



FARR WEST CITY COUNCIL AMENDED AGENDA

November 17, 2022 at 7:00 p.m.
City Council Chambers
1896 North 1800 West
Farr West, UT 84404

Notice is hereby given that the City Council of Farr West City will hold its regular meeting at 7:00 pm on Thursday, November 17, 2022

Call to Order – Mayor Ken Phippen

1. Opening Ceremony
 - a. Pledge of Allegiance
 - b. Opening Prayer
2. Comments/Reports
 - a. Public Comments (*2 minutes*)
 - b. Report from the Planning Commission
3. Business Items
 - a. Approval of business licenses – Rugged Equipment LLC
 - b. Consider the request to set a public hearing for the re-zone for ALS Development from the R-1-15 and A-1 zones to the R-1-15 and M-1 zones, parcel numbers 19-040-0026, 15-005-0025 and 15-005-0063, located at approximately 1913 North 2000 West
 - c. Preliminary and final approval of the Watson Estates Phase 2 amended subdivision located at 1634 West 1850 North
 - d. Approval of a conditional use permit for an accessory building over 2,000 square feet for Jordan Watson at 1634 West 1850 North
 - e. Cancel the December 15, 2022 City Council Meeting
4. Consent Items
 - a. Motion - Approval of minutes dated November 3, 2022
 - b. Motion – Approval of bills dated November 16, 2022
 - c. **Discussion/Action – RFP for Farr West City properties leasing options**
5. Mayor/Council Follow-up
 - a. Report on Assignments
6. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was emailed to each member of the City Council, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on November 14, 2022.

Lindsay Afuvai
Recorder

Application for Business License

Application date: 11-11-2022

Owner Name: Lauri Hubbard

Owner Address: [REDACTED]

Telephone: [REDACTED]



Business Name: Rugged Equipment LLC DBA: _____

Business Address: 1815 W. 2700 N. City: Farr West State: UT Zip: 84404

Mailing Address: 1484 N. Main St. City: Layton State: UT Zip: 84041

Business Phone Number: 801-544-3399 Number of employees: 1

Manager Name: Dwayne Hislop Contact Phone: 801-660-8080

**If business is commercial or manufacturing/warehousing, please list square footage: _____

State Sales Tax ID # 12337033-002-5TC State License # 8943151-0160

If a daycare of preschool, number of own children: _____; number of other children: _____

Describe your type of business in detail: Selling small temporary movable sheds as a dealer for Old Hickory Sheds. See Attached Brochure.

Businesses that require Health Department inspection and permit: ANY business that is selling food, tattoo and piercing salons, tanning salons, day cares, nursing and assisted livings.

Health Department Permit # _____ or check if not applicable ☒

BUSINESS LICENSE FEE SCHEDULE

COMMERCIAL

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$200.00	\$300.00

MANUFACTURING/WAREHOUSING

Small (under 10,000 sq ft)	Medium (10,000 to 50,000 sq ft)	Large (over 50,000 sq ft)
\$100.00	\$150.00	\$200.00

OTHER

Contractor	Professional	Interstate Commerce
\$100.00	\$50.00	\$50.00

ALCOHOL

Class "A" Beer	Class "B" Beer Restaurant	Class "C" Limited Restaurant	Class "D" Golf Course	Class "E" Full Service Restaurant
\$200.00	\$200.00	\$200.00	\$200.00	\$200.00

*If you are renewing an alcohol license:

Has the applicant been arrested or convicted of a felony or misdemeanor in the past 12 months? _____

Type of License Applying For: Small Commercial License fee due: \$100

I, the applicant, am aware of and conform to all State and Federal Regulations. I have read and understand the Codes and Ordinances of Farr west City for Business License Regulations (Title 5).

Applicant signature:  Date: 11-4-2022

For office use only:

Amount paid: 100- Date paid: _____ Receipt Number: _____
City Council Date: 11/17/22 Approved: _____ Disapproved: _____
License number: _____ Date issued: _____

Application for Rezoning Real Property



Date Submitted 9/22/2022 Applicant's Name ALS Development

Applicant's Address [REDACTED]

Applicant's Phone [REDACTED]

.....

Fee Schedule (check one):

Up to 5 acres..... \$150.00 []

More than 5 acres..... \$200.00 ☒

Commercial or Manufacturing..... \$250.00 []

Fee received by Andrea Date 9/27/2022

.....

I (we), the undersigned property owner (s), request that the following real property (include or attach a legal description and a scale drawing of the real property here):

19-040-0026
15-005-0025
15-005-0063

Be rezoned from (present zoning) Agriculture & Commercial

To (desired zoning) Medium Density residential and Commercial (with the expansion of the storage units)

YELLOW = M-1, PINK = R-1.5

Include or attach a list of all adjacent property owners within three hundred feet (300') of the property proposed for rezone and their addresses. [☒]

The Planning Commission must review the request from the standpoint that changes in property zoning cannot be made unless it is in the best interest of the citizens of Farr West City generally.

Please answer the following questions: (Attach additional sheets if necessary)

1. How is this request consistent with the policies of Farr West City's General Plan?

Medium density housing will allow for homes to be more affordable. The Storage unit expansion will allow the greater Farr West residents access to storage units closer to home in an area where storage units already exist.

Application for Rezoning Real Property



2. How will this request benefit the general public and the community?

It will provide more indoor storage options, more affordable housing, and a retail commercial pad for sales tax revenue

3. How will this request promote the health, safety, convenience, order or prosperity of the general public?

All development will be designed with the health safety and convenience of the general public.

Signature of Petitioner(s):

David H. H.

Address:

2273 n 2825 w
Plain City, Utah 84404

✓ Checklist:

- ☒ Fees Paid
- ☒ Legal Description
- ☒ Scale Drawing
- ☒ Adjacent Property Owners List
- ☐ Public Hearing Set
- ☐ Adjacent Property Owners Notified

- ☐ Notice Advertised on: _____
- ☐ Public Hearing Held on: _____
- PC Recommendation:
- ☐ Approve ☐ Reject Date: _____
- CC Action:
- ☐ Approve ☐ Reject Date: _____

Application for Rezoning Real Property



2. How will this request benefit the general public and the community?

3. How will this request promote the health, safety, convenience, order or prosperity of the general public?

Signature of Petitioner(s):

DYANN BROWN

Dyann Brown

Address:

1895 N. 2000W
FARM WEST, UT 84404

 Andy Strahan
Manager Tri-City Store

✓ Checklist:

- ☒ Fees Paid
- ☒ Legal Description
- ☒ Scale Drawing
- ☒ Adjacent Property Owners List
- ☐ Public Hearing Set
- ☐ Adjacent Property Owners Notified

- ☐ Notice Advertised on: _____
- ☐ Public Hearing Held on: _____
- PC Recommendation:
- ☐ Approve ☐ Reject Date: _____
- CC Action:
- ☐ Approve ☐ Reject Date: _____



Weber County Parcel Search

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Today's Date: 10/20/2022

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Parcel # 19-040-0026

Ownership Info

Owner	BROWN REVOCABLE TRUST
Property Address	1913 N 2000 W FARR WEST 84404
Mailing Address	1895 N 2000 W FARR WEST UT 844049373
Tax Unit	145

[View in Geo-Gizmo](#)

Plat Map

19-040 [View PDF](#)

Updated: August 22 2022

Prior Year Plats

Plats as of Dec 31st of each year

2017 - 19-040 [View PDF](#)2016 - 19-040 [View PDF](#)2015 - 19-040 [View PDF](#)2014 - 19-040 [View PDF](#)

Dedication Plat

No Dedication Plats found

Current References

Entry #
3077509

Book

Page

Recorded Date
18-AUG-20Kind of Instrument
QUIT CLAIM DEED

Prior Parcel Numbers

No Prior Serial Numbers Found

Legal Description

* For Tax Purposes Only *

PART OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY: BEGINNING AT A POINT ON WEST LINE OF ROAD 746.7 FEET WEST AND 9.59 FEET NORTH OF THE SOUTHEAST CORNER OF SECTION 35; THENCE NORTH 164.41 FEET; THENCE SOUTH 82D41' WEST TO SECTIONLINE; THENCE EAST TO A POINT 896.7 FEET WEST OF THE SOUTHEAST CORNER OF SAID QUARTER SECTION, THENCE NORTH 9.59 FEET, THENCE EAST 150 FEET TO THE POINT OF BEGINNING.

