



**Planning and Development Services**

2001 S. State Street N3-600 • Salt Lake City, UT 84190-4050

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<https://msd.utah.gov/agendas/>



GREATER SALT LAKE  
**Municipal Services  
District**

# Salt Lake County Planning Commission

## Public Meeting Agenda

### Wednesday, February 15, 2023 8:30 A.M.

**\*\*AMENDED\*\***

**LOCATION:**

**Join meeting in WebEx**

Meeting number (access code): 961 841 420

<https://slco.webex.com/meet/wgurr>

Join meeting in WebEx (download available at <https://www.webex.com/downloads.html> for Windows, Android, and Apple devices)

**Tap to join from a mobile device (attendees only)**

[+1-213-306-3065](tel:+1-213-306-3065),[961841420##](tel:+1-602-666-0783) United States Toll (Los Angeles)

[+1-602-666-0783](tel:+1-602-666-0783),[961841420##](tel:+1-602-666-0783) United States Toll (Phoenix)

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Access code: 961 841 420

**Global call-in numbers**

**Join from a video conferencing system or application**

Dial [wgurr@slco.webex.com](mailto:wgurr@slco.webex.com)

You can also dial 173.243.2.68 and enter your meeting number.

Need help? Go to <http://help.webex.com>

**Anchor Location: 2001 South State Street  
North Building, Room N1-110**

*UPON REQUEST, WITH 5 WORKING DAYS NOTICE, REASONABLE ACCOMMODATIONS FOR QUALIFIED INDIVIDUALS MAY BE PROVIDED. PLEASE CONTACT WENDY GURR AT 385-468-6707. TTY USERS SHOULD CALL 711.*

The Planning Commission Public Meeting is a public forum where, depending on the agenda item, the Planning Commission may receive comment and recommendations from applicants, the public, applicable agencies and MSD staff regarding land use applications and other items on the Commission’s agenda. In addition, it is where the Planning Commission takes action on these items, which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

### **BUSINESS MEETING**

- 1) Approval of the January 11, 2023 Planning Commission Meeting Minutes.  
(Motion/Voting)
- 2) Other Business Items (as needed)

**ADMINISTRATIVE LAND USE APPLICATION(S)**

**CUP2023-000798** - George and Riley Spargen have requested a conditional use permit for ten (10) horses on a 5.62 acre lot. **Location:** 13688 South Shaggy Mountain Road. **Zone:** FR-5 (Forestry and Recreational). **Planner:** Morgan Julian (Motion/Voting)

**CUP2022-000576** – Richard Dillworth is requesting approval for an accessory building that, when combined with existing accessory buildings, exceeds 1200 square feet. **Acreage:** .63 Acres. **Location:** 3342 East Glacier Lane. **Zone:** R-1-21. **Planner:** Brian Tucker (Motion/Voting)

**ADJOURN**

## **Rules of Conduct for the Planning Commission Meeting**

1. Applications will be introduced by a Staff Member.
2. The applicant will be allowed up to 15 minutes to make their presentation.
3. The Community Council representative can present their comments.
4. Persons in favor of, or not opposed to, the application will be invited to speak.
  - a. Speakers will be called to the podium by the Chairman.
  - b. Because the meeting minutes are recorded it is important for each speaker to state their name and address prior to making any comments.
  - c. All comments should be directed to the Planning Commissioners, not to the Staff or to members of the audience.
  - d. For items where there are several people wishing to speak, the Chairman may impose a time limit, usually 3 minutes per person, or 5 minutes for a group spokesperson.
5. Persons opposed to the application will be invited to speak.
6. The applicant will be allowed 5 minutes to provide concluding statements.
  - a. After the hearing is closed, the discussion will be limited to the Planning Commission and the Staff.

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## MEETING MINUTE SUMMARY

### SALT LAKE COUNTY PLANNING COMMISSION MEETING

Wednesday, January 11, 2023 8:30 a.m.

**Approximate meeting length:** 57 minutes

**Number of public in attendance:** 1

**Summary Prepared by:** Wendy Gurr

**Meeting Conducted by:** Commissioner Collard

**\*NOTE:** Staff Reports referenced in this document can be found on the State website, or from Planning & Development Services.

## ATTENDANCE

Commissioners	Public Mtg	Business Mtg	Absent
Neil Cohen	x	x	
Ronald Vance	x	x	
Mark Elieson			x
Christopher Collard	x	x	
Sara Hiatt (Chair)	x	x	
Jeff Watkins (Vice Chair)	x	x	

Planning Staff / DA	Public Mtg	Business Mtg
Wendy Gurr	x	x
Morgan Julian		
Jim Nakamura		
Shad Cook		
Justin Smith		
Curtis Woodward		
Kayla Mauldin	x	x
Brian Tucker		
Helen Peters		
Zach Shaw (DA)	x	x

## BUSINESS MEETING

**Meeting began at – 8:31 a.m.**

*Commissioner Collard read the Chairs Opening Statement.*

1) Election of Chair and Vice Chair 2023. (Motion/Voting)

Election of Chair for 2023

**Motion:** To nominate Commissioner Hiatt as Chair for 2023, Commissioner Hiatt accepted that nomination.

**Motion by:** Commissioner Cohen

**2<sup>nd</sup> by:** Commissioner Watkins

**Vote:** Commissioners voted unanimous in favor (of commissioners present)

Election of Vice Chair for 2023

**Motion:** To nominate Commissioner Watkins as Vice Chair for 2023, Commissioner Watkins accepted that nomination.

**Motion by:** Commissioner Cohen

**2<sup>nd</sup> by:** Commissioner Watkins

**Vote:** Commissioners voted unanimous in favor (of commissioners present)

- 2) Approval of the November 16, 2022 Planning Commission Meeting Minutes. (Motion/Voting)  
**Motion:** To approve the November 16, 2022 Planning Commissioner Meeting Minutes as presented.

**Motion by:** Commissioner Cohen

**2<sup>nd</sup> by:** Commissioner Watkins

**Vote:** Commissioners voted unanimous in favor (of commissioners present)

Approval of the December 14, 2022 Planning Commission Meeting Minutes. (Motion/Voting)

**Motion:** To approve the December 14, 2022 Planning Commissioner Meeting Minutes as presented.

**Motion by:** Commissioner Cohen

**2<sup>nd</sup> by:** Commissioner Watkins

**Vote:** Commissioners voted unanimous in favor (of commissioners present)

- 3) Other Business Items. (As Needed)

*No other business items to discuss.*

### **PUBLIC HEARING(S)**

**Hearing began at – 8:42 a.m.**

**OAM2022-000778** - The drafted Sandy Hills General Plan is a long-term plan for the unincorporated area of Sandy Hills, an unincorporated island surrounded by Sandy City and represented by the Sandy Hills Community Council. The plan meets the required State Code for General Plan content including the elements of Land Use and Transportation, along with an additional Chapter covering Resilience and Infrastructure. Staff will present the drafted Plan to the Planning Commission, and the presentation will be followed by a public hearing. After the public hearing, the Commission may choose to make a recommendation to the Council regarding the Plan. **Planner:** Kayla Mauldin (Hearing and Possible Motion)

*Greater Salt Lake Municipal Services District Long Range Planner Kayla Mauldin provided an analysis of the draft Sandy Hills General Plan.*

*Commissioners, staff, and Counsel had a brief discussion regarding the vision statement, opportunities and avenues, community involvement moving forward, liaison between staff and unincorporated Salt Lake County, water efficient landscaping ordinance, County Council process, Sandy City annexation policy plan, and Sandy Hills push back to remain unincorporated.*

*Commissioner Cohen motioned to open the public hearing, Commissioner Vance seconded that motion.*

### **PUBLIC PORTION OF HEARING OPENED**

*No one from the public present to speak.*

*Commissioner Watkins motioned to close the public hearing, Commissioner Vance seconded that motion.*

### **PUBLIC PORTION OF HEARING CLOSED**

*Commissioner Cohen advised he enjoyed public input and the staff commitment. The plan is informative and reads well.*

**Motion:** To recommend file #OAM2022-000778 The drafted Sandy Hills General Plan is a long-term plan for the unincorporated area of Sandy Hills, an unincorporated island surrounded by Sandy City and represented by the Sandy Hills Community Council. The plan meets the required State Code for General Plan content including the elements of Land Use and Transportation, along with an additional Chapter covering Resilience and Infrastructure. Staff will present the drafted Plan to the Planning Commission, and the presentation will be followed by a public hearing. After the public hearing, the Commission may choose to make a recommendation to the County Council regarding the Plan for approval with revisions by staff for formatting and copyediting.

**Motion by:** Commissioner Cohen

**2<sup>nd</sup> by:** Commissioner Hiatt

**Vote:** Commissioners voted unanimous in favor (of commissioners present)

*Commissioner Vance asked about mileage reimbursement. Mr. Shaw said he will touch base with Helen Peters and find out what the next step is.*

**MEETING ADJOURNED**

**Time Adjourned – 9:28 a.m.**



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CUP2023-000798

## Conditional Use (Horses)

**Public Body:** Salt Lake County Planning Commission

**Meeting Date:** 2/15/2023

**Parcel ID:** 32041760030000

**Current Zone:** FR-5

**Property Address:** 13688 S Shaggy Mountain Rd

**Request:** Conditional Use for 10 Horses

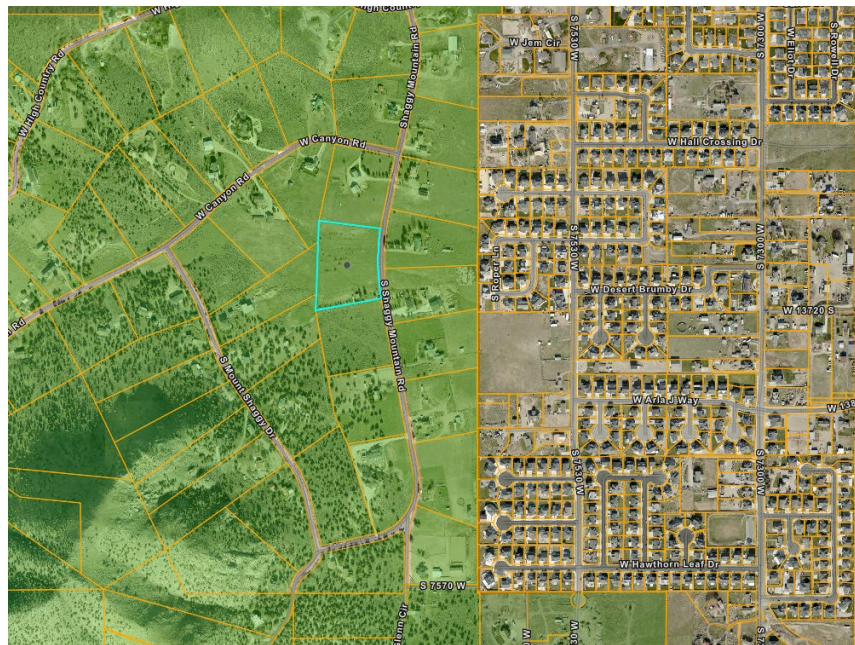
**Applicant Name:** George and Riley Spargen

**MSD Planner:** Morgan Julian

**MSD Planning Staff Recommendation:** Approval

### SITE & ZONE DESCRIPTION

The property in question is located at 13688 S Shaggy Mountain Rd in unincorporated Salt Lake County: lot 51 of HI-Country Estates. This property is zoned FR-5 (Forestry and Recreational). The surrounding properties are also zoned FR-5.



