



FARR WEST CITY PLANNING COMMISSION AGENDA

January 26, 2023 at 7:00 p.m.
City Council Chambers
1896 North 1800 West
Farr West, UT 84404

Notice is hereby given that the Planning Commission of Farr West City will hold a 6:00 pm work session and their regular meeting at 7:00 pm on Thursday, January 26, 2023

6:00 pm Joint work session with the City Council - JDC Ranch properties presentation from Nilson Homes

Regular Meeting

1. Call to Order –Chairman Ted Black
2. Opening Ceremony
 - a. Pledge of Allegiance
 - b. Prayer
3. Business Items
 - a. Report from City Council
 - b. Set a public hearing for February 9, 2023 to consider the request of a re-zone of the John Watson property located at approximately 1100 North 2000 West, parcel number 15-004-0118, from the R-1-15 zone to the C-2 Commercial zone
 - c. Recommendation to the City Council approval or denial of the Willard Bay Ph 2 Subdivision 1st Amendment (Montano Subdivision)
 - d. Recommendation to the City Council approval or denial of the Matt Montano site plan located at 3770 and 3762 North Higley Road
4. Consent Items
 - a. Approval of minutes dated January 12, 2023
5. Chairman/Commission Follow-up
 - a. Report on Assignments
 - b. February 2, 2023 Special Meeting before City Council
6. Public Comments (*Resident(s) attending this meeting will be allotted 2 minutes to express a concern or ask a question about any issue that IS NOT ON THE AGENDA. No action can or will be taken on any issue presented.*)
7. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was mailed to each member of the Planning Commission, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on January 20, 2023.

Lindsay Afuvai
Recorder

Application for Rezoning Real Property



Date Submitted 1/19/2023 Applicant's Name JOHN L. WATSON

Applicant's Address [REDACTED]

Applicant's Phone [REDACTED]

Fee Schedule (check one):

Up to 5 acres..... \$150.00 []

More than 5 acres..... \$200.00 [✓]

Commercial or Manufacturing..... \$250.00 []

Fee received by Lindsdy Date 1.19.2023

I (we), the undersigned property owner (s), request that the following real property (include or attach a legal description and a scale drawing of the real property here):

15. 004. 0118

Be rezoned from (present zoning) RESIDENTIAL

To (desired zoning) COMMERCIAL

Include or attach a list of all adjacent property owners within three hundred feet (300') of the property proposed for rezone and their addresses. [✓] BOYD FISHER, BRINKERHOFF, CAM WATSON WESTWOOD VILLAGE.

The Planning Commission must review the request from the standpoint that changes in property zoning cannot be made unless it is in the best interest of the citizens of Farr West City generally.

Please answer the following questions: (Attach additional sheets if necessary)

1. How is this request consistent with the policies of Farr West City's General Plan?

MEETS THE GENERAL PLAN EXACTLY

Application for Rezoning Real Property



2. How will this request benefit the general public and the community?

MEETS GENERAL PLAN FOR THIS
PROPERTY TO BECOME COMMERCIAL AND
IMPROVES CONDITION OF THE LAND

3. How will this request promote the health, safety, convenience, order or prosperity of the general public?

POTENTIAL JOB INCREASE, BETTER TAX BASE AND
IMPROVE THE PROPERTY

Signature of Petitioner(s):

John L. Utton

Address:

1623 FARR WEST DR
FARR WEST, UTAH 84404

✓ Checklist:

- ☒ Fees Paid
- ☒ Legal Description
- ☒ Scale Drawing
- ☐ Adjacent Property Owners List
- ☐ Public Hearing Set
- ☐ Adjacent Property Owners Notified

- ☐ Notice Advertised on: _____
- ☐ Public Hearing Held on: _____
- PC Recommendation:
- ☐ Approve ☐ Reject Date: _____
- CC Action:
- ☐ Approve ☐ Reject Date: _____



Weber County Parcel Search

2380 Washington Blvd Ogden, Utah

[Weber County Home](#) - [Parcel Search](#) - [Interactive Maps](#)
[Print this page](#)
[Current Taxes](#)
[Ownership Info](#)
[Tax History](#)
[Property Characteristics](#)
[Delinquent Taxes](#)

Today's Date: 01/19/2023

[<--Back to Search](#)
[<--Back to Search Results](#)

Parcel # 15-004-0118

Ownership Info

Owner WATSON, JOHN L

Property Address

Mailing Address 3535 WALL AVE
OGDEN UT 844014012

Tax Unit 145

[View in Geo-Gizmo](#)

Plat Map

15-004 [View PDF](#)

Updated: January 11 2023

Prior Year Plats

Plats as of Dec 31st of each year

2017 - 15-004 [View PDF](#)2016 - 15-004 [View PDF](#)2015 - 15-004 [View PDF](#)2014 - 15-004 [View PDF](#)

Dedication Plat

No Dedication Plats found

Current References

Entry #
3191407

Book

Page

Recorded Date
19-OCT-21Kind of Instrument
SP WARRANTY DEED

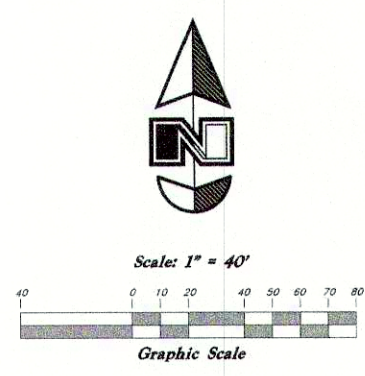
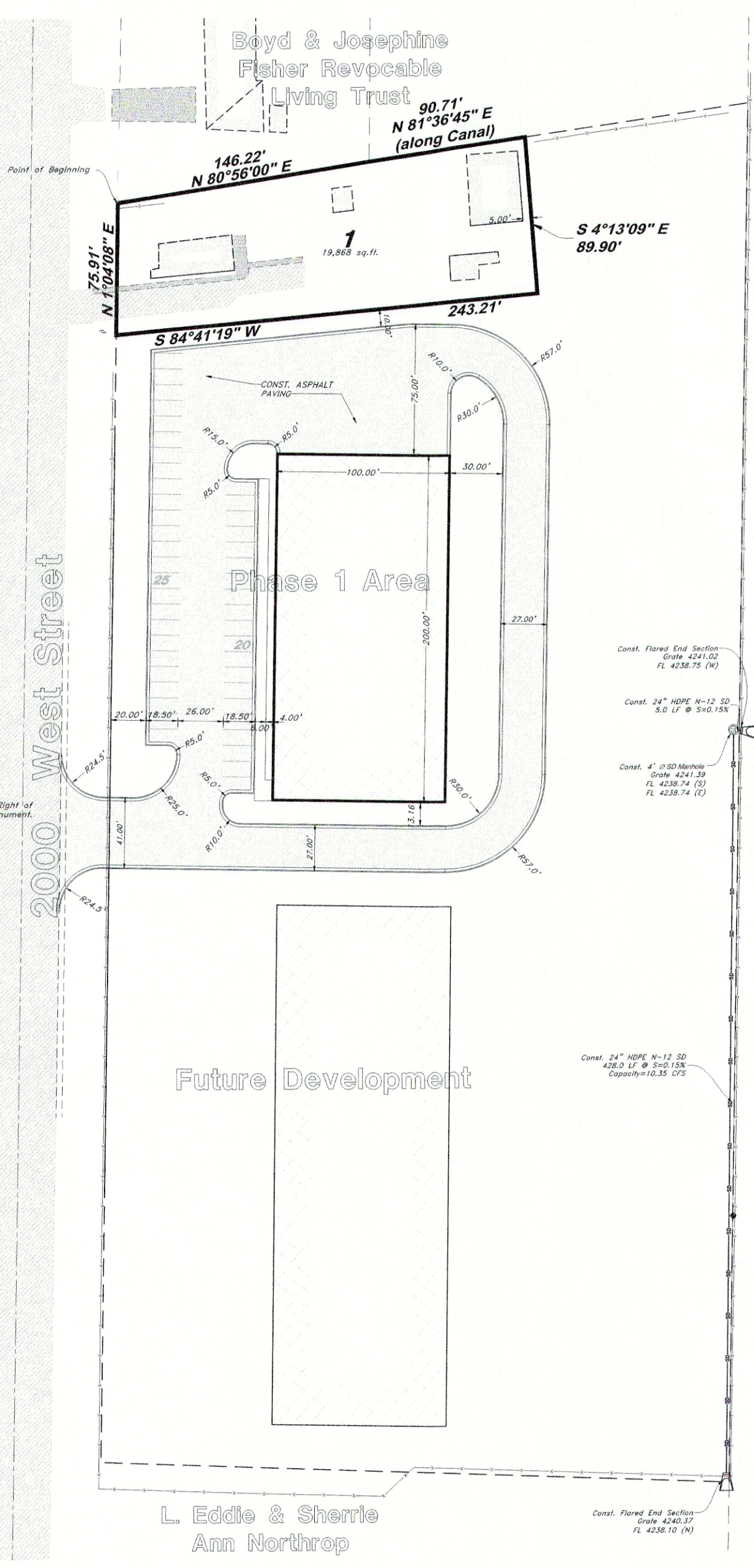
Prior Parcel Numbers

150040046 (Dead)

Legal Description

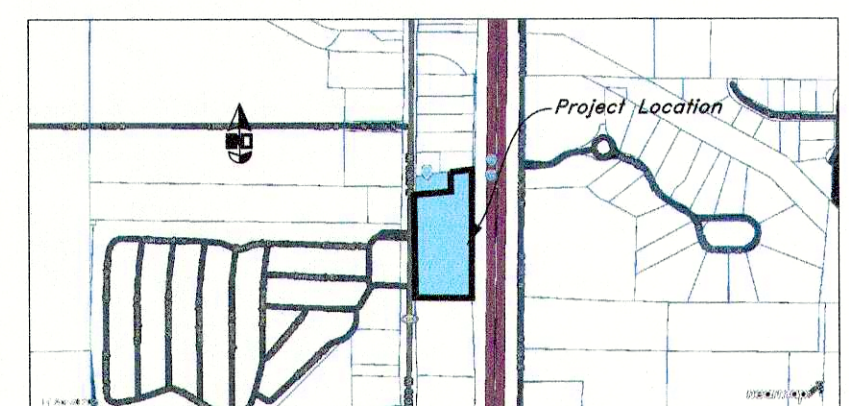
* For Tax Purposes Only *

PART OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE MERIDIAN, U.S. SURVEY: BEGINNING AT A POINT 1583.73 FEET, MORE OR LESS, SOUTH AND 671.5 FEET, MORE OR LESS, WEST FROM THE NORTHEAST CORNER OF SAID QUARTERSECTION, SAID POINT BEING ON THE EAST LINE OF 2000 WEST STREET AND AT THE SOUTHWEST CORNER OF THE PROPERTY CONVEYED TO BOYD FISHER AND WIFE BY DEED RECORDED IN BOOK 1340 OF RECORDS, PAGE 538, AND RUNNING THENCE NORTH 80D56' EAST 146.11 FEET ALONG SAID FISHER PROPERTY; THENCE NORTHEASTERLY FOLLOWING THE CENTER OF DITCH TO THE WEST LINE OF THE INTERSTATE HIGHWAY; THENCE SOUTH 1D05' WEST ALONG SAID WEST LINE TO THE NORTH LINE OF VALLEY WEST ESTATES NO. 2; THENCE WEST ALONG SAID NORTH LINE TO THE EAST LINE OF 2000 WEST STREET; THENCE NORTH ALONG SAID LINE 755 FEET, MORE OR LESS, TO THE PLACE OF BEGINNING. LESS AND EXCEPTING: FISHER HOMESTEAD PH 770. [NOTE: BECAUSE THE DESCRIPTION OF RECORD DID NOT CONTAIN AN AREA FOR THIS PARCEL THE AREA FOR THIS PARCEL WAS CALCULATED BY THE RECORDERS OFFICE FOR TAX PURPOSES.]



Legend

- (Note: All items may not appear on drawing)
- San. Sewer Manhole
 - Water Manhole
 - Storm Drain Manhole
 - Cleanout
 - Electrical Manhole
 - Catch Basin
 - Exist. Fire Hydrant
 - Water Valve
 - Sanitary Sewer
 - Culinary Water
 - Gas Line
 - Irrigation Line
 - Storm Drain
 - Telephone Line
 - Secondary Waterline
 - Power Line
 - Fire Line
 - Land Drain
 - Power pole
 - Power pole w/guy
 - Light Pole
 - Fence
 - Flowline of ditch
 - Overhead Power line
 - Corrugated Metal Pipe
 - Concrete Pipe
 - Reinforced Concrete Pipe
 - Ductile Iron
 - Polyvinyl Chloride
 - Top of Asphalt
 - Edge of Asphalt
 - Centerline
 - Flowline
 - Finish Floor
 - Top of Curb
 - Top of Wall
 - Top of Walk
 - Top of Concrete
 - Natural Ground
 - Finish Grade
 - Match Existing
 - Fire Department Connection
 - Finish Contour
 - Exist. Contour
 - Finish Grade
 - Exist. Grade
 - Ridge Line
 - Direction of Flow
 - Existing Asphalt
 - New Asphalt
 - Heavy Duty Asphalt
 - Existing Concrete
 - New Concrete
 - Spill Curb & Gutter
 - Demo Tree



- GENERAL UTILITY NOTES:**
- Coordinate all utility connections to building with plumbing plans and building contractor.
 - Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
 - All catch basin and inlet box grates are to be bicycle proof.
 - All inlet boxes located in curb and gutter are to be placed parallel to the curb and gutter and set under the frame and grate. Improperly placed boxes will be removed and replaced at no additional cost to the owner. Precast or cast in place boxes are acceptable.
 - Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
 - Gas lines, telephone lines, and cable TV lines are not a part of these plans unless otherwise noted.
 - Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
 - Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible to construct any vertical adjustments necessary to clear sewer, storm drain or other utilities as necessary including valve boxes and hydrant spools to proper grade.
 - Field verify all existing and/or proposed Roof Drain/Roof Drain down spout connections to Storm Water System with Civil, Plumbing & Architectural plans. Notify Engineer of any discrepancies.
 - All gravity flow utility lines shall be installed prior to any pressurized utilities unless written permission is obtained from the engineer of record before construction begins.

- UTILITY PIPING MATERIALS:**
- All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.
- STORM DRAIN LINES**
- 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
 - 12" or larger - HDPE, N-12

Preliminary
01/19/2023 10:02:52 AM

CAUTION NOTICE TO CONTRACTOR

The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

GREAT BASIN ENGINEERING

5746 SOUTH 1475 EAST OGDEN, UTAH 84403
MAIN (801)394-4515 S.L.C (801)521-0222 FAX (801)392-7544
WWW.GREATBASINENGINEERING.COM

Site Plan

Watson Fisher Property

1246 N 2000 West
Farr West, Weber County, Utah
A part of Section 02, T6N, R2W, SLB&M, U.S. Survey

27 Sept, 2022

SHEET NO.

C1

21N744

Application for Subdivision



Date Submitted _____

Developer's Name Matt Montano

Developer's Mailing Address _____

Developer's Daytime Phone 8 _____

Subdivision Name Montano Phase 1 of 1

Subdivision Address 3770 North Higley Road,

Is this a Re-Subdivision _____ Current Property Zone x Is Re-Zoning Required No

Acreage of property being divided _____ Acreage of entire land parcel 2.10

Number of proposed lots in Subdivision 1 In Phase 1 Number of Phases 1

Title Search Completed Y N *Attach Documentation

Available Utilities and Services:

Culinary Water	☒ Y	☐ N	
Secondary Water	☐ Y	☒ N	Company: _____
Secondary System	☐ Y	☐ N	
Adequate Storm Sewer/Drainage	☒ Y	☐ N	
Sewer	☒ Y	☐ N	
Electric Power	☒ Y	☐ N	
Natural Gas	☒ Y	☐ N	
Telephone Service	☒ Y	☐ N	
Broadband/Fiber Internet	☒ Y	☐ N	Comcast: Jim Hansen/801-831-6849 Century Link: Troy Long/801-974-8119 Connex: Dave Brown/ 801-686-2468 Optic Loop: Tim Wright/801-737-1900
Cable/Satellite TV	☐ Y	☐ N	Company: _____

Application for Subdivision



Property is in which Flood Zone: No Panel Number: _____

Lowest Elevation of Property: 4242.97

Access Road above 4.215' Elevation: Yes Source: TOPO done by HAI

Does the property contain Wetlands: No Source: <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>

Please give a brief history of the property that is being subdivided (attach additional pages if needed).

