKE CITY'S PUBLIC RIGHT-OF-WAY. APPLICABLE UTILITY PERMITS MAY INCLUDE MAINLINE EXTENSION AGREEMENTS AND SERVICE CONNECTION PERMITS. ALL UTILITY WORK MUST BE BONDED. ALL CONTRACTORS MUST BE LICENSED TO WORK ON CITY UTILITY MAINS.

CONSTRUCTION SITES MUST BE IN COMPLIANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) STORM WATER PERMIT FOR CONSTRUCTION ACTIVITIES (538-6923). A COPY OF THE PERMITS STORM WATER POLLUTION PREVENTION PLAN MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADDITIONAL WATER QUALITY AND EROSION CONTROL MEASURES MAY BE REQUIRED. THE CONTRACTOR MUST ALSO COMPLY WITH SALT LAKE CITY'S CLEAN WHEEL ORDINANCE.

5. ASPHALT AND SOIL TESTING:
THE CONTRACTOR IS TO PROVIDE MARSHALL AND PROCTOR TEST DATA 24-HOURS PRIOR TO USE. CONTRACTOR IS TO PROVIDE COMPACTION AND DENSITY TESTING AS REQUIRED BY SALT LAKE CITY ENGINEERING, UDOT, SALT LAKE COUNTY OR OTHER GOVERNING ENTITY. TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS, SECTION 330520 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE SLC PROJECT ENGINEER IF NATIVE MATERIALS ARE USED. **NO NATIVE MATERIALS ARE ALLOWED WITHIN THE PIPE ZONE.** THE MAXIMUM LIFTS FOR BACKFILLING EXCAVATIONS IS 8-INCHES. ALL MATERIALS AND COMPACTION TESTING IS TO BE PERFORMED BY A LAB RECOGNIZED AND ACCEPTED BY SALT LAKE COUNTY PUBLIC WORKS AND/OR SALT LAKE CITY ENGINEERING.

6. TRAFFIC CONTROL AND HAUL ROUTES:
TRAFFIC CONTROL MUST CONFORM TO THE MOST CURRENT EDITION OF SALT LAKE CITY TRAFFIC CONTROL MANUAL - PART 6 OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" FOR SALT LAKE COUNTY AND STATE ROADS. SLC TRANSPORTATION MUST APPROVE ALL PROJECT HAUL ROUTES (535-7129). THE CONTRACTOR MUST ALSO CONFORM TO UDOT, SALT LAKE COUNTY OR OTHER APPLICABLE GOVERNING ENTITIES REQUIREMENTS FOR TRAFFIC CONTROL.

7. SURVEY CONTROL:
CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS APPROVED. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE GRADE OF THE MAIN AND/OR FACILITY AS APPROVED. IN ADDITION, THE CONTRACTOR AND/OR SURVEYOR SHALL PROVIDE TO SALT LAKE CITY PUBLIC UTILITIES CUT SHEETS FILLED OUT COMPLETELY AND CLEARLY SHOWING THE PERTINENT GRADES, ELEVATIONS AND CUT/FILLS ASSOCIATED WITH THE FIELD STAKING OF THE MAIN AND/OR FACILITY. THE CUT SHEET FORM IS AVAILABLE AT THE CONTRACTS AND AGREEMENTS OFFICE AT PUBLIC UTILITIES. ALL MAINS AND LATERALS NOT MEETING MINIMUM GRADE REQUIREMENTS AS SPECIFIED BY ORDINANCE OR AS REQUIRED TO MEET THE MINIMUM REQUIRED FLOWS OR AS APPROVED MUST BE REMOVED AND RECONSTRUCTED TO MEET DESIGN GRADE. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS UNTIL PUBLIC UTILITY SURVEYORS COMPLETE FINAL MEASUREMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE. DEPENDING ON THE LOCATION OF THE PROJECT; CONTACT THE COUNTY SURVEYOR FOR SECTION CORNER MONUMENTS (801-468-2028) AND/OR THE SALT LAKE CITY SURVEYOR (801-535-7973) FOR SALT LAKE CITY MONUMENTS AND CONSTRUCTION REQUIREMENTS. ALL ELEVATIONS SHALL BE REFERENCED TO SALT LAKE CITY DATUM UNLESS NOTED OTHERWISE ON THE PLANS.

8. ASPHALT GUARANTEE:
THE CONTRACTOR SHALL REMOVE, DISPOSE OF, FURNISH AND PLACE PERMANENT ASPHALT PER SALT LAKE CITY ENGINEERING, UDOT, COUNTY, OR OTHER GOVERNMENT STANDARDS AS APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY.

9. TEMPORARY ASPHALT:
IF THE CONTRACTOR CHOOSES TO WORK WITHIN THE PUBLIC WAY WHEN HOT MIX ASPHALT IS NOT AVAILABLE, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE APPROPRIATE GOVERNING ENTITY PRIOR TO INSTALLING TEMPORARY ASPHALT SURFACING MATERIAL WITHIN SALT LAKE CITY. WHEN PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL REMOVE THE TEMPORARY ASPHALT, FURNISH AND INSTALL THE PERMANENT ASPHALT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY FROM THE DATE OF COMPLETION.

10. SAFETY:
THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA, STATE, COUNTY AND OTHER GOVERNING ENTITY REQUIREMENTS.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS.

11. DUST CONTROL:
THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO THE GOVERNING ENTITY STANDARDS. USE OF HYDRANT WATER OR PUMPING FROM CITY-OWNED CANALS OR STORM DRAINAGE UTILITIES IS NOT ALLOWED FOR DUST CONTROL ACTIVITIES WITHOUT WRITTEN APPROVAL OF THE PUBLIC UTILITIES DIRECTOR.

12. DEWATERING:
ALL ON-SITE DEWATERING ACTIVITIES MUST BE APPROVED IN WRITING BY PUBLIC UTILITIES. PROPOSED OUTFALL LOCATIONS AND ESTIMATED FLOW VOLUME CALCULATIONS MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADEQUATE MEASURES MUST BE TAKEN TO REMOVE ALL SEDIMENT PRIOR TO DISCHARGE. PUBLIC UTILITIES MAY REQUIRE ADDITIONAL MEASURES FOR SEDIMENT CONTROL AND REMOVAL.

13. PROJECT LIMITS:
THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.

14. WATER, FIRE, SANITARY SEWER AND STORM DRAINAGE UTILITIES:
A. INSPECTIONS -
IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE ANY WATER, SEWER, BACKFLOW AND DRAINAGE INSPECTION 48-HOURS IN ADVANCE TO WHEN NEEDED. CONTACT 483-6727 TO SCHEDULE INSPECTIONS.

B. DAMAGE TO EXISTING UTILITIES -
THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR, MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE, TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.

C. UTILITY LOCATIONS -
CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES AND SERVICE LATERALS, AND FOR REPAIRING ALL DAMAGE THAT OCCURS TO THE UTILITIES DUE TO THE CONTRACTOR'S ACTIVITIES. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, MATERIAL AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300-FEET AHEAD OF SCHEDULED CONSTRUCTION IN

ORDER TO IDENTIFY POTENTIAL CONFLICTS AND PROBLEMS WITH FUTURE CONSTRUCTION ACTIVITIES. EXISTING UTILITY INFORMATION OBTAINED FROM SLC PUBLIC UTILITIES' MAPS MUST BE ASSUMED AS APPROXIMATE AND REQUIRING FIELD VERIFICATION. CONTACT BLUE STAKES OR APPROPRIATE OWNER FOR COMMUNICATION LINE LOCATIONS.

D. UTILITY RELOCATIONS -
FOR UTILITY CONFLICTS REQUIRING MAINLINE RELOCATIONS, THE CONTRACTOR MUST NOTIFY THE APPLICABLE UTILITY COMPANY OR USER A MINIMUM OF 2-WEEKS IN ADVANCE. A ONE-WEEK MINIMUM NOTIFICATION IS REQUIRED FOR CONFLICTS REQUIRING THE RELOCATION OF SERVICE LATERALS. ALL RELOCATIONS ARE SUBJECT TO APPROVAL FROM THE APPLICABLE UTILITY COMPANY AND/OR USER.

E. FIELD CHANGES -
NO ROADWAY, UTILITY ALIGNMENT OR GRADE CHANGES ARE ALLOWED FROM THE APPROVED CONSTRUCTION PLANS/DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE SLC PUBLIC UTILITIES DIRECTOR. CHANGES TO HYDRANT LOCATIONS AND/OR FIRE LINES MUST BE REVIEWED AND APPROVED BY THE SALT LAKE CITY OR SALT LAKE COUNTY FIRE DEPARTMENT (AS APPLICABLE TO THE PROJECT) AND PUBLIC UTILITIES.

F. PUBLIC NOTICE TO PROJECTS IN THE PUBLIC WAY -
FOR APPROVED PROJECTS THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND DISTRIBUTE WRITTEN NOTICE TO ALL RESIDENTS LOCATED WITHIN THE PROJECT AREA AT LEAST 72-HOURS PRIOR TO CONSTRUCTION. NOTIFICATION IS TO BE PROVIDED WITHIN COMMERCIAL OR INDUSTRIAL AREAS MAY REQUIRE A LONGER NOTIFICATION PERIOD AND ADDITIONAL CONTRACTOR COORDINATION WITH PROPERTY OWNERS. THE WRITTEN NOTICE IS TO BE APPROVED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER.

G. PUBLIC NOTICE FOR WATER MAIN SHUT DOWNS -
THROUGH THE SLC PUBLIC UTILITIES INSPECTOR AND WITH THE PUBLIC UTILITIES PROJECT ENGINEER APPROVAL, SLC PUBLIC UTILITIES MUST BE CONTACTED AND APPROVE ALL WATER MAIN SHUTDOWNS. ONCE APPROVED THE CONTRACTOR MUST NOTIFY ALL EFFECTED USERS BY WRITTEN NOTICE A MINIMUM OF 48-HOURS (RESIDENTIAL) AND 72-HOURS (COMMERCIAL/INDUSTRIAL) PRIOR TO THE WATER MAIN SHUT DOWN. PUBLIC UTILITIES MAY REQUIRE LONGER NOTICE PERIODS.

H. WATER AND SEWER SEPARATION -
IN ACCORDANCE WITH UTAH'S DEPARTMENT OF HEALTH REGULATIONS, A MINIMUM TEN-FOOT HORIZONTAL AND 1.5-FOOT VERTICAL (WITH WATER ON TOP) SEPARATION IS REQUIRED. IF THESE CONDITIONS CANNOT BE MET, STATE AND SLC PUBLIC UTILITIES APPROVAL IS REQUIRED. ADDITIONAL CONSTRUCTION MEASURES WILL BE REQUIRED FOR THESE CONDITIONS.

I. SALVAGE -
ALL METERS MUST BE RETURNED TO PUBLIC UTILITIES, AND AT PUBLIC UTILITIES REQUEST ALL SALVAGED PIPE AND/OR FITTINGS MUST BE RETURNED TO SLC PUBLIC UTILITIES (483-6727) LOCATED AT 1530 SOUTH WEST TEMPLE.

J. SEWER MAIN AND LATERAL CONSTRUCTION REQUIREMENTS -
SLC PUBLIC UTILITIES MUST APPROVE ALL SEWER CONNECTIONS. ALL SEWER LATERALS 6-INCHES AND SMALLER MUST YVE INTO THE MAINS PER SLC PUBLIC UTILITIES REQUIREMENTS. ALL 8-INCH AND LARGER SEWER CONNECTIONS MUST BE PETTITIONED FOR AT PUBLIC UTILITIES (483-6727) AND CONNECTED AT A MANHOLE. INSIDE DROPS IN MANHOLES ARE NOT ALLOWED. A MINIMUM 4-FOOT BURY DEPTH IS REQUIRED ON ALL SEWER MAINS AND LATERALS. CONTRACTOR SHALL INSTALL INVERT COVERS IN ALL SEWER MANHOLES WITHIN THE PROJECT AREA.

CONTRACTOR TO PROVIDE AIR PRESSURE TESTING OF SEWER MAINS IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS AND SALT LAKE CITY PUBLIC UTILITIES REQUIREMENTS. ALL PVC SEWER MAIN AND LATERAL TESTING SHALL BE IN ACCORDANCE WITH UNI-BELL UN-B-6-98 RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE. CONTRACTOR SHALL PROVIDE SEWER LATERAL WATER TESTING AS REQUIRED BY THE SALT LAKE CITY PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. A MINIMUM 9-FEET OF HEAD PRESSURE IS REQUIRED AS MEASURED VERTICALLY FROM THE HIGH POINT OF THE PIPELINE AND AT OTHER LOCATIONS ALONG THE PIPELINE AS DETERMINED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. TESTING TIME WILL BE NO LESS THAN AS SPECIFIED FOR THE AIR TEST DURATION IN TABLE I ON PAGE 12 OF UNI-B-6-98. ALL PIPES SUBJECT TO WATER TESTING SHALL BE FULLY VISIBLE TO THE INSPECTOR DURING TESTING. TESTING MUST BE PERFORMED IN THE PRESENCE OF A SLC PUBLIC UTILITIES REPRESENTATIVE. ALL VISIBLE LEAKAGE MUST BE REPAIRED TO THE SATISFACTION OF THE SLC PUBLIC UTILITIES ENGINEER OR INSPECTOR.

K. WATER AND FIRE MAIN AND SERVICE CONSTRUCTION REQUIREMENTS -
SLC PUBLIC UTILITIES MUST APPROVE ALL FIRE AND WATER SERVICE CONNECTIONS. A MINIMUM 3-FOOT SEPARATION IS REQUIRED BETWEEN ALL WATER AND FIRE SERVICE TAPS INTO THE MAIN. ALL CONNECTIONS MUST BE MADE MEETING SLC PUBLIC UTILITIES REQUIREMENTS. A 5-FOOT MINIMUM BURY DEPTH (FINAL GRADE TO TOP OF PIPE) IS REQUIRED ON ALL WATER/FIRE LINES UNLESS OTHERWISE APPROVED BY PUBLIC UTILITIES. WATER LINE THRUST BLOCK AND RESTRAINTS ARE AS PER SLC APPROVED DETAIL DRAWINGS AND SPECIFICATIONS. ALL EXPOSED NUTS AND BOLTS WILL BE COATED WITH CHEVRON FM GREASE PLUS MINIMUM 8 MIL THICKNESS PLASTER. PROVIDE STAINLESS STEEL NUTS, BOLTS AND WASHERS FOR HIGH GROUNDWATER/SATURATED CONDITIONS AT FLANGE FITTINGS, ETC.

ALL WATERLINES INSTALLATIONS AND TESTING TO BE IN ACCORDANCE WITH AWWA SECTIONS C600, C601, C651, C206, C200, C300, C303 AWWA MANUAL M1 AND ALL OTHER APPLICABLE AWWA, UPWS, ASTM AND ANSI SPECIFICATIONS RELEVANT TO THE INSTALLATION AND COMPLETION OF THE PROJECT. AMENDMENT TO SECTION C600 SECTION 4.1.1, DOCUMENT TO READ MINIMUM TEST PRESSURE SHALL NOT BE LESS THAN 200 P.S.I. GAUGED TO A HIGH POINT OF THE PIPELINE BEING TESTED. ALL MATERIALS USED FOR WATERWORKS PROJECTS TO BE RATED FOR 150 P.S.I. MINIMUM OPERATING PRESSURE.

CONTRACTOR IS TO INSTALL WATER SERVICE LINES, METER YOKES AND/OR ASSEMBLIES AND METER BOXES WITH LIDS LOCATED AS APPROVED ON THE PLANS PER APPLICABLE PUBLIC UTILITIES DETAIL DRAWINGS. METER BOXES ARE TO BE PLACED IN THE PARK STRIPS PERPENDICULAR TO THE WATERMAN SERVICE TAP CONNECTION. ALL WATER METERS, CATCH BASINS, CLEANOUT BOXES, MANHOLES, DOUBLE CHECK VALVE DETECTOR ASSEMBLIES, REDUCED PRESSURE PRINCIPLE VALVES SHALL BE INSTALLED ON CLASS 4 SYSTEMS. ALL FIRE SPRINKLING BACKFLOW ASSEMBLIES SHALL CONFORM TO ASSE 1048, 1013, 1047 AND 1015. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM BACKFLOW PREVENTION TESTS PER SALT LAKE CITY STANDARDS AND SUBMIT RESULTS TO PUBLIC UTILITIES. ALL TESTS MUST BE PERFORMED AND SUBMITTED TO PUBLIC UTILITIES WITHIN 10 DAYS OF INSTALLATION OR WATER TURN-ON. BACKFLOW TEST FORMS ARE AVAILABLE AT PUBLIC UTILITIES' CONTRACTS AND AGREEMENTS OFFICE.

L. GENERAL WATER, SEWER AND STORM DRAIN REQUIREMENTS -
ALL WATER, FIRE AND SEWER SERVICES STUBBED TO A PROPERTY MUST BE USED OR WATER AND FIRE SERVICES MUST BE KILLED AT THE MAIN AND SEWER LATERALS CAPPED AT THE SEWER MAIN PER PUBLIC UTILITIES REQUIREMENTS. ALLOWABLE SERVICES TO BE KEPT WILL BE AS DETERMINED BY THE PUBLIC UTILITIES PROJECT ENGINEER. ALL WATER AND FIRE SERVICE KILLS AND SEWER LATERAL CAPS ARE TO BE KILLED AND CAPPED AS DETERMINED AND VERIFIED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

ALL MANHOLES, HYDRANTS, VALVES, CLEAN-OUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER PUBLIC UTILITIES STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS AND VALVES PER PUBLIC UTILITIES STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED AS REQUIRED BY THE PUBLIC UTILITIES INSPECTOR. ALL MANHOLE, CLEANOUT BOX OR CATCH BASIN DISCONNECTIONS MUST BE REPAIRED AND GROUTED AS REQUIRED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION. UTILITY TRENCHING, BACKFILL, AND PIPE ZONE AS PER SLC PUBLIC UTILITIES, "UTILITY INSTALLATION DETAIL."

M. STREETLIGHTS -
ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT SALT LAKE CITY STANDARDS AND N.E.C. (NATIONAL ELECTRICAL CODE). A STREET LIGHTING PLAN SHOWING WIRING LOCATION, WIRING TYPE, VOLTAGE, POWER SOURCE LOCATION, CONDUIT SIZE AND LOCATION SHALL BE SUBMITTED TO SALT LAKE CITY AND BE APPROVED PRIOR TO CONSTRUCTION. NO DEVIATION OF STREETLIGHT, PULL BOXES, CONDUITS, AND ETC. LOCATIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE STREETLIGHT PROGRAM MANAGER OR HIS/HER REPRESENTATIVE.

STREETLIGHT POLES SHALL NOT BE INSTALLED WITHIN 5 FEET OF A FIRE HYDRANT. THE LOCATION SHALL BE SUCH THAT IT DOES NOT HINDER THE OPERATION OF THE FIRE HYDRANT AND WATER LINE OPERATION VALVES.

STREETLIGHTS AND STREETLIGHT POLES SHALL NOT BE INSTALLED WITHIN 5 FEET FROM ANY TREE, UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE STREETLIGHT PROGRAM MANAGER. BRANCHES MAY NEED TO BE PRUNED AS DETERMINED BY THE INSPECTOR IN THE FIELD AT THE TIME OF INSTALLATION.

STREETLIGHTS SHALL NOT BE INSTALLED WITHIN 5 FEET FROM THE EDGE OF ANY DRIVEWAY.

ANTI-SEIZE LUBRICANT SHALL BE USED ON ALL COVER BOLTS AND GROUND BOX BOLTS.

ALL EXISTING STREET LIGHTING SHALL REMAIN OPERATIONAL DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE STREETLIGHT PROGRAM MANAGER.

IF APPROVED PLANS REQUIRE REMOVAL OF STREETLIGHT POLES DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POLES WHILE THEY ARE DOWN. THE POLES SHALL BE STORED IN A SECURE

HIGHLAND PARK

4880 SOUTH HIGHLAND CIRCLE

HOLLADAY CITY, UTAH

PROJECT NO. 2208240

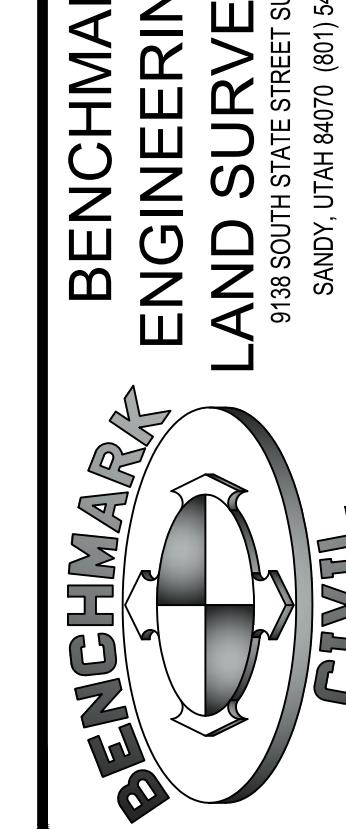
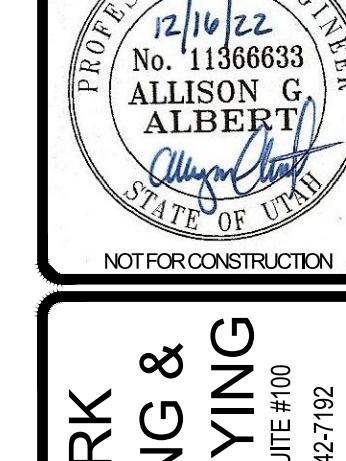
SALT LAKE CITY

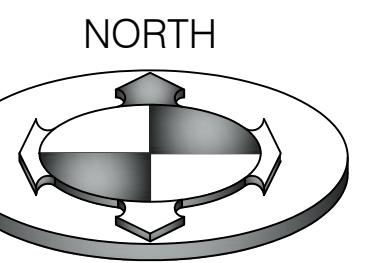
GENERAL NOTES

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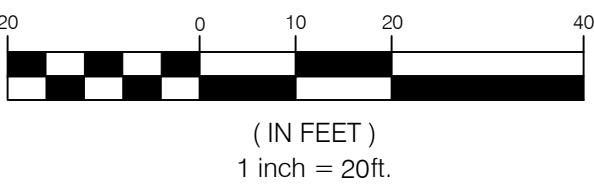
3 OF 11

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DM/IM	0
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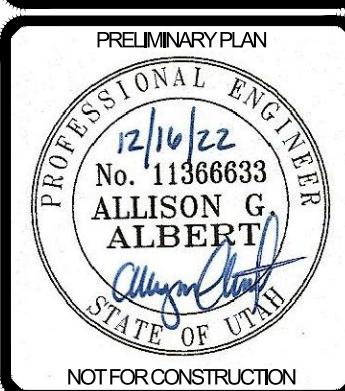




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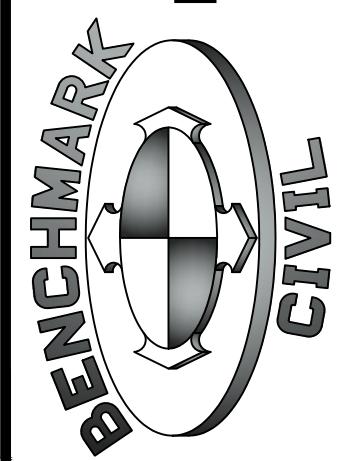


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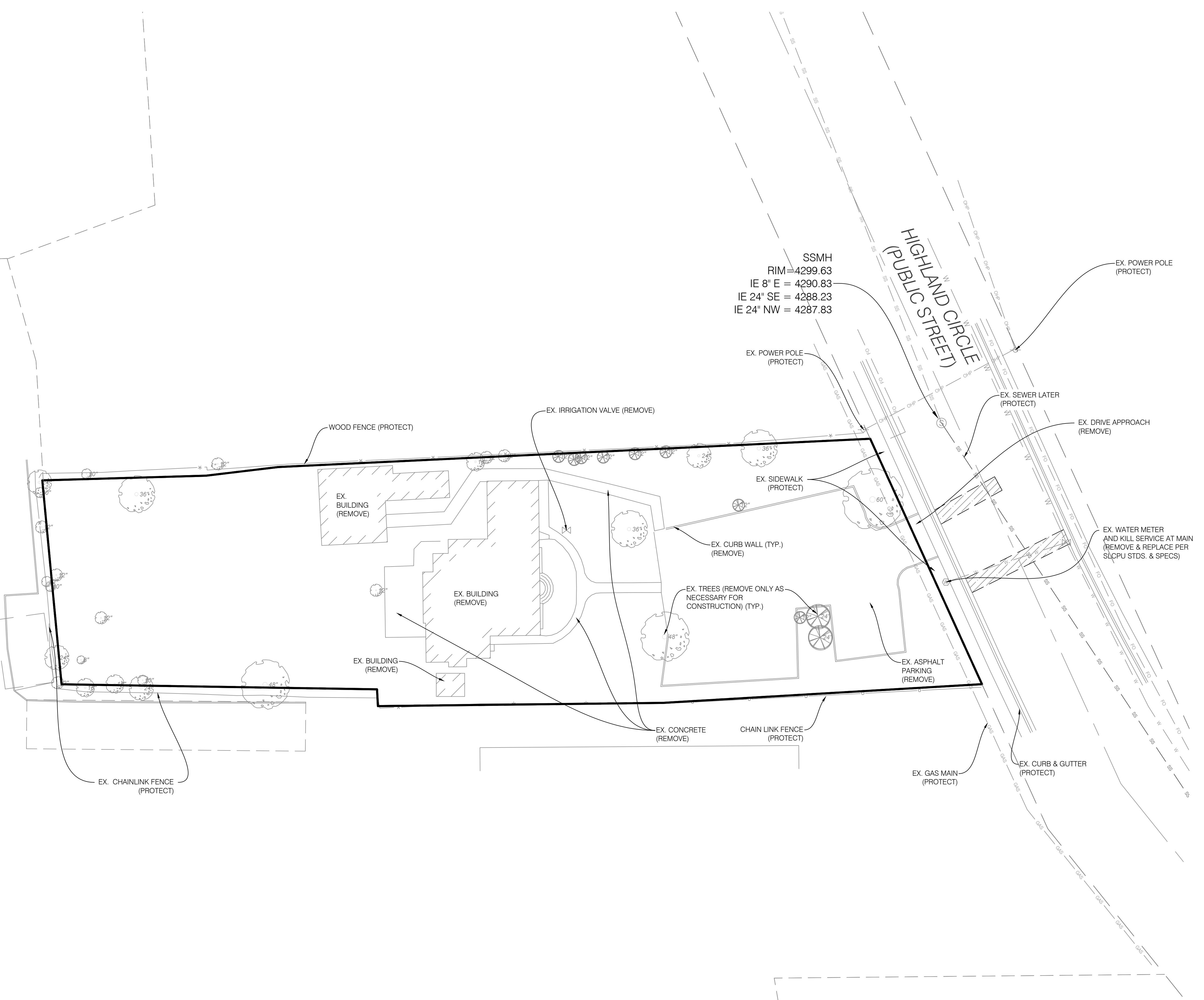
PRELIMINARY PLAN
NOT FOR CONSTRUCTION

BENCHMARK
ENGINEERING &
LAND SURVEYING
9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 442-7192
www.benchmarkcivil.com



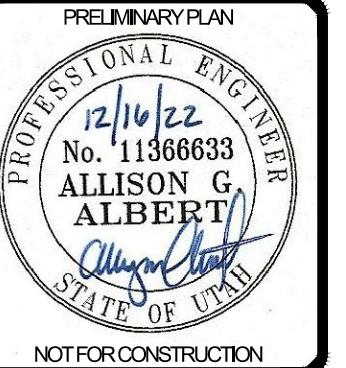
HIGHLAND PARK
4880 SOUTH HIGHLAND CIRCLE
HOLLADAY CITY, UTAH

PROJECT NO.	2208240
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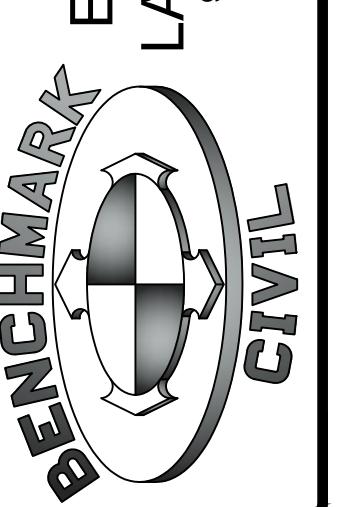


NOTE:
SEWER LATERAL NOTE:
EXISTING SEWER LATERAL LOCATION IS UNKNOWN
CONTRACTOR MUST FIELD LOCATE LATERAL AND REMOVE IT
PER MOID STDS & SPECs.

