

HEBER CITY CORPORATION  
75 North Main Street  
Heber City, Utah  
Planning Commission Meeting  
Thursday, February 13, 2014

6:00 p.m. - Regular Meeting

**TIME AND ORDER OF ITEMS ARE APPROXIMATE AND MAY BE CHANGED AS TIME PERMITS**

Public notice is hereby given that the monthly meeting of the Heber City Planning Commission will be in the Heber City Office Building, 75 North Main, South door, in the Council Chambers upstairs.

Pledge of Allegiance: By Invitation  
Minutes: November 14, 2013, Regular Meeting (tabled from December 12, 2013)  
January 9, 2014, Regular Meeting

- Item 1      Danny Labrum requests Commercial Concept Development Approval for Labrum Ford located at approximately 901 South Main Street
- Item 2      Watts Enterprises requests Subdivision Final Approval for Ranch Landing Cottages Plat A located at 980 South 500 East
- Item 3      Watts Enterprises requests Subdivision Final Approval for Ranch Landing Condos Plat D also referred to as the Ranch Landing Condo Plat located at 1045 South 500 East
- Item 4      Red Ledges requests Subdivision Final Approval for Red Ledges Phase 1Q located in the Red Ledges Project in the vicinity of Red Knob Way. The main entrance to the Red Ledges Development is at 1851 East Center Street (Lake Creek Drive).
- Item 5      Report on Red Ledges Amenities and Phasing Plan
- Item 6      Discuss proposed amendment to the parking ordinance for retail, office, and restaurant uses in the C-3 Commercial Zone.
- Item 7      Review of 2013 Planning Commission Actions

Administrative Items:

Those interested in the above items are encouraged to attend. Order of items may vary if needed. In compliance with the Americans with Disabilities Act, those needing special accommodations during this meeting or who are non-English speaking should contact Karen Tozier or the Heber City Planning and Zoning Department (435-654-4830) at least eight hours prior to the meeting.

Posted on February 6, 2014 in the Wasatch County Community Development Building, Wasatch County Library, Heber City Hall, the Heber City Website at [www.ci.heber.ut.us](http://www.ci.heber.ut.us) and on the Utah Public Notice Website at <http://pmn.utah.gov>. Notice provided to the Wasatch Wave on February 6, 2014.

Karen Tozier, Planning Commission Secretary

1 HEBER CITY CORPORATION  
2 75 North Main Street  
3 Heber City, Utah  
4 Planning Commission Meeting  
5 Thursday, November 14, 2013  
6

7 7:00 p.m.  
8 Regular Meeting  
9

Present: Planning Commission: Darryl Glissmeyer  
Kieth Rawlings  
Mark Webb  
Michael Thurber

Absent: Clayton Vance  
Harry Zane  
David Richards  
Craig Hansen

Staff Present: Planning Director Anthony Kohler  
Planning Secretary Karen Tozier

10  
11 **Others Present:** Todd Cates and Joshua Cates.  
12

13 Chairman Rawlings convened the meeting at 7:09 p.m. with a quorum present.  
14

15 **Pledge of Allegiance: Commissioner Webb**  
16 **Minutes: September 12, 2013, Regular Meeting**  
17

18 Commissioner Glissmeyer moved to approve the meeting minutes of the September 12, 2013,  
19 Regular Meeting. Commissioner Thurber seconded the motion. Voting Aye: Commissioners  
20 Glissmeyer, Thurber, Rawlings, and Webb. Nay: None. The motion passed.  
21

22 **October 17, 2013, Regular Meeting**  
23

24 Commissioner Webb moved to approve the minutes for Thursday, October 17<sup>th</sup>. Commissioner  
25 Thurber seconded the motion. Voting Aye: Commissioners Thurber, Rawlings, and Webb.  
26 Abstaining: Commissioner Glissmeyer. Voting Nay: none. The motion passed.  
27

28 **Item 1** **Red Ledges requests Subdivision Final Approval of Red Ledges Phase 1P located on**  
29 **Copper Belt Drive near the intersection of Red Ledges Village Way. The main entrance**  
30 **to the Red Ledges Development is at 1851 East Center Street (Lake Creek Drive)**  
31

32 Todd Cates addressed the Commission. He noted that this phase, Phase 1P, had more lots  
33 than what they had brought recently. He showed the location of the plat on the Red Ledges  
34 map and pointed out that the City's water tank is in this area. These are custom lots; all but  
35 one is under  $\frac{3}{4}$  of an acre.

36  
37  
38  
39  
40  
41  
42  
43  
44  
45  
46  
47  
48  
49  
50  
51  
52  
53  
54  
55  
56  
57  
58  
59  
60  
61  
62  
63  
64  
65  
66  
67  
68  
69  
70  
71  
72  
73  
74  
75  
76  
77  
78  
79  
80  
81

There were no questions from the Planning Commission. The engineering report had been submitted early and Cates indicated that many of the items had been taken care of. Anthony Kohler is reviewing the Development Agreement and this would be taken care of before the City Council meeting. Commissioner Thurber expressed that he wanted to make sure access associated with the water tank is taken care of. Anthony Kohler indicated Bart Mumford is comfortable with these issues.

The topic of access on Lot 781 was discussed. Todd Cates indicated the Timpanogos Canal easement was in this area and cuts the lot off. Red Ledges has to stay outside of the easement to get into the lot. Anthony Kohler indicated he had included the definitions of building pad and building width from Section 18.61.040 Development Requirements in his staff report. In looking at these definitions, Kohler indicated he did not think there was a problem. He read the definitions. "The buildable area is the portion of land located within the property boundary setbacks. The Building pad is the portion of land located within the buildable area setbacks." The width on this is supposed to be 100 lineal feet at front of building pad. There are a couple of lots like this are in previous phases. The issue is they have to have 100 feet of width in the building pad as defined on the plat. This has been done. Kohler indicated that the width of the flag pole is at least 20 feet so they can meet the driveway standards for the fire department as well. The length of the driveway is important to the fire department; they usually get involved if the driveway is 150 feet long or longer. The driveway on this lot appears to be less than 100 feet in length. Anthony Kohler indicated they could have the fire department look at this before this goes to City Council and make sure they are comfortable with this.

