



Washington City Planning Commission
Regular Meeting Agenda
January 4, 2023

PUBLIC NOTICE is hereby given that the Planning Commission of Washington City will host a public electronic meeting on Wednesday, January 4, 2023 at 6:00 PM. The Planning Commission will be held in the City Council Chambers of the Washington City Offices located at 111 North 100 East, Washington, Utah. The meeting will be broadcast via Youtube Live linked online at <https://washingtoncity.org/meetings>

1. APPROVAL OF AGENDA

2. APPROVAL OF MINUTES

- a. Approval of the Planning Commission minutes from December 21, 2022.

3. DECLARATION OF ABSTENTIONS & CONFLICTS

4. PRELIMINARY PLAT

*****Public comments will be accepted at: washingtoncity.org/meetings, until 5:00 pm the day before the meeting. After that time only in person comments will be taken.*****

- a. Public Hearing for consideration and recommendation to the City Council for Sandy Creek Subdivision, located at approximately 222 West 840 South. Applicant: Bush and Gudgell

5. CONDITIONAL USE PERMIT

*****Public comments will be accepted at: washingtoncity.org/meetings, until 5:00 pm the day before the meeting. After that time only in person comments will be taken.*****

- a. Public Hearing and consideration to approve a Conditional Use Permit for a proposed auto dealership, C-22-19, located approximately at the Northwest area of Washington Pkwy & North Commerce Blvd. Applicant: Boyd Martin Construction

6. CONDITIONAL USE PERMIT REVOCATION

- a. Continuation of a Conditional Use Permit Revocation for Conditional Use Permit, C-01-19; 7 Epic Motors, LLC., located at 515 W. Buena Vista Blvd.
Presenting: Washington City Attorney, Thad Seegmiller

7. ADJOURNMENT

POSTED this 30th day of December, 2022

Melodie Hayes, Zoning Technician

In accordance with the Americans with Disabilities Act, Washington City will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by calling the Zoning Technician at 656-6325 at least 24 hours in advance of the meeting to be held.

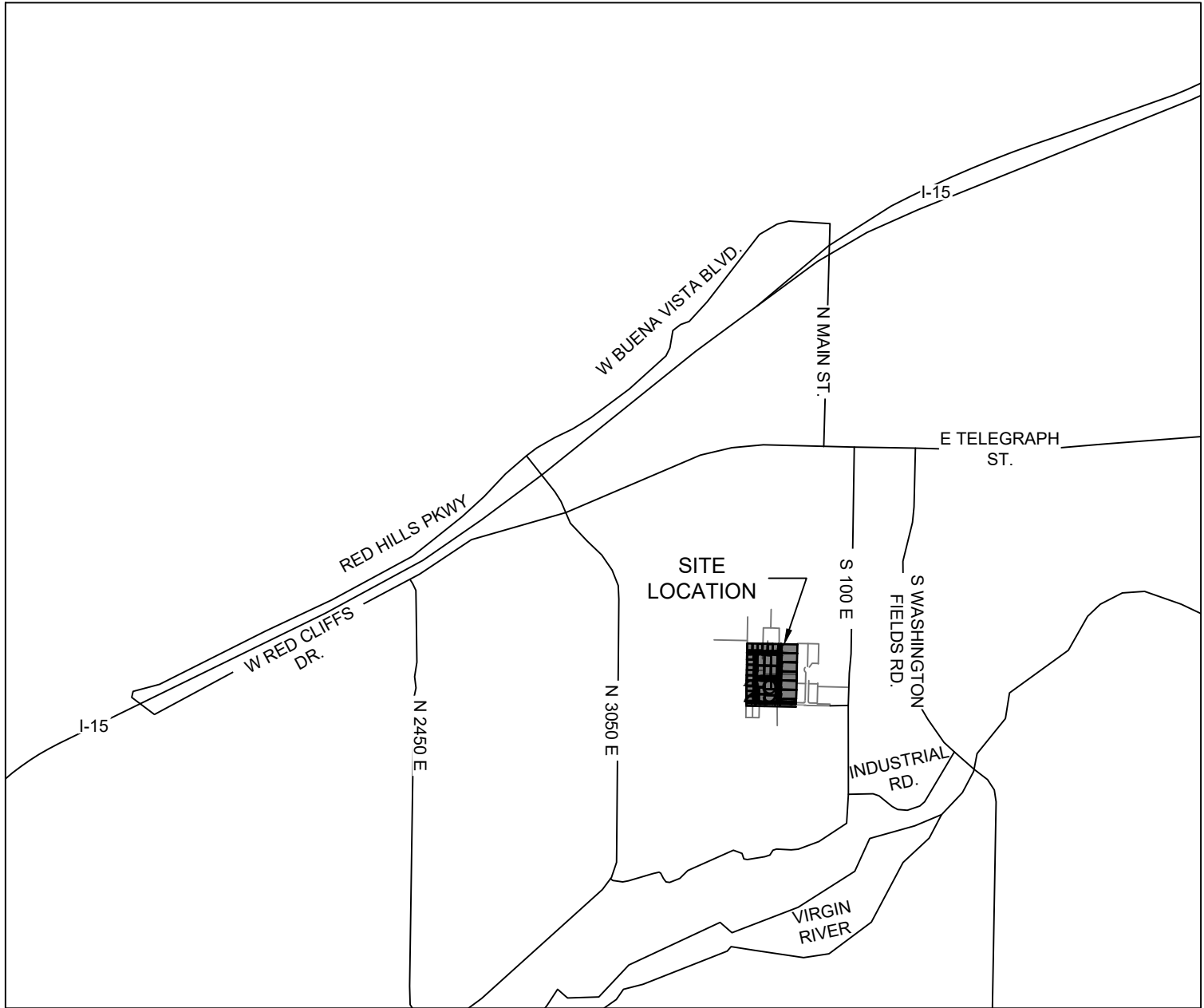
B&G PROJECT NUMBER 221085

SANDY CREEK SUBDIVISION

PRELIMINARY PLAT LOCATED IN WASHINGTON, UTAH

SECTION 23, T 42 S, R 15 W, SLB&M
PARCEL # W-5-2-23-4320, W-5-2-23-4306, W-5-2-23-4307,
W-5-2-23-4308, & W-5-2-23-4309

VICINITY MAP



SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PRELIMINARY PLAT
3	UTILITY SHEET
4	FIRE & LIFE PLAN

LEGAL DESCRIPTION

ALL OF BLOCK 6, A PORTION OF BLOCK 7 AND BLOCK 13 AND ALL OF BLOCK 14, GOULD'S SURVEY OF THE NORTHWEST 1/4 SECTION 23, IN TOWNSHIP 42 SOUTH OF 15 WEST OF SALT LAKE MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

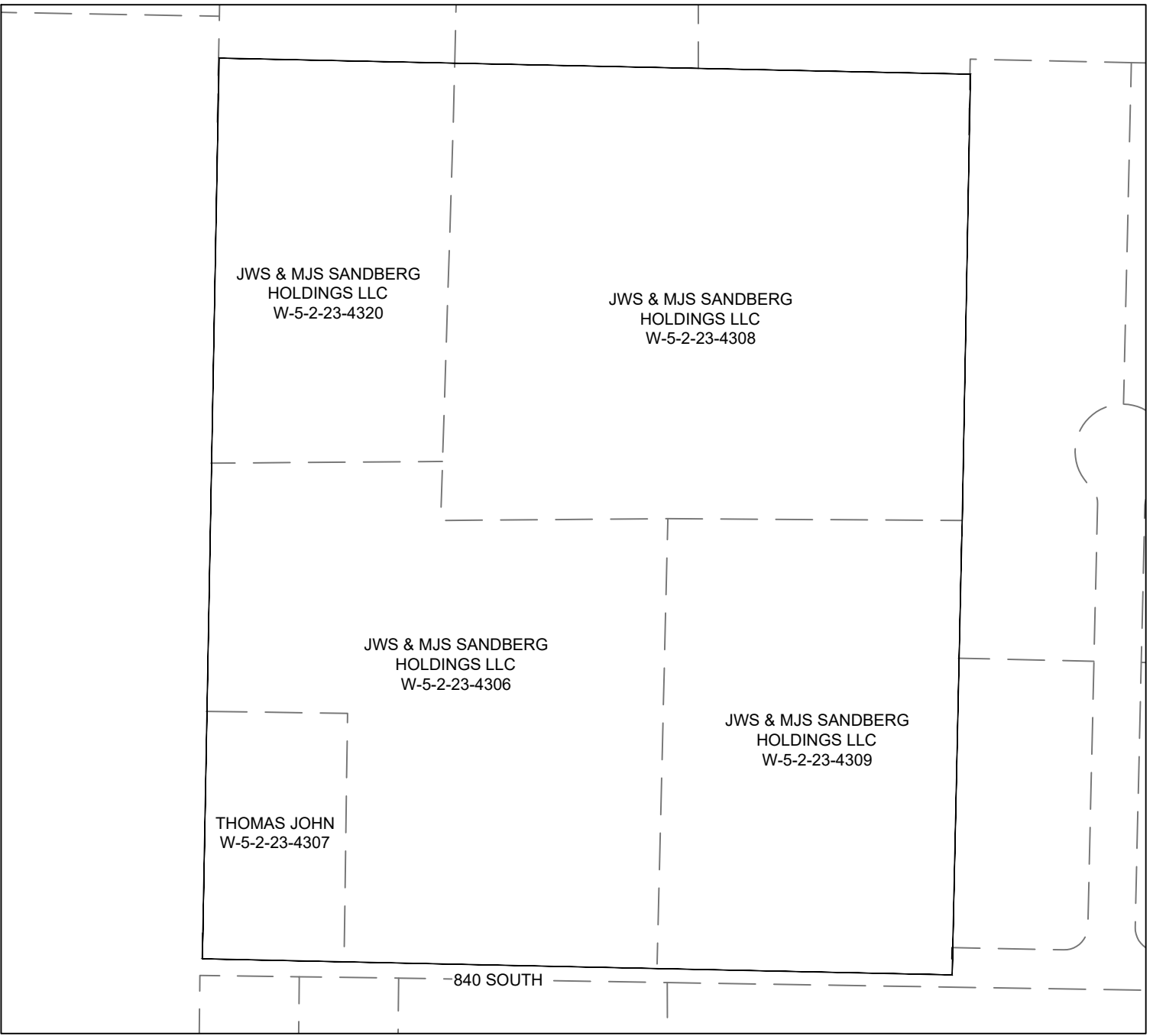
COMMENCING AT THE SOUTHWEST CORNER LOT 3 BLOCK 6, R.F. GOULD'S SURVEY WHICH POINT LIES NORTH 01°04'31" EAST ALONG THE SECTION LINE 355.79 FEET FROM THE WEST QUARTER CORNER SAID SECTION 23, AND RUNNING THENCE NORTH 01°04'31" EAST ALONG THE WEST LINE OF SAID BLOCK 6 AND 14, 951.54 FEET TO THE NORTHWEST CORNER SAID BLOCK 14, THENCE SOUTH 88°45'29" EAST ALONG THE NORTH LINE OF SAID BLOCK 14 AND THE NORTH LINE OF LOTS 3 & 4 OF BLOCK 13, 793.75 FEET TO THE NORTHWEST CORNER LOT 1 BLOCK 13, SAID POINT ALSO BEING THE NORTHWEST CORNER OF MARLAR SUBDIVISION AMENDED, DOCUMENT NO. 20140001881 OFFICIAL RECORDS WASHINGTON COUNTY, UTAH, THENCE ALONG THE WEST LINE SAID MARLAR SUBDIVISION AMENDED AND ITS LINE EXTENDED SOUTH THE FOLLOWING TWO (2) COURSES AND DISTANCES: 1) SOUTH 01°04'34" WEST 487.40 FEET AND 2) SOUTH 01°16'04" WEST 464.14 FEET MORE OR LESS TO THE SOUTH LINE OF SAID BLOCK 7, THENCE NORTH 88°45'29" WEST ALONG THE SOUTH LINE OF SAID BLOCK 7 AND THE SOUTH LINE OF SAID BLOCK 6 792.19 FEET TO THE POINT OF BEGINNING.

CONTAINING 754,917 SQUARE FEET OR 17.33 ACRES

PROJECT MAP



EXISTING SITE PARCELS



GENERAL NOTES

- 1) CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK IN ANY ZONE.
- 2) ALL WORK AND MATERIALS SHALL COMPLY WITH WASHINGTON CITY STANDARD SPECIFICATIONS.
- 3) PROJECTS SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE CONSTRUCTION BEGINS. THIS SIGN WILL HAVE A MINIMUM SIZE, PLACEMENT LOCATION AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT AND GRADING PERMIT NUMBER.
- 4) PROJECTS SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING AND REPORTING OF DUST CONTROL ACTIVITIES.
- 5) A MANDATORY PRE-CONSTRUCTION MEETING WILL BE REQUIRED ON ALL PROJECTS PRIOR TO ANY GRUBBING, GRADING OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICE INSPECTORS.
- 6) FOLLOW APPENDIX 'J' STANDARDS FOUND IN THE IBC.
- 7) ALL OBJECTS SHALL BE KEPT OUT OF THE SIGHT DISTANCE CORRIDORS THAT MAY OBSTRUCT THE DRIVER'S VIEW.

DUST CONTROL

THESE DUST CONTROL MEASURES MUST BE OBSERVED AT ALL TIMES:

EARTH MOVING ACTIVITIES:

- 1) APPLY WATER BY MEANS OF TRUCKS, HOSES AND/OR SPRINKLERS AT SUFFICIENT FREQUENCY AND QUANTITY, PRIOR TO CONDUCTING, DURING AND AFTER EARTHMOVING ACTIVITIES.
- 2) PRE-APPLY WATER TO THE DEPTH OF THE PROPOSED CUTS OR EQUIPMENT PENETRATION.
- 3) APPLY WATER AS NECESSARY AND PRIOR TO EXPECTED WIND EVENTS.
- 4) OPERATE HAUL VEHICLES APPROPRIATELY IN ORDER TO MINIMIZE FUGITIVE DUST AND APPLY WATER AS NECESSARY DURING LOADING OPERATIONS.

DISTURBED SURFACE AREAS OR INACTIVE CONSTRUCTION SITES:

- 1) WHEN ACTIVE CONSTRUCTION OPERATIONS HAVE CEASED, APPLY WATER AT SUFFICIENT FREQUENCY AND QUANTITY TO DEVELOP A SURFACE CRUST AND PRIOR TO EXPECTED WIND EVENTS.
- 2) INSTALL FENCE BARRIER AND/OR "NO TRESPASSING" SIGNS TO PREVENT ACCESS TO DISTURBED SURFACE AREAS.

DECEMBER 2022

BUSH & GUDGELL, INC.

Engineers - Planners - Surveyors

205 East Tabernacle #4
St. George, Utah 84770
Phone (435) 673-2337



OWNER / DEVELOPER

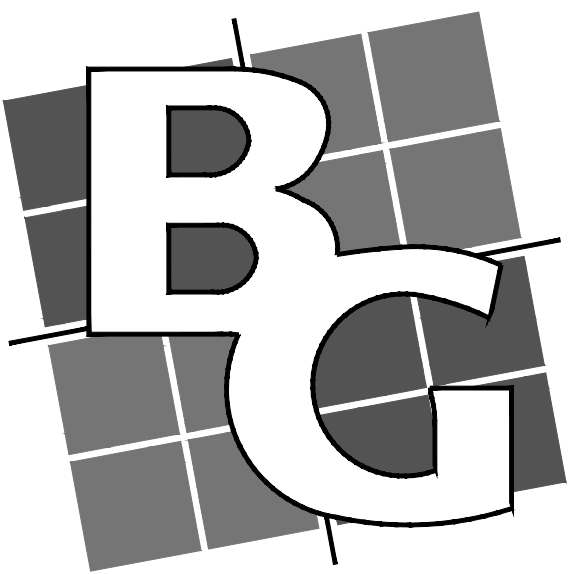
AUSTIN ANDERSON
(435) 229-1743
Austin@AJconstructioninc.com

285 W TABERNACLE ST STE 200,
ST. GEORGE, UT 84770

ENGINEERING CONTACT

BUSH AND GUDGELL, INC.
205 EAST TABERNACLE #4
ST GEORGE, UT 84770

RICK MEYER - PROJECT MANAGER
(435)-673-2337



BUSH & GUDGELL, INC.

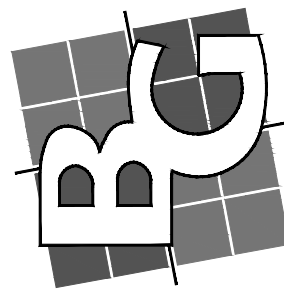
Engineers - Planners - Surveyors

205 East Tabernacle Suite #4

St. George, Utah 84770

Phone (435) 673-2337 / Fax (435) 673-3161

www.bushandgudgell.com



DATE: DEC. 2022

DRAWN: CBW/CL

APPROVED: WFM

SCALE: NOTED

JOB NO.: 221085

COVER SHEET
SANDY CREEK SUBDIVISION
LOCATED IN WASHINGTON, UTAH

SHEET

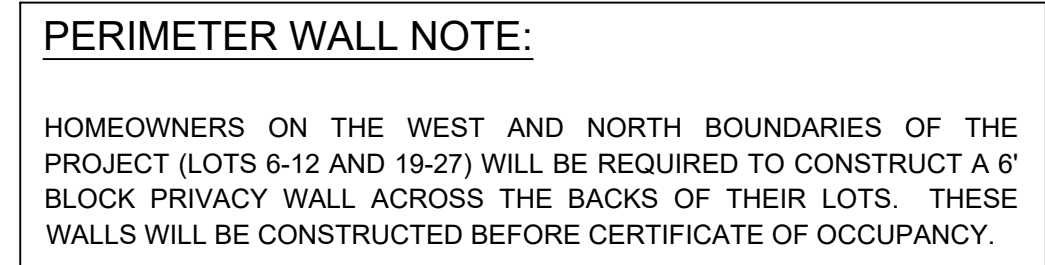
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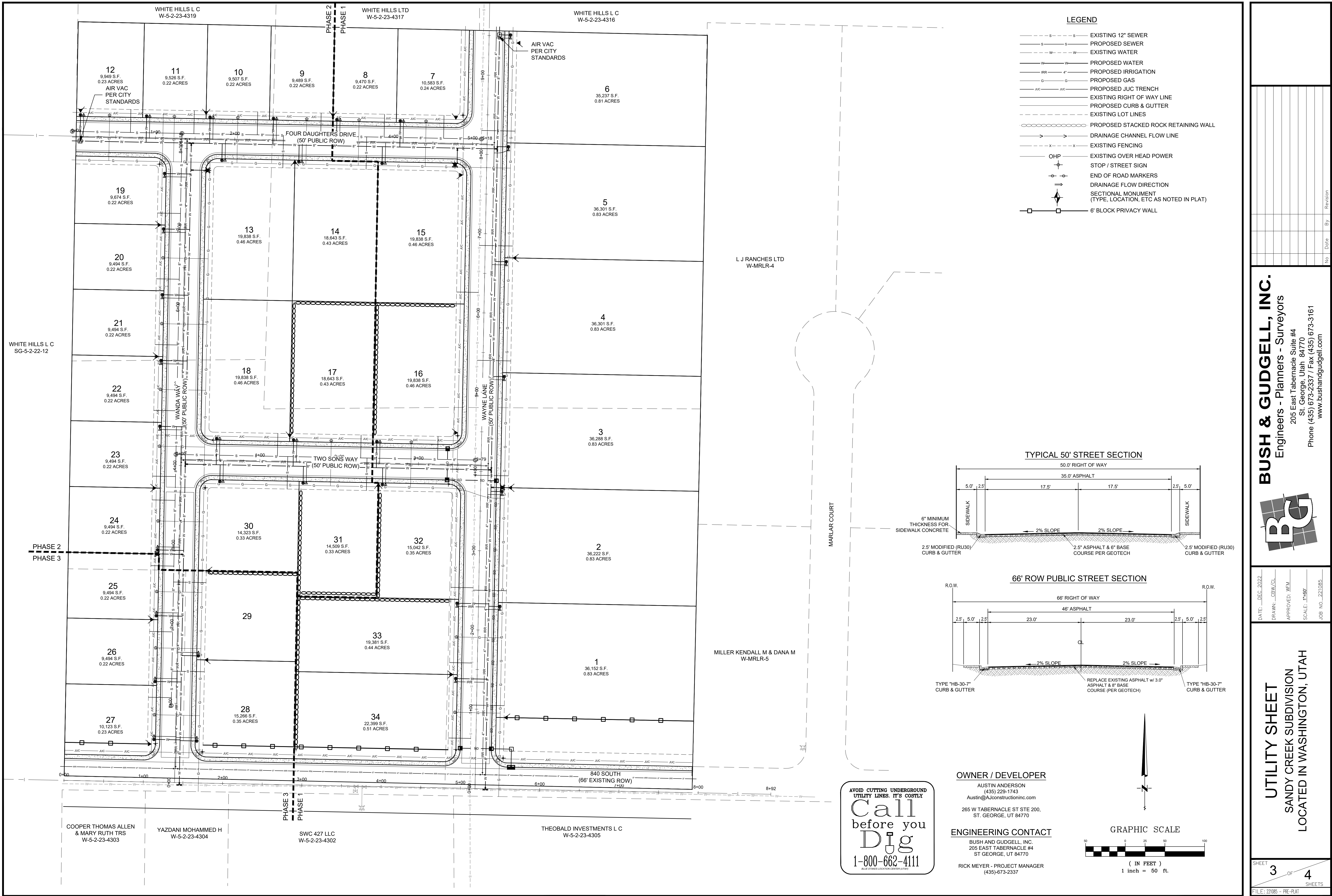
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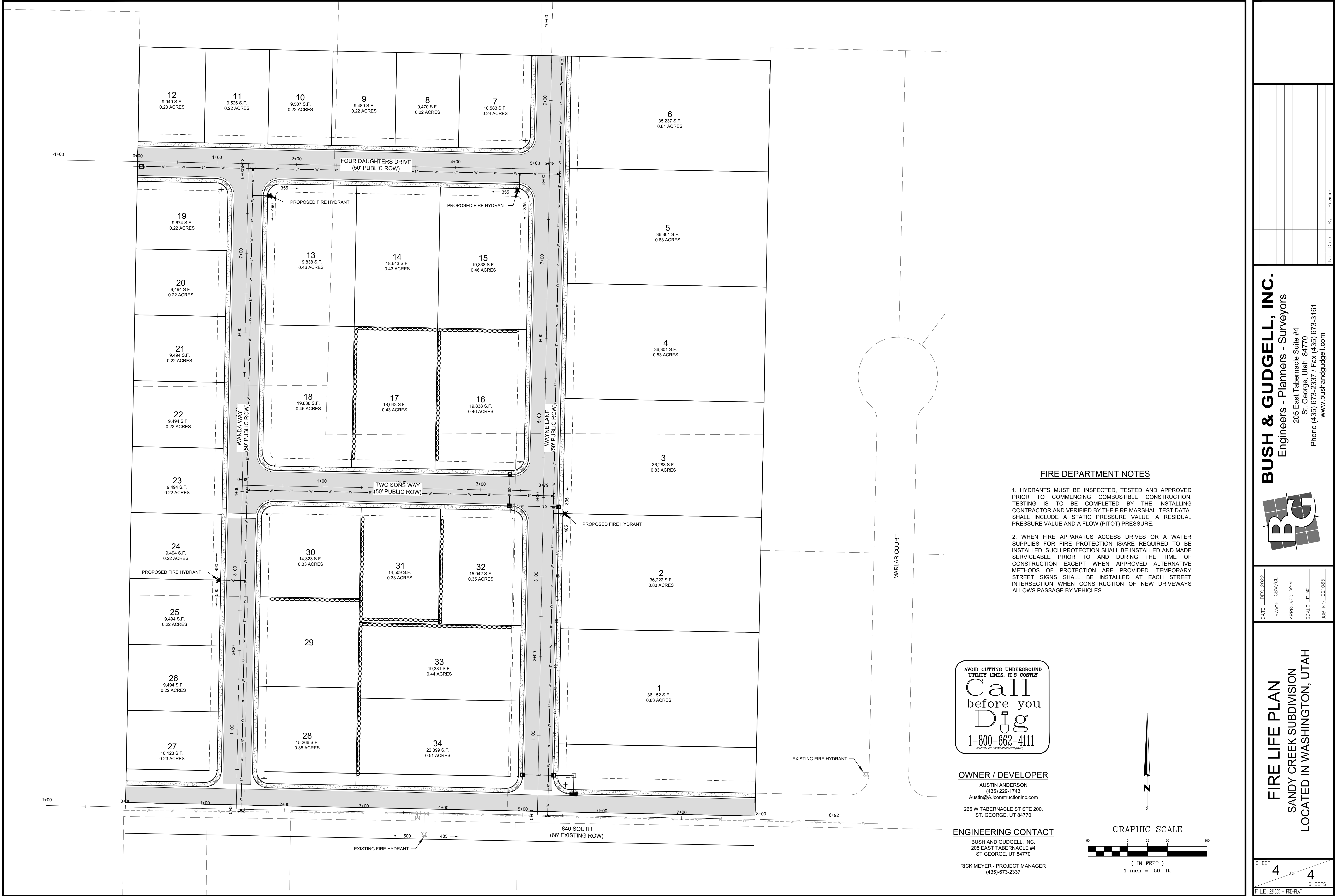
SHEETS

FILE: 221085 - PRE-PLAT

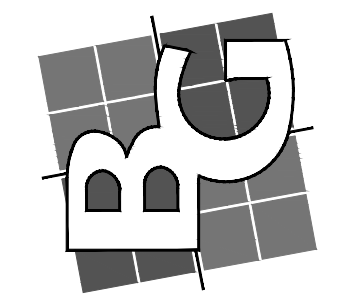


(IN FEET)
1 inch = 50 ft.





BUSH & GUDGEGL, INC.
Engineers - Planners - Surveyors
205 East Tabernacle Suite #4
St. George, Utah 84770
Phone (435) 673-2337 / Fax (435) 673-3161
www.bushandgudgell.com



DATE: DEC. 2022
DRAWN: CEW/CL
APPROVED: WFM
SCALE: 1"=50'
JOB NO.: 221085

FIRE LIFE PLAN
SANDY CREEK SUBDIVISION
LOCATED IN WASHINGTON, UTAH



BUSH & GUDGELL, INC.

Engineers • Planners • Surveyors
205 East Tabernacle
St. George, Utah 84770
(435) 673-2337 (ph.)
(435) 673-3161 (fax)

November 4, 2022

Drew Ellerman
Director: Community Development
Washington City Planning and Zoning
Washington City, UT

RE: Preliminary plat – Sandy Creek subdivision

Dear Mr. Ellerman,

With this preliminary plat request, the applicant desires to entitle a single family residential subdivision on parcels (W-5-2-23-4306, W-5-2-23-4307, W-5-2-23-4308, W-5-2-23-4309, and W-5-2-23-4320). The general plan and zone change for this site were recently changed, and the proposed lot layout conforms to those changes. Please see the attached exhibits for reference. Your consideration of this request is greatly appreciated.

Sincerely,

Rick Meyer, PE
Project Engineer
Bush and Gudgell



PROJECT FLOW CARD

PP-22-0021 Sandy Creek Preliminary Plat

MEETING DATE

January 4, 2023

Planning	No concern	
Hillside	No concern	
Public Works	No concern	
Engineer	No comment	
Fire Dept.	No Concerns	
Parks/Trails	Reviewed, no comments	
Building dept	No Comment	
Washington Power	No concern	
Dixie Power	NA	
Economic Dev	Reviewed. No concerns.	

Additional Comments:

WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

AGENDA ITEM:	4a
HEARING DATE:	January 04, 2023
ACTION REQUESTED:	Preliminary Plat approval for the Sandy Creek Subdivision, located at approximately 222 West 840 South
APPLICANT:	Austin Anderson
OWNER:	Sandberg & Thomas
ENGINEER:	Rick Meyer - Bush and Gudgell
REVIEWED BY:	Eldon Gibb, City Planner
RECOMMENDATION:	Recommend approval with conditions to the City Council

Background

This item was tabled during the December 21, 2022 Planning Commission to allow time for a few minor changes to be made to the plat. The applicant is ready to move forward at this time.

The applicant is requesting approval of a Preliminary plat for the Sandy Creek subdivision, located at approximately 222 West 840 South. This particular subdivision is proposing 34 lots on an area covering 16.04 acres.

The zoning designation at this location was recently rezoned to Single Family-Residential 8,000 square foot (R-1-8) and Residential Agriculture ½ acre (RA-½). The surrounding zoning is Residential Agriculture 2-acre (RA-2) to the north, Residential Agricultural-1 acre (RA-1) to the east, Industrial (I-1) to the south and Saint George City limits to the west designated as Manufacturing zoning (M-1) with a General Plan of Medium Density Residential.

The proposed subdivision conforms to the approved zoning. The request meets the subdivision requirements and other city ordinances as it relates to this location. Staff has reviewed the request and recommends approval, with conditions, of the preliminary plat as outlined.