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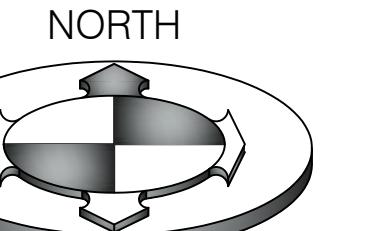


PRELIMINARY PLAN
PROFESSIONAL ENGINEER
ALLISON G. ALBERT
STATE OF UTAH
NOT FOR CONSTRUCTION

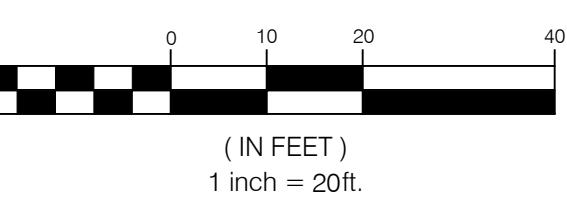


HIGHLAND PARK
4880 SOUTH HIGHLAND CIRCLE
HOLLADAY CITY, UTAH

PROJECT NO. 2208240
SITE PLAN
CSP.01
5 OF 11



GRAPHIC SCALE



CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	ASPHALT PAVEMENT WITH GRANULAR BASE	1/CDT.01
②	CONCRETE PAVEMENT WITH GRANULAR BASE	1/CDT.01
③	1' CONCRETE RIBBON PER HOLLADAY CITY STDS.	
④	DRIVE APPROACH PER APWA# 221	2/CDT.01
⑤	4' WATERWAY PER APWA# 211	
⑥	STOP SIGN PER HOLLADAY ST-8	3/CDT.01
⑦	SAWCUT & REPAIR PAVEMENT PER HOLLADAY ST-11	4/CDT.01
⑧	FIRE TURNAROUND NO PARKING SIGN PER HOLLADAY STDS	

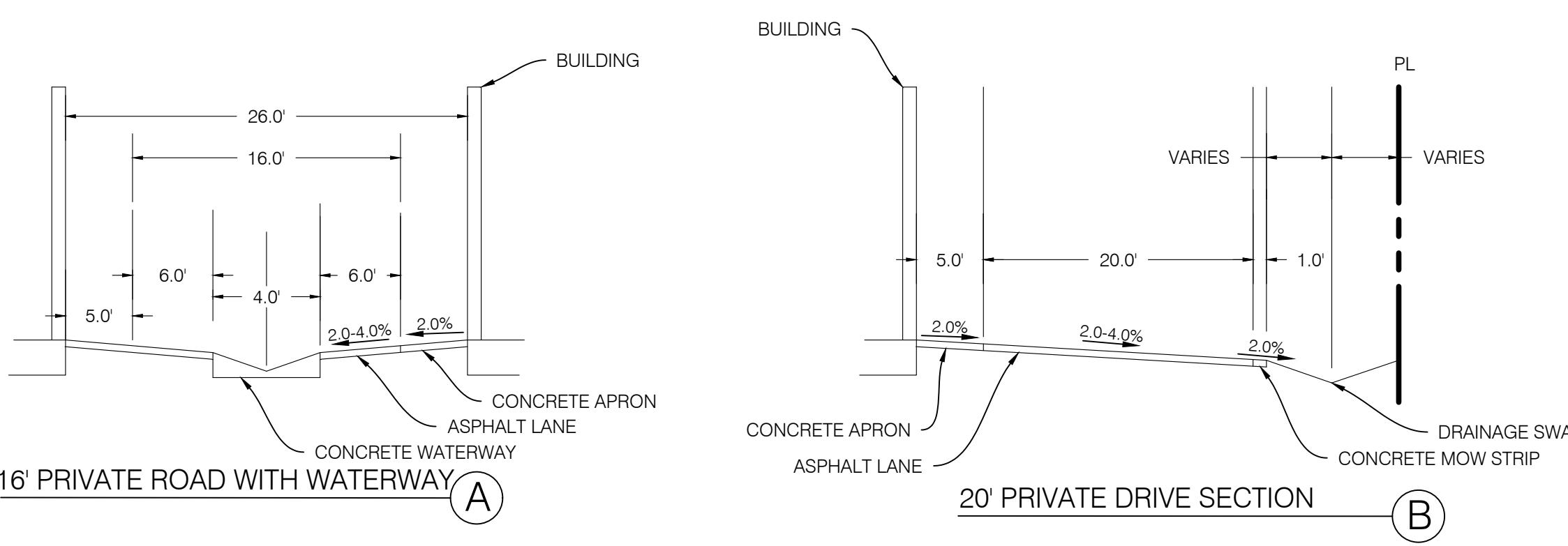
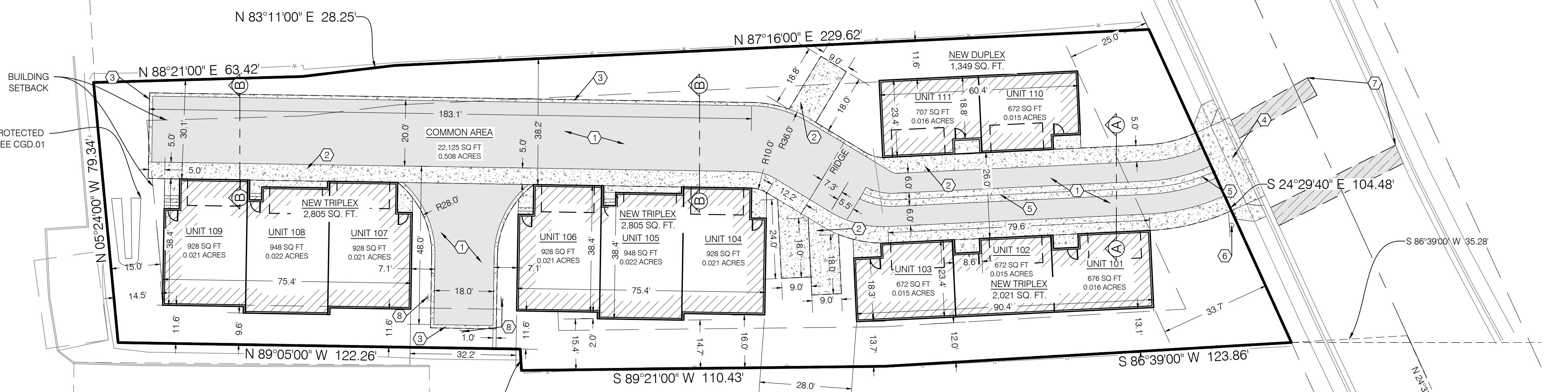
AREA TABLE		
PARTULARS	S.F.	%
BUILDING	8,979	28.8
HARDSCAPE	10,538	33.8
LANDSCAPE	11,616	37.4
TOTAL	31,134	100

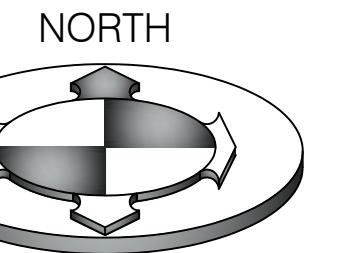
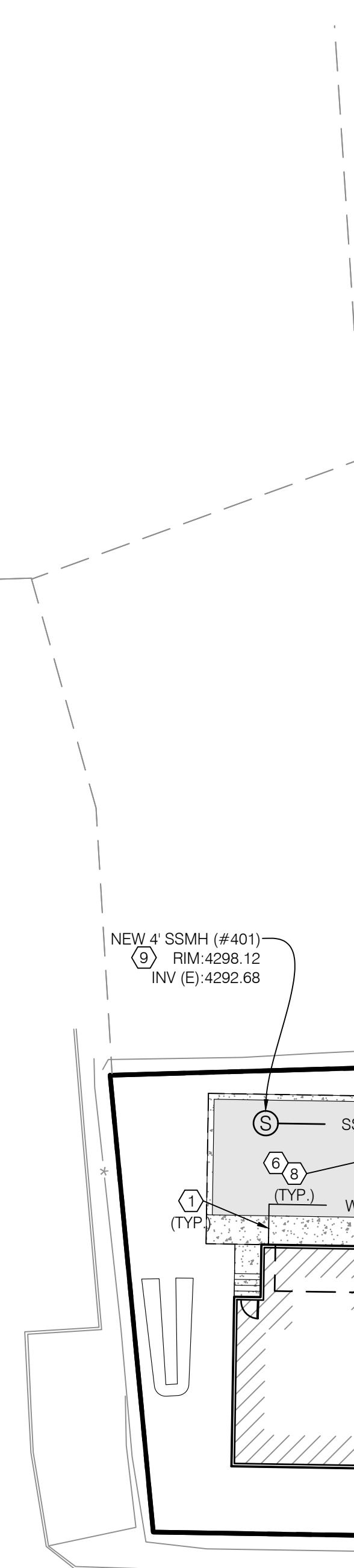
NOTE:
SLOPE ACROSS THE ACCESSIBLE PARKING STALLS & ACCESS ISLE SHALL NOT EXCEED A 1:48 (2.00%) SLOPE. THE MAX GRADE DIFFERENCE BETWEEN THE ASPHALT SURFACE, ACCESSIBLE RAMP, AND SIDEWALK SHALL NOT EXCEED 1/4 INCH VERTICAL OR 1/2 INCH WHEN BEVELED. THE ACCESSIBLE MEANS OF EGRESS INCLUDING THE DRIVEWAY PORTION SHALL NOT EXCEED A SLOPE OF 1:20 (5.0%) & A CROSS SLOPE OF 1:48 (2.0%). ALL EXTERIOR DOOR WAY ACCESS REQUIRE AN EXTERIOR LANDING 60 INCHES IN LENGTH WITH A SLOPE NOT EXCEEDING A 1:48 (2.0%) SLOPE

PARKING COUNT		
PARTULARS	PROVIDED	
PARKING STALLS	11 UNITS x 2 CAR GARAGE	GUEST
TOTAL	22	3

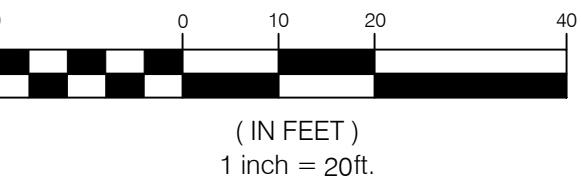
NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION, EXTENT OF SAWCUTTING, AND TIE-IN SLOPES TO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS THE INTENT ON THESE PLANS THAT ALL PAVEMENT SHALL TIE INTO EXISTING GRADE PER SLOPES LISTED ON CGN.01 NOTE 68. SEE NOTES 64, 68, & 83 ON CGN.01 FOR FURTHER DETAIL.

NOTE:
ALL WORK WITHIN PUBLIC ROADS TO BE DONE IN STRICT ACCORDANCE WITH HOLLADAY CITY STANDARDS AND SPECIFICATIONS



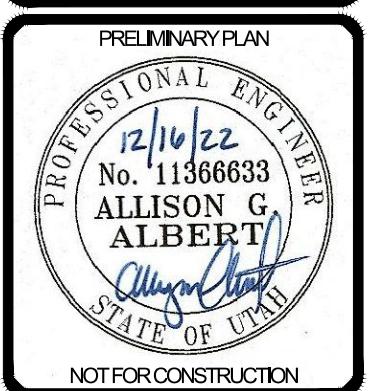


GRAPHIC SCALE

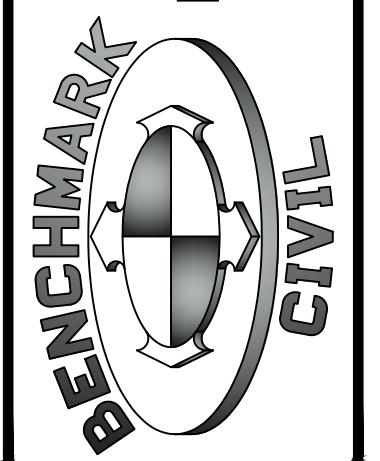


CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	1" POLY WATER SERVICE	
②	2" TYPE K COPPER WATER SERVICE LINE (TO 3" PAST METER)	
③	2" WATER METER & VAULT PER APWA #522	
④	2" POLY WATER SERVICE LINE	
⑤	8" PVC SDR-35 SEWER MAIN	
⑥	SEWER CLEAN OUT EVERY 50' & 5'-10" OFF BLD PER MOID STDS. PG. 11	6/CDT.01
⑦	5" SSMH PER MOID STDS. PG. 7	5/CDT.01
⑧	4" PVCSDR-35 SEWER LATERAL AT 2% MIN SLOP PER MOID PG 11	6/CDT.01
⑨	4" SSMH PER MOID STDS. PG. 7	5/CDT.01
⑩	SEWER TRENCH PER MOID STDS. PG. 14	7/CDT.01
⑪	WATER TRENCH PER SLCPU STDS. & SPECS	

DRAWN BY	ZIC/TIB	No.	DATE	DESCRIPTION
CHECKED BY	AGA			
FIELD REV.	DMJ/M			
DATE	12/16/2022			
DWG FILE	2208240 SITE			
SCALE	0 0.5			SCALE MEASURES INCH ON FULL SIZE SHEETS ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

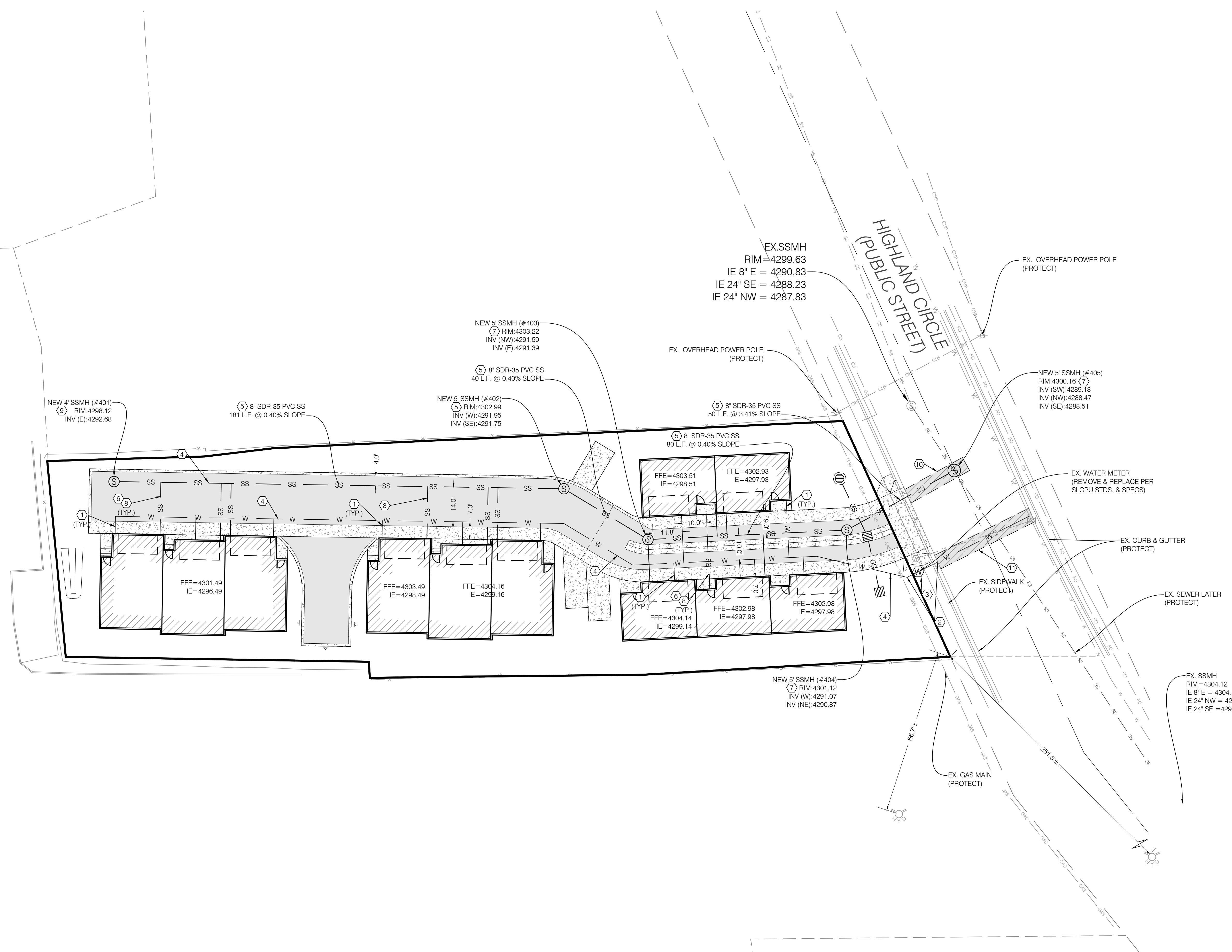


NOT FOR CONSTRUCTION



HIGHLAND PARK
4880 SOUTH HIGHLAND CIRCLE
HOLLADAY CITY, UTAH

PROJECT NO. 2208240
Blue Stakes of UTAH 811
UTILITY PLAN
CUP.01
6 OF 11

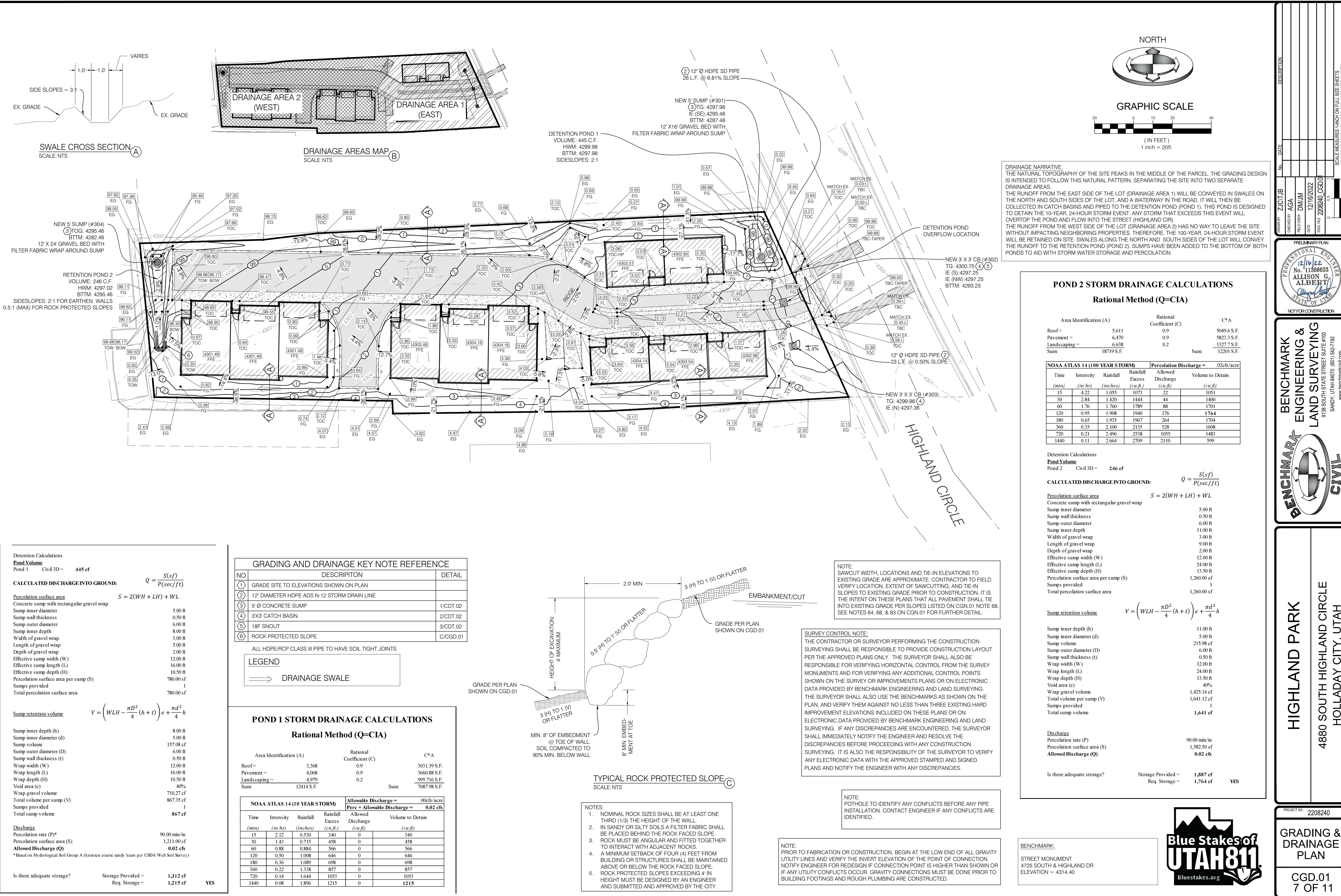


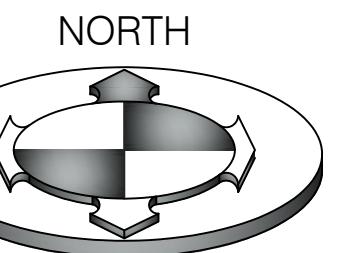
NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION. NOTIFY ENGINEER FOR REDESIGN IF CONNECTION POINT IS HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO BUILDING FOOTINGS AND ROUGH PLUMBING ARE CONSTRUCTED.

NOTE:
POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED.

NOTE:
SEWER LATERAL NOTE:
EXISTING SEWER LATERAL LOCATION IS UNKNOWN.
CONTRACTOR MUST FIELD LOCATE LATERAL AND REMOVE IT PER MOID STDS & SPECS.

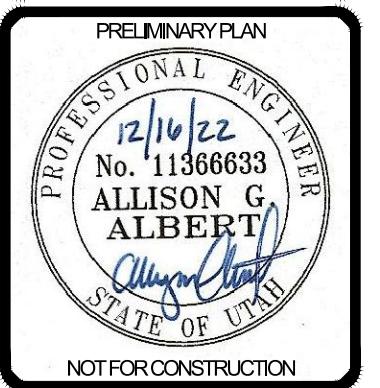




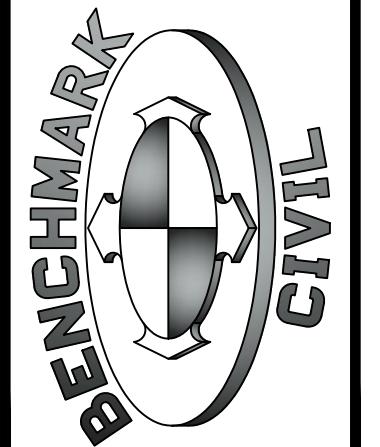


GRAPHIC SCALE
(IN FEET)
1 inch = 20ft.

SWPPP KEY NOTES REFERENCE		
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.		
NO	DESCRIPTION	DETAIL
①	CONCRETE WASTE MANAGEMENT	1/CEP.02
②	INLET PROTECTION WATTLE	2/CEP.02
③	MATERIALS STORAGE	3/CEP.02
④	PORTABLE TOILETS	4/CEP.02
⑤	SILT FENCE	6/CEP.02
⑥	TEMPORARY CONSTRUCTION ENTRANCE	7/CEP.02

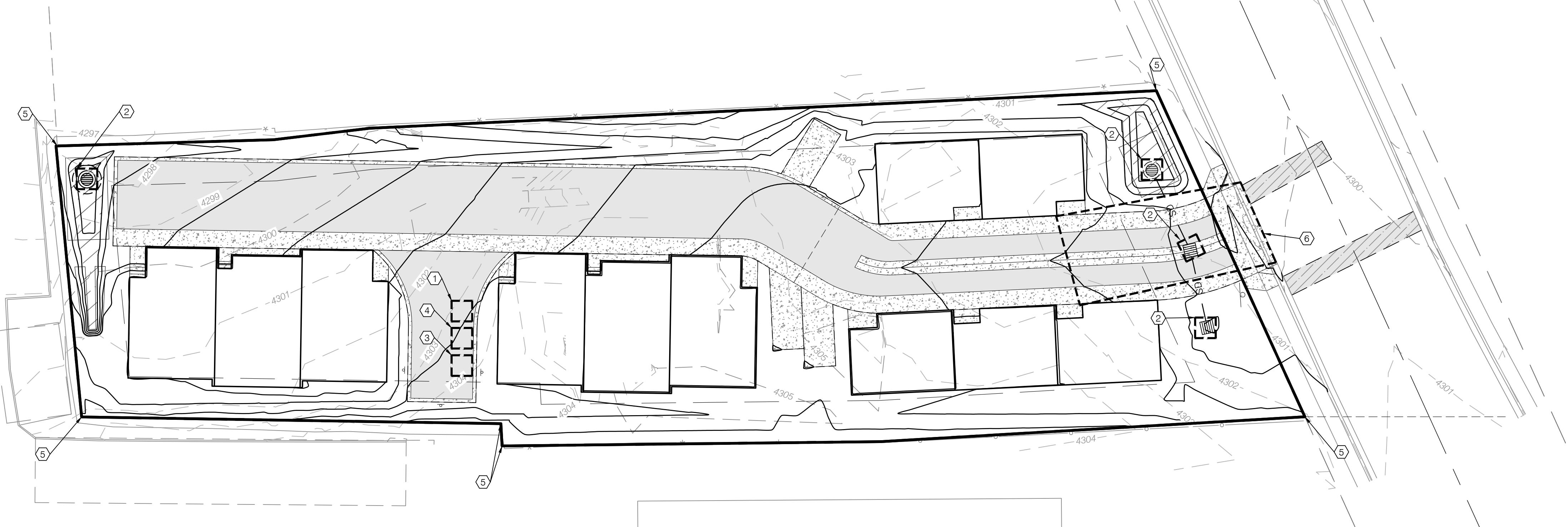


NOT FOR CONSTRUCTION
PROFESSIONAL ENGINEER
No. 1366833
ALLISON G. ALBERT
STATE OF UTAH
12/16/22
DRAWS 2208240 SITE
0



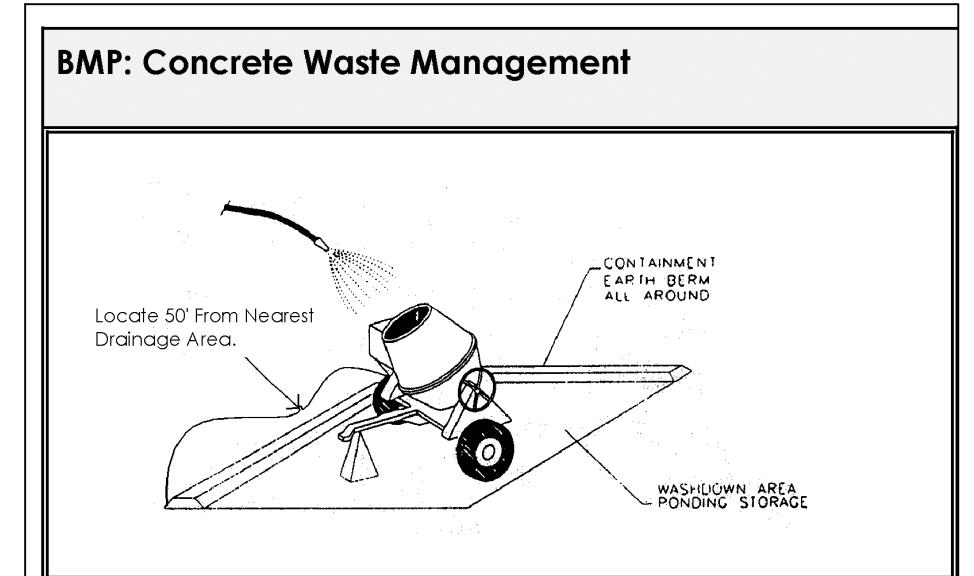
HIGHLAND PARK
4880 SOUTH HIGHLAND CIRCLE
HOLLADAY CITY, UTAH

PROJECT NO. 2208240
Blue Stakes of UTAH 811
EROSION CONTROL PLAN
CEP.01
8 OF 11



NOTE: CONTRACTOR SHALL INSTALL EROSION CONTROLS (SILT FENCES, STRAW BALES, ETC) AS REQUIRED BY REGULATORY AGENCIES. SAID CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH AGENCY STANDARDS AND FOLLOWING BEST MANAGEMENT PRACTICES FOR ACTUAL PLACEMENT ON SITE. STRAW BALES SHOWN ON THESE DRAWINGS ARE INTENDED AS A MINIMUM REQUIREMENT. ADDITIONAL CONTROLS REQUESTED BY AGENCY INSPECTORS SHALL BE REQUIRED. DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTOR'S EXPENSE, TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.





DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATIONS:
This technique is applicable to all types of sites.

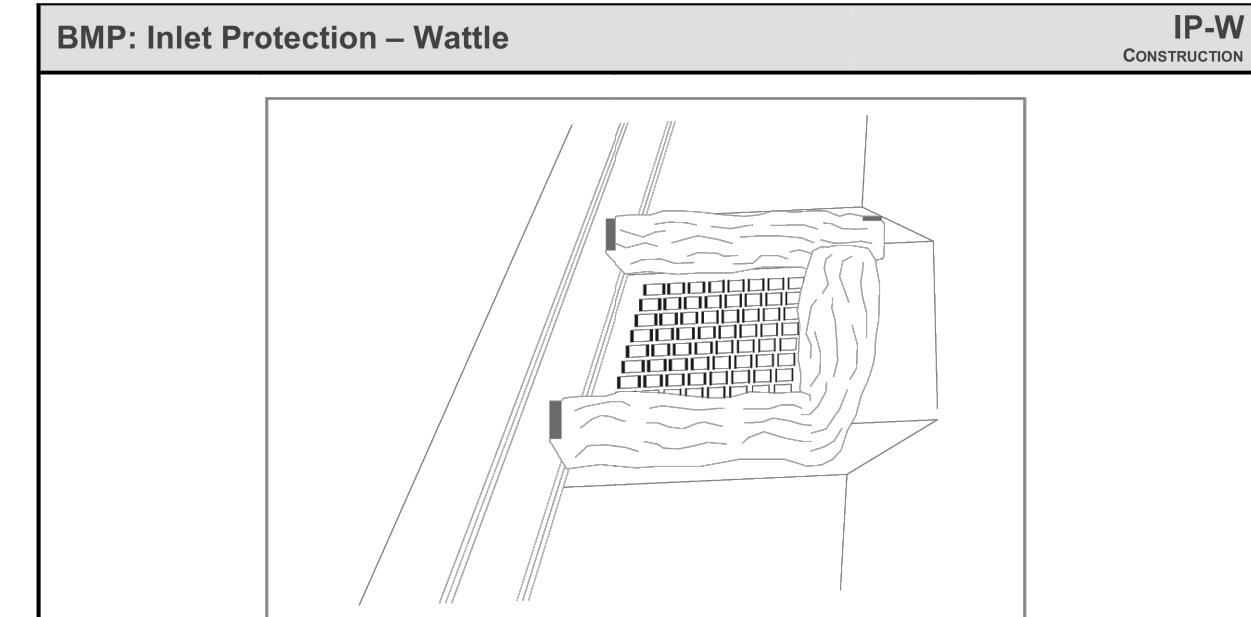
INSTALLATION/APPLICATION CRITERIA:
• Locate concrete waste area away from drainage areas.
• Avoid mixing excess amounts of fresh concrete or cement on site.
• Perform washout of concrete trucks off site or in designated areas only.
• Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.

• Do not allow excess concrete to be dumped on-site, except in designated areas.
• When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a berm or level area. (See Earth Berm Barrier Information sheet).

• Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:
• Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:
• Inspect subcontractors to ensure that concrete wastes are being properly managed.
• If using a temporary pit, dispose hardened concrete on a regular basis.



