

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA

TUESDAY, FEBRUARY 11, 2014 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

6:00 P.M. - Eagle Mountain City Planning Commission Policy Session

1. Pledge of Allegiance
2. Declaration of Conflicts of Interest
3. Approval of Meeting Minutes
 - A. January 14, 2014
 - B. January 28, 2014
4. Development Items
 - A. Evans Ranch Plat B-2 Preliminary & Final Plat – Public Hearing, Recommendation to the City Council

This plat includes 25 single-family lots that were included on the approved Evans Ranch Master Development Plan. The average lot size is 9,506 square feet and this plat has a density of 2.75 lots/acre, and 2.07 acres of open space. This phase is located northeast of the intersection of Clark Street and Porter’s Crossing.
 - B. Porter’s Crossing Town Center Retail Pad A Site Plan (Building Elevations) – Public Hearing, Recommendation to the City Council

The site plan for this building, including the parking, landscaping, etc. has already been approved. This review is for the building elevations, or the exterior style and look of the building. This building will be located immediately east of the Ridley’s Family Market and Ace Hardware stores.
 - C. Porter’s Crossing Town Center Project Entrance Sign – Public Hearing, Recommendation to the City Council

A proposal for a large project sign for the 120-acre Porter’s Crossing Town Center master development, as well as a combined commercial sign for the retail development.
5. Work Session
 - A. Discussion of Potential Changes to the General Plan & the Municipal Code
 - B. Next Scheduled Meeting: February 25
6. Adjournment

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING MINUTES

TUESDAY, JANUARY 28, 2014 AT 6:00 P.M.

Eagle Mountain City Conference Room; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

6:00 P.M. - Eagle Mountain City Planning Commission Policy Session

COMMISSION MEMBERS PRESENT: Preston Dean, Miriam Allred, and John Linton.

CITY STAFF PRESENT: Steve Mumford, Planning Director; Mike Hadley, City Planner; and Johna Rose, Deputy Recorder.

ELECTED OFFICIAL PRESENT: Adam Bradley

Commissioner Linton called the meeting to order at 6:13 p.m.

1. Declaration of Conflicts of Interest

None

2. Approval of Meeting Minutes

A. December 10, 2013

MOTION: *Preston Dean moved to approve the December 10, 2013 meeting minutes. Miriam Allred seconded the motion. Those voting aye: Preston Dean, Miriam Allred, and John Linton. The motion passed with a unanimous vote.*

B. January 14, 2014

MOTION: *No motion was made.*

3. Election of 2014 Planning Commission Chair and Vice-Chair

MOTION: *Preston Dean moved to appoint John Linton as Planning Commission Chair for the 2014 year. Miriam Allred seconded the motion. Those voting aye: Miriam Allred, Preston Dean, and John Linton. The motion passed with a unanimous vote.*

MOTION: *John Linton moved to appoint Preston Dean as Planning Commission Vice Chair for the 2014 year. Miriam Allred seconded the motion. Those voting aye: Miriam Allred, Preston Dean, and John Linton. The motion passed with a unanimous vote.*

4. Development Items

A. Sunset Ridge Plat 2 Final Plat – Action Item, Recommendation to the City Council

This is phase two of the approved Sunset Ridge project, located immediately northwest of the Lone Tree neighborhood, and consisting of 21 lots on 8.29 acres.

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING MINUTES

TUESDAY, JANUARY 28, 2014 AT 6:00 P.M.

Eagle Mountain City Conference Room; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1 Mike Hadley explained that the proposal is for the second plat of the Sunset Ridge
2 preliminary plat, it consists of 21 lots for an average lot size of 9,703 sq. ft.. The overall
3 density is 2.53 units per acre. The lot sizes range from 7,255 sq. ft. to 13,375 sq. ft.
4 There are a couple of issues with the plat.

- 5 1. Construction access for this phase of Sunset Ridge will need to be along Lone
6 Tree Pkwy going west and then north along Secretariat Rd through the Sunset
7 Ridge Plat.
- 8 2. For this phase the applicant can install the park improvements required or place
9 the money into the existing landscape bond for Sunset Ridge. The park
10 improvements for the Sunset Ridge project will be required to be completely
11 installed by 50% of the building permits for the preliminary plat.

12
13 Commissioner Dean was concerned about lot setbacks. He stated that the intent of the City Code
14 is to have 15 feet between homes. Steve Mumford suggested that maybe the code should require
15 setbacks to be a minimum of 7.5 feet.

16
17 Adam Bradley was concerned about access to the neighborhood. Mr. Mumford explained that
18 the development road access meets all traffic study requirements and Fire Department approval.

19
20 Commissioner Linton suggested that the developer be ready with the proposed park plan before
21 the development goes to City Council.

22
23 **MOTION:** *Preston Dean moved that the Planning Commission recommend the*
24 *approval of Sunset Ridge Plat 2 Final Plat to City Council with the*
25 *following recommended condition:*

- 26 1. *The developer needs to submit a final park design and cost estimate*
27 *prior to City Council meeting. The developer must then install the park*
28 *improvements or bond for the required cost.*

29 *Miriam Allred seconded the motion. Those voting aye: Preston Dean,*
30 *Miriam Allred, and John Linton. The motion passed with a unanimous vote.*

31
32 B. Monte Vista Ranch Master Development Plan Items – Public Hearing (*The applicant is*
33 *requesting that these items be tabled until the February 25 meeting*)

- 34
35 1. Development Code Amendments – Chapters 17.26, 17.36, 17.52
36 The applicant is proposing that three new zoning chapters be added to Title 17 of
37 the Municipal Code: (1) Chapter 17.26 Residential Mixed Use Development
38 Zone; (2) Chapter 17.36 Commercial Mixed Use Development Zone; (3) Chapter
39 17.42 Industrial Mixed Use Development Zone.
40
- 41 2. Master Development Plan & Agreement Amendments
42 An applicant proposal to rezone the vacant properties within the master plan to
43 the three newly proposed zones, divide the project into 5 different planning areas,
44 and propose a maximum number of dwelling units in each area. A draft agreement
45 is provided for review. The applicant's intent is for the existing agreement to be
46 replaced with an amended agreement.

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING MINUTES

TUESDAY, JANUARY 28, 2014 AT 6:00 P.M.

Eagle Mountain City Conference Room; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1
2 3. General Plan Amendments

3 The City's General Plan (Future Land Use and Transportation Corridors Map) is
4 proposed to be amended, consistent with the master development plan changes.
5

6 *Commissioner Linton opened the public hearing at 7:10 p.m.*
7

8 None
9

10 **MOTION:** *Preston Dean moved to table Monte Vista Ranch Master Development Plan*
11 *items and continue the public hearing to the February 25, 2014 meeting.*
12 *Miriam Allred seconded the motion. Those voting aye: Preston Dean,*
13 *Miriam Allred, and John Linton. The motion passed with a unanimous vote.*
14

15 5. Work Session
16

17 A. Discussion of Potential Development Code Amendments

18 Code topics for discussion include: model home signs; Approval authority and
19 development review process; residential bonus density, and others.
20

21 Mr. Mumford explained that there are a number of code amendments that the City is
22 considering for the City Development Code.
23

24 **Signage**

25 Builders request more signage for model homes. Currently the City Code allows 30 sq. feet
26 project signage on-site, and ladder signs off-site. Mr. Mumford asked what should be allowed
27 for builders, temporary signage, more signage along SR 73, and/or directional signage.
28 Following a lengthy discussion, Commissioners felt that no code change should be made.
29

30 **Development Approval Process**

31 We are looking at streamlining the development approval process to help get residents
32 involved, and decrease frustration with City Council, developers, and builders.
33

34 Mr. Mumford suggested that the preliminary plats be approved by City Council and Planning
35 Commission and require a development agreement with the preliminary. The final plat could
36 be approved at a staff level if preliminary plat and development agreement are approved by
37 both bodies. A decision will have to be made if a public hearing would be required at both
38 meetings. Commissioners Linton and Allred felt that the Planning Commission was a buffer
39 helping minimize residents' complaints to City Council. Commissioners felt that more eyes
40 on a project also helps minimize problems with the development. Commissioner Linton felt
41 that the final plat should be approved at a public meeting, but should not require a public
42 hearing.
43

44 Commissioner Allred was concerned about the level of insignificant and significant
45 conditions of recommendation should be approved. Commissioner Dean explained that he

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING MINUTES

TUESDAY, JANUARY 28, 2014 AT 6:00 P.M.

Eagle Mountain City Conference Room; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1 has seen other cities approve the final plat at a staff level, but the developer has the option to
2 take the final plat to Planning Commission.
3

4 **General Plan Update and Rewrite-Residential Zoning**

5 A development is designated Tier III residential when the project density is between 5.2 and
6 12.2 dwelling units per acre. Participants in Tier III residential bonus density entitlements
7 shall receive an additional seven units per acre. All Tier III residential developments are
8 required to provide the Tier III clubhouse. Tier III residential developments of more than 150
9 per pod shall include a swimming pool in addition to the clubhouse facility. The maximum
10 number of units in a single Tier III development is 250.
11

12 Mr. Mumford explained that developers dislike installing swimming pools. Swimming pools
13 are only open about four months of the year, and are expensive to maintain. Perhaps there
14 should be other amenity options besides a pool. Commissioners were wary about removing
15 the pool as a requirement, and felt that on a case-by-case basis developers could propose an
16 amenity that would have to be equivalent in cost to a pool. Commissioners discussed and
17 reviewed bonus density ideas for Residential Zoning.
18

19 B. Next Scheduled Meeting: February 11
20

21 6. Adjournment
22

23 The meeting was adjourned at 7:53 p.m.
24
25

26 APPROVED BY THE PLANNING COMMISSION ON FEBRUARY 11, 2014.
27
28
29

30 _____
31 Steve Mumford, Planning Director
32

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA

TUESDAY, JANUARY 14, 2014 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1
2 **6:00 P.M. - Eagle Mountain City Planning Commission Policy Session**

3
4 COMMISSION MEMBERS PRESENT: Preston Dean, Wendy Komoroski, Matthew Everett,
5 and Miriam Allred.

6
7 CITY STAFF PRESENT: Steve Mumford, Planning Director; and Mike Hadley, Senior
8 Planner.

9
10 ELECTED OFFICIAL PRESENT: Donna Burnham

11
12 Commissioner Dean called the meeting to order at 6:03 p.m.

13
14 Pledge of Allegiance

15
16 Commissioner Dean led the Pledge of Allegiance.

17
18 1. Declaration of Conflicts of Interest

19
20 None

21
22 2. Election of 2014 Planning Commission Chair and Vice-Chair

23
24 Commissioner Dean requested that the item be rescheduled allowing the current Commissioner
25 Chair (John Linton) to be present.

26
27 3. Development Items

28
29 A. Evans Ranch Plat B-3 Preliminary & Final Plat – Public Hearing, Action Item

30
31 Steve Mumford explained that Evans Ranch Plat B-3 is a 4.61-acre 1-lot subdivision in the
32 Evans Ranch development, located at the northeast corner of Porter's Crossing and Golden
33 Eagle Road. The Master Plan and Master Development Agreement for Evans Ranch were
34 recently approved by City Council. The lot is proposed exactly as shown in the Evans Ranch
35 Master Development Plan as a church site. The developer is selling the property to the LDS
36 Church and in order to sell that property the site must be platted. This does not guarantee that
37 the church would build right away, but once the lot is platted and recorded by the County it
38 becomes vested.

39
40 Improvements will be made to Porter's Crossing and Golden Eagle Road along with this plat.
41 The eastern side of Porter's Crossing will be completed, with additional asphalt, curb and
42 gutter, park strip, and multi-use path. Modifications to the existing median will be made to
43 accommodate a left-turn lane on Porter's Crossing. The only concern with the roadways
44 relates to the internal neighborhood road on the northeast side of this lot. Since there is no
45 reason for this roadway to be improved until the residential lots are platted, the road has not

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA

TUESDAY, JANUARY 14, 2014 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1 been included in this plat. The entire roadway, then, will have to be included in the
2 subdivision plat that includes the residential lots, and it will have to be improved at that time.

3
4 Suggested recommended conditions:

- 5 1. Plans must be revised to include public utility easements of 10 feet along roadways (and
6 future roadways) and 5 feet along other property lines.
7 2. A road and infrastructure improvement agreement shall be completed, designating the
8 party responsible for improvement of the neighborhood road, and including the City as a
9 party for enforcement.

10
11 Nate Shipp, DAI, said that he is excited for this project to start. The developer has been
12 working on improving the right-of-way on Porter's Crossing. Energy Director is working on
13 the main feeder line for the project, just on the east side. The developer's machines have
14 been out there to help facilitate the main feeder line. He explained that the first three lots in
15 the development are getting close to being finished. Hopefully in the next couple of Planning
16 Commission meetings DAI will be able to get approval for some of the larger parts of the
17 development.

18
19 *Commissioner Dean opened the public hearing at 6:12 p.m.*

20
21 Amy Plott, 4134 E. Sioux Street, asked if the lot has been sold to the LDS Church and what
22 would happen if the church decided not to build on the property. Mr. Shipp explained that the
23 LDS Church is purchasing the lot and it would be their decision to build. She stated that there
24 is construction noise in her neighborhood earlier than 7:00 am. She was also concerned about
25 widening Porter's Crossing on the east side. She suggested that the City look at widening
26 Porter's Crossing before the development along the east side is developed. Mr. Mumford
27 explained that in the City Master Plan, Porter's Crossing is considered a major collector road,
28 which means Porter's Crossing will not be widened. The traffic study shows that it will be
29 able to handle the amount of predicted traffic for the area. If a developer wants to develop
30 the south area with a higher density, then that developer would be responsible for widening
31 Porters Crossing, or would have to lower the density of the development. Mrs. Plott asked if
32 there was still a plan to connecting to Golden Eagle. Mr. Mumford explained that the City
33 Attorney said that the City could not require the extension to Golden Eagle unless the traffic
34 study required the extension.

35
36 Commissioner Dean asked Mr. Mumford what the Future Land Use and Transportation Map
37 showed for Porter's Crossing. Mr. Mumford explained that it shows as a minor collector road
38 in the Future Land Use and Transportation Map, but it's built to match a major collector
39 cross section. He explained that the City has sent out requests for proposals (RFP) to
40 engineering consultants to update the Master Transportation Plan. The Porter's Crossing area
41 is one area the City has requested the engineer to take a closer look at, because of the growth.

42
43 *Commissioner Dean closed the public hearing at 6:22 p.m.*

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA

TUESDAY, JANUARY 14, 2014 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1 **MOTION:** *Wendy Komoroski moved to approve and recommend the Evans Ranch Plat*
2 *B-3 Preliminary & Final Plat to City Council with the following*
3 *recommended conditions.*

4
5 *1. Plans must be revised to include public utility easements of 10*
6 *feet along roadways (and future roadways) and 5 feet along other*
7 *property lines.*

8 *2. A road and infrastructure improvement agreement shall be*
9 *completed, designating the party responsible for improvement of the*
10 *neighborhood roads, and including the City as a party for*
11 *enforcement.*

12
13 *Matthew Everett seconded the motion. Those voting aye: Preston Dean,*
14 *Matthew Everett, Wendy Komoroski, and Miriam Allred. The motion passed*
15 *with a unanimous vote.*

16
17 **B. Eagle Mountain Gateway (SR73) Preliminary Plat – Public Hearing, Action Item**

18
19 Mr. Mumford explained that this property was rezoned in May, 2013, to Commercial and
20 Commercial Storage. The proposed 28.6-acre preliminary plat includes 14 total lots or
21 parcels. Lot 103 is planned as a storage unit lot, lots 401 and 402 are planned as future multi-
22 family, and the remaining lots are intended for retail, office, and office-warehouse. The
23 property is located in the northwest corner of SR 73 and Mt. Airey Drive, north of SR 73.

24
25 The concept plan that was provided to the City Council and Planning Commission with the
26 rezone application included the preservation of an additional 150 feet of right-of-way for
27 future UDOT purchase. This property is located at the entrance to the City along SR 73. SR
28 73 is a state highway owned and maintained by UDOT, and the UDOT Region 3 Director has
29 stated their intent to continue widening that road, as needed, until it cannot be widened any
30 more. In other words, SR73 is the priority road into and out of the city. City Staff has been
31 meeting with UDOT and Mountainland Association of Governments (MAG) to discuss
32 future right-of-way needs for a higher capacity road in this area, and has settled on the need
33 to obtain an additional 200 feet of right-of-way, approximately.

34
35 The City has made an application to Mountainland Association of Governments to obtain
36 funds from the Local Option Corridor Preservation Funds to purchase the property necessary
37 for future right-of-way in this area. The purchase of raw ground, prior to development, saves
38 taxpayers a substantial amount of money, and reduces or eliminates the need for UDOT to
39 use eminent domain to obtain property or buildings in the future. The City has received
40 approval from Mountainland MPO Regional Planning Committee.

41
42 This right-of-way issue has a substantial impact on the design of this subdivision plat. The
43 property owner has been willing to sell the property to UDOT, but doesn't want to delay his
44 project unnecessarily, if the process is lengthy. That being said, major changes may be
45 necessary to the plat design as a result of the property negotiations, and it would be wise for

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA

TUESDAY, JANUARY 14, 2014 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1 the City to wait until these negotiations have been completed before approving a subdivision
2 plat for the property. This could be considered a very valid reason to table the project.

3
4 The City recommends that the Planning Commission table the Eagle Mountain Gateway SR
5 73 preliminary plat in order to provide more time for negotiation of the property purchase
6 and the application for approval of funding to the Local Corridor Preservation Fund.
7 Approval of a preliminary plat containing lots and property that are currently undergoing
8 negotiations for purchase would cause uncertainty and unnecessary confusion.

9
10 Commissioner Dean was concerned about the five acre property if it was owned by the City.
11 He asked if the City plans to improve and maintain the property. He also stated that it would
12 be a challenge for the owner to build a commercial building so far off a major road. Mr.
13 Mumford stated that the owner has expressed the same concerns, and has requested to change
14 the plans. The City's main concern was allowing a commercial building to go up and having
15 it torn down later.

16
17 *Commissioner Dean opened the public hearing at 6:40 p.m.*

18
19 None

20
21 *Commissioner Dean closed the public hearing at 6:40 p.m.*

22
23 **MOTION:** *Wendy Komoroski moved to table the Eagle Mountain Gateway SR 73*
24 *Preliminary Plat to provide more time for future right-of-way and real estate*
25 *negotiations between the City, UDOT, and the property owner. Miriam*
26 *Allred seconded the motion. Those voting aye: Preston Dean, Matthew*
27 *Everett, Wendy Komoroski, and Miriam Allred. The motion passed with a*
28 *unanimous vote.*

29
30 C. The Cove at Rock Creek Concept Plan – Discussion Item

31 A proposed concept plan for the remaining portion of Rock Creek development. The
32 proposed application consists of 82 townhome units on 6.53 acres for a density of 12.5
33 units per acre.

34
35 Mike Hadley explained that the projected is located just south of the existing Rock Creek
36 development off of Rock Creek Rd and Clear Rock Rd in the Ranches Master Development. The
37 proposed application consists of 82 townhome units on 6.53 acres for a density of 12.5 units per
38 acre. This proposed concept plan is the remaining portion of the original Rock Creek
39 development. The original Rock Creek development was approved with 276 total units Phase 1
40 consisted of 96 units and Phase 2 consisted of 84 units for a total of 180 platted units. There are a
41 total of 96 possible units left that could be built. The remaining portion was approved as 12-plex
42 units similar to the existing Rock Creek development. The Cove at Rock Creek is proposing 82
43 townhome units instead of the 12-plex buildings. The applicant would like to get feedback on the
44 possibility of building the townhomes instead of 12-plex buildings before he purchases the
45 property.