Recommendation

Staff recommends that the Planning Commission recommend approval of the Preliminary plat for the Sandy Creek subdivision to the City Council, based on the following findings and subject to the following conditions:

Findings

1. The preliminary plat meets the land use designation as outlined in the General Plan for the proposed area.
2. That the preliminary plat conforms to the Washington City Zoning Ordinance and Subdivision Ordinance as outlined.

Conditions

1. A preliminary and final drainage study and grading and drainage plan shall be submitted for review and approval prior to moving dirt. Development of the site shall comply with the recommendations of the geotechnical study and drainage study, and improvements for drainage and detention shall be approved by the Public Works Department.
2. A preliminary and final geotechnical study shall be submitted to the City for review and approval prior to submitting the final plat. All recommendations of the geotechnical study shall be adhered to.
3. Construction drawing for the subdivision and its infrastructure shall be submitted to the City for review and approval prior to the submittal for final plat.
4. The construction drawings shall adequately address prevention of nuisance storm water drainage across lots. If retaining walls are utilized to prevent cross-lot drainage, the developer shall be responsible for installing said retaining walls.
5. At the time of final plat submittal, the following documents shall also be submitted:
 - A. A title report
 - B. A copy of any deed restrictions, other restrictions, restrictive covenants, architectural controls, or other requirements that may apply to the development (CC&Rs).
6. All detention areas shall be landscaped and all detention and landscaped areas shall be maintained by the property owners and/or homeowners association. A note shall be placed on the plat stating that the City has the right to assess the property owners an/or homeowners association for failing to maintain the detention and landscaped areas.
7. A final landscape plan and fencing plan shall be submitted for review and approval prior to the submittal of the final plat. Landscaping and fencing shall be installed prior to the occupancy of the buildings that will be constructed along the landscaped and fenced areas.

8. All landscaping, walls and other structures shall meet sight distance requirements. A note shall be placed on the final plat stating that the City has the right to assess the property owners and/or homeowners association for failing to maintain sight distance requirements.

9. Driveway locations are to be approved by the Public Works Department.

10. Any proposed blasting for the development of the subdivision requires the submittal of a blasting plan with the construction drawings and issuance of a blasting permit.

11. That a Post Construction Maintenance Agreement be recorded prior to the recording of the final plat.

12. An LID Stormwater Quality Report needs to be submitted for review and approval to the Public Works Department before any final plat application can be submitted.

13. The developer shall install a 6 foot block wall along the southern boundary line of the subdivision to separate from the existing industrial zone to the south.



CLARITY

design group

architecture
planning
interiors

December 5, 2022

Washington City
111 North 100 East
Washington, Utah 84780

RE: Findlay Hyundai at Sienna Hills Auto Mall

To Whom it May Concern,

This letter is being written regarding the future Findlay Hyundai to be located in the Sienna Hills Auto Mall. The intended use of the building is for the sales and service of new Hyundai vehicles and other used vehicles.

The project consists of a single-story 27,856 s.f. building constructed on a 4.0-acre site.

The building structure will be primarily constructed of masonry, steel, and glass. Interior finishes include gypsum drywall, paint, tile, interior glass, and other finishes.

Please let me know if you have any questions.

Sincerely,

Troy Anderson



consultants

FINDLAY
HYUNDAI
UT011

SIENNA HILLS
AUTO MALL

WASHINGTON, UT

PROJECT NO: 21065
DRAWN BY: TA
CHECKED BY: TA

ISSUE DATE: 07/29/22
REV. DATE DESC.

SHEET TITLE

SITE PLAN

REFERENCE NOTES

01 GENERAL REQUIREMENTS

01.01 SEE SPECS FOR GENERAL REQUIREMENTS.

03 CONCRETE

03.01 NEW SIDEWALK. SEE CIVIL DRAWINGS FOR DETAILS.

03.02 NEW VEHICLE DISPLAY PAD. 6" CONCRETE OVER GRANULAR FILL. HEXAGON WITH 11'-0" LONG SIDES AND 1'-0" INTERIOR BORDER WITH 2'X2' CONCRETE STAMP PATTERN. IN-GROUND LIGHTING ON EACH SIDE (6) OF PAD TO LIGHT VEHICLE.

03.03 NEW SITE ACCESS LOCATION. SEE CIVIL DRAWINGS FOR DETAILS.

04 MASONRY

04.01 MASONRY TRASH ENCLOSURE WITH PRE-CAST CONCRETE CAP. SEE ARCHITECTURAL DETAILS. PAINTED SHERWIN WILLIAMS, "ANTLER VELVET", SW 9111.

04.02 NEW 6'-0" TALL MASONRY PRIVACY WALL WITH PRE-CAST CONCRETE CAP. MATCH MASONRY TRASH ENCLOSURE WALL DETAILS. SEE ARCHITECTURAL DETAILS. PAINTED SHERWIN WILLIAMS, "ANTLER VELVET", SW 9111.

05 STEEL

05.01 HINGED STEEL GATES. SEE ARCHITECTURAL DETAILS.

10 SPECIALTIES

10.01 NEW PYLON SIGN. GDSI-32-P-22 (32 S.F.). SIGNAGE TO BE UNDER A SEPARATE PERMIT.

10.02 HYUNDAI DIRECTIONAL SIGN (SHOWROOM, PARKING, SERVICE, PARTS). SIGNAGE TO BE UNDER A SEPARATE PERMIT.

26 ELECTRICAL

26.01 62.5 kW LEVEL 3 EV CHARGING STATION. PROVIDE ALL NECESSARY CONDUITS FOR CONNECTION.

26.02 12 kW LEVEL 2 EV CHARGING STATION INSIDE NEW VEHICLE DELIVERY BAY AND EV SERVICE BAY. SEE ELECTRICAL DRAWINGS FOR CONNECTION AND DETAILS.

26.03 ALL PARKING LOT POLE LIGHTS WITH LED FIXTURES TO BE BRONZE IN COLOR. SEE ELECTRICAL DRAWINGS FOR SPECIFICATIONS AND LOCATIONS.

32 EXTERIOR IMPROVEMENTS

32.01 NEW LANDSCAPING. SEE LANDSCAPING DRAWINGS.

32.02 NEW ASPHALT AND CONCRETE AS REQUIRED. SEE CIVIL DRAWINGS. STRIPE PARKING AREA AS INDICATED. WHITE PAINT.

33 UTILITIES

33.01 TIE NEW CONSTRUCTION INTO EXISTING UTILITIES OF BUILDING. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR COORDINATION.

TOTAL SITE AREA

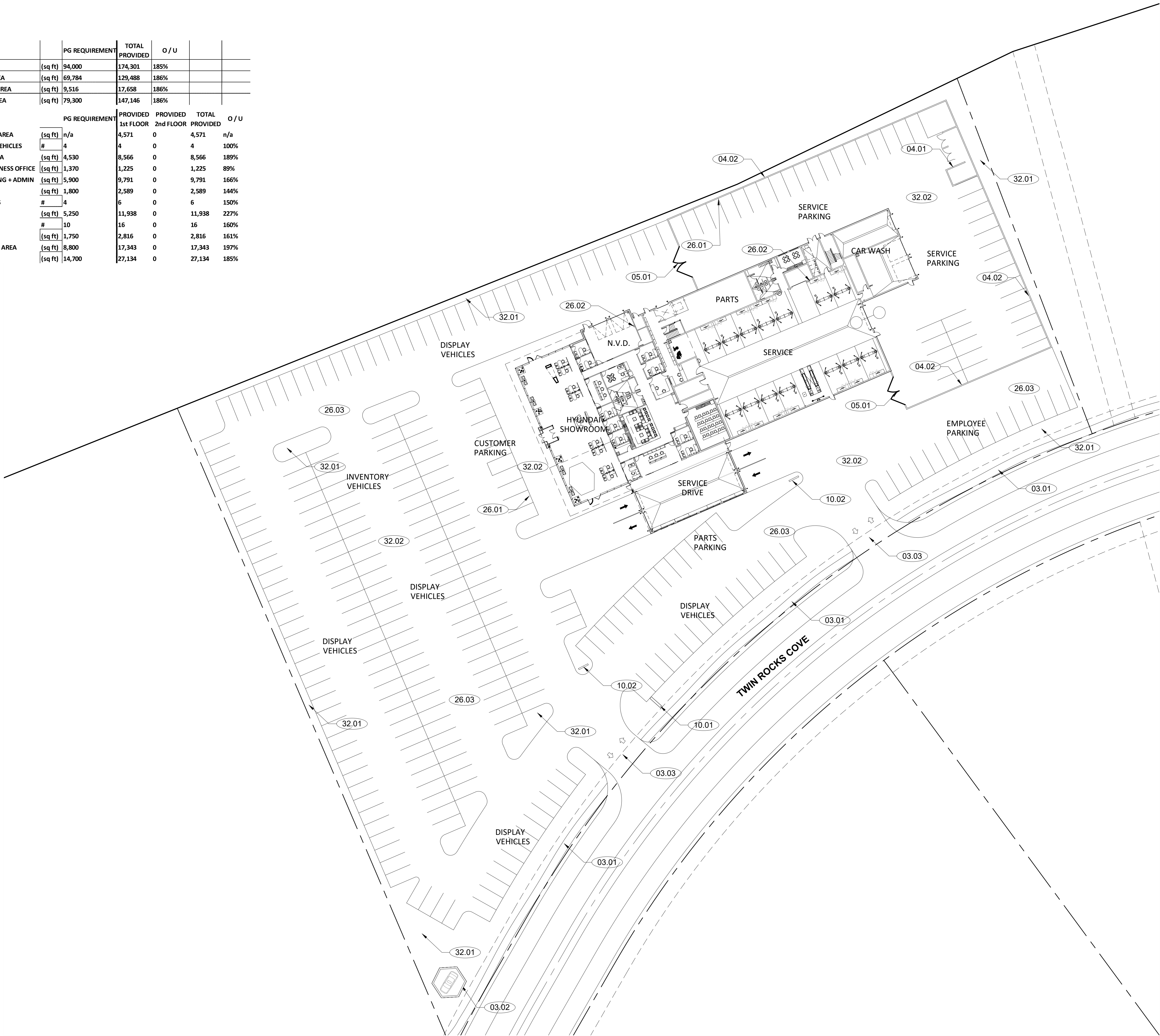
TOTAL SITE = 174,257 S.F.
BUILDING FOOTPRINT AREA = 27,757 S.F.

TOTAL BUILDING AREA

FIRST FLOOR AREA = 27,757 S.F.
SECOND FLOOR AREA = 4,546 S.F.
TOTAL BUILDING AREA = 32,303 S.F.

	PG REQUIREMENT	TOTAL PROVIDED	O / U
TOTAL SITE AREA	(sq ft) 94,000	174,301	185%
SALES USABLE LAND AREA	(sq ft) 69,784	129,488	186%
SERVICE USABLE LAND AREA	(sq ft) 9,516	17,658	186%
TOTAL USABLE LAND AREA	(sq ft) 79,300	147,146	186%

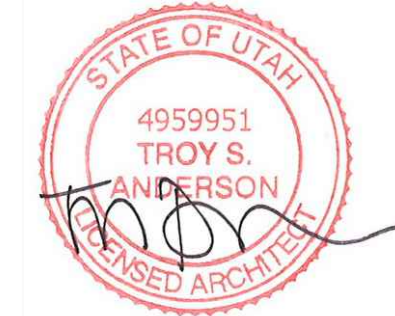
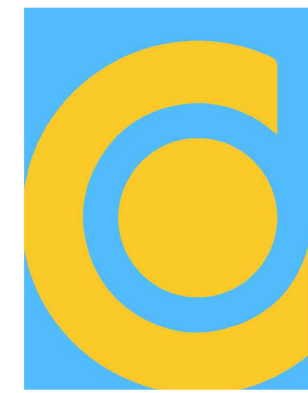
	PG REQUIREMENT	PROVIDED 1st FLOOR	PROVIDED 2nd FLOOR	TOTAL PROVIDED	O / U
SHOWROOM & OFFICE AREA	(sq ft) n/a	4,571	0	4,571	n/a
SHOWROOM DISPLAY VEHICLES	# 4	4	0	4	100%
CUSTOMER FACING AREA	(sq ft) 4,530	8,566	0	8,566	189%
GENERAL ADMIN / BUSINESS OFFICE	(sq ft) 1,370	1,225	0	1,225	89%
TOTAL CUSTOMER FACING + ADMIN	(sq ft) 5,900	9,791	0	9,791	166%
SERVICE DRIVE	(sq ft) 1,800	2,589	0	2,589	144%
SERVICE DRIVE VEHICLES	# 4	6	0	6	150%
SERVICE WORKSHOP	(sq ft) 5,250	11,938	0	11,938	227%
SERVICE BAYS & LIFTS	# 10	16	0	16	160%
PARTS DEPT/STORAGE	(sq ft) 1,750	2,816	0	2,816	161%
TOTAL SERVICE & PARTS AREA	(sq ft) 8,800	17,343	0	17,343	197%
TOTAL BUILDING AREA	(sq ft) 14,700	27,134	0	27,134	185%



01 SITE PLAN

A0.1 SCALE: 1" = 30'-0"





consultants

FINDLAY
HYUNDAI
UT011

SIENNA HILLS
AUTO MALL

WASHINGTON, UT

PROJECT NO: 21065
DRAWN BY: TA
CHECKED BY: TA

ISSUE DATE: 07/29/22
REV. DATE DESC.
1 10/11/22 REVISION

SHEET TITLE

COLORLED
ELEVATIONS

A2.1 C

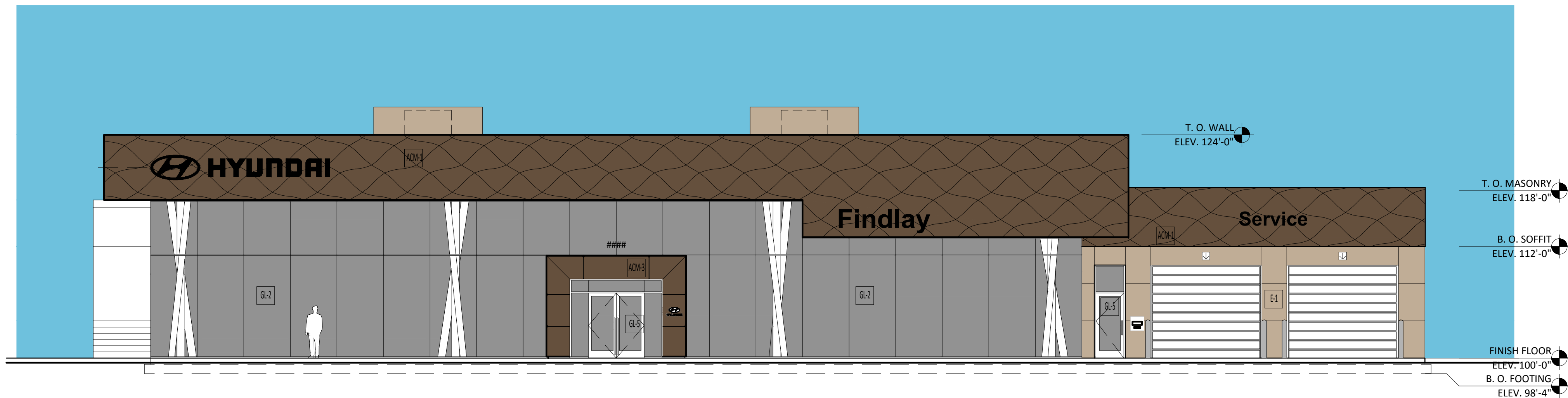
EXTERIOR FINISH LEGEND:

- ACM-1 SHAPED SKY METAL FASCIA, HMA SURVEY VENDOR COMPLETE RAIN SCREEN ACM SYSTEM.
BASE ACM LAYER: BLACK ACM RAINSCREEN (BY HMA APPROVED ACM VENDOR) INSTALLED OVER SHEET APPLIED WATER PROOF MEMBRANE.
OUTER ACM LAYER: 4MM ACM SHAPED SKY PANEL OVERLAY, BRONZE (BY HMA APPROVED ACM VENDOR)
- ACM-3 BRONZE ACM ENTRY ELEMENT, AS MANUFACTURED AND INSTALLED BY HMA'S APPROVED SIGN VENDOR OVER WATERPROOF EXTERIOR WALL ASSEMBLY BY CONTRACTOR.
- ACM-4 FLAT BRONZE ACM, PROVIDED AND INSTALLED BY HMA'S APPROVED VENDOR. INSTALLED OVER SHEET APPLIED WATER PROOF MEMBRANE.
- E-1 EIFS, DRYVIT, OUTSULATION PLUS, P8
COLOR: MATCH P-1
- E-2 EIFS, DRYVIT, OUTSULATION PLUS, WITH PM MESH
COLOR: MATCH P-2
- GL-2 GLAZING SYSTEM: EXTERIOR CURTAIN WALL KAWNEER, 1600 WALL SYSTEM 2 CURTAIN WALL, CLEAR ANODIZED ALUMINUM FINISH. STRUCTURAL SILICON GLAZING (SSG) AT VERTICAL MULLIONS AT 5'-0" O.C., EXPRESSED CLEAR ANODIZED FRAME AT HORIZONTAL MULLION. GLAZING AT EXTERIOR CURTAIN WALL TO BE VITRO'S COMMERCIAL INSULATING GLASS UNIT, WITH SOLARBAN 72 ON STAIRPHIRE GLASS AND CLEAR GLASS INTERIOR LITE. THERMALLY BROKEN FRAME. NOTE THAT THE EXTERIOR CORNERS HAVE A SINGLE MITERED MULLION AND THAT THE GLAZING IS BUTT-JOINTED ON THE EXTERIOR PER THE MANUFACTURERS INSTALLATION RECOMMENDATIONS.
- GL-5 GLAZING SYSTEM: CLEAR ANODIZED EXTERIOR STOREFRONT, STRUCTURAL SILICON GLAZING KAWNEER, 451 STICK SYSTEM
LOW E CLEAR GLASS, THERMALLY BROKEN FRAME
- P-1 PAINT - EXTERIOR
SHERWIN WILLIAMS, COLOR: ANTLER VELVET #5W9111, SEMI-GLOSS FINISH
- P-2 PAINT - EXTERIOR
SHERWIN WILLIAMS, COLOR: KAFFEE #5W6104 SEMI-GLOSS FINISH

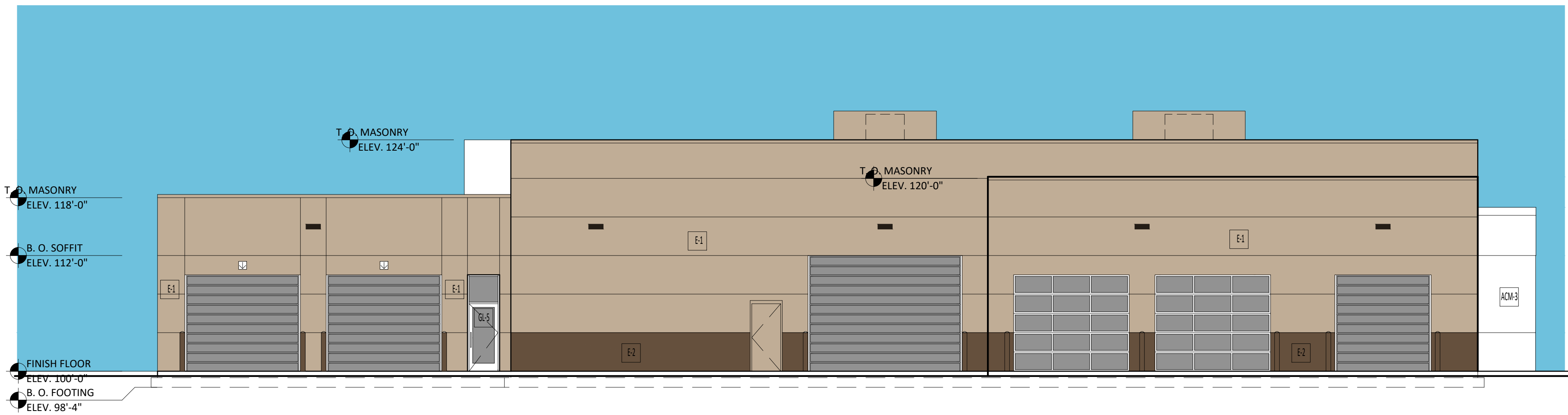
ACM

P-1/E-1

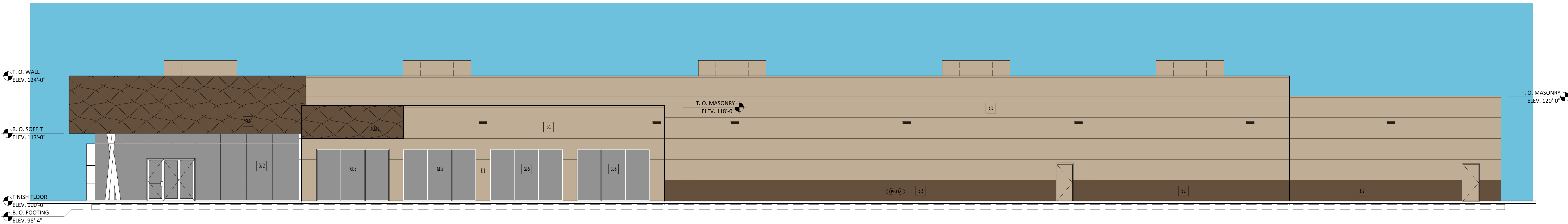
P-2/E-2



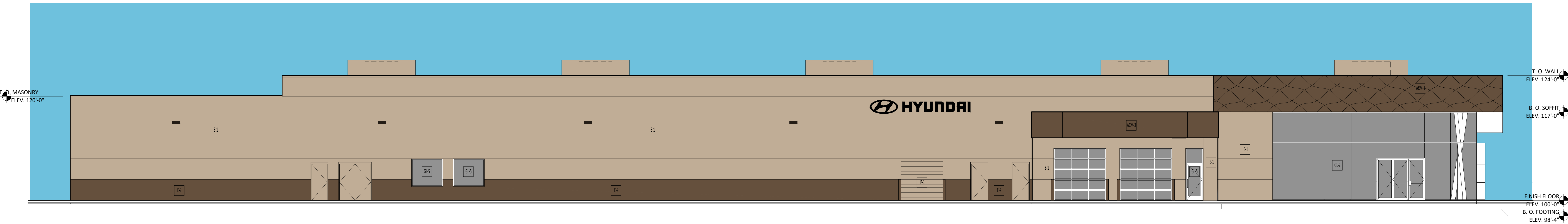
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



consultants

FINDLAY
HYUNDAI
UT011

SIENNA HILLS
AUTO MALL

WASHINGTON, UT

PROJECT NO: 21065
DRAWN BY: TA
CHECKED BY: TA

ISSUE DATE: 07/29/22
REV. DATE DESC
1 10/11/22 REVISION

SHEET TITLE

BUILDING
EXAMPLES



consultants

FINDLAY
HYUNDAI
UT011
SIENNA HILLS
AUTO MALL
WASHINGTON, UT

PROJECT NO: 21065
DRAWN BY: TA
CHECKED BY: TA

ISSUE DATE: 07/29/22
REV. DATE DESC.

SHEET TITLE

BUILDING
ELEVATIONS

REFERENCE NOTES

- 03 CONCRETE**
- 03.01 NEW FOOTING AND FOUNDATION MIN 12" BELOW GRADE, SEE STRUCTURAL.
- 05 METALS**
- 05.01 FACTORY PAINTED CONTINUOUS METAL COPING. WHERE COPING EXISTS, REPLACE WITH NEW. IMCI BROWNSTONE.
- 05.02 "SHAPE SKY" ACM PANEL SYSTEM
- 05.03 EXPANSION JOINT. SEE DETAIL -/-.
- 05.04 INCLINED TUBE STEEL COLUMNS, PAINTED. SEE DETAILS
- 05.05 PIPE BOLLARDS TO BE PAINTED P-2.
- 05.06 CITYSCAPES RTU SCREEN WALL. ENVISOR 52" WITH 24 GAUGE HORIZONTAL 7.2 RIB PANELS AND LINEAL BAND TOP TRIM. ARCHITECT TO CHOOSE COLOR FROM MANUFACTURER'S AVAILABLE OPTIONS.
- 08 OPENINGS**
- 08.01 HOLLOW METAL SERVICE DOOR, PAINTED P-1. SHERWIN WILLIAMS PRO INDUSTRIAL ZERO VOC ACRYLIC SEMI-GLOSS
- 08.02 OVERHEAD DOOR. RYTEC SPIRAL FULL VISION DOOR WITH 9" ALUMINUM FRAMED VISION SLATS
- 08.03 OVERHEAD ALUMINUM DOORS WITH GLASS LITES. SEE DOOR SCHEDULE.
- 08.04 HORIZONTAL MULLION AT 11'-0" A.F.F. THIS IS THE ONLY EXPOSED MULLION. ALL VERTICAL GLASS JOINTS ARE SILICONE BUTT JOINTS.
- 08.05 OVERHEAD DOOR. GLASS SECTIONAL, SEE DOOR SCHEDULE
- 09 FINISHES**
- 09.01 SPLIT-FACED MASONRY. PAINTED P2. CONTRACTOR TO PROVIDE ALTERNATE FOR INTEGRALLY COLORED MASONRY FROM LOCAL SUPPLIER TO MATCH P-2 COLOR.
- 09.02 EIFS OVER 2" RIGID INSULATION. SEE WALL SECTIONS.
- 10 SPECIALTIES**
- 10.01 HYUNDAI BUILDING SIGNAGE. HCS-43F HCL-20F. SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
- 10.02 DEALER NAMEPLATE, MURDOCK - DNF-24F, SERVICE - SW-18F. SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
- 10.03 PROVIDE THRU-WALL KEY NIGHT DROP BOX. GDSI W466502-C12000
- 10.04 HYUNDAI BUILDING SIGNAGE. HCS-32F HCL-23F. SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
- 10.05 STORE INFORMATION AND HOURS. WHITE VINYL LETTERS AND NUMBERS IN HYUNDAI APPROVED FONT. SEE CDD 3.12
- 10.06 8" TALL WHITE VINYL ADDRESS NUMBERS.
- 10.07 HYUNDAI BUILDING SIGNAGE. SW-18F. SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
- 26 ELECTRICAL**
- 26.01 NEW WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL. DARK BRONZE COLOR.
- 26.02 SERVICE LANE SIGNALS - SIGNAL-TECH, TCL SERIES, X/DOWN ARROW LED SIGN (ITEM #5492 [TCL 1010RG-175DS). FINISH: DURANDONIC BRONZE CABINET, SEE ELECTRICAL.
- 31 EARTHWORK**
- 31.01 SLOPE GRADE AWAY FROM BUILDING ALL AROUND, TYPICAL.