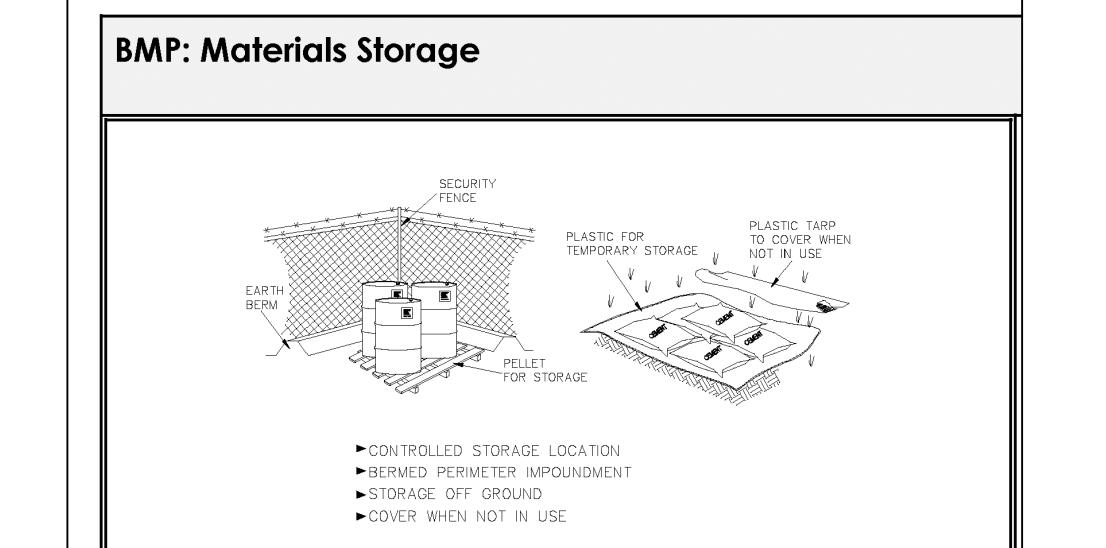
DESCRIPTION:
Sediment barrier erected around storm drain inlet.

APPLICATION:
Construct at storm drainage inlets located down-gradient of areas to be disturbed by construction.

INSTALLATION/APPLICATION CRITERIA:
• Provide up-gradient sediment controls, such as silt fence during construction of inlet
• When construction of curb and gutter and roadways is complete, install gravel filled wattles around perimeter of inlet

LIMITATIONS:
• Recommended maximum contributing drainage area of one acre
• Requires shallow slopes adjacent to inlet

MAINTENANCE:
• Inspect inlet protection following storm event and at a minimum of once every 14 days.
• Remove accumulated sediment when it reaches 4 inches in depth.
• Look for bypassing or undercutting and repair or realign as needed.



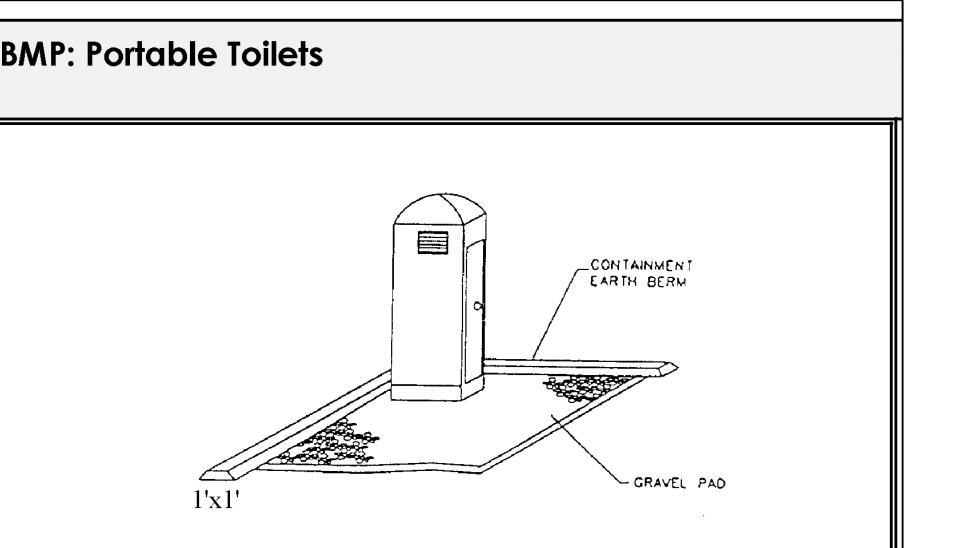
DESCRIPTION:
Controlled storage of on-site materials.

APPLICATION:
• Storage of hazardous, toxic, and all chemical substances.
• Any construction site with outside storage of materials.

INSTALLATION/APPLICATION CRITERIA:
• Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
• Construct compacted earth berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
• Erase all on-site storage areas from the designated storage area. Do not store excessive amounts of material that will not be utilized on site.
• For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

LIMITATIONS:
• Does not prevent contamination due to mishandling of products.
• Spill Prevention and Response Plan still required.
• Only effective if materials are actively stored in controlled location.

MAINTENANCE:
• Inspect daily and repair any damage to perimeter impoundment or security fencing.
• Check materials are being correctly stored (i.e. standing upright), in labeled containers, tightly capped) and that no materials are being stored away from the designated location.



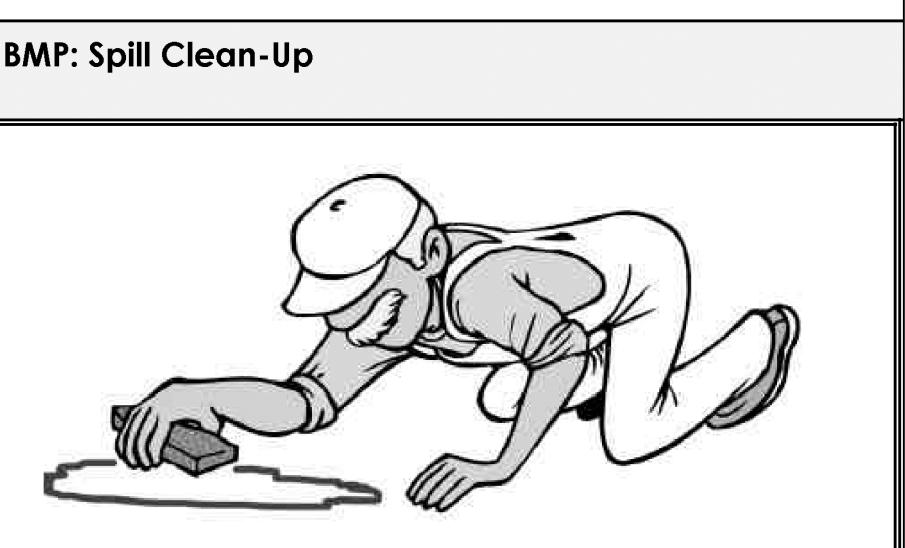
DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:
• Locate portable toilets in convenient locations throughout the site.
• Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
• Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for spill/protection leak.

LIMITATIONS:
No limitations.

MAINTENANCE:
• Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
• Regular waste collection should be arranged with licensed service.
• All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.



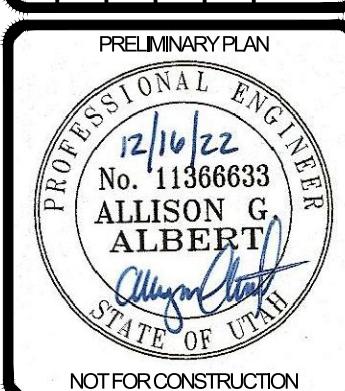
DESCRIPTION:
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:
All sites

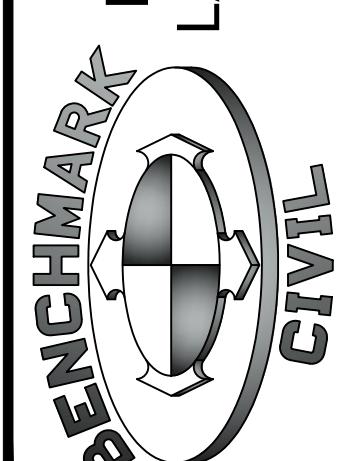
GENERAL:
• Store controlled materials within a storage area.
• Educate personnel on prevention and clean-up techniques.
• Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
• Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

METHODS:
• Clean-up spills/leaks immediately and remediate cause.
• Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
• Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste.
• Document with date, location, substance, volume, actions taken and other pertinent data.
• Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

DRAWN BY	ZCT12B	No.	DATE
CHECKED BY	AGA	FIELD CREW	DM/IM
DATE FILED	12/16/2022	SITE	05
SCALE MEASURES HINCH ON FULL SIZE SHEETS ADJUST ACCORDINGLY			



PRELIMINARY PLAN
12/16/22
No. 1136863
ALLISON G. ALBERT
State of Utah
NOT FOR CONSTRUCTION



CONCRETE WASTE MANAGEMENT 1

SCALE: NTS

INLET PROTECTION WATTLE 2

SCALE: NTS

MATERIALS STORAGE 3

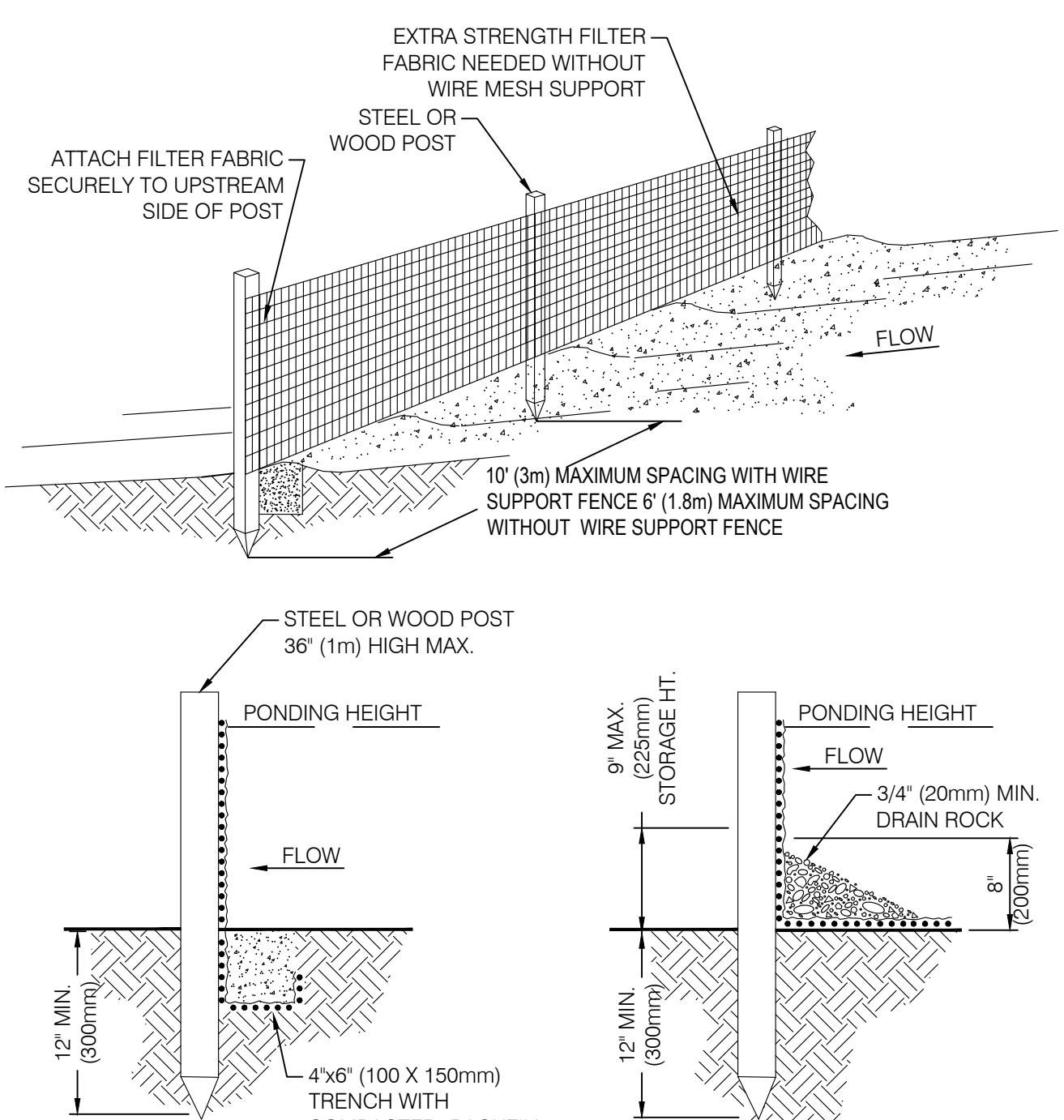
SCALE: NTS

PORTABLE TOILETS 4

SCALE: NTS

SPILL CLEAN UP 5

SCALE: NTS



NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS
TO MAXIMIZE PONDING EFFICIENCY.

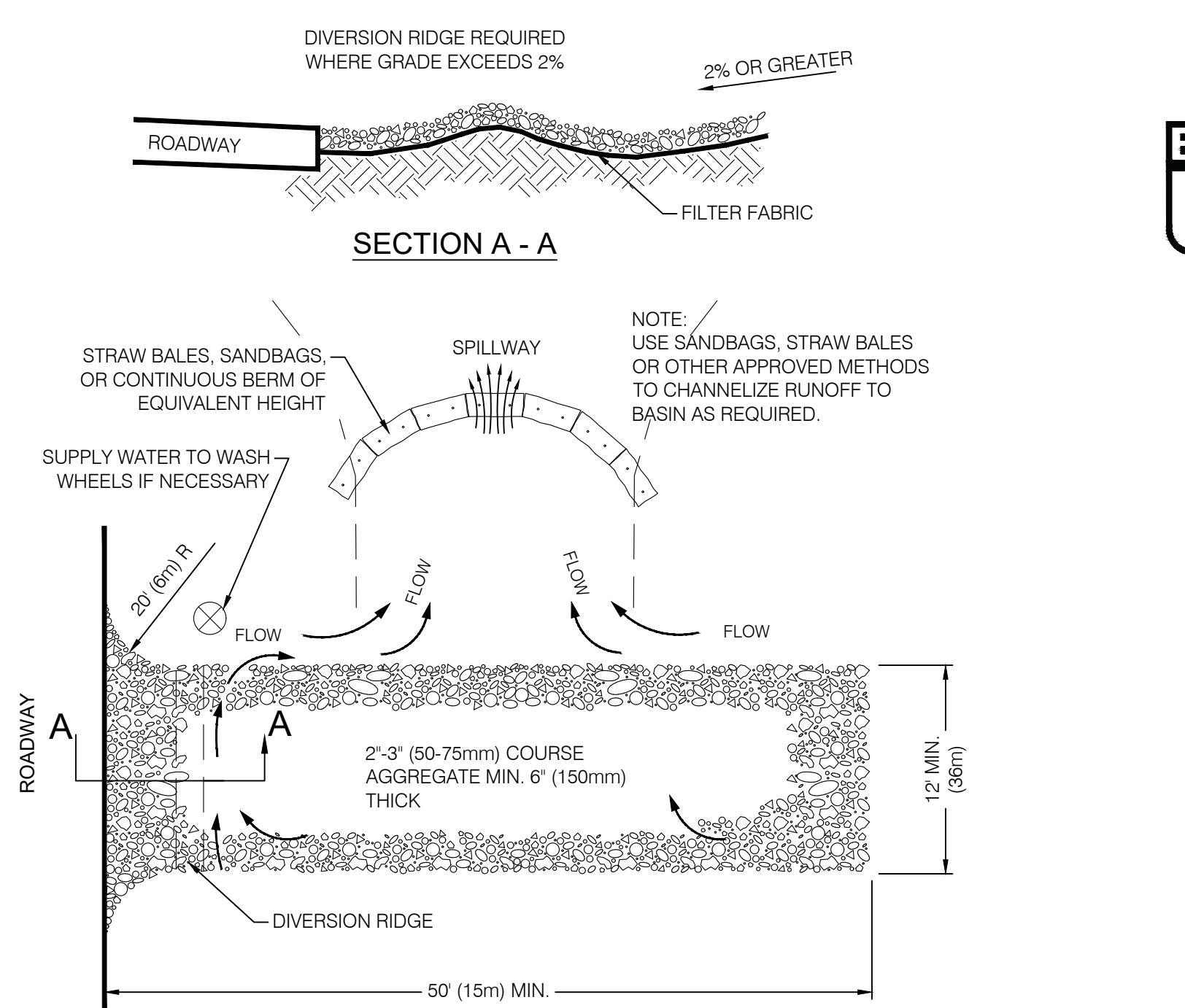
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT
AND REMOVE SEDIMENT WHEN NECESSARY. 9' (225mm)
MAXIMUM RECOMMENDED STORAGE HEIGHT.

3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA
THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND
CAN BE PERMANENTLY STABILIZED.

TRENCH DETAIL
NOT TO SCALE

**INSTALLATION WITHOUT
TRENCHING**

REF. FROM
1994 JOHN McCULLAH



NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING
OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP
DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.

2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC
RIGHT-OF-WAY.

3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH
CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**TEMPORARY GRAVEL
CONSTRUCTION ENTRANCE/EXIT 7**
SCALE: NTS



"SWPPP INFORMATION" MUST BE
DISPLAYED PROMINENTLY ACROSS THE
TOP OF THE SIGN, AS SHOWN IN THE
DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID
MATERIAL SUCH AS PLYWOOD OR
OUTDOOR SIGN BOARD. SIGN MUST BE
CONSTRUCTED IN A MANNER TO
PROTECT DOCUMENTS FROM DAMAGE
DUE TO WEATHER (WIND, SUN,
MOISTURE, ETC.)

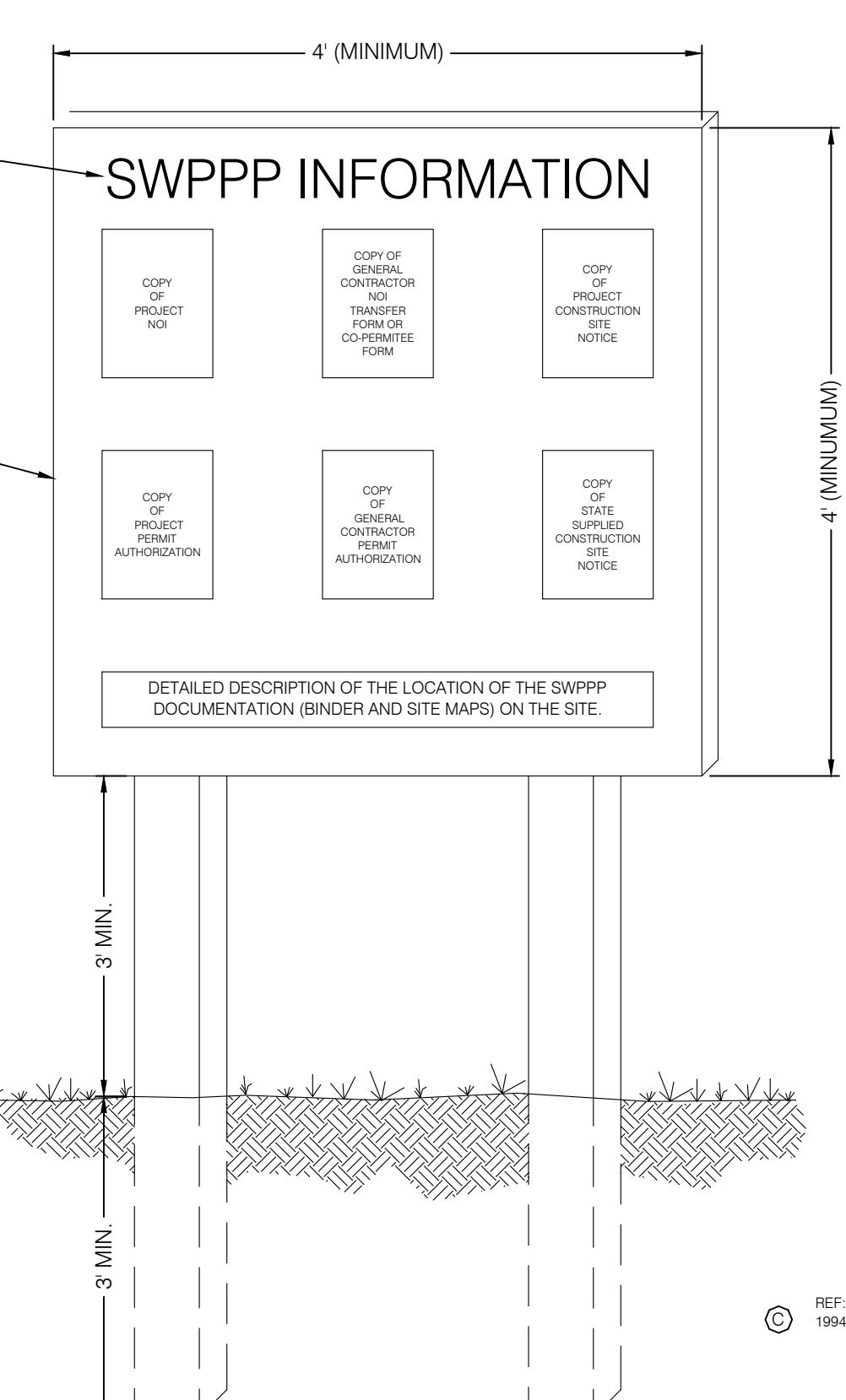
NOTES:
1) THE SWPPP INFORMATION SIGN MUST BE LOCATED
NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS
ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT
NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.

2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A
CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT
CONSTRUCTION AND UNTIL THE NOTICE-TO TERMINATION
(NOT) IS FILED FOR THE PERMIT.

3) CONTRACTOR SHALL POST OTHER STORM WATER
AND/OR EROSION AND SEDIMENT CONTROL RELATED
PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING
AGENCY.

4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC
RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE
GOVERNING AGENCY.

5) CONTRACTOR IS RESPONSIBLE FOR ENSURING
STABILITY IF THE SWPPP INFORMATION SIGN.



REF. FROM
1994 JOHN McCULLAH

PROJECT NO. 2208240

HIGHLAND PARK

4880 SOUTH HIGHLAND CIRCLE
HOLLADAY CITY, UTAH

EROSION
CONTROL
DETAILS

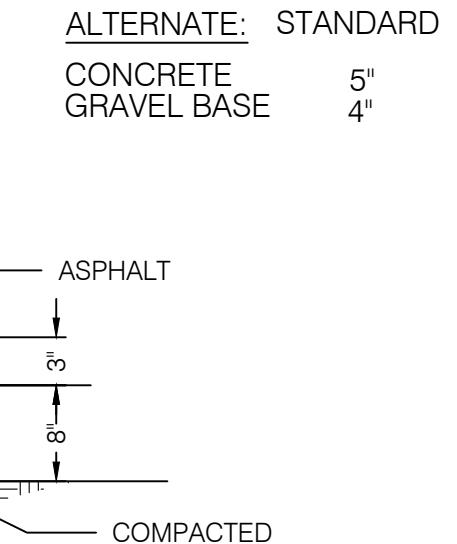
CEP.02
9 OF 11

SILT FENCE 6

SCALE: NTS

SWPPP INFORMATION SIGN 8

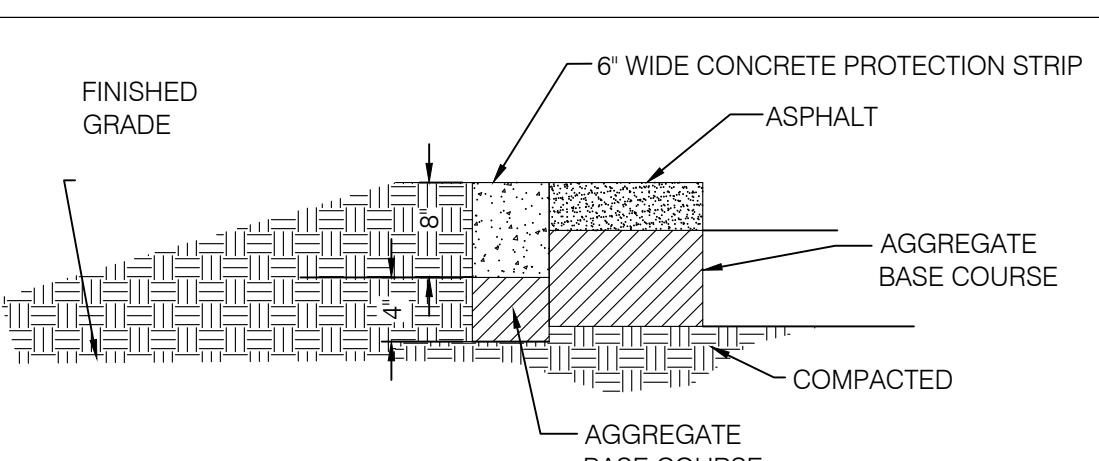
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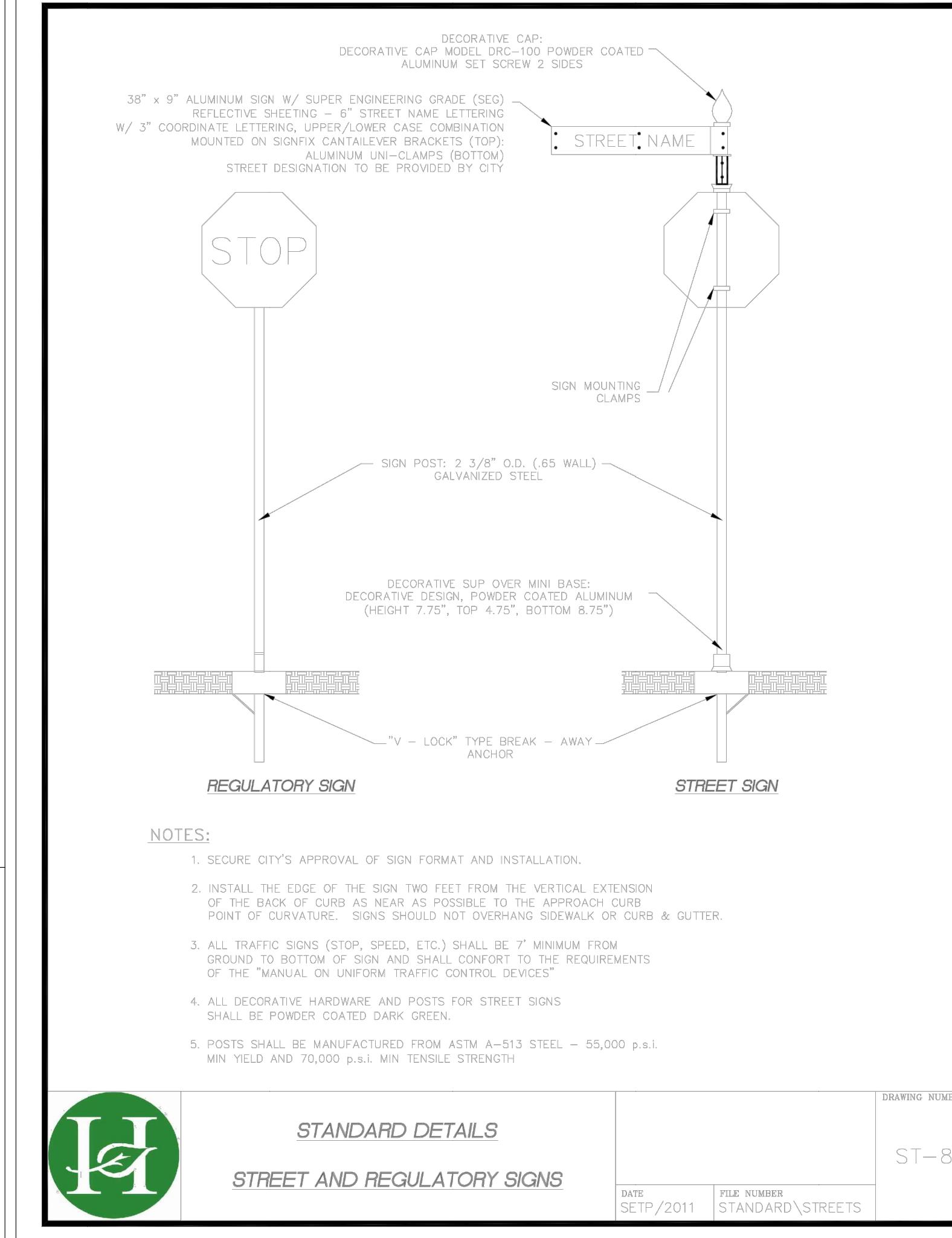
STANDARD DUTY PAVEMENT

NOTE:
1. FOR REINFORCEMENT DESIGN OF PCC PAVEMENT SECTIONS SEE STRUCTURAL ENGINEER
2. FOR DOWEL DESIGN OF PCC PAVEMENT SECTIONS SEE GEOTECHNICAL ENGINEER.