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA

TUESDAY, JANUARY 14, 2014 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1 The City's Development Review Committee (DRC) concerns are as follows:

- 2 1. Utility placement, and fitting utility lines around the buildings.
- 3 2. Drainage issues.

4
5 Commissioner Komoroski asked if the City had a preference between garage versus parking. Mr.
6 Hadley explained that the only concern the City has is adequate parking.

7
8 Travis Taylor, West State Construction, explained that he has built this type of unit in North
9 Logan, Saratoga Springs and Pleasant View and they have been very successful. There are two
10 types of townhome options, one with a garage and the other with covered parking. The developer
11 is requesting flexibility with the two options depending on the market popularity of the units.

12
13 Commissioner Dean asked the width of the driveways. Mr. Taylor stated that the driveways that
14 are back to back are 30 feet, and all others are 28 feet. He explained that the distance between the
15 townhomes is 20 feet for this development, normally the plan calls for only 15 feet. There is an
16 extra 5 feet to work with for utility lines. Commissioner Dean asked Mr. Taylor what he has
17 done in his other developments that has kept visitors from parking in front of the garages. Mr.
18 Taylor explained that signs would be posted stating no construction parking in English and
19 Spanish. There would also be 24 hour parking for visitors. He stated that in Saratoga Springs his
20 development has contracted with Beehive Towing and that company polices the development.

21
22 Mr. Hadley explained that the development would require amenities. The amenities would be
23 determined at preliminary plat.

24
25 Commissioner Dean asked Mr. Taylor if there would be an HOA and if the HOA would be
26 responsible for the area around the townhomes. Mr. Taylor stated that the HOA would be
27 responsible for the area around the townhome.

28
29 Commissioner Dean was concerned about the development's parking and driveways. Mr.
30 Mumford explained that the development meets the requirement for parking, but parking is
31 always a concern with this type of development. The driveway length the City Code requires is
32 22 feet, and a parking lot requires a 24 foot aisle between stalls. He believes the 30 feet and 28
33 feet for the development driveways are adequate. There is no parking in front of the garages. The
34 main concern for this development is utility lines.

35
36 4. Work Session

37
38 A. Discussion of Potential Development Code Amendments

39
40 B. Next Scheduled Meeting: January 28, 2014

41
42 5. Adjournment

43
44 The meeting was adjourned at 7:14 p.m.

45
46 APPROVED BY THE PLANNING COMMISSION ON FEBRUARY 11, 2014.

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA

TUESDAY, JANUARY 14, 2014 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

1
2
3
4

Steve Mumford, Planning Director

DRAFT



EAGLE
MOUNTAIN

EAGLE MOUNTAIN CITY Planning Commission Staff Report

FEBRUARY 11, 2014

Project: **Evans Ranch Plat B-2 – Preliminary & Final Plat**
Applicant: DAI (Agent – Nate Shipp)
Type of Action: Action Item; Public Hearing; Recommendation to the City Council (Final Plat)

PROPOSAL

The Evans Ranch Plat B-2 is the second residential phase of the approved Evans Ranch Master Development Plan. The lots in this plat have not changed from the approved master plan, and the tabulations are shown here. 
A preliminary and final plat review includes the layout of lots, proper street circulation, utility demands, park and recreation sites, etc.

TABULATIONS

ZONE:	R, SFD/SFA
TOTAL AREA:	9.08 ACRES
TOTAL AREA IN LOTS	5.46 ACRES
TOTAL OPEN SPACE	2.07 ACRES
AVERAGE LOT SIZE	9,506 SQ. FT.
LARGEST LOT SIZE	14,189 SQ. FT.
SMALLEST LOT SIZE	6,293 SQ. FT.
# OF LOTS:	25
DENSITY:	2.75 LOTS/ACRE

Noteworthy Items

- Utilities - This development requires that a sewer line be built that extends to the east, crosses the Tickville Wash, and connects to the SilverLake sewer pipe in Silver Creek Way. This gravity sewer line will ultimately allow the neighborhoods to the west to gravity feed into this line, and the sewer lift station can possibly be removed. In order for this sewer line to be built the developer must obtain an easement for the City from Silver Lake Land LLC, and must work closely with the City Engineer on the design and construction drawings.



- Fencing – The plat indicates a 6-foot vinyl slat fence behind lots 1-4. This fencing must instead following the approved master fencing plan, which requires Cedar estate fencing for this area.
- Water Rights – The developer must submit a letter indicating either the banked water rights that he plans to use for this plat, or a commitment to purchase water from the City.
- Pedestrian Easements – Since these lots are planned with very specific build-to lines for the homes, as can be seen on the master plan above, there are pedestrian easements that extend onto each lot, allowing for the sidewalk to be located outside of the street right-of-way.
- Open Space Dedication - As approved with the master development plan, the open space including the trail, detention basin, and native area to the east of the trail (behind lots 12-15) will be dedicated to the City. The remainder will be dedicated to the Evans Ranch Home Owners Association. A public utility easement will be provided to the City on the open space along Porter’s Crossing, mostly in order to locate some electrical boxes/equipment within this area.
- Open Space Improvement – The open space for the project will be improved along with each plat, and the developer must place a cash bond with the City for 10.33% of the total cost of all of the open space improvements for the project prior to recording this plat (25 lots divided by 242 total lots = 10.33%). A total open space improvement estimate must be approved by the Parks Foreman and City Engineer, and the bond posted, prior to recording the plat.
- Community Improvements – A minimum of \$2,000 per buildable acre must be provided as a cash bond for the community improvements for this plat, as required by the City Code and the Evans Ranch Master Development Agreement (total of \$18,160).
- Porter’s Crossing – Prior to completing the infrastructure for this phase, the developer shall paint stripe an 11-foot lane on both sides of Porter’s Crossing Road along the entire length of Porter’s Crossing (from the southern end of the project to Pony Express Parkway).
- Driveways – Rather than requiring that the driveways be shown on the subdivision plat, the DRC determined that the developer shall submit a site plan with each building permit application that includes the utility locations, so that driveways can be appropriately placed to avoid the water meter and other utilities. The water meters will not be allowed in driveways.

Procedures and Future Applications

The Planning Commission is the approval authority for Preliminary Plats, and the recommending body for Final Plats. In this case, the applicant has submitted a preliminary/final plat application, so there is no difference between the preliminary and the final plats. The preliminary approval, then, is really just a formality. A final plat approval is valid for one year, unless it is recorded within that time.

Recommended Motion

If the Planning Commission chooses to approve the proposed plat, the following is a recommended motion provided for the benefit of the Planning Commission and may be read or referenced when making a motion.

I move that the Planning Commission approve the Evans Ranch Plat B-2 Preliminary Plat and recommend approval of the Final Plat to the City Council with the following conditions:

1. *Fencing for the project must comply with the approved master fencing plan.*
2. *Developer must submit a letter indicating either the banked water rights that he plans to use for this plat, or a commitment to purchase water from the City.*
3. *Developer must place a cash bond with the City for 10.33% of the total cost of all of the open space improvements for the project, as well as \$2,000 per buildable acre (\$18,160) for the required community improvements, prior to recording the plat.*

4. *Prior to completing the infrastructure for this phase, the developer shall paint stripe an 11-foot lane on both sides of Porter's Crossing Road along the entire length of Porter's Crossing (from the southern end of the project to Pony Express Parkway).*
5. *Building permit site plans must be submitted with utilities to help with proper driveway placement. No water meters are allowed in driveways.*

ATTACHMENTS:

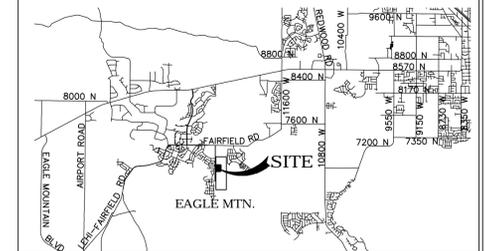
- Proposed final plat/plans, landscape plans

EVANS RANCH

PLAT "B-2"

A PORTION OF THE NW 1/4 & SW 1/4 SECTION 28, T5S, R1W, SLB&M,
EAGLE MOUNTAIN, UTAH

VICINITY MAP



**ENGINEERS
SURVEYORS
PLANNERS**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

TABLE OF CONTENTS

COVER SHEET	PLAT "B-2"
SHEET 1	UTILITY PLAN
SHEET 2	EVANS RANCH DRIVE P&P
SHEET 3	PASTURE VIEW ROAD & PORTER'S CROSSING P&P
SHEET 4	OFF-SITE SEWER P&P
SHEET 5	OFF-SITE SEWER P&P
SHEET 6	DETAILS
SHEET 7	DETAILS

TABULATIONS

ZONE:	R, SFD/SFA
TOTAL AREA:	9.08 ACRES
TOTAL AREA IN LOTS:	5.46 ACRES
TOTAL OPEN SPACE:	2.07 ACRES
AVERAGE LOT SIZE:	9,506 SQ. FT.
LARGEST LOT SIZE:	14,189 SQ. FT.
SMALLEST LOT SIZE:	6,293 SQ. FT.
# OF LOTS:	25
DENSITY:	2.75 LOTS/ACRE

NOTES

- NO UTILITY LATERALS OR METERS TO BE LOCATED UNDER DRIVEWAYS. PROTECTION TO BE PROVIDED AS NEEDED FOR PUBLIC UTILITIES ADJACENT TO DRIVEWAYS OR WITHIN TRAFFIC AREAS. UTILITIES ARE TO BE PLACED SUCH THAT THE DRIVEWAY TRAFFIC AND UTILITIES TO NOT CREATE A POSSIBLE HAZARDS.
- SECONDARY ACCESS AND TEMPORARY TURNAROUNDS TO BE PROVIDED ACCORDING TO CITY/FIRE CODE.
- PARKING RESTRICTION SIGNAGE TO BE PROVIDED FOR ALL ALLEY WAYS.
- REAR FENCE TO BE PROVIDED TO LOTS THAT BACK UP TO PORTER'S CROSSING.
- DRIVEWAY SLOPES NOT TO EXCEED 12%.
- BUILDING SETBACKS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
FRONT LIVING - 20'
FRONT GARAGE - 22'
CORNER LIVING - 15'
CORNER GARAGE - 22'
REAR - 20'
SIDE - 5'
- MINIMUM OF 22' TO BE MAINTAINED FROM BACK OF MEANDERING SIDEWALKS TO GARAGE.
- COVERED HOMES TO BE SET AT FRONT OF BUILDABLE AREA AND ALIGN WITH THE HOMES TO EACH SIDE, HOMES WILL NOT BE SET BACK AS TO CREATE A SIGNIFICANT STEP BETWEEN HOUSE FRONTS.
- TO MAINTAIN THE PRESENTATION OF COVERED SPACE, FENCING OR OTHER TYPES OF DELINEATION NOT BE CONSTRUCTED IN FRONT OF THE BUILDABLE AREA.
- ALL CONSTRUCTION TO BE COMPLETED ACCORDING TO EAGLE MOUNTAIN CITY CONSTRUCTION STANDARDS & SPECIFICATIONS.
- NO DEFLECTIONS ALLOWED ON WATER LINES.

LEGEND

EXISTING	
WATER METER	W-M
WATER	EX-W
WATER VALVE	W-V
FIRE HYDRANT	F-H
SEWER	EX-SS
SEWER MANHOLE	S-M
STORM DRAIN	EX-SD
STORM DRAIN MANHOLE	S-DM
STORM DRAIN CURB INLET	SD-CI
PI	EX-PI
PI VALVE	P-V
FENCE	F
PROPOSED	
WATER	W
WATER VALVE	W-V
FIRE HYDRANT	F-H
SEWER	SS
SEWER MANHOLE	S-M
STORM DRAIN	SD
STORM DRAIN MANHOLE	S-DM
STORM DRAIN CURB INLET	SD-CI
PI	PI
PI VALVE	P-V

DEVELOPER / OWNER
DAI
1099 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
(801) 495-3414

ENGINEER
LEI CONSULTING ENGINEERS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
(801)798-0555

PROJECT NAME
EVANS RANCH PLAT B-2

REVISIONS

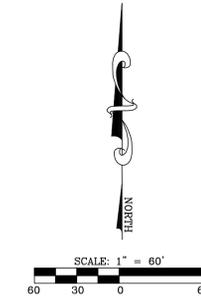
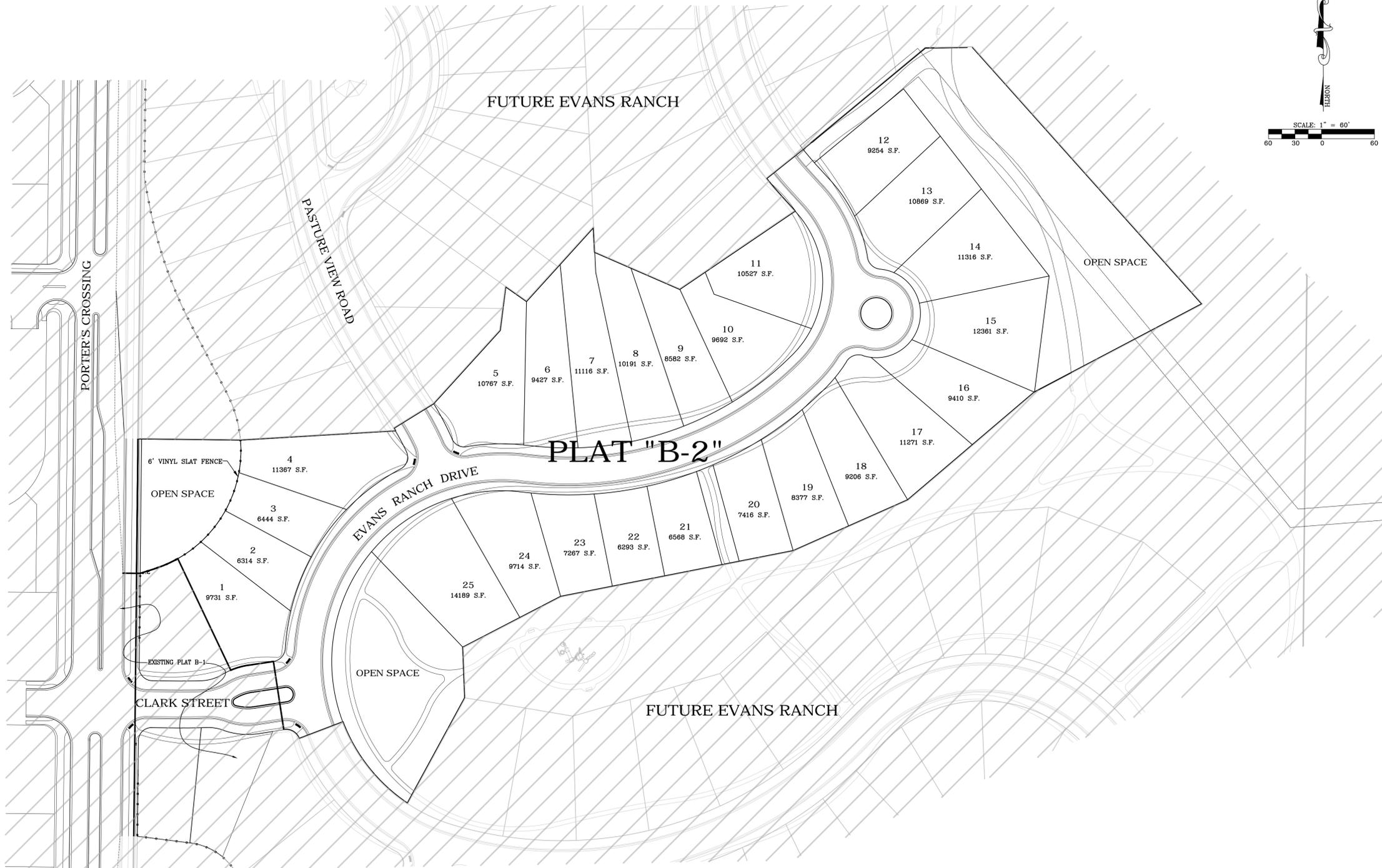
1.	
2.	
3.	
4.	
5.	

LEI PROJECT #:
2012-1845
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
1" = 60'

DATE:
1/21/2014

SHEET

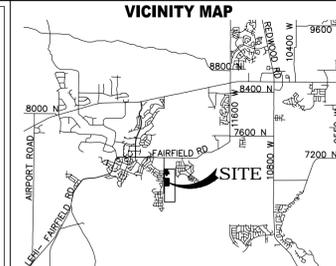
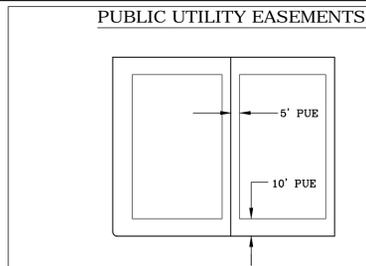
COVER



CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	140.00	13°14'44"	32.37	N54°06'00"E 32.29
C2	140.00	18°23'40"	44.95	N38°16'48"E 44.75
C3	140.00	18°47'11"	45.90	N19°41'23"E 45.70
C4	140.00	15°14'26"	37.24	N2°40'34"E 37.13
C5	140.00	65°40'01"	160.45	N27°53'22"E 151.82
C6	16.00	77°51'31"	21.74	S42°24'26"W 20.11
C7	245.50	9°52'07"	42.29	S8°24'44"W 42.23
C8	245.50	15°17'45"	65.54	S20°59'40"W 65.34
C9	245.50	15°38'18"	67.01	S36°27'41"W 66.80
C10	245.50	17°54'44"	76.75	S53°14'12"W 76.44
C11	15.00	87°29'19"	22.90	S18°26'55"W 20.74
C12	273.50	5°36'57"	28.81	S28°08'14"E 28.80
C13	326.50	7°56'43"	45.28	S27°38'03"E 45.24
C14	15.00	75°25'05"	19.74	S61°22'11"E 18.35
C15	245.50	15°12'10"	65.14	N88°12'21"E 64.95
C16	143.00	34°12'04"	85.36	N28°31'23"E 84.10
C17	358.50	7°31'00"	47.03	S87°57'04"E 47.00
C18	358.50	9°48'43"	61.39	N83°23'04"E 61.32
C19	358.50	9°49'47"	61.51	N73°33'49"E 61.43
C20	358.50	9°48'10"	61.34	N63°44'51"E 61.26
C21	358.50	13°13'20"	82.73	N52°14'06"E 82.55
C22	116.50	18°31'37"	37.67	N36°21'37"E 37.51
C23	143.00	53°54'01"	134.53	N15°31'39"W 129.62
C24	143.00	88°08'05"	219.89	N1°34'23"E 198.85
C25	385.00	50°11'00"	337.21	N70°42'56"E 326.53