Commissioner Webb asked if all the setbacks had been taken care of. Anthony Kohler noted that he had spoken to Mike Carlton and Mr. Carlton indicated he had made these changes (to the plat). Anthony Kohler was to check the setbacks as well.

Commissioner Thurber moved the proposed subdivision is consistent with the Red Ledges Master Plan, the Interlocal Agreement, Chapter 18.61, and conditional upon Lots 758 through 759 showing building pads 30 feet from the right-of-way, with 10 foot and 14 foot side setbacks and 30 foot rear setbacks, and Lot 774 being widened to 100 feet. There was a correction from the Commissioner Glissmeyer that this should be Lots 758 through 779. Commissioner Thurber agreed to this correction to the motion. Commissioner Webb asked if this was a recommendation for final subdivision approval for Phase 1P. Commissioner Thurber confirmed this, yes. Commissioner Glissmeyer seconded the motion. Voting Aye: Commissioners Glissmeyer, Thurber, Rawlings, and Webb. Voting Nay: none. The motion passed.

**Administrative Items:**

Under Administrative Items the Commission wanted to discuss the DRC Meeting that had been held earlier that week. They were concerned that the Boyer Company had not followed their recommendations; they want a park, not a retention pond park. They expressed that this is a need for the children in the area. The future bypass area was discussed briefly. Anthony Kohler

82 indicated the County wants to work with the City to make sure that the City does not need more  
83 intersection area in the location where you would exit off the bypass. This is another issue that  
84 the City will need to work with the developer on. The phasing of the project was also discussed  
85 briefly. The developer would like feedback from the Commission.

86  
87 There was brief discussion on possible development in commercial areas.

88  
89 Scheduling of the annual calendar for 2014 was discussed. The Planning Commission would  
90 like for the meetings to be scheduled at 6:00 p.m. Discussion on the joint meeting in January  
91 with the City Council. Anthony Kohler mentioned issues they might talk over at this meeting.  
92 They would probably schedule this tentatively for the 4<sup>th</sup> week of January. Kohler noted he was  
93 considering having a consultant facilitate the meeting. The Commission agreed that this would  
94 be a good idea.

95  
96 Commissioner Glissmeyer moved to adjourn the meeting. Commissioner Webb seconded the  
97 motion. Voting Aye: Commissioners Glissmeyer, Thurber, Rawlings, and Webb. Voting Nay:  
98 none. The motion passed and the meeting adjourned at 7:50 p.m.

1 HEBER CITY CORPORATION  
2 75 North Main Street  
3 Heber City, Utah  
4 Planning Commission Meeting  
5 Thursday, January 9, 2014

6  
7 6:00 p.m.  
8 Regular Meeting  
9  
10

Present: Planning Commission: Darryl Glissmeyer  
David Richards  
Harry Zane  
Kieth Rawlings  
Michael Thurber  
Clayton Vance

Absent: Mark Webb

Staff Present: Planning Director Anthony Kohler  
Planning Secretary Karen Tozier  
City Engineer Bart Mumford

11  
12 **Others Present:** Rich Hansen, Mark Haroldsen, Todd Cates, Blaik Baird, Terry Shoemaker,  
13 Travis Wilcox, Francis Harrison, Mike Folkman, Eric Straddeck, Daniel Mauer, and Mike  
14 Medina.

15  
16 Chairman Rawlings convened the meeting at 6:04 p.m. with a quorum present.

17  
18 **Pledge of Allegiance: Commissioner Zane**

19 **Minutes: November 14, 2013, Regular Meeting (tabled from December 12, 2013)**  
20

21 There were not enough Commissioners present who had attended this meeting to approve the  
22 meeting minutes.

23  
24 **December 12, 2013, Regular Meeting**

25  
26 Commissioner Thurber moved to approve the December 12, 2013, Regular Meeting Minutes.  
27 Commissioner Zane seconded the motion. Voting Aye: Commissioners Zane, Glissmeyer,  
28 Thurber and Rawlings. Voting Nay: none. The motion passed.

29  
30 Commissioner Richards arrived at 6:23 p.m. Commissioner Vance arrived at 7:00 p.m.

31  
32 **Item 1** **Wasatch County School District requests Commercial Development**  
33 **Concept Approval / Approval of the Master Plan for property located at**  
34 **600 South Main (The Old High School)**  
35

36 **REQUEST**

37  
38 The School District is proposing a development Master Plan for the old high school location.  
39 The property is located in the C-2 Commercial Zone. The proposal would entirely remove the  
40 existing buildings. Development Pads would be built along Main Street and new public and  
41 private roads would be throughout the property. After the plan is adopted, the School District  
42 would have developers construct the improvements associated with each particular pad a  
43 developer purchases.