EXTERIOR FINISH LEGEND:

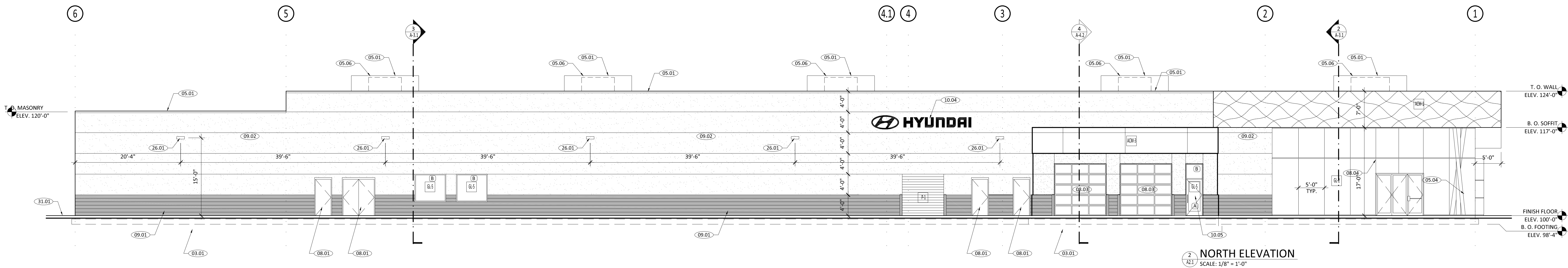
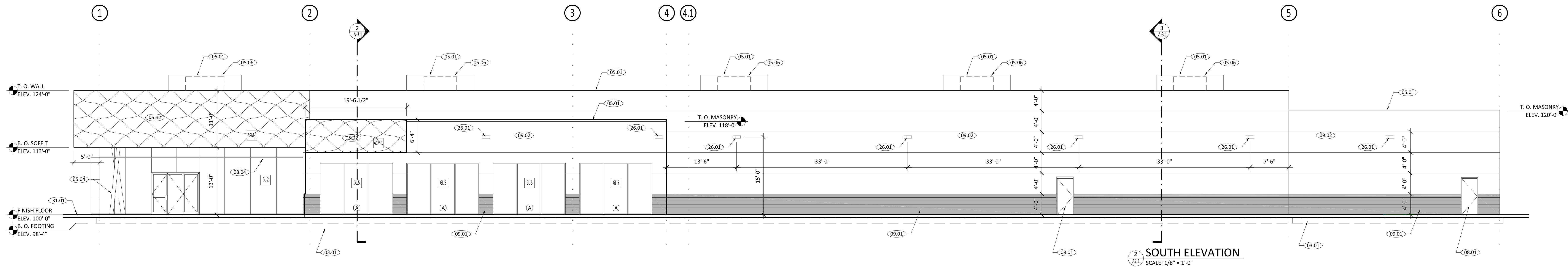
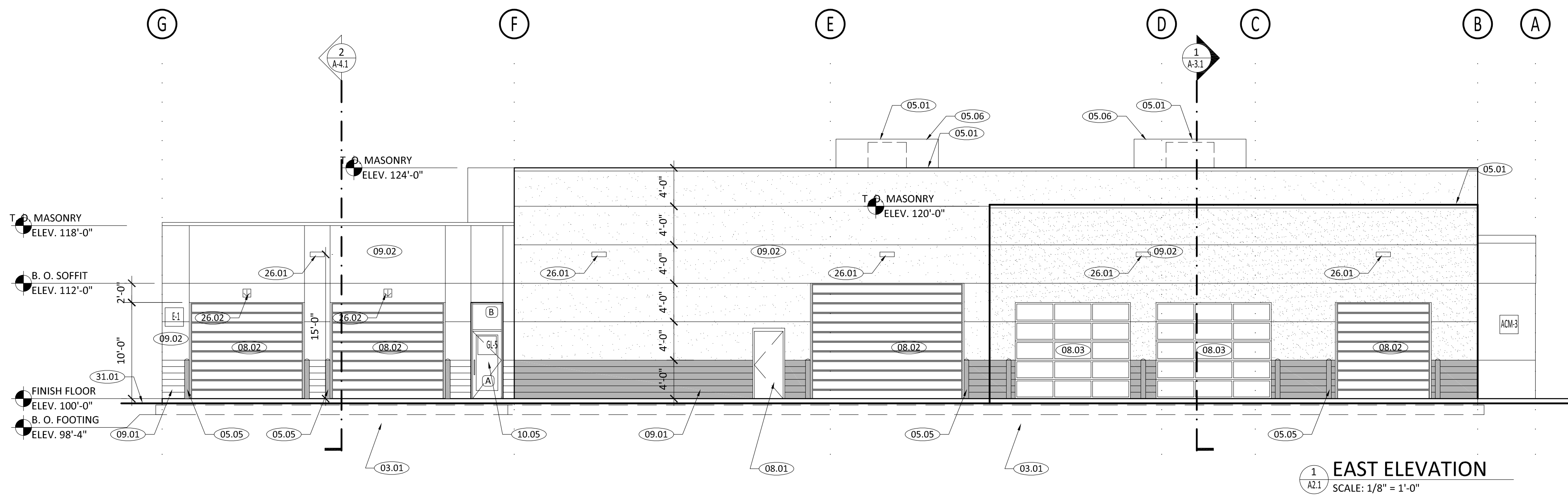
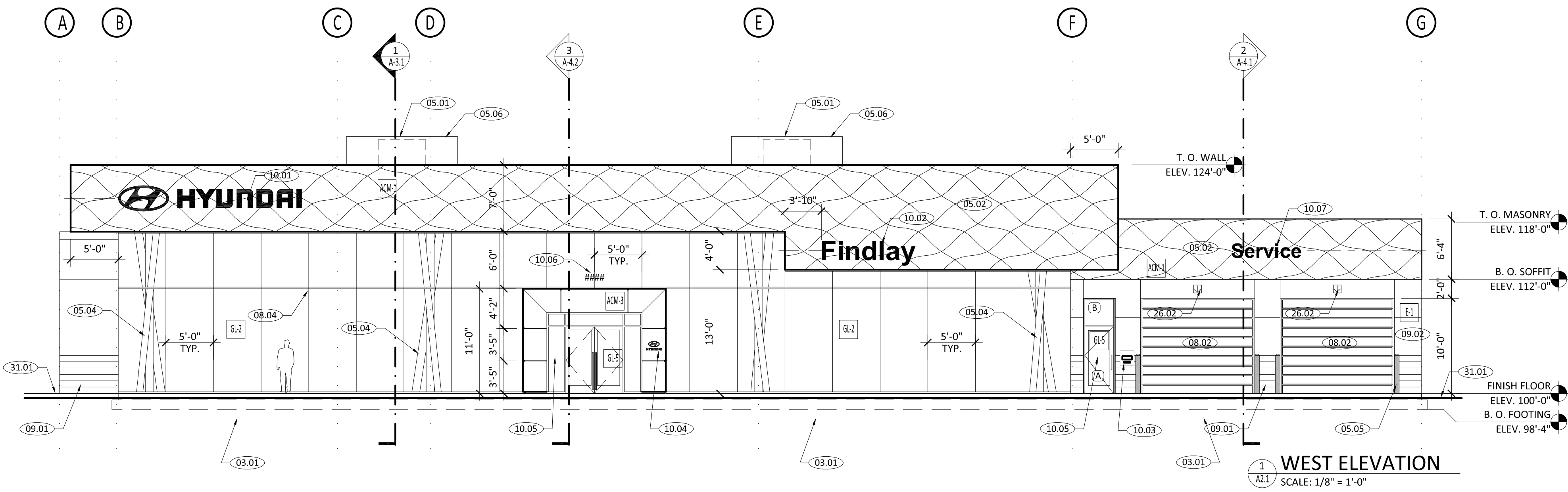
- ACM-1 SHAPED SKY METAL FASCIA, HMA SURVEY VENDOR COMPLETE RAIN SCREEN ACM SYSTEM. BASE ACM LAYER: BLACK ACM RAINSCREEN (BY HMA APPROVED ACM VENDOR) INSTALLED OVER SHEET APPLIED WATER PROOF MEMBRANE. OUTER ACM LAYER: 4MM ACM SHAPED SKY PANEL OVERLAY, BRONZE (BY HMA APPROVED ACM VENDOR)
- ACM-3 ENTRY ELEMENT, HMA SURVEY VENDOR COLOR: HYUNDAI NORTH AMERICA BRONZE FRAME OPENING AROUND DOOR, PROVIDE CIRCUIT FOR SIGN
- E-1 EIFS, DRYVIT, OUTSULATION PLUS COLOR: MATCH P-1
- E-2 EIFS, DRYVIT, OUTSULATION PLUS COLOR: MATCH P-2
- GL-2 GLAZING SYSTEM: EXTERIOR CURTAIN WALL KAWNEER, 1600 WALL SYSTEM 2 CURTAIN WALL, CLEAR ANODIZED ALUMINUM FINISH. STRUCTURAL SILICON GLAZING (SSG) AT VERTICAL MULLIONS AT 5'-0" O.C., EXPRESSED CLEAR ANODIZED FRAME AT HORIZONTAL MULLION. GLAZING AT EXTERIOR CURTAIN WALL TO BE VITRO'S COMMERCIAL INSULATING GLASS UNIT, WITH SOLARBAN 72 ON STARPHIRE GLASS AND CLEAR GLASS INTERIOR LITE. THERMALLY BROKEN FRAME.
- GL-5 GLAZING SYSTEM: CLEAR ANODIZED EXTERIOR STOREFRONT KAWNEER, TRIFAB 451 SYSTEM LOW E CLEAR GLASS, THERMALLY BROKEN FRAME
- P-1 PAINT - EXTERIOR SHERWIN WILLIAMS, COLOR: ANTLER VELVET #SW9111, SEMI-GLOSS FINISH
- P-2 PAINT - EXTERIOR SHERWIN WILLIAMS, COLOR: KAFFEE #SW6104 SEMI-GLOSS FINISH

GLAZING TYPES:

- (A) 1" CLEAR PPG SOLARBAN 60, INSULATED, LOW-E, TEMPERED GLASS, SEALED.
- (B) 1" CLEAR PPG SOLARBAN 60, INSULATED, LOW-E, SEALED.

GLAZING PERFORMANCE VALUES:

INDOOR LITE: CLEAR FLOAT GLASS
OUTDOOR LITE: SOLARBAN 72 ON STARPHIRE GLASS
VISIBLE LIGHT TRANSMISSION: 63%
SHGC: 0.29
NFRC CERTIFICATE FOR THE SITE-BUILT GLAZING TO BE PROVIDED TO BUILDING INSPECTOR AT THE TIME OF FINAL INSPECTION





consultants

FINDLAY
HYUNDAI
UT011

SIENNA HILLS
AUTO MALL

WASHINGTON, UT

REFERENCE NOTES

01 GENERAL REQUIREMENTS

- 01.01 SEE SPECS FOR GENERAL REQUIREMENTS.
01.02 DIMENSIONS ARE TO FACE OF FINISH MATERIAL UNLESS NOTED OTHERWISE.

03 CONCRETE

- 03.01 SLOPE SIDEWALKS/DRIVE LANES AWAY FROM BUILDING ALL AROUND, TYPICAL. MAX. 1/4" PER FOOT IN FRONT OF EXIT DOORS. SEE CIVIL DRAWINGS FOR CONTINUATION OF SIDEWALKS.
03.02 NEW CONCRETE SLAB ON GRADE OVER GRANULAR FILL OVER 10 MIL. VAPOR BARRIER, SEE STRUCTURAL. SEE STRUCTURAL DRAWINGS FOR CONCRETE THICKNESS, EXPANSION AND CONTROL JOINTS.

05 METALS

- 05.01 STEEL COLUMN. WHERE EXPOSED, COLUMNS SHALL BE PRIMED AND PAINTED. SEE FINISH SCHEDULE.
05.02 STEEL JOISTS/BEAMS, SEE STRUCTURAL.
05.03 SEE WALL SCHEDULE FOR TYPES AND SIZES OF FRAMING.
05.04 CITYSCAPE RTU SCREEN WALL. ENVISOR 5.2" WITH 24 GAUGE HORIZONTAL 7.2 RIB PANELS AND LINEAL BAND TOP TRIM. ARCHITECT TO CHOOSE COLOR FROM MANUFACTURER'S AVAILABLE OPTIONS.

07 THERMAL AND MOISTURE

- 07.01 SEE WALL SECTIONS AND SPECIFICATIONS FOR REQUIRED MOISTURE BARRIER.
07.02 R-19 BATT INSULATION IN METAL STUD WALL CAVITY.
07.03 EIFS OVER 2" RIGID INSULATION. SEE ELEVATIONS AND WALL SECTIONS FOR DETAILS AND SPECIFICATIONS.
07.04 ACM SYSTEM. SEE ELEVATIONS AND DETAILS FOR COLOR AND MANUFACTURER.
07.05 NEW 60 MIL SINGLE PLY ROOF MEMBRANE WITH 15 YEAR WARRANTY OVER RIGID INSULATION BOARD OVER METAL DECKING, MECHANICALLY FASTENED, MINIMUM SLOPE OF 1/4" PER FOOT, MATCH EXISTING.
07.06 ROOF INSULATION SHALL BE TWO LAYERS OF 3" RIGID INSULATION BOARD, R-36 MIN., SEE SPECS.

08 OPENINGS

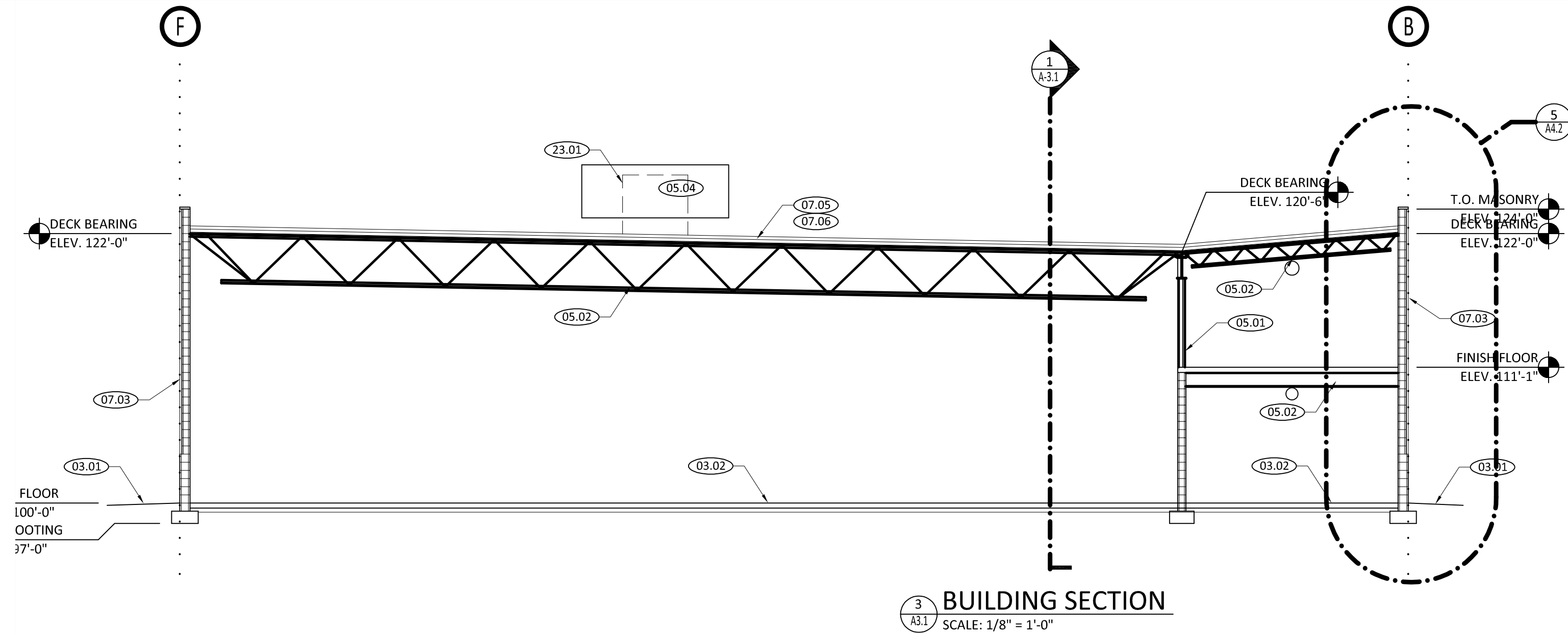
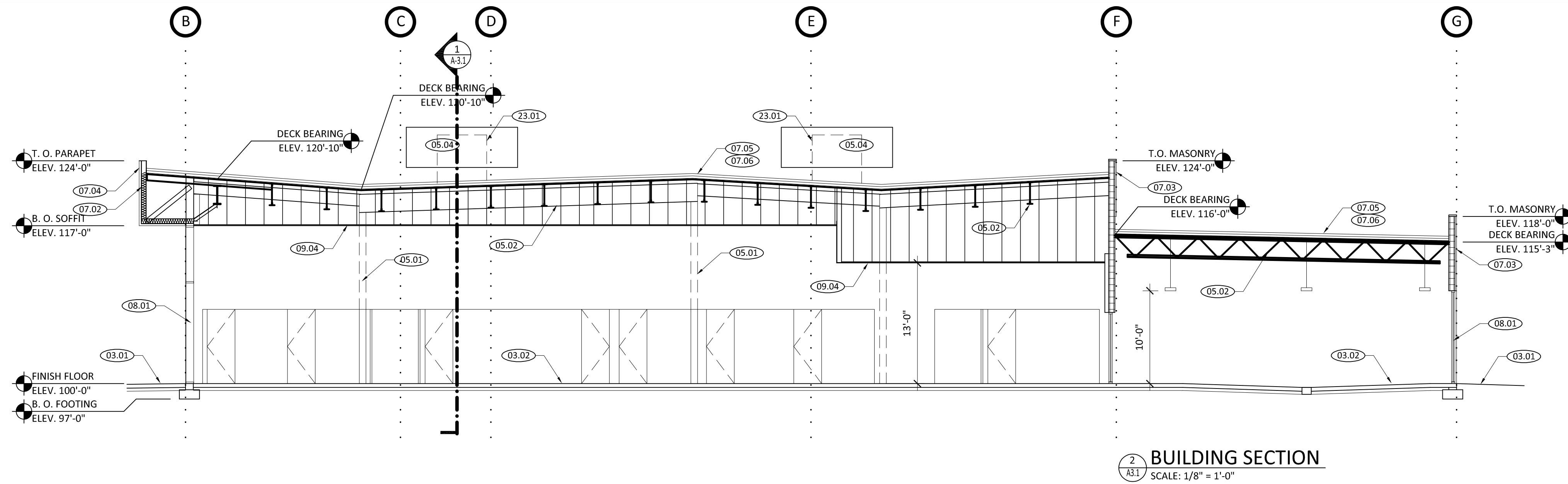
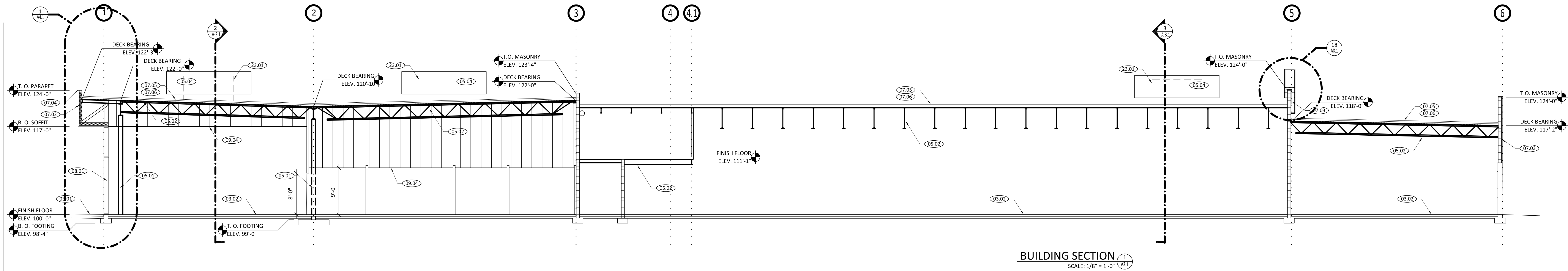
- 08.01 ALUMINUM CURTAIN WALL/STOREFRONT. SEE PLANS AND ELEVATIONS FOR DIMENSIONS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

09 FINISHES

- 09.01 SEE ELEVATIONS FOR ALL EXTERIOR FINISHES
09.02 SEE FINISH PLANS FOR INTERIOR DETAIL
09.03 SEE WALL LEGEND AND ASSOCIATED DETAILS FOR ALL WALL TYPES
09.04 SUSPENDED CEILING SYSTEM. SEE REFLECTED CEILING PLAN FOR SPECIFICATIONS.

23 HVAC

- 23.01 NEW PRE-FABRICATED ROOF TOP UNITS, SEE MECHANICAL DRAWINGS. CONTRACTOR TO COORDINATE ROOF OPENING SIZE AND LOCATION FOR MECHANICAL EQUIPMENT INSTALLATION.



PROJECT NO: 21065
DRAWN BY: TA
CHECKED BY: TA

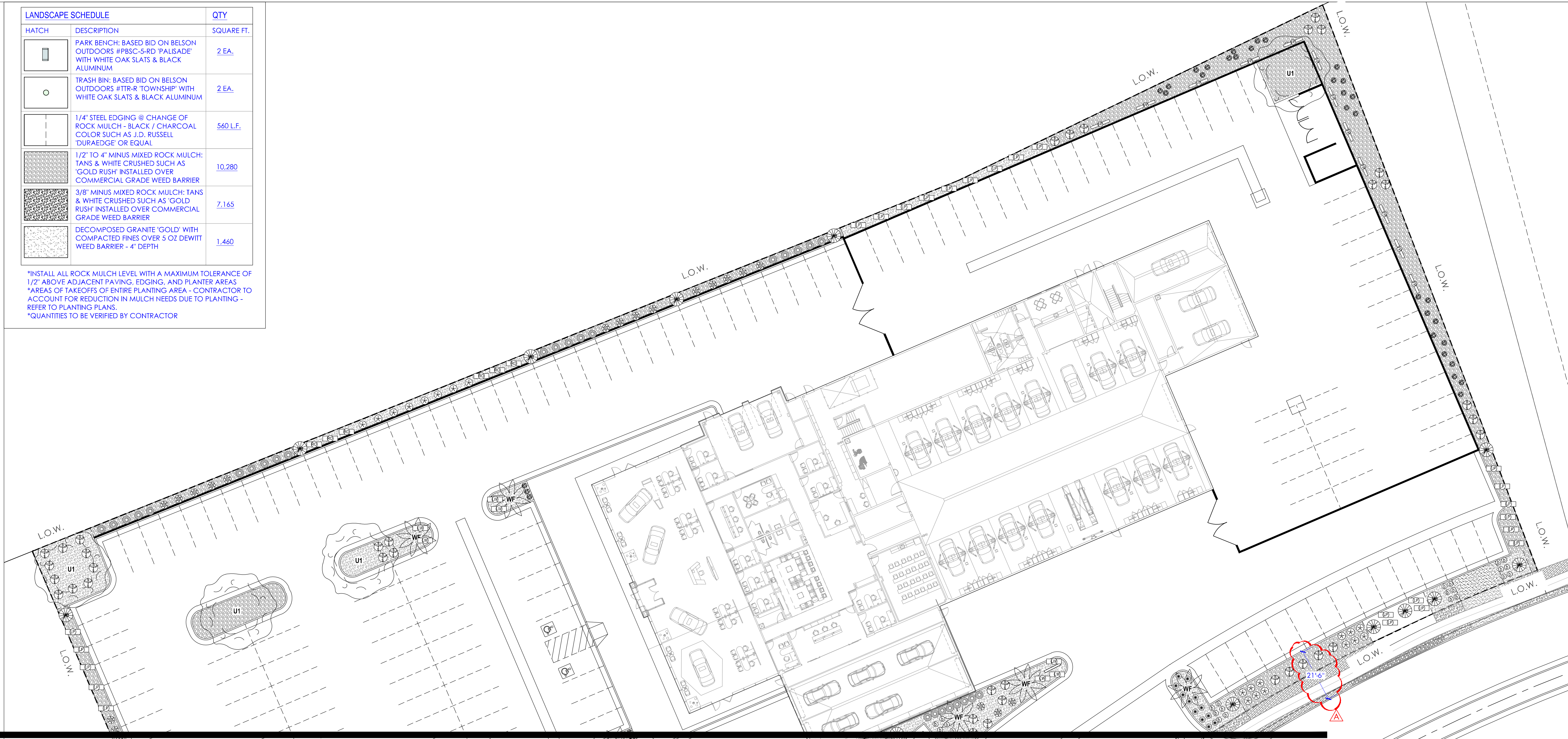
ISSUE DATE: 07/29/22
REV. DATE DESC.

SHEET TITLE

BUILDING
SECTIONS

LANDSCAPE SCHEDULE		QTY
HATCH	DESCRIPTION	SQUARE FT.
	PARK BENCH: BASED BID ON BELSON OUTDOORS #PBSC-5-RD 'PALISADE' WITH WHITE OAK SLATS & BLACK ALUMINUM	2 EA.
	TRASH BIN: BASED BID ON BELSON OUTDOORS #TTR-R 'TOWNSHIP' WITH WHITE OAK SLATS & BLACK ALUMINUM	2 EA.
	1/4" STEEL EDGING @ CHANGE OF ROCK MULCH - BLACK / CHARCOAL COLOR SUCH AS J.D. RUSSELL 'DURAEDGE' OR EQUAL	560 L.F.
	1/2" TO 4" MINUS MIXED ROCK MULCH: TANS & WHITE CRUSHED SUCH AS 'GOLD RUSH' INSTALLED OVER COMMERCIAL GRADE WEED BARRIER	10,280
	3/8" MINUS MIXED ROCK MULCH: TANS & WHITE CRUSHED SUCH AS 'GOLD RUSH' INSTALLED OVER COMMERCIAL GRADE WEED BARRIER	7,165
	DECOMPOSED GRANITE 'GOLD' WITH COMPACTED FINES OVER 5 OZ DEWITT WEED BARRIER - 4" DEPTH	1,460

*INSTALL ALL ROCK MULCH LEVEL WITH A MAXIMUM TOLERANCE OF 1/2" ABOVE ADJACENT PAVING, EDGING, AND PLANTER AREAS
*AREAS OF TAKEOFFS OF ENTIRE PLANTING AREA - CONTRACTOR TO ACCOUNT FOR REDUCTION IN MULCH NEEDS DUE TO PLANTING - REFER TO PLANTING PLANS.
*QUANTITIES TO BE VERIFIED BY CONTRACTOR



MATCHLINE - SEE SHEET L1-02

LANDSCAPE CALCULATIONS		
TOTAL LOT AREA:	REQUIRED: NA	PROVIDED: 174,301
LANDSCAPE AREAS:	5% 8,715 S.F.	7.75% 13,500 S.F.
REQUIRED LIVE VEGETATION:	1/2 OF REQUIRED L.A. 4,358 S.F.	4% 7,107 S.F.

LANDSCAPE PLANTING NOTES

- CONTRACTOR IS RESPONSIBLE TO FURNISH PLANT MATERIAL THAT IS PEST AND DISEASE FREE AND TO MAINTAIN AND WARRANTY PLANT MATERIAL THROUGHOUT CONSTRUCTION AND MAINTENANCE PERIOD
- CONTRACTOR TO WARRANTY PLANT MATERIAL, TYPICALLY FOR A (1) YEAR PERIOD OF TIME
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- DEPENDING ON PLANT AVAILABILITY, CONTRACTOR SHOULD ATTEMPT TO FIND PLANT MATERIAL OF LIKE KIND THAT IS APPROXIMATELY THE SAME HEIGHT AND GROWTH HABIT. HOWEVER, ALL VARIETIES SHALL MATCH EACH OTHER WHEN INSTALLED I.E. NO PARTIAL PLANTING SUBSTITUTIONS. IF A NEW VARIETY IS APPROVED, THE SAME PLANT VARIETY SHALL BE USED THROUGHOUT THE ENTIRETY OF THE PROJECT SCOPE
- DOUBLE STAKE ALL TREES UNDER 2" CALIPER UNTIL MATURITY
- ALL SHRUBS AND TREES TO BE CONTAINER GROWN OR BE BALLED AND BURLAPPED
- ALL PLANTING SHALL ACCOUNT FOR SPOILS TO PROVIDE A SMOOTH TRANSITION
- INSTALL COMMERCIAL GRADE WEED BARRIER FABRIC TO ALL PLANTING AREAS AND PLANTER BEDS WITH 6" LANDSCAPE STAPLES PER INDUSTRY STANDARDS. NO WEED BARRIER TO BE VISIBLE
- ALL PLANT MATERIALS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY ASSOCIATION, INC.
- FERTILIZE ALL SHRUBS AND TREES WITH FERTILIZER TABLETS

LANDSCAPE GENERAL NOTES

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EXISTING CONDITIONS:

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SITE PREPARATION:

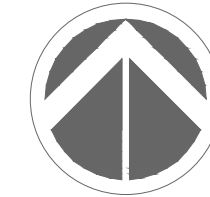
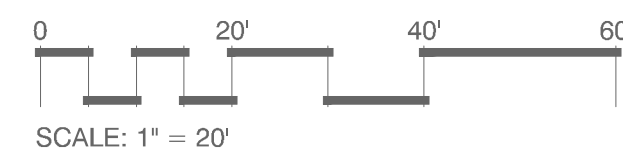
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SIENNA HILLS - HYUNDAI - PLANT SCHEDULE

TREES				
SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME
U1	7	24" BOX	ULMUS PARVIFOLIA	EVERGREEN ELM
WF	16	10" BTH	WASHINGTONIA FILLIFERA	CALIFORNIA FAN PALM
EVERGREEN SHRUBS				
QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW
50	5 GAL.	EURYOPS PECTINATUS 'VIRIDIS'	GREEN-LEAVED EURYOPS	42"x48"
37	5 GAL.	MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE	36"x36"
PERENNIALS				
QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW
61	3 GAL.	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	48"x48"
DESERT ORNAMENTALS - INSTALL IN AMENDED SOIL // KEEP ROCK MULCH 12" CLEAR OF CENTER				
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11	5 GAL.	AGAVE VILMORINIANA	OCTOPUS AGAVE	36"x48"
67	1 GAL.	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	24"x24"
28	5 GAL.	YUCCA ELATA	SOAP TREE YUCCA	72"x72"
ORNAMENTAL GRASSES				
QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW
45	1 GAL.	BOUTELOUA GRACILLIS 'BLONDE AMBITION'	BLUE OAT GRASS	24"x24"
68	1 GAL.	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	18"x18"
32	1 GAL.	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	REGAL MIST GRASS	36"x36"
GROUND COVERS/VINES - INSTALLED OVER NATIVE SOIL // KEEP ROCK MULCH 24" CLEAR OF CENTER				
QTY	SIZE	BOTANICAL NAME	COMMON NAME	SPREAD
46	1 GAL.	LANTANA MONTEVIDENSIS 'PURPLE'	PURPLE TRAILING LANTANA	4'-7"
39	1 GAL.	LANTANA MONTEVIDENSIS 'ALBA'	WHITE TRAILING LANTANA	4'-7"
12	1 GAL.	FICUS PUMILA (STAKED VINE VARIETY)	CREEPING FIG "WALLS"	10'
23	1 GAL.	ROSMARINUS O. 'HUNTINGTON CARPET'	CREEPING ROSEMARY	4'-8"

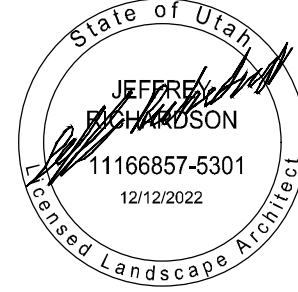
KEY MAP

N.T.S.