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## PROJECT & BACKGROUND DESCRIPTION

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George and Riley Spargen have requested a land use permit for 10 horses on a 5.6-acre property located in HI-Country Estates. HI-Country Estates subdivision plat was approved by the Planning Commission October 5, 1971, and recorded January 17, 1972. The recorded subdivision included “Bridle Paths” in at least 4 locations on the plat. The current zoning (FR-5) was applied to the property on August 19, 1975. The original FR-20 zone did not allow horses, but the 1981 zoning ordinance shows “Horses and animals and fowl for family food production...” as a conditional use subject to criteria similar to today’s code.

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## ISSUES OF CONCERN

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The MSD Planning Staff has not recognized any significant concerns associated with this proposal.

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## STANDARDS AND FINDINGS

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**Standard:** 19.12.030—Conditional Uses

Horses, and animals and fowl for family food production, as defined in [Section 19.04.235](#) of this title, provided that:

- a. The area proposed for animals is not a watershed area, as determined by the health department, and

**Findings:** The MSD staff has found that the property is not located in a watershed area.

- b. The use will not create unreasonable on-site erosion, downstream siltation, bacteriological or biological pollution in subsurface or surface waters, destruction of vegetation, air pollution, including dust and odors or other detrimental environmental effects. In determining the environmental effects of the use, the planning commission shall seek and consider recommendations from the health department and other concerned agencies, and may require the applicant to submit scientific studies including analysis of slope, soils, vegetative cover, availability of water, and other elements necessary to establish environmental effects of the proposed use, and
- c. The planning commission may limit the number of animals and fowl, or limit the amount of ground to be devoted to such use, or make other conditions to ensure environmental protection, and
- d. After the use is established, if the planning commission determines, based on findings of facts, that unreasonable environmental degradation is occurring, the planning commission may, after notification to the applicant and hearing, establish additional conditions or order the use to be abated;

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## PLANNING STAFF RECOMMENDATION

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Based on the findings stated above, the MSD Planning Staff recommends that the Salt Lake County

Planning Commission grant approval for a conditional use for ten horses for 13688 S Shaggy Mountain Rd with the following conditions:

1. The applicant must receive final approval from the MSD Planning Staff.
2. Please note that the Health Department has the following general requirement for keeping animals in Salt Lake County Health Regulation #7 Section 4.8 that would apply to this project:
  - a. 4.8. General Requirements for the Keeping of Animals.
  - b. 4.8.1. Any person harboring any animal shall remove the animal feces, and other wastes from the premises at least every 7 days or as often as necessary to prevent insect breeding, vermin attraction, offensive odor, or any other nuisance.
  - c. A person harboring an animal shall immediately remove the animal's fecal matter if deposited on property other than their own.
  - d. 4.8.3. Except for agricultural uses, animal food storage and feeding areas shall be secure from insect, rodent, and other vermin attraction and harborage.
  - e. The property is within a drinking water source protection zone 4 for a water source owned by Herriman city. The property owner should reach out to Herriman city to see if their DWSP plan has any restrictions or best management practices for managing animal waste.
3. Increase of horses will need to receive a separate land use approval.

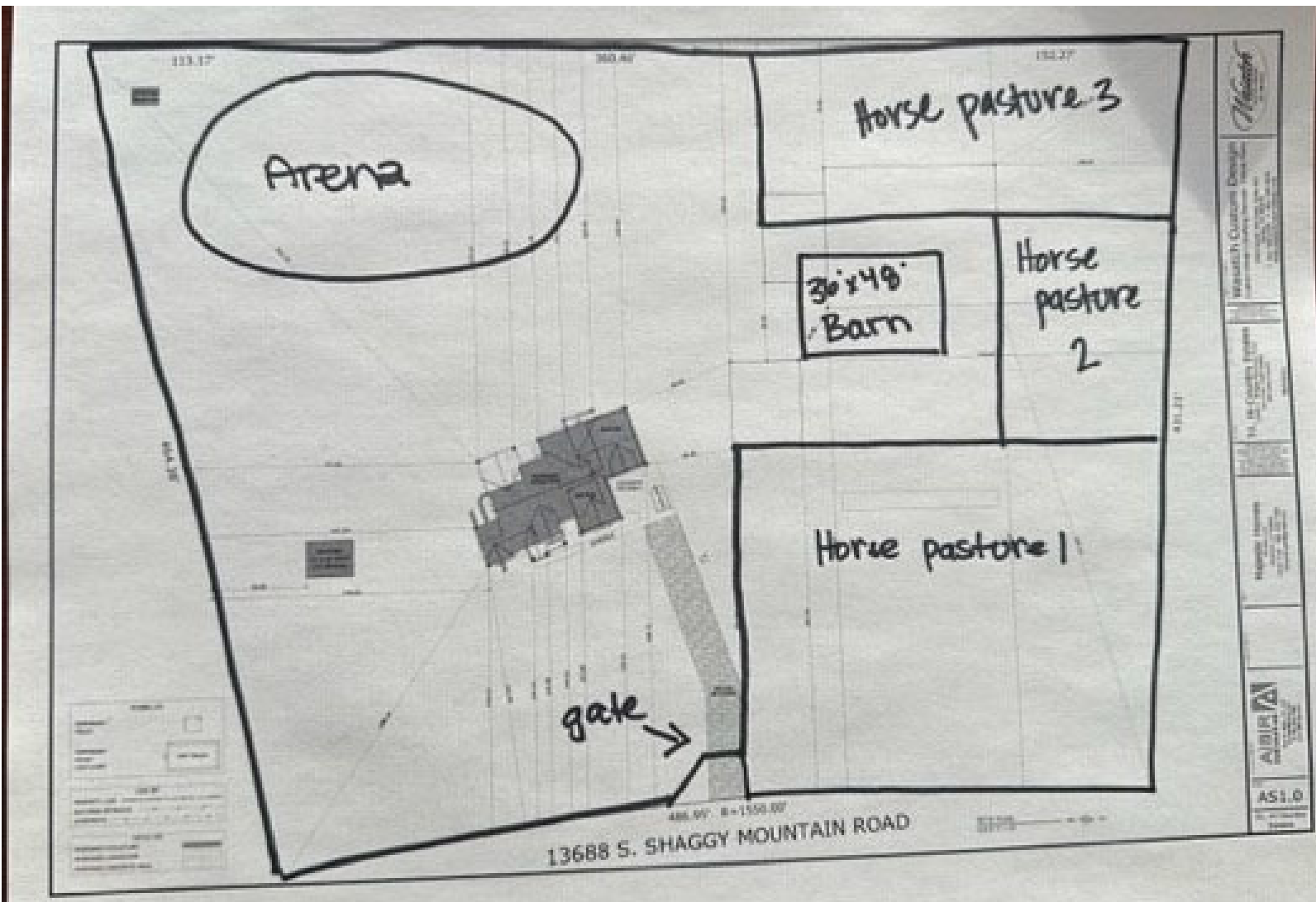
**ATTACHMENTS:**

1. Site Plan

CONDITIONAL USE HORSE PERMIT

SPARGEN - 13688 SHAGGY MTN ROAD, HERRIMAN UT 84096

PLOT MAP:





**CONDITIONAL USE HORSE PERMIT**

**SPARGEN – 13688 SHAGGY MTN ROAD, HERRIMAN UT 84096**

**FENCE PROPOSAL:**

5 rail steel horse panels – see image below

16 gauge heavy duty



**SHELTER PROPOSAL:**

8 Stall horse Barn – see image below

Size: 36' x 48'

Height: 18'





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**File # CUP2022-000576**

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## Subdivision Summary and Recommendation

**Public Body:** Salt Lake County Planning Commission

**Meeting Date:** February 15, 2023

**Parcel ID:** 28-22-277-046

**Current Zone:** R-1-21 (Single Family Residential Zone)

**Property Address:** 3342 East Glacier Lane

**Request:** Conditional Use Permit approval for an accessory building that, when combined with existing accessor buildings, exceeds 1200 square feet.

**Planner:** Brian Tucker

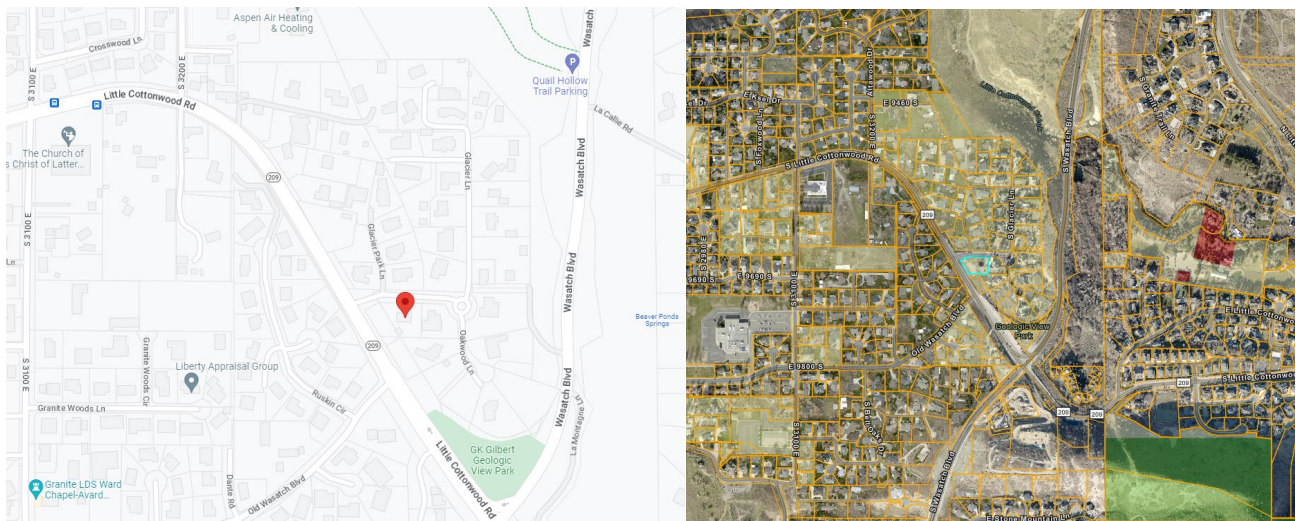
**Planning Staff Recommendation:** Approval with Conditions

**Applicant Name:** Richard Dillworth

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### SITE & VICINITY DESCRIPTION

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The property is located at 3342 East Glacier Lane, on the southeast corner of Little Cottonwood Road and Glacier Lane in the unincorporated county. The property has an existing single-family home with an existing pool and pool house.