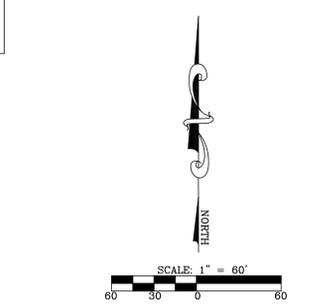
CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C26	118.50	69°34'28"	141.47	N7°41'25"W 132.93
C27	118.50	71°25'11"	145.22	N9°54'50"E 136.00
C28	350.00	4°02'04"	24.64	S40°27'38"E 24.64
C29	323.50	0°29'29"	2.77	S42°13'55"E 2.77
C30	169.50	16°40'53"	49.35	S34°08'13"E 49.18
C31	169.50	18°30'41"	48.85	S17°32'25"E 48.68
C32	16.00	75°40'12"	21.13	S47°07'11"E 19.63
C33	50.00	18°12'08"	15.88	S75°51'13"E 15.82
C34	50.00	53°27'36"	46.65	S40°01'20"E 44.98
C35	50.00	49°41'16"	43.36	S11°33'05"W 42.01
C36	50.00	60°35'19"	52.87	S66°41'23"W 50.44
C37	50.00	10°48'57"	9.44	N77°36'29"W 9.42
C38	16.00	75°40'12"	21.13	S69°57'54"W 19.63
C39	169.50	7°33'56"	22.38	S35°54'46"W 22.37
C40	169.50	5°55'42"	17.54	S42°39'35"W 17.53
C41	411.50	4°21'18"	31.28	S47°46'05"W 31.27
C42	411.50	8°00'20"	57.50	S53°56'54"W 57.45
C43	411.50	8°09'06"	58.54	S73°27'38"W 58.50
C44	411.50	8°25'50"	60.55	S81°45'06"W 60.49
C45	411.50	9°50'25"	70.67	N89°06'47"W 70.59
C46	192.50	23°01'47"	77.37	S84°17'32"W 76.85
C47	192.50	32°44'56"	110.03	S56°24'11"W 108.54
C48	192.50	118°36'44"	391.79	S37°30'04"W 327.58
C49	411.50	50°11'00"	380.42	N70°42'56"E 349.01
C50	358.50	9°49'47"	61.51	N73°33'49"E 61.43

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C51	245.50	15°38'18"	67.01	S36°27'41"W 66.80
C52	192.50	60°50'01"	204.39	S9°36'42"W 194.92
C53	411.50	2°48'16"	20.14	N67°56'59"E 20.14
C54	219.00	116°36'44"	445.72	S37°30'04"W 372.68
C55	219.00	12°08'29"	46.41	S14°44'04"E 46.32
C56	219.00	80°27'53"	307.56	S31°34'08"W 282.90
C57	219.00	24°00'21"	91.76	S83°48'15"W 91.09
C58	300.00	13°24'29"	70.21	N24°54'10"W 70.04
C59	411.50	8°35'46"	61.74	S62°16'57"W 61.68
C60	50.00	192°45'16"	168.21	S11°25'21"W 99.38
C61	806.28	9°33'44"	134.56	N9°57'55"W 134.41
C62	233.50	35°55'21"	146.40	N32°42'28"W 144.01
C63	135.50	39°55'13"	94.41	N30°42'32"W 92.51
C64	12.50	114°22'11"	24.95	N67°56'01"W 21.01
C65	117.66	8°59'40"	18.47	S50°23'04"W 18.45
C66	473.19	9°46'23"	80.71	S50°46'25"W 80.61
C67	414.60	6°45'32"	48.91	S52°16'51"W 48.88
C68	5.00	74°13'17"	6.48	S11°47'27"W 6.03
C69	5.00	41°48'10"	3.65	N70°01'22"E 3.57
C70	429.60	6°32'20"	49.03	N52°23'27"E 49.00
C71	458.19	9°46'23"	78.15	N50°46'25"W 78.06
C72	132.66	16°47'15"	38.87	N54°16'51"E 38.73
C73	22.50	18°14'10"	7.16	N53°33'24"E 7.13



NOTES:

- TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET. AS REBAR & CAP TO BE SET AT ALL LOT CORNERS, NEAR AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- COVERED HOMES TO BE SET AT FRONT OF BUILDABLE AREA AND ALIGN THE HOMES TO EACH SIDE. HOMES WILL NOT BE SET AS TO CREATE A SIGNIFICANT STEP BETWEEN HOUSE FRONTS.
- PEDESTRIAN EASEMENT BEGINS AT THE RIGHT OF WAY LINE AND EXTENDS TO WITHIN 20' OFFSET OF BUILD-TO LINE.



SURVEYOR'S CERTIFICATE

I, CHAD A. POULSEN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 501182 IN ACCORDANCE WITH TITLE 56, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, OF SAID CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

A PORTION OF THE WEST HALF OF SECTION 28, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST SECTION LINE OF SAID SECTION 28, SAID POINT BEING N0°37'35"E 22.45 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 28; THENCE N0°37'35"E 151.95 FEET; THENCE S89°22'25"E 115.99 FEET; THENCE N86°37'45"E 175.62 FEET; THENCE ALONG THE ARC OF A 273.50 FOOT NON-TANGENT CURVE TO THE LEFT 3.32 FEET (RADIUS BEARS: S59°05'18"W) THROUGH A CENTRAL ANGLE OF 0°41'43" (CHORD: N31°15'34"W 3.32 FEET); THENCE N58°23'35"E 53.00 FEET; THENCE N42°20'00"E 111.65 FEET; THENCE N7°19'15"E 49.90 FEET; THENCE S54°58'38"E 28.87 FEET; THENCE N42°20'00"E 112.91 FEET; THENCE S24°10'7" 28.22 FEET; THENCE S66°32'29"E 104.82 FEET; THENCE N55°57'40"E 157.44 FEET; THENCE N42°28'30"W 22.39 FEET; THENCE ALONG THE ARC OF A 376.50 FOOT RADIUS CURVE TO THE RIGHT 26.51 FEET THROUGH A CENTRAL ANGLE OF 4°02'04" (CHORD: N40°27'38"W 26.50 FEET); THENCE N51°33'24"E 53.00 FEET; THENCE N50°26'47"E 179.66 FEET; THENCE N89°05'16"E 53.50 FEET; THENCE S41°54'05"E 369.39 FEET; THENCE S62°20'07"W 214.30 FEET; THENCE S49°41'54"W 188.16 FEET; THENCE S68°08'29"W 141.96 FEET; THENCE S78°55'02"W 289.32 FEET; THENCE S62°42'22"W 124.57 FEET; THENCE S21°21'4"E 56.96 FEET; THENCE S28°37'28"W 135.86 FEET; THENCE ALONG THE ARC OF A 192.50 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT 118.35 FEET (RADIUS BEARS: N33°40'20"E) THROUGH A CENTRAL ANGLE OF 35°31'22" (CHORD: N38°33'59"W 117.45 FEET); THENCE S69°11'42"W 53.00 FEET; THENCE ALONG THE ARC OF A 16.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT 21.74 FEET (RADIUS BEARS: S69°11'42"W) THROUGH A CENTRAL ANGLE OF 7°51'52" (CHORD: N59°44'14"W 20.11 FEET); THENCE N6°39'44"W 78.00 FEET; THENCE S81°20'11"W 28.86 FEET; THENCE ALONG THE ARC OF A 82.00 FOOT RADIUS CURVE TO THE LEFT 20.58 FEET THROUGH A CENTRAL ANGLE OF 14°22'52" (CHORD: S74°08'45"W 20.53 FEET); THENCE N25°29'24"W 139.44 FEET; THENCE ALONG THE ARC OF A 140.00 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT 28.75 FEET (RADIUS BEARS: N29°16'38"W) THROUGH A CENTRAL ANGLE OF 11°45'57" (CHORD: S66°36'21"W 28.70 FEET); THENCE S72°29'19"W 17.08 FEET; THENCE N89°22'25"W 4.00 FEET TO THE POINT OF BEGINNING.

CONTAINS: ±9.08 ACRES

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HERUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

DATE _____ SURVEYOR (See Seal Below)

LIMITED LIABILITY COMPANY ACKNOWLEDGEMENT

STATE OF UTAH _____ S.S.
 COUNTY OF SALT LAKE _____

ON THE _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF _____ IN SAID STATE OF UTAH, _____ WHO AFTER BEING DULY SWORN ACKNOWLEDGE TO ME THAT _____ A LIMITED LIABILITY COMPANY(), THAT HE SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSE THEREIN.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

APPROVED BY MAYOR _____ APPROVED BY CITY COUNSEL _____

APPROVED _____ ATTEST _____
 (See Seal Below) (See Seal Below)
 ENGINEER (See Seal Below) CLERK-RECORDER (See Seal Below)

PLAT "B-2"

EVANS RANCH

SUBDIVISION

EAGLE MOUNTAIN _____ UTAH COUNTY, UTAH

SCALE: 1" = 60 FEET

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	COUNTY-RECORDER SEAL
-----------------	--------------------	---------------------------	----------------------

This form approved by Utah County and the municipalities therein.

PORTERS CROSSING (94' R.O.W.)

PASTURE OPEN ROAD (60' R.O.W.)

EVANS RANCH DRIVE (53' R.O.W.)

CLARK STREET (53' R.O.W./VARIES)

WEST 1/4 CORNER SECTION 28, T5S, R1W, SLB&M (1999 UTAH COUNTY MONUMENT)

SOUTHWEST CORNER SECTION 28, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

NORTHWEST CORNER SECTION 28, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

POINT OF BEGINNING

SECTION LINE SECTION 28, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 29, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 30, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 31, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 32, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 33, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 34, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 35, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 36, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 37, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 38, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 39, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 40, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 41, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 42, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 43, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 44, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 45, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 46, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 47, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 48, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

SECTION LINE SECTION 49, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)

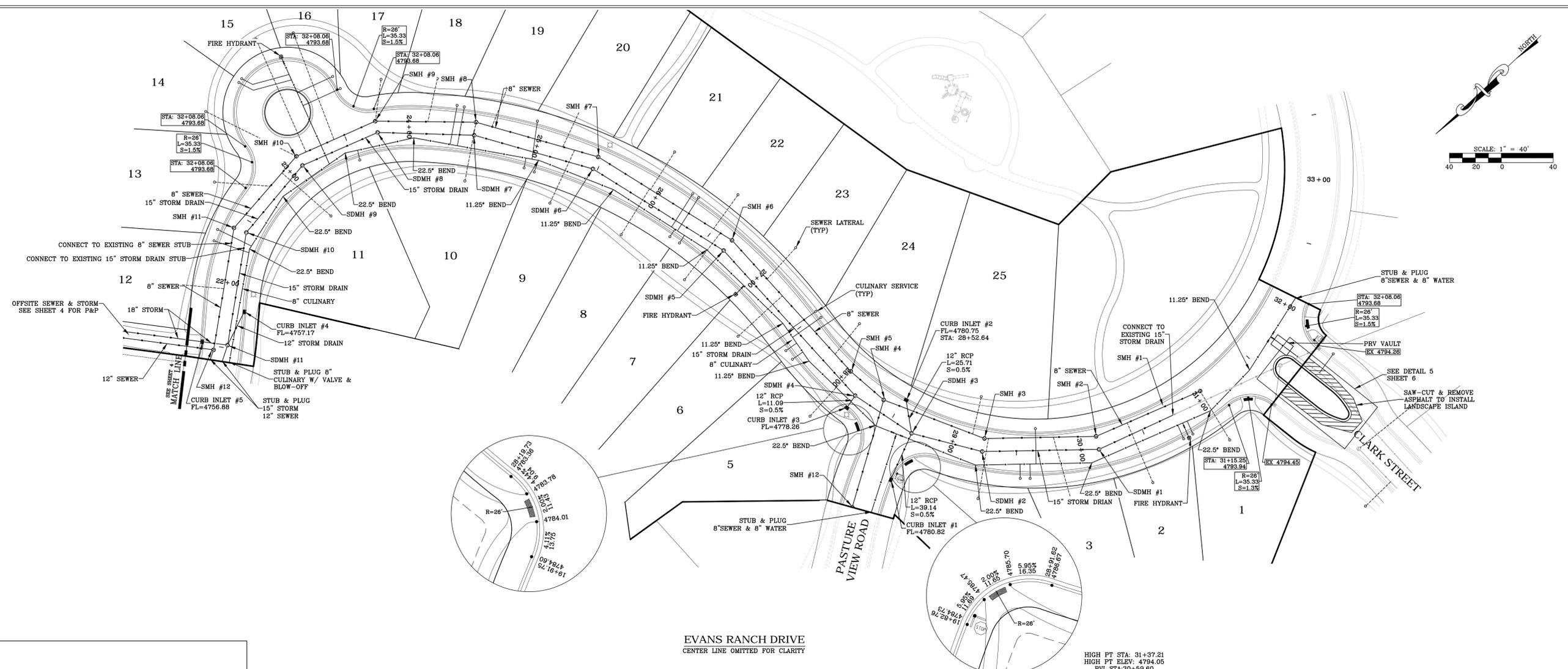
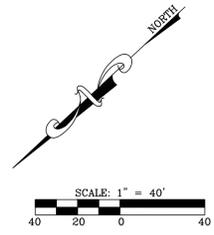
SECTION LINE SECTION 50, T5S, R1W, SLB&M (2009 UTAH COUNTY MONUMENT)



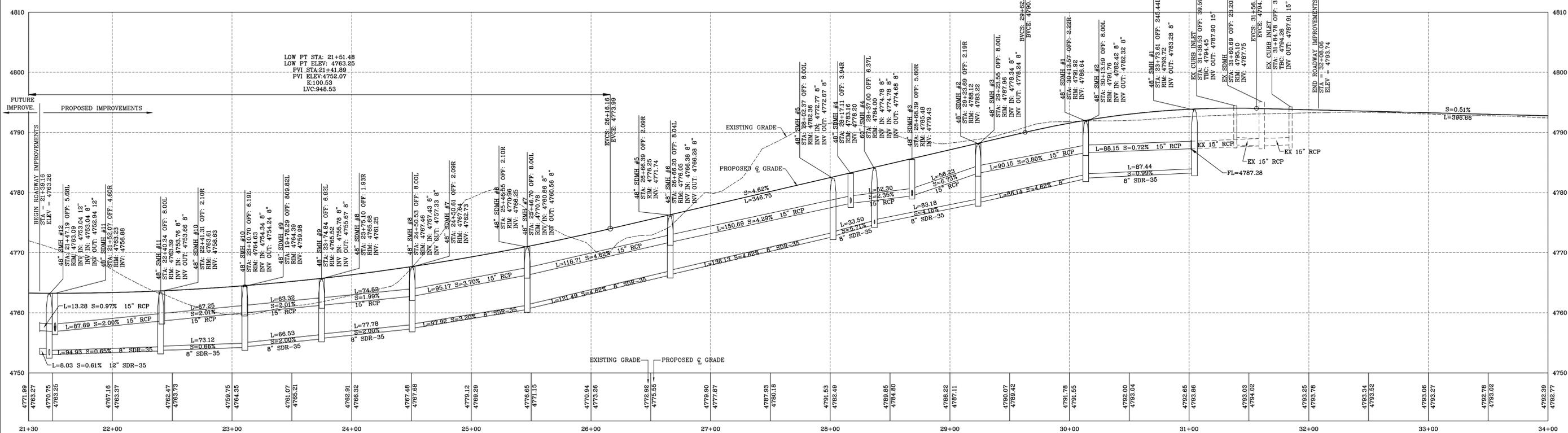


**ENGINEERS
SURVEYORS
PLANNERS**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



NOTE
FUTURE PROPOSED GRADE SHOWN FOR REFERENCE PURPOSES ONLY.
FINAL GRADE DESIGN TO BE COMPLETED WITH EACH RESPECTIVE PHASE.