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S.C. UTAH 84101
OFFICE: 801.521.2370
WWW.JRICHARDSONBLANDFORMDESIGNGROUP.COM

CONTACT
JEFF RICHARDSON
JRICHARDSON@LANDFORMDESIGNGROUP.COM



SIENNA HILLS
FINDLAY HYUNDAI
WASHINGTON UTAH

DATE: 10-27-2022 ISSUED FOR: 1st Submittal

12-12-2022 Resubmit

City Comment

LANDSCAPE
PLAN

L1-01

MATCHLINE - SEE SHEET L1-01

MATCHLINE - SEE SHEET L1-01

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LANDSCAPE SCHEDULE		QTY
HATCH	DESCRIPTION	SQUARE FT.
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	1/2" TO 4" MINUS MIXED ROCK MULCH: TANS & WHITE CRUSHED SUCH AS 'GOLD RUSH' INSTALLED OVER COMMERCIAL GRADE WEED BARRIER	10,280
	3/8" MINUS MIXED ROCK MULCH: TANS & WHITE CRUSHED SUCH AS 'GOLD RUSH' INSTALLED OVER COMMERCIAL GRADE WEED BARRIER	7,165
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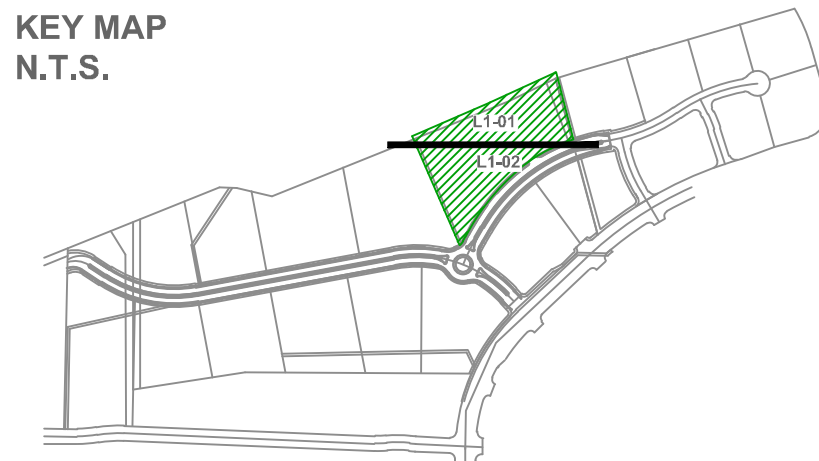
LANDSCAPE CALCULATIONS

TOTAL LOT AREA:	REQUIRED:	PROVIDED:
LANDSCAPE AREAS:	NA	174,301
	5%	7.75%
	8,715 S.F.	13,500 S.F.
REQUIRED LIVE VEGETATION:	1/2 OF REQUIRED L.A.	4%
	4,358 S.F.	7,107 S.F.

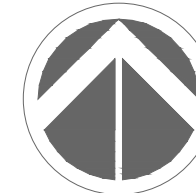
SIENNA HILLS - HYUNDAI - PLANT SCHEDULE

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EVERGREEN SHRUBS					
QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	LIVE COVERAGE
50	5 GAL.	EURYOPS PECTINATUS 'VIRIDIS'	GREEN-LEAVED EURYOPS	42'x48'	50x12.5 = 625
37	5 GAL.	MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE	36'x36'	37x7 = 259
PERENNIALS					
QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	LIVE COVERAGE
61	3 GAL.	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	48'x48'	61x12.5 = 762
DESERT ORNAMENTALS - INSTALL IN AMENDED SOIL / KEEP ROCK MULCH 12" CLEAR OF CENTER					
QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	LIVE COVERAGE
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67	1 GAL.	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	24'x24'	67x3.25 = 218
28	5 GAL.	YUCCA ELATA	SOAPTREE YUCCA	72'x72'	28x28.25 = 791
ORNAMENTAL GRASSES					
QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	LIVE COVERAGE
45	1 GAL.	BOUTELOUA GRACILLIS 'BLONDE AMBITION'	BLUE OAT GRASS	24'x24'	45x3.25 = 146
68	1 GAL.	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	18'x18'	68x1.75 = 119
32	1 GAL.	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	REGAL MIST GRASS	36'x36'	32x7 = 224
GROUNDCOVERS/VINES - INSTALLED OVER NATIVE SOIL // KEEP ROCK MULCH 24" CLEAR OF CENTER					
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46	1 GAL.	LANTANA MONTEVIDENSIS 'PURPLE'	PURPLE TRAILING LANTANA	4'-7"	46x30 = 1,380
39	1 GAL.	LANTANA MONTEVIDENSIS 'ALBA'	WHITE TRAILING LANTANA	4'-7"	39x30 = 1,170
12	1 GAL.	FICUS PUMILA (STAKED VINE VARIETY)	CREEPING FIG "WALLS"	10'	12x45 = 540
23	1 GAL.	ROSMARINUS O. 'HUNTINGTON CARPET'	CREEPING ROSEMARY	4'-8"	23x32 = 736

KEY MAP
N.T.S.

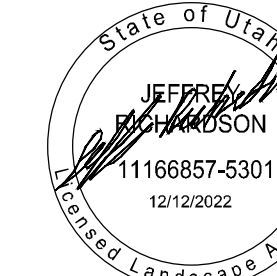


0 20' 40' 60'
SCALE: 1" = 20'



511 W. 200 S. SUITE 125
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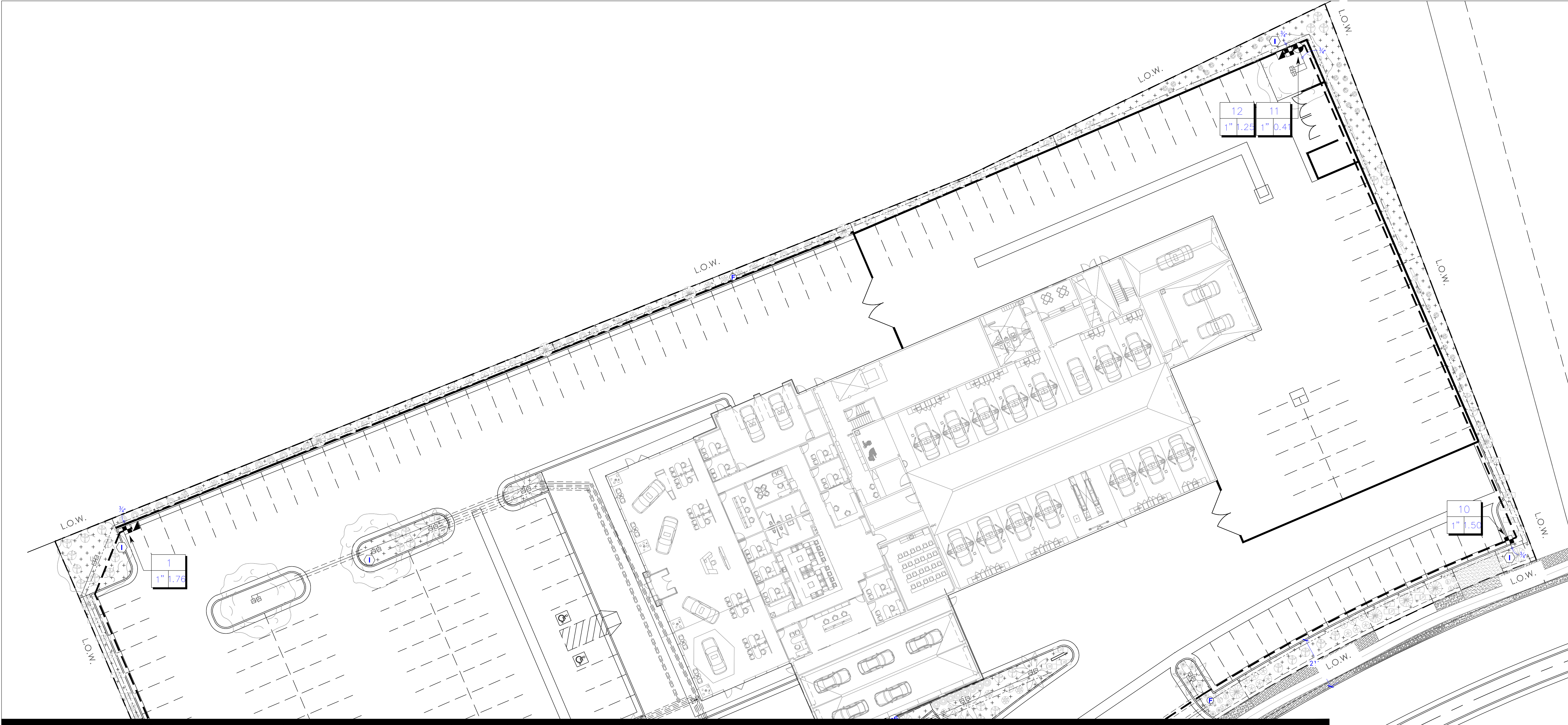
SIENNA HILLS
FINDLAY HYUNDAI
WASHINGTON UTAH

DATE: ISSUED FOR:

07-21-2022 1st Submittal
10-27-2022 Resubmit
12-12-2022 City Comment

LANDSCAPE
PLAN

L1-02



MATCHLINE - SEE SHEET L2-02

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	DETAIL	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
	Rain Bird 1806-SAM-PRS SQ Series Shrub Spray 6" Pop-Up Sprinkler with Co-Molded Wiper Seal, 1/2" NPT Female Threaded Inlet, With Seal-A-Matic Check Valve, and Pressure Regulating Device.	30	1/L2-03		Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	7/L2-03
	Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.				Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.	8/L2-03
	Rain Bird XCZ-100-FLOW Wide Flow Drip Control Kit for Commercial Applications, 1" Ball Valve with 1" PESB Valve 0.3-20 gpm and 1" Pressure Regulating 40psi Flow-Indicating Basket Filter 0.3-20 gpm.	2/L2-03			Nibco T-113 Class 125 bronze gate shut off valve with wheel handle, same size as mainline pipe diameter at valve location. Size Range - 1/4" - 3"	9/L2-03
	Netafim TL050MFV-1 Automatic flush valve, 1/2" male pipe thread. Placed at the low end of the lateral run.	3/L2-03			Rain Bird PEB (MV) 1-1/2" 1", 1-1/2", 2" Plastic Industrial Master Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	1/L2-04
	Rain Bird OPERIND Drip System Operation Indicator, stem rises 6" for clear visibility when drip system is charged to a minimum of 20psi. Includes 16" of 1/4" distribution tubing with connection fitting pre-installed.	4/L2-03			Febco 825VA 3/4" Reduced Pressure Backflow Preventer in Guardsack Security Enclosure	2/L2-04 3/L2-04
	Area to Receive Drip Emitters Rain Bird XBCV-PC-1032 Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5 GPH=blue, 1.0 GPH=black, and 2.0 GPH=red. Comes with a 10-32 threaded plug x barb outlet. w/ check valve. Emitter Notes: 10PC1032 emitters (1 assigned to each 1 GAL plant) 10PC1032 emitters (1 assigned to each 2 GAL plant) 20PC1032 emitters (1 assigned to each 3 GAL plant) 20PC1032 emitters (1 assigned to each 5 GAL plant)	30	5/L2-03 6/L2-03		Rain Bird ESPLXME2P-LXMMSS w/ (1) ESPLXMSM12 24 Station, Traditionally-Wired - PRO Smart, Commercial Controller. (1) ESPLXME2P 12-Station, PRO Smart, (Module Included) Indoor/Outdoor, Plastic Wall-Mount Enclosure w/ (1) ESPLXMSM12 - 12-Station Expansion Modules. Install in LXMMSS Stainless Steel, Wall-Mounted Cabinet. Include Rain Bird LNK2WiFi module for internet connection.	4/L2-04
					Rain Bird WR2-RFS Wireless Rain/Freeze Sensor.	5/L2-04
					Creative Sensor Technology FSI-T10-001 1" PVC tee type flow sensor w/socket ends, custom mounting tee and ultra-lightweight impeller enhances low flow measurement. 2 wire digital output compatible wall irrigation controllers. Flow range: .86 GPM - 52 GPM.	6/L2-04

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
	Water Meter 1"	
	Irrigation Lateral Line: PVC Schedule 40	7/L2-04
	Irrigation Lateral Line: HDPE PE3408 DR 9	7/L2-04
	Irrigation Mainline: PVC Schedule 40	7/L2-04
	Pipe Sleeve: PVC Class 200 SDR 21	8/L2-04
	Valve Callout	
	Valve Number	
	Valve Flow	
	Valve Size	

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	DESIGN PSI	PSI	PSI @ POC
1	Rain Bird XCZ-100-FLOW	1"	Area for Drip Emitters	1.76	30	38.92	59.23
2	Rain Bird PEB	1"	Shrub Spray	1.22	30	31.45	50.3
3	Rain Bird XCZ-100-FLOW	1"	Area for Drip Emitters	2.51	30	39.88	58.69
4	Rain Bird XCZ-100-FLOW	1"	Area for Drip Emitters	1.49	30	37.41	66.56
5	Rain Bird PEB	1"	Shrub Spray	1.22	30	31.41	60.73
6	Rain Bird XCZ-100-FLOW	1"	Area for Drip Emitters	1.73	30	38.37	70.43
7	Rain Bird PEB	1"	Shrub Spray	2.03	30	32.34	64.38
8	Rain Bird XCZ-100-FLOW	1"	Area for Drip Emitters	2.08	30	38.64	70.62
9	Rain Bird PEB	1"	Area for Drip Emitters	4.22	30	32.5	64.34
10	Rain Bird XCZ-100-FLOW	1"	Area for Drip Emitters	1.50	30	37.52	70.03
11	Rain Bird PEB	1"	Shrub Spray	0.41	30	30.93	64.19
12	Rain Bird XCZ-100-FLOW	1"	Area for Drip Emitters	1.25	30	37.13	70.39

CRITICAL ANALYSIS

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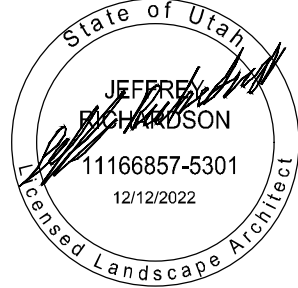
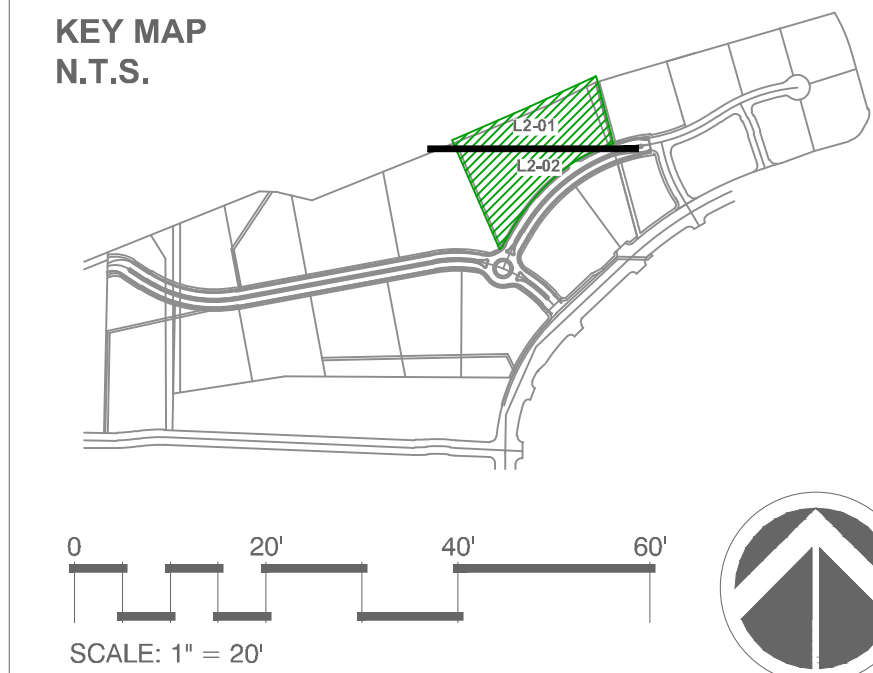
P.O.C. NUMBER: 01
Water Source Information:

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 18.2 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 85.00 PSI
Elevation Change: 5.00 ft
Service Line Size: 1"
Length of Service Line: 20 ft
Pressure Available: 81.00 psi

DESIGN ANALYSIS
Maximum Multi-valve Flow: 12 GPM
Flow Available at POC: 18.2 GPM
Residual Flow Available: 6.2 GPM

Critical Station:
Design Pressure: 30 PSI
Friction Loss: 0.08 PSI
Fittings Loss: 0.01 PSI
Elevation Loss: 0 PSI
Loss through Valve: 8.56 PSI
Pressure Req. at Critical Station: 38.64 PSI
Loss for Fittings: 1.43 PSI
Loss for Main Line: 14.29 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 11.46 PSI
Loss for Master Valve: 3.9 PSI
Loss for Water Meter: 0.9 PSI
Critical Station Pressure at POC: 70.62 PSI
Pressure Available: 81 PSI
Residual Pressure Available: 10.38 PSI



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IRRIGATION
PLAN

L2-01



GENERAL IRRIGATION NOTES

- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
- THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING OWNER'S REPRESENTATIVE.
- ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL PLAN, ARCHITECTURAL PLANS, ELECTRICAL PLANS, GRADING AND DRAINAGE AND ALL ASSOCIATED PLANS THAT AFFECT THIS WORK PRIOR TO BEGINNING CONSTRUCTION. IF THE CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS TO INSTALL THE IRRIGATION SYSTEM AND ITS COMPONENTS PER THE MANUFACTURER'S SPECIFICATIONS AS SHOWN ON THESE DOCUMENTS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY AND ALL LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES THROUGH THE COURSE OF HIS WORK, THE CONTRACTOR SHALL PAY FOR ANY/AND ALL REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
- IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN THE PROJECT LIMITS AND WITHIN LANDSCAPE AREAS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHICAL CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO INSURE PROPER LOCATION AND OPERATION OF THE IRRIGATION SYSTEM AND ITS COMPONENTS.
- PLANT MATERIAL LOCATIONS TAKE PRECEDENTS OVER IRRIGATION LINES. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- IF IRRIGATION SLEEVING IS REQUIRED A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN BANKS OF SLEEVES USED FOR OTHER ON-SITE UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE ADEQUATE VERTICAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED) CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
- ALL VALVE BOXES / LIDS SHALL BE PLASTIC, COLOR GREEN OR TAN, WITH LOCKING COVERS, PER THE CONSTRUCTION DETAILS. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 1'-0" FROM THE EDGE OF PAVED SURFACES AND 3'-0" FROM THE CENTERLINE OF DRAINAGE SWALES OR RETENTION BASINS. THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO BE FLUSH FINISH GRADE AS PER THE CONSTRUCTION DETAIL.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF DRIP IRRIGATION LINES PRIOR TO INSTALLATION OF PLANT MATERIAL WITH THE OWNER'S REPRESENTATIVE.
- LAYOUT EMITTER TUBING PARALLEL TO TOPOGRAPHY WHEREVER POSSIBLE. INSTALL FLUSHABLE TYPE END CAP AT ENDS OF ALL 3/4" PVC DRIP LATERALS AND FLUSH THOROUGHLY BEFORE INSTALLING EMITTERS.
- SHRUBS SHALL BE IRRIGATED BY TWO (2) POINT SOURCE BUBBLERS. SEE IRRIGATION LEGEND AND PLANS FOR DETAILS.
- TREES SHALL BE IRRIGATED BY TWO (2) POP-UP SPRAY HEADS. SEE IRRIGATION LEGEND AND PLANS FOR DETAILS.
- THE CONTRACTOR SHALL FINE TUNE / ADJUST THE IRRIGATIONS SYSTEM TO AVOID / REDUCE OVER-SPRAY ONTO HARD SURFACES BY ADJUSTING NOZZLE DIRECTION AND NOZZLE RADIUS.
- THE CONTRACTOR SHALL EXTEND THREE (3) SPARE CONTROL WIRES (ONE (1) COMMON AND TWO (2) CONTROL WIRES) FROM THE CONTROLLER TO THE END OF THE MAINLINE OR AS SHOWN ON THE PLANS. INSTALL SPARE WIRES IN A 10" ROUND VALVE BOX WITH A QUICK COUPLING VALVE. USE ONLY #14 OR #12 (WHEN NECESSARY) DIRECT BURY COPPER WIRE FOR ALL UNDERGROUND WIRING.
- GROUNDING FOR THE IRRIGATION CONTROLLER IS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT www.asic.org/Design_Guides.aspx. CONTACT THE MANUFACTURER FOR ADDITIONAL TECHNICAL ASSISTANCE.

IRRIGATION POINT OF CONNECTION NOTES

- POINT OF CONNECTION: THERE IS ONE POINT OF CONNECTION ON THIS PROJECT IS IN THE SOUTHWEST CORNER OF THE LOT. CONTRACTOR SHALL LOCATE DOWN STREAM OF THE DEDICATED 1" IRRIGATION WATER METER (PROVIDED BY OTHERS) WITH TYPE K COPPER SERVICE LINE AT DEPTH OF 48" OR PER LOCAL CODE. WHICHEVER IS GREATER. TO BACKFLOW PREVENTER. INSTALL ONE MANUAL DRAIN UPSTREAM OF BACKFLOW PREVENTER, ONE FEBCO 825VA BACKFLOW PREVENTER IN A GUADSHACK ENCLOSURE WITH A FROST BLANKET. EXTEND TYPE K COPPER PIPE A MINIMUM OF 30" BEYOND ENCLOSURE TO ONE MANUAL DRAIN VALVE. TRANSITION TO SCH 40 PVC MAINLINE AND EXTEND TO ONE MASTER VALVE, ONE FLOW SENSOR, ONE GATE VALE, AND ONE 1" QUICK COUPLER VALVE. EXTEND SCH 40 PVC MAINLINE TO VALVES AS SHOWN. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS ASSOCIATED WITH THIS WORK.
- CONTROLLER LOCATION: THERE IS ONE CONTROLLER ON THIS PROJECT. THE CONTROLLER SHALL BE WALL MOUNTED ON THE SOUTHSIDE OF THE BUILDING IN THE APPROXIMATE LOCATION INDICATED. LOCATION ON THE PLANS IS FOR REFERENCE ONLY. FINAL LOCATION TO BE DETERMINED. THE CONTRACTOR SHALL REFER TO THE ELECTRICAL PLANS AND COORDINATE 120 VOLT POWER AND ALL NECESSARY CONDUIT AND SLEEVING WITH THE OWNER'S REPRESENTATIVE PRIOR TO START OF WORK. ALL EQUIPMENT AND CONNECTIONS SHALL CONFORM TO ALL LOCAL CODES. REFER TO ELECTRICAL ENGINEERING AND ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION REGARDING POWER FOR THE CONTROLLER.
- RAINFREEZE SENSOR: POLE MOUNT RAIN BIRD WR2 SENSOR IN CLOSE PROXIMITY OF THE CONTROLLER. SENSOR SHALL BE MOUNTED IN LOCATION IN FULL SUN, OPEN TO RAINFALL, AND AWAY FROM HEAT SOURCES. SENSOR SHALL BE LOCATED NOR MORE THAN 700' (LINE OF SIGHT) FROM THE CONTROLLER. WALL MOUNT THE RECEIVER ADJACENT TO THE CONTROLLER PRIOR TO SENSOR INSTALLATION AND DISCRETELY RUN WIRING TO CONTROLLER. SENSOR SHALL BE SET TO TURN OFF AT 1/4" RAINFALL.
- FLOW SENSOR: THE CREATIVE SENSOR TECHNOLOGY FLOW SENSOR REQUIRES A MINIMUM FLOW OF .82 GPM FOR PROPER FUNCTION. MULTIPLE ZONES MAY BE REQUIRED TO RUN AT THE SAME TIME TO ACHIEVE THE FLOW SENSOR'S MINIMUM FLOW REQUIREMENT. **MAXIMUM FLOW NOT TO EXCEED 52 GPM.**
- SYSTEM PRESSURE & FLOW: **THIS PROJECT HAS BEEN DESIGNED FOR A REQUIRED MINIMUM STATIC PRESSURE OF 85 PSI AND A MAXIMUM SAFE FLOW OF 12 GPM.** THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE OPERATING PRESSURE IN THE FIELD AT THE POINT OF CONNECTION BEFORE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF DEFICIENT EQUIPMENT, LOW PRESSURE OR LOW FLOW CONDITIONS ARE ENCOUNTERED. IF THE CONTRACTOR FAILS TO NOTIFY OWNER'S REPRESENTATIVE OF SUCH DISCREPANCIES, THEN THE CONTRACTOR ASSUMES ALL LIABILITY AND COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS TO ACCOMMODATE THE ACTUAL PRESSURE.

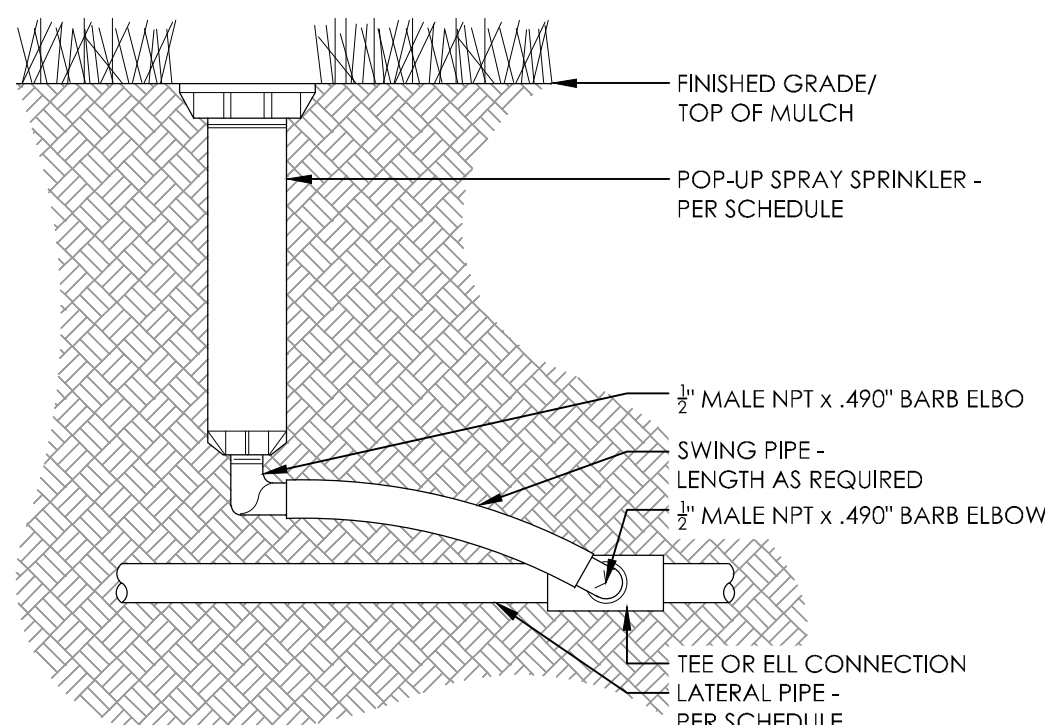
IRRIGATION SLEEVING NOTES

- INSTALLATION OF SLEEVING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SLEEVES SHALL BE INSTALLED PRIOR TO THE START OF PAVING OPERATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR FOR LOCATION AND SIZING OF SLEEVES PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL SLEEVE ALL IRRIGATION DISTRIBUTION LINES, VALVE CONTROL WIRES AND COMMUNICATION WIRES, UNDER ALL PAVED SURFACES, WALL FOOTERS, DRAINAGE CHANNELS, INLETS, CATCH BASINS, ETC.
- ALL SLEEVES SHALL EXTEND A **MINIMUM OF 1 FOOT** BEYOND EDGE OF ALL OBSTRUCTIONS. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER ANY OBSTRUCTIONS.
- SLEEVING SHALL BE INSTALLED PER THE SIZES AND QUANTITIES SHOWN ON THE PLANS BASED ON THE CHART BELOW. ALL MAINLINE, VALVE CONTROL, AND COMMUNICATION WIRES, LATERALS AND 3/4" POLYETHYLENE DRIP TUBING UNDER PAVED SURFACES ARE TO BE INSTALLED IN SEPARATE SLEEVING.