44  
45 **DISCUSSION**

46  
47 The Planning Commission discussed the following points:

- 48  
49 ➤ the proposed alignment did not follow the master transportation plan with respect to 100 East;  
50 concern was expressed that if the road is private there probably would never be a connection  
51 farther south to either Main Street or 1200 South; this subdivision sets the tone for what  
52 happens with the rest of the lots to the south;  
53 ➤ it was thought there will be traffic congestion on 600 South and a cue will back up if  
54 alignment is at 50 East;  
55 ➤ numerous possible solutions to alignment and designation of private/public roads;  
56 ➤ the parking plan, lighting, utilities, and phasing;  
57 ○ the Commission wanted the petitioner to be prepared with a phasing plan showing  
58 contingencies if lots are sold in random order;  
59 ○ cable needs to be buried; all the other poles can come down once this is buried;  
60 ○ period lighting needs to replace the existing overhead lighting along Main Street;  
61 ➤ concern was expressed on phasing the property if it is piece-milled too much. One option was  
62 to identify what is regional in nature and put the rest into a development agreement; this is an  
63 equitable way to phase the project and protect the City. Utilities may have to be put in up  
64 front as concern was expressed over phasing and having the road torn up for numerous phases;  
65 ○ a suggestion was made to phase in two phases. The first phase would be from 50 East  
66 going west to Main Street and the second phase would be east of 50 East. This would  
67 allow for all of 50 East to be constructed at one time and not be partial construction;

68  
69 Blaik Baird of the Wasatch County School District spoke regarding the school district's  
70 property maintenance.

71  
72 **MOTION OF APPROVAL**

73  
74 Commissioner Glissmeyer moved that we approve this concept for the Wasatch School  
75 District to market this concept with the proviso that 100 East be tied in with what is now  
76 called a private driveway and what is called 50 East become a private driveway.

77 Commissioner Richards seconded the motion. Voting Aye: Commissioners Zane,  
78 Glissmeyer, Thurber, Rawlings, and Richards. Abstaining: Commissioner Vance. Voting  
79 Nay: None. The motion passed. Commissioner Vance had abstained because he had just  
80 arrived to the meeting and had not participated in the discussion.

83 **Item 2** **Red Ledges requests Subdivision Final Approval for Red Ledges Phase 2E**  
84 **– Juniper Hills located in the Red Ledges Development in the vicinity of**  
85 **Copper Belt Drive, the entrance to Red Ledges is located at 1851 East**  
86 **Center Street**  
87

88 **REQUEST**  
89

90 Phase 2E consists of 8 lots. The proposed road configuration changes the Master Plan by  
91 removing a cul-de-sac and replacing it with a through road and moving a proposed road to  
92 align with an existing intersection.  
93

94 **DISCUSSION**  
95

96 The Planning Commission discussed the following points:  
97

- 98 ➤ whether the driveways are shared or singular;
- 99 ➤ the Commission expressed concern over the grade of the driveways and questioned whether  
100 there will there be a problem for the Fire Official, if the Fire Marshall is alright then the  
101 Commission did not have a problem with this; Staff is to check with the Fire Marshall on the  
102 grade of driveways;
- 103 ➤ the City has no requirement on driveways;
- 104 ➤ the hatched area on the plat is common area which will be maintained by the Home Owners  
105 Association.  
106

107 **MOTION OF APPROVAL**  
108

109 Commissioner Zane moved that we recommend approval for Red Ledges' request (for)  
110 subdivision final for Red Ledges Phase 2E – Juniper Hills located in the Red Ledges  
111 Development in the vicinity of Copper Belt Drive, the entrance to Red Ledges is located at  
112 1851 East Center Street contingent upon they meet all the requirements of the staff and City  
113 engineer. Commissioner Thurber seconded the motion. Voting Aye: Commissioners Zane,  
114 Glissmeyer, Thurber, Rawlings, Richards, and Vance. Voting Nay: none. The motion passed.  
115

116 **Item 3** **Oakwood Homes of Utah requests Small Subdivision Approval for The**  
117 **Cottages at Valley Station Phase 1 located on 300 West between 1000**  
118 **South and 1300 South**  
119

120 **REQUEST**  
121

122 The petitioner is proposing a small scale subdivision consisting of 8 lots along an existing  
123 street, 300 West. These lots were considered in the density and open space calculations with  
124 the rest of the subdivision. Since these lots front along an existing street and the subdivision  
125 contains fewer than 10 lots, this plat can be considered for approval with the preliminary/final  
126 process.  
127  
128  
129

130 **DISCUSSION**

131  
132 The Planning Commission noted that discussion on this subdivision had taken place with Item  
133 4 The Cottages at Valley Station Phases 2 and 3 which the Planning Commission had  
134 discussed prior to Item 3. Please refer to discussion of Item 4.

135  
136 **MOTION OF APPROVAL**

137  
138 Commissioner Glissmeyer moved that we approve Oakwood Homes of Utah request for a  
139 Small (sub)division for the Cottages at Valley Station Phase 1 located on 300 West between  
140 1000 South and 1300 South and that it meets all the requirements of the City codes and the  
141 engineer. Commissioner Zane seconded the motion. Voting Aye: Commissioners Zane,  
142 Glissmeyer, Thurber, Rawlings, Richards, and Vance. Nay: none. The motion passed.

143  
144 **STAFF RECOMMENDATION / PLANNING AND ZONING**  
145 **APPLICABLE MUNICIPAL CODE**

146  
147 The proposed small scale subdivision application is consistent with Section 18.42.100 Mixed  
148 Use Residential Standards, Chapter 17.40 Improvements, Section 17.12.010, and the Valley  
149 Station Development Agreement; that that the setback area around the homes and proposed park,  
150 trail, and landscaped retention areas be utilized to meet the requirement for 30% open space; that  
151 given inflation and current moderate income levels, the developer's proposed price point of  
152 approximately \$250,000 suffices in meeting the intent of the development agreement for meeting  
153 Affordable Housing requirements; contingent upon a recorded development agreement between  
154 the developer and the City, applicable to future buyers of lots in the development that specifies:  
155 (same conditions as Cottages at Valley Station Preliminary Approval) :