EVANS RANCH DRIVE PROFILE

EVANS RANCH - PLAT "B-2"
EAGLE MOUNTAIN, UTAH
EVANS RANCH DRIVE PLAN & PROFILE

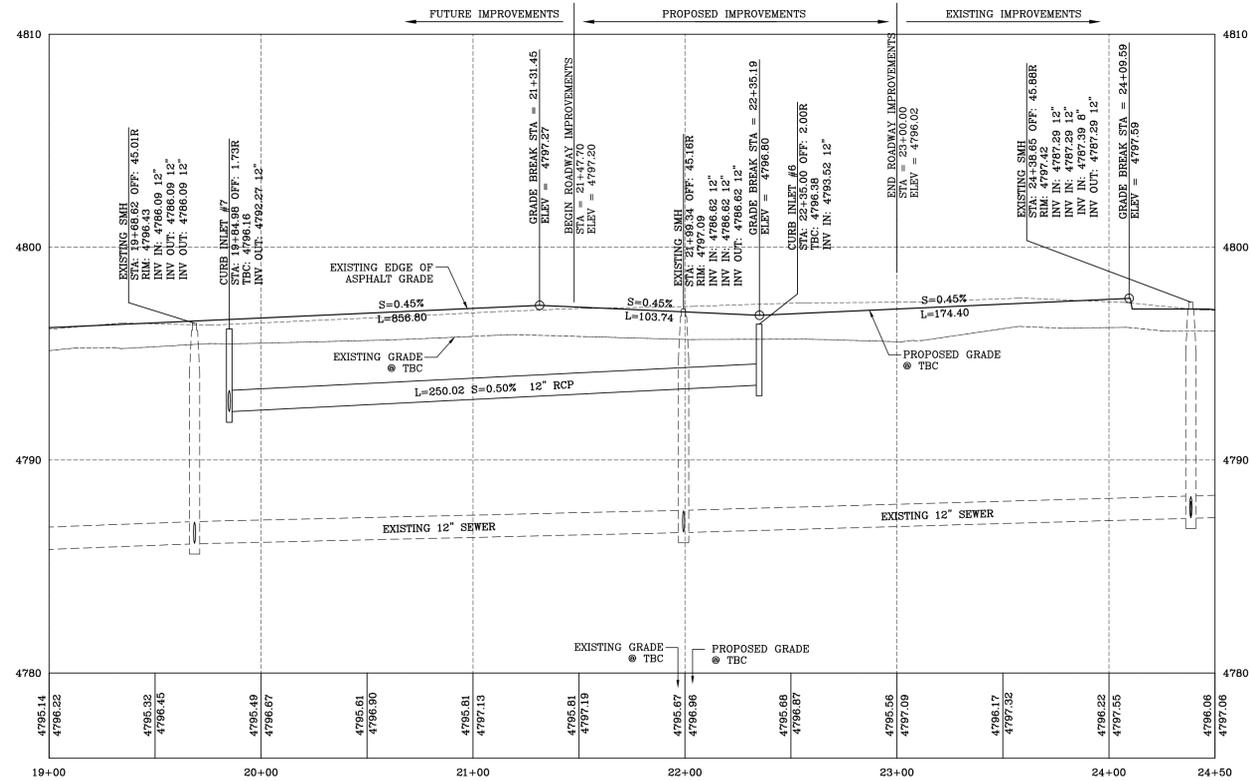
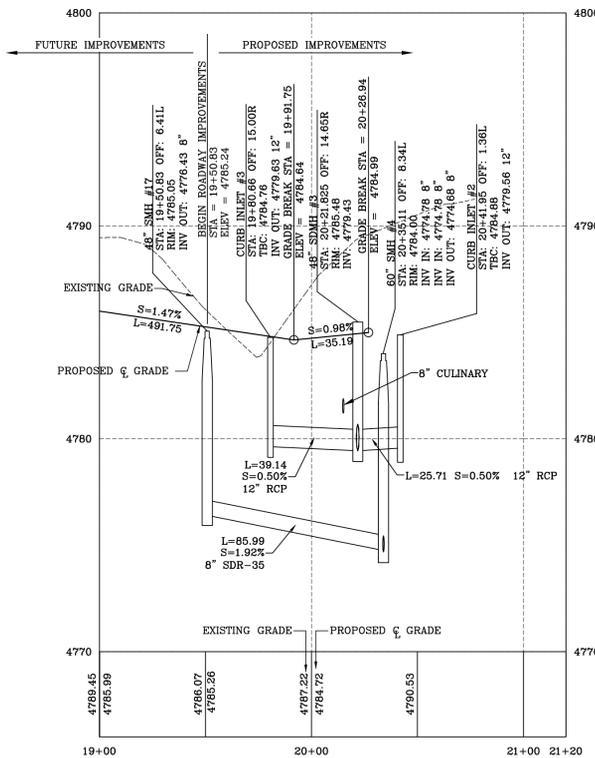
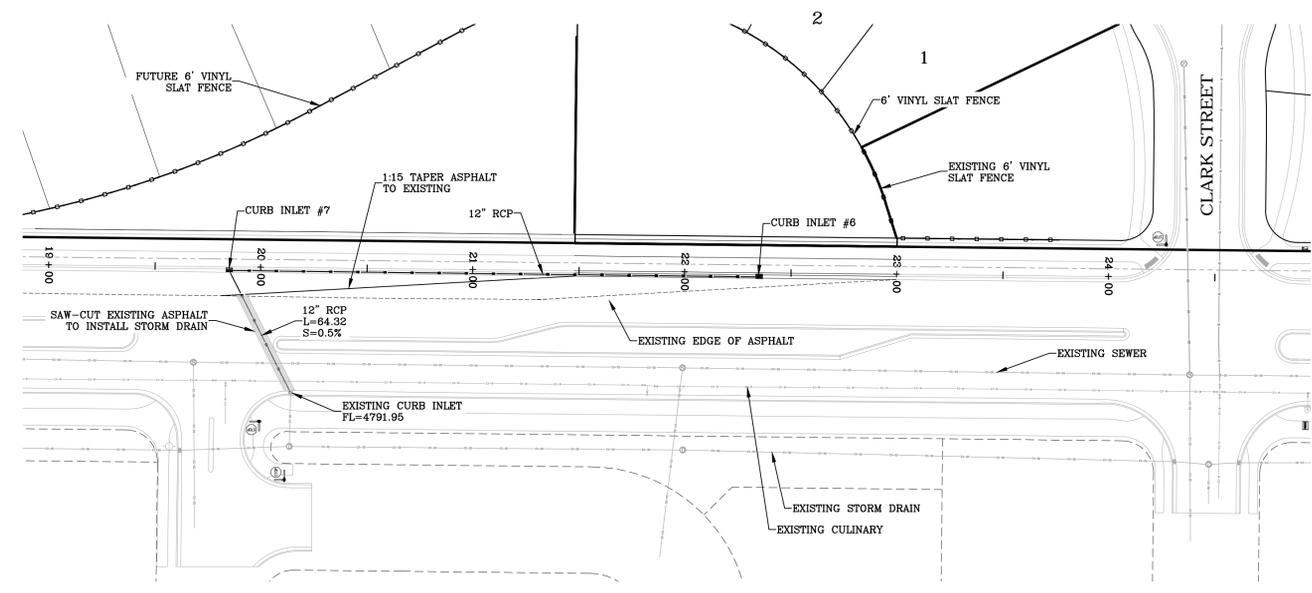
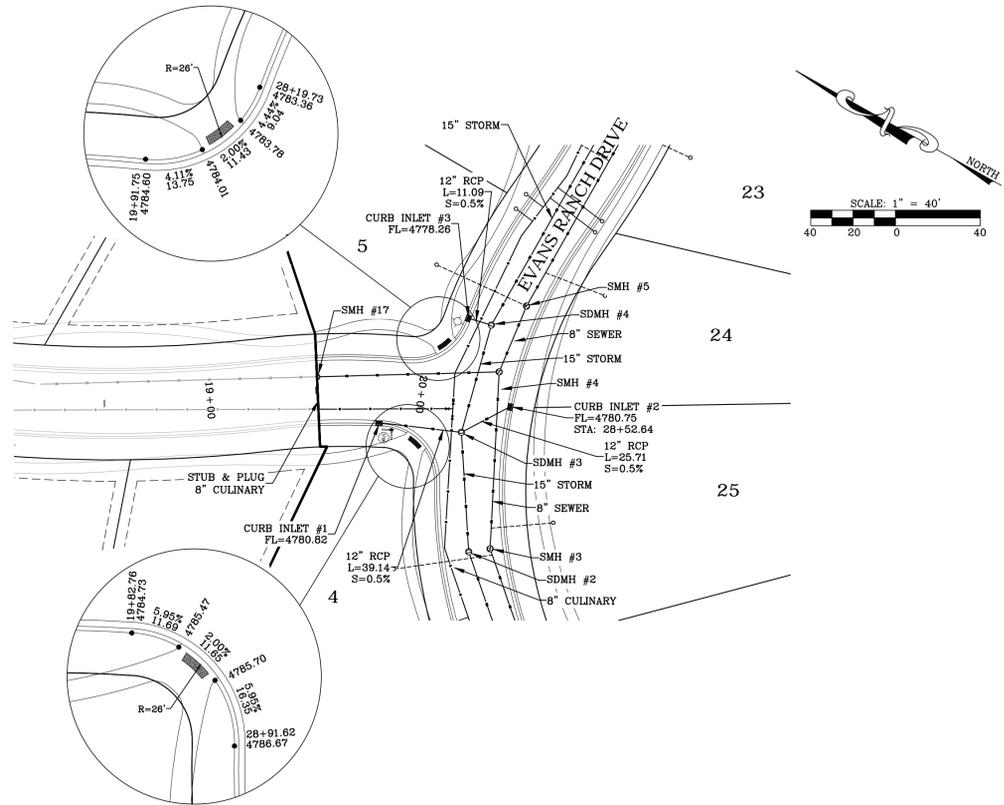
REVISIONS	
1	
2	
3	
4	
5	

LEI PROJECT #:
2012-1845
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
1" = 40'
DATE:
1/21/2014



**ENGINEERS
SURVEYORS
PLANNERS**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



NOTE
FUTURE PROPOSED GRADE SHOWN FOR REFERENCE PURPOSES ONLY.
FINAL GRADE DESIGN TO BE COMPLETED WITH EACH RESPECTIVE PHASE.

EVANS RANCH - PLAT "B-2"
EAGLE MOUNTAIN, UTAH
**PASTURE VIEW ROAD &
PORTER'S CROSSING ROAD PLAN & PROFILE**

REVISIONS

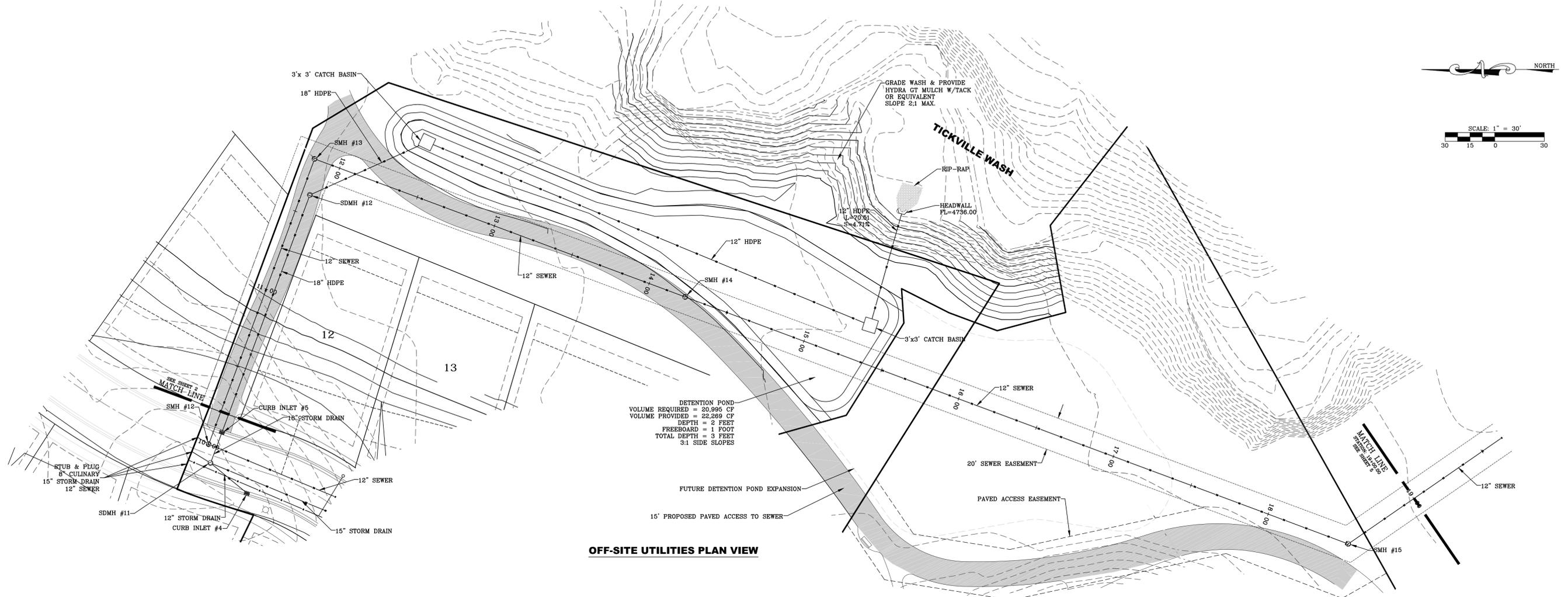
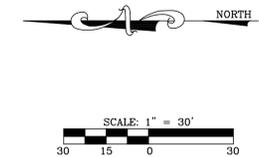
1.	
2.	
3.	
4.	
5.	

LEI PROJECT #:
2012-1845
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
1" = 40'
DATE:
1/21/2014

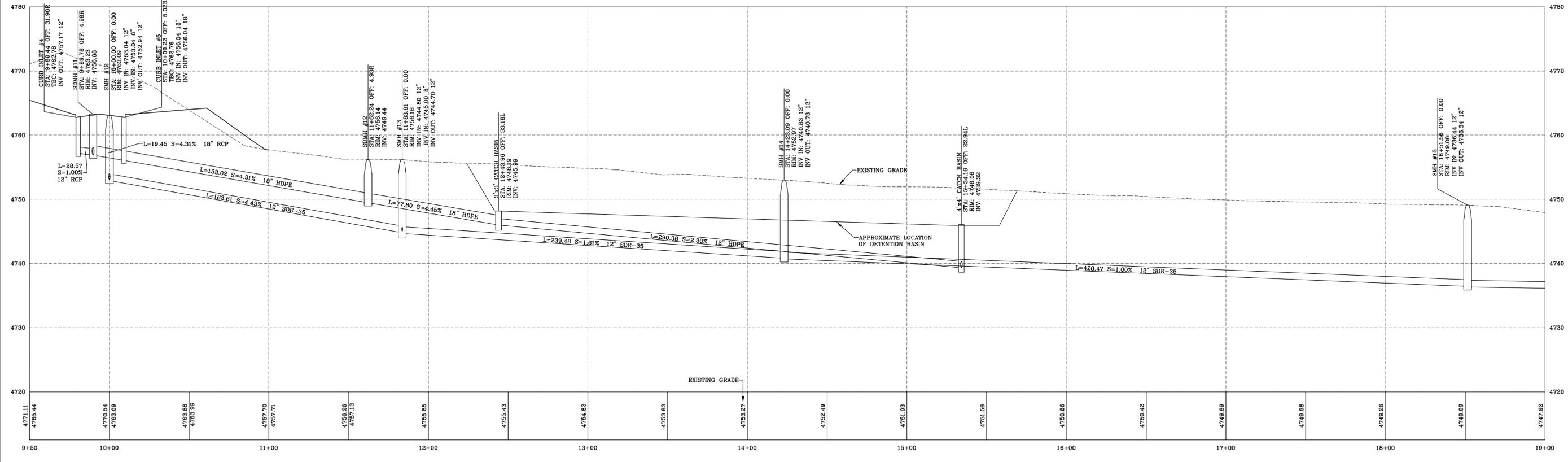


**ENGINEERS
SURVEYORS
PLANNERS**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



OFF-SITE UTILITIES PLAN VIEW

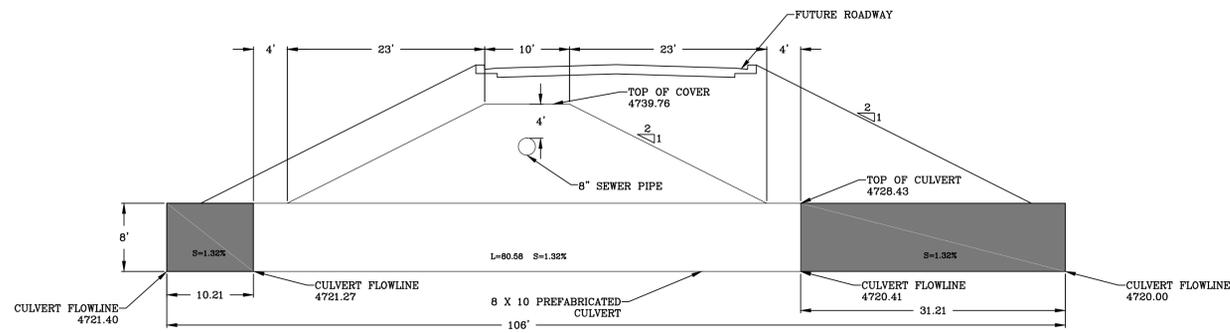
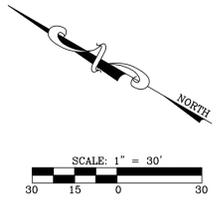


OFF-SITE UTILITIES PROFILE

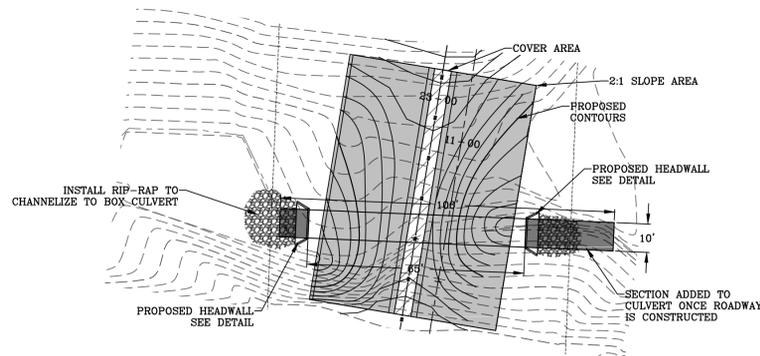
EVANS RANCH - PLAT "B-2"
EAGLE MOUNTAIN, UTAH
OFF-SITE SEWER PLAN & PROFILE

REVISIONS	
1.	
2.	
3.	
4.	
5.	

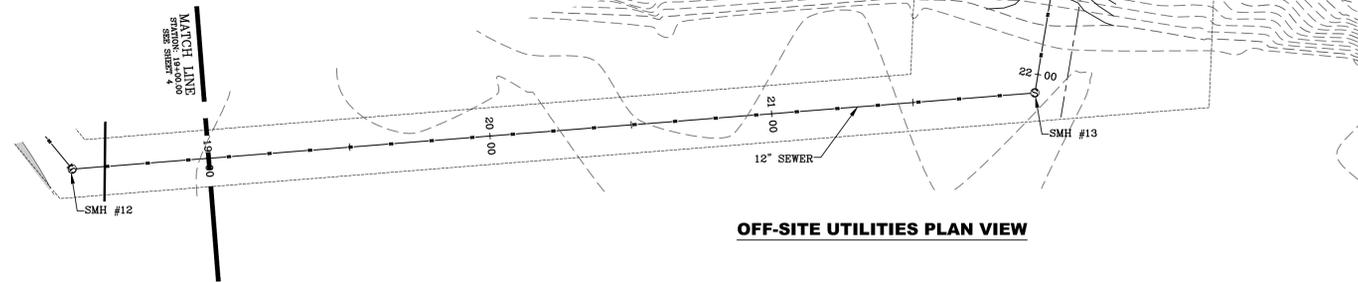
LEI PROJECT #:
2012-1845
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
1" = 30'
DATE:
1/21/2014



CULVERT SIDE VIEW DETAIL

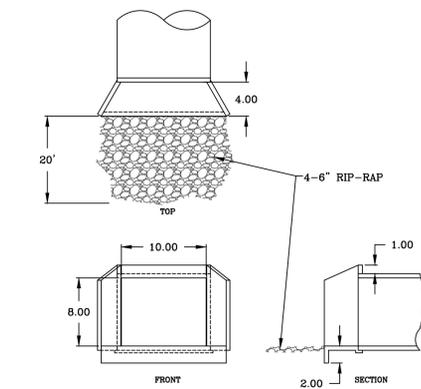


CULVERT PLAN VIEW DETAIL



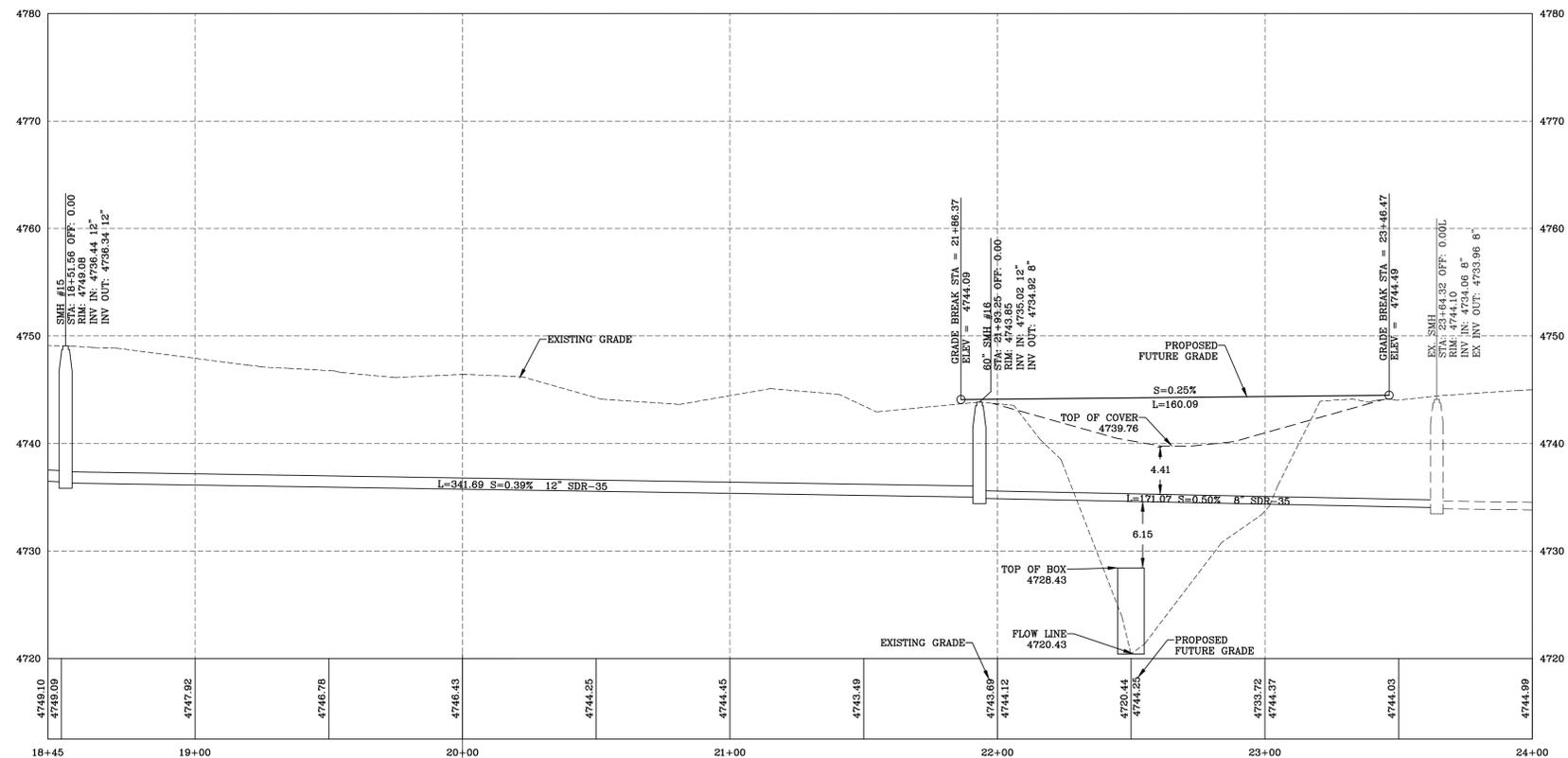
OFF-SITE UTILITIES PLAN VIEW

- NOTES:
1. ORIENTATION FOR THE BOX CULVERT WAS DESIGNED ON FUTURE ROADWAY IMPROVEMENTS. TEMPORARY GRADING AROUND THE PROPOSED FLOW LINE WILL BE REQUIRED UNTIL FUTURE ROADWAY IMPROVEMENTS OCCUR.
 2. RIP-RAP OF EXISTING SIDE WALLS MAY BE REQUIRED TO REDUCE EROSION.



