



**CITY COUNCIL MEETING
OF THE CITY OF CEDAR HILLS
Tuesday, November 15, 2022 6:00 p.m.
PLEASE NOTE EARLIER START TIME**

Notice is hereby given that the City Council of the City of Cedar Hills, Utah, will hold a **City Council Meeting on Tuesday, November 15, 2022, beginning at 6:00 p.m.** at the Community Recreation Center, 10640 N Clubhouse Drive, Cedar Hills, Utah. This is a public meeting, and anyone is invited to attend.

COUNCIL MEETING

1. Call to Order, Pledge led by C. Smith and Invocation given by C. McEwen
2. Approval of Meeting's Agenda
3. Public Comment: Time has been set aside for the public to express their ideas, concerns, and comments (comments limited to 3 minutes per person with a total of 30 minutes for this item)

REPORTS/PRESENTATIONS/RECOGNITIONS

4. Presentation – UDOT, Robert Clayton

CONSENT AGENDA (Consent items are only those which require no further discussion or are routine in nature. All items on the Consent Agenda are adopted by a single motion)

5. Approval of the minutes from the September 29, 2022 Special City Council meeting and the October 4, 2022 City Council meeting.

CITY REPORTS AND BUSINESS

6. City Manager
7. Mayor and Council

SCHEDULED ITEMS & PUBLIC HEARINGS

8. Review/Action and Public Hearing on Preliminary Plan approval for Starbucks located at 9946 North 4800 West in the SC-1 Commercial Zone
9. Discussion on Future Capital Projects, Heritage Park, Golf and Recreation Center Improvements
10. Discussion on Eric Dowdle Commissioned Artwork for the City of Cedar Hills
11. Review/Action and Public Hearing on a Resolution adopting Fiscal Year 2023 Budget Amendments
12. Review/Action on a Resolution adopting the Water Conservation Plan
13. Discussion on City Sign Ordinance
14. Discussion on amendments to the City's General Plan Land Use Element

ADJOURNMENT

15. Adjourn

Posted this 10th day of November, 2022

/s/ Colleen A. Mulvey, City Recorder

- Supporting documentation for this agenda is posted on the city website at www.cedarhills.org.
- In accordance with the Americans with Disabilities Act, the City of Cedar Hills will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by contacting the City Recorder at 801-785-9668 at least 48 hours in advance of the meeting.
- A Closed Session may be called to order pursuant to Utah State Code 52-4-204 & 52-4-205.
- The order of agenda items may change to accommodate the needs of the City Council, the staff, and the public.
- This meeting may be held electronically to permit one or more of the council members or staff to participate.



PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

Please remember all public meetings and public hearings are recorded

- All comments **must** be recognized by the Chairperson and addressed through the microphone.
- Please do not approach the Council/Commission dais without permission from the Chairperson.
- When speaking to the Council / Planning Commission, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversation with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction of the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, electronic devices or other noise making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length and avoiding repetition of what has already been said. Individuals may be limited to three minutes and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the area outside the council room to talk as it can be very noisy and disruptive. If you must carry on conversation in this area, please be as quiet as possible. (The doors must remain open during a public meeting/hearing.)

Public Hearing v. Public Meeting:

If the agenda item is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.



The City of Cedar Hills

TO:	Mayor and City Council
FROM:	Chandler Goodwin, City Manager
DATE:	November 15, 2022

SUBJECT:	Review/Action and Public Hearing on Preliminary Plan approval for Starbucks Coffeehouse located at 9946 North 4800 West in the SC-1 Commercial Zone
APPLICANT PRESENTATION:	Charlie Openshaw
STAFF PRESENTATION:	Chandler Goodwin, City Manager

BACKGROUND AND FINDINGS:

The owner of Lot 2, 9946 N 4800 W, of the Cedar Hills Gateway Subdivision, has submitted plans for a Starbucks Coffeehouse. The preliminary plans include a drive-thru that is capable of stacking eleven cars and an additional twenty-five parking stalls, including two ADA compliant stalls. The site plan shows a patio area for consumers and 26% of the site as landscaped improvements. Staff has submitted the proposal to the City Engineer for review, their comments have been passed along to the developer. Planning Commission gave a positive recommendation as part of their September meeting.

PREVIOUS LEGISLATIVE ACTION:

Planning Commission gave a positive recommendation as part of their September meeting.

FISCAL IMPACT:

n/a

SUPPORTING DOCUMENTS:

Starbucks Coffeehouse site plan and elevations.

RECOMMENDATION:

Staff recommends that the City Council approve the preliminary plans.

MOTION:

To approve/not approve the preliminary plan for the Starbucks Coffeehouse, located at 9946 N 4800 West, Cedar Hills, Lot 2 of the Cedar Hills Gateway Subdivision, subject to the following conditions:

- Final engineering review
- Final zoning review
- Submission of an approved landscaping plan
- Demonstrate the intent to convey water rights to the City

{LIST ANY ADDITIONAL CONDITIONS OF APPROVAL}

ACTION:

Motion:

Second:

Laura Ellison: Yes No Abstain Absent

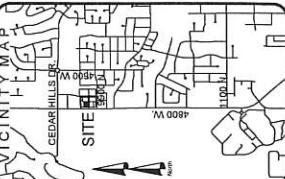
Mike Geddes: Yes No Abstain Absent

Alexandra McEwen: Yes No Abstain Absent

Brian Miller: Yes No Abstain Absent

Kelly Smith: Yes No Abstain Absent

CE²DA² HIL^S GATEWAY PLAT "B": PHASE 2, LOT 2 - STARBUCKS COFFEEHOUSE



A.L.M. & Associates, Inc.
Engineering - Surveying - Development - Planning

22

COVER SHEET

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CEDAR HILLS GATEWAY PLAT "B", PHASE 2, LOT 2 - STARBUCKS DEMO PLAN

ALM

ALM & ASSOCIATES, INC.

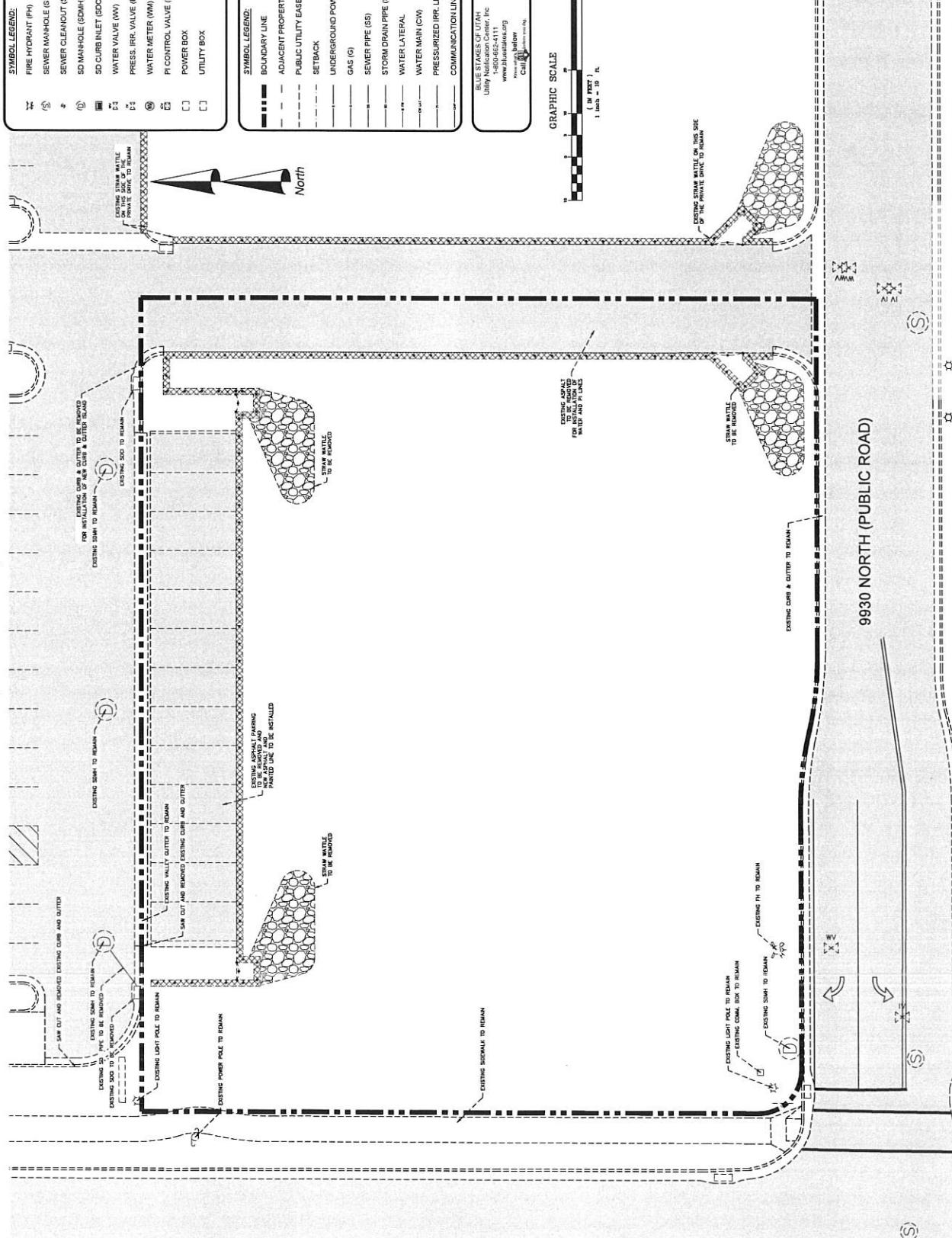
2230 North University Parkway, Building 6D, Provo, Utah 84604 ph: (801) 374-1262



DEMO PLAN
OPENSHAW DEVELOPMENT
Cedar Hills Gateway, Plat "B", Phase 2, Lot 2

Notes	Revisions	Date
		559-2102

C2.1

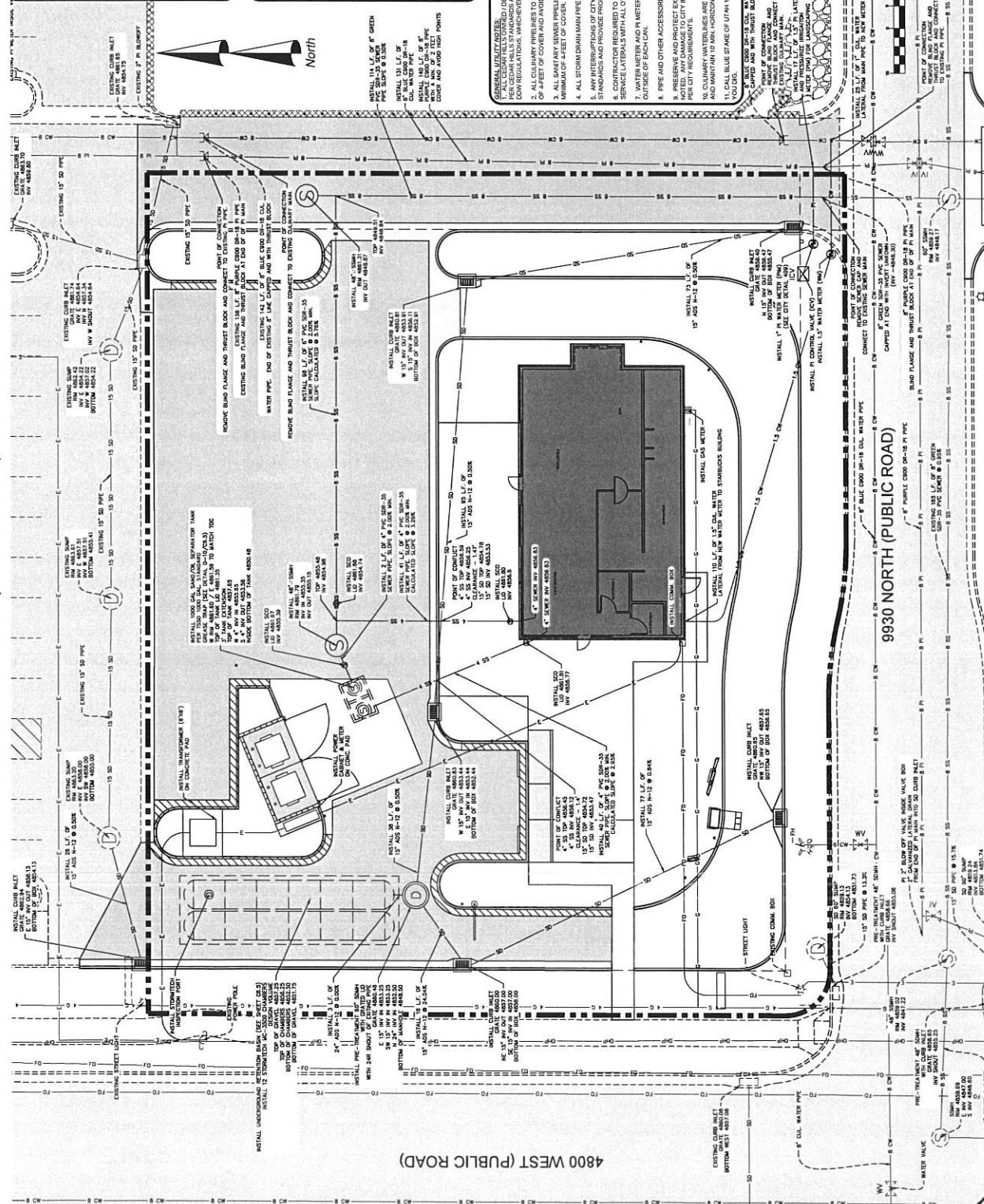


4800 WEST (PUBLIC ROAD)

W

S

CEDAR HILLS GATEWAY PLAT "B", PHASE 2, LOT 2 - STARBUCKS UTILITY PLAN



CEDAR HILLS GATEWAY PLAT "B": PHASE 2, LOT 2 - STARBUCKS GRADING & DRAINAGE PLAN



Engineering · Surveying · Development · Planning
80 North University Parkway, Building 6D, Provo, Utah 84604 ph: (801) 374-6262

21

GRADING & DRAINAGE PLAN

OPENSHAW DEVELOPMENT

Cedar Hills Galerway, Plat "B", Phase 2, Lot 1

C4.0
559 - 2192

C4.0

2-STARBUCKS SWPPP
LOT 2 - STARBUCKS SWPPP

BENCHMARK ELEV: 4866.44'
WEST 1/4 CORNER OF SECTION 6,
T5S, R2E, S.L.B. & M.

• 1499 - 4 0007201-999 DMU 2001-055

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A.L.M. & Associates, Inc.
Engineering • Surveying • Development • Planning
2220 North University Parkway, Building D3, Phoenix, Utah 85041 ph: (801) 374-6262

CWM	BMP: Inlet Protection	IP	BMP: Inlet Protection Curb	IPC	BMP: Portable Toilets	BMP: Inlet Protection	BMP: Concrete Waste Management



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Engineering • Surveying • Development • Planning
2320 North University Parkway, Building 5D, Provo, Utah 84604 (801) 374-6262

P-553-1937.DWG|553-1937-C3D.DWG 08 NOV 2022 5:01am



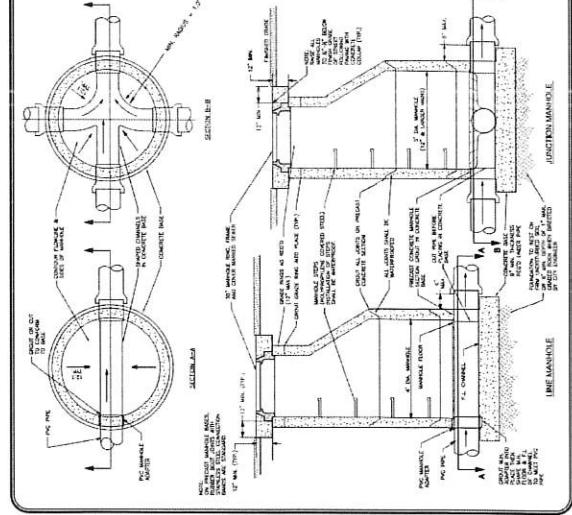
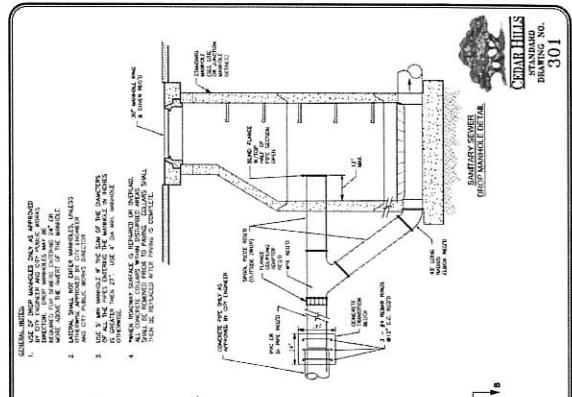
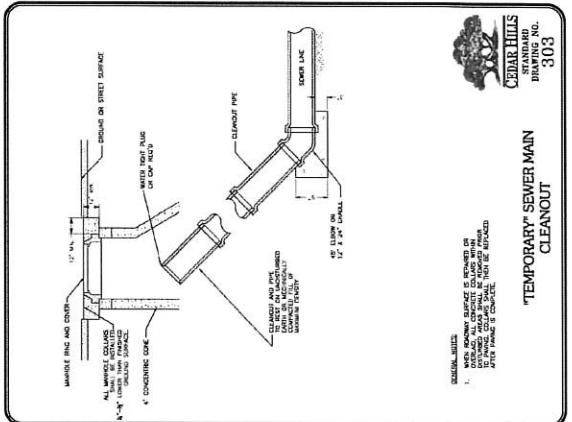
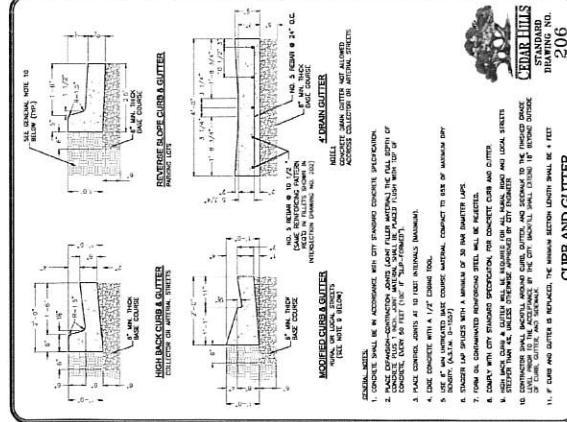
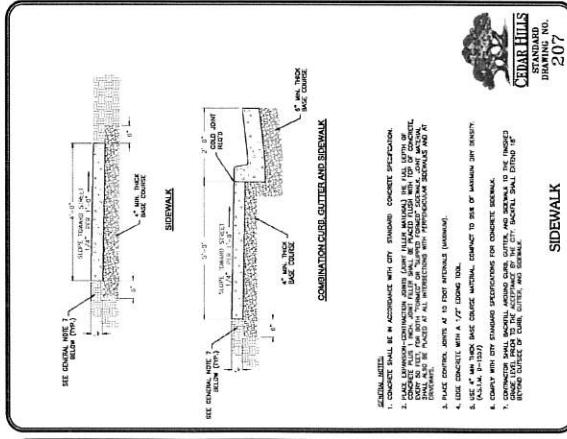
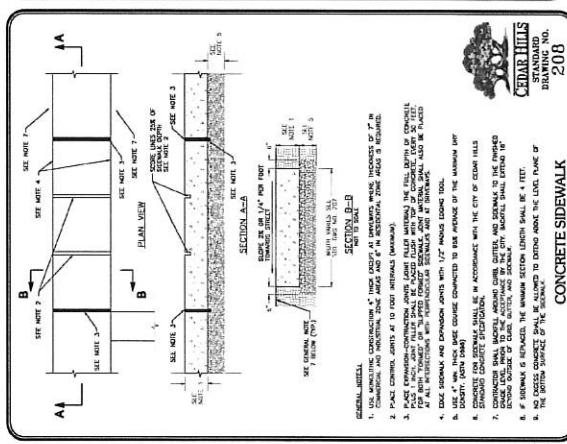
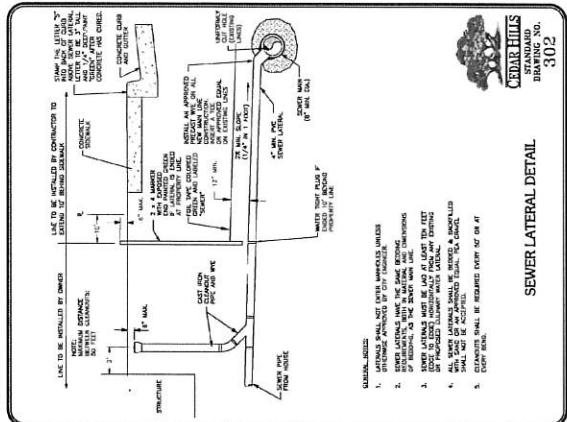
A.L.M. & ASSOCIATES, Inc.

HOME 1075, TRADE C-1, DIRECT, SPARES, EQUIPMENT, ETC., WIRE, ONE TELEPHONE # 5177
TELEGRAPH TO STYLIN' GUITARS, TELEGRAMS AVAILABLE, ONE TELEPHONE # 5177
LAWRENCE CITY, KANSAS. DIRECT, SPARES, EQUIPMENT, ETC., WIRE, TELEPHONE # 5177
TELEGRAPH, TELEGRAMS AVAILABLE, ONE TELEPHONE # 5177

CITY DETAILS

100

C6.0
559-2192
SERIES





A.L.M.

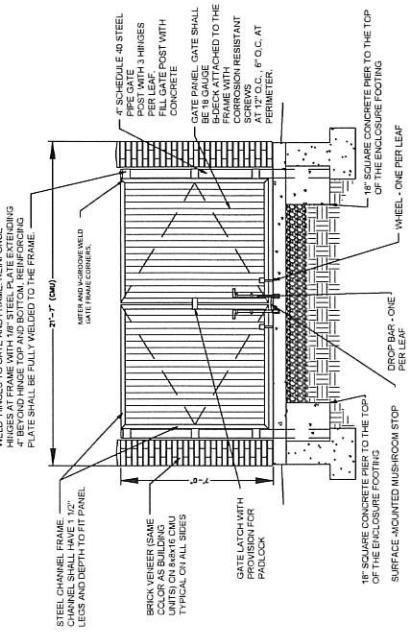
& ASSOCIATES

Engineering - Surveying - Development - Planning



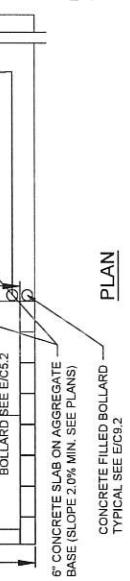
ALM & ASSOCIATES, INC.

P-169-1037-DWG-559-1537-C00-049 pg. 06 Rev. 2022 5-025



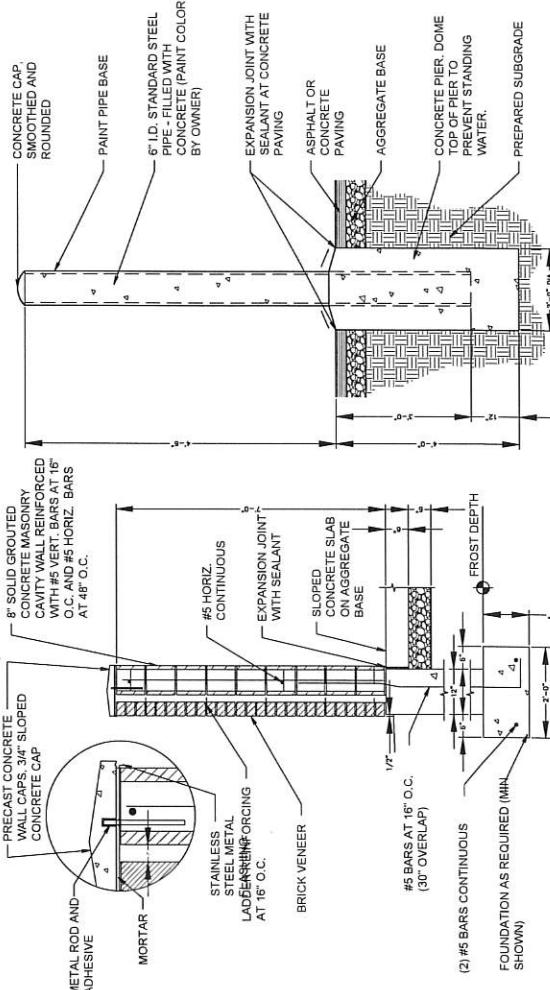
MASONRY GATE ENCLOSURE

B N.T.S.



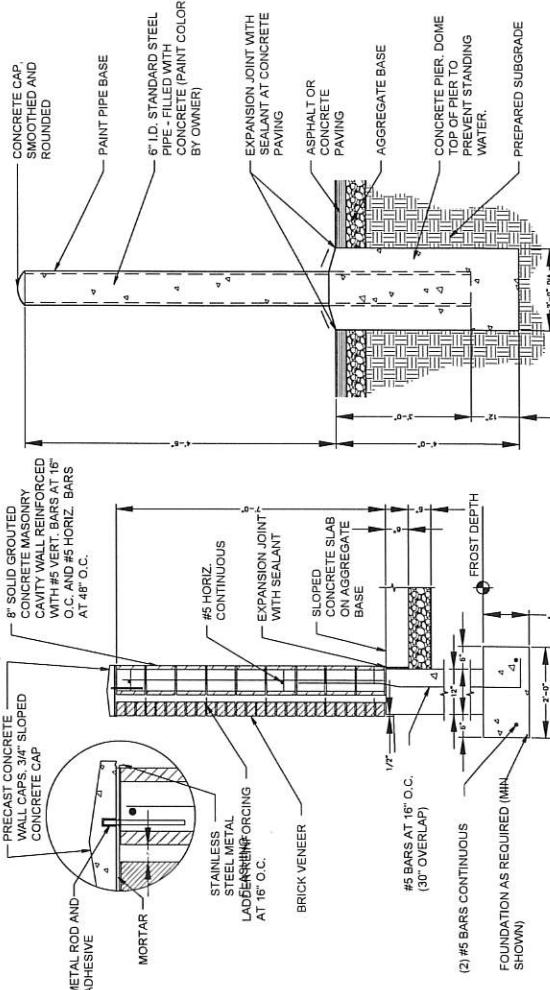
MASONRY DUMPSTER ENCLOSURE

A N.T.S.



DUMPSTER PAD SECTION

D N.T.S.



MASONRY DUMPSTER ENCLOSURE

C N.T.S.

CONCRETE BOLLARD

E N.T.S.

OPENSHAW DEVELOPMENT

C6.2

559-2192

Page #

Rev. #

Date

No.