The property was originally two parcels which have now been combined into a single two-acre piece. The land has not been developed

and has a mild northerly slope.

Please describe any agreements, right-of-ways, easements, etc. which could affect the planning and construction of

this development (attach additional pages if needed). An existing canal is crossing the site and is not

within its prescribed easement. A retaining wall will be constructed along the

property side of the canal. The ROW for Higley road has been taken into account.

I have read and understand the Subdivision Ordinance. I understand I am responsible for all engineering costs. I believe the information on this form is true and correct to the best of my knowledge. I understand missing or inaccurate data may result in delays in processing this application.

Signed Matt Montana Date 4/4/2022

FEE SCHEDULE

Subdivision Plan Processing:

1-4 lots	\$100.00
5-9 lots	\$100.00 plus \$10/lot
10-24 lots	\$150.00 plus \$10/lot
25 lots +	\$250.00 plus \$10/lot

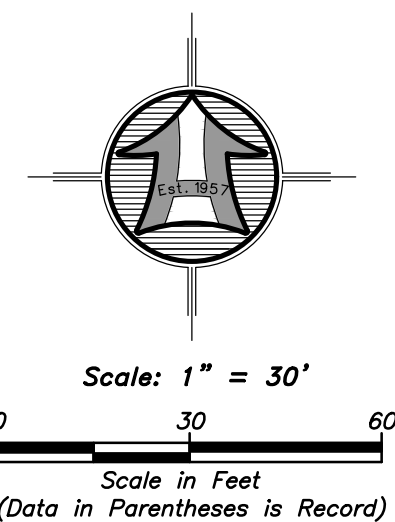
Engineering Fee Deposit: \$125.00/lot/phase

Application Fee \$ 100 Developer User Fee \$ 125 Total \$ 225
Receipt # 6.006307 Date Paid 4.4.2022 Received by Matt Montana

Willard Bay Phase Two Subdivision First Amendment

Amending Lots C17R and C18R, Willard Bay Phase Two Subdivision

Farr West, Weber County, Utah
A Part of the Southeast Quarter of Section 23,
Township 7 North, Range 2 West, Salt Lake Base & Meridian
March 2022

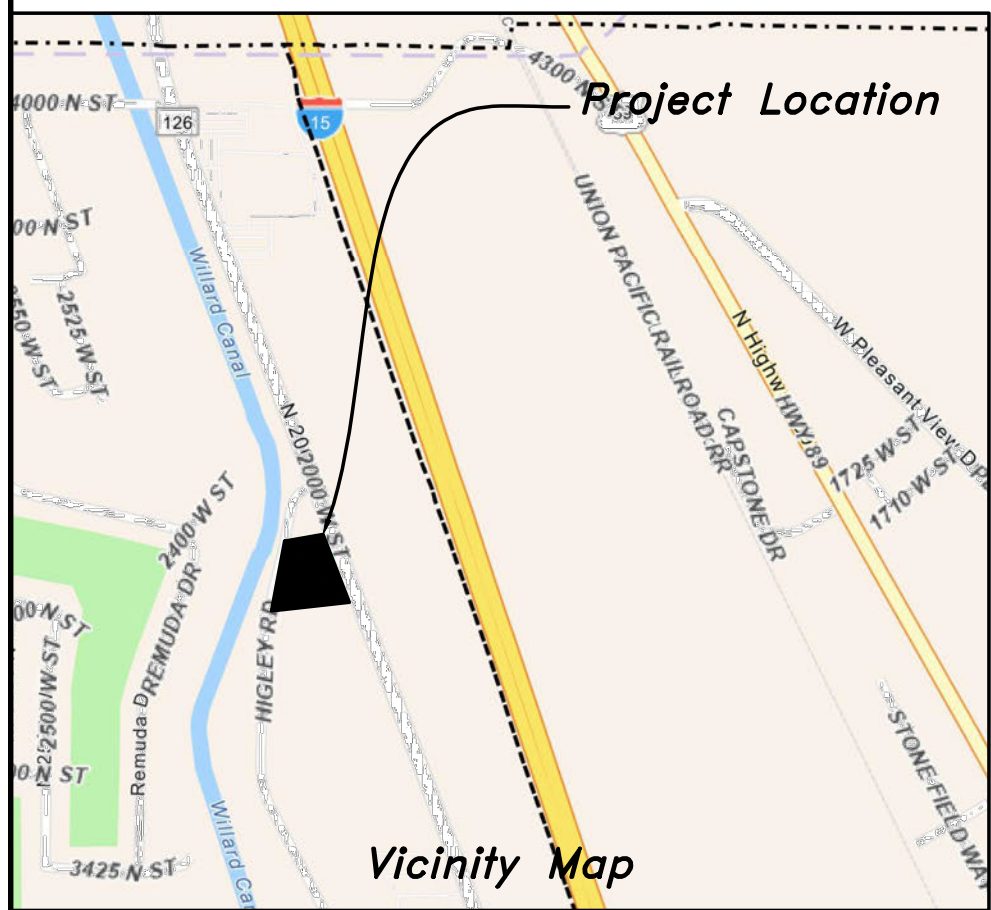


LEGEND

- Subject Property Line
- Interior Lot Lines
- Adjoining Property Line
- Previous Property Line
- Centerline
- Public Utility Easement (PUE)
- Existing Top on Bank
- Existing Water Line
- Existing Sewer Line
- Existing 5.0' Contour
- Existing 1.0' Contour
- Fence Line
- Found NEFF Rebar
- Set 5/8"x24" Rebar With Cap
- Section Corner

NOTE:

- All public utility easements (P.U.E.) are 10.0 foot wide unless otherwise noted.
- Rebar and cap set on all lot corners.
- R-Lot = All lots are restricted to no basements, finish floor = to or higher than edge of asphalt height.



Developer:
MATT M. MONTANO
3196 North 1251 West
Pleasant View, Utah 84414
(801) 823-9493



HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
Visit us at www.haies.net
Brigham City Ogden Logan
(435) 723-3491 (801) 399-4905 (435) 752-8272
Celebrating over 60 Years of Business

21-5-58 21-5-58v19 SUB.dwg 03/25/2022

STATE ROAD COMMISSION OF UTAH
19-011-0079

N 89°46'09" E

180.76'

S 20°54'59" E

PREVIOUS LOT C18R
COLDWATER HOLDINGS LLC
19-155-0006

LOT C19R
2.098 ACRES
[3762 N]

PREVIOUS LOT C17R
COLDWATER HOLDINGS LLC
19-155-0005

WILLARD BAY PHASE TWO SUBDIVISION
LOT C16R
NORTHERN ASPHALT
19-155-0004

N 90°00'00" E
2408.91'
N 00°00'00" E
N 87°44'21" E
SOUTH QUARTER CORNER OF SEC. 23,
T. 7 N., R. 2 W., SLB&M
FOUND WEBER CO. BRASS CAP
MONUMENT

SECTION LINE - BASIS OF BEARING

SOUTHEAST CORNER OF SEC. 23,
T. 7 N., R. 2 W., SLB&M
FOUND WEBER CO. BRASS CAP
MONUMENT

FARR WEST CITY ENGINEER

THIS PLAT WAS APPROVED BY THE FARR WEST CITY ENGINEER
THIS _____ DAY OF _____, 2022.

CITY ENGINEER

FARR WEST CITY PLANNING COMMISSION

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED
BY THE FARR WEST CITY PLANNING COMMISSION ON THE _____ DAY
OF _____, 2022.

FARR WEST CITY PLANNING COMMISSION CHAIRMAN

FARR WEST ATTORNEY

I CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES
AND ORDINANCES PREREQUISITE BY THE STATE OF UTAH AND THE
ORDINANCES OF FARR WEST CITY OF THE FOREGOING PLAT AND
DEDICATIONS HAVE BEEN COMPLIED WITH. DATED
THIS _____ DAY OF _____, 2022.

SIGNATURE

FARR WEST CITY COUNCIL ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF
STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC
IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION THEREON ARE HEREBY
APPROVED AND ACCEPTED BY THE CITY COUNCIL OF FARR WEST CITY, UTAH,
THIS _____ DAY OF _____, 2022.

BY:

MAYOR

ATTEST:

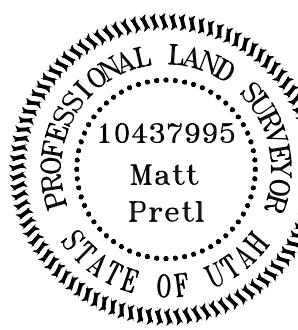
RECORDER

SURVEYOR'S CERTIFICATE

I, MATT PRETL, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND
SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22,
PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS ACT; AND I HAVE
COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN
ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS,
AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND HAVE
HEREBY AMENDED AND SUBDIVIDED SAID TRACT INTO ONE (1) LOT, KNOWN
HEREAFTER AS WILLARD BAY PHASE TWO SUBDIVISION FIRST AMENDMENT IN FARR
WEST, WEBER COUNTY, UTAH, AND HAS BEEN CORRECTLY DRAWN TO THE
DESIGNATED SCALE AND IS TRUE AND CORRECT REPRESENTATION OF THE HEREIN
DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED
FROM RECORDS IN THE WEBER COUNTY RECORDER'S OFFICE AND FROM SAID
SURVEY MADE BY ME OR UNDER MY SUPERVISION ON THE GROUND, I FURTHER
HEREBY CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND
ORDINANCES OF WEBER COUNTY CONCERNING ZONING REQUIREMENTS REGARDING
LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 2022.

MATT PRETL P.L.S.
UTAH LAND SURVEYOR LICENSE NO. 10437995



BOUNDARY DESCRIPTION

ALL OF LOTS C17R AND C18R WILLARD BAY PHASE TWO SUBDIVISION SITUATED
IN THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 2
WEST OF THE SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED
AS FOLLOWS

BEGINNING AT A POINT ON THE EAST RIGHT-OF-WAY LINE OF HIGLEY ROAD,
POINT ALSO BEING THE NORTHWEST CORNER OF LOT C16R, WILLARD BAY PHASE
TWO SUBDIVISION, ENTRY NO. 1734129 LOCATED 2408.91 FEET NORTH
00°00'00" EAST AND 175.34 FEET NORTH 90°00'00" EAST FROM THE SOUTH
QUARTER CORNER OF SAID SECTION 23;

RUNNING THENCE NORTH 11°56'50" EAST 340.70 FEET ALONG SAID EAST
RIGHT-OF-WAY LINE TO THE SOUTH LINE OF THE STATE ROAD COMMISSION OF
UTAH PROPERTY, TAX ID. NO. 19-011-0079; THENCE NORTH 89°46'09" EAST
180.76 FEET ALONG SAID SOUTH LINE TO THE WESTERLY RIGHT-OF-WAY LINE
OF STATE HIGHWAY SR-126; THENCE SOUTH 20°54'59" EAST 346.25 FEET
ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO THE NORTHEAST CORNER OF
SAID LOT C16R; THENCE SOUTH 88°22'42" WEST 375.05 FEET (375.11 FEET BY
RECORD) ALONG THE NORTH LINE OF SAID LOT C16R TO THE POINT OF
BEGINNING. CONTAINING 2.098 ACRES.

OWNER'S DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO
HEREBY SET AMEND AND SUBDIVIDE THE SAME INTO A LOT AS SHOWN ON THE
PLAT AND NAME SAID TRACT WILLARD BAY PHASE TWO SUBDIVISION FIRST
AMENDMENT, AND DO HEREBY DEDICATE, GRANT AND CONVEY TO FARR WEST CITY
THOSE CERTAIN STRIPS SHOWN AS PUBLIC UTILITY EASEMENTS FOR PUBLIC UTILITY
AND DRAINAGE PURPOSES AS SHOWN HEREON. THE SAME TO BE USED FOR THE
INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES
AND DRAINAGE AS MAY BE AUTHORIZED BY FARR WEST CITY. WE HEREBY DECLARE
THE PLAT NOTES SHOWN HEREON TO BE EFFECTIVE AND BINDING.

IN WITNESS WE HAVE HERE UNTO SET OUR SIGNATURE

THIS _____ DAY OF _____, 2022.

MATT M. MONTANO
REGISTERED AGENT OF COLDWATER HOLDINGS LLC

DATE

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF WEBER) §

ON THIS _____ DAY OF _____, 2022, PERSONALLY APPEARED
BEFORE ME, MATT M. MONTANO, WHO BEING BY ME DULY SWORN DID SAY AND
ACKNOWLEDGE THAT HE IS A REGISTERED AGENT OF COLDWATER HOLDINGS LLC, A
UTAH LIMITED LIABILITY COMPANY ("LLC"), WHICH LLC IS THE OWNER OF THE REAL
PROPERTY LISTED HEREIN, AND EXECUTED THE FOREGOING INSTRUMENT AS THE
AUTHORIZED AGENT OF THE LLC, AND THAT SAID AUTHORIZATION TO SIGN ON
BEHALF OF THE LLC CAME PURSUANT TO A RESOLUTION OF THE MANAGERS, THE
CERTIFICATE OF ORGANIZATION, AND/OR THE OPERATING AGREEMENT OF THE LLC.

NOTARY PUBLIC

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO AMEND, ESTABLISH, AND SET THE
PROPERTY CORNERS OF THE ONE LOT SUBDIVISION AS SHOWN AND DESCRIBED
HEREON. THIS SURVEY WAS ORDERED BY MATT M. MONTANO FOR COLDWATER
HOLDINGS LLC. THE CONTROL USED TO ESTABLISH THE PROPERTY CORNERS WAS
THE WILLARD BAY PHASE TWO SUBDIVISION, ENTRY NO. 1734129, RECORDED IN
THE WEBER COUNTY RECORDERS OFFICE AND THE EXISTING WEBER COUNTY
SURVEYOR MONUMENTATION SURROUNDING SECTION 23, TOWNSHIP 7 NORTH, RANGE
2 WEST, S.L.B.&M.

THE BASIS OF BEARING IS THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID
SECTION WHICH BEARS NORTH 87°44'21" EAST, UTAH NORTH, STATE PLANE,
CALCULATED N.A.D.83 BEARING.

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID
_____ FILED FOR RECORD AND

RECORDED _____

_____ IN BOOK _____ OF OFFICIAL

RECORDS, PAGE _____.

RECORDED FOR _____

COUNTY RECORDER

BY: _____

DEPUTY

Application for Site Plan Approval



1896 North 1800 West
Farr West, UT 84404
Phone – (801)731-4187
Fax – (801) 731-7732

Date Submitted: February 11, 2022

Applicant Name: Matt Montano

Applicant Address: [REDACTED]

Phone: [REDACTED]

Business Name: Coldwater Holdings LLC

Application Number: _____

Business Address: 3296 N 1250 W, Pleasant View, UT 84414

Phone: 801-823-9493

Address and description of site being considered: 3770 & 3762 North Higley Road,
Farr West, Utah 84404

Tax ID number of site being considered: 1915500006 & 191550005

Current zoning of site: C-2 General Commercial Zone

FEE SCHEDULE

Application: \$100.00 Engineering Deposit: \$1,000.00

Site Plan approval is required for the following conditions. Please indicate all conditions associated with this application:

- ☒ All proposed new development except single-family detached residences.
- ☐ All additions of alterations to nonconforming structures (see chapter 17.52 of the Farr West City municipal code for reference to nonconforming buildings).
- ☐ Issuance of a conditional use permit for new construction.
- ☐ New signs
- ☐ Modified site plan review shall be required for any change of use in a existing structure or site or addition, except single-family detached residences.
- ☐ All plans for earth sheltered dwellings.