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Today's Date: 10/20/2022

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Parcel # 15-005-0025

Ownership Info

Owner BROWN REVOCABLE TRUST

[View in Geo-Gizmo](#)

Property Address

Plat Map

15-005 [View PDF](#)

Updated: August 22 2022

Mailing Address 1895 N 2000 W
FARR WEST UT 844049373

Tax Unit 145

Prior Year Plats

Plats as of Dec 31st of each year

2017 - 15-005 [View PDF](#)

2016 - 15-005 [View PDF](#)

2015 - 15-005 [View PDF](#)

2014 - 15-005 [View PDF](#)

Dedication Plat

No Dedication Plats found

Current References

Entry #
3077508

Book

Page

Recorded Date
18-AUG-20

Kind of Instrument
QUIT CLAIM DEED

Prior Parcel Numbers

No Prior Serial Numbers Found

Legal Description

** For Tax Purposes Only **

PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE MERIDIAN, U.S. SURVEY: BEGINNING 896.7 FEET WEST FROM THE SOUTHEAST CORNER OF SECTION 35, TOWNSHIP 7 NORTH, RANGE 2 WEST, THENCE SOUTH 1D07' WEST 197.23 FEET, THENCE SOUTH 82D41' WEST 805 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF WILLARD CANAL, THENCE NORTHERLY ALONG THE ARC OF A 385 FOOT RADIUS CURVE TO THE LEFT FOR A DISTANCE OF 270 FEET, THENCE NORTH 60D31' WEST 135 FEET TO THE NORTHERLY PROPERTY LINE AS DEFINED BY WD IN BOOK 132, PAGE 153, THENCE NORTH 82D41' EAST TO THE NORTH LINE OF SAID SECTION 2, THENCE EAST ALONG SECTION LINE TO BEGINNING. CONTAINING 5.06 ACRES, MORE OR LESS.

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Today's Date: 10/20/2022

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Parcel # 15-005-0063

Ownership Info

Owner

BROWN REVOCABLE TRUST

[View in Geo-Gizmo](#)

Property Address

1895 N 2000 W
FARR WEST 84404

Plat Map

15-005 [View PDF](#)

Updated: August 22 2022

Mailing Address

1895 N 2000 W
FARR WEST UT 844049373

Tax Unit

145

Prior Year Plats

Plats as of Dec 31st of each year

2017 - 15-005 [View PDF](#)2016 - 15-005 [View PDF](#)2015 - 15-005 [View PDF](#)2014 - 15-005 [View PDF](#)

Dedication Plat

No Dedication Plats found

Current References

Entry #
3077510

Book

Page

Recorded Date
18-AUG-20Kind of Instrument
QUIT CLAIM DEED

Prior Parcel Numbers

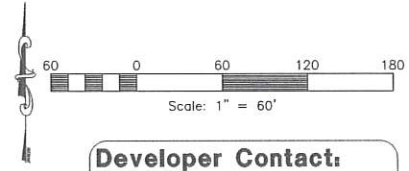
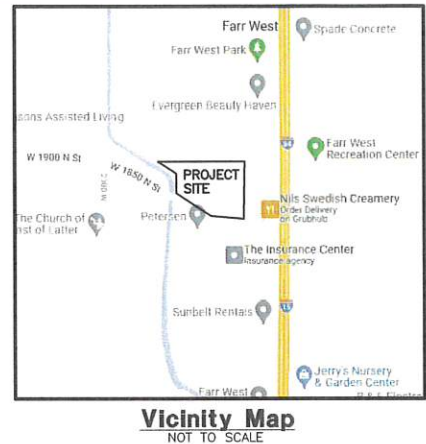
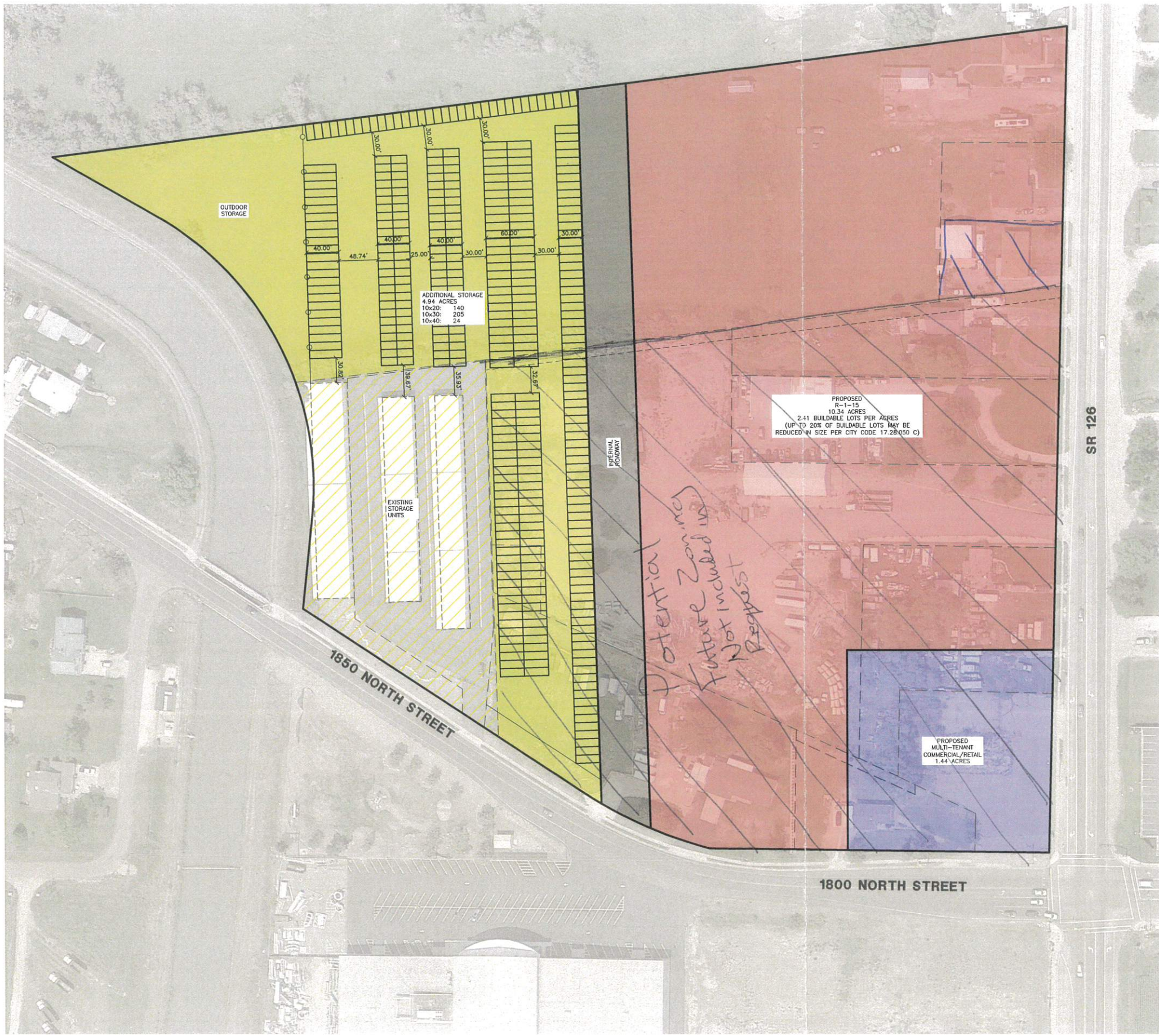
150050025