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## PROJECT BACKGROUND AND DESCRIPTION

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The applicant has an existing single-family home, pool and pool house on their property. The applicant wants to build an additional 800 square foot detached garage. This garage includes area for the parking of two cars, storage and a bathroom that opens to the exterior. The proposed structure is located on a parcel that includes .63 acres. In the R-1-21 zone, any accessory building or buildings exceeding 1200 square feet require a conditional use permit on a parcel that exceeds ½ acre. The two accessory buildings combined include approximately 1550 square feet. The only limit to the oversize accessory building or buildings is that, when granted a conditional use permit, is that all the accessory structures combined cannot cover more than 25% of the rear yard. This structure is not located in the rear yard, which is atypical of accessory structures in the unincorporated county, but which is allowed for private garages. A private garage on a corner lot is subject to the same setbacks as the home, in this case 30' from Glacier Lane and 20' from Little Cottonwood Canyon Road.

The rear yard on this lot is approximately 14,500 square feet, so even if the proposed accessory structure was located in the rear yard, the structures combined would not exceed 11% of that yard area. At 18' 7.5" the proposed garage does not exceed the 20' height maximum.

The Planning Commission is the decision-making body for conditional use permits. When and if the approval is granted, the technical planning and engineering reviews will be conducted by the MSD staff and staff at the various agencies for which approval is required, who will approve the project based on compliance with the development and other applicable codes.

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## PLANNING STAFF ANALYSIS

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### **Zoning: R-1-1 Single Family Residential Zone (Chapter 19.14):**

The purpose of the R-1 zones is to establish single-family neighborhoods which provide persons who reside therein a comfortable, health, safe and pleasant environment. As mentioned previously, a lot with more than .5 acres is allowed an accessory building or buildings not exceeding 1200 square feet unless a conditional use permit is granted. The maximum rear yard coverage is 25%. This means that all the accessory structures located within the rear yard cannot, when combined, exceed 25% of the rear yard. This accessory structure is not located in the rear yard, but even if it were, the size of the structure would not be an issue. The proposed structure is 18' 7.5" in a zone where the maximum height for an accessory structure is 20'. The setback requirement for private garage on a corner lot is 30' from the front property line and 20' from a street facing side yard. The proposed accessory structure complies with the coverage, height, and setback restrictions.

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## PLANNING STAFF RECOMMENDATION

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Planning Staff recommends that the Salt Lake County Planning Commission grant approval of the conditional use permit for an oversized private garage at 3342 East Glacier Lane, subject to the following conditions:

1. That the applicant works with staff and outside review agencies to correct the remaining issues with the engineering, construction and site development plans that do not yet meet the policies or ordinances that they administer.

2. Any future accessory structures, including buildings that may not require a building permit, cannot, when combined, exceed 25% of the rear yard area.

**Attachments:**

1. Findings for Decision
2. Proposed building plans
3. Reviewing Agency Responses and Comments

Attachment #1		
Conditional Use Permit Approval Findings for Decision		
Code Reference	Findings	
18.84.060.A	The proposed site development plan shall comply with all applicable provisions of the zoning ordinance, including parking, building setbacks, and building height.	✓
18.84.060.B	The proposed use and site development plan shall comply with all other applicable laws and ordinances.	✓
18.84.060.C	The proposed use and site development plan shall not present a serious traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the county transportation master plan.	✓
18.84.060.D	The proposed use and site development plan shall not pose a serious threat to the safety of persons who will work on, reside on, or visit the property nor pose a serious threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands	✓
18.84.060.E	The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.	✓
<p>✓ The proposed use and plans comply with the applicable standard or the conditions of approval will result in compliance with the standard.</p>		



 <b>Greater Salt Lake Municipal Services District</b>	
<b>Conceptual Site Plan Review</b>	
<b>Planning</b>	Concept O.K. - Technical Review Required BTucker: CUP2022-000576_Dillworth Plan Set_04.04.22 12/28/2022
<b>Grading</b>	Concept O.K. - Technical Review Required mgearge: CUP2022-000576_Dillworth Plan Set_04.04.22 12/20/2022
<b>Geology</b>	Concept O.K. - Technical Review Required Adahir: CUP2022-000576_Dillworth Plan Set_04.04.22 10/19/2022
<b>Hydrology</b>	Concept O.K. - Technical Review Required Adahir: CUP2022-000576_Dillworth Plan Set_04.04.22 10/19/2022
<b>Boundary</b>	Concept O.K. - Technical Review Required skieset: CUP2022-000576_Dillworth Plan Set_04.04.22 10/27/2022
<b>Traffic</b>	Concept O.K. - Technical Review Required Adahir: CUP2022-000576_Dillworth Plan Set_04.04.22 10/19/2022
<b>UFA</b>	Concept O.K. - Technical Review Required BTucker: CUP2022-000576_Dillworth Plan Set_04.04.22 12/28/2022
<b>Health</b>	Concept O.K. - Technical Review Required jowhi: CUP2022-000576_Dillworth Plan Set_04.04.22 10/27/2022
<b>Building</b>	Concept O.K. - Technical Review Required TSorensen: CUP2022-000576_Dillworth Plan Set_04.04.22 10/07/2022
<b>Operations</b>	NA

FLOOR PLAN LEGEND	
HATCH PATTERN	DESCRIPTION
	CONCRETE FOUNDATION
	2 X 6 STUD WALL @ 16" OC - SEE PLAN FOLLOW THICKNESS
	STONE VENEER
	SEE SHEET A006 FOR DOOR TYPES AND A003 NOTE #5 FOR SPECIFICATIONS - COORDINATE WITH INTERIOR DESIGNER
	SEE SHEET A007 A008 FOR WINDOW TYPES AND A003 NOTE #9 FOR SPECIFICATIONS

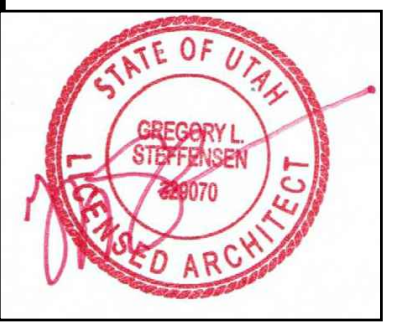
FLOOR PLAN GENERAL NOTES	
1 -	SEE SHEET A000 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEY NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
2 -	COORDINATE WITH STRUCTURAL FRAMING PLANS & SHEAR WALL PLANS FOR LOCATION OF COLUINS BEAMS SHEAR WALLS, ETC.
3 -	COORDINATE WITH ELECTRICAL AND INTERIOR DESIGNERS DRAWINGS FOR ALL LIGHTING, POWER, AND DATA REQUIREMENTS.
4 -	ALL EXT. WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN NOTED OTHERWISE.
5 -	SEE SHEET A004 AND A005 FOR WINDOW AND DOOR SCHEDULES.
6 -	COORDINATE WITH OWNER AND INTERIOR DESIGNER FOR ALL INTERIOR FINISHES.

ELEVATION/SECTION HATCH LEGEND			
REPRESENTATIVE HATCH	DESCRIPTION	REPRESENTATIVE HATCH	DESCRIPTION
	1X8 SHIP LAPPED CEDAR SIDING		BACKFILLED OR EXISTING EARTH COORD. WITH CIVIL AND LANDSCAPE
	EPS SYSTEM - WITH ULTRA FINE SMOOTH FINISH		GRAVEL BASE AS SPEC.
	TEXAS LIMESTONE STONE VENEER		STONE VENEER
			CONCRETE (CAST IN PLACE)
			INSULATION (BLANKET)
			INSULATED FOAM OR RIGID INSULATION
			TEMPERED GLASS