SLEEVED PIPE SIZE/WIRE QTY	REQUIRED SLEEVE SIZE AND QTY.
3/4"-1" PIPING	2" PVC (1)
CONTROL WIRES	2" PVC (1)

NOTES:

- ALL SPRAY HEADS **MUST** HAVE BUILT IN PRESSURE REGULATING FEATURE.
- AFTER FLUSHING HEADS, REGRADE AND COMPACT AS NEEDED TO RETURN TO FINISH GRADE CONDITION.
- SPRINKLERS SHALL BE MIN. 12' FROM ANY WALLS OR BUILDINGS
- ADJUST ALL SPRINKLER HEADS TO AVOID OVERSPRAY ON ANY WALLS, HARDSCAPE, ETC.
- DO NOT** USE SEALANT OR TAPE ON THREADED INSERTS TO SPRINKLER HEAD.



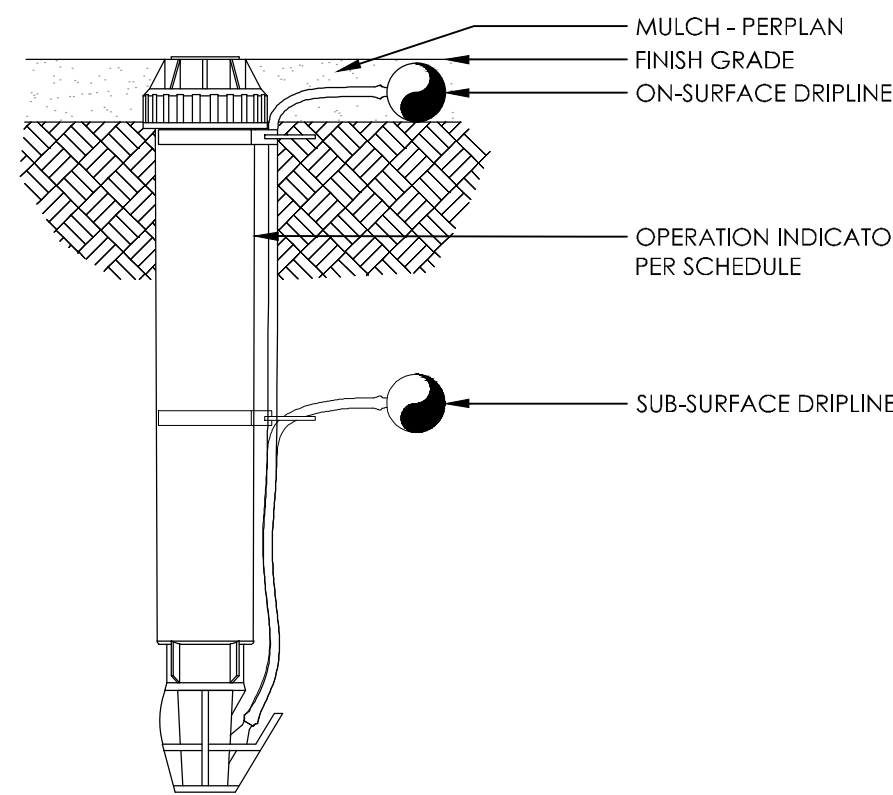
1 POP-UP SPRAY - SWING PIPE ASSEMBLY

NOT TO SCALE

P-BWIC-SD-HEAD-02

NOTES:

- INSERT BARB TRANSFER FITTING DIRECTLY INTO DRIPLINE TUBING.
- VAN NOZZLE MAY BE SET TO CLOSED, OR IF IT IS DESIRED TO SEE SPRAY FROM NOZZLE, SET THE ARC TO 1/4 PATTERN. THE FLOW FROM THE NOZZLE, 0.3 GPM, SHOULD BE ACCOUNTED FOR IN THE SYSTEM DESIGN.



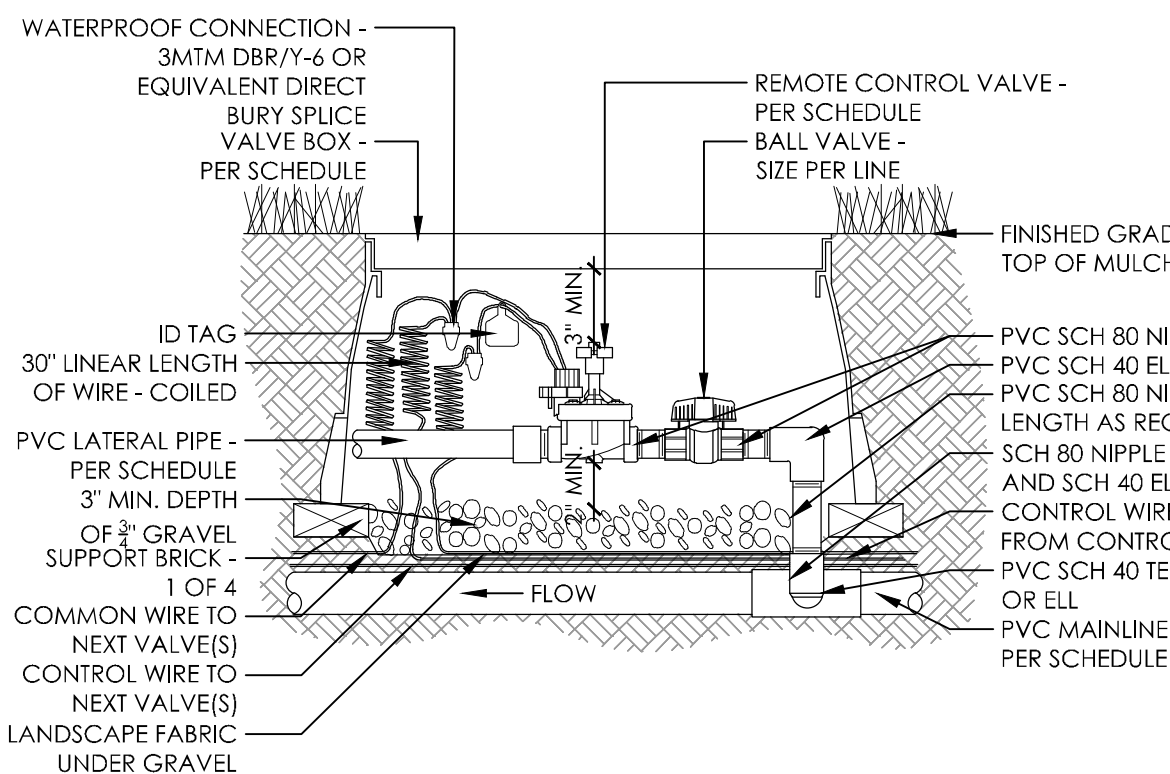
4 DRIPLINE OPERATION INDICATOR

NOT TO SCALE

P-COE-59

NOTES:

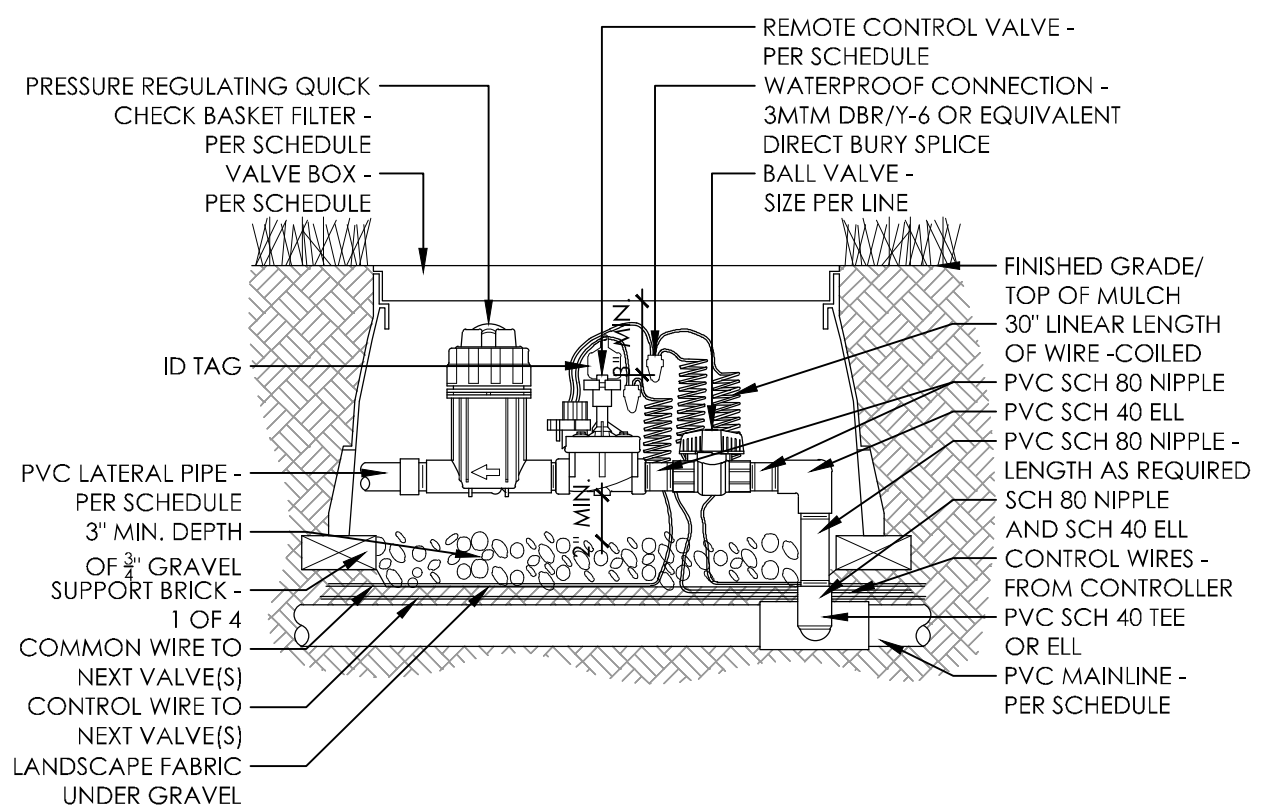
- EACH QUICK COUPLER SHALL BE IN A SEPARATE VALVE BOX.
- PROVIDE (1) QUICK COUPLER KEY FOR EACH QUICK COUPLER VALVE
- ALL THREADED CONNECTIONS SHALL BE COATED WITH RECTORSAL PIPE SEALANT OR EQUIVALENT



7 TURF VALVE ASSEMBLY W/BALL VALVE

NOT TO SCALE

P-BWIC-SD-VALV-01



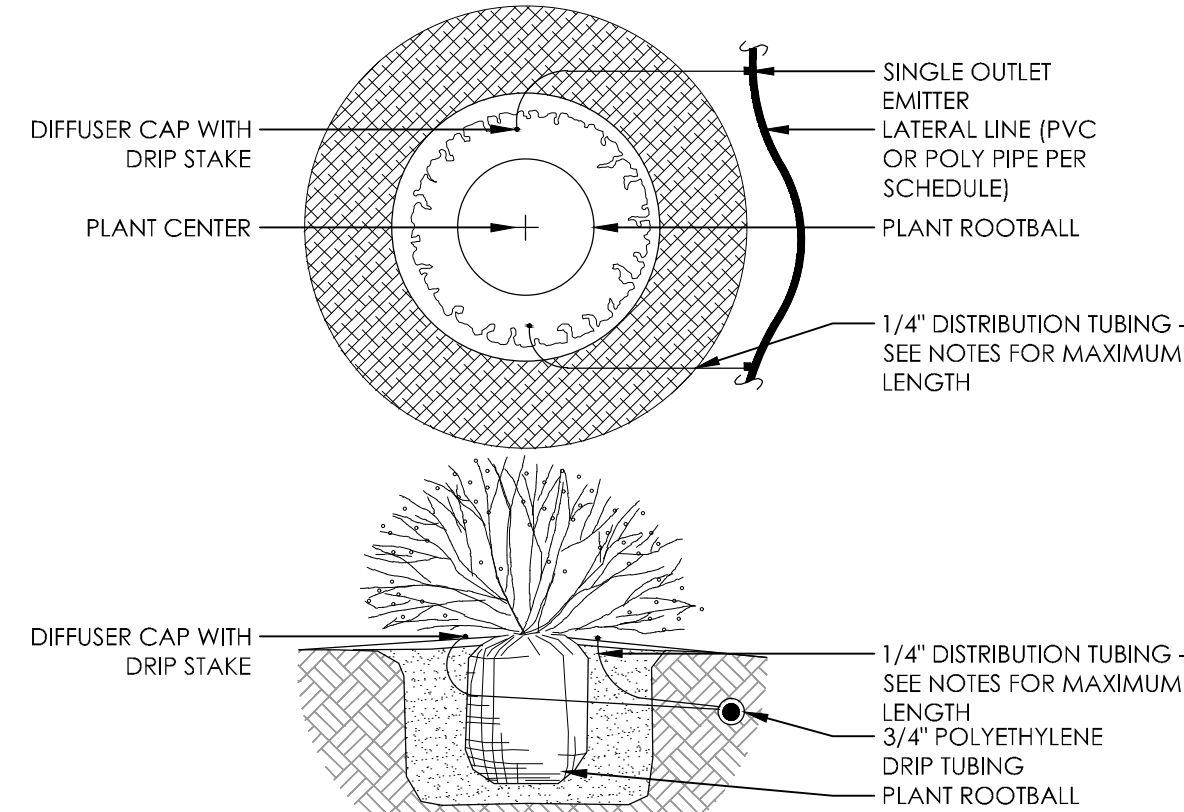
2 DRIP VALVE ASSEMBLY W/PRS BASKET W/BALL VALVE

NOT TO SCALE

P-BWIC-SD-VALV-04

NOTES:

- TYPICAL MAXIMUM LENGTH OF ONE DISTRIBUTION TUBE SHALL BE 8', SEE NOTES FOR JOB SPECIFIC MAXIMUM LENGTH.
- EMITTERS SHALL BE EQUALLY SPACED AROUND ROOTBALL.
- FLUSH ALL LINES THOROUGHLY PRIOR TO EMITTER INSTALLATION.
- IF PLANTING ON A 4:1 SLOPE OR STEEPER, INSTALL EMITTERS ON THE UPHILL SIDE OF PLANT.
- EMITTERS SHALL BE SELF-FLUSHING AND PRESSURE COMPENSATING UNLESS NOTED OTHERWISE.
- DRIP VALVE ZONES (HYDROZONES) ARE DESIGNED TO ACCOUNT FOR DIFFERENCES IN PLANT WATER REQUIREMENTS AND SUN EXPOSURE.
- CONTRACTOR SHALL ENSURE HYDROZONES ARE ON SEPARATE VALVES AS SHOWN ON PLAN.



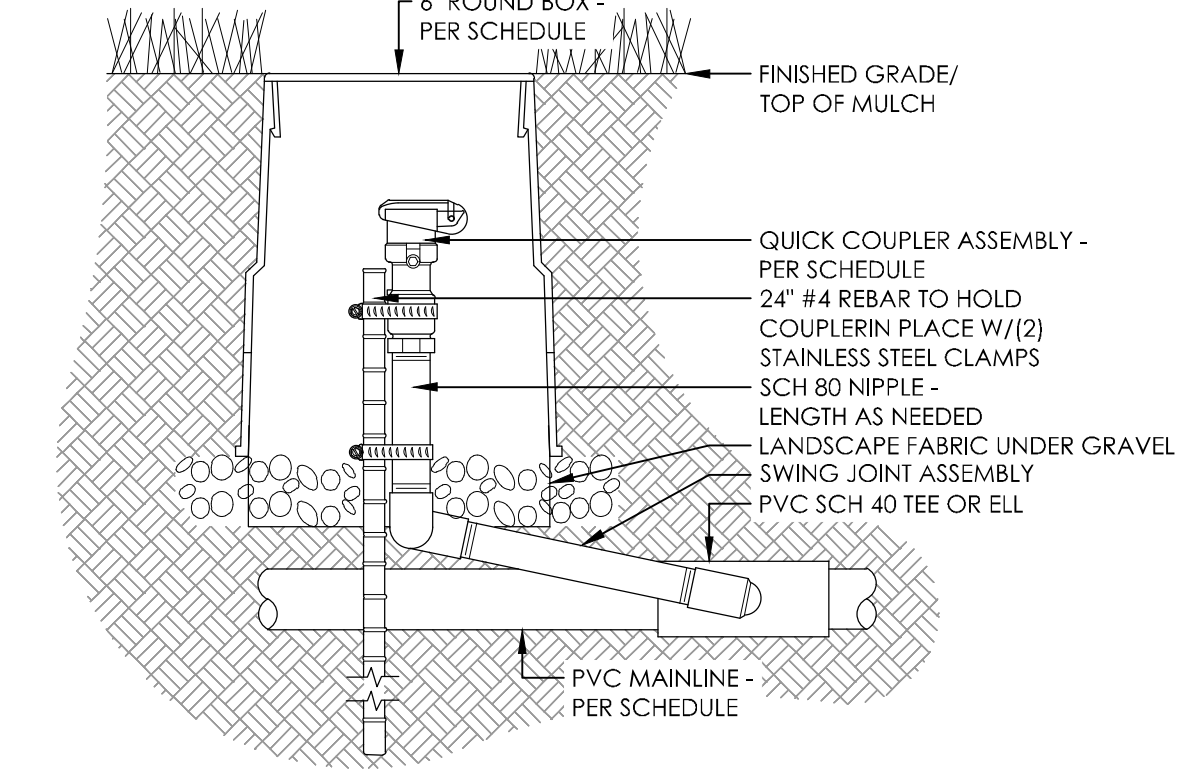
5 SHRUB EMITTER PLACEMENT

NOT TO SCALE

P-BWIC-SD-DRIP-06

NOTES:

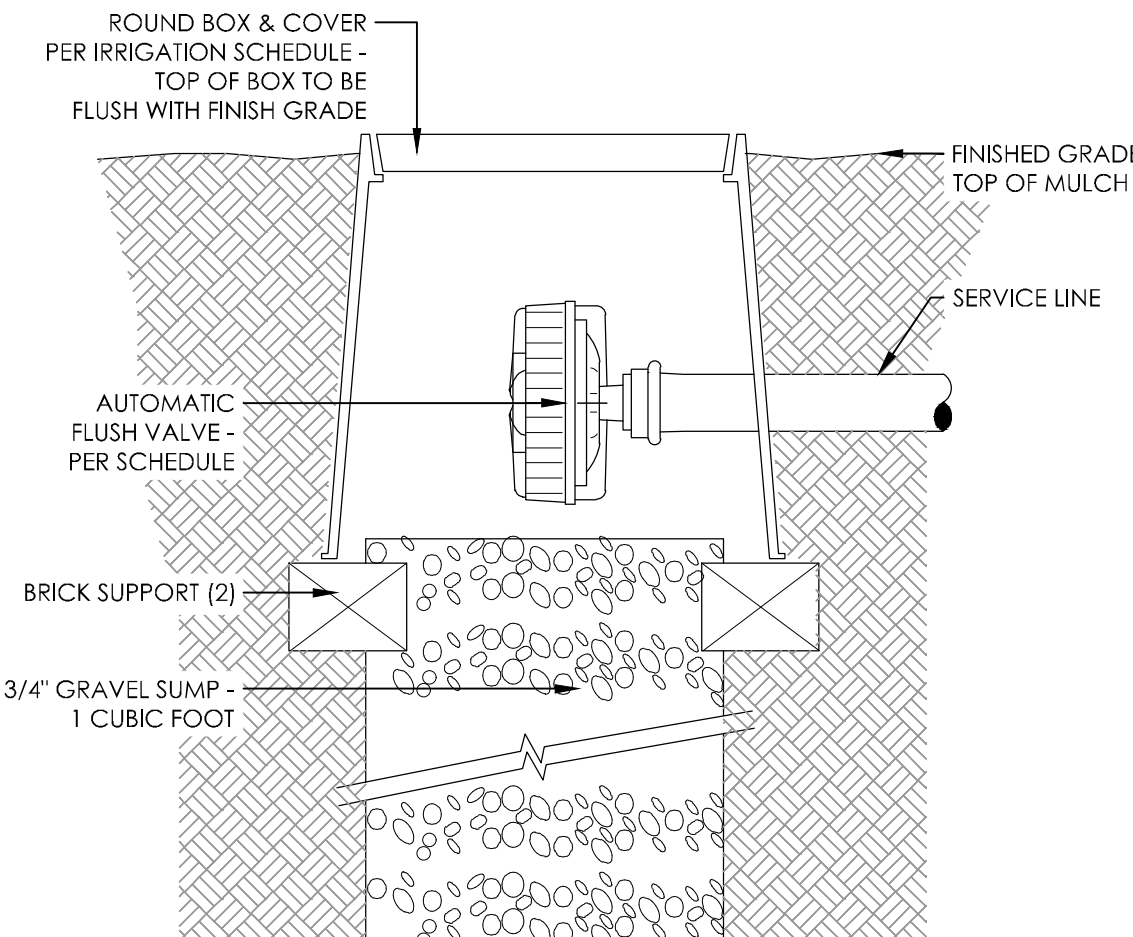
- EACH QUICK COUPLER SHALL BE IN A SEPARATE VALVE BOX.
- PROVIDE (1) QUICK COUPLER KEY FOR EACH QUICK COUPLER VALVE
- ALL THREADED CONNECTIONS SHALL BE COATED WITH RECTORSAL PIPE SEALANT OR EQUIVALENT



8 QUICK COUPLER

NOT TO SCALE

P-COE-15



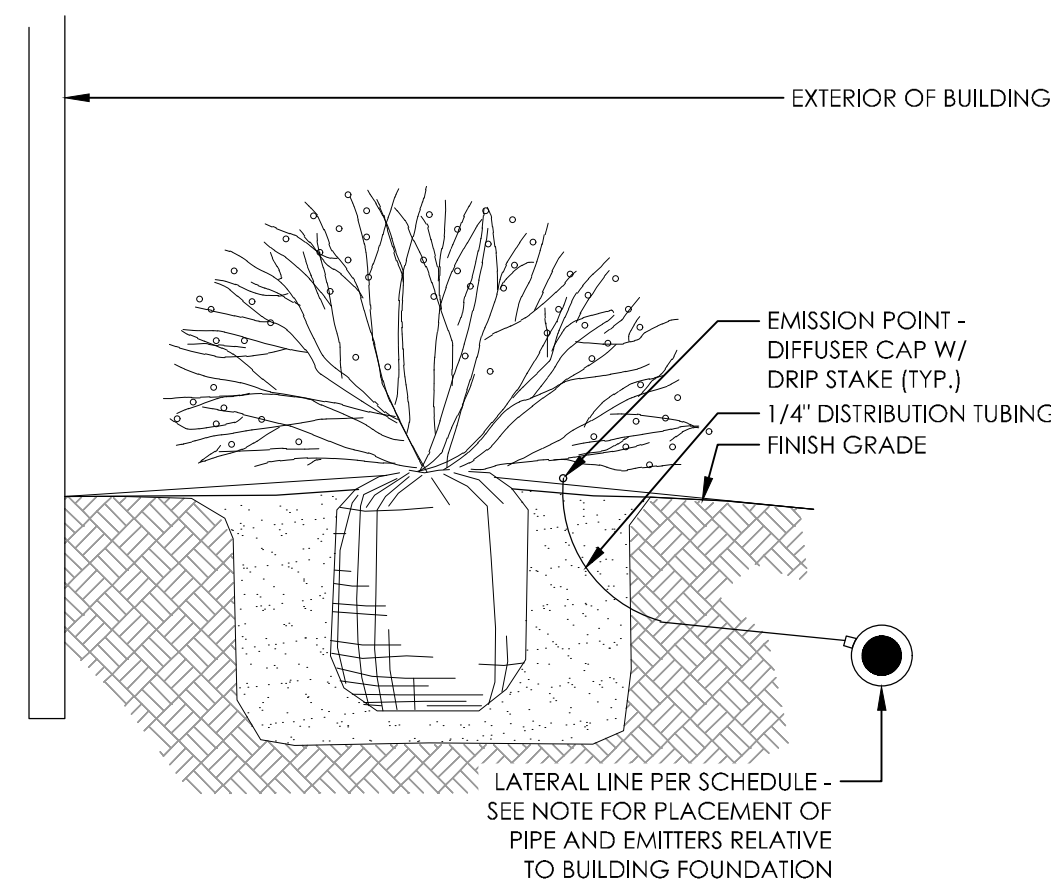
3 DRIPLINE AUTOMATIC FLUSH VALVE

NOT TO SCALE

P-COE-60

NOTES:

- ALL IRRIGATION TO BE A MINIMUM OF 5' FROM BUILDING, OR AS DEFINED WITHIN THE GEOTECH REPORT, WHICHEVER IS GREATER.



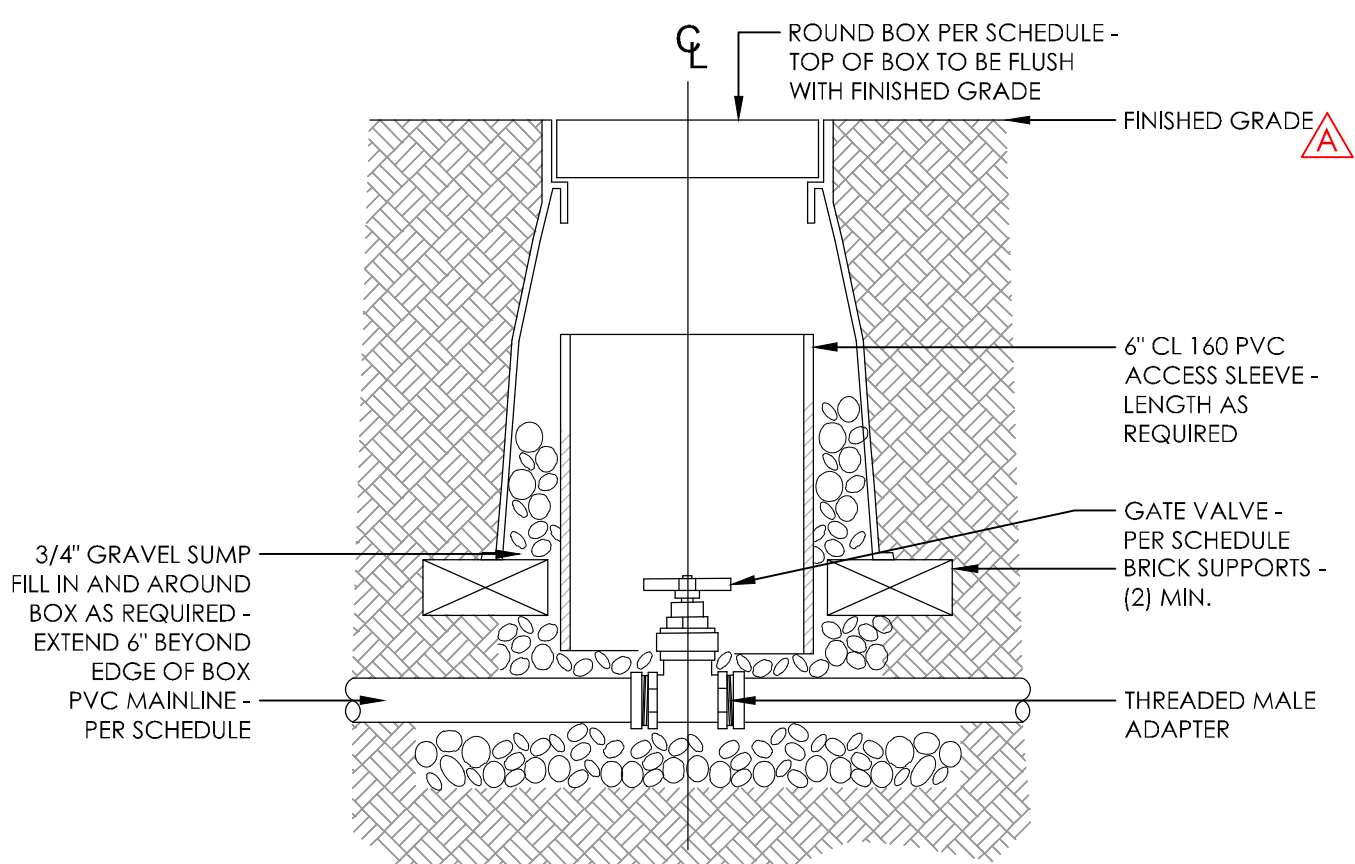
6 SHRUB EMITTER PLACEMENT NEAR BUILDING

NOT TO SCALE

P-BWIC-SD-DRIP-07

NOTES:

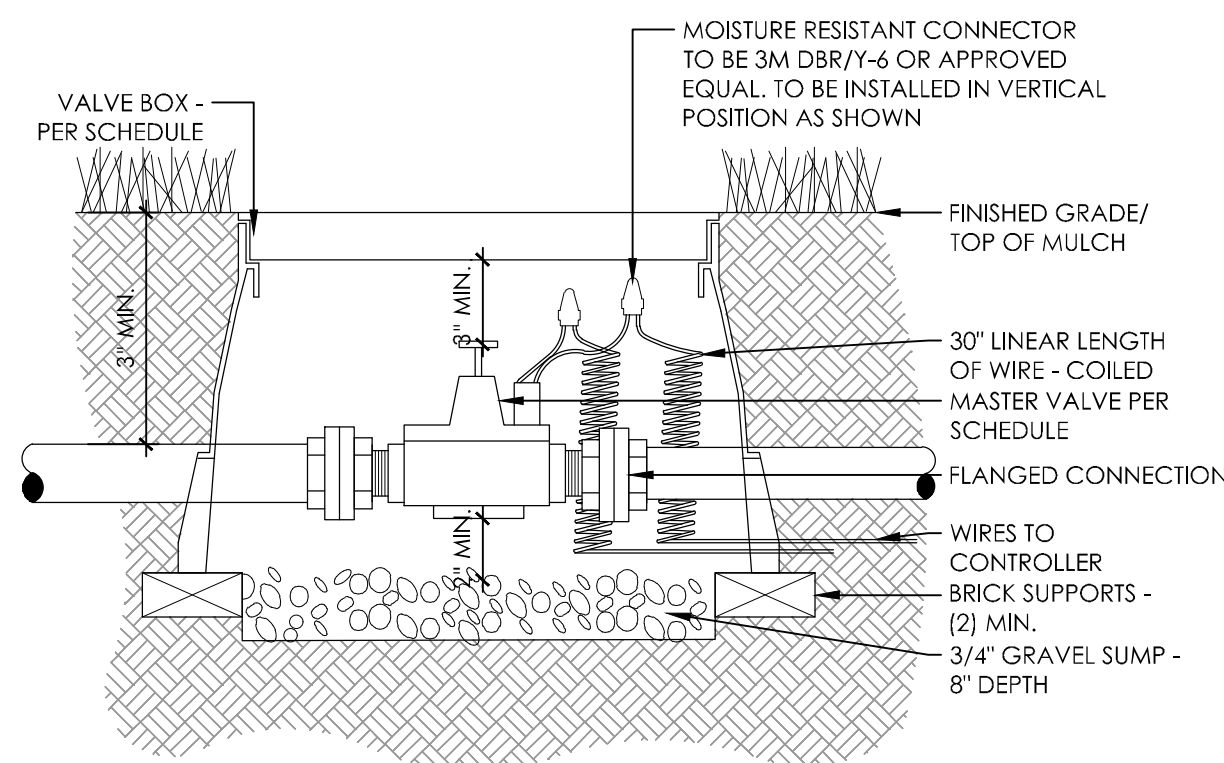
- COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT, UNDISTURBED SUBGRADE.
- DO NOT REST VALVE BOX OR ACCESS SLEEVE ON MAINLINE OR LATERAL LINE.
- PROVIDE GATE VALVE KEY - LENGTH AS NEEDED.