The following information is required for site plan approval (check box next to all items submitted with application):

(Note: Not providing the required information will result in a delay of approval by the planning commission)

- ☒ A site plan (or set of plans as needed) showing all the required information listed below drawn accurately to an engineering scale. The plan needs to be submitted on 11x17, or larger paper, and in an electronic PDF format.
- ☒ Lot dimensions and orientations: North arrow, etc.
- ☒ Existing and proposed buildings with their dimensions and the locations of all opening in exterior walls.
- ☒ Height of all buildings and other proposed or existing structures; type and slope of roof construction.
- ☒ Indication of proposed use of buildings.
- ☒ All off street parking, locations and size of points of entry and exists, loading facilities, internal traffic circulation patterns, location of handicapped parking and handicapped access to building(s).
- ☒ Height of all existing and proposed walls and fences and type of construction.
- ☒ Location and type of landscaping.
- ☒ All existing easements (dedicated and prescriptive), irrigation ditches, alleys and street rights of ways. Locations and height of any overhead power and communication and transmission lines, and all utility easements which may affect the property.
- ☒ All existing and proposed improvements. Improvements include: curb and gutter, sidewalks, sanitary and storm sewer lines, fire hydrants and driveway approaches. Grades must be shown for curb and gutter, sidewalks, sanitary and storm sewer lines.
- ☒ Location, type, lighting and size of proposed and existing signs.
- ☒ Location, type and size of proposed and existing light poles.
- ☒ A method for controlling storm drainage so that storm runoff will not enter adjoining property must be shown.
- ☒ One copy of a current county ownership plat showing the property and adjacent properties.
- ☐ Approval letter from Weber Fire District (801-782-3580).
- ☐ Approval letter from Bona Vista Water (801-621-0474).

If any of the above information is not being provided please indicate reasoning:

Approval letters from Weber Fire District & Bona Vista Water are forthcoming.

Answer the following questions as applicable: (Attach additional paper if needed.)

1. State in detail what is intended to be done on or with the property? The project consists of constructing a single

25,200 square foot building on a 2.10 acre lot as well as installing utility and paving improvements.

The building will be used for warehousing with extremely minor retail.

2. How will the proposed use be compatible with existing surrounding uses, buildings, and structures, when considering traffic generation, parking, building design, location and landscaping?

The building will be used for warehousing with extremely minor retail which matches the zoning uses & surrounding property uses.

The project will provide a single access to Higley road and will not be a cause of major traffic along the road. All parking will be internal & will not affect any other site nearby.

The existing canal on the East side will remain in its original state.

Signature of Applicant:

Applicant acknowledges they are responsible for all engineering fees associated with this application.

In issuing this application the signer(s) certifies the information provided is correct and they agree to the conditions set by the members of the planning commission and city council. All property owners must sign below in the presence of the city recorder/clerk or have their signatures notarized in order to be valid.

Matthew Montano
Owner Signature

Matthew Montano
Print Name

Owner Signature

Print Name

I/We authorize _____ to act as my/our agent in all matters relating to this application.
(Print name)

Owner Signature

Print Name

Owner Signature

Print Name

Authorized Agent Signature

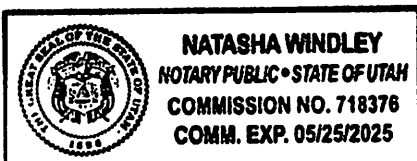
Signature of City Recorder/Clerk
(Not Required if Notarized)

State of Utah)

§

Count of Matthew

On this 4th day of April, in the year 2022, before me Natasha Windley
a notary public, personally appeared Matthew Montano, proved
on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument,
and acknowledge (he/she/they) executed the same. Witness my hand and official seal.



Natasha Windley
NOTARY PUBLIC

S

E
A
L

State of Utah)

§

County of _____)

On this _____ day of _____, in the year _____, before me _____, a notary public, personally appeared _____, proved on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and acknowledge (he/she/they) executed the same. Witness my hand and official seal.

NOTARY PUBLIC

S
E
A
L

For City Use:

Fee received by: Lindsay Date received: 4.4.2022
Receipt number: 6.006306 Cash/Check (circle one) Credit card
Date site plan received: _____ Received by: _____
Date met with city engineer: _____ Signed: _____
Date engineer approved plan: _____ Signed: _____
Date planning commission approved: _____
Date city council approved (conditional use permit only): _____

MEMORANDUM



CONSULTING ENGINEERS

TO: Farr West City Planning Commission and City Council

FROM: Matthew L. Robertson, P.E.
City Engineer

RE: **MONTANO SUBDIVISION & SITE PLAN (Willard Bay Ph 2 Subdivision 1st Amendment)
Final Improvement Drawings**

Date: January 20, 2023

Our office has completed a review of the plat amendment and site plan for the proposed Montano site located at 3762 N Higley Rd. They are proposing to combine two lots into one and construct a new commercial building (tradesman shops) in this existing C-2 zone. We have worked with their engineer on multiple reviews and they have addressed all comments and received necessary agency approvals. The plans generally conform with City Standards, and we recommend final approval of the plat amendment and site plan at this time. The following are items that will need to be taken care of prior to beginning construction:

1. Prepare a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) with the State prior to beginning any construction.
2. Enter into a long-term storm water maintenance agreement with the City to insure that the storm water facilities will be adequately maintained and to give the City the right to inspect the facilities annually. Coordinate with the City's Storm Water Manager.
3. A pre-construction conference with the Developer and their Contractor should be held with the City and utility providers prior to beginning any construction.

Please let me know if you have any further questions.

MONTANO
PROJECT NOTES

PROJECT CONSISTS OF CONSTRUCTING A 25,200 SQUARE FOOT BUILDING ON A 2.10 ACRE LOT IN A C-2 COMMERCIAL USE ZONE, AND IS LOCATED BETWEEN HIGLEY ROAD AND 2000 WEST STREET (SR-126) JUST SOUTH OF THEIR NORTH INTERSECTION.

SITE ACCESS IS TO BE LOCATED AT THE NORTHWEST END OF THE PROPERTY WHICH WILL CONNECT TO HIGLEY ROAD.

SITE LANDSCAPING CONSISTS OF TWO COBBLE-LINED DRAINAGE PONDS, ONE THAT BORDERS THE WEST SIDE OF THE PROPERTY, AND THE OTHER THE EAST SIDE OF THE PROPERTY. INTERIOR GREENSCAPE ISLANDS ARE NOT PRACTICAL ON THIS PROJECT.

THE PROJECT WILL UTILIZE LIGHTING ATTACHED TO THE BUILDING. THERE ARE NO PROPOSED LIGHT POLES

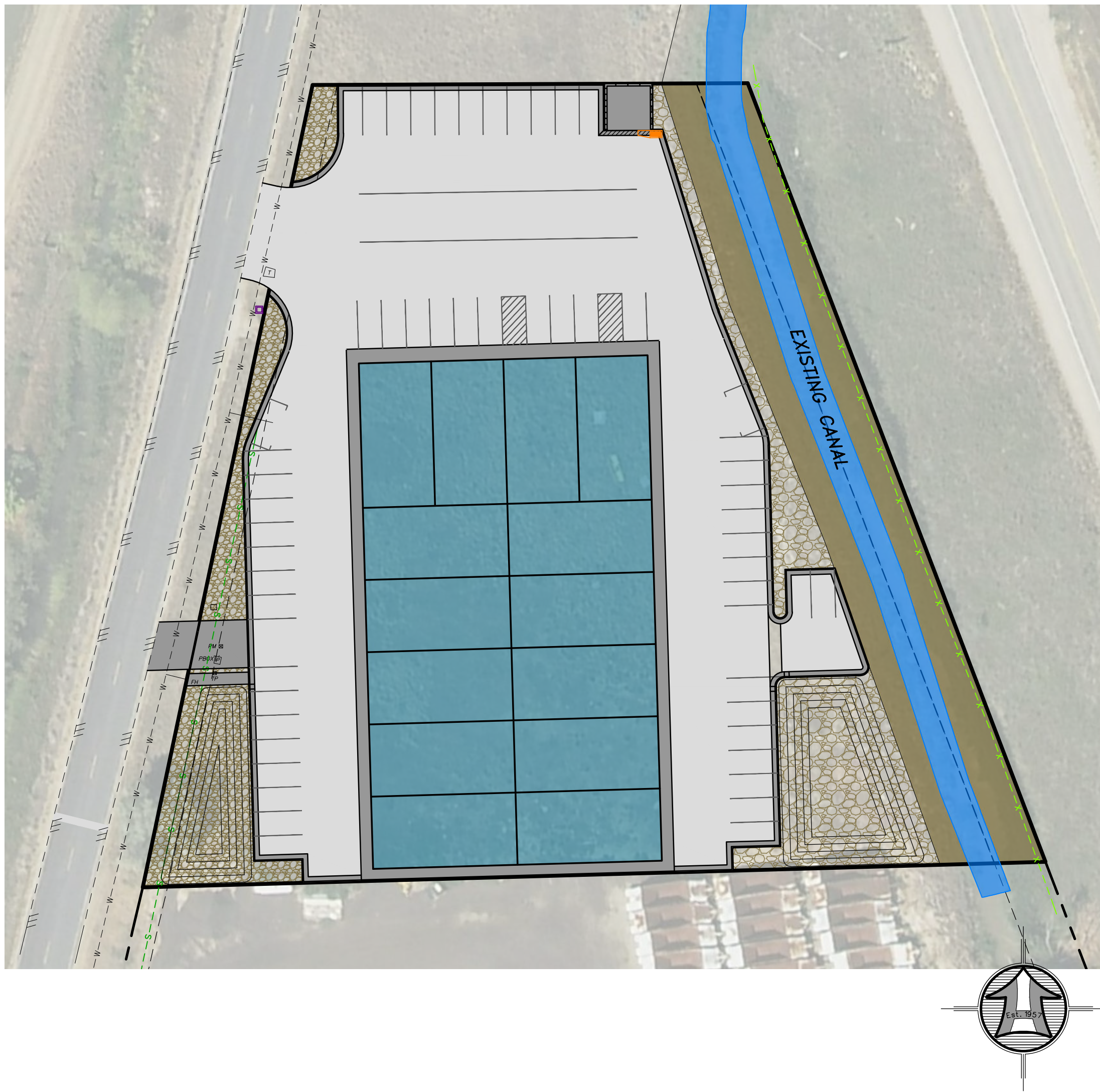
CONSTRUCTION NOTES:
ALL CONSTRUCTION TO BE TO FARR WEST CITY STANDARDS AND APPLICABLE UTILITY AGENCIES: CULINARY WATER – BONA VISTA WATER IMPROVEMENTS DISTRICT. IN THE EVENT THERE IS NO APPLICABLE STANDARD, CONTACT PROJECT ENGINEER / CITY ENGINEER. CONTRACTOR MUST ATTEND PRE-CONSTRUCTION CONFERENCE WITH CITY PRIOR TO COMMENCING WORK.

PRIOR TO CONSTRUCTION, CONTRACTOR TO LOCATE ALL EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR UNCOVERING AND VERIFICATION OF ALL EXISTING UTILITIES.

SOILS TESTING TO BE PERFORMED ON PROJECT, ESPECIALLY FOR TRENCH RESTORATION. OWNER FUNDAMENTALLY WILL BE PAYING FOR SOILS TESTING BUT SUCH TO BE NEGOTIATED PRIOR TO START OF CONSTRUCTION (I.E. PERHAPS OWNER PAYS FOR ALL PASSING TESTS, CONTRACTOR FOR FAILING ONES, ETC.).

OBTAIN APPROPRIATE SWPPP PERMIT PRIOR TO COMMENCEMENT OF WORK

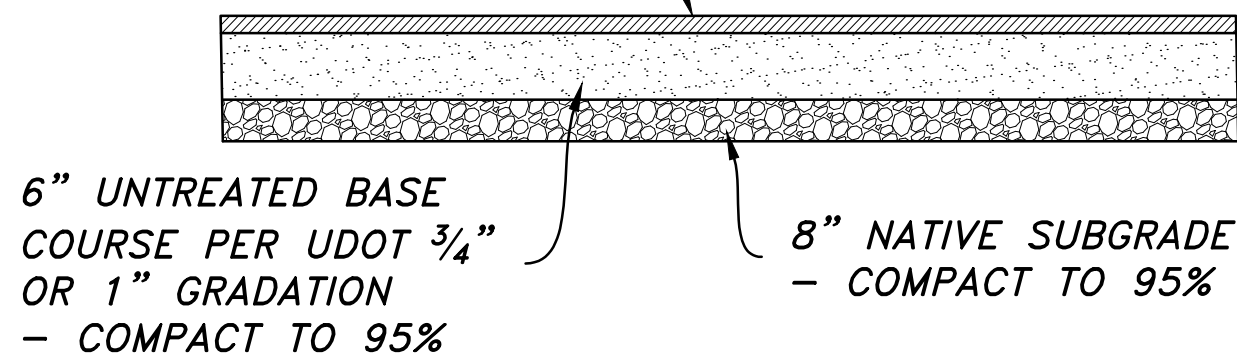
ALL UTILITY TRENCHES TO BE COMPACTED TO 95%!



VICINITY MAP



5.5" CONCRETE PAVEMENT



TYPICAL ON-SITE CONCRETE PAVEMENT SECTION

WATER / FIRE PROTECTION:

FIRE HYDRANTS ARE LOCATED NEARBY – CONTACT FARR WEST CITY / BONA VISTA WATER IMPROVEMENTS DISTRICT FOR DETAILS/USAGE.

THE PROJECT WILL INSTALL AN 8" WATERLINE WHICH WILL CONNECT THE PROPOSED FIRE HYDRANT TO THE EXISTING 6" WATERLINE ALONG HIGLEY ROAD. A 4" FIRELINE WILL ALSO CONNECT TO THE EXISTING 6" WATERLINE ALONG HIGLEY ROAD & BE RUN TO THE BUILDING FOR FIRE SPRINKLING PURPOSES. THE BUILDING WILL BE EQUIPPED WITH FIRE SPRINKLERS. A 2" SERVICE LINE WILL BE INSTALLED FROM THE EXISTING WATER MANHOLE TO THE BUILDING FOR CULINARY WATER USAGE.

WATER PROVIDER IS BONA VISTA WATER IMPROVEMENT DISTRICT - CONTACT
BLAKE CARLIN PRIOR TO COMMENCEMENT OF WORK AT 801-621-0474.
CULINARY WATER SERVICE LATERAL TO BE 2" DIAMETER WITH 2" DIAMETER
SETTER PER BONA VISTA WATER STANDARDS & SPECIFICATIONS. FIRE HYDRANT
LOCATIONS WILL BE PER WEBER FIRE DISTRICT DICTATES - CONTACT DAVID REED
AT 801-782-3580.

BONA VISTA WATER NOTES / PARTICULARS:

- (1) ALL WORK ON THE CULINARY WATER SYSTEM IS TO BE TO BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS.
- (2) DISTRICT STANDARDS REQUIRE THE USE OF CORROSION RESISTANT MATERIALS FOR THE WATER LINE, NAMELY, EITHER ROMAC BLUE BOLTS OR STAINLESS STEEL BOLTS MUST BE USED ON ALL FITTINGS, ALONG WITH POLY WRAP OF METAL FITTINGS.
- (3) BONA VISTA WATER WILL NOT PROVIDE SECONDARY WATER OF ANY KIND

SECONDARY WATER:

NO SECONDARY WATER IS AVAILABLE AT THE SITE. THE PINEVIEW SYSTEM ENDS APPROX. 1,000' TO THE SOUTH.
DUE TO THIS, THE SITE HAS PROPOSED XERI/ROCKSCAPE AS ITS LANDSCAPING.

SEWER:

THE PROJECT WILL UTILIZE A 4" GRAVITY SEWER UNDER THE BUILDING WHICH WILL FLOW TO AN E-ONE GRINDER PUMP LOCATED NEAR THE EXISTING SEWER CLEANOUT. THE PUMP WILL THEN CONNECT TO THE EXISTING SEWER SYSTEM. FARR WEST CITY CONTACT IS NATE CARVER AT 801-731-4187 / 801-710-7095.

STORM DRAINAGE:

THE PROJECT WILL INSTALL TWO (2) STORM DRAINAGE BASINS. THE BASINS WILL BE CONNECTED WITH A 15"Ø RCP SD PIPE & WILL OUTLET THROUGH AN OUTLET CONTROL DEVICE LOCATED AT THE EASTERLY EDGE OF POND B (SEE DETAIL SHEET 4).