Revision

Date

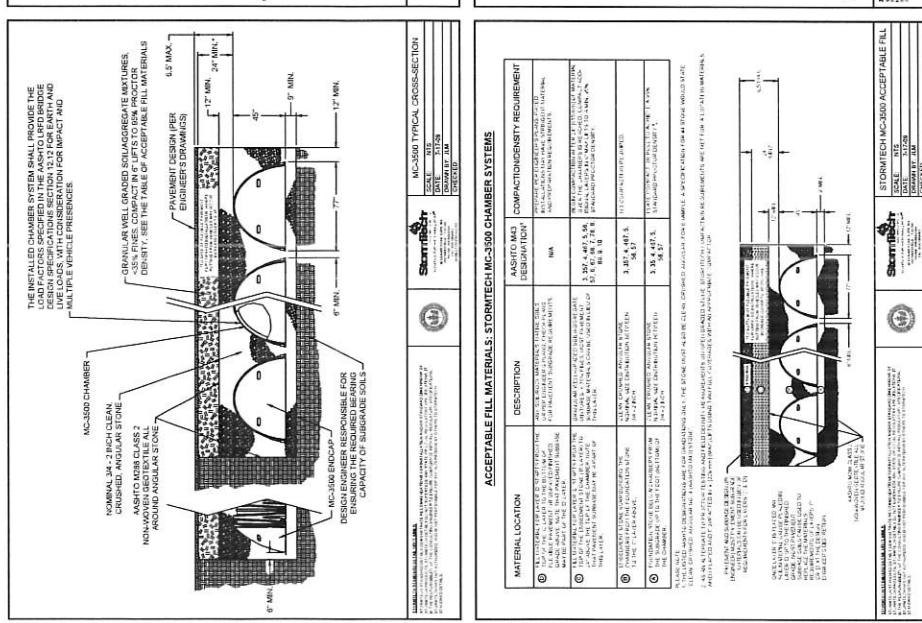
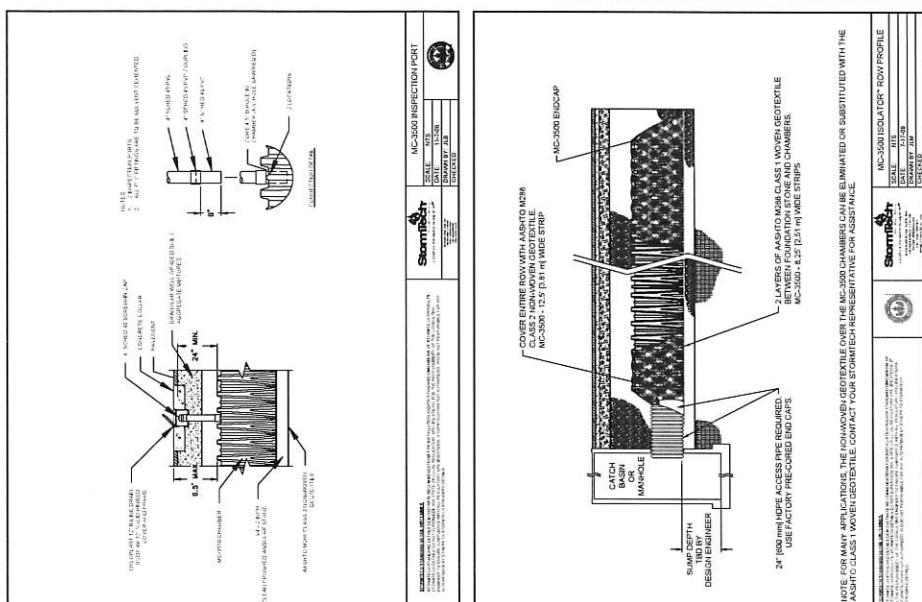
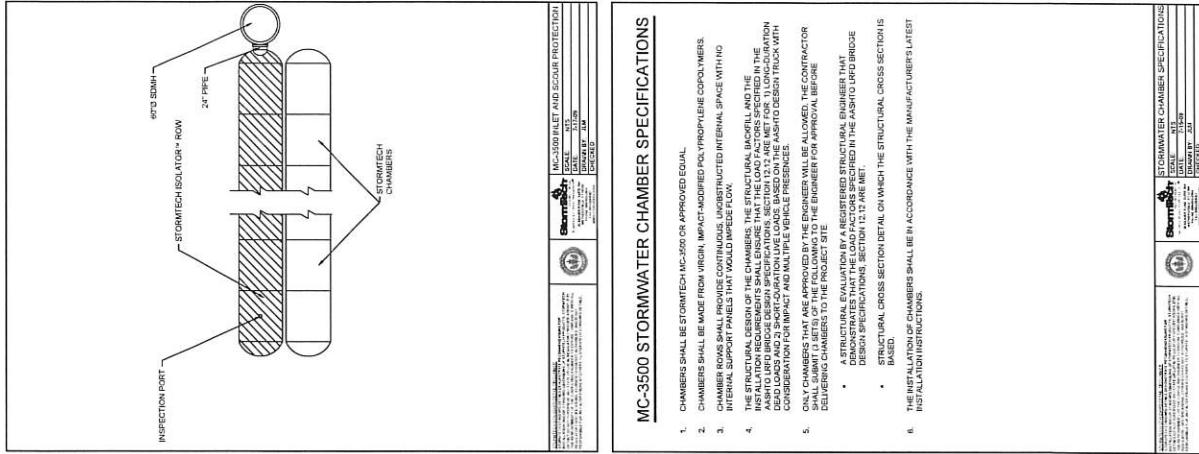


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2230 North University Parkway, Building 6B, Provo, Utah 84604 ph: (801) 374-6252

OPENSHAW DEVELOPMENT
Cedar Hills Gateway, Plot B, Phase 2, Lot 12
SD STORM TECH DETAILS

C65
No. Revision Date
558-1027





DESIGN GROUP
3107 North Canyon Road

NOT FOR
CONSTRUCTION
REVIEW SET

NOT FOR CONSTRUCTION - 10% REVIEW SET

PROJECT
OWNER NAME
ADDRESS

Revision Date Revision Number

PROJECT NO.	W2-2124
DATE	3/15/22
DRAWN BY	DW
CHECKED BY	SW

A-9.01

The image shows a detailed architectural rendering of a Starbucks building facade. The facade is made of light-colored brick and features large windows with dark frames. A circular Starbucks logo is visible on the left side. The rendering includes callouts labeled A through G, each pointing to a specific feature: A points to the base of the building; B points to a circular logo on the ground level; C points to a window on the ground level; D points to a window on the upper level; E points to a window on the upper level; F points to a window on the upper level; and G points to a window on the upper level. To the right of the building, height dimensions are provided: 'TO PARAPET 18'-0"', 'TO STOREFRONT 10'-0"', and 'MAIN LEVEL'.

Elevation 4 - a
SCALE: 1/2" = 1'-0"
Elevation 2 - a
SCALE: 1/2" = 1'-0"



The City of Cedar Hills

TO:	Mayor and City Council
FROM:	Chandler Goodwin, City Manager
DATE:	11/15/2022

SUBJECT:	Heritage Park, Golf Short Course fencing, Event Center Landscaping
APPLICANT PRESENTATION:	n/a
STAFF PRESENTATION:	Charl Louw, Finance Director

BACKGROUND AND FINDINGS:

The City staff will present some concepts of toddler playground equipment at Heritage Park, safety fencing at the Golf course, and landscaping/decking updates.

PREVIOUS LEGISLATIVE ACTION:**FISCAL IMPACT:**

The city has set aside funding for Heritage Park improvements. The 2-5 age group/toddler portion of the playground is in the concept phase. Earthscapeplay provided the equipment for the 5-12 age playground. Staff is presenting equipment with materials that complement the older children's design.

The city staff propose using higher than budgeted revenues from golf to pay for golf improvements. Wade Doyle and Greg Gordon have been working pricing and layouts for safety fencing near the 18th tees, which would help prevent balls from landing on the short course.

They have also worked with the Architectural Coalition to add seating west of the pro shop for tournaments.

SUPPORTING DOCUMENTS:

See attached presentation of concepts.

RECOMMENDATION:

Staff recommends the City Council review the concepts and share feedback to staff.

MOTION:

No motion.

ACTION: No action

Motion:

Second:

Laura Ellison: Yes No Abstain Absent

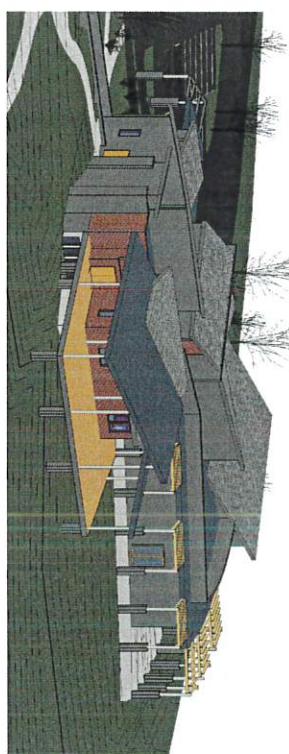
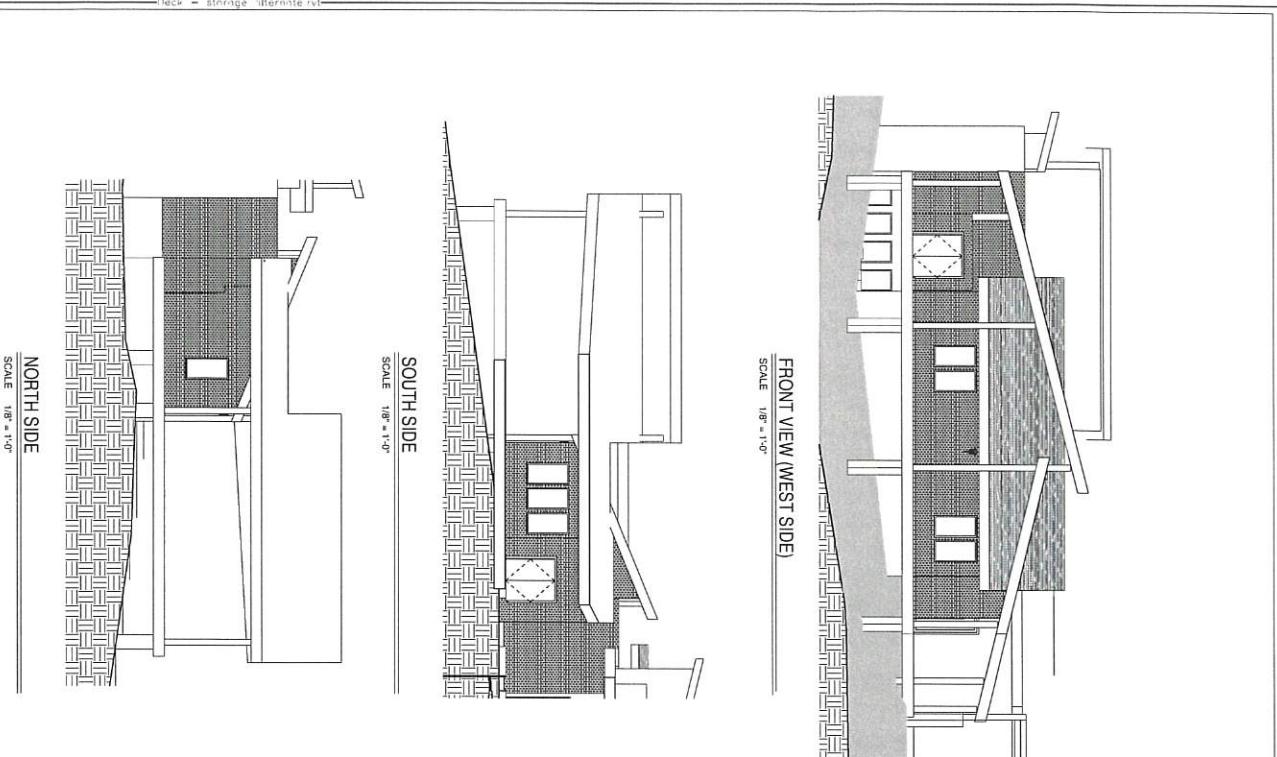
Mike Geddes: Yes No Abstain Absent

Alexandra McEwen: Yes No Abstain Absent

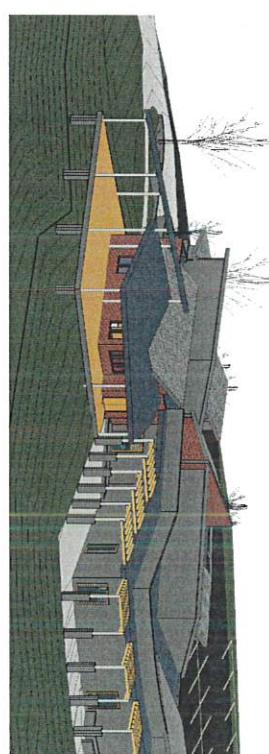
Brian Miller: Yes No Abstain Absent

Kelly Smith: Yes No Abstain Absent

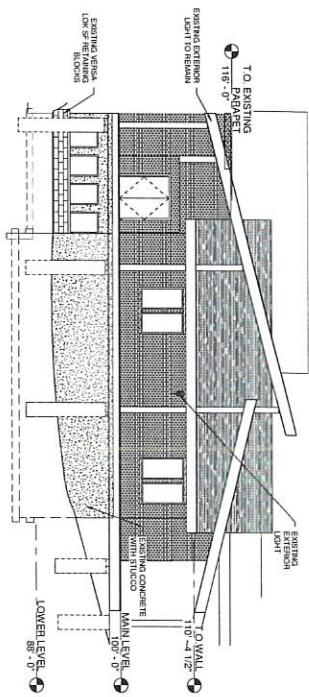




ISOMETRIC BRIDSEYE SW



SCALE 1'8" = 1'-0"



A NEW DECK FOR CEDAR HILLS
COMMUNITY RECREATION CENTER

A-2.1

A NEW DECK FOR CEDAR HILLS
COMMUNITY RECREATION CENTER

A circular stamp with the text "AUSTRALIAN QUALITY COUNCIL" around the top edge. In the center, it says "ACCREDITED" at the top, "10/21/2020" in the middle, and "AUSTRALIAN QUALITY CHARTER" at the bottom.

10

ARCHITECTURAL COALITION

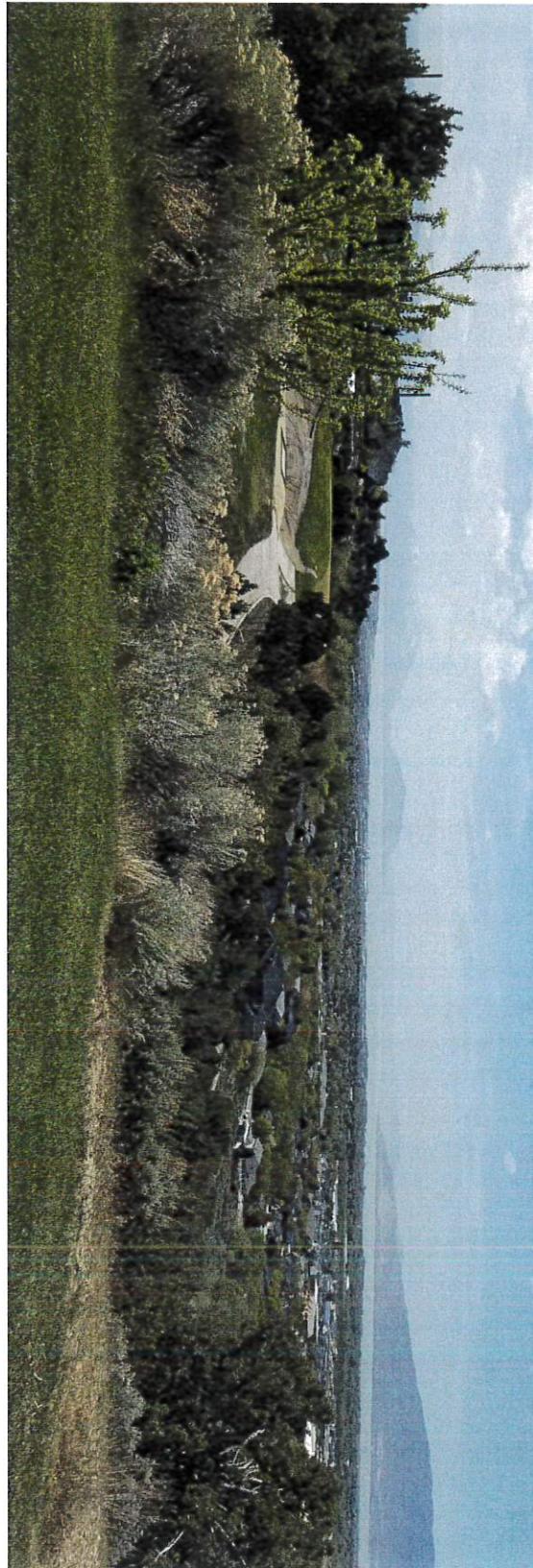
REVISIONS
L'AIE
04/08/2013

CEDAR HILLS CLUB HOUSE



CEDAR HILLS CLUB HOUSE

PKJ Design Group
DESIGN GROUP
Landscape Architecture + Planning
Landscaping • Irrigation • Construction
Planning • Design • Construction

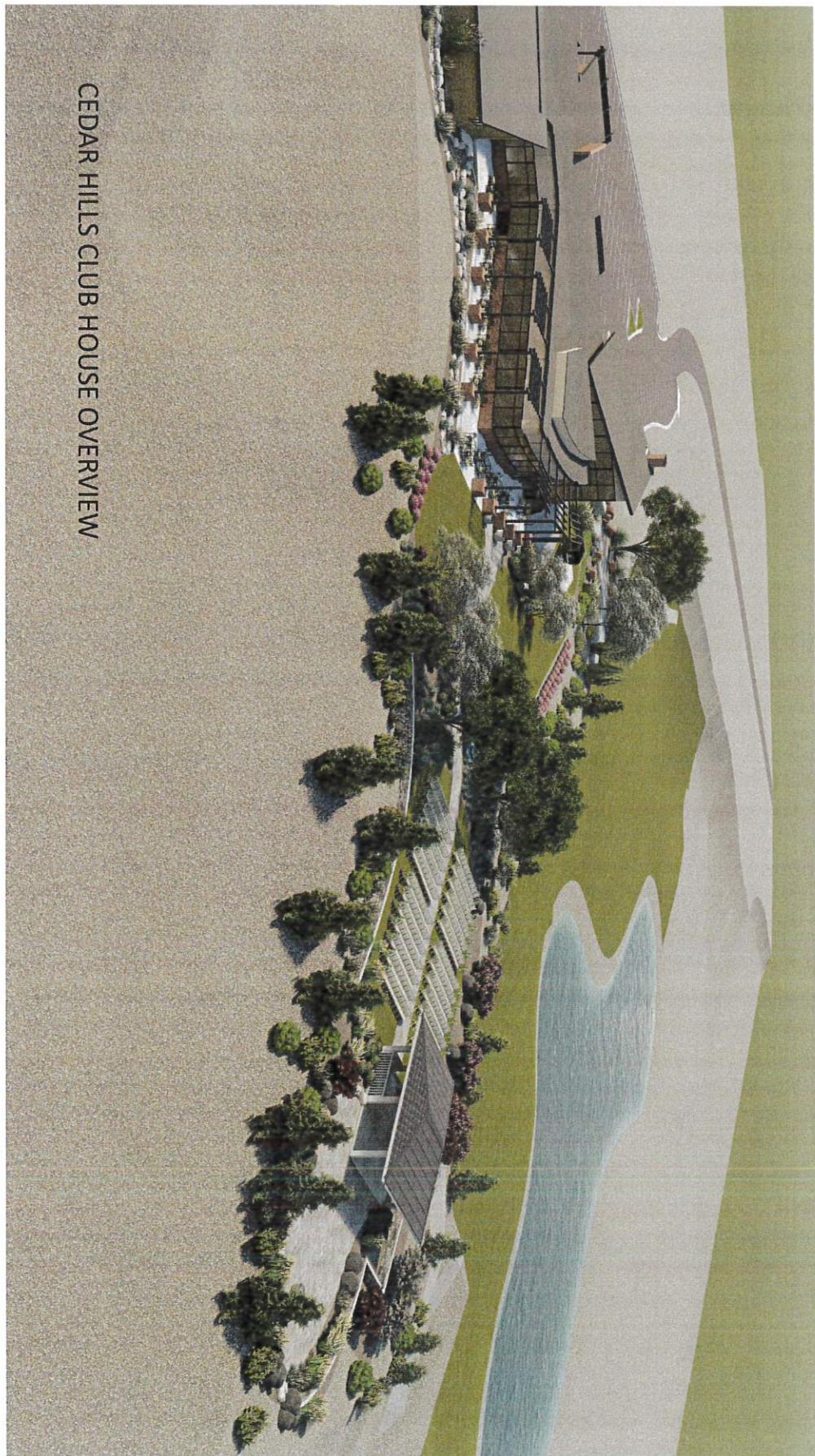


CEDAR HILLS CLUB HOUSE



PRELIMINARY SPATIAL ANALYSIS SKETCHES. SEE
PLAN FOR FINAL MATERIALS APPROVED BY OWNER.

1. Parking entrance
2. Ramp and food truck parking
3. Bride staging
4. Pavilion and seating
5. Firepit
6. Dry riverbed



CEDAR HILLS CLUB HOUSE OVERVIEW

Parking Entrance

The parking lot entrance begins the creation of a secluded venue. A driveway surrounded by water-wise plants leads to a parking area for food trucks.

The large utility boxes are hidden by grasses that allow easy access when needed, but until then camouflage them from view.

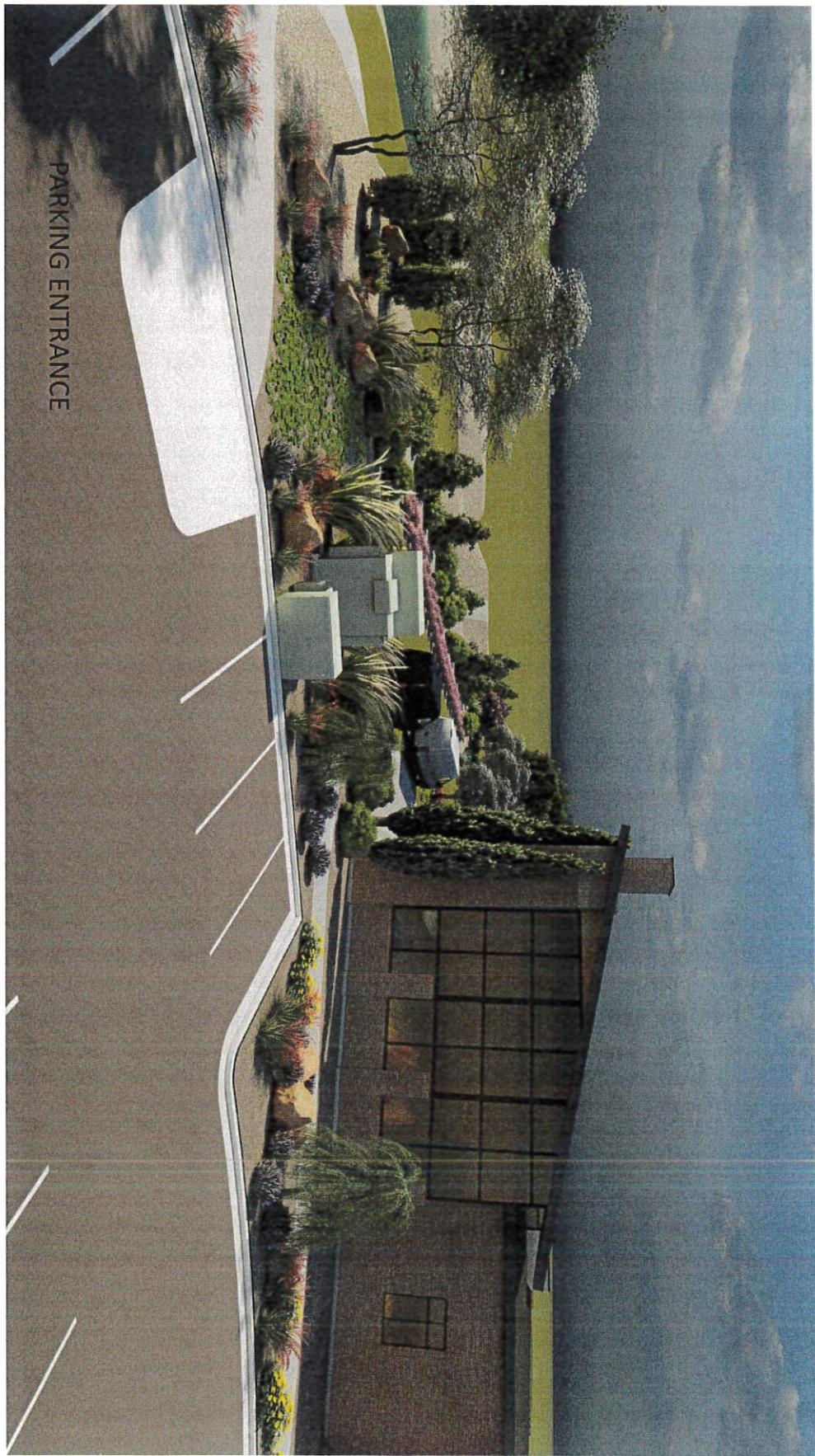
Low growing plants enliven the area, but do not block the front windows and offer multiple seasons of interest.

The landscape recognizes the surrounding hills by adding many plants that currently exist there, joining with other water wise plants to enlarge the plant pallet and add seasonal beauty.

Where the driveway begins, creeping thyme covers a portion of the drive which can be driven over by food trucks on occasion.



Preliminary in concept. Refer to final plan for owner approved layout and materials.









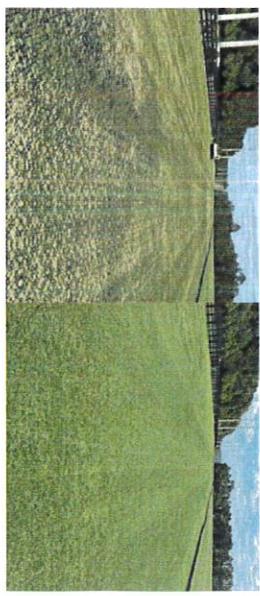
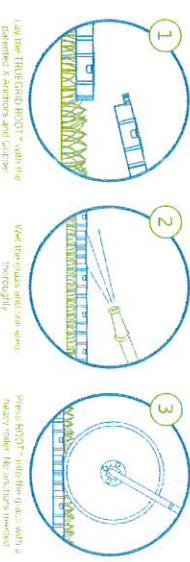
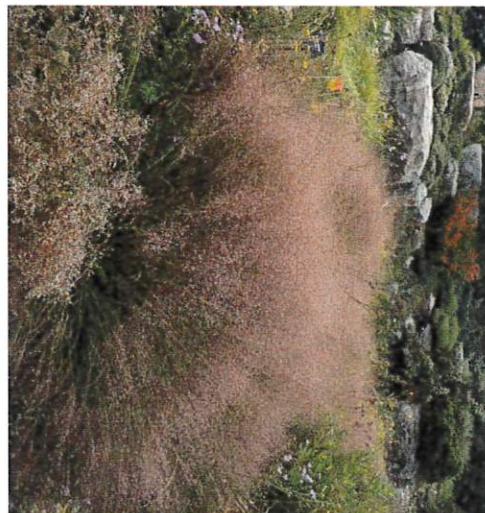
Ramp & Food Truck Parking

A grass paving system installed over the sod makes driving vehicles on top of the lawn possible without compaction or other damage.

The overlook into the golf course is bordered by Ruby Muhly Grass that when touched by afternoon or morning light will shimmer shades of red and pink. A few Joe's Bess Bristlecone Pines back the ornamental grasses and transition to a more natural landscape as the hills descends.

These plantings are intended to stop low flying golf balls.

Adjacent to the parking area is the ADA ramp which now has defined planters softening the defined planters softening the look.



Preliminary in concept. Refer to final plan for owner approved layout and materials.









Bride Staging Grove in Trees

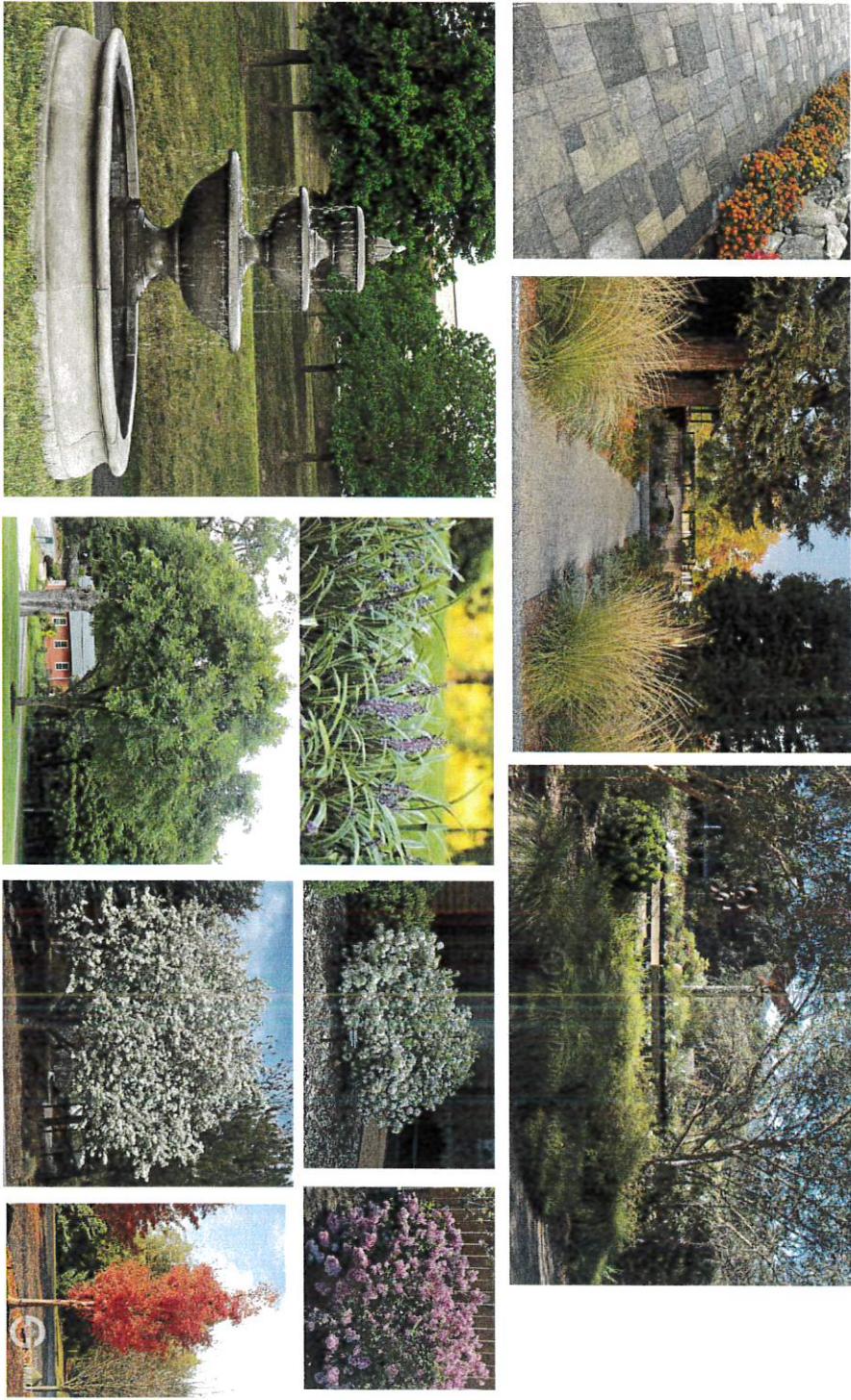
This grand entry for the bride separates the main building from the wedding/reception area so there is no impact from loud speakers or other events.