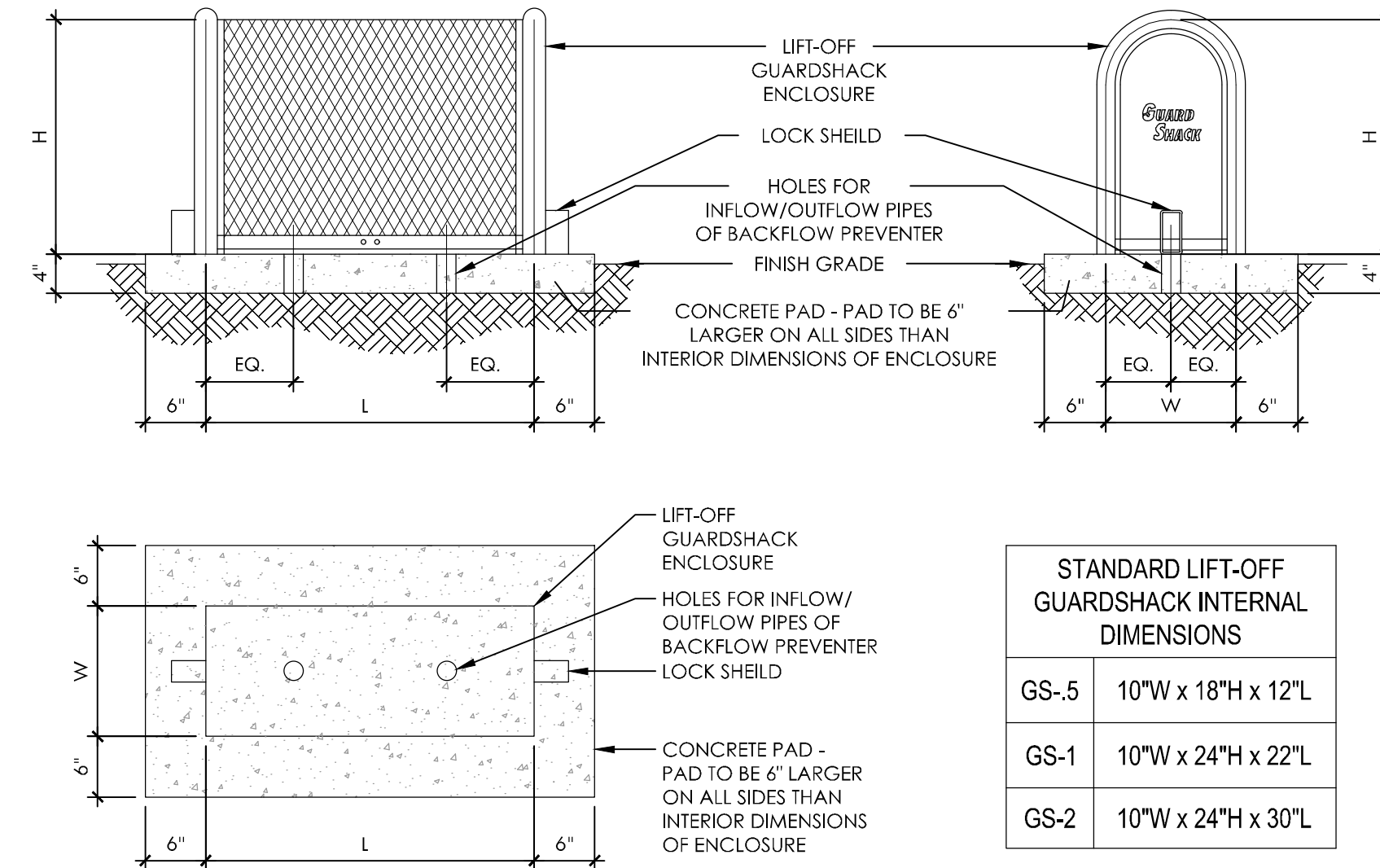
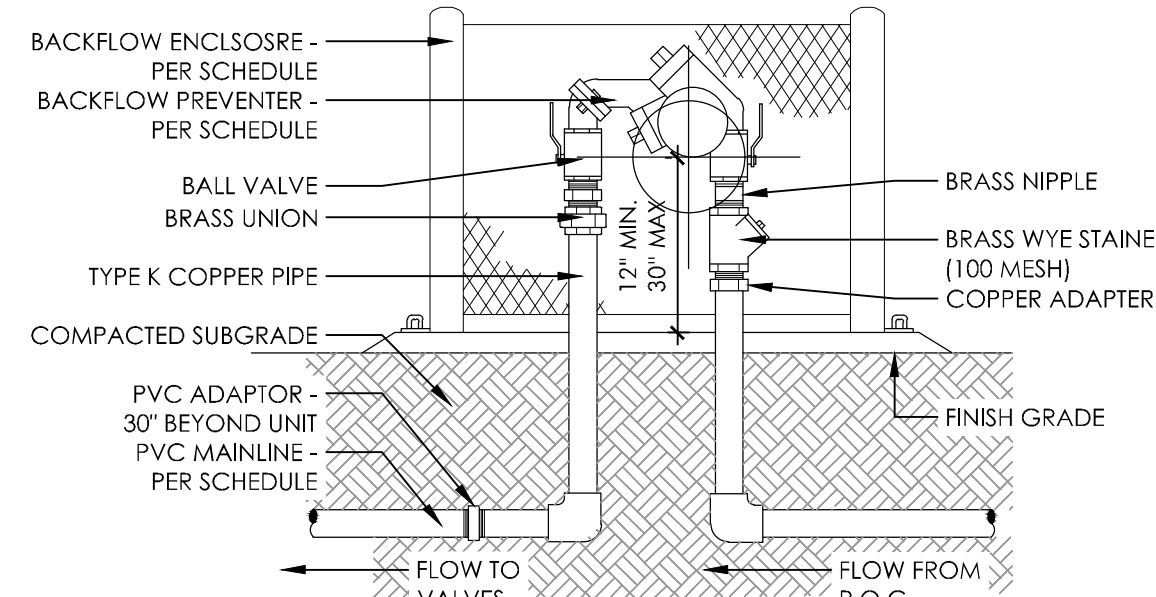
9 GATE VALVE

NOT TO SCALE

P-COE-34



- NOTES:**
1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE PVC PIPE PROTECTION AROUND COPPER SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB BASE.
 3. BACKFLOW PREVENTION DEVICE(S) SHALL BE PLACED A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
 4. PROVIDE THRUST BLOCKS FOR LINES 2-1/2" OR LARGER.



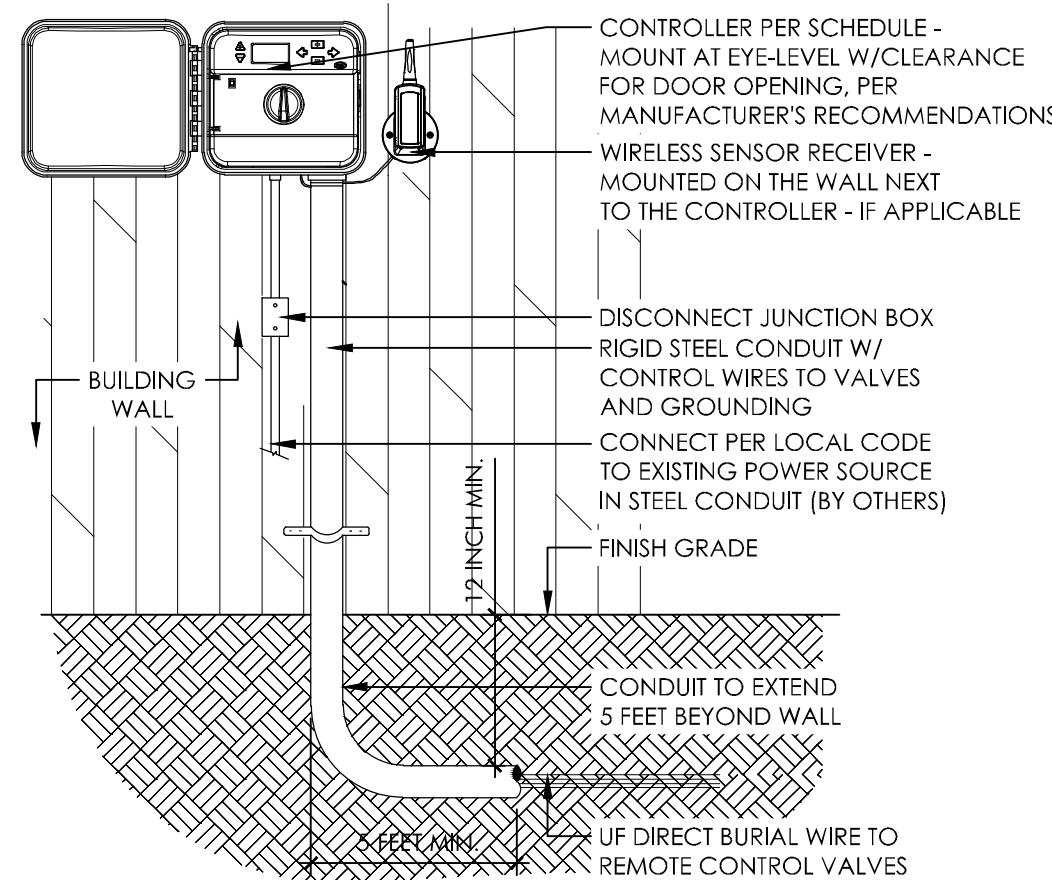
1 MASTER VALVE ASSEMBLY

NOT TO SCALE

P-COE-57

NOTES:

1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
2. ALL ELECTRICAL MATERIALS SHALL BE U.L. APPROVED FOR USE AS SHOWN.
3. GROUND CONTROLLER PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
4. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
5. PROVIDE LOCK AND KEY FOR ENCLOSURE (IF APPLICABLE).



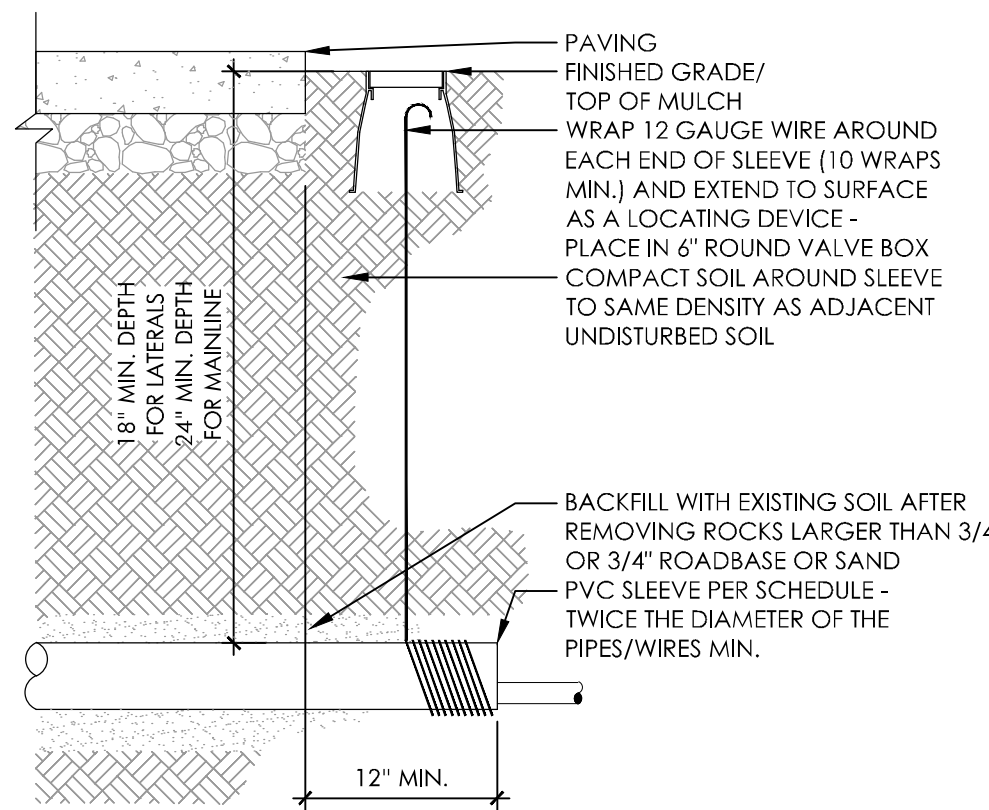
4 CONTROLLER - WALL MOUNTED

NOT TO SCALE

P-COE-56

NOTES:

1. ALL SLEEVES SHALL BE INSPECTED PRIOR TO BACKFILLING.
2. CAP SLEEVES WITH 90° FITTING AND EXTEND PIPE TO SURFACE UNTIL USE.
3. MULTIPLE SLEEVES REQUIRE 4" HORIZONTAL SEPARATION WITHIN SAME SLEEVE TRENCH.
4. IRRIGATION PIPE AND WIRE SHALL NOT SHARE THE SAME SLEEVED.
5. MARK/STAMP - 'X' AND/OR INSTALL PLACARD AT BACK OF CURB OR ROOFING NAIL IN ASPHALT



8 IRRIGATION SLEEVE

NOT TO SCALE

P-COE-31

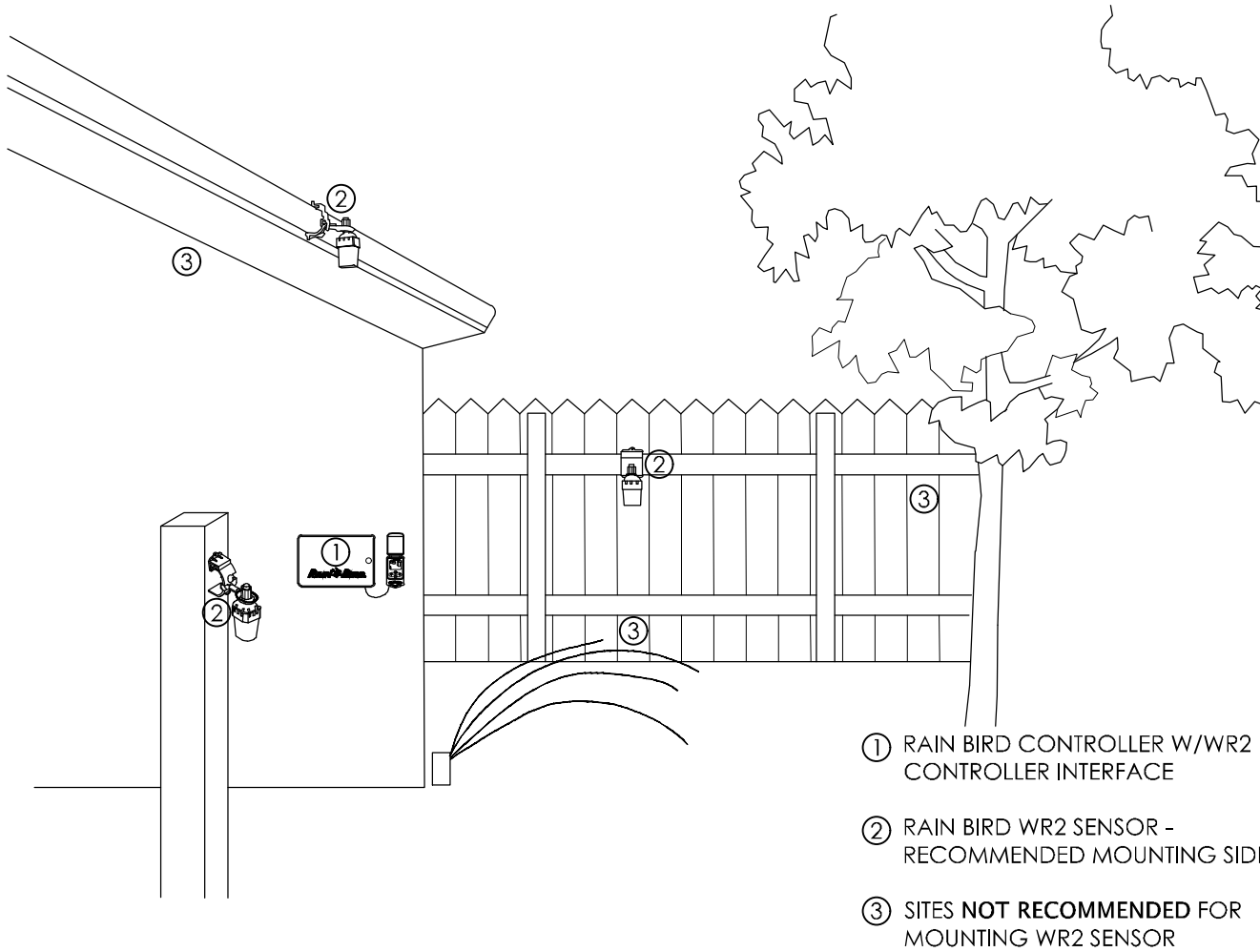
2 BACKFLOW PREVENTER - FEBCO 825YA

NOT TO SCALE

P-BWIC-SD-AUX1-02

NOTES:

1. SENSOR(S) MAY BE MOUNTED ON FENCE, POST, OR ON GUTTER/FASCIA OF HOUSE.
2. SENSOR **SHOULD NOT** BE MOUNTED UNDER TREES, IN AREAS AFFECTED BY SPRINKLER SYSTEM, OR UNDER EAVE OF HOUSE.



5 RAIN BIRD - WR2 SENSOR LOCATION

NOT TO SCALE

P-COE-22

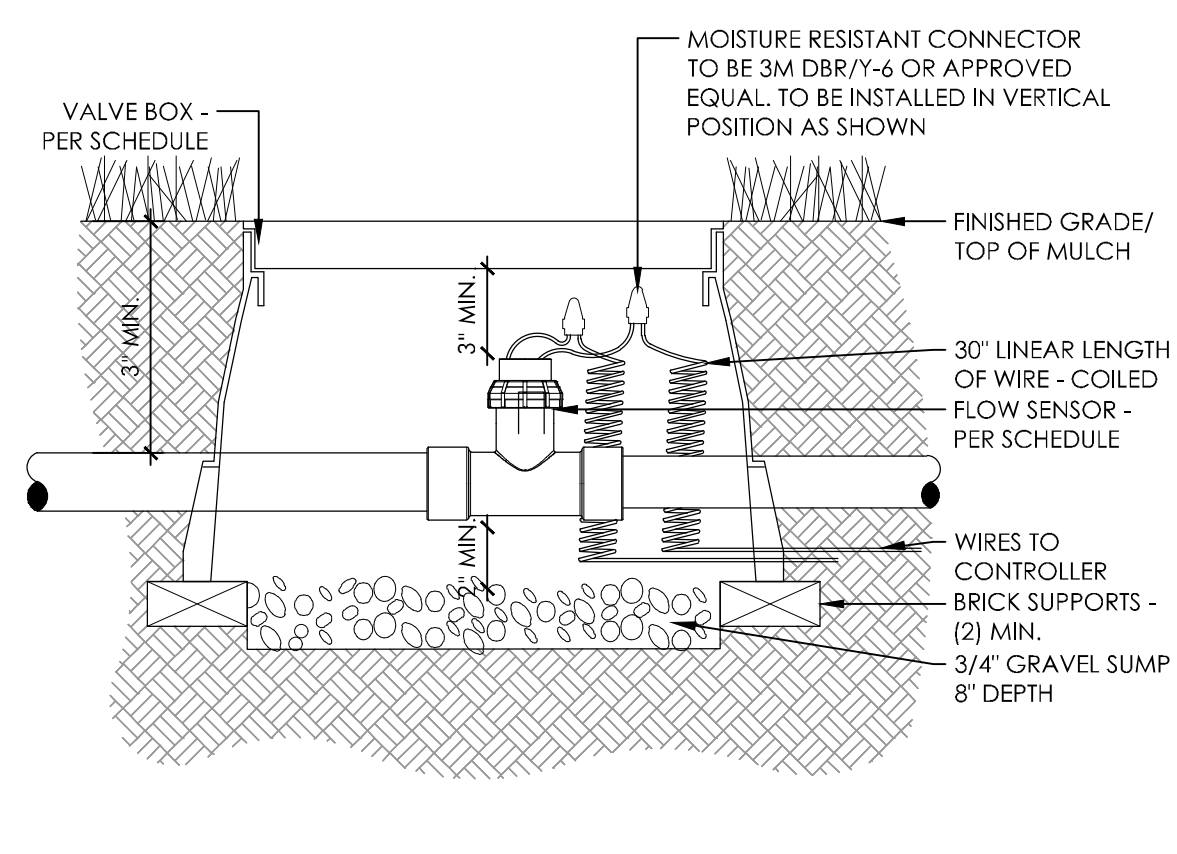
3 LIFT OFF GUARDSHACK ENCLOSURE

NOT TO SCALE

P-BWIC-SD-AUX1-01

NOTES:

1. STRAIGHT PIPE - 10 PIPE DIAMETERS UPSTREAM & 5 PIPE DIAMETERS DOWNSTREAM



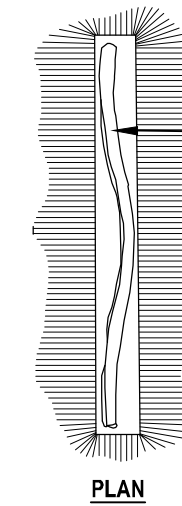
6 FLOW SENSOR

NOT TO SCALE

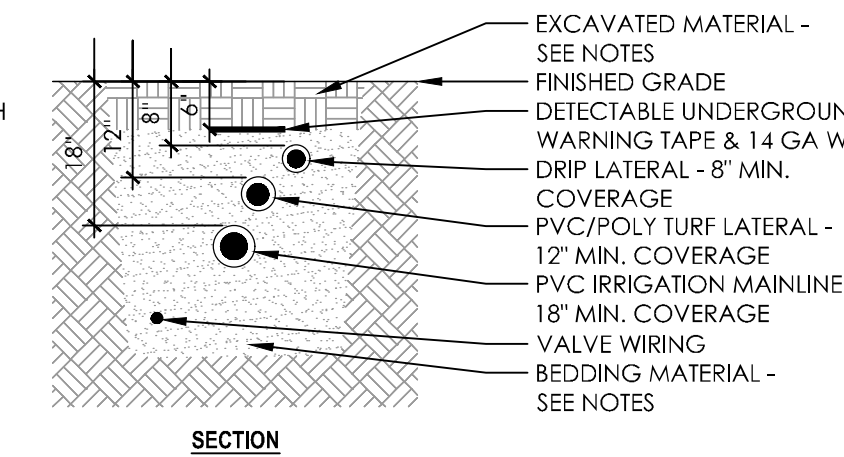
P-COE-61

NOTES:

1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN IN PLAN VIEW.
3. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES.
4. ALL ELECTRICAL WIRE CONNECTIONS TO VALVES AND SPLICES TO BE INSTALLED WITHIN A VALVE BOX AND MADE WITH 3MTM DBR/Y-6 WATERPROOF CONNECTORS, OR APPROVED EQUAL.
5. BUNDLE AND TAPE WIRING IN 10' INTERVALS.
6. VALVE WIRES TO BE INSTALLED WITHIN MAINLINE TRENCH WHEREVER POSSIBLE.
7. BEDDING MATERIAL SHALL BE 3/4" BASE OR SAND AND SHALL BE 3" BELOW LOWEST PIPE OR WIRE AND 3" ABOVE HIGHEST PIPE OR WIRE WITHIN TRENCH.
8. BEDDING MATERIAL SHALL BE IN MAINLINE TRENCH ONLY.
9. BEDDING IS NOT REQUIRED IN POLYETHYLENE TUBING TRENCHES BUT NO ROCKS LARGER THAN 3/4".
10. EXCAVATED COVER MATERIAL SHALL BE FREE FROM DEBRIS AND ROCKS 3/4" OR GREATER.
11. PIPE BEDDING MATERIAL TO BE ROCK AND DEBRIS FREE, BACKFILL IN 6" LIFTS, PUDDLE WITH WATER BETWEEN LIFTS.