ELEVATION/SECTION KEY NOTES	
MARK	DESCRIPTION
1	FINISH GRADE.
2	FOOTINGS WITH 4" PERF PIPE - SEE DETAIL AND LOCATIONS.
3	FOUNDATION WALL WITH WATERPROOFING AND DRAINAGE MAT AND 4" PERF PIPE.
4	GARAGE: 4" CONCRETE TOPPING SLAB WITH EPOXY FINISH OVER WATER PROOFING ON 5" CONCRETE TOPPING SLAB OVER WATERPROOFING ON PRE-FAB CONCRETE SUSPENDED HOLLOW CORE PANELS.
5	LANDSCAPE CONCRETE STEPS.
6	2X4 FURR OUT WALL WITH BIBB INSULATION FULL DEPTH.
7	TREATED SILL PLATE.
8	INTERIOR WOOD STUD WALLS - SEE PLAN FOR SIZE.
9	2X6 MINIMUM EXTERIOR STUD WALL.
10	FLOOR JOIST/TRUSSES - WITH 1 1/2" LIGHT WEIGHT CONCRETE TOPPING SLAB.
11	BRICK VENEER AS SELECTED BY ARCHITECT.
12	BRICK HEADER VENEER.
13	2" THICK NATURAL SANDSTONE VENEER.
14	60 MIL MEMBRANE ROOFING.
15	ARCHITECTURAL ASPHALT SHINGLE ROOFING.
16	METAL FLASHING - COLOR AS SELECTED BY ARCHITECT.
17	T&G EAVE FASCIA & SOFFIT CROWN.
18	PARAPET WITH METAL FLASHING CAP.
19	1 3/4" INTERIOR SOLID WOOD DOORS.
20	2" RIGID INSULATION AT PERIMETER OF FOUNDATION.
21	VINYL WINDOWS.
22	INSULATION SYSTEM - 10" ICYNENE LD-G-50 OR RIGID AND BIBB IN WALLS WITH 1" RIGID ON EXTERIOR SIDE OF WALLS.
23	SOUND INSULATION AROUND BATHROOMS, WALL BETWEEN HOUSE AND GARAGE, AT MASTER SUITE AND OFFICE.
24	5/8" TYPE 'X' GYPSUM BOARD AT GARAGE WALLS AND CEILINGS.
25	5/8" GYPSUM BOARD THROUGH OUT.
26	5/8" WATER RESISTANT GYPSUM BOARD AT UET AREAS.
27	CUSTOM BUILT-IN CABINETS.
28	BUILT UP WOOD TRIMMED COLUMN.
29	TJI AND LVL RAFTERS AS SELECTED BY STRUCTURAL ENGINEER.
30	4 1/2" CONCRETE SLAB OVER 8" COMPACTED GRANULAR FILL.
31	5" CONCRETE DRIVEWAY SLAB OVER 2" COMPACTED GRANULAR FILL.
32	STRUCTURAL STEEL - PAINTED FINISH.
33	4" PATIO SLAB WITH EXPOSED AGGREGATE FINISH.
34	COMPACTED GRANULAR FILL - SLOPE 1/4" PER FOOT.
35	GRAND STAIR - METAL STRINGER, POWDER COATED AND FLOATING - OPEN WOOD TREADS.
36	GAS FIREPLACE INSERT - SEE SHEET A003.
37	EXTERIOR METAL GUARD RAIL - PAINTED FINISH.
38	BUILT UP ROOF CRICKET.
39	CUSTOM STEEL AND METAL MESH CHIMNEY CAP.
40	INTERIOR STONE VENEER WALL - MATCH EXTERIOR STONE.
41	INTERIOR WOOD CEILING TO BE 3/4" 1 X 4 CEDAR.
42	3/8" EURO GLASS SHOWER - TEMPERED.
43	FURR-DOWN DROP INTERIOR WOOD CEILING TO BE 1/4" 1 X 4 CEDAR SHADES - SEE INTERIOR DESIGN PACKAGE.
44	DECK TO BE 1X4 IPE DECKING ON 2X6 SLEEPERS OVER 60 MIL TPO ROOFING MEMBRANE ON 3/4" PLYWOOD ROOF DECKING ON SLOPED RAFTERS.
45	INTERNAL ROOF DRAIN AND DOWNSPOUT - HEAT TAPED - SEE DETAILS.
46	STOREFRONT GLAZING WITH INTERNAL ALUMINUM METAL FRAME.
47	CUSTOM INTERIOR METAL GUARDRAIL - POWDER COAT FINISH.
48	DECK ROOF - 1/2" TEMPERED STRUCTURAL GLAZING WITH STEEL FRAMING.
49	PLUMBING FIXTURE AS SELECTED BY OWNER AND INTERIOR DESIGNER.
50	GREY BALLASTED ROOF MATERIAL OVER WATERPROOFING MEMBRANE.
51	WINE RACK SYSTEM AS SELECTED BY THE ARCHITECT.
52	CLOPAY CANYON RIDGE ALUMINUM CLAD GARAGE DOORS IN CLEAR CYPRUSS FINISH WITH CLEAR INSULATE TEMPERED GLASS PANELS.
53	FREESTANDING FLOATING FIREPLACE AS SELECTED BY ARCHITECT.
54	2X PRE-FAB TRUSSES - SEE STRUCTURAL FOR SPACING AND SIZE.
55	CUSTOM STONE CAP - SLOPE TO DRAIN.
56	METAL RAILING AND POSTS - MATT BLACK FINISH.
57	HEAT TAPE AT DOWNSPOUTS AND ROOF DRAINS.
58	LANDSCAPE ROOF.
59	SKYLIGHT.
60	BOARD FORMED CONC. WALL.
61	LANDSCAPE.
62	WATER FEATURE.

consultant

project: DILLWORTH RESIDENCE ACCESSORY GARAGE 3342 E GLACIER LANE SANDY UTAH



10287 ashley hills circle sandy, utah 84092 tel: 801.706.7186 fax: 801.943-0730

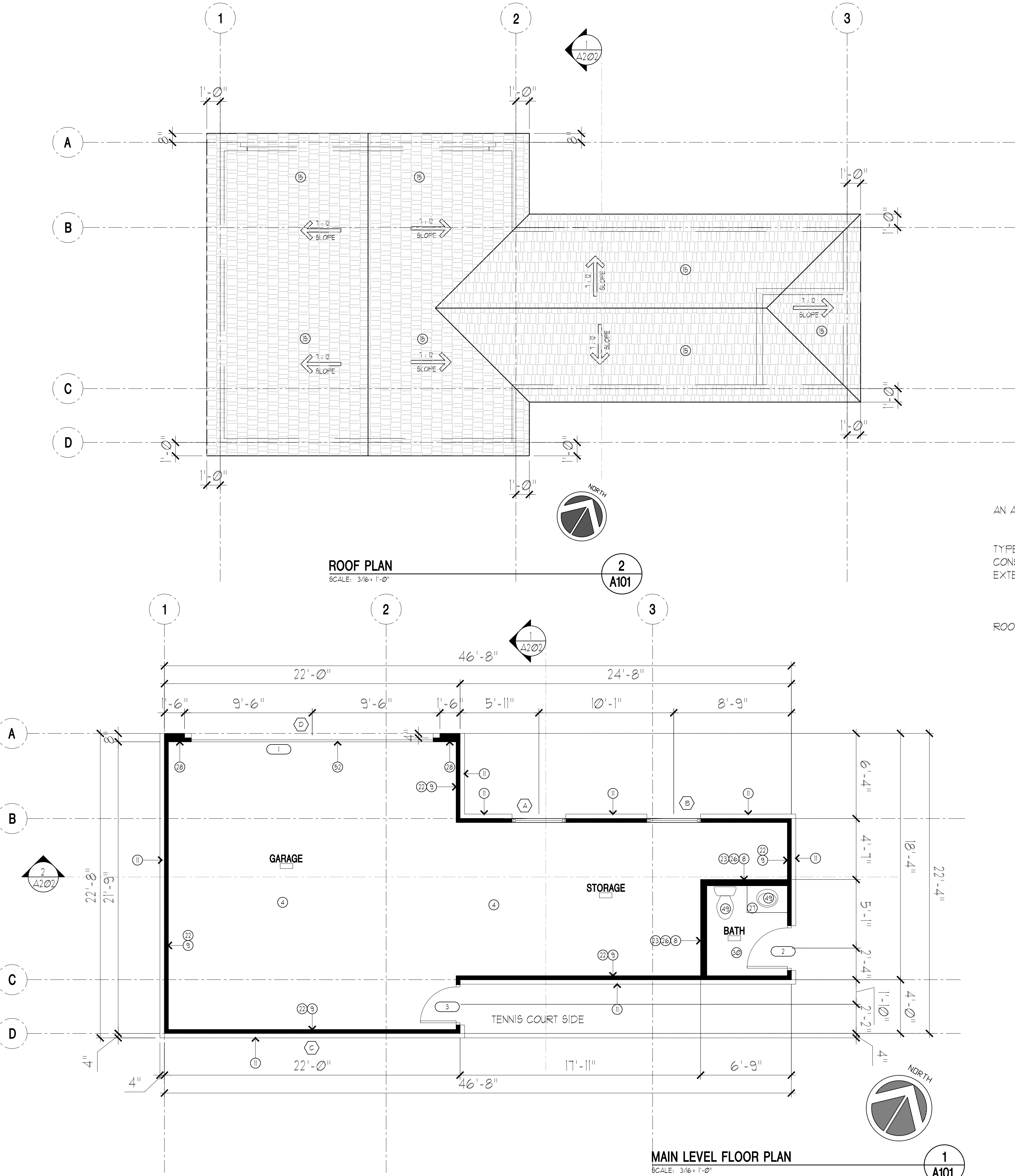
date: 01/24/2022

revisions

sheet: A101

title: MAIN LEVEL ROOF PLANS

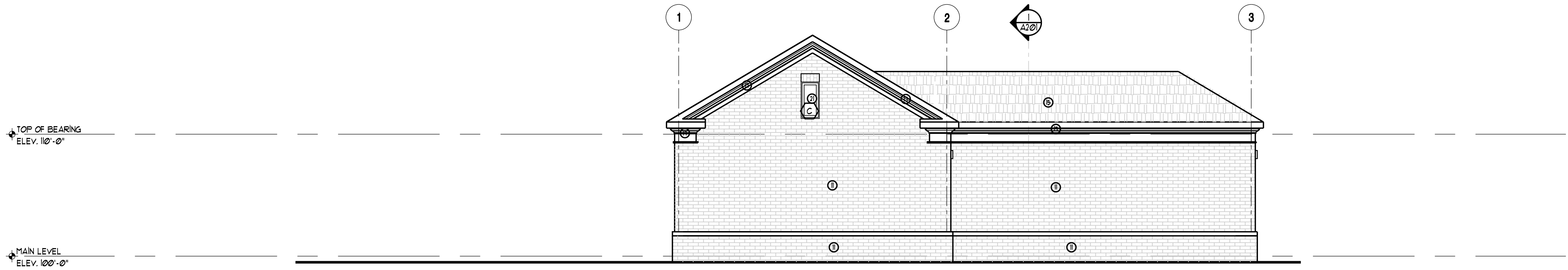
data: project no: 1421-05



AN ACCESSORY STRUCTURE:  
GARAGES AND STORAGE FOR TENNIS EQUIPMENT  
TYPE OF CONSTRUCTION: IS TYPE V-B  
CONSTRUCTION MATERIALS  
EXTERIOR WALLS:  
BRICK VENEER OVER PLYWOOD ON 2X4 WOOD STUDS  
ROOF  
ARCHITECTURAL ASPHALT COMPOSITE SHINGLES ON PLYWOOD SHEATHING ATTACHED TO 2X-PRE-FAB TRUSSES