Legal Description

* For Tax Purposes Only *

PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, AND THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY: BEGINNING AT A POINT ON THE WEST LINE OF 2000 WEST STREET (U-84), SAID POINT BEING WEST ALONG THE SECTIONLINE 755.32 FEET AND SOUTH 1D07' WEST 90.41 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 2, AND RUNNING THENCE NORTH 88D53' WEST 150.00 FEET, THENCE NORTH 1D07' EAST 100.00 FEET, THENCE SOUTH 88D53' EAST 150.00 FEET TO THE WEST LINE OF SAID STREET, THENCE SOUTH 1D07' WEST 100.00 FEET TO THE POINT OF BEGINNING.

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Developer Contact:
Dave Laloli
dave@ipaveutah.com
PH: (801) 898-0244

Project Contact:
Chris Cave
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH:(801) 621-3100

Notice:
THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER INFRASTRUCTURE. IF PRINTED IN, OR COPIED TO BLACK & WHITE, SOME LINE WORK MAY NOT SHOW UP PROPERLY.



REVISIONS	DESCRIPTION
DATE	

Farr West Property
PART OF THE NE 1/4 OF SECTION 2 & THE SE 1/4 OF SECTION 35
T.6N, R.2W, S.14B & M., U.S. SURVEY
WEBER COUNTY, UTAH

Concept Plan



Project Info.
Engineer:
J. NATE REEVE, P.E.
Drafter:
J. MEYERS
Begin Date:
SEPTEMBER 2022
Name:
FARR WEST
PROPERTY
Number:
8065-01

Application for Subdivision



Date Submitted 10/24/2022

Developer's Name Jordan Watson

Developer's Mailing Address [REDACTED]

Developer's Daytime Phone [REDACTED]

Subdivision Name Watson Estates Phase 2 Phase 2

Subdivision Address 1634 W 1850 No

Is this a Re-Subdivision y Current Property Zone R-1-15 Is Re-Zoning Required N

Acreage of property being divided 3.1 Acreage of entire land parcel 3.1

Number of proposed lots in Subdivision 2 In Phase 2 Number of Phases 1

Title Search Completed Y N *Attach Documentation

Available Utilities and Services:

Culinary Water	<u>Y</u>	<u>N</u>	
Secondary Water	<u>Y</u>	<u>N</u>	Company: <u>Pineview</u>
Secondary System	<u>Y</u>	<u>N</u>	
Adequate Storm Sewer/Drainage	<u>Y</u>	<u>N</u>	
Sewer	<u>Y</u>	<u>N</u>	
Electric Power	<u>Y</u>	<u>N</u>	
Natural Gas	<u>Y</u>	<u>N</u>	
Telephone Service	<u>Y</u>	<u>N</u>	
Broadband/Fiber Internet	<u>Y</u>	<u>N</u>	Comcast: Jim Hansen/801-831-6849 Century Link: Troy Long/801-974-8119 Connex: Dave Brown/ 801-686-2468 Optic Loop: Tim Wright/801-737-1900
Cable/Satellite TV	<u>Y</u>	<u>N</u>	Company:

Application for Subdivision



Property is in which Flood Zone: X Panel Number: 49057c0200e

Lowest Elevation of Property: 4264

Access Road above 4,215' Elevation: Yes Source: Survey

Does the property contain Wetlands: No Source: Wetlands Mapper

Please give a brief history of the property that is being subdivided (attach additional pages if needed).

Parcels are owned by Jordan Watson and John Watson and we are wanting to adjust the common line between them.

which was platted on the original Watson Estates subdivision.

Please describe any agreements, right-of-ways, easements, etc. which could affect the planning and construction of this development (attach additional pages if needed). N/A

I have read and understand the Subdivision Ordinance. I understand I am responsible for all engineering costs. I believe the information on this form is true and correct to the best of my knowledge. I understand missing or inaccurate data may result in delays in processing this application.

Signed _____ Date _____

FEE SCHEDULE

Subdivision Plan Processing:

1-4 lots	\$100.00
5-9 lots	\$100.00 plus \$10/lot
10-24 lots	\$150.00 plus \$10/lot
25 lots +	\$250.00 plus \$10/lot

Engineering Fee Deposit: \$125.00/lot/phase

Application Fee \$ 100- Developer User Fee \$ 300- Total \$ 400
Receipt # 9.002494 Date Paid 10/28/22 Received by McKinzie

MEMORANDUM



CONSULTING ENGINEERS

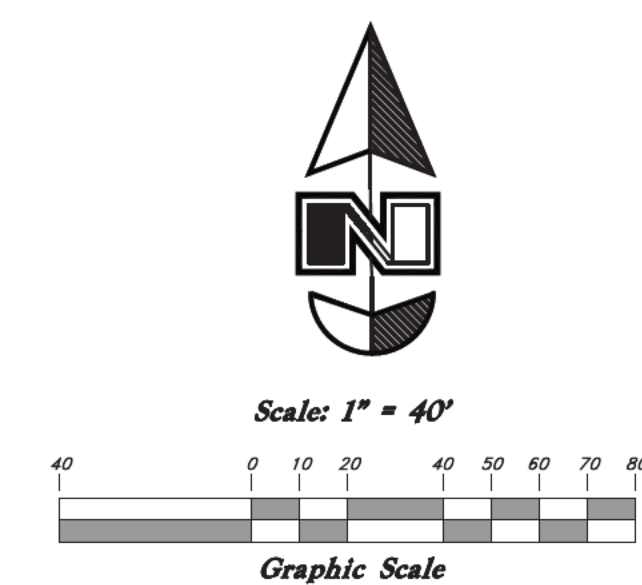
TO: Farr West City Planning Commission and City Council

FROM: Matt Robertson, P.E.
City Engineer

RE: **WATSON ESTATES PH 2 SUBDIVISION 1ST AMENDMENT**
Final Plat Amendment

Date: November 4, 2022

Our office has completed a review of the plat for the Watson Estates Phase 2 First Amendment. The purpose of the amendment is to move the property line between the existing lots 7-R and 8-R. The change is minor and both lots still conform with existing zoning requirements. We have found the plat to be accurate and we recommend approval of the plat amendment at this time. Please let me know if you have any questions.



Legend

Section Corner Found

Section Corner Not Found

Street Monument

(Rad.) Radial Line
(N/R) Non-Radial Line
PU&DE Public Utility & Drainage Easement
W.C.S. Weber County Survey
Fence
Set Nail in Curb @
Extension of Property
Set 5/8"x 24" Long Rebar & Cap w/ Lathe

PROPERTY LINE CURVE DATA					
Curve	Delta	Radius	Length	Chord	Chord Bearing
C1	51°44'20"	15.00'	13.55'	13.09'	N 68°04'27" W
C2	93°27'18"	65.00'	106.02'	94.65'	N 88°55'57" W

John & Annette
Cardon Family
Trust
15-638-0002

S 89°10'32" E (Basis of Bearings)

Northwest Corner of Section 1,
T6N, R2W, SLB&M, U.S. Survey
(Found W.C.S. Brass Cap Monument)

Jason & Dana
Taylor
15-264-0018

1900 North Street

NOTES

1. All Lots with "R" Designation are Restricted as Follows:

All new home building permit applications shall have a restriction that the lowest finish floor elevation in the dwelling shall not be lower than the adjacent top back of curb elevation or if curb is not present, no lower than the existing ground surface.

