



**Wednesday, December 7, 2022
Planning Commission**

Planning Commission Agenda

PUBLIC NOTICE is hereby given that the Planning Commission of Spanish Fork, Utah, will hold a meeting at the City Council Chambers, 40 South Main Street, Spanish Fork, Utah, with a work session commencing at 5:30 p.m. and Planning Commission Meeting commencing at 6:00 p.m. on **December 7, 2022.**

Planning Commissioners

**Jesse Cardon
John Mendenhall
Todd Mitchell
Shauna Warnick
Joseph Earnest
Michelle Carroll**

SPANISH FORK CITY does not discriminate on the basis of race, color, national origin, sex, religion, age or disability in the employment or the provision of services. The public is invited to participate in all Spanish Fork City Planning Commission Meetings located at the City Council Chambers, 40 South Main Street, Spanish Fork. If you need special accommodation to participate in the meeting, please contact the Community Development Office at 801-804-4580.

1. 5:30pm WORK SESSION -No formal actions are taken in a work session.

2. Minutes

Subject	A. November 2, 2022
Meeting	Dec 7, 2022 - Planning Commission
Category	2. Minutes
Access	Public
Type	Action, Minutes

File Attachments
[minutes.planningcommission.11-2-2022.pdf \(1,040 KB\)](#)

3. Zone Change (Public Hearing)

Subject	A. ZONING MAP AMENDMENTS 2022. The proposal involves various amendments to the City's Zoning Map.
Meeting	Dec 7, 2022 - Planning Commission
Category	3. Zone Change (Public Hearing)
Access	Public
Type	Action, Discussion

File Attachments
[memo.zoningmapreview.pc.12-7-2022.pdf \(6,728 KB\)](#)

Subject **B. LUDLOW DEVELOPMENT ENHANCEMENT OVERLAY 2022. The proposal would amend the Development Enhancement Overlay approval for a 0.32-acre property located at 103 East 100 South.**

Meeting Dec 7, 2022 - Planning Commission

Category 3. Zone Change (Public Hearing)

Access Public

Type Action, Discussion

File Attachments
[report.pc.ludlow.12-7-2022.pdf \(14,120 KB\)](#)

Subject **C. VOORHEES DUPLEX ADDITION. The proposal involves changing the current zone from R-3 to R-3 with the Infill Overlay to allow for an additional duplex to be built on the property located at 117 North 200 West.**

Meeting Dec 7, 2022 - Planning Commission

Category 3. Zone Change (Public Hearing)

Access Public

Type Action, Discussion

File Attachments
[report.pc.voorheesduplexaddition.12-7-2022.pdf \(5,065 KB\)](#)

4. Title 15 Amendments (Public Hearing)

Subject **A. TITLE 15 COMMERCIAL DOWNTOWN AMENDMENT (EVENT CENTERS). The proposal would amend Title 15 to allow event centers as a use subject to conditions in the C-D Downtown Commercial zone.**

Meeting Dec 7, 2022 - Planning Commission

Category 4. Title 15 Amendments (Public Hearing)

Access Public

Type Action, Discussion

File Attachments
[memo.eventcenterscdzone.pc.12-7-2022.pdf \(129 KB\)](#)

Subject **B. TITLE 15 AMENDMENTS. The proposal involves various amendments to Municipal Code regarding Title 15 Land Use.**

Meeting Dec 7, 2022 - Planning Commission
Category 4. Title 15 Amendments (Public Hearing)
Access Public
Type Action, Discussion

5. General Plan (Public Hearing)

Subject A. TRANSPORTATION ELEMENT OF THE GENERAL PLAN 22.04-06. The proposal involves revisions to the Transportation Master Plan.

Meeting Dec 7, 2022 - Planning Commission
Category 5. General Plan (Public Hearing)
Access Public
Type Action, Discussion

File Attachments
[22.05 Dec 2022 TMP PC_CC Master Memo \(eff Jan 1, 2023\).pdf \(2,638 KB\)](#)

6. Concept Review

Subject A. CANYON COURT CONCEPT.

Meeting Dec 7, 2022 - Planning Commission
Category 6. Concept Review
Access Public
Type Discussion

File Attachments
[plans.siteplanrendering.canyoncourt.11-28-2022.pdf \(2,063 KB\)](#)
[plans.canyoncourturban.11-23-2022.pdf \(3,512 KB\)](#)
[elevations.residential.canyoncourt.11-28-2022.pdf \(2,551 KB\)](#)
[elevations.retail.canyoncourt.11-28-2022.pdf \(493 KB\)](#)
[plans.conceptset.canyoncourturban.11-23-2022.pdf \(3,167 KB\)](#)
[plans.roundaboutdesign.canyoncourturban.11-30-2022.pdf \(2,977 KB\)](#)
[Canyon Court Renderings 12-5-2022.pdf \(8,280 KB\)](#)

Subject B. BINGHAM CONCEPT.

Meeting Dec 7, 2022 - Planning Commission
Category 6. Concept Review
Access Public
Type Discussion

File Attachments
[plans.binghamconcept.11-21-2022.pdf \(554 KB\)](#)

Subject **C. HIGHWAY 6 STORAGE UNITS CONCEPT.**

Meeting Dec 7, 2022 - Planning Commission

Category 6. Concept Review

Access Public

Type Discussion

File Attachments
[plan.hwy6storageunitsconcept.11-10-2022.pdf \(573 KB\)](#)

Subject **D. VESTA CONCEPT.**

Meeting Dec 7, 2022 - Planning Commission

Category 6. Concept Review

Access Public

Type Discussion

File Attachments
[Spanish Fork Residential Development - Vesta Realty Partners.pdf \(1,998 KB\)](#)

7. Discussion

Subject **A. PARKING REQUIREMENTS.**

Meeting Dec 7, 2022 - Planning Commission

Category 7. Discussion

Access Public

Type Discussion

8. Adjourn

Draft Minutes
Spanish Fork City Planning Commission
40 South Main Street
Spanish Fork, Utah 84660
November 2, 2022

Commission Members Present: Chairman Jesse Chairman Cardon, Commissioners John Commissioner Mendenhall, Shauna Commissioner Warnick, Joseph Commissioner Earnest, Todd Commissioner Mitchell. **Absent:** Commissioner Michell Carroll.

Staff Members Present: Dave Anderson, Community Development Director; Brandon Snyder, City Planner; Michael Clark, Staff Engineering; Jackson Dille, Planning Intern.

Citizens Present: Clint Garner, Pete Midtanck.

WORK SESSION

Chairman Cardon called the meeting to order at 6:05 p.m.

PRELIMINARY ACTIVITIES

Pledge of Allegiance
Commissioner Warnick led the pledge.

MINUTES

October 5, 2022

Commissioner Mendenhall **moved** to approve the minutes from October 2, 2022.

Commissioner Mitchell **seconded** and the motion **passed** all in favor.

CONDITIONAL USE PERMIT (Public Hearing)

1150 EAST VERIZON UPGRADE 2022

Dave Anderson said the applicant has asked the item be continued because they are not sure the project will proceed, and if it does it will go before the public again.

Commissioner Mitchell **moved** to continue the 1150 East Verizon Upgrade 2022 to the City Council based on the following findings and conditions.

Commissioner Warnick **seconded** and the motion **passed** all in favor.

TITLE 15 (Public Hearing)

Title 15 Amendments

Dave Anderson explained the proposed changes. There are multiple changes proposed but none are too exciting. There are some proposals to bring the language about annexations in line with the day-to-day practices. There are some proposed changes to parking. Some changes just involve moving and consolidating discussion of parking. There have been changes in the counting of tandem garage driveway parking. Instead of two different stalls they will count as one. This issue is where most of the parking issues in existing projects occur.

Discussion ensued regarding current parking requirements and how they would be changed by this proposal. The Commission recognizes that parking is a serious issue in the community. They want to ensure that enough parking is required without putting an undue burden on developers.

Commissioner Warnick said that she felt that it was a lot to stop counting tandem parking and increase the required amount of parking to three spaces at the same time. She thinks 2.75 or 2.8 is a fairer requirement.

Dave Anderson said based on the feedback they have heard; they did not aim low with the new requirement.

The requirement for stacked flats is separate from the townhome requirement, and will be 2.25 or if it is a project with more than 200 homes it will be 2. The DRC has recommended that this change not be made.

Commissioner Mendenhall said that he sees both sides. He would like to table the parking so they can be sure what they want. They need to provide clarity to developers.

Commissioner Mitchell said in his experience most garage units get used as storage, not parking.

Commissioner Warnick said she'd like to see well parked projects and what their numbers are.

Discussion ensued regarding the different requirements. The Commissioners would like more time to examine other projects and see what works and what doesn't.

Dave Anderson mentioned there is also a proposed cleanup to clarify private streets are not allowed. There is also clarifying language regarding environmental cleanup.

Commissioner Earnest asked a clarifying question about how much the City can bill a developer for environmental review.

Dave Anderson gave an outline of how City expenses work in regards to this issue. He gave several examples of how this remediation would be helpful in other projects.

Chairman Cardon opened the public hearing at 7:06 p.m.

There was no public comment.

Chairman Cardon closed the public hearing at 7:06 p.m.

Commissioner Earnest **moved** to recommend to approve each of the proposed Title 15 Amendments to the City Council, except the parking amendment which shall be tabled for further review, based on the following finding.

Finding:

1. That the proposed amendments will be beneficial for the operations of Spanish Fork City.

Commissioner Warnick **seconded** and the motion **passed** all in favor.

GENERAL PLAN AMENDMENT (Public Hearing)
TRANSPORTATION MASTER PLAN AMENDMENT (22.04 & 22.05 TMP)

Michael Clark gave a quick description of the proposed amendments.

Discussion ensued regarding the legend of the map and where stop signs are appropriate.

Commissioner Mitchell asked how speeds have increased on 4th East since stop signs have been removed.

Michael Clark said speeds have increased by an average of 1 mile an hour.

Discussion ensued regarding location of future interchanges. There are a few adjustments in trail location and layout as well.

Chairman Cardon opened the public hearing at 7:50 p.m.

There was no public comment.

Chairman Cardon closed the public hearing at 7:50 p.m.

Commissioner Warnick **moved** to recommend to approve the Transportation Master Plan Amendment (22.04 & 22.05) to the City Council based on the following finding.

Finding:

1. That the proposed amendments will be beneficial for the operations of Spanish Fork City.

Commissioner Mendenhall **seconded** and the motion **passed** all in favor.

CONSTRUCTION STANDARDS (Public Hearing)
CONSTRUCTION STANDARDS REVISIONS (22.03)

Michael Clark explained that these changes are to help make the language clearer and closer aligned to City preferences. The change regarding meter locations is recommended to be tabled.

Chairman Cardon opened the public hearing at 7:54 p.m.

There was no public comment.

Chairman Cardon closed the public hearing at 7:54 p.m.

Commissioner Mitchell **moved** to recommend to approve the Construction Standards Revisions (22.03), with the exception of the unacceptable meter locations, to the City Council based on the following finding.

Finding:

1. That the proposed standard revisions will be beneficial for the operations of Spanish Fork City.

Commissioner Earnest seconded and the motion **passed** all in favor.

NEW BUSINESS
MODERA

Dave Anderson explained that this project was approved but the developer now wishes to change which amount of the units be owner-occupied in the project. Right now, it's required that 114 of the 668 units be owner occupied. The DRC has recommended that the request be denied.

Pete Midtanck said he appreciated the time of the commission. They initially were comfortable with the condition, but because the market has changed, they are now having difficulties with it.

Commissioner Earnest asked if the financing issues are specific to the condition.

Pete Midtanck said yes.

Commissioner Earnest asked if the financing issue is regarding their land acquisition loan and future construction loan.

Pete Midtanck said yes. He said they would be fine if not for the referendum which put them behind schedule. He understands the commission owes them no obligation and they are at the commission's mercy. The condo and apartments are two separate development groups. They have gotten the impression that some of the City's main goals are affordable housing and stability through owner occupants. He understands why owner occupants are desired. In the market there is a long trend making it hard for young people to be homeowners. The people who once would be owners are now forced to rent.

Commissioner Earnest asked what the expected rent is.

Pete Midtanck said \$300,000 to purchase. Expected monthly with interest rate is \$2,500. Rent will be \$1,500 a month. So, the market may change, but renters would be paying much less. Because of that, there will be strong demand for renters. They will be good stable citizens. Changing the conditions would help make it more affordable. The intent will always be to sell to owner occupants, but they want the option to rent the units if they must. That change will allow the owners more flexibility as well.

Commissioner Mendenhall asked if financing of the project is also split.

Pete Midtanck said yes.

Commissioner Mitchell asked staff if the project is still phased.

Dave Anderson said yes, apartments and condos could be built concurrently.

Commissioner Warnick asked how the high prices pencil out.

Pete Midtanck said it's supply and demand and that's the current market.

Commissioner Earnest asked staff if there's a way to force the developer to try to sell before renting.

Dave Anderson said there's no way to regulate intent and force them to sell.

Commissioner Mendenhall asked if amenities are split.

Pete Midtanck said yes, the projects are designed to be able to stand separately.

Commissioner Mitchell said all points listed by the applicants are good. For the same reason they are stating, the City would want some condos available to purchase.

Pete Midtanck said they would appreciate a reduction or a change in phasing requirements.

Commissioner Earnest said they should be able to build in separate phases regardless.

Commissioner Mitchell **moved** to recommend to deny the Modera request to the City Council.

Commissioner Mitchell seconded and the motion passed 4-1 with Commissioner Warnick voting against the motion.

DISCUSSION
ZONING MAP AMENDMENTS

Dave Anderson mentioned that they want the commission to direct staff to initiate the process to make fixes to the zoning map.

Commissioner Earnest moved to direct City staff to initiate a review of the City's zoning map and recommend changes as needed.

Commissioner Warnick seconded and motion passed all in favor

OTHER LAND USE MATTERS

Dave Anderson discussed that multiple people present at this meeting have attended several conferences. He wanted those people to share a report on what they have learned.

Commissioner Warnick spoke about what she learned in the APA conference. She specifically mentioned a workforce housing development she toured.

Brandon Snyder shared his thoughts on the APA conference as well. He specifically spoke about the importance of deliberation on comments received during public hearings and not immediately making a decision. There was also much discussion about water conservation. He also spoke about a study that showed how housing regulation has limited housing development.

Commissioner Earnest asked if the State has authority to regulate local land use.

Dave Anderson said the state gives cities the authority to regulate land use.

Commissioner Mitchell moved to adjourn the meeting at 8:42 p.m.

Commissioner Warnick seconded and the motion passed 4-1 with Commissioner Earnest voting in opposition.

Adopted:

Jackson Dille
Planning Intern

TO: Planning Commission

FROM: Jackson Dille

DATE: December 7, 2022

RE: Zoning Map Review, Amendments

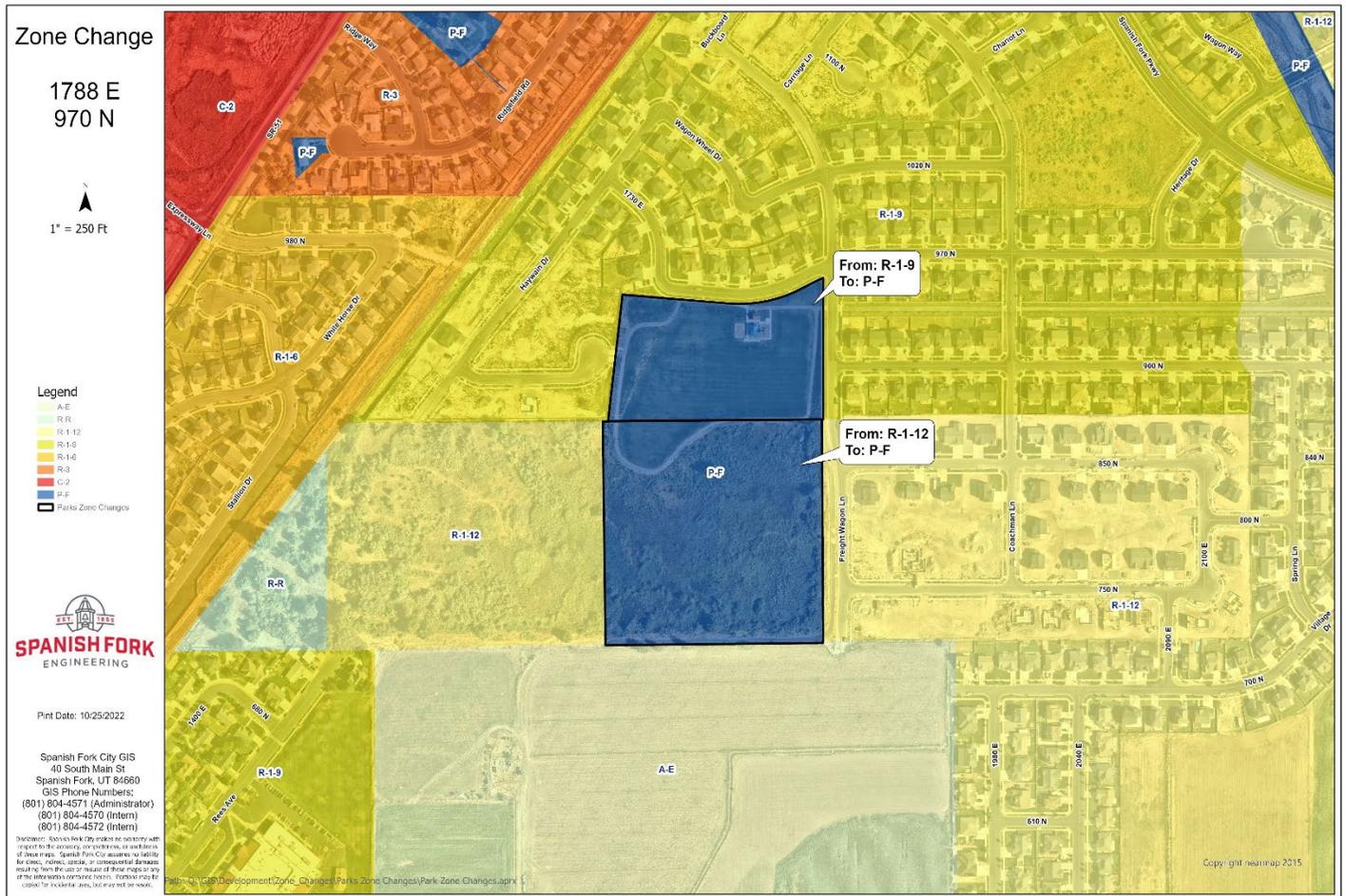
This correspondence includes a collection of images that identify irregularities, errors or other elements that staff believe should be addressed.

The following modifications require the completion of a public process and affirmative action on the part of the City Council. Properties are in this situation for a variety of reasons. The most common situation is the change of use, particularly with the construction of public parks.

Public notice has been sent to all residents surrounding the proposed changes. Community Development staff have also held an open house to help any concerned residents better understand the changes proposed to these areas.

Address: 1788 East 970 North

Image:



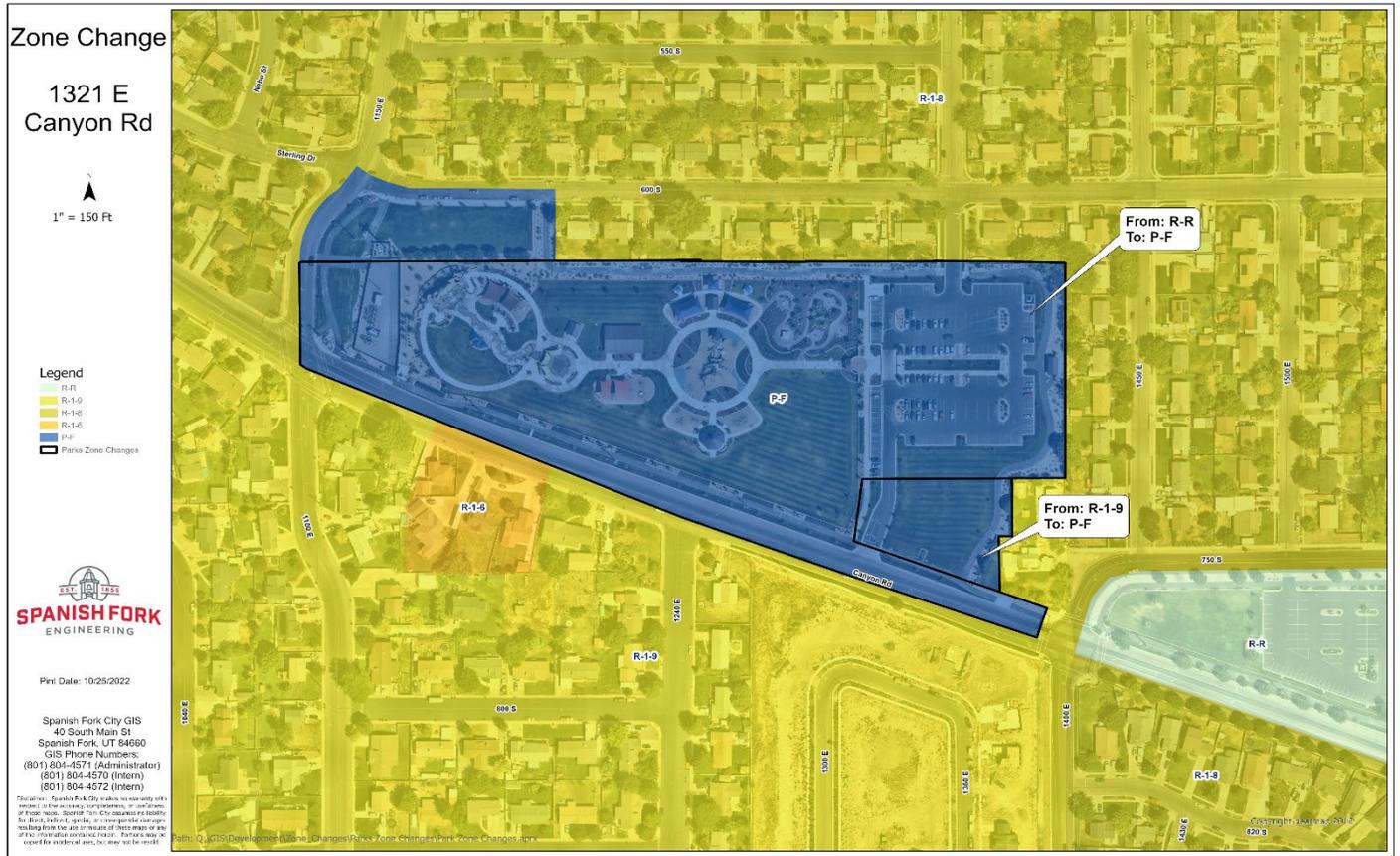
Address: 1116 South 1450 East

Image:



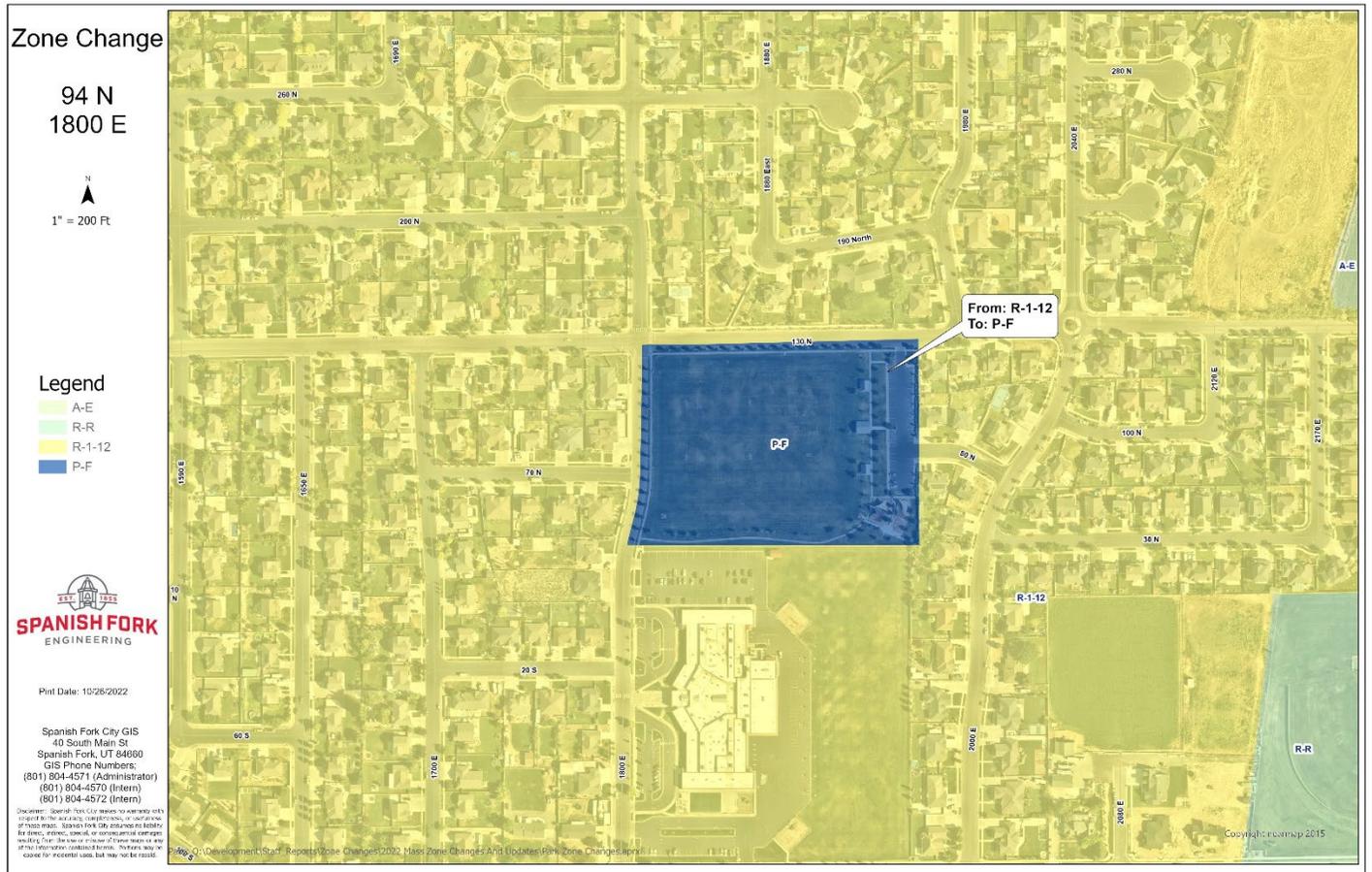
Address: 1321 East Canyon Road

Image:



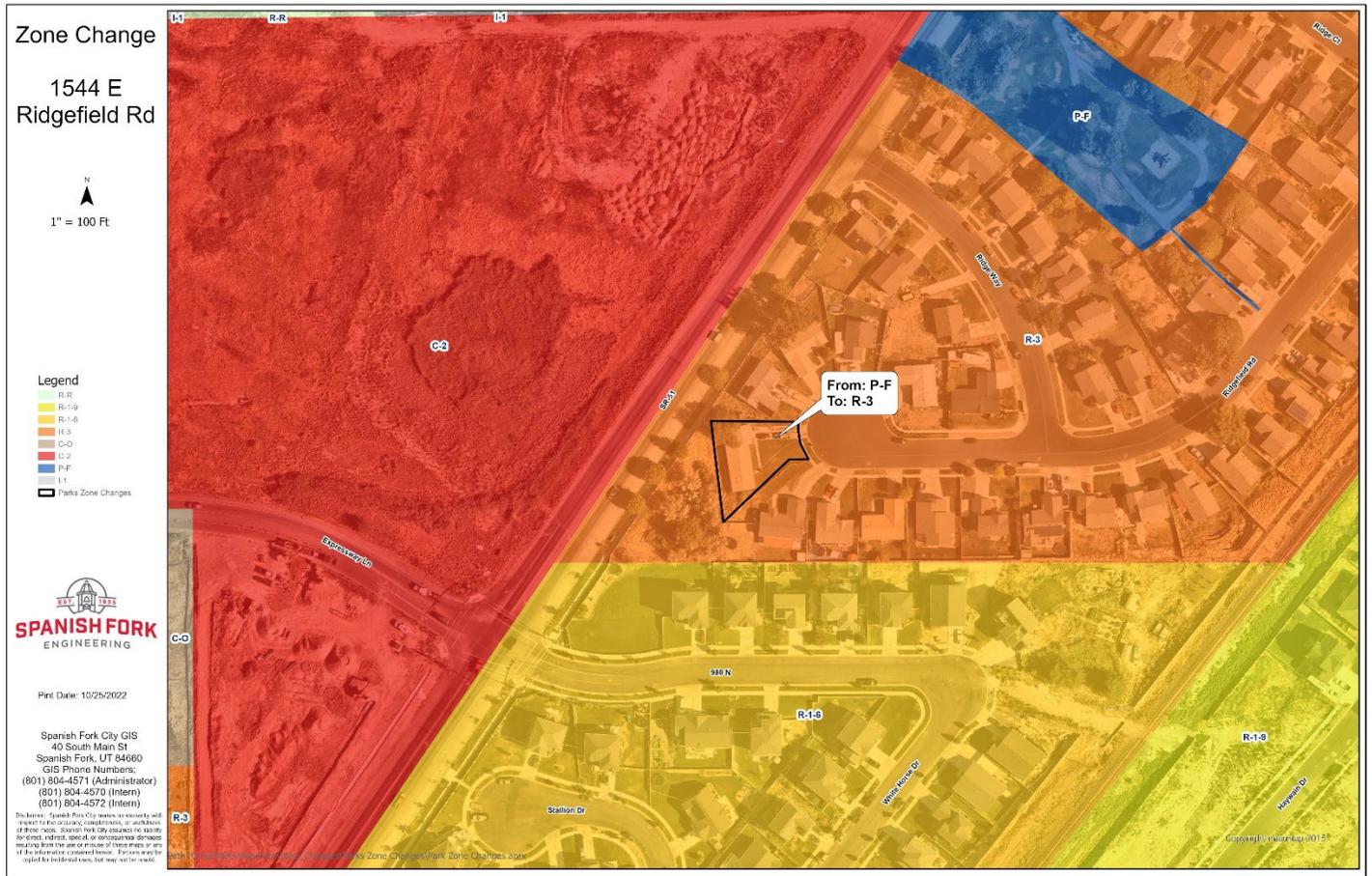
Address: 94 North 1800 East

Image:



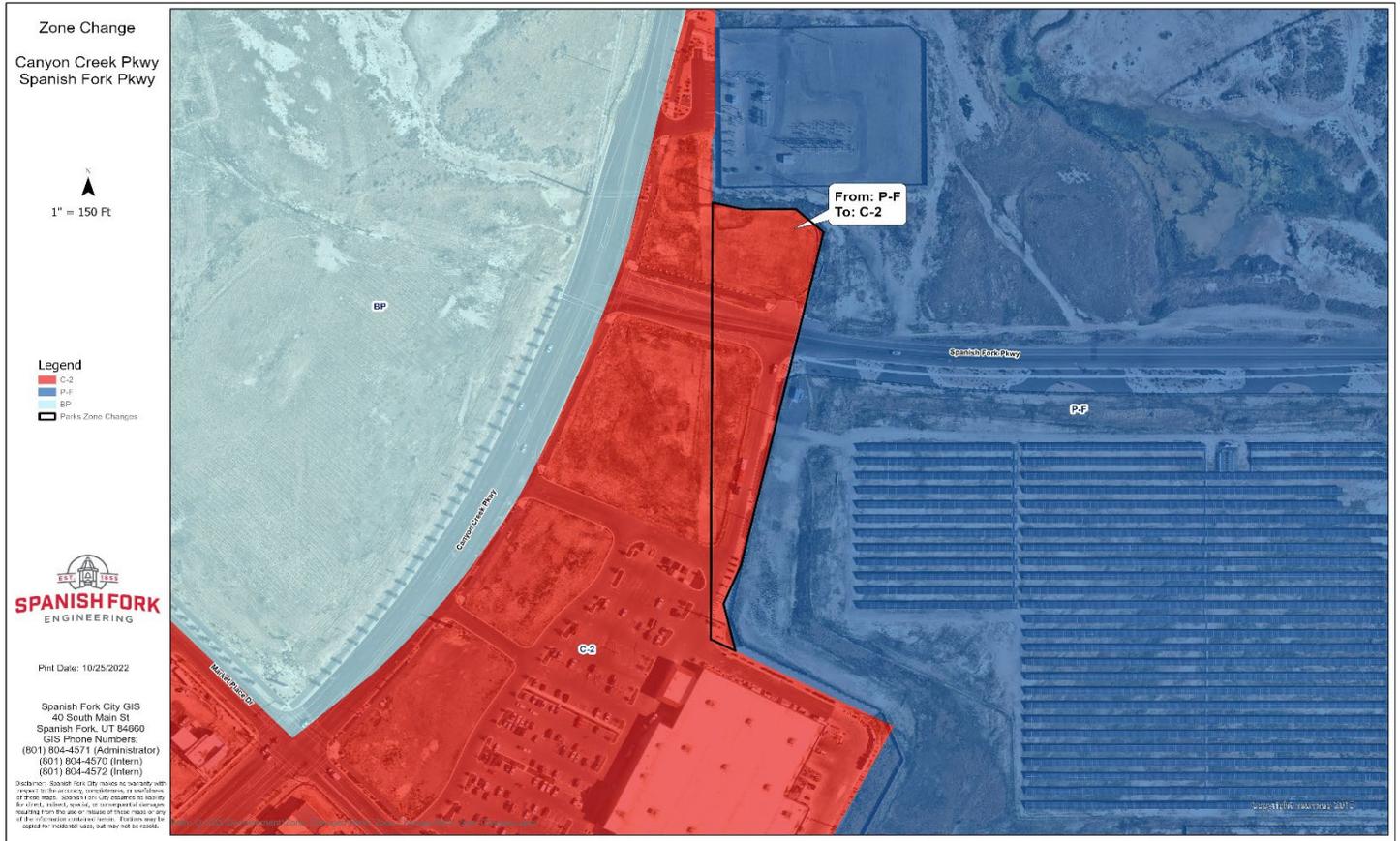
Address: 1544 East Ridgefield Road

Image:



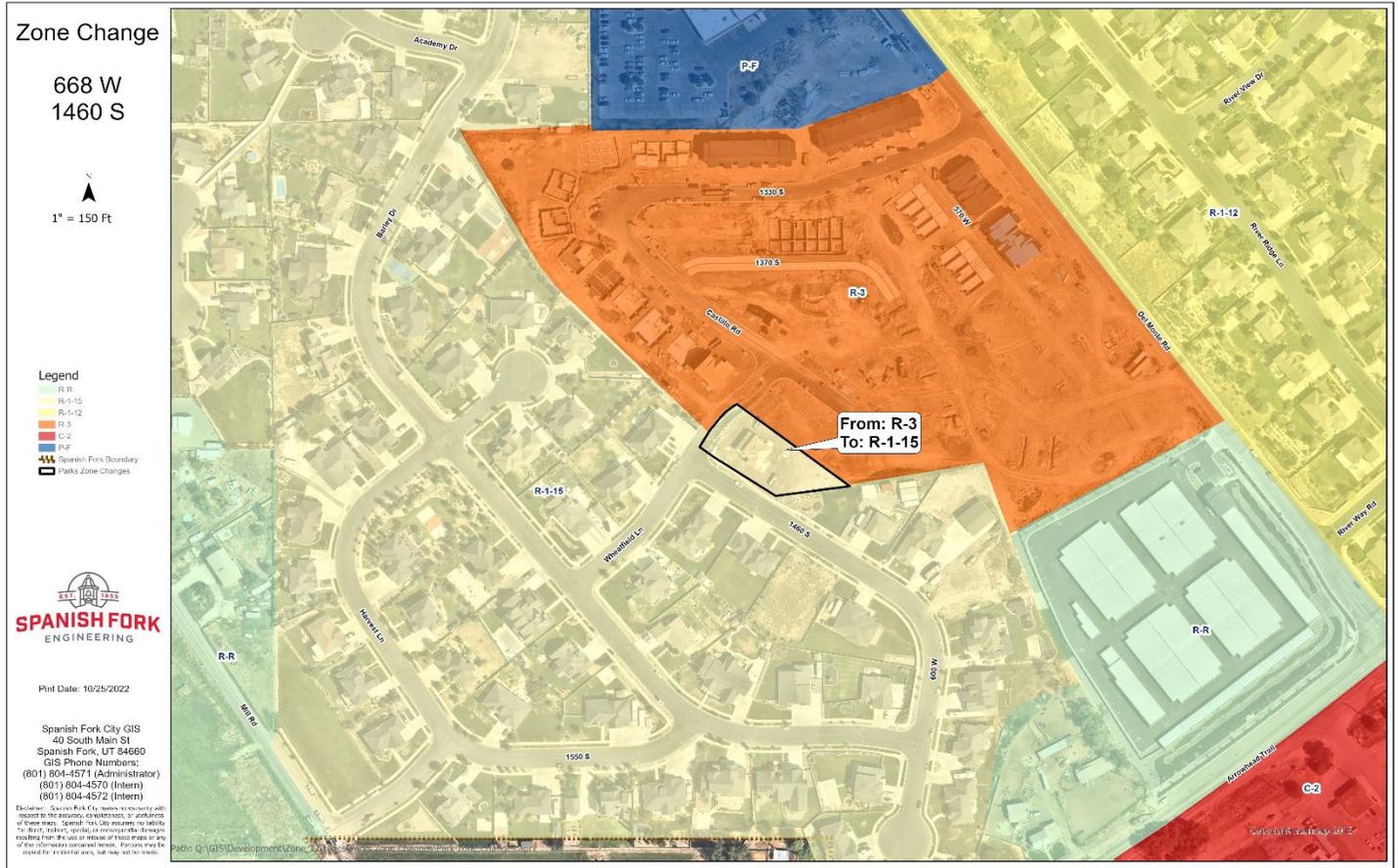
Address: Canyon Creek Parkway and Spanish Fork Parkway