PLAN



SECTION

7 IRRIGATION TRENCH

NOT TO SCALE

P-COE-32

DATE: 07-21-2022
10-27-2022
12-12-2022

ISSUED FOR:
1st Submittal
Resubmit
City Comment

IRRIGATION
DETAILS

L2-04

FINDLAY HYUNDAI
UT011

SIENNA HILLS AUTO MALL
WASHINGTON, UTAH

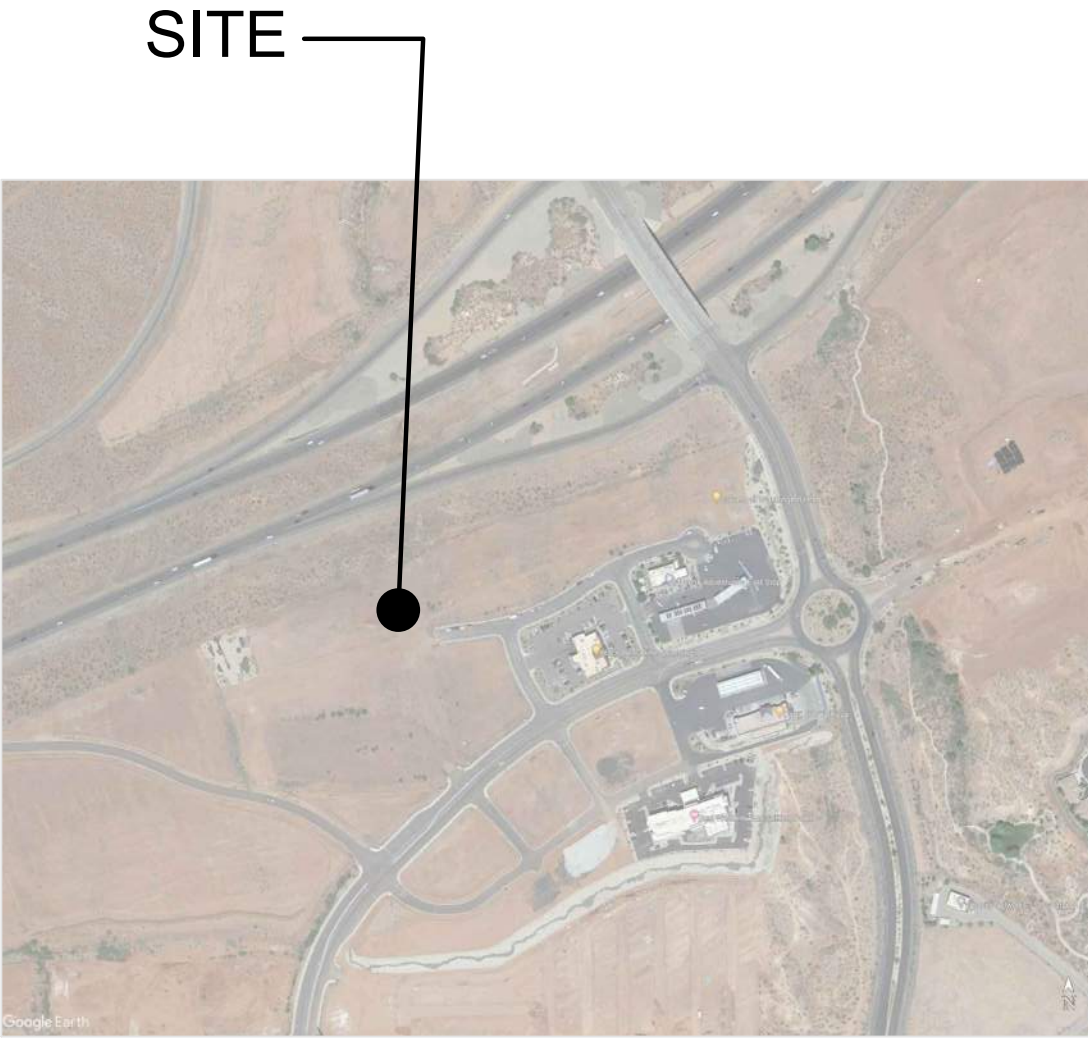
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VICINITY PLAN



SYMBOL LEGEND	
	SECTION MARKER (PARTIAL CUT)
	SECTION MARKER (FULL CUT)
	DETAIL MARKER
	DIMENSION
	DOOR SYMBOL
	WINDOW SYMBOL
	ELEVATION MARKER
	GRID MARKERS
	INTERIOR ELEVATION MARKER
	NOTE
	ARROW
	NORTH ARROW
	ROOM NAME
	DRAWING LABEL
	WALL TYPE
FLOOR PLAN	
SCALE: 1/4" = 1'-0"	
	DRAWING LABEL
	WALL TYPE
ABBREVIATION LEGEND	
A.B.C. AGGREGATE BASE COURSE	M.H. MAN HOLE
A.F.F. ABOVE FINISH FLOOR	M.T. METAL
ALUM. ALUMINUM	N.I.C. NOT IN CONTRACT
BO. BOARD	O.C. ON CENTER
C.J. CONSTRUCTION JOINT	O.P. OPPOSITE
CMU. CONCRETE MASONRY UNIT	ORD. OVER FLOW DRAIN
CONT. CONTINUOUS	P.L. PLASTIC LAMINATE
C.P. CENTER POINT	P.L.Y. WD. PLYWOOD
DBL. DOUBLE	P.T. PRESSURE TREATED
DIA. DIAMETER	R.B. REBAR
E.J. EXPANSION JOINT	R.C.P. REFLECTED CEILING PLAN
EQ. EQUAL	RD. ROOF DRAIN
F.D. FLOOR DRAIN	R.T.U. ROOF TOP UNIT
E.F.S. EXTERIOR INSULATION	S. SEWER
FINISH SYSTEM	SD. STORM DRAIN
FIRE EXTINGUISHER	SHT. SHEET
F.F.E. FINISH FLOOR ELEVATION	SM. SIMILAR
F.O.C. FACE OF CONCRETE	TYP. TYPICAL
F.O.S. FACE OF STUD	U.N.O. UNLESS NOTED OTHERWISE
GA. GAGE	VERT. VERTICAL
GYP. BD. GYPSUM BOARD	WD. WOOD
H.C. HANDICAP RAMP	WR. WATER RESISTANT
H.D. WD. HARD WOOD	
H.M. HOLLOW METAL	
HORIZ. HORIZONTAL	
H.W. HOT WATER	
LAV. LAVATORY	

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3	PROPOSED SITE PLAN
4	INITIAL GRADING, EROSION, AND SEDIMENT CONTROL PLAN
5	INTERIM GRADING, EROSION, AND SEDIMENT CONTROL PLAN
6	FINAL GRADING, EROSION, AND SEDIMENT CONTROL PLAN
7	UTILITY PLAN
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CODE ANALYSIS

APPLICABLE CODES	
INTERNATIONAL BUILDING CODE - 2018	
INTERNATIONAL MECHANICAL CODE - 2018	
INTERNATIONAL PLUMBING CODE - 2018	
NATIONAL ELECTRICAL CODE - 2020	
INTERNATIONAL FIRE CODE - 2018	
INTERNATIONAL FUEL GAS CODE - 2018	
ICC/ANSI A117.1-2009	
DESCRIPTION:	
IN GENERAL, THIS PROJECT ENTAILS THE CONSTRUCTION OF A NEW BUILDING THAT WILL HOUSE A MOTOR VEHICLE SHOWROOM AND OFFICES (B - BUSINESS USE), AND SERVICE (S-1 STORAGE USE).	
CHP. 3 USE & OCCUPANCY	
302.1 OCCUPANCY GROUP - B, S 1	
304.1 BUSINESS GROUP (B) DEFINED OCCUPANCY TO INCLUDE MOTOR VEHICLE SHOWROOMS, PROFESSIONAL SERVICES AND TRAINING AREAS.	
311.2 STORAGE GROUP S.1. DEFINED OCCUPANCY TO INCLUDE MOTOR VEHICLE REPAIR GARAGES AND STORAGE.	
CHP. 4 SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY	
406.8.6 REPAIR GARAGES: MUST BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.	
CHP. 5 GENERAL BUILDING HEIGHTS & AREAS	
501.2 ADDRESS NUMBERS SHALL BE VISIBLE FROM THE STREET.	
TABLE 504.3 ALLOWABLE HEIGHT ABOVE GRADE PLANE: 75 FEET	
TABLE 504.4 ALLOWABLE STORIES ABOVE GRADE PLANE: 3 STORIES	
TABLE 506.2 TYPE III-B ALLOWABLE AREAS	
ACTUAL AREAS:	
LEVEL 1	
B OCCUPANCY:	10,066 S.F. / 57,000 = 0.18
S-1 OCCUPANCY:	17,790 S.F. / 52,500 = 0.34
TOTAL	27,856 S.F. = 0.52 < 1.0
LEVEL 2	
S-1 OCCUPANCY	4,569 S.F. / 52,500 = 0.09 < 1.0
508.4 SEPARATED OCCUPANCIES APPLIED	
508.4.2 ALLOWABLE BUILDING AREA	
IN EACH STORY, THE BUILDING AREA SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL BUILDING AREA OF EACH SEPARATED OCCUPANCY DIVIDED BY THE ALLOWABLE BUILDING AREA OF EACH SEPARATED OCCUPANCY SHALL NOT EXCEED 1. (SEE TABLE ABOVE)	
508.4.4 SEPARATION	
INDIVIDUAL OCCUPANCIES SHALL BE SEPARATED FROM ADJACENT OCCUPANCIES IN ACCORDANCE WITH TABLE 508.4.	
TABLE 508.4	
NO SEPARATION REQUIRED BETWEEN B AND S-1 OCCUPANCIES	
CHP. 6 TYPES OF CONSTRUCTION	
TABLE 601 TYPE III-B, FIRE RESISTIBLE RATING REQUIREMENTS:	
PRIMARY STRUCTURE: 0 HOURS	
BEARING WALLS: 2 HOURS	
NON BEARING INTERIOR: 0 HOURS	
FLOOR CONSTRUCTION: 0 HOURS	
ROOF CONSTRUCTION: 0 HOURS	
TABLE 602 FIRE RESISTIBLE RATING REQUIREMENTS FOR EXTERIOR WALLS:	
FIRE SEPARATION DISTANCE IS GREATER THAN 30'	
FOR TYPE III-B THERE IS NO FIRE RESISTANCE RATING FOR EXTERIOR WALLS	
CHP. 7 FIRE & SMOKE PROTECTION FEATURES	
TABLE 705.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS:	
NO LIMIT, GREATER THAN 30'-0" OF SEPARATION	
CHP. 8 INTERIOR FINISHES	
TABLE 803.1 THE FOLLOWING FINISH REQUIREMENTS APPLY:	
B OCCUPANCY: ROOMS AND CORRIDORS = C	
S-1 OCCUPANCY: ROOMS = C-RATED	
CHP. 9 FIRE PROTECTION SYSTEMS	
903.2.9.1 FIRE SPRINKLERS REQUIRED	
906 PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED PER INTERNATIONAL FIRE CODE.	
907 REFER TO ELECTRICAL DRAWINGS FOR FIRE ALARM AND DETECTION SYSTEM	
CHP. 10 MEANS OF EGRESS	
1003.3 ALL PROTRUDING OBJECTS NEED TO COMPLY WITH THIS SECTION.	
TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT:	
OCCUPANT LOADS	
BUSINESS AREAS: 1 OCC/150 S.F.(GROSS)	
STORAGE: 1 OCC/300 S.F.	
CAR DROP-OFF AREA: 1 OCC/CAR.	
SERVICE BAYS: 1 OCC/PER BAY	
ACCESSORY SERVICE SPACE: 0 OCC/S.F.	
SALES AND OFFICE AREA: 10,066 S.F. = 87 OCCUPANTS	
PARTS STORAGE: 6,318 S.F. = 21 OCCUPANTS	
CAR DROP-OFF AREA: 2,584 S.F. = 6 OCCUPANTS	
SERVICE BAY AREA: 19 BAYS = 19 OCCUPANTS	
ACCESSORY SERVICE SPACE: = 0 OCCUPANTS	
TOTAL = 113 OCCUPANTS	
TABLE 1006.2.1 COMMON PATH OF EGRESS IS LIMITED TO 100 FEET.	
TABLE 1006.3.2 MINIMUM NUMBER OF EXITS	
2 EXITS REQUIRED	
1007.1.1 EXIT CONFIGURATION	
WHERE BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER	
SYSTEM THE DISTANCE BETWEEN EXITS SHALL NOT BE LESS THAN 1/3 THE OVERALL DIAGONAL DISTANCE OF THE SPACE.	
1016.2 EGRESS THROUGH INTERVENING SPACES	
EGRESS THROUGH INTERVENING SPACES SHALL COMPLY WITH APPLICABLE ITEMS IN SECTION.	
2.1.1. CAN EGRESS THROUGH ACCESSORY SPACES	
5.1.2. EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SPACES USED AS SIMILAR FUNCTION.	
TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE	
B OCCUPANCY: WITH SPRINKLER 300'	
S-1 OCCUPANCY: WITH SPRINKLER 250'	
CHP. 11 ACCESSIBILITY	
1104.2 AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS AND FACILITIES ON THE SITE.	
1105.1 AT LEAST 60% OF PUBLIC ENTRANCE SHALL BE ACCESSIBLE.	
1106.1 ACCESSIBLE PARKING SHALL BE PROVIDED PER TABLE 1106.1.	
1106.5 ONE OUT OF EVERY SIX ACCESSIBLE STALLS SHALL BE VAN ACCESSIBLE.	
1109.2 TOILET ROOMS SHALL BE ACCESSIBLE.	
1109.3 AT LEAST 5% OF SINKS PROVIDED SHALL BE ACCESSIBLE.	
1109.9 MINIMUM 5% OF LOCKERS SHALL BE ACCESSIBLE.	
1109.12.1 MINIMUM 5% OF DRESSING ROOMS SHALL BE ACCESSIBLE.	
CHP. 29 PLUMBING SYSTEMS	
TABLE 2902.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES	
WATER CLOSETS (BASED ON B OCCUPANCY FOR ENTIRE OCCUPANT LOAD)	
B OCCUPANCY: 1 PER 25 FOR FIRST 50, 1 PER 50 FOR REMAINDER EXCEEDING 50.	
67 OCC REQUIRED: 3 FIXTURES	
S-1 OCCUPANCY: 1 PER 100	
46 OCC. REQUIRED: 1 FIXTURE	
TOTAL REQUIRED: 4 FIXTURES	
TOTAL PROVIDED	
WOMEN = 4 FIXTURES	
MEN = 4 FIXTURES	
LAVATORIES	
B OCCUPANCY: 1 PER 40 FOR FIRST 80, 1 PER 80 FOR REMAINDER EXCEEDING 80	
67 OCC REQUIRED: 2 LAVATORIES	
S-1 OCCUPANCY: 1 PER 100	
46 OCC. REQUIRED: 1 LAVATORY	
TOTAL REQUIRED: 3 LAVATORIES	
TOTAL PROVIDED:	
WOMEN = 2 LAVATORY	
MEN = 2 LAVATORY	
DRINKING FOUNTAINS	
B OCCUPANCY: 1 PER 100	
67 OCC REQUIRED: 1 D.F.	
S-1 OCCUPANCY: 1 PER 1000	
46 OCC. REQUIRED: 1 D.F.	
TOTAL REQUIRED: 2 FIXTURES	
TOTAL PROVIDED: 2 FIXTURES	
SERVICE SINKS	
1 REQUIRED	
TOTAL PROVIDED: 4	

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SIENNA HILLS
AUTO MALL

WASHINGTON, UT

PROJECT NO: 21065
DRAWN BY: TA
CHECKED BY: TA

ISSUE DATE: 07/29/22
REV. DATE DESC.

SHEET TITLE

TITLE SHEET



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WASHINGTON, UT

PROJECT NO: 21065
DRAWN BY: TA
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ISSUE DATE: 07/29/22
REV. DATE DESC.

SHEET TITLE

SITE PLAN

A0.1

REFERENCE NOTES

01 GENERAL REQUIREMENTS

01.01 SEE SPECS FOR GENERAL REQUIREMENTS.

03 CONCRETE

03.01 NEW SIDEWALK. SEE CIVIL DRAWINGS FOR DETAILS.

03.02 NEW VEHICLE DISPLAY PAD. 6" CONCRETE OVER GRANULAR FILL. HEXAGON WITH 11'-0" LONG SIDES AND 1'-0" INTERIOR BORDER WITH 2'X2' CONCRETE STAMP PATTERN. IN-GROUND LIGHTING ON EACH SIDE (6) OF PAD TO LIGHT VEHICLE.

03.03 NEW SITE ACCESS LOCATION. SEE CIVIL DRAWINGS FOR DETAILS.

04 MASONRY

04.01 MASONRY TRASH ENCLOSURE WITH PRE-CAST CONCRETE CAP. SEE ARCHITECTURAL DETAILS. PAINTED SHERWIN WILLIAMS, "ANTLER VELVET", SW 9111.

04.02 NEW 6'-0" TALL MASONRY PRIVACY WALL WITH PRE-CAST CONCRETE CAP. MATCH MASONRY TRASH ENCLOSURE WALL DETAILS. SEE ARCHITECTURAL DETAILS. PAINTED SHERWIN WILLIAMS, "ANTLER VELVET", SW 9111.

05 STEEL

05.01 HINGED STEEL GATES. SEE ARCHITECTURAL DETAILS.

10 SPECIALTIES

10.01 NEW PYLON SIGN. GDSI-32-P-22 (32 S.F.). SIGNAGE TO BE UNDER A SEPARATE PERMIT.

10.02 HYUNDAI DIRECTIONAL SIGN (SHOWROOM, PARKING, SERVICE, PARTS). SIGNAGE TO BE UNDER A SEPARATE PERMIT.

26 ELECTRICAL

26.01 62.5 kW LEVEL 3 EV CHARGING STATION. PROVIDE ALL NECESSARY CONDUITS FOR CONNECTION.

26.02 12 kW LEVEL 2 EV CHARGING STATION INSIDE NEW VEHICLE DELIVERY BAY AND EV SERVICE BAY. SEE ELECTRICAL DRAWINGS FOR CONNECTION AND DETAILS.

26.03 ALL PARKING LOT POLE LIGHTS WITH LED FIXTURES TO BE BRONZE IN COLOR. SEE ELECTRICAL DRAWINGS FOR SPECIFICATIONS AND LOCATIONS.

32 EXTERIOR IMPROVEMENTS

32.01 NEW LANDSCAPING. SEE LANDSCAPING DRAWINGS.

32.02 NEW ASPHALT AND CONCRETE AS REQUIRED. SEE CIVIL DRAWINGS. STRIPE PARKING AREA AS INDICATED. WHITE PAINT.

33 UTILITIES

33.01 TIE NEW CONSTRUCTION INTO EXISTING UTILITIES OF BUILDING. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR COORDINATION.

TOTAL SITE AREA

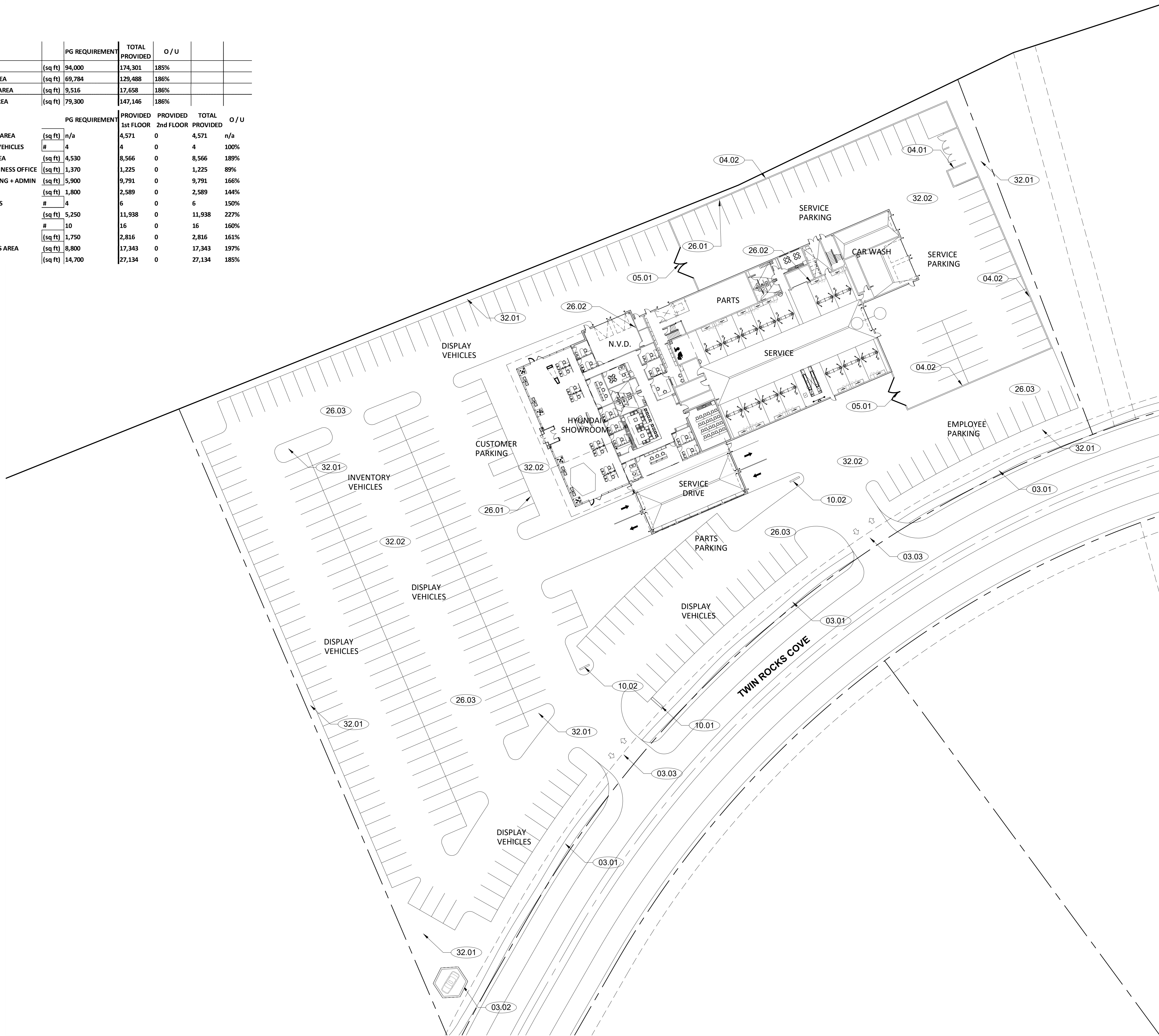
TOTAL SITE = 174,257 S.F.
BUILDING FOOTPRINT AREA = 27,757 S.F.

TOTAL BUILDING AREA

FIRST FLOOR AREA = 27,757 S.F.
SECOND FLOOR AREA = 4,546 S.F.
TOTAL BUILDING AREA = 32,303 S.F.

	PG REQUIREMENT	TOTAL PROVIDED	O / U
TOTAL SITE AREA	(sq ft) 94,000	174,301	185%
SALES USABLE LAND AREA	(sq ft) 69,784	129,488	186%
SERVICE USABLE LAND AREA	(sq ft) 9,516	17,658	186%
TOTAL USABLE LAND AREA	(sq ft) 79,300	147,146	186%

	PG REQUIREMENT	PROVIDED 1st FLOOR	PROVIDED 2nd FLOOR	TOTAL PROVIDED	O / U
SHOWROOM & OFFICE AREA	(sq ft) n/a	4,571	0	4,571	n/a
SHOWROOM DISPLAY VEHICLES	# 4	4	0	4	100%
CUSTOMER FACING AREA	(sq ft) 4,530	8,566	0	8,566	189%
GENERAL ADMIN / BUSINESS OFFICE	(sq ft) 1,370	1,225	0	1,225	89%
TOTAL CUSTOMER FACING + ADMIN	(sq ft) 5,900	9,791	0	9,791	166%
SERVICE DRIVE	(sq ft) 1,800	2,589	0	2,589	144%
SERVICE DRIVE VEHICLES	# 4	6	0	6	150%
SERVICE WORKSHOP	(sq ft) 5,250	11,938	0	11,938	227%
SERVICE BAYS & LIFTS	# 10	16	0	16	160%
PARTS DEPT/STORAGE	(sq ft) 1,750	2,816	0	2,816	161%
TOTAL SERVICE & PARTS AREA	(sq ft) 8,800	17,343	0	17,343	197%
TOTAL BUILDING AREA	(sq ft) 14,700	27,134	0	27,134	185%





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FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



REFERENCE NOTES

01 GENERAL REQUIREMENTS

01.01 SEE SPECS FOR GENERAL REQUIREMENTS.

03 CONCRETE

03.01 SLOPE SIDEWALKS/DRIVE LANES AWAY FROM BUILDING ALL AROUND, TYPICAL. MAX. 1/4" PER FOOT IN FRONT OF EXIT DOORS. SEE CIVIL DRAWINGS FOR CONTINUATION OF SIDEWALKS.

03.02 SLOPE FLOOR TOWARD FLOOR DRAIN, 1/8" PER FOOT. TYP. AT ALL RESTROOMS.

03.03 CONCRETE SLAB ON GRADE OVER 10 MIL VAPOR BARRIER OVER GRANULAR FILL. SEE STRUCTURAL DRAWINGS FOR CONCRETE THICKNESS, EXPANSION AND CONTROL JOINTS.

04 MASONRY

04.01 SEE WALL TYPE LEGEND FOR MASONRY LOCATIONS, SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT.

05 METALS

05.01 ACM ENTRY PORTAL PROVIDED AND INSTALLED BY VENDOR. CONTRACTOR TO COORDINATE BASE WALL PER VENDOR'S DETAILS.

05.02 STEEL ROOF ACCESS LADDER TO 4'-0" X 4'-0" ROOF ACCESS HATCH ABOVE. SEE DETAIL 17/AB.1.

05.03 SEE WALL SCHEDULE FOR TYPES AND SIZES OF FRAMING.

05.04 CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAIL 8/AB.1. PAINTED SHERWIN WILLIAMS, KAFFEE, SW 6104

05.05 STEEL COLUMN. WHERE EXPOSED, COLUMNS SHALL BE PRIMED AND PAINTED. SEE FINISH SCHEDULE.

05.06 6" METAL STUD FRAMING.

05.07 NEW SLOPED 8", 9", AND 10" DECORATIVE TUBE STEEL COLUMNS. SEE DETAILS ON SHEET AB.2 AND 2/AS.3. SLOPE OF COLUMNS NOT TO EXCEED 15 DEGREES.

05.08 3-5/8" METAL STUD FURRING OVER MASONRY WALLS WITH R-13 BATT INSULATION.

05.09 1-1/2" DIA. TUBE STEEL GUARDRAIL. SEE DETAIL ON SHEET AB.2.

05.10 THIS LINE TYPE INDICATES 8'-0" TALL CHAIN LINK FENCING. POSTS TO BE CORE-DRILLED INTO CONCRETE FLOOR BELOW. PROVIDE 4'-0" GATE WITH LOCKABLE HASP.

06 WOOD, PLASTIC, COMPOSITES

06.01 PROVIDE SOLID BLOCKING IN ALL WALLS TO SUPPORT MILLWORK, ADJUSTABLE SHELVING, EQUIPMENT, ACCESSORIES, PLUMBING & PLUMBING ACCESSORIES, ETC. BLOCKING SHALL CONSIST OF FIRE RETARDANT TREATED 2x LUMBER. TYPICAL.

07 THERMAL AND MOISTURE

07.01 SEE WALL SECTIONS AND SPECIFICATIONS FOR REQUIRED MOISTURE BARRIER.

07.02 EIFS OVER 2" RIGID INSULATION. SEE ELEVATIONS AND WALL SECTIONS FOR DETAILS AND SPECIFICATIONS.

07.03 WRAP HARD COAT EIFS FINISH AROUND OVERHEAD DOOR JAMB OPENINGS. FINISH TO MATCH EXTERIOR.

08 OPENINGS

08.01 ALUMINUM CURTAIN WALL/STOREFRONT. SEE PLANS AND ELEVATIONS FOR DIMENSIONS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

08.02 OPENINGS FOR MECHANICAL SHAFTS/PLUMBING. COORDINATE WITH MECHANICAL AND PLUMBING DRAWINGS TO VERIFY DIMENSIONS OF OPENINGS.

09 FINISHES

09.01 SEE ELEVATIONS FOR ALL EXTERIOR FINISHES

09.02 SEE FINISH PLANS FOR INTERIOR DETAIL

09.03 SEE WALL LEGEND AND ASSOCIATED DETAILS FOR ALL WALL TYPES

09.04 DASHED LINE HERE INDICATES SOFFIT / WALL ABOVE. SEE REFLECTED CEILING PLAN.

10 SPECIALTIES

10.01 SEMI-RECESSED, STAINLESS STEEL FIRE EXTINGUISHER CABINET. EXTINGUISHERS SHALL COMPLY WITH NFPA STANDARD #110 AND BE A MINIMUM SIZE OF 2A10B.C. RE-USE EXISTING WHERE POSSIBLE

10.02 SURFACE MOUNTED FIRE EXTINGUISHER TO COMPLY WITH NFPA STANDARD #110 AND BE A MINIMUM SIZE OF 2A10B.C.

10.03 PROVIDE THRU-WALL KEY NIGHT DROP BOX. GDSI IW46692-C12000

10.04 PROVIDE ACCESSIBLE RESTROOM SIGNAGE PER DETAIL 13/AB.1.

10.05 PROVIDE ADA COMPLIANT TACTILE "EXIT" SIGNAGE PER DETAIL 13/AB.1 AT THIS LOCATION.

10.06 INSTALL FIRE MARSHAL APPROVED "KNOX BOX" IN THIS LOCATION. VERIFY EXACT MODEL AND LOCATION WITH FIRE MARSHAL.

10.07 CONTRACTOR TO INSTALL SIGNAGE ON THIS DOOR STATING "FIRE SPRINKLER ACCESS".

10.08 LARGE ILLUMINATED HYUNDAI WALL GRAPHIC (IW46692-CFRA-9666) TO BE CENTERED IN SOFFIT ABOVE SALES OFFICES. REQUIRED POWER TO BE LOCATED 12" ABOVE AND 24" TO LEFT OF LOWER RIGHT CORNER OF SIGN. SEE HYUNDAI DCD, 4.17 FOR DETAILS.

10.09 WALL POSTER HOLDER, SALES PLEDGE PLAQUE, SERVICE PLEDGE PLAQUE, AND DIRECTIONAL SIGNAGE PROVIDED AND INSTALLED BY HYUNDAI SPECIFIED VENDOR.

11 EQUIPMENT

11.01 SEE FURNITURE/EQUIPMENT PLAN FOR MORE INFORMATION. VERIFY ALL OWNER PROVIDED EQUIPMENT NEEDS WITH TENANT SUPPLIED INFORMATION.

11.02 THESE DASHED LINES INDICATE OWNER PROVIDED POWER JACK, BIG JOE POSSES.

12 FURNISHINGS

12.01 MILLWORK PROVIDED AND INSTALLED BY GENERAL CONTRACTOR, SEE INTERIOR ELEVATIONS FOR MORE DETAIL.

12.02 CONTRACTOR TO PROVIDE AND INSTALL (S) 15" DEEP WHITE MELAMINE FINISHED SHELVES ON ADJUSTABLE "X" BRACKETED WALL MOUNTED SYSTEM. CONTRACTOR TO PROVIDE ALL REQUIRED BACKING.

12.03 METAL LOCKERS PROVIDED AND INSTALLED BY UNIFORM PROVIDER.

12.04 OWNER PROVIDED SERVICE EQUIPMENT, LIFTS, AND TOOL CABINETS ARE TO BE MANUFACTURER'S STANDARD BLACK PAINT FINISH. EACH BAY MUST INCLUDE BUILT-IN CABINETS WITH STAINLESS STEEL COUNTERTOPS.