Exception: New dwellings proposed to have the lowest finish floor elevation below the adjacent top back of curb elevation will be allowed provided that the new dwelling units have a City approved subsurface drainage system consisting of a subsurface ground water collection system as part of the dwelling construction, a sump pump station and discharge piping to an authorized or approved discharge location. The maximum finish floor depth in these dwellings shall not be greater than thirty (30) inches below the adjacent top back of curb elevation. Sump pumps shall not be connected to the sanitary sewer system in any manner. City building permits for these dwellings will not be issued until the sub-surface drainage system design has been reviewed and approved by the City Building Official. Final occupancy shall not be granted to any new home owner until the previously approved subsurface drainage collection system, sump pump and discharge line connections have been inspected and completed and are operational. The ownership, operation and maintenance of the entire subsurface drainage system shall be total responsibility of the individual property owner.

GREAT BASIN
ENGINEERING

5746 SOUTH 1475 EAST OGDEN, UTAH 84403
MAIN (801)394-4515 SLD (801)521-0222 FAX (801)392-7544
WWW.GREATBASINENGINEERING.COM

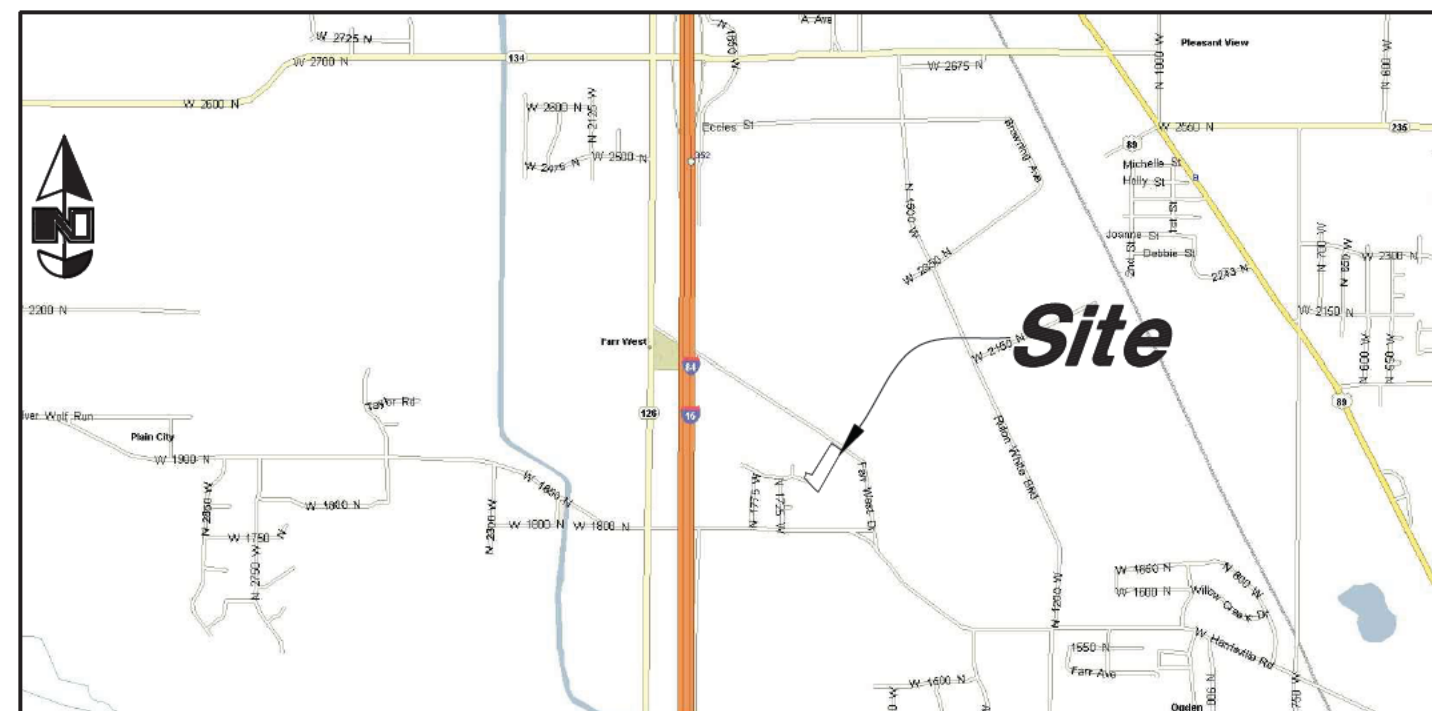
Watson Estates - Phase 2

First Amendment

A part of the Southwest Quarter of Section 36, T7N, R2W, SLB&M, U.S. Survey

Farr West City, Weber County, Utah

September 2022



VICINITY MAP
Not to Scale

North Quarter Corner of Section 1,
T6N, R2W, SLB&M, U.S. Survey
(Brass Cap Monument Not Found)

5287.17' Meas.
(5287.17' Rec.)

North East Corner of Section 1,
T6N, R2W, SLB&M, U.S. Survey
(Found W.C.S. Brass Cap Monument)

NARRATIVE

This Plat was requested by Mr. John Watson for the purpose of amending Lots 7-R and 8-R of Watson Estates - Phase 2.

A line between monuments found in the Northwest and the Northeast Corners of Section 1 with a bearing of S 89°10'32" E was used as the Basis of Bearings for this Plat.

The Southerly line was established using the North line of Taylor Farms Subdivision Phase 1. The Westerly lines were established along Watson Estates and Taylor Farm Estates Subdivision. The Northerly line deeded along established fence lines. The Easterly lines were established along Farr West Drive.

Property Corners were set as depicted on this Plat.

FARR WEST CITY ATTORNEY

Approved by the Farr West City Attorney
this ____ day of ____, 2022.

Signature

FARR WEST CITY PLANNING COMMISSION

Approved by the Farr West City Planning Commission
this ____ day of ____, 2022.

Chairman

FARR WEST CITY APPROVAL

This is to certify that this plat and dedication of this plat were duly approved and accepted by the City Council of Farr West City, Utah this ____ day of ____, 2022.

Mayor

SURVEYOR'S CERTIFICATE

I, Andy Hubbard, do hereby certify that I am a Professional Land Surveyor in the State of Utah, and that I hold Certificate No. 6242920 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act. I also certify that I have completed a survey of the property described hereon in accordance with Section 17-23-17 and that I have verified all measurements shown hereon this plat of Watson Estates - Phase 2 First Amendment in Farr West City, Weber County, Utah and that it has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office. Monuments have been found or placed as represented on this plat.

Signed this ____ day of ____, 2022.

6242920
License No.

OWNERS DEDICATION

We, the undersigned, Owners of the hereon described tract of land, hereby set apart and subdivide the same into lots, as shown on this plat and name said tract of land Watson Estates - Phase 2 First Amendment and hereby dedicate, grant and convey to Farr West City, Weber County, Utah those certain strips designated as Public Utility Easements, and Detention Pond Easement for public utilities and drainage purposes, as shown hereon, the same to be used for installation, maintenance and operation of public utility service lines and drainage, as may be authorized by Farr West, with no buildings or structures being erected within such easements.

Signed this ____ Day of ____, 2022.

John L. Watson - Owner

Sherrie A. Watson - Owner

Jordan Watson - Owner

Kami A Watson - Owner

ACKNOWLEDGMENT

State of Utah
County of } ss

The foregoing instrument was acknowledged before me this ____ day of ____ 2022 by John & Sherrie Watson.