Filled with trees, shrubs, grasses, and perennials it offers seclusion and inspiration for guests. The addition of a water fountain offers gentle sound and ambience.

There is seasonal color and texture, depth and breadth that provides high interest and low maintenance.

The meandering path from the Vista room to the pavilion is made of pavers providing a hard surface for walking so the bride or guests won't get high heels stuck in the ground.

The bride can emerge from the grove and make her walk down the alley.



Preliminary in concept. Refer to final plan for owner approved layout and materials.











PKJ Design Group
Landscape Architecture + Planning









Pavilion & Seating

The seating area has been enlarged to accommodate more people and is constructed of the same grass paving system as the food truck area.

A new pavilion has been moved back away from the range of golf balls and is now part of a more intimate setting.

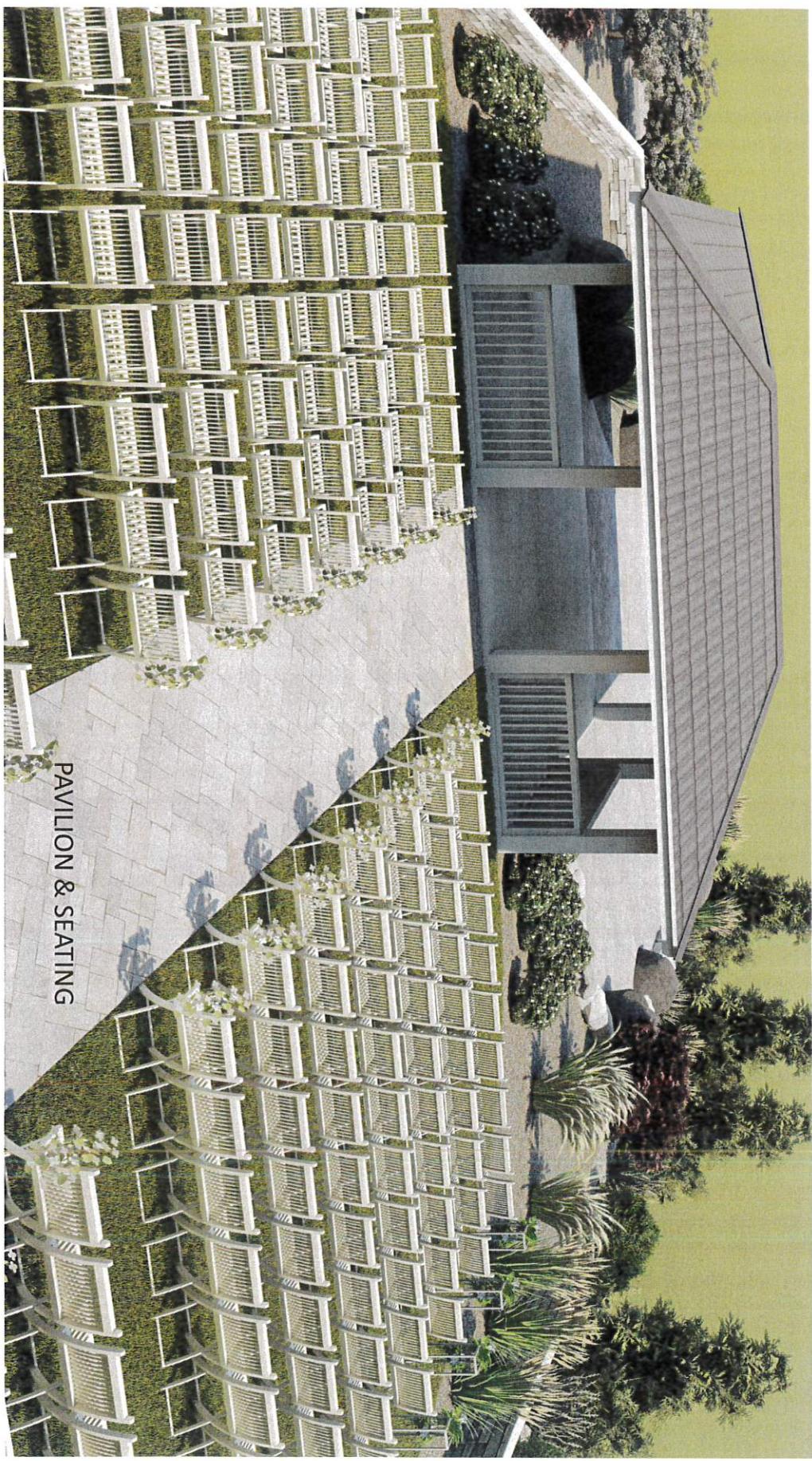
The wood pavilion which is shown below can be constructed of the same metal beams as the main building creating unity between the structures. Lower columns created of matching brick will work to tie it all together.

Electricity and a sound system can be brought to the pavilion as it now will have a solid roof to protect it from the elements.

There will be room for dancing under the pavilion and should additional floor space be desired, the option exists for the rental of a dance floor which can easily be placed on top of the grass paver system. Uses of the area are endless.

Preliminary in concept. Refer to final plan for owner approved layout and materials.

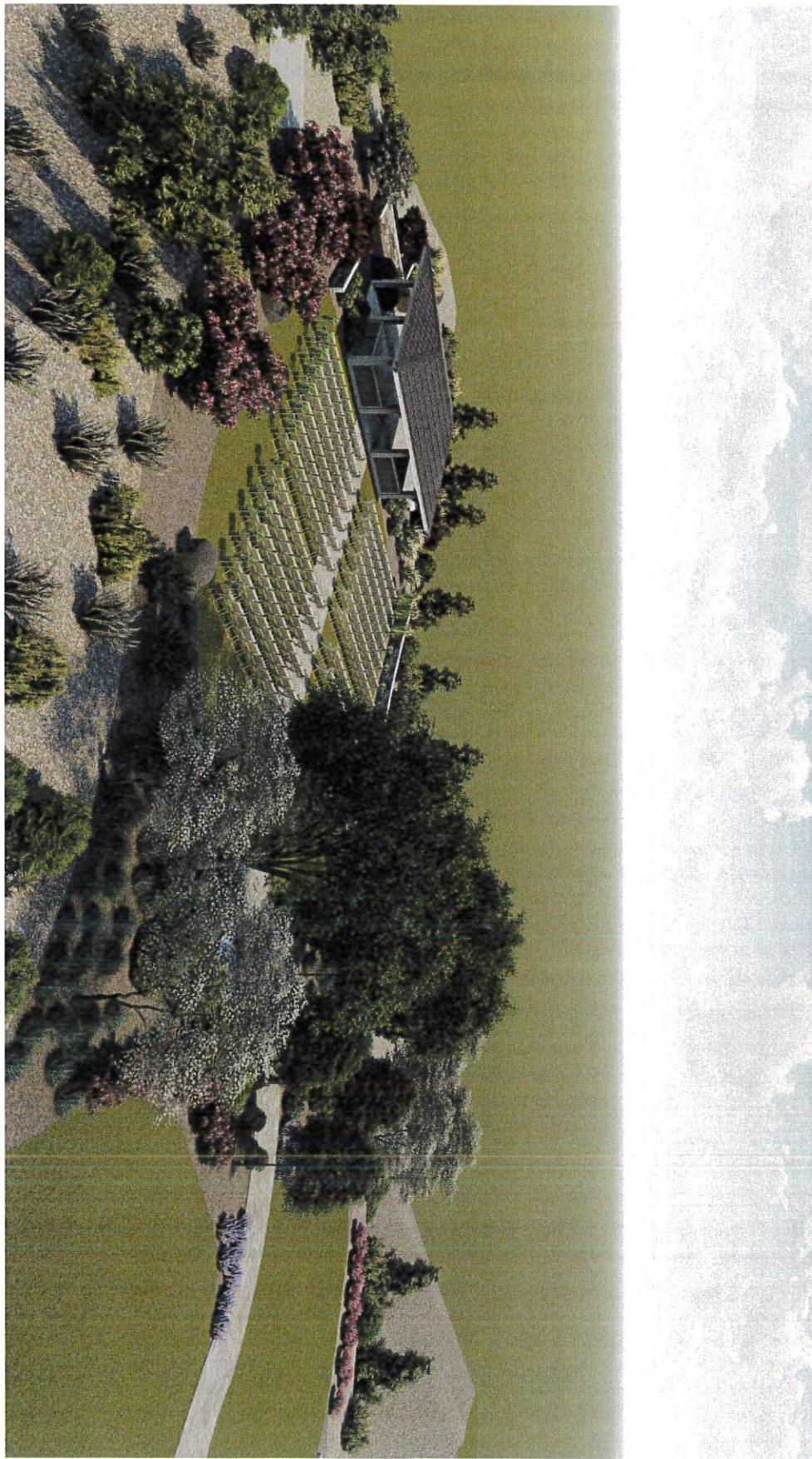












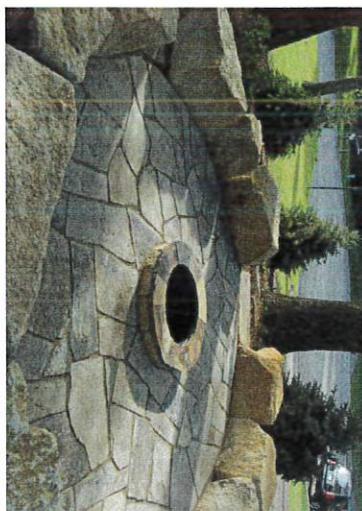
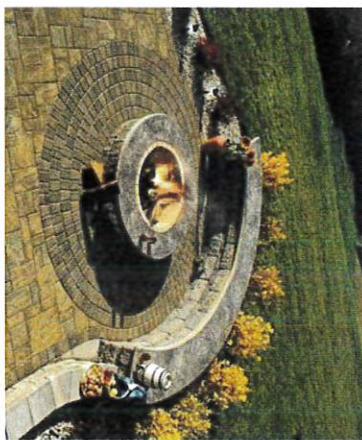
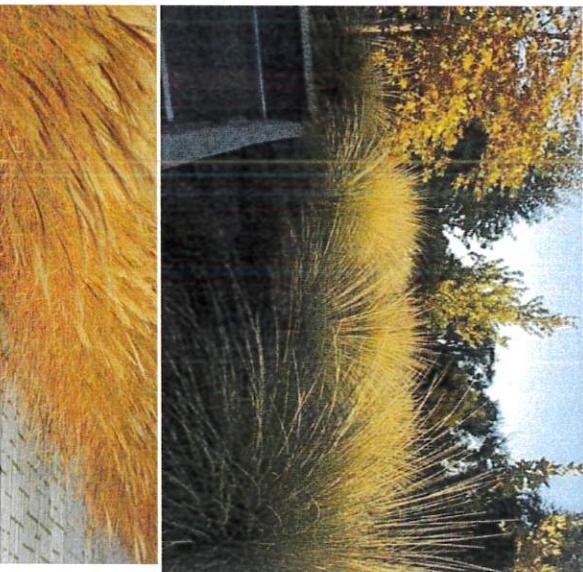
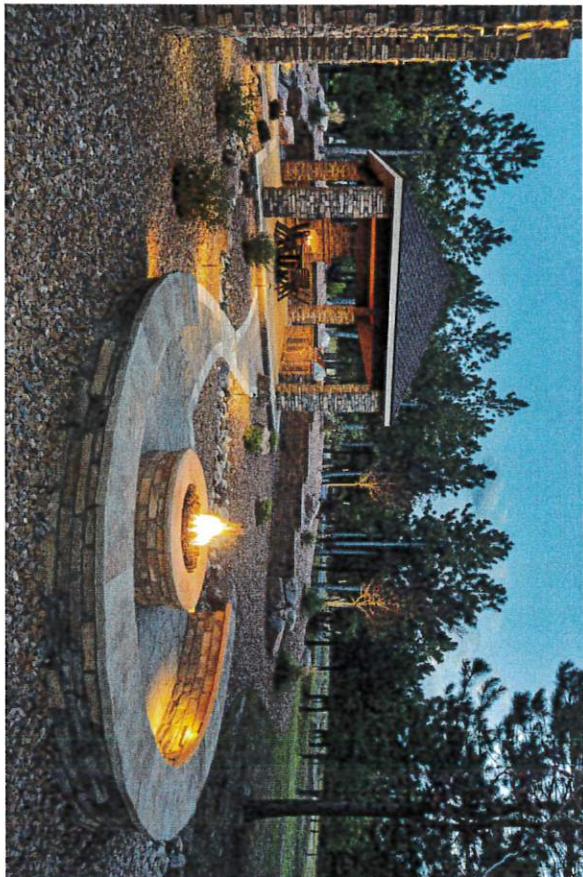
Firepit

There is a spectacular view area overlooking the golf course and valley. Maximizing the location will be a gathering area with a firepit and seat wall. Surrounded by native shrubs and grasses that blend into the surroundings, guests will desire to linger.

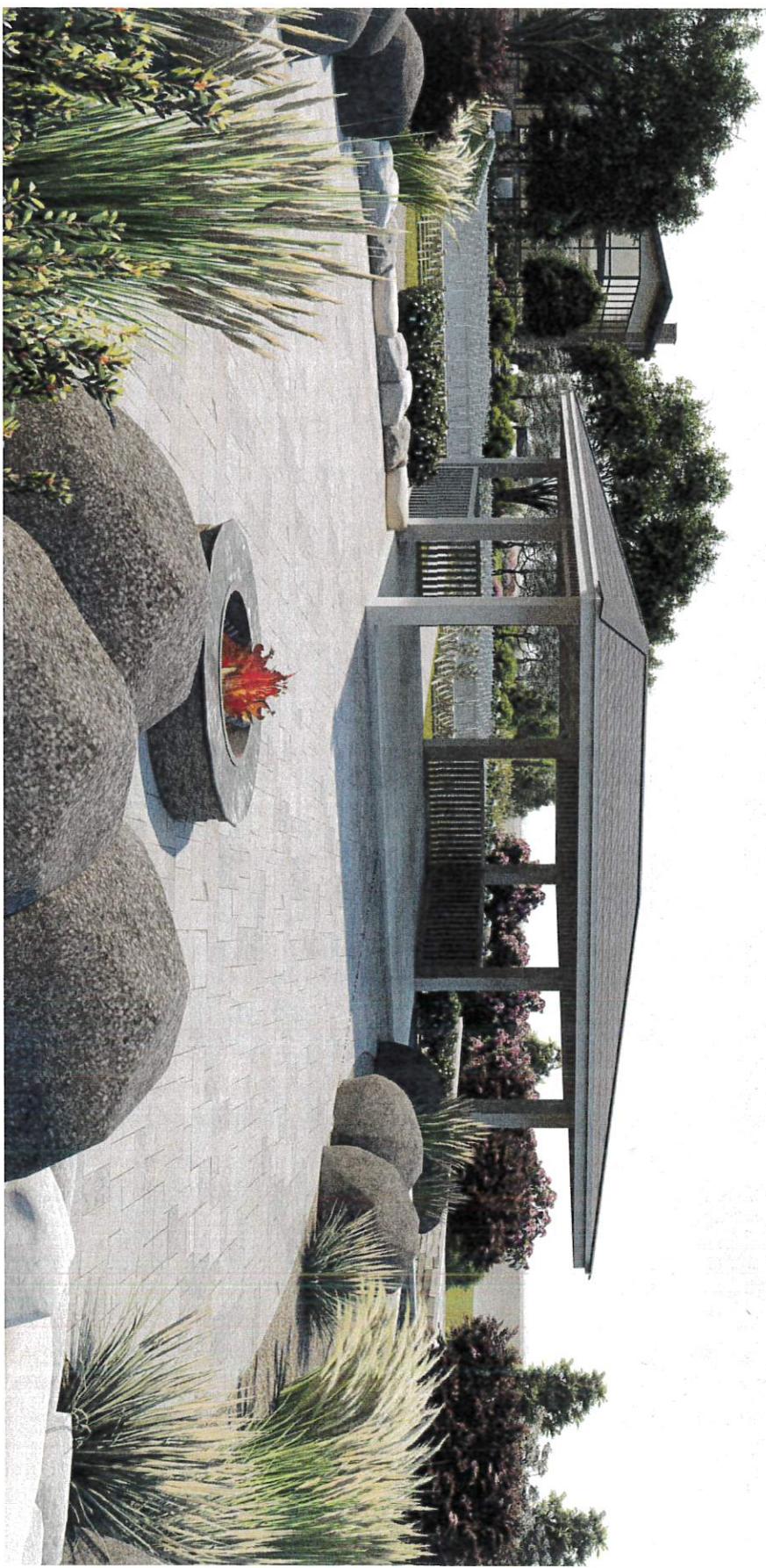
A gas line will need to be brought to the firepit for easy use and safety from sparks.

Boulders surround the area tying into the native look of the hills. Crushed flagstone creates the floor while grasses catch the breeze creating movement.

Outdoor lighting can enhance all areas.



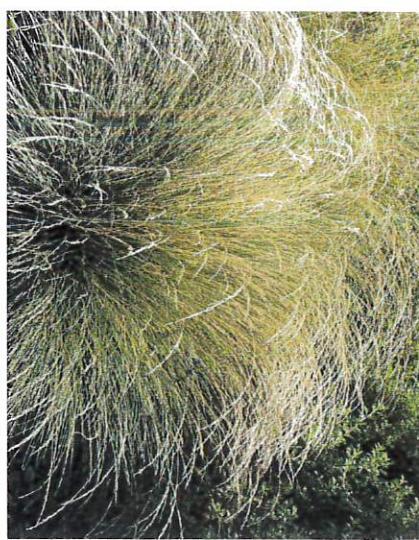
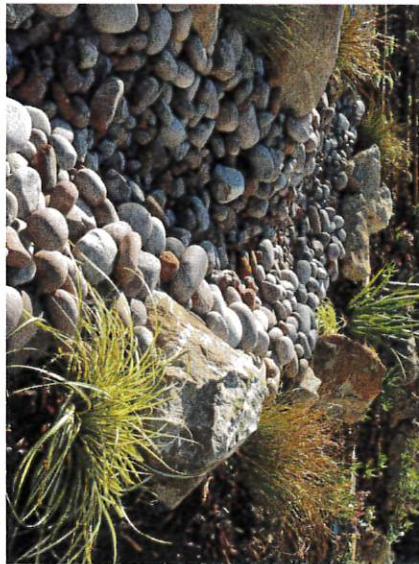
Preliminary in concept. Refer to final plan for owner approved layout and materials.





Dry River Bed

Situated on the west side of the building next to the proposed new addition is a dry river bed. This area will deter people from wandering onto the golf course area or down the embankment, but still create an aesthetic and native look for a seamless transition.



Preliminary in concept. Refer to final plan for owner approved layout and materials.

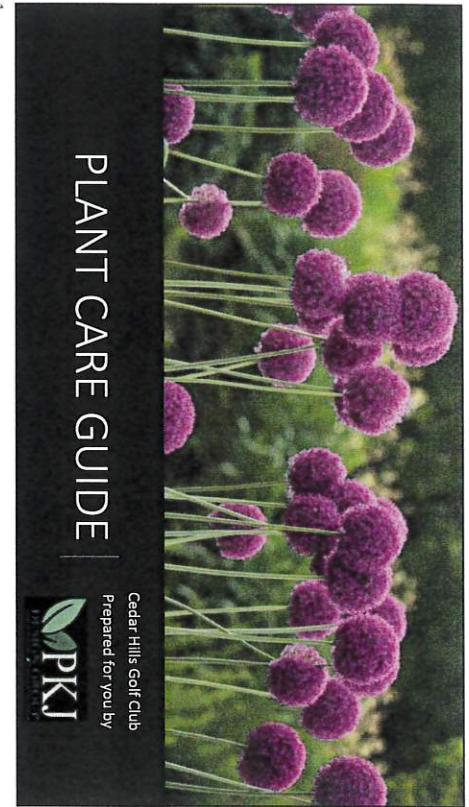




CEDAR HILLS VISTA CLUBHOUSE PLANT LIST

CONIFERS	Quantity	Botanical	Common	Cont	Cal	Size
J'C'S	3	<i>Juniperus chinensis</i> 'Spartan'	Spartan Juniper	B & B	2"Cal	5'-5'
J'S'C	25	<i>Juniperus scopulorum</i> 'Cologreen'	Cologreen Juniper	B & B	2"Cal	5'-6'
J'S'W	2	<i>Juniperus scopulorum</i> 'Woodward'	Woodward Columnar Juniper	B & B	2"Cal	5'-6'
PL'J	9	<i>Pinus longaeva</i> 'Joe's Bess'	Joe's Bess Bristlecone Pine	B & B	2"Cal	4-6'
DECIDUOUS TREES	Quantity	Botanical	Common	Cont	Cal	Size
AG'F	4	<i>Acer griseum</i> 'JFS KWAGARI' TM	Fireburst Paperbark Maple	B & B	2"Cal	5'-5'
CA'W	2	<i>Caragana arborescens</i> 'Walker'	Walker Weeping Paperbark	B & B	2"Cal	5'-6'
CC'I	5	<i>Crataegus crus-galli</i> inermis	Thornless Cockspur Hawthorn	B & B	2"Cal	5'-6'
GB'A	2	<i>Ginkgo biloba</i> 'Autumn Gold' TM	Autumn Gold Maidenhair Tree	B & B	2"Cal	20'-25'
M'SS	9	<i>Malus x</i> 'Spring Snow'	Spring Snow Crab Apple	B & B	2"Cal	15'-20'
UP'L	3	<i>Ulmus parvifolia</i> 'Emer II'	Allée Lacebark Elm	B & B	2"Cal	20'-25'
DECIDUOUS SHRUBS	Quantity	Botanical	Common	Cont	Cal	Size
A'US	24	<i>Amelanchier utahensis</i>	Utah Serviceberry	3 gal		
BT'C	9	<i>Berberis thunbergii</i> 'Concorde'	Concorde Japanese Barberry	5 gal		
CF'G	24	<i>Caragana frutex</i> 'Globosa'	Globe Peashrub	5 gal		
C'B'M	6	<i>Caropteris x clandonensis</i> 'CT-9-12' TM	Beyond Midnight Bluebeard	5 gal		
CM'F	12	<i>Chamaebatata millefolium</i>	Fernbush	5 gal		
C'N'R	34	<i>Chrysanthemum maximum</i>	Rubber Rabbitbrush	5 gal		
C'C'G	5	<i>Cotinus coggygria</i> 'Grace'	Grace Smoke Tree	5 gal		
H'PP	16	<i>Hibiscus x</i> 'Rosina' TM	Polyipetite Hibiscus	5 gal		
P'FF	9	<i>Potentilla fruticosa</i> 'Fargo' Dakota Sunspot TM	Fargo Yellow Shrubby Cinquefoil	5 gal		
P'B'P	19	<i>Prunus besseyi</i> 'P0115' TM	Pawnee Buttes Sand Cherry	5 gal		
SB'G	5	<i>Spiraea betulifolia</i> 'Tor Gold' TM	Glow Girl Birchleaf Spirea	5 gal		
SB'P	16	<i>Syringa x</i> 'SMNIRPU' TM	Bloomingdale Purple Lilac	5 gal		
VC'K	15	<i>Viburnum carlesii</i>	Korean Spice Viburnum	5 gal		
EVERGREEN SHRUBS	Quantity	Botanical	Common	Cont	Cal	Size
DBC	14	<i>Daphne x burkwoodii</i> 'Carol Mackie'	Carol Mackie Daphne	5 gal		
H'PP	44	<i>Hesperaloe parviflora</i> 'Perpa' TM	Brakebush Red Yucca	5 gal		
L'RV	39	<i>Lavandula angustifolia</i> 'Royal Velvet'	Royal Velvet English Lavender	1 gal		
PMC'C	16	<i>Purshia mexicana</i>	Cliffrose	3 gal		
YFC	12	<i>Yucca filamentosa</i> 'Color Guard'	Color Guard Adam's Needle	5 gal		
GRASSES	Quantity	Botanical	Common	Cont	Cal	Size
CB'K	63	<i>Calamagrostis brachytricha</i>	Korean Feather Reed Grass	1 gal		
CA'K	15	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1 gal		
CD'G	132	<i>Carex divisa</i>	Grassland Sedge	1 gal		
F'M'A	27	<i>Festuca mairei</i>	Atlas Fescue	1 gal		
H'S'S	10	<i>Helictotrichon sempervirens</i> 'Sapphire'	Blue Oat Grass	1 gal		

M'ML MR'U	21 Miscanthus sinensis 'Morning Light' 129 Muhlenbergia reverchonii 'PUND01S' TM	Morning light Maiden Grass Undaunted Ruby Muhly	2 gal 1 gal
PERENNIALS	Quantity Botanical	Common	Cont
G'WB H'SD L'MP O'F'S S'N'C	59 Gaillardia lindheimeri 'Whirling Butterflies' 22 Hemerocallis 'Stella de Oro' 44 Linaria muscari 'EXC 051' TM 10 Oenothera fremontii 'Shimmer' 15 Salvia nemorosa 'Caradonna'	'Whirling Butterflies' Wandflower Stella de Oro Daylily Purple Explosion Lily Turf Shimmer Evening Primrose Cardonna Perennial Salvia	1 gal 1 gal 1 gal 1 gal 1 gal
VINE/ESPALIER	Quantity Botanical	Common	Cont
C'X'J	2 Clematis x jackmanii	Jackman Clematis	1 gal
GROUND COVERS	Quantity Botanical	Common	Cont
T'PC	2600 Thymus serpyllum 'Pink Chintz'	Pink Chintz Creeping Thyme	flat
		Spacing	6" o.c.



PLANT CARE GUIDE


 Cedar Hills Golf Club
 Prepared for you by

DECIDUOUS TREES Ag'f

FIREBURST PAPERBARK MAPLE
Acer griseum 'IFS KW8ACR'

A handsome tree with superior branch structure and upright, uniform shape. Dark green trifoliate leaves turn brilliant red in fall. With age, its exfoliating copper-orange bark peels off in sheets revealing cinnamon-brown new bark. Faster growing than the species. Excellent winter interest.

HARDINESS ZONE: 5-8
 SIZE: 25' tall x 18' wide
 WATER-USE: moderate
 EXPOSURE: full sun to part shade
 MAINTENANCE: None necessary

DECIDUOUS TREES Ca'w

WALKER SIBERIAN PEASHRUB
Coragana arborescens 'Walker'

Bright yellow flowers decorate strongly weeping stems as ferny leaves develop in spring. Tolerant of poor soils, drought, high alkalinity and salinity and sweeping winds.