Image:



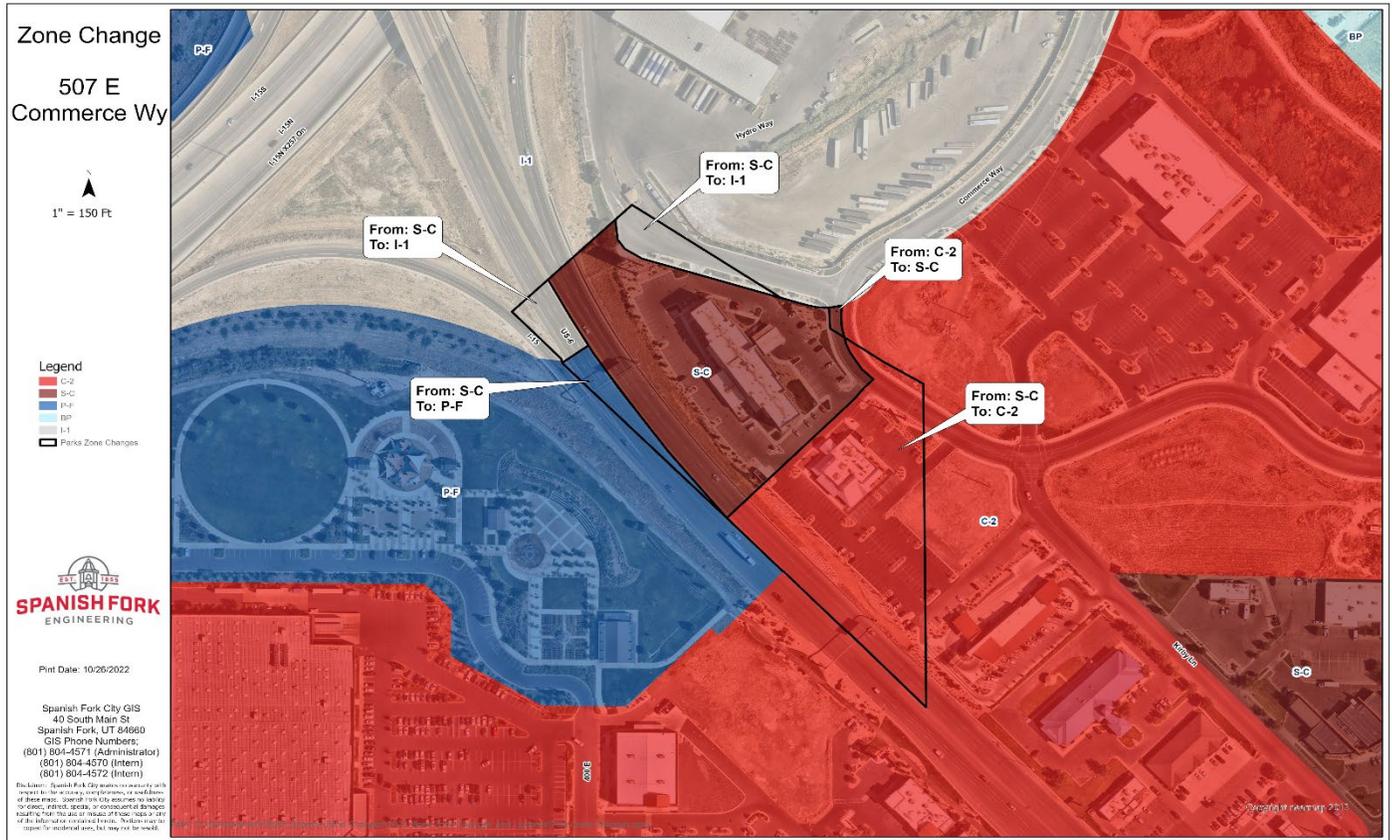
Address: 668 West 1460 South

Image:



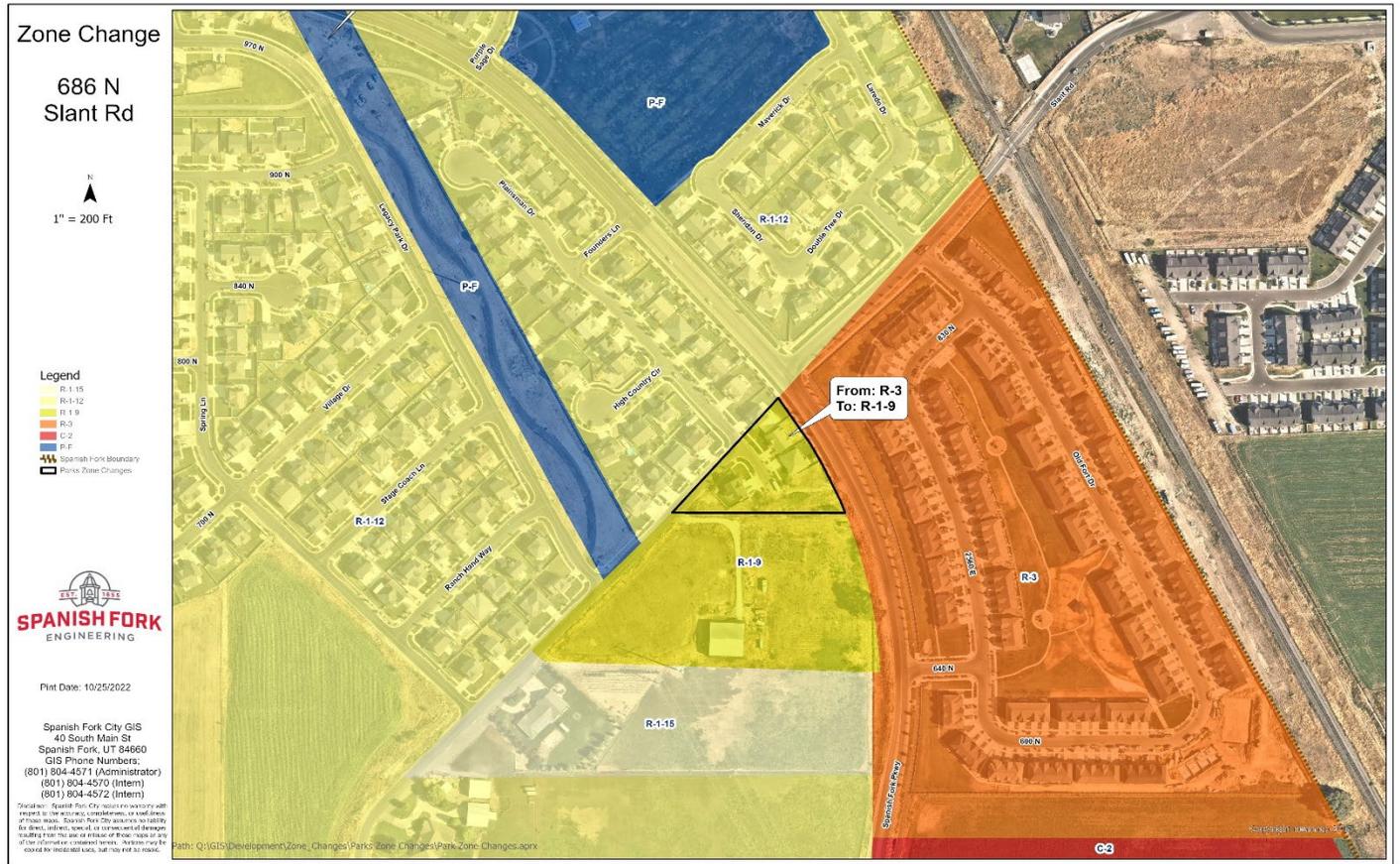
Address: 507 East Commerce Way

Image:



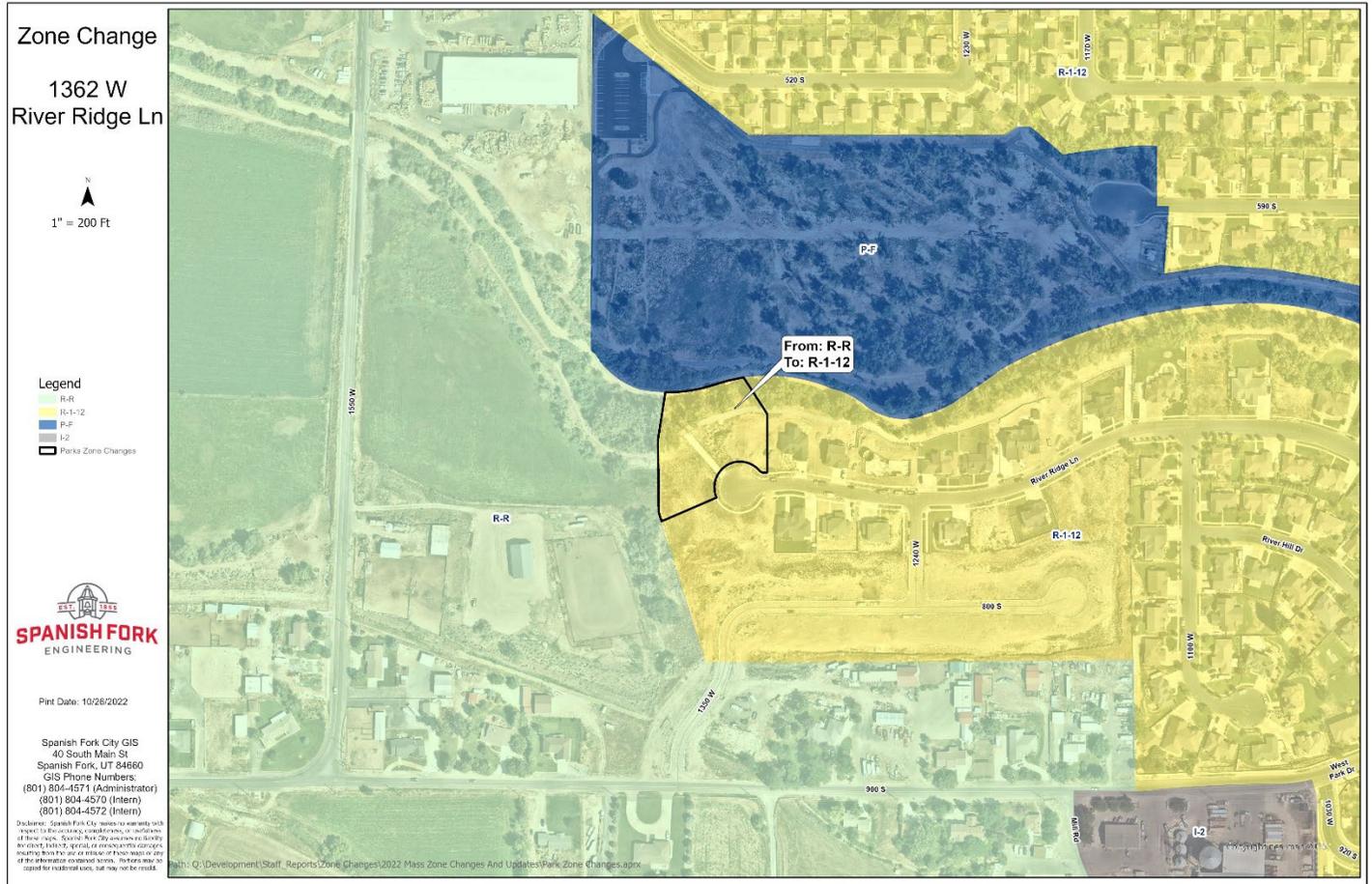
Address: 686 North Slant Drive

Image:



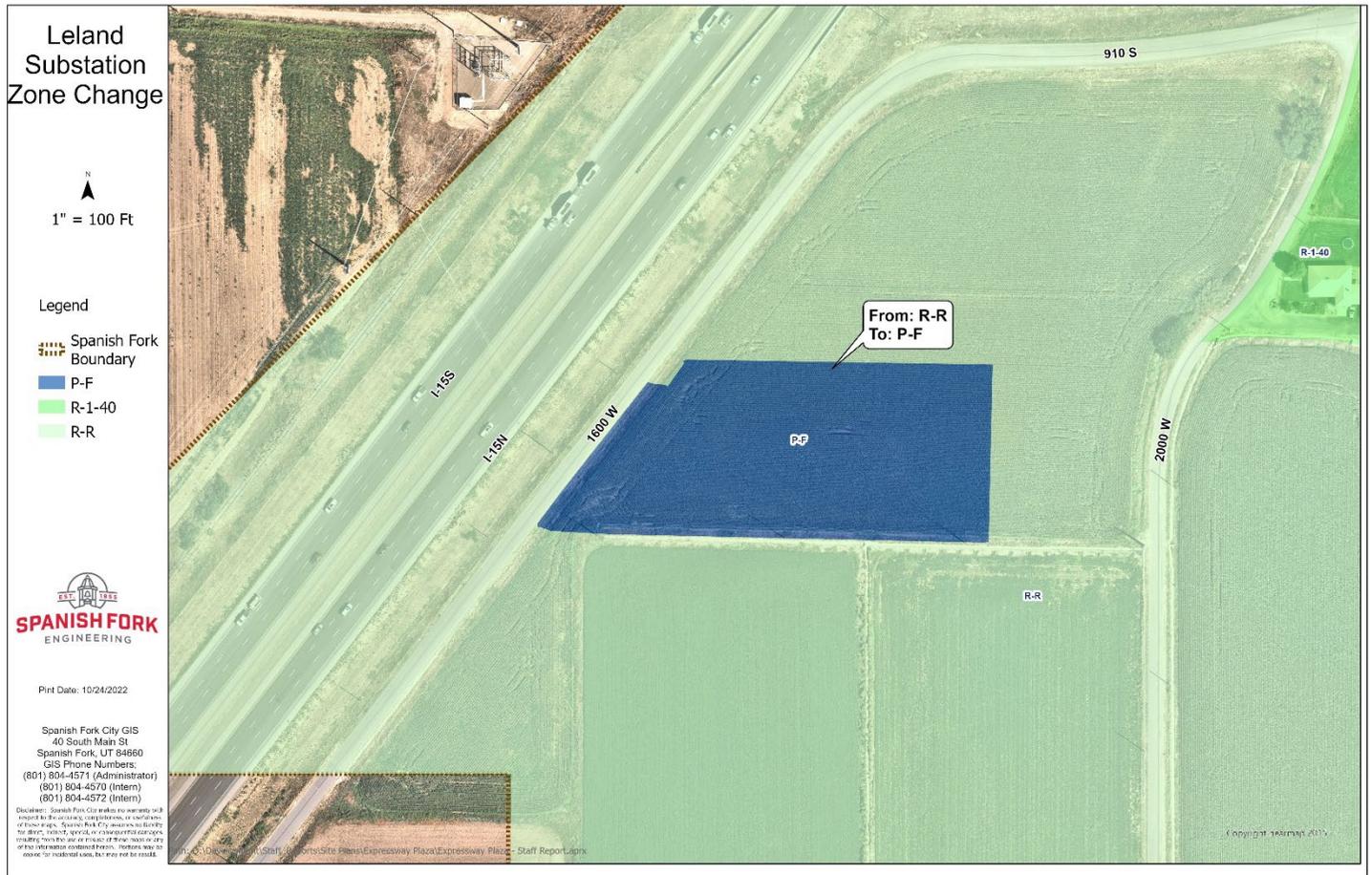
Address: 1362 West, 1342 West River Ridge Lane

Image:



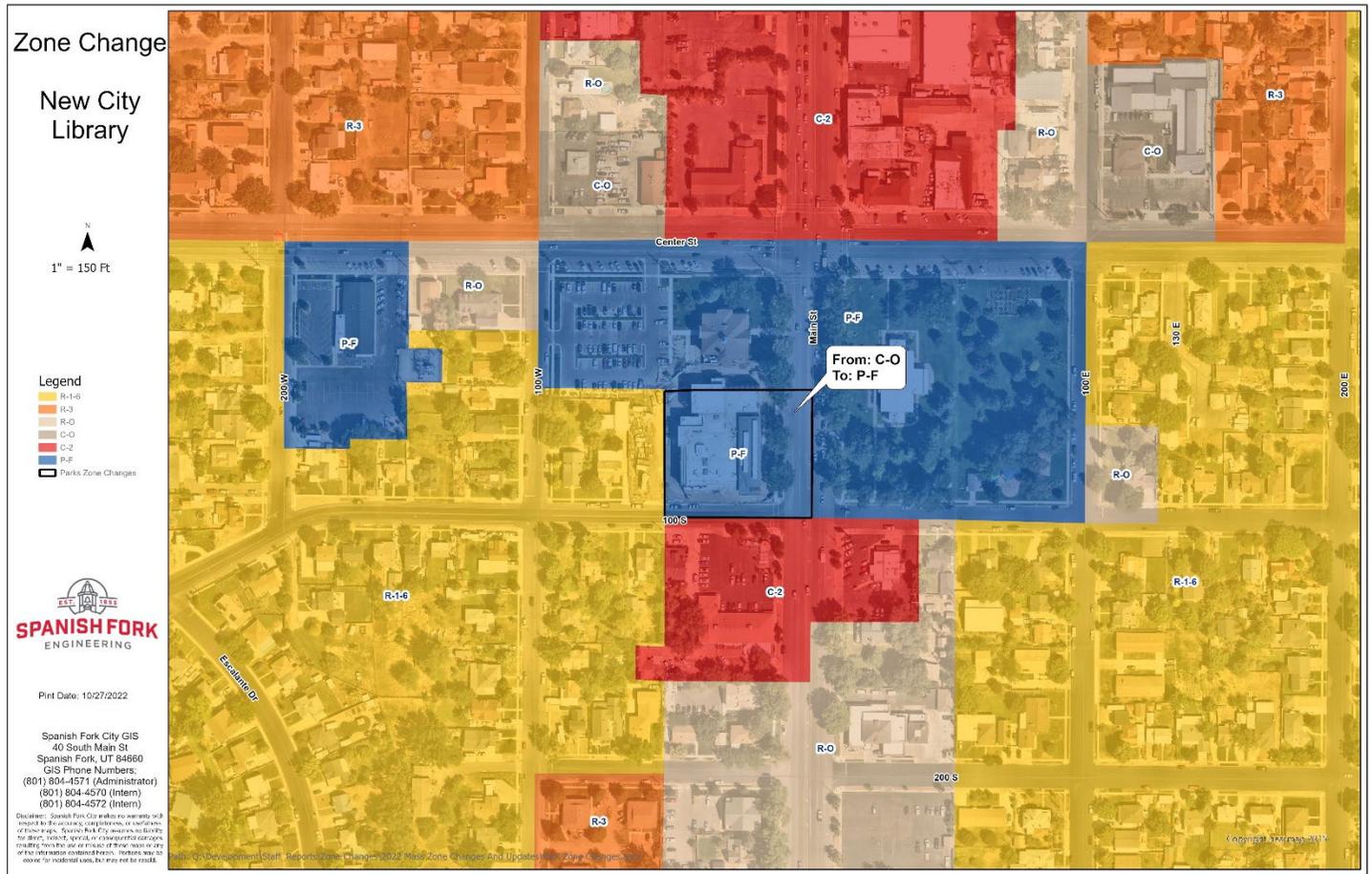
Address: Leland Substation

Image:



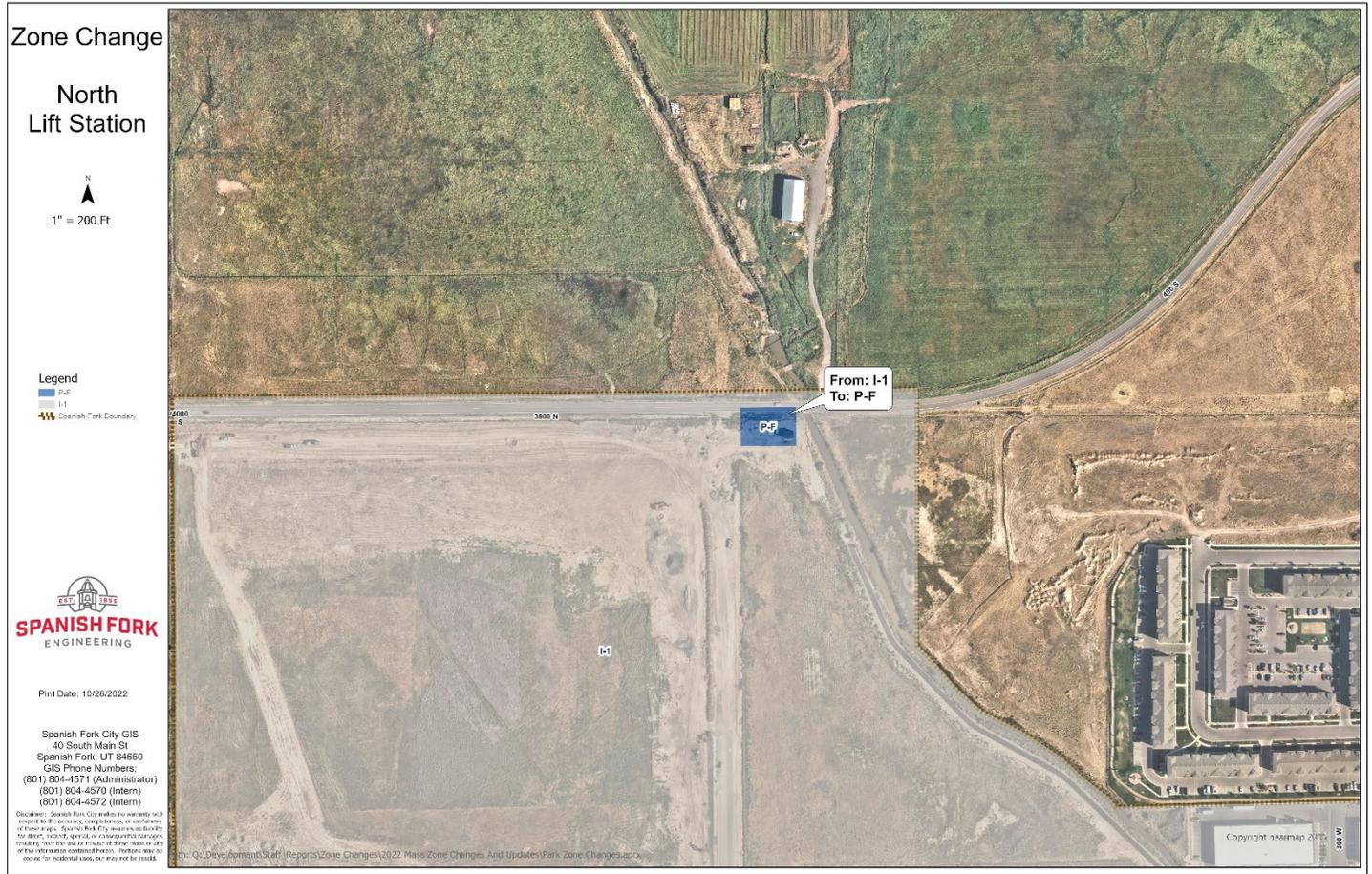
Address: New City Library

Image:



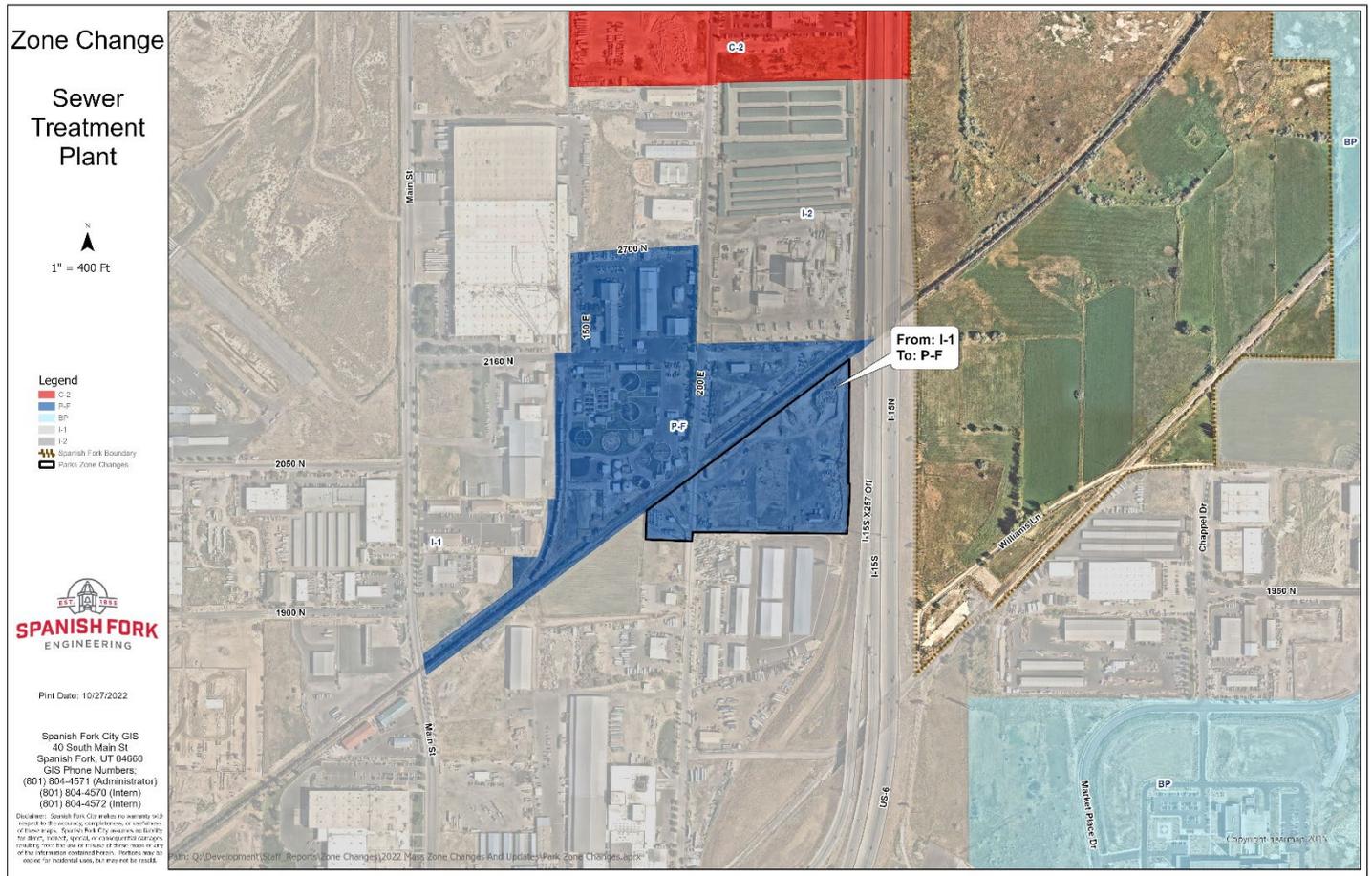
Address: North Lift Station

Image:



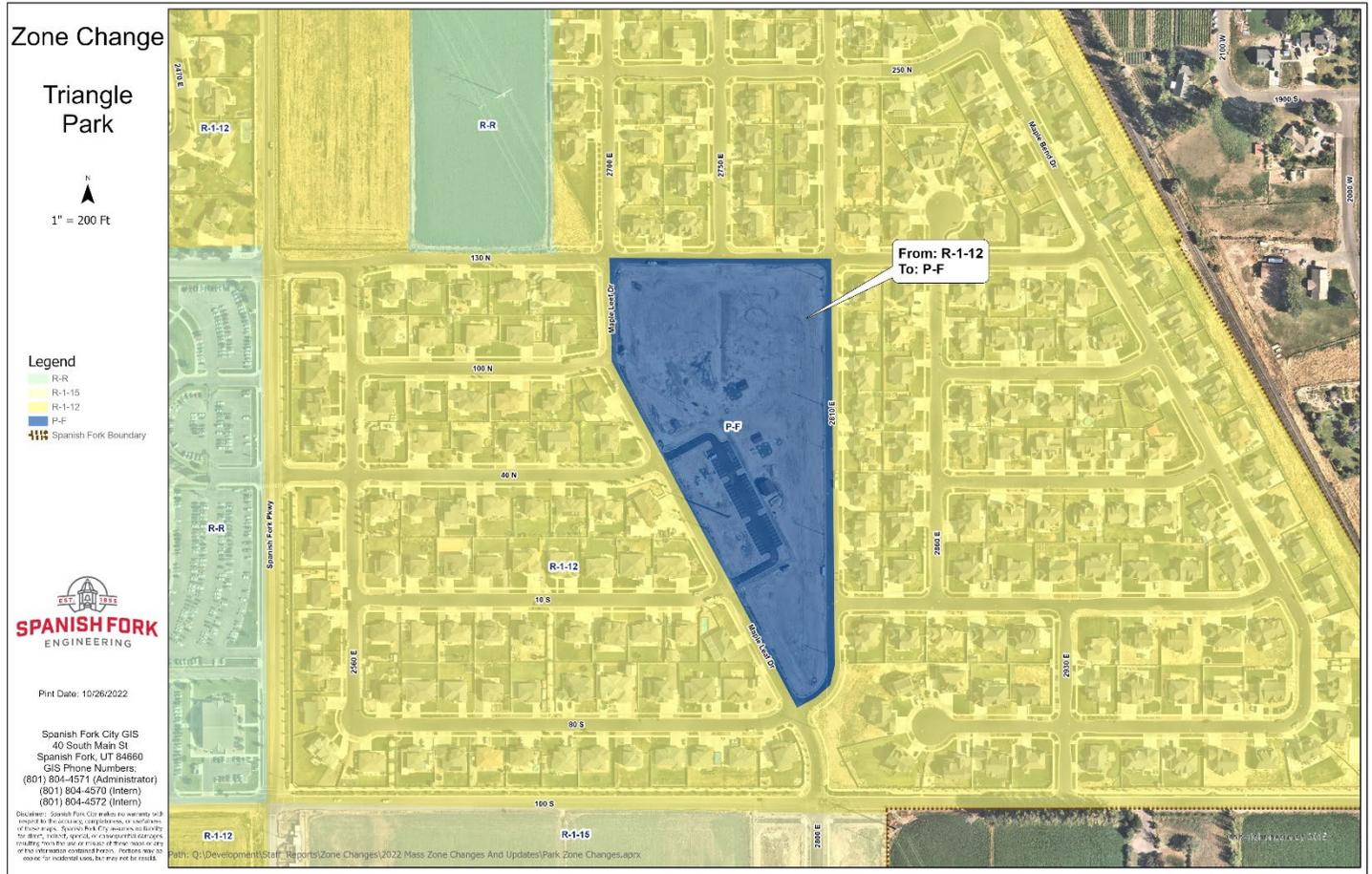
Address: Sewer Treatment Plant

Image:



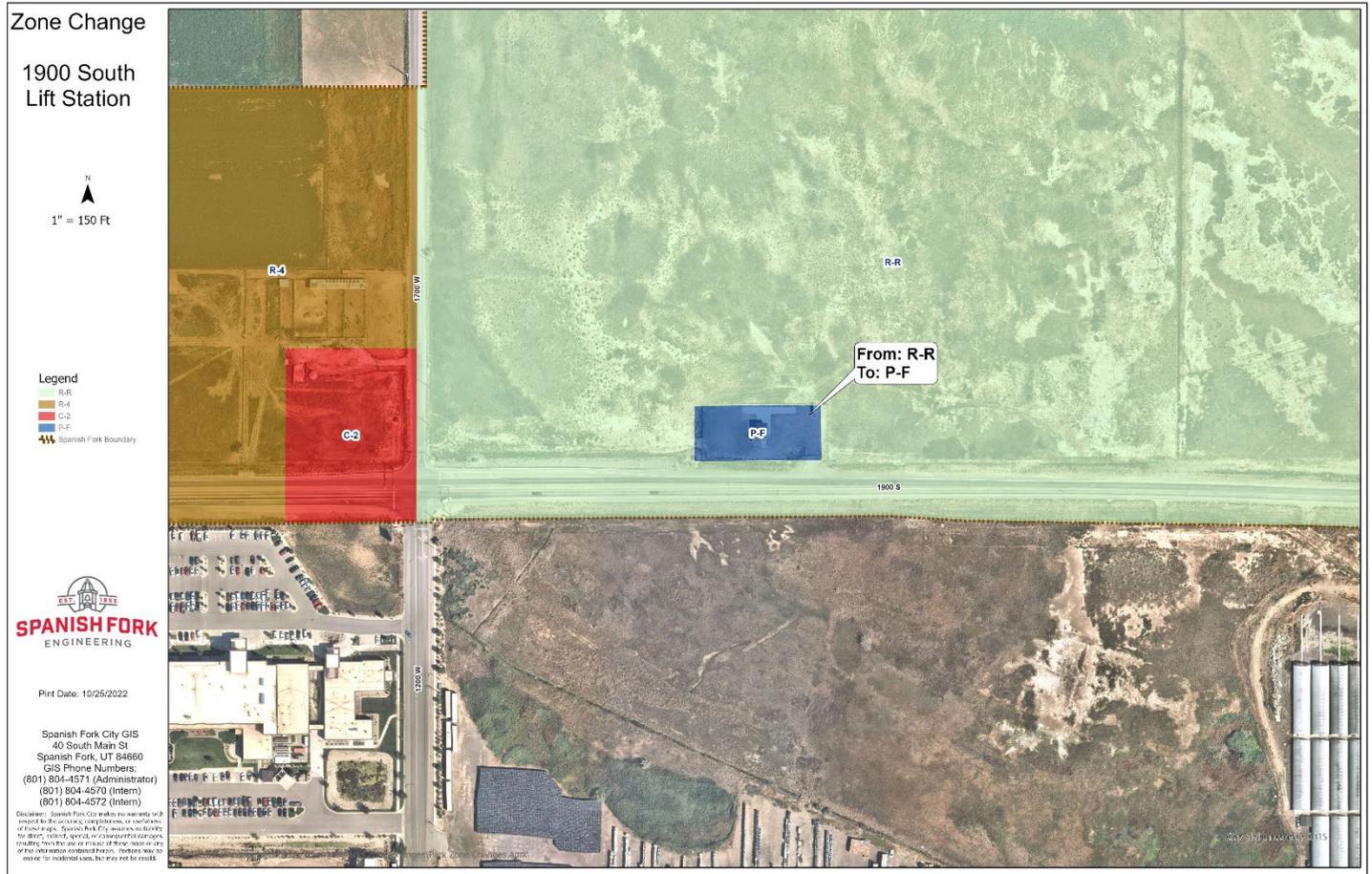
Address: Triangle Park

Image:



Address: 1900 South Lift Station

Image:





Ludlow Development Enhancement Overlay 2022 Zone Change Approval Request

December 7, 2022, Planning Commission Meeting.

Located at 103 East 100 South, including 0.32 acres.

The subject parcel is currently zoned R-O Residential Office.

The General Plan designation is High Density Residential.

The applicant has requested to amend the existing Development Enhancement Overlay approval to allow for a new business use to take place without providing off-street parking, potential need for additional landscaping and without constructing a wall on the property's northern property line.

The Development Enhancement Overlay Zone is limited to the specific use approved. When the specific use ceases to operate at the approved location, the property reverts to the underlying zone.

Key Issues

1. Can the Findings described in the Development Enhancement Overlay be made?

Recommendation

That the proposed Zone Change be approved based on the following findings and subject to the following conditions:

Findings

1. That any approvals are specifically tied to RejuvaRoom LLC as described in the letter by the applicant.
2. That the proposed use as described in the letter from the applicant is appropriate for the site.
3. That the propose use with the proposed improvements would not adversely impact neighboring properties.

Conditions

1. That the applicant meets any conditions imposed by the City Council.
2. That the applicant receives Site Plan approval from the Development Review Committee.
3. That the approval is tenant specific and when the business is turned over that any new uses of the site and the property will be reviewed again.

Exhibits

1. Request.
2. Site Plans.
3. Pictures.
4. Letters.
5. City Code.
6. Minutes.

To Spanish Fork City Council;

Tracy and I are submitting this application for Infill Overlay approval that we have received twice before. Our current tenant applicant is RejuvaRoom LLC DBA Get Fit For Life, a Spanish Fork based small business that consists of a husband and wife team with one additional employee. Nearly all their work is based on audio and video conferences with an average of 5 business visits per week.

This use is consistent with our original Infill Overlay request which was approved by the City Council in 2019. We continue to work closely with our local real estate agent to screen applicants so we can select tenants that will continue to have a lower impact than the typical family tenant. Based on available data, the typical Single Family Home averages 10-12 trips per day, 7 days per week. A typical day for our tenant will consist of one of the owners and the one employee at the house with one customer visit on average per day. This will result in an average number of trips per day at 3-4, 5 days per week.

Tracy and I take very seriously the commitment we made to the city in 2019 to rent to very low impact business that enhance the livability of the neighborhood. Since 2019 we have done this. We have also met and exceeded the city requirements for landscaping because we want the neighborhood to continue to improve.

Please let us know if we can answer any questions.