Residing At: _____

A Notary Public commissioned in Utah

Commission Number: _____

Commission Expires: _____

Print Name

ACKNOWLEDGMENT

State of Utah
County of } ss

The foregoing instrument was acknowledged before me this ____ day of ____ 2022 by Jordan Watson & Kami A. Watson.

Residing At: _____

A Notary Public commissioned in Utah

Commission Number: _____

Commission Expires: _____

Print Name

BOUNDARY DESCRIPTION

A part of the Southwest Quarter of Section 36, Township 6 North, Range 2 West, Salt Lake Base & Meridian, Farr West City, Weber County, Utah:

Beginning the Northeast corner of Lot 18, Taylor Farms Estates Subdivision, in Farr West City, Weber County, Utah, said point being 1,478.62 feet South 89°10'32" East along the Section line and 107.47 feet South 0°49'28" West from the Northwest corner of said Section 1; and running thence South 66°26'33" East 101.65 feet; thence North 13°36'05" East 429.62 feet to the Southerly Line of Farr West Drive; thence along said Southerly Line South 57°16'52" East 165.89 feet; thence South 14°04'22" West 401.54 feet; thence South 72°14'55" East 81.75 feet; thence South 3°56'38" East 235.25 to the North line of 1850 North Street Right-of Way; thence along said Right-of-Way the following (3) three courses: (1) South 86°03'22" West 17.61 feet; (2) Northwesterly along the arc of a 15.00 foot radius curve to the right a distance of 13.55 feet (Delta equals 51°44'20" and Long Chord bears North 68°04'27" West 13.09 feet); (3) Northwesterly along the arc of a 65.00 foot radius curve to the left a distance of 106.02 feet (Delta equals 93°27'18" and Long Chord bears North 88°55'57" West 94.65 feet); thence North 45°39'36" West 354.16 feet; thence North 23°33'22" East 118.75 feet to the POINT OF BEGINNING.

Contains 3.193 Acres

FARR WEST CITY ENGINEER

Approved by the Farr West City Engineer
this ____ day of ____, 2022.

Signature

WEBER COUNTY RECORDER

ENTRY NO. ____ FEE PAID
____ FILED FOR RECORD AND
RECORDED ____ AT
____ IN BOOK ____ OF OFFICIAL
RECORDS, PAGE ____ RECORDED
FOR

WEBER COUNTY RECORDER

BY: _____
DEPUTY



Farr West City

APPLICATION FOR ISSUANCE OF CONDITIONAL USE PERMIT

The Municipal Code 17.48.020 requires that the following be considered to obtain a Conditional Use Permit.

Application Date 10.7.2022 Applicant Name Jordan Watson

Mailing Address [REDACTED]

Phone Number [REDACTED]

Property address of proposed conditional use 1634 W. 1850 N. Current Zoning: R-1-15

Please list the requested conditional use as listed within the city zoning ordinance Accessory building over 2,000 SF.

A) Explain how the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community.

Detached garage will serve as storage for vehicles and allow for internal storage rather than external use of driveway. Property size is more than adequate to accommodate the size of garage while maintaining the city's requirements.

B) Explain how such use will not be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses.

The garage will be built by a reputable licensed general contractor. Aesthetics will be consistent and complimentary to my house. Professional landscaping will be completed upon completion of the garage.

C) Explain how the proposed use will comply with the regulations and conditions specified in this title for such use.

The garage will meet the city's setback and coverage requirements for accessory buildings.

D) Explain how the proposed use conforms to the goals, policies and governing principles and land use of the Farr West City General Plan.

The general plan allows for accessory buildings on residential lots in excess of 2,000 sf as long as they meet the required setbacks and coverage requirements and receive a conditional use permit. I am following that process.

E) Explain how the proposed use will not lead to the deterioration of the environment, or ecology of the immediate vicinity, the general area, or the community as a whole.

I am using a licensed general contractor to ensure the highest quality, aesthetics, and minimal impact to the environment during construction.

Jordan Walker
Signature of Applicant

Property Owner? ☒ Y ☐ N

Date Application & \$100.00 Processing Fee received Oct 7, 2022

Received by McKinzie

Date of public hearing: Oct 27, 2022

Date application was _____ Approved _____ Denied by Planning Commission _____

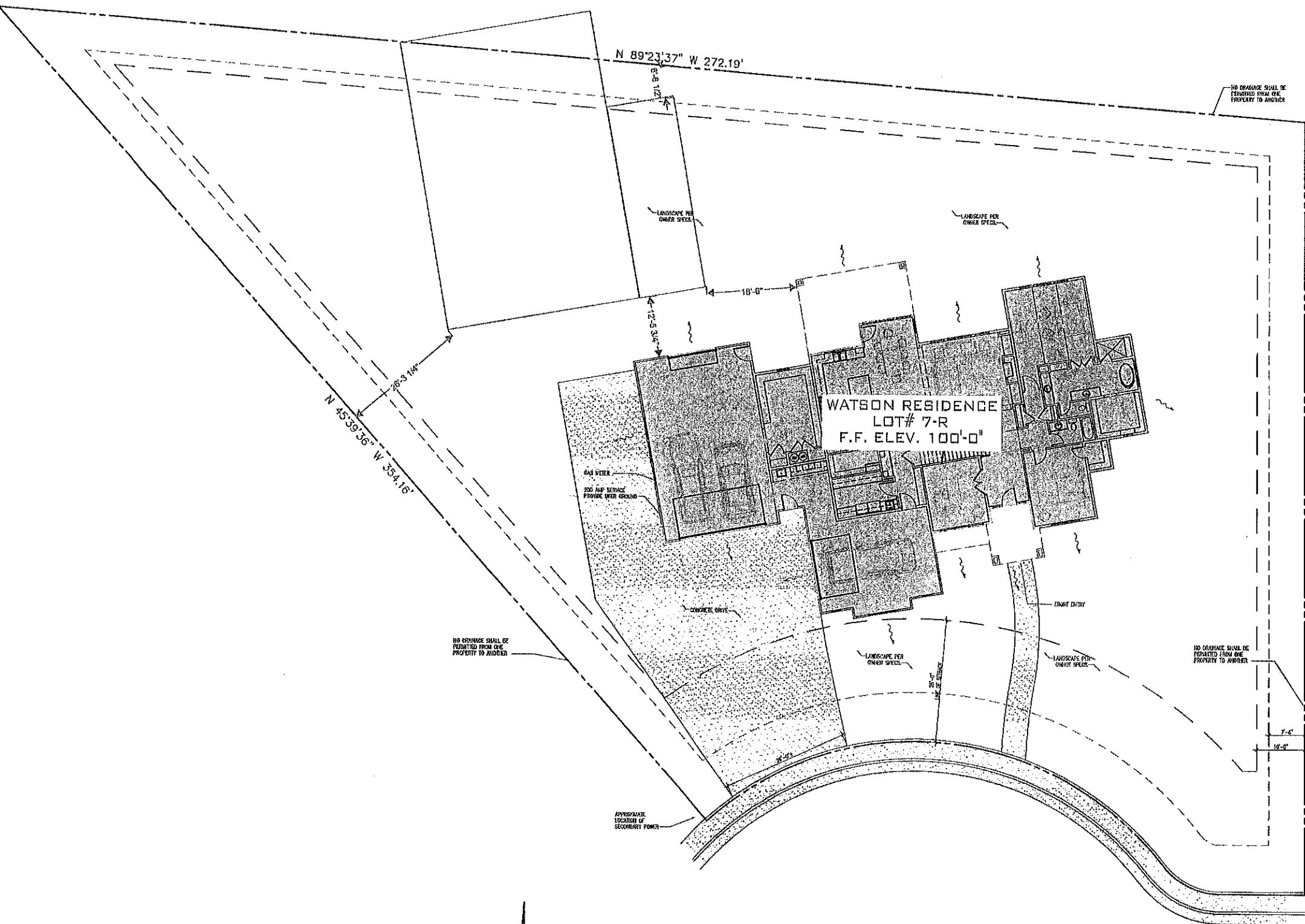
Conditions/Reasons

Date application was _____ Approved _____ Denied by City Council: _____

Conditions/Reasons

Planning Commission Chair

Mayor



SITE NOTES:

1. BEFORE CONSTRUCTION BEGINS BUILDER IS TO VERIFY LOT DIMENSIONS AGAINST THE PLAN DIMENSIONS.
2. COORDINATE, PROVIDE AND INSTALL WITH APPROPRIATE TIES AND OWNER UNDERSTANDING SEWER, POWER, TELEPHONE, CABLE TV, NATURAL GAS AND WATER LINES TO UTILITY MARKS.
3. PROPER DRAINAGE SHALL BE PROVIDED BY A LICENSED PROFESSIONAL ENGINEER.
4. DRAINAGE SHALL HAVE A MINIMUM SLOPE OF SIX INCHES PER HUNDRED FEET FOR A MINIMUM OF 10'-0" IN ALL AREAS PERVIOUS AND IMPERVIOUS INCLUDING CONCRETE SURFACES.
5. ANY SLOPE SHALL NOT BE GREATER THAN 1 VERTICAL UNIT FOR EVERY 2 HORIZONTAL UNITS. ALL SLOPE COVERS SHALL BE SET ANY GREATER SLOPE SHALL BE RETAINED AND DESIGNED BY A PROFESSIONAL.
6. THESE SHALL BE CHECKED BY A PROFESSIONAL ENGINEER TO INSURE ACCURACY OF FOUNDATION.

PROPERTY LINE

SET BACK

EASEMENT

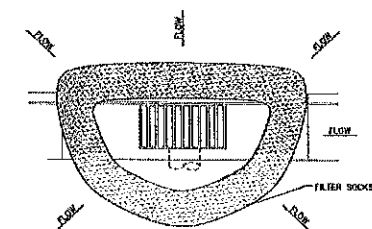
CONCRETE

BUILDING

DRAINAGE DIRECTION MINIMUM OF SIX

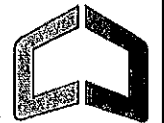
EROSION CONTROL NOTES:

1. SOIL EXPOSED IN PREPARATION OF FOUNDATION CONSTRUCTION SHALL BE STOCKPILED UNTIL A STABLE LOCATION HIT TO BE RESTORED.
2. PLACE FILTER ROCKS WITH CURB AND GUTTER ANGLES OF GRADIENT, ANCHOR FILTER ROCKS WITH ONE ENDING OF FROM THE FILL SOCK WALL AND IN EXTERIOR STORM WATER PILEST THAT MAY CAUSE SEDIMENT DUE TO TURBIDITY FROM THE SITE, DRAINAGE SHOULD BE MONITORED AS PART OF GOOD HOUSE KEEPING MEASURES.
3. CONSTRUCTION TO MAINTAIN ALL DIPS.
4. INSTALL 18-24 INCH STORM DRAIN DRAIN DOWN DRAINAGE FROM SIDE ALLEYS STREET.
5. CHECK DRAIN PROTECTION AFTER EVERY LARGE STORM EVENT AND AS A MINIMUM OF ONCE A WEEK.
6. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 1/2-1/3 OF FILTER SOCK HEIGHT.



STORM DRAIN INLET PROTECTION
NOT TO SCALE

SITE PLAN
SCALE: 1/8"=1'-0"



CREATIVE DIMENSIONS
ARCHITECTURAL DESIGN

P.O. Box 217
St. George, UT 84771
(435) 866-2228
shawna@cdarch.com

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Release Date:
22 MAR 2018

Project Number:
1808

Plan Series:
CUSTOM

HOME FOR
MR. AND MRS. WATSON
WATSON ESTATES LOT #7-R

FARR WEST, UTAH

Sheet Title:
SITE PLAN

Sheet:

SD1.1

DRAWING NOTES

DESIGN CODE: 2018 IBC.
USE GROUP: U
CONSTRUCTION TYPE VB
DESIGN CATEGORY: RISK CATEGORY I - LOW RISK

SEISMIC CRITERIA:
DESIGN CATEGORY D
SOIL SITE CLASS D (ASSUMED)
 $R = 2.5$ (LIGHT-FRAME WALLS WITH SHEAR PANELS OF ALL OTHER MATERIALS)
 $SS = 0.0g$, $S1 = 0.0g$; $SDS = 0.0g$, $SD1 = 0.0g$
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE
BASE SHEAR = 11,997 LBS

WIND LOAD:
ULTIMATE WIND DESIGN SPEED: 115 MPH 3 SEC. GUST
TERRAIN EXPOSURE C

FROST DEPTH: 30 IN
SITE ELEVATION: 4260 FT

SNOW LOAD:
GROUND SNOW LOAD: 50 PSF
ROOF DESIGN SNOW LOAD: 30 PSF

DEAD LOADS:
ROOF 4 PSF
WALLS 4 PSF

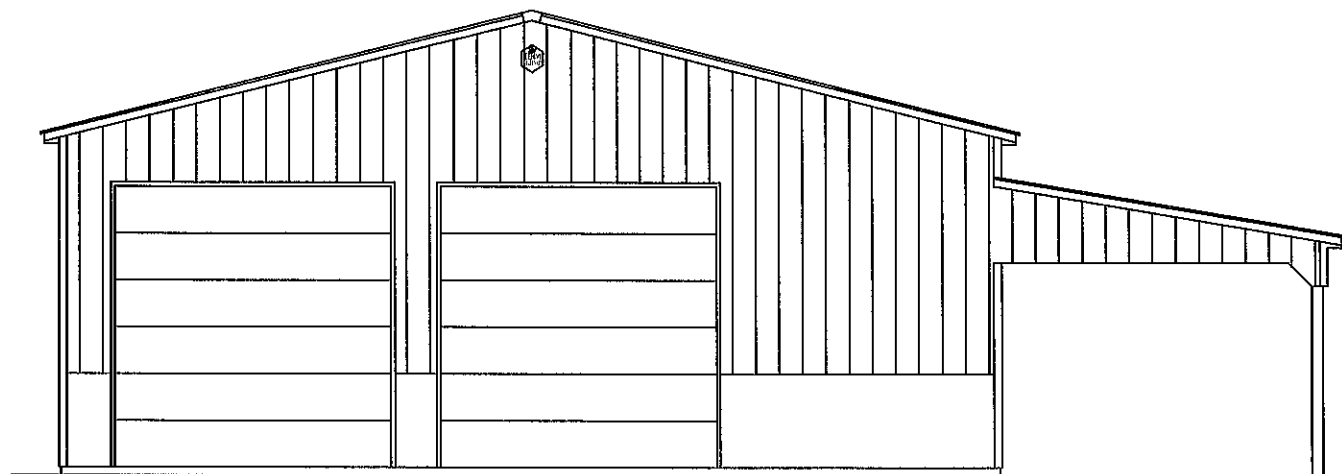
ROOF LIVE LOAD: 20 PSF

CONCRETE FOUNDATION NOTES:
1. 28 DAY STRENGTH (F'C) W/ NORMAL 145 PCF DENSITY:
1.1. FOOTINGS: 2500 PSI
1.2. SLABS ON GRADE: 2500 PSI REQ'D, 3500 PSI RECOMMEND
2. ALL SLABS: PROVIDE A MIN. THICKNESS OF 4" W/ 4" DEEP MIN. CRUSHED GRAVEL BASE.
3. CONTRACTION/CONTROL JOINTS SHALL BE INSTALLED IN SLABS ON GRADE SO THE LENGTH TO WIDTH RATIO OF THE SLAB IS NO MORE THAN 1.5:1. CONTROL JOINT SPACING SHALL NOT EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION, UNLESS OTHERWISE NOTED.
4. CONTROL JOINTS SHALL BE COMPLETED WITHIN 6-18 HOURS OF CONCRETE PLACEMENT.
5. CONTROL JOINTS SHALL BE TOOLED OR SAWED TO THE GREATER DEPTH OF 1" DEEP OR 1/4 THICKNESS OF CONCRETE SLAB.