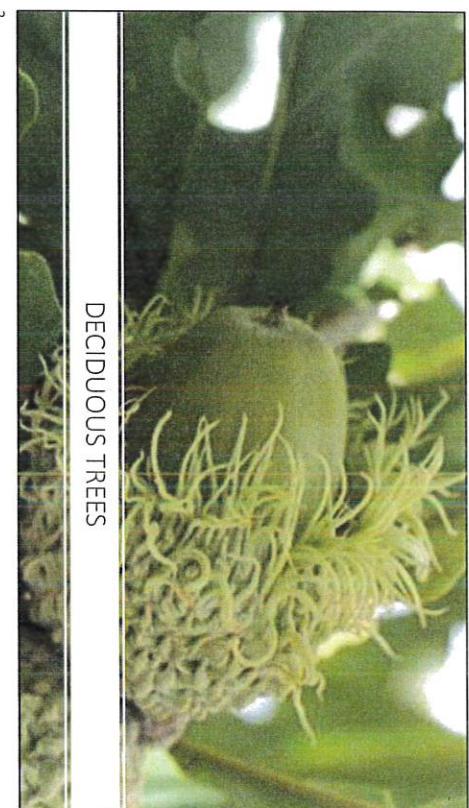
HARDINESS ZONE: 3-8
 SIZE: 6' tall and wide
 WATER-USE: low
 EXPOSURE: full sun
 MAINTENANCE: None required

DECIDUOUS TREES Ca'w

WALKER SIBERIAN PEASHRUB
Coragana arborescens 'Walker'

Bright yellow flowers decorate strongly weeping stems as ferny leaves develop in spring. Tolerant of poor soils, drought, high alkalinity and salinity and sweeping winds.

HARDINESS ZONE: 3-8
 SIZE: 6' tall and wide
 WATER-USE: low
 EXPOSURE: full sun
 MAINTENANCE: None required





DECIDUOUS TREES

Cc'i

THORNLESS COCKSPUR HAWTHORN

Crataegus crus-galli var. inermis

A broad and rounded thornless hawthorn with beautiful white flowers in spring and persistent fruit from fall through winter, attracting birds. A delightful tree in any season. Available in multi-trunk

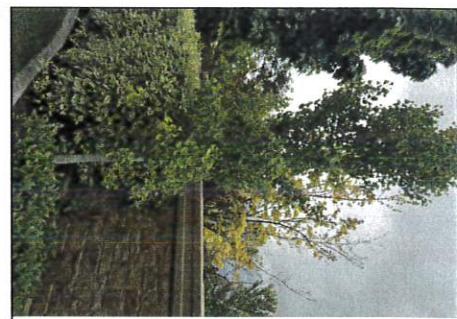
HARDINESS ZONE: 3-7

SIZE: 20'-30' tall x 20'-35' wide (multi-trunk available)

WATER-USE: Low

EXPOSURE: Full sun

MAINTENANCE: No regular maintenance required



DECIDUOUS TREES

Gb'p

MAIDENHAIR TREE

Ginkgo biloba 'Princeton Sentry'

A one-of-a-kind tree, dating from prehistoric times with unique, leathery fan-shaped leaves. This selection has a columnar habit with stiffly upright branches forming a narrowly pyramidal crown. Golden yellow fall color.

HARDINESS ZONE: 3-8

SIZE: 40' tall x 20' wide very slow growing

WATER-USE: Low

EXPOSURE: Full sun

MAINTENANCE: No regular maintenance required

DECIDUOUS TREES

Gb'a

AUTUMN GOLD MAIDENHAIR TREE

Ginkgo biloba 'Autumn Gold'

A superb male selection with unique fan-shaped green foliage that turns brilliant gold in fall. Symmetrical branching creates an exceptional upright landscape accent. Slow to moderate growth rate.

HARDINESS ZONE: 4-9

SIZE: 35'-50' tall x 30' wide

WATER-USE: Moderate

EXPOSURE: Full sun

MAINTENANCE: No regular maintenance required

DECIDUOUS TREES

Mss

CRABAPPLE 'SPRING SNOW'

Malus 'Spring Snow'

A fruitless crabapple with an upright, broad-rounded habit. It bears a profusion of fragrant, pure white flowers in mid spring. Attractive, dense, bright green, shiny leaves turn golden yellow in fall.

HARDINESS ZONE: 4-8

SIZE: 20'-25' tall x 15'-22' wide

WATER-USE: Moderate

EXPOSURE: Full sun

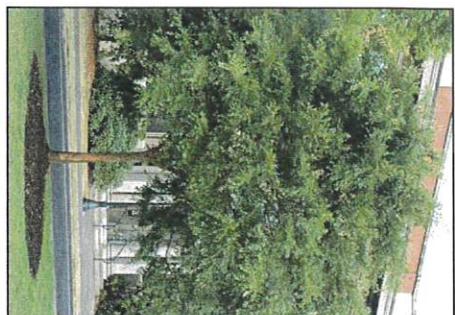
MAINTENANCE: Occasional pruning of suckers from base of tree by severing at the place of emergence. Prune only in late winter to remove damaged or misplaced growth.



8



7



DECIDUOUS TREES

Up!

'ALLE'E' LACEBARK ELM

Ulmus parvifolia 'Emer II' (Alle'e)

An elegant tree known for its mottled bark in shades of grey, cream, orange brown and green. Shiny dark green leaves are toothed. It is resistant to a many diseases that plague other elms.

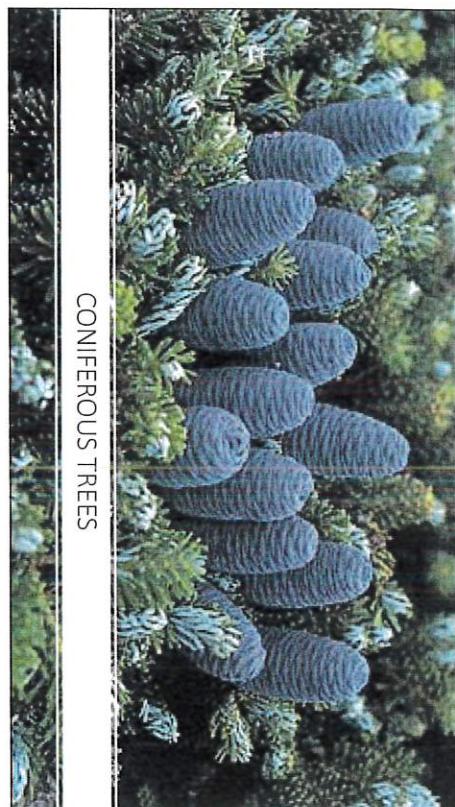
HARDINESS ZONE: 4-9

SIZE: 60' tall x 35' wide

WATER-USE: Moderate

EXPOSURE: full sun

MAINTENANCE: No regular maintenance required



CONIFEROUS TREES

10

CONIFERS

JSC

COLOGREEN JUNIPER

Juniperus scopulorum 'Cologreen'

A narrow, columnar juniper that is an effective vertical accent, screen or formal background for the landscape. Develops nice cone-shaped form as it matures. A durable heat tolerant and cold hardy specimen that requires little maintenance

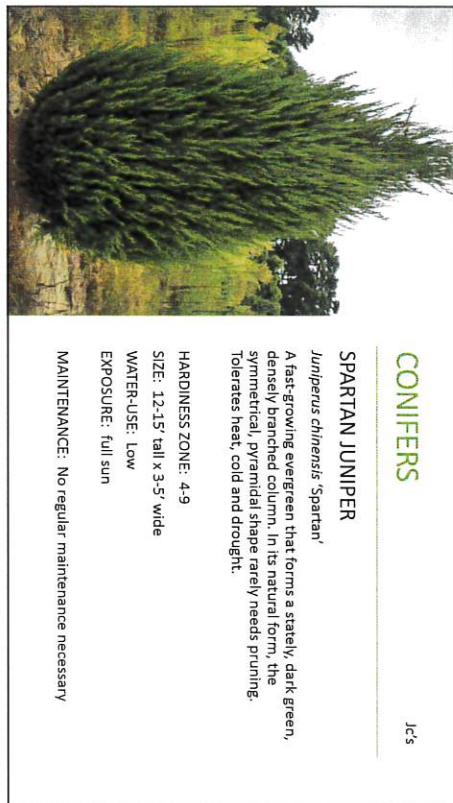
HARDINESS ZONE: 3-7

SIZE: 15-20' tall x 5-7' wide

WATER-USE: Low

EXPOSURE: full sun

MAINTENANCE: No regular maintenance necessary



CONIFERS

JC's

SPARTAN JUNIPER

Juniperus chinensis 'Spartan'

A fast-growing evergreen that forms a stately, dark green, densely branched column. In its natural form, the symmetrical, pyramidal shape rarely needs pruning. Tolerates heat, cold and drought.

HARDINESS ZONE: 4-9

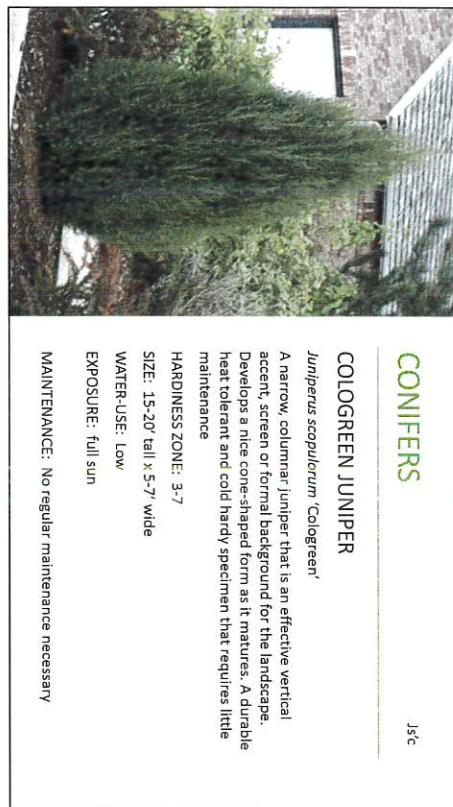
SIZE: 60' tall x 35' wide

WATER-USE: Low

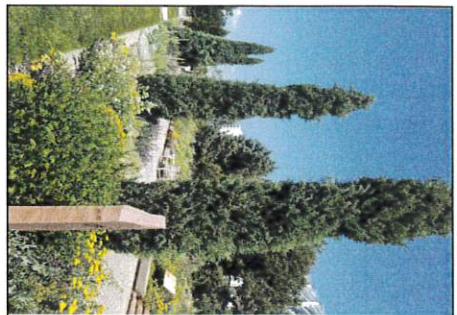
EXPOSURE: full sun

MAINTENANCE: No regular maintenance necessary

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12



CONIFERS

Js'w

WOODWARD JUNIPER

Juniperus scopulorum 'Woodward'

Upright, columnar evergreen that is reminiscent of the Italian Cypress. Bluish green needles hold their color in winter. Handles snow load without wrapping. Is male selection, so no berries are produced. Deer resistant. Adaptable.

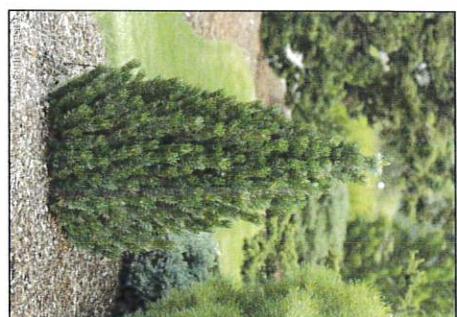
HARDINESS ZONE: 3-9

SIZE: 20' tall x 2-4' wide

WATER-USE: Low to Xeric

EXPOSURE: full sun

MAINTENANCE: No regular maintenance required



CONIFERS

Pjb

JOE'S BESS BRISTLEcone PINE

Pinus longaeva 'Joe's Bess'

An elegant selection of a dwarf Bristlecone Pine with dense clusters of two-tone needles. A narrow, uniform shape that will do well in full sun or part shade.

HARDINESS ZONE: 4-8

SIZE: 9' tall x 3' wide slow growing

WATER-USE: Xeric

EXPOSURE: full sun

MAINTENANCE: None needed. Do not overwater

SHRUBS AND SUBSHRUBS

Aa'r

REGENT SASKATOON SERVICEBERRY

Amelanchier alnifolia 'Regent'

A compact serviceberry of dense, fine-textured foliage. Small abundant sprays of white flowers emerge in spring followed by purplish-black edible fruit. Fall brings leaves turning to shades of yellow to red. Good structure offers winter interest.

HARDINESS ZONE: 2-7

SIZE: 5' tall and wide

WATER-USE: Low to Moderate

EXPOSURE: Sun to part shade

MAINTENANCE: No regular maintenance required



SHRUBS AND SUBSHRUBS

15

13

14



DECIDUOUS TREES

Aul's

UTAH SERVICEBERRY

Amelanchier utahensis

A beautiful, xeric native shrub with a mid-spring display of white flowers followed by summer ripening purple-black berries and brilliant yellow fall foliage. Drought resistant.

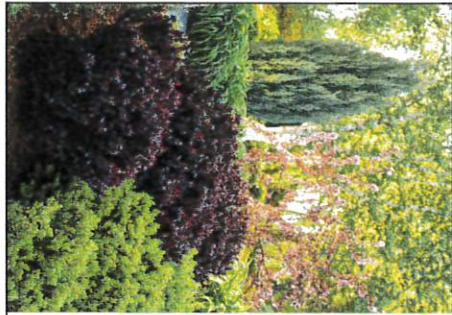
HARDINESS ZONE: 5-8

 SIZE: 6-15' tall x 6-10' wide
 WATER-USE: Low/Xeric

EXPOSURE: Full sun

MAINTENANCE: Allow free form or prune for shape

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SHRUBS AND SUBSHRUBS

Bt'c

CONCORDE JAPANESE BARBERRY

Berberis thunbergii 'Concorde'

A petite barberry with deep maroon-purple foliage that becomes more intense in the fall. Small yellow flowers, but no viable seed. Good for edging. Deer resistant.

HARDINESS ZONE: 4-8

 SIZE: 18-24" tall and wide
 WATER-USE: Moderate
 EXPOSURE: Full sun

MAINTENANCE: None needed

19



SHRUB AND SUBSHRUBS

Cf'g

GLOBE PEASHRUB

Caragana frutex 'Globosa'

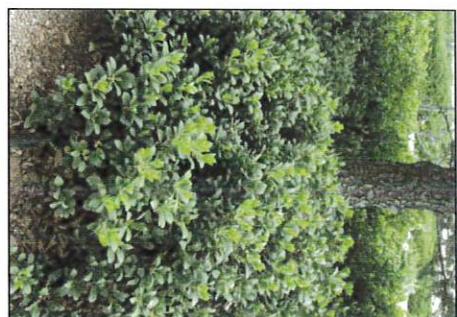
Compact, slow-growing shrub with bright green leaves. Consistently rounded, extremely hardy and adaptable to very dry sites. Leaves turn buttery yellow in fall. Does not sucker.

HARDINESS ZONE: 2-7

 SIZE: 5-6' tall x 5' wide
 WATER-USE: Low
 EXPOSURE: full sun to part shade

MAINTENANCE: None necessary

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SHRUBS AND SUBSHRUBS

Ac'p

PANCHITO MANZANITA

Arctostaphylos x coloradoensis

Outstanding selection of a native, broadleaf evergreen with undulating branches. Small heather-like clusters of waxy pink flowers bloom in late winter on deep red-rhodocarpus branches. Plant in spring before May.

HARDINESS ZONE: 4-8

 SIZE: 10-24" tall x 36-60" wide
 WATER-USE: Low
 EXPOSURE: sun to part sun—afternoon shade

MAINTENANCE: If planting in clay soil, work in 50/50 expanded shale or squeegee (pea gravel with smaller rocks)

20



2.1

SHRUBS AND SUBSHRUBS C'm'

BEYOND MIDNIGHT BLUEBEARD

Caryopteris x clandonensis 'CT-9-12'

Very dark, glossy foliage and deep blue flowers on a compact shrub. Late summer blooms add needed color to the landscape. A favorite with pollinators

HARDINESS ZONE: 5-9

SIZE: 2.5' tall and wide

WATER-USE: Low

EXPOSURE: Full sun

MAINTENANCE: Cut back in spring once new growth appears to just above where large healthy buds are emerging.



2.2

SHRUBS AND SUBSHRUBS C'm'

LITTLELEAF MOUNTAIN MAHOGANY

Cercocarpus intricatus

A durable native shrub excellent for dry areas. It can be sheared like boxwood to create tidy hedges. Densely branched, slow growing and versatile thriving in marsh conditions. After two years irrigation is not necessary

HARDINESS ZONE: 3-8

SIZE: 5-15' tall and wide

WATER-USE: xeric

EXPOSURE: full sun

MAINTENANCE: Prune to shape if desired



2.3

SHRUBS AND SUBSHRUBS C'm'

FERNBUSH

Chamaebatisia millefolium

A garden treasure with deeply cut, lacy foliage and white clusters of blossoms in summer. Cinnamon colored bark. Native, drought tolerant and adaptable.

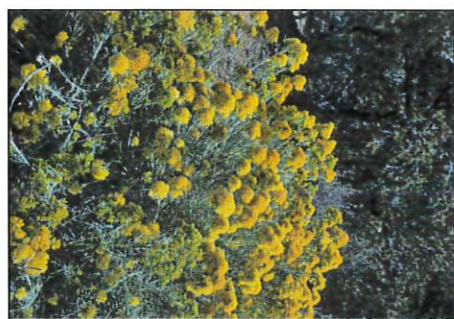
HARDINESS ZONE: 4-8

SIZE: 3-5' tall and wide

WATER-USE: low

EXPOSURE: full sun to partial shade

MAINTENANCE: If desired, shear yearly in the early winter (after leaf drop of deciduous trees).



2.4

SHRUBS AND SUBSHRUBS C'm'

RUBBER RABBITBRUSH

Chrysothamnus nauseosus

Needle-like vivid blue leaves cover this extremely drought tolerant native shrub. In fall bright yellow flowers adorn its branches. Prefers dry, rocky soils. The toughest of plants.

HARDINESS ZONE: 4-9

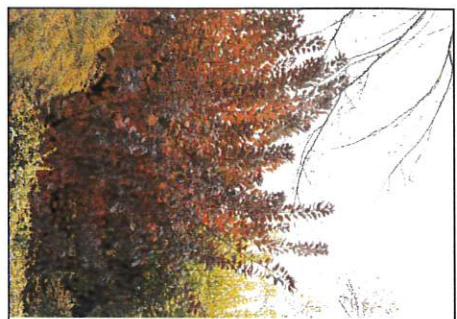
SIZE: 4-6' tall x 6' wide

WATER-USE: low to xeric

EXPOSURE: Full sun

MAINTENANCE: Cut back to within 10" of ground in spring to keep a tidy appearance. Too much water will cause excessive growth and flopping.

2.5



25

SHRUBS AND SUBSHRUBS Cc'g

GRACE SMOKEBUSH

Cotinus x Grace

A striking large shrub with wine-red oval foliage in spring, turning brilliant shades of orange-red in fall. If left to bloom, snowy tufts of pink blooms will appear in summer.

HARDINESS ZONE: 4-8
 SIZE: 12-15' tall and wide
 WATER-USE: moderate
 EXPOSURE: sun to part sun

Maintenance: For a shrub-like appearance, prune in late winter by cutting 6" above ground for the first 2 years to produce lots of stems. Subsequent years cut to 12-18" above ground. Thin out crowded areas in center of shrub.



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SHRUBS AND SUBSHRUBS Dbc

CAROL MACKIE DAPHNE

Daphne x burkwoodii 'Carol Mackie'

Cream-edged semi-evergreen leaved shrub with intoxicatingly fragrant pink blossoms in spring. A garden delight. Protect from afternoon sun and desiccating winds. Best success when planted in April.

HARDINESS ZONE: 4-9
 SIZE: 3-4' tall and wide
 WATER-USE: low
 EXPOSURE: Part sun

Maintenance: If desired, shear to shape after flowering. Plant in early spring.

27

SHRUBS AND SUBSHRUBS H'p

BREAKLIGHTS RED YUCCA

Hesperaloe parviflora 'Perpa'

Vibrant red blooms on a compact Hesperaloe that rarely sets seedpods offering more prolific flowering over a long season. Extremely drought tolerant. Evergreen

HARDINESS ZONE: 5-10
 SIZE: 2' tall and wide, blooms 2-3' taller
 WATER-USE: low
 EXPOSURE: full sun

Maintenance: Remove spent flower stalks or dried leaves as desired



28

SHRUBS AND SUBSHRUBS H'pp

POLYPETITE ROSE OF SHARON

Hibiscus x 'Rosina'

Large lavender-pink blooms and dark blue-green foliage on a naturally rounded dwarf shrub. Nearly seedless flowers bloom for months in the summer.

HARDINESS ZONE: 5-9
 SIZE: 3-4' tall and wide
 WATER-USE: low to moderate
 EXPOSURE: sun

Maintenance: No special care, but if you must prune, do so in early spring just as new growth appears on stems.



28



SHRUBS AND SUBSHRUBS

L'rv

ROYAL VELVET ENGLISH LAVENDER

Lavandula angustifolia 'Royal Velvet'

A most beloved plant and herb with long spikes of scented flowers in early summer. Many varieties exist, all with their own appeal. Flowers can be used in culinary pursuits. Drought-tolerant and perfect for the Mediterranean garden.

HARDINESS ZONE: 5-10

SIZE: 12-18" tall and wide

WATER-USE: low

EXPOSURE: Full sun

MAINTENANCE: Cut back by a third in late winter. Do not cut back into deep wood

29



SHRUBS AND SUBSHRUBS

Pff

FARGO YELLOW POTENTILLA

Potentilla fruticosa 'Fargo' Dakota Sunspot

An excellent potentilla variety with deep golden, 1" flowers produced profusely all season.

HARDINESS ZONE: 2-6

SIZE: 2.5-3' tall x 3-4' wide

WATER-USE: low

EXPOSURE: full sun

MAINTENANCE: Prune back in late winter before leafing. Remove heaviest branches to the ground. Touch up after bloom

30

SHRUBS AND SUBSHRUBS

Pb'p

PAWNEE BUTTES SAND CHERRY

Prunus besseyi 'Pawnee Buttes'

A low growing native groundcover shrub with fragrant white flowers in spring and deep mahogany-red foliage in fall.

HARDINESS ZONE: 4-8

SIZE: 12-18" tall x 4-6' wide

WATER-USE: low

EXPOSURE: Full sun

MAINTENANCE: Occasional hand pruning of small limbs will maintain a uniform shape.



SHRUBS AND SUBSHRUBS

P'mc

CLIFFROSE

Purshia mexicana

Blooms prolifically in May for several weeks with creamy white to pale yellow fragrant flowers. Semievergreen small dark green resinous leaves. Attractive in a native setting.

HARDINESS ZONE: 6-8

SIZE: 8' tall x 4-6' wide

WATER-USE: low

EXPOSURE: full sun

MAINTENANCE: No regular maintenance required.

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SHRUBS AND SUBSHRUBS S^bg

GLOW GIRL BIRCHLEAF SPIREA

Spiraea betulifolia "Tor Gold"
 A gold-leaf version of "Tor" Spirea. Buds have hints of red opening to white flowers in spring. Sunny yellow foliage holds its color and doesn't burn in summer. Excellent fall color on this mounded shrub.

HARDINESS ZONE: 3-9

SIZE: 3-4' tall and wide

WATER-USE: moderate

EXPOSURE: part sun to sun

MAINTENANCE: Blooms on new wood so prune in late winter or early spring as desired. If overgrown, rejuvenate by cutting back hard immediately after flowering.


SHRUBS AND SUBSHRUBS S^bp

BLOOMERANG PURPLE LILAC

Syringa x 'Pendula' 'BLOOMERANG'
 A large, fragrant flush of purple blooms in spring and again after the heat of summer until frost. Compact and resistant to powdery mildew and deer.

HARDINESS ZONE: 3-7

SIZE: 4-5' tall and wide

WATER-USE: Low to moderate

EXPOSURE: Full sun

MAINTENANCE: None necessary. Can prune off spent flowers immediately after first bloom. Otherwise do not prune.

SHRUBS AND SUBSHRUBS S^bg

KOREANSPICE VIBURNUM

Viburnum carlesii

Large clusters of spicy-scented, waxy pink and white flowers. Bright red berries fade to black in fall. Foliage becomes red and burgundy in autumn.

HARDINESS ZONE: 4-8

SIZE: 4-6' tall and wide

WATER-USE: low to moderate

EXPOSURE: full sun to part shade

MAINTENANCE: Thin old branches every few years to rejuvenate.

SHRUBS AND SUBSHRUBS S^bg

COLOR GUARD ADAM'S NEEDLE

Yucca filamentosa 'Color Guard'

Slightly arching, sword-shaped, striped foliage of creamy-white against dark green provides great architectural interest. Showy spikes of fragrant, snow-white blooms in summer. Tolerant of wind, heat, drought. Evergreen.

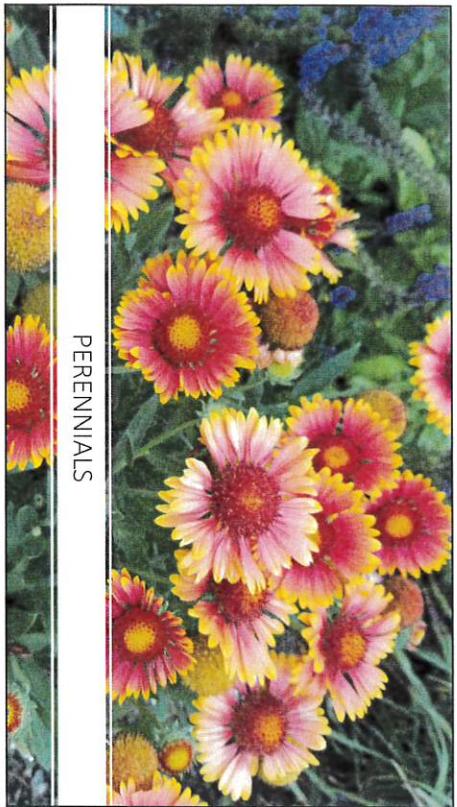
HARDINESS ZONE: 4-10

SIZE: 3-4' tall and wide

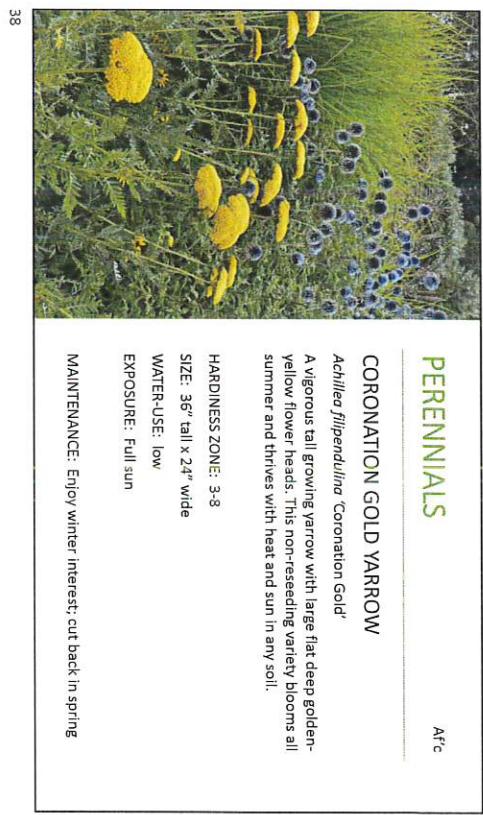
WATER-USE: low to xeric

EXPOSURE: full sun

MAINTENANCE: Remove any drying leaves. Cut back flower stalk after bloom.



PERENNIALS



PERENNIALS

CORONATION GOLD YARROW

Achillea filipendulina 'Coronation Gold'
A vigorous tall growing yarrow with large flat, deep golden-yellow flower heads. This non-reseeding variety blooms all summer and thrives with heat and sun in any soil.

HARDINESS ZONE: 3-8
SIZE: 36" tall x 24" wide

WATER-USE: Low
EXPOSURE: Full sun

MAINTENANCE: Enjoy winter interest; cut back in spring



PERENNIALS

Aa'm

MICHAELMAS DAISY

Aster amellus
A splash of color in a late season garden with masses of lavender-blue starry flowers. Compact, mildew resistant, long-lived, and a good nectar source for butterflies and bees.

HARDINESS ZONE: 5-8
SIZE: 1-3' tall and wide
WATER-USE: Moderate
EXPOSURE: Full sun

MAINTENANCE: Pinch back stems before early summer to promote bushiness and produce more flowers. Cut to ground in late winter.