ELECTRICAL:

UNDERGROUND POWER TO BE PER ROCKY MOUNTAIN POWER'S PLAN.
CONTACT PERSON IS ROBERT THORSTEAD AT 801-629-4426.

TELEPHONE / CABLE:

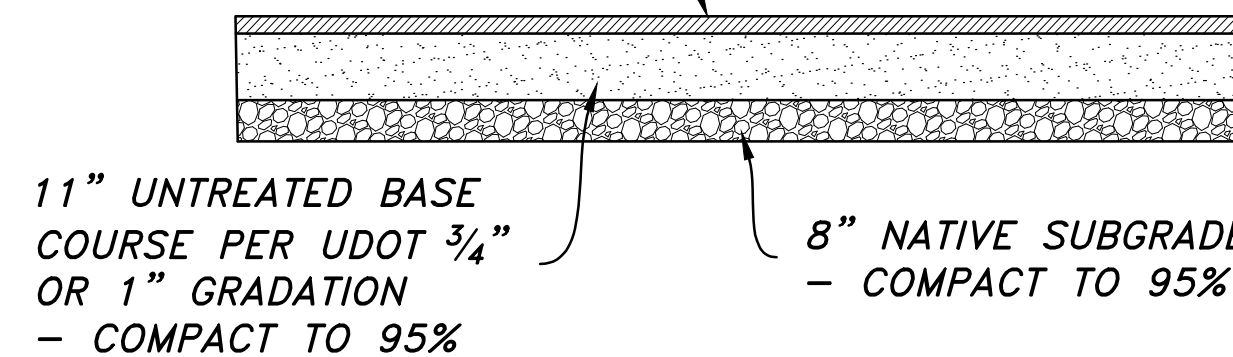
PROJECT TELECOMMUNICATIONS SERVICE TO BE DETERMINED, PRESUMABLY WILL BE INSTALLED IN CONJUNCTION WITH ELECTRICAL INSTALLATION.

GAS:

THE PROJECT WILL UTILIZE PROPANE DUE TO THE UNAVAILABILITY OF GAS AT THE SITE. THIS MATCHES THE TWO EXISTING PROPERTIES TO THE SOUTH.

STRUCTURAL SECTION:

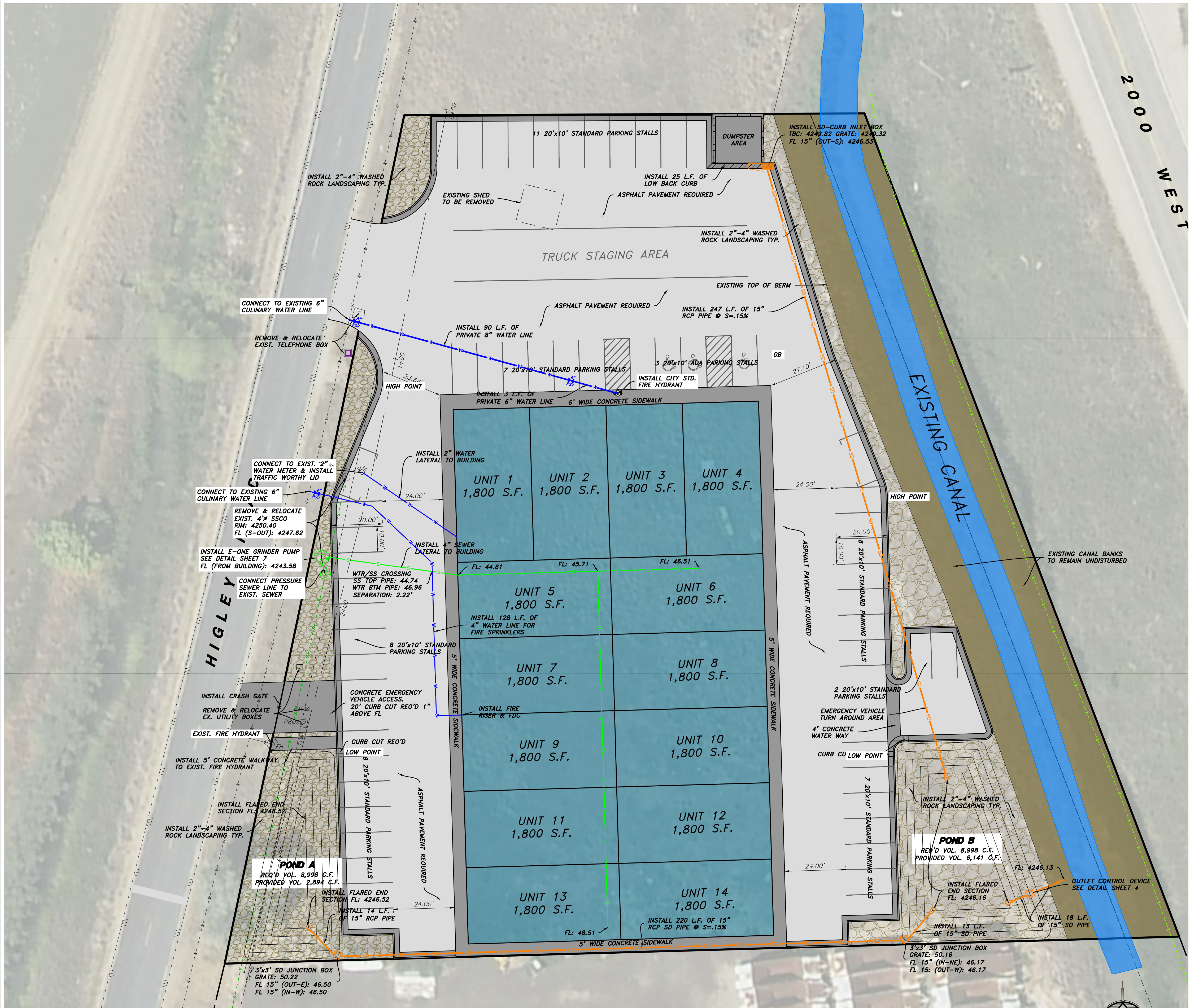
SEE STRUCTURAL SECTION THIS SHEET



TYPICAL ON-SITE ASPHALT PAVEMENT SECTION

[illegible]

OVERALL SITE & UTILITY PLAN



PROJECT DATA

PARCEL ID #:	191550005 & 06
PARCEL AREA:	2.10 ACRES
PROJECT AREAS:	
BUILDING UNITS (14):	25,200 S.F.
LANDSCAPE AREA 10% MIN:	2,520 S.F.
ASPHALT PAVEMENT:	34,454 S.F.
CONCRETE SIDEWALK:	3,530 S.F.
STD. CURB & GUTTER:	882 L.F.
DRAINAGE PONDS:	
REQUIRED VOLUME:	8,998 C.F.
PROVIDED VOLUME:	9,035 C.F.

PARKING STALL TABLE

UNITS:	14
TOTAL PARKING PROVIDED:	54 Stalls
REQUIRED PARKING:	
WAREHOUSE (75% OF BUILDING):	
1 SPACE/1000 S.F.:	19
RETAIL (25% OF BUILDING)	
5 SPACES/1000 S.F.:	35
TOTAL REQUIRED:	54 STALLS

C-2 GENERAL COMMERCIAL ZONE

FRONT SETBACK FROM DEDICATED ROW..... 20'
SIDE YARD SETBACK ADJACENT TO C-2 PROPERTY..... NA
(EXCEPT AS REQUIRED IN BUILDING CODE.)
REAR YARD SETBACK ADJACENT TO C-2 PROPERTY..... NA
(EXCEPT AS REQUIRED IN BUILDING CODE.)
SIDE YARD SETBACK, ADJACENT TO RESIDENTIAL ZONE..... 10'
REAR YARD SETBACK, ADJACENT TO RESIDENTIAL ZONE.... 10'
LOT AREA AND WIDTH..... NA

LEGEND:

	SUBDIVISION BOUNDARY		EXISTING STORM DRAIN MANHOLE
	PROPOSED PROPERTY LINE		EXISTING STORM DRAIN INLET
	EXISTING PROPERTY LINE		EXISTING WATER METER
	EXISTING SEWER LINE		EXISTING FIRE HYDRANT
	EXISTING WATER LINE		EXISTING LIGHT POLE
	EXISTING STORM DRAIN PIPE		PROPOSED STORM DRAIN MANHOLE
	PROPOSED SEWER LINE		PROPOSED STORM DRAIN INLET
	PROPOSED WATER LINE		PROPOSED FIRE HYDRANT
	PROPOSED GAS LINE		EXISTING CURB & GUTTER
	PROPOSED POWER LINE		EXISTING SIDEWALK
	PROPOSED TELEPHONE LINE		PROPOSED CATCH CURB & GUTTER
	PROPOSED SECONDARY WATER LINE		PROPOSED LOW-BACK CURB & GUTTER
	EXISTING STORM DRAIN PIPE		PROPOSED TRANSITION CURB & GUTTER
	SAW-CUT REQ'D		PROPOSED SIDEWALK
	EXISTING 5' CONTOUR		PROPOSED ASPHALT PAVEMENT
	EXISTING 1' CONTOUR		PROPOSED LANDSCAPING AREA (2"-4" WASHED ROCK)
	EXISTING SEWER MANHOLE		

Engineer's Notice To Contractors

The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed improvement. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

NOTICE!

EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.



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Drawn By: BTC Date: 01/09/23
Designed By: _____
Checked By: _____
Approved By: _____
Scale: 1" = **
Drawing File: 21-S-58/19 CP
JOB NUMBER: 21-S-58

OVERALL SITE & UTILITY PLAN FOR
MONTANO
3770 & 3762 N. HIGLEY ROAD
FARR WEST, UTAH 84404
A Part of the Southeast Quarter of Section 2
Township 10 North, Range 2 West, S.L.B.&M.

Sheet

2

of

7

Sheets

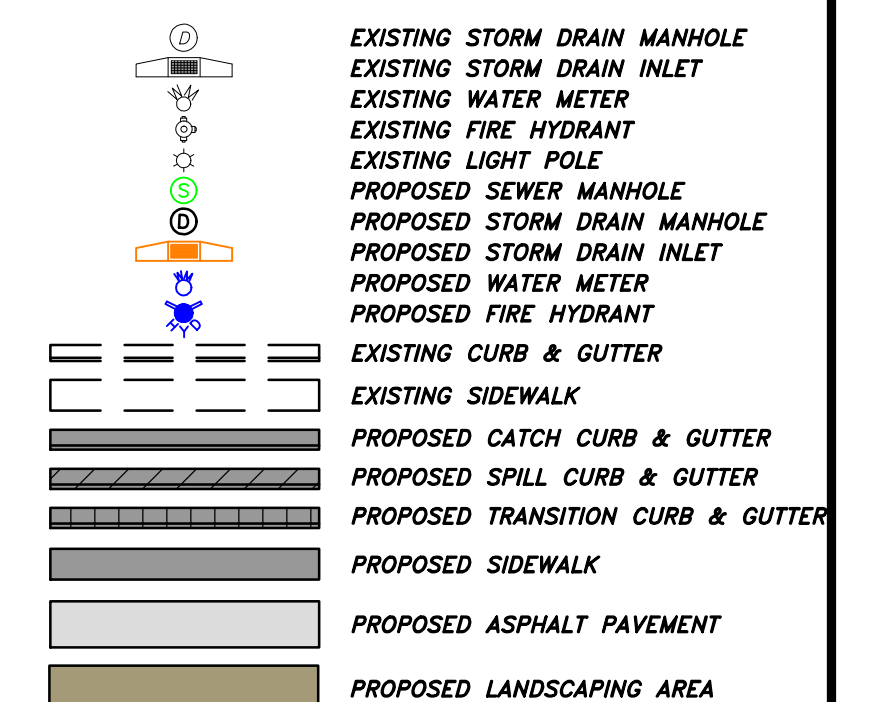
This aerial map shows a property with a proposed building footprint and parking lot. The building footprint is outlined in red and labeled "A" with a dimension of 282'. The truck staging area is outlined in green and labeled FH-2 with a dimension of 248'. The property is bounded by Higley Road to the west and 2000 West Street to the east. The map also shows a blue water feature, a brown gravel area, and a paved parking lot with several parking spaces. Other labels include "TRUCK STAGING AREA", "FH-1", "PM", "PBOX", and "2000 WEST STREET".

FH-1 TO FH-2: 248'
FH-1 TO "A": 282'
FH-2 TO "A": 282'

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SUBDIVISION BOUNDARY
 PROPOSED PROPERTY LINE
 EXISTING PROPERTY LINE
 EXISTING SEWER LINE
 EXISTING WATER LINE
 EXISTING SECONDARY WATER LINE
 EXISTING STORM DRAIN PIPE
 PROPOSED SEWER LINE
 PROPOSED WATER LINE
 PROPOSED GAS LINE
 PROPOSED POWER LINE
 PROPOSED TELEPHONE LINE
 PROPOSED SECONDARY WATER LINE
 PROPOSED STORM DRAIN PIPE
 SAW-CUT REQ'D.
 EXISTING FENCE
 EXISTING 5' CONTOUR
 EXISTING 1' CONTOUR
 EXISTING SEWER MANHOLE



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MONTANO
3770 & 3762 N. HIGLEY ROAD
FARR WEST, UTAH 84404