NOTE: HEADWALL TO BE CONSTRUCTED PER EAGLE MOUNTAIN CITY STANDARDS

CULVERT HEADWALL DETAIL



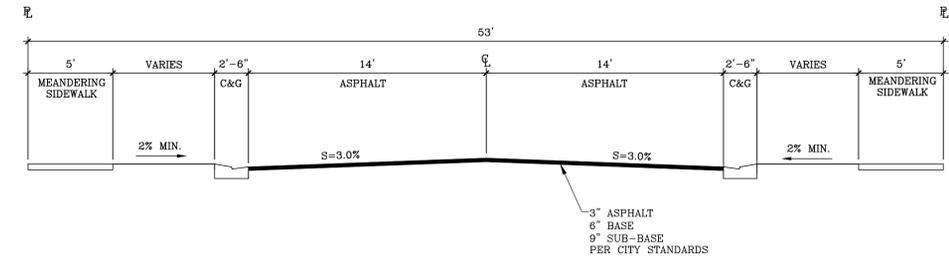
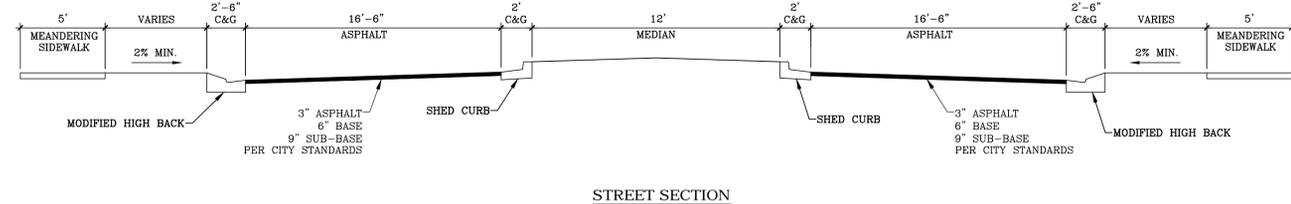
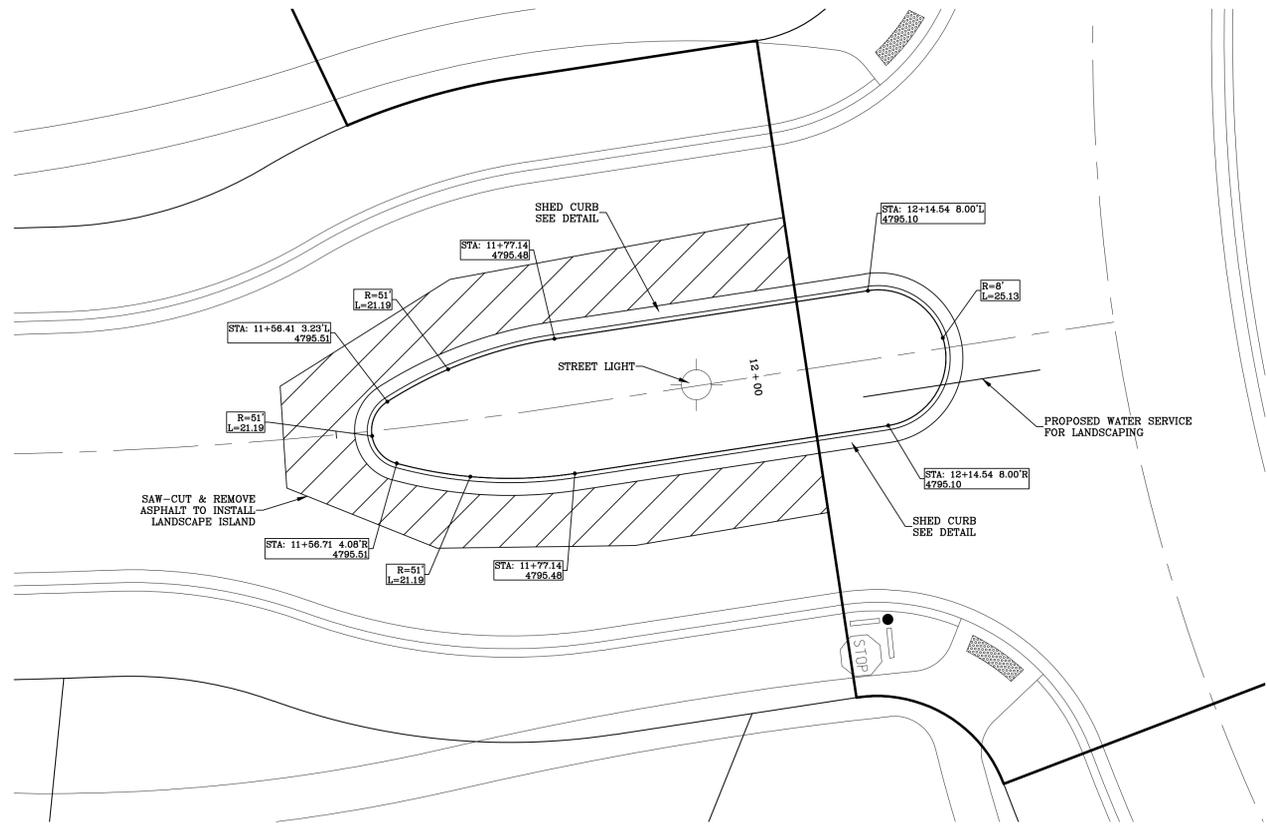
OFF-SITE UTILITIES PROFILE

EVANS RANCH - PLAT "B-2"
EAGLE MOUNTAIN, UTAH
OFF-SITE SEWER PLAN & PROFILE

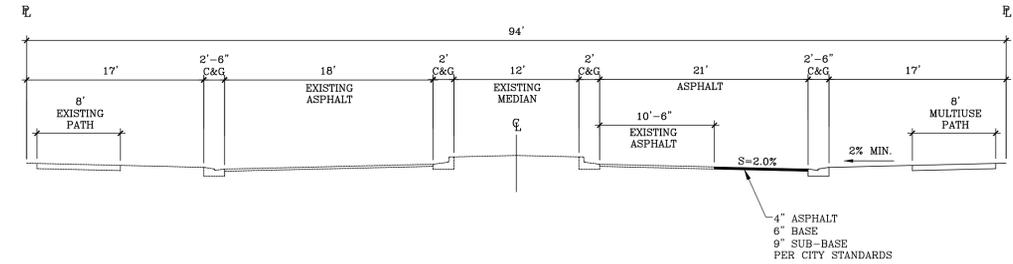
REVISIONS	
1.	
2.	
3.	
4.	
5.	

LEI PROJECT #:
2012-1845
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
1" = 30'
DATE:
1/21/2014

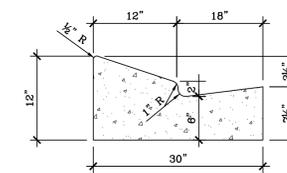
SEE EAGLE MOUNTAIN CONSTRUCTION SPECIFICATION AND STANDARDS FOR FURTHER UTILITY DETAILS



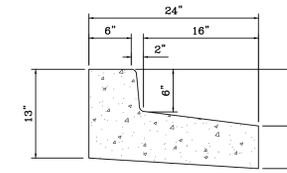
1 | 53' RIGHT-OF-WAY (LOCAL STREET)



2 | 94' RIGHT-OF-WAY (MAJOR COLLECTOR)



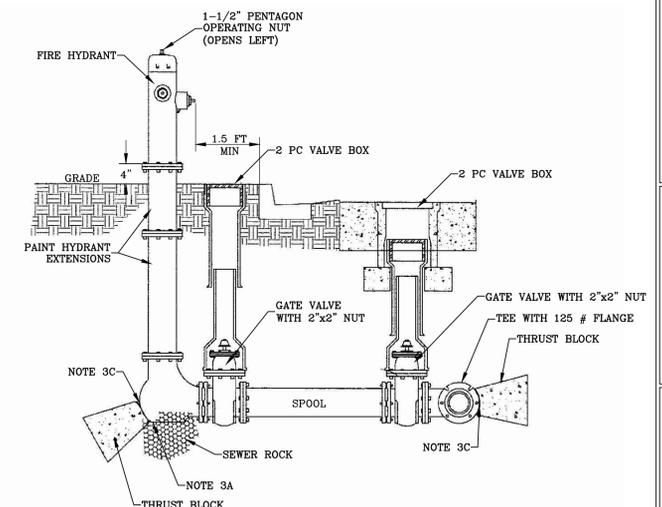
MODIFIED HIGH BACK



SHED CURB

3 | CURB & GUTTER DETAILS

- NOTES:
- INSPECTION: PRIOR TO BACKFILLING, SECURE INSPECTION OF INSTALLATION BY ENGINEER.
 - BACKFILL: PROVIDE AND PLACE PER APWA SECTION 02321. COMPACT PER APWA SECTION 02324 TO A MODIFIED PROCTOR DENSITY OF 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS IS 8-INCHES BEFORE COMPACTION.
 - HYDRANT: DRY BARREL PER AWWA C502. ADDITIONAL WATER SYSTEM REQUIREMENTS ARE SPECIFIED IN APWA SECTION 02510.
 - PROVIDE AT LEAST 1 CUBIC YARD OF APWA SECTION 02060 SEWER ROCK AROUND DRAIN HOLE AT BASE OF HYDRANT. WRAP PLASTIC OVER SEWER ROCK TO PREVENT SILTING.
 - PAINT FIRE HYDRANT TO AGENCY'S FIRE HYDRANT PAINT CODE.
 - APPLY PLY-FM GREASE TO ALL BURIED METAL SURFACES. WRAP WITH 8 MIL THICK POLYETHYLENE SHEET AND TAPE WRAP.
 - NOTIFY FIRE DEPARTMENT AS SOON AS HYDRANT IS PLACED IN SERVICE.
 - THRUST BLOCK:
 - PRIOR TO POURING CONCRETE, WRAP PIPE WITH 8 MIL THICK PLASTIC SHEET TO PREVENT BONDING OF CONCRETE TO PIPE SYSTEM.
 - NOT REQUIRED FOR FLANGE OR WELDED PIPE SYSTEMS.



4 | FIRE HYDRANT DETAIL



ENGINEERS
SURVEYORS
PLANNERS

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com

EVANS RANCH - PLAT "B-2"

EAGLE MOUNTAIN, UTAH

DETAILS

REVISIONS

1	
2	
3	
4	
5	

LEI PROJECT #:

2012-1845

DRAWN BY:

BLS

CHECKED BY:

GDM

SCALE:

N.T.S.

DATE:

1/21/2014

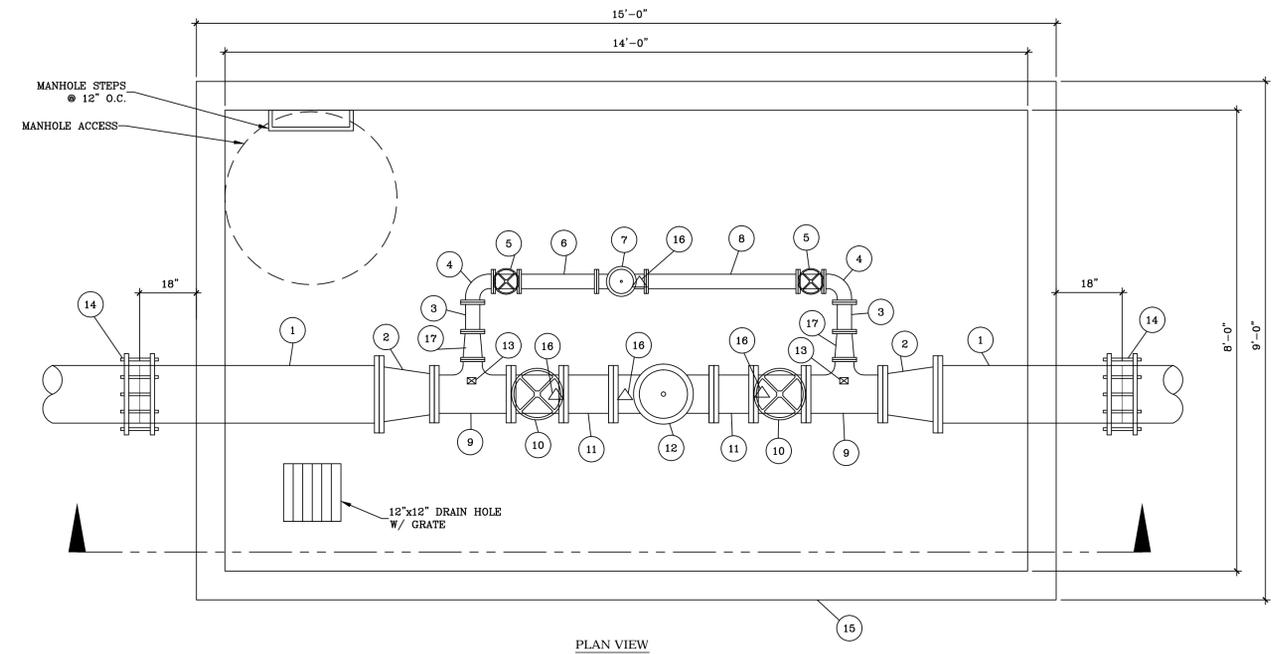
SHEET

6

5 | ENTRANCE ISLAND DETAIL

REVISIONS
1
2
3
4
5

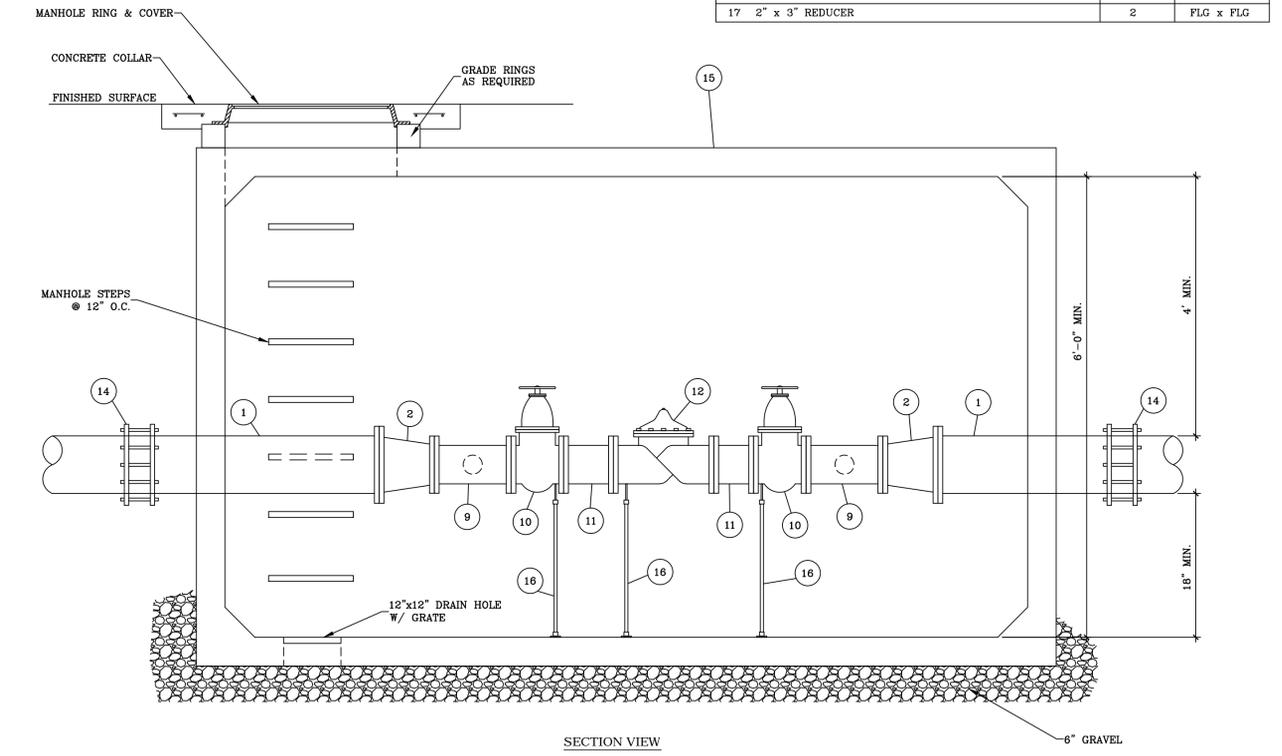
LEI PROJECT #:
2012-1845
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
N.T.S.
DATE:
1/21/2014



PLAN VIEW

DESCRIPTION	QUANTITY	FITTING
1 8" SPOOL, LENGTH AS REQUIRED	2	PE x FLG
2 6" x 8" REDUCER	2	FLG x FLG
3 2" SPOOL L=0'-8"	2	FLG x FLG
4 2" 90° ELBOW	2	FLG x FLG
5 2" BALL VALVE	2	FLG x FLG
6 2" SPOOL L=1'-0"	1	FLG x FLG
7 2" PRESSURE REDUCING VALVE - CLA-VAL MODEL 90-01	1	FLG x FLG
8 2" SPOOL L=2'-3" (FIELD VERIFY)	1	FLG x FLG
9 6" x 6" x 3" TEE	2	FLG x FLG
10 6" GATE VALVE	2	FLG x FLG
11 6" SPOOL L=1'-0"	2	FLG x FLG
12 6" PRESSURE REDUCING VALVE - CLA-VAL MODEL 90-01	1	FLG x FLG
13 PRESSURE GAGE WITH GAGE VALVE 0-200 PSI	2	THD
14 8" FLEX COUPLING	2	PE x PE
15 PRE-FAB CONCRETE VAULT, AMCOR MODEL UVI90 OR EQUAL	1	
16 ADJUSTABLE FLANGE PIPE SUPPORT	4	
17 2" x 3" REDUCER	2	FLG x FLG

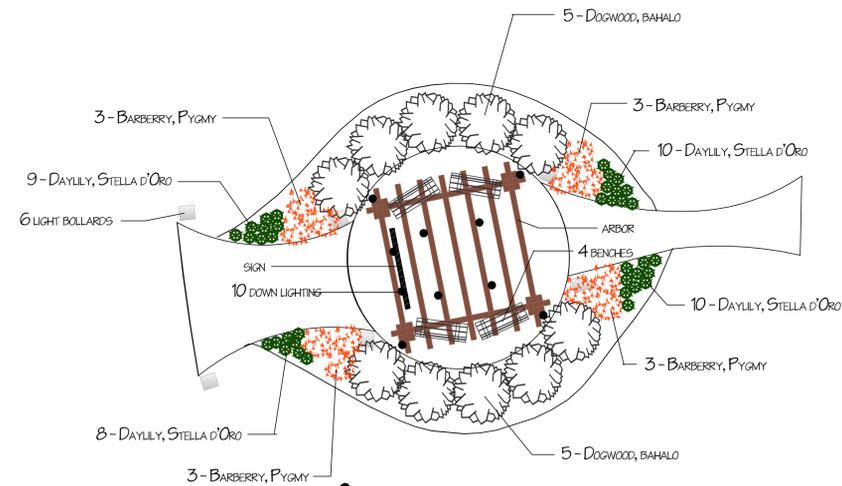
- NOTES:
1. MANHOLE ACCESS TO BE LOCATED ON DOWNHILL SIDE OF VAULT.
 2. VAULT TO BE PLACED LEVEL WHILE PROVIDING MINIMUM COVER OF 12" AT DOWNHILL EDGE AND MAINTAINING A MINIMUM OF 4' OVER PIPING.
 3. PIPE FITTINGS MAY BE NECESSARY OUTSIDE VAULT TO ACCOMMODATE ROADWAY SLOPE AND PROPER PIPE COVER.