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PERENNIALS

Ems

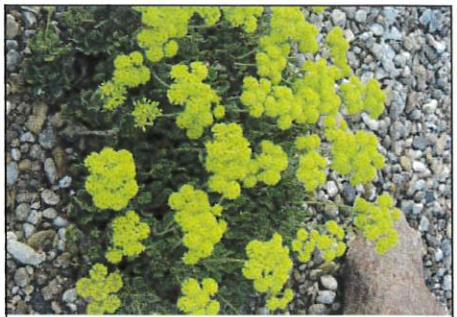
PURPLE CONEFLOWER

Echinacea purpurea 'Magnus Superior'
A tried-and-true echinacea and Perennial Plant of the Year in 1998. Produces deep purple flowers in late summer and attracts butterflies.

HARDINESS ZONE: 3-8
SIZE: 2-2.5' tall x 1-1.5' wide
WATER-USE: Low to moderate
EXPOSURE: Full sun

MAINTENANCE: Leave spent blooms on plant for winter interest. Cut back to ground in late winter.

40



PERENNIALS	Eufk
KANNAH CREEK SULPHUR BUCKWHEAT	
<i>Eriogonum umbellatum 'Kannah Creek'</i>	
An outstanding selection of native Sulphur Buckwheat providing four seasons of interest with bright yellow flowers in spring, aging to orange and rusty red in fall, the grey-green foliage changes to burgundy. Long lived and drought tolerant	
HARDINESS ZONE: 5-9	
SIZE: 2-2.5' tall x 1'-2' wide	
WATER-USE: Low	
EXPOSURE: Full sun	
Maintenance: No regular maintenance required. Clean up in spring as needed.	

41

PERENNIALS	H'sd
STELLA DE ORO DWARF DAYLILY	
<i>Hemerocallis x 'Stella de Oro'</i>	
Heavy clusters of large yellow blooms cover this daylily in late spring with periodic reblooming throughout the growing season.	
HARDINESS: 4-11	
SIZE: 12" tall x 24" wide--30" tall with bloom	
WATER-USE: Moderate	
EXPOSURE: Full to partial sun	
Maintenance: Remove faded flowers regularly to encourage re-bloom. Cut to ground in late winter.	

43

PERENNIALS	G'wb
WHIRLING BUTTERFLIES WAND FLOWER	
<i>Gaura Lindheimeri 'Whirling Butterflies'</i>	
A delicate spray of long blooming flowers on long stems provide constant movement in the breeze lending an airy touch to the garden.	
HARDINESS: 5-10	
SIZE: 36" tall x 30" wide	
WATER-USE: Low	
EXPOSURE: Full sun to part sun	
Maintenance: Cut down to ground in late winter. Will regrow from roots in spring	

42

PERENNIALS	H'ro
CORAL BELLS	
<i>Heuchera Rave On</i>	
A heavy spring bloomer producing masses of pink flowers above highly silvered foliage brightening the shade garden.	
HARDINESS: ZONE 4-9	
SIZE: 8-20" tall x 14" wide	
WATER-USE: Moderate	
EXPOSURE: Part shade to shade	
Maintenance: Clean out old leaves in spring. Cut off spent flowers stalks when done blooming if desired.	

44



45

PERENNIALS

Ha's

SOL DANCER DAISY

Hymenoxys occidentalis v. arizonica 'Sol Dancer'

A profusion of large, bright yellow flowers held over a mound of finely textured grass-like foliage begin to bloom in late spring and continue until frost. Tolerant of drought, poor soils, sun and heat. Seigo Supreme introduction by USU

HARDINESS ZONE: 4-9

SIZE: 15-16" tall x 12-15" wide

WATER-USE: low

EXPOSURE: sun

MAINTENANCE: None, encourage re-seeding by not dead-heading and mulching with gravel



46

PERENNIALS

Lm'p

PURPLE EXPLOSION LILY TURF

Liriope muscari 'EKC 051'

A versatile evergreen that forms a tight clump of dense, narrow, green foliage with an explosion of deep purple flower spikes in fall. Profuse flowering ground-cover or edging

HARDINESS ZONE: 5-11

SIZE: 8-12" tall x 3" wide

WATER-USE: Moderate

EXPOSURE: part sun to part shade

MAINTENANCE: No regular maintenance required



47

PERENNIALS

Or's

SHIMMER EVENING PRIMROSE

Oenothera fremontii 'Shimmer'

Great foliage, flowers and texture on this drought resistant perennial. Late spring blooms are 3" and bright lemon yellow. Narrow leaves are pewter-gray. Light reblooming throughout the season.

HARDINESS: 4-8

SIZE: 6-8" tall x 18-24" wide

WATER-USE: Low

EXPOSURE: Full sun

MAINTENANCE: Pinch stem tips several times in spring to create more branching and foliage if desired



PERENNIALS

Pb'e

ELFIN PINK PENSTEMON

Penstemon barbatus 'Elfin Pink'

A showy penstemon with tall, late spring blooming spikes of bright pink flowers.

HARDINESS ZONE: 4-9

SIZE: 24" tall x 15" wide

WATER-USE: Low

EXPOSURE: Full sun

MAINTENANCE: Remove spent flower spikes. Lightly prune unruly growth.

48



PERENNIALS

 P^{pp}

PIKES PEAK PURPLE PENSTEMON

Penstemon x 'mexicali' 'Poots'

A superb hybrid variety that blooms most of the summer with large concord grape purple flowers. The plants are vigorous and have attractive glossy green foliage.

HARDINESS ZONE: 4-9

SIZE: 18" tall x 1" wide

WATER-USE: Low to very

EXPOSURE: Full sun

MAINTENANCE: Deadhead to avoid seed set the first 2 years for a stronger plant. Overwatering will produce a weak plant.

49



PERENNIALS

 S^{nc}

CARADONNA SALVIA

Salvia nemorosa 'Caradonna'

Blooming for many weeks in late spring with dark purple flower stems and rich purple-blue flowers. Good vertical accent with upright flower spikes. Won't flop over.

HARDINESS ZONE: 4-8

SIZE: 24" tall x 18" wide

WATER-USE: Low

EXPOSURE: Full sun

MAINTENANCE: Remove spent flower spikes if desired. Cut just above ground in early spring.

50

ORNAMENTAL GRASSES

Cb'd

KOREAN FEATHER REED GRASS/DIAMOND

Calamagrostis brachytricha

A clump-forming grass with bright green leaves. Blooms emerge with a pink tint in summer fading to cream and then straw color in winter. A graceful addition to the shade or part shade garden. Good for cut flowers.

HARDINESS ZONE: 5-9

SIZE: 3' tall x 3' wide

WATER-USE: Low

EXPOSURE: Full sun to part shade

MAINTENANCE: In late winter, wrap with a bungee cord and sheet of inches above ground with hedge trimmer.



ORNAMENTAL GRASSES

51



ORNAMENTAL GRASSES

C'a'k

KARL FOERSTER FEATHER REED GRASS

Calamagrostis x acutiflora 'Karl Foerster'

A classic grass giving a stunning vertical effect with feathery stalks emerging reddish brown and turning a rich golden color in fall. Greens up quickly in spring.

HARDINESS ZONE: 4-9

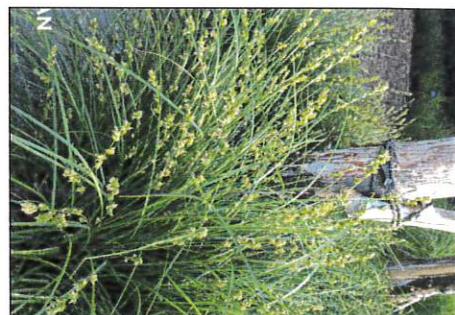
SIZE: 2'-6' tall x 2' wide

WATER-USE: Low

EXPOSURE: Full sun

MAINTENANCE: In late winter, wrap with a bungee cord and shear off 6 inches above ground with hedge trimmer.

53



ORNAMENTAL GRASSES

C'a'b

GRASSLAND SEDGE

Carex divaricata

Native to Europe and Asia this perennial sedge matures into fine textured arching clumps with bright green evergreen foliage. In late spring, dainty bronze flower spikes are carried above the leaves. Use as a groundcover or lawn alternative. Competes well with tree roots. Often planted by plugs.

HARDINESS ZONE: 4-9

SIZE: 2' tall x 2' wide

WATER-USE: Low to Moderate

EXPOSURE: Part shade

MAINTENANCE: Cut back in late winter for a tidy appearance

54



ORNAMENTAL GRASSES

Hs'a

BLUE OAT GRASS

Helictotrichon sempervirens

Graceful fountains of evergreen silver-blue blades form neat ornamental clumps followed by airy straw-colored seed heads in summer. Year-round interest.

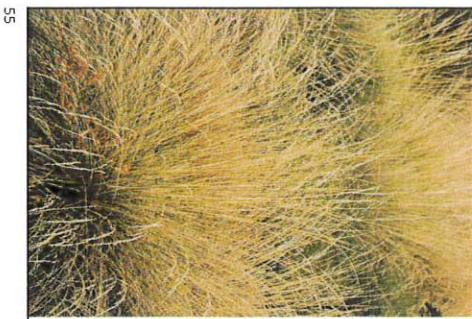
HARDINESS ZONE: 4-9

SIZE: 3'-4' tall x 2'-3' wide

WATER-USE: Low

EXPOSURE: Full sun

MAINTENANCE: Comb out with rake in late winter, do not cut as this could damage crown



ORNAMENTAL GRASSES

Hs'a

ATLAS FESCUE

Festuca millei

A long-lived, evergreen clumping grass excellent for making meadows in a Mediterranean climate. Arching fountain like foliage is a rich warm khaki/green. Flowers are slender and not showy. Neat and drought tolerant.

HARDINESS ZONE: 5-9

SIZE: 36" tall x 36", wide

WATER-USE: Low

EXPOSURE: Full sun

MAINTENANCE: Evergreen. Can rake out if desired in late winter.



ORNAMENTAL GRASSES

Hs's

BLUE OAT GRASS

Helictotrichon sempervirens

Graceful fountains of evergreen silver-blue blades form neat ornamental clumps followed by airy straw-colored seed heads in summer. Year-round interest.

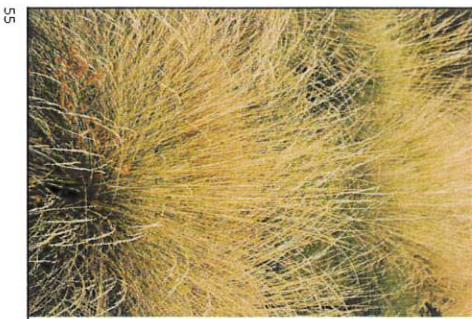
HARDINESS ZONE: 4-9

SIZE: 3'-4' tall x 2'-3' wide

WATER-USE: Low

EXPOSURE: Full sun

MAINTENANCE: Comb out with rake in late winter, do not cut as this could damage crown



55



ORNAMENTAL GRASSES M'ml

MORNING LIGHT MAIDEN GRASS

Miscanthus sinensis 'Morning Light'

Dense clumps of slender, green blades with creamy white margins and midveins that create a shimmering silvery appearance. Reddish plumes persist through winter. A superb grass adding visual excitement to the landscape.

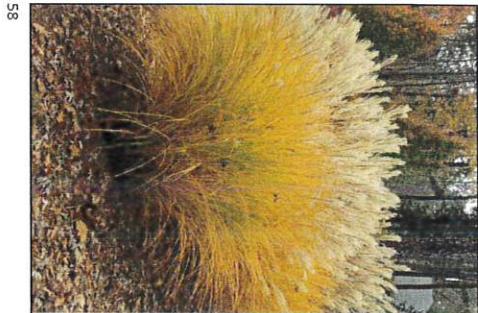
HARDINESS ZONE: 5-9

SIZE: 5' tall x 3-4' wide

WATER-USE: low to moderate

EXPOSURE: Full sun

MAINTENANCE: Appreciate winter interest by cutting back grass to within 6" of ground in late winter by tying with bungee cord and sheer with hedge trimmers.



ORNAMENTAL GRASSES Ms'g

MAIDEN GRASS

Miscanthus sinensis 'Gracillimus'

A superb selection of Maidenhair grass that blooms with a massive display of copper colored flowers in late summer. The seedheads age to white giving the grass a wonderful look in fall and early winter.

HARDINESS ZONE: 5-9

SIZE: 5-6' tall x 3-4' wide

WATER-USE: low to moderate

EXPOSURE: Full sun

MAINTENANCE: Appreciate winter interest by cutting back grass to within 6" of ground in late winter by tying with bungee cord and sheer with hedge trimmers.



ORNAMENTAL GRASSES M'u

UNDaunted RUBY MUHLY

Muhlenbergia reverchonii 'UNDaunted'

A medium sized grass with thin, mid-green foliage and finely textured, showy, bright reddish-pink seed heads in fall. In winter, the grass and seed spikes turn a tawny brown.

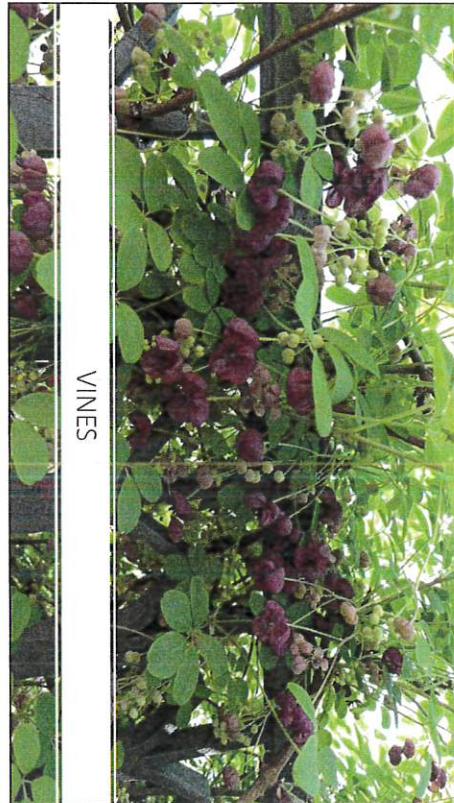
HARDINESS ZONE: 5-9

SIZE: 24-36" tall x 18-24" wide

WATER-USE: low

EXPOSURE: Full sun

MAINTENANCE: Prune to 6" from the ground in late winter



VINES



The City of Cedar Hills

TO:	Mayor and City Council
FROM:	Chandler Goodwin, City Manager
DATE:	November 15, 2022

SUBJECT:	Discussion on entering into an agreement with Dowdle Studios, LLC
APPLICANT PRESENTATION:	N/A
STAFF PRESENTATION:	Chandler Goodwin, City Manager

BACKGROUND AND FINDINGS:

The City has been approached by Dowdle Studios, LLC to gauge interest in the City's interest in producing a work of art (32'X40') depicting the City, various landmarks, and representations of its history in the style of art Dowdle Studios is known for. Other communities in Utah have worked with Dowdle Studios and produced the artwork and marketed the artwork as a puzzle for residents and collectors. The contract calls for a total payment of \$150,000, which includes the original artwork as well as 6,000 puzzles that the City can sell to recoup the cost of commissioning the painting; if every puzzle sold at \$25, the City would receive \$150,000. Staff and Mayor Andersen have met with representatives from Dowdle Studios and wish to understand the council's interest in pursuing an agreement.

PREVIOUS LEGISLATIVE ACTION:

N/A

FISCAL IMPACT:

\$150,000; how this affects this fiscal year or next fiscal year remains to be determined

SUPPORTING DOCUMENTS:

Dowdle Studios, LLC agreement

RECOMMENDATION:

Review the agreement and direct staff on how to proceed.

MOTION:

No motion necessary, discussion item only.

ACTION:

Motion:

Second:

Laura Ellison: Yes No Abstain Absent Mike Geddes: Yes No Abstain Absent Alexandra McEwen: Yes No Abstain Absent Brian Miller: Yes No Abstain Absent Kelly Smith: Yes No Abstain Absent

COMMISSIONED PAINTING AGREEMENT

This Commissioned Painting Agreement (the "Agreement") is entered into as of last signature date below, by and between CEDAR HILLS CITY, UT with a principal place of business at 10246 N. Canyon Road, Cedar Hills UT 84062 and Eric Dowdle, doing business as Dowdle Studios, LLC with a principal place of business at 1280 West 200 South, Lindon, UT 84042 ("ARTIST"), each a "Party" and collectively, the "Parties."

Whereas, CEDAR HILLS CITY, UT desires the services of an ARTIST to design and create a commissioned 32 X 40 (size) acrylic painting; and

Whereas, ARTIST has experience as an ARTIST for projects such as that desired by CEDAR HILLS CITY, UT; and

Whereas, CEDAR HILLS CITY, UT selected ARTIST to provide these services, and CEDAR HILLS CITY, UT performed by ARTIST and attendant rights, duties and responsibilities of ARTIST and CEDAR HILLS CITY, UT;

Therefore, in consideration of mutual covenants and promises of CEDAR HILLS CITY, UT and ARTIST set forth in this Agreement, it is agreed as follows:

1. Scope of Services
 - a. ARTIST shall commence services hereunder immediately upon execution of this Agreement.
 - b. Artwork Design, Creation and Ownership. ARTIST shall design and paint a commissioned 32 X 40 (size) acrylic painting for CEDAR HILLS CITY, UT (Hereafter referred to as the "ART"). ARTIST shall make a good faith effort to include the items from CEDAR HILLS CITY, UT "must haves" list, which is attached hereto as Exhibit B and incorporated herein by this reference, in the design of ART. As part of designing ART, ARTIST shall come to CEDAR HILLS CITY, UT to do research for ART, including taking pictures. Upon completion, delivery and payment, CEDAR HILLS CITY, UT shall be the owner of the ART with all rights, title and interest therein except as provided for in paragraph 1.d. of this Agreement.
 - c. Product Orders. In addition to the ART, ARTIST shall, as requested by CEDAR HILLS CITY, UT, supply to CEDAR HILLS CITY, UT framed artwork, puzzles, wooden puzzles, or other products (hereinafter "Other Products") created by ARTIST depicting the ART at ARTIST's wholesale cost set forth in Exhibit A.

- d. As a term of this Agreement, CITY agrees to purchase a minimum of Six Thousand (6,000) puzzles depicting the ART. CITY may also designate additional Other Products for purchase at wholesale pricing by indicating its preference on Exhibit A below. CITY may also purchase Other Products at wholesale pricing at any given time after signing this Agreement before the expiration of CITY's exclusive right to market and sell the ART as outlined in Section (g) below.
- e. City's Right to Sell Products at Retail. CEDAR HILLS CITY, UT may sell any products it purchases from ARTIST to any third party at retail at any price as determined by CEDAR HILLS CITY, UT. ARTIST may recommend a suggested retail price point to CITY, but CITY has the right to sell products depicting the ART at a retail price point that the CITY designates.
- f. Copyright and Royalty. ARTIST shall retain all copyright, reproduction, and distribution rights to the ART not otherwise transferred to CEDAR HILLS CITY, UT upon completion, delivery, and payment of the ART.
- g. Perpetual License. CEDAR HILLS CITY, UT shall have a perpetual license to use images of the ART and Other Products to market and advertise retail products noted in 1.c. and 1.d. and to market CEDAR HILLS CITY, UT events. This license shall benefit the CITY and survive the term of this Agreement.
- h. Exclusive Rights to Sell and Market the ART. Upon completion of the ART, delivery of the ART and full payment for all obligations under this Agreement, CEDAR HILLS CITY, UT shall have exclusive marketing and sales rights to the ART on any product for a period of twelve months (12) from the latest date that art completion, art delivery and/or payment for all products under this Agreement occurs.
- i. Delivery of ART. ARTIST shall provide to CEDAR HILLS CITY, UT all drawings that are necessary to describe and show ART by no later than _____ 2022. CEDAR HILLS CITY, UT may then provide feedback to ARTIST on said drawing to the extent the drawings do not include the "must-have" items listed in Exhibit B, and ARTIST shall modify the design of ART to comply with Exhibit B. If at the time the ARTIST modifies the drawings to include the items in Exhibit B and CEDAR HILLS CITY, UT is still not satisfied with the proposed ART, CEDAR HILLS CITY, UT shall have the right to request additional modifications to the

image until satisfied with the concept art. ARTIST will meet with CEDAR HILLS CITY, UT for review and approval of the progress of ART at mutually agreeable times either in person or virtually. ARTIST shall deliver the completed painting to CEDAR HILLS CITY, UT no later than _____ unless additional modifications are requested by the CITY. In the event that additional modifications are requested by the CITY above and beyond the timeline proposed in this section, the parties agree to use reasonable means complete the project in a timely manner.

2. Payment:

- a. Down Payment: CEDAR HILLS CITY, UT shall pay ARTIST half of the commissioned art fee, or Thirty Seven Thousand Five Hundred (\$37,500.00) US Dollars to start the design and ART creation process.
- b. Second Payment: CITY shall pay ARTIST remaining half of the commissioned art fee, or Thirty Seven Thousand Five Hundred (\$37,500.00) US Dollars upon CEDAR HILLS CITY, UT upon City's approval of the image to be painted and delivery by ARTIST of ART to CEDAR HILLS CITY, UT.
- c. For Other Product orders as outlined in Exhibit A, including the minimum puzzle order outlined in Section 1(d) above, payment will be made to ARTIST Net 30 upon delivery by ARTIST of the Other Products to CEDAR HILLS CITY, UT.
- d. Total Minimum Payment: The parties acknowledge that the total minimum payment under this Agreement will be One Hundred Fifty Thousand (\$150,000.00) US Dollars for the Commissioned Art itself as well as the minimum puzzle commitment. Additional committed fees for Other Products will be outlined under Exhibit A.

3. Representations and Miscellaneous Provisions: It is further agreed that:

- a. Independent Contractor Status. ARTIST shall at all times be deemed to be an independent contractor with respect to CEDAR HILLS CITY, UT and its performance of services hereunder. ARTIST shall not be appointed CEDAR HILLS CITY, UT officer or agent and shall not have authority to execute documents or take action with the legal force and effect as if those actions were taken by CEDAR HILLS CITY, UT.

- b. ARTIST shall be liable for and be responsible on its own for payment of each of the following:
 - 1. Federal, State or Local taxes;
 - 2. Workers' compensation and all other insurance necessary for ARTIST and all employee and agents of ARTIST performing work or services for purposes of this Agreement.
- c. Indemnification. ARTIST agrees to indemnify and hold harmless CEDAR HILLS CITY, UT and its trustees, officers, employees, agents and affiliates from and against all taxes, losses, damages, liabilities, fees, judgments, costs and expenses, including attorney's fees and other legal expenses, arising directly or indirectly from or in connection with ARTIST breaching this Agreement or from ARTIST's intentional misconduct that harms CITY as that conduct pertains to the ART itself.
- d. Choice of Law. The Agreement will be governed by the laws of the State of Utah, without regard to conflicts of laws principles. Venue for any lawsuits, claims, or other proceedings between the Parties relating to or arising under the Agreement shall be exclusively in Utah County, State of Utah.
- e. Entire Agreement. This Agreement constitutes the entire agreement between the Parties with respect to the subject matter of this Agreement and supersedes all prior written and oral agreements between the parties regarding the subject matter of this Agreement. No waiver, alteration or modification of any provision of this Agreement will be binding unless in writing and signed by a duly authorized representative of each of CEDAR HILLS CITY, UT and ARTIST. Only another writing signed by both Parties and their duly authorized representatives may modify this Agreement.
- f. Severability. If any provision of this Agreement is found to be illegal or unenforceable, the other provisions shall remain effective and enforceable to the greatest extent permitted by law.
- g. No other Rights of Use. Nothing in this Agreement establishes in ARTIST any right or interest in CEDAR HILLS CITY, UT names or marks. ARTIST agrees not to use, attempt to use, or assert ownership or any interest in any CEDAR HILLS CITY, UT intellectual property, including any name or mark.

h. Notices. All notices herein provided to be given, or which may be given, shall be deemed to have been fully given when made in writing and deposited in the US mail, sent certified, prepaid and addressed as follows:

To City: CEDAR HILLS CITY, UT
Attn City Manager
10246 N. Canyon Road
Cedar Hills, UT 84062

To Artist: Eric Dowdle
Dowdle Studios, LLC
1280 West 200 South
Lindon, UT 84042

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed by their duly authorized representatives effective as of the last date the Agreement is signed below.

CITY

ARTIST

By: _____
(Signature)

By: _____
(Signature)

Name: _____

Name: _____

Title: _____

Title: _____

Date: _____

Date: _____

EXHIBIT A

Commissioned Original Art Product Pricing Menu

<input type="checkbox"/>	Original Painting	36"x50"	\$100,000.00
<input checked="" type="checkbox"/>		32"x40"	\$75,000.00
<input type="checkbox"/>		22"x28"	-\$75,000.00

x	Jigsaw Puzzles (100, 500, 1000)	6,000 min	\$12.50
<input type="checkbox"/>		11"x14"	99.00
<input type="checkbox"/>		16"x20"	170.00
<input type="checkbox"/>	Framed Giclee Canvas Print	18"x24"	225.00
<input type="checkbox"/>	Orders over 20 qty. / 50% discount	22"x28"	329.00
<input type="checkbox"/>		32"x40"	716.00
<input type="checkbox"/>		40"x50"	895.00
<input type="checkbox"/>		5"x7"	250.00
<input type="checkbox"/>	Stratascapes	8"x11"	400.00
<input type="checkbox"/>		13"x16"	600.00
<input type="checkbox"/>	Wooden Puzzles - Vintage	300 pc	120.00
<input type="checkbox"/>		500 pc	140.00
<input type="checkbox"/>	Wooden Puzzles - Classic	300 pc	

Final Purchase Price Total: **\$150,000.00**

Exhibit “B”

“Must Have” List

TBD

Buildings and Features

“Nice to Have” List



The City of Cedar Hills

TO:	Mayor and City Council
FROM:	Chandler Goodwin, City Manager
DATE:	11/15/2022

SUBJECT:	Fiscal Year 2022-2023 (July 1, 2022 to June 30, 2023)
APPLICANT PRESENTATION:	n/a
STAFF PRESENTATION:	Charl Louw, Finance Director

BACKGROUND AND FINDINGS:

The City is required to keep expenditures within the fund budget to comply with State requirements. The proposed fiscal year 2022-2023 budget amendments propose changes to the revenues and expenditures based on trends and priorities.

PREVIOUS LEGISLATIVE ACTION:**FISCAL IMPACT:**

The supporting documentation of the proposed fiscal 2022-2023 budget amendments is attached showing changes to each line item.

Liability insurance overall was a little higher than the initial estimate in the spring for most departments, so adjustments were made to cover the higher cost or lower cost, as needed.

The cost of installing Christmas lights, which is still lower than the market rate, was \$2,000 higher than the prior year. The adjustment to the beautification committee account allows them to still do yard of the month and a spring service project.

The city is looking into having a Dowdle puzzle commissioned, which would require a down payment of \$75,000 to start the project and finalize the design. The total cost would be \$150,000 for 6,000 puzzles that would be sold to residents. Other neighboring cities, like Pleasant Grove have been able to sell enough puzzles within days to cover costs.

The general fund has been gradually reducing the financial subsidy to the golf operations over the last few years. The current subsidy of \$50,000 has been offset by significantly higher revenues the last few months. The golf operations anticipate future adjustments to recognize the increased play. Higher than budgeted revenues in golf operations in prior years are funding a new mower and a new deck sitting area for tournaments.

American Fork Debris Basin is managed by Cedar Hills, Highland, and American Fork. The cities have been working with Horrock's engineering on a design to improve the safety of removing the debris. Each city is committed to contribute to one third of the \$720,000 project.

The city was able to get a grant of \$1,500,000 from the state to cover 70% of the new secondary water meters install and materials costs. The city will be applying for \$750,000 of 1%-meter bond financing from the State of Utah to help with cash flow during this project, the new culinary meters, the Debris Basin project, and the \$900,000 Harvey Well Deepening project. The city will pay the new bonds off after pending project contingencies are funded, and emergency fund reserves are restored to two months of operating expenditures.

SUPPORTING DOCUMENTS:

See attached budget amendments.

RECOMMENDATION:

Staff recommends the City Council review the submitted resolution and supporting documentation with the intent of a motion.

MOTION:

To approve/no approve Resolution No.____, a resolution adopting the July 1, 2022-June 30, 2023, fiscal year budget amendments for the City of Cedar Hills, Utah.