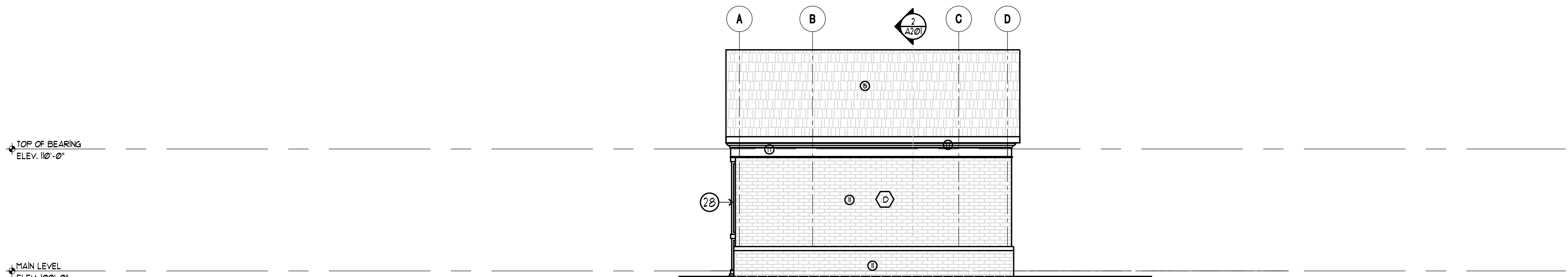
VARIANCE APPLICATION - 01-24-2022





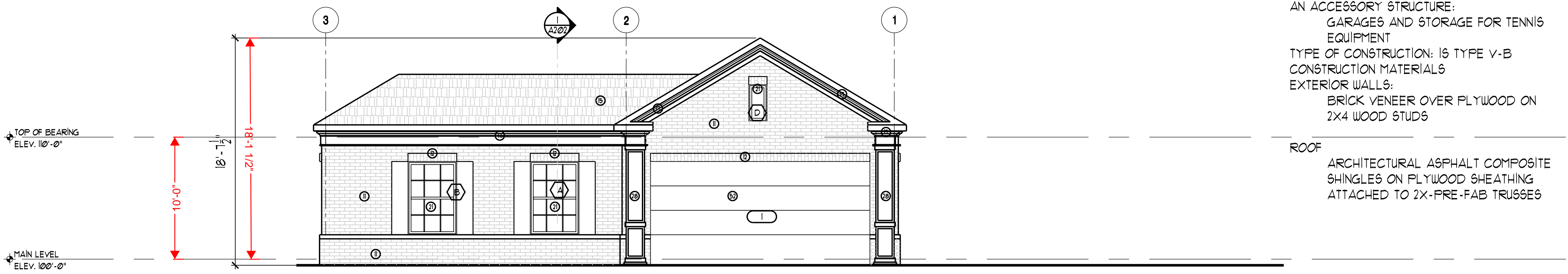
**SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

1  
A201



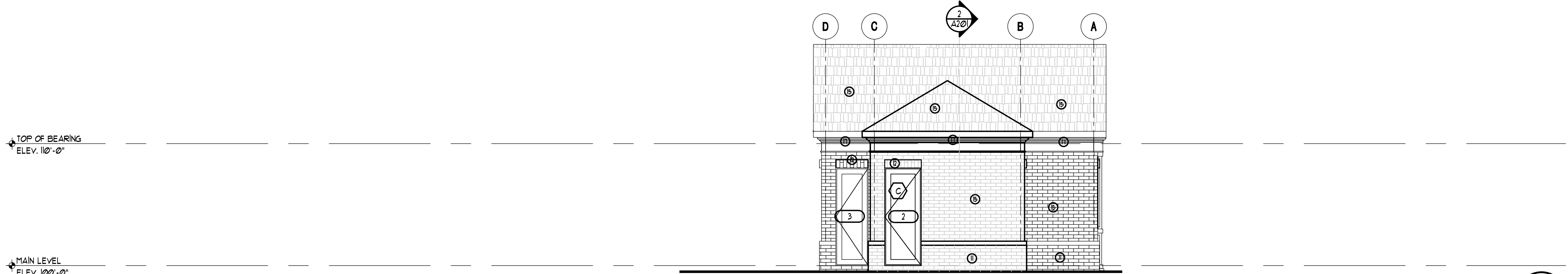
**WEST ELEVATION**  
SCALE: 3/16" = 1'-0"

2  
A201



**NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

3  
A201



**EAST ELEVATION**  
SCALE: 3/16" = 1'-0"

4  
A201

AN ACCESSORY STRUCTURE:  
GARAGES AND STORAGE FOR TENNIS  
EQUIPMENT  
TYPE OF CONSTRUCTION: IS TYPE V-B  
CONSTRUCTION MATERIALS  
EXTERIOR WALLS:  
BRICK VENEER OVER PLYWOOD ON  
2X4 WOOD STUDS  
ROOF  
ARCHITECTURAL ASPHALT COMPOSITE  
SHINGLES ON PLYWOOD SHEATHING  
ATTACHED TO 2X-PRE-FAB TRUSSES

FLOOR PLAN LEGEND	
HATCH PATTERN	DESCRIPTION
[Pattern]	CONCRETE FOUNDATION
[Pattern]	2 X 6 STUD WALL @ 16" O.C. - SEE PLAN, FOLLOW THICKNESS
[Pattern]	STONE VENEER
[Pattern]	SEE SHEET A203 FOR DOOR TYPES AND A203 NOTE #9 FOR SPECIFICATIONS - COORDINATE WITH INTERIOR DESIGNER
[Pattern]	SEE SHEET A204 FOR WINDOW TYPES AND A203 NOTE #10 FOR SPECIFICATIONS

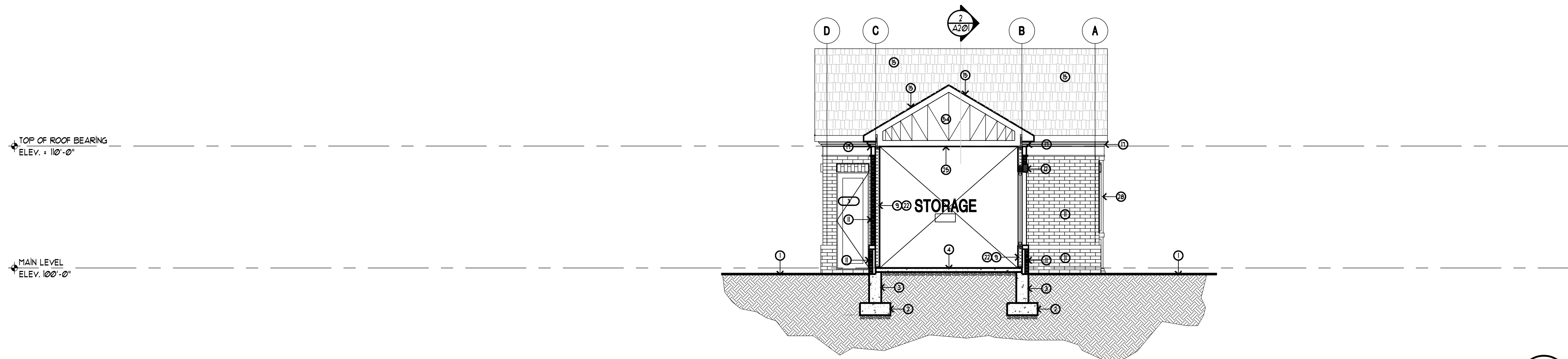
- FLOOR PLAN GENERAL NOTES**
- SEE SHEET A200 FOR PROJECT GENERAL NOTES, AND SHEET A203 FOR PROJECT KEY NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - COORDINATE WITH STRUCTURAL FRAMING PLANS 1 SHEAR WALL PLANS FOR LOCATION OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
  - COORDINATE WITH ELECTRICAL AND INTERIOR DESIGNERS DRAWINGS FOR ALL LIGHTING, POWER, AND DATA REQUIREMENTS.
  - ALL EXIT WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN NOTED OTHERWISE.
  - SEE SHEET A204 AND A205 FOR WINDOW AND DOOR SCHEDULES.
  - COORDINATE WITH OWNER AND INTERIOR DESIGNER FOR ALL INTERIOR FINISHES.

ELEVATION/SECTION HATCH LEGEND			
REPRESENTATIVE HATCH	DESCRIPTION	REPRESENTATIVE HATCH	DESCRIPTION
[Pattern]	3X8 SHIP LAP CEDAR SIDING	[Pattern]	BACKFILLED OR EXISTING EARTH COORD. WITH CIVIL AND LANDSCAPE
[Pattern]	EIFS SYSTEM - WITH ULTRA FINE SMOOTH FINISH	[Pattern]	GRAVEL BASE AS SPEC.
[Pattern]	TEXAS LIMESTONE STONE VENEER	[Pattern]	STONE VENEER
[Pattern]		[Pattern]	CONCRETE (CAST IN PLACE)
[Pattern]		[Pattern]	INSULATION (BLANKET)
[Pattern]		[Pattern]	INSULATED FOAM OR RIGID INSULATION
[Pattern]		[Pattern]	TEMPERED GLASS