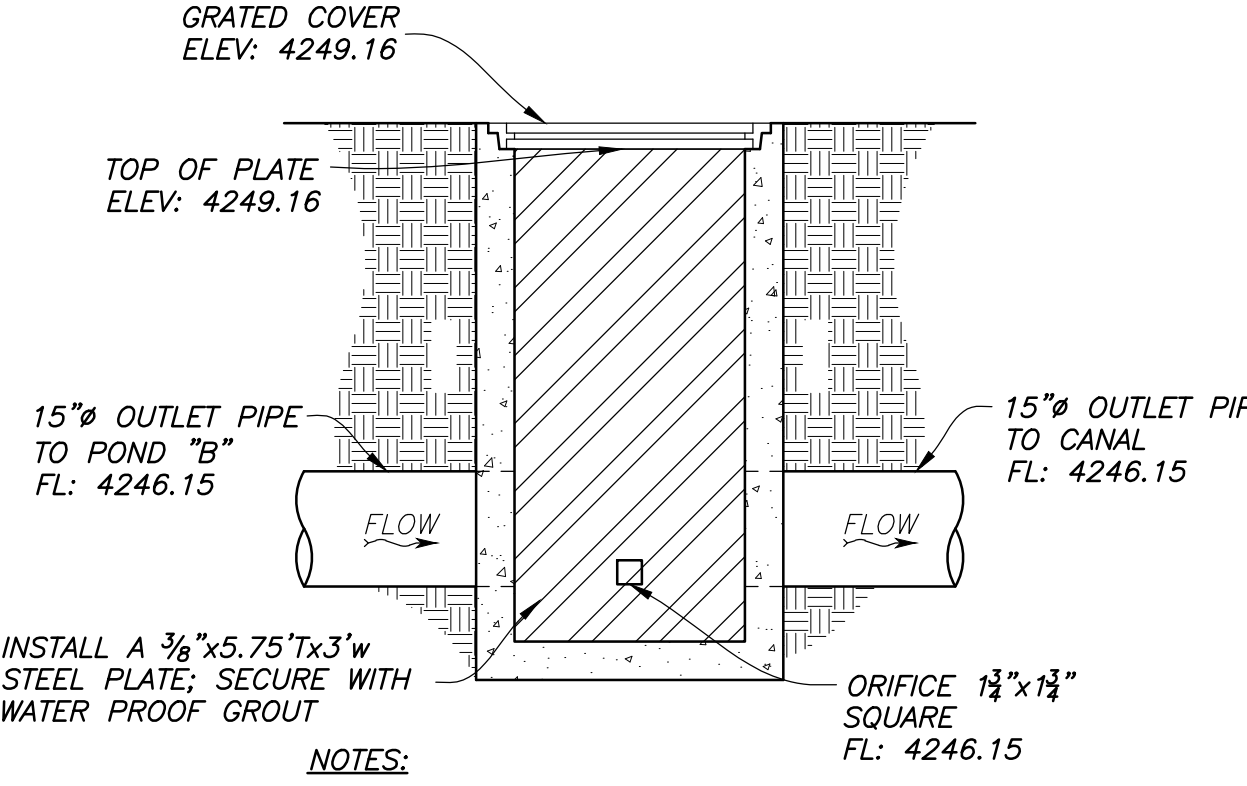
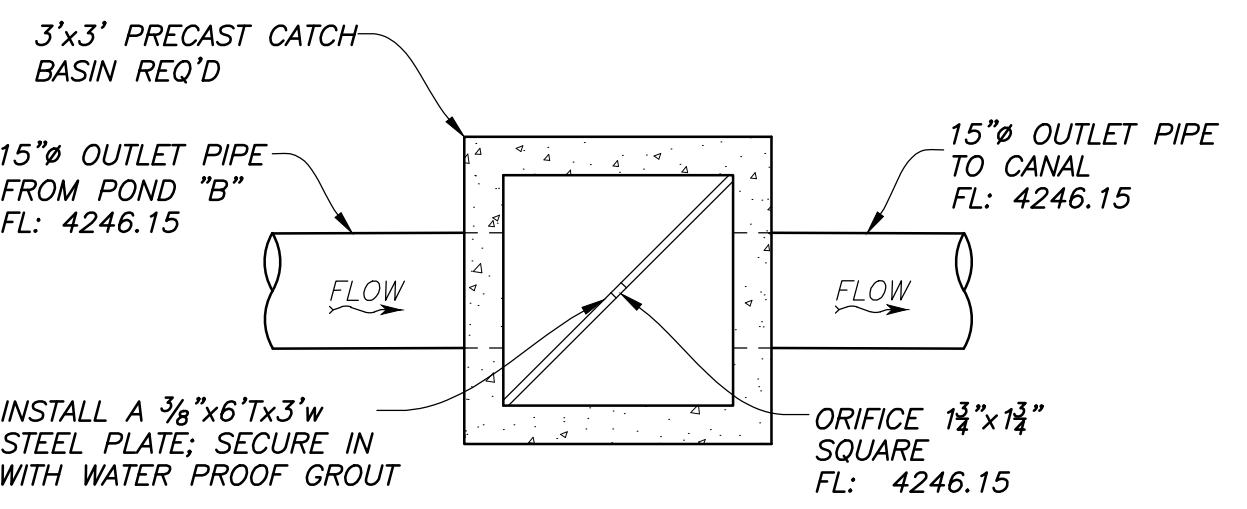
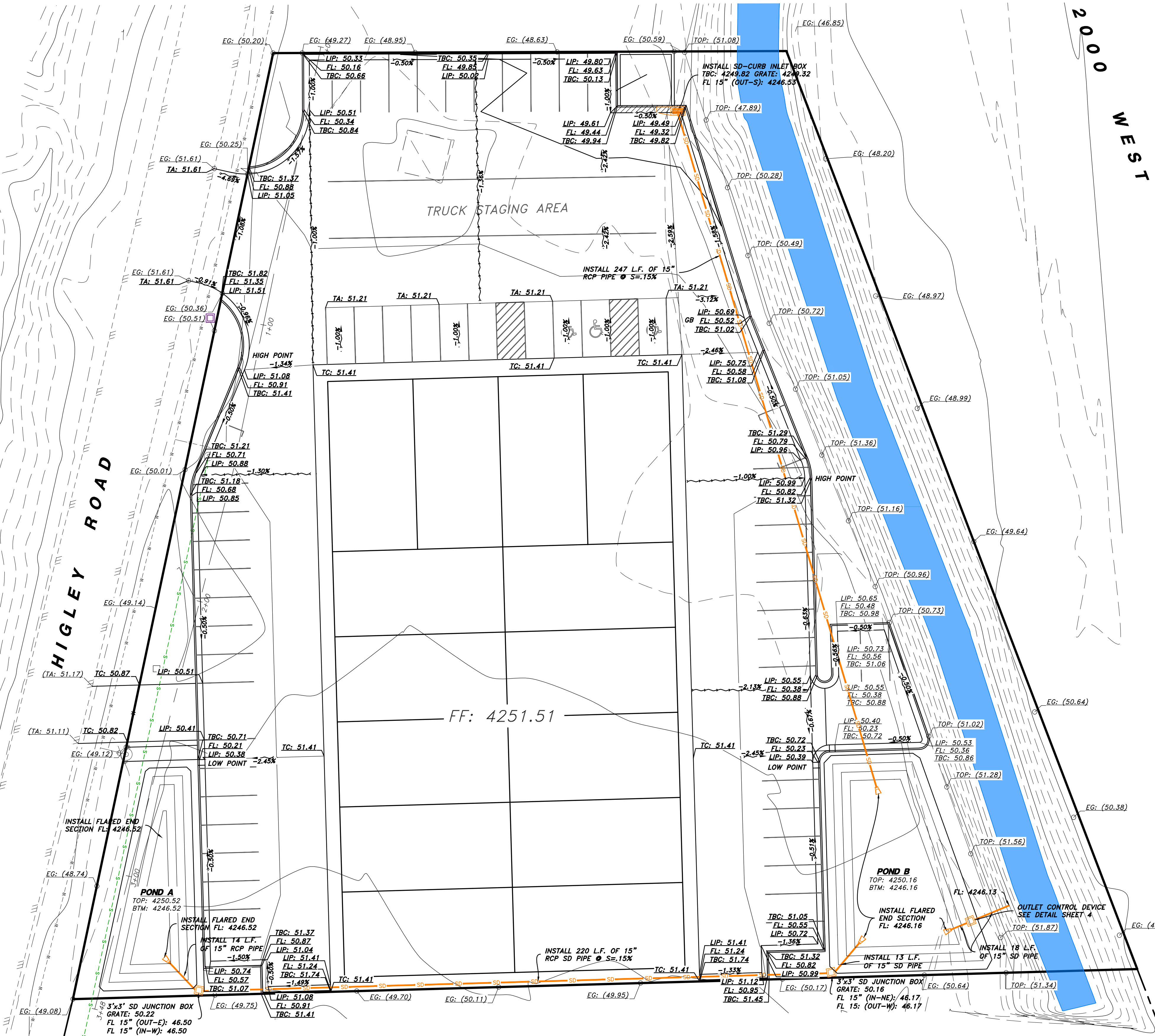
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GRADING PLAN



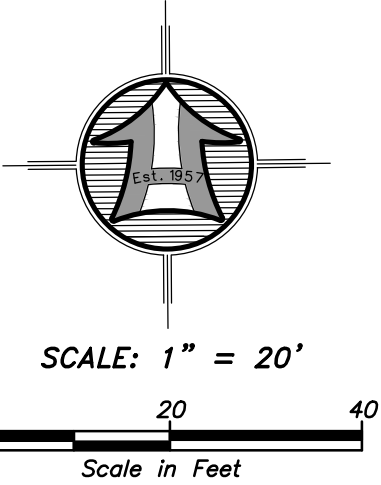
- NOTES:
1. ALL PIPE CONNECTIONS TO BOX TO BE WATER TIGHT.
 2. ALL CATCH BASINS TO HAVE A MIN. OF 12" FROM FL. TO BOTTOM OF BOX.

3'x3' OUTLET CONTROL DEVICE
NOT TO SCALE

- LEGEND:
- SUBDIVISION BOUNDARY
 - PROPOSED PROPERTY LINE
 - EXISTING PROPERTY LINE
 - EXISTING SEWER LINE
 - EXISTING WATER LINE
 - EXISTING SECONDARY WATER LINE
 - EXISTING STORM DRAIN PIPE
 - PROPOSED SEWER LINE
 - PROPOSED WATER LINE
 - PROPOSED GAS LINE
 - PROPOSED POWER LINE
 - PROPOSED TELEPHONE LINE
 - PROPOSED SECONDARY WATER LINE
 - PROPOSED STORM DRAIN PIPE
 - SAW-CUT REQ'D
 - EXISTING 5' CONTOUR
 - EXISTING 1' CONTOUR
 - EXISTING SEWER MANHOLE

- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- PROPOSED SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED CATCH CURB & GUTTER
- PROPOSED SPILL CURB & GUTTER
- PROPOSED TRANSITION CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED LANDSCAPING AREA

- GRADING LEGEND
- EO = EDGE OF OIL
 - TA = TOP OF ASPHALT
 - TG = TOP OF GRAVEL
 - NG = NATURAL GROUND
 - FL = FLOWLINE
 - (EG = EXISTING ELEVATION)



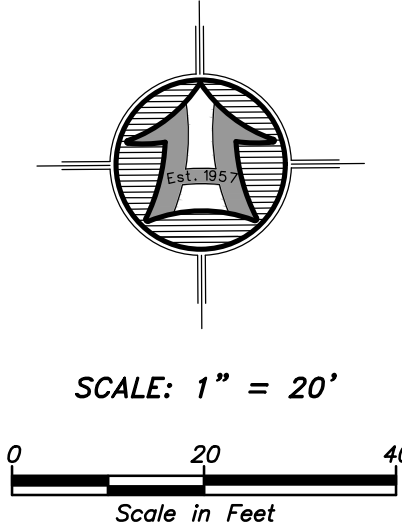
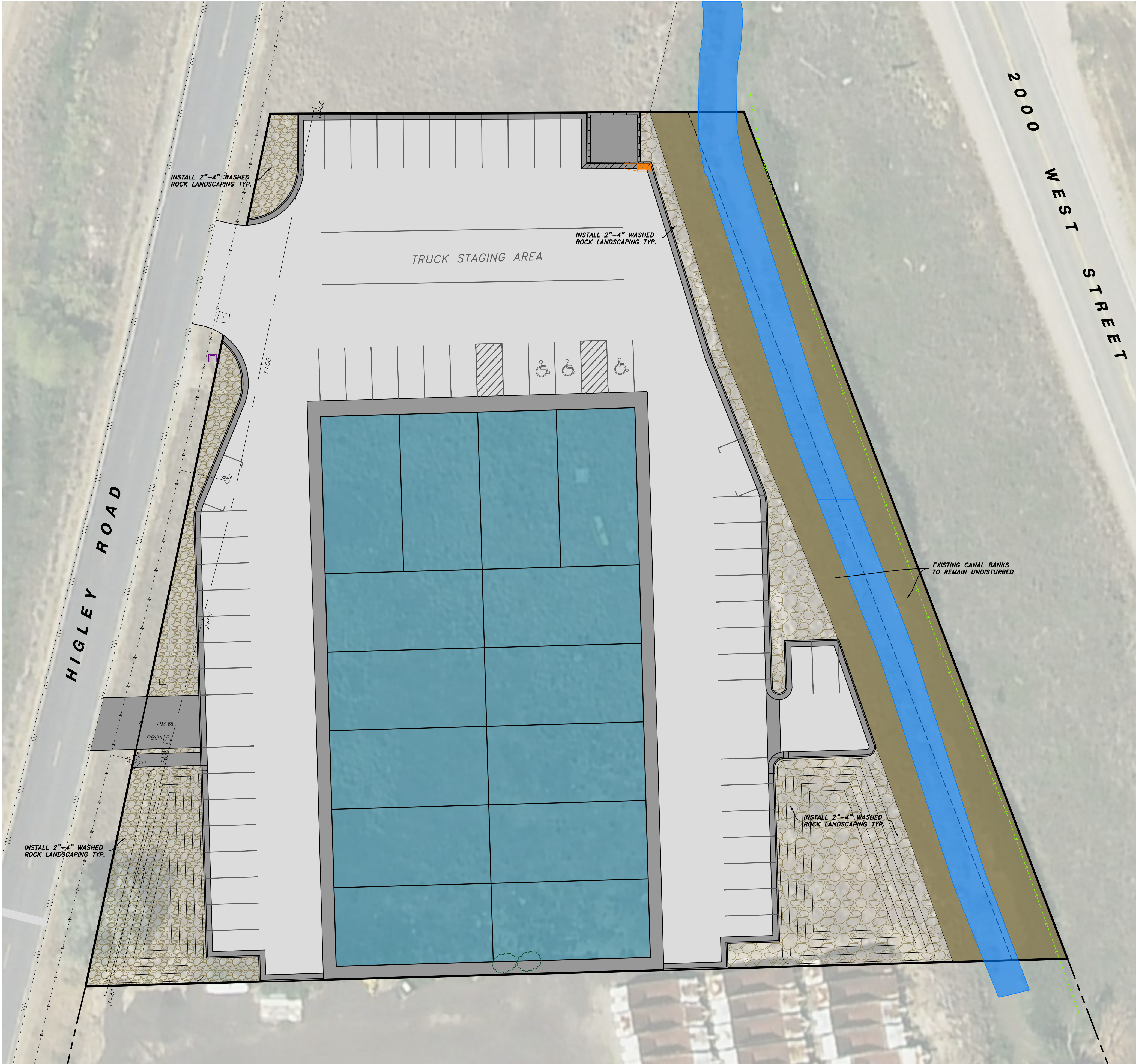
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GRADING PLAN FOR
MONTANO
3770 & 3762 N. HIGLEY ROAD
FARR WEST, UTAH 84404
A Part of the Southeast Quarter of Section 2
Township 10 North, Range 2 West, S.L.B.&M.

LANDSCAPING PLAN



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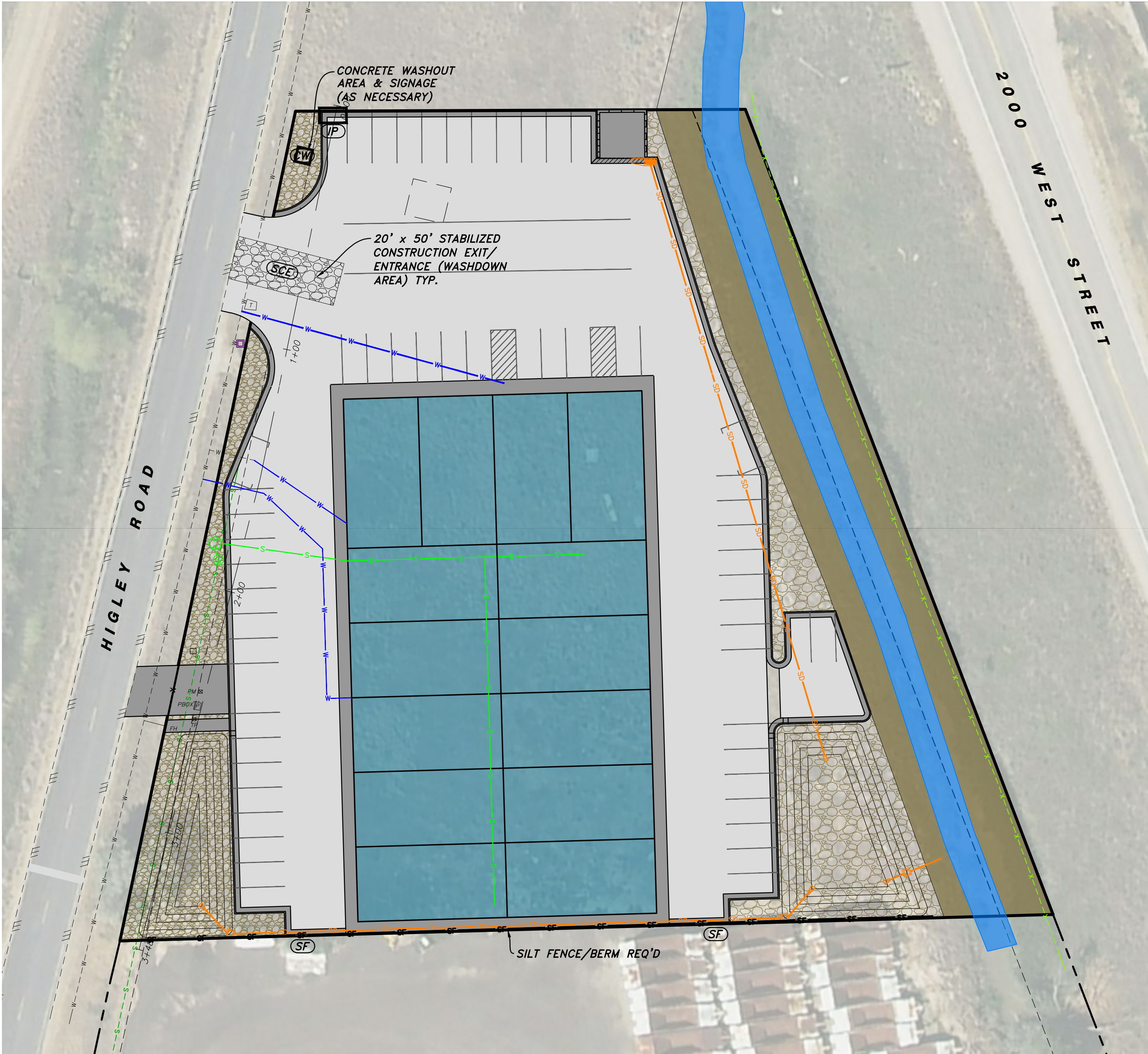