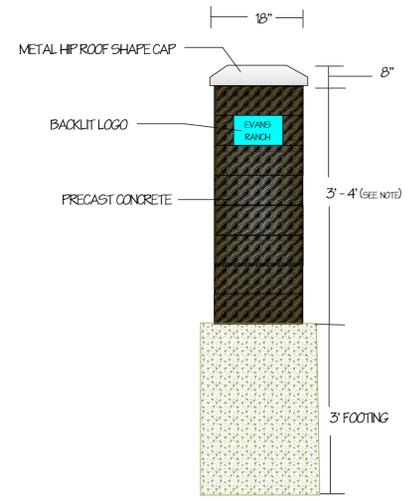
SECTION VIEW



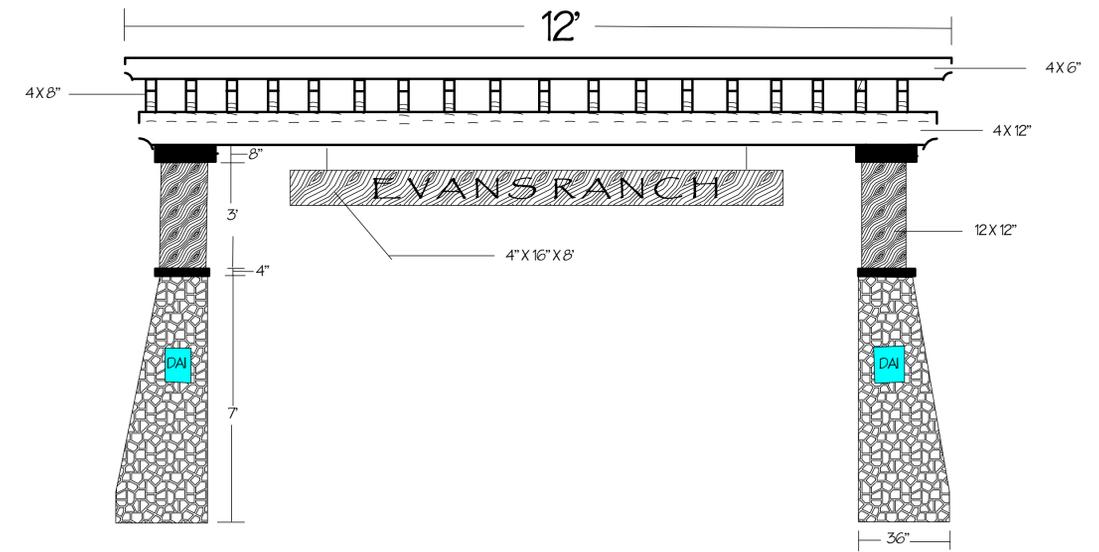
NOTES:
 DECIDUOUS TREES TO BE 2" CALIPER - DOUBLE STAKED PARALLEL WITH PREVAILING WINDS
 EVERGREEN TREES TO BE 6' TALL AND TRIPLE STAKED
 STUB ELECTRICAL 110 POWER SOURCE TO ROUND ABOUT AND ARBOR PATIO AREA FOR SEASONAL LIGHTING



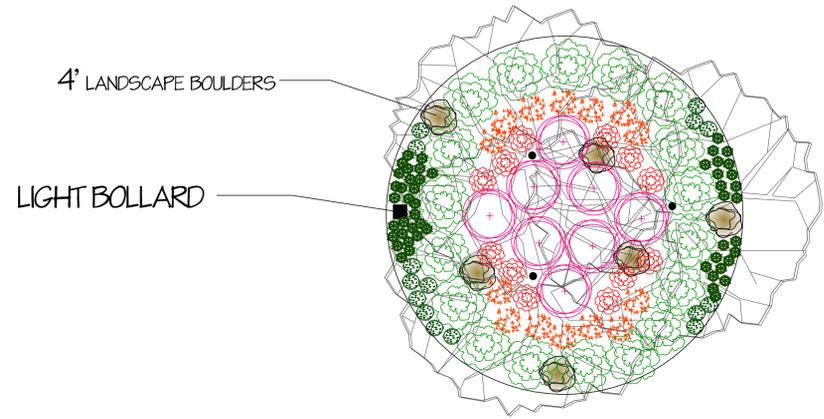
ARBOR / PATIO DETAIL



LIGHT BOLLARD DETAIL
NOTE: LIGHT BOLLARD TO BE 3'
AT STREET INTERSECTIONS TO
ACCOMDATE VISION TRIANGLE

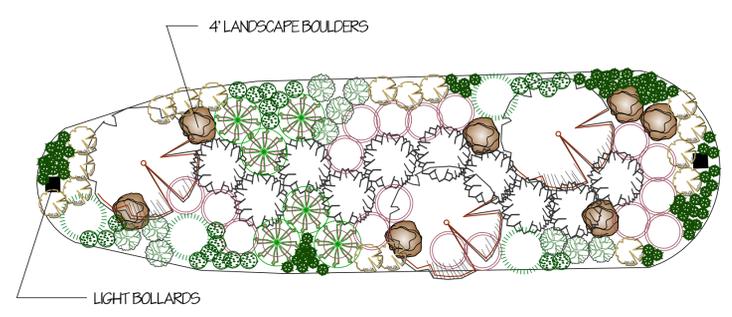


ARBOR DETAIL



ROUND A BOUT PLANTING

LEGEND		
COMMON NAME	QTY	
FLOWER, PERENNIAL		
Daylily, Stella d'Oro	51	
Iris, Purple Bearded	15	
SHRUB, DECIDUOUS		
Barberry, Pygmy	14	
Dogwood, Flowering Variegated	8	
SHRUB, EVERGREEN BROADLEAF		
Boxwood Wintergreen	12	
Cotoneaster, Bearberry, Lowfast	18	
TREE, DECIDUOUS		
Ash, Marshall	3	



ENTRY ISLAND PLANTING

LEGEND		
COMMON NAME	QTY	
FLOWER, PERENNIAL		
Daylily, Stella d'Oro	68	
Iris, Purple Bearded	23	
SHRUB, DECIDUOUS		
Barberry, Crimson Pygmy	10	
Dogwood, Variegated Red Twig	10	
Rose, Iceberg White Floribunda	17	
Spiraea Anthony Waterer	6	
SHRUB, EVERGREEN BROADLEAF		
Boxwood, Winter Beauty	17	
SHRUB, EVERGREEN CONIFER		
Pine, Mugo Dwarf	4	
TREE, DECIDUOUS		
Cherry, Weeping Higan	3	



EAGLE
MOUNTAIN

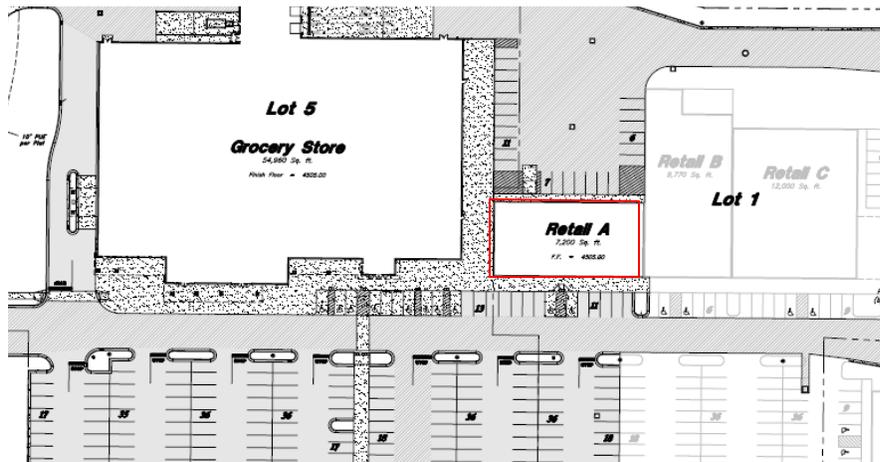
EAGLE MOUNTAIN CITY
Planning Commission Staff Report

FEBRUARY 11, 2014

Project: Porter's Crossing Town Center Retail Pad A – Site Plan (Building Elevations)
Applicant: Pony Express Land Development (Agent – Trevor Hull)
Type of Action: Action Item; Public Hearing; Recommendation to the City Council

PROPOSAL

The site plan for this building, including the parking, landscaping, etc. has already been approved along with the Ridley's site plan. This review is for the building elevations, or the exterior style and look of the building. This building will be located immediately east of the Ridley's Family Market and Ace Hardware stores.



Commercial Design Standards

All Commercial buildings must comply with the City's Commercial Design Standards (EMMC Ch. 17.72). Some of the purposes of the commercial design standards are to provide standards and guidelines to enhance the visual quality of development, to promote buildings of lasting architecture and aesthetic appeal, and to ensure that a sense of place is created and maintained while the city experiences growth and development. The following are the applicable architectural standards from Chapter 17.72.040 (minor variations to these standards may be considered by the Planning Commission and City Council with specific justification from the applicant of how the proposal is more appropriate for the neighborhood and of higher quality than the standard:

A. Architectural Style/Theme. Commercial buildings should be similar in style as significant adjacent buildings. All facades of commercial and multifamily structures shall be designed with consistent architectural style, detail, and trim features as the primary facade. Separate structures on the site shall be designed similar to the primary structure, including colors, materials, and design elements.

The proposed building is quite different from the Ridley's and Ace Hardware building, including exterior materials, the style of canopies, the roof type, etc.

B. Main Entrance. The main entrance of a structure should orient to major sidewalks, pedestrian ways, plazas, courtyards, or other public spaces. It shall also be clearly identifiable, and consist of a sheltering element such as a porch, stoop, awning, arcade, or portico.

The entrances are oriented to the sidewalk, and the steel canopies help identify each entrance.

C. Roof Design. The primary roof form of a structure should help reduce the perceived scale of the building. All commercial buildings shall contain either sloping roofs with overhanging eaves, or a decorative parapet and multiple roof planes and heights. Decorative cornices and roof projections such as cupolas or towers are also encouraged.

This building contains multiple roof planes and heights, a sloping roof, and dormer windows.

D. Building Articulation. Vertical and horizontal articulation and relief reduces the perceived scale of buildings. Buildings shall include facade modulation (stepping portions of the facade), horizontal and vertical divisions (textures or materials), window patterns, offsets, recesses, projections, and other techniques to help identify individual residential units in a multifamily structure, and to avoid large, featureless and/or panelized surfaces on commercial buildings. Large uninterrupted expanses of a building wall are prohibited.

While the two facades of this building are flat, there is some modulation or articulation between the two buildings, and the canopies help break up the flat façade.



PROPOSED RETAIL PAD 'A'

E. Architectural Detailing. Pedestrian-scaled architectural features/details shall be incorporated into commercial and multifamily buildings to orient the building to pedestrian activity and to increase the overall visual appeal of the structure.

1. Commercial buildings shall incorporate a majority of the following architectural details: reveals, canopies, awnings, popouts, columns, decorative trim and moldings, architectural lighting, ornamental cornices, decorative masonry pattern, decorative doors and windows, exposed timbers, and trellis structures. All sides of a building shall include the chosen details.

The building contains canopies, a good number of windows, cultured stone (on one section of the building), and dormer windows. There are no large expanses of featureless walls. The one building, however, contains only stucco (EIFS – Exterior Insulation Finish System).

F. Building Materials. Buildings should incorporate materials used throughout the city and be similar in character and architectural theme as significant neighboring structures.

2. All commercial buildings shall avoid large panelized products or featureless surfaces. Commercial buildings shall utilize an appropriate mixture of building materials on all sides, including brick, rock, fiber/cement siding, wood, glass, stucco, and colored architectural CMU (concrete masonry unit). Stucco may not be used on more than 50 percent of a building. Metal, plain CMU, or other materials deemed appropriate by the planning commission and city council may be used as accents only.

This building is quite different from the “significant neighboring structure.” The eastern building could be considered “featureless,” except for the canopies. This portion of the building is wrapped in stucco, but the stucco is less than 50% of the entire Pad A building. The rear façade of the building is all stucco, with two cultured stone vertical elements.

G. Building Color. Buildings should not be restricted to using desert landscape colors, such as beige, tan, grays, browns, etc. A wide palette of colors is recommended, excluding any neon, ultra-bright, or reflective colors. A building’s color palette should be similar to that of significant neighboring structures. Franchise colors and elements may be incorporated, but shall not overpower the architectural form/theme of the building and/or development.

K. Mechanical Equipment. *All mechanical equipment shall be screened so as not to be visible from any public or private streets. Screens shall be aesthetically incorporated into the design of the building and shall conform to the color and materials of the primary building. Screening includes walls, landscaping, parapet walls, or a combination. All electrical service equipment should be painted to match the wall color or screened to blend with the surrounding terrain.*

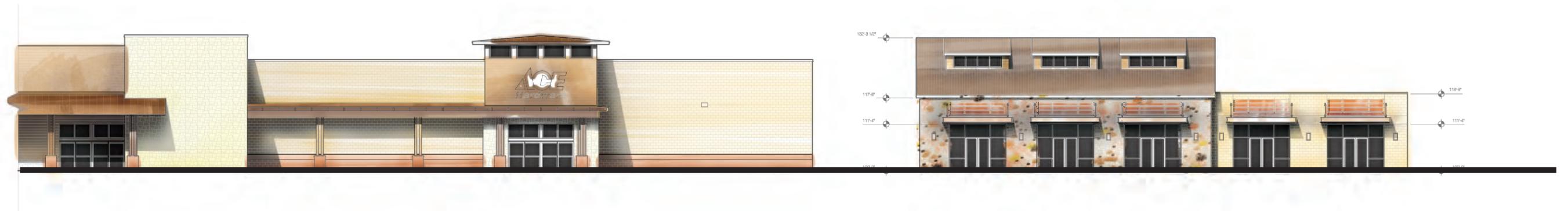
Recommended Motion

The Commercial Design Standards give the Planning Commission and City Council quite a bit of latitude in the review of building elevations. While this building is attractive in many ways, it also is designed to look and feel quite a bit different from the Ridley's and Ace Hardware. The Planning Commission will have to decide if this proposed building fits their vision for this area, and is in compliance with the design standards.

The Planning Commission may choose to recommend approval of the proposed building elevations with conditions of approval, table the item with specific instructions for necessary changes to the building, or recommend denial of the application with specific reasons for the denial.

ATTACHMENTS:

- Proposed Porter's Crossing Town Center Retail Pad A Building Elevations



RIDLEY'S FAMILY MARKET

PROPOSED RETAIL PAD 'A'

OVERALL
SOUTH ELEVATION



PORTER'S CROSSING
PAD 'A'

01.28.14





PROPOSED RETAIL PAD 'A'

ENLARGED
SOUTH ELEVATION



PORTER'S CROSSING
PAD 'A'



01.28.14



PROPOSED RETAIL PAD 'A'

ENLARGED
NORTH ELEVATION



PORTER'S CROSSING
PAD 'A'



01.28.14



EAGLE MOUNTAIN CITY
Planning Commission Staff Report

FEBRUARY 11, 2014

Project: Porter's Crossing Town Center Project Entrance Sign & Commercial Monument Sign

Applicant: Pony Express Land Development (Agent – Trevor Hull)

Type of Action: Action Item; Public Hearing; Recommendation to the City Council

PROPOSAL

Neighborhoods throughout the Ranches have “community entrance signs” along Pony Express Parkway, Ranches Parkway, and SR73 (The Ranches, SilverLake, Red Hawk Ranch, Ruby Valley, etc.). These Signs are approved under the following guidelines and according to the following process found in the City Code:

17.80.110 Community entrance signs.

Community entrance signs located in the median or shoulder of the city's right-of-way (ROW) along streets classified as arterials or collectors shall only be allowed under specific agreement with the city. Community entrance signs shall be constructed, installed, and maintained at the expense of the original applicant in accordance with the specifications outlined in the submitted application and as determined by the city council. The exact location of each sign and the sign copy shall be subject to review and approval by the Eagle Mountain planning commission and city council.

A. Approval Process. Community entrance signage shall not be construed as an absolute right upon submission of an application and does not require the approval body to take action based upon findings of fact. At their discretion, the planning commission may recommend and the city council may approve community entrance signs along streets classified as arterials and collector roads. The placement of the signs shall not create a traffic hazard. Since these signs are within the city's right-of-way, the applicant must enter into an agreement to lease the city's property. The city council shall approve the agreement, which will detail the terms and conditions of the property lease as well as the design of the signage. The lease fee shall be equal to the fee established in the city's current consolidated fee schedule for off-premises ladder signs. [Ord. O-06-2010 § 2 (Exh. A); Ord. O-12-2009 § 2 (Exh. A); Ord. O-26-2008 § 2 (Exh. A § 16.9); Ord. O-18-2008 § 2 (Exh. A § 16.9); Ord. O-17-2006 § 2 (Exh. 1 § 16.9). Formerly 17.80.100].

Not all community entrance signs have to be located with the right-of-way. The Planning Commission and City Council have discretion to review the sign dimensions and design for these signs, with no specific restrictions in the code except for safety. A portion of this sign can be considered the “community entrance sign” – the sloping stone wall and the individual aluminum “Porter's Crossing” letters. As you can see in the attached exhibits, each individual letter is approximately 5 feet tall.

The rest of the sign should be considered a combined monument sign for the commercial retail project (Ridley's, Ace, etc.). This sign should comply with the following City standards for combined commercial monument signs:

17.80.070 Permitted signs.

B. Combined Monument Signs in the Commercial, Industrial, and Airpark Zones. Developments that have multiple pads and are located in a commercial, industrial, or airpark zone may be required to construct one combined monument sign structure per street frontage. The requirement to construct the monument sign structures may be a condition of approval for a site plan or conditional use. The

developer shall ensure that the sign structure allows for as many building pads to be included as is reasonably possible. It is not a guaranteed right that all businesses will have sign space on the combined monument sign. The sign copy will be approved by the planning director or designee through the sign permit application process. All combined monument signs shall be designed and built in substantial conformance to the sign depicted in Figure 17.80.070(A) and must comply with the standards enumerated in subsections (A)(4) through (A)(7) of this section and the standards contained in this subsection. Minor variations to the sign design may be considered by the planning director. More significant variations require approval by the planning commission and city council; height and size requirements may not be exceeded.