- 156  
157 1. developer creating a home owners association to collect dues and maintain the private storm  
158 water retention areas;
- 159 2. developer shall install landscaping, irrigation, and park amenities for the park and storm water  
160 retention areas as shown on the Preliminary Plat;
- 161 3. developer shall install an asphalt trail along the irrigation easement from 600 West to 300 West in  
162 Parcel A, and install a landscaping surface acceptable to the City;
- 163 4. The City shall accept dedication of Parcel A following completion of the landscape and park and  
164 trail improvements;
- 165 5. developer shall install a 6 foot tall privacy fence along the rear of lots 223 through 235 and along  
166 lots 235, 236, and 248 (around the park), and place a note on the plat and in the agreement  
167 requiring that fence color, material and height remain consistent in perpetuity;
- 168 6. provide front yard setbacks for all structures located along the 600 West right of way at 30 feet  
169 minimum;
- 170 7. provide a planter strip at least 8 feet wide along 600 West;
- 171 8. provide that all planter strips in the development be planted with at least 1 tree for each home  
172 when landscaping is installed;
- 173 9. consistent with the MURCZ, homes are to be constructed "with a combination of stucco, hardy  
174 board, brick and/or stone as outlined in the design criteria, with the use of vinyl, aluminum, and  
175 steel siding along any public street facing building façade prohibited";
- 176 10. the existing sewer line in part be abandoned where it traverses under lots 238-242, 247, 206-208,  
177 305, 306, 317, and 318;

- 178 11. the existing sewer line located along lots 334-337 and 343 contain a dedicated easement that  
179 ensures the sewer line easement will be protected from encroachment (i.e. with a dedicated trail  
180 or other device);
- 181 12. each single family dwelling be at least eight hundred-fifty (850) square feet, exclusive of  
182 basements and garages. All two-story or multi-story single-family dwellings shall contain at  
183 least one thousand four hundred-fifty (1,450) square feet of living space, exclusive of basements  
184 and garages. Basements do not qualify as or for ground floor living area.
- 185 13. each lot is approved for and contains only one (1) single family home (no duplexes,  
186 condominiums, twin home, multi-family homes, or businesses, etc. are permitted), and no re-  
187 subdivision of any lot is permitted, excluding typical plat amendments to rectify property line  
188 issues;
- 189 14. additional soils testing shall be provided at lots 223-235 during peak water run-off season to  
190 determine if a sump pump in the basement shall be required to address the increased potential for  
191 high ground water entering the basement due to the proximity of seasonal waters in the adjoining  
192 flood channel;
- 193 15. all corner lots establish driveways to internal streets within the development and not from 600  
194 West, 1000 South and 300 West;
- 195 16. that lot 248 establish the driveway on the north side of the lot and lot 247 establish the driveway  
196 on the south side of the lot;
- 197 17. all garages shall be setback at least 30 feet from any public street, and other portions of residential  
198 buildings be setback at least 15 feet from any public street (except those located along 600 West);
- 199 18. each lot have a 10 foot minimum rear yard setback and five foot side yard setback;
- 200 19. setback/building pads shall be specified on the final plat for ease in administration of setbacks  
201 during construction;
- 202 20. accessory buildings such as sheds shall only be allowed in the rear yards of the homes ; and
- 203 21. concurrent with final subdivision application, developer submit the remainder of the required  
204 Environmental Impact Statement, including:
- 205 a. Control of erosion within the subdivided area;
- 206 b. Reseeding of cuts and fills
- 207 c. Prevention and control of fire and control of dust;
- 208 d. Prevention of the accumulation of weeds and debris; and
- 209 Prevention of the destruction of vegetation or else the establishing of new vegetation;
- 210

728 West 100 South, #2  
Heber, UT 84032  
www.horrocks.com



Heber Office  
Tel: 435.654.2226  
Fax: 435.657.1160

December 30, 2013

Heber City Corporation  
Attn: Bart Mumford P.E.  
75 North Main  
Heber City, Utah 84032

**Subject: Cottages at Valley Station Phase 1 – Final Review**

Dear Bart:

Horrocks Engineers recently reviewed the Cottages at Valley Station Phase 1 small subdivision plan located on 300 West 1300 South. The following items need to be addressed.

**General**

- The plat and plans need to be updated with all the December 20, 2013 redline comments sent via email including easement wording and detail requirements.

**Streets**

- The currently proposed plan shows 18 asphalt pavement road cuts in a 400 foot stretch of roadway. We recommended that 300 West be rotomilled, 1.5 inches deep, the entire width of the road along the frontage of the property. The asphalt patches would be left low prior to rotomill, and then the road milled and paved with 1.5 inch new asphalt pavement.

Please call our office with any questions or concerns regarding this project.

Sincerely,

HORROCKS ENGINEERS

  
Willa Motley, P.E.

cc: file  
Focus Engineering  
Oakwood Homes of Utah  
Heber Planning Department

H:\Heber City\Development Project\Cottages at Valley Station\Cottages at Valley Phase 1 Final.docx

212 **Item 4** **Public Hearing to consider Oakwood Homes of Utah request Subdivision**  
213 **Preliminary Approval of The Cottages at Valley Station Phases 2 and 3,**  
214 **single-family home subdivisions, located at 300 West and 1300 South**  
215

216 **REQUEST**  
217

218 The petitioner is requesting Preliminary Approval of the proposed Cottages at Valley Station,  
219 a 103 lot, Detached Single Family Home development in the Mixed Use Residential  
220 Commercial Zone. The Planning Commission approved the concept plan in Fall 2013 for 113  
221 Lots. The development area is 19.8 acres, with an overall density of 5.3 units per acre.  
222