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LANDSCAPING PLAN FOR
MONTANO
3770 & 3762 N. HIGLEY ROAD
FARR WEST, UTAH 84404

Sheet
5
of
7
Sheets

Revision



SWPPP PLAN

LOCATION:
LOCATION: FARR WEST, WEBER COUNTY, UTAH
SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 WEST, SLB&M
LATITUDE: 41°19'42" N LONGITUDE: 112°02'04" W
APPROXIMATE ELEVATION: 4252'

PROJECT DATA:

TAX ID #: 191550005 & 06
PARCEL ACREAGE: 2.10 ACRES

BRENT BAILEY
2738 NORTH RULON WHITE BLVD
FARR WEST, UTAH

OVERVIEW:

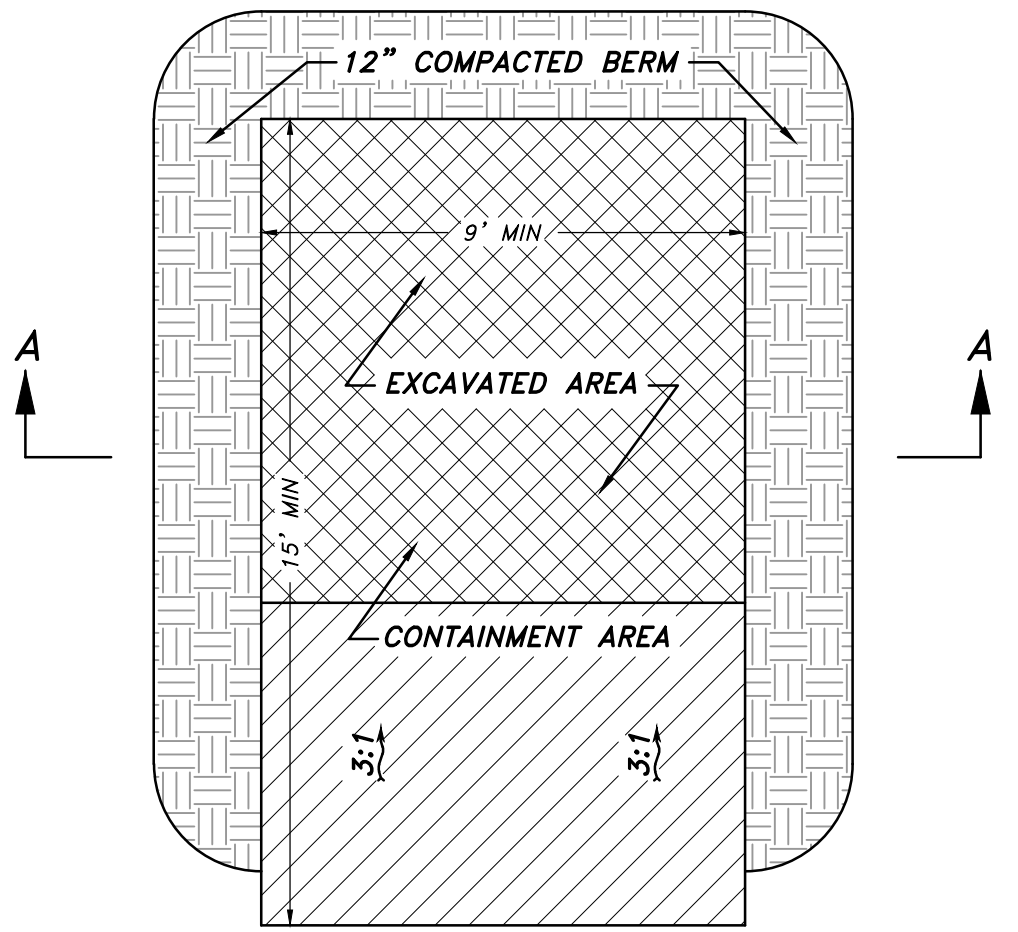
THE PROJECT CONSISTS OF THE CONSTRUCTION OF 1 BUILDING AND A PARKING LOT. CONSTRUCTION WILL ALSO CONSIST OF UTILITY CONNECTIONS AND INSTALLATION, STORM DRAIN DETENTION AND SITE GRADING. DRAINAGE FROM ON-SITE ACTIVITY IS TO BE INTERCEPTED BY THE SILT FENCE/BERM AT THE SOUTH BOUNDARY OF THE PROJECT. CONCRETE WASHOUT AREA IS LOCATED NEAR THE ENTRANCE/EXIT.

MAINTENANCE/RECORD-KEEPING:

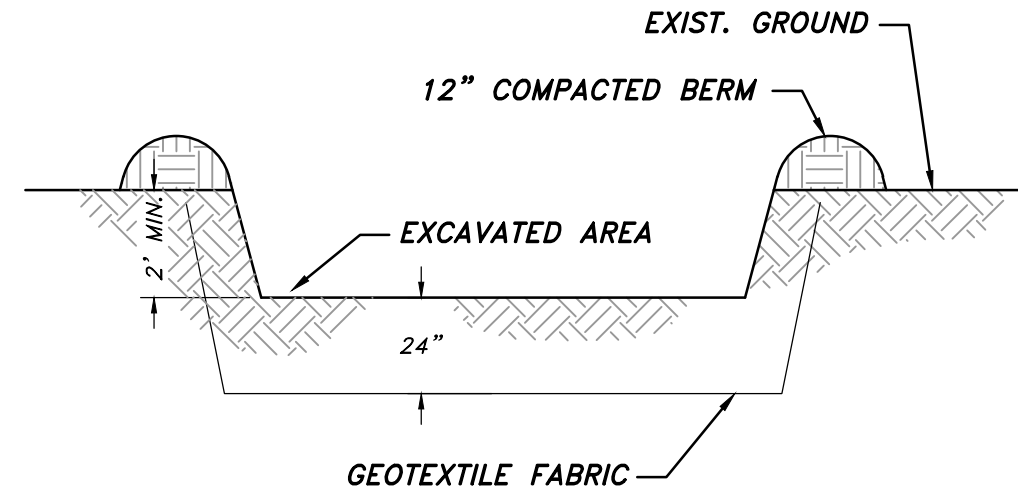
STRICT RECORD KEEPING IS IMPERATIVE. THE PROJECT WILL BE STATE-PERMITTED BUT PARTICULARLY UNDER THE AUSPICES OF FARR WEST CITY. KEEP INSPECTION REPORTS FORMS/FORMAT AS MANDATED BY FARR WEST. A THOROUGH INSPECTION OF THE SWPPP MUST BE CONDUCTED AT LEAST EVERY 14 DAYS AND AFTER ANY PRECIPITATION OR SNOWMELT THAT CAUSES SURFACE EROSION. MAINTENANCE AND/OR MODIFICATIONS TO EROSION MEASURES MUST BE COMPLETED IN A TIMELY MANNER, BUT IN NO CASE MORE THAN 7 CALENDAR DAYS AFTER THE INSPECTION. THE ENFORCEMENT AGENCY IS FARR WEST CITY, WHO ADMINISTERS AND ENFORCES STORMWATER POLLUTION PREVENTION PLANS LOCALLY. STORMWATER MANAGEMENT ASPECTS AND PROCEDURES MAY BE MODIFIED BY PERMITTEE (AND/OR OFFICIAL REPRESENTATIVE) UPON OBTAINING FARR WEST CITY APPROVAL.

SWPPP PHASING – ORDER OF WORK:

- PHASE 1: CONSTRUCTION OF STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA AND SIGNAGE, SILT FENCES & BERMS, AND INLET PROTECTION.
- PHASE 2: MAINTAIN STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA, SILT FENCES & BERMS, AND WATTLES DURING CONSTRUCTION AND SITE IMPROVEMENTS.
- PHASE 3: UPON ASPHALTING, REMOVE CONSTRUCTION ENTRANCE, WATTLES, INLET PROTECTION, AND TEMPORARY SILT FENCES & BERMS.



PLAN VIEW

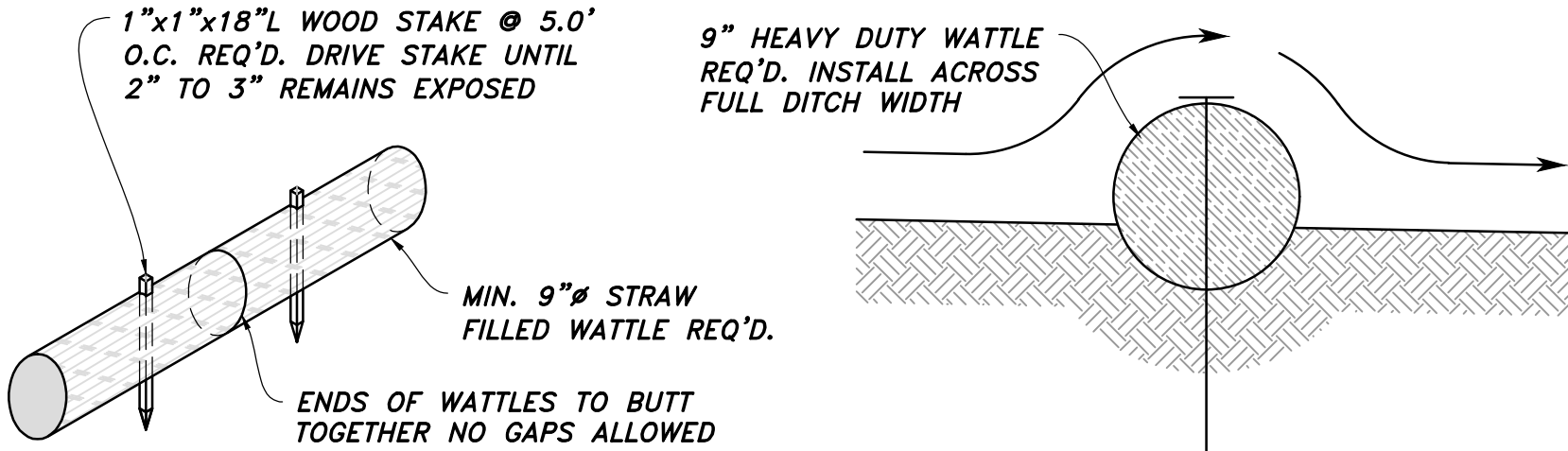


CROSS SECTION A-A

CONCRETE WASHOUT AREA
NOT TO SCALE

CONCRETE WASHOUT AREA NOTES:

- INSTALLATION: PROPER SIGNAGE SUCH AS "CONCRETE WASHOUT" SHALL BE PLACED NEAR CONCRETE WASHOUT FACILITIES. A CONTINUOUS ONE-FOOT TALL COMPACTED EARTH BERM SHALL BE PLACED ON THREE SIDES OF THE EXCAVATED PIT. THE BOTTOM OF THE EXCAVATED PIT MUST BE PROVEN TO BE AT LEAST 5 VERTICAL FEET ABOVE GROUNDWATER OR THE PIT MUST BE LINED WITH A CLAY OR SYNTHETIC LINER DESIGNED TO CONTROL SEEPAGE.
- MAINTENANCE: THE FACILITIES SHALL BE MAINTAINED IN GOOD CONDITION TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY OPERATIONS AT THE PROJECT SITE. HARDENED CONCRETE SHALL BE REMOVED AND PROPERLY DISPOSED OF ONCE THE PIT IS 75 PERCENT FULL AND AS NEEDED. WASTE SHALL BE DISPOSED OF PROPERLY IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.
- NOTE: ADDING SOLVENTS, FLOCCULENTS, OR ACID TO THE WASHWATER IS PROHIBITED.



TYPICAL WATTLE/FILTER SOCK
NOT TO SCALE

LABELS

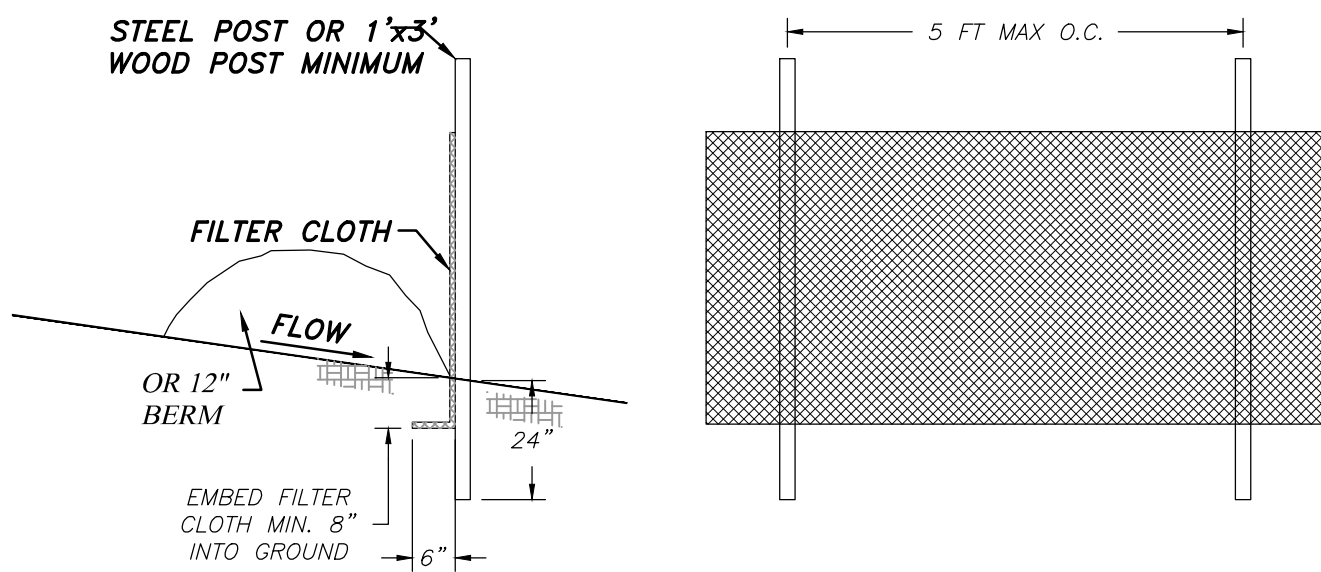
- (SF) – SILT FENCE OR BERM
(SCE) – STABILIZATION CONSTRUCTION ENTRANCE
(IP) – INLET PROTECTION
(CW) – CONCRETE WASHOUT