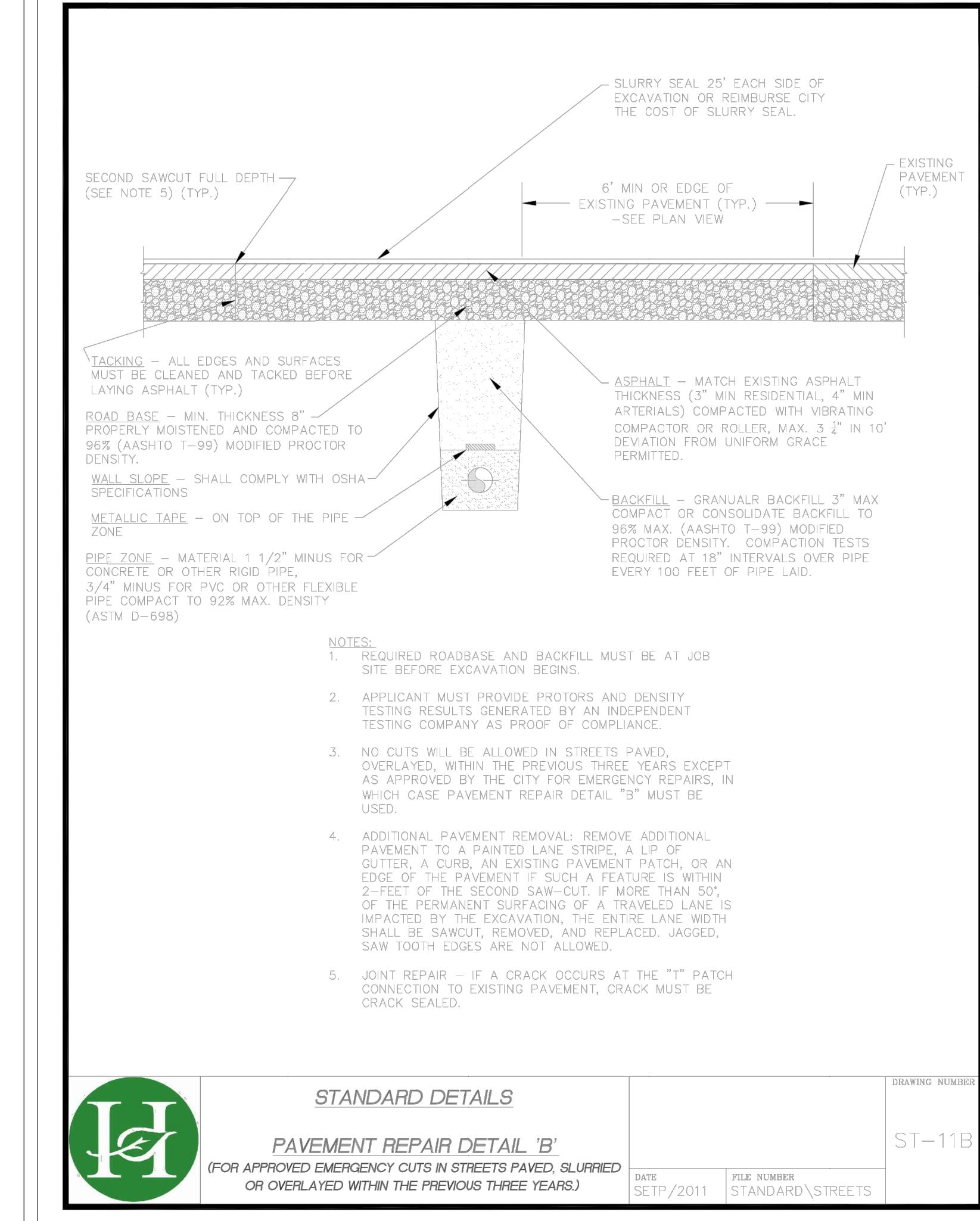
PAVEMENT SECTIONS ①



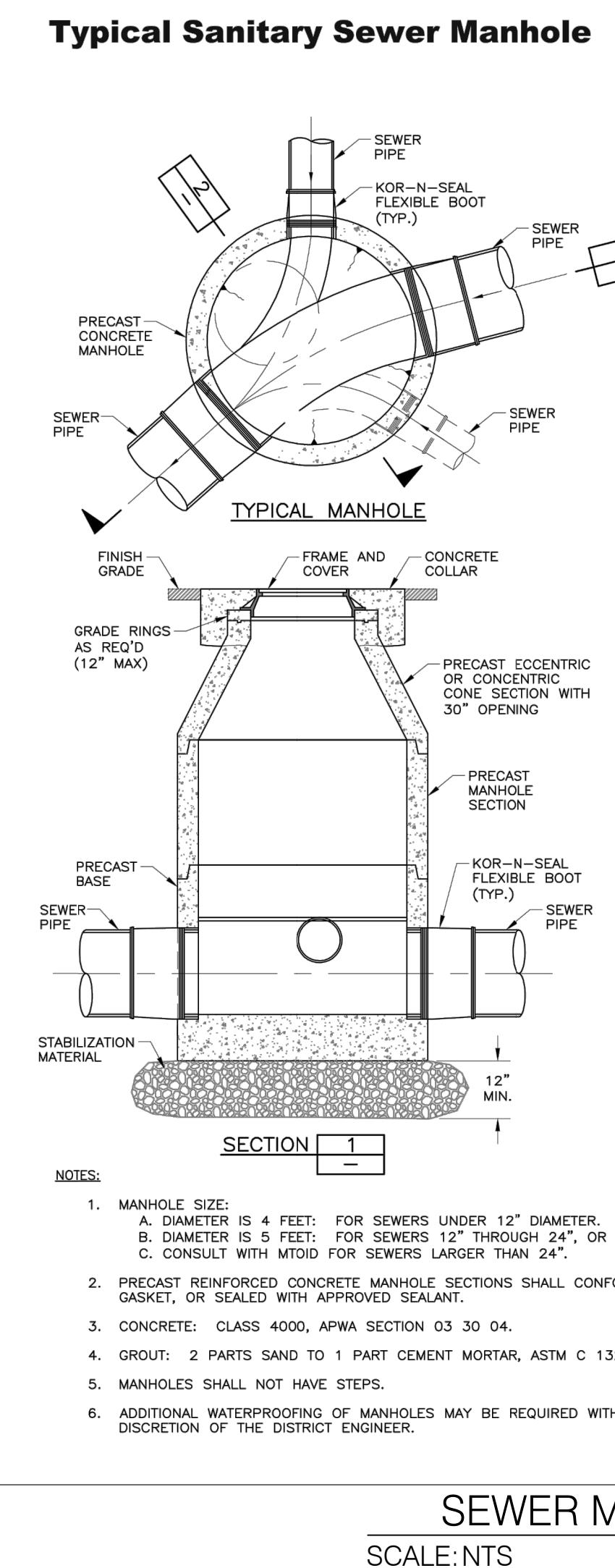
CONCRETE RIBBON ②



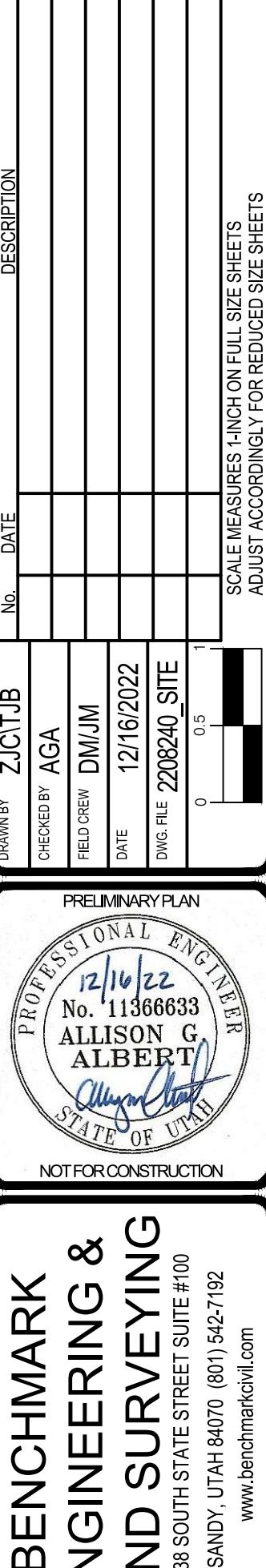
STOP SIGN ③



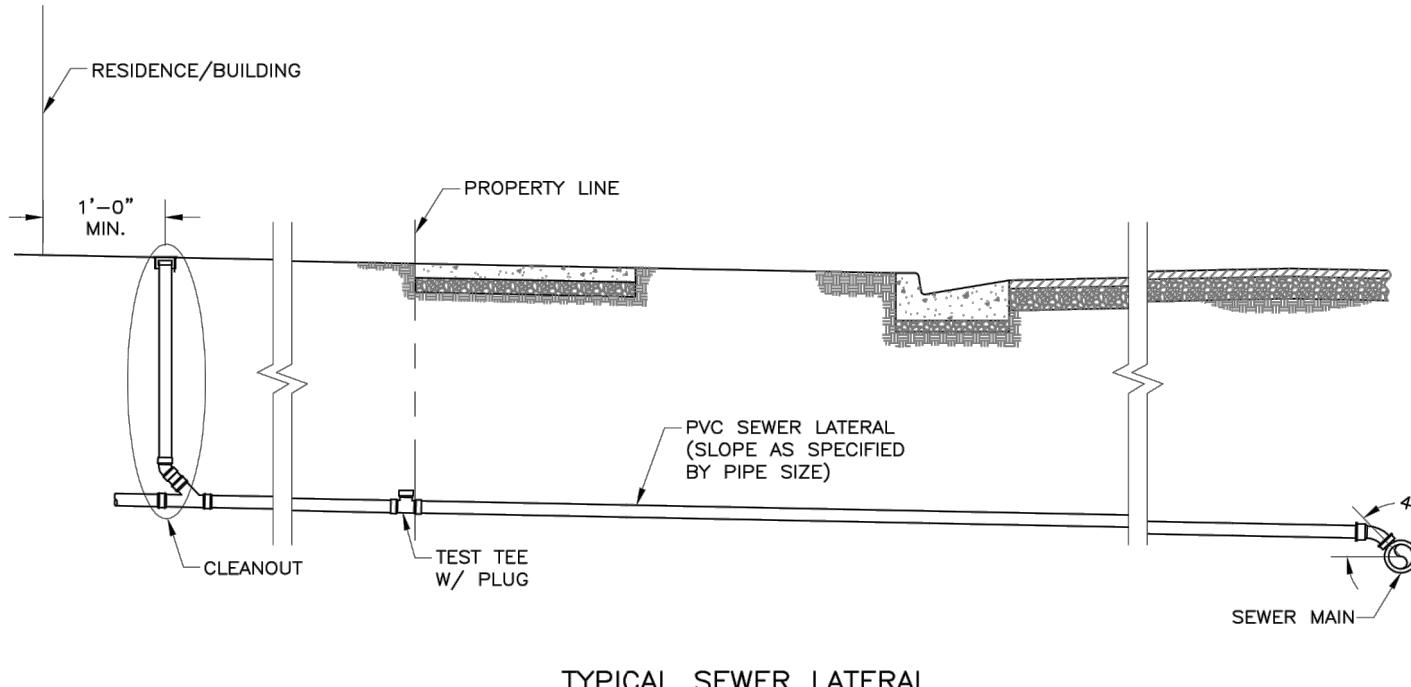
SAWCUT & REPAIR ④



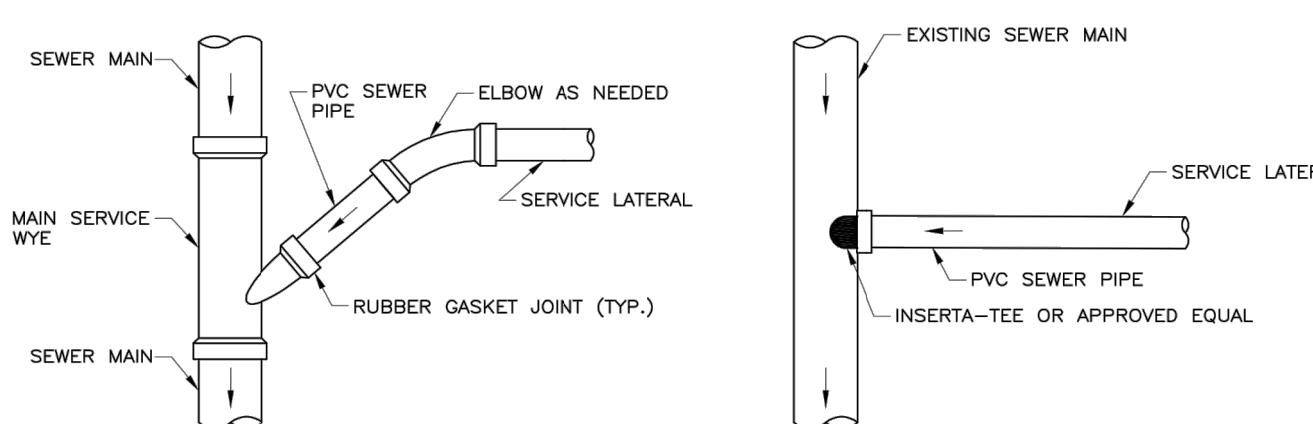
SEWER MANHOLE ⑤



Typical Sewer Lateral & Cleanout



TYPICAL SEWER LATERAL

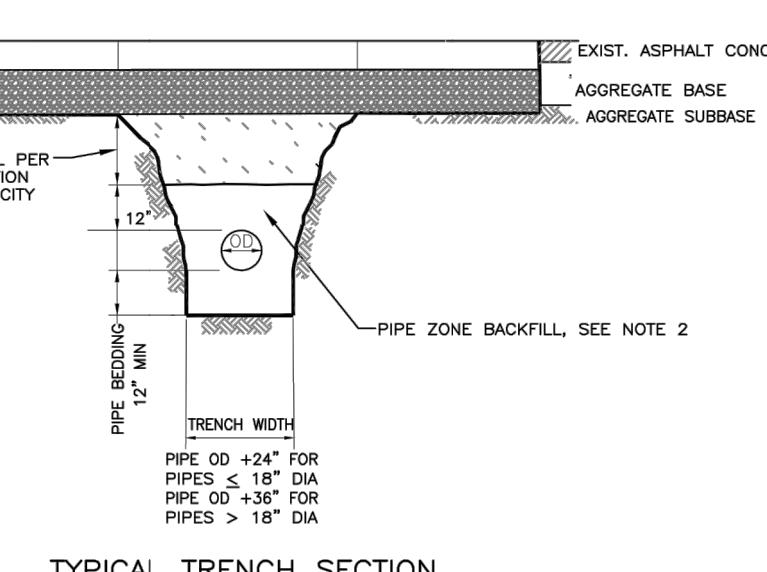


NOTES:
1. SERVICE LATERAL SHALL BE 4" OR 6" AS SHOWN ON PLANS OR AS DIRECTED BY MT. OLYMPUS IMPROVEMENT DISTRICT.
2. SEWER LATERALS SHALL CONNECT TO SEWER MAIN AT EITHER A 22.5° OR 45° ANGLE.
3. LATERAL CONNECTIONS SHALL BE A MINIMUM OF 24 INCHES OFF BELL SPIGOT OF SEWER MAIN.
4. ONLY ONE (1) NEW LATERAL CONNECTION SHALL BE ALLOWED PER 4 FOOT SEGMENT OF SEWER MAIN PIPE.

SHEET 5

SEWER LATERAL & CLEANOUT ⑥

Typical Trench Detail

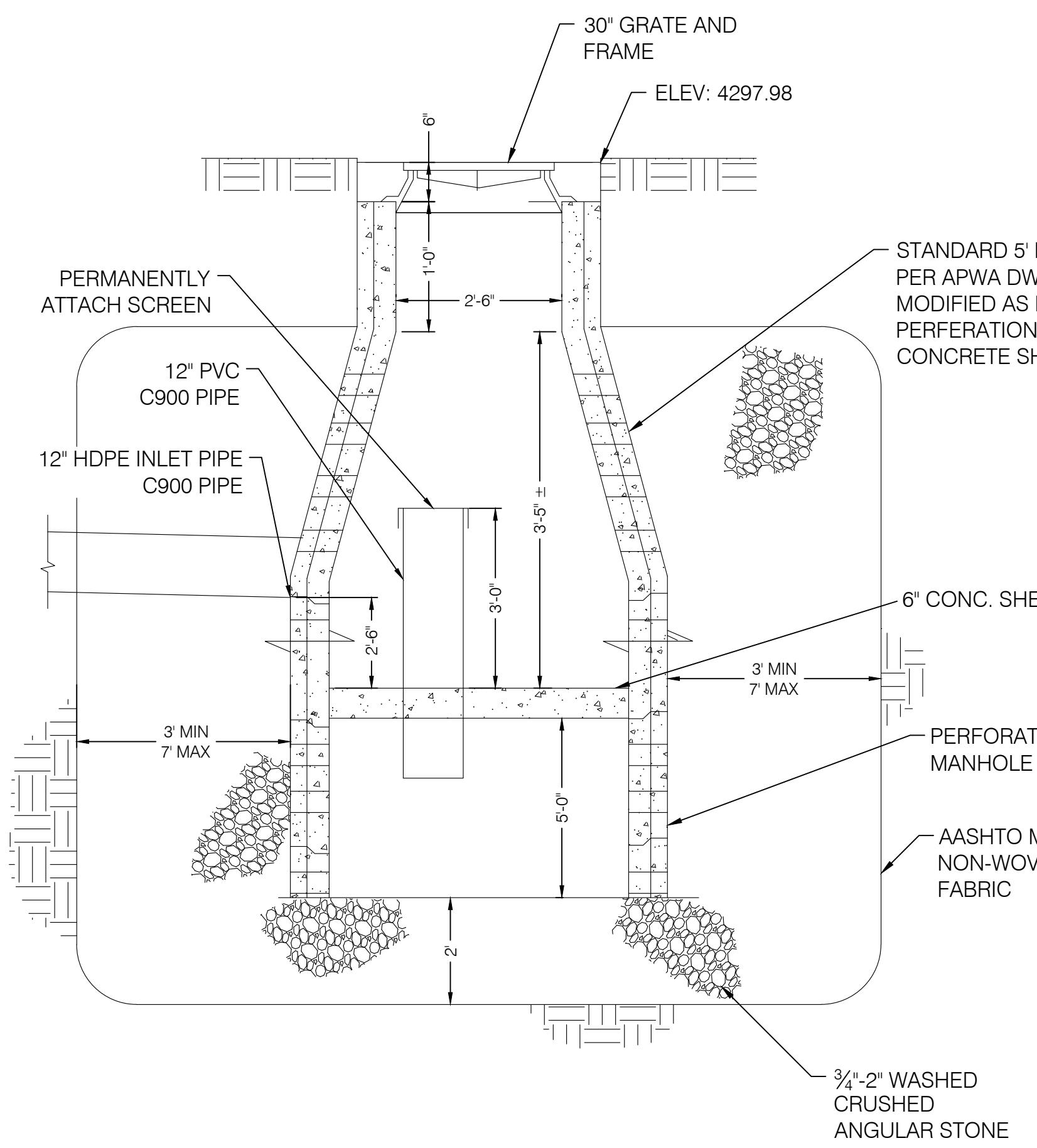


NOTES:
1. TRENCH EXCAVATION IN ACCORDANCE WITH APIA 31.23 16, OSHA, AND UOSH SAFETY STANDARDS.
2. PIPE ZONE MATERIAL TO BE A-1-1 OR A-1-1 ASTM D 3282 3/4" MAXIMUM PARTICLE SIZE, FINE GRAVEL AND "SQUEEGY" IS NOT ALLOWED IN ANY PART OF THE PIPE ZONE. MATERIALS TO BE PLACED IN LIFT NOT EXCEEDING 8' AND COMPACTED TO A MODIFIED PROCTOR DENSITY OF 95% OR GREATER (PER ASTM 1557) WITHOUT DAMAGING OR DEFLECTING PIPE.
3. RECYCLED ASPHALT SHALL NOT BE USED FOR BACKFILL IN ANY PART OF THE TRENCH.
4. FOR NEW CONNECTIONS TRENCH WIDTH SHALL BE 4 FOOT MINIMUM.

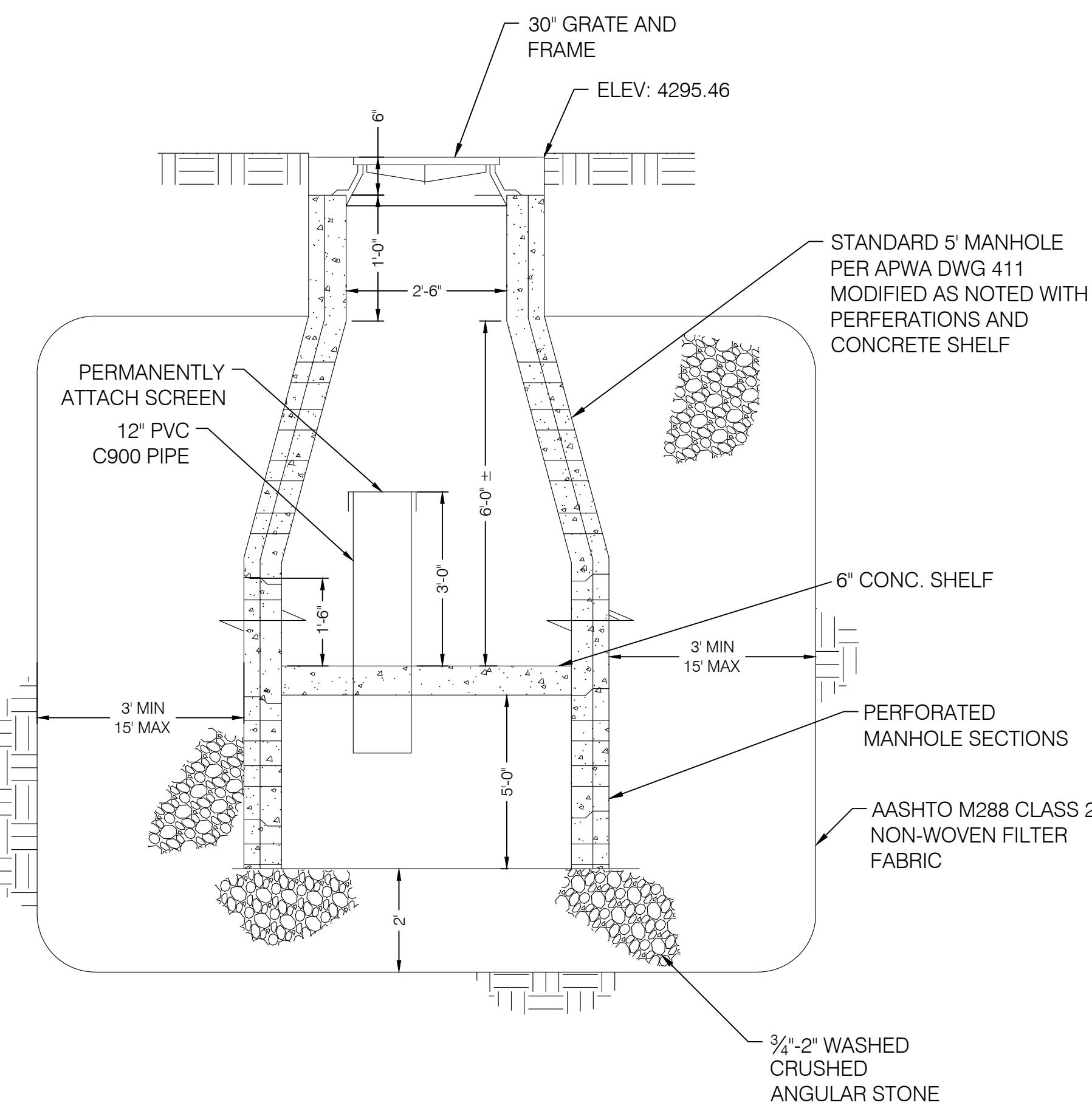
SHEET 8

SEWER TRENCH ⑦

PROJECT NO. 2208240
DETAIL SHEET
CDT.01
10 OF 11



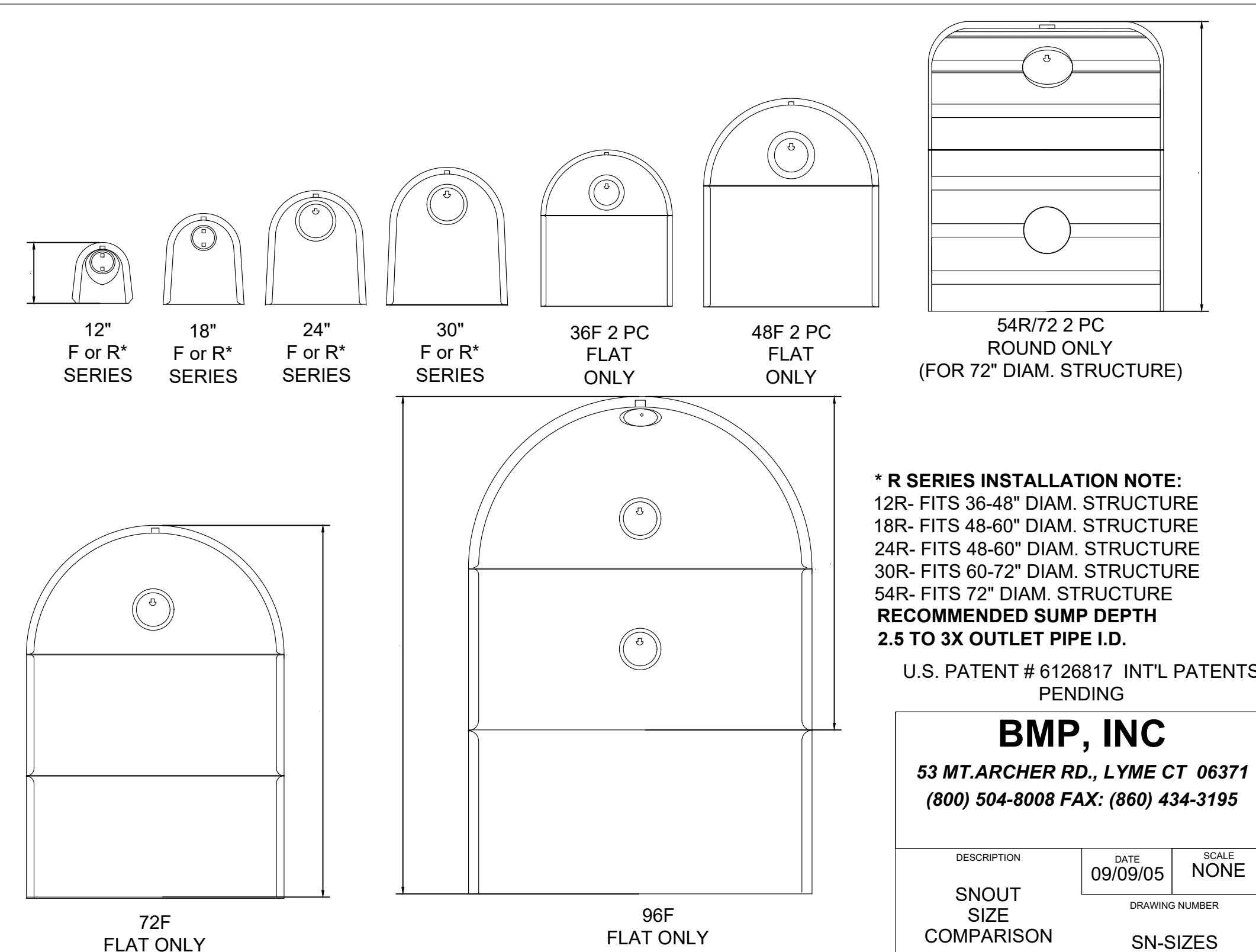
EAST SUMP (#301)



WEST SUMP (#304)

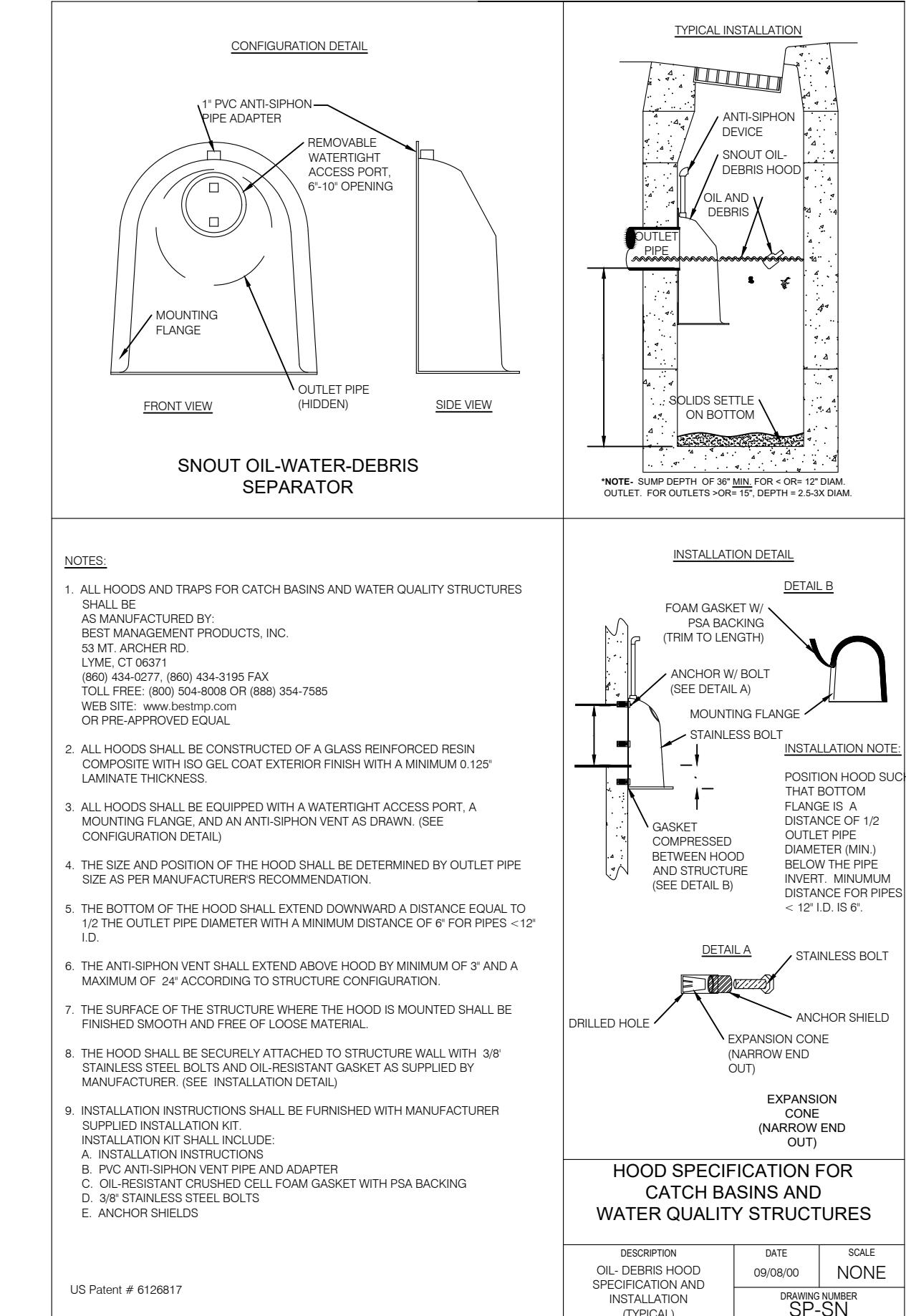
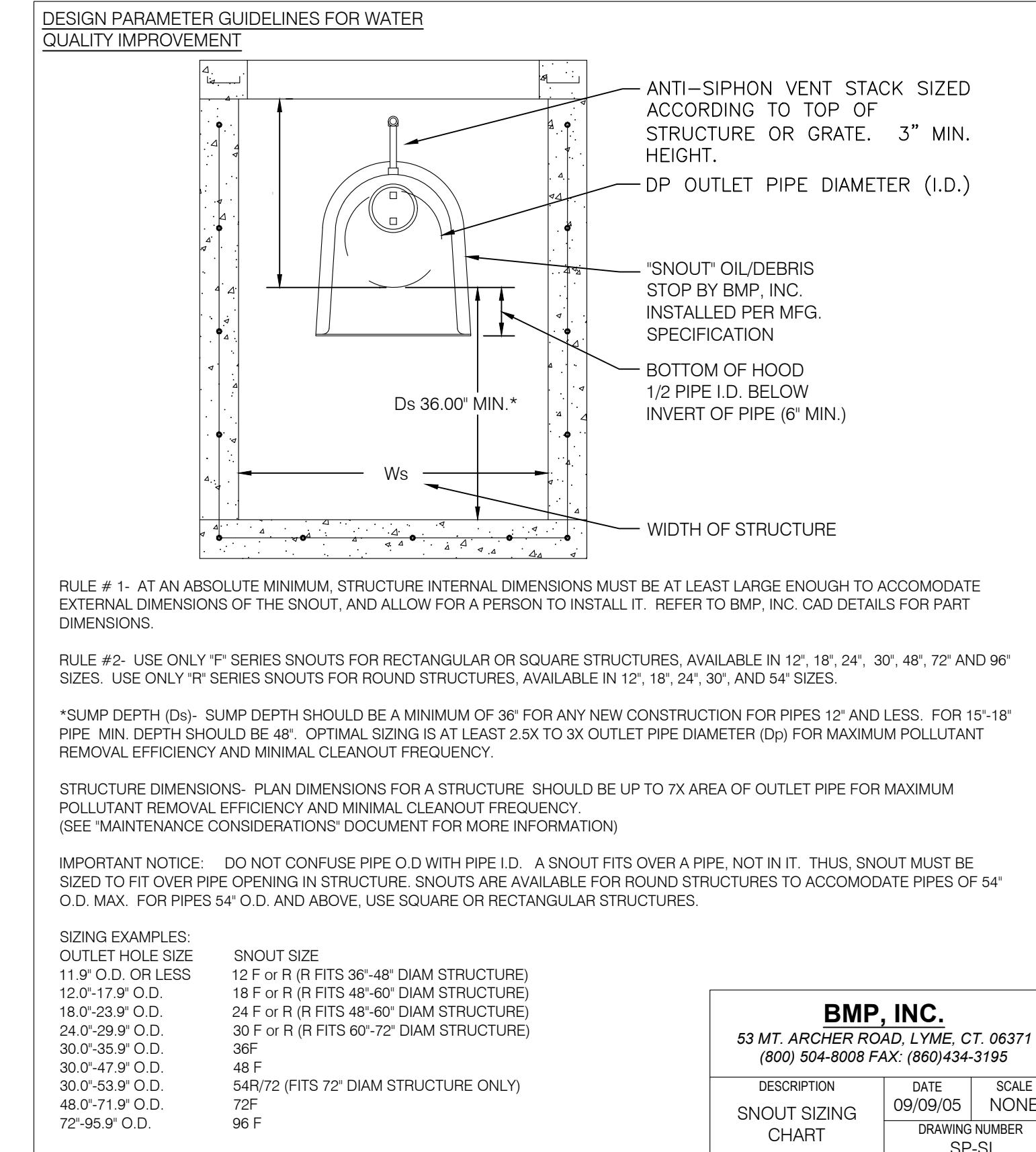
5' CONC. SUMP DETAIL

SCALE: N.T.