Sincerely,

Fred & Tracy Ludlow

https://www.viriniadot.org/vtrc/main/online_reports/pdf/03-r18.pdf

https://nacto.org/docs/usdg/trip_generation_ite.pdf

December 7, 2022



VICINITY MAP 		 ENGINEERS SURVEYORS PLANNERS 3363 N. Main Street Spanish Fork, UT 84660 Phone: 801.726.8300 Fax: 801.726.8302 www.lei-engineers.com
TABULATIONS CIVIL: 100% SURVEY: 100% GRADING: 100% EROSION CONTROL: 100% UTILITIES: 100% OTHER: 100%		
NOTES 1. SEE ALL NOTES ON ALL SHEETS. 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UTAH CONSTRUCTION CODES.		COMMERCIAL REZONE EXHIBIT 100 EAST 100 SOUTH SPANISH FORK, UTAH 84660 TRACY LUDLOW
LEGEND Hatched Area: 100' BUFFER ZONE Solid Line: 100' BUFFER ZONE		
DEVELOPER / OWNER TRACY LUDLOW 100 EAST 100 SOUTH SPANISH FORK, UT 84660		ENGINEER TRACY LUDLOW 100 EAST 100 SOUTH SPANISH FORK, UT 84660 801.726.8300 www.lei-engineers.com
PROJECT NAME TRACY LUDLOW		
PROJECT NUMBER: 2022-001 SHEET NUMBER: 1 DATE: 12/07/2022 SCALE: 1" = 10' 1		



VICINITY MAP 		 ENGINEERS SURVEYORS PLANNERS 3363 N. Main Street Spanish Fork, UT 84660 Phone: 801.726.8300 Fax: 801.726.8302 www.lei-engineers.com
TABULATIONS CIVIL: 100% SURVEY: 100% GRADING: 100% EROSION CONTROL: 100% UTILITIES: 100% OTHER: 100%		
NOTES 1. SEE ALL NOTES ON ALL SHEETS. 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UTAH CONSTRUCTION CODES.		COMMERCIAL REZONE EXHIBIT 100 EAST 100 SOUTH SPANISH FORK, UTAH 84660 TRACY LUDLOW
LEGEND Hatched Area: 100' BUFFER ZONE Solid Line: 100' BUFFER ZONE		
DEVELOPER / OWNER TRACY LUDLOW 100 EAST 100 SOUTH SPANISH FORK, UT 84660		ENGINEER TRACY LUDLOW 100 EAST 100 SOUTH SPANISH FORK, UT 84660 801.726.8300 www.lei-engineers.com
PROJECT NAME TRACY LUDLOW		
PROJECT NUMBER: 2022-001 SHEET NUMBER: 1 DATE: 12/07/2022 SCALE: 1" = 10' 1		









March 31, 2021

Fred P & Tracy M Ludlow
6901 S Perth St
Aurora, CO 80016

RE: 103 East 100 South

Dear Fred and Tracy Ludlow,

This correspondence is generated with regard to the approved Design Enhancement Overlay and Site Plan approval for the property located at 103 East 100 South, Utah County Parcel 07:033:0010. The City approved a Design Enhancement Overlay and a Site Plan application for the property on February 4, 2020 with the condition that improvements would be required relative to the occupancy of the structure at the time of approval along with improvements that may become required when the next business applies for a business license.

The House That Lars Built was the business occupying the space at the time of the Design Enhancement Overlay and Site Plan approval. In November 2020, the business contacted the Business Licenses Department indicating they would be moving locations and would like to note the business as closed at the above address as of November 18, 2020.

As of the date of this letter there has yet to be a business license applied for at the above property. There appears to be a business operating from the above property and with that business appears to be a parking issue with the site.

As part of the approval in 2020, a business occupying the property must apply for a business license. The license would be reviewed, and approved by the Spanish Fork Business License Department and Community Development Director to ensure site conformity with the approved Design Enhancement Overlay.

A Business License application must be submitted within 2 weeks of the date of this letter or the matter will be turned over to the Spanish Fork City Code Enforcement and Legal Department.

Sincerely,



Kimberly Brenneman
Business License Specialist
Spanish Fork City
40 South Main Street Ste. 220
Spanish Fork, Utah 84660
801.804.4580
kbrenneman@spanishfork.org

cc: Spanish Fork City Code Enforcement
Spanish Fork City Legal Department

December 7, 2022

Fred and Tracy Ludlow
6901 South Perth Street
Aurora, CO 80016

November 3, 2020

Attention:
Spanish Fork City Council

We are contacting Spanish Fork City Council requesting a continued Design Enhancement Overlay for our Residential Office property at 103 East 100 South. Our current tenants have requested an early lease termination due to the purchase of a new property in Provo and we have identified a new small business tenant that meets the requirements outlined in the zoning enhancement overlay.

Our current tenants had 3-6 employees work at the property on Monday-Friday 8:00 am to 5:00 pm with very few exceptions. Our current tenant did not have customers visit the property and on rare occasions did vendors visit.

The replacement tenants we have identified will have between 3-4 employees work at the property on Monday-Friday from 8:00 am to 5:00 pm. The business is mainly online and remote. They have no customers or vendors visit their business during office hours. This online business is similar in nature to how the current tenant operates at our property. Even prior to the pandemic they have stated the online nature of their business is comported via email and phone transactions. Traffic and parking consisted of the few regular employees that officed at their location.

We appreciate the attention to this application by the City Council and in an effort to facilitate a smooth transition we respectfully request our application be reviewed and approved. Please feel free to contact us so we can help answer any questions or concerns that you may have.

Sincerely,

Fred & Tracy Ludlow

December 7, 2022

LUDLOW & CO.

103 East 100 South, Spanish Fork



Updated Ludlow Rezone (R-6 to RO)

Prepared for: Spanish Fork City Council

Prepared by: Tracy & Fred Ludlow

November 4, 2019

Application Number: ZA15-000013

LUDLOW & CO.**REQUEST SUMMARY****Objective**

Complete Rezone from Residential (R-6) to Residential Office (RO)

Goals

Visible from Main Street, the restored Thurber City Offices and the popular City Park, this recently restored 1800's Victorian landmark location serves as a community focal point and fits well within the scope of outlined area identified for historical redevelopment and revitalization. With population and commercial growth increasing recently in Spanish Fork, the timing is right to transition this property from single family residential to residential office, enhancing the charm and desirability of the neighborhood.

Project Outline

- **Structure:** Maintain and preserve the historical architecture and established landscape while accommodating the City requirements for off-street parking and landscape.
 - **Rezone from R1-6 to Residential Office (RO).**
Spanish Fork City Land Use - Title 15
15.3.16.040 R-O Residential Office: This district is intended to allow low intensity professional office uses on a scale consistent with residential areas. This district serves as a transition between more intense commercial areas and residential land uses, or is located along busier streets where limited office use is being introduced. Residential and office use of the same structure is allowed.
 - **Use:** We have selected a small professional internet based business with traditional "office hours" and with low traffic impact to the neighborhood.
 - **Parking:** The proposed site plan provides for off-street parking. Our goal is to retain as much of the existing mature landscaping and lawn as possible while accommodating the required spaces off-street. We would like the property aesthetics to appear essentially the same or improved.
 - **Fencing:** A masonry or vinyl fence buffer to be installed on the north end of the property. The wall will begin at 3' high from the sidewalk, extend to the required 20' setback then increase to 6' privacy. The property currently has the masonry fence existing on the east boundary of the property.
 - **Lighting:** Improved exterior home and landscape lighting with decorative low voltage lighting to be installed to improve location visibility.
 - **Safety:** Security lighting and measures will be incorporated to reduce potential after-hours vandalism and loitering.
 - **Signage:** All signage will be low profile, discrete and architecturally designed to be consistent with the historical and residential nature of the property. Lighting will be discrete and appropriate for the neighborhood vs. bright, neon commercial signs.
 - **Landscaping** will include retaining the large trees and shrubbery and adding additional enhanced focal points, additional flower beds and tasteful lighting.
-

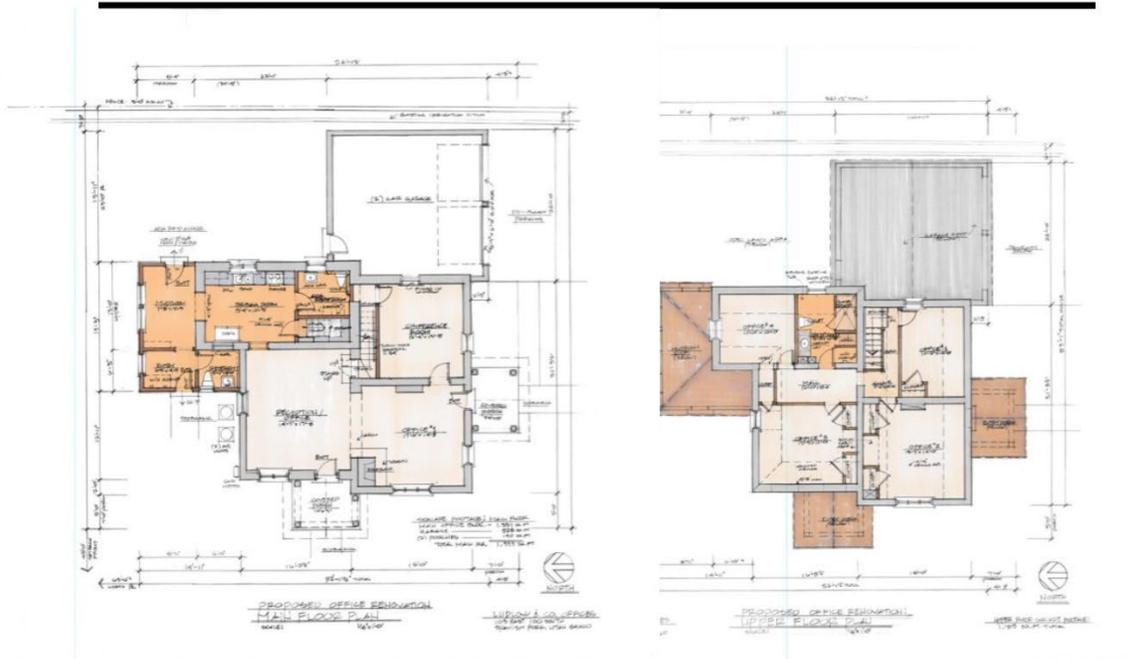
LUDLOW & CO.

Our goal for this property is to maintain a single business, low usage office tenant. We believe the business we have in place and our updated parking and site plan fits the guidelines of Spanish Fork City's vision of a historical district that draws the community and new business back into the heart of the community.



Proposed Office Space - Offices consistent with the Home-Like feel of the historic spaces.





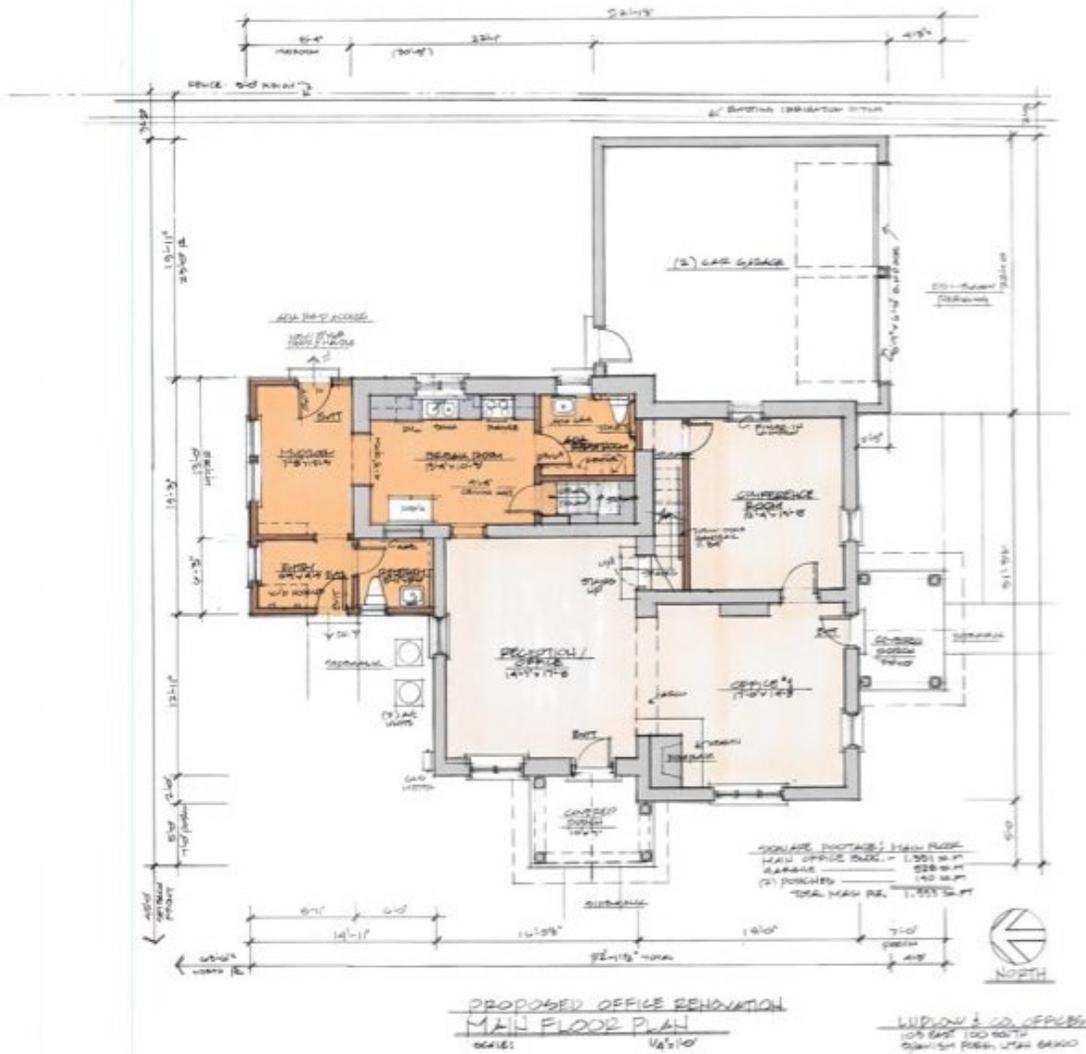
Right: Parcel Map showing the property in relation to City Park



Off Street Parking - Utilizing the existing driveway with two current available parking stalls, this option would utilize two parking spaces entering from 100 South and builds 2-3 off street spaces entering from 100 East. By utilizing this parking arrangement, the existing grassy yard and mature trees are maintained, preserving the historical residential look and feel of the property with minimal disturbance to the existing neighborhood and surrounding properties.



Main Floor



Fred & Tracy Ludlow
6901 South Perth Street
Aurora, CO 80016

September 26, 2019

RE: Parking at 103 East 100 South Spanish Fork, UT 84660

Request for Variance:

In 2015 we embarked on a path to expand the available best use for our rental house in Utah. The "Creer House" is not only a wonderful house that has been a home to many people for over a century, it is also a local landmark. The simple but beautiful design, excellent maintenance, and location just across the street from City Park all combine to make this house uniquely well known in the community.

As we worked with the city we also contacted all neighbors to work on a way to keep the look and feel of a single family home but to also allow this unique property to be available for light intensity professional space. In the fall of 2015 most neighbors were supportive of our plans. A few neighbors opposed our plans but upon further communications this opposition went away. At the end of the process the Spanish Fork City Council voted in favor of the zoning change to Home Office. The only remaining issue was concerning parking requirements.

Over the next 3-1/2 years we continued with repairs and upgrades both to the interior and exterior with an eye to supporting the goal of keeping this house fitting in with the neighborhood. We also refined our own requirements for tenants we would accept. Early in 2019 we felt ready to offer the house for lease. We expected the process to take several months but due to the wonderful condition and finding a tenant that specifically wanted the look and feel of a residential house, we were able to secure a long term (Three year) lease with a very low intensity professional use.

Our proposal is to convert our two standard off-street parking spots to one standard and one handicap off-street parking spots. The additional 3 spots are easily accommodated with on-street parking on both 100 East and 100 South. There are a total of six on-street parking spots available between the two streets so the use of 3 spots does not represent a strain on the available parking spots.

At this time we want to submit our parking proposal for review by the city. Our proposal for a variance is in accordance with 15.3.08.040 and will address the five findings the city requests to see for Variances to the Zoning Ordinance.

December 7, 2022

1. *Literal enforcement of the Zoning Ordinance would cause an unreasonable hardship for the applicant that is not necessary to carry out the general purpose of the Zoning Ordinance.*

Literal enforcement of the Zoning Ordinance is a parking space for every 300 SFT of office space. In order to provide 8 off-street parking places we would need to add 6 spots which could completely consume the grass yard on the north side of the property. The area converted from green grass to asphalt would be approximately 5,400 SFT at a cost of approximately \$17,000 to \$20,000. The addition of this much impervious asphalt in place of fully landscaped yard and flower beds is not needed to accommodate the parking needs of this property. The removal of this yard would add to the rain water run off for the city and would add to the "heat island" effect in a residential area right across the street from the City Park.

2. *There are special circumstances attached to the property that do not generally apply to other properties in the same district.*

Our property is surrounded by single family homes with City Park directly across the street. A key attribute that the city council considered when approving the change in zoning was keeping the look and feel the same so as to continue to fit well with the surrounding houses and City Park. That was also of special concern to the neighbors. Everyone involved said that keeping the house and lot looking like a single family home was of primary importance.

In addition, by keeping the house fully functional as a residential house, the actual square footage used as office space was estimated by city engineer Mr. Small as only 1,430 – 1,500 SFT. This equates to 5 total parking spots of which we already have 2 spots.

3. *Granting the variance is essential to the enjoyment of a substantial right possessed by other property in the same district.*

The properties most affected by any additional off-street parking are the home to the immediate north of our property and City Park. We have had several discussions with the Faye family and they very much want the grass yard and flower beds to remain. In addition to property owners adjacent to the yard, visitors to the park we have spoken to have always expressed how much they love the Creer house and want it to remain looking just as it does now. It is also not uncommon for people to sit on our yard in the shade. This is not a practice we encourage but we also do not mind as long as they are respectful and pick up any of their garbage. We are happy to say that this is nearly 100% of the people. This is especially true during the Fiesta Day celebrations. We have always been good to let people walk across our yard and sit in the shade. We have shared this with our tenants and they have adopted this practice as well.

4. *The variance will not substantially affect the General Plan and will not be contrary to the public interest.*

We do not believe that providing a reasonable variance to our property will affect the General Plan for Spanish Fork City. This is a very specific property with unique attributes and features that support the variance we are requesting and are not generally applicable to other properties.

5. The spirit of the Zoning Ordinance is observed and substantial justice is done.

In the process of obtaining a change in zoning we addressed the concerns of the neighbors and city council members. The concern that was expressed most often and as most important was the desire to keep this unique and notable property in a condition that kept it consistent with properties around it as well as City Park. Everyone we spoke to was concerned that we were going to make it look like a commercial property with more asphalt, concrete, lights and signs. We assured everyone that our goal was to keep this property in a manner that supported the residential look and feel of the neighborhood.

We appreciate the Community Development Department of Spanish Fork City. At every step of the way the city has been helpful and professional. Please let us know if any further information is need. We look forward to hearing when the Appeal Authority schedules the public meeting to consider our request for variance.

Sincerely,

Fred & Tracy Ludlow

December 7, 2022



Date: November 9, 2015

Dave Anderson
Community & Economic Development Director
Spanish Fork City
40 South Main Street
Spanish Fork, Utah 84660

Dear Mr. Anderson,

Growing up in Spanish Fork, our group of neighborhood friends met each afternoon to play in the City Park and east park neighborhood. Football, tag, and always the favorite... hide and go seek. Through the years, new home developments have drawn families toward the "outskirts" of town and it has become less popular to reside in the city center. During a recent visit to complete some work on our home, it became evident that it was time to consider moving this home to the next "highest and best use" and transition it to professional office space.

Visible from Main Street, the historic City Offices and the popular City Park this recently restored 1800's Victorian landmark location serves as a community focal point and fits well within the scope of outlined area identified for historical redevelopment and revitalization. With population and commercial growth increasing recently in Spanish Fork, the timing is right to transition this property from single family residential to residential office space.

Our objective for the rezoning of 103 E. 100 South is to:

- Maintain the historical architecture and landscape as much as possible while accommodating the off-street parking and landscape requirements.
- Rezone from R1-6 to Residential Office (RO).
- Select professional services (boutique real estate brokerage, small title company, architectural or design office, law office, etc.) with minimal traffic impact to the neighborhood.
- Minimal change to the historic layout of the home, keeping the structural integrity while maximizing the ideal location in the heart of the downtown community and the community central business district.
- Promote our upcoming office space through community networking, channels and social media with the intent to highlight Spanish Fork City's goal to bring new business and historical "charm" back to the heart of the community.

Thank you for your assistance and application consideration. I look forward to working with you and the Rezoning Committee in a smooth transition.

Sincerely,

Tracy Ludlow
Ludlow & Co. Signature Properties
tracyludlow@gmail.com
720.339.3030

December 7, 2022

15.3.20.060 Development Enhancement Overlay

This district is intended to provide an ability to develop properties within R-O Residential Office Zone, the C-O Commercial Office Zone, the C-2 General Commercial Zone, the S-C Shopping Center Zone, the C-UV Urban Village Commercial Zone, Industrial 1 Zone, and the B-P Business Park Zone which otherwise have a difficult time meeting the standards for those zones for any number of reasons, including, but not limited to, parking standards, landscaping standards, etc.

- A. Permitted Uses: Uses permitted in the underlying zone are allowed with the Development Enhancement Overlay Zone.
- B. Limitations: The Development Enhancement Overlay Zone is limited to the specific use approved. When the specific use ceases to operate at the approved location, the property reverts to the underlying zone.
- C. Performance Standards: In those situations, when it has been found that a development cannot meet the requirements of development in the allowed zones, the Development Enhancement Overlay Zone may be requested and approved. The application will be analyzed on a case by case basis, paying particular attention to the provisions of the underlying zone which the Developer cannot meet.

The City Council has the discretion to impose conditions with the Development Enhancement Overlay Zone to mitigate negative impacts incurred by not meeting the standard requirements, which may include architectural requirements, color requirements, more intense landscaping, shared parking with adjacent uses, height requirements, signage requirements, lighting requirements, or others deemed appropriate in the specific circumstances to compensate for any deficiencies in the standard requirements. If the City Community Development Director deems it helpful, an appropriate study may be required of the Developer addressing the deficiency in the standards, why a more lenient standard works for the specific intended use, and how to compensate for the deficiency.

- D. Application: In order to have the Development Enhancement Overlay Zone approved, a developer must submit an application, on a form provided by the City, spelling out the requirements which cannot be met in the particular zone, why the requirements cannot be met, why the developer believes the requirements do not need to be met in this specific instance, how the deficiency will not adversely impact neighboring properties, and proposing conditions which will provide a solution.
- E. City Findings: The City Council may approve an application for the Development Enhancement Overlay Zone, with conditions as outlined in subparagraph B, upon making the following findings:
 - 1. That the proposed use is an appropriate use on the specific parcel as compared with other possible uses;
 - 2. That granting the Development Enhancement Overlay Zone with modified restrictions will not cause a detriment to prospective patrons, to adjacent property owners, nor to traffic flows on the adjacent public streets;
 - 3. That adequate conditions have been incorporated into the Zone which will offset the easing of usual requirements;
 - 4. If a study has been submitted by the Developer, the Council accepts the study as accurate as far as addressing the more lenient standards and the impact it will have on adjacent property owners and the City.

(Ord. No. 08-17, Enacted 03/07/2017)
(Ord. No. 24-17, Amend 10/17/2017)

HISTORY

Amended by Ord. [01-20](#) on 2/4/2020

Amended by Ord. [13-21](#) on 7/13/2021

**Adopted Minutes
Spanish Fork City Council Meeting
February 18, 2020
Spanish Fork City Office
40 South Main Street
Spanish Fork, UT 84660**

Elected Officials Present: Mayor Pro Tem Mike Mendenhall, Councilmembers Keir A. Scoubes, Stacy Beck, Chad Argyle, Brandon Gordon. Absent: Mayor Steve Leifson.

Staff Present: Seth Perrins, City Manager; Junior Baker, City Attorney; Tyler Jacobson, Assistant City Manager; Dave Anderson; Community Development Director; Chris Thompson, Public Works Director; Kent Clark, City Recorder/Finance Director; Steve Adams, Public Safety Director; Scott Aylett, Public Information Officer; Angie Warner, Deputy Recorder.

Citizens Present: Brian Fay, Arlo G. Mitchell, Pat Mitchell, Tracy Ludlow, Fred Ludlow.

5:15pm WORK SESSION:

1. Proposed Garbage and Recycle Rate Increases

Discussion took place regarding the item(s) listed above; no formal actions are taken in a work session.

6:00pm CALL TO ORDER, PLEDGE, OPENING CEREMONY, RECOGNITION:

Mayor Pro Tem Mendenhall called the meeting to order at 6:00 p.m.

Motivation/Inspirational Message given by Junior Baker.
Councilman Gordon led in the pledge of allegiance.

Mayor Pro Tem Mendenhall excused Mayor Leifson from the meeting.

PUBLIC COMMENTS:

Mayor Pro Tem Mendenhall welcomed public comment.
There was none.

COUNCIL COMMENTS:

Councilman Gordon congratulated the Spanish Fork High School Cheerleaders for taking 1st place in the National Competition this past weekend in California.

Mayor Pro Tem Mendenhall gave an update from the Utah County Association of Realtors meeting and the Rotary Club meeting.

CONSENT ITEMS:

- a. Minutes of Spanish Fork City Council Meeting – February 4, 2020
- b. Hamilton and Olsen Quit Claim Deeds
- c. Wiggy Wash Contract
- d. Wasatch Forensic Nursing Contract

Councilman Gordon made a **Motion** to **approve** the consent items.

Councilman Argyle **Seconded** and the motion **Passed** all in favor.

PUBLIC HEARING:**TABLED FROM FEBRUARY 4, 2020:****Ordinance Z01-20 Changing the Zoning Designation and Amending the Official Zoning Map of Spanish Fork City for the Ludlow Development Enhancement Zone Change**

Dave Anderson said this property is on the corner of 100 South 100 East. The property was changed about a year ago to the Residential Office zone to be able to have a business. Last City Council meeting a new tool was approved called the Development Enhancement Overlay. The applicant is requesting to use the development enhancement overlay to be able to receive a building permit without providing off-street parking and without constructing a wall on the north property line. Mr. Anderson feels comfortable with this proposal because the business there now does not need the additional parking. Since there are only a few employees, there is no or very little vehicle traffic as well as pedestrian traffic. With this development enhancement tool, if this business leaves the development enhancement overlay will go away and the owner would have the option to develop the site to satisfy the off-street parking requirement of the R-O Zone. Or, they could petition again for a new development enhancement overlay zone and go thru the same public process for the new business. Mr. Anderson said that the Development Review Committee and the Planning Commission recommend approval.

Councilman Gordon made a **Motion** to go into public hearing.

Councilman Argyle **Seconded** and motion **Passed** all in favor at 6:20pm

Mayor Pro Tem Mendenhall welcomed public comment.

Brian Fay, neighbor to the north of the proposed property, said he does not have any issues with the business and he would prefer to not have a masonry wall and the parking lot next door to him.

Councilwoman Beck made a **Motion** to go out of public hearing.

Councilman Gordon **Seconded** and the motion **Passed** all in favor at 6:23pm.

Mayor Pro Tem Mendenhall asked what the current business is.

Fred Ludlow said that the business that is there now is an internet-based company, with few employees and there is a 3-year lease right now. They specifically looked for a business that would fit the property.

Discussion took place regarding what some of the improvements will be instead of the parking lot and masonry wall.

Councilman Gordon made a **Motion to approve** Ordinance Z01-20 Changing the Zoning Designation and Amending the Official Zoning Map of Spanish Fork City for the Ludlow Development Enhancement Overlay Zone Change.

Councilwoman Beck **Seconded** and the motion **Passed** all in favor with a roll call vote.

Mayor Pro Tem Mendenhall announced that tomorrow at 3:00pm staff will go live on the City Facebook to reveal the All-abilities park.

NEW BUSINESS:

Contract with Nebo School District for Parking Lot Improvements at Diamond Fork Junior High School

Chris Thompson explained that the school district will be changing Diamond Fork Junior High to a middle school. Mr. Thompson presented how the Center Street project will affect the east parking lot. This project will happen this summer and be ready for the new school year. The project will make 1150 East Center Street into a 4-way signalized intersection. The school parking lot will be expanded, and Center Street will be widened to 5 lanes. This will make access into the school parking lot much safer.

Councilwoman Beck made a **Motion to approve** contract with Nebo School District for Parking Lot Improvements at Diamond Fork Junior High School.

Councilman Mendenhall **Seconded** and the motion **Passed** all in favor.

Resolution #20-02 Authorizing the Mayor to Enter into an Interlocal Agreement with Nebo School District to Realign Streets and Parking Lots at Spanish Fork Junior High School

Chris Thompson expressed that there are a lot of traffic issues at this school; parent drop off, bus flow, parking, etc. Mr. Thompson said that this agreement is to identify the costs to correct those issues and who is paying what. Mr. Thompson highlighted the changes in the project:

- At the City East Field ballpark parking lot, the fence will come down and the project will combine the city parking lot with the school parking lot.
- Purchase the home on the north east corner of the property to square it off.
- New access for the buses on the west side coming from 600 East.

Councilman Scoubes made a **Motion to approve** Resolution #20-02 Authorizing the Mayor to Enter into an Interlocal Agreement with Nebo School District to Realign Streets and Parking Lots at Spanish Fork Junior High School.

**Adopted Minutes
Spanish Fork City Council Meeting
February 4, 2020
Spanish Fork City Office
40 South Main Street
Spanish Fork, UT 84660**

Elected Officials Present: Mayor Steve Leifson, Councilmembers Keir A. Scoubes, Mike Mendenhall, Stacy Beck, Chad Argyle, Brandon Gordon.

Staff Present: Seth Perrins, City Manager; Junior Baker, City Attorney; Tyler Jacobson, Assistant City Manager; Dave Anderson; Community Development Director; Chris Thompson, Public Works Director; Kent Clark, City Recorder/Finance Director; Steve Adams, Public Safety Director; Dale Robinson, Parks & Recreation Director; Scott Aylett, Public Information Officer; Angie Warner, Deputy Recorder.

Citizens Present: Brandon Henrie, Jared Morgan, Heather Youd, Kristin Fowels, David A. Cloward, Connor Richards, Sami Bernard, Andrew Kelly.

5:00pm WORK SESSION:

1. City Council Pictures

Discussion took place regarding the item(s) listed above; no formal actions are taken in a work session.

5:28pm CLOSED SESSION:

Councilman Gordon made a Motion to Adjourn to Closed Session to discuss Land Transactions and Reasonably Imminent Litigation.

Councilman Argyle Seconded and the motion Passed all in favor at 5:28pm.

Councilman Gordon made a Motion to Adjourn.

Councilman Argyle Seconded and the motion Passed all in favor at 5:55pm.

6:00pm CALL TO ORDER, PLEDGE, OPENING CEREMONY, RECOGNITION:

Mayor Leifson called the meeting to order at 6:00 p.m.

Motivation/Inspirational Message given by Seth Perrins.

Councilmember Beck led in the pledge of allegiance.

PUBLIC COMMENTS:

Mayor Leifson welcomed public comment.

Ordinance #01-20 Making Amendments to the Development Enhancement Overlay Zone

Dave Anderson said this proposed change would make it possible for applicants to employ the development enhancement overlay zone in the Residential Office Zone and defined some limitations of the usage.

Councilman Argyle made a **Motion** to go into public hearing.
Councilwoman Beck **Seconded** and motion **Passed** all in favor at 6:49pm

Mayor Leifson welcomed public comment.
There was none.

Councilman Argyle made a **Motion** to go out of public hearing.
Councilman Gordon **Seconded** and the motion **Passed** all in favor at 6:49pm.

Councilwoman Beck made a **Motion** to **approve** Ordinance #01-20 Making Amendments to the Development Enhancement Overlay Zone.
Councilman Scoubes **Seconded** and the motion **Passed** all in favor with a roll call vote.

Ordinance Z01-20 Changing the Zoning Designation and Amending the Official Zoning Map of Spanish Fork City for the Ludlow Development Enhancement Zone Change

Dave Anderson asked to continue this item to February 18, 2020 City Council meeting.

Councilman Mendenhall made a **Motion** to **continue** Ordinance Z01-20 and the public hearing to the February 18, 2020 City Council meeting.
Councilwoman Beck **Seconded** and the motion **Passed** all in favor with a roll call vote.

Ordinance #02-20 Creating an Aggregate Overlay Zone

Dave Anderson said we have been talking about this proposed change for a long time. This opens up the opportunity for a business to make application to consider the approval of the relocation of their facility to another property in Spanish Fork. The Development Review Committee recommends approval and the Planning Commission was a 2-2 vote; one of the Planning Commissioners would like to have seen this item proposed at the same time as the project.

Jared Morgan, with Sunroc, said he has staff with him that can answer any questions. City staff has been so helpful in this process and they are comfortable with the text amendment proposed.

Councilman Argyle made a **Motion** to go into public hearing.
Councilman Gordon **Seconded** and motion **Passed** all in favor at 7:05pm

Mayor Leifson welcomed public comment.
There was none.

Draft Minutes
Spanish Fork City Planning Commission
40 South Main Street
Spanish Fork, UT 84660
January 15, 2020

Commission Members Present: Chairman Brad Tanner, Kevin Oyler, John Mendenhall, Todd Mitchell. **Absent:** Richard Davis.

Staff Members Present: Dave Anderson, Community Development Director; Brandon Snyder, City Planner; Michael Clark, Staff Engineering; Jason Sant, Assistant City Attorney; Kimberly Brenneman, Community Development Department Secretary.

Citizens Present: None.

WORK SESSION

Chairman Tanner called the meeting to order at 6:00 p.m.

PRELIMINARY ACTIVITIES

Pledge of Allegiance

Commissioner Mitchell led the pledge.

MINUTES

December 4, 2019

Chairman Tanner continued the minutes to the next meeting.

PRELIMINARY PLAT
RB Subdivision

Chairman Tanner - Nay
Commissioner Mitchell - Nay

ZONE CHANGE (Public Hearing)
Ludlow Development Enhancement Overlay

Dave Anderson stated that the applicant requested a couple years ago to have the property rezoned to from R-1-6 to R-O. At the time of that request, the concepts discussed for the use of the home was a professional office like a real estate office or some very low impact business. There was feedback from the surrounding properties about concerns of the site transitioning to a use other than just residential. At the time of the zone change the neighbors were assured that site improvements would be required once the change to an office type use occurred. A concept drawing was submitted with the zone change application demonstrating how there was ample room to accommodate the required off-site parking requirements. With that concept drawing in hand, staff made a recommendation to the Planning Commission and the Planning Commission in turn made a recommendation to City Council to approve the Zone Change. From 2015, when the zone changed, to sometime in 2019, nothing was done with the site. Until the City Council received complaints from neighbors about a business occupying the structure without the improvements being made to the site. The question before the Commission tonight is should the Overlay be approved which would allow minimal changes to the site. The few changes would be a vinyl fence along the property to the north, and no additional off-street parking be added to the site. The current business is a very good fit for the home and the neighborhood and has very little impact. If the Overlay is approved there could be some considerations that at some time there may be triggers that would cause some improvements.

Commissioner Oyler asked how the wording would be so that any change would trigger improvements.

Dave Anderson stated it could be as simple as if a different business that is a different use be the trigger, or City staff notice a certain number of vehicles parked on the street, or as simple as a neighbor initiating discussion of fencing requirements.

Fred Ludlow explained the business is low impact and he has spoken with the neighbors and has not received complaints of the business.

Commissioner Mendenhall is concerned about the precedence this would set for other sites in the City.

There was discussion of what a trigger that would require improvements look like.

Fred Ludlow stated the current business started there in April of 2019 and signed a 3-year lease agreement.

There was discussion that the business use change would be the trigger to require improvements.

Chairman Tanner opened the Public Hearing at 9:07 p.m.

There was no public comment.

Chairman Tanner closed the public hearing at 9:07 p.m.

Commissioner Mitchell **moved** to recommend approval of the Ludlow Development Enhancement Overlay to the City Council with the following findings and conditions:

Findings.

1. That the proposed use is appropriate for the site.
2. That the proposed use with the proposed improvements would not adversely impact neighboring properties.

Conditions.

1. That language be crafted by staff creating triggers for required improvements prior to City Council.
2. That the Development Enhancement Overlay text be amended to include the Residential Office Zone.
3. That the applicant receives Site Plan approval from the Development Review Committee.

Commissioner Oyler **seconded** and the motion **passed** with a roll call vote.

OTHER BUSINESS

Commissioner Oyler moved to adjourn the meeting at 9:14 p.m.

Adopted Minutes
Spanish Fork City Development Review Committee
December 18, 2019

Staff Members Present: Chris Thompson, Public Works Director; Seth Perrins, City Manager; Dave Anderson, Community Development Director; Brandon Snyder, City Planner; Kelly Peterson, Electric Superintendent; Tom Cooper, Electric Utility Planner; Junior Baker, City Attorney; Jason Sant, Assistant City Attorney; Michael Clark, Staff Engineering; Jered Johnson, Engineering Division Manager; Bart Morrill, Parks Maintenance Supervisor; Dale Robinson, Parks and Recreation Director; John Little, Chief Building Official; Brady Taylor, Lead Cable Technician; Shelley Hendrickson, Engineering Division Secretary; Kimberly Brennehan, Community Development Secretary; Jessica Burdick, Building Inspection Division Secretary.

Citizens Present: David Cloward, Jesse Brimhall, Nate Walter, Matt Brown

Seth Perrins called the meeting to order at 10:05 a.m.

FINAL PLAT

The Ridge at Spanish Fork, Phase 2

Brandon Snyder went over the location of Phase 2. He explained that this phase includes 13 units, and currently there are redlines that are pending.

Jesse Brimhall noted that these buildings have the same architecture as the other buildings. Previously there was concern about this phase having three story buildings, some residents were concerned about losing their view. So, these units will be two story units with main floor living. There are some two-story units existing therefore these will tie in architecturally with the entire development.

Mike Clark explained that Mr. Brimhall will need a permit for access onto Canyon Road, but the City has to apply for that, which we are working on.