SOILS AND EXCAVATION:
6. NO SOILS REPORT PROVIDED - STABLE SOIL CHARACTERISTICS ASSUMED. ALL DESIGN WAS BASED ON STABLE SOIL CHARACTERISTICS. GEOTECHNICAL HAZARDS FOUND ON OR AROUND THE SITE, INCLUDING EXPANSIVE CLAYS, OR SOILS FOUND AT THE SITE WHILE EXCAVATION OCCURS WHICH DIFFERS FROM THOSE ASSUMED SHOULD BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND ENGINEER.
7. ALLOWABLE BEARING PRESSURE: 1500 PSF
8. NATIVE MATERIAL SURROUNDING FOOTINGS TO BE DISTURBED MINIMALLY DURING EXCAVATION.
9. FOOTINGS SHALL BE PLACED ENTIRELY IN UNDISTURBED NATIVE SOILS OR STRUCTURAL FILL WHICH IS BEARING ON UNDISTURBED NATIVE SOILS.
10. ALL BACKFILLING SHALL BE DONE WITH GRANULAR FREE-DRAINING MATERIAL. EXISTING SITE MATERIAL MAY BE USED IF FREE FROM CLAY SOILS AND ANY CONSTRUCTION DEBRIS. COMPACT ALL BACKFILL MATERIAL IN 8 INCH LIFTS TO 95% OF MODIFIED PROCTOR DENSITY.
11. SLOPE FINISHED GROUND AWAY FROM THE BUILDING A MINIMUM OF 6 INCHES VERTICAL IN 10 FEET HORIZONTAL.

BEEHIVE BUILDINGS

JORDAN WATSON BUILDING



BUILDING INFORMATION

SITE INFORMATION:

ADDRESS:
1634 W 1850 N
FARR WEST, UTAH

BUILDING INFORMATION:

DIMENSIONS: 40' x 60' x 14'-6"
TOTAL SQUARE FOOTAGE: 2960 S.F.
MAIN BUILDING: 2400 S.F.
LEANS: 560 S.F.

CONTRACTOR

BEEHIVE BUILDINGS

CONTACT: GARRETT NICHOLS
GARRETT@BEEHIVEBUILDINGS.COM
PHONE: 801-529-4222



DRAFTING & ENGINEERING

MOUNTAIN POINT ENGINEERING

CONTACT: DEREK LLOYD
DEREK@MOUNTAINPOINTENGINEERING.COM
PHONE: 801-450-5332



DRAWING INDEX

SHEET	DESCRIPTION
00	COVER SHEET
01	FOUNDATION PLAN
02	FLOOR PLAN
03	ROOF PLAN
04	ELEVATIONS
05	GIRT PLAN
06	PANEL LAYOUT
07-09	DETAIL SHEETS

PRELIMINARY
NOT FOR PERMIT

ENGINEER STAMP

DATE

09/26/2022

PRELIMINARY
NOT FOR PERMIT

ENGINEER STAMP



ELEVATIONS

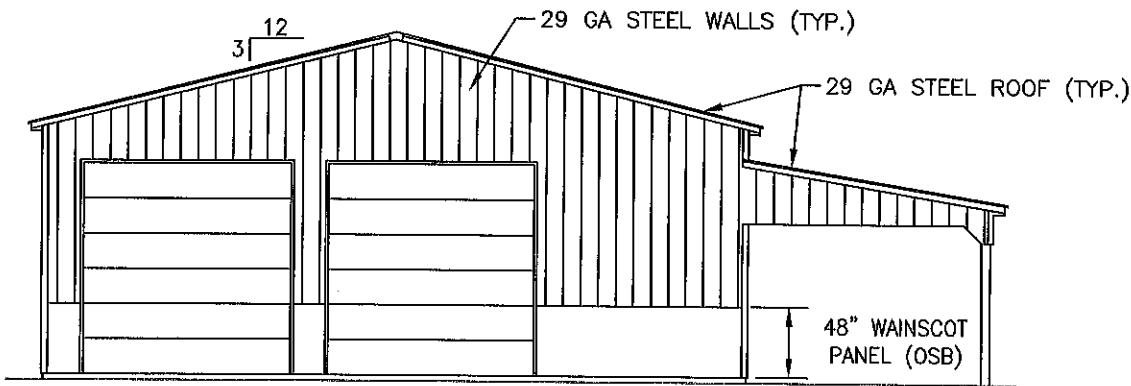
JORDAN WATSON BUILDING
FARR WEST, UTAH

PROJECT
B340

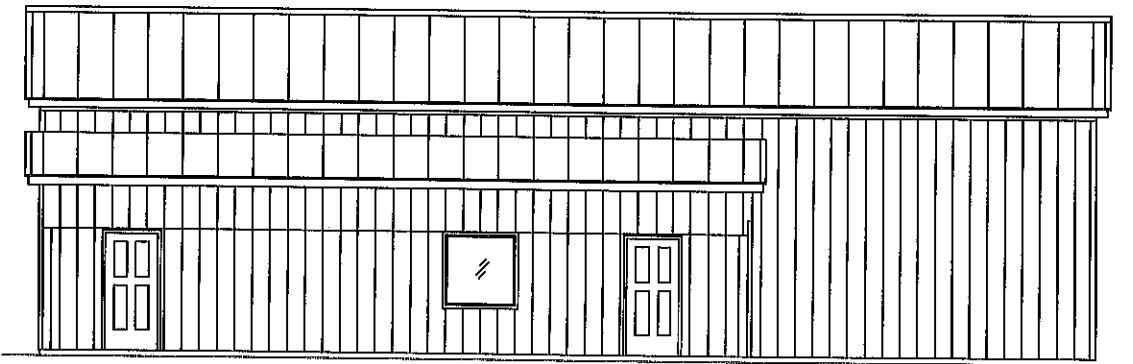
SCALE
3/32" = 1'-0"