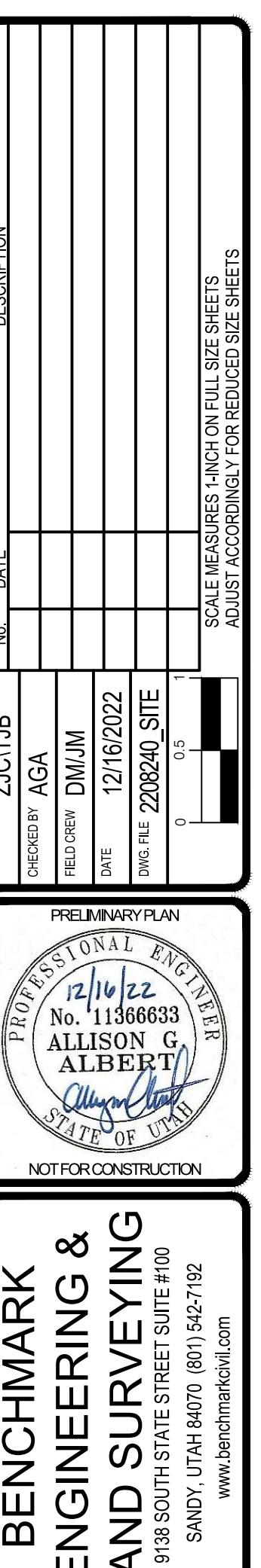


18F SNOUT DETAILS

SCALE: NTS



HIGHLAND PARK



The logo for BENCHMARK CIVIL features the word 'BENCHMARK' in a large, bold, black, sans-serif font, oriented vertically along the left side of a thick, dark grey oval. Inside the oval is a stylized graphic of a checkered racing flag, with the top half being white and the bottom half being black. The word 'CIVIL' is written in a large, bold, black, sans-serif font, oriented vertically along the right side of the oval.

PROJECT NO. 2208240

DETAIL

SHEET

CDT.02

11 OF 11

1

2

3

4

5

D

D



BRICK: 714 SF, 47%
 STUCCO: 360 SF, 24%
 BOARD & BATTEN: 280 SF, 18%
 ASPHALT SHINGLES: 160 SF, 11%
 TOTAL: 1,514 SF.

① BLDG 1 SOUTH
 1/4" = 1'-0"

BRICK: 760 SF, 85%
 STUCCO: 114 SF, 13%
 BOARD & BATTEN: 24 SF, 3%
 TOTAL: 898 SF.

② BLDG 1 EAST
 1/4" = 1'-0"

ARCHITECT'S INFORMATION:



RUSSELL PLATT ARCHITECTURE
 438 NORTH 300 WEST
 SALT LAKE CITY, UTAH 84103
 (801)-580-0181

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

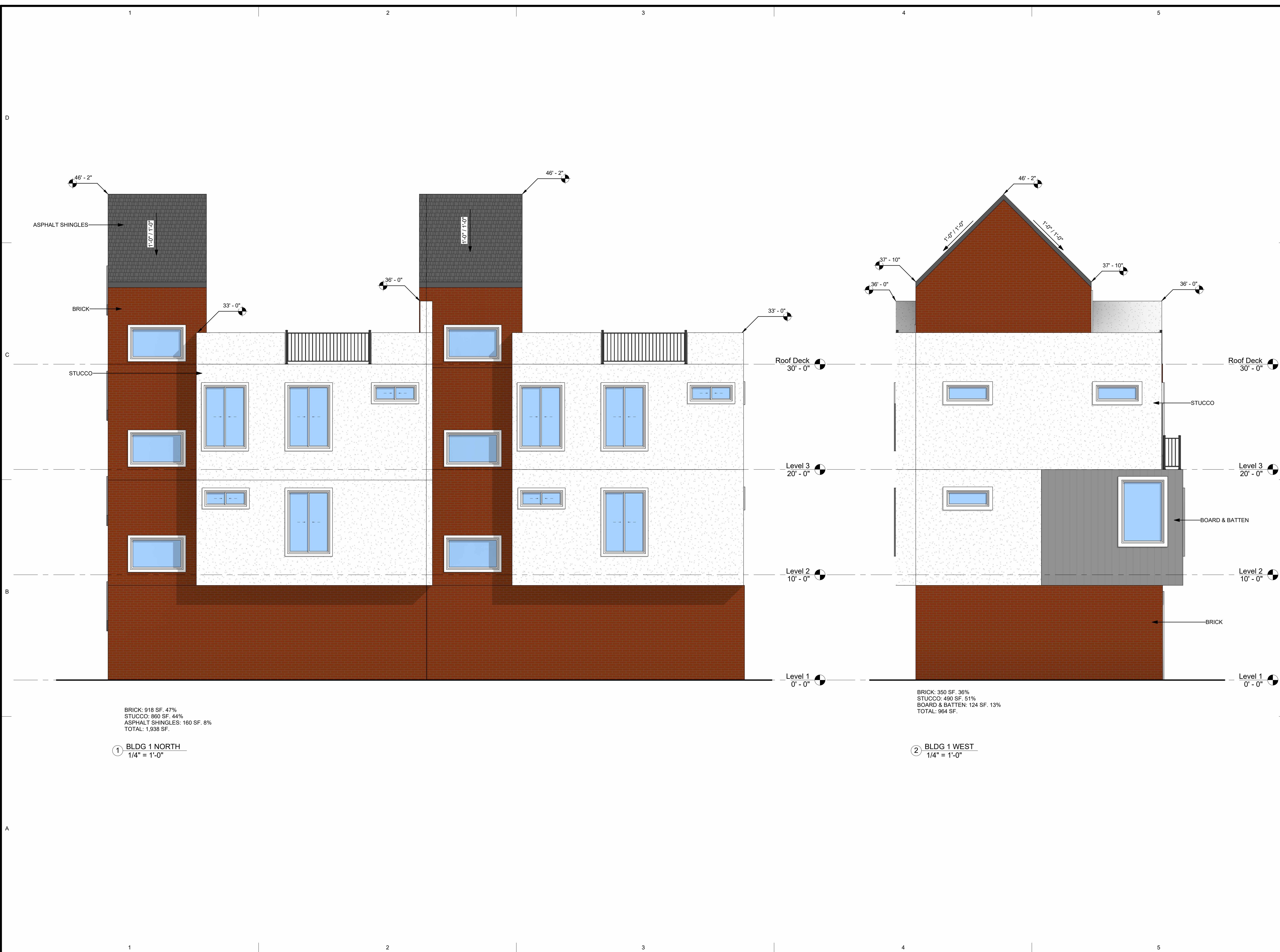
REVISIONS:
 NO. DATE DESCRIPTION

ISSUED: DEC. 19TH, 2022
 NO. DATE DESCRIPTION

OWNER PROJECT #:
 RPA PROJECT #:
 DRAWN BY:
 CHECKED BY:
 DESIGNED BY:
 COPYRIGHT:
 © 2018 RUSSELL PLATT ARCHITECTURE

SHEET TITLE: BLDG 1
 ELEVATIONS

SHEET NUMBER: A201





D

D



BRICK: 1,060 SF. 47%
STUCCO: 540 SF. 24%
BOARD & BATTEN: 430 SF. 19%
ASPHALT SHINGLES: 240 SF. 11%
TOTAL: 2,270 SF.

① BLDG 2 NORTH
1/4" = 1'-0"

ISSUED: DEC. 19TH, 2022
NO. DATE DESCRIPTION

OWNER PROJECT #: _____
RPA PROJECT #: _____
DRAWN BY: _____
CHECKED BY: _____
DESIGNED BY: _____
COPYRIGHT: © 2018 RUSSELL PLATT ARCHITECTURE

SHEET TITLE: BLDG 2
ELEVATIONS

SHEET NUMBER: A203

1

2

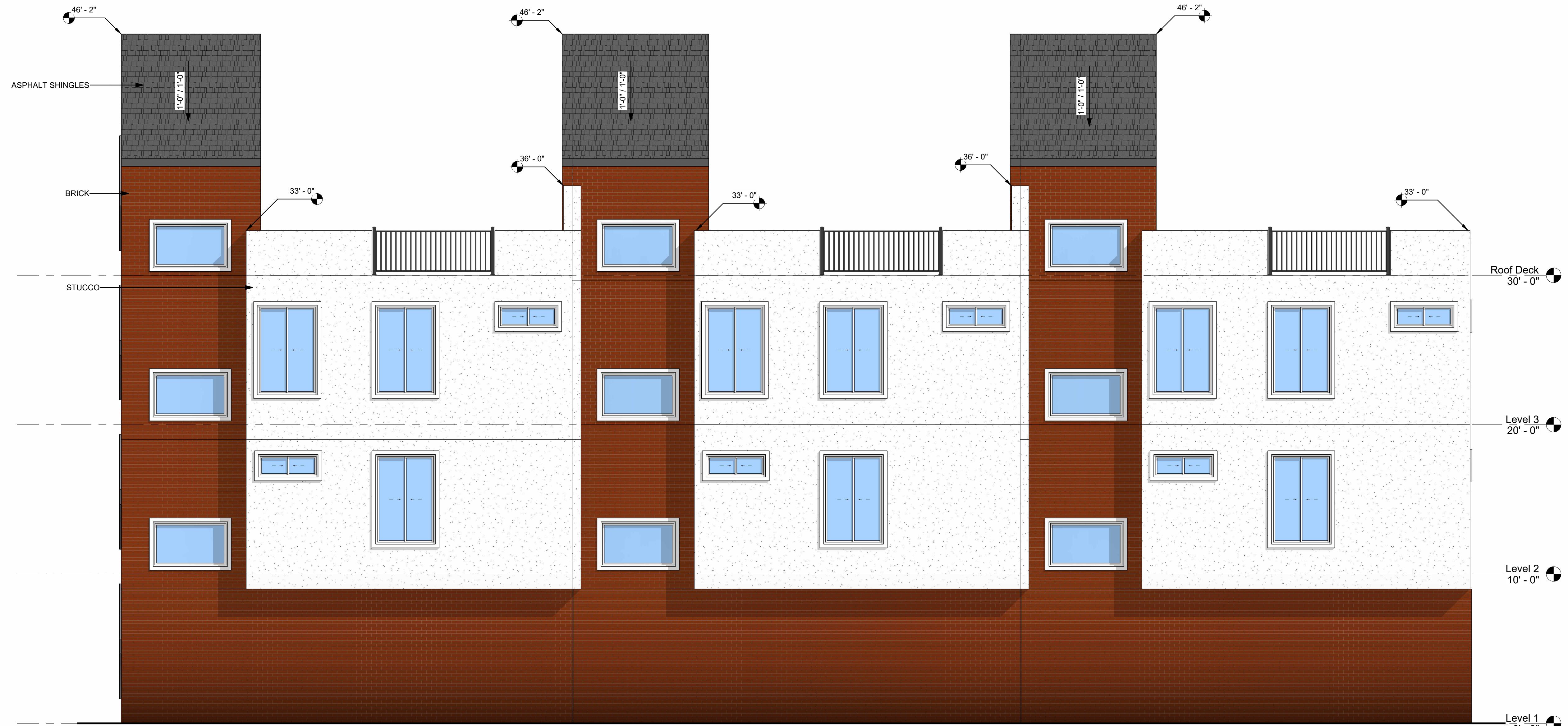
3

4

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BRICK: 1,360 SF. 47%
 STUCCO: 1,280 SF. 44%
 ASPHALT SHINGLES: 240 SF. 8%
 TOTAL: 2,880 SF.

① BLDG 2 SOUTH
 1/4" = 1'-0"

ARCHITECT'S INFORMATION:



RUSSELL PLATT ARCHITECTURE
 438 NORTH 300 WEST
 SALT LAKE CITY, UTAH 84103
 (801)-580-0181

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

4880

REVISIONS:
 NO. DATE DESCRIPTION

ISSUED: DEC. 19TH, 2022
 NO. DATE DESCRIPTION

OWNER PROJECT #: _____
 RPA PROJECT #: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DESIGNED BY: _____
 COPYRIGHT: © 2018 RUSSELL PLATT ARCHITECTURE

SHEET TITLE: BLDG 2
 ELEVATIONS

SHEET NUMBER: A204

D

ARCHITECT'S INFORMATION:



RUSSELL PLATT ARCHITECTURE
438 NORTH 300 WEST
SALT LAKE CITY, UTAH 84103
(801)-580-0181

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PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

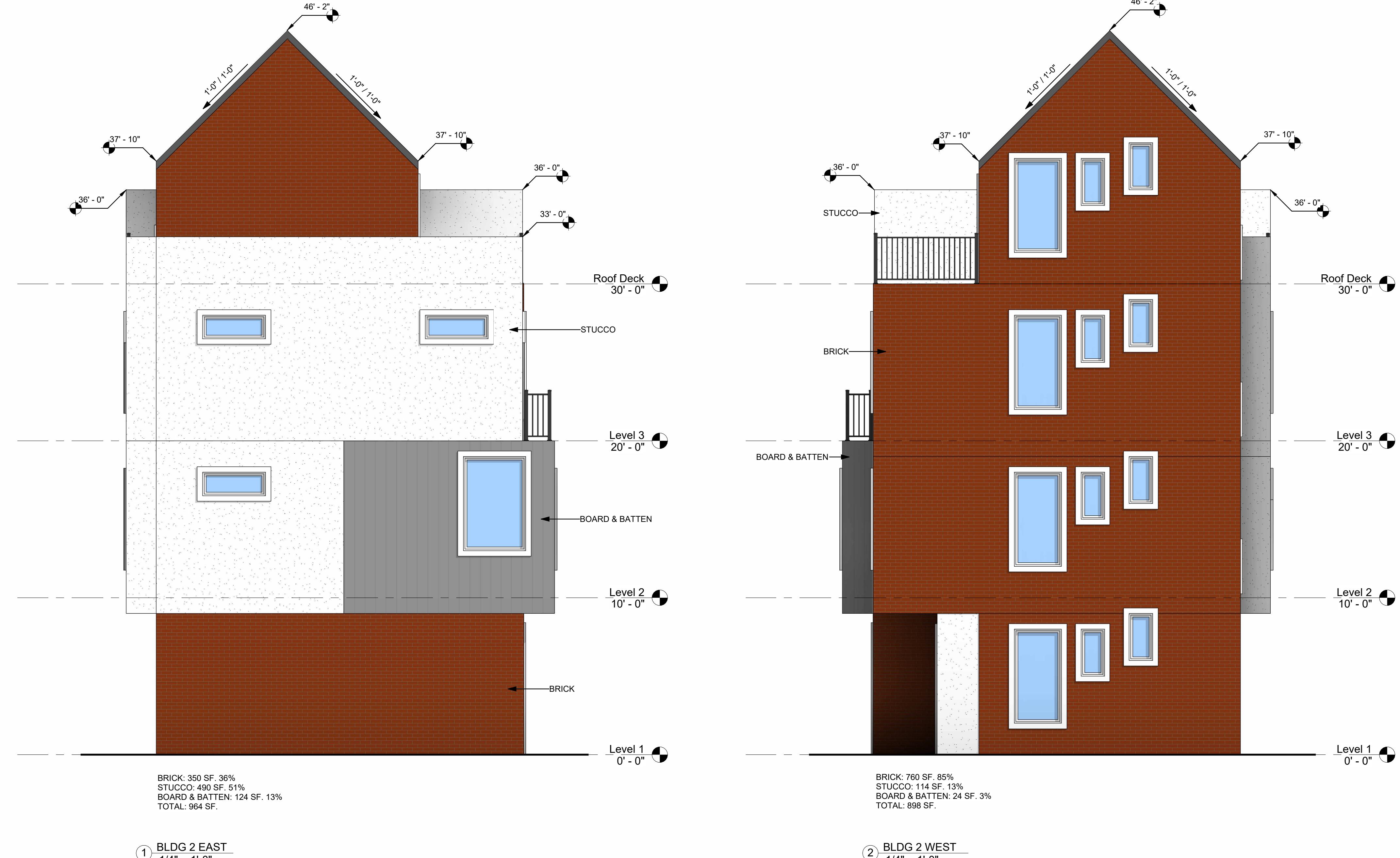
4880

REVISIONS: NO. DATE DESCRIPTION

ISSUED: DEC. 19TH, 2022
NO. DATE DESCRIPTION

OWNER PROJECT #:
RPA PROJECT #:
DRAWN BY:
CHECKED BY:
DESIGNED BY:
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SHEET TITLE: BLDG 2 ELEVATIONS
SHEET NUMBER: A205





D

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4880

ISSUED: DEC. 19TH, 2022
NO. DATE DESCRIPTION

OWNER PROJECT #:
RPA PROJECT #:
DRAWN BY:
CHECKED BY:
DESIGNED BY:
COPYRIGHT:
© 2018 RUSSELL PLATT ARCHITECTURE

SHEET TITLE: BLDG 3 & 4 ELEVATIONS

SHEET NUMBER: A206

800-541-0000
(801)-580-0181

INITIAL STAMP:

MAIL STAMP:

ME:

1000

#	DESCRIPTION
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: DEC. 19TH, 2022

PROJECT #:
PROJECT #:
BY:
D BY:
ED BY:
IGHT:
SSELLI PLATT ARCHITECTURE

BLDG 3 & 4 ELEVATIONS

REFERENCES

BER: A207

BRICK: 1360 SF. 55%

1 BLDG 3 & 4 SOUTH

1

2

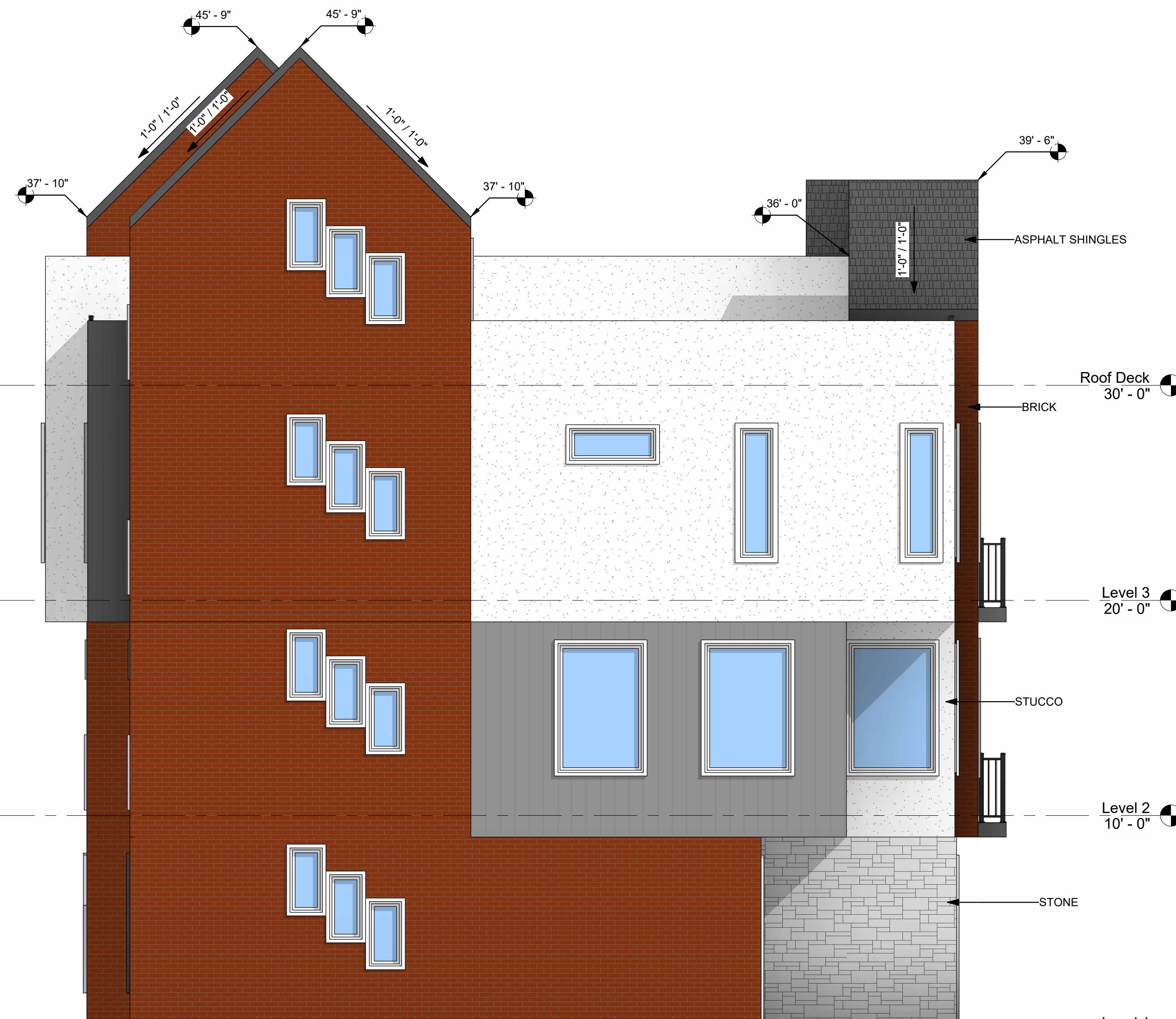
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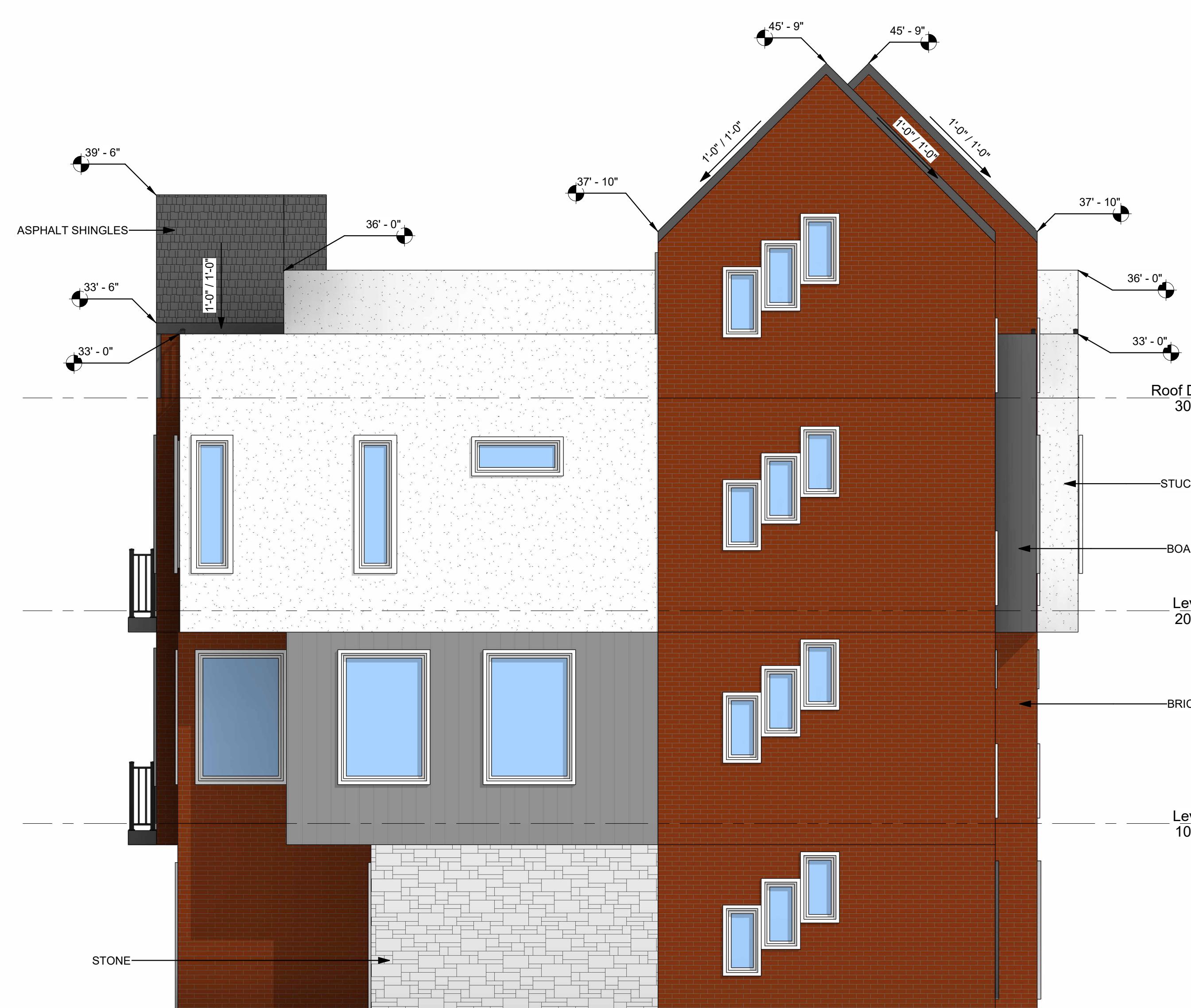
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D



① BLDG 3 & 4 EAST
1/4" = 1'-0"

BRICK: 810 SF, 54%
STUCCO: 410 SF, 27%
BOARD & BATTEN: 150 SF, 10%
STONE: 82 SF, 5%
ASPHALT SHINGLES: 45 SF, 3%
TOTAL: 1,497 SF.



② BLDG 3 & 4 WEST
1/4" = 1'-0"

BRICK: 810 SF, 54%
STUCCO: 410 SF, 27%
BOARD & BATTEN: 150 SF, 10%
STONE: 82 SF, 5%
ASPHALT SHINGLES: 45 SF, 3%
TOTAL: 1,497 SF.

4880

ARCHITECT'S INFORMATION:
RUSSELL PLATT ARCHITECTURE
438 NORTH 300 WEST
SALT LAKE CITY, UTAH 84103
(801)-580-0181

PROFESSIONAL STAMP:

CODE OFFICIAL STAMP:

PROJECT NAME:

REVISIONS: NO. DATE DESCRIPTION

ISSUED: DEC. 19TH, 2022
NO. DATE DESCRIPTION

OWNER PROJECT #:
RPA PROJECT #:
DRAWN BY:
CHECKED BY:
DESIGNED BY:
COPYRIGHT: © 2018 RUSSELL PLATT ARCHITECTURE

SHEET TITLE: BLDG 3 & 4 ELEVATIONS
SHEET NUMBER: A208



12840 Pony Express Road
Draper, Utah 84020

September 27, 2022

To Whom It May Concern:

This is to advise you of our ability to provide electrical service to the property:
4880 S. HIGHLAND CIRCLE, HOLLADAY, UTAH with the Electric Service Regulations on file
with the Utah Public Service Commission and upon completion of necessary contracts
and agreements.