Junior Baker asked about the phasing plan on screen. He asked if this plat was being done in two phases.

1. Subject to the applicant addressing any redlines.
2. Subject to the applicant following City development standards.
3. Subject to the applicant following the ordinance and meet the standard for a masonry wall along the Hall property, unless the applicant acquires the neighboring property.

Dave Anderson **seconded**.

There was discussion regarding the fencing and possible masonry wall.

Jesse Brimhall would like to put in just a vinyl fence.

Dave Anderson feels that would be fine, unless Mr. Brimhall doesn't buy the Braithwaite property.

Seth Perrins said he wants to be clear that the landscaping should be followed with plans.

Jesse Brimhall stated that he is familiar with the City's landscaping phasing plans now.

The motion **passed** all in favor.

Dave Anderson told Jesse Brimhall that he now needs to post a bond, have a pre-construction meeting and get his plans approved.

Brandon Snyder noted that there are redlines.

Dave Anderson stated that Matt Brown will need to make the corrections and John Little can look at the plans when they're ready. That's where we're at.

ZONE CHANGE

Ludlow Design Enhancement

Dave Anderson explained that Fred Ludlow, though required, does not want to put in an off-street parking lot on his property. The Ludlows also do not want to put up the required wall along the north property line. Apparently, the neighbor to the north does not want the wall either. So, the Design Enhancement Overlay could allow Mr. Ludlow to avoid these requirements. Dave stated that he feels this is for the Planning Commission and City Council to decide. Dave does not like the idea of the applicant not providing parking, but believes this is a good question for the City Council.

Junior Baker asked if the Ludlows want a Zone Change, or just a Zone Text Amendment.

Dave Anderson said they are seeking the Design Enhancement Zone Change. He reiterated that they do not want a masonry wall along the north property line, and apparently neither does the neighbor. Also, the Ludlows do not want to do a parking lot. They will, however, paint the side of the road for on street parking instead. Dave noted that he's not sure how the neighbors feel about the parking lot.

Junior Baker said if the neighbor doesn't want the wall, we probably don't need a wall.

Seth Perrins agrees, but stated that this is one neighbor today, but in the future, it could be a different neighbor. He asked Junior if there is anything we can do. The property still looks like a home today, so the current neighbors might not realize how it will change. Also, if they move, the new neighbors might not like the commercial use and might want a wall.

Chris Thompson feels the neighbors don't want a parking lot and want the applicants to keep the property looking like a home.

Junior Baker said there's not a big parking requirement for this use, but they do need some onsite parking.

Seth Perrins agreed and asked whether the Design Enhancement gives the City the ability to require certain changes to the site.

Dave Anderson said that it does, if that's the direction the City Council wants to go.

Junior Baker said we should enter into the agreement and spell out what conditions we would require, and record that.

Seth Perrins is comfortable with it, but noted that things can change quickly.

Dave Anderson said the Design Enhancement allows for some give and take.

Chris Thompson said he would like to require an ADA ramp on the corner.

John Little said they haven't changed much with the building, but in this case, they do need to have ADA access to the main portion of the building. The applicant is allowed to do that without a lot of changes.

Dave Anderson **moved** to recommend approval of the Ludlow Design Enhancement Overlay Zone Change subject to the following conditions:

Conditions

1. Subject to the applicant working with Public Works to identify any necessary repairs to the sidewalk, including an ADA ramp at the intersection of 100 S and 100 E.
2. Subject to the applicant installing the required landscaping, including trees, along the perimeter of the property.
3. Subject to the applicant entering into an agreement with the City relative to the occupancy of the structure and the improvements that become required when the next business applies for a business license.
4. Subject to the Design Enhancement Overlay zone being granted so the applicant is not required to have off street parking at this time, nor required to construct a wall along the northern boundary.
5. Subject to the City Council approving a text amendment to include the Residential Office Zone in the Design Enhancement Overlay Zone.

Seth Perrins seconded and there was discussion on the motion.

Chris Thompson asked whether the applicants plan to have parking on the side of the street.

Dave Anderson said yes.

Chris Thompson suggested they stripe it for parking.

Junior Baker feels we don't need to paint parking on the street. People will park there anyway.

Mike Clark feels there could be snow plow issues if businesses like this have on street parking.

Chris Thompson agreed, but suggests we wait until it becomes an issue.

The motion passed 5-1, with Dave Anderson voting Nay.

Dave Anderson stated he feels this is not the best precedent to set. A few years ago, we recommended that this use be allowed at this site and the City Council approved. Yet, here we are looking at something different. It is a poor way for the applicant to operate. Dave added that he would love for the Planning Commission and City Council to decide.

Seth Perrins said the approach is practical and he's comfortable having the Planning Commission and City Council decide.

Dave Anderson said if they don't require off street parking, it could create broader issues in future situations like this.

Jered Johnson agrees with Dave Anderson.

Dave Anderson said this is why we have a Planning Commission.

Mike Clark discussed other situations similar to this where we have required parking lots.

There was further discussion.

SITE PLAN

Ludlow Residential Office

Junior Baker feels there should not be any action on this site plan until the City Council votes on the Design Enhancement Overlay Zone Change.

Junior Baker **moved** to continue the Ludlow Residential Office Site Plan until we see what happens with the Design Enhancement Overlay Zone Change.

Dave Anderson **seconded** and the motion **passed** all in favor.

Dave Anderson said he'll contact the Ludlows regarding the timing.

ANNEXATION

DAC-Swenson Annexation

Adopted Minutes
Spanish Fork City Development Review Committee
40 South Main Street
Spanish Fork, UT 84660
October 31, 2019

Staff Members Present: Seth Perrins, City Manager; Dave Anderson, Community Development Director; Brandon Snyder, City Planner; Tom Cooper, Electric Utility Planner; Junior Baker, City Attorney; Jason Sant, Assistant City Attorney; Michael Clark, Staff Engineering; Jered Johnson, Engineering Division Manager; Bart Morrill, Parks Maintenance Supervisor; Dale Robinson, Parks and Recreation Director; John Little, Chief Building Official; Brady Taylor, Lead Cable Technician; Shelley Hendrickson, Engineering Division Secretary; Kimberly Brenneman, Community Development Department Secretary.

Citizens Present:

Chris Thompson called the meeting to order at 10:02 a.m.

MINUTES

October 2, 2019

October 9, 2019

Junior Baker moved to approve the minutes from October 2, 2019 and October 9, 2019.

Kelly Peterson seconded and the motion passed all in favor.

PRELIMINARY PLAT

River Cove

Ben Tuckett with LEI asked for clarification of the trail cross section along the river.

Staff directed Ben Tuckett to refer to the City's standard trail cross section.

Chris Thompson stated that a two-rail or wrought iron fence should be constructed with a mow strip to show a delineation of the City property and private property.

SITE PLAN**Ludlow Residential Office**

Dave Anderson stated when the discussion occurred with the Zone Change application, the City Council felt the parking needed to be in a parking lot configuration, not backing out onto the street. With that in mind; he does not feel the DRC should approve the proposed Site Plan. He recommended to the applicant to scale back the concept plan that was submitted with the Zone Change to 3 parking stalls and having 2 parking stalls in front of the garage.

There was discussion of the use of the building and it was indicated by the applicant, that there is no intention of remodeling the home to the extent of removing the kitchen or taking away the "home" feel. With that in mind the applicant indicated there may never be a business in the building that would require more than 5 parking stalls.

Dave Anderson suggested that a bond be posted for the improvements, and that the current business that is operating from the site apply for a Business License. He indicated that this should be done in a timely fashion.

Tom Cooper stated the exterior meter needs to be brought up to current code as he believes it has not been updated.

Dave Anderson **moved** to continue the Ludlow Residential Office Site Plan.

Seth Perrins **seconded** and the motion **passed** all in favor.

GENERAL PLAN AND ZONE CHANGE**Spanish Fork Parkway**

There was no discussion.

Dave Anderson **moved** to recommend approval of the Spanish Fork Parkway General Plan and Zone Change Amendment located at the intersection of Spanish Fork Parkway and the north side of Highway 6.

John Little **seconded** and the motion **passed** all in favor.

**Adopted Minutes
Spanish Fork City Council Meeting
December 15, 2015**

Elected Officials Present: Mayor Steve Leifson, Councilmembers Rod Dart, Richard Davis, Brandon Gordon, Mike Mendenhall. Councilmembers Elect: Chad Argyle, Stacy Beck. Absent: Councilmember Keir Scoubes.

Staff Present: David Oyler, City Manager; Junior Baker, City Attorney; Seth Perrins, Assistant City Manager; Dave Anderson; Community Development Director; Chris Thompson, Public Works Director; Dale Robinson, Parks & Recreation Director; Kent Clark City Recorder/Finance Director; Steve Adams, Public Safety Director; Angie Warner, Deputy Recorder.

Citizens Present: Brayden Wride, Taelor Stoddard, Brandon & Heidi Dart, Kenneth L. Hansen, Audrey Merighe, Jessica Haskell, Julie Haskell, Rick Lords, Karissa Lords, Clark Caras, Stacy Beck, Cris Child, Craig Merighe, Alexis Wride, Sienna Allred, Tyson Jones, Marc Ostler, Ari Ostler, Paul Casey, Brad Tanner, David Trat, Doug Yarrington, Jesse Brimhall, Tamara Davis, Caroline Ludlow, Cheryl Leifson, Craig Lott, Tracy Ludlow, Fred Ludlow, Matt Mitchell, Jasen Binham, Sheila Hansen, Pat Mitchell, Arlo Mitchell, Alicia Hunsaker, Monty Hunsaker, Amy Gregory, Stuart Gregory, Matt Barber, Ryan Dart, Amy Dart, Gary Jensen, Kena Mathews, Ester Wirfs.

5:15pm WORK SESSION:

1. MAG 2016 TIP Application – Chris Thompson

Discussion took place regarding the item(s) listed above; no formal actions are taken in a work session.

6:00pm CALL TO ORDER, PLEDGE, OPENING CEREMONY, and RECOGNITION:

Mayor Leifson called the meeting to order at 6:00 p.m.

Motivation/Inspirational Message given by James Steward.
Councilman Davis led in the pledge of allegiance.

PUBLIC COMMENTS:

Karleen Holland sent an email to the City Council related to her utility account and her \$716.00 deposit. Ms. Holland reviewed her experience and was told by the staff that the City will keep the deposit for 10 years or indefinitely. Ms. Holland has been a homeowner in Spanish Fork for 10 years and is pleading to the City Council that she can have her deposit back. She was told that the City Council would have to do a revision to the policy before they can request to get their deposit back.

Richard Johnson and Vern Tanner wanted to congratulate Dave Oyler on his upcoming retirement. Mr. Johnson said they appreciate Mr. Oyler and all he has done for the City. The City is in a good position today because of him. Mr. Johnson also thanked Councilman Davis and Councilman Dart for their service. Mr. Tanner said that Howard Creer wanted to be here also and couldn't make it due to health reasons. Meiling Hales also joined the group who was a prior Councilman for Spanish Fork City. Mr. Hales was on the City Council when Mr. Oyler was hired.

Proposed Ludlow Zone Change for the property located at 100 East 100 South

Dave Anderson said this property is across the street from the City Park. The applicant wants to leave the existing home and convert it to an office. They would need to change the zone from R-1-6 to Residential Office. Development Review Committee recommends approval. Planning Commission recommends it be denied with a 3-2 vote.

Councilman Mendenhall made a **Motion** to move into Public Hearing.
Councilman Davis **Seconded** and the motion **Passed** all in favor at 8:50 p.m.

Mayor Leifson welcomed public comment.

Tracy Ludlow, the property owner, thanked those that have helped us through this process. Ms. Ludlow reviewed the history of the home and the neighborhood. Ms. Ludlow said they want to keep the home the same inside and out. Ms. Ludlow reviewed the planned parking for the property.

Mark & Aria Ostler, property owners to the north of the Ludlow property. Mr. Ostler presented their concerns about fencing, parking, crime, property values, and potential for more businesses to come if this is approved. Mr. Ostler said they rented first in the area and then purchased a home because they loved the area. If the homes start changing to businesses he is afraid it will change the neighborhood. Mr. Ostler said they moved from Orem, and they love Spanish Fork and want to live next to a family, not a business.

Ester Wirfs lives two homes east of the Ludlow property. Ms. Wirfs has safety concerns, but had a different point of view come up tonight. Ms. Wirfs would like to keep the historical neighborhood next to the park, not a business.

Craig Law is working with the Ludlow's on the architecture design. Mr. Law is passionate about saving the old buildings. He has met with Dave Anderson and Chief Building Official John Little and to ask if this property could be converted and brought up to code. Mr. Law commented that a business at that property would likely generate the funds to keep the property looking nice.

Pat Mitchell, the mother to the applicant said her kids grew up at the City Park many years ago. She moved to Wolf Hollow and then the city built Centennial Park right next door to her new home. Ms. Mitchell commented that you just don't know what is going to happen in the future.

Clark Mitchell said he owned the home before Ms. Ludlow and he is the one that encouraged her to do this project. Spanish Fork is growing all over and this will happen whether it's now or later.

Fred Ludlow owns the property and he grew up in the area. Mr. Ludlow reviewed his history of the area. The demand for office is growing just like the population.

Matt Mitchell commented that he grew up in the area and has seen a lot of change in the area. It's an opportunity in an iconic spot.

Arlo Mitchell said he was raised in the area and reviewed the history of the area.

Caroline Ludlow thanked the City Council for all their time and effort in making this a good city.

Councilman Davis made a **Motion** to move out of Public Hearing.
Councilman Dart **Seconded** and the motion **Passed** all in favor at 9:32 p.m.

Councilman Davis asked what can go in an RO zone.

Mr. Anderson reviewed what could be put in this if it became residential office.

15.3.16.040 R-O Residential Office

This district is intended to allow low intensity professional office uses on a scale consistent with residential areas. Strict architectural and site plan review will be required to ensure compatibility with adjoining residential areas. This district serves as a transition between more intense commercial areas and residential land uses, or is located along busier streets where limited office use is being introduced. Residential and office use of the same structure is allowed. Some limited commercial use may also be allowed in selective locations.

A. Permitted Uses:

- 1. Single residence dwellings.*
- 2. Duplexes. The minimum lot size is 9,700 square feet, the minimum lot width is 60 feet and the side setback 10 feet.*
- 3. Bed and Breakfast Inns.*
- 4. Offices.*
- 5. Home Occupations.*
- 6. Churches (when located on a collector or arterial street).*
- 7. Child care centers.*
- 8. Instructional Studio.*
- 10. Museums.*
- 11. Municipal facilities required for local service.*
- 12. Funeral homes.*

The following uses will only be allowed on properties between 100 West and 100 East:

- 1. Art galleries and studios.*
- 2. Financial institutions with no drive-thru service.*
- 3. Personal service businesses.*
- 4. Restaurants (no drive-thru or drive-in service).*
- 5. Specialty retail uses including, but not limited to, gift shops, bookstores, florists, antiques, crafts, collectibles, food and beverages, apparel, and other similar items.*

Councilman Gordon asked about the overflow parking to the neighbors.

Mr. Andersen said it would just be whatever City Code is for parking on a public street.

Councilman Dart lived next to a business for a while. They constantly had cars parked in front of his home. He is glad that we have parking regulations to help. Councilman Dart asked how many offices will be in the home. And will there be construction on the home.

Mr. Ludlow said they would probably have about five offices and they have to make it comply with ADA requirements.

Councilman Dart asked about the crime in the area.

Chief Adams said there has been crime in the area but it is decreasing. Property owners are improving the properties, which draws better home owners instead of having rentals. If businesses have good signage, lighting, and security it will keep the crime away.

Councilman Davis asked about the real estate, will it increase or decrease property values.

Matt Mitchell said in his opinion feels that it would increase, depending on how you look at it.

Councilman Mendenhall said the values depend on the sale of homes in the area.

Councilman Davis said if you look at some of the other areas along 100 East or 100 West that this is happening to the homes. With the park, there is a lot of parking there already. It's a beautiful home and he feels it would be safer as an office complex than a home.

Councilman Gordon said if the Ostler's decide to do this with their home, they would have to go through the same process. This request is only for the Ludlow property. The whole street could turn into that if they go through the process. Councilman Gordon asked the Ludlow's if there could be an adjustment with the look and feel of the fence or communicate with the neighbors to get their opinion.

Ms. Ludlow said they are willing to adjust that if the City will allow it.

Councilman Davis asked about problems with previous renters in the home.

Mr. Ludlow said that they have had probably one problem out of about five renters over the years.

Councilman Mendenhall commented that he prefers the parking lot rendering rather than the street parking.

Councilman Gordon made a **Motion to approve** the Ordinance Z08-15 Changing the Zoning Designation and Amending the Official Zoning Map of Spanish Fork City for the Ludlow Zone Change.

Councilman Dart **Seconded** and the motion **Passed** all in favor with a roll call vote.

Mayor Leifson requested a break at 9:55pm. Returned at 10:03pm.

NEW BUSINESS:

Preliminary Plat Re-approval for The Ridge, a townhome development located at approximately 2700 East Canyon Road

Jesse Brimhall said the infrastructure is in and we are just running out of time and are asking for more time.

Mr. Baker said staff's recommendation is to reapprove the plat with the same conditions as before.

Councilman Mendenhall made a **Motion to approve** the Preliminary Plat Re-approval for The Ridge, a townhome development located at approximately 2700 East Canyon Road with the same conditions as before.

Councilman Gordon **Seconded** and the motion **Passed** all in favor.

FY 2015 Independent Audit

Mr. Clark said each year Larson & Company performs an independent audit of the City's financial statements. Mr. Clark turned the time over to Jon Haderlie for his report. The City received a clean report and they did have one finding. Mr. Clark said that the City revenue came in higher than budgeted and the expenses came in lower than budgeted, which is good.

Jon Haderlie presented their audit report. They did have a finding that the General Fund balance

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Adopted Minutes
Spanish Fork City Planning Commission
December 2, 2015

Commission Members Present: Chairman Brad Gonzales, Bruce Fallon, Treaci Tagg, Brad Tanner, Brad Wilkinson. **Absent:** Jens Nielson

Staff Members Present: Dave Anderson, Community Development Director; Jason Sant, Assistant City Attorney; Cory Pierce, Staff Engineering; Kimberly Brenneman, Community Development Division Secretary.

Citizens Present: Tracy Ludlow, Fred Ludlow, Arlo G. Mitchell, Pat Mitchell, Kenneth L. Hansen, Stuart Gregory, Jesse Brimhall, Sara Sorensen, Thomas Sorensen, Brad Cox, David Herring, Jared Wendel, London Wendel, Esther Wirfs, Craig Lott, Paul Casey, Ken Menlove, Mark Ostler, Ari Ostler.

Chairman Gonzales called the meeting to order at 6:04 p.m.

PRELIMINARY ACTIVITIES

Pledge of Allegiance

Chairman Gonzales led the pledge.

PRELIMINARY PLAT

The Ridge Re-approval

Applicant: Dos Amigos
General Plan: High Density Residential
Zoning: R-3 In Fill Overlay
Location: 2700 East Canyon Road

Chairman Gonzales stated the Commission reviewed the project before and there are no changes to the plat from when it was approved.

Commissioner Wilkinson **moved** to recommend approval to City Council of The Ridge Re-approval Preliminary Plat.

Commissioner Fallon **seconded** and the motion **passed** all in favor.

ZONE CHANGE

Ludlow Zone Change

Applicant: Ludlow and Co.
General Plan: Medium Density Residential

48 Zoning: R-1-6 current; R-O proposed
49 Location: 103 East 100 South

50
51 Dave Anderson stated the current property is zoned R-1-6 as well as the properties to the east
52 and to the south. The applicant is proposing to change the property to R-O. The applicant has
53 submitted 2 proposed concept plans. Dave Anderson stated that what happens around City
54 Park falls to the Planning Commission as to what they see the property potential is for the
55 future.

56
57 It is not uncommon to let structures be converted over time to encourage investment in a
58 property with a historic nature. The proposed zone change could fall in line with encouraging
59 more activity in this area of town. If the zoning of this property is changed, it is probable the
60 neighboring properties may chose to have their properties changed in the future as well. The
61 Planning Commission can delineate where it is and is not appropriate to have office and public
62 space. The DRC recommended the zone change be approved.

63
64 Chairman Gonzales asked what the difference is between Residential Office and Commercial.

65
66 Dave Anderson read the section of Title 15 addressing the two zone designations. Scale and
67 traffic are what separates the two zones.

- 68
69 *15.3.16.040 R-O Residential Office*
70 *A. Permitted Uses:*
71 *1. Single residence dwellings.*
72 *2. Duplexes. The minimum lot size is 9,700 square feet, the minimum lot width is*
73 *60 feet and the side setback 10 feet.*
74 *3. Bed and Breakfast Inns.*
75 *4. Offices.*
76 *5. Home Occupations.*
77 *6. Churches (when located on a collector or arterial street).*
78 *7. Child care centers.*
79 *8. Instructional Studio.*
80 *9. Museums.*
81 *10. Municipal facilities required for local service.*
82 *11. Funeral homes.*

- 83 *The following uses will only be allowed on properties between 100 West and 100*
84 *East:*
85 *1. Art galleries and studios.*
86 *2. Financial institutions with no drive-thru service.*
87 *3. Personal service businesses.*
88 *4. Restaurants (no drive-thru or drive-in service).*
89 *5. Specialty retail uses including, but not limited to, gift shops, bookstores,*
90 *florists, antiques, crafts, collectibles, food and beverages, apparel, and other*
91 *similar items.*

- 92
93 *15.3.16.050 C-O Commercial Office*
94 *A. Permitted Uses:*

- 95 1. *Child care centers*
- 96 2. *Churches*
- 97 3. *Financial institutions*
- 98 4. *Medical and dental laboratories, clinics, emergency medical care facilities*
- 99 5. *Nursing or retirement homes*
- 100 6. *Offices*
- 101 7. *Municipal facilities required for local service*
- 102 8. *Supervisory care facilities*
- 103 10. *Veterinary offices for small animals with no outside boarding of animals*
- 104 11. *Instructional Studios*
- 105 12. *Funeral Homes*
- 106 B. *Uses Subject to Conditional Use Permit (see §15.3.08.060):*
- 107 1. *Hospitals*
- 108 2. *Restaurants*
- 109 3. *Retail stores, personal service businesses, office supply stores, pharmacies when*
110 *integrated into the office complex*
- 111 4. *Veterinary offices for large animals and/or outside boarding of any animals*
- 112 5. *Wireless communication facilities on existing structures, with the intent to make*
113 *them “stealth” facilities, which are not noticeable to a degree greater than the*
114 *structure to which it is attached; or new stealth facilities which are camouflaged*
115 *into its surroundings*
- 116 6. *Medical and dental clinics*
- 117 7. *Emergency medical care facilities*
- 118 8. *Museums*

119
120 Chairman Gonzales asked what the requirement for ADA and parking were for each zone.

121
122 Dave Anderson stated the ADA does not change regardless of the zone and the structure must
123 meet the ADA requirements. Dave Anderson also stated the use of the property dictates how
124 many parking spaces are required.

125
126 Commissioner Wilkinson asked how the zone change would affect the neighboring properties
127 value.

128
129 Dave Anderson replied that he is not sure of the impact. The City would hope the impact
130 would be minimal. There are required buffers that need to be in place once the zone changes
131 such as landscaping, and a masonry wall. The uses are limited enough in nature that there
132 should not be a big impact on the neighboring property value.

133
134 Commissioner Tanner asked if there are any concerns with parking.

135
136 Dave Anderson stated he does not foresee a medical use on the property as there would not
137 be enough parking. The applicant has some options, but some of the uses within that zone are
138 ruled out with the limited parking availability.

139

140 Commissioner Tanner asked if the Planning Commission approves the application today with
141 the existing parking, what would happen should the property owner change the type of
142 business that would occupy the space that would require more parking than what is on site.

143
144 Dave Anderson stated that would be addressed with any building permit applications.
145

146 Dave Anderson covered the two proposed concept plans submitted by the applicant stating
147 most of the staff agrees concept 1 is the ideal layout.
148

149 Tracy Ludlow and Craig Lot addressed the Commission. Over the years she has owned the
150 home and stated it has become harder to find tenants for the area and it became clear to her
151 that the property would be better suited as a residential office.
152

153 Chairman Gonzales opened the meeting for public comment at 6:23 p.m.
154

155 Jered Wendel addressed the commission stating he lived down the street from the proposed
156 property. He pointed out there are many families with small children in the neighborhood and
157 the increased traffic could be an issue. He also stated that he moved into the neighborhood
158 because of the low traffic. He would hate to see the City of Spanish Fork turn into Alpine.
159

160 Mark and Ari Ostler who live just north of the property addressed the Commission. They
161 purchased their home seven months ago and loved to have the park across the street. Mark
162 Ostler stated over the last few months parking has become very difficult depending on the time
163 of the year. When cars are parked on the street it becomes a hazard to have the children cross
164 the street. They have a concern with the value of their property going down with a business
165 being next door to their home.
166

167 Ester Hurst lives to the east of the property. She feels the neighborhood is hard to get people
168 to live in and by bringing in businesses, it will not help the neighborhood. What needs to be
169 done is to fix the existing structures and encourage residential uses. There is concern with
170 bringing strangers into the neighborhood.
171

172 Chairman Gonzales stated the average home in Spanish Fork has 6.7 vehicle trips and could be
173 more if there are teenagers in the home. Businesses generally do not generate that many trips
174 in one day. The statics indicate traffic counts would be lowered. He asked Ester Hurst, in her
175 opinion, by having a commercial office if it would deter crime.
176

177 Ester Hurst stated it depends on the type of traffic, the high retaining walls and visibility.
178

179 Commissioner Tanner asked for Cory Pierce to clarify the clear vision rule regarding fences
180 near driveways.
181

182 Cory Pierce stated that the masonry wall would be lowered from 6' to 3' where it abuts the
183 neighboring driveways.
184

185 Mark Ostler stated questionable activities take place in parks and parking lots, when after 5:00
186 p.m. the property is not being monitored. There could be an increase of those types of
187 activities next to his home.
188

189 Jered Wendel asked a rhetorical question to the Commission; if the Commissioners would like

190 a business to go in next to their homes.

191

192 Craig Lott stated the home is small and there would be only 8 parking stalls. There will be off
193 street parking and there should be no impact of cars parking on the street. He stated there will
194 be security cameras to monitor the property at nights. The area around the park lends itself to
195 a "village green". With the traffic already generated by the park, the commercial type should
196 blend in nicely. Craig Lott stated that Tracy Ludlow has made it very clear to him that the large
197 trees are to not be cut down.

198

199 Chairman Gonzales closed the public hearing at 6:39 p.m.

200

201 Commissioner Fallon asked Dave Anderson if the intent and the hope is to have the property
202 changed to R-O as to preserve the home as an office, it does not guarantee the home will stay
203 in the future. If the property owner ever sells the property the structure could be torn down.

204

205 Dave Anderson stated that is correct.

206

207 Commissioner Fallon asked the planning perspective of spot zoning.

208

209 Dave Anderson stated over time, decades and not years, the properties surrounding the
210 property will evolve into more residential office area. This is a property that is not in the middle
211 of a zone in which there are no plans to change over time to another use.

212

213 Commissioner Fallon stated he sees value in keeping the property as a residential structure. If
214 the neighborhood is experiencing crime, a residential home will have eyes out 24/7 instead of
215 just business hours.

216

217 Commissioner Tagg is viewing this property as a big picture item and the long term effect the
218 zone change will have on the area. In viewing other neighborhoods within the community in
219 close proximity, she does not see the impact; except for the ones that live right next to the
220 property. It is important for the Commission to think about what they would see happening
221 around the park as a transition.

222

223 Commissioner Tanner stated he feels like Commissioner Tagg on this item. He stated there
224 are other businesses within the community located in neighborhoods that work just fine. He
225 stated when the insurance building was built down the street from him, he has not seen an
226 impact of a business as opposed to a residential use. Commissioner Tanner stated he sees a
227 lot of successful businesses in town. He can see it being a good thing, and in 10-20 years,
228 what will the neighboring lots look like? It is the future and it is a buffer zone moving from
229 commercial to residential. The businesses will blend in with the neighborhood.

230

231 Commissioner Fallon asked Commissioner Tanner if this is what the commission wants to see
232 in this particular location of town. Does the Commission want to see this change? This is a
233 trend precedence setting the future course of the block.

234

235 Commissioner Wilkinson stated it is hard to not be torn between peoples feelings. As a
236 property owner you want to be able to have flexibility to do what you want with your property,

237 but you have neighbors who do not want to see any changes. He went on to state that some
238 businesses keep up on their yards more than a residential homeowner. Commissioner
239 Wilkinson does not see a traffic increase and an increase of people coming and going with this
240 proposal. He does not see it being much more than residential use and he doubts most
241 residence in the neighborhood will notice the difference. He is seeing Dave Anderson's vision
242 of the area and the preservation of a historic house. He does not see that as a bad use.

243

244 Commissioner Tanner pointed out that one block off Main Street to the north is already R-O.

245

246 Chairman Gonzales stated that he would see the benefit in rezoning the whole block to R-O.

247

248 The public agreed the neighborhood is a quiet neighborhood.

249

250 Chairman Gonzales stated he does not see that it would be quiet being off Center Street and
251 next to a park.

252

253 The public stated they enjoy the sound of the children playing at the park.

254

255 Chairman Gonzales stated he does not see the zone change altering the integrity of the block.

256

257 Commissioner Fallon sees the relationship of the R-O zone but he said the park sets a different
258 tone. There is such value in having the residential use across from the park.

259

260 Commissioner Fallon **moved** to recommend to City Council deny the Ludlow Zone Change.

261

262 Chairman Gonzales **seconded** and the motion **passed**.

263

263 Roll call:

264

264 Commissioner Wilkinson Nay.

265

265 Commissioner Fallon Aye.

266

266 Commissioner Tanner Nay.

267

267 Commissioner Tagg Aye.

268

268 Chairman Gonzales Aye.

269

270 Chairman Gonzales is in favor of keeping the style of the homes and turning them into office

271

271 space, but is not a fan of the proposal for this block.

272

273 Commissioner Tagg agrees with Commissioner Fallon in keeping the integrity of the park. She
274 stated the publics concerns are valid, but it came down to the park aspect.

275

276 **Casey Zone Change**

277

277 Applicant: HRC Climate Services

278

278 General Plan: High Density Residential

279

279 Zoning: R-1-6 current, R-3 proposed

280

280 Location: 560 North 500 East

281

282 Dave Anderson addressed the Commission stating the property is currently zoned to R-1-6 and
283 would like to have the zoning changed to R-3. This would be the first step needed to be able to

Adopted Minutes
Spanish Fork City Development Review Committee
November 24, 2015

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Staff Members Present: Chris Thompson, Public Works Director; Dave Anderson, Community Development Director; Dave Oylar, City Manager; Kelly Peterson, Electric Superintendent; Junior Baker, City Attorney; Cory Pierce, Staff Engineering; Jered Johnson, Engineering Division Manager; John Little, Chief Building Inspector; Kimberly Brenneman, Community Development Division Secretary.

Citizens Present: Fred Ludlow, Tracy Ludlow, Craig Lott.

Chris Thompson called the meeting to order at 10:05 a.m.

MINUTES

November 18, 2015

Dave Anderson **moved** to **continue** the minutes of November 18, 2015.
Junior Baker **seconded** and the motion **passed** all in favor.

ZONE CHANGE

Ludlow Zone Change

Applicant: Ludlow and Co.
General Plan: Medium Density Residential
Zoning: R-1-6 current; R-O proposed
Location: 103 East 100 South

Dave Anderson stated the proposal is to change the property from R-1-6 to R-O. He reviewed that from a land use perspective the proposed use fits within the General Plan. Dave Anderson does not have a concern with the Zone Change.

The applicant has submitted two proposed concept plans. Dave Anderson, Junior Baker and Cory Pierce like concept 1, which has the onsite parking lot.

Craig Lott stated the applicant would like to be able to expand the building to the north.

Dave Anderson stated the property owner could work on a few parking lot configurations to allow for an addition to the existing structure.

Tracy Ludlow stated she would prefer to see the aesthetics of the home stay the same.

47 Dave Anderson appreciates that approach.

48

49 There was discussion of the look and history of the home.

50

51 Junior Baker **moved** to recommend approval to the Planning Commission of the Ludlow Zone

52 Change from R-1 -6 to R-O.

53

54 Dave Oyler **seconded** and the motion **passed** all in favor.

55

56

57 **Casey Zone Change**

58 Applicant: HRC Climate Services

59 General Plan: High Density Residential

60 Zoning: R-1 -6 current, R-3 proposed

61 Location: 560 North 500 East

62

63 Dave Anderson stated the applicant purchased the property about 2 years ago with the idea he
64 would apply for a building permit to add an additional four-plex to the property. Dave Anderson
65 and the applicant, Paul Casey, have had many discussions regarding the property. The
66 municipal code outlines how many units are allowed per acre. With the lot size Paul Casey has,
67 if he applied for an Infill Overlay, it would only allow for the applicant to build 5 units; with the
68 existing four-plex the applicant is restricted to only build one more unit on the property. Paul
69 Casey made it very clear to Dave Anderson that he would not like to build a single family home
70 but a four-plex or a three-plex.

71

72 Relative to the application, the property owner would like a formal request reviewed. Dave
73 Anderson stated if the zone was changed to R-3, the spot zoning does not solve the issue of
74 Paul Casey wanting to build a three or four-plex.

75

76 Junior Baker stated spot zoning is legal, but is not a good idea.

77

78 Dave Oyler stated back in the 1980's the overall concern was the high density and the type of
79 buildings that were being constructed. The residents in the north east area of the City were
80 concerned about the density and asked the City to help spread the density out over the entire
81 City. That was the original intent in having the Zone Changed to R-1 -6.

82

83 Dave Anderson **moved** to recommend the Planning Commission deny the proposed Casey
84 Zone Change.

85

86 Junior Baker **seconded** and the motion **passed** all in favor.

87

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89 Other Business

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91 Discussion of Weavers Vineyard:

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**Adopted Minutes
Spanish Fork City Development Review Committee
November 18, 2015**

Staff Members Present: Chris Thompson, Public Works Director; Dave Anderson, Community Development Director; Dave Oyler, City Manager; Kelly Peterson, Electric Superintendent; Junior Baker, City Attorney; Cory Pierce, Staff Engineering; Bart Morrill, Parks Maintenance Supervisor; Dale Robinson, Parks and Recreation Director; John Little, Chief Building Inspector; Kimberly Brenneman, Community Development Division Secretary.

Citizens Present: Sean Smith

Chris Thompson called the meeting to order at 10:07 a.m.

MINUTES

**October 28, 2015
November 11, 2015**

Chris Thompson **moved** to **approve** the minutes of October 28, 2015 and November 11, 2015, with the changes noted in an earlier e-mail from Junior Baker to Kimberly Brenneman and the DRC members.

Cory Pierce **seconded** and the motion **passed** all in favor.

MINOR PLAT AMENDMENT

Cedric Evans Minor Plat
Applicant: Angela Evans
General Plan: Medium Density
Zoning: R-1 -6
Location: 380 South 800 East

Cory Pierce stated the applicant would like to divide the lot and put the utilities in upon the lot developing.

Dave Oyler **moved** to approve the Cedric Evans Minor Plat based on the following findings and conditions:

Conditions

- 1. That the applicant submits a final subdivision plat.
- 2. That the applicant meets all the engineering redlines and required utility requirements upon development.

47
48 Junior Baker **seconded** and the motion **passed** all in favor.

49

50

51 **ZONE CHANGE**

52

53 **Casey Zone Change**

54 Applicant: HRC Climate Services
55 General Plan: High Density Residential
56 Zoning: R-1 -6 current; R-3 proposed
57 Location: 5560 North 500 East

58

59 **Ludlow Zone Change**

60 Applicant: Ludlow and Co.
61 General Plan: Medium Density Residential
62 Zoning: R-1 -6 current; R-3 proposed
63 Location: 103 East 100 South

64

65 Dave Anderson **moved** to recommend continuing the Casey and Ludlow Zone Changes.

66

67 Kelly Peterson **seconded** and the motion **passed** all in favor.

68

69

70 **PRELIMINARY PLAT**

71

72 **The Ridge (re-approval)**

73 Applicant: Dos Amigos
74 General Plan: High Density Residential
75 Zoning: R-3 In Fill Overlay
76 Location: 2700 East Canyon Road

77

78 The Preliminary Plat approval expired last month prior to recording a plat. The developer is
79 close to being able to record a plat. There have been no changes to the plat.

80

81 Dave Oyler **moved** to recommend approval to the Planning Commission and City Council of
82 The Ridge re-approval of the Preliminary Plat based on the following findings and conditions:

83

84 Conditions

- 85 1. That the applicant meets all the requirements from the original approval.