223 **DISCUSSION**  
224

225 The Planning Commission discussed the following points:  
226

- 227 ➤ the staff report had been amended from the original which had required sump pumps and now  
228 the developer will test during peak season, if there is a problem then the developer will put in  
229 sump pumps;
  - 230 ➤ depth of porch areas; setbacks for garages and porches can come closer to the street, the  
231 developer could not offer porches if the setbacks were too restrictive;
  - 232 ➤ the staff report recommendation list is attempting to address the MURCZ Ordinance which  
233 was originally designed for an attached product; when this development is not an attached  
234 product;
  - 235 ➤ timing of phases, roto-milling of 300 West for utilities for Phase 1, sewer, engineering and  
236 WCWEP's comfort level with the canal, public trail and parks; if the bypass goes through the  
237 park will not be lost because they have pushed the park back so the intersection can fit;
  - 238 ➤ the developer will meet with staff regarding street trees;
  - 239 ➤ the Commission requested a black vinyl-coated chain link fence along the canal and the  
240 developer indicated he was willing to do this;
  - 241 ➤ attaching staff recommendations from Planning Staff and Horrocks Engineers as addendum  
242 and reference this in the motion to clarify the requirements that approval is contingent upon  
243 notwithstanding any issues and subsequent requirements that have been brought out during  
244 discussion that the motion might contain as well.
- 245

246 **PUBLIC HEARING COMMENTS**  
247

248 Chairman Rawlings opened the public hearing at 7:34 p.m.  
249

250 Jonathon Wagstaff, who resides off 1200 West , asked the developer if the homes they plan to  
251 build the same type of homes across the street on Industrial Parkway.  
252

253 There were no other comments from the public and Chairman Rawlings closed the public  
254 hearing.  
255

256 Mike Stewart answered that the intent is for the homes here to have three-car garages, these  
257 will be biggest houses.  
258  
259

260 **MOTION OF APPROVAL**

261  
262 Commissioner Zane moved that we recommend approval for Oakwood Homes of Utah’s  
263 request for Subdivision Preliminary Approval of The Cottages at Valley Station Phases 2 and  
264 3, single-family home subdivisions, located at 300 West and 1300 South contingent upon they  
265 meet all the requirements of Staff and City Engineer and the appropriate codes will be added  
266 also. And also they have a fence along the canal, two fences, one along the back of the lots  
267 and the other on the south side of the trail. Commissioner Glissmeyer seconded the motion.  
268 Voting Aye: Commissioners Zane, Glissmeyer, Thurber, Rawlings, Richards, and Vance.  
269 Nay: none. The motion passed. Karen Tozier asked Commissioner Zane for verification that  
270 he meant the Staff recommendations from Planning and Engineering when he referred to the  
271 appropriate codes. Commissioner Zane confirmed that this was what he meant and that he  
272 also was stating findings as appropriate code as stated extensively in the Planning Staff  
273 Report. The Planning and Engineering Staff recommendations are below:

274  
275 **STAFF RECOMMENDATION / PLANNING AND ZONING**

276  
277 The proposed preliminary application is consistent with Section 18.42.100 Mixed Use  
278 Residential Standards, Chapter 17.20.020 Preliminary Plans, Chapter 17.40 Improvements,  
279 Chapter 17.24 Street Design Standards, Chapter 17.28 Block Design Standards, Chapter 18.102  
280 Affordable Housing, and the Valley Station Development Agreement; that that the setback area  
281 around the homes and proposed park, trail, and landscaped retention/detention areas be utilized  
282 to meet the requirement for 30% open space; that the 8 foot wide planter strip along 600 West  
283 with accompanying trees, 30 foot setbacks for homes, and larger lot sizes along 600 West meets  
284 the intent of the berm specified in Section 18.42.100 and the intent of the Residential Transition  
285 portion of the MURCZ; that given inflation and current moderate income levels, the developer’s  
286 proposed price point of approximately \$250,000 suffices in meeting the intent of the  
287 development agreement for meeting Affordable Housing requirements; contingent upon a  
288 recorded development agreement between the developer and the City, applicable to future buyers  
289 of lots in the development that specifies:

- 290  
291 1. developer creating a home owners association to collect dues and maintain the private storm  
292 water retention areas;
- 293 2. developer shall install landscaping, irrigation, and park amenities for the park and storm water  
294 retention areas as shown on the Preliminary Plat;
- 295 3. developer shall install an asphalt trail along the irrigation easement from 600 West to 300 West in  
296 Parcel A, and install a landscaping surface acceptable to the City;
- 297 4. The City shall accept dedication of Parcel A following completion of the landscape and park and  
298 trail improvements;
- 299 5. developer shall install a 6 foot tall privacy fence along the rear of lots 223 through 235 and along  
300 lots 235, 236, and 248 (around the park), and place a note on the plat and in the agreement  
301 requiring that fence color, material and height remain consistent in perpetuity;
- 302 6. provide front yard setbacks for all structures located along the 600 West right of way at 30 feet  
303 minimum;
- 304 7. provide a planter strip at least 8 feet wide along 600 West;
- 305 8. provide that all planter strips in the development be planted with at least 1 tree for each home  
306 when landscaping is installed;