- ELEVATION/SECTION KEY NOTES**
- | MARK | DESCRIPTION   |
|------|---|
| 1    | FINISH GRADE  |
| 2    | FOOTINGS WITH 4" PERF PIPE - SEE DETAIL AND LOCATIONS   |
| 3    | FOUNDATION WALL WITH WATERPROOFING AND DRAINAGE MAT AND 4" PERF PIPE  |
| 4    | GARAGE: 4" CONCRETE TOPPING SLAB WITH EPOXY FINISH OVER WATERPROOFING ON 5" CONCRETE TOPPING SLAB OVER WATERPROOFING ON PRE-FAB CONCRETE SUSPENDED HOLLOW CORE PANELS |
| 5    | LANDSCAPE CONCRETE STEPS  |
| 6    | 2X4 FURR OUT WALL WITH BIBS INSULATION FULL DEPTH   |
| 7    | TREATED BILL PLATE  |
| 8    | INTERIOR WOOD STUD WALLS - SEE PLAN FOR SIZE  |
| 9    | 2X6 MINIMUM EXTERIOR STUD WALL  |
| 10   | FLOOR JOIST/RUBBES - WITH 1/2" LIGHT WEIGHT CONCRETE TOPPING SLAB   |
| 11   | BRICK VENEER AS SELECTED BY ARCHITECT   |
| 12   | BRICK HEADER VENEER   |
| 13   | 2" THICK NATURAL SANDSTONE VENEER   |
| 14   | 60 MIL MEMBRANE ROOFING   |
| 15   | ARCHITECTURAL ASPHALT SHINGLE ROOFING   |
| 16   | METAL FLASHING - COLOR AS SELECTED BY ARCHITECT   |
| 17   | 1/4" EAVE FASCIA + SOFFIT CROWN   |
| 18   | PARAPET WITH METAL FLASHING CAP   |
| 19   | 1 3/4" INTERIOR SOLID WOOD DOORS  |
| 20   | 2" RIGID INSULATION AT PERIMETER OF FOUNDATION  |
| 21   | VINYL WINDOWS   |
| 22   | INSULATION SYSTEM - 1/2" ICYNENE LD-G-50 OR RIGID AND BIBS IN WALLS WITH 1" RIGID ON EXTERIOR SIDE OF WALLS   |
| 23   | SOUND INSULATION AROUND BATHROOMS, WALL BETWEEN HOUSE AND GARAGE, AT MASTER SUITE AND OFFICE  |
| 24   | 5/8" TYPE X GYPSUM BOARD AT GARAGE WALLS AND CEILINGS   |
| 25   | 5/8" GYPSUM BOARD THROUGH OUT   |
| 26   | 5/8" WATER RESISTANT GYPSUM BOARD AT UET AREAS  |
| 27   | CUSTOM BUILT-IN CABINETS  |
| 28   | BUILT UP WOOD TRIMMED COLUMN  |
| 29   | 1/2" AND LVL RAFTERS AS SELECTED BY STRUCTURAL ENGINEER   |
| 30   | 4 1/2" CONCRETE SLAB OVER 8" COMPACTED GRANULAR FILL  |
| 31   | 5" CONCRETE DRIVEWAY SLAB OVER 12" COMPACTED GRANULAR FILL  |
| 32   | STRUCTURAL STEEL - PAINTED FINISH   |
| 33   | 4" PATIO SLAB WITH EXPOSED AGGREGATE FINISH COMPACTED GRANULAR FILL - SLOPE 1/4" PER FOOT   |
| 34   | GRAND STAIR - METAL STRINGER POWDER COATED AND FLOATING - OPEN WOOD TREADS  |
| 35   | GAS FIREPLACE INSERT - SEE SHEET A203   |
| 36   | EXTERIOR METAL GUARDRAIL - PAINTED FINISH   |
| 37   | BUILT UP ROOF CRICKET   |
| 38   | CUSTOM STEEL AND METAL MESH CHIMNEY CAP   |
| 39   | INTERIOR STONE VENEER WALL - MATCH EXTERIOR STONE   |
| 40   | INTERIOR WOOD CEILING TO BE 1X4 T & G CEDAR   |
| 41   | 3/8" EURO GLASS SHOWER - TEMPERED   |
| 42   | FURR-DOWN DROP INTERIOR WOOD CEILING TO BE 1X4 T & G CEDAR  |
| 43   | SHADES - SEE INTERIOR DESIGN PACKAGE  |
| 44   | DECK TO BE 1X4 IPE DECKING ON 2X2 SLEEPERS OVER 60 MIL TPO ROOFING MEMBRANE ON 3/4" PLYWOOD ROOF DECKING ON SLOPED RAFTERS  |
| 45   | INTERNAL ROOF DRAIN AND DOWNSPOUT - HEAT TAPED - SEE DETAILS  |
| 46   | STOREFRONT GLAZING WITH INTERNAL ALUMINUM METAL FRAME   |
| 47   | CUSTOM INTERIOR METAL GUARDRAIL - POWDER COAT FINISH  |
| 48   | DECK ROOFS - 1/2" TEMPERED STRUCTURAL GLAZING WITH STEEL FRAMING  |
| 49   | PLUMBING FIXTURE AS SELECTED BY OWNER AND INTERIOR DESIGNER   |
| 50   | GREY BALLASTED ROOF MATERIAL OVER WATERPROOFING MEMBRANE  |
| 51   | LINE RACK SYSTEM AS SELECTED BY THE ARCHITECT   |
| 52   | CLOPAY CANYON RIDGE ALUMINUM CLAD GARAGE DOORS IN CLEAR CYPRESS FINISH WITH CLEAR INSULATE TEMPERED GLASS PANELS  |
| 53   | FREESTANDING FLOATING FIREPLACE AS SELECTED BY ARCHITECT  |
| 54   | 2X PRE-FAB TRUSSES - SEE STRUCTURAL FOR SPACING AND SIZE  |
| 55   | CUSTOM STONE CAP - SLOPE TO DRAIN   |
| 56   | METAL RAILING AND POSTS - MATT BLACK FINISH   |
| 57   | HEAT TAPE AT DOWNSPOUTS AND ROOF DRAINS   |
| 58   | LANDSCAPE ROOF  |
| 59   | SKYLIGHT  |
| 60   | BOARD FORMED CONC. WALL   |
| 61   | LANDSCAPE   |
| 62   | WATER FEATURE   |

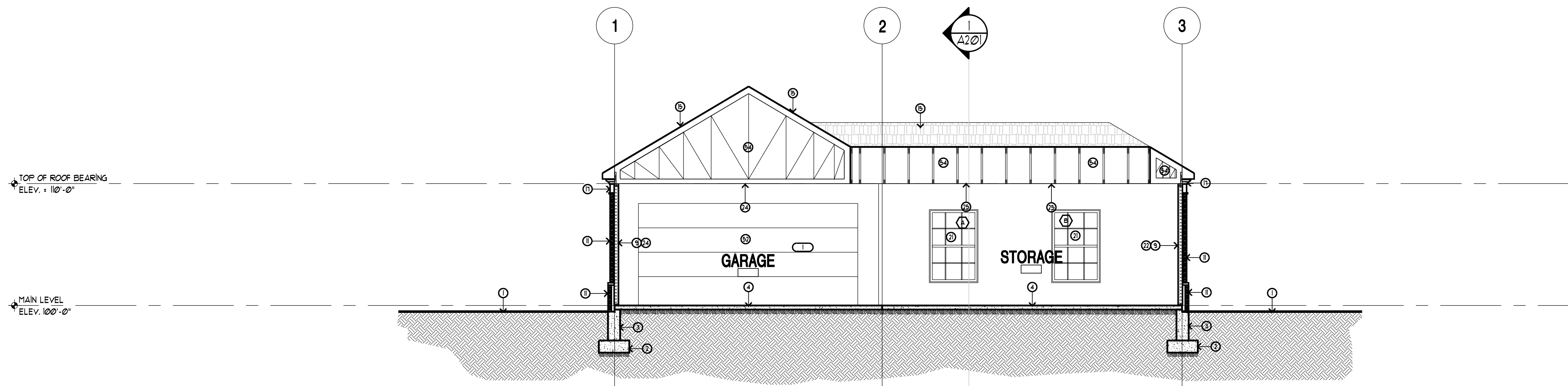
consultant  
 project: **DILL WORTH RESIDENCE**  
 ACCESSORY GARAGE  
 3842 E GLACIER LANE  
 SANDY, UTAH  
 10287 ashley hills circle  
 sandy, utah 84092  
 tel: 801.706.7186  
 fax: 801.943.0730  
 VARIANCE APPLICATION - 01-24-2022  
 date: 01/24/2022  
 title: EXTERIOR ELEVATIONS  
 sheet: **A201**  
 project no: 1421-05  
 data





**SECTION 1**  
SCALE: 3/16" = 1'-0"

1  
A202



**SECTION 2**  
SCALE: 3/16" = 1'-0"

2  
A202

FLOOR PLAN LEGEND			
HATCH PATTERN	DESCRIPTION		
[Hatch Pattern]	CONCRETE FOUNDATION		
[Hatch Pattern]	2 X 6 STUD WALL @ 16" O.C. - SEE PLAN, FOLLOW THICKNESS		
[Hatch Pattern]	STONE VENEER		
[Hatch Pattern]	SEE SHEET A203 FOR DOOR TYPES AND A203 NOTE #3 FOR SPECIFICATIONS - COORDINATE WITH INTERIOR DESIGNER		
[Hatch Pattern]	SEE SHEET A204 FOR WINDOW TYPES AND A203 NOTE #3 FOR SPECIFICATIONS		
FLOOR PLAN GENERAL NOTES			
1 - SEE SHEET A202 FOR PROJECT GENERAL NOTES, AND SHEET A203 FOR PROJECT KEY NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.			
2 - COORDINATE WITH STRUCTURAL FRAMING PLANS 1 SHEAR WALL PLANS FOR LOCATION OF COLUMNS, BEAMS, SHEAR WALLS, ETC.			
3 - COORDINATE WITH ELECTRICAL AND INTERIOR DESIGNERS DRAWINGS FOR ALL LIGHTING, POWER, AND DATA REQUIREMENTS.			
4 - ALL EXIT WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.			
5 - SEE SHEET A204 AND A205 FOR WINDOW AND DOOR SCHEDULES.			
6 - COORDINATE WITH OWNER AND INTERIOR DESIGNER FOR ALL INTERIOR FINISHES.			
ELEVATION/SECTION HATCH LEGEND			
REPRESENTATIVE HATCH	DESCRIPTION	REPRESENTATIVE HATCH	DESCRIPTION
[Hatch Pattern]	2X6 SHIP LAP CEDAR SIDING	[Hatch Pattern]	BACKFILLED OR EXISTING EARTH COORD. WITH CIVIL AND LANDSCAPE
[Hatch Pattern]	EIFS SYSTEM - WITH ULTRA FINE SMOOTH FINISH	[Hatch Pattern]	GRAVEL BASE AS SPEC.
[Hatch Pattern]	TEXAS LIMESTONE STONE VENEER	[Hatch Pattern]	STONE VENEER
[Hatch Pattern]		[Hatch Pattern]	CONCRETE (CAST IN PLACE)
[Hatch Pattern]		[Hatch Pattern]	INSULATION (BLANKET)
[Hatch Pattern]		[Hatch Pattern]	INSULATED FOAM OR RIGID INSULATION
[Hatch Pattern]		[Hatch Pattern]	TEMPERED GLASS
ELEVATION/SECTION KEY NOTES			
MARK	DESCRIPTION		
1	FINISH GRADE.		
2	FOOTINGS WITH 4" PERF PIPE - SEE DETAIL AND LOCATIONS		
3	FOUNDATION WALL WITH WATERPROOFING AND DRAINAGE MAT AND 4" PERF PIPE		
4	GARAGE: 4" CONCRETE TOPPING SLAB WITH EPOXY FINISH OVER WATERPROOFING ON 5" CONCRETE TOPPING SLAB OVER WATERPROOFING ON PRE-FAB CONCRETE SUSPENDED HOLLOW CORE PANELS		
5	LANDSCAPE CONCRETE STEPS		
6	2X4 FURR OUT WALL WITH BIBS INSULATION FULL DEPTH		
7	TREATED SILL PLATE		
8	INTERIOR WOOD STUD WALLS - SEE PLAN FOR SIZE		
9	2X6 MINIMUM EXTERIOR STUD WALL		
10	FLOOR JOIST/TRUSSES - WITH 1/2" LIGHT WEIGHT CONCRETE TOPPING SLAB		
11	BRICK VENEER AS SELECTED BY ARCHITECT		
12	BRICK HEADER VENEER		
13	2" THICK NATURAL SANDSTONE VENEER		
14	60 MIL MEMBRANE ROOFING		
15	ARCHITECTURAL ASPHALT SHINGLE ROOFING		
16	METAL FLASHING - COLOR AS SELECTED BY ARCHITECT		
17	1/4" EAVE FASCIA + SOFFIT CROWN		
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19	1 3/4" INTERIOR SOLID WOOD DOORS		
20	2" RIGID INSULATION AT PERIMETER OF FOUNDATION		
21	VINYL WINDOWS		
22	INSULATION SYSTEM - 1/2" ICYNENE LD-C-50 OR RIGID AND BIBS IN WALLS WITH 1" RIGID ON EXTERIOR SIDE OF WALLS		
23	SOUND INSULATION AROUND BATHROOMS, WALL BETWEEN HOUSE AND GARAGE, AT MASTER SUITE AND OFFICE		
24	5/8" TYPE 'X' GYPSUM BOARD AT GARAGE WALLS AND CEILINGS		
25	5/8" GYPSUM BOARD THROUGH OUT		
26	5/8" WATER RESISTANT GYPSUM BOARD AT UET AREAS		
27	CUSTOM BUILT-IN CABINETS		
28	BUILT UP WOOD TRIMMED COLUMN		
29	1/2" AND LVL RAFTERS AS SELECTED BY STRUCTURAL ENGINEER		
30	4 1/2" CONCRETE SLAB OVER 8" COMPACTED GRANULAR FILL		
31	5" CONCRETE DRIVEWAY SLAB OVER 12" COMPACTED GRANULAR FILL		
32	STRUCTURAL STEEL - PAINTED FINISH		
33	4" PATIO SLAB WITH EXPOSED AGGREGATE FINISH COMPACTED GRANULAR FILL - SLOPE 1/4" PER FOOT		
34	GRAND STAIR - METAL STRINGER POWDER COATED AND FLOATING - OPEN WOOD TREADS		
35	GAS FIREPLACE INSERT - SEE SHEET A203		
36	EXTERIOR METAL GUARDRAIL - PAINTED FINISH		
37	BUILT UP ROOF CRICKET		
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43	SHADES - SEE INTERIOR DESIGN PACKAGE		
44	DECK TO BE 1X4 IPE DECKING ON 2X2 SLEEPERS OVER 60 MIL TPO ROOFING MEMBRANE ON 3/4" PLYWOOD ROOF DECKING ON SLOPED RAFTERS		
45	INTERNAL ROOF DRAIN AND DOWNSPOUT - HEAT TAPED - SEE DETAILS		
46	STOREFRONT GLAZING WITH INTERNAL ALUMINUM METAL FRAME		
47	CUSTOM INTERIOR METAL GUARDRAIL - POWDER COAT FINISH		
48	DECK ROOFS - 1/2" TEMPERED STRUCTURAL GLAZING WITH STEEL FRAMING		
49	PLUMBING FIXTURE AS SELECTED BY OWNER AND INTERIOR DESIGNER		
50	GREY BALLASTED ROOF MATERIAL OVER WATERPROOFING MEMBRANE		
51	LINE RACK SYSTEM AS SELECTED BY THE ARCHITECT		
52	CLOPAY CANTON RIDGE ALUMINUM CLAD GARAGE DOORS IN CLEAR CYPRUS FINISH WITH CLEAR INSULATE TEMPERED GLASS PANELS		
53	FREESTANDING FLOATING FIREPLACE AS SELECTED BY ARCHITECT		
54	2X PRE-FAB TRUSSES - SEE STRUCTURAL FOR SPACING AND SIZE		
55	CUSTOM STONE CAP - SLOPE TO DRAIN		
56	METAL RAILING AND POSTS - MATT BLACK FINISH		
57	HEAT TAPE AT DOWNSPOUTS AND ROOF DRAINS		
58	LANDSCAPE ROOF		
59	SKYLIGHT		
60	BOARD FORMED CONC. WALL		
61	LANDSCAPE		
62	WATER FEATURE		