86

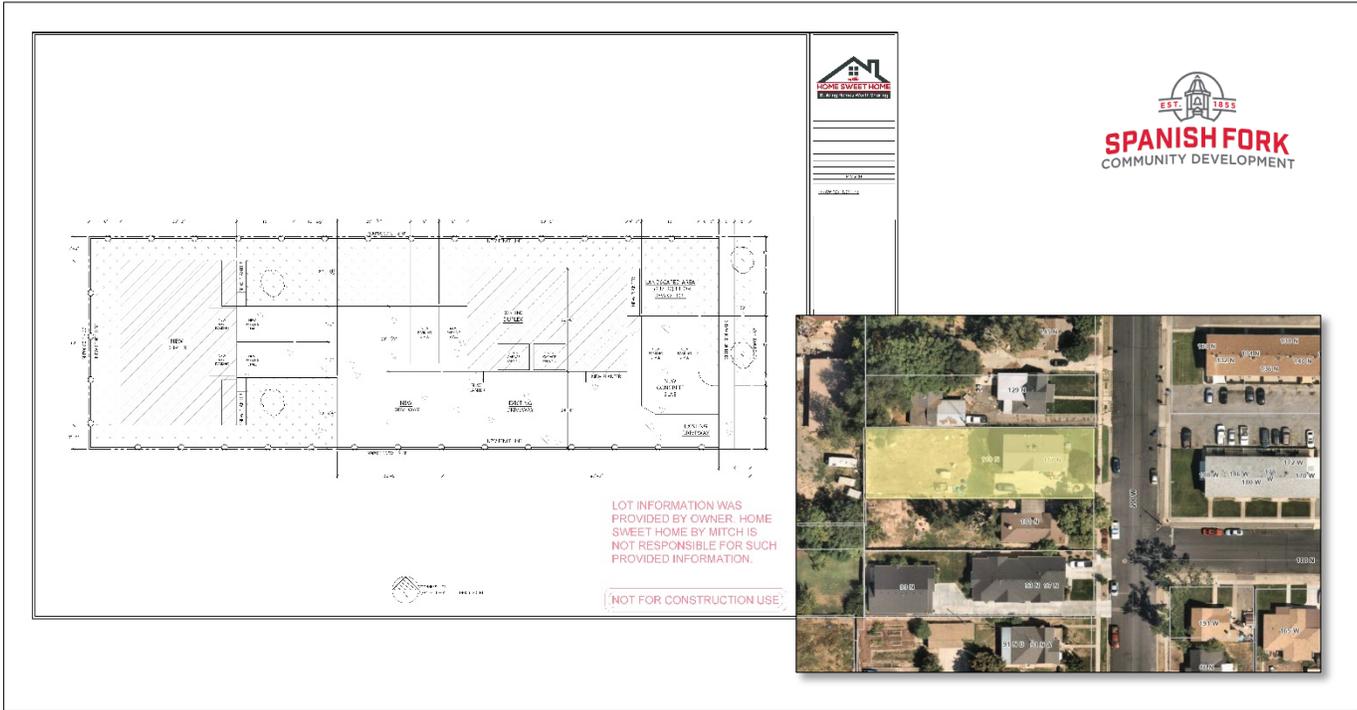
87 Kelly Peterson **seconded** and the motion **passed** all in favor.

88

89 Chris Thompson stated a road was built when it was too cold and the road is very bumpy. The
90 developer needs to mill the road down. The developer will need to place a bond.

91

92



Voorhees Duplex Addition Zone Change Approval Request

December 7, 2022, Planning Commission Meeting.

Located at 117 North 200 West, including 0.3 acres.

The subject parcel is currently zoned R-3.

The applicant has requested that a Zone Change to the R-3 Zone with the Infill Overlay be approved in order to allow for an additional duplex to be built.

The property currently has an existing duplex.

- Key Issues**
1. Have the provisions of the Infill Overlay zone been met?
 2. Utilities.
 3. Power.
 4. Setbacks.
 5. Building Elevations.
 6. Landscaping.

- Recommendation**
- That the proposed Zone Change be recommended for approval based on the following findings and subject to the following conditions:
- Findings**
1. That the proposal is consistent with the City's General Plan Land Use Map Designation.
 2. That with additional details the proposal can meet the intent of the Infill Overlay zone.
- Conditions:**
1. That the applicant meets the City's Zoning requirements and Construction Standards.
 2. That the applicant addresses any red-lines.
 3. That the applicant meets any conditions recommended by the DRC and Planning Commission.
 4. That the driveway is at least 20 feet wide and is concrete.

- Exhibits**
1. Memo.
 2. Site Plan.
 3. Landscaping.
 4. Building Elevations.

Zone Map Amendment Request Voorhees Duplex

I, Tyler Voorhees, am 100% owner of the property and this request is in regard to updating the zoning of the property located in Spanish Fork, Utah with the address of 117 North 200 West or Parcel ID # 07:050:0001, which is currently zoned as R-3.

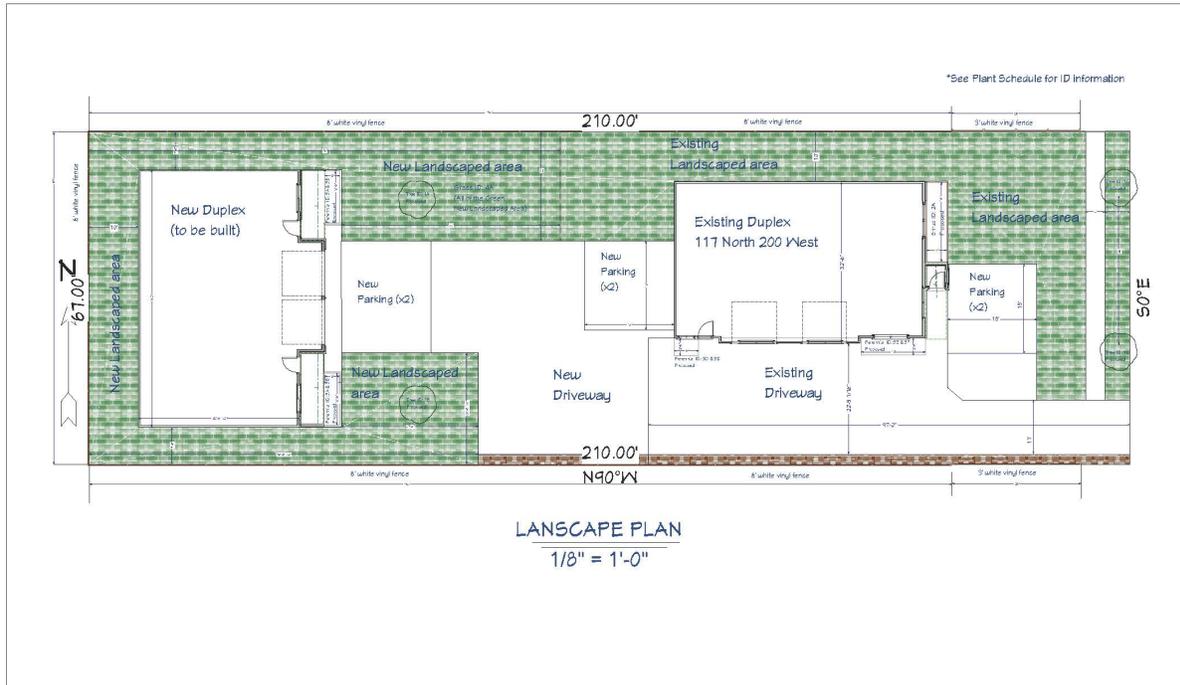
The request is to update the zoning for the stated property with R-3 Zoning to include the I-F or In-Fill Overlay Zone.

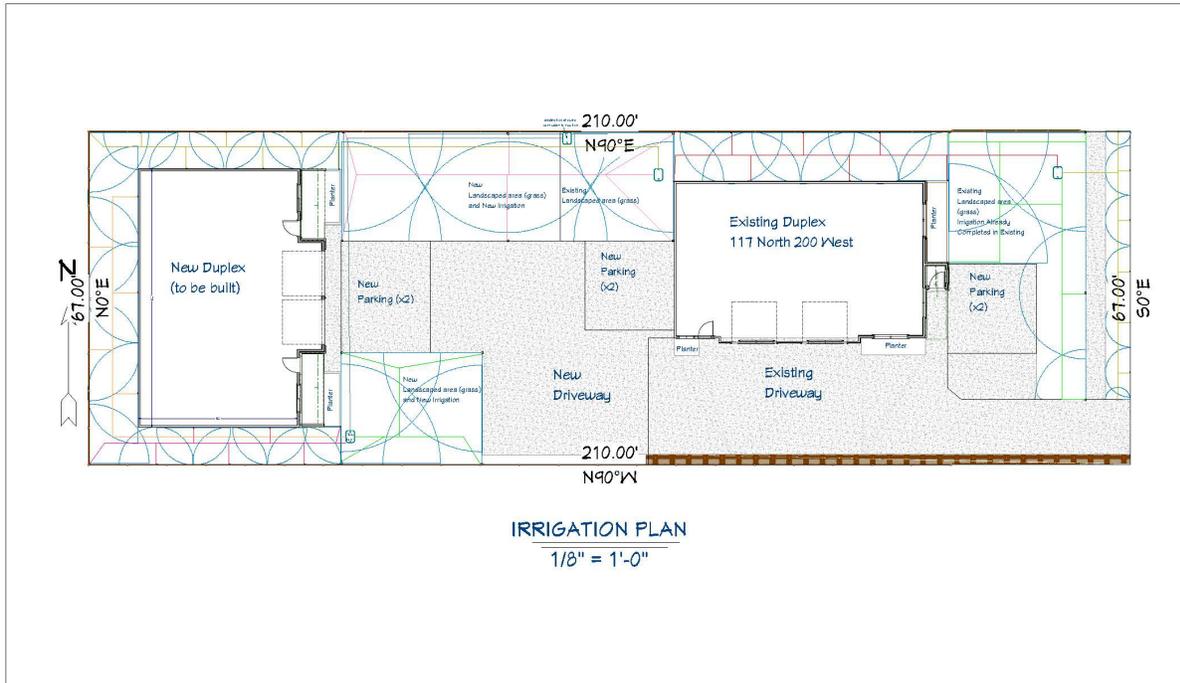
The reason for this request is for a second duplex to be built on the west side of the lot where it is currently dirt and weeds. This upgrade will improve the area with a landscaped yard that will be constructed along with the new duplex. Once completed, the property will have two duplexes for a total of 4 units which will provide additional housing to the growing community of Spanish Fork.

The size of the lot is 13,257.66 feet and meets the requirements of space for 4 units on the lot according to Municipal Code 15.3.16.035.C.3 which states, "No more than one unit for every 3,260 square feet of project area shall be permitted for developments in the R-3 Zone." For quick reference, $3,260 \times 4 = 13,040$.

Each existing unit has a covered garage, and the two new units will each have a covered garage. Additional parking spaces (1.5 per unit) will be constructed as well and will be shown in the attachment labeled "Plot plan and Elevation floor plans" for a total of 6 uncovered and 4 covered parking spaces. In addition, the surrounding fence will be upgraded to a vinyl fence on the north, west, and south sides of the property. Currently there are three different fence types that are in poor condition that will be replaced with the new fence. Hardie board, stucco, and brick will be used in the construction of the new duplex in accordance with recommendations of the planning commission on October 5th 2022. Then update existing building to match the new.

This will be similar to the property located two lots south with the address of 99 N 200 W or Parcel ID # 25:021:0024, which has two separate dwellings on a single lot with R-3 Zoning and an In-Fill Overlay.





Plant Schedule

Trees

ID	Quantity	Latin Name	Common Name	Size (each unit)
1A	1	Acer Platanoides 'Crimson Sentry'	Crimson Sentry Norway Maple	25 ft tall x 15 ft wide
1B	1	Acer Platanoides 'Crimson Sentry'	Crimson Sentry Norway Maple	25 ft tall x 15 ft wide
1C	1	Acer Platanoides 'Crimson Sentry'	Crimson Sentry Norway Maple	25 ft tall x 15 ft wide
1D	1	Acer Platanoides 'Crimson Sentry'	Crimson Sentry Norway Maple	25 ft tall x 15 ft wide

Shrubs

ID	Quantity	Latin Name	Common Name	Size (each unit)
2A	4	Buxus Microphylla	Littleleaf Box	4 ft tall x 4 ft wide

Perennials

ID	Quantity	Latin Name	Common Name	Size (each unit)
3A	4	Aquilegia	Columbine Flower	1 ft tall x 1.5 ft wide
3B	4	Pulmonaria Longifolia	Lungwort Diana Clare	1 ft tall x 1.5 ft wide
3C	2	Aquilegia	Columbine Flower	1 ft tall x 1.5 ft wide
3D	2	Pulmonaria Longifolia	Lungwort Diana Clare	1 ft tall x 1.5 ft wide
3E	5	Aquilegia	Columbine Flower	1 ft tall x 1.5 ft wide
3F	5	Pulmonaria Longifolia	Lungwort Diana Clare	1 ft tall x 1.5 ft wide

Grasses

ID	Quantity	Latin Name	Common Name	Size (each unit)
4A	(see size column)	Poa Pratensis	Kentucky Bluegrass	Approximately 3,034 square feet of new grass





HOME SWEET HOME
Building Homes. Creating Dreams.

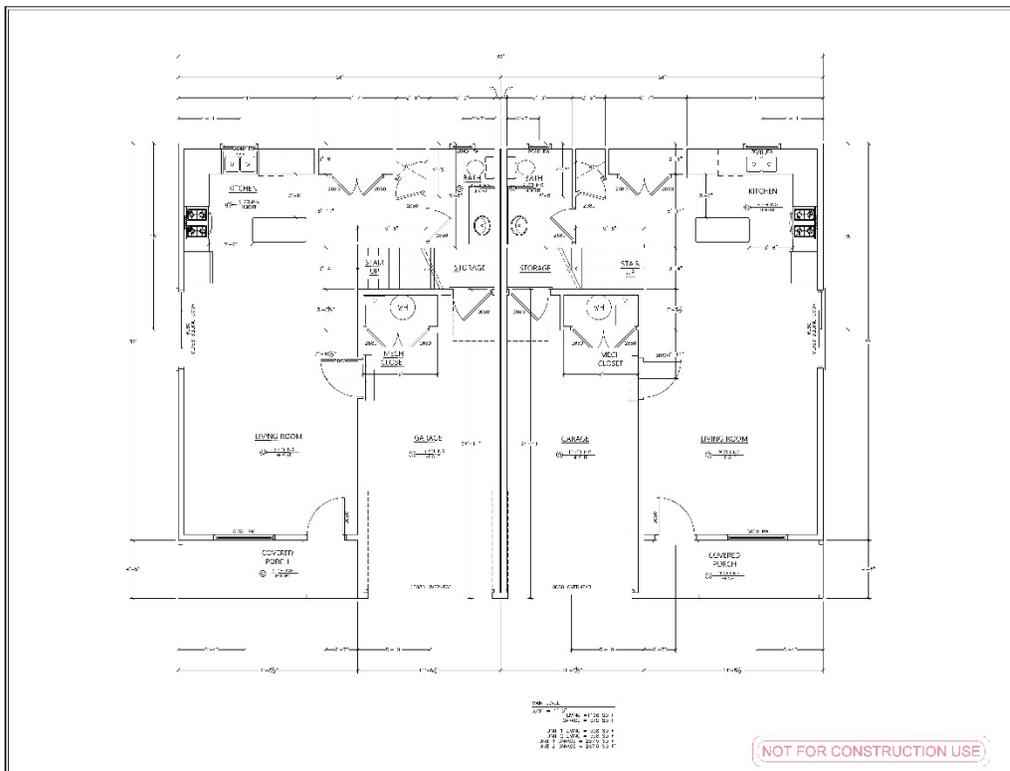
PROJECT INFORMATION

VOORHEES RESIDENCE
114 NORTH 200 WEST

ELISA OWEN

SPANISH TROPIC UTAH

DATE	REVISION	BY
01/18/22		
01/18/22		
01/18/22		



HOME SWEET HOME
Building Homes. Creating Dreams.

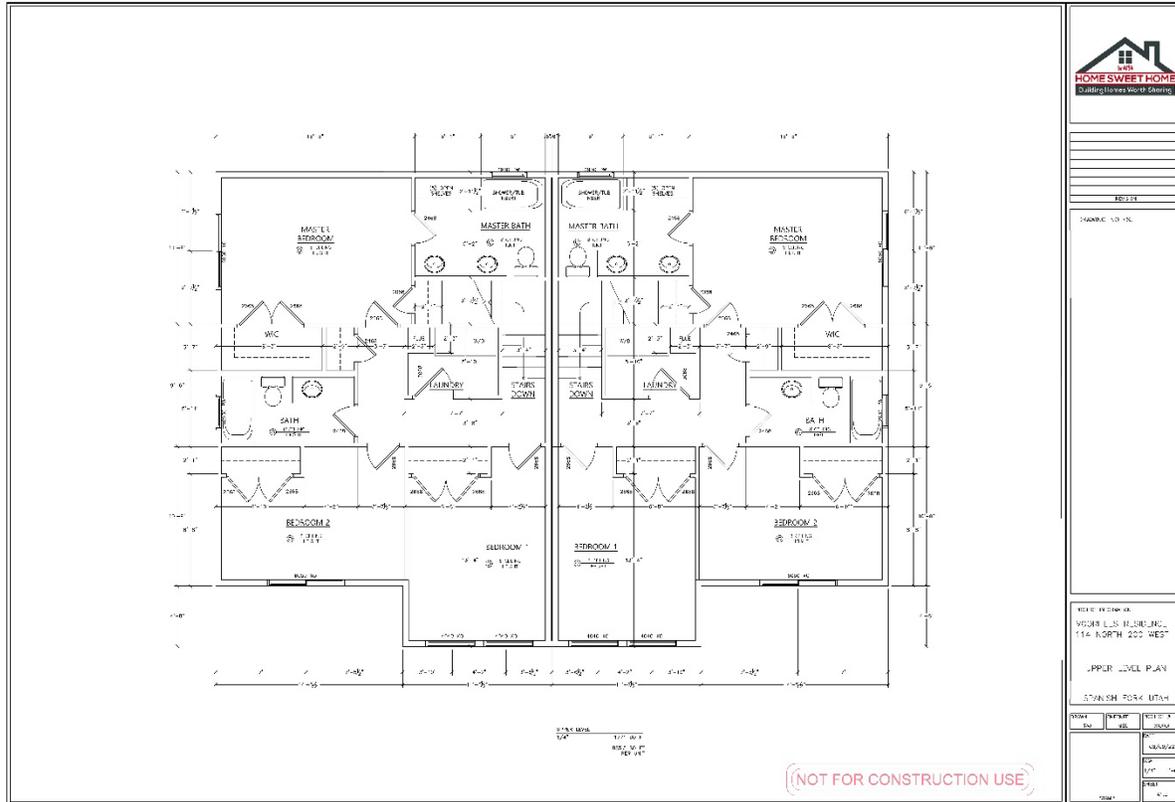
PROJECT INFORMATION

VOORHEES RESIDENCE
114 NORTH 200 WEST

1st FLOOR PLAN

SPANISH TROPIC UTAH

DATE	REVISION	BY
01/18/22		
01/18/22		
01/18/22		



TO: Planning Commission

FROM: Staff

DATE: December 7, 2022

RE: Proposed Title 15 Commercial Downtown Amendment

It is proposed that Title 15 be amended to allow Event Centers as a Permitted Use within the Downtown Commercial (C-D) Zone. Staff acknowledges that parking may be a concern for some other businesses downtown. However, staff believes this use could help address one of downtown's biggest problems by bringing people downtown in the evening. Often times, evening activity makes other businesses more viable and business districts more successful. For primarily that reason, staff believes this change is appropriate for the area, and is supportive of the proposed amendment.

Section 15.1.04.020 of the Municipal Code defines event centers as the following:

"Event Center": A place with indoor or outdoor facilities that provides for gatherings of individuals assembled for purposes such as a weddings, receptions, meetings or parties.

This change has been requested by Nik and Kyrstin Anderson of the Group 114 LLC. They hope to open an event center at 160 N Main Street. Their request will be included as an attachment to this memo.

Below is the proposed text amendment for the Commercial Downtown zone:

15.3.16.060 C-D Downtown Commercial

This district is intended to promote and maintain the character of a pedestrian oriented retail district along Main Street. Building orientation should strongly encourage pedestrian use by having buildings close to the street with frequent entrances to buildings, and significant amounts of glass. Drive-thru uses should be strongly discouraged.

A. Permitted Uses: The following uses are permitted if operated from a permanent, enclosed building, with no outside storage. The outside display of merchandise for sale is allowed between the hours of 7:00 a.m. 9:00 p.m. if the merchandise remains off from the public right-of-way. Merchandise is allowed on the public right-of-way during sidewalk sales, which are allowed every weekend:

1. Art Galleries and Studios.
2. Entertainment Uses.
3. Financial Institutions with no drive-thru service.
4. Hotels, with all guest rooms above the first floor.
5. Instructional Studios.
6. Municipal Facilities required for local service.
7. Office Supply, Copying, Printing businesses.
8. Offices.
9. Personal Service businesses.
10. Residential uses when located above the first floor.
11. Restaurants.
12. Retail uses.

B. Uses Subject to Conditions:

- 1. Event Centers when at least one (1) off-street parking space is provided for every 300 square feet of floor space.**

C. Uses Subject to Conditional Use Permit (see §15.3.08.060):

- a. Drive-thru facilities as part of a financial institution.
- b. Lube Centers.
- c. Parking structures.
- d. Tire Centers.
- e. Wireless Communication Facilities on existing structures, with the intent to make them "stealth" facilities, which are not noticeable to a degree greater than the structure to which it is attached; or new stealth facilities which are camouflaged into its surroundings.

attachment: Nik and Krystin Anderson request

We would like to open an event center at 160 N Main Street, Spanish Fork UT. The purpose of this application is to request a text amendment to the downtown commercial zone (C-D) which would add "Event Center" (as defined in section 15.1.04.020 of the Spanish Fork Municipal code) as a permitted or conditional use in that zone.

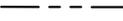
Your consideration of this matter is greatly appreciated.

Sincerely,

Nik and Kyrstin Anderson
Group 114 LLC, (DBA "Amavi Event Venue LLC")
8018303022
kyrstin@group114.com

PROJECT ENGINEER:
 LARVIN POLLOCK
 ELEVATE ENGINEERING
 2208 WEST 700 SOUTH
 SPRINGVILLE, UT 84663
 (801) 718-5993
 LARVIN@ELEVATEENG.COM

LEGEND

- LOT LINES (PROPERTY) 
- PROPOSED CURB AND GUTTER 
- STRIPING 
- BUILDING SETBACK 
- LANDSCAPE SETBACK 
- LANDSCAPE AREA 
- CONCRETE AREA 
- CANOPY 

SITE DATA

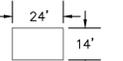
LOT AREA: 99,827 SF (2.29 ACRES)
 BUILDING AREA: 17,214 SF ± 17.2%
 PAVEMENT AREA: XX,XXX SF ± XX.X%
 LANDSCAPE AREA: XX,XXX SF ± XX.X%

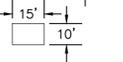
CURRENT ZONING: C-1 (NEIGHBORHOOD COMMERCIAL)
NOT PERMITTED
 PROPOSED ZONING: I-1 (LIGHT INDUSTRIAL)
CONDITIONAL USE
 PARCEL ID#: 27:037:0075, 27:037:0073

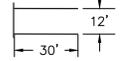
BUILDING DATA

CONSTRUCTION TYPE: V-B
 SPRINKLERS: NO
 SETBACKS:
 FRONT=25 FEET
 REAR=25 FEET
 SIDE=0 FEET

STORAGE UNIT DATA:

24'X14' STORAGE UNIT (53 UNITS) 

15'X10' STORAGE UNIT (12 UNITS) 

12'X30' OUTDOOR STALLS (9 STALLS) 

TOTAL NUMBER OF UNITS: 76

NO.	REVISIONS	BY	DATE

ELEVATE ENGINEERING
 2208 WEST 700 SOUTH
 SPRINGVILLE, UT 84663
 PHONE: (801) 718-5993
 larvin@elevateeng.com



HWY 6 STORAGE UNITS
 SITE PLAN
 SR 198 & HWY 6, SPANISH FORK, UT 84660



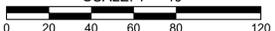
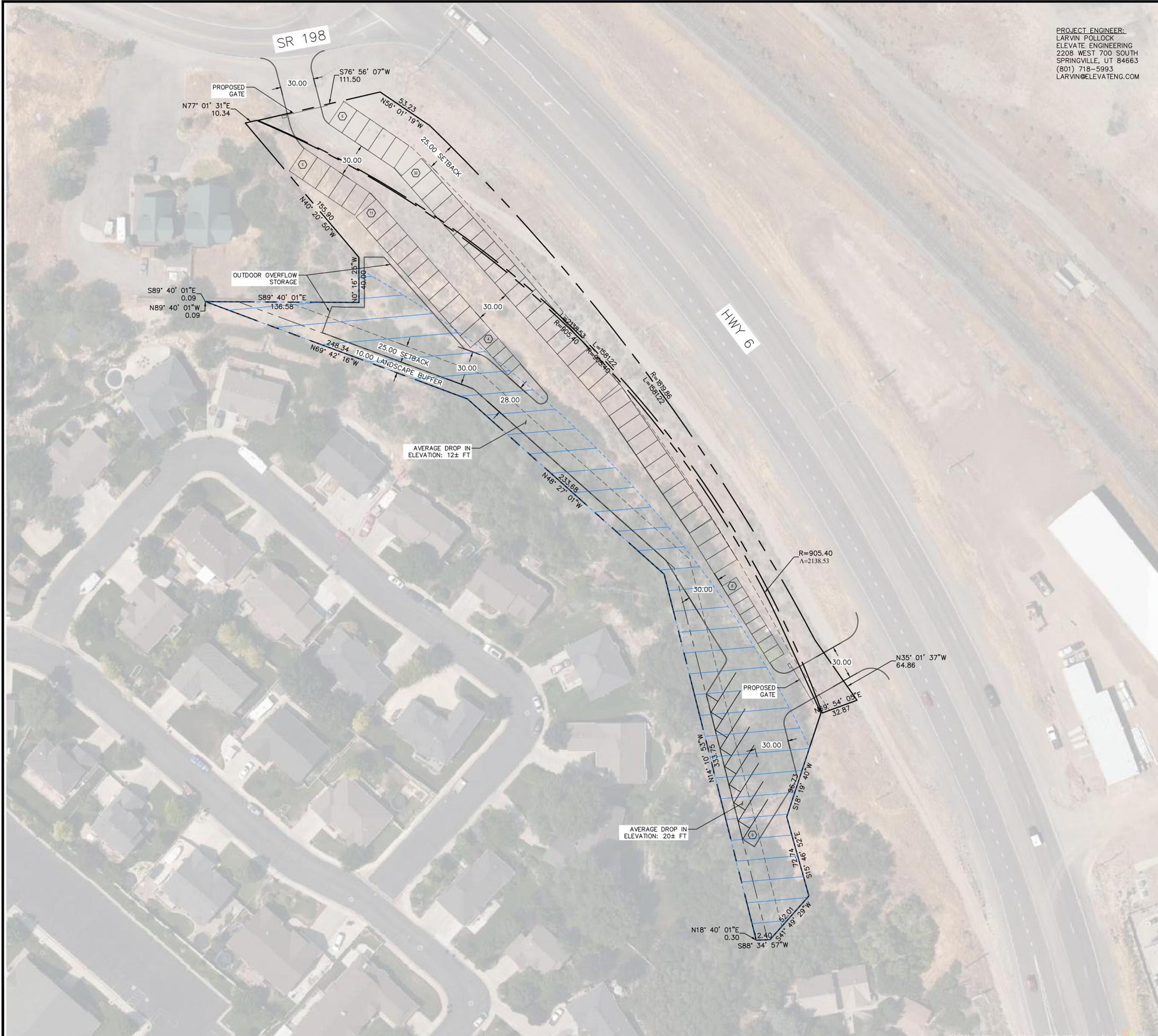
SHEET:
C-1
 DATE:
 Oct 18, 2022

CALL BEFORE YOU DIG!
 800 882 8172



NORTH

SCALE: 1" = 40'



Memo

To: City Council
From: Chris Thompson P.E., Public Works Director/City Engineer
Date: December 13, 2022
Re: Transportation Master Plan

Staff Report

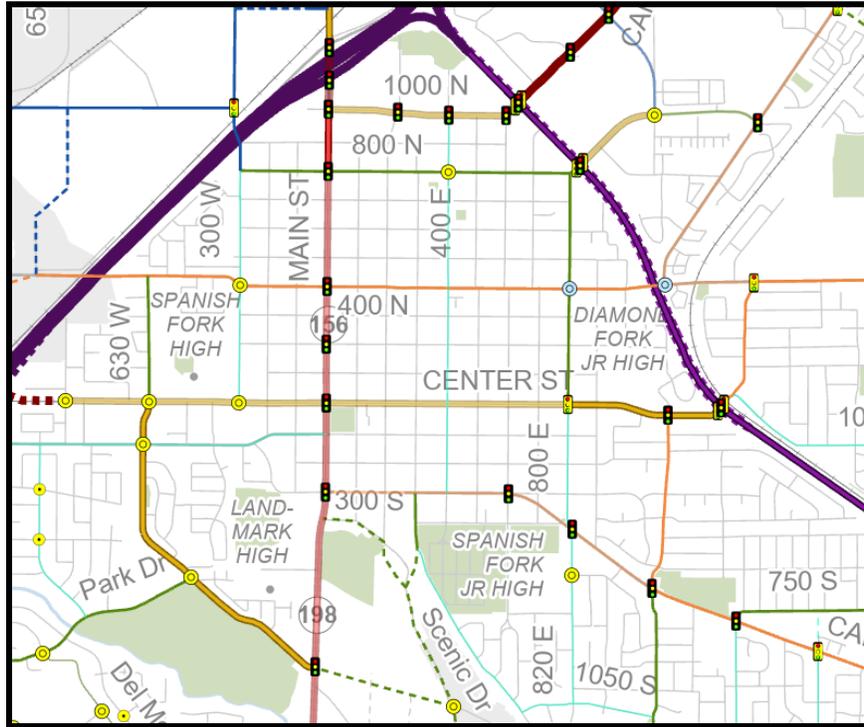
Proposed Effective Date: January 1, 2023

Proposed Changes

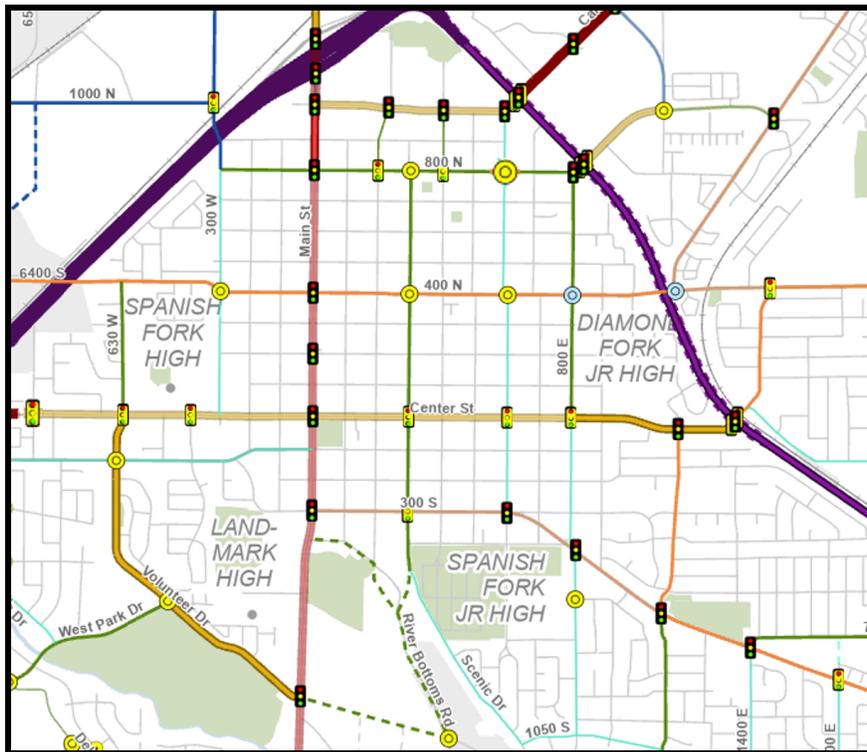
- Changes to Master Plan for Main St relief:
 - **Center St:** Change roundabout to signal at 920 W and 630 W. Add traffic signal at 400 and remove the roundabout at 300 W.
 - **300 E:** Add traffic signals on 300 S and Center St. Add roundabouts at 400 N and 800 N.
 - **800 N:** Add traffic signals at 200 E and 400 E.
 - **600 E:** Add a traffic signal at Center St and roundabouts at 400 N and 800 N.
- Remove trail on west side of Main St between 3200 N and 3450 N
- Move Dry Creek Parkway (currently 2700 N) trail to north side of road
- Move Poplar Ln Connection Trail from Salem to west/south sides; delete extra
- In the Main St Industrial area, add a trail along 300 W on the west side of the road and 2050 N on the north?? side of the road.
- Re-route Loafer Mountain Pkwy as a major arterial further east and reclassify 1450 W as a commercial collector.
- Realign Chappel Dr to match city-owned right-of-way.

Attached: Figures showing existing plans and proposed changes.