- 307  
308  
309  
310  
311  
312  
313  
314  
315  
316  
317  
318  
319  
320  
321  
322  
323  
324  
325  
326  
327  
328  
329  
330  
331  
332  
333  
334  
335  
336  
337  
338  
339  
340  
341  
342  
343  
344  
345  
346  
347
9. consistent with the MURCZ, homes are to be constructed “with a combination of stucco, hardy board, brick and/or stone as outlined in the design criteria, with the use of vinyl, aluminum, and steel siding along any public street facing building façade prohibited“;
  10. the existing sewer line in part be abandoned where it traverses under lots 238-242, 247, 206-208, 305, 306, 317, and 318;
  11. the existing sewer line located along lots 334-337 and 343 contain a dedicated easement that ensures the sewer line easement will be protected from encroachment (i.e. with a dedicated trail or other device);
  12. each single family dwelling be at least eight hundred-fifty (850) square feet, exclusive of basements and garages. All two-story or multi-story single-family dwellings shall contain at least one thousand four hundred-fifty (1,450) square feet of living space, exclusive of basements and garages. Basements do not qualify as or for ground floor living area.
  13. each lot is approved for and contains only one (1) single family home (no duplexes, condominiums, twin home, multi-family homes, or businesses, etc. are permitted), and no re-subdivision of any lot is permitted, excluding typical plat amendments to rectify property line issues;
  14. additional soils testing shall be provided at lots 223-235 during peak water run-off season to determine if a sump pump in the basement shall be required to address the increased potential for high ground water entering the basement due to the proximity of seasonal waters in the adjoining flood channel;
  15. all corner lots establish driveways to internal streets within the development and not from 600 West, 1000 South and 300 West;
  16. that lot 248 establish the driveway on the north side of the lot and lot 247 establish the driveway on the south side of the lot;
  17. all garages shall be setback at least 30 feet from any public street, and other portions of residential buildings be setback at least 15 feet from any public street (except those located along 600 West);
  18. each lot have a 10 foot minimum rear yard setback and five foot side yard setback;
  19. setback/building pads shall be specified on the final plat for ease in administration of setbacks during construction;
  20. accessory buildings such as sheds shall only be allowed in the rear yards of the homes ; and
  21. concurrent with final subdivision application, developer submit the remainder of the required Environmental Impact Statement, including:
    - a. Control of erosion within the subdivided area;
    - b. Reseeding of cuts and fills
    - c. Prevention and control of fire and control of dust;
    - d. Prevention of the accumulation of weeds and debris; and
    - e. Prevention of the destruction of vegetation or else the establishing of new vegetation;

728 West 100 South, #2  
Heber, UT 84032  
www.horrocks.com



Heber Office  
Tel: 435.654.2226  
Fax: 435.657.1160

December 30, 2013

Heber City Corporation  
Attn: Bart Mumford P.E.  
75 North Main  
Heber City, Utah 84032

**Subject: Cottages at Valley Station Phase 2 & 3 - Preliminary Review**

Dear Bart:

Horrocks Engineers recently reviewed the preliminary plans for the Cottages at Valley Station. The following items should be addressed.

**General**

- The plat should contain all pertinent information from previous discussions and emails for sewer, storm drain, irrigation, and trail easements.
- The December 24, 2013 red line comments should be incorporated.

**Streets**

- The original Valley Station traffic study was reviewed. All the traffic for this subdivision, with the exception of the numerous driveway accesses off of 300 West and Industrial Parkway, appears to be included in the original Valley Station traffic study.
- There is a question on the driveway proximity of for lot 248 and the 1300 South intersection. Horrocks is in the process of completing a simple traffic analysis for this intersection and it appears this lot will be ok. We will provide our final recommendations before the January 9<sup>th</sup> meeting.

**Sewer**

- It is recommended that the existing sewer mainline and 20 foot easement corridor that will remain off road be deeded to the HOA with an overlapping easement dedicated to Heber City. The corridor could then contain a paved 8 foot trail with gravel shoulders to allow for unobstructed access for sewer maintenance and/or replacement.
- The new sewer line in Industrial Parkway should be designed approximately 15-20 feet further west (at 1200 South) to allow for the water line installation and/or relocation.

**Storm Drain**

- The storm drain report for Valley Station was reviewed. The storm water from Industrial Parkway, after widening, is included in the report. The pond on 1000 South is sized to

*H:\Heber City\Development Project\Cottages at Valley Station\Cottages at Valley station Preliminary Review.docx*

---

handle this storm water. However, no other storm water for this subdivision was included in the Valley Station storm drain collection system.

**Water**

- The length of water line in Industrial Parkway, approximately 750 feet, that falls under the new curb & gutter should be relocated out from under the new curb.
- The water line connection on 1000 South at 530 West needs to be relocated to create a straight connection to 1000 South and eliminate the crossing under the curb & gutter.
- All of the recommended irrigation main line improvement made by Devin McKrola should be incorporated into the final plans.

Please call our office with any questions or concerns regarding this project.

Sincerely,

HORROCKS ENGINEERS

  
Willa Motley

cc: file  
Focus Engineering  
Oakwood Homes of Utah

H:\Heber City\Development Project\Cottages at Valley Station\Cottages at Valley station Preliminary Review.docx

351 **Item 5** **Blackstone Creek LLC requests Subdivision Final Approval for Stone**  
352 **Creek Subdivision Phase 1 Plat A, located at 550 North 1400 East**  
353

354 **REQUEST**  
355

356 The petitioner is proposing final approval for Phase 1 of Stone Creek, a 23 1/3 acre lot  
357 subdivision located in the PC Planned Community Zone at approximately 1300 East 600  
358 North. The entirety of Stone Creek consists of a Master Planned Community of 125 Lots. The  
359 development originally started receiving entitlements in 2006 and 2007, but due to the Eastern  
360 Bypass, Red Ledges, and community issues adjoining the proposed development, the  
361 development received Final Approval on June 5, 2008 by the City Council in a format  
362 different from the original Master Plan adopted in 2007. In June of 2008, the financing of the  
363 development failed, and the Final Approval expired on June 5, 2010.  
364