consultant  
 project: **DILL WORTH RESIDENCE**  
 ACCESSORY GARAGE  
 3842 E GLACIER LANE  
 SANDY UTAH  
 VARIANCE APPLICATION - 01-24-2022  
 sheet title date revisions  
 A202 SECTIONS 01/24/2022  
 data project no. 1421-05

STATE OF UTAH  
 GREGORY L. STEFFENSEN  
 ARCHITECT  
 LICENSED ARCHITECT

**GS:d**  
 greg steffensen architect

10287 ashley hills circle  
 sandy, utah 84092  
 tel: 801.706.7186  
 fax: 801.943-0730







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LITTLE COTTONWOOD ROAD

GLACIER LANE

Glacier Lane  
(9655 South Street)

3342 E GLACIER LANE  
32,238 sq. ft  
0.74 acres

PROPOSED GARAGE

EXISTING HOME

PATIO

TENNIS COURT

EXISTING POOL

EXISTING POOL

EXISTANT POOL HOUSE

DEED PARCEL 2  
Parcel Number  
28-11-277-049

A Part of  
Parcel Number  
28-11-277-046

Add sidewalk

End Centerline Monument  
Brass Cap in well with ring and lid.  
46.17' (R)  
46.23'

N88°20'W 361.80' (ROS 593-07-0411, S02-04-0242, S2012-09-0361)  
N88°20'03"W 361.81' (ROS S2005-07-0412)  
N88°20'W 361.80' (R)  
N88°20'00"W 361.86'

144.93'

30'-0"

EXISTING DRIVEWAY

S88°20'00"E 144.93'

L=36.38'  
R=130.28'  
Δ=15°59'57"  
(Plot)

N58°33'00"E  
39.87'  
N58°29'57"E  
38.96'  
(Deed)  
L=31.5'  
R=150.28'  
Δ=15°1'20"  
#15128864

Water Manhole

36" FENCE GATE

Combined Subject  
Parcels

LOT 1

EXTANT HOME

EXISTING DRIVEWAY

EXISTING DRIVEWAY

SO1°40'01"W 147.59'

35'-1/2"

63'-3"

N31°30'03"W 130.17' (Deed)

N31°27'00"W 175.70'

Little Cottonwood Road

EDGE OF COURT

EDGE OF COURT

EDGE OF COURT

EDGE OF COURT

EDGE OF COURT

EDGE OF COURT

EDGE OF COURT

EDGE OF COURT

EDGE OF COURT

EDGE OF COURT

EDGE OF COURT

EDGE OF COURT

SIDE YARD AREA = 19,270 SF  
BUILDING PROPOSED = 739 SF  
PERCENTAGE OF BUILDING TO SIDE YARD = 3.8%

AN PRIVATE GARAGE:  
GARAGES AND STORAGE FOR TENNIS EQUIPMENT  
TYPE OF CONSTRUCTION: IS TYPE V-B  
CONSTRUCTION MATERIALS  
EXTERIOR WALLS:  
BRICK VENEER OVER PLYWOOD ON 2X6 WOOD STUDS

ROOF  
ARCHITECTURAL ASPHALT COMPOSITE SHINGLES ON PLYWOOD SHEATHING ATTACHED TO 2X-PRE-FAB TRUSSES

SITE PLAN - OPTION 1  
SCALE: 1" = 20'-0"



consultant

THE DESIGN SHOWN AND DESCRIBED HEREIN IS THE PROPERTY OF GREG STEFFENSEN ARCHITECT. IT IS THE PROPERTY OF GREG STEFFENSEN ARCHITECT AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION FROM GREG STEFFENSEN ARCHITECT. THESE DRAWINGS ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY CLIENTS, CONSULTANTS, CONTRACTORS, AND SUPPLIERS ONLY IN ACCORDANCE WITH THE NOTICE. COPYRIGHTED 2015

project:  
**DILLWORTH RESIDENCE**  
ACCESSORY GARAGE  
3342 E GLACIER LANE  
SANDY UTAH



10287 ashley hills circle  
sandy, utah 84092  
tel: 801.706.7186  
fax: 801.943-0730

VARIANCE APPLICATION - 01-24-2022

date	revisions
01/24/2022	

sheet	title	date
AS101	SITE GRADING PLAN	1421-05

project no: 1421-05



**NARRATIVE:**

Boundary Consultants was retained by Richard Dillworth to survey the subject parcel, verify the acreage, set the property corners and create a concept plan to subdivide the combined parcels into two lots. This survey was carried out using a Trimble R8S GPS System, with ground distances being determined by EDM Model CONUS 12B 9' height 5161.00 feet of length. The survey was conducted on 08/28/2024. The survey monuments monumenting the centerline of Glacier Lane (9655 South Street). After joining to said center line monuments we located the East and Northeast corner of Section 11 with results as depicted herein.

**DESCRIPTION:**

**WARRANTY DEED- ENTRY #31269864:**

**PARCEL 1:**

Lot 1, The Okwoods Subdivision, a part of the Northeast Quarter of Section 11, Township 3 South, Range 1 East, Salt Lake Base and Meridian, in Salt Lake County, Utah.

Also a parcel of land seventy feet wide having a northeasterly boundary coincident with the southwesterly line of The Okwoods Subdivision as monumented (Instrument No. 33661876, Book 97-11, Page 345, Salt Lake Recorder's Office), situate in the East Half of the Northeast Quarter of Section 11, Township 3 South, Range 1 East, Salt Lake Base and Meridian, the boundaries of said parcel of land are described as follows: Beginning at a point in the southwesterly line of The Okwoods Subdivision as monumented which point is 520.44 feet North 00°40'48" West along the section line, 915.82 feet WEST and 324.00 feet North 31°30'03" West from the East Quarter Corner of said Section 11; Thence North 88°23'03" West 83.57 feet to the southwest corner of said parcel of land; Thence North 31°30'03" West 130.17 feet along a line parallel with and 70.00 feet perpendicular to the southeasterly right of way line of Glacier Lane; Thence North 58°29'57" East 39.46 feet along said southeasterly right of way line of Glacier Lane to a point in a north-southerly line to the right having a radius of 887.52 feet; Thence South 31°30'03" East 170.19 feet along said southwesterly line of The Okwoods Subdivision as monumented to the point of beginning.

Also: Beginning at the southwest corner of said Lot 1 and running thence South 88°20' East 102.83 feet; Thence South 01°40' West 22.95 feet; Thence North 88°20' West 87.86 feet to the westerly boundary of said Okwoods Subdivision; Thence North 31°27' West 27.40 feet to the point of beginning.