ACTION:

Motion:

Second:

Laura Ellison: Yes No Abstain Absent

Mike Geddes: Yes No Abstain Absent

Alexandra McEwen: Yes No Abstain Absent

Brian Miller: Yes No Abstain Absent

Kelly Smith: Yes No Abstain Absent

BUDGET AMENDMENTS - FY 2023

		Adjustment		Current Budget	Adj. Budget
General Fund					
<i>Insurance update--Premiums higher than initial estimate</i>					
10-40-510	Insurance	\$ 1,126.00	Increase in Expenditures	30,000.00	31,126.00
10-65-615	Insurance	\$ 144.00	Increase in Expenditures	1,600.00	1,744.00
Seasonal Lights	Beautification Committee	\$ 2,000.00	Increase in Expenditures	4,500.00	6,500.00
City Dowdle Commissioned \$150K Puzzle Project, Mayor & City Council Materials & Supplies	Materials & Supplies	\$ 75,000.00	Increase in Expenditures	200.00	75,200.00
Transfers Out Subsidy to Golf Eliminated	Transfer out to Golf Fund	\$ (50,000.00)	Decrease in Transfers Out	50,000.00	-
		\$ 910,684.00	Unrestricted unassigned Fund Balance 6/30/2022		
		\$ 832,414.00	Adjusted Fund Balance 19% of Budgeted Expenditures		
Golf Fund					
<i>Green fee revenues higher than prior years</i>		\$ (50,000.00)	Increase in Revenues	(883,000.00)	(933,000.00)
20-30-100	Green Fees	\$ (2,900.00)	Decrease in Expenditures	20,000.00	17,100.00
<i>Insurance update--Premium lower than initial estimate</i>					
20-60-750	Insurance	\$ 60,000.00	Increase in Expenditures	89,000.00	149,000.00
Mower shipment delayed prior year funding	Capital Outlay	\$ 50,000.00	Decrease in Transfer In	(50,000.00)	-
20-95-202	Capital Transfer In reversed, subsidy eliminated	\$ 250,000.00	Increase in Transfer Out	-	250,000.00
20-35-300	Transfer from other funds	\$ 530,253.00	Unrestricted assigned Fund Balance 6/30/2022		
Capital Projects Fund Transfer Out for Deck, Roofing, and Seating	Transfer to Capital Projects	\$ 223,153.00	Adjusted Fund Balance 19% of Budgeted Expenditures		
Capital Projects Fund					
<i>Event Center Deck, Roofing, and Seating Design and Implementation</i>		\$ 250,000.00	Increase in Expenditures	-	250,000.00
40-95-225	Building Improvements	\$ (250,000.00)	Increase in Transfer In	-	(250,000.00)
Transfer In to fund Deck, Roofing, and Seating	Transfer In from Golf Fund				
40-30-803					
Water and Sewer Fund					
<i>Insurance update--Premiums higher than initial estimate</i>		\$ 857.00		7,000.00	7,857.00
51-72-510	Insurance	\$ 1,828.00		10,000.00	11,828.00

American Fork Debris Basin Safety Improvements			
51-72-751	Storm Drain Maintenance	\$ 240,000.00	30,000.00
			270,000.00
Water Board Financing for Meters, Cash Flow Adjustment			
51-XXXXXX	Water meter bonds	\$ (750,000.00)	-
			(750,000.00)

RESOLUTION No. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CEDAR HILLS, UTAH, ADOPTING THE AMENDED 2023 FISCAL YEAR BUDGET FOR THE CITY OF CEDAR HILLS, UTAH.

WHEREAS, City of Cedar Hills (the “City”) adopted its Fiscal Year 2023 Budget on or about June 14, 2022; and

WHEREAS, the City Manager submitted to the City Council proposed amendments to the Fiscal Year 2023 General Fund, and Golf Fund; and

WHEREAS, the City Council of the City, pursuant to published notice, has conducted a public hearing during a regular meeting of the city council on or about November 15, 2022 to discuss the proposed amendments; and

WHEREAS, residents and other members of the community were given an opportunity to present testimony regarding the proposed amendments.

NOW, THEREFORE, be it resolved by the City Council of the City of Cedar Hills, Utah:

Pursuant to §10-6-118, Utah Code, the Amended 2022-2023 Fiscal Year Budget for the General Fund, Golf Fund, Capital Projects Fund, and the Water and Sewer Fund for the City of Cedar Hills, Utah, is hereby adopted. A copy of said budget amendments is attached hereto (Attachment A), and by this reference made part of this Resolution.

PASSED AND APPROVED this 15th day of November, 2022.

CITY OF CEDAR HILLS COUNCIL

By: _____
Denise Andersen, Mayor

VOTING:

Laura Ellison	Yes	No	Absent
Mike Geddes	Yes	No	Absent
Alexandra McEwen	Yes	No	Absent
Brian Miller	Yes	No	Absent
Kelly Smith	Yes	No	Absent

ATTEST:

Colleen A. Mulvey, MMC
City Recorder

Deposited in the office of the City Recorder this 16th day of November, 2022.



The City of Cedar Hills

TO:	Mayor and City Council
FROM:	Chandler Goodwin, City Manager
DATE:	November 15, 2022

City Council Agenda Item

SUBJECT:	Resolution to Adopt The City water Conservation Plan
APPLICANT PRESENTATION:	n/a
STAFF PRESENTATION:	Chandler Goodwin, City Manager

BACKGROUND AND FINDINGS:

The Division of Water Resources requires a Water Conservation Plan be submitted to the Department of Natural Resources every 5 years according to the Water Conservation Plan Act (UCA 73-10-32). The water conservation plan including the appropriate updates is required to be approved by resolution. This water conservation plan includes details about the City's efforts to conserve water through the installation of secondary water meters and updates to landscaping requirements found in City Code. Public Works submitted a draft report to the State for feedback in July, any comments or corrections received were implemented into the plan.

PREVIOUS LEGISLATIVE ACTION:

The previous Water Conservation Plan was adopted on 09-19-2017 and submitted to the Division of Water Quality.

FISCAL IMPACT:

n/a

SUPPORTING DOCUMENTS:

The 2022 Water Conservation Plan, proposed resolution.

RECOMMENDATION:

Staff recommends that the City Council approve the City of Cedar Hills 2022 Water Conservation Plan.

MOTION:

To approve/not approve Resolution No. _____, a resolution adopting the 2022 Water Conservation Plan for the City of Cedar Hills, Utah.

ACTION:

Motion:

Second:

Laura Ellison: Yes No Abstain Absent

Mike Geddes: Yes No Abstain Absent

Alexandra McEwen: Yes No Abstain Absent

Brian Miller: Yes No Abstain Absent

Kelly Smith: Yes No Abstain Absent



Water Conservation Plan-DRAFT

NOVEMBER 2022

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Introduction

As Cedar Hills looks forward through the remainder of this decade, although we have witnessed a decline in our city's population from 10,310 in 2017 down to 10,019 in 2020. At full build out, the future of Cedar Hills continues to have the potential to reach a population of 13,500. With residential property being subdivided, and with new commercial growth, Cedar Hills has seen new growth in the past few years which has contributed to more customers connecting to the City's water systems. With all these changes, Cedar Hills is continuously looking for ways to conserve water; and investigating ways for residential and commercial property owners to use alternative landscaping methods, such as xeriscape, localscape, and hardscape outdoor areas as an alternative to traditional landscaping. There has been concern over the future cost and availability of the water supply as demonstrated by the State Legislature in the Water Conservation Plan Act (House Bill 418) passed in the 1998 session. Revisions to the bill were passed in 1999 (House Bill 153) and in 2004 (House Bill 71). This Act is codified as Section 73-10-32, UCA of the Utah State Code. Cedar Hills' citizens and leaders, having foreseen the continued growth, have taken many steps to ensure that Cedar Hills continues to have a sufficient supply of water for all its needs. Each year new legislation is passed working towards ensuring communities are doing their part to conserve this precious resource. This water conservation plan is written to address any concerns of leaders and citizens of both Cedar Hills and the State of Utah.

Description of the City

Nestled near the mouth of American Fork Canyon, the community of Cedar Hills provides a beautiful view of the surrounding mountains, Utah Lake, and Utah Valley. The topography of Cedar Hills varies significantly. With the many annexations of land from both the lower areas and the hillside zone into Cedar Hills, the City's elevation ranges from lower than 4,800 ft. to greater than 5,280 ft.

Cedar Hills, located in northern Utah County, the second driest state in the nation and neighboring the cities of Pleasant Grove, Highland, and American Fork. Cedar Hills has experienced an increase in residential, commercial, and public facility growth over the past few years, but is nearing potential build-out. The City has added a twelve acre city park, a new subdivision, single family infill development, and several commercial businesses. There are approximately 2,250 acres within the Cedar Hills City limits. Approximately 50 acres for commercial development, while the remaining 2,200 acres are zoned for residential and open spaces. In 2019-2020 a new City park was constructed, Harvey Park, which includes a baseball field, soccer fields, and a splash pad. The splash pad uses culinary water with the drainage system strategically routed directly into our pressurized irrigation system. This design helps conserve our water while using it, having fun in it, and ultimately repurposing it for irrigation.

The chart below illustrates the permits issued by the building department over the last 5 years.

PERMITS ISSUED										
	Home	TownHome	Solar	Basement	Pool	Commercial	Car Wash	Parks	Water/Sewer Conn.	Other
2017	15	0	48	17	1	1	0	1 (Restroom)	0	20
2018	7	0	6	13	1	0	0	0	5	35
2019	8	0	17	15	4	2	0	1 (Splash Pad)	1	53
2020	26	0	28	30	2	2	0	0	0	64
2021	57	1 (4 units)	29	29	7	3	0	0	0	89
2022 As of 6/20/22	0	0	12	15	2	2	1	0	0	47

The "Other" category consists of permits such as furnace and A/C replacement, retaining walls, pergolas, remodels, gas lines, etc.

The City of Cedar Hills owns and operates two separate water systems: culinary and pressurized irrigation. The culinary water system provides potable water for indoor use. Prior to the 2003 irrigation season, water for outdoor use was also provided through the culinary system. In 2002, the City began construction of a pressurized irrigation system. The purpose of constructing the pressurized irrigation system was to conserve culinary water and provide for more efficient use of the City's water resources. The new system enabled the City to use irrigation water rights that had been either purchased or provided to the City to meet the water policy for new developments. In addition, the pressurized irrigation system removed water from open ditches, eliminating the losses of conveyance. Over 95 percent of the small farms and residences that used surface water from ditches have converted to using the pressurized irrigation system. There are few homes and irrigated acreages that do not have the pressurized irrigation system available to them. The residential indoor and outdoor use for these homes is provided through the City's culinary water system.

The Water Supply

The City of Cedar Hills has two deep well water sources for its culinary water supply. These sources of water are Harvey Well and Cottonwood Well. However, if the wells cannot supply sufficient water, Cedar Hills will work with American Fork City to use a connection to the American Fork culinary water system through a booster that can then supply Cedar Hills with water.

Water is supplied to the pressurized irrigation system from the American Fork River, Pleasant Grove Irrigation Co, Harvey Well/Cottonwood Well, and Central Utah Water Conservancy District (CUWCD) connections. The system primarily relies on the creeks and springs from American Fork River, if the flow is available. As the irrigation season progresses and the flows from surface water sources subside, the wells and the CUWCD connections are used to provide more water sources for the demand on the system. The City of Cedar Hills has water rights of approximately 4,000 acre-feet for indoor and outdoor use.

CULINARY WATER

Type	Connections	Use (Gal/YR)
Residential	2576	176,861,000
Commercial	14	7,563,000
Industrial	0	0
Institutional	14	10,818,705
Other (Parks, Facilities, PG, AF)	44	48,983,000
TOTAL	2648	244,255,705

Per Capita Culinary Water Use:

Residential water deliveries (176,861,000) \div Days per year (365) \div Total service population (10,261) = 47.22 GPCD

Per capita Irrigation Water Use:

Total water produced (620,943,490) \div Days per year (365) \div Total service population (10,261) = 165.79 GPCD (Includes golf course, water loss, evaporation, etc.)

Total Community Water Use Per Capita: Residential + Commercial + Industrial + Institutional + Other (244,255,705) \div Days per year (365) \div Total Service Population (10,310) = 65.22 GPCD

Water Conservation Goals

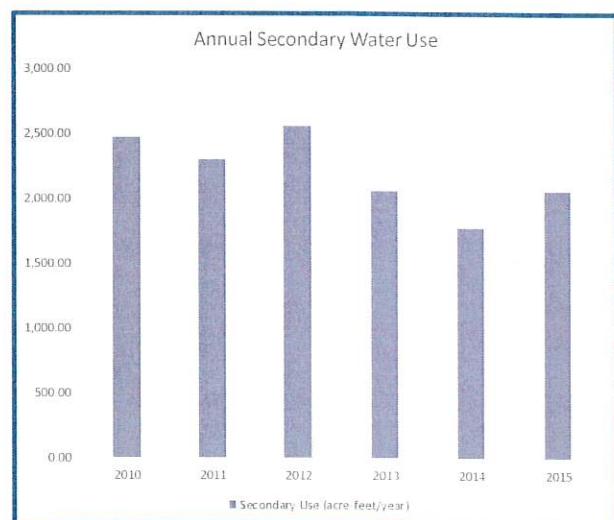
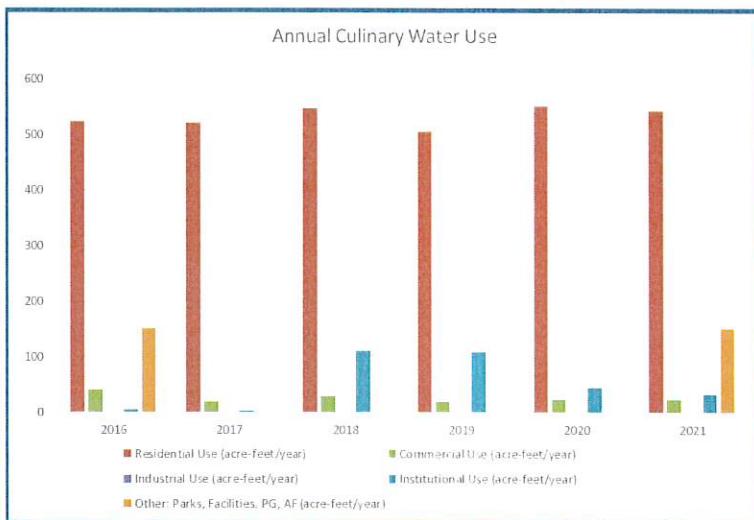
The City has started installing secondary water meters on each connection to the pressurized irrigation system. When the system is fully installed, water users will begin to be billed for actual usage. It is anticipated that this will result in drastic reductions in consumption. The secondary meter installation is one of several plans that the City is pursuing in order to do its part in the state water conservation program. Combined, these plans are expected to result in a 30% decrease in water usage over the next five years throughout the city. From xeriscaping roundabouts and park strips to installing new meters and software for both culinary and secondary water systems, the City is optimistic that efforts throughout the community will result in the conservation of our water sources.

Water Budget

During the 2016 calendar year, 270.630 MGal was supplied to the culinary water system. 234.302 MGal was accounted for in the metered outflows to end-users. Average unaccounted losses from the system are less than 13% for the past water year of record. It is estimated that a significant portion of the difference is due to unmetered connections for new construction, park irrigation and supplementing the pressurized irrigation system.

Data reported to Utah Division of Water Rights on the Annual Water Use Form							Data Collected by System	Sum Residential, Commercial, Industrial, Institutional, and Secondary Use	Multiply acre-feet by 325851.43 to change to gallons	Divide by 365 to change from year to day	use in gallons per day by populati
Year	Population	Residential Use (acre-feet/year)	Commercial Use (acre-feet/year)	Industrial Use (acre-feet/year)	Institutional Use (acre-feet/year)	Other: Parks, Facilities, PG, AF (acre-feet/year)	Secondary Use (acre-feet/year)	Total Use (acre-feet/year)	Convert from Acre-feet to Gallons	Convert from Year to Day	Calculate GPCD
2016	10,310	522.61	41.48	0.00	4.63	150.32	2,475.36	3,194.40	1,040,899,808	2,851,780.30	276.60
2017	10,334	520.59	18.36	0.00	3.82	***0	2,302.18	2,844.95	927,031,026	2,539,811.03	245.77
2018	10,385	547.79	28.57	0.00	110.28	***0	2,562.14	3,248.78	1,058,619,609	2,900,327.70	279.28
2019	10,209	504.78	19.63	0.00	108.88	***0	2,062.33	2,695.62	878,371,632	2,406,497.62	235.72
2020	10,190	551.76	23.83	0.00	44.50	***0	1,780.39	2,400.48	782,199,841	2,143,013.26	210.31
2021	10,261	542.77	23.21	0.00	33.20	150.32	2,062.33	2,811.83	916,238,826	2,510,243.36	244.64

***Data Unavailable at this time



Current Water Conservation Measures and Programs

Pressurized Irrigation System

Prior to the construction and implementation of the City's pressurized irrigation system, some residents used surface irrigation from Pleasant Grove Company ditches, while others used the culinary system to supply outdoor irrigation water. In addition, the small farms in the area were served by surface irrigation and open ditches.

The City's culinary water system is metered at each residence. The pressurized irrigation water system has meters to determine the quantity of water used from each source; however, individual residences are not metered (pending completion of the secondary water meter project). If the water user is considered to be using more water than is necessary, they are contacted to discuss methods of reducing water consumption.

Following are measures and programs that the City of Cedar Hills has committed to and/or has implemented or considered to conserve water.

City Water Use Evaluation- Conservation plan

During the 2013 irrigation season the City gathered information pertaining to the City irrigation system water production and usage. Based on meter readings and pump data, the City produced an average of 0.99 ac-ft. of

irrigation per unit city wide. The number of units within the system was 2,355. Comparing city usage to the Utah State Division of Water Resource recommended usage it was determined that irrigation water usage was excessive to nearly (3) times the recommended amount. It was also recognized that while the irrigation system was designed for 100% build out and the City was currently at approximately 80% build out the water system was operating at approximately 95-105% design capacity.

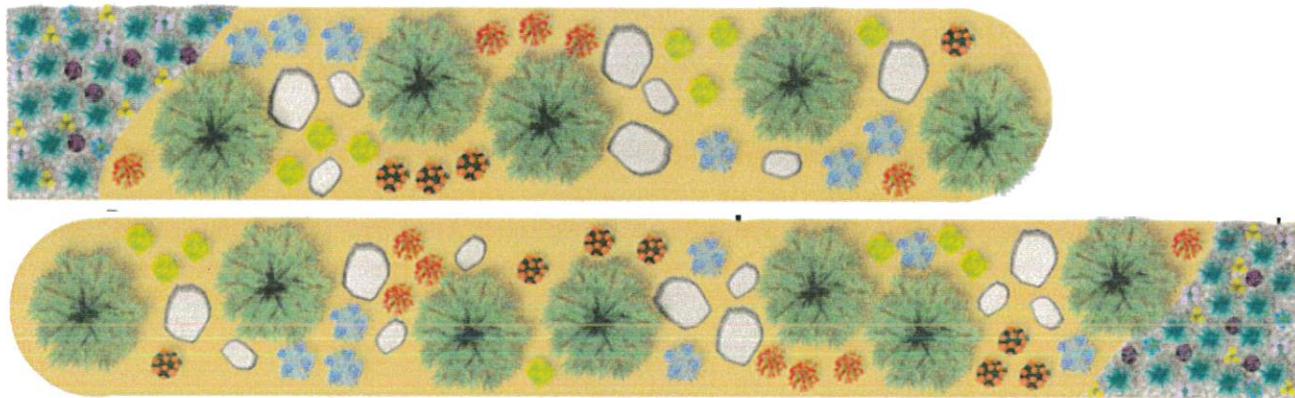
The City has been working with P.K.J Design Group, Sandy Vernon, and Central Utah Water Conservancy District's Conservation Education Director, Casey Finlinson,(Phone: 801-226-7145 casey@cuwcd.com), to create landscaping plans and designs for water conservation projects on City land throughout the community.

Recently, Cedar Hills City Council formed a new "Beautification/Water Conservation Committee". This committee's focus is on beautifying the cityscapes, while at the same time, reducing the water usage and creating drought resistant landscaping throughout city property.

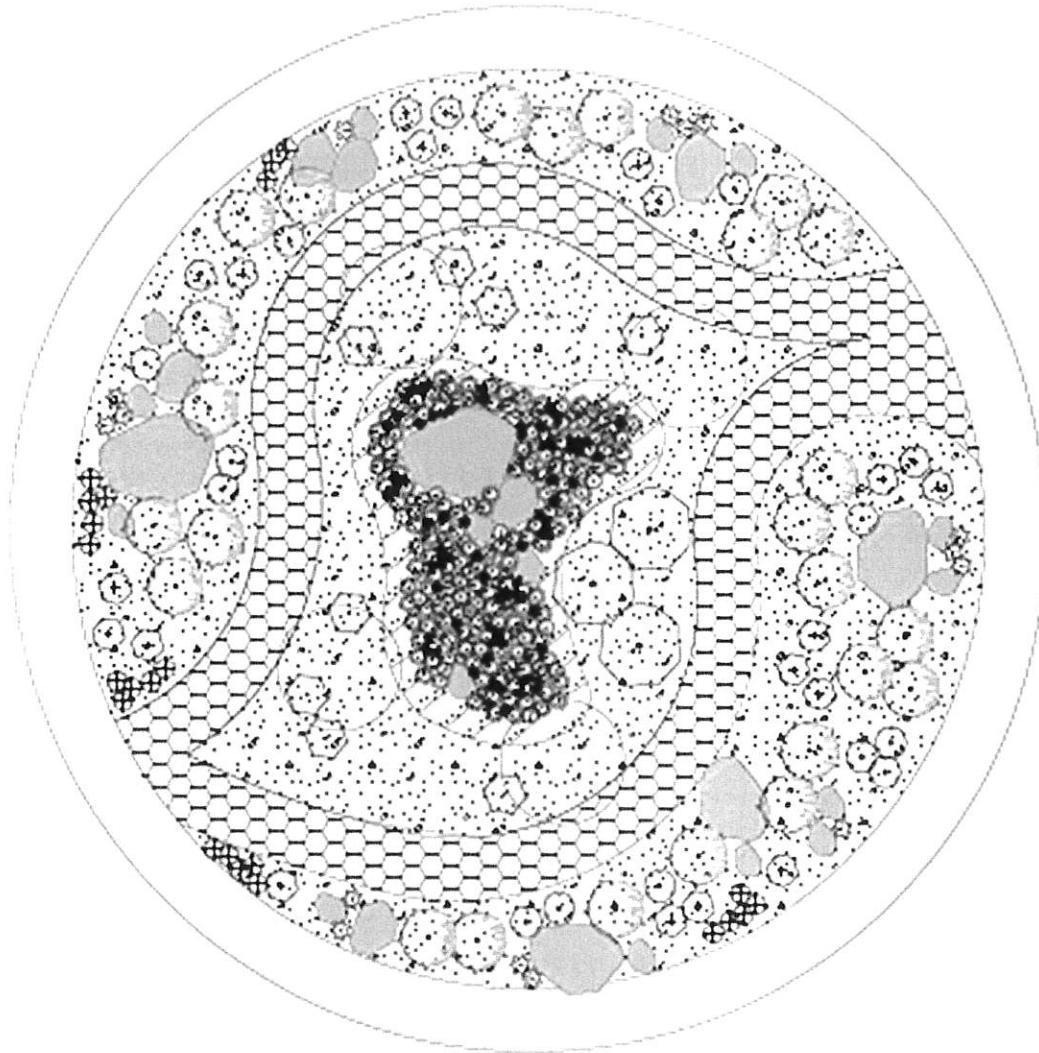
In 2022, Cedar Hills City Council tasked the Beatification Committee with the goal of water conservation in mind while switching grass areas with drought resistance plants and hard scape designs. Conservation efforts will begin in high-traffic areas throughout the community where the impact can be seen by residents. It is the intention of the City to demonstrate to Cedar Hills residents' ways to cut water usage while still having beautiful property. By providing examples of localscapes, plants that are beautiful, drought-tolerant, and native to Utah, the City can encourage residents to use similar landscaping on their residential properties.

Our Beautification Committee members are all volunteer residents of the city. They are: Angela Free, Amy Last, Debra Geppert, Erika Price, David Bragonje, Kaye Lopez, Annette Dungan, Trisha Fredrickson, Kellie Bray, and Richard Miller.

The current plans include the refurbishment of a road median on a collector road in the City. By removing the non-functional turf, and replanting with localscape plants, the City can show way of beautifying areas while becoming more water resilient. The project is called the Cedar Hills Drive Median Project, below are drawings of what it will look like when completed.



The other major water conservation landscaping project being pursued by the City is located at the Bayhill Drive roundabout. This roundabout landscaping project will provide a unique opportunity to demonstrate on a larger scale what localscaping efforts can look like.



These two projects are predicted to save the city 30% in water usage through the years after completion.

TIMELINE OF WATER CONSERVATION EFFORTS IN CEDAR HILLS:

Utah state government 2022 Legislative Session:

- **House Bill 121:** Water Conservation Modifications: Imposes water conservation requirements on state-owned facilities and provides incentives to replace grass.
- **House Bill 37:** State Water Policy Amendments: Promotes recharge of aquifer storage
- **House Bill 242:** Secondary Water Metering Amendments: Requires the metering of secondary water systems
- **House Bill 282:** Water Wise Landscaping Amendments: Prohibits public and private entities from prohibiting water-wise landscaping and authorizes certain landscaping requirements.
- **Senate Bill 110:** Water as Part of General Plan: Mandates municipal general plans to address land and water use together

March 2014

The “Water Conservation Citizens Advisory Committee” recommended that the City establish a water conservation goal. The recommended initial goal is that the Pressurized irrigation (P.I.) system water consumption be reduced to 50% of the 2013 levels. To accomplish this goal recommendations included:

- The City is unlikely to achieve significant water conservation without metering.
- Meters should be installed at all P.I. system connections.
- Meters should be installed at all City owned facilities.
- Education should include:
 - Incentives
 - Rebate program information for testing and upgrading controllers.
 - Notifications when system exceeds recommended usage.
 - Weekly recommended water usage guide.
 - Newsletter water conservation tips.
 - Water Conservation *Yard of the Month* program.
 - Signs throughout the City.
 - Utility bills comparison to neighbor’s usage.
 - Elementary school water conservation program.

April 15, 2014

The “Water Conservation Citizens Advisory Committee” reported to City Council a recommendation to start metering secondary water beginning in 2015 and provide a graduated water use fee schedule. The Committee also recommended educating people in ways that they can conserve water. The Committee further recommended that the City provide information on their web site including a recommended watering guide, weekly water consumption and conservation tips.

June 2014

Cedar Hills worked with *Hansen Allen and Luce* to study and present findings related to the City’s pressurized irrigation system operations and capacities.

August 14, 2014

Cedar Hills provided a Town Hall meeting for the presentation of the *Hansen Allen and Luce* study findings. This included City pressurized irrigation history, annual & weekly consumption trends. *Hansen Allen and Luce* also provided an Irrigation Model for the City system and reviewed various events of failure and the probable consequences. City Council, Mayor, committee members and citizens were given opportunities to ask questions and provide comments.

May 5, 2015 and still in effect currently

The Cedar Hills City Council voted to implement outdoor water conservation measures for all water users within the city. Residential properties with house numbers ending in an odd number will be allowed to water Monday, Wednesday, and Friday. Property house numbers ending in an even number will be allowed to water Tuesday, Thursday, and Saturday. Spot watering with a hose is allowed on Sunday. Restrictions will be enforced with a warning for the first violation, a \$50 fine for the second violation, and a \$200 fine for the third and subsequent violations. These restrictions remain in effect until further notice and supersede the Cities recommendation that residents should follow the State recommended watering schedule.

Cedar Hills City has provided a dedicated Water Conservation page to the City web site.
<http://www.cedarhills.org/utilities/water-conservation>

Public Awareness Program

In years past, Central Utah Water Conservancy District has offered Cedar Hills residents, free classes on zero-scaping techniques, as well as an incentive program that encouraged city residents to switch their property landscaping to a more drought resistant style. Additionally, during our Family Festival each year, the City had a city sponsored booth featuring water conservation information available for festival goers to take home with them to read at their convenience. Every month, the city includes articles in its newsletter on ways residents can conserve water. Social Media posts on our Facebook page and website articles during the spring and summer months give water conservation reminders, irrigation requirements, programs offered by Central Utah Water and other helpful information. To provide additional conservation information and helpful Internet links, on demand, the city has created a water conservation section on our website at www.cedarhills.org under the “residents”--“utilities”--“water conservation” section.