365 **DISCUSSION**  
366

367 The Planning Commission discussed the following points:  
368

- 369 ➤ access points to and from the subdivision phase the developer is requesting to use and what to  
370 do to rectify circulation;
- 371 ➤ the Red Ledges bypass, gating of the subdivision and private streets, what the homeowner's  
372 association will be responsible for, open space, whether there will be a clubhouse and  
373 gathering place, and landscaping;
- 374 ➤ engineering concerns were discussed at length. The following are some of the key points:
  - 375 ○ the Erickson agreement needs to be taken into consideration by the developer;
  - 376 ○ waterline does need to go in;
  - 377 ○ grading needs to be done so the developer can get the waterline in;
  - 378 ○ as part of the bypass road construction, the design for the irrigation line is needed as  
379 well as determination of who is responsible for construction;
  - 380 ○ revised plans needed for how proposed subdivision phase and its streets are tying in;
- 381 ➤ the developer is proposing non-gated roads except where coming in through Red Ledges, the  
382 homeowner's association will maintain its own private roads and open space;
- 383 ➤ can Mill Road facilitate the growth from this part of the valley?
- 384 ➤ what will ensure that Phase 1 is done? A bond with one year to complete improvements will  
385 ensure that Phase 1 is done;
- 386 ➤ the developer is proposing a Pedestrian bridge for access to and from the clubhouse through  
387 property that is landlocked due to the canal;
- 388 ➤ developer needs to come back with documents that constitute the homeowner's association,  
389 CCRs, etc., and these documents need to be recorded with the subdivision plat;
- 390 ➤ there was some confusion was to what constituted the new Phase 1;
- 391 ➤ the Commission asked that the minutes and development agreements be pulled from when the  
392 development was requested a number of years ago for review;
- 393 ➤ to take the Agreement with the Erickson family that and incorporate it into a development  
394 agreement between the City and Developer. Travis Wilcox now owns the property the  
395 Erickson's previously owned;
- 396 ➤ Rich Hansen of Blackstone Creek indicated they will be selling lots and that the price points  
397 they anticipate for homes would range in the high 3s to low 4s. They planned to bring in three  
398 builders and indicated they plan to do something similar to what Watts Enterprises has done.  
399 He also mentioned the agreement regarding the extension of the bypass road indicating that

400 nobody had talked to them about the infrastructure. He thought that agreements had been  
401 violated. It was his opinion that it was Red Ledges' obligation to get the bypass built.  
402

### 403 **COMMENTS FROM THE PUBLIC**

404  
405 Travis Wilcox, now owns the home that was previously owned by the Erickson family. Mr.  
406 Wilcox's home is situated on the corner where the proposed bypass is slated to come through  
407 and connect with Mill Road. He indicated that an agreement was made for landscaping with  
408 the previous homeowner. He requested that this be renewed with him and that this be upheld.  
409 He also asked if anything would be done in Phase 1 to clean up the berm that had been left.  
410 Paul Berg indicated that this would be lots when the road was built and this would be cleaned  
411 up at that time.  
412

413 Daniel Mauer, who lives at the end of 1300 East on the west side of street had a number of  
414 questions and concerns. He asked questions as to why the proposed subdivision had not been  
415 developed and then expressed concern over the roads. His main points were because these  
416 were private roads the road width, curb, gutter, and sidewalk profiles would not match those  
417 of the public streets. The street proposed for Stone Creek would not match the street he lived  
418 on, 1300 East, and would tie in. As originally proposed Stone Creek was to be a private-gated  
419 community and this street connection was only to be a one-way break-away gate used as  
420 egress from Stone Creek for emergency purposes. The Developer is now proposing that there  
421 be no gate at this point and that the streets connect. Daniel Mauer stated this is a concern to  
422 the owners on 1300 East, there are 24 adults and 34 children who live on this street. Mr.  
423 Mauer would like to see them widen the road and connect properly. Mr. Mauer also  
424 expressed concerned with Stone Creek's homeowner's association failing and the City having  
425 to take care of the streets. He thought they should wait until the bypass is put in as originally  
426 proposed.  
427

428 Mike Folkland who lives at the end of 1300 East on the east side of street indicated that years  
429 ago trees and fencing had been discussed and that he wanted to bring this up.  
430

431 Eric Straddeck lives on 1300 East. He noted that the majority of concerns that Dan Mauer  
432 brought up have come full circle. He discussed Stone Creek's amenities and indicated that the  
433 pool, its size, and the number of people it would hold was a concern for the existing  
434 neighbors. He noted traffic would funnel through 1300 East if not gated and is an open road  
435 and commented that 1300 East is a concentrated area with lots of kids.  
436

437 Paul Berg indicated this would be an SOS (Siren Operated Sensor) gate and that they have no  
438 renderings yet.  
439

440 Todd Cates addressed comments on the bypass. He recounted history of the projects and  
441 indicated that traffic is not there and at some point in time in the future this would make sense.  
442 He explained this is a road to nowhere until the road goes out to Highway 40 through the  
443 Bassett property.  
444

445 Paul Berg suggested that they dust off agreements and go back and put this all together and  
446 present it again.

447

448 **MOTION OF APPROVAL**

449

450 Commissioner Zane motioned to continue the Blackstone Creek request for Subdivision Final  
451 Approval and bring it back. Commissioner Richards seconded the motion. Voting Aye:  
452 Commissioners Zane, Glissmeyer, Thurber, Rawlings, Richards, and Vance. Nay: none. The  
453 motion passed.