Foster Greenwood
Rocky Mountain Power
Jordan Valley Operation
12840 S Pony Express Rd
Draper, UT 84020
801-576-6133

MT. OLYMPUS IMPROVEMENT DISTRICT

CHAIRMAN

AMI ANDERSON NEFF

TRUSTEES

GILES DEMKE
C. KIM BLAIR

October 3, 2022

Ms. Jessica Antezano, Director
Bureau of Water Quality
788 East Woodoak Lane
Murray, Utah 84107

3932 SOUTH 500 EAST
SALT LAKE CITY, UTAH 84107-1895
PHONE (801) 262-2904
FAX (801) 265-0551

GENERAL MANAGER

KERRY S. EPPICH

COUNSEL

KIRTON & MCCONKIE

PROJECT: **HIGHLAND CIRCLE**
ADDRESS: **4880 S HIGHLAND CIR**
DEVELOPER: **SEQUOIA DEVELOPMENT**
REF. #: **HOLLADAY CITY**
DISTRICT #: **165**

Dear Ms Antezano:

This will advise that **MT. OLYMPUS IMPROVEMENT DISTRICT** agrees to provide sanitary sewer service to this property subject to the following: **Conformity by the developer with the Rules and Regulations and Technical Specifications for Mt. Olympus Improvement District and Salt Lake County Laws and Ordinances.**

All Pretreatment requirements of the District must be met.

Payment of all applicable fees to the District, (when the capacity fee is paid an account is opened and the property goes into billing at four months for residential properties and at six months for commercial and all other properties).

Development of site so as to provide proper slope of sanitary sewer mains and laterals, in addition to the minimum required cover. It is the developers responsibility to field verify all elevations. (Developers must contact the District prior to any outside sewer work being done).

Connection by the developer of sanitary sewer mains to existing mains as recommended by our Engineer.

Duplexes and Townhomes require two lateral lines. Each individual unit for townhomes, condos, and detached ADU requires a separate lateral.

Granting of easements to the District for sanitary sewer mains on private property.

Because of the growth in the District and this commitment of system capacity for service, this service commitment is good for two years from the above date. Unless there is construction activity on this property after the above date, a new letter must be obtained from the District.

Enclosed herewith is a preliminary drawing of the above project showing the existing sanitary sewer extension.

Sincerely,



Kerry S. Eppich, General Manager
Mt. Olympus Improvement District



Dean D. Ayala, P.E., District Engineer

Enclosure: One copy of Preliminary Sanitary Sewer layout

cc: Sequoia Development



PLAN SUBMITTAL REVIEW & COMMENTS

Project: Highland Circle
Address: 4880 S Highland Cir
Date: October 3, 2022

SUBMITTAL INFORMATION		DISTRICT ENGINEER'S RESPONSE																																																											
To:	To:																																																												
Dean Ayala, P.E. 3932 S 500 E Millcreek, UT 84107	Alec Moffitt 9055 S 1300 E Sandy, UT 84094																																																												
<table border="1"> <thead> <tr> <th colspan="8">REVIEW ACTION</th> </tr> <tr> <th rowspan="2">PDF Copies Sent</th> <th colspan="2">No Exception Taken</th> <th colspan="2">Make Corrections Noted</th> <th colspan="2">Submit Specified Item</th> <th rowspan="2">Informational Item for Followup</th> </tr> <tr> <th>A</th> <th>B</th> <th>C</th> <th>D</th> <th>E</th> <th>F</th> </tr> </thead> <tbody> <tr> <td></td> <td>X</td> <td>X</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td>X</td> <td>X</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td>X</td> <td>X</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td>X</td> <td>X</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>								REVIEW ACTION								PDF Copies Sent	No Exception Taken		Make Corrections Noted		Submit Specified Item		Informational Item for Followup	A	B	C	D	E	F		X	X							X	X							X	X							X	X					
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This is:	<input checked="" type="checkbox"/> Preliminary <input type="checkbox"/> 2nd Submittal <input type="checkbox"/> 3rd Submittal																																																												
The preliminary plans are approved with the following exceptions:																																																													
1	Prior to final plan review and approval provide the District with the Plat including a minimum 10-foot wide utility easement specifically naming Mt. Olympus Improvement District, with the lot numbers, and addresses.																																																												
2	Ensure that the sewer main slopes are at least 0.4%. 0.5% slopes or more are desirable where conditions allow.																																																												
3	Ensure that the sewer tie in on Highland Circle is at least 0.2' higher than the high water mark.																																																												
4	Place a note on the demo plan that states "The Contractor to schedule a cap-off the existing sewer lateral(s). Contractor to schedule a cap-off inspection with the District to witness the cap-off."																																																												
Remarks: Resubmit updated plans for final approval one month prior to the start of construction. The excavating contractor should contact the District 2-week prior to the start of construction for permitting of the project.																																																													
<i>This plan review is only for general conformance with the design concept of the project and the general compliance with District Standards. The Owner, Contractor, and Contractor's Engineer are responsible for the design, construction, and the satisfactory performance of the work.</i>																																																													

Sequoia Neighborhood Meeting

Sept. 27, 2022

Alec Moffitt: Welcome everyone, we submitted this site plan to the city. We are proposing 11 units in total. There will be 1 duplex and 3 triplexes. The location of these new homes is 4880 S. Highland Circle. And we plan to design them like our Holladay Row community behind the Ace on Murray Holladay Rd. So far, the city has shown their support of this plan but we are here to listen to our neighbors. Developers change neighborhoods and cities for decades and sometimes centuries, so this is your chance to give any input. If you have questions or concerns, please voice them now.

Dorene Kuhn: Are they going to be rental units? Will you restrict rentals in the neighborhoods HOA?

Alec: No, they will be for sale units only. We have no intention at this point of limiting the homeowners ability to rent the home.

Mike Martin: How much will they cost?

Alec: At this point in time, we do not know. We need to get architectural plans and then figure out our building costs to know the sales price. But we are expecting them to be roughly \$900,000 a unit

Dorene: Are they going to have basements?

Alec: We are undecided at this point. The front smaller units will not have basements and will be 3 stories high. The back units we are playing with the idea of basements but know the issues with water and flooding in this area so are still contemplating our decision.

Dorene: You better be careful if you do basements. Whenever we get a really heavy winter and wet summer every 5-10 years the lower levels tend to flood.

Alec: Thank you Dorene, we will definitely keep this in mind in our building and site design.

Erin Aste: How tall are the homes going to be?

Alec: Code is 35 feet, and I don't see us exceeding 30 feet. We do however think we may add rooftop patios so we would have a stairway that would require additional height. But there is a city variance that allows 8 feet for that space specifically. We cannot have any livable or usable space in that extra height, it is strictly to help multifamily with stairways and elevators.

Mike: Will these units have elevators?

Alec: No

Steve Aste: Are there going to be any amenities for the HOA? I don't see any common space.

Alec: We are applying for a PUE as well to try to move some setbacks and add additional common green space. We originally wanted to keep the existing home for some type of amenity or create a little coffee shop and office space but that got shut down pretty quickly. We had one of the largest home movers in Utah come look at it to see how we would move it and due to the age of the home and the rock foundations, they said there was no way they could move it successfully.

Erin: Isn't that home on the state historical marker?

Alec: Yes, it is marked on the state website, but it is not registered on any national, state, or local historical registries. The previous owners applied to get it registered so they could remodel it and get some tax credits for preserving the building but never followed through and it never got registered.

Mike: So besides the home, what else is going to be demolished?

Alec: There is an additional structure behind the home that was used as an office. It will also be demolished with the additional wings that were added to the home over the years. During construction some trees will also be taken down or won't survive. But we will replace them per city standards with 1.5" caliper trees that will grow to be beautiful mature trees.

Erin: Are the homes going to look like containers like you have shown there (points to our rendering)?

Alec: They will be similar in height and dimensions as well as dark brick but the final design is undecided and we are working with Shaw Design who is an excellent architect and we believe the homes will be beautiful.

Steve: How long until they are built?

Alec: We expect to have plans and engineering approved by the city in the spring and start construction then. Paul, can you tell us how long you think construction will last?

Paul: yes, we plan on starting next spring and construction on this should be roughly a year but we will shoot for completion at the end of 2023.

Alec: Are there any other questions you may have?... Well thank you for coming everyone hopefully this helped you understand the project a little better and you were able to get answers you wanted.



FILE# 18-9-02-1

MILLWOOD ESTATES TOWNHOMES

ADDRESS:

4600 South Holladay Blvd

LEGAL DESCRIPTION: 22-03-377-001

COM 56.6 RD N & 28 RD W FR SE COR OF SW 1/4 SEC 3 T 2S R 1E SL MER W 18 RD N 2° E 20 RD TO CENTER OF ROAD S 39° E TO BEG 0.73 AC.

APPLICANT/REPRESENTATIVE:

Shawn Lockwood, Nolen Mendenhall

PROPERTY OWNER:

Marlyn Miller

ZONING:

HV

GENERAL PLAN DISTRICT:

Holladay Village Master Plan

CITY COUNCIL DISTRICT:

District #1

PUBLIC NOTICE DETAILS:

Mailed 12/30/2022

REQUEST:

Site Plan Review- CONCEPT/PRELIMINARY

APPLICABLE REGULATIONS:

13.71

13.08

EXHIBITS:

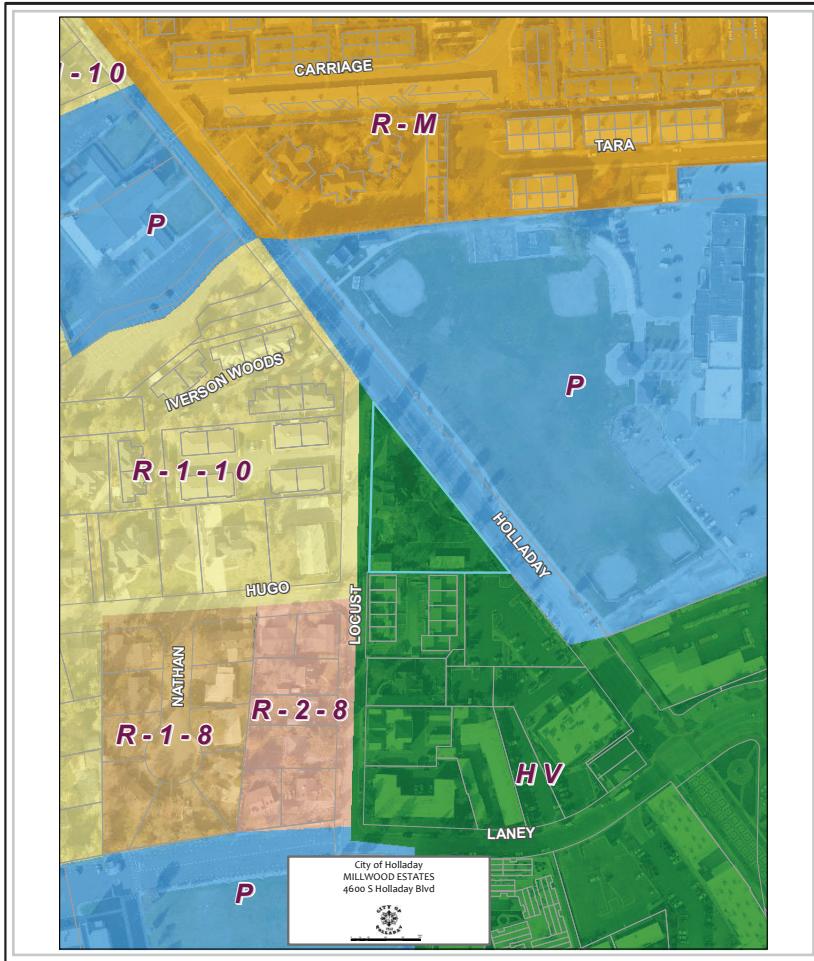
Zone map
Staff Report
Applicant Narrative
Applicant supporting doc.

DECISION TYPE:

Administrative:

Public hearing required. PC shall make a motion of either, denial, approval or to continue. All motions require findings which support the decision. As directed by ordinance, applications shall be approved if the Land Use Authority finds Substantial Evidence of compliance with applicable requirements. Holladay Ord. 13.06.050.B2 and 13.08

SITE VICINITY MAP



Notes:

STAFF:

Jonathan Teerlink, City Planner



Request: CONCEPTUAL SITE PLAN - REVISTED
Project: "Millwood Estates" – Residential Townhomes
Address: 4600 South Holladay Boulevard
Zone: Holladay Village (HV)
Applicant: Marilyn Miller, Owner Nolen Mendenhall, Architect
File No: 18-9-02-1
Planner: Jonathan Teerlink

GOVERNING ORDINANCES:	13.06.050B 13.08.010D 13.08.080E 13.08.080 13.71	ADMINISTRATIVE DECISION PROCEDURES ADMINISTRATIVE APPROVAL PROCEDURES SITE PLAN APPROVAL STANDARDS PRELIMINARY SITE PLAN APPROVAL STANDARDS HOLLADAY VILLAGE ZONE DEVELOPMENTS
-----------------------	--	--

REQUIRED PLANNING COMMISSION ACTIONS (ADMINISTRATIVE):

Required public hearing was opened and closed on January 10th 2023. PC shall make a motion of either, approve or to continue discussion on this permitted, by-right application. All motions require findings which support the decision. As directed by ordinance, applications shall be approved if the Land Use Authority finds Substantial Evidence of compliance with applicable requirements. Holladay Ord. [13.06.050.B2](#) and [13.08](#)

Creation of a townhome plat requires review and approval by the Land Use Authority (Planning Commission) in a three-step process; **Concept, Preliminary and Final plat.** Decisions must be made during public meeting. The notice for the required public hearing of this first step has been mailed to all properties within 500' of the subject parcels.

Motion components applicable to this application:

- 1) **Building Design:** Approved on January 10th 2023
- 2) **Conceptual Site Plan:** Review and action on PERMITTED USE Conceptual Site plan (Administrative);
 - * Applicant is seeking entitlement for a residential development in the Holladay Village zone. The proposed density of residential townhomes is a use allowed, by right in this zone. PC shall verify compliance with zone density maximums and site plan compliance with Holladay Ord. §13.08.08 and make a motion accordingly.

BACKGROUND

According to the HV zone [lot creation \(density\) regulations](#), the Mrs. Miller is allowed to build the proposed **5 new duplex townhomes and one new single family home** on her .73 acre lot (31,978 sq ft). The new residential units will be in addition to the 3 units within the existing primary home (**total 16 of dwellings**).

During the Planning Commission's regular meeting held on January 10th a motion to approve the concept site plan failed in tie-vote. The applicant has worked with the City Engineer to addressed safety concerns related to new carport on Locust Lane. And clarify how the parking arrangements are to be handled.

PROJECT SUMMARY

- On January 10th 2023 the Holladay Planning Commission approved the applicant's chosen building styles
- Development compliance details;
 - **16** Total dwellings. (HV zone allows a maximum of 24units/acre, yielding **17 units** possible for a 31,978 sqft property)
[§13.71.1](#)
 - **20** Parking stalls required: **21 provided** as per Holladay Ord [§13.80.040\(B\)](#) (See Site plan for use: allotment breakout). The applicant has chosen an in-line or tandem style arrangement.
- **35' maximum building height**, proposed two-story homes comply with height maximums (Holladay Ord. Figure13.71.3)
- Site plan will be divided into private, common and limited common ownership.
- **36.4%** of the site is landscaping. Proposed landscaping and protection of existing tree canopy is considered compliant with HV Zone requirements of subsection §13.71.080J

TECHNICAL REVIEW COMMITTEE ANALYSIS

As a permitted, residential development in the HV zone, this project, as proposed, is generally considered by the TRC as in step with the goals and standards of the Holladay Village Master Plan. It represents the vision of the plan to providing housing in a harmonious style, supporting and complimenting existing development occurring in the Village. The detached duplex townhomes provide a unique housing option for this area in a desirable style, complimenting the existing primary home. Overall, review by the TRC took place in two parts; **Building Design** and **Site Development/Land Use**.

::

CONCEPT LEVEL ANALYSIS:

In accordance with Holladay Ord 13.08.010, upon receipt of a complete concept subdivision application, the Community and Economic Development Director has distributed the application to and has subsequently received recommendation(s) from the Technical Review Committee. Review of submitted elements are compared against the administrative checklist of required submittals 13.10.050A. The following is provided to the Planning Commission as a summary of joint recommendation of unconditional conceptual subdivision approval from the TRC:

Zoning, City Planner:

- Property is entirely under control of the applicant.
- Residential land use complies with HV zone allowed uses §13.100
- Proposed Density of 16 dwellings complies with HV zone dwelling unit ratio of 24 units per acre.
- *Still need utility service connection letters; water, gas, sewer and power. – **deferred to preliminary level review***
- 20-foot private access driveway is properly sized for Fire and emergency access from Holladay Blvd, a public street

United Fire Authority (UFA), Area Fire Marshal:

- Dead end of Locust Lane shall have “No Parking” posted on either side of the Locust Lane – preferable both sides.
- 20-foot private access driveway is properly sized for Fire and emergency access from Holladay Blvd, a public street
- Each dwelling sized under maximum limits for fire sprinklers – no interior sprinkler systems required

Engineering, City Engineer:

- Onsite storm water retention plans required – *deferred to preliminary level review*.

Public Works, City Engineer:

- No parking will be required to be posted and curb painted along the east of Locust Lane
- Dedication shown at extreme corner of Locust and Holladay Blvd.

Building Code, City Building Official

- No comments

STAFF RECOMMENDATIONS

This application is allowed as proposed. The PC may engage the applicant to discuss/modify site conditions generally in order to comply with regulations. Reductions, eliminations or any other proposals to eliminate allowances granted by right of the zone is considered an unconstitutional, illegal taking of development rights. The PC shall verify compliance and allow the public comments provide insight on the project. Ample time should be allowed to the applicant to respond to issues.

SPECIFICALLY: The commission is encouraged to have in in-depth conversation with the applicant regarding:

- Proposed amendments to carport on Locust Lane
- Additional lighting plan not currently shown in the supplied set.
- Preservation of tree canopy along all property line, i.e. the perimeter of the project site

Procedural clarity, staff's recommendation to the PC is to review and discuss this project at a Concept Site plan level. Motions with findings should be made accordingly.

Conceptual Site Plan:

Staff recommends that the PC become familiar with the *site* plan standards listed in z2113.10.050B & §13.71.080. Lighting, landscaping, required street improvements etc. should be discussed with the applicant as proposed. Staff has reviewed these elements and have found that submittals to be complete as per City of Holladay submission requirements and recommends that **CONCEPT SITE PLAN** be approved by the commission.

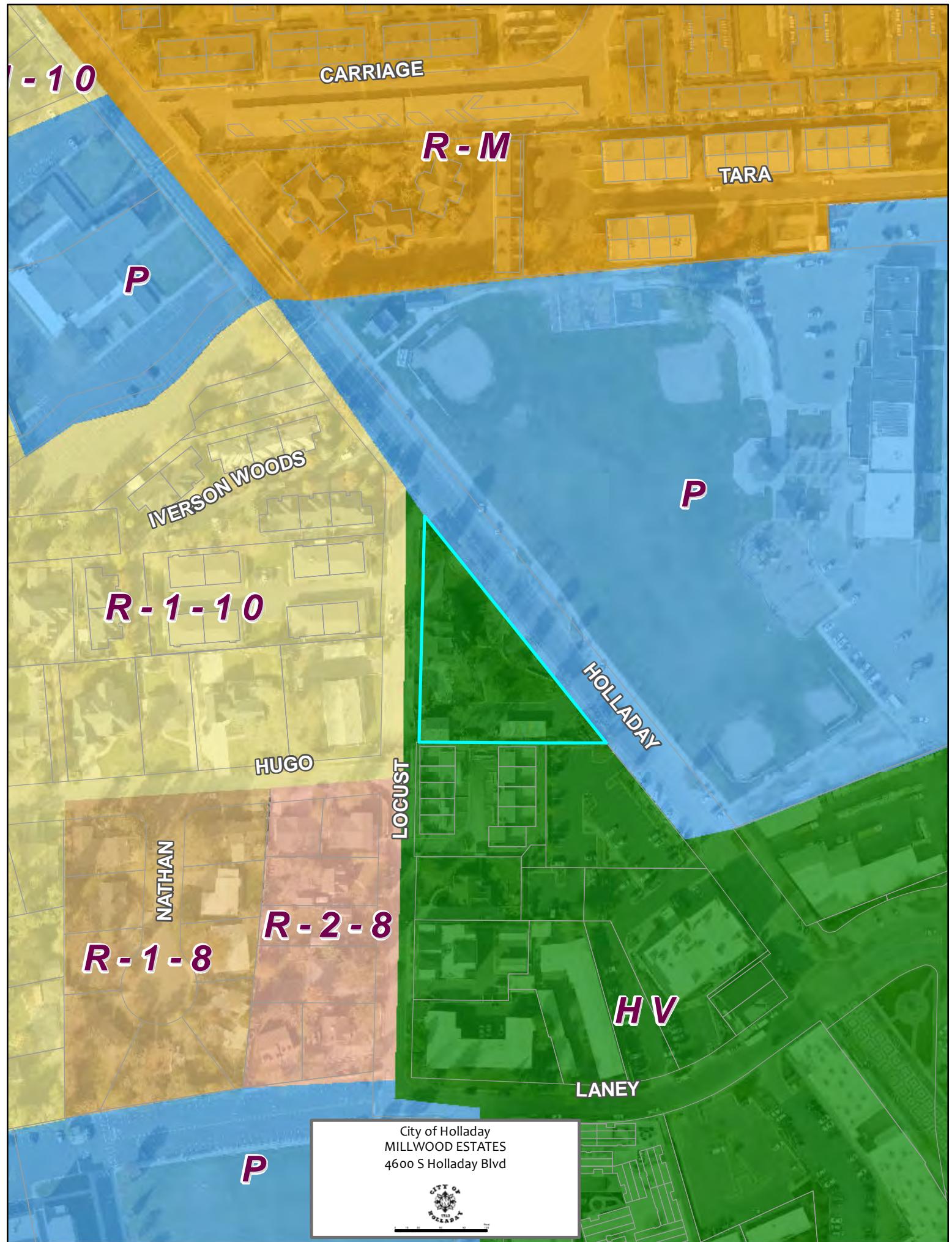
SAMPLE MOTION: "I move to _____ the Conceptual Site plan for "Millwood Estates Townhomes" located at 4600 South Holladay Road., in the HV zone. Finding that this site plan;

- 1) *Building location and architecture has been approved as compliant with HV design standards.*
- 2) *The residential land use and density is permitted and allowed as a by-right use of the property.*
- 3) *Residential layout, landscaping and onsite parking details are compliant with zone standards.*
- 4) *Concept approval is subject to the project being serviced by all life safety utilities.*

SUPPORTING MATERIALS

- Map/aerial
- Concept Site plan







CITY of HOLLADAY

January 11th 2023

RE: "Millwood Estates" Residential Townhomes
Planning Commission Determination on Building Design, Concept Site Plan
4600 South Holladay Blvd.
File #18-9-02-1

Marlyn Miller:

THIS LETTER AND THE ATTACHED DOCUMENTS CONSTITUTE A DECISION BY THE CITY OF HOLLADAY PLANNING COMMISSION FOR "MILLWOOD ESTATES" A RESIDENTIAL TOWNHOME DEVELOPMENT PROJECT WITHIN THE HOLLADAY VILLAGE (HV) ZONE.

On January 10, 2023, the City of Holladay Planning Commission (PC) unanimously moved 6-0 to approve the attached drawings, depicting architectural elements for your development, within the Holladay Village zone, based upon the following findings:

- 1) Has received a favorable recommendation from the DRB
- 2) Complies with the vision and design guidelines of the Holladay Village

In the same meeting held January 10, 2023, a motion to approve the Conceptual Site plan failed to pass by a tie vote (3-3). Though the site plans presented were generally accepted as compliant with *density* and *land use*, the commission was not in agreement over the proposed configuration/layout of parking stalls including proposed access from Locust lane to the new carports.

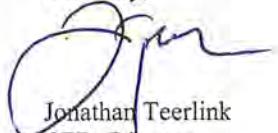
Available options are as follows;

- 1) Resubmit your site plan as originally proposed - *with a detailed narrative addressing all the commission's concerns*, for the next meeting on January 24th. Your presentation will be in anticipation that a 7th member of the commission will be present. Be aware that this department cannot guarantee a tie-breaking vote, of an odd number commission, will result in your favor.
- 2) Submit an amended site plan. Reconfigure the layout of parking area as discussed by the commission and include a detailed narrative addressing all the commission concerns.

Staff will review your submission and schedule it for the Commission's next available agenda.

If you should have any questions, please contact this department at 527-3890, for assistance

Sincerely,



Jonathan Teerlink
CED, Director

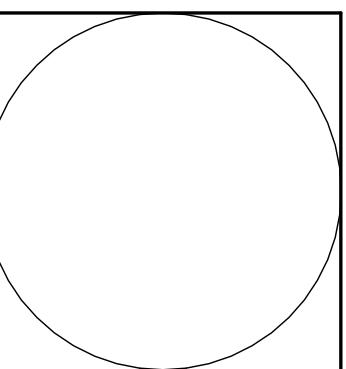
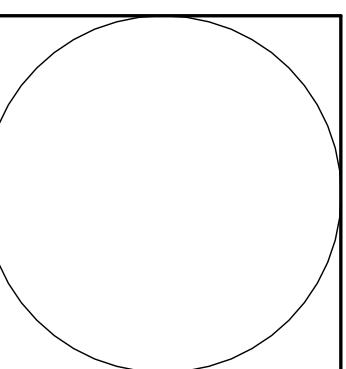
Enclosures





Mendenhall Architecture & Design, llc

4635 South Highland
Holladay, UT 84117
801.277.293



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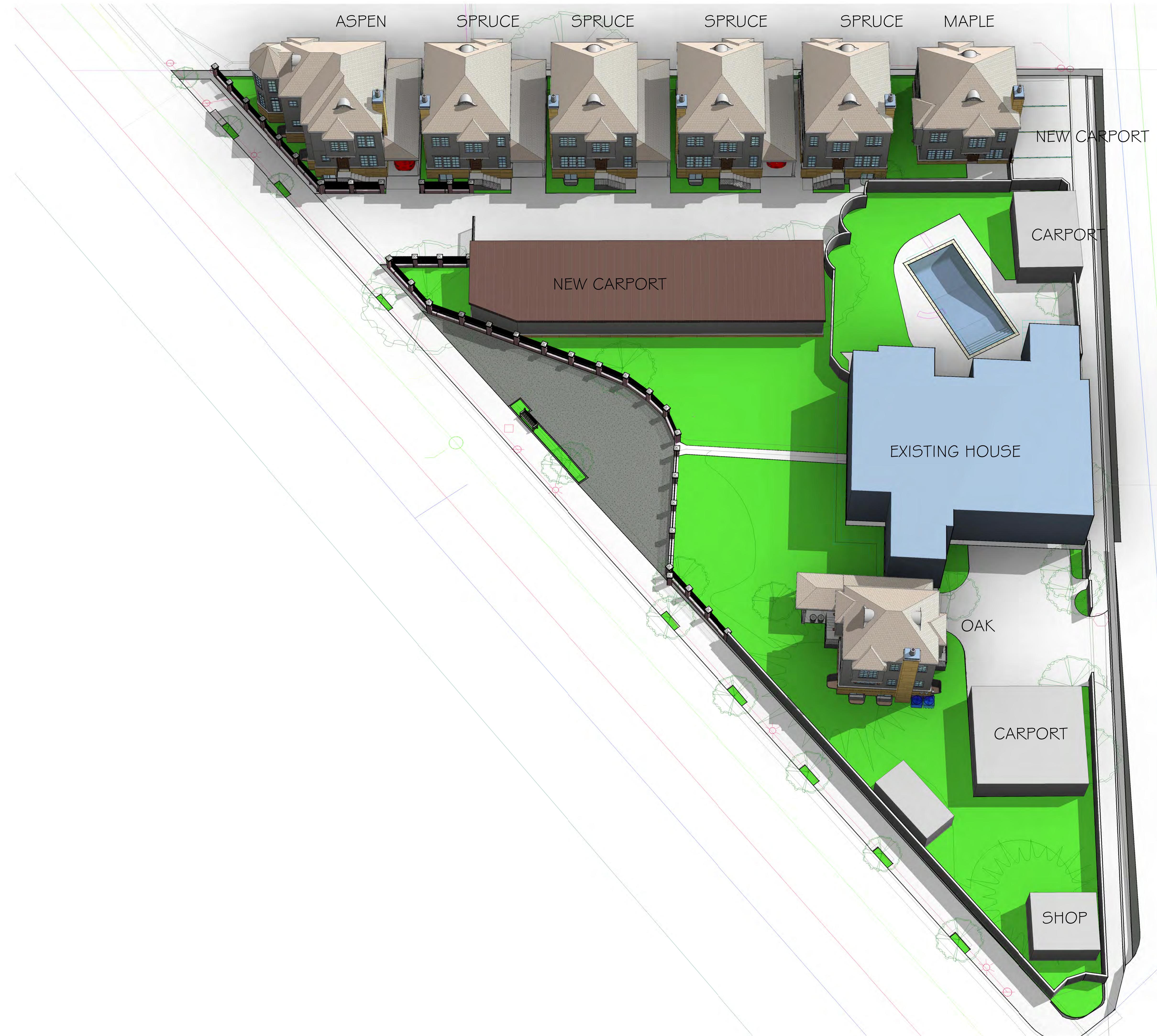
SITE PLAN

xx

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

3D SITE

AO.2





FILE# n/a

PLANNING COMMISSION MINUTES

ADDRESS:

N/A

LEGAL DESCRIPTION:

n/a

APPLICANT/REPRESENTATIVE:

City of Holladay, Planning Commission

PROPERTY OWNER:

N/A

ZONING:

N/A

GENERAL PLAN DISTRICT:

N/A

CITY COUNCIL DISTRICT:

N/A

PUBLIC NOTICE DETAILS:

N/A

REQUEST:

Written Meeting Minutes Approval

APPLICABLE REGULATIONS:

Utah Code 52-4-203
13.06.030

EXHIBITS:

Draft Meeting Minutes

STAFF:

Carrie Marsh, City Planner

DECISION TYPE:

Administrative/Procedural:

Commission shall approve, approve with changes or continue to a later date the agenda item

SITE VICINITY MAP

Effective 5/8/2018

52-4-203 Written minutes of open meetings -- Public records -- Recording of meetings.