System Maintenance

The City used “state of the art” methods when constructing the pressurized irrigation system. With the system being in its fifteenth year of operation, system losses are calculated to be very minimal.

All of the City’s culinary water lines are PVC lines. Most of the water leaks that the City repairs on a regular basis are deteriorated galvanized or poly water service lateral connections. The City currently requires poly culinary water services.

Current Water Rates

Designing an appropriate rate schedule is a complex task. Rate design is a process of matching the costs of operating the water system to the unique economic, political and social environments in which the City provides its service. The cost of delivering the service must be evaluated and understood. Each water system has unique assets and constraints. Based on the characteristics of the system and past capital and operating costs, revenue requirements can be estimated. City staff has estimated the cost of providing water service and proposed a rate schedule designed to cover such costs. The rate schedule shown below has been adopted by the City of Cedar Hills.

2022 Culinary Water Rates Per Month

Base Rate Per Connection	Usage in Gallons (If PI is connected)	Rate/1,000 Gallons	
\$9.46	1 to 8,000	\$2.11	See City Resolution
	8,001 to 12,000	\$3.49	6-29-2021E
	12,001 to 18,000	\$5.17	
	18,001 and up	\$6.87	

This rate schedule is used only if the resident **is connected** to pressurized irrigation. The above rate schedule is designed to encourage conservation through an ascending block rate structure.

If the resident **is not connected and PI is available**, the following rate schedule applies.

Base Rate Per Connection	Usage in Gallons (If PI is connected)	Rate/1,000 Gallons	
\$9.46	1 to 8,000	\$3.35	See City Resolution
	8,001 to 12,000	\$5.24	6-29-2021E
	12,001 to 18,000	\$6.94	
	18,001 and up	\$8.59	

If the resident is **not connected because PI is not available** at that address, the resident is charged the base rate plus the flat rate of \$2.11/1000 gallons of usage, no matter how much is used.

2022 Pressurized Irrigation Rates Based on Property Lot Size

The rate structure for the pressurized irrigation system is based on lot size. The following is the rate schedule for pressurized irrigation.

Base Rate Per Connection	Lot Size	Rate	
\$15.95	.25 Acre or Less	\$12.98	See City Resolution
	.26 Acre to .33 Acre	\$17.30	6-19-2012B
	.34 Acre to .50 Acre	\$25.95	
	.51 Acre and up***	See Below	

***Rates for large lot sizes will be determined by the City Officials

Water Conservation Plan

In the summer of 2022, the City began installing new meters for both culinary and pressurized irrigation. This step will help conserve an estimated 30% of the city's water over the next few years, lessen costs for electricity from pumping, and prove to lessen demand on city pumps, wells, and state-owned aquifers. Installing meters on all pressurized irrigation connections, on average, decreases irrigation water usage by 30- 40%. Metering will virtually eliminate any "guessing" regarding actual water usage demonstrated currently. It is expected that the reduction in the usage will be the result of a change in the billing process to be for actual water used, and providing customers real-time information on usage.

Water Conservation Plan Relative to End Users

The City of Cedar Hills intends to meet the overall goal of water conservation in the following manner: Installing a new fixed based water system will give us the ability to get real time water meter reads and also notify our customers with problems or water leaks to minimize water loss.

1. Consumer/User Education: Provide information with utility bills, notices, newsletter, website and Facebook for users to water lawns at night and to install and use low-flow fixtures.
2. Individual users are billed at usage rates, identifying high-use consumers. Meters are currently read monthly.
3. Demand charges and water rate adjustments may be evaluated to encourage low-use compliance.
4. Enforcement of new building codes will ensure new users will have low flow fixtures.
5. Enforcement of pressurized irrigation watering restrictions.

Water Conservation Plan Relative to Municipal Uses and Practices

The City of Cedar Hills intends to meet the overall goal of water conservation by implementing the following into the City's standard municipal water practices.

1. Install new subdivision water systems with new valve configurations to minimize water waste during repairs and maintenance.
2. Continue weekly monitoring of reservoir levels and pressures to detect abnormal use and possible leaks.
3. Pressurized irrigation system being installed in new developments. Retrofitting plans for existing municipal systems continues to be evaluated. Pressurized irrigation system installation began in new subdivisions in 1996.
4. Design new municipal parks using our "water efficient" designs (which have been working well in existing municipal parks). Water efficient designs include the use of asphalt trails; barked flower bed areas; watering only at night (several times per week); keeping lawn heights slightly longer; fitting restrooms with low-flow fixtures; sanded recreation areas, tennis courts, baseball diamonds; efficient sprinkler "sprayers" limited to watering only the desired areas.
5. WeatherTRAK smart irrigation controllers have been installed in City landscaped areas. These smart controllers use weather data from national and local weather stations and onsite rain delay equipment which reduces water consumption by pausing the watering before and during times of precipitation. The smart controllers are programmed to efficiently water different soil types, slopes, shade, etc. and will send an alert if there is abnormal water flow which helps identify a maintenance repair needed.
6. Removing grass at our city owned roundabouts and park strips. Work will continue with Central Utah Water on installing drought resistant plants and bushes.

The City of Cedar Hills, will encourage a more efficient use of water, and will implement the above plan, which addresses end-user concerns, as well as standard municipal practices in an effort to reduce municipal water use; and will pursue the efforts outlined above to help reduce residential and commercial water use.

Water Conservation Challenges and Opportunities

Following are some of the challenges that the City faces in being successful in getting citizens to conserve water:

- The City's pressurized irrigation water is not metered at each connection. However, pressurized irrigation will begin to be metered in 2022 with meter installation completed by 2023. The city intends to continue educating residents about water conservation and usage regardless of the newly installed meters.
- Homeowners have a propensity to plant and care for large areas of grass and other landscaping, which require high water requirements.
- Citizens lack understanding of information regarding landscape water requirements. Many residents do not know the water requirements to maintain a healthy landscape and are not aware of common practices that can result in water savings indoors.
- Some residents understanding of a drought-tolerant landscape is a landscape that is dull and unattractive.

- Since the City's pressurized irrigation system will be metered at all connections the City needs to put extra effort into a public education program to promote water conservation. Even though the system will be metered, the City has conserved considerable amounts of water by practically eliminating surface irrigation through open ditches with the associated conveyance losses, and by adopting former Governor Leavitt's plan for water conservation. As an additional conservation effort, the amount of irrigation water required from culinary grade wells has been drastically reduced by being able to make use of the untreated surface water sources.

Water Conservation Goals

This section briefly describes water conservation Best Management Practices (BMP's) that the City is currently implementing.

1. *Public Information and Education Program*
2. *Secondary System for Lawn and Garden*
3. *Leak Detection and System Maintenance/Repair Program*
4. *Promote Water-Efficient Landscaping*
5. *Conservation-Oriented Rate Structure*
6. *Shortage Management*
7. *Metering and Meter Testing, Calibration, and Replacement*
8. *In-Home Leak Detection and Water-Use Management Assistance*
9. *Rebates/Incentives/Rewards*

1. Public Information and Education Program

Water conservation education is aimed at enhancing the awareness and understanding of water-related problems and is based on the premise that it will influence people to voluntarily use water more efficiently and cooperate with regulatory requirements. This approach includes both public information and outreach to schools. It addresses both long-term and short-term water use practices.

Some common public information media are:

- Direct mail, including bill stuffers
- Water conservation information on City's website and Facebook
- Personal contacts
- Posters and brochures
- Educational programs and projects for schools and organizations through County storm water coalition.
- Presentations and demonstrations, including City celebration booth
- Banner that displays water usage and state recommended
- Enforcement of residential watering restrictions by warning for the first violation and following with fines for non-compliance.

Water Education Program

Outdoor Water Use:

- Encourage residential properties to follow the water conservation recommendations of the State of Utah.

- Storm water tip of the month encourages water conservation and protects water quality with advice to decrease runoff and increase water infiltration.
- Water landscaping only as much as required by the types of landscaping and the specific weather patterns of your area. In general, water in the early morning or late evening hours.
- Do not water on rainy and/or windy days. You may do more harm than good to your landscaping, as well as wasting a significant amount of water.
- A single lawn sprinkler spraying five gallons of water per minute uses 50 percent more water in just one hour than the combination of 10 toilet flushes, two five-minute showers, two dishwasher loads, and one full load of laundry.
- Sweep sidewalks and driveways instead of using the hose to clean them off.
- Wash your car from a bucket of soapy (biodegradable) water and rinse while parked on or near the grass or landscaping so that all the water running off goes to beneficial use instead of running down the gutter to waste.
- Check for and repair leaks in all pipes, hoses, faucets, couplings, valves, etc. Verify there are no leaks by turning everything off and checking your water meter to see if it is still running. Areas with drip systems will use much less water, particularly during hot, dry, and windy conditions.
- Keep your lawn well-trimmed and all other landscaped areas free of weeds to reduce overall water needs of your yard.

Indoor Water Use:

- About two-thirds of the total water used in a household is used in the bathroom. Concentrate on reducing your bathroom water use. The following are suggestions for this specific area:
 - Do not use your toilet as a wastebasket. Put all tissues, wrappers, diapers, etc. in the trash can.
 - Check the toilet for leaks. Is the water level too high? Put a few drops of food coloring in the tank. If the bowl water becomes colored without flushing, there is a leak. If you do not have a low volume flush toilet, put a plastic bottle full of sand and water in the tank to reduce the amount of water used per flush. However, be careful not to over conserve to the point of having to flush twice to make the toilet work. Also, be sure the containers used do not interfere with the flushing mechanism.
 - Take short showers with the water turned up only as much as necessary. Turn the shower off while soaping up or shampooing. Install low flow showerheads and/or other flow restriction devices.
 - Do not let the water run while shaving or brushing your teeth. Fill the sink or a glass instead.
 - When doing laundry, make sure you always wash a full load or adjust the water level appropriately if your machine will do that. Most machines use 40 gallons or more for each load, whether it is two socks or a week's worth of clothes.
 - Repair any water leak within the household. Even a slow drip can waste up to 15 to 20 gallons of water a day.
 - Know where your main shutoff valve is and make sure that it works. Shutting the water off yourself when a pipe breaks or a leak occurs will not only save water, but also eliminate or minimize damage to your personal property.
 - Keep a jar of water in the refrigerator for a cold drink instead of running water from the tap until it gets cold. You are putting several glasses of water down the drain for one cold drink.
 - Stop the sink when rinsing vegetables, dishes, or anything else; use only a sink full of water instead of continually running water down the drain.

2. Secondary System for Lawn and Garden

The City of Cedar Hills has constructed a City-wide pressurized irrigation system. The City will continue to require new developments to expand the existing system to bring this service to all residential lots. Additionally, all new construction has required the installation of a secondary meter, subject to the provisions of Utah State legislation.

3. Leak Detection and System Maintenance/Repair Program

Much of the water processed by public suppliers never reaches any customer. It flows through leaks in the distribution system and seeps into the ground or is otherwise lost. However, starting in winter 2006 the City of Cedar Hills started doing winter meter reads to locate abnormally high usage of water and to prevent residential leaks from going undetected longer than needed.

4. Promote Water-Efficient Landscaping

During some summer months, water used for lawn and landscaping may comprise more than half of public water deliveries for many communities. Landscaping with low water use plants and site designs reduces the amount of water needed for irrigation. Such landscapes do not have to be barren, lacking in color, diversity, or only consist of thorny desert plants. Succulent plants and other popular ornamentals may be designed into a water-wise landscape if placed in a location that does not require excess watering.

The City of Cedar Hills:

- Includes water-wise landscaping as a major topic in public information and education programs
- Adopted a policy of applying water-efficient landscaping principles to newly landscaped or relandscaped public buildings, parks, and other sites
- Monitor and evaluate the results of the water-wise landscape information and education
- Periodically, evaluate park landscape watering and landscaping methods to increase conservation. Smart controllers have been installed.
- Including water-efficient landscape requirements in a landscaping ordinance include zero scape ordinance Ord. 8-19-2008B Irrigation Regulations; Ord. 2-17-2009B Xeriscape

5. Conservation-Oriented Rate Structure

The City of Cedar Hills currently has an ascending block rate structure for the culinary water system that encourages water conservation. This same rate structure will be implemented when payments for the secondary system is based on actual usage.

6. Shortage Management

It is anticipated that water shortages may be expected to become more frequent as residential population of the region increases. Consumer demand for water must be curtailed during such times in order to avoid permanent damage to the resources. Local governments can be prepared for such events by enacting water shortage ordinances. A water shortage ordinance should concern practices that produce short-term reductions in water use to deal with temporary severe shortage problems.

Water Shortage Management

The City should have a contingency plan, which spells out climate and political realities related to water use during drought or other water supply shortages. Included here are conservation measures that may be implemented during times of emergency. They are as follows:

- Water City properties on a minimal watering schedule that minimizes watering during daylight hours. Some watering of City properties is performed during the day to reduce the peak demand on the system. If this coordination does not take place, the City's regulating reservoirs drain during the night and overflow during the day. The surface water sources that are part of the City's system are not able to be turned on and off at will.
- Eliminate watering of City property in cases of severe shortages
- Educate the public on the water supply situation
- Instigate voluntary public conservation measures
- No residential outside watering from 9:00 a.m. to 7:00 p.m.
- Issue information to all customers on conservation procedures each can accomplish around their own property and within their own homes
- Instigate mandatory public conservation measures
- Instigate emergency conservation measures:
 - Strictly enforce all conservation policies with significant fines for non-compliance
 - Physically restrict water supplies to (in order of priority):
 - All outside irrigation systems
 - Park properties and other non-essential support facilities
 - Commercial businesses, restricting largest users first
 - Residential areas
 - Any other "non-life support" areas, insuring water supplies to hospitals, hospices, all other health care facilities, and controlled designated area water supply facilities.
- Additional non-emergency water conservation measures

7. Metering and Meter Testing, Calibration, and Replacement

Upgrades to current metering system

Meters provide the basis for determining the system's income and allow managers to account for how much water passes through the system. Accurate measurement of flow volumes, both of distribution mains and at individual services, is critical to efficient operation of the supply system.

Metered Connections: Culinary 100%

Pressurized Irrigation 0.006% (15 PI connections)

Information that describes the meter installation, testing or replacement program includes such details as:

- Date the program was initiated 7/28/2011
- Percentage of meters affected
- Replacement frequency (Meter Maintenance as needed - Components are replaced to maintain accurate monitoring)
- Review of usage reports to detect meters which are no longer function properly ("0" read report) Every 3 months
- Usage/Proof report review to detect high usage customers
- Average percentage of observed errors of used meters
- Impacts of the program on apparent water usage

- Evaluation of effectiveness of program

8. In-Home Leak Detection and Water-Use Management Assistance

The utility or local government may provide a free technical assistance outreach program for locating leaks and identifying ways in which a resident or property owner might use water more efficiently. This program would provide a staff that is knowledgeable in leak detection and water conservation methods.

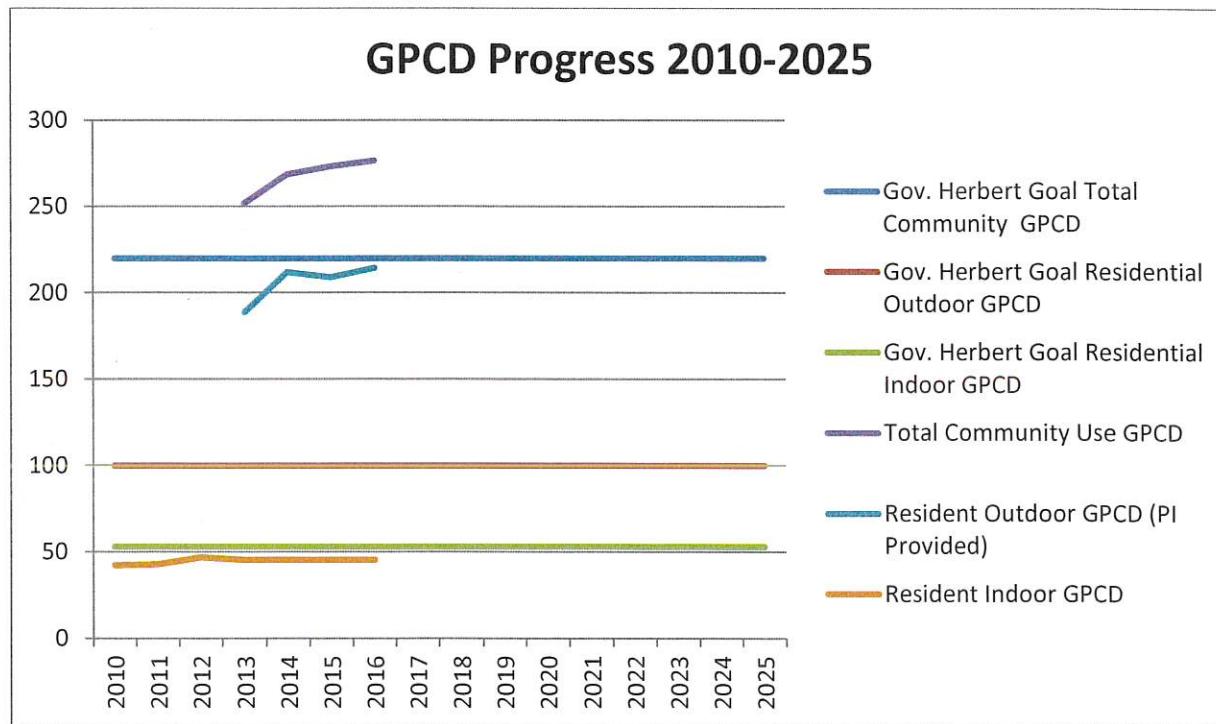
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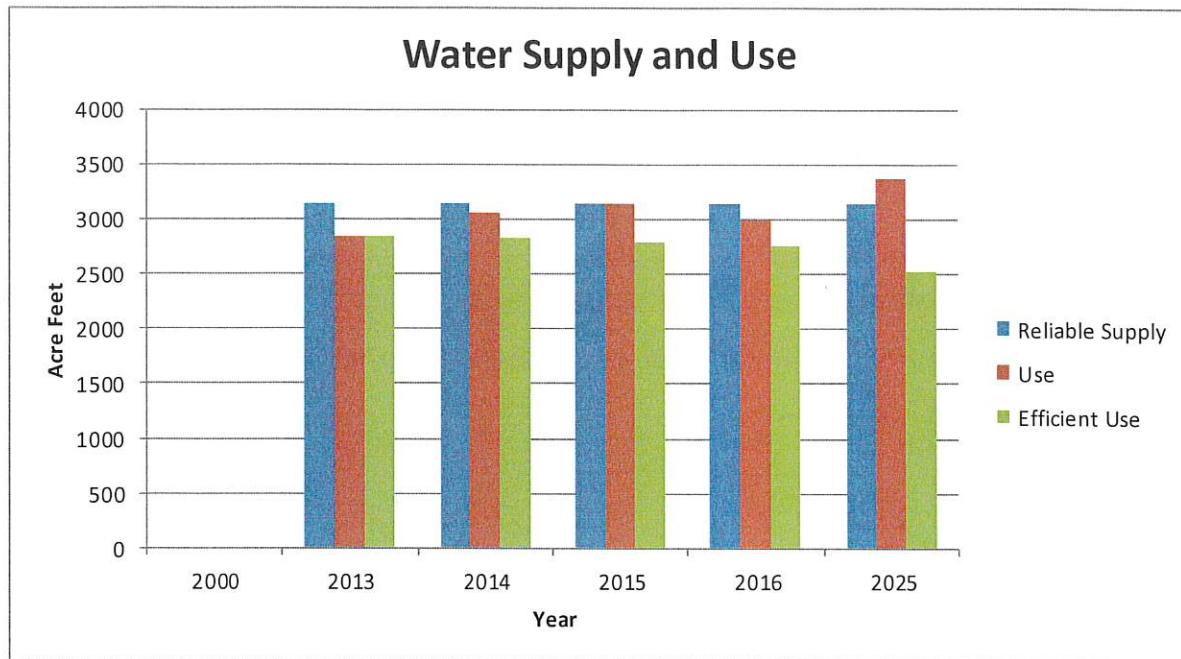
1. In 2022 the city will be installing a new meter reading system that will give the public works crew real time meter reads so the staff can find problem areas or home services that are leaking and notifying them in a timely manner to save water loss around the city's culinary and pressure Irrigation system
2. The City performs leak checks to identify water leaking from the house fixtures or lateral connections to the meter
3. City customers will have a water app on their smart devices that will give them access to their account and there water usage so they can track there water consumption to help save water.

9. Rebates/Incentives/Rewards

CUWCD offers a \$100 rebate on the purchase of an EPA WaterSense® labeled smart controller, which helps reduce water waste by using local weather and landscape conditions to apply water to landscapes only when needed.

Water Use & Governor Water Conservation Goals





Proposed Water Conservation Measures and Programs

This section briefly describes water conservation goals that the City will strive to achieve. Descriptions of how the City of Cedar Hills intends to address each selected item of information is listed under each heading

1. *Water Conservation Committee/ Beautification Committee efforts.*
2. *Retrofit Devices and weather stations for weather skips.*
3. *Install hard scaping in city owned open spaces and park strips.*

1. Beautification and Water Conservation Committee

This committee is tasked with beautification efforts throughout the community as well as identifying areas on municipal properties that can be converted to more water resilient plantings. These efforts have been described in greater detail above.

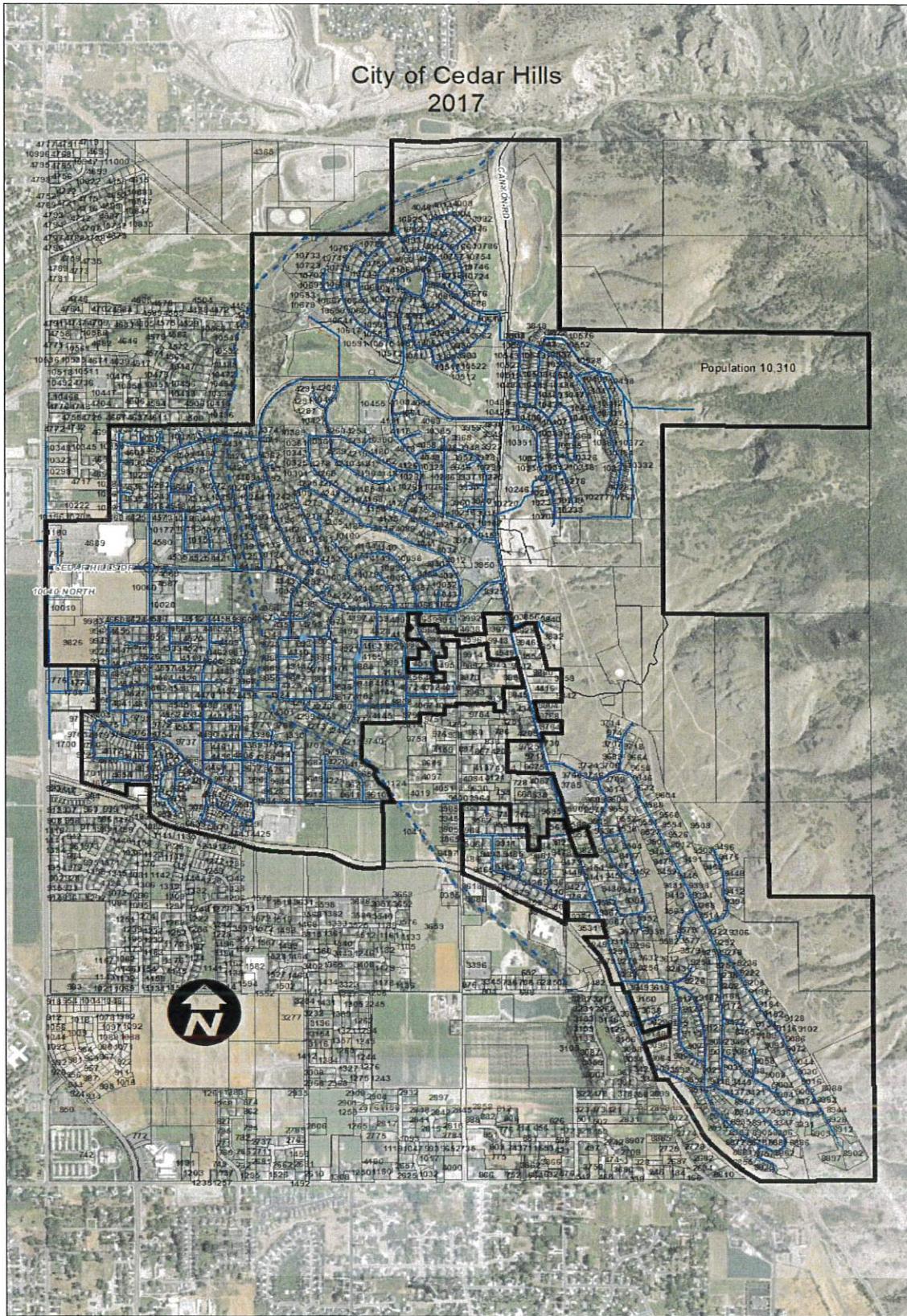
2. Retrofit Devices

Installation of water conserving devices in existing structures complements plumbing codes that require low water-use items in new structures. Retrofitting requirements should usually be mandatory, or devices be provided free of charge to achieve a high degree of compliance. Some localities require retrofit devices to be installed before ownership of a property can be transferred.

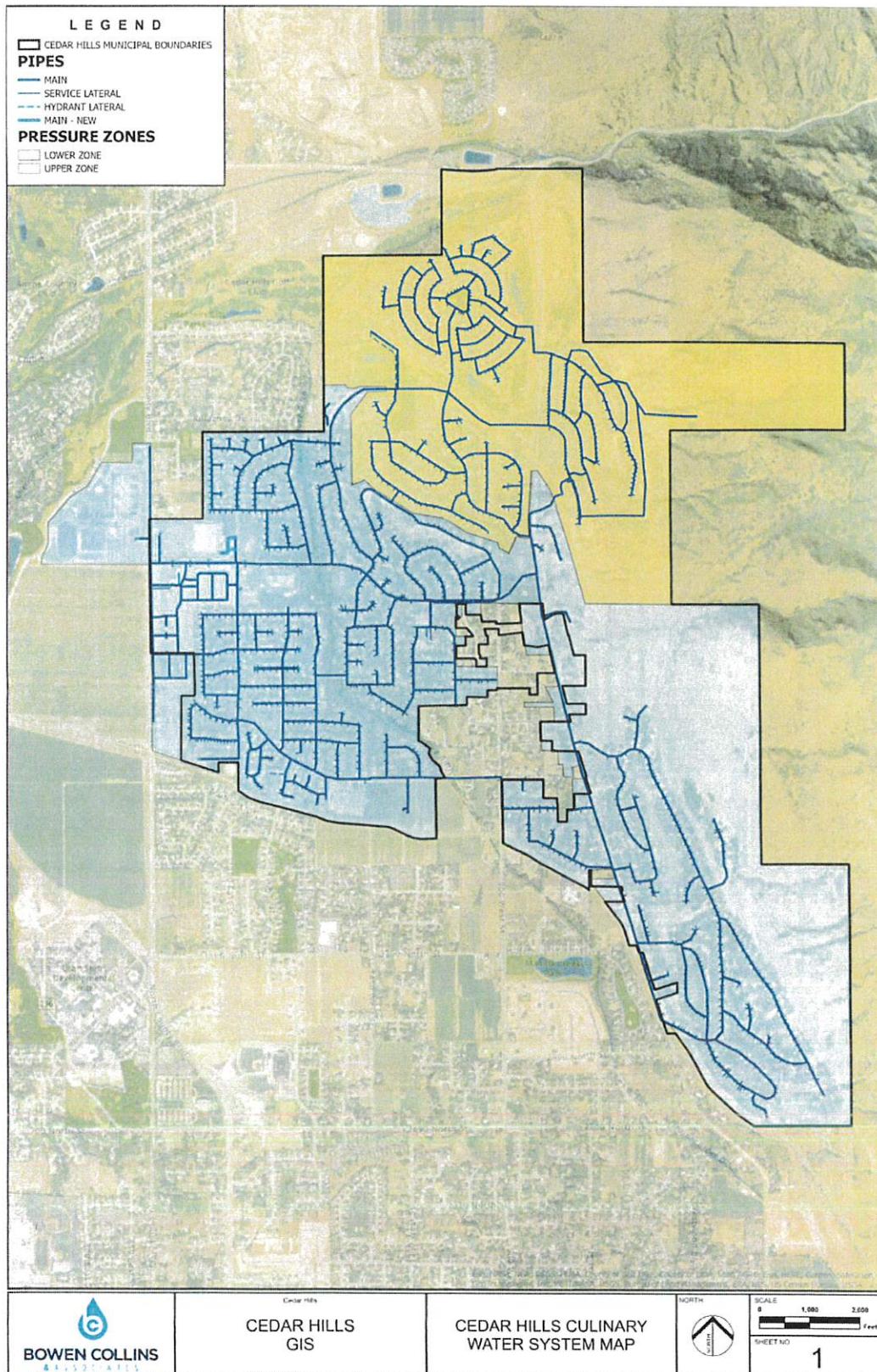
The program may:

1. Define a set of measures to consider
2. Evaluate the impact that such measures would likely have on water demand
3. Analyze the advisability of adopting those measures for their service areas

SERVICE AREA MAP



SERVICE AREA MAP - 2022



Water Conservation Plan Updated By:

Kevin Anderson
Public Works Director
kanderson@cedarhills.org

Tyler Aston
Public Works Operations Manager
taston@cedarhills.org

Melanie Clark
Public Works Office Assistant
mclark@cedarhills.org

RESOLUTION NO. _____

A RESOLUTION ADOPTING THE WATER CONSERVATION PLAN FOR THE CITY OF CEDAR HILLS, UTAH.