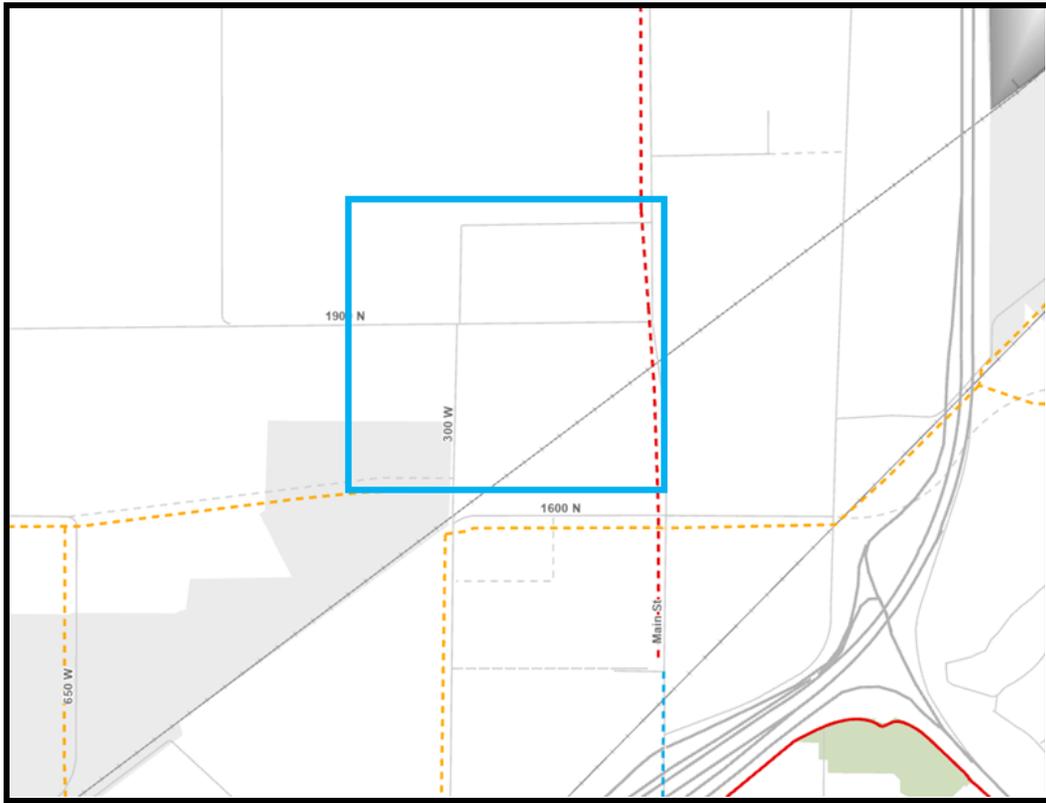
Existing Master Plan



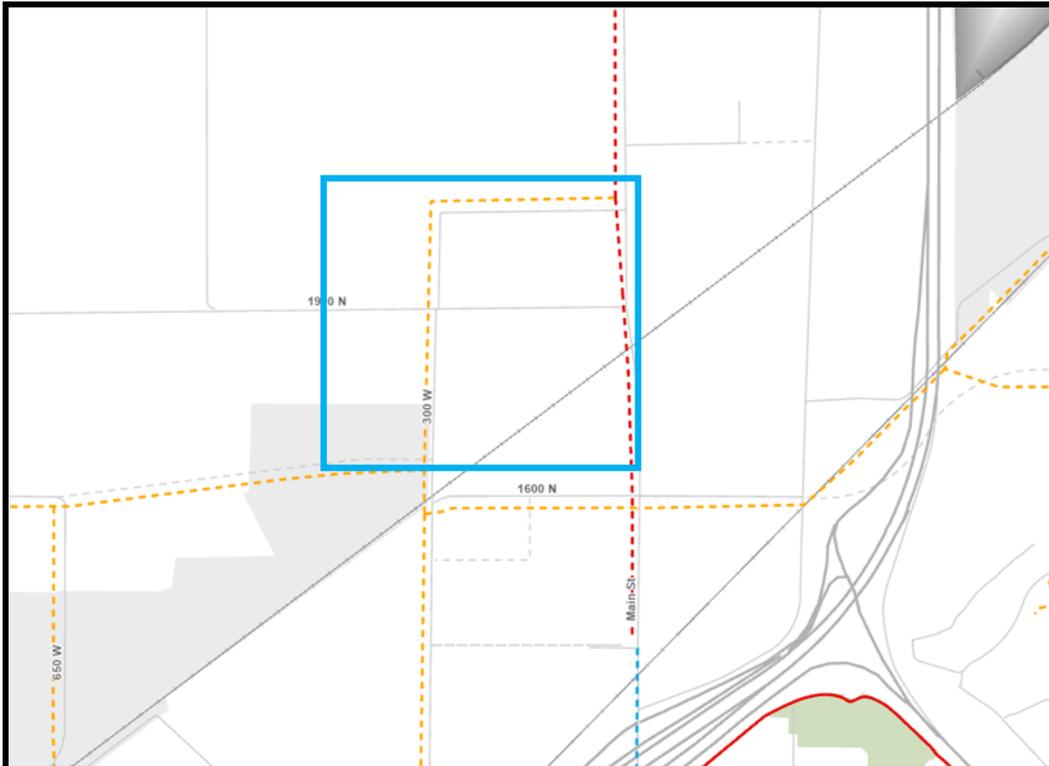
Updated Transportation Master Plan (with Main St Relief Projects)



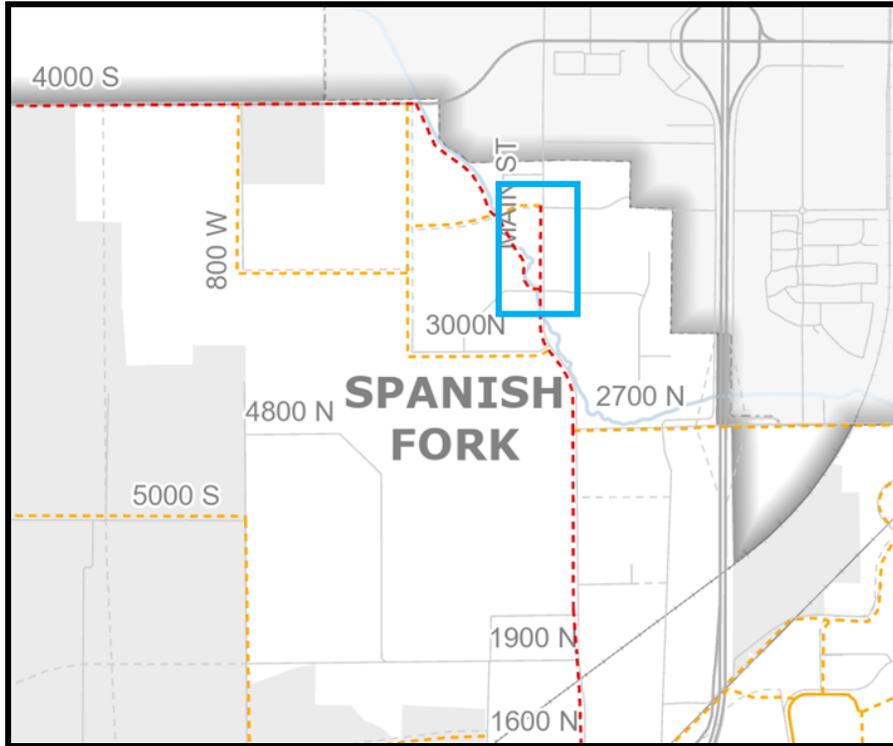
Main St Industrial Trail (**before**)



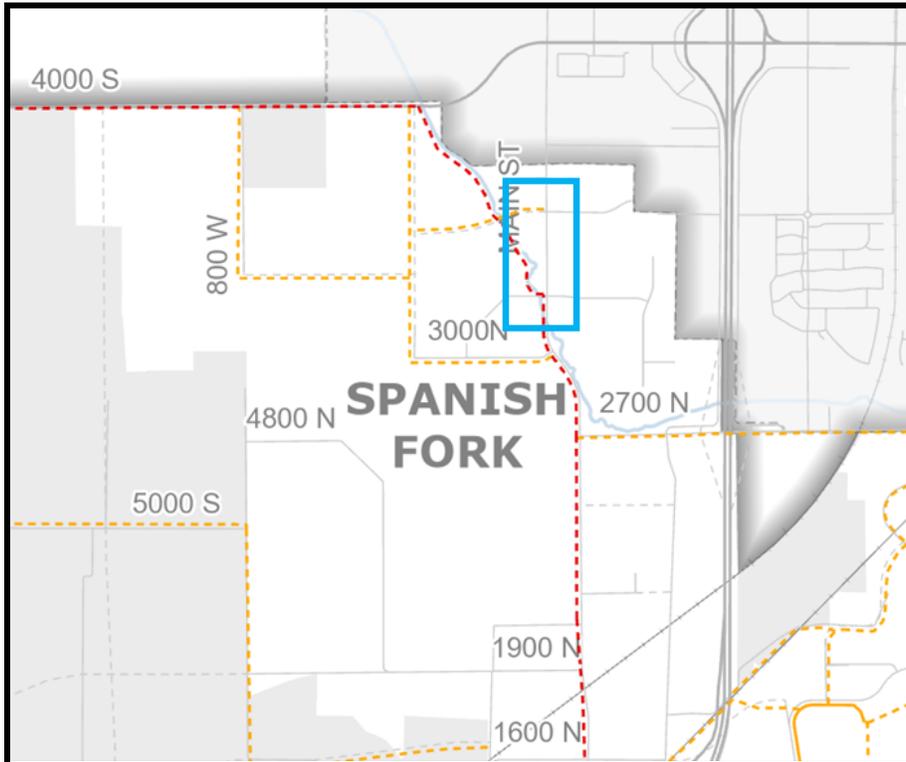
Main St Industrial Trail (**after**)



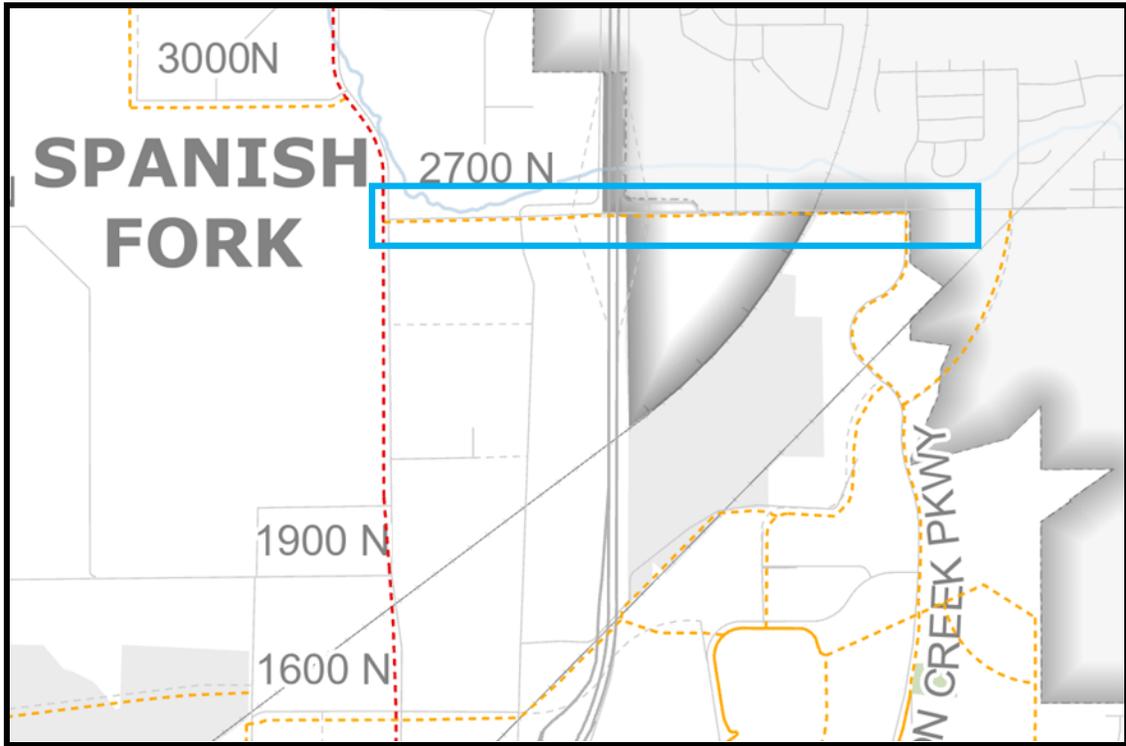
North Main St Trail (**Before**)



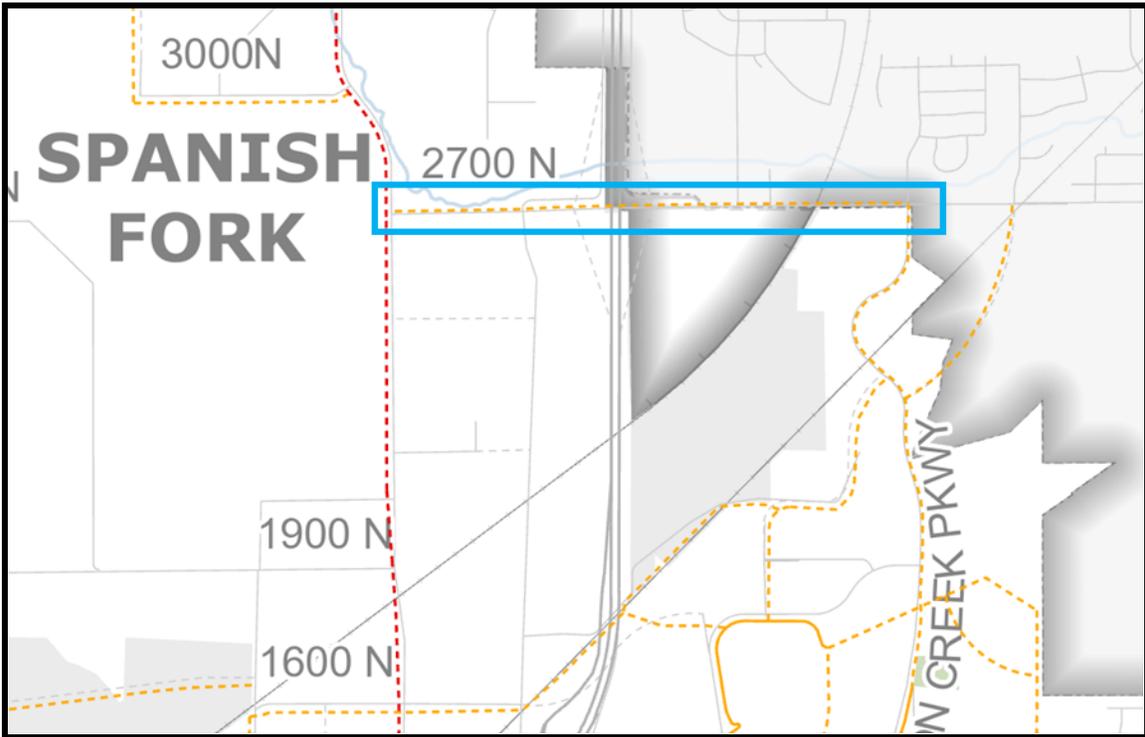
North Main St Trail (**After**)



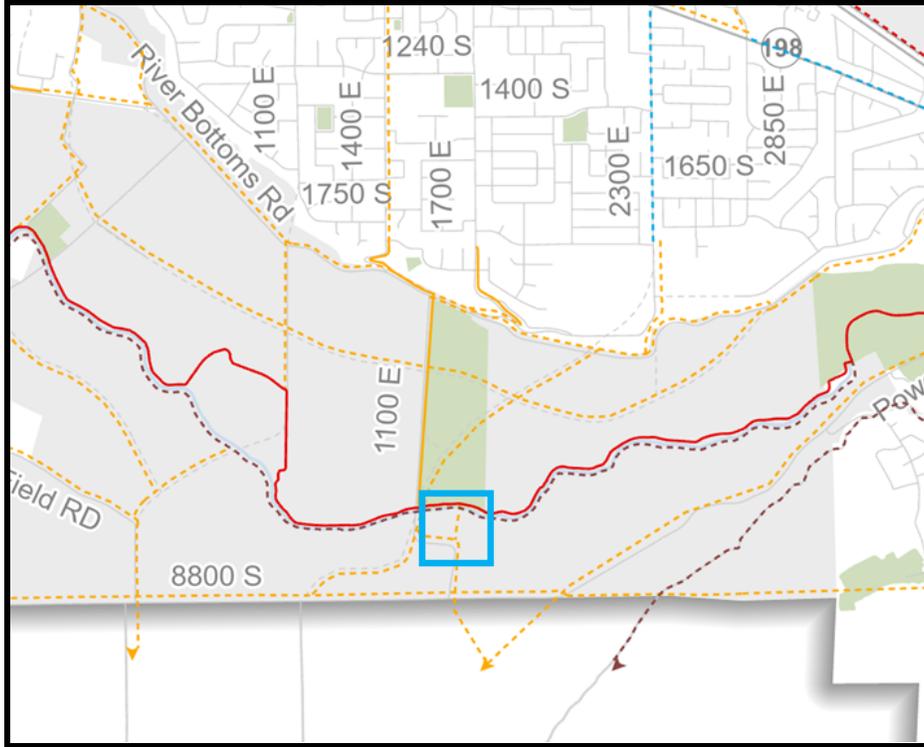
Dry Creek Pkwy trail (**Before**)



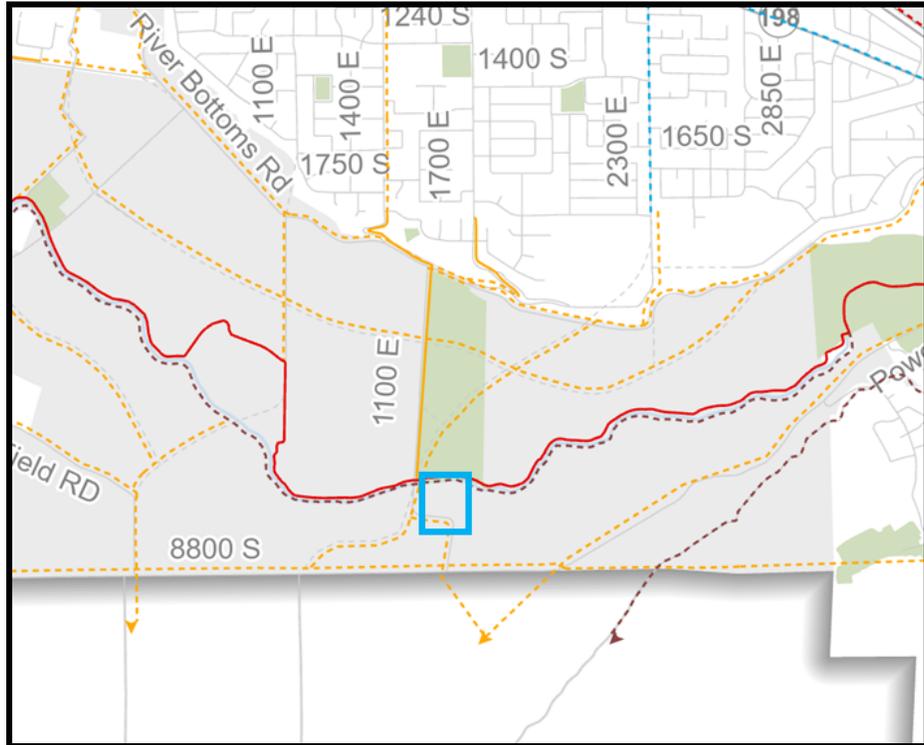
Dry Creek Pkwy trail (**After**)



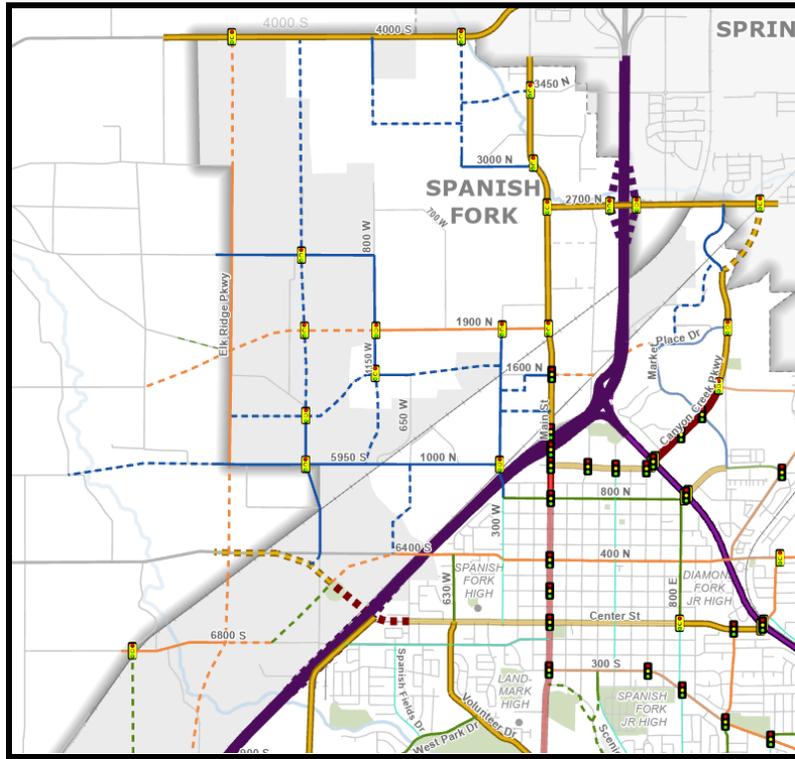
Poplar Ln Connection Trail from Salem (**Before**)



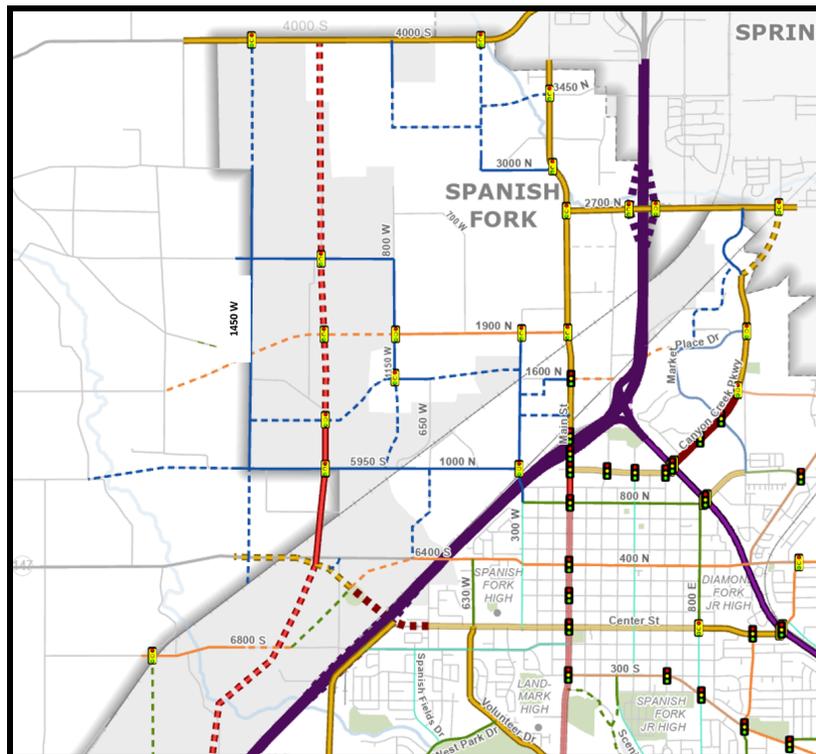
Poplar Ln Connection Trail from Salem (**After**)



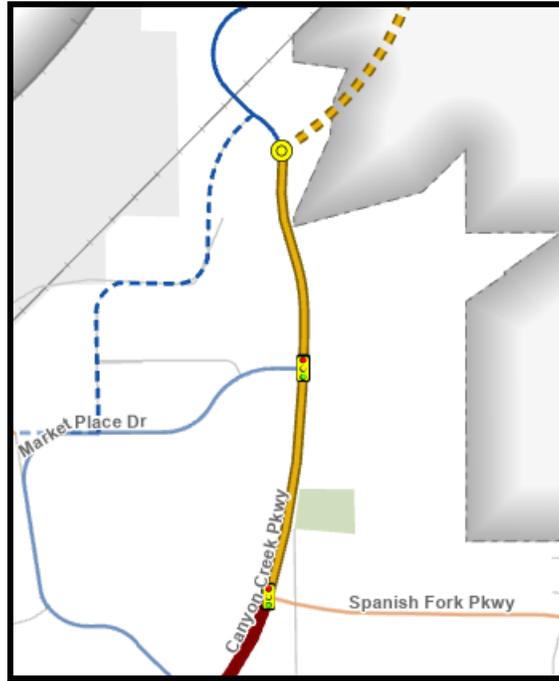
Loafer Pkwy Alignment (**Before**)



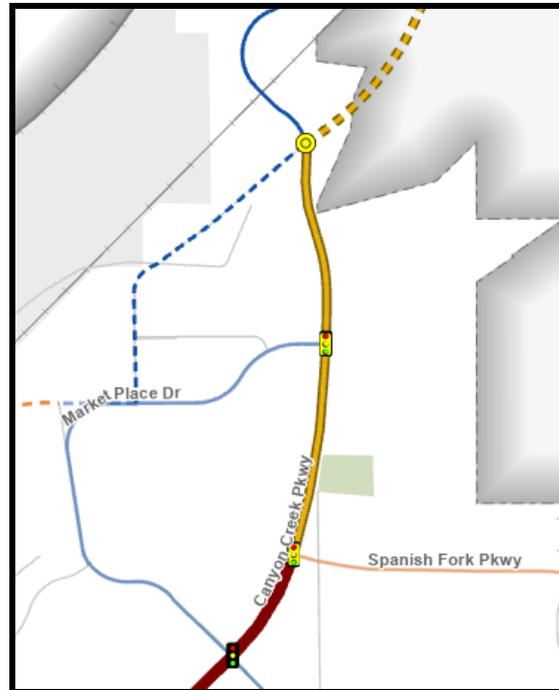
Loafer Pkwy Alignment (**After**) (DRC Approval:)



Chappel Dr Alignment (**Before**)



Chappel Dr Alignment (**After**)





DESIGN GROUP

3167 North Canyon Road
Provo, UT 84604
Phone: 801.358.9840
shane@w2designgroup.com



CANYON COURT

SPANISH FORK

Revision Date	Revision Number

PROJECT NO.	Project Number

DATE	
	00.00.00

DRAWN BY	Author

CHECKED BY	Checker

SHEET DESCRIPTION
ARCHITECTURAL SITE PLAN

SHEET NUMBER

AS-1.00

CANYON COURT COMMERCIAL

A COMMERCIAL SUBDIVISION
SPANISH FORK, UTAH
PRELIMINARY PLAN SET

-SHEET INDEX-

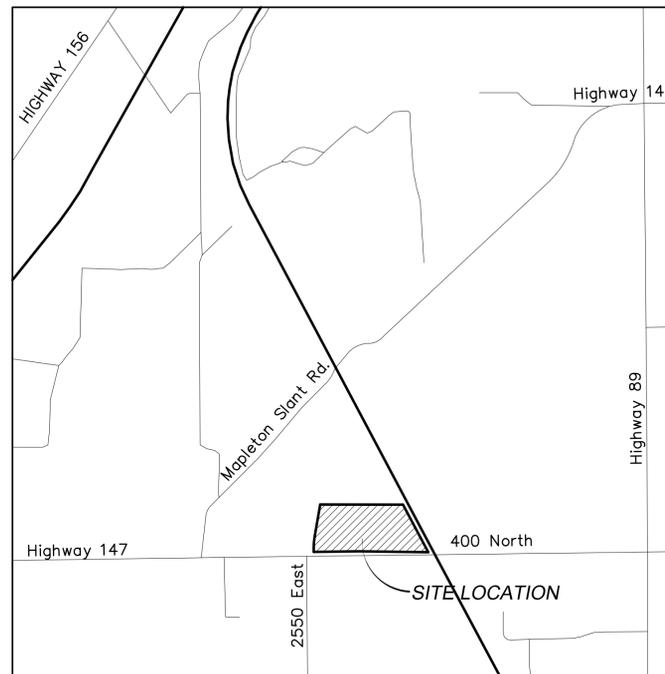
SHEET	SHEET NAME
1	COVER
2	OVERALL BOUNDARY
3	OVERALL SITE PLAN
4	EXISTING TOPOGRAPHY
5	DRAINAGE PLAN
6	ELECTRICAL PLAN
7	STRIPING PLAN
DT-01	DETAIL SHEET
ROS	RECORD OF SURVEY

GENERAL NOTES:

1. ALL CONSTRUCTION WILL CONFORM TO SPANISH FORK CITY STANDARDS.
2. ELECTRICAL SYSTEM TO BE INSTALLED AS PER SPANISH FORK CITY ELECTRICAL DESIGN AND STANDARDS. ANY ELECTRICAL DESIGNS AS PER ARCHITECT/DEVELOPER DRAWING SHALL BE SUPERSEDED BY CITY DESIGN.
3. ALL ELECTRICAL IMPROVEMENTS SHALL BE INSTALLED TO THE MOST CURRENT VERSION OF THE SPANISH FORK CITY CONSTRUCTION STANDARDS.
4. IF NEWER VERSION OF STANDARDS IS RELEASED DURING PROJECT THE PROJECT SHALL BE COMPLETED USING STANDARDS VERSION THAT WERE ISSUED AT PRE-CONSTRUCTION MEETING.
5. ANY EXISTING FACILITIES AFFECTED BY THE DEVELOPMENT WILL NEED TO BE BROUGHT TO CURRENT NEC, NESC, AND CITY STANDARDS AT DEVELOPERS EXPENSE INCLUDING BUT NOT LIMITED TO UPGRADING OF METER BASE, SERVICE CONDUITS, COMMUNICATIONS SERVICES, AND LANDSCAPING RESTORATION.

OWNER/DEVELOPER

CORY ANDERSEN
CORYWANDERSEN@GMAIL.COM
801-787-3073



VICINITY MAP

-NTS-



CANYON COURT COMMERCIAL



PHONE: 801-655-0566
FAX: 801-655-0109
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660



VICINITY MAP
-NTS-

LEGEND

	SECTION CORNER		LOT LINE
	FOUND ALUMINUM CAP		SECTION LINE
	SET 5/8" IRON PIN		EASEMENT
	CALCULATED POINT, NOT SET		EXISTING DEED LINE
	EXISTING POWER POLE		EDGE OF PAVEMENT
	PROPOSED STREET LIGHT		EXISTING OVER HEAD POWER
	PROPOSED FIRE HYDRANT		EXISTING FENCE LINE
	PROPOSED SIGN		EXISTING DITCH
	PROPOSED STREET SIGN		EXISTING SANITARY SEWER W/MANHOLE
	PROPERTY BOUNDARY		PROPOSED STORM DRAIN
	CENTERLINE		PROPOSED PVC SDR-35 SEWER W/MH
	RIGHT-OF-WAY LINE		PROPOSED CULINARY WATERLINE
			PROPOSED PRESSURIZED IRRIGATION

OWNER/DEVELOPER
CORY ANDERSEN
CORYWANDERSEN@GMAIL.COM
801-787-3073

DATA TABLE
TOTAL ACREAGE=14.88
TOTAL # OF LOTS=8
TOTAL # OF LOTS PER ACRE=0.54
ACREAGE IN LOTS=14.63
ACREAGE IN ROADS=0.25 ACRES
TOTAL ACREAGE OF OPEN SPACE/PONDS=0
% OF OPEN SPACE=0
ZONING=C-2

NOTES
1. VERTICAL DATA BASED ON NAVD 29.
2. COORDINATE SYSTEM = NAD83.
3. THE ROAD TRANSITION ON 400 NORTH BETWEEN THE RAILROAD AND THE EAST SIDE OF THE PROPERTY WILL BE ANALYZED FOR GRADING, STRIPING AND TRAFFIC SAFETY IN ORDER TO PROVIDE AN APPROPRIATE FINAL DESIGN.

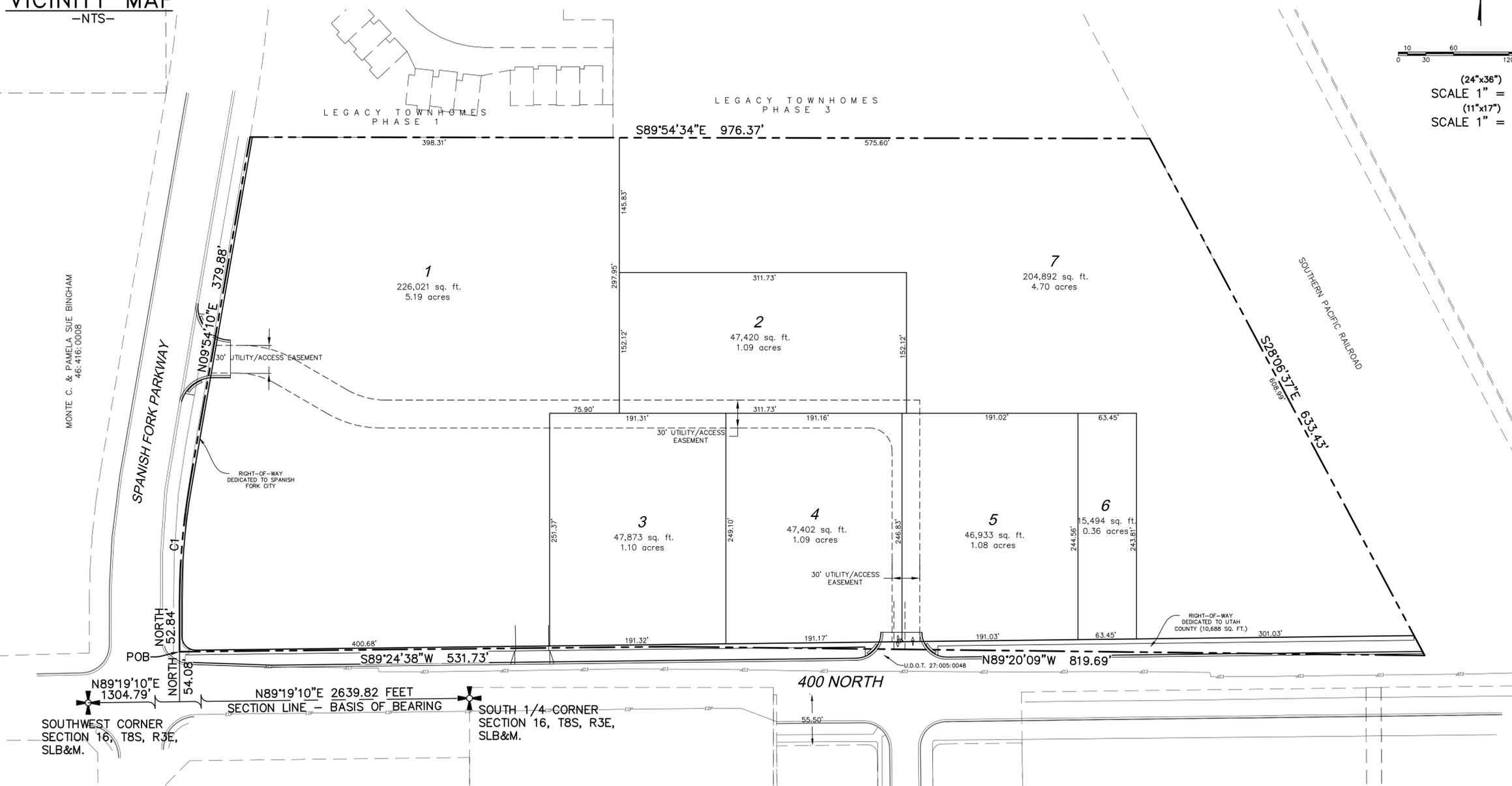
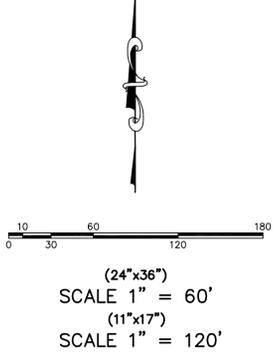
SURVEYOR CERTIFICATE
I, DAVID F. HUNT, A LICENSED SURVEYOR HOLDING CERTIFICATE NO 5243543, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED FROM A FIELD SURVEY MADE UNDER MY DIRECTION AND CORRECTLY SHOWS THE DIMENSIONS AND MONUMENTS OF THE ABOVE DESCRIBED PARCEL OF LAND TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVID F. HUNT _____ DATE _____

BOUNDARY DESCRIPTION:
BEGINNING AT A POINT LIES N89°19'10"E 1304.79 FEET AND NORTH 54.08 FEET FROM THE SOUTHWEST CORNER OF SECTION 16, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SLB&M; AND RUNNING THENCE ALONG THE EAST RIGHT-OF-WAY OF SPANISH FORK PARKWAY THE FOLLOWING THREE COURSES TO WIT: (1) NORTH 52.84 FEET; (2) NORTHEASTERLY 129.80 FEET ALONG THE ARC OF A 751.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE 9°54'10"; THE CHORD BEARS N04°57'05"E 129.64 FEET; (3) N09°54'10"E 379.88 FEET TO THE SOUTH BOUNDARY OF LEGACY TOWNHOMES SUBDIVISION; THENCE ALONG SAID SUBDIVISION BOUNDARY S89°54'34"E 976.37 FEET; THENCE S28°06'37"E 633.43 FEET; THENCE N89°20'09"W 819.69 FEET; THENCE S89°24'38"W 531.73 FEET TO THE POINT OF BEGINNING. CONTAININ 14.88 ACRES.

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD DIST.	CHORD BRG.	DELTA
C1	751.00	129.80	129.64	N 04°57'05" E	9°54'10"



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PRELIMINARY PLAT OVERALL BOUNDARY

SPANISH FORK, UTAH

CANYON COURT COMMERCIAL

PHONE: 801-655-0566
FAX: 801-655-0109
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

ATLAS ENGINEERING L.L.C.

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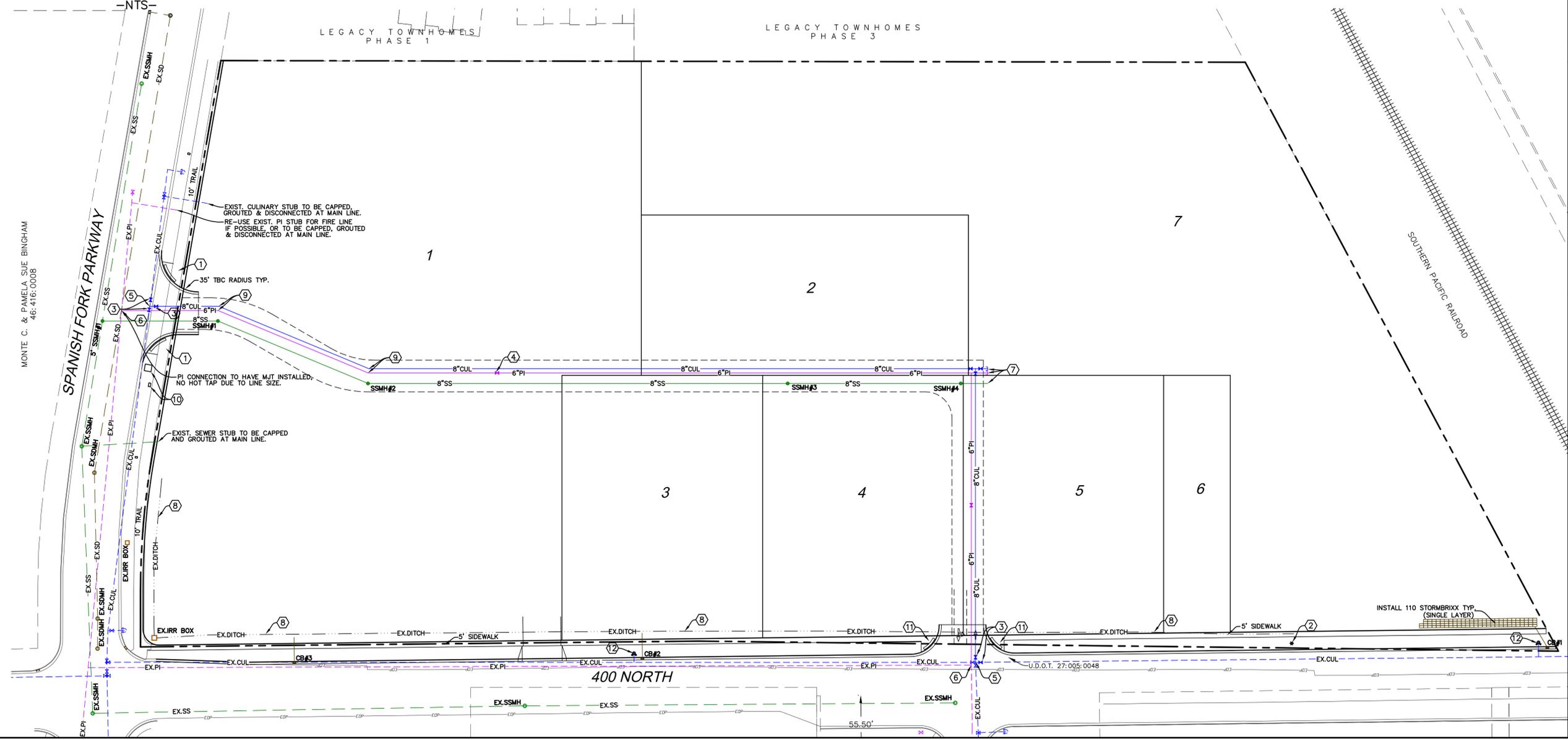
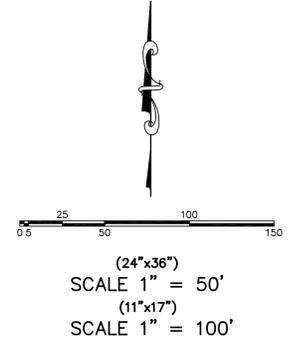
VICINITY MAP

LEGEND

	SECTION CORNER		LOT LINE
	FOUND ALUMINUM CAP		SECTION LINE
	SET 5/8" IRON PIN		EASEMENT
	CALCULATED POINT, NOT SET		EXISTING DEED LINE
	EXISTING POWER POLE		EDGE OF PAVEMENT
	PROPOSED STREET LIGHT		EXISTING OVER HEAD POWER
	PROPOSED FIRE HYDRANT		EXISTING FENCE LINE
	PROPOSED SIGN		EXISTING DITCH
	PROPOSED STREET SIGN		EXISTING SANITARY SEWER W/MANHOLE
	PROPERTY BOUNDARY		PROPOSED STORM DRAIN
	CENTERLINE		PROPOSED PVC SDR-35 SEWER W/MH
	RIGHT-OF-WAY LINE		PROPOSED CULINARY WATERLINE
			PROPOSED PRESSURIZED IRRIGATION

NOTES:
 1. ALL LOTS TO HAVE A SEWER LATERAL, CULINARY WATER LATERAL, & PRESSURIZED IRRIGATION LATERAL TO BE INSTALLED WITH INDIVIDUAL SITE PLANS.
 2. ALL DRIVEWAY ACCESS LOCATIONS FOR CORNER LOTS SHALL MEET SPANISH FORK CITY STANDARDS AND COMPLY WITH THE SPANISH FORK CITY TRANSPORTATION PLAN.
 3. ALL FIRE HYDRANT LOCATIONS TO BE APPROVED BY THE SPANISH FORK CITY FIRE MARSHALL AT FINAL DESIGN.