DATE
09/26/2022

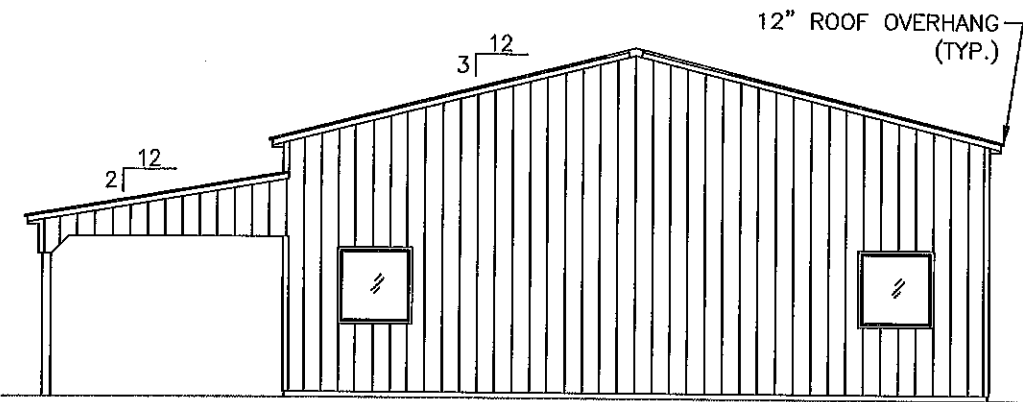
SHEET
04



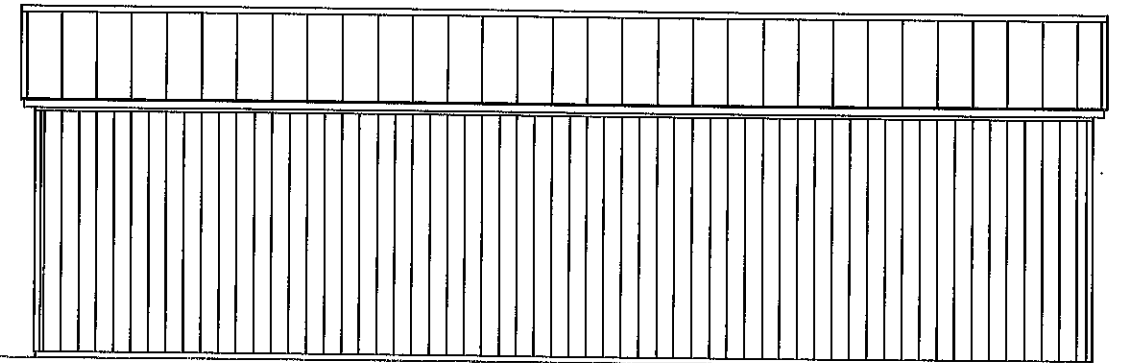
GABLE END ELEVATION - SOUTH



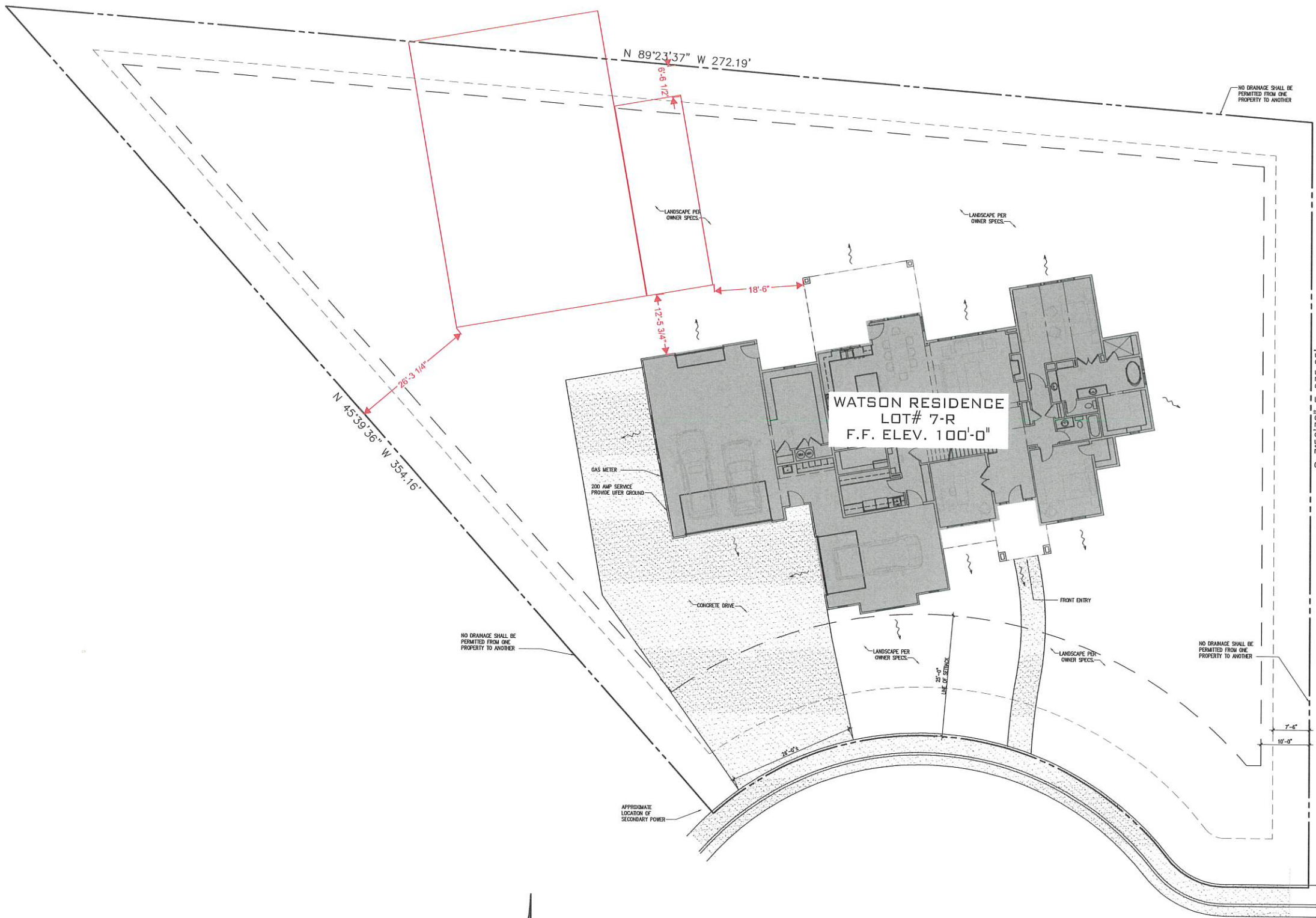
SIDE ELEVATION - EAST



GABLE END ELEVATION - NORTH



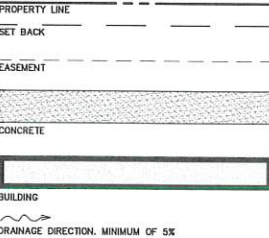
SIDE ELEVATION - WEST



SITE PLAN
SCALE: 1/8"=1'-0"

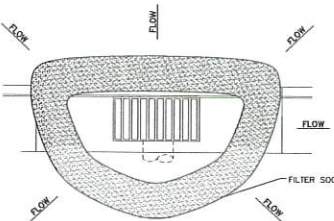
SITE NOTES:

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5. ANY SLOPE SHALL NOT BE GREATER THAN 1 VERTICAL UNIT FOR EVERY 2 HORIZONTAL UNITS. ALL LOCAL CODES SHALL BE MET. ANY GREATER SLOPE SHALL BE RETAINED AND DESIGNED BY A PROFESSIONAL.
6. HOME SHALL BE STAKED BY A PROFESSIONAL SURVEYOR TO INSURE ACCURACY OF FOUNDATION.



EROSION CONTROL NOTES:

1. SOIL EXCAVATED IN PREPARATION OF FOUNDATION CONSTRUCTION SHALL BE STOCKPILED ONCE AT A SECURE LOCATION NOT TO BE DISTURBED.
2. PLACE FILTER SOCKS WITHIN CURB AND GUTTER ANGLED UP GRADIENT. ANCHOR FILTER SOCKS WITH ONE SANDING OF EACH END. THE FILLED SOCK WILL ADD IN FILTERING STORM WATER RUNOFF THAT MAY CONTAIN SEDIMENT DUE TO TRACKING FROM THE SITE. TRACKING SHOULD BE MAINTAINED AS PART OF GOOD HOUSE KEEPING MEASURES.
3. CONTRACTOR TO MAINTAIN ALL BMP'S.
4. INSTALL IP-W BMP AT NEAREST STORM DRAIN INLET DOWN GRADIENT FROM SITE ALONG STREET.
5. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT A MINIMUM OF ONCE A WEEK.
6. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 1/3-1/2 OF FILTER SOCK HEIGHT.



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NOT TO SCALE



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