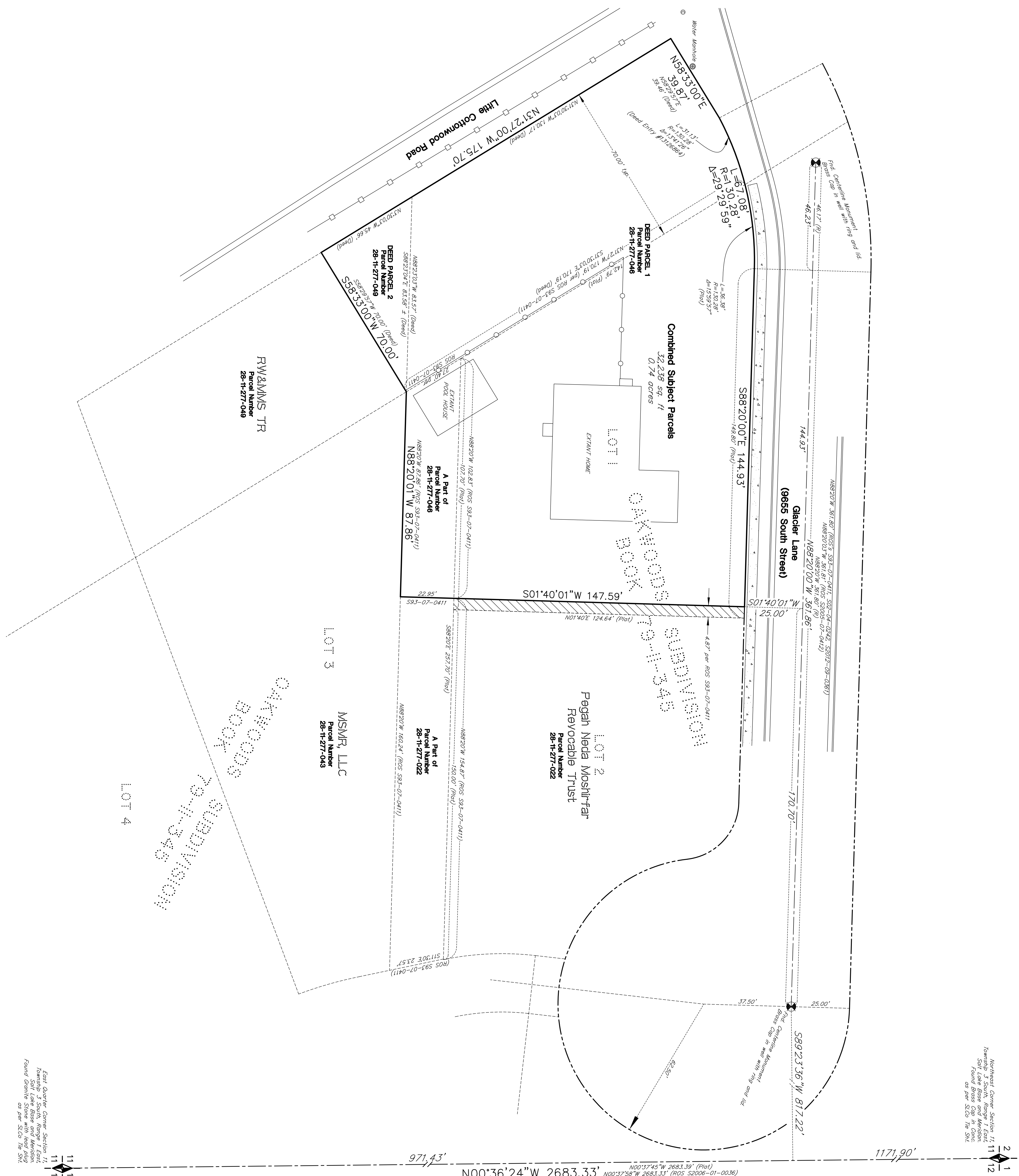
Also: Beginning North 00°40'48" West 520.44 feet from section line and WEST 915.82 feet and North 31°30'03" West 324 feet from the East Quarter Corner of Section 11, Township 3 South, Range 1 East, Salt Lake Base and Meridian. Thence North 88°23'03" West 83.57 feet; Thence North 31°30'03" West 130.17 feet; Thence North 58°29'57" East 39.46 feet; Thence North 31°30'03" East 170.19 feet to beginning.

Less and Excepting the following described property: Beginning at the northeast corner of said Lot 1 and running thence South 01°40' West 124.64 feet; Thence North 88°20' West 4.87 feet; Thence South 88°20' East 4.87 feet to the point of beginning.

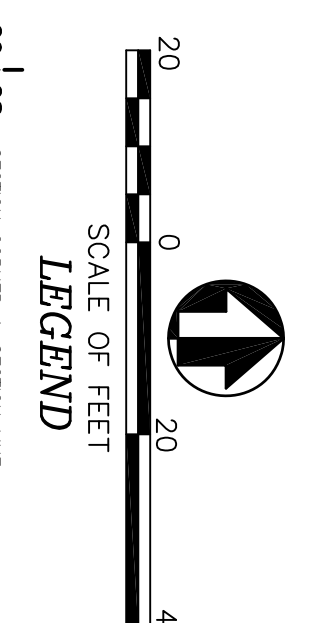
**PARCEL 2:**

Beginning at a point on the southwesterly line of The Okwoods Subdivision as monumented, which point is North 00°40'48" West 520.44 feet along the section line, WEST 915.82 feet and North 31°30'03" West 324.00 feet from the East Quarter Corner of Section 11, Township 3 South, Range 1 East, Salt Lake Base and Meridian, running thence South 58°29'57" West 70.003 feet more or less; Thence North 31°30'03" West 45.663 feet more or less; Thence South 88°23'04" East 83.580 feet more or less to the point of beginning.

Northwest Corner Section 11, Township 3 South, Range 1 East, Salt Lake Base and Meridian. Found as per S.C.O. No. 591.



**BASE OF BEARING**  
 N00°36'24\"/>



DATE: PLOT DATE: 01-18-21	
SCALE: 1"=20'	
PROJECT NUMBER: 2049001	

**RECORD OF SURVEY OF**  
**TAX PARCELS 28-11-277-0046 & -0049**  
**RICHARD S. DILLWORTH**  
 LYING AND SITUATE IN THE NORTHEAST QUARTER OF SECTION 11,  
 TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

**Boundary Consultants**  
 Professional Land Surveyors  
 5554 West 2425 North, Hooper, Utah  
 (801) 792-1569  
 dave@boundaryconsultants.biz

DESIGNED DEH	SHEET <b>1</b> of <b>1</b>
DRAFTED DEH	
CHECKED DEH	
DATE	

**ATTACHMENT #3**  
**REVIEWING AGENCIES RESPONSE**

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AGENCY: Planning DATE: 10.15.2022

RECOMMENDATION: Conceptual Approval  
Conditional Use Permit for an oversized garage.  
Garage does not exceed 25% of rear yard.  
Garage meets setbacks.

AGENCY: Geology Review DATE: 10.12.2022

RECOMMENDATION: Conceptual Approval

AGENCY: Grading Review DATE: 12.20.2022

RECOMMENDATION: Conceptual Approval – Additional Items Required

1. Footing excavations shall be inspected and approved in writing by a Qualified Geotechnical Engineer prior to the placement of concrete forms or rebar
2. Please submit a sediment and erosion control plan with Best Management Practices (BMP's) which shall include, but are not limited to: concrete washout, dumpster, portable toilet (if necessary), boundary controls and off-site tracking prevention.
3. Provide a grading and drainage plan that addresses how Storm Water will be managed on site.  
Site is not located within a mapped floodplain area and therefore a Floodplain Development Permit is not required.

AGENCY: Urban Hydrology Review DATE: 10.12.2022

RECOMMENDATION: Conceptual Approval – Additional Items Required

1. Where is the additional storm water coming off the proposed garage going to be directed?
2. Show percentage of grade with direction of storm water flow.

AGENCY: Traffic Review DATE: 10.12.2022

RECOMMENDATION: Conceptual Approval – Additional Items Required

1. Add sidewalk on the frontage of Glacier Lane.

AGENCY: Surveyor DATE: 10.27.2022

RECOMMENDATION: Conceptual Approval

1. Complete and file the record of survey map by Boundary Consultants.
2. Label ownership and parcel number of adjoining properties.
3. Show all existing easements and note document recording information.

AGENCY: Unified Fire Authority DATE: 10.05.2022

RECOMMENDATION: Conceptual Approval

AGENCY: Health Department DATE: 10.21.2022

RECOMMENDATION: Conceptual Approval

AGENCY: Building DATE: 03.11.2022

RECOMMENDATION: Conceptual Approval

Plan review for code compliance of the building will not be done at this stage. It will be done under the building permit process. That being said, please note the following:

1. Building permits are required for the construction of the new building. At time of building permit application, provide complete building plans showing compliance with current building code.
2. Separate building permits are required for the installation of the 7'+ tall fence around the pool and the proposed exterior light poles.

**From:** [REDACTED]  
**To:** [Wendy Gurr](#)  
**Subject:** CUP2022-000576  
**Date:** Thursday, February 2, 2023 1:49:48 PM

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Ms. Gurr: regarding PBM-00001083, please file my comment to the Council meeting and Council members.

for:

CUP2022-000576 - Richard Dillworth is requesting approval for an accessory building that, when combined with existing accessor buildings, exceeds 1200 square feet. Acreage: .63 Acres. Location: 3342 East Glacier Lane. Zone: R-1-21. Planner: Brian Tucker (Motion/Voting)

GCC: I, a Citizen within the boundaries of the GCCouncil, chime in on the SLCO Council Agenda item above.

I looked at the parcel via google maps. I drive by daily. There are current accessory buildings. I think the lot is very full. We purchase and live in this area with larger lots because we WANT the Bucollic feel. Thanks Jim Bradley you were the past man to fight for citizens. I would hate to be their neighbor if an Accessory building was approved under a conditional use permit. I know, I have no rights cause I live 1 mile away. But I provide comment. I think such would over-fill the parcel and make it look like a slum yard, a city parcel, a property at the mouth of the canyon with little to zero green space. I also opine that the reason for an ordinance is clear and concise – less than 1200 sq.ft ADU, for a reason.; but, the County (like Sandy City) allows a Conditional Use to rollover all Ordinances to avoid legal fees. Why have an Ordinance at all when a conditional use can be granted??? No purpose for Ordinances when a conditional use trumps all (no play on words from this democrat). Why have a Zoning Ordinance if it can just be swept under the carpet because a Conditional Use Permit allows anything beyond the Ordinance???? When will our community evolve into a ugly City – when all the Conditional Use Permits are approved, including this one. I say NEY!!!!

Please record my Citizen comment in your next meeting minutes. Thank you Granite Community Council.

Michael R. Braun  
[REDACTED]