- CONSTRUCTION NOTES:**
- ① INSTALL ADA RAMP PER SPANISH FORK CITY STANDARDS.
 - ② INSTALL STREET LIGHT PER SPANISH FORK CITY STANDARDS.
 - ③ INSTALL 8" CULINARY WATER VALVE PER SPANISH FORK CITY STANDARDS.
 - ④ INSTALL 6" PI WATER VALVE PER SPANISH FORK CITY STANDARDS.
 - ⑤ LOCATE AND TIE TO EXISTING CULINARY WATER LINE.
 - ⑥ LOCATE AND TIE TO EXISTING PRESSURIZED IRRIGATION.
 - ⑦ CAP/PLUG AND MARK TO SURFACE.
 - ⑧ EXISTING DITCH TO BE REMOVED.
 - ⑨ INSTALL 22.5° BEND.
 - ⑩ EXISTING ELECTRICAL BOXES TO BE RELOCATED.
 - ⑪ INSTALL ADA RAMP PER UDOT STANDARDS.
 - ⑫ INSTALL FIRE HYDRANT PER SPANISH FORK CITY STANDARDS.



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OVERALL SITE PLAN
 SPANISH FORK, UTAH

CANYON COURT COMMERCIAL

ATLAS ENGINEERING L.L.C.

PHONE: 801-655-0566
 FAX: 801-655-0109
 946 E. 800 N. SUITE A
 SPANISH FORK, UT 84660

U.D.O.T. 27:005;0048

INSTALL 110 STORMBRIXX TYP. (SINGLE LAYER)

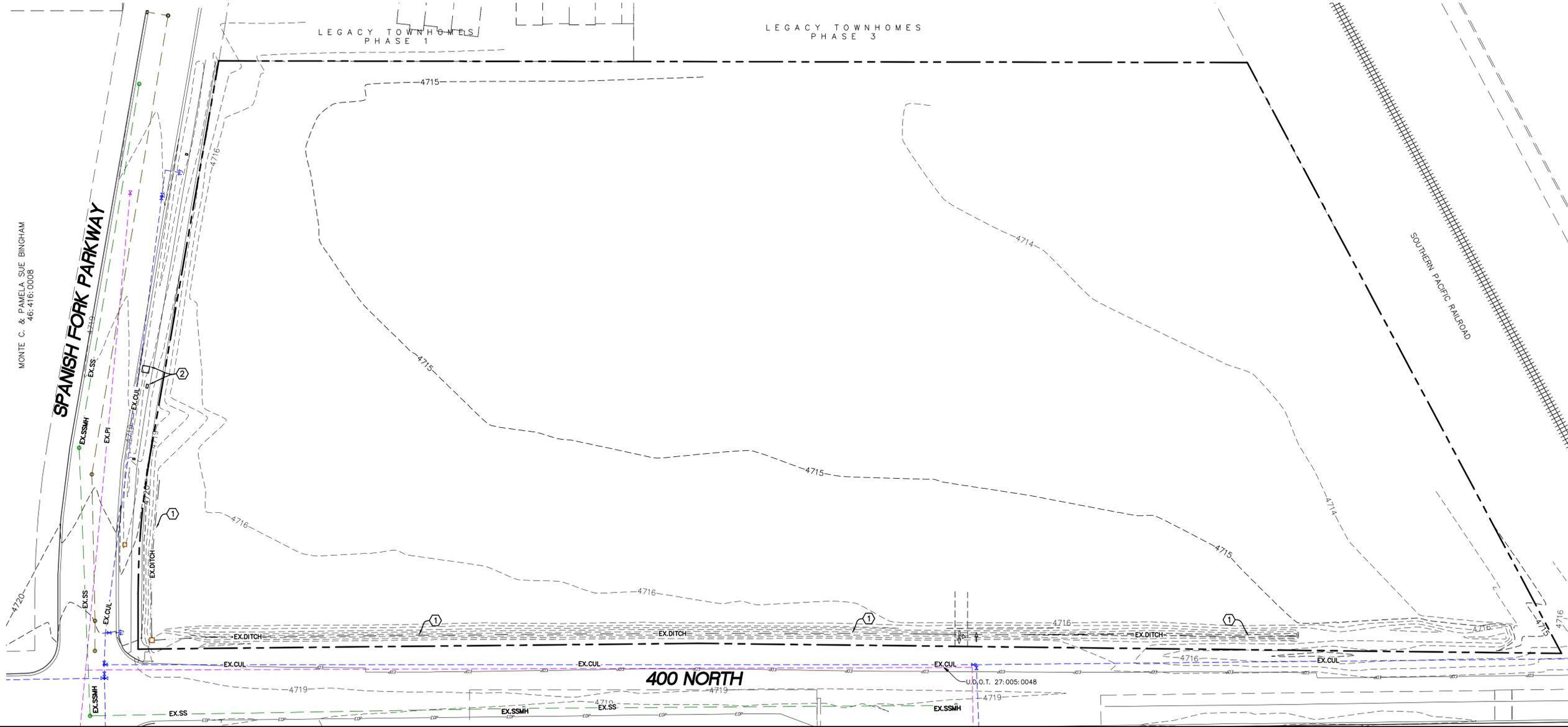
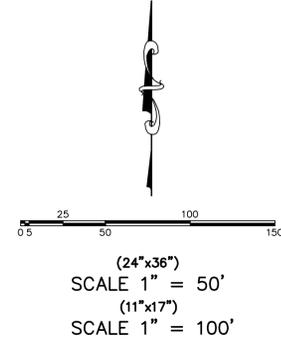
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VICINITY MAP
-NTS-

LEGEND

	SECTION CORNER		LOT LINE
	FOUND ALUMINUM CAP		SECTION LINE
	SET 5/8" IRON PIN		EASEMENT
	CALCULATED POINT, NOT SET		EXISTING DEED LINE
	EXISTING POWER POLE		EDGE OF PAVEMENT
	PROPOSED STREET LIGHT		EXISTING OVER HEAD POWER
	PROPOSED FIRE HYDRANT		EXISTING FENCE LINE
	PROPOSED SIGN		EXISTING DITCH
	PROPOSED STREET SIGN		EXISTING SANITARY SEWER W/MANHOLE
	PROPERTY BOUNDARY		PROPOSED STORM DRAIN
	CENTERLINE		PROPOSED PVC SDR-35 SEWER W/MH
	RIGHT-OF-WAY LINE		PROPOSED CULINARY WATERLINE
			PROPOSED PRESSURIZED IRRIGATION



MONTE C. & PAMELA SUE BINGHAM
46-416-0006

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EXISTING TOPOGRAPHY
SPANISH FORK, UTAH

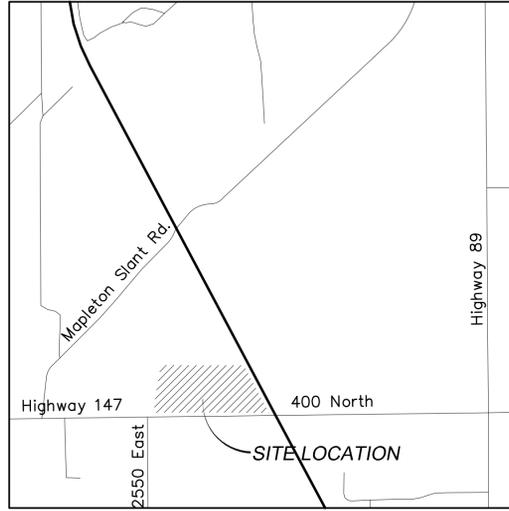
CANYON COURT COMMERCIAL

ATLAS ENGINEERING L.L.C.

PHONE: 801-655-0566
FAX: 801-655-0109
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

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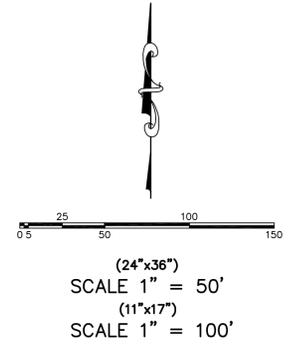
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VICINITY MAP

LEGEND

	SECTION CORNER		LOT LINE
	FOUND ALUMINUM CAP		SECTION LINE
	SET 5/8" IRON PIN		EASEMENT
	CALCULATED POINT, NOT SET		EXISTING DEED LINE
	EXISTING POWER POLE		EDGE OF PAVEMENT
	PROPOSED STREET LIGHT		EXISTING OVER HEAD POWER
	PROPOSED FIRE HYDRANT		EXISTING FENCE LINE
	PROPOSED SIGN		EXISTING DITCH
	PROPOSED STREET SIGN		EXISTING SANITARY SEWER W/MANHOLE
	PROPERTY BOUNDARY		PROPOSED STORM DRAIN
	CENTERLINE		PROPOSED PVC SDR-35 SEWER W/MH
	RIGHT-OF-WAY LINE		PROPOSED CULINARY WATERLINE
			PROPOSED PRESSURIZED IRRIGATION



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DRAINAGE PLAN
SPANISH FORK, UTAH

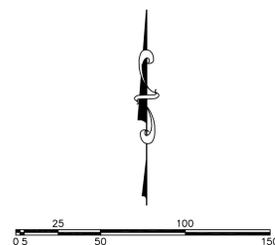
CANYON COURT COMMERCIAL

ATLAS ENGINEERING L.L.C.

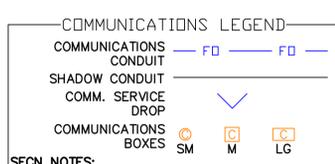
PHONE: 801-655-0566
FAX: 801-655-0109
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

PHONE: 801-655-0566
FAX: 801-655-0109
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

DATE: 11/18/2022

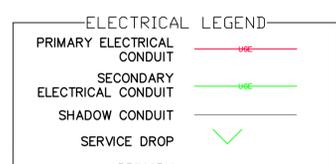


(24"x36")
 SCALE 1" = 50'
 (11"x17")
 SCALE 1" = 100'



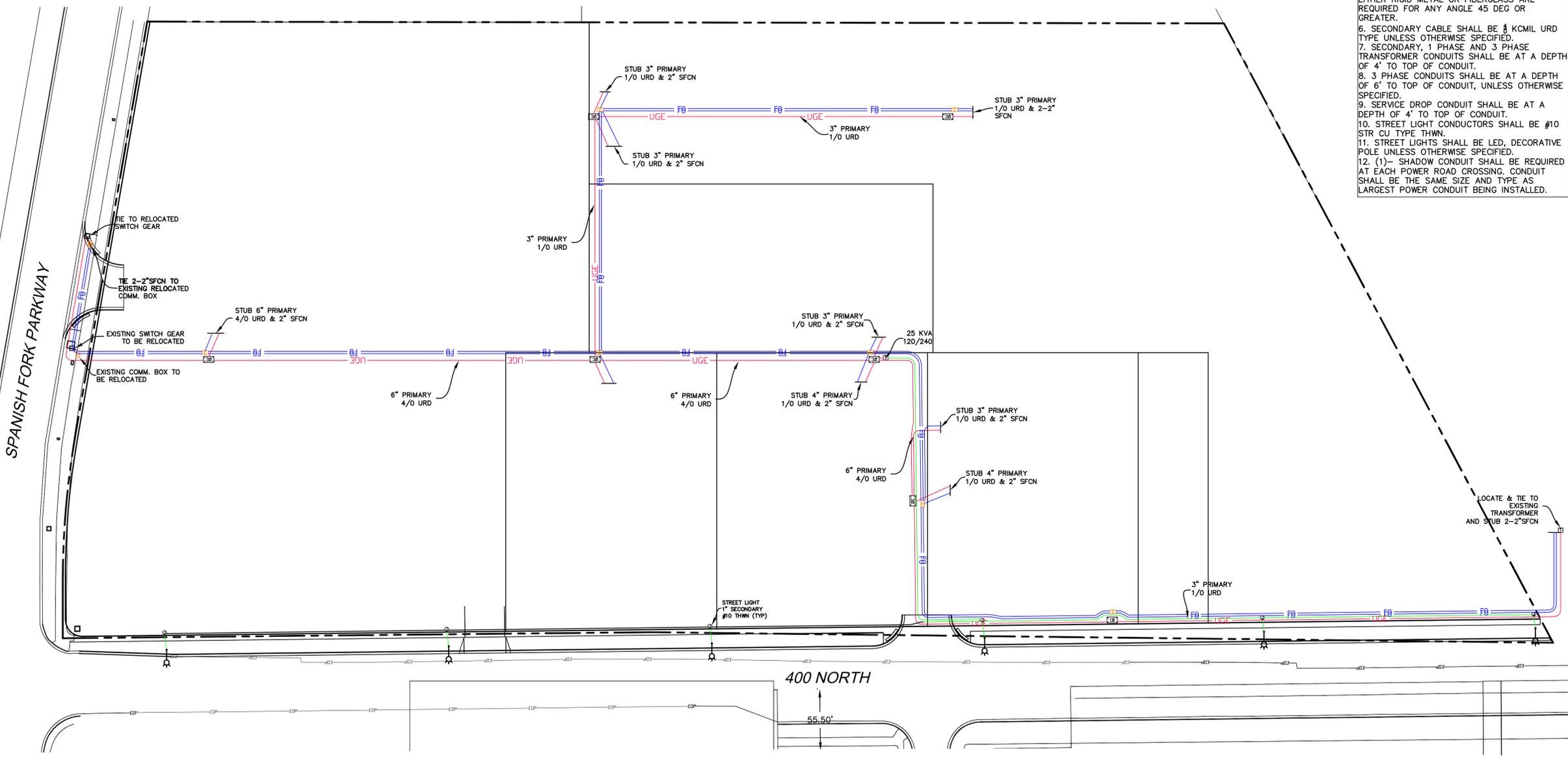
SFCN NOTES:

1. CONDUIT FOR SERVICE DROPS SHALL BE 1" SCHEDULE 40 RIGID NONMETALLIC CONDUIT (RNC).
2. CONDUIT FOR SECONDARY RUNS SHALL BE 2" (RNC).
3. CONDUIT FOR MAIN RUNS SHALL BE 2" (RNC).
4. CONDUIT FOR FIBER OPTICS SHALL BE 3" (RNC) UNLESS OTHERWISE SPECIFIED.
5. LONG-RADIUS ELBOWS CONSTRUCTED OF EITHER RIGID METAL OR FIBERGLASS ARE REQUIRED FOR ANY ANGLE 45 DEG OR GREATER.
6. COMMUNICATIONS CONDUITS SHALL RUN BEHIND (FARTHEST FROM PROPERTY LINE) ELECTRICAL CONDUITS AND STUB UP BEHIND ELECTRICAL BOXES UNLESS OTHERWISE SPECIFIED.
7. (1) - SHADOW CONDUIT SHALL BE REQUIRED AT EACH COMMUNICATION ROAD CROSSING. CONDUIT SHALL BE THE SAME SIZE AND TYPE AS LARGEST COMMUNICATION CONDUIT BEING INSTALLED.



ELECTRIC NOTES:

1. CONDUIT FOR STREET LIGHTS SHALL BE 1" SCHEDULE 40 RIGID NONMETALLIC CONDUIT (RNC).
2. CONDUIT FOR SERVICE DROPS SHALL BE 2" (RNC).
3. CONDUIT FOR 1 PHASE AND SECONDARY CABLE SHALL BE 3" SCHEDULE 40 RIGID NONMETALLIC CONDUIT (RNC).
4. CONDUIT FOR 3 PHASE SHALL BE 6" SCHEDULE 40 RIGID NONMETALLIC CONDUIT (RNC).
5. LONG-RADIUS ELBOWS CONSTRUCTED OF EITHER RIGID METAL OR FIBERGLASS ARE REQUIRED FOR ANY ANGLE 45 DEG OR GREATER.
6. SECONDARY CABLE SHALL BE # KCMIL URD TYPE UNLESS OTHERWISE SPECIFIED.
7. SECONDARY, 1 PHASE AND 3 PHASE TRANSFORMER CONDUITS SHALL BE AT A DEPTH OF 4' TO TOP OF CONDUIT.
8. 3 PHASE CONDUITS SHALL BE AT A DEPTH OF 6' TO TOP OF CONDUIT, UNLESS OTHERWISE SPECIFIED.
9. SERVICE DROP CONDUIT SHALL BE AT A DEPTH OF 4' TO TOP OF CONDUIT.
10. STREET LIGHT CONDUCTORS SHALL BE #10 STR CU TYPE THWN.
11. STREET LIGHTS SHALL BE LED, DECORATIVE POLE UNLESS OTHERWISE SPECIFIED.
12. (1) - SHADOW CONDUIT SHALL BE REQUIRED AT EACH POWER ROAD CROSSING. CONDUIT SHALL BE THE SAME SIZE AND TYPE AS LARGEST POWER CONDUIT BEING INSTALLED.



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ELECTRICAL PLAN

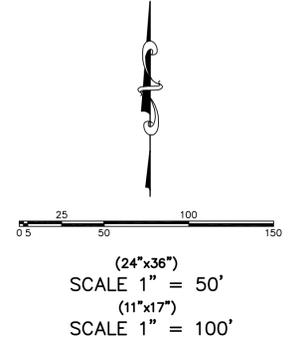
SPANISH FORK, UTAH

CANYON COURT COMMERCIAL

ATLAS ENGINEERING L.L.C.

PHONE: 801-655-0566
 FAX: 801-655-0109
 946 E. 800 N. SUITE A
 SPANISH FORK, UT 84660

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STRIPING PLAN
SPANISH FORK, UTAH

CANYON COURT COMMERCIAL

ATLAS ENGINEERING L.L.C.

PHONE: 801-655-0566
FAX: 801-655-0109
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

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NARRATIVE

1. THE PURPOSE OF THIS SURVEY IS SHOW THE RELATIONSHIP BETWEEN THE PHYSICAL POSSESSION AND THE EXISTING DEEDS. THE BOUNDARY OF THE REQUESTED PROPERTY SHOWN IS PROPOSED AND REQUIRES CORRECTIVE ACTION.
2. THE PROPERTY IS LOCATED IN THE SOUTHWEST QUARTER OF SECTION 16, T8S, R3E, SLB&M.
3. FOUND THE SOUTH QUARTER SECTION CORNER AND THE SOUTHWEST SECTION CORNER FOR SAID SECTION 16.
4. THE BASIS OF BEARING IS SOUTH 89° 19' 10" WEST BETWEEN THE SOUTH QUARTER CORNER AND THE SOUTHWEST SECTION CORNER OF SAID SECTION 16.
5. FOUND REBAR & CAP, AS SHOWN HEREON. SET PROPERTY MARKERS, AS SHOWN HEREON. IF CORNER FALLS IN CONCRETE OR FENCE CORNER NOTHING WAS SET.
6. DEED LINES SHOWN, IF GIVEN A BASIS OF BEARING, HAVE BEEN ROTATED TO THE BASIS OF BEARING SHOWN HEREON. IF NONE WAS GIVEN, NONE WAS ASSUMED.

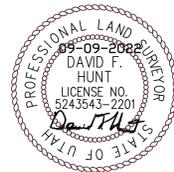
PROPOSED DESCRIPTION

BEGINNING AT A POINT LOCATED SOUTH 89° 19' 10" WEST 1304.79 FEET ALONG THE SECTION LINE AND NORTH 54.08 FEET FROM THE SOUTH QUARTER CORNER SECTION 16, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE EAST RIGHT-OF-WAY OF SPANISH FORK PARKWAY THE NEXT 3 CALLS, THENCE NORTH 52.84 FEET, THENCE ALONG A 751 FOOT RADIUS CURVE TO THE RIGHT 129.80 FEET, CORD BEARS NORTH 04° 57' 05" EAST 129.64 FEET, AND THENCE NORTH 09° 54' 10" EAST 379.88 FEET TO THE SOUTH BOUNDARY OF LEGACY TOWNHOMES SUBDIVISION ACCORDING TO THE OFFICIAL PLAT OF RECORD RECORDED AS MAP 16954 IN THE UTAH COUNTY RECORDER'S OFFICE; THENCE SOUTH 89° 54' 34" EAST 976.37 FEET ALONG SAID SUBDIVISION BOUNDARY AND THE SOUTH BOUNDARY OF LEGACY TOWNHOMES SUBDIVISION PHASE 3, ACCORDING TO THE OFFICIAL PLAT OF RECORD RECORDED AS MAP 18031 IN THE UTAH COUNTY RECORDER'S OFFICE; THENCE SOUTH 28° 06' 37" EAST 633.43 FEET; THENCE NORTH 89° 20' 09" WEST 819.69 FEET; THENCE SOUTH 89° 24' 38" WEST 531.73 FEET TO THE POINT OF BEGINNING.

AREA= 648,118.4027 SQ. FEET OR 14.8787 ACRES, MORE OR LESS.

CERTIFICATION

I, DAVID F. HUNT, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH; THAT THIS MAP CORRECTLY REPRESENTS AN BOUNDARY AND TOPOGRAPHIC SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF JANUARY, 2022; THAT THE SURVEY IS TRUE AND CORRECT AS SHOWN; THAT THE PROPERTY BOUNDARY SHOWN & DESCRIBED HEREON IS CORRECT AND CAN BE RETRACED.



SHEET NO.
1

RECORD OF SURVEY
SPANISH FORK, UTAH

ANDERSON PROPERTY
ATLAS
ENGINEERING
L.L.C.

PHONE: 801-655-0566
846 N. 800 N. SUITE A
SPANISH FORK, UT 84660

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UPDATED: 08-09-2022
REVISIONS



DESIGN GROUP

3167 North Canyon Road
Provo, UT 84604
Phone: 801.358.9840
shane@w2designgroup.com

**NOT FOR
CONSTRUCTION
10% REVIEW SET**



FRONT VIEW 3
SCALE:



BACK VIEW 2
SCALE:



SIDE VIEW 1
SCALE:

CANYON COURT 20-PLEX
CANYON CORNER
SPANISH FORK

NOT FOR CONSTRUCTION - 10% REVIEW SET

Revision Date | Revision Number

PROJECT NO. | Project Number

DATE | 00.00.00

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DESIGN GROUP

3167 North Canyon Road
Provo, UT 84604
Phone: 801.358.9840
shane@w2designgroup.com

CANYON COURT RETAIL BUILDING
Owner
SPANISH FORK, UTAH

Revision Number | Revision Date

PROJECT NO. | Project Number

DATE | 00.00.00

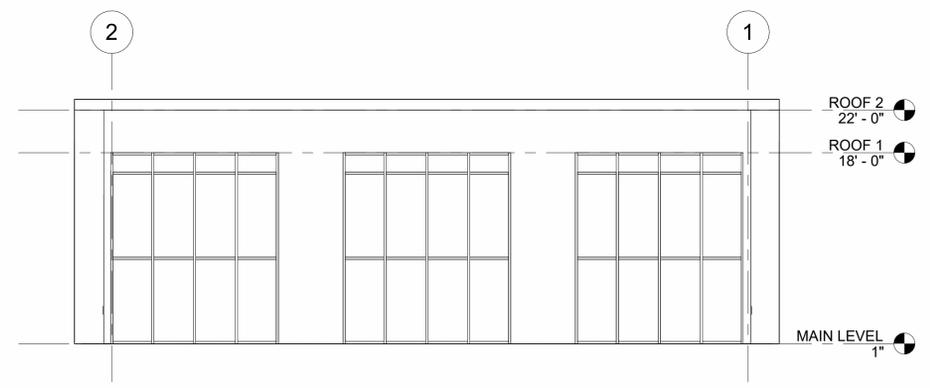
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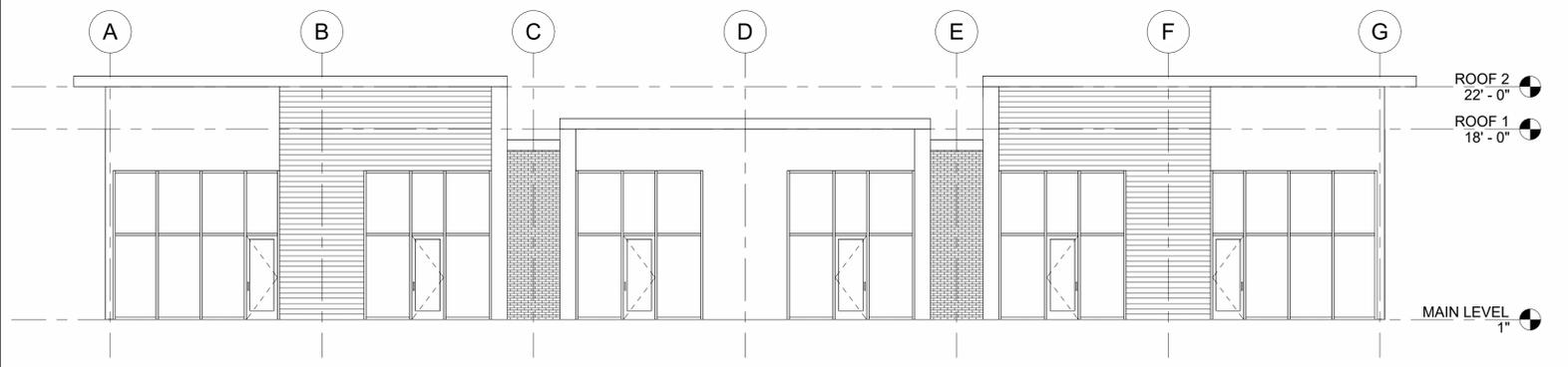
SHEET DESCRIPTION
FLOOR PLANS

SHEET NUMBER

A-102



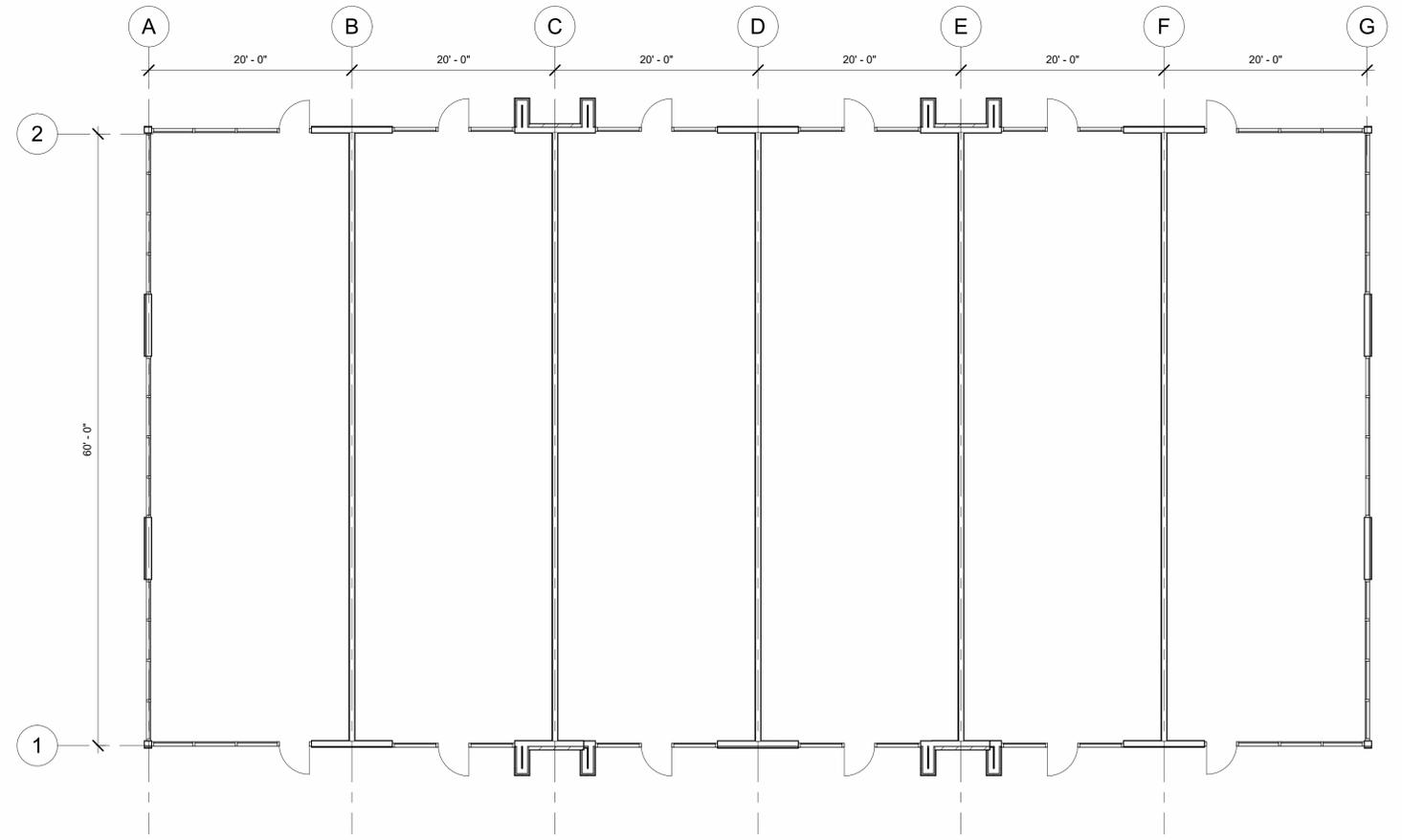
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East
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3D View 2
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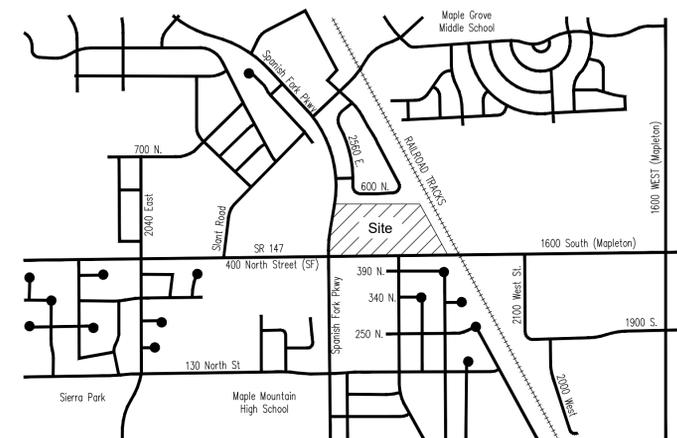


MAIN LEVEL
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Canyon Court Condominiums

2700 East 400 North
Spanish Fork, Utah



Vicinity Map

Symbol	Description
	Proposed 8" Sanitary Sewer Main
	Existing Sanitary Sewer Main (size noted on plan)
	Proposed Culinary Water Main (size noted on plan)
	Existing Culinary Water Main (size noted on plan)
	Existing Storm Drain pipe (size noted on plan)
	Proposed Storm Drain pipe (size noted on plan)
	Cable TV utility lines
	Existing Power lines
	New underground Power lines
	Outside Boundary line
	Existing surface improvements
	Existing Sidewalk
	Proposed Sidewalk
	Existing Contour Elevation
	Finish Contour Elevation
	Finish Spot Elevation
	Drainage Flow Direction
	Water Meter (size noted on plan)
	Culinary Water Valve
	Fire Hydrant
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Storm Drain Box
ta	top of asphalt
tw	top of sidewalk
boc	back of top of curb
bow	back of top of sidewalk
SSMH	Sanitary Sewer Manhole
SDMH	Storm Drain Manhole
WV	Water Valve
GV	Gas valve
WM	Water Meter
eo	edge of existing asphalt
PUE	Public Utility Easement

Preliminary Project Property Description

Commencing at a point located North 89°19'10" East along the Section line 2374.68 feet and North 55.68 feet from the Southwest corner of Section 16, Township 8 South, Range 3 East, Salt Lake Base and Meridian; thence North 242.15 feet; thence West 249.58 feet; thence North 152.12 feet; thence West 311.73 feet; thence North 147.36 feet to the southerly boundary line of Legacy Townhomes Phase 3, as shown on file in the office of the Utah County Recorder, State of Utah; thence South 89°54'36" East along Legacy Townhomes 574.61 feet to the westerly Railroad Right of Way, thence South 28°06'37" East along said Railroad right of way 609.00 feet to 400 North Street; thence South 89°19'11" West 300.27 feet to the point of beginning.

Area = 205,183 sq.ft. or 4.71 Acres

Basis of Bearing is North 89°19'10" East along the Section line from the Southwest corner to the South quarter corner of said Section 16. (NAD83)

NOTES:

- The fire protection items (fire hydrant, water mains, access roads, etc.) shown on this site plan are preliminary only. Detailed fire protection plans shall be submitted with the building plans. Plan reviews by the fire Prevention Bureau shall be completed prior to the issuance of a building permit. The plan reviews by the Fire Prevention Bureau may identify additional fire protection requirements mandated by the International Fire Code. Fire hydrant foot valves shall be installed at the connection point with the main water lines.
- All landscaped areas shall have an automatic, underground sprinkling system with a back-flow device to the building. Back-flow devices shall be installed and tested in accordance with the City Code. Water meters shall be located at the back of sidewalk or curb in an area that is accessible for reading and servicing. Water meters shall not be located within areas enclosed with fences or within 10 feet (10') of any existing or proposed structure.
- If required by the City Code or by the applicant's permit for Industrial Wastewater Discharge, a sampling manhole and fat and oil separator/grease trap shall be installed I.A.W. City standards and specifications.
- All signage shall comply with the requirements of the City Code.
- All utilities, including water and sewer laterals, water and sewer mains, storm water drains, storm water sumps, sewer manholes, water valves, etc., shall not be located under covered parking areas and shall be installed according to the City Code.
- All roof drainage shall be routed through on-site storm water management facilities.
- At the time of construction, the City of may determine based on professional experience and judgment and at its sole discretion, the need for the Owner/Developer to pay for, remove, and replace any existing substandard improvements such as curbs, gutters, sidewalks, drive approaches, driveways, decorative concrete, wheelchair ramps, etc., or any unused drive approaches.
- All construction shall conform to the City of construction standards and specifications unless the improvement is within the UDOT right-of-way, in which case the construction shall conform to UDOT construction standards and specifications.

Community Development

40 South Main Street
Spanish Fork, Utah 84660
Phone (801) 804-4500
Director - Dave Anderson
danderson@spanishfork.org

Public Works Department

40 South Main Street
Spanish Fork, Utah 84660
Phone (801) 804-4550

Public Safety

40 South Main Street
Spanish Fork, Utah 84660
Phone (801) 804-4500

Emergency 911
Utah County Animal Shelter 801-785-3442

Engineering

Engineer: Byron Haslam, PE
40 South Main Street
Spanish Fork, Utah 84660
Phone (801) 804-4543
bhaslam@spanishfork.org

Building Inspection

40 South Main Street
Spanish Fork, Utah 84660
Phone (801) 804-4500

Gas

Questar
1640 North Mountain Springs Parkway
Springville, Utah 84663
Phone (801) 853-6585
Brad Mattinson

Electricity

Rocky Mountain Power
70 North 200 East
American Fork, Utah 84003
Phone (801) 756-1220
Fax (801) 756-1274
Mark Steele

Telephone

Qwest
75 East 100 North
Provo, Utah 84606
Phone (801) 356-7050
Cell (801) 473-3385
Kasey Lunt

Cable T.V.

Comcast Cable Communications, Inc.
1350 East Miller Avenue
Salt Lake City, Utah 84106
Phone (801) 485-0500
Fax (801) 487-1887

Developer:

Canyon Court LLC
644 South Main
Springville, Utah 84663
801-787-3073

Engineer:

Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
801-224-1252

Site Data:

Zone = Urban Village?
Total Area = 201,381 sq.ft. or 4.62 Acres
Total Units Proposed = 90

Parking Requirements =

90 units with 2.50/unit parking = 225 spaces required.
60% of the units = 54 Garages.
Required number of ADA spaces = 7 total, with 2 being van accessible.

221 parking spaces shown
60 single car garages
7 ADA spaces with 2 being van accessible.

3 dumpster locations.