(1) Except as provided under Subsection (7), written minutes and a recording shall be kept of all open meetings.

(2)

- (a) Written minutes of an open meeting shall include:
 - (i) the date, time, and place of the meeting;
 - (ii) the names of members present and absent;
 - (iii) the substance of all matters proposed, discussed, or decided by the public body which may include a summary of comments made by members of the public body;
 - (iv) a record, by individual member, of each vote taken by the public body;
 - (v) the name of each person who:
 - (A) is not a member of the public body; and
 - (B) after being recognized by the presiding member of the public body, provided testimony or comments to the public body;
 - (vi) the substance, in brief, of the testimony or comments provided by the public under Subsection (2)(a)(v); and
 - (vii) any other information that is a record of the proceedings of the meeting that any member requests be entered in the minutes or recording.
- (b) A public body may satisfy the requirement under Subsection (2)(a)(iii) or (vi) that minutes include the substance of matters proposed, discussed, or decided or the substance of testimony or comments by maintaining a publicly available online version of the minutes that provides a link to the meeting recording at the place in the recording where the matter is proposed, discussed, or decided or the testimony or comments provided.

Notes:

DRAFT

MINUTES OF THE CITY OF HOLLADAY PLANNING COMMISSION MEETING

**Tuesday, January 10, 2023
5:30 p.m.
City Council Chambers
4580 South 2300 East
Holladay, Utah**

ATTENDANCE:

Planning Commission Members:

Howard Layton, Chair
Karianne Prince
Chris Layton
Dennis Roach
Paul Cunningham
Ginger Vilchinsky

City Staff:

Jonathan Teerlink, Community Development Director
Brad Christopherson, City Attorney
Carrie Marsh, City Planner

WORK SESSION

23 Chair Howard Layton called the Work Session to order at 5:35 p.m. All Commissioners were
24 present with the exception of Commissioner Banks, who was excused.

26 The agenda items were reviewed and discussed. City Planner, Carrie Marsh reported that there is
27 one public hearing on the Regular Meeting agenda and two Action Items. The hearing pertained
28 to the Millwood Estates Townhomes. The item would be presented by Community Development
29 Director, Jonathan Teerlink. The Action Items related to the Highland Park Planned Unit
30 Development (“PUD”) and the Planning Commission Meeting Minutes.

32 Mr. Teerlink shared information regarding the Millwood Estates Townhomes. He explained that
33 this project is in the Holladay Village Zone, which is a mixed-use zone. Residential, retail, and
34 office uses are permitted in any combination. Mr. Teerlink reported that the Technical Review
35 Committee (“TRC”) reviewed the architecture and the Site Plan layout for the Millwood Estates
36 Townhomes application. The applicant, who is the property owner, selected residential-only use.
37 This was acceptable as long as there are fewer than 24 units per acre. Based on the lot size of
38 approximately 0.73 acres, the maximum density was 17 units. The proposal was for 16 total units,
39 which was under the maximum allowed in the zone.

41 An architectural review was conducted by the Design Review Board (“DRB”). Mr. Teerlink
42 reported that the DRB reviews applications and makes recommendations to the Planning
43 Commission about the style of buildings. The DRB was used to looking at larger mixed-use
44 buildings in the Holladay Village Zone but this proposal was similar to the Locust Lane

1 Townhomes project located directly to the south. It was all residential and went through a similar
2 design process.

3
4 Mr. Teerlink explained that with the Millwood Estates Townhomes application, the DRB wanted
5 the drawings to match the existing home as much as possible. The intention was for the early
6 1900s home aesthetic to be incorporated into the architecture of the new homes. Luckily for the
7 applicant, the term for DRB Member, Nolan Mendenhall had ended. Mr. Mendenhall served on
8 the DRB for six years and was hired by the applicant after his term. He assisted with the designs
9 and shared his interpretation of what the DRB was looking for. Those designs had since been
10 approved by the DRB and were included in the packet. Mr. Teerlink informed the Commission
11 that the drawings met the Holladay Village Zone standards and matched many features of the
12 existing 1912 home. The DRB recommended approval.

13
14 Chair Howard Layton noted that each of the cottage homes is a duplex. There would be separate
15 living areas and separate entrances. Commissioner Chris Layton wondered if there were four units
16 in the existing home. Mr. Teerlink clarified that there are three units in the existing home. The
17 south side included five twin homes with a detached, single-family home on the north end.
18 Commissioner Chris Layton expressed concerns about parking. He wondered if the 20 stalls
19 proposed met the requirements of the Holladay Village Zone. Additionally, he wanted to
20 understand whether the Holladay Village Zone allows for tandem parking for different dwelling
21 units. Mr. Teerlink explained that tandem parking is an efficient use of parking stalls but works
22 best within the same unit. As far as the calculations were concerned, parking was a ratio based on
23 the number of bedrooms in a unit. The units will have fewer than three bedrooms and 1.5 stalls
24 per unit are required. That resulted in an overall parking calculation of 21 stalls.

25
26 Mr. Teerlink reported that the conceptual layout was reviewed by the TRC. It was determined to
27 be sufficient for Planning Commission consideration. However, though the Millwood Estates
28 Townhomes item had been noticed for preliminary level review as well, he did not think the
29 application was quite ready. There were still some outstanding issues from the TRC. Specifically,
30 Utility Service Letters were missing. The entitlement process could not move forward without
31 verification that the new units can be serviced by water, sewer, and power. In terms of the Planning
32 Commission determination, the Conceptual Plan could be reviewed. A decision could be made
33 about whether the Preliminary Plan approval should be continued to another meeting or if the items
34 should be reviewed by Staff and brought back to the Final Site Plan level.

35
36 Commissioner Prince asked for clarification and wanted to know if the suggestion was that there
37 not be a Preliminary Plan approval. This was confirmed. Mr. Teerlink explained that once a
38 Preliminary Site Plan is approved, the site is entitled to those units. The City should not be entitling
39 units without knowing whether those units can be serviced. Commissioner Cunningham asked
40 about parking. He believed there were three driveways to the back. Mr. Teerlink stated that there
41 is a primary driveway that had been there for a long time. It services the units in the home. The
42 existing carport was put in a year ago. The proposal was to add another carport. With regard to
43 traffic, the Public Works and Engineering Departments had issues with the proposal. The City
44 Engineer had not made an official recommendation because that was part of the preliminary level

1 review. By the time the item came back to the Commission for preliminary review, there would
2 likely be a determination that there should not be any parking on one side of the street.
3

4 Commissioner Cunningham referenced the in-and-out driveway off Holladay Boulevard. The area
5 was identified on a map displayed. Mr. Teerlink explained that it had been considered for guest
6 parking. He was not sure whether the dimensions worked for parallel parking there. There was a
7 desire for it to be surveyed but he believed there was room for three or four guest parking stalls in
8 the circular drive. However, those were not included in the 21 parking space count. Commissioner
9 Cunningham believed the overflow parking from those residences would end up on a public street.
10 This was a concern. Mr. Teerlink informed the Commission that he did not have a full review
11 from the Engineering Department. The concept level idea currently was that parking shall be
12 prohibited on Locust Lane on one side or both sides. If it was determined that it would not be
13 allowed on both sides that would impact everyone that accessed Locust Lane.
14

15 Commissioner Prince asked if there was a way to grandfather in the existing use. For instance,
16 there could be a resident permit for those who currently live in the area. Mr. Teerlink confirmed
17 that this was possible. Locust Lane could be added to a residential permitting program. There
18 were residential permits in other areas of the City. Commissioner Prince was concerned about the
19 narrative that described construction taking up part of a public road. Mr. Teerlink explained that
20 at the preliminary level for a Master Site Plan review, the applicant would need to share a staging
21 and construction schedule with the Commission. Once a larger site plan is in place, trucking routes
22 and access points for staging materials would be required. Theoretically, there would not be
23 overflow onto Locust Lane during the construction process.
24

25 Commissioner Chris Layton believed the parking strategy was tandem parking for two different
26 owners and dwelling units rather than one dwelling unit. Mr. Teerlink noted that there would be
27 two spaces for each duplex. There would be tandem parking for the shared units. He identified
28 the additional parking areas for the larger models. Commissioner Chris Layton pointed out another
29 tandem parking spot for the units in the north building. That was the single-family home.
30 Commissioner Chris Layton wondered if the parking requirements in the City allowed different
31 dwelling units to park in tandem. Mr. Teerlink reported that it was not specifically mentioned as
32 an allowed use, but it was something that could be reviewed further with the applicant.
33

34 There was discussion regarding emergency access. Mr. Teerlink explained that when there is a
35 20-foot-wide emergency access point, there is always a No Parking condition. That would carry
36 over to the plat when it is recorded. The Fire Marshal would look for No Parking signs to be
37 posted once the houses are occupied. Commissioner Cunningham expressed concerns about the
38 parking presented. He was not certain it was adequate.
39

40 Ms. Marsh reviewed one of the Action Items on the Regular Meeting agenda. It related to the
41 Highland Park PUD. She explained that the Concept Plan was reviewed and approved on
42 October 4, 2022. The property is located off Highland Circle just west of the Cottonwood Mall.
43 The proposal was to put in three triplexes and one duplex for 11 total units. The buildings would
44 be grouped in a way that would preserve open space to the extent possible. All of the civil plans

1 were done and a construction narrative was submitted. The last item on the agenda was the
2 approval of the Meeting Minutes from September 27, 2022, and December 6, 2022.
3

4 **CONVENE REGULAR MEETING – Public Welcome and Opening Statement by**
5 **Commission Chair.**

6 Chair Howard Layton called the Regular Meeting to order at approximately 6:00 p.m. He read the
7 Commission Statement for the benefit of those present.
8

9 **PUBLIC HEARING**

10 1. **“Millwood Estates” Townhomes – Conceptual/Preliminary Plan & Building Design –**
11 **4600 South Holladay Boulevard (HV ZONE). Conceptual/Preliminary Level Review**
12 **and Consideration of a Residential Development Proposal by Property Owner,**
13 **Marlyn Miller for 6 Duplex Townhomes within the Holladay Village Zone. Item to**
14 **be Reviewed as an Administrative Action of a Permitted Land Use. Review to Include**
15 **Architectural Design, Amenities, and Site Layout Details as Per Procedures and**
16 **Development Standards of the Holladay Village Zone §13.71, and §13.08.080 of the**
17 **Holladay Code. File #18-9-02-1.**

18 Community Development Director, Jonathan Teerlink reported that the above item relates to the
19 Millwood Estates Townhomes. This was an administrative application for a property within the
20 Holladay Village Zone. The Holladay Village Zone allows different types of residential, retail,
21 and commercial uses. The applicant was focused on residential development. Mr. Teerlink
22 explained that the Technical Review Committee (“TRC”) reviewed the application for compliance
23 with land use. Site layout, parking, and density allowances were also examined. Most of the
24 buildings in the Holladay Village Zone have 24 units per acre. The property size for this
25 application allowed 17 units with 16 proposed. The proposed use and density were permitted. The
26 site plan layout and conceptual layout focused on the proposed parking, driveway access points,
27 and unit placement. Those items were reviewed conceptually and then at the preliminary level.
28 The Conceptual Plan was a higher-level review. For instance, what the proposed layout could look
29 like and where parking could be located.
30

31 The Holladay Village Zone is fairly flexible in terms of setbacks, landscaping, and the location of
32 buildings. As a result, the TRC found that the proposed location was in line with what is allowed.
33 One of the primary issues the TRC wanted to make sure that the applicant complied with was
34 architecture. Mr. Teerlink explained that the Design Review Board (“DRB”) also reviewed the
35 application. The DRB is a recommending body to the Planning Commission and made a
36 recommendation regarding the application and the style of the homes. Since the Holladay Village
37 Zone is a mixed-use zone, there were a lot of elements in the design standards that envisioned
38 larger buildings. When residential homes were reviewed, there was less nuanced. However, the
39 DRB wanted the Commission to understand that it is important to match the homes to the early
40 1900s style. That was what influenced their recommendation.
41

42 Mr. Teerlink explained that the matter was scheduled for a Conceptual and Preliminary Plan
43 review. Based on essential elements that a preliminary-level design needs to have, the TRC was
44 unable to make that recommendation. There were some issues that the TRC needed to address,
45 which were listed in the Staff Report. The Commission had the option of either continuing the

1 Preliminary Plan to another meeting or there being a conditional preliminary approval.
2 Mr. Teerlink recommended that the Commission review architecture and the Conceptual Plan.
3 The preliminary aspects of the application could be deferred to a future meeting once the items are
4 finalized. There could be two separate motions made by the Planning Commission.
5

6 The applicant's representative, Nolan Mendenhall, introduced himself to the Commission and gave
7 his address as 4635 South Highland Drive. He reported that he is the Project Architect.
8 Mr. Mendenhall was still serving on the DRB when the project came through for consideration.
9 As a group, there were concerns that the architectural design would not comply with the Holladay
10 Village Zone. Once he completed his term on the DRB, the applicant approached him about
11 creating an appropriate architectural design. He reviewed the existing home on the property. The
12 rooflines, window treatments, chimney elements, and stonework were highlighted. The intention
13 was to incorporate those elements into each of the proposed buildings. There were four different
14 building types but each one included the same architectural language.
15

16 Mr. Mendenhall shared street views of the area, which included the existing home on the property.
17 The client did not want to disturb the existing home but enhance the area around it. Additional
18 views and renderings were shared. The closest building would be a single-family home. The other
19 buildings in the background were duplexes. There was an existing roundabout on the property that
20 would remain in place and be utilized for guest parking. Mr. Mendenhall reported that there are
21 mature trees on the site. The intention was to leave as many trees as possible. If there was any
22 disturbance, the Tree Code would be complied with in terms of replacement.
23

24 There was a desire to create a secure area. As a result, there would be a fence and gate in place.
25 Additional street views were shared. There were two parking stalls allocated for each unit with
26 tandem parking and a covered carport. Mr. Mendenhall shared a 3D site plan with the
27 Commission. The six buildings across the back were identified. The driveway and proposed
28 carports were highlighted. Mr. Mendenhall pointed out the single-family structure, which would
29 have tandem parking. The existing home included parking that was already allocated. He
30 reiterated that the intention was to mimic the style of the existing home in the rest of the design.
31

32 Mr. Mendenhall liked that the property owner wanted to keep the development fairly small. In
33 addition, the owner wanted to tie in the existing structure design. Chair Howard Layton believed
34 the units would mostly be two-bedroom. This was confirmed. Mr. Mendenhall reported that the
35 units range from 600 to 1,100 square feet. Commissioner Chris Layton asked about the parking
36 requirements in the Holladay Village Zone. Mr. Mendenhall stated that the requirement is 1.5
37 parking stalls per two bedrooms. Commissioner Chris Layton noted that each of the units has two
38 bedrooms. The proposal was to provide 21 parking stalls.
39

40 Commissioner Prince referenced the drawing with the carports. She wondered if they were tandem
41 stalls. Mr. Mendenhall clarified that they are one-car stalls with storage on the backside. The
42 carports adjacent to the south buildings were tandem and the carports across the way were singles.
43 Commissioner Chris Layton wanted to understand if the tandem stalls would be shared between
44 two units. Mr. Mendenhall was not certain that those details had been determined. He believed it
45 would make the most sense to assign them to each unit. Commissioner Chris Layton understood

1 that this was a Conceptual Plan review and not a Final Site Plan but he felt that the parking situation
2 was the least resolved part of the application. Mr. Mendenhall noted that it was possible to add
3 more parking on the site but the owner wanted to leave as much green space as possible.
4 Commissioner Prince pointed out that the security fence would not include the first two units,
5 Units 12 and 13. Those stalls were not included in the secured area.

6
7 Commissioner Roach asked about the duplexes. Mr. Mendenhall explained that there is a door for
8 the front entry that would provide access to the main level and the basement. There was a
9 secondary door either on the side or the back of the structure to provide access to the upper-level
10 unit. There were separate entrances.

11
12 Chair Howard Layton opened the public hearing.

13
14 *Cindy George* gave her address as 4600 South Locust Lane, directly west of the subject property.
15 Ms. George explained that her complex has eight condominium units that are attached through the
16 garage. She serves as the Homeowners Association (“HOA”) President and was asked to share
17 comments on behalf of the owners. A letter had been submitted to the Commission. The HOA’s
18 concerns pertained to safety as there will be increased traffic and parking on Locust Lane. She
19 acknowledged individual property rights but stated that the condominium owners have been living
20 with noise, parking, and safety issues for approximately four years. These concerns had previously
21 been shared with the Miller Family and the HOA tried to be respectful. However, she did not feel
22 their concerns were being considered.

23
24 During a previous Planning Commission Meeting, Ms. George asked the Millers if it would be
25 possible for them not to add the seventh building, which is directly across from the eight-unit
26 condominiums. Residents were concerned about the traffic that will enter and exit from the east
27 and west sides of Locust Lane. There are young children in the area and the increased traffic could
28 impact their safety. She noted that this was also a path that Olympus Junior High students use to
29 walk home. The HOA asked that no overflow parking from the proposed new units be allowed on
30 Locust Lane. Additionally, the hope was that the Millers would not add the seventh unit near the
31 current home. If that unit is constructed, the preference was that the exit be on Holladay Boulevard.
32 Ms. George reiterated her concerns.

33
34 *Adam Dewaal* gave his address as 4253 Cumberland Road. He reported that he developed the
35 townhomes south of the subject property and owns five of the townhomes. Mr. Dewaal wanted to
36 make sure that the application addresses the drainage and retention of water. There must be proper
37 drainage so that properties are not flooded. He agreed with the previous comments shared by
38 Ms. George with respect to parking.

39
40 *Roger Beardshall* identified himself as President of the Wildflower HOA. He explained that the
41 10 homes are located on Iverson Woods Place to the north of the proposal. If there are parking
42 issues and vehicles park on Holladay Boulevard or Locust Lane, it makes it difficult for residents
43 to pull out. This is especially true when there are sporting events. Adding another 13 units beyond
44 what already exists was of concern. Mr. Beardshall was worried about parking and the number of
45 vehicles each unit will have. The proposal could create additional congestion and contribute to

1 existing problems in the area. Mr. Beardshall noted that the construction process could take many
2 years if one building is constructed at a time. He wanted to understand how many years the
3 applicant had to complete the project.

4
5 *Scott Cameron* reported that he owns a six-plex on the corner and identified the location on a map
6 displayed. Mr. Cameron was not opposed to the project as long as there are proper solutions to
7 the problems that exist. Through his years of renting the six-plex, there had never been a tenant
8 with fewer than two vehicles. Some had three. It seemed that parking for the current application
9 was an issue as there will likely be additional parking on Locust Lane. He asked the Commission
10 to visit the site and look at Locust Lane. Mr. Cameron hoped that an adequate solution could be
11 reached but felt that the parking was underestimated.

12
13 *Ron Hilton* gave his address as 2394 Murray Holladay Road. He was generally supportive of the
14 project and believed it would be a good addition to the Holladay Village. The parking issues
15 mentioned were concerning. He stated that the Holladay Village is supposed to be a walkable
16 environment and the idea was that there would be a lot of pedestrian use. That could be factored
17 into the parking discussions. Mr. Hilton noted that a food truck in the turnaround area was included
18 in an earlier version of the plan. That was presented as a possible public amenity since the
19 Holladay Village requires a public amenity within the development. However, that food truck was
20 eliminated due to safety concerns. Mr. Hilton suggested that the green island in that area be
21 enlarged so that there could be a small public green space instead.

22
23 There were no further comments. The public hearing was closed.

24
25 Mr. Mendenhall identified all of the parking areas and reiterated that there will be 21 parking stalls
26 provided, which meet the requirements for the development. Commissioner Prince asked about
27 access to the southwest corner carport. It was shown on a map. She wanted to understand if there
28 is an existing curb cut. Mr. Mendenhall explained that there is nothing there now. He pointed out
29 the existing garage and the access.

30
31 Commissioner Chris Layton believed one duplex and two-single family dwellings would be
32 accessed off of Locust Lane. He wanted to better understand the amount of traffic that will come
33 to the development via Locust Lane. Mr. Mendenhall pointed out the four stalls that will serve
34 one of the duplexes. The single-family home with two spaces will have access off Locust Lane.
35 That meant there would be six additional parking spaces and potentially six additional vehicles
36 accessing Locust Lane in addition to the existing home. Commissioner Cunningham noted that
37 there will be a security gate off Holladay Boulevard. He wondered if that gate will block traffic.
38 It was stated that the gate will not block traffic. Since the entire complex will be fenced, the guest
39 parking will be outside of the fence.

40
41 Commissioner Vilchinsky asked if there was a plan for garbage collection and asked where
42 garbage cans will be stored. Mr. Mendenhall stated that the tandem parking area is deeper than
43 necessary for two vehicles. As a result, the back portion could be used for garbage cans. For
44 garbage collection, those cans would need to be placed on either Locust Lane or Holladay
45 Boulevard. There would not be a private dumpster and each unit would have an individual

1 collection. It was noted that as a private HOA, there will need to be a contract for collection.
2 Commissioner Vilchinsky referenced the drainage issue raised during the public hearing. It was
3 noted that the drainage and utilities would be part of the Preliminary Site Plan. Commissioner
4 Vilchinsky wondered if a retaining wall would be needed to protect the adjoining properties. Mr.
5 Mendenhall explained that those types of decisions would be made by a Civil Engineer.

6
7 Commissioner Roach wondered if the new carport that was proposed would architecturally match
8 the homes. Mr. Mendenhall explained that the back portion will have storage and vehicle parking.
9 It would be enclosed on three sides. The same materials would be used for cohesion. The
10 renderings showed that there was a desire to landscape as well. The Commission reviewed the
11 submitted documents and discussed the carport design. Chair Howard Layton pointed out that
12 there would be additional discussions about the design details during the next stage of the approval
13 process. He added that parking was of concern for the surrounding area. However, the
14 Commission recognized that the application met the basic zoning requirements for density and
15 parking allowances. It was important that the Commission address some of the outstanding
16 concerns.

17
18 Commissioner Chris Layton asked if this project was considered a Planned Unit Development
19 (“PUD”). Mr. Teerlink denied this and explained that the setbacks were as proposed. The
20 Holladay Village standards perceive buildings that will be brought up right to the sidewalk. The
21 projects to the south have a setback so there was more of a formal stoop with a porch. Chair
22 Howard Layton assumed that all of the units would be for rent and not for sale. Mr. Teerlink
23 reported that there would be a condominium plat brought forward to the Commission.

24
25 Chair Howard Layton asked about restricting parking along Locust Lane. He wondered how that
26 fit in as part of the approval process recommendation. Mr. Teerlink explained that the City
27 Engineer had concerns about traffic since there needs to be a way for emergency vehicles to turn
28 around. The details had not been resolved but the City Engineer could look at the traffic impact
29 and that information could be brought back to the Commission in the future. That would take
30 place during the next phase. Mr. Teerlink noted that there could be a recommendation for no
31 parking on one or both sides of the road. Alternatively, there might be a way for the carports to
32 be accessed through the site rather than through Locust Lane. The City Engineer would look into
33 different options.

34
35 Commissioner Prince referenced a concern raised during the public comment period. She wanted
36 to understand the length of construction. Mr. Teerlink explained that the entitlement process could
37 expire. By the time there is preliminary approval, the property owner has one year to record the
38 plat. The time for construction would not start until the Building Permit is issued. The property
39 owner would have six months to keep a Building Permit active. The State allows a property owner
40 to keep a Building Permit active for as long as necessary as long as every six months there is
41 progress being made on the site.

42
43 Commissioner Chris Layton believed it was important for the Commission to look at the issues
44 separately. His opinion on the building design portion was that a nice job had been done of
45 capturing the context, materials, and aesthetics of the existing architecture. He did not see an issue

1 with making a motion to approve the building design but he had concerns about the Site Plan.
2 There were a lot of issues related to parking and access. Though minimum requirements would
3 be met based on the proposal, he thought it would be best to continue the approval until the details
4 are more thought out and the site utilization for parking is adequately planned. It seemed that there
5 were a lot of unresolved Conceptual Site Plan issues that needed to be better defined.

6
7 Commissioner Prince noted that the Commission could move to approve the building design and
8 there could be a separate motion to continue the Conceptual Site Plan. Commissioner Chris Layton
9 wanted the Commission to discuss that possibility as he was not comfortable approving the Site
10 Plan as presented. He had concerns about the tandem parking. As a result, he did not feel it was
11 appropriate to approve the Conceptual Site Plan when the parking proposal is not adequate.
12 Commissioner Cunningham agreed that there were parking issues. He believed there needed to be
13 additional thought given to the development. Additionally, he requested that there be a discussion
14 about how to address tandem parking proposals in the future.

15
16 Mr. Mendenhall reported that the tandem parking concept would ensure there are no excessive
17 garages. Commissioner Chris Layton understood the reason for the proposal but did not
18 necessarily believe the proposal was functional. Mr. Mendenhall noted that since the pandemic, a
19 lot more people are working from home. Parking is becoming less of an issue. Commissioner
20 Chris Layton pointed out that working from home does not mean there are no personal vehicles on
21 site. Chair Howard Layton agreed that a continuance of the Conceptual Plan made sense.
22 Commissioner Roach was supportive of the suggestion shared by Commissioner Chris Layton to
23 vote on the items separately. The Commission discussed what would be voted on and the
24 appropriate motion language.

25
26 Mr. Teerlink informed the Commission that the Conceptual Plan pertained to whether the density,
27 use, and location of parking are adequate. Staff could take another look at the location of the
28 parking if desired by the Commission, however, that could be done with the Conceptual Plan
29 approval. The approval was based on whether the application met the zoning and parking
30 requirements. As for preliminary development review, there would need to be additional details
31 provided such as retaining walls, drainage, driveway locations, and the layout of carports. He
32 reminded the Commission that the zone allows for off-site parking.

33
34 Commissioner Chris Layton noted that even if the Conceptual Plan is approved, it is important for
35 the applicant to understand that the parking as proposed is unacceptable. There are better ways to
36 address the issue. He wanted to see the applicant return with a better parking plan. Commissioner
37 Chris Layton could see the Commission recommending approval of the Conceptual Plan with
38 certain conditions. It was noted that the application meets the minimum standards. It did not
39 sound like the application would have Commission approval for a Preliminary Plan. Based on the
40 feedback so far, it seemed that the Commission did not like the tandem parking and was concerned
41 about access off of Locust Lane. It was possible to approve the Conceptual Plan since it meets the
42 minimums but still request that the applicant come back with some other suggestions.

43
44 Commissioner Chris Layton explained that the Commission was not comfortable with the
45 Preliminary Plan. Staff and Engineering were also not comfortable with that aspect of the

1 application. It was unlikely that the Preliminary Plan would be recommended tonight. However,
2 it made sense to look at the Conceptual Plan and the Building Design. He believed the Conceptual
3 Site Plan could be approved based on the minimum requirements but there was a lot of work to be
4 done before it would be approved at a preliminary level. The Commission discussed
5 recommendations for the City Engineer. Commissioner Prince wanted to understand whether the
6 direction for the City Engineer needed to be included in a motion. Mr. Teerlink stated that the
7 direction the Planning Commission was looking for would need to be made clear. Chair Howard
8 Layton believed that there were three motions to consider. Since the notice included the
9 Preliminary Plan, there would need to be a motion on that as well as the Conceptual Plan and
10 Building Design.

11
12 ***Commissioner Prince moved to APPROVE the Building Design for “Millwood Estates***
13 ***Townhomes,” located at 4600 South Holladay Boulevard in the Holladay Village Zone, finding***
14 ***that the design:***

15
16 1. ***Has received a favorable recommendation from the Design Review Board.***
17
18 2. ***Complies with the vision and design guidelines as a residential development***
19 ***within the Holladay Village.***

20
21 ***Commissioner Chris Layton seconded the motion. Vote on motion: Commissioner***
22 ***Cunningham-Aye; Commissioner Vilchinsky-Aye; Commissioner Chris Layton-Aye;***
23 ***Commissioner Prince-Aye; Commissioner Roach-Aye; Chair Howard Layton-Aye. The motion***
24 ***passed unanimously.***

25
26 ***Chair Howard Layton moved to APPROVE the Conceptual Site Plan for “Millwood Estates***
27 ***Townhomes,” located at 4600 South Holladay Boulevard in the Holladay Village Zone, finding***
28 ***that the Site Plan:***

29
30 1. ***Complies with the Holladay Village Zone in regard to density and the number of***
31 ***parking stalls that are shown on the site, recognizing that additional design would***
32 ***be required through the preliminary layout through the Engineering***
33 ***Department.***

34
35 ***Commissioner Prince seconded the motion. Vote on motion: Commissioner Cunningham-Nay;***
36 ***Commission Vilchinsky-Nay; Commissioner Chris Layton-Nay; Commissioner Roach-Aye;***
37 ***Commissioner Prince-Aye; Chair Howard Layton-Aye. The motion failed 3-to-3.***

38
39 In light of the failed Conceptual Plan motion, there was no need to vote on the Preliminary Plan.
40 Chair Howard Layton informed those present that work would continue on the application.