WHEREAS, pursuant to §73-10-32, Utah Code Annotated, the City of Cedar Hills is required to adopt a Water Conservation Plan relative to water use within the City; and

WHEREAS, the City of Cedar Hills desires to promote water conservation, in as many forms as possible, within the City.

NOW THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Cedar Hills, Utah County, Utah, as follows:

Section 1. The City of Cedar Hills hereby adopts by resolution the attached Water Conservation Plan for the City.

Section 2. All resolutions or parts thereof in conflict herewith are hereby repealed.

Section 3. This Resolution shall take effect immediately upon its approval and adoption.

PASSED, APPROVED and ADOPTED by the **City Council of the City of Cedar Hills, Utah**, this 15th day of November, 2022.

CITY OF CEDAR HILLS COUNCIL

By: _____
Denise Andersen, Mayor

VOTING:

Laura Ellison	Yes	No	Absent
Mike Geddes	Yes	No	Absent
Alexandra McEwen	Yes	No	Absent
Brian Miller	Yes	No	Absent
Kelly Smith	Yes	No	Absent

ATTEST:

Colleen A. Mulvey, MMC
City Recorder

Deposited in the office of the City Recorder this 16th day of November, 2022.



The City of Cedar Hills

TO:	Mayor and City Council
FROM:	Chandler Goodwin, City Manager
DATE:	November 15, 2022

SUBJECT:	Discussion on amendments to the City's Sign Ordinance, City Code 10-5-26.
APPLICANT PRESENTATION:	N/A
STAFF PRESENTATION:	Chandler Goodwin, City Manager; Hyrum Bosserman, City Attorney

BACKGROUND AND FINDINGS:

It has been requested that the City Council consider altering the City Code related to private signs on public (City) property. Current code prohibits signs from being left behind or unattended on public property, in any right of way, on utility poles, or on publicly owned property (10-5-26 (4)). The request would seek to allow for temporary signage to be placed on City property for events such as weddings, open houses, or garage sales. Because the courts have found that these types of content-based restrictions violate the first amendment, and are subject to strict scrutiny, they typically run afoul of the protection provided unless the law is to forward a compelling government interest, and the law was narrowly tailored to achieve that interest. Hyrum Bosserman, from BTJD will present on their findings related to this request, and how the City Council can consider changes to the sign ordinance that would not be content based restrictions.

PREVIOUS LEGISLATIVE ACTION:

N/A

FISCAL IMPACT:

None

SUPPORTING DOCUMENTS:

N/A

RECOMMENDATION:

To direct staff on any necessary changes following the presentation by the City Attorney

MOTION:

No motion necessary, discussion item only.

ACTION:

Motion:

Second:

Laura Ellison: Yes No Abstain Absent Mike Geddes: Yes No Abstain Absent Alexandra McEwen: Yes No Abstain Absent Brian Miller: Yes No Abstain Absent Kelly Smith: Yes No Abstain Absent



The City of Cedar Hills

TO:	Mayor and City Council
FROM:	Chandler Goodwin, City Manager
DATE:	November 15, 2022

SUBJECT:	Discussion on amendments to the City's General Plan Land Use Element
APPLICANT PRESENTATION:	N/A
STAFF PRESENTATION:	Chandler Goodwin, City Manager

BACKGROUND AND FINDINGS:

Utah State Code 10-9a-401 requires that every city have a General Plan to serve as a high-level guide to long-term decision making in the community. The three required elements of a general plan are moderate-income housing, transportation, and a land use element. A water use and preservation element is also now required but is not required to be adopted until December 31, 2025. The land use element should address long-term goals, housing, commercial, public facilities, and open space. Additionally, the land use element provides direction for both the Planning Commission and the City Council to address land use issues and develop codes and ordinances that accurately implement the goals and strategies found in the land use element. The Planning Commission has reviewed the proposed Land Use Element and made a recommendation to the City Council to approve. In order to fully understand the intent of the proposed land use element, staff will present sections of the document in the next few City Council meetings and will seek feedback from the City Council on any changes to the overall content or vision of the land use element. The discussion for this City Council will focus on Section 1 of the proposed Land Use Element,

PREVIOUS LEGISLATIVE ACTION:

Planning Commission gave a positive recommendation as part of their August meeting

FISCAL IMPACT:

None

SUPPORTING DOCUMENTS:

Proposed Land Use Element.

RECOMMENDATION:

To review the proposed Land Use Element and be prepared to begin to discuss

MOTION:

No motion necessary, discussion item only.

ACTION:

Motion:

Second:

Laura Ellison: Yes No Abstain Absent

Mike Geddes: Yes No Abstain Absent

Alexandra McEwen: Yes No Abstain Absent

Brian Miller: Yes No Abstain Absent

Kelly Smith: Yes No Abstain Absent

LAND USE ELEMENT

1 INTRODUCTION

This Element of the General Plan is intended to provide land use policy direction and guidance to decision-makers as they address future land use changes within the City. The Land Use Element is to be used in conjunction with the adopted Zoning Map of the City of Cedar Hills (Figure 1). This element, and the entire General Plan, are not to be interpreted as City Code, but rather as guiding documents that both the Planning Commission and the City Council use to aid in land use decisions.

At the present time, all land located within the municipal boundary has been assigned zoning. Current zoning and the requirements of each zone may be found in the Zoning Ordinance of Cedar Hills. The Land Use Element of Cedar Hills is intended to be consistent with the Zoning Ordinance and all other laws, ordinances, and resolutions of Cedar Hills, the State of Utah, and the United States. The Zoning Map of Cedar Hills provides a graphic representation of the various zones and their geographic locations in the community.

*See Appendix A for full-size Zoning Map

1.1 DEVELOPMENT GUIDANCE

Land development will create a long-term effect on Cedar Hills; as such, Cedar Hills desires to make well informed decisions that will benefit the community in the future. The Land Use Element provides direction and predictability for both developers, decision makers, and the public. It establishes the community's vision for the future and guides the development of land accordingly. If individual developments correspond with the Land Use Element, the residents of Cedar Hills can expect to create the envisioned community outlined in this Land Use Element. As development occurs within the community, the Land Use Element should be updated and revised to provide decision makers a tool with which to make proper land use decisions. The General Plan Land Use Element should be updated to remain in compliance with changes to Utah State Code.

1.2 CURRENT LAND USE

Cedar Hills sits in the northeastern end of Utah Valley adjacent to the Wasatch Mountains, and American Fork Canyon. The City is a bedroom community, with access to regional transportation connectors. Cedar Hills encompasses approximately 2.73 square miles, adjacent to regionally significant transportation corridors, and containing parks, trails, and open space.

The predominant land use in the City is single-family residential. Commercial and public facility uses are also featured as major land use components throughout the City. There are nine zoning classifications in Cedar Hills, with the SC-1 Commercial zone consisting of three districts and one overlay zone. Although Cedar Hills is a relatively new community, established in 1977, the City is nearly built out. Cedar Hills experienced rapid growth through the early 2000's, resulting in limited land for future development. Because Cedar Hills was imagined as a bedroom community, there are no manufacturing or industrial zones. While agriculture was an important aspect of Cedar Hills from its early days, as development has occurred, agriculture has become less prevalent within the community and the current zones do not reflect an agricultural zone. Certain residential zones allow for agricultural uses, although the residential component is the primary intent of the zone.

1.3 LAND USE COMPATIBILITY

The current Zoning Ordinance of Cedar Hills is an attempt to create a pattern of compatible land uses. As the community continues to expand and redevelop, it will be important to maintain an organized land use pattern(s). By developing and mapping land use categories for areas which will be redeveloped in the future, the community can reduce the potential for incompatible land uses located adjacent to one another. As the City develops and redevelops land, decision makers should consider the way that different uses interface, and impact each other (i.e. the way that commercial development impacts adjacent residential areas).

1.4 DISTINCTIVE COMMUNITY CHARACTER

The residents and elected officials of Cedar Hills would like to see the community maintain a level of individualism and unique community character. Design guidelines, regulation of signage, landscaping requirements, enforcement of zoning ordinances and other policies of the community are meant to provide opportunities for unique and highly desirable neighborhoods to occur, not simply add to the burden of potential developers and residents.

1.5 INFILL DEVELOPMENT

The Land Use Element supports the efficient use of public and private resources by promoting the development of vacant land or under-developed parcels in existing developed areas. This will enable reductions in overall capital expenditures by reducing the need for new public services and facilities.

1.6 REDEVELOPMENT

Redevelopment of older areas shall seek to address any level of service deficiencies with public utilities, improve the flow of traffic, and adhere to underlying zoning requirements. Because very little vacant space is available in the residential districts, redevelopment of parcels will be key to economic growth in Cedar Hills in the future. Potential parcels for redevelopment are those that have low improvement values, both on a parcel and per acre basis.

1.7 JOINT PLANNING EFFORTS

The residents and elected officials of Cedar Hills recognize that the community affects and is affected by surrounding areas. When land use decisions made by Cedar Hills may affect surrounding jurisdictions, including Utah County, every effort will be made to inform all interested parties. Conversely, Cedar Hills will make every effort to be informed about land use decisions by other entities that may affect the community.

1.8 PRESERVATION OF THE NATURAL ENVIRONMENT AND OPEN SPACE

Cedar Hills residents recognize the importance of the natural environment and open space in the community; this Land Use Element balances the preservation of the natural environment and open space with the rights of property owners in the community. Many of the goals and objectives found in this element reflect the community's desire to protect the environment and promote open areas. Although aesthetics play an important role in preservation of the environment and open space, there are also areas within Cedar Hills which are difficult to develop. In areas, such as steep slopes, flood plains, ridgelines, fault zones, and other areas containing geographic hazards, development should be limited to the extent possible.

A large portion of the open space found within the City of Cedar Hills is designated as Wildland Urban Interface Area (WUI). WUI areas are where residential land uses interface with designated wildland areas. It is recognized that these areas are susceptible to wildfires and efforts must be undertaken by both City Officials and residents to promote policies and codes that mitigate the risk of wildfire in the community.

The City recognizes the overall benefits that open space provides to the community and land use decisions should seek to preserve open spaces as they provide areas for physical activities, social connections, community health, and create areas of visual interest throughout the community.

1.9 CONSERVATION OF WATER RESOURCES

Cedar Hills recognizes the importance of conserving our water resources for culinary and irrigation purposes. Cedar Hills relies on both groundwater and surface water to provide for outdoor irrigation needs in the community. In order to promote the conservation of water, the City will evaluate landscaping requirements as they relate to land uses and conserving water resources.

2 Residential Zones:

2.1 INTENT OF RESIDENTIAL ZONES:

At the present time, all land located within the municipal boundary has been assigned zoning. Current zoning and the requirements of each zone may be found in the Zoning Ordinance of Cedar Hills. The Land Use Element of Cedar Hills is intended to be consistent with the Zoning Ordinance and all other laws, ordinances, and resolutions of Cedar Hills, the State of Utah, and the United States. The Zoning Map of Cedar Hills provides a graphic representation of the land located in each zone. The residential zones within the City provide for a range of lot sizes, development densities, and housing types. This range of housing options, together with landscaping, parks and open space, and other community amenities, makes the City attractive to many potential residents and incentivizes long-term residency.

2.2 RESIDENTIAL ZONE DESCRIPTIONS

The RR 1-20,000 Residential Zone was created for single family use with building lots a minimum of twenty thousand (20,000) square feet in size. Lots in this zone have large animal rights, and may be used for agricultural-type uses. (*Note: See Cedar Hills Code 10-4F*)

The R-1 15,000 Residential Zone was created as a medium density single family residential zone, requiring fifteen thousand (15,000) square feet per lot for development. This zone still allows for large animal rights. (*Note: See Cedar Hills Code 10-4B*)

The R-1 11,000 Residential Zone is characterized by medium density single family homes, of lots not less than eleven thousand (11,000) square feet. These neighborhoods are supplemented by parks and trails, as well as other public uses, such as schools. (*Note: See Cedar Hills Code 10-4A*)

The Townsite Residential Zone is a master planned community, with density clustered in a certain area, with an open space dedication consisting of portions of the Cedar Hills Golf Course. While the homes are in close proximity to one another, with the open space dedication taken into consideration, this zone is still medium density. (*Note: See Cedar Hills Code 10-4I*)

The PR 2.2 Residential Zone is characterized by spacious single family lots of approximately half an acre. Parks, trails, and other public uses are commingled within this zone. (Note: See *Cedar Hills Code 10-4G*)

The PR 3.4 Residential Zone is characterized by a mix of single family detached housing and attached housing units located in a coordinated design setting. (Note: See *Cedar Hills Code 10-4H*)

The H-1 Hillside Residential Zone is characterized by both attached single family units, as well as spacious single family lots. Sensitivity is given to hillside conditions when developing in the H-1 Zone. Developments may include clustered housing with open space dedications to meet requirements. (Note: See *Cedar Hills Code 10-4D*)

The PD-1 Zone, is the Planned Development zone, and is characterized by higher density single family detached housing. These developments are master planned homeowner's associations, and are guided by development agreements. (Note: See *Cedar Hills Code 10-4C*)

3 Commercial Zones:

3.1 INTENT OF COMMERCIAL ZONE:

The SC-1 Commercial Zone is created and designed to promote economic development in the community which will provide a more stable tax base, while minimizing impacts on the residential nature of the City. Areas for commercial development have been identified on the Zoning Map of Cedar Hills. Additionally, the intent of the SC-1 Commercial Zone is to create a commercial City center, to provide for a convenient place for commercial services, and for mixed-use land uses as well as to generate sales tax. (Note: See *Cedar Hills Code 10-4-1 Article E and 10-6A*)

3.1.1 KEY ECONOMIC ISSUES

Economic development within the SC-1 zone in an attempt to create an economically viable community, should be balanced against the compatibility of, and impact on, adjacent residential zones. With frontage on North County Boulevard, the SC-1 Zone is strategically located to provide access to the City's commercial center via the most traveled thoroughfare. Key to the development of the SC-1 zone is the generation of sales tax as a revenue source for the City, balancing the need for commercial services with those businesses that generate sales tax. As commercial development occurs, care should be given to reducing the impact of the various developments as it approaches residential areas.

3.1.2 NEIGHBORHOOD COMPATIBILITY

Prior to development approval, the City should attempt to minimize impacts that commercial development might have on the surrounding areas. Special attention should be paid to potential traffic problems, pedestrian access, intermodal transportation, noise and air pollution, and other relevant impacts. While the City recognizes that many impacts can only be mitigated rather than eliminated, during the development and approval phase, discussion should be centered on the potential for a development to disrupt adjacent residential neighborhoods and ways to mitigate those impacts.

3.1.3 CREATION OF AESTHETICALLY PLEASING COMMERCIAL DEVELOPMENT

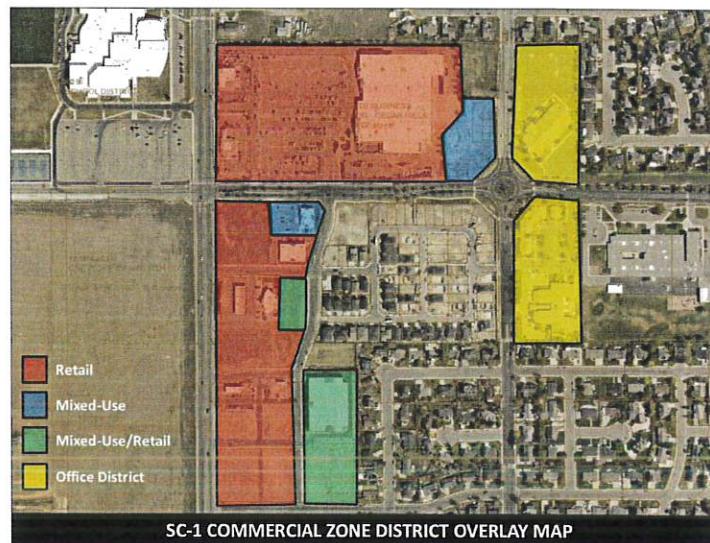
Commercial development in Cedar Hills should consist of innovative and aesthetically pleasing design. This includes appropriate landscaping, proper use of materials, colors, massing on buildings, and adequate, yet attractive parking areas. The standards for development in the Commercial Zone found in the City Code should be maintained throughout the complete development of the SC-1 Zone. The City should promote the use of drought tolerant vegetation, localscapes, and landscape design that is aesthetically pleasing, but conserves water.

3.2 COMMERCIAL ZONE AND DISTRICT DESCRIPTIONS

The SC-1 Commercial Zone, or Shopping Center Zone, is located adjacent to regionally significant transportation corridors, and comprises four distinct districts; the office, mixed-use, and retail districts, as well as an retail/mixed-use overlay district.

The office district is adjacent to residential neighborhoods, as well as public facilities, and must take into consideration the impact that the uses within the zone will have on surrounding neighborhoods. The intent of the Office District is to provide office space. It should consist of the least intense land uses found in the SC-1 Commercial Zone.

The Mixed-Use District is considered a transition district, as it has conditional and permitted uses that may be found in either the office or the retail district. The Mixed-Use District is



intended to consist of lower intensity uses than the Retail District, and may be comprised of retail, office, and residential components.

The Retail District is intended to be the retail center for the City, and generate on-site sales tax. This District is adjacent to North County Boulevard, where the most intense commercial uses may be found.

The Retail/Mixed-Use Overlay is intended to provide a buffer for residential areas that are adjacent to the SC-1 Commercial Zone. Uses within the Overlay Zone may be from the Retail or the Mixed-Use Districts.

4 Public Facilities Zone

Public Buildings, Parks and Trails, and Open Space:

The Public Facilities Zone consists of multiple types of land uses, including public buildings, parks, trails, and open space. It is the intent of this zone to create areas that serve the public interest. These areas of interest could be for education, providing general municipal services or utilities, preserving natural areas, creating public gathering spaces, or uses that are recreational in nature. (See *Cedar Hills Code 10-4-1 Article J*)

4.1 Public Buildings

The PF Public Facilities Zone is appropriate for uses such as schools, public buildings, public utilities, and other related uses, although many of these uses are also allowed as permitted or conditional uses in other zones.

The PF Public Facilities zone has been established to provide areas for the location and establishment of facilities owned and maintained by the public and quasi-public entities that utilize relatively large areas of land. Buildings included under this designation include, but are not limited to, city offices, public safety uses, schools, utility locations, and other similar uses. Land zoned as Public Facilities, should in practice, serve the interests of the greater community.

It is the intent of this zone to create areas that serve the public interest. These areas of interest could be for education, providing general municipal services or utilities, preserving natural areas, creating public gathering spaces, or uses that are recreational in nature.

4.2 Parks and Trails

The Cedar Hills parks and trails system is a valuable component of the community that brings a higher standard of living and enjoyment to the residents. An active community depends on these types of amenities to enhance the living experience, promote healthy lifestyles, and enhance property values. In evaluating land use decisions, thoughtful consideration should be

given to continuing to develop a robust trail system and innovative parks. The City has pursued the development of these types of services by following the Parks Master Plan that was developed in conjunction with professional landscape designers in the area. The Parks Master Plan inventories current amenities and polls the community to determine where inadequacies exist. Park development will seek to enhance current experiences in these types of public facilities while building amenities that the public has identified as desired.

The City of Cedar Hills has established a Parks Master Plan (see City Website: <https://www.cedarhills.org/wp-content/uploads/2019/04/Cedar-Hills-Master-Parks-Plan-FINAL.pdf>), whereby design, rehabilitation and construction projects are established. Cedar Hills is committed to providing safe recreational areas, including parks and trails, in a fiscally responsible manner.

4.3 Open Space

It is the intent of the City to preserve open space as a natural environment. Throughout the community, open space has been dedicated to Cedar Hills for preservation. These areas have been dedicated for multiple purposes. In some instances, areas have been dedicated due to the steep grade of the hillside. Other areas have been dedicated for public use, such as parks or trails. In each case, it is incumbent upon the City to preserve these areas, and prevent encroachments and misuse. Open space is different from common areas associated with Homeowners Associations. Common area is land jointly held in interest by those landowners belonging to the HOA. Open space is owned by the City in the interest of all residents.

Certain open spaces contain various recreational uses for residents to use at their leisure; these areas include the extensive trail systems located on the east bench of the community in the Hillside Zone. The preservation, maintenance, and protection of these trail systems and recreational uses for use by community members serves to promote overall community health.

5 FUTURE ZONING:

FUTURE LAND USE:

The Future Land Use Map serves to guide decision makers in their understanding of public and private developments and infrastructure improvements. Although Cedar Hills is a relatively young community, established in 1977, it has developed quickly. As such, very little land remains for future residential and commercial development. Also, because Cedar Hills is a younger community, there are few locations in need of redevelopment. The Future Land Use Map anticipates potential development in the community within the next ten to twenty years. While Cedar Hills is experiencing limited growth, there is the desire in the community to preserve existing neighborhoods, develop public amenities, and protect open space and natural areas. The future land use categories build off existing and proposed uses, while recognizing

that future zone changes would generally adhere to the land use categories depicted in the Future Land Use Map. However, the Planning Commission and City Council may maintain a flexible interpretation of the map, provided the proposed change is consistent with the vision, goals, and strategies of this General Plan.

LAND USE CATEGORIES:

Stable Neighborhood: Stable Neighborhood identifies residential areas throughout Cedar Hills that are mostly built out and not likely to experience change or redevelopment into an alternate land use. This land use category supports a variety of residential developments reflecting various densities, housing types, and styles. A focus of this land use is the preservation of the existing character of the neighborhoods. This goal should be kept in mind when considering any new development or redevelopment application.

Future Residential: This land use category represents areas of Cedar Hills that present an opportunity for the development of residential housing. These areas are not yet fully developed, but are best suited to residential development. Any development within these areas should be consistent with the vision, goals, and strategies of this General Plan.

Commercial: The Economic Center identifies the commercial and office uses in the community. While Cedar Hills has limited land available for economic development, it becomes critical to preserve these areas for future economic uses to meet the intent of the SC-1 Zone. These areas are located near arterial roads and major corridors. The focus of uses within this land use category is to provide amenities and services to members of the community, while providing a location for gathering.

Future Commercial: This land use category recognizes economic opportunities within Cedar Hills, and supports the infill, development, and redevelopment of commercial areas within the City. These areas could support a variety of services and amenities that bring value and convenience to the community, while also providing gathering spaces which are a critical component of the Economic Center.

Parks and Trails: Uses within this land use category are areas that are not always required to be maintained, but often are maintained to provide recreational options for members of the community. This land use category also includes parks and trails. Cedar Hills recognizes the value that these types of spaces bring to the community in terms of recreational opportunities and gathering places. Other types of areas are maintained by the City, but are not necessarily intended for recreational or gathering purposes. These are areas that are critical to the City's utility infrastructure, and are maintained in a way that provides aesthetic beauty to the community.

Open Space Areas: As Cedar Hills is situated adjacent to a wildland interface area, it is critical that the City recognize the impact that our community has on the surrounding area. The preservation of natural areas that are set aside for the habitat and migration of animals, community recreation, and to allow for natural hydraulic flows that could affect the community

should be of the highest importance. Any proposal to alter these areas should take into consideration the original intent of the natural area, and ensure that existing conditions are preserved.

Public Facilities: Uses in this land use category contain public facilities and schools. As public buildings, these sites should strive for the highest level of design and efficiency. These buildings may be governmental or educational in nature, or facilities that allow for the transmission of utilities throughout the community.

*See Appendix B for full size Future Land Use Map

6 LAND USE GUIDELINES:

Planning Commission and the City Council should evaluate the proposed Land Use Element and establish guidelines that will help direct land use decisions in the City of Cedar Hills

The following land use guidelines should be followed throughout the City:

1. The identity of Cedar Hills should be strengthened by land uses which improve the image of the community and foster a positive, healthy living environment conducive to long- term residency.
2. The relationship of planned land uses should reflect consideration of existing development, environmental conditions, service and transportation needs, and fiscal impacts.
3. Redevelopment should emphasize the reuse of developed areas and existing community resources in such a way as to increase the livability and aesthetics of the City.
4. The Land Use Element should provide for a full range and mix of land uses including residential, commercial, and public use areas.
5. Transitions between differing land uses and intensities should be made gradually with compatible uses, particularly where natural or man-made buffers are not available. Adequate screening and buffering should be required to protect existing residential areas from more intense land uses.
6. Growth should be guided to locations contiguous to existing development to provide City services and transportation in a cost-effective and efficient manner.
7. Development approval should be tied to the construction of culinary water, sewer, storm drainage, and irrigation systems.
8. Density increases should be considered only after adequate infrastructure and resource availability have been sufficiently demonstrated.

9. An interconnecting public open space system should be provided, including pedestrian linkages, recreational areas, natural areas, and drainage ways.
10. Commercial uses should be highly accessible, clustered near the center of their service areas, and developed in harmony with the uses and character of surrounding districts.
11. Land use patterns should be encouraged that reduce travel distances, limit pollution, allow for alternative modes of transportation, and conserve energy.
12. The quality and usefulness of parks and trail spaces should be maximized. Park and trail spaces that are small, inaccessible, difficult to maintain, or encumbered by utilities, drainage basins, or excessive slopes should not be encouraged.
13. Open space is a diminishing commodity and should be preserved throughout the community.
14. Land use decisions should be based on a comprehensive understanding of their effects on the environment and surrounding areas as identified in the Utah County hazard maps*. Desirable natural resources should be conserved.

*<https://www.google.com/url?q=https://utahcounty.maps.arcgis.com/apps/MapSeries/index.html?appid%3D812923069cae45aab9f5741b3fb675f6&sa=D&source=docs&ust=1661194248769797&usg=AOvVaw1eF-17KmgcqSz5qSNCBICe>

7 GOALS AND POLICIES OF THE LAND USE ELEMENT:

GOAL – 1: Make land use decisions that are guided by and conform to the Cedar Hills General Plan.

POLICY: As each subdivision is reviewed by the staff, Planning Commission and City Council, should make reference to the General Plan and each relevant element prior to final approval.

POLICY: Each applicant will be required to demonstrate how the proposed development is consistent with the General Plan.

GOAL – 2: Update the Land Use Element on a regular basis to provide current Planning Commissions with a useful tool for making land use decisions.

POLICY: The Planning Commission should review the Land Use Element on an annual basis and make recommendations to amend the Land Use Element as needed.

POLICY: Prior to recommending the adoption of zone changes, density amendments, and other land use decisions, the Planning Commission will recommend that the City Council make necessary adjustments to the Land Use Element to reflect such changes.

GOAL – 3: Maintain consistency between the Land Use Element, other General Plan elements, and Zoning Ordinances.

POLICY: Review the General Plan, Land Use Element, and Zoning Ordinance in order to maintain consistency between these documents and minimize any potential conflict in making land use decisions.

GOAL – 4: Preserve the integrity of the Land Use Element by requiring all developments and zone changes to be consistent.

POLICY: The Planning Commission will not recommend approval for any development or zone change which is inconsistent with the General Plan or Land Use Element.

POLICY: If a development or zone change is found to be beneficial to the community but not in compliance with the current General Plan, the Planning Commission will recommend that the General Plan and Land Use Element be amended prior to consideration of the development or zone change.