QUANTITIES

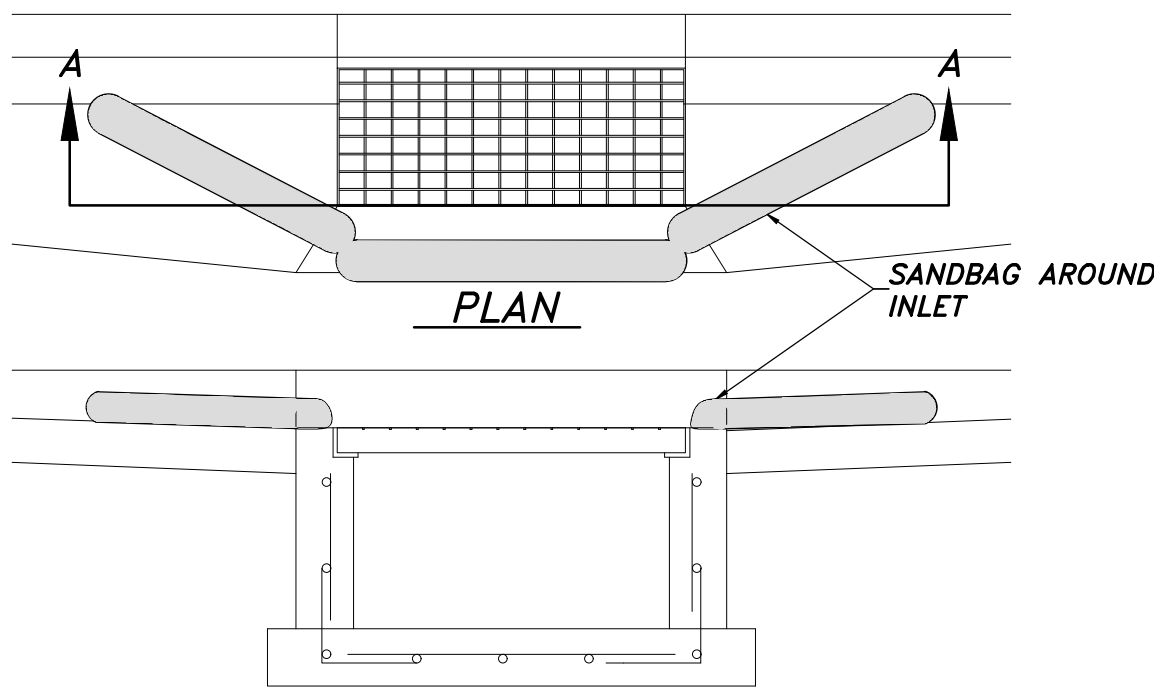
- SILT FENCE/BERM – 330 LF
STABILIZED CONSTRUCTION ENTRANCE – 1
INLET PROTECTION – 1
CONCRETE WASHOUT – 1

LEGEND

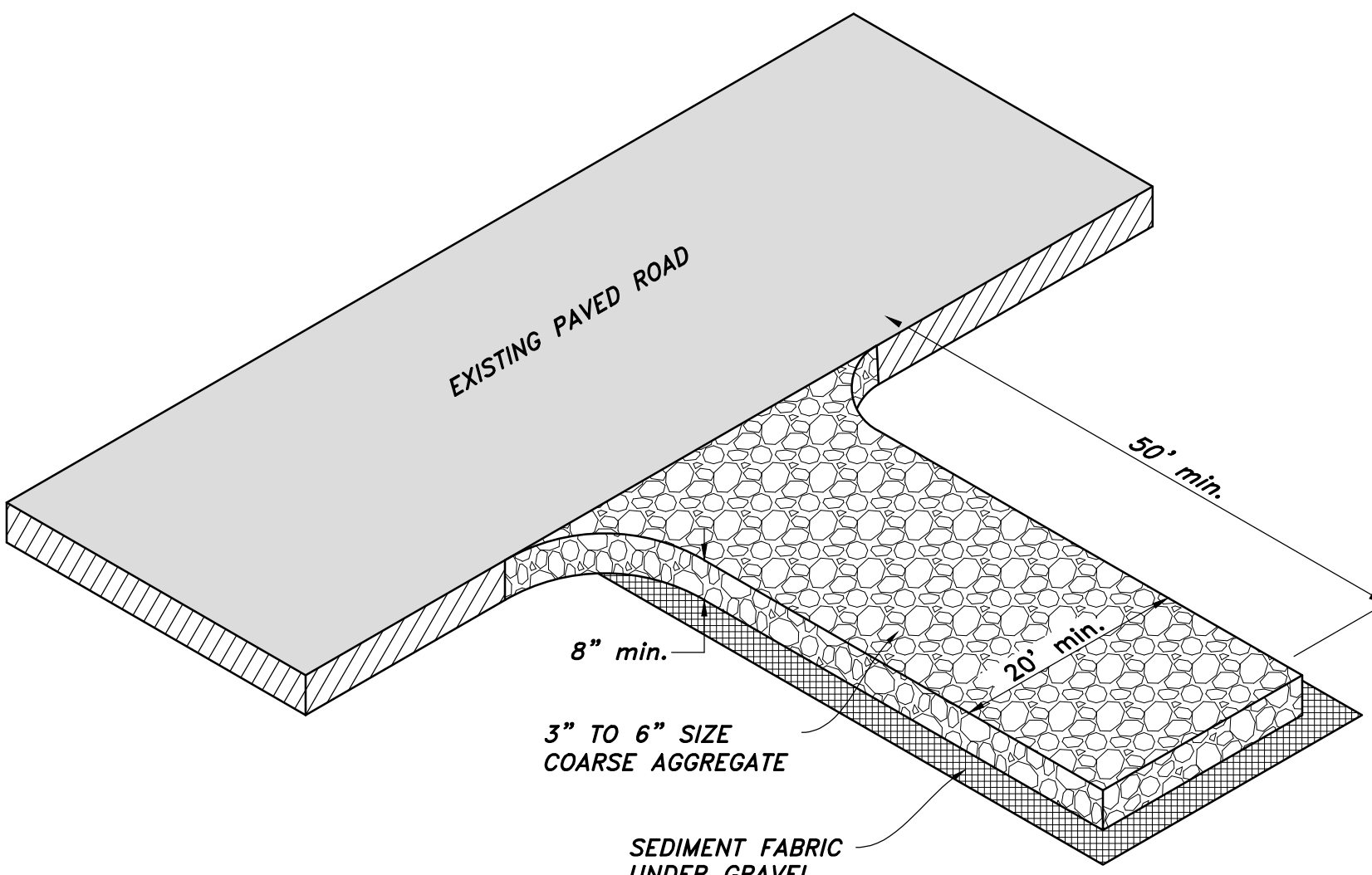
- SF — SF — PROPERTY BOUNDARY LINE
— SF — SF — SILT FENCE OR BERM REQ'D
[Pattern] TRACKING PAD
[Symbol] CONCRETE WASHOUT AREA SIGNAGE 30'
[Symbol] INLET PROTECTION



SILT FENCE DETAIL
NOT TO SCALE



SECTION A
CURB INLET PROTECTION DETAIL
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE NOTES:

- INSTALLATION/APPLICATION CRITERIA:
1. CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.
 2. COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS)
 3. PLACE COARSE AGGREGATE, 3" TO 6" IN SIZE, TO A MINIMUM DEPTH OF 8".
- LIMITATIONS:
1. REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.
 2. SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.
- MAINTENANCE:
1. INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.
 2. INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.
 3. REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.
 4. EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.

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Drawn By: BTC Date: 01/09/23
Designed By: _____
Checked By: _____
Approved By: _____
Scale: 1" = **
Drawing File: 21-S-58/19 CP
JOB NUMBER: 21-5-58

SWPPP FOR
MONTANO
3770 & 3762 N. HIGLEY ROAD
FARR WEST, UTAH 84404
A Part of the Southeast Quarter of Section 2
Township 10 North, Range 2 West, S.L.B.&M.



DH152/DR152

General Features

The model DH152 or DR152 grinder pump station is a complete unit that includes: two grinder pumps, check valve, HDPE (high density polyethylene) tank, controls, and alarm panel. A single DH152 or DR152 is ideal for up to four, average single-family homes and can also be used for up to 12 average single-family homes where codes allow and with consent of the factory.

- Rated for flows of 3000 gpd (11,356 lpd)
- 150 gallons (568 liters) of capacity
- Indoor or outdoor installation
- Standard outdoor heights range from 93 inches to 160 inches

The DH152 is the "hardwired," or "wired," model where a cable connects the motor controls to the level controls through watertight penetrations.

The DR152 is the "radio frequency identification" (RFID), or "wireless," model that uses wireless technology to communicate between the level controls and the motor controls.

Operational Information

Motor

1 hp, 1,725 rpm, high torque, capacitor start, thermally protected, 120/240V, 60 Hz, 1 phase

Inlet Connections

4-inch inlet grommet standard for DWV pipe. Other inlet configurations available from the factory.

Discharge Connections

Pump discharge terminates in 1.25-inch NPT female thread. Can easily be adapted to 1.25-inch PVC pipe or any other material required by local codes.

Discharge

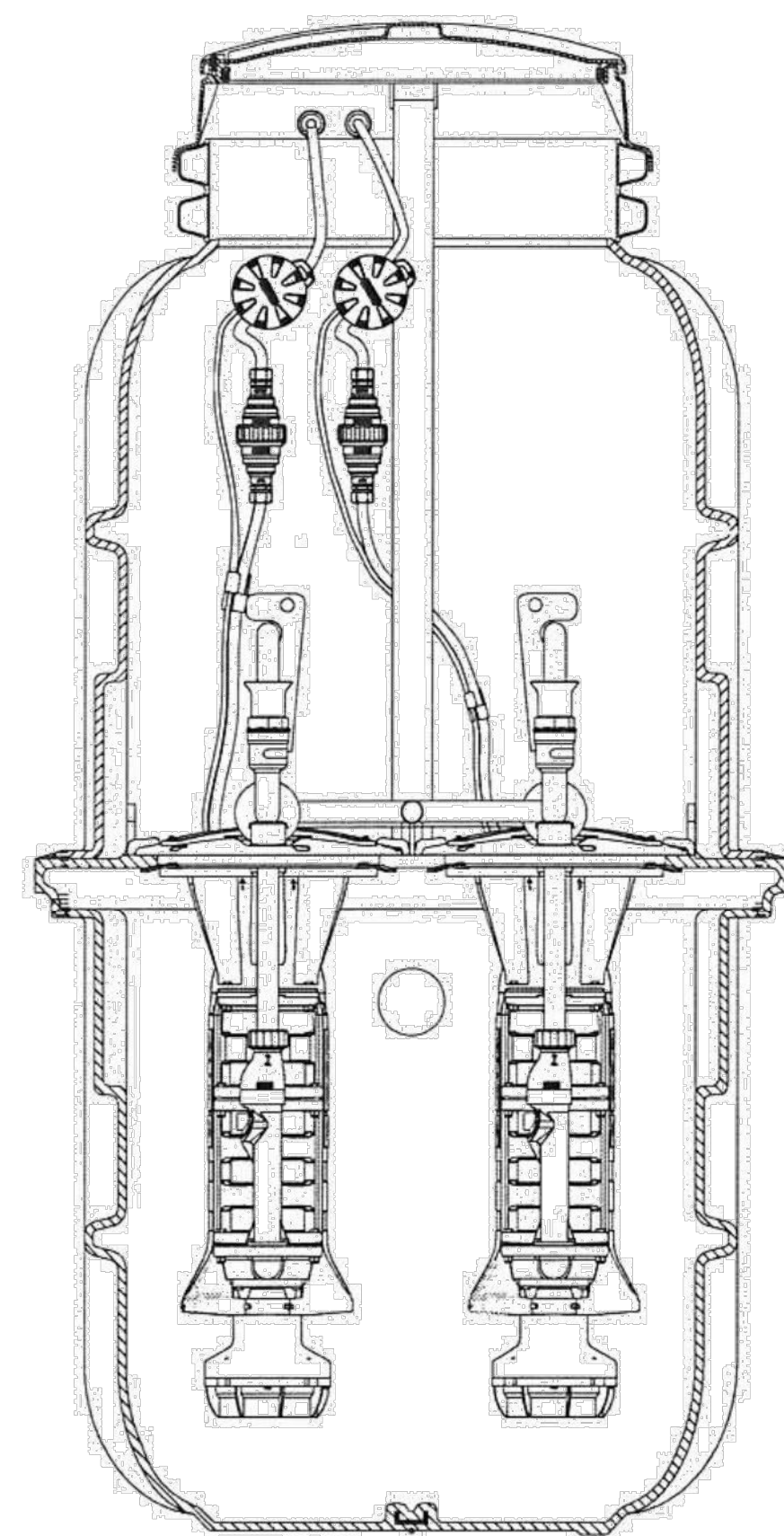
15 gpm at 0 psig (0.95 lps at 0 m)
11 gpm at 40 psig (0.69 lps at 28 m)
7.8 gpm at 80 psig (0.49 lps at 56 m)

Accessories

E/One requires that the Uni-Lateral, E/One's own stainless steel check valve, be installed between the grinder pump station and the street main for added protection against backflow.

Alarm panels are available with a variety of options, from basic monitoring to advanced notice of service requirements.

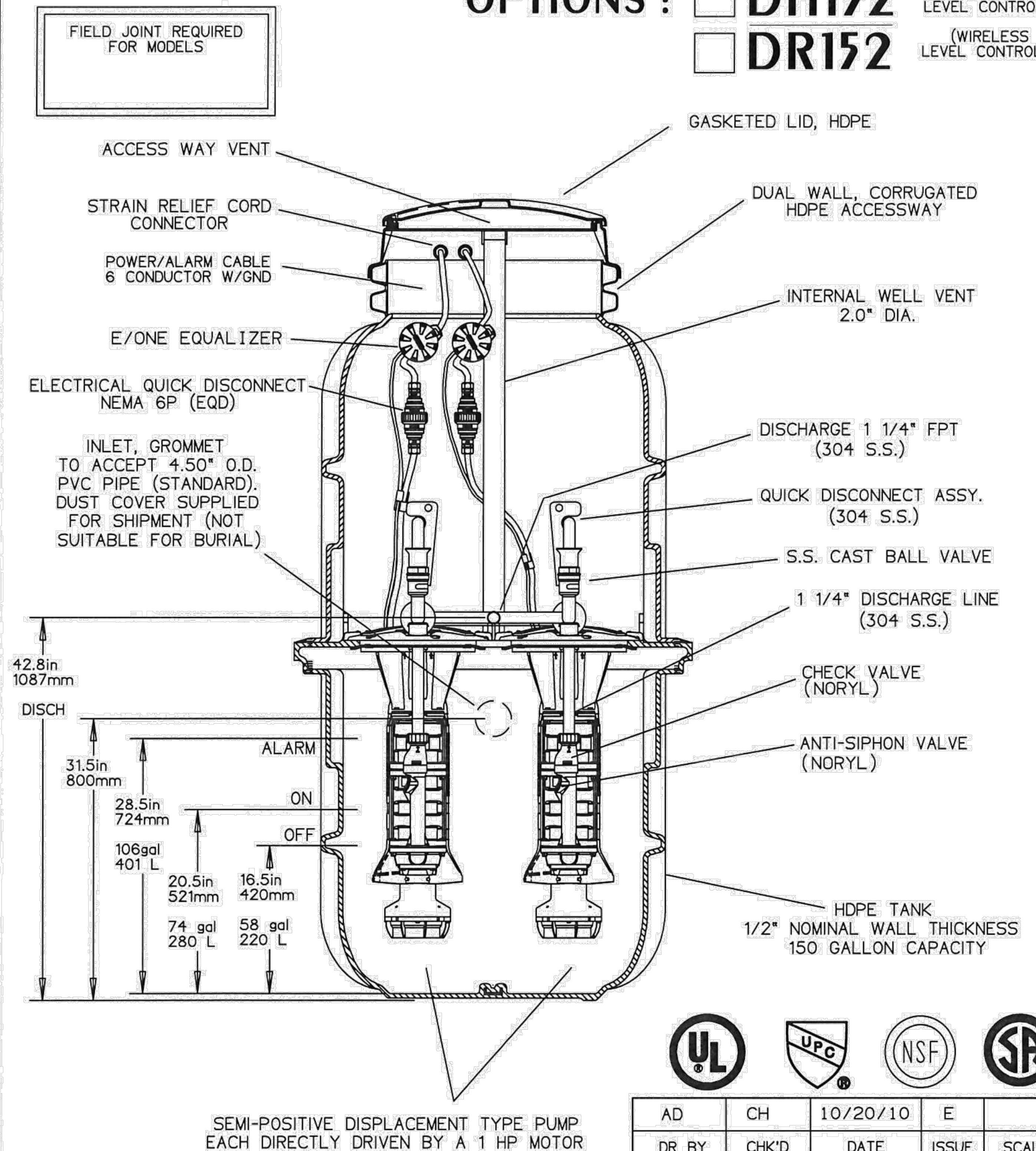
The Remote Sentry is ideal for installations where the alarm panel may be hidden from view.