41

1 **ACTION ITEMS**

2. **“Highland Park” PUD – Preliminary – 4880 South Highland Circle (R-M).**
3 **Previously Known as “Highland Circle PUD”. Preliminary Level Review and**
4 **Consideration of Development Details by Applicant, Alec Moffat. Review of this 11-**
5 **Unit Development is Conducted According to Compliance with Previously Approved**
6 **Concept Plan (10/4/2022) and Subdivision Development Standards Set Forth in**
7 **Holladay Ordinance §13.10. File #22-1-11.**

8 Chair Howard Layton noted that the above item related to the Highland Park PUD located at 4880
9 South Highland Circle in the R-M Zone. Ms. Marsh reported that the Conceptual Plan for the
10 property was approved on October 4, 2022. It was previously presented as Highland Circle PUD
11 but was now known as Highland Park PUD. There was an existing historical house on the site,
12 and during the Conceptual Plan phase, it was determined that the home could be safely moved. As
13 a result, the Preliminary Plan did not show the existing home. Three triplexes and one duplex
14 would be built on the site for a total of 11 units. Each of the buildings would be three stories. All
15 of the items necessary for the Preliminary Plan had been submitted, including information related
16 to utilities, grading, stormwater management, parking, and roadway locations. Additionally, the
17 proposed Covenants, Conditions, and Restrictions (“CC&R”) for the community had been
18 prepared and all of the utility letters were submitted. Staff recommended approval of the
19 Preliminary Subdivision Plan. Ms. Marsh reviewed the findings set forth in the Staff Report.
20

21 Commissioner Roach inquired about the Preliminary Plan handout and compared it to what was
22 originally submitted. The only difference he noticed was that the road had moved to the other side
23 where it curves. The front section did not appear to be altered. Ms. Marsh explained that the
24 concept level approval was high-level but the preliminary level was more finalized and had a lot
25 more detail about what is feasible.
26

27 Commissioner Chris Layton noted that there are double garages and there would be a total of 22
28 parking spaces. He wondered what the parking requirements were. Ms. Marsh reported that
29 parking is dependent on the number of bedrooms. Two-bedroom units would require 1.5 parking
30 stalls and three-bedroom units would require two parking stalls per unit. Chair Howard Layton
31 noted that there were three guest parking spots available. That was compliant with the zone
32 requirements.
33

34 The applicant, Alec Moffat, gave his address as 9055 South 1300 East in Sandy. He discussed the
35 materials and explained that there would be a combination of brick stucco and siding. The garage
36 would be stone. Some of the drawings were outdated. He explained that the center unit would be
37 inset slightly to break up the design. There would also be balconies to create more dimension.
38 Mr. Moffat explained that there would be continued work with the architect to finalize the design.
39 He informed the Commission that the reason the road was moved to the other side was to provide
40 more room for backyards. It also made it possible to save more trees on the north side.
41

42 Commissioner Cunningham asked about the lighting on the patio roof. Mr. Moffat explained that
43 the details had not yet been determined but there would likely be one outdoor lamp. Commissioner
44 Chris Layton pointed out that this is not a Final Site Plan approval. Mr. Teerlink added that night
45 sky compliance for light fixtures was a requirement. Staff would be looking at those kinds of

1 fixtures and details at the Building Permit stage. Commissioner Chris Layton stated that all of the
2 Civil Engineering documentation was very well done.

3

4 ***Chair Howard Layton moved to APPROVE the Preliminary Subdivision Plan for the Highland***
5 ***Park PUD, located at 4880 South Highland Circle, based on the following findings:***

6

7 1. *Follows the findings and recommendations of the Technical Review Committee.*

8

9 2. *That the design and the requirements for the Preliminary Subdivision have been*
10 *substantially completed.*

11

12 3. *The layout of the lots complies with lot area regulations in the R-M Zone.*

13

14 4. *The parking meets the standards required by Chapter 13.8.*

15

16 ***Commissioner Roach seconded the motion. Vote on motion: Commissioner Cunningham-Aye;***
17 ***Commissioner Vilchinsky-Aye; Commissioner Chris Layton-Aye; Commissioner Roach-Aye;***
18 ***Commissioner Prince-Aye; Chair Howard Layton-Aye. The motion passed unanimously.***

19

20 3. **Approval of Minutes – 9/27/22 and 12/6/22.**

21 ***Commissioner Prince moved to APPROVE the Meeting Minutes from September 27, 2022.***
22 ***Commissioner Chris Layton seconded the motion. The motion passed with the unanimous***
23 ***consent of the Commission.***

24

25 ***Commissioner Prince moved to APPROVE the Meeting Minutes from December 6, 2022.***
26 ***Commissioner Roach seconded the motion. The motion passed with the unanimous consent of***
27 ***the Commission.***

28

29 **ADJOURN**

30 ***Commissioner Roach moved to ADJOURN. The motion was not seconded. The motion passed***
31 ***with the unanimous consent of the Commission.***

32

33 The Planning Commission Meeting adjourned at approximately 7:45 p.m.

1 *I hereby certify that the foregoing represents a true, accurate, and complete record of the City
2 of Holladay Planning Commission Meeting held Tuesday, January 10, 2023.*

3
4
5
6 Teri Forbes

7 Teri Forbes
8 T Forbes Group
9 Minutes Secretary

10
11 Minutes Approved: _____

DRAFT

DRAFT

MINUTES OF THE CITY OF HOLLADAY PLANNING COMMISSION MEETING

**Tuesday, November 15, 2022
5:30 p.m.
City Council Chambers
4580 South 2300 East
Holladay, Utah**

ATTENDANCE:

Planning Commission Members:

City Staff:

Howard Layton, Chair
Chris Layton
Dennis Roach
Martin Banks
Paul Cunningham
Ginger Vilchinsky

Jonathan Teerlink, Community Development Director
Brad Christopherson, City Attorney

WORK SESSION

Chair Howard Layton called the Work Session to order at approximately 5:30 p.m.

26 The agenda items were reviewed and discussed. Community Development Director, Jonathan
27 Teerlink reported that there were two Public Hearings and two Action Items on the agenda. The
28 first public hearing was a continued item from last year. Base 45 Townhomes Subdivision is a
29 development at 2180 East 4500 South where a medical plaza is currently located. The property
30 owners are working toward leveling and redeveloping most of that corner in favor of residential
31 multi-family. The Concept Plan was approved on December 14, 2021, and a preliminary set of
32 drawings was created for Planning Commission consideration. There had been some back and
33 forth between the applicant and the Technical Review Committee (“TRC”). The preliminary
34 construction drawings and final plat have now been submitted.

36 Mr. Teerlink reported that the Planning Commission previously reviewed a Shared Access
37 Agreement between the subject property and the office buildings to the east. At that time, the
38 Commission asked the property owner to work out the access agreement. In the original plan,
39 some of the townhomes on the east side would be accessed through the parking lot but that had
40 since changed. The building was rotated 180 degrees and access would be inside the project. The
41 backyards will face the shared property line instead. Previously, the Planning Commission asked
42 for a Traffic Study to be generated by the applicant. It was included in the packet. Hales
43 Engineering determined that there would be zero impact. The Level of Service ("LOS") was
44 measured between 4500 South and Holladay Boulevard. In the opening statement, Hales
45 Engineering stated that the LOS of the roads would not be impacted by the 194 vehicle trips at

1 peak hours from the site. The 194 vehicle trips from the residential use would be less than
2 commercial traffic that would come and go through a professional plaza site.
3

4 Commissioner Chris Layton wondered if the access points were limited by left turns. This was
5 denied. Commissioner Roach asked about Figure 3 in the Traffic Study. He questioned whether
6 it was based on the original plan since it showed access to the east side. Mr. Teerlink confirmed
7 that was the case. When Hales Engineering was contracted to do the work, that was still the
8 planned design. It had since been modified. Commissioner Banks asked about the 194 vehicle
9 trips. Mr. Teerlink explained that residential use was compared to professional office use. Within
10 the R-M Zone, there is not much else to compare it to. Chair Howard Layton noted that the traffic
11 study compared the proposed project to the standard traffic impact.
12

13 The Commission further discussed the traffic comparison. Commissioner Banks wondered if the
14 proposed use should be compared to what other non-medical uses might yield. It was noted that
15 there are often misunderstandings about what a Traffic Study is meant to check. For clarification,
16 it was noted that a Traffic Study is meant to determine whether the existing roads will experience
17 any LOS degradation based on the proposed building. Since there is an existing development on
18 the site, the proposed use was compared to the existing development. In this instance, there would
19 be a net zero impact. The LOS would not change based on the projections. A change in the LOS
20 could generate the need for a Road Impact Fee depending on the city. The focus was on whether
21 the road can handle the traffic and if there will be a change in service. Chair Howard Layton noted
22 that the Traffic Study compared two uses. A net zero impact means that the same number of
23 vehicles will utilize the road than do currently.
24

25 Other elements the Commission would need to look at included the Landscaping, Circulation, and
26 Photometric Plans. Staff asked that the Planning Commission consider the location of the gate on
27 Holladay Boulevard. Mr. Teerlink identified the location on a map displayed. It is the gate that
28 exits the site onto Holladay Boulevard. Normally, gates needed to be set off the right-of-way by
29 18 feet, which is the distance required for a vehicle to come off of the street, park, and wait while
30 the gate opens so that vehicle traffic behind is not impacted. The proposed gate operates at the
31 property line. Staff wanted to see it off the right-of-way by 18 feet. However, the opening of the
32 gate might conflict with the driveway and the parking stalls. Mr. Teerlink recommended there be
33 a discussion with the applicant about the gate and making an appropriate determination.
34

35 Commissioner Banks explained that a minimum of 64 parking stalls are required but the applicant
36 was proposing 112. In light of the recent discussions about more tailored parking ratios, he
37 wondered if there was a reason for the 112 parking stalls. Mr. Teerlink explained that there was a
38 desire to have additional guest and visitor stalls on site. This was to avoid overflow parking onto
39 rights-of-way and neighboring properties. Commissioner Chris Layton wondered if there were
40 off-site stalls. This was denied. Mr. Teerlink stated that the applicant is over the minimums
41 required. There was discussion regarding the proposed number of stalls since 112 seemed high.
42 Mr. Teerlink reported that the packet listed 85 proposed stalls. There are 64 garage parking stalls,
43 18 guest stalls, and three driveway stalls proposed. It was determined that the 112 parking stalls
44 referenced parking on the existing site rather than what is proposed.
45

1 The next agenda item pertained to the Walker Meadows Subdivision. Mr. Teerlink reported that
2 this is a two-lot subdivision on Highland Drive. The request was reviewed by the Commission
3 previously in the form of a rezone request. The request made earlier in the year was to rezone the
4 property from R-1-21 to R-1-10. The applicant had since come back for the subdivision. A
5 Demolition Permit was issued over the summer and many trees on site were maintained. However,
6 there was still a request that two additional trees be planted when the Building Permits come in for
7 each lot. That means there would be an additional four trees planted on the property overall.
8

9 Mr. Teerlink pointed out that on the Subdivision Plat there is a blue line, which was the recorded
10 right-of-way line for the subdivision that wraps the lot. The road was laid outside the right-of-way
11 line. This was discovered during the survey process. It was noted that the applicant has options.
12 The Commission could review the two-lot subdivision plat now. The easement issue could be
13 addressed during the plat phase. Alternatively, the property owners in the existing subdivision
14 could agree to an amendment and add in the two lots.
15

16 Commissioner Chris Layton noted that even with the right-of-way issue, the applicant still has
17 more than 10,000 square feet per lot. Mr. Teerlink reported that if the road was moved where it is
18 supposed to be it would be located within patio spaces on Lot 2. The surveyor missed the mark.
19 Commissioner Banks pointed out that the issue will not impact the square footage needed. He
20 wondered how the right-of-way line will affect the Planning Commission discussions.
21 Mr. Teerlink explained that if there was a desire to amend the existing subdivision to include the
22 two lots, the Commission should determine if the drawing should come back for approval or if it
23 could be handled by Staff. The Commission could approve the Concept/Preliminary Plan for a
24 two-lot subdivision, regardless of whether it is in the form of a two-lot plat called Walker Meadows
25 or an amendment of the existing nearby subdivision.
26

27 Commissioner Chris Layton thought it was unlikely that the applicant would convince the property
28 owners in the existing subdivision to change their boundaries. Mr. Teerlink explained that when
29 the existing subdivision was created, it was under a different jurisdiction with different rules. The
30 County did not have a rule like the City of Holladay currently has, which omits the road from the
31 lot sizes. Mr. Teerlink noted that the Commission could ask additional questions of the applicant.
32 Staff recommended Concept/Preliminary Plan approval for a two-lot plat for Walker Meadows,
33 with a Final Plat to be delegated to Staff for administrative review.
34

35 The Action Items on the Regular Meeting agenda included the review and adoption of the 2023
36 Planning Commission Meeting Calendar and the October 4, 2022 Meeting Minutes.
37

38 **CONVENE REGULAR MEETING – Public Welcome and Opening Statement by**
39 **Commission Chair.**

40 Chair Howard Layton called the Regular Meeting to order at approximately 6:02 p.m. He read the
41 Commission Statement for the benefit of those present.
42

1 **PUBLIC HEARING – ACTION ITEMS**

2 1. **“Base 45 Townhomes Subdivision” - Preliminary Final Plan/Plat – 2180 East 4500**
3 **South (R-M Zone). Review and Consideration of Preliminary and Final Development**
4 **Details by Applicant, J Fisher Companies, for a 32-Unit Residential Redevelopment**
5 **Project in the R-M Zone. Concept Plan Approved on December 14, 2021. Review as**
6 **Per Holladay Code 13.06, 13.08, and 13.10. File #17-1-05-1.**

7
8 Community Development Director, Jonathan Teerlink, reported that the above item relates to the
9 Base 45 Townhomes Subdivision. The application was a Preliminary Final Plan/Plat for property
10 located at 2180 East 4500 South in the R-M Zone. The proposal was for 32 townhomes. The
11 Planning Commission reviewed the project conceptually and the Concept Plan was approved on
12 December 14, 2021. The applicant proceeded with preliminary and civil drawings for the site
13 based on conditions shared by the Planning Commission. One of the conditions related to a Traffic
14 Study, which the applicant had since provided. Additionally, the Commission asked that a Shared
15 Access Easement with a neighboring property be addressed.

16
17 The Technical Review Committee (“TRC”) reviewed the project over the last several months. It
18 was now possible for the Planning Commission to consider a complete preliminary set for
19 redevelopment at the corner. The Commission should approve, deny, or continue the application.
20 Staff recommended Preliminary Final Plan/Plat approval and that the Final Plat approval be
21 delegated to Staff.

22
23 The applicant’s representative, Luke Martineau, gave his address as 1216 Legacy Crossing
24 Boulevard in Centerville. The Traffic Impact Study came back positive. There were significantly
25 more trips generated from commercial use rather than residential use. As a result, there would be
26 a significant reduction by redeveloping the area into a townhome project. Mr. Martineau explained
27 that the suggestions from the last Planning Commission Meeting were considered. He believed
28 the proposed project was better as the townhomes will not access their garages from the easement
29 on the east side. All of the access would remain within the project boundaries.

30
31 Chair Howard Layton wondered if the easement would be vacated or retained. Additionally, he
32 asked if a fence will be installed where the property line is shown. Mr. Martineau reported that
33 the intention was to fence the entire property. There will also be a gate at the entrance on the east
34 and west sides. The easement will be retained because it is an Access Easement that is needed to
35 access the project on the northeast side. He clarified that the easement is an ingress/egress
36 easement with the neighboring property. Commissioner Chris Layton’s understanding was that
37 the neighbors to the east will have drive access along the east property line. Mr. Martineau
38 confirmed that the neighbors will have access along the shared easement.

39
40 Commissioner Chris Layton noted that the designs show a park strip and a sidewalk. He wondered
41 if there will be a fence or something similar that will cut off the property line with the parking to
42 the east. Mr. Martineau clarified that there will be a fence along the entire border of the property,
43 including the east portion. There will be a fence and a gate for access. He reiterated that there
44 will be east and west gates for residents to utilize. Chair Howard Layton had questions related to
45 the west gate. During the Work Session, there was discussion regarding the gate being pushed to

1 the east so that vehicles coming in do not block the road. There is a design requirement that the
2 opening area of the gate is 18 feet off of a right-of-way line. The Commission wondered if he
3 would consider moving the gate location. Mr. Martineau stated that they are happy to work with
4 the City and do whatever is necessary. He was not sure how much space is there currently but
5 thought there might be a way to meet in the middle. Mr. Martineau confirmed that they would
6 adjust whatever is necessary to conform to City Code.

7
8 Commissioner Chris Layton asked if it would be possible for the gate to open out on one side and
9 in on the other to avoid a conflict. Mr. Teerlink explained that it would depend on whether the
10 gate crosses into the sidewalk. Commissioner Chris Layton asked about the dimensions of the
11 driveway. Mr. Teerlink reported that it is 26 feet. Chair Howard Layton wondered if the gate was
12 an element that Staff will address or something that needs to be determined by the Commission.
13 Mr. Teerlink clarified that if there is a deviation from the 18-foot requirement, it would need to be
14 listed as a Condition of Approval. Chair Howard Layton pointed out that there is no way to know
15 if it can be designed in a manner that makes sense. Commissioner Chris Layton believed it would
16 be possible to achieve the 18-foot requirement if there was a sliding gate rather than a swinging
17 gate. It was something that needed to be considered.

18
19 Commissioner Cunningham asked for information about lighting. He did not want the light in the
20 area to overwhelm the residential residents to the west. It was noted that a Photometric Study was
21 included in the packet. Mr. Teerlink informed the Commission that night sky-compliant fixtures
22 are required. He shared the Photometric Study with those present. It showed the locations of the
23 light fixtures and the lumens that would be reflected on the ground. From the property line, the
24 scale was close to zero. As far as the study was concerned, at the property lines there will be no
25 light trespass. In terms of the fixture, which had to do with there being an element exposed, the
26 actual element would be hidden inside.

27
28 Commissioner Roach asked about fencing. The entire property will be fenced but he wanted to
29 know whether the fence would be right up to the sidewalk or if there would be a setback.
30 Mr. Martineau explained that the plan was for the fence to be right to the sidewalk. This was in
31 line with the current Code. Commissioner Chris Layton asked if there will be gates for access.
32 The Landscape Plan showed sidewalks coming from the units. Mr. Martineau confirmed that there
33 will be gates along the fence line for access.

34
35 Logan Hall gave his address as 1216 Legacy Crossing Boulevard in Centerville. He shared
36 additional details with the Commission about the fencing and explained that the fence along 4500
37 South and Holladay Boulevard will be black ornamental fencing. This was selected so that the
38 area still feels open and does not appear to be too walled in. The fence will be decorative in nature.
39 Mr. Hall appreciated the feedback shared by the Commission previously. There had been a lot of
40 discussions since then about the easement and how to improve the design.

41
42 Commissioner Vilchinsky asked about the access gates onto 4500 South and wondered if it would
43 create a parking issue for visitors. For instance, there could be vehicles parked in front of the
44 development rather than inside. This could interfere with traffic and flow along 4500 South.
45 Mr. Teerlink explained that there are off-street parking requirements. There are no concessions

1 for on-street parking for this development. Signage could be placed on Holladay Boulevard to
2 indicate that no parking is acceptable. However, 4500 South is a Utah Department of
3 Transportation (“UDOT”) road and there are certain signage regulations. Staff could work with
4 UDOT to determine whether signs could be placed. Certain information would be added to the
5 Covenants, Conditions, and Restrictions (“CC&Rs”) related to parking but he reminded the
6 Commissioners that public streets are public.

7
8 Commissioner Roach referenced Figures 3 and 4 of the Traffic Study. It appeared that there are
9 currently two travel lanes rather than one. He wondered if changes would be made to 4500 South.
10 Mr. Teerlink did not believe so. Past Highland Drive, the area widens to two lanes but within the
11 City of Holladay, it is tight. As for the figures in the Traffic Study, he believed the assumption
12 was that the shoulder could be used as a travel lane.

13
14 Chair Howard Layton opened the public hearing.

15
16 *Brent Godfrey* gave his address as 6161 South 2900 East and identified himself as an owner
17 representing other owners in the easternmost condo office building. Mr. Godfrey acknowledged
18 the changes made by the applicants. He believed those changes were positive, especially for
19 prospective buyers and residents. It would be much more professional and look better but he was
20 concerned about the easement. There is a cross easement at the point of ingress/egress off of 4500
21 South. The easement is used to provide access to landlocked parking. Now that it is no longer
22 being considered, he believed it would be fair for the easement to be redefined to end where the
23 road goes eastbound out of the development. Mr. Godfrey identified the area on a map displayed.
24 Mr. Godfrey discussed parking in the area and stated that the office condo building is in dire need
25 of additional parking.

26
27 Commissioner Banks wondered if the issue was a matter for the Planning Commission to
28 determine. Mr. Godfrey was not sure if it is something for Commission to consider or if it was
29 better to resolve with the applicant. Chair Howard Layton asked for input from City Attorney,
30 Brad Christopherson. Mr. Christopherson suggested that the City encourage the parties to work
31 together. He was sure that the City can mandate a documented property interest and stated that it
32 would be possible for both parties to make an amendment and address the concerns expressed by
33 Mr. Godfrey.

34
35 Commissioner Chris Layton believed the matter needed to be addressed by the Commission.
36 Mr. Godfrey reiterated that he believed the development would be good for the City but he
37 considered this to be a loose end. Chair Howard Layton suggested that both parties communicate
38 further. Mr. Martineau reported that an Easement Document was created previously and signed.
39 He was not opposed to amending the document but thought the agreement had put the issue to rest.
40 Everything had been done the right way and legal counsel was involved. Commissioner Chris
41 Layton pointed out that the existing easement might preclude the condo office building to the east
42 from redeveloping the parking lot more efficiently. It was noted that the issue could be addressed
43 in a License Agreement, which could be signed by half of the Homeowners Association (“HOA”).
44 The parties could acknowledge that the easement exists but allow certain uses to take place, such
45 as parking, in the unused section.

1
2 There were no further comments. The public hearing was closed.
3

4 ***Commissioner Banks moved to APPROVE the Preliminary Plat for “Base 45,” a 32-unit***
5 ***residential development subdivision in the R-M Zone, located at 4545 South thru 4551 South***
6 ***Highland Drive, finding that the application:***

7

- 8 1. ***Complies with the R-M Zone for density and use as verified by Conceptual Plan***
9 ***approvals by the Planning Commission on December 14, 2022.***
- 10 2. ***Addresses conditions stated by the Planning Commission, including that the***
11 ***fencing on 4500 South and Holladay Boulevard be open.***
- 12 3. ***Construction elements and details are found to be acceptable by the various***
13 ***divisions of the Technical Review Committee (“TRC”).***

14
15 ***Commissioner Banks also moved to delegate Final Plat review and approval for “Base 45” to***
16 ***the Technical Review Committee for final verification that the plat is of acceptable recordable***
17 ***format, as per Holladay and State requirements. Commissioner Roach seconded the motions.***
18 ***Vote on motion: Commissioner Cunningham-Aye; Commissioner Vilchinsky-Aye;***
19 ***Commissioner Chris Layton-Aye; Commissioner Banks-Aye; Commissioner Roach-Aye; Chair***
20 ***Howard Layton-Aye. The motion passed unanimously.***

21
22 2. **“Walker Meadows Subdivision” – Concept/Preliminary Plan – 5203 South Highland**
23 **Drive (R-1-10). Review and Consideration of a Proposal by Applicant JNG**
24 **Investments LLC, for Conceptual and Preliminary Level Subdivision Development**
25 **Plans 2 Lots within the R-1-10 Zone on 0.56 Acres of Property. Review as Per**
26 **Holladay Code 13.06, 13.08, and 13.10. File #22-1-15.**

27
28 Mr. Teerlink reported that the Concept/Preliminary Plan for Walker Meadows Subdivision was an
29 administrative review. It is a two-lot subdivision plat for property located at 5203 South Highland
30 Drive in the R-1-10 Zone. The City Council approved the rezone earlier in the year and the
31 applicant was not requesting that the Planning Commission conduct the subdivision review and
32 approval. The TRC reviewed the application several times and recommended approval.
33 Mr. Teerlink explained that a two-lot plat without proposed development is fairly straightforward.
34 However, there was one element that Staff noticed, which was the inconsistency between the
35 easement of the access road versus the location where the asphalt was laid.
36

37
38 There are two different ways the applicant could deal with the issue. One was to keep the layout
39 as it is currently. Later on, with the plat, it would be possible to look into an easement to show
40 where the road is and what new access could be placed on top to access Lot 4. Another option
41 was to amend the nearby subdivision and bring the two lots into that plat. The easement could
42 then be shifted correctly to where the asphalt is. Mr. Teerlink explained that it was up to the
43 applicant to decide how to move forward and address the issue. As far as the Planning Commission
44 review, the request was to create a new lot in the R-1-10 Zone. It was accessible by an existing
45

1 private lane, which the Fire Department approved due to the existing turnaround. Staff
2 recommended approval of the Concept/Preliminary Plan with delegation to Staff as it relates to the
3 two-lot subdivision or amendment to the existing subdivision plat.

4
5 The applicant, Darren Mansell, gave his address as 2311 Creek Road and was not quite sure how
6 to address the issue described by Mr. Teerlink. The request was for the Planning Commission to
7 approve the subdivision. Once that approval is granted, he will try to work out the easement issue.
8 He was not sure that there was much difference between an amended plat or a two-lot subdivision,
9 as both accomplish the same thing. There would need to be additional discussions with Staff in
10 the future to address the easement but the current desire was to receive Planning Commission
11 approval of the two-lot subdivision as submitted.

12
13 Mr. Mansell confirmed that he had spoken to the nearby property owners. He believed it would
14 make the most sense to leave the road where it is and determine setbacks. Shifting the road 20 feet
15 would create difficulties. The issue needed to be addressed on paper but he was not sure how best
16 to do it. He asked that the Commission allow him to continue to work with Staff.

17
18 Commissioner Chris Layton wondered if Mr. Mansell was supportive of the setbacks being derived
19 from the current location of the street rather than the property lines on the lots. Mr. Mansell
20 reiterated that it would make the most sense. He believed this could be addressed with Staff
21 moving forward. Mr. Mansell noted that the subdivision fits within the zone requirements.
22 Commissioner Chris Layton referenced the exhibit included in the packet and stated that the green
23 markers show where the current road is located and the blue shows the right-of-way. It made sense
24 to go off of what is current but his concern was whether Lot 2 is deep enough with a consistent
25 setback. Mr. Teerlink noted that the setback will be 20 feet, which includes the driveway. He
26 noted that there is still a lot of buildable area.

27
28 Chair Howard Layton opened the public hearing. There were no comments. The public hearing
29 was closed.

30
31 ***Commissioner Chris Layton moved to APPROVE the Conceptual Plan and Preliminary Plat
32 application by JNG Investments for “Walker Meadows Circle,” a two-lot, single-family
33 residential subdivision, located at 5203 South Highland Drive in the R-1-10 Zone based on the
34 following findings:***

- 36 1. ***The requirements for conceptual subdivision have been substantially completed.***
- 37 2. ***Each of the lots exceeds the minimum width and area for single-family home
38 development in the R-1-10 Zone.***
- 40 3. ***The development complies with the General Plan goals for continued and
41 compatible developed patterns along Highland Drive.***
- 44 4. ***The required submittals for preliminary subdivision development have been
45 provided where applicable and are complete and acceptable.***

1

2 5. *Preliminary-level drawings are not subject to conditional approval (Concept Plan*

3 *was approved, unconditionally).*

4

5 6. *Stormwater detention areas and public improvements have been reviewed by the*

6 *City Engineer.*

7

8 7. *Fire access has been approved by Unified Fire Authority (“UFA”).*

9

10 8. *Vehicular access and utility easements to the rear are established.*

11

12 *Commissioner Banks seconded the motion. Vote on motion: Commissioner Cunningham-Aye;*

13 *Commissioner Vilchinsky-Aye; Commissioner Chris Layton-Aye; Commissioner Banks-Aye;*

14 *Commissioner Roach-Aye; Chair Howard Layton-Aye. The motion passed unanimously.*

15

ACTION ITEMS

16

17 3. **Planning Commission Meeting Calendar – Review and Approval of 2023 Calendar**

18 **Year Meeting Dates.**

19 The Planning Commission reviewed the Planning Commission Meeting Calendar for 2023.

20 Commissioner Roach asked about the November 7, 2023 meeting and noted that it is Election Day.

21 He wondered if there would be too much happening at City Hall at that time. It was suggested that

22 the Planning Commission Meeting be removed from the calendar.

23

24 *Commissioner Roach moved to ADOPT the 2023 Planning Commission Meeting Calendar with*

25 *the amendment that the November 7, 2023, Planning Commission Meeting be removed.*

26 *Commissioner Banks seconded the motion. Vote on motion: Commissioner Cunningham-Aye;*

27 *Commissioner Vilchinsky-Aye; Commissioner Chris Layton-Aye; Commissioner Banks-Aye;*

28 *Commissioner Roach-Aye; Chair Howard Layton-Aye. The motion passed unanimously.*

29

30 4. **Approval of Minutes – 10/4/22.**

31 The Commission reviewed the October 4, 2022, Planning Commission Meeting Minutes.

32 Commissioner Roach noted that Page 2 of the minutes referenced an “OPUD,” but he was not sure

33 what an OPUD is. He believed it should be PUD instead. On Page 3, there was a highlighted star,

34 because the individual who seconded the motion was not identified. He believed it was

35 Commissioner Prince who seconded the motion. Page 4 stated that “the motion passed 4-to-1

36 unanimously.” This was a contradiction. Commissioner Cunningham noted that on Page 3, it

37 stated the following: “Questioning the merits of the application...” He believed it should read,

38 “Questioning the merits of the application.” However, he pointed out that the rest of the sentence

39 did not make sense as written. He felt it should be reworded.

40

41 Commissioner Cunningham referenced the first vote on Page 4. It stated that there were no

42 findings, but findings were made and stated. Commissioner Cunningham shared suggested

43 language to summarize those findings. Rather than “no findings stated,” he asked that the language

44 read: “...as the applicants failed to present any arguments or evidence linking the proposed

45 minimum lot size requirement to the goals and purposes of the FCOZ Overlay Zone.”

1 Commissioner Chris Layton pointed out that there were numerous typos within the minutes.
2 Commissioner Vilchinsky also noted that her name was spelled incorrectly. Commissioner Banks
3 stated that a lot of the back-and-forth discussion was not included in the minutes.
4

5 ***Commissioner Cunningham moved to APPROVE the October 4, 2022 Meeting Minutes, as
6 amended. Commissioner Roach seconded the motion. Vote on motion: Commissioner
7 Cunningham-Aye; Commissioner Vilchinsky-Aye; Commissioner Chris Layton-Aye;
8 Commissioner Banks-Aye; Commissioner Roach-Aye; Chair Howard Layton-Aye. The motion
9 passed unanimously.***

10
11 **ADJOURN**
12 The Planning Commission Meeting adjourned at approximately 7:10 p.m.

DRAFT

1 *I hereby certify that the foregoing represents a true, accurate, and complete record of the City
2 of Holladay Planning Commission Meeting held Tuesday, November 15, 2022.*

3
4
5
6 Teri Forbes

7 Teri Forbes
8 T Forbes Group
9 Minutes Secretary

10
11 Minutes Approved: _____

DRAFT