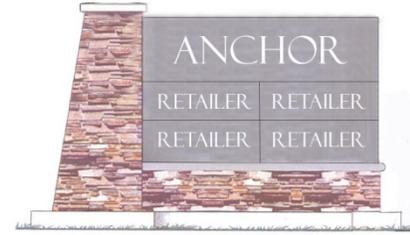
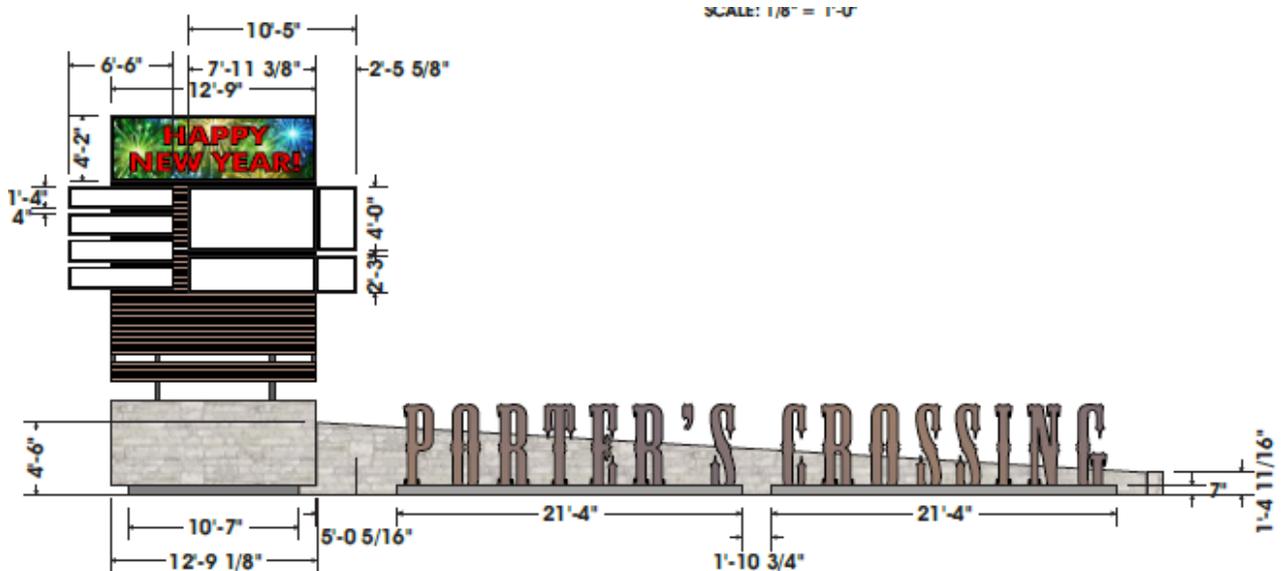


Figure 17.80.070(A)

1. Height. The maximum height of a combined monument sign shall be 10 feet.
2. Sign Copy. The maximum sign copy of a combined monument sign shall be 100 square feet.
3. Materials. Each sign shall contain stone, rock, or brick at the base (at least two feet high) and vertically along at least one side (at least two feet wide). The sign copy may not exceed the height of the rock column, and may not extend beyond the rock base.
4. Design. Additional design elements may be considered by the planning director in order to give uniqueness to a development.
5. Setback. There is no required setback for combined monument signs. These signs must follow the clear vision triangle standards, and may not cause a traffic/visibility concern. The specific sign location must be approved by the planning director or designee.



Electronic Message Centers

D. Sign Illumination. Permitted signs may have a constant, indirect source of illumination focused on the sign's copy or be internally lit. No animated, flashing, blinking, or moving signs shall be permitted, except that animated public service message signs displaying the time of day, temperature, and/or announcements of community events may be permitted by the planning commission. Electrical signs and spotlights or other fixtures used for the indirect illumination of signs shall be installed only in compliance with the city's adopted International Electrical Code and International Building Code.

According to this section of Code, the animated electronic message center on the top of the sign is not permitted. You will notice that the School District has electronic message center signs on their buildings, but they are exempt from the City's codes by State Code.

The sign in total is about 23 feet high. This is obviously much higher than the 10-foot maximum height that is in the Code for these types of signs. The Code says that height and size requirements may not be exceeded.

The only other concern is for the "Porter's Crossing" letters. There is a subdivision to the south of this area that is the Porter's Crossing subdivision. This project was clearly approved as the Porter's Crossing Town Center, and should probably be reflected as such so as to not cause any confusion.

Motion

This proposed sign should really be considered two separate signs – one community entrance sign and the other a combined commercial monument sign. While the City Code contains some standards for these signs, it also gives some flexibility to the Planning Commission and City Council. Community entrance signs require Planning Commission and City Council approval, and major variations to the commercial monument sign also require review and approval by these groups.

City Staff recommends that the sign be either tabled or given a recommendation of denial with the following findings:

- Electronic message centers (animated/flashing signs) are not permitted by the City Code.
- The sign exceeds the 10-foot height limit for combined monument signs.

The Planning Commission may choose to recommend approval of the proposed sign with conditions of approval, table the item with specific instructions for necessary changes, or recommend denial of the application with specific reasons for the denial.

ATTACHMENTS:

- Proposed Porter's Crossing project entrance sign and commercial monument sign

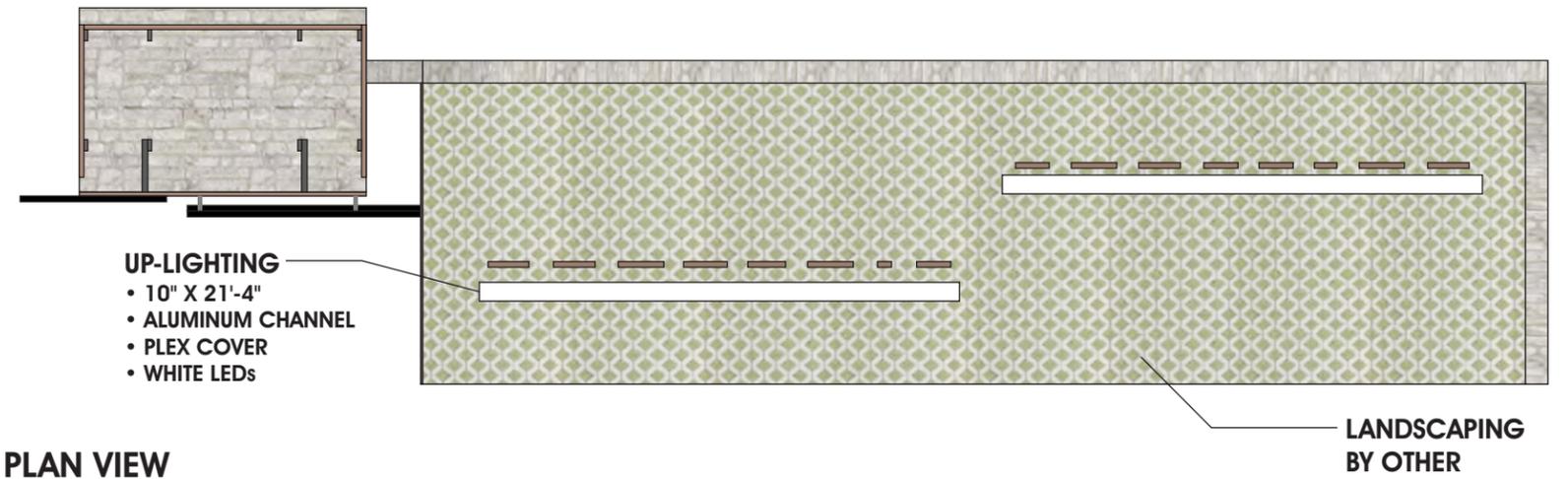
ILLUMINATED CUSTOM MONUMENT SIGN

MANUFACTURE AND INSTALL
(1) ILLUMINATED CUSTOM MONUMENT SIGN

(4) FOOTINGS - 2'-6" X 9'-0"

* ELECTRICAL TO BE AT SIGN LOCATION BY OTHERS

MESSAGE UNIT ELECTRICAL: (1) 30 AMP 120V CIRCUIT
SIGN ELECTRICAL: (2) 20 AMP 120V CIRCUITS



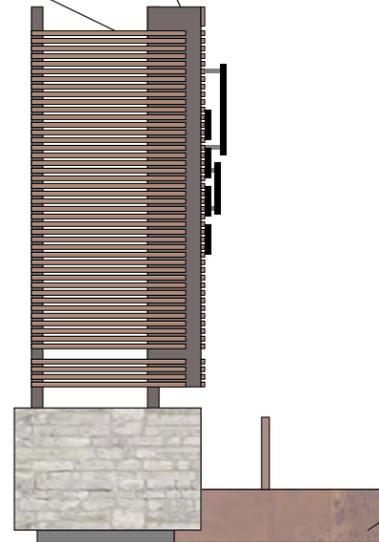
PLAN VIEW
SCALE: 1/8" = 1'-0"

VERTICAL SUPPORTS:

- 3" X 28" ALUMINUM REC TUBE (TBD)
- FAUX PAINTED

SLATS:

- 3" X 1/4" STOCK BAR
- FAUX PAINTED



LEFT VIEW
SCALE: 1/8" = 1'-0"

ELECTRONIC MESSAGE UNIT:

- DAKTRONICS GALAXY 3550
- 16mm RGB
- 4'-2" X 12'-8" (64 X 224 PIXEL MATRIX)

(4) SINGLE-FACED CABINETS:

- 1'-4" X 6'-6"
- ILLUMINATION: WHITE LEDs
- POWER SUPPLY: HOUSED IN CABINET
- FACE: 3/16" TRANS WHITE PLEX VINYL GRAPHICS
- RETAINER: 1", BLACK
- RETURNS: 3" DEEP, BLACK
- FLUSH MOUNTED

VERTICAL SUPPORTS:

- 3" X 6" ALUMINUM REC TUBE (TBD)
- FAUX PAINTED

MASONRY

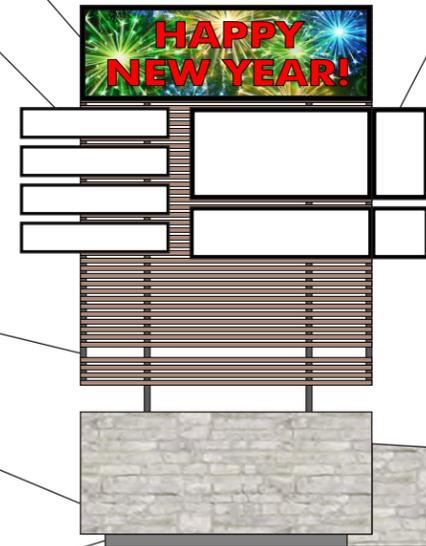
- CULTURED STONE VANEER

EDGE PLATE

- 13'-4" X 2'-4" X 1/2" ALUMINUM
- FAUX PAINTED

PAD

- CONCRETE



FRONT VIEW (FACING EAST)
SCALE: 1/8" = 1'-0"

(2) SINGLE-FACED CABINETS:

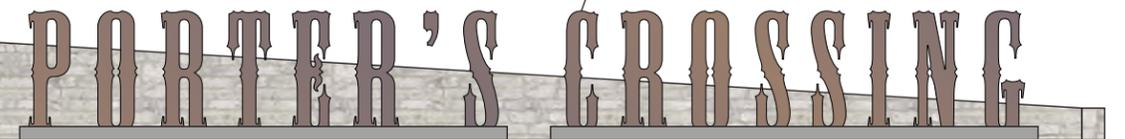
- 4'-0" X 8'-0", 4'-0" X 2'-6"
- ILLUMINATION: WHITE LEDs
- POWER SUPPLY: HOUSED IN CABINET
- FACES: 3/16" TRANS WHITE PLEX VINYL GRAPHICS
- RETAINERS: 2", BLACK
- RETURNS: 3" DEEP, BLACK
- MOUNTED WITH 8" STANDOFFS

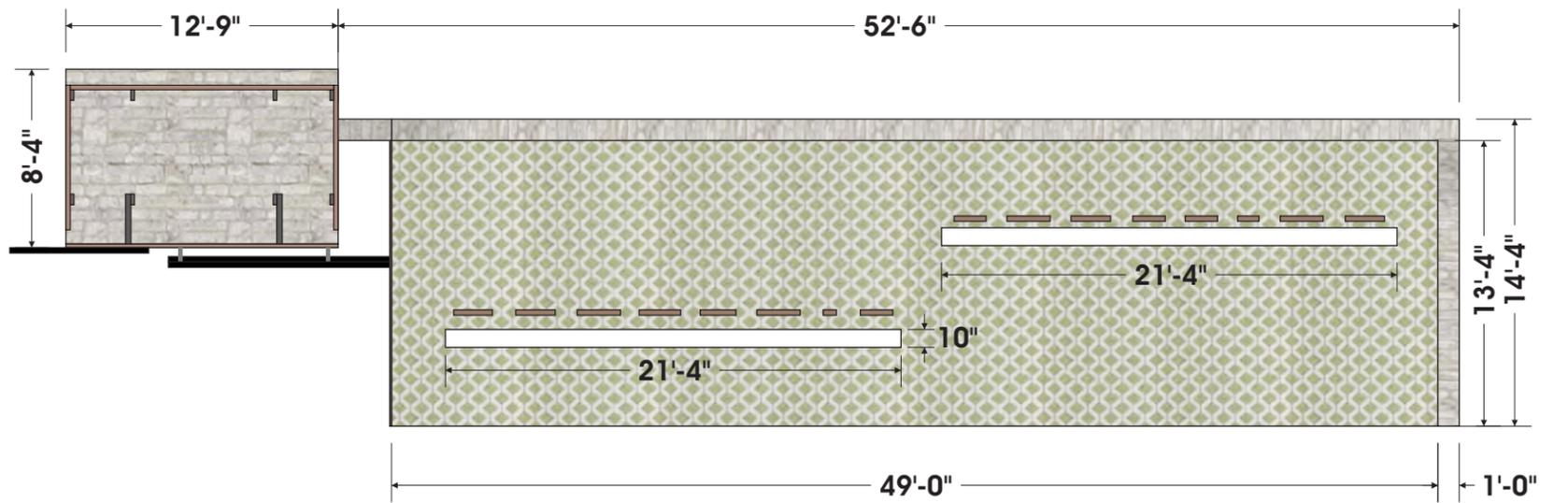
(2) SINGLE-FACED CABINETS:

- 2'-3" X 8'-0", 2'-3" X 2'-6"
- ILLUMINATION: WHITE LEDs
- POWER SUPPLY: HOUSED IN CABINET
- FACES: 3/16" TRANS WHITE PLEX VINYL GRAPHICS
- RETAINERS: 1 1/2", BLACK
- RETURNS: 3" DEEP, BLACK
- MOUNTED WITH 5"

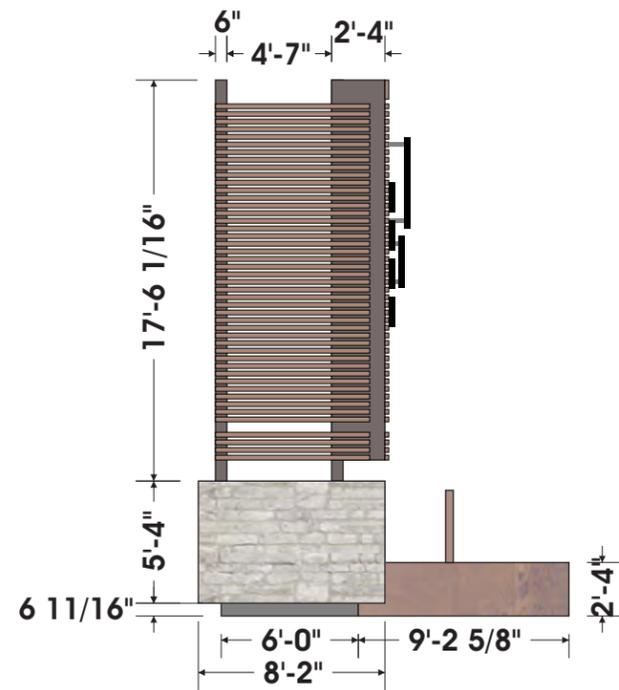
FLAT CUT OUT LETTERS:

- 5'-0" TALL
- 1/2" ALUMINUM
- WATERJET CUT
- FAUX PAINTED
- ANGLE SUPPORTS
- DIRECT BURIAL PIPES

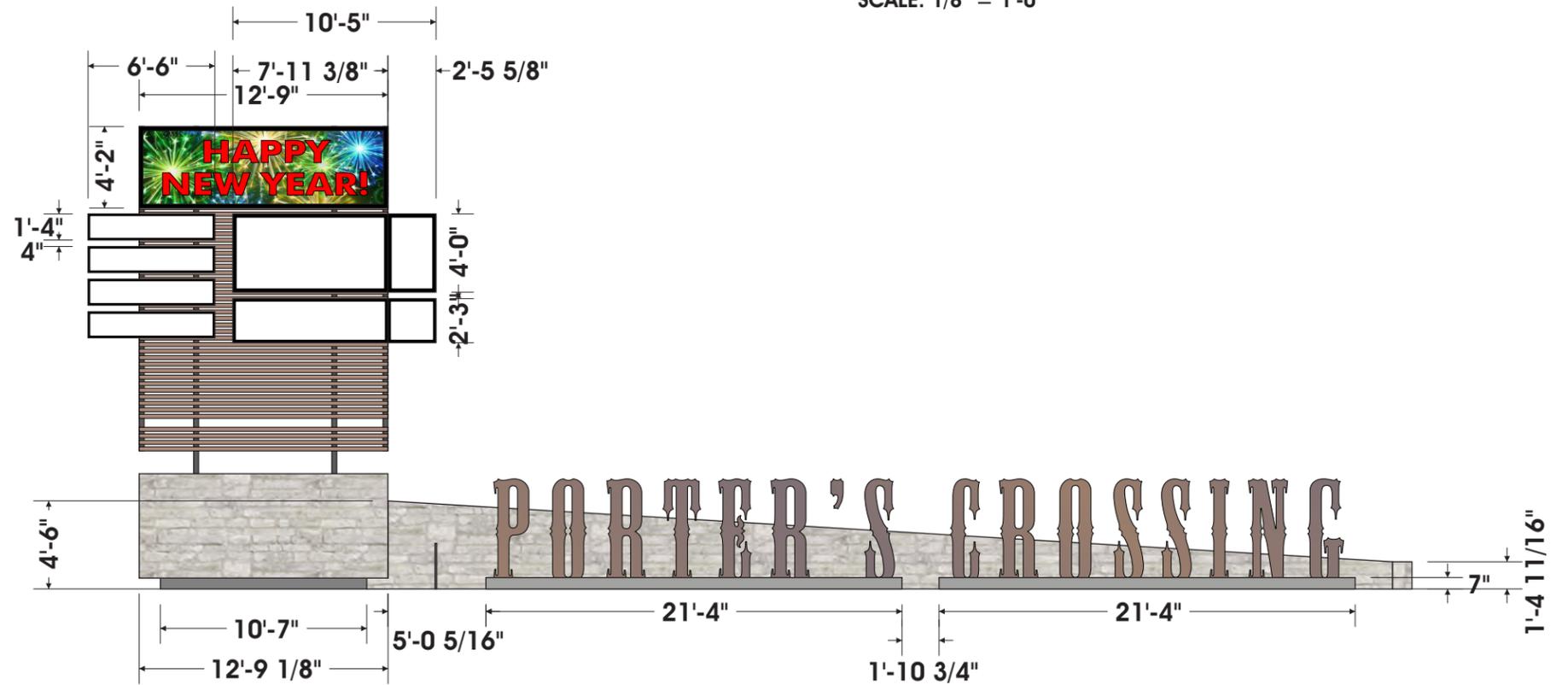




TOP VIEW
SCALE: 1/8" = 1'-0"



LEFT VIEW
SCALE: 1/8" = 1'-0"



FRONT VIEW (FACING EAST)
SCALE: 1/8" = 1'-0"



SALT LAKE CITY:
1920 S 900 W
(801) 972-5503
WWW.ALLIED-SIGN.COM

- DRAWING STEPS
- CONCEPT
 - ESTIMATING
 - PERMIT/LANDLORD
 - PRODUCTION

DRAWING REVIEW	
NAME	
SURVEY	
NAME	
PRODUCTION REVIEW	
NAME	

Client: Porter's Crossing
Address: 3900 East Pony Express Pkwy.
Eagle Mountain, UT
File Name: Porter's Crossing - Custom Monument - 1-30-13

SALES APPROVAL:
Designer: Jason
Sales: Cindy

CUSTOMER APPROVAL:



ILLUMINATED CUSTOM MONUMENT SIGN

MANUFACTURE AND INSTALL
(1) ILLUMINATED CUSTOM MONUMENT SIGN

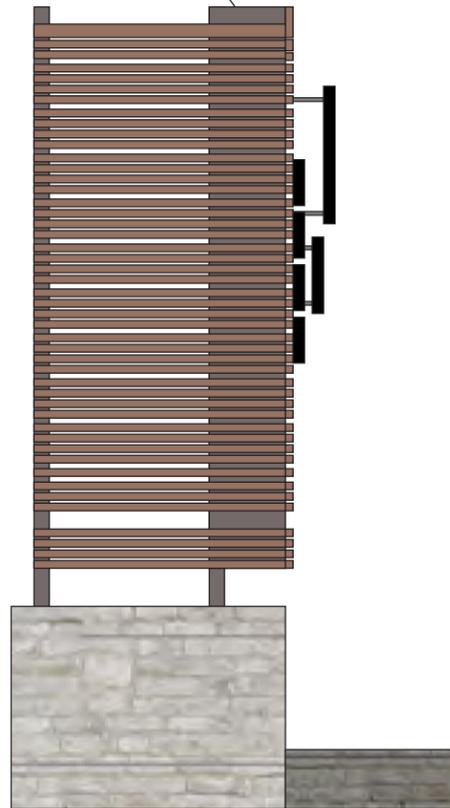
(4) FOOTINGS - 2'-6" X 7'-0"

* ELECTRICAL TO BE AT SIGN LOCATION BY OTHERS

SIGN ELECTRICAL: (2) 20 AMP 120V CIRCUITS

VERTICAL SUPPORTS:

- 3" X 28" ALUMINUM REC TUBE (TBD)
- FAUX PAINTED



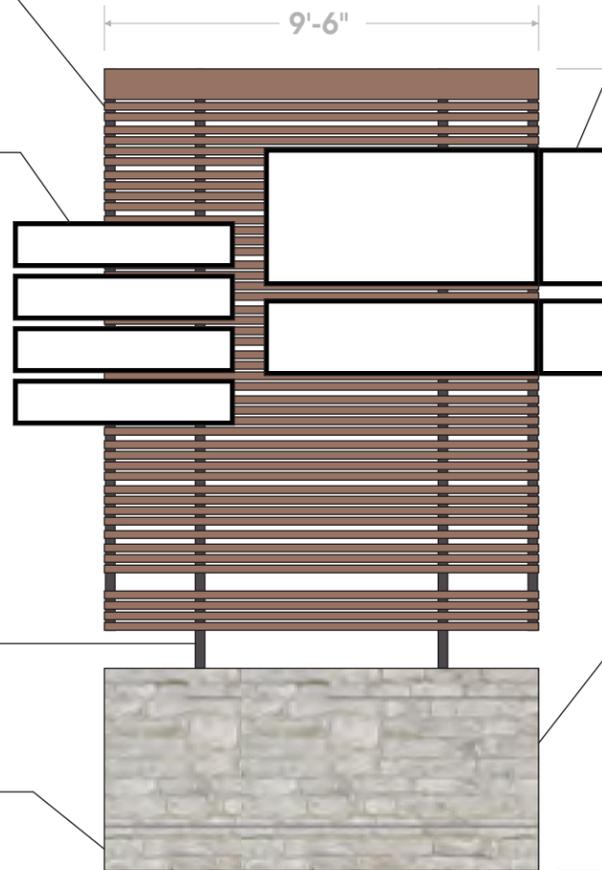
LEFT VIEW
SCALE: 1/4" = 1'-0"

HORIZONTAL SUPPORTS:

- 3" X 1/4" ALUMINUM REC TUBE (TBD)
- FAUX PAINTED

(4) SINGLE-FACED CABINETS:

- 1'-0" X 4'-10"
- ILLUMINATION: WHITE LEDs
- POWER SUPPLY: HOUSED IN CABINET
- FACE: 3/16" TRANS WHITE PLEX VINYL GRAPHICS
- RETAINER: 1", BLACK
- RETURNS: 3" DEEP, BLACK
- FLUSH MOUNTED



FRONT VIEW
SCALE: 1/4" = 1'-0"

(2) SINGLE-FACED CABINETS:

- 3'-0" X 6'-0", 4'-0" X 1'-8"
- ILLUMINATION: WHITE LEDs
- POWER SUPPLY: HOUSED IN CABINET
- FACES: 3/16" TRANS WHITE PLEX VINYL GRAPHICS
- RETAINERS: 1", BLACK
- RETURNS: 3" DEEP, BLACK
- MOUNTED WITH 8" STANDOFFS

(2) SINGLE-FACED CABINETS:

- 2'-3" X 6'-0", 2'-3" X 1'-8"
- ILLUMINATION: WHITE LEDs
- POWER SUPPLY: HOUSED IN CABINET
- FACES: 3/16" TRANS WHITE PLEX VINYL GRAPHICS
- RETAINERS: 1", BLACK
- RETURNS: 3" DEEP, BLACK
- MOUNTED WITH 5"

VERTICAL SUPPORTS:

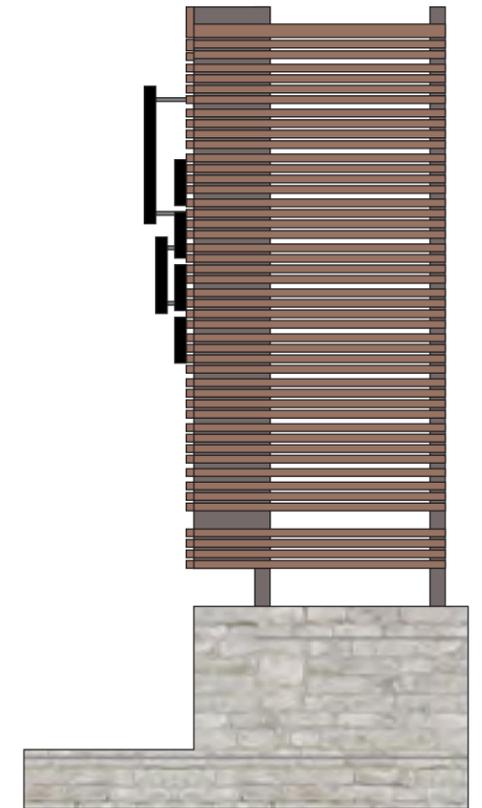
- 3" X 6" ALUMINUM REC TUBE (TBD)
- FAUX PAINTED

MASONRY

- CULTURED STONE VANEER

MASONRY

- CULTURED STONE VANEER



RIGHT VIEW
SCALE: 1/4" = 1'-0"



SALT LAKE CITY:
1920 S 900 W
(801) 972-5503
WWW.ALLIED-SIGN.COM

DRAWING STEPS

- CONCEPT
- ESTIMATING
- PERMIT/LANDLORD
- PRODUCTION

DRAWING REVIEW

NAME _____
SURVEY _____
NAME _____
PRODUCTION REVIEW _____
NAME _____

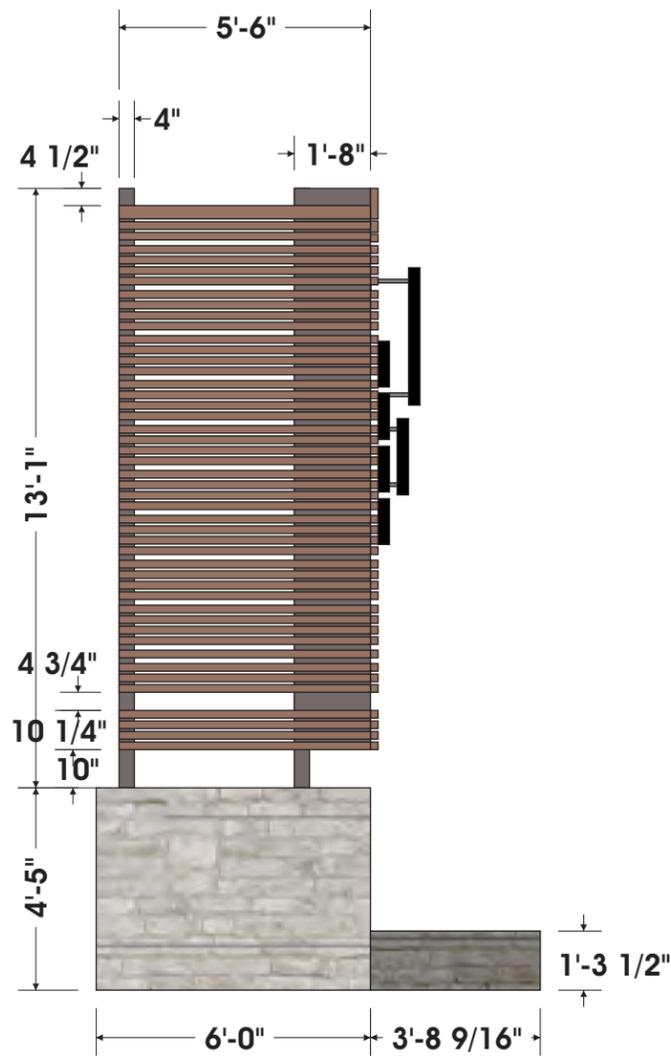
Client: Porter's Crossing
Address: 3900 East Pony Express Pkwy.
Eagle Mountain, UT
File Name: Porter's Crossing - Custom Monument - 1-30-13

SALES APPROVAL:

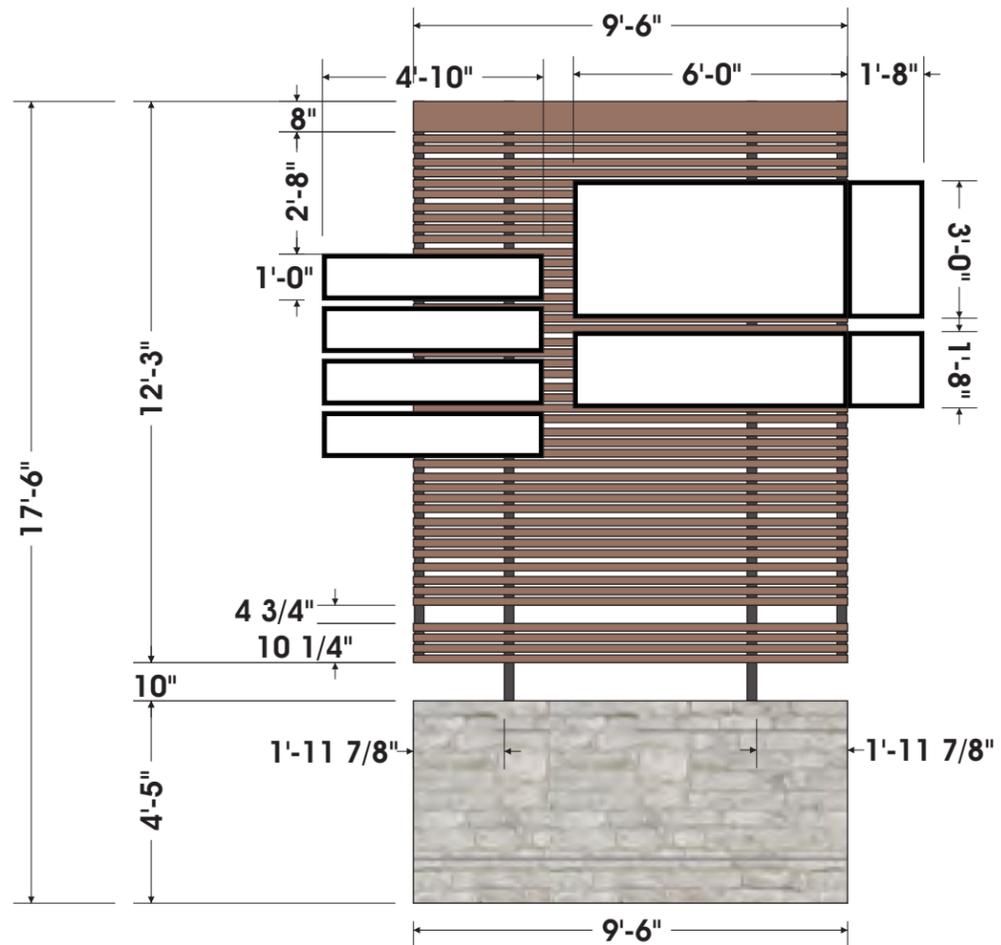
Designer: Jason
Sales: Cindy

CUSTOMER APPROVAL:

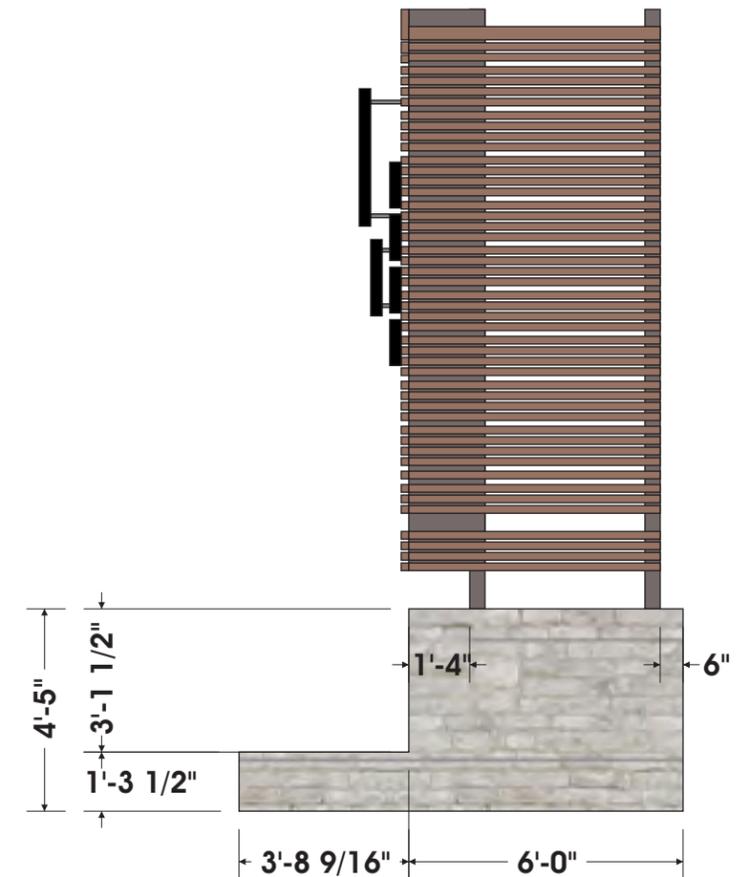




LEFT VIEW
SCALE: 1/4" = 1'-0"



FRONT VIEW
SCALE: 1/4" = 1'-0"



RIGHT VIEW
SCALE: 1/4" = 1'-0"



SALT LAKE CITY:
1920 S 900 W
(801) 972-5503
WWW.ALLIED-SIGN.COM

DRAWING STEPS
<input type="checkbox"/> CONCEPT
<input type="checkbox"/> ESTIMATING
<input type="checkbox"/> PERMIT/LANDLORD
<input type="checkbox"/> PRODUCTION

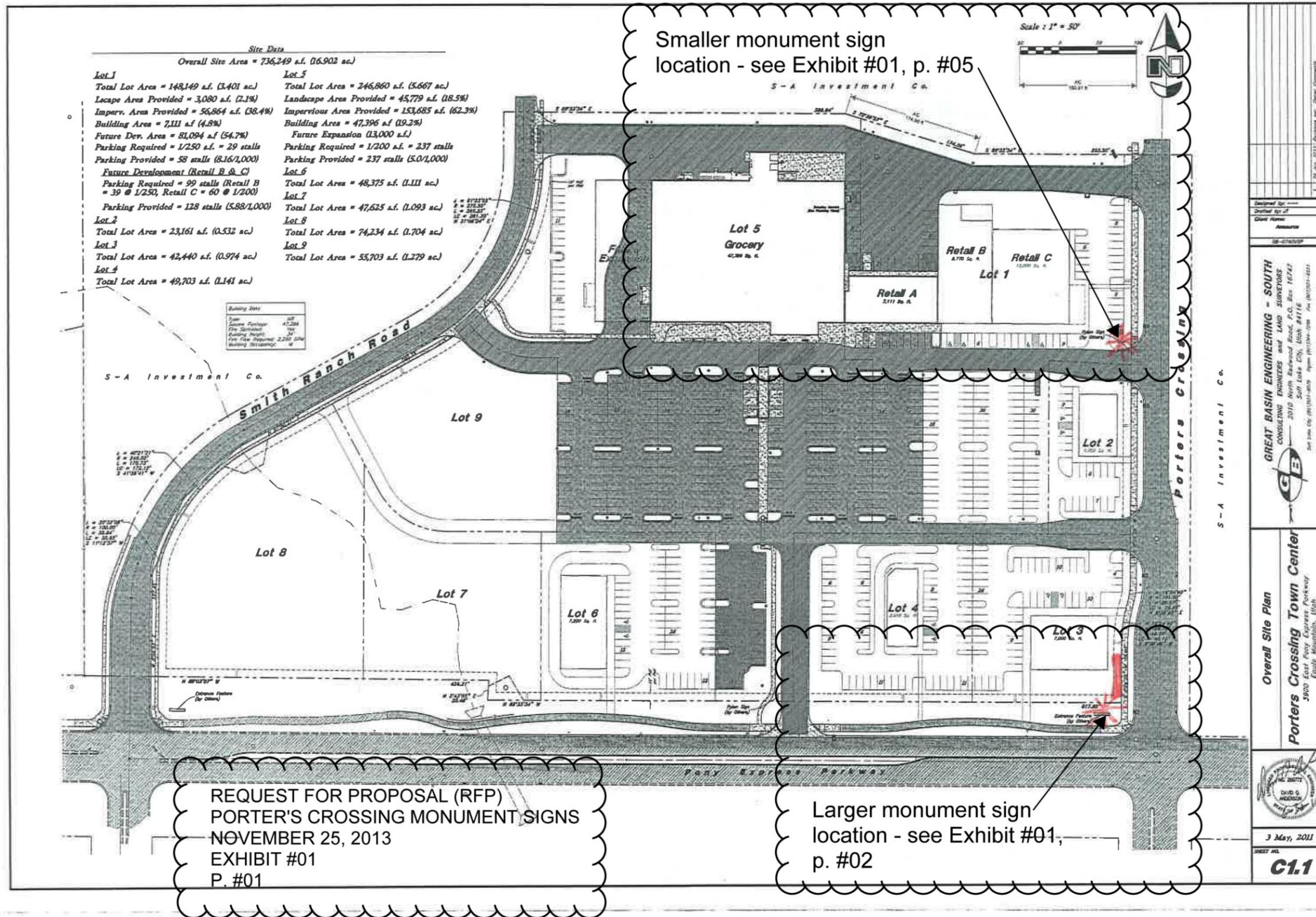
DRAWING REVIEW
NAME
SURVEY
NAME
PRODUCTION REVIEW
NAME

Client: Porter's Crossing
Address: 3900 East Pony Express Pkwy.
Eagle Mountain, UT
File Name: Porter's Crossing - Custom Monument - 1-30-13

SALES APPROVAL:
Designer: Jason
Sales: Cindy

CUSTOMER APPROVAL:





ALLIED ELECTRIC SIGN & Awning
Signs that build business!

SALT LAKE CITY:
1920 S 900 W
(801) 972-5503
WWW.ALLIED-SIGN.COM

DRAWING STEPS	DRAWING REVIEW
<input type="checkbox"/> CONCEPT	NAME
<input type="checkbox"/> ESTIMATING	SURVEY
<input type="checkbox"/> PERMIT/LANDLORD	NAME
<input type="checkbox"/> PRODUCTION	PRODUCTION REVIEW
	NAME

Client: Porter's Crossing
Address: 3900 East Pony Express Pkwy.
Eagle Mountain, UT
File Name: Porter's Crossing - Custom Monument - 1-30-13

SALES APPROVAL:
Designer: Jason
Sales: Cindy

CUSTOMER APPROVAL:

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY ALLIED ELECTRIC SIGN. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH THE PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE REPRODUCED, COPIED OR EXHIBITED.