Patent Numbers: 5,752,315
5,562,254 5,439,180

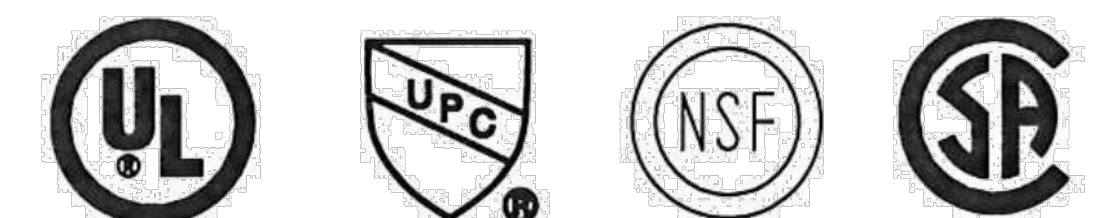
NA0052P01 Rev C

OPTIONS : ☐ DH152 (HARD WIRED LEVEL CONTROLS)
☐ DR152 (WIRELESS LEVEL CONTROLS)



CONCRETE BALLAST MAY BE REQUIRED
SEE INSTALLATION INSTRUCTIONS
FOR DETAILS

NOTE: DIMENSIONS ARE FOR REF ONLY



AD	CH	10/20/10	E	
DR BY	CHK'D	DATE	ISSUE	SCALE
eone SEWER SYSTEMS				
MODEL DH152 / DR152 DETAIL SHEET				
NA0052P02				

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DETAILS FOR
MONTANO
3770 & 3762 N. HIGLEY ROAD
FARR WEST, UTAH 84404
A Part of the Southeast Quarter of Section 2
Township 10 North, Range 2 West, S.L.B.&M.



2023 West 1300 North
Farr West Utah, 84404

PLAN REVIEW

Date: February 24, 2022

Project Name: Montano

Project Address: 3770 N Higley Road, Farr West

Contractor/Contact: Jim Flint, 801-399-4905, HAI

Fee(s):

Property Type	Schedule Rates	Rate/1000 Sq Ft	Square Feet or Number of Res. Units	Total
Type	Rate		Sq Ft or # of Units	Total
Plan Review	Commercial		25,200	\$200.00
Impact Fee	Commercial	\$600.00	25,200	\$15,120.00
			Total Due	\$15,320.00

Fee Notice:

Weber Fire District has various fees associated with plan reviews, and inspections. Please be prepared to make payments at the time when you pick up your approved plans. Impact Fees are due prior to taking out a building permit. Contact our offices at 801-782-3580 to arrange payments.

Status: APPROVED WITH CONDITIONS

A Written Response Is Required. Please address each item.

Items **HIGHLIGHTED** in yellow are items that must be specifically addressed by the responsible design professional.

BOTH SPECIFIC AND GENERAL COMMENTS MUST BE READ AND ADHERED TO.

Specific Comments:

Water Supply:

S1. Water Supply Analysis Required: Prior to any construction being done, a water supply analysis shall be completed and submitted by an engineering firm or a fire protection engineer. This water supply analysis must include:

- a. Building Construction Type
- b. Available Water for fire-fighting purposes
 - i. Static Flow Rates
 - ii. Residual Flow Rates
 - iii. Flowing GPM
 - iv. Duration of flowing GPM available.
- c. Statement of conformance/non-conformance to 2018 International Fire Code section 507 and Appendix B as adopted by Weber Fire District (See

Chief, Paul Sullivan - Deputy Chief, Britt Clark - Fire Marshal, David Reed



2023 West 1300 North
Farr West Utah, 84404

Resolution 04-2014 at <http://weberfiredistrict.com/services/fire-prevention>).

- d. If deficiency exists, proposed method to obtain conformance with adopted codes and Resolution 04-2014.
- S2. Fire Flow: The required fire flow for this building is based upon the construction type and the square footage. The fire flow shall be 1500 GPM for 2 Hours. Additional hydrants may be required to meet fire flow requirement. (See IFC Appendix B, B105.1(2)).
- S3. Fire Flow Reduction: A 75% reduction in fire flow has been granted for this project due to the building being equipped with a fire suppression system.
- S4. Fire Hydrant(s): As per approved plans.
- S5. All required fire hydrants and water systems shall be installed, approved and fully functional and on, prior to any combustible construction (IFC section 507.1 and 3312).

Fire Detection and Suppression Systems:

S6. Fire Suppression Systems: Building will require a fire sprinkler system and an alarm system; both can be deferred submittals.

S7. SEPARATE SUBMITTAL NOTICE: Fire suppression systems and fire alarm systems require a separate submittal. A permit shall be applied for before any installation of either fire suppression system or fire alarm system. The permit shall be on the job site and be available for review by any inspector. The APPROVED STAMPED set of plans shall also be on the job site and available for review by any inspector. If there is no permit and/or approved stamped plans on the job site, there will be a Stop Work Order issued until both are on the job site. Submit plans at Weber Fire District, 2023 W. 1300 N. Farr West. (See IFC section 901.2 and 907.1.1).

S8. Electronic Supervision and Alarms: Fire suppression system shall be electronically monitored. Monitoring shall include Valves; pumps; tanks; water levels and temperatures; critical air pressures; waterflow. Monitoring shall be electrically supervised by a *listed* fire alarm control unit (See IFC 903.4).

S9. Exterior Notification Device: There shall be a weatherproof horn/strobe device located on the street side of the building or above the FDC as approved by the Fire Prevention Division (coordinate with fire inspector regarding location). Such sprinkler waterflow alarm devices shall be activated by water flow equivalent to the flow of a single sprinkler of the smallest orifice size installed in the system. (See IFC 903.4.2)

S10. Fire Department Connections:

- a. Locking Knox Fire Department Connection (FDC) caps are required for the FDC. These may be ordered at www.knoxbox.com. Please select WEBER FIRE DISTRICT as your jurisdiction. (See IFC 912.4.1)
- b. There shall be a cement pad measuring 3 ft. x 3 ft. under the FDC (coordinate with fire inspector regarding this). (See IFC 102.9)
- c. Location: FDC connections shall be so located that fire apparatus and hose connected to supply the system will not obstruct access to the buildings for other fire apparatus. FDC locations shall be approved by the AHJ. (IFC



2023 West 1300 North
Farr West Utah, 84404

912.2)

- d. Access: Immediate access to FDC shall be maintained always without obstruction from fences, trees, walls or other fixed or moveable object. (IFC 912.4)
- e. Signs: A metal sign with raised letters not less than 1 inch in size shall be mounted on all fire department connections serving automatic sprinklers, standpipes, or fire pumps. Such signs shall read: "AUTOMATIC SPRINKLERS" or "STANDPIPES" or "TEST CONNECTION". (IFC 912.5)

S11. Kitchen Hood Systems: Type I kitchen hood systems shall have the plans approved by the fire department prior installation and a test of the system shall be performed for the fire department for approval. A permit shall be applied for before any installation of either fire suppression system or fire alarm system. The permit shall be on the job site and be available for review by any inspector. The APPROVED STAMPED set of plans shall also be on the job site and available for review by any inspector. If there is no permit and/or approved stamped plans on the job site, there will be a Stop Work Order issued until both are on the job site. Submit plans at Weber Fire District, 2023 W. 1300 N. Farr West. (See IFC section 901.2 and 907.1.1).

Fire Department Access:

- S12. Provide a temporary address marker at the building site during construction. The address numbers, whether on the building or the sign, shall be legible font. (See IFC 505.1) (See IFC 505.1).
- S13. Fire access roads for this project shall be completed and approved prior to any combustible construction. Temporary roads shall meet the same requirements for height, width, and imposed loads as permanent roads (See IFC section 503.2.3; 3310; and D102.1).
- S14. Fire Access to buildings and facilities: Fire access roads are required for all facilities, buildings, or portions of buildings. Access roads shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route. (See IFC 503.1)
- S15. Gates:
 - a. Knox key switches are required for any electronic/electric gate. These may be ordered at www.knoxbox.com. Please select WEBER FIRE DISTRICT as your jurisdiction. (See IFC 503.6)
 - b. Knox padlock is required for any manually operated mechanical gate. These may be ordered at www.knoxbox.com. Please select WEBER FIRE DISTRICT as your jurisdiction. (See IFC 503.6)

Building Comments:

- S16. There shall be an address on the building or on a sign visible from the street. If the address is on a sign-monument the sign-monument shall meet the requirements of the appropriate city/county planning department. The address numbers, whether on the building or the sign, shall be Arabic font with a minimum of 4" (four inches) in height with a .5" (half inch) stroke and be in contrasting colors from the background. All suites



2023 West 1300 North
Farr West Utah, 84404

- shall have number/letter designation on the doors meeting the same size requirements and contrasting color. (See IFC 505.1)
- S17. Provide a working space of not less than 30 inches in width, 36 inches in depth and 78 inches in height in front of electrical service equipment. If the electrical equipment is wider than 30 inches, the working space shall not be less than the width of the equipment. There shall be no storage within the designated working space. (See IFC 605.3)
- S18. Doors into electrical control panel rooms shall be marked with plainly visible and legible sign stating, "ELECTRICAL ROOM". (See IFC 605.3.1)
- S19. Fire Protection and Utility Equipment Rooms:
- a. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, fire detection or suppression shall be identified with a plainly visible and legible sign. (See IFC 509.1)
- S20. Gas meters shall be protected from vehicular damage. Above ground gas meters, regulators, and piping subject to damage shall be protected by bollards or barriers. (See IFC 603.9 and 312).
- S21. Fire doors shall have a permanent sign with 1-inch-high letters stating, "FIRE DOOR-DO NOT BLOCK". (See IFC 703.2.1)
- S22. Fire Extinguishers:
- a. Extinguishers shall be provided so that the travel distance to any extinguisher does not exceed 75 feet. Extinguishers shall have a minimum rating of 2A10BC. The fire inspector may require additional extinguishers or higher rated extinguishers. (See IFC 906).
 - b. Extinguishers weighing less than 40 pounds shall be mounted so that the top is not more than 5 feet above the floor. Extinguishers over 40 pounds shall be mounted so that the top is not more than 3.5 feet above the ground. (See IFC 906.9.1 and 906.9.2)
- S23. Storage:
- a. Ceiling clearance. Storage shall be maintained 2 feet or more below the ceiling in non-sprinklered areas or not less than 18 inches below sprinkler head deflectors in sprinklered areas. (See IFC 315.3.1)
 - b. Equipment Rooms. Combustible storage shall not be stored in boiler rooms, mechanical rooms, or electrical rooms. (See IFC 315.3.3)
- S24. Occupant Load. Every room or space that is an assembly occupancy shall have the occupant load of the room or space posted in a conspicuous place near the main exit. The sign shall be clearly legible.
- S25. A Knox Key Box is required for this building if it is alarmed. These may be ordered at www.knoxbox.com. Please select WEBER FIRE DISTRICT as your jurisdiction. Only 3200 Series boxes shall be used. (See IFC 506.1)
- S26. Underground fire lines shall be flushed using a minimum 4-inch line. The end of the line shall be secured as to prevent injury or damage to person or property. The fire department shall witness the flush.
- S27. Underground thrust blocks shall be inspected prior to burial. Thrust blocks must meet the load bearing requirements of NFPA 24. Bag mix is not acceptable. Documentation from the supplier shall be submitted indicating the load bearing PSI rating of the concrete.



2023 West 1300 North
Farr West Utah, 84404

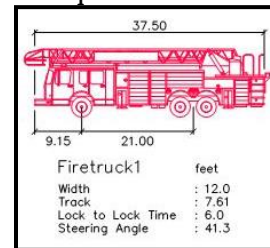
General Comments:

G1. Fire Access roads to any property shall have a minimum clear width of 20 feet (face of curb to face of curb) and a vertical clearance of 13 foot 6 inches and shall be capable of supporting a 75,000-pound load. Roads that are less than 26 feet in width shall be posted with “NO PARKING FIRE LANE” on both sides of the roadway. Roads more than 26 but less than 32 feet in width shall be posted on one side of the roadway. (Roadways and signage shall comply with appendix D of the 2018 International Fire Code as adopted by Weber Fire District).

G2. Roads shall have a maximum grade of 10% unless specifically approved. Approval requires both the Fire Marshal’s approval and Weber County Engineering approval (See IFC section 503.2.7; D103.2; and Weber County ordinances).

G3. Radius on all corners shall be a minimum of 28'-0". Roads and driveways shall also comply with City/County standards as applicable. *In cases of differing requirements, contact the Fire Marshal for clarification.*

G4. Roundabouts: Roundabouts in roadways shall maintain the required minimum width of 20 feet. Wider roadways may be required to provide turning radius for fire apparatus. An auto-turn model shall be completed and submitted for review. The following vehicle information shall be used for this purpose:



- a. Width: 12.0 Ft
- b. Track: 7.61
- c. Lock to Lock Time: 6.0
- d. Steering Angle: 41.3

G5. Dead end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around fire apparatus constructed with the same requirements as the roads (See IFC section D103.4)

G6. For subdivisions with more than 30 single family residences, a second fire apparatus access road required. Access roads shall be placed a distance apart equal to not less than one-half the length of the maximum overall diagonal dimension of the development area/property to be served (See IFC section D106).

G7. Roads and bridges shall be designed, constructed, and maintained to support an imposed load of 75,000 lbs. (See IFC section D102.1)

G8. All roads shall be designed, constructed, surfaced, and maintained to provide an all-weather driving surface. All weather surfaces may include road-base material however, the roadway must be maintained open and accessible year-round (See IFC section 503.2.3 and D102.1).

G9. Cul-de-sacs shall be a minimum of 96 feet in diameter, from the face of curb to the face of curb, or there shall be another type of turn around provided. Any islands inside the cul-de-sac shall be such that they do not interfere with the turning capacity of a fire apparatus. (See IFC D103.4)

G10. Fire Prevention During Construction: The owner shall designate a person to be the fire prevention program superintendent who shall be responsible for the fire prevention program and ensure that it is carried out through completion of the



2023 West 1300 North
Farr West Utah, 84404

project. Where guard service is provided, the superintendent shall be responsible for the guard service. The fire prevention program superintendent shall develop and maintain an approved pre-fire plan. The fire chief and the fire code official shall be notified of changes affecting the utilization of information contained in such pre-fire plans. (see IFC 3308)

This review was completed using the currently adopted Utah State Fire Code (International Fire Code) and any applicable local resolutions or ordinances.

Every effort has been made to provide a complete and thorough review of these plans. This review DOES NOT relieve the owner, contractor and/or developer from compliance with all applicable codes, and standards.

Any change or revision of this plan will render this review void and will require submittal of the new, or revised, layout for fire department review. If you have any questions, please contact me at 801-782-3580.

Reviewed By:
David Reed, Fire Marshal
Weber Fire District
801-782-3580



Bona Vista Water Improvement District

2020 West 1300 North, Farr West, Utah 84404

Phone (801) 621-0474 Fax (801) 621-0475

August 4, 2022

TO: FarrWest City
RE: WILL SERVE LETTER – Montano

The project located at 3770 North Higley Road in FarrWest is in the boundaries of the Bona Vista Water Improvement District. The commercial project utility plans have been reviewed by the District and changes, if any, have been made and corrected.

This letter serves as verification that the corrected plans have been approved for the above-named project. Only the phase in consideration is guaranteed service. The plan review is good for a period of one year from the date of this letter. If not constructed within that time frame, the review process will start again including additional fees.

Culinary water will be made available once the following criteria are met:

- All water mains, service lines, fire hydrants, etc. must be constructed according to the district's specifications. Those specifications can be found on the district's website: <https://www.bonavistawater.com/construction-standards>
- Fire line fees are paid, if applicable.
- Proof of secondary water will need to accompany the connection fee for *each* connection inside the development. The connection receipt will serve as verification from the district for building permit purposes.
 - Allowable proof of secondary water is a connection receipt from a pressurized secondary water provider or a letter clearly stating that there are 3-acre feet of water available for each acre of undeveloped property (water shares must be in owners name).

If you have any questions, please feel free to call me. I can be reached at 801-621-0474 ext. 207, Monday through Friday, 9am – 5pm.

Sincerely,

Matt Fox
Assistant Manager

Board of Directors

Michelle Tait, Chairwoman - Harrisville
Jon Beesley, Vice Chairman – Plain City
Ronald Stratford – Unincorporated Area
Scott Van Leeuwen – Marriott/Slaterville
Ken Phippen – Farr West

Management

Blake Carlin, Manager
Matt Fox, Assistant Manager
Marci Doolan, Administrative Manager