Sheet Index

- 1.0 Cover Sheet
- 1.1 General Notes
- 2.0 Site Plan
- 3.0 Utility Plan
- 4.0 Grading and Drainage Plan
- 5.0-5.2 Detail Sheets

	Square Footage	Acreage	Percent of total
Total Area	201,381	4.62	100
Total Building / Pad Area	29,000	0.67	15
Total Hard Surface Area	82,764	1.90	41
Total Impervious Area	111,764	2.57	56
Total Landscaped Area	89,617	1.38	30

Tabulation Table

UTILITY GENERAL NOTES

1. All installation and materials shall, at a minimum, conform to the current City standards, specifications, and drawings.
2. The contractor shall obtain a permit for utility construction at least 48 hours prior to construction.
3. Contractor shall coordinate with all utility companies for installation requirements and specifications.
4. All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service.
5. The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
6. Underground utilities shall be installed, inspected and approved before backfilling.
7. Contractor shall notify Engineering inspectors 72 hours before connecting to any existing utility.
8. All fill material is to be in place and compacted before installation of proposed utilities.
9. Existing utilities shall be verified in field prior to installation of any new lines, any discrepancies found are to be communicated to the design engineer prior to installation.
10. All ductile and gray iron fittings shall be manufactured in accordance with the following AWWA standards: C-104 cement mortar lining, C-110 gray-iron and ductile iron joints. All fittings shall be seal coated with bituminous material. All fitting shall be 250 PSI minimum pressure rating.
11. Manholes shall be precast conforming to ASTM C-478. Concrete bases shall be poured in place or precast.
12. All utility pipes shall be bedded and backfilled in accordance with the detail drawings and site work specifications.
13. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations. Any existing manholes in unpaved areas shall be 6 inches above finished ground elevations with water tight lids.
14. All concrete for encasements shall have a minimum 28 day compression strength at 4000 PSI.
15. Site work contractor shall be responsible for all improvements to with 5 ft. of proposed building unless specified otherwise. Site work contractor shall coordinate with building contractor on all utility building entrance locations.
16. In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing, the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18-inch clearance meeting requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (CLASS 50).
17. Drawings do not purport to show all existing utilities. It is the responsibility of the contractor to verify all existing utilities by means of 'blue stakes', 'pot-holing', and/or excavation.
18. Contractor shall verify utility locations prior to subsurface work for light poles (boring etc.) and similar structures.
19. See notice requirement under general project notes.
20. The general contractor shall ensure that all sub-contractors have installed utilities in accordance with the specifications and design (line, grade, no sags, etc.) prior to scheduling close-out meetings with the city.
21. All utilities shall be pre-tested prior to the city witnessing the test to ensure that said utilities will pass during city witness of testing.

SURVEY CONTROL NOTE:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Dudley & Associates ALTA Survey or Dudley & Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal and vertical control from the survey monuments and for verifying any additional control points shown provided by Dudley & Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Dudley & Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

SANITARY SEWER GENERAL NOTES

1. See this sheet for general project notes.
2. All sanitary sewer construction shall be in conformance with the standards and specifications.
3. All gravity sanitary sewer lines shall be in conformance with the standards and specifications.
4. Sanitary sewer lines shall be SDR-35 PVC. Sewer line construction and materials shall conform to ASTM standards and specifications.
5. Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, grout, and steel shims to adjust the manhole frame to the required final grade in conformance with the standard specifications. All frames shall be adjusted to final grade prior to the final lift of asphalt.
6. All sanitary sewer main testing shall be accordance with the standards and specifications copies of all test results shall provided to the engineer, the owner, and the governing authority prior to the start of the warranty period.
7. Compaction of all trenches within the project site must be attained and compaction results submitted to Department of Public Works.
8. The contractor is responsible for protecting all existing structures and improvements during installation of sanitary sewer line.
9. The contractor is responsible for the following:
 - (A) Obtaining all required permits from the city or regulatory authorities at the contractors cost including permits required for work within the public right-of-way.
 - (B) Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinkler systems.
 - (C) Verification and protection of all existing utilities within the limits of construction.
 - (D) Providing as-built drawings to the City and engineer.
 - (E) All permitting, development, location, connecting and inspection.
 - (F) Verifying all standard details conform to the current standards and specifications.
 - (G) For obtaining and understanding all city, county, and state standards and specifications pertaining to the construction of sanitary sewer improvements.
 - (H) Reference architectural plans for all connections to building services and verify locations as shown.
10. The contractor shall provide all materials necessary for construction or installation of all proposed improvements shown.
11. The contractor shall pothole the existing sewer main and provide an as-built elevation of the main to the engineer prior to any new construction.
12. Sanitary sewer pipes shall be bedded in accordance with standards.

STORM DRAIN GENERAL NOTES

1. The contractor shall be responsible for the following:
 - (A) Obtaining all required permits from the city or regulatory authorities at the contractor's cost including permits required for work within the public right-of-way.
 - (B) Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinklers systems.
 - (C) Verification and protection of all existing utilities within the limits of construction.
 - (D) Providing as-built drawings to the city and engineer.
 - (E) All permitting, development, location, connection and inspection.
 - (F) Scheduling all required inspections.
2. All storm drain construction shall be in conformance with standards, specifications, and plans.
3. Distances for storm drains are the horizontal distances from center of manhole or inlet to center of manhole or inlet. Therefore, distances shown on plans are approximate and could vary due to vertical alignment.
4. Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, grout, and steel shims to adjust the manhole frame to the required final grade in conformance with standards, specifications and plans. All frames shall be adjusted to final grade prior to the final lift of asphalt.
5. Compaction of all trenches within the project site must be attained and compaction results submitted to the engineer prior to final acceptance.
6. Storm drain pipes entering structures shall be grouted to assure connection at structure is watertight.
7. All storm drain pipes entering structures shall be grouted to assure connection at structure is watertight.
8. All storm drain manholes in paved areas shall be flush with pavement and shall have traffic bearing lids. Manholes in unpaved areas shall be 6" above finished grade. All storm drain lids shall be labeled "storm drain".
9. Contractors shall verify horizontal and vertical location of all existing storm drain structures, pipes, and all utilities prior to construction. Any discrepancies are to be reported to the design engineer prior to construction.
10. Storm drains shall be bedded in accordance with the City standards.

GRADING PLAN GENERAL NOTES

1. Contours shown are for finished paving, sidewalk, slab, or ground adjustment to sub-grade is the contractor's responsibility.
2. All disturbed areas that are un-surfaced or are not designated as landscape areas are to be seeded, fertilized, and watered until a healthy stand of grass is obtained.
3. If during the overall grading process, conditions are encountered which could indicate an unidentified situation is present, the soils engineer shall be contacted for recommendations.
4. Unless otherwise shown, not proposed slope shall exceed three (3) horizontal to one (1) vertical. All sloped areas must be protected from erosion.
5. If stripped materials consisting of vegetation and organic materials are stockpiled on the site, topsoil may be placed to a height of five feet. Silt fence shall be placed around the base of the stockpile and the stockpile shall be seeded with native seed mix immediately after stripping operations are complete.
6. On-site materials suitable for fill beneath drives and asphalt areas beyond 5' (five) of the building shall be compacted in accordance with guidelines presented in the soils report.
7. Spot elevations shall take precedence over contours and slopes shown. The contractor shall notify the engineer of the spot elevations that do not appear to be consistent with the contours and slopes. Spot elevations and specific profile design shall be used for setting elevations of curb, gutter and utilities.
8. Benchmark verification: Contractor shall use benchmarks and datums shown hereon to set project benchmark(s), by running level loop between at least two benchmarks, and shall provide survey notes of such to project engineer prior to commencing construction.
9. All utilities (manholes, valve covers, cleanouts, vaults, boxes, etc.) shall be adjusted to final grade prior to the final lift of asphalt.
10. All earth moving and placement operations shall be in conformance with the recommendations identified in the soils report. The contractor shall have a signed and sealed copy of the soils report on the site at all times.
11. The contours shown in the detention/retention pond area represent final grade. The top 6 inches of material in the detention/retention pond and berm areas shall be top soil as specified in the project standards.
12. Grades within asphalt areas shall be constructed to within 0.10 feet of the design grade. However, the contractor shall maintain positive drainage in all pavement areas and along all curbs. All curbs shall be built in accordance to the plan. Curbs or pavement areas which do not provide proper drainage must be removed and replaced at the contractor's expense.
13. Spot elevations represent flow line or top of asphalt unless otherwise noted.
14. The contractor is responsible for providing his own estimate of earthwork quantities.
15. All landscaped islands shall have a crown of topsoil prior to landscaping. Refer to landscape plan for specifications.
16. Where new curb and gutter is being constructed adjacent to existing asphalt or concrete pavement, the following shall apply: Prior to placement of any concrete, the contractor shall have a licensed surveyor verify the grade and cross slope of the curb and gutter forms. The contractor shall submit the slopes and grades to the engineer immediately of any section which does not conform to the design or typical cross section. The contractor shall be solely responsible for curb and gutter pours without the approval of the engineer.
17. The earthwork for all building foundations and slabs shall be in accordance with architectural building plans and specifications.
18. Pre-cast structures may be used at contractor's option.
19. Existing drainage structures to be inspected and repaired as needed, and existing pipes to be cleaned out to remove dirt and debris.
20. Existing grade contour intervals shown at 1 foot intervals unless otherwise noted on the plan.
21. Proposed grade contour intervals shown at 1 foot intervals unless otherwise noted on the plan.
22. If any existing structures to remain are damaged during construction, it shall be the contractor's responsibility to repair and/or replace the existing structure as necessary to return it to existing conditions or better.
23. The contractor shall adhere to all terms & conditions as outlined in the general permit for storm water discharge associated with construction activities.
24. Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade.
25. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
26. Topographical information taken from a topographic survey by (Dudley & Associates). If contractor does not accept existing topography as shown on the plans, without exception, he shall have made, at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
27. All un-surfaced areas disturbed by grading operation shall receive 4 inches of topsoil. Contractor shall apply stabilization fabric to all slopes 3H:1V or steeper. Contractor shall place sod or hydroseed to disturbed areas in accordance with city/county specifications and maintain until a healthy stand of grass is obtained.
28. Construction shall comply with all applicable governing codes and be constructed to same.
29. Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
30. Site work shall meet or exceed site specifications.
31. All concrete to have a minimum 28 day compression strength of 4000 PSI.
32. All drainage from the subject site is to be contained on-site. No water shall be allowed to flow onto adjacent properties without drainage easements in place.
33. The Landscape contractor is to refer to the grading and drainage plan for the placement of drainage swales and LID facilities and ensure the design is maintained.

GENERAL NOTES

1. All materials, workmanship, and construction of site improvements shall meet or exceed specifications set forth in the City Public Works, Regulations and applicable state and federal regulations (including ADA guidelines). Where there is a conflict between these plans and the specifications, or any applicable standards, the higher quality standard shall apply. All work with public R.O.W. or easements shall be inspected and approved by the City Public Works Inspector and/or UDOT. Inspection services and construction certification to be provided by engineer of record.
2. The contractor is specifically cautioned that the location and/or elevation of existing utilities, as shown on these plans, is based on records of the various utility companies and where possible, measurements taken in the field, the information is not to be relied upon as being exact or complete. The contractor must call the local utility location center at least 48 hours before any excavation to requested exact field locations of the utilities. Prior to construction, the contractor shall verify pertinent locations and elevations, especially at the connection points and at potential utility conflicts. It shall be the responsibility of the contractor to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
3. The contractor shall be responsible for obtaining all necessary permits from all applicable agencies. The contractor shall notify the City Public Works Inspector at least 48 hours prior to the start of any earth disturbing activity, or construction on any and all public improvements.
4. The contractor shall coordinate with City and all utility companies involved with regard to relocations or adjustments of existing utilities during construction and to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The contractor shall be responsible for contacting all parties affected by any disruption of any utility service.
5. The contractor shall have one (1) signed copy of the approved plans, one (1) copy of the appropriated standards and specifications, and a copy of any permits and extension agreements needed for the job, on-site at all times.
6. The contractor shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control and security.
7. If during the construction process, conditions are encountered by the contractor, his subcontractors, or other affected parties which could indicate a situation that is not identified in the plans or specifications, the contractor shall contact the engineer immediately.
8. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
9. The contractor shall submit a traffic control plan in accordance with the manual on uniform traffic control devices to the appropriate right-of-way authority (city, county or state) for approval, prior to any construction activities within, or affecting the right-of-way. The contractor shall be responsible for providing any and all traffic control devices as may be required buy the construction activities.
10. The contractor is responsible for providing all labor and materials necessary for the completion of the intended improvements shown on these drawings or designated to be provided, installed, constructed, removed and relocated unless specifically noted otherwise.
11. The contractor shall be responsible for keeping roadways free and clear of all construction debris and dirt tracked from the site.
12. The contractor shall be responsible for recording as-built information on a set of record drawings kept at the construction site, and available to the City Public Works Inspector at all times.
13. Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the consultant engineer for clarification and annotate the dimension on the as-built record drawings.
14. All structural erosion control measures shall be installed, at the limits of construction, prior to any other ground-disturbing activity. All erosion control measures shall be maintained in good repair by the contractor, until such time as the entire disturbed areas are stabilized with hard surface or landscaping.
15. The contractor shall sequence installation of utilities in such a manner as to minimize potential utility conflicts, in general, storm sewer and sanitary sewer should be constructed prior to installation of water lines and dry utilities.
16. All work within the public right-of-way is subject to the jurisdiction of the City Engineering Department Standard Details Specifications and Utah Department of Transportation Standard Details and Specifications.
17. The contractor shall submit a phasing plan for all work in all public roads and R.O.W.'s to the City before beginning any work on these streets. Contractor shall begin work only after City approves the phasing plan, and a preconstruction meeting is held between the city, the engineer and the contractor.
18. All operations conducted on the premises, including the warming up, repair, arrival, departure, or running of trucks, earthmoving equipment, construction equipment and any other associated equipment shall be limited to the period between 7:00 a.m. and 10:00 p.m. everyday, unless otherwise approved by the city.
19. It is the responsibility of the contractor to coordinate all utility relocations consistent with the contractor's schedule for this project. Whether shown or not shown as it relates to the construction activities contemplated in these plans.
20. Contractor shall be responsible for obtaining all temporary power and water to the site, paying all fees excluding tap fees and system development fees, referring to the geotechnical report prepared by (EarthTec Testing and Engineering P.C.)
21. In general, limits of site work are up to (and excluding) constructing sidewalks.



NORTH
1" = 40'

CANYON COURT LLC
27:005:0093

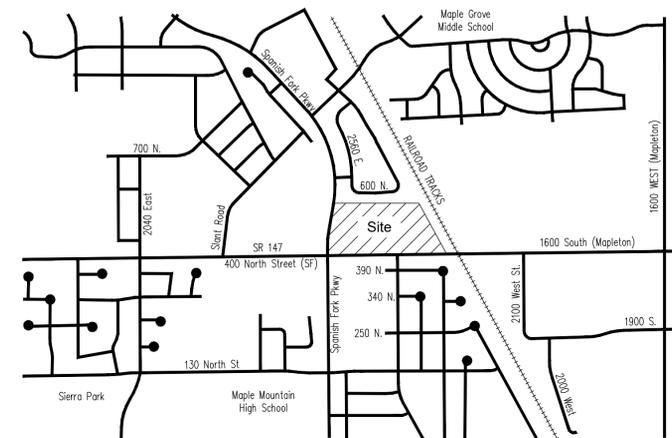
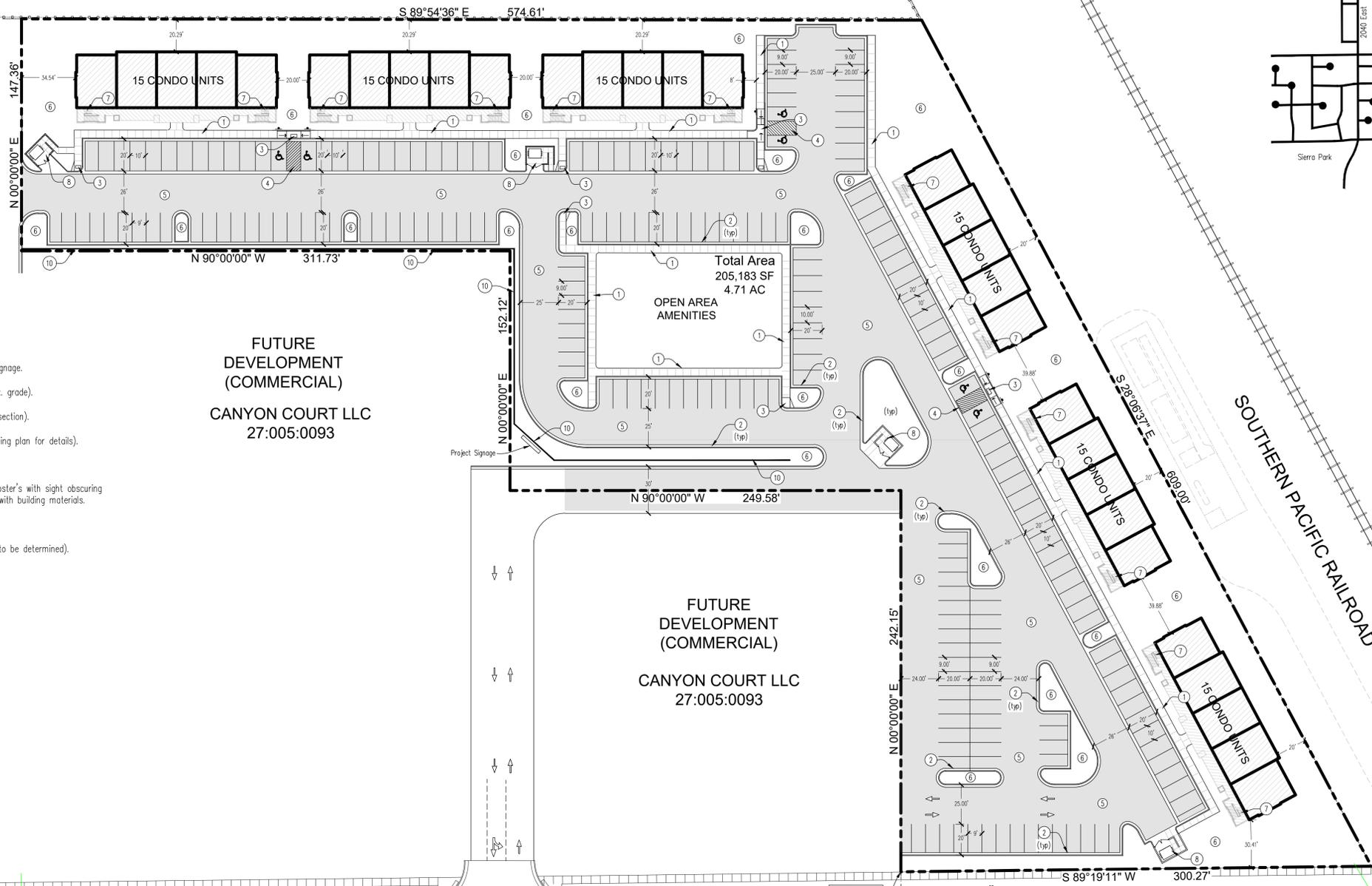
KEYED NOTES

- ① Const. 5' concrete sidewalk.
- ② Const. 24" curb and gutter.
- ③ Const. ADA ramp with necessary signage.
- ④ Const. ADA stalls and aisle (2% max. grade).
- ⑤ Const. Asphalt paving (see paving section).
- ⑥ Landscaped Area (refer to landscaping plan for details).
- ⑦ Bicycle parking rack.
- ⑧ Masonry enclosed, solid waste dumpster's with sight obscuring gates. Materials to be consistent with building materials.
- ⑨ Concrete Paving (see paving detail).
- ⑩ Decorative Fence or Masonry Wall (to be determined).

FUTURE
DEVELOPMENT
(COMMERCIAL)
CANYON COURT LLC
27:005:0093

FUTURE
DEVELOPMENT
(COMMERCIAL)
CANYON COURT LLC
27:005:0093

LEGACY TOWNHOMES



Vicinity Map

Developer:

Canyon Court LLC
644 South Main
Springville, Utah 84663
801-787-3073

Engineer:

Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
801-224-1252

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Total Units Proposed = 90

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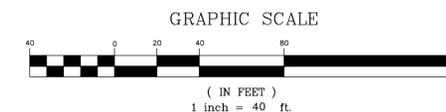
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221 parking spaces shown
60 single car garages shown
7 ADA spaces with 2 being van accessible.

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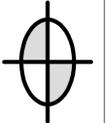
Tabulation Table



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Call 811 before you dig.
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 UTILITY NOTIFICATION CENTER, INC.
 www.bluestakes.org
 1-800-662-4111



DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Canyon Corner Condominiums
400 North 2700 East

Site Plan

Utah

Spanish Fork

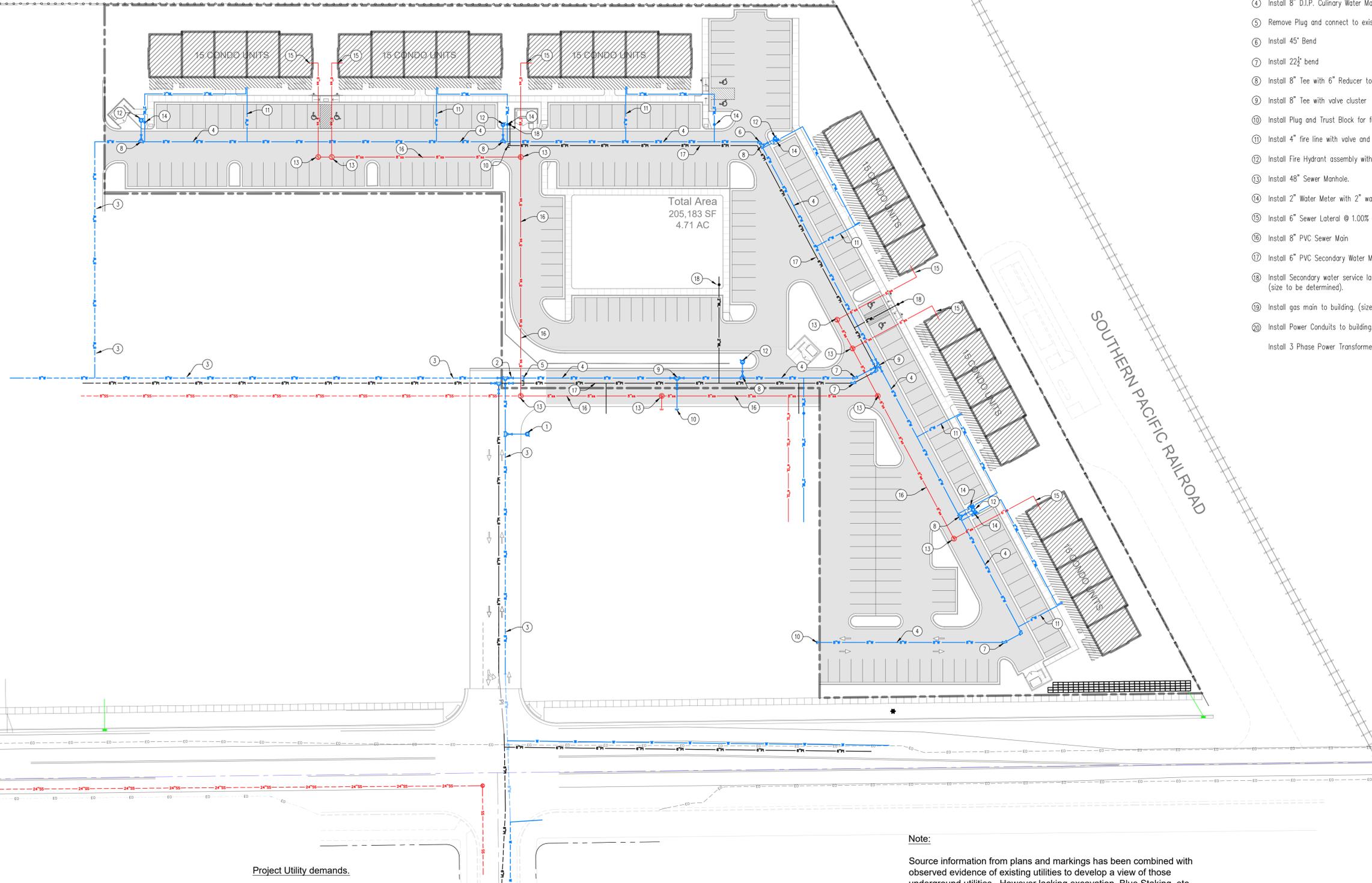
Revisions

Date
11-16-2022
Scale
1" = 40'
By
TD
Tracing No.
L - 14675

Sheet No.
C - 2.0



NORTH
1" = 40'



- Keyed Notes:
- ① Existing Fire Hydrant.
 - ② Existing Water Valve
 - ③ Existing 8" Culinary water main. (SD-21, C200 PVC Pipe)
 - ④ Install 8" D.I.P. Culinary Water Main.
 - ⑤ Remove Plug and connect to existing
 - ⑥ Install 45° Bend
 - ⑦ Install 22½° bend
 - ⑧ Install 8" Tee with 6" Reducer to hydrant.
 - ⑨ Install 8" Tee with valve cluster
 - ⑩ Install Plug and Trust Block for future connection.
 - ⑪ Install 4" fire line with valve and FDC connection.
 - ⑫ Install Fire Hydrant assembly with 6" valve.
 - ⑬ Install 48" Sewer Manhole.
 - ⑭ Install 2" Water Meter with 2" water service lateral to building
 - ⑮ Install 6" Sewer Lateral @ 1.00% (min). Cleanout within 5' of building.
 - ⑯ Install 8" PVC Sewer Main
 - ⑰ Install 6" PVC Secondary Water Main
 - ⑱ Install Secondary water service lateral and meter. (size to be determined).
 - ⑲ Install gas main to building. (size to be determined)
 - ⑳ Install Power Conduits to building. (see electrical plans for sizes)
- Install 3 Phase Power Transformer. (See Pad detail)

DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Canyon Court Condominiums
Utility Plan
Utah
Spanish Fork.

Revisions	
Date	11-16-2022
Scale	1" = 40'
By	TD
Tracing No.	L - 14675
Sheet No.	C - 3.0

Project Utility demands.

Sewer Demand:
We have assumed that each unit has an average occupancy of 3.32 persons per household consistent with the average for Spanish Fork City. The City's average wastewater production is about 60 gallons per person per day. So with 100 units, you get to a sewer production of 17,928 gpd.

Water Demand:
We have assumed that each unit has an average occupancy of 3.32 persons per household consistent with the average for Spanish Fork City. The City's average water consumption is about 100 gallons per person per day. So with 100 units, you get to a water demand of 29,880 gpd.

Notes:

Water Meter sizes shall be determined by the fixture count.

All Water Main will be C-900 PVC Pipe.

ALL on-site sewer mains and laterals are to be considered PRIVATE.

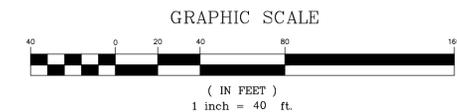
All Fire lines and associated water valves are the responsibility of the property owner and are to be maintained by the property owner.

Note:

Source information from plans and markings has been combined with observed evidence of existing utilities to develop a view of those underground utilities. However lacking excavation, Blue Staking, etc. the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

Prior to construction, the contractor is to coordinate the utility locations, size, and condition for connection. Any discrepancies are to be reported to the design engineer.

All drinking water and pressurized irrigation lines up to and including the meter, all sanitary sewer mains, all electrical meters, and all electric and SFCN communication service lines up to the mast on overhead installations and to the top of the meter base for underground installations are dedicated to Spanish Fork City.

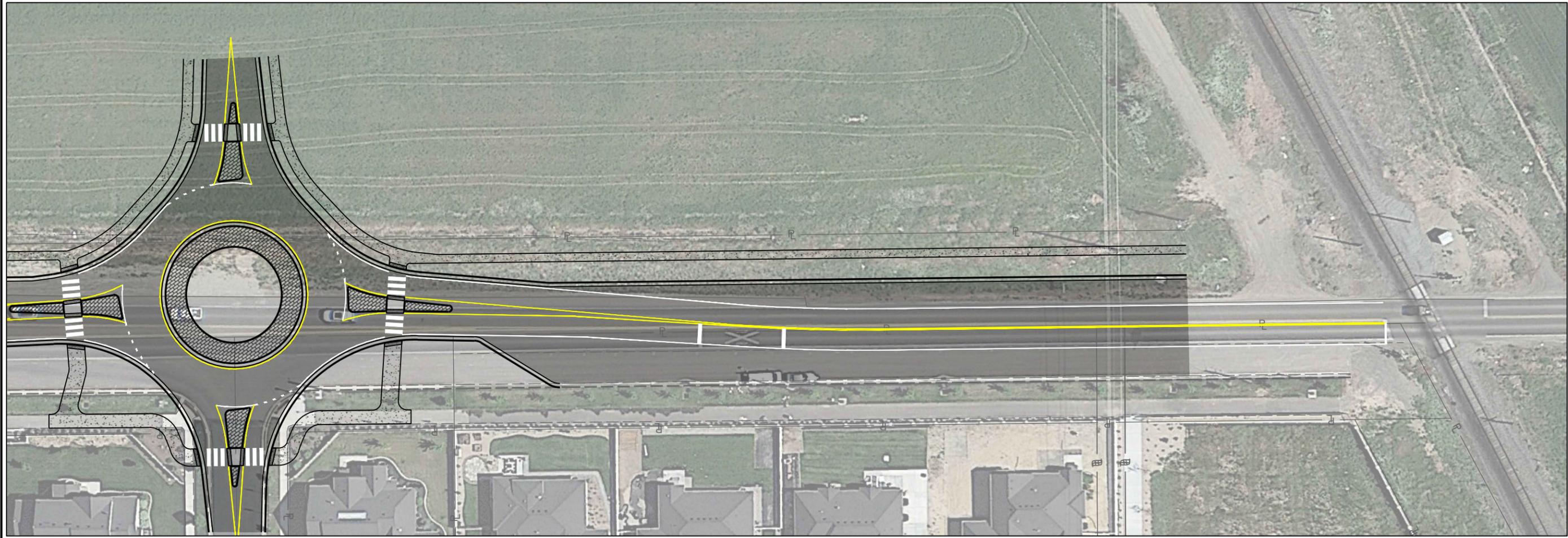
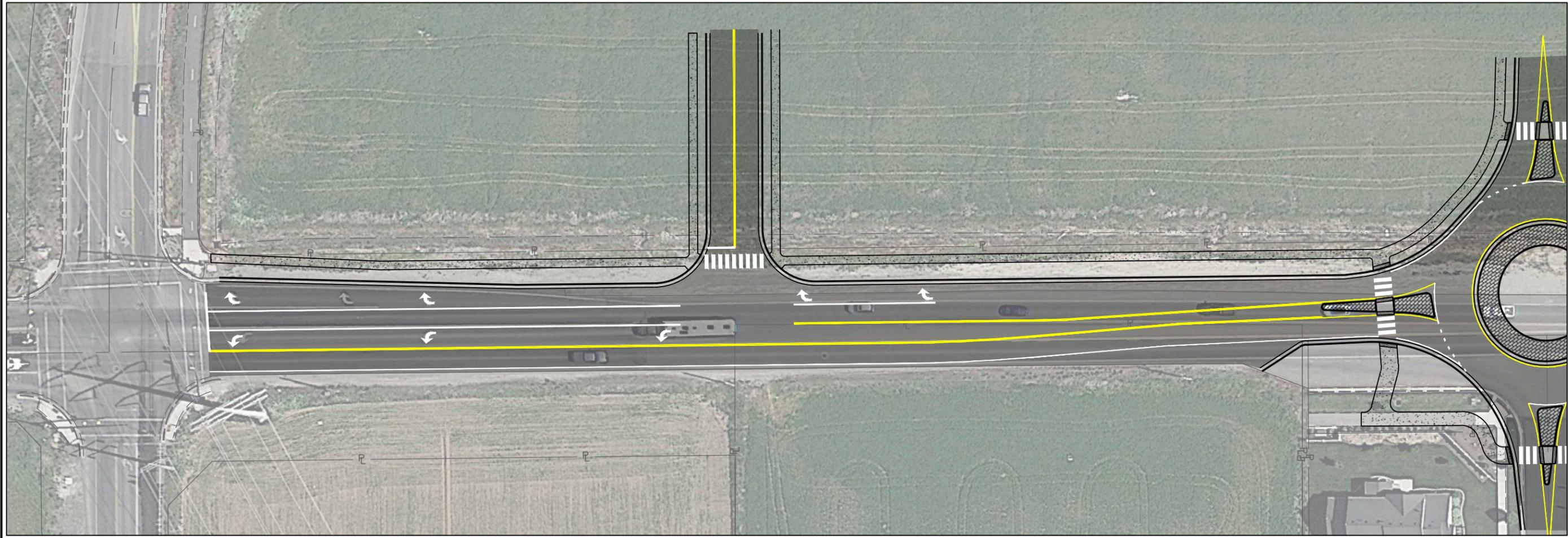


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UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111



SHEET NO. EX-01

PROJECT 400 N SPANISH FORK ROUNDABOUT

PROJECT NUMBER ####

22-235

PRELIMINARY DESIGN EXHIBIT

WALL CONSULTANT GROUP
 2139 SOUTH 1280 WEST
 SALT LAKE CITY, UT 84119
 PHONE: 801-466-3847



APPROVED

PROFESSIONAL ENGINEER

SCALE: N/A

DATE: ###

DESIGNED BY: ###

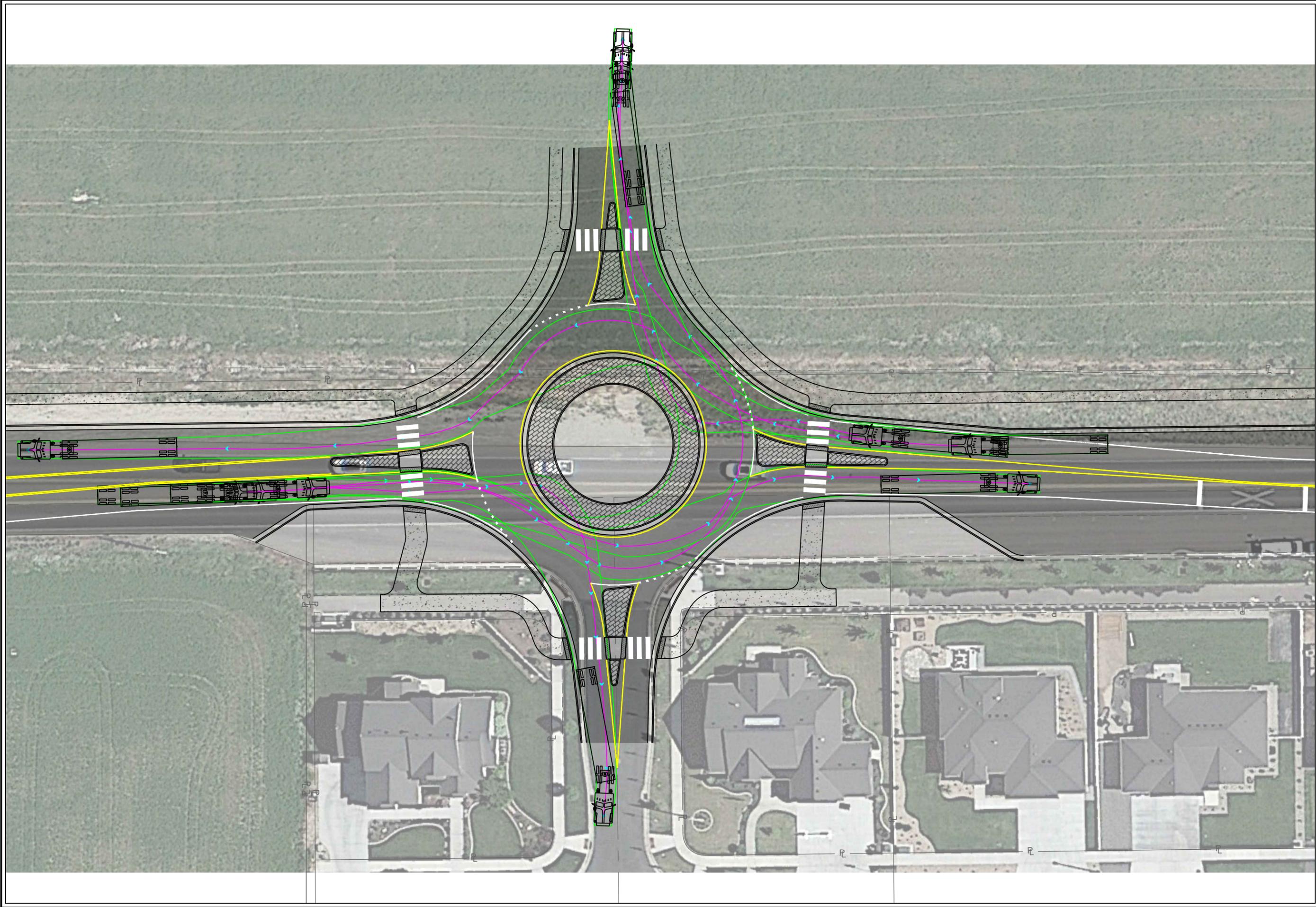
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PRELIMINARY
NOT FOR CONSTRUCTION



SHEET NO. EX-02

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PROJECT NUMBER	####
	22-235
PRELIMINARY DESIGN EXHIBIT	


WALL CONSULTANT GROUP
 APPROVED _____
 PROFESSIONAL ENGINEER

SCALE:	N/A	DATE:	####	DESIGNED BY:	####	CHECKED BY:	####
				####		####	

PRELIMINARY
 NOT FOR CONSTRUCTION

DATA TABLE
 TOTAL ACREAGE=21.94 ACRES
 COMMERCIAL ACREAGE=1.57 ACRES (INCLUDING ROW)
 BINGHAM PROPERTY=1.56 ACRES
 IRELAND PROPERTY=2.10 ACRES
 RESIDENTIAL ACREAGE=16.71 ACRES
 TOTAL LOTS ALLOWED=16.71x5.23=87.39+2 LOTS=89 LOTS
 TOTAL LOTS PROVIDED=75



SHEET NO.

1

NO.	DATE	REVISIONS
12		
11		
10		
9		
8		
7		
6		
5		
4		
3		
2		
1		

CONCEPTUAL PLAN

SPANISH FORK, UTAH

BINGHAM PROPERTY
 ATLAS

ENGINEERING
 L.L.C.
 PHONE: 801-655-0566
 946 E. 800 N. SUITE A
 SPANISH FORK, UT 84660

(24"x36")
 SCALE 1" = 50'
 (11"x17")
 SCALE 1" = 100'

Z:\2020\SP-2020\BINGHAM_PROPERTY_CADD\CONCEPT.CONCEPT_9.DWG