12.05 OWNER PROVIDED TOOL CABINET IN THIS LOCATION IS TO HAVE A NON-CONDUCTIVE WORK SURFACE.

12.06 ALIGNMENT RACK TO BE RECESSED. CONTRACTOR TO COORDINATE WITH OWNER'S EQUIPMENT REPRESENTATIVE TO ENSURE FIT DIMENSIONS AND UTILITY CONNECTIONS ARE COORDINATED.

22 PLUMBING

22.01 PRIMARY ROOF DRAIN LOCATIONS, FURR OUT AS INDICATED. KEEP AS TIGHT TO COLUMN AS POSSIBLE.

22.02 FLOOR DRAIN LOCATIONS. SEE PLUMBING DRAWINGS.

22.03 SEE PLUMBING DWGS FOR HOSE BIB LOCATIONS.

22.04 NEW JANITOR FLOOR SINK. SEE PLUMBING DRAWINGS.

22.05 SEE SHEETS AS 1 FOR ENLARGED RESTROOMS DTLs

22.06 NEW ADA COMPLIANT DRINKING FOUNTAINS WITH BOTTLE FILL CAPABILITY. SEE PLUMBING DWGS.

22.07 NEW MULTI-STATION HAND WASH SINK. SEE PLUMBING DRAWINGS FOR SPECIFICATIONS.

22.08 EMERGENCY EYE WASH AND SHOWER LOCATION. SEE PLUMBING DRAWINGS FOR SPECIFICATIONS.

22.09 TRENCH DRAIN WITH ADA COMPLIANT GRATING, SEE PLUMBING DRAWINGS.

26 ELECTRICAL

26.01 IN GENERAL ELECTRICAL OUTLETS ARE TO BE 16" AFF, UNLESS NOTED OTHERWISE. SHORT OUTLETS ARE TO BE AT 48" A.F.F. COORDINATE ALL OUTLETS WITH MILLWORK ON FINISH PLANS SO NO OUTLETS ARE LOCATED BEHIND MILLWORK. PLACEMENT OF ALL ELECTRICAL AND COMMUNICATIONS OUTLETS SHALL BE VERIFIED IN THE FIELD WITH TENANT BEFORE INSTALLATION.

26.02 WALL MOUNTED EV CHARGING STATION. CHARGEPOINT -12 KW LEVEL 2 EV CHARGER 32A/240V. SEE ELECTRICAL DRAWINGS FOR CONNECTION AND DETAILS.

26.03 CONTRACTOR TO PROVIDE AND INSTALL GROUND DETECTOR LOOPS IN THESE LOCATIONS TO CONTROL THE SERVICE DEPARTMENT OVERHEAD DOOR.

26.04 CONTRACTOR TO COORDINATE DEDICATED INTERNET ACCESS TO EACH OF THE FOLLOWING GROUPS/AREAS: CUSTOMERS, SALES, PARTS AND SERVICE. INTERNET ACCESS CANNOT BE SHARED BETWEEN EACH OF THESE GROUPS/AREAS.

26.05 NIGHT DROP ROLL-UP DOOR TO HAVE KEY PAD ACCESS. COORDINATE WITH SECURITY SYSTEM AND DOOR MANUFACTURER.

26.06 CONTRACTOR TO PROVIDE 2" CONDUIT/ROOF PENETRATION AT THIS LOCATION FOR FUTURE LAN CONNECTION

32 EXTERIOR IMPROVEMENTS

32.01 SEE CIVIL AND LANDSCAPING DRAWINGS FOR EXTERIOR IMPROVEMENTS.

INTERIOR WALL LEGEND

- MASONRY WALLS. SEE STRUCTURAL FOR SIZES AND DETAILS.
- PARTITION WALL, SEE DETAIL 06/AB.1.
- FULL HT. WALL TO DECK ABOVE, SEE 05/AB.1.
- HALF WALL, SEE -/AB.1.

PROJECT NO: 21065

DRAWN BY: TA

CHECKED BY: TA

ISSUE DATE: 07/29/22

REV. DATE DESC.

FIRST FLOOR REFERENCE PLAN



consultants

FINDLAY HYUNDAI UT011

SIENNA HILLS
AUTO MALL

WASHINGTON, UT

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



REFERENCE NOTES

01 GENERAL REQUIREMENTS

01.01 SEE SPECS FOR GENERAL REQUIREMENTS.

03 CONCRETE

03.01 SLOPE SIDEWALKS/DRIVE LANES AWAY FROM BUILDING ALL AROUND, TYPICAL. MAX. 1/4" PER FOOT IN FRONT OF ENTRY DOORS. SEE CIVIL DRAWINGS FOR CONTINUATION OF SIDEWALKS.

03.02 SLOPE FLOOR TOWARD FLOOR DRAIN, 1/8" PER FOOT. TYP. AT ALL RESTROOMS.

03.03 CONCRETE SLAB ON GRADE OVER 10 MIL. VAPOR BARRIER OVER GRANULAR FILL. SEE STRUCTURAL DRAWINGS FOR CONCRETE THICKNESS, EXPANSION AND CONTROL JOINTS.

04 MASONRY

04.01 SEE WALL TYPE LEGEND FOR MASONRY LOCATIONS, SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT.

05 METALS

05.01 ACM ENTRY PORTAL PROVIDED AND INSTALLED BY VENDOR. CONTRACTOR TO COORDINATE BASE WALL PER VENDOR'S DETAILS.

05.02 STEEL ROOF ACCESS LADDER TO 4'-0" X 4'-0" ROOF ACCESS HATCH ABOVE. SEE DETAIL 17/A8.1.

05.03 SEE WALL SCHEDULE FOR TYPES AND SIZES OF FRAMING.

05.04 CONCRETE FILLED STEEL PIPE BOLLARD. SEE DETAIL 8/A8.1. PAINTED SHERWIN WILLIAMS, KAFFEE, SW 6104

05.05 STEEL COLUMN, WHERE EXPOSED, COLUMNS SHALL BE PRIMED AND PAINTED. SEE FINISH SCHEDULE.

05.06 6" METAL STUD FRAMING.

05.07 NEW SLOPED 8", 3" AND 10" DECORATIVE TUBE STEEL COLUMNS. SEE DETAILS ON SHEET A8.2 AND 2/SS.3. SLOPE OF COLUMNS NOT TO EXCEED 15 DEGREES.

05.08 3-5/8" METAL STUD FURRING OVER MASONRY WALLS WITH R-13 BATT INSULATION.

05.09 1-1/2" DIA. TUBE STEEL GUARDRAIL. SEE DETAIL ON SHEET A8.2.

05.10 THIS LINE TYPE INDICATES 8'-0" TALL CHAIN LINK FENCING. POSTS TO BE CORE-DRILLED INTO CONCRETE FLOOR BELOW. PROVIDE 4'-0" GATE WITH LOCKABLE HASP.

06 WOOD, PLASTIC, COMPOSITES

06.01 PROVIDE SOLID BLOCKING IN ALL WALLS TO SUPPORT MILLWORK, ADJUSTABLE SHELVING, EQUIPMENT, ACCESSORIES, PLUMBING & PLUMBING ACCESSORIES, ETC. BLOCKING SHALL CONSIST OF FIRE RETARDANT TREATED 2x LUMBER. TYPICAL.

07 THERMAL AND MOISTURE

07.01 SEE WALL SECTIONS AND SPECIFICATIONS FOR REQUIRED MOISTURE BARRIER.

07.02 EIFS OVER 2" RIGID INSULATION. SEE ELEVATIONS AND WALL SECTIONS FOR DETAILS AND SPECIFICATIONS.

07.03 WRAP HARD COAT EIFS FINISH AROUND OVERHEAD DOOR JAMB OPENINGS. FINISH TO MATCH EXTERIOR.

08 OPENINGS

08.01 ALUMINUM CURTAIN WALL/STOREFRONT, SEE PLANS AND ELEVATIONS FOR DIMENSIONS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

08.02 OPENINGS FOR MECHANICAL SHAFTS/PLUMBING. COORDINATE WITH MECHANICAL AND PLUMBING DRAWINGS TO VERIFY DIMENSIONS OF OPENINGS.

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09.01 SEE ELEVATIONS FOR ALL EXTERIOR FINISHES

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09.03 SEE WALL LEGEND AND ASSOCIATED DETAILS FOR ALL WALL TYPES

09.04 DASHED LINE HERE INDICATES SOFFIT / WALL ABOVE. SEE REFLECTED CEILING PLAN.

10 SPECIALTIES

10.01 SEMI-RECESSED, STAINLESS STEEL FIRE EXTINGUISHER CABINET. EXTINGUISHERS SHALL COMPLY WITH NFPA STANDARD #10 AND BE A MINIMUM SIZE OF 2A10B.C. RE-USE EXISTING WHERE POSSIBLE

10.02 SURFACE MOUNTED FIRE EXTINGUISHER TO COMPLY WITH NFPA STANDARD #10 AND BE A MINIMUM SIZE OF 2A10B.C.

10.03 PROVIDE THRU-WALL KEY NIGHT DROP BOX. GDS1 IW46692-C12000.

10.04 PROVIDE ACCESSIBLE RESTROOM SIGNAGE PER DETAIL 13/A8.1.

10.05 PROVIDE ADA COMPLIANT TACTILE "EXIT" SIGNAGE PER DETAIL 13/A8.1 AT THIS LOCATION.

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10.07 CONTRACTOR TO INSTALL SIGNAGE ON THIS DOOR STATING "FIRE SPRINKLER ACCESS".

10.08 LARGE ILLUMINATED HYUNDAI WALL GRAPHIC (IW46602-CPRA-9566) TO BE CENTERED IN SOFFIT ABOVE SALES OFFICES. REQUIRED POWER TO BE LOCATED 12" ABOVE AND 24" TO LEFT OF LOWER RIGHT CORNER OF SIGN. SEE HYUNDAI DGD, 4.17 FOR DETAILS.

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11.02 THESE DASHED LINES INDICATE OWNER PROVIDED POWER JACK, BIG JOE PDS2S.

12 FURNISHINGS

12.01 MILLWORK PROVIDED AND INSTALLED BY GENERAL CONTRACTOR, SEE INTERIOR ELEVATIONS FOR MORE DETAIL.

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INTERIOR WALL LEGEND

- MASONRY WALLS. SEE STRUCTURAL FOR SIZES AND DETAILS.
- PARTITION WALL, SEE DETAIL 06/A8.1.
- FULL HT. WALL TO DECK ABOVE, SEE 05/A8.1.
- HALF WALL, SEE --/A8.1.

PROJECT NO: 21065
DRAWN BY: TA
CHECKED BY: TA

ISSUE DATE: 07/29/22

REV.	DATE	DESC.

SHEET TITLE



consultants

FINDLAY
HYUNDAI
UT011
SIENNA HILLS
AUTO MALL
WASHINGTON, UT

PROJECT NO: 21065
DRAWN BY: TA
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SHEET TITLE

BUILDING
ELEVATIONS

REFERENCE NOTES

- 03 CONCRETE**
03.01 NEW FOOTING AND FOUNDATION MIN 12" BELOW GRADE, SEE STRUCTURAL.
- 05 METALS**
05.01 FACTORY PAINTED CONTINUOUS METAL COPING. WHERE COPING EXISTS, REPLACE WITH NEW. IMCI BROWNSTONE.
05.02 "SHAPE SKY" ACM PANEL SYSTEM
05.03 EXPANSION JOINT. SEE DETAIL -/-.
05.04 INCLINED TUBE STEEL COLUMNS, PAINTED. SEE DETAILS
05.05 PIPE BOLLARDS TO BE PAINTED P-2.
05.06 CITYSCAPES RTU SCREEN WALL. ENVISOR 52" WITH 24 GAUGE HORIZONTAL 7.2 RIB PANELS AND LINEAL BAND TOP TRIM. ARCHITECT TO CHOOSE COLOR FROM MANUFACTURER'S AVAILABLE OPTIONS.
- 08 OPENINGS**
08.01 HOLLOW METAL SERVICE DOOR, PAINTED P-1. SHERWIN WILLIAMS PRO INDUSTRIAL ZERO VOC ACRYLIC SEMI-GLOSS
08.02 OVERHEAD DOOR. RYTEC SPIRAL FULL VISION DOOR WITH 9" ALUMINUM FRAMED VISION SLATS
08.03 OVERHEAD ALUMINUM DOORS WITH GLASS LITES. SEE DOOR SCHEDULE.
08.04 HORIZONTAL MULLION AT 11'-0" A.F.F. THIS IS THE ONLY EXPOSED MULLION. ALL VERTICAL GLASS JOINTS ARE SILICONE BUTT JOINTS.
08.05 OVERHEAD DOOR. GLASS SECTIONAL, SEE DOOR SCHEDULE
- 09 FINISHES**
09.01 SPLIT-FACED MASONRY. PAINTED P2. CONTRACTOR TO PROVIDE ALTERNATE FOR INTEGRALLY COLORED MASONRY FROM LOCAL SUPPLIER TO MATCH P-2 COLOR.
09.02 EIFS OVER 2" RIGID INSULATION. SEE WALL SECTIONS.
- 10 SPECIALTIES**
10.01 HYUNDAI BUILDING SIGNAGE. HCS-43F HCL-20F. SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
10.02 DEALER NAMEPLATE, MURDOCK - DNF-24F, SERVICE - SW-18F. SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
10.03 PROVIDE THRU-WALL KEY NIGHT DROP BOX. GDSI W466502-C12000
10.04 HYUNDAI BUILDING SIGNAGE. HCS-32F HCL-23F. SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
10.05 STORE INFORMATION AND HOURS. WHITE VINYL LETTERS AND NUMBERS IN HYUNDAI APPROVED FONT. SEE CDD 3.12
10.06 8" TALL WHITE VINYL ADDRESS NUMBERS.
10.07 HYUNDAI BUILDING SIGNAGE. SW-18F. SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
- 26 ELECTRICAL**
26.01 NEW WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL. DARK BRONZE COLOR.
26.02 SERVICE LANE SIGNALS - SIGNAL-TECH, TCL SERIES, X/DOWN ARROW LED SIGN (ITEM #5492 [TCL 1010RG-175DS). FINISH: DURANDONIC BRONZE CABINET, SEE ELECTRICAL.
- 31 EARTHWORK**
31.01 SLOPE GRADE AWAY FROM BUILDING ALL AROUND, TYPICAL.

EXTERIOR FINISH LEGEND:

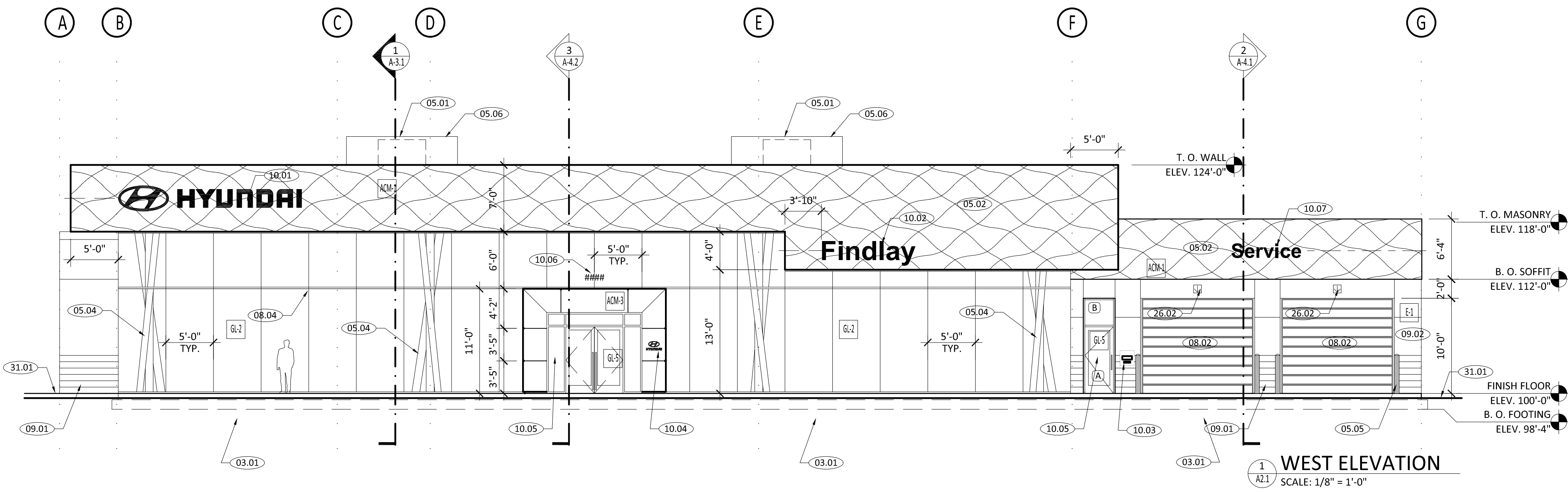
- ACM-1 SHAPED SKY METAL FASCIA, HMA SURVEY VENDOR COMPLETE RAIN SCREEN ACM SYSTEM. BASE ACM LAYER: BLACK ACM RAINSCREEN (BY HMA APPROVED ACM VENDOR) INSTALLED OVER SHEET APPLIED WATER PROOF MEMBRANE. OUTER ACM LAYER: 4MM ACM SHAPED SKY PANEL OVERLAY, BRONZE (BY HMA APPROVED ACM VENDOR)
- ACM-3 ENTRY ELEMENT, HMA SURVEY VENDOR COLOR: HYUNDAI NORTH AMERICA BRONZE FRAME OPENING AROUND DOOR, PROVIDE CIRCUIT FOR SIGN
- E-1 EIFS, DRYVIT, OUTSULATION PLUS COLOR: MATCH P-1
- E-2 EIFS, DRYVIT, OUTSULATION PLUS COLOR: MATCH P-2
- GL-2 GLAZING SYSTEM: EXTERIOR CURTAIN WALL KAWNEER, 1600 WALL SYSTEM 2 CURTAIN WALL, CLEAR ANODIZED ALUMINUM FINISH. STRUCTURAL SILICON GLAZING (SSG) AT VERTICAL MULLIONS AT 5'-0" O.C., EXPRESSED CLEAR ANODIZED FRAME AT HORIZONTAL MULLION. GLAZING AT EXTERIOR CURTAIN WALL TO BE VITRO'S COMMERCIAL INSULATING GLASS UNIT, WITH SOLARBAN 72 ON STARPHIRE GLASS AND CLEAR GLASS INTERIOR LITE. THERMALLY BROKEN FRAME.
- GL-5 GLAZING SYSTEM: CLEAR ANODIZED EXTERIOR STOREFRONT KAWNEER, TRIFAB 451 SYSTEM LOW E CLEAR GLASS, THERMALLY BROKEN FRAME
- P-1 PAINT - EXTERIOR SHERWIN WILLIAMS, COLOR: ANTLER VELVET #SW9111, SEMI-GLOSS FINISH
- P-2 PAINT - EXTERIOR SHERWIN WILLIAMS, COLOR: KAFFEE #SW6104 SEMI-GLOSS FINISH

GLAZING TYPES:

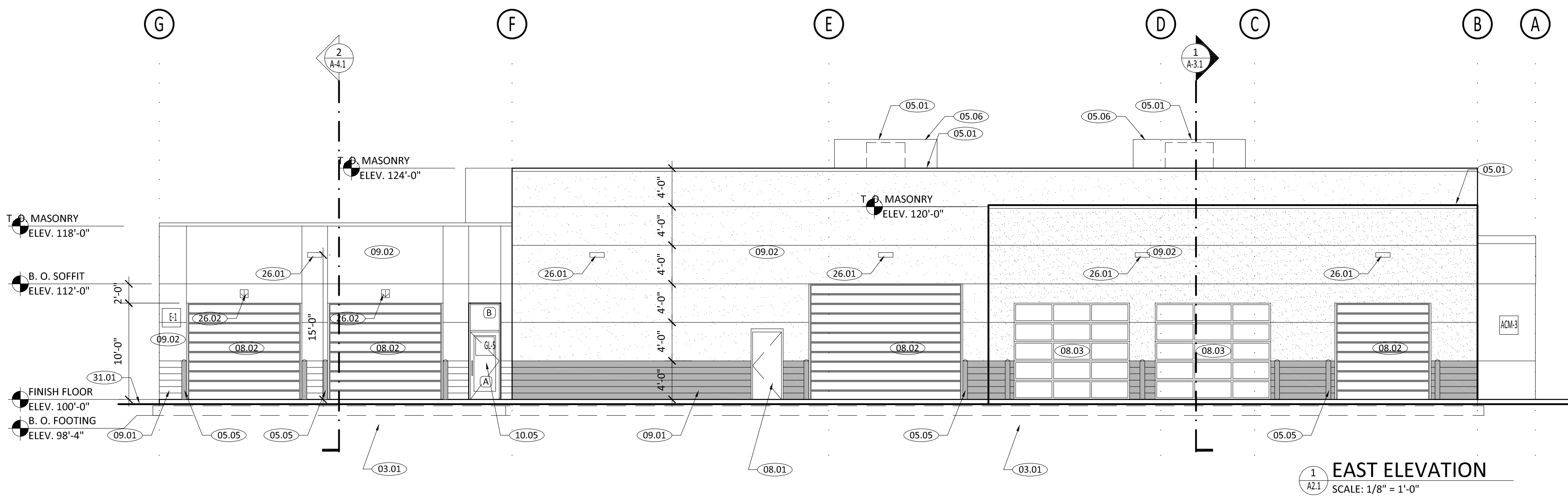
- (A) 1" CLEAR PPG SOLARBAN 60, INSULATED, LOW-E, TEMPERED GLASS, SEALED.
(B) 1" CLEAR PPG SOLARBAN 60, INSULATED, LOW-E, SEALED.

GLAZING PERFORMANCE VALUES:

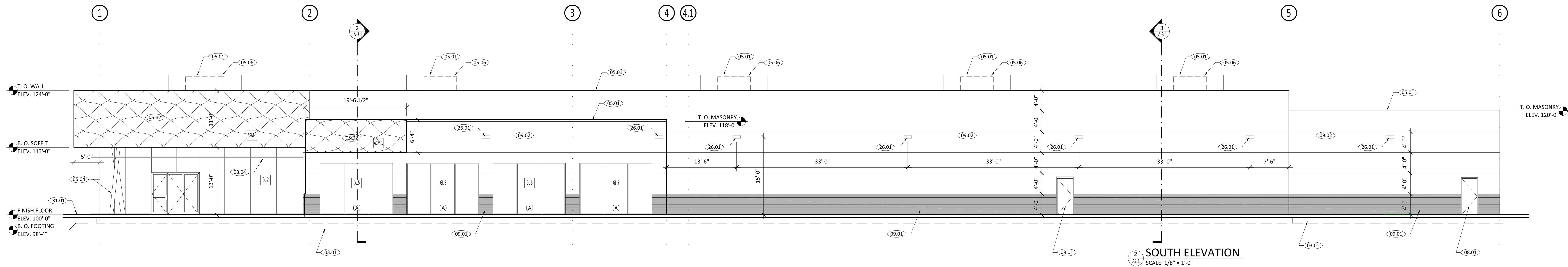
INDOOR LITE: CLEAR FLOAT GLASS
OUTDOOR LITE: SOLARBAN 72 ON STARPHIRE GLASS
VISIBLE LIGHT TRANSMISSION: 63%
SHGC: 0.29
NFRC CERTIFICATE FOR THE SITE-BUILT GLAZING TO BE PROVIDED TO BUILDING INSPECTOR AT THE TIME OF FINAL INSPECTION



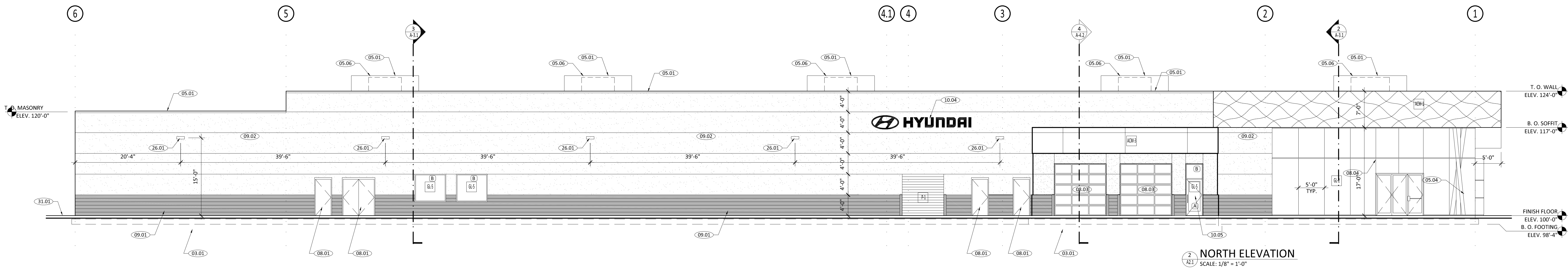
WEST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



PROJECT FLOW CARD
MEETING DATE

CUP-22-19 Findlay Hyundai Conditional Use Permit
January 4, 2023

Planning	No concern	
Hillside	No concern	
Public Works	No concern	
Engineer	No concern	
Fire Dept.	No concerns with concept, we will conduct review with plan submission	
Parks/Trails	Reviewed, contains no master planned trails	
Building dept	No Comments at this time	
Washington Power	No issues with conditional use	
Dixie Power	NA	
Economic Dev	This development is expected to generate significant sales tax as it contains a high ticket retail sales component in an area where there is increasing demand.	

Additional Comments:

WASHINGTON CITY
PLANNING COMMISSION MEETING
STAFF REVIEW

Item # 5 a

HEARING DATE:	January 4, 2023
ACTION REQUESTED:	C-22-19, A request for a Conditional Use Permit for a commercial development/car dealership within the auto mall area, located at approximately Washington Parkway and North Commerce Blvd..
APPLICANT:	Boyd Martin Construction
OWNER:	Cederwood Ranch LLC
ENGINEER:	Reeve and Associates / Clarity Design Group
REVIEWED BY:	Drew Ellerman, Community Development Director
RECOMMENDATION:	Recommend approval with conditions

Background

The applicant is requesting approval of a Conditional Use Permit to develop a new Car Dealership located at approximately Washington Parkway and North Commerce Blvd.. The applicant is wishing to develop approximately 4.00 acres into a Car Dealership for the Findlay Hyundai auto group at this location. Being proposed, is a building approximately 32,300 square feet, consisting of two stories containing office space and a service bay. The ground level floor will be 27,757 square feet of show room area, sales offices, parts and service bay area. The second floor will be office space consisting of 4,546 square feet of floor area. The building height will be twenty-four feet to the top of the exterior walls with an additional four to five feet of mechanical equipment (which will be screened with a suitable finish accenting the building finishes). This is well within the height limitation for commercial buildings which is forty-five feet (45').

The Conditional Use is being sought due to the requirements found in the Planned Community Development (PCD) zoning, stating that a CUP approval from the Planning Commission must be obtained for automobile sales agencies.

Staff has reviewed the proposed project and finds that it meets the intent of the Planned Community Development (PCD) use regulations as found in the zoning ordinance. The

proposed project is also very well designed and will be an asset to the City at this location.

Recommendation

Staff recommends that the Planning Commission approve C-22-19, allowing for a new Motor Vehicle Sales agency to be located at approximately Washington Parkway and North Commerce Blvd. (as shown in the attached exhibits), with the findings and conditions as outlined below:

Findings

1. The proposed use, at the particular location, is necessary or desirable to provide a service or facility which will contribute to the general well being of the neighborhood and community; and.
2. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of the persons residing or working in the vicinity, or injurious to property or improvements in the vicinity; and
3. The proposed use will comply with the regulations and conditions specified in this title and associating state and federal titles, for such use; and
4. The proposed use will conform to the intent of the general plan.

Conditions

1. Any site improvements shall meet the requirements of City and State adopted codes.
2. The development of the site shall comply with the development as approved in the exhibits provided.
3. Development of the site shall also comply with the recommendations of a geotechnical study and drainage study. Improvements for drainage and detention shall be approved by the Public Works Department prior to the issuance of building permits.
4. The applicant will submit a traffic impact study for review and approval by the Public Works Department.
5. The dumpsters will be screened with block walls on three sides and solid gate(s) on the opening area. Details for this item shall be submitted for review and approval prior to the installation.
7. A detailed landscaping plan will be submitted for review and approval prior to any landscaping being installed throughout the project, and shall comply with the City's newly adopted water conservation ordinance.

8. All lighting within the project development will be directed inward to the site.
9. All signage will be in accordance with the adopted sign regulations of the city.
10. Any roof mounted equipment will be screened from view with appropriate finishes closely resembling/accenting the building's exterior finishes.













Briefing Document

Description: Epic 7 Motors Conditional Use Permit Revocation of C-01-19

Presenter: Thad Seegmiller

Recommendation: Since the prior meeting from November 16, 2022, Washington City staff has monitored progress with the Planning Commission conditions in order to retain the current Conditional Use Permit.

Staff recommends that the CUP revocation be denied because conditions have been met.