454

455 **Item 6** **Amanda Wright requests Small Subdivision Approval for property**  
456 **located at 77 West 400 North**

457

458 **REQUEST**

459

460 The petitioner is proposing to split the property located on the southeast corner of 400 North  
461 and 100 West. Sidewalk, curb and gutter do not exist along the frontage of the property or in  
462 the neighborhood vicinity. The property is located within the R-3 Residential Zone, and each  
463 of the proposed lots meets the size and area requirements of the R-3 Residential Zone (65 feet  
464 minimum width and 6,500 square feet minimum area). A fire hydrant exists on the southwest  
465 corner of the intersection within 250 feet of the property lines of the subdivision. An existing  
466 8 inch water line exists along 400 North and an 8 inch sewer line exists along 100 West. A  
467 shed is located on the new property line and will need to be moved or removed to comply  
468 with accessory building setbacks of the R-3 Zone. The ditch along 400 North needs to be  
469 maintained to pass ditch water and storm water.

470

471 **DISCUSSION**

472

473 The Planning Commission discussed the following points:

474

- 475 ➤ the Commission verified that there was no sidewalk; there was no sidewalk between Main  
476 Street at 100 West; sidewalk is to be deed restricted.

477

478 **MOTION OF APPROVAL**

479

480 Commissioner Zane moved that we recommend approval for Amanda Wright's request for  
481 Small Subdivision Approval for property located at 77 West 400 North contingent upon they  
482 meet all the requirements of the staff and city engineer. Commissioner Vance seconded the  
483 motion. Voting Aye: Commissioners Zane, Glissmeyer, Thurber, Rawlings, Richards, and  
484 Vance. Nay: none. The motion passed.

485

486 **STAFF RECOMMENDATION / PLANNING AND ZONING**

487

488 Motion to approve the proposed subdivision as consistent with the applicable codes, Section  
489 18.60 R-3 Residential Zone, and Chapter 17 Subdivisions, contingent upon: a deed restriction  
490 being recorded for future curb, gutter, sidewalk, and asphalt improvements along the frontage  
491 of 100 West and 400 North, water rights being turned over to the City in an amount  
492 determined by the City Engineer, water and sewer laterals being constructed along 400 North

493 and 100 West, the existing shed being moved or removed to comply with the R-3 Zone  
494 Setbacks; and the final plat showing the address of the new lot.

495

496 **Item 7**            **Discussion about C-3 Design Criteria and Downtown Parking**

497

498 **INTRODUCTION**

499

500 **BUILDING HEIGHT**

501

502 The C-3 Design Criteria limits building height to an apparent two stories and maximum three  
503 stories as shown in Section 306 of the Design Criteria. The C-2 Commercial Zone has a  
504 similar height requirement. Typically buildings get taller in a downtown area of a community  
505 than that in outlying highway oriented commercial zones. The purpose of this discussion is to  
506 see if a taller building height limit might be more appropriate in the City's C-3 Downtown  
507 Zone

508

509 **PARKING**

510

511 To assist in redeveloping the downtown, the City might consider offering an incentive to  
512 developers for construction of angled parking when it results in a significant increase to  
513 available on street parking and when it doesn't decrease the amount of available off-street  
514 parking stalls. The City's Parking Ordinance requires three parking stalls per 1,000 square feet  
515 of floor area in the C-3 Downtown Zone. These requirements require the parking to be off-  
516 street and give no consideration for newly constructed on-street parking.

517

518 One possibility is to count the net increase of newly constructed angled on-street parking  
519 spaces as counting towards the requirements for off-street parking spaces. As an example, see  
520 Figure 1 below. The property has approximately 200 feet of street frontage, with most of the  
521 existing street frontage used as a driveway. Since most of the frontage is used as a driveway,  
522 there are only about two actual usable parallel parking spaces in the right of way. If the  
523 driveway is reconfigured and curbed angled parking is installed, nine angled parking stalls can  
524 be placed in the right of way. With nine new parking stalls, and two existing parking stalls,  
525 the property would be given credit for creating seven parking stalls. In figure 2, four (4)  
526 existing parallel parking stalls could be replaced with eight angled parking stalls if one  
527 driveway were closed on the property, resulting in a credit to the property for creating four net  
528 new on-street parking stalls.

529

530 **DISCUSSION**

531

532 The Planning Commission discussed the following points:

533

- 534        ➤ whether it would be advantageous to designate one side of the street for angled parking but not  
535        both sides because the street can get very narrow with angled parking on both sides;
- 536        ➤ the Commission liked the idea of mixed use / residential with residential units above the  
537        commercial component; they were undecided as to whether they liked the idea of residential  
538        units to the side of the commercial units;
- 539        ➤ mixed use is important to obtain a vibrant downtown;

- 540       ➤ a divider should be between residential and commercial portions;  
541       ➤ access by back alley for narrow lots.

542

543 The Commission indicated they would entertain looking at a proposal for the parking  
544 amendment.

545

546 **Item 8           Election of Planning Commission Chair and Vice-Chair**

547

548 The bylaws do not delineate how a vote is taken. A decision to vote by raise of hands and  
549 vocally stating aye or nay was made.

550

551 Commissioner Zane recommended that Chairman Rawlings be chairman again.  
552 Commissioner Richards seconded the motion. Chairman Rawlings indicated his term ends  
553 January 1, 2015 and so if he is not reappointed there will need to be a new election of  
554 Chairman in a year. Voting Aye: Commissioners Zane, Glissmeyer, Thurber, Rawlings,  
555 Richards, and Vance. Nay: none. The motion passed.

556

557 Commissioner Thurber nominated Commissioner Glissmeyer as Vice-Chairman.  
558 Commissioner Vance seconded the motion. Voting Aye: Commissioners Zane, Glissmeyer,  
559 Thurber, Rawlings, Richards, and Vance. Nay: none. The motion passed.

560

561 **Item 9           Adoption of the 2014 Annual Planning Commission Meeting Schedule and**  
562 **Work Plan**

563

564 Commissioner Glissmeyer moved that we accept the 2014 Heber City Planning Commission  
565 meeting dates and submittal deadlines (with meetings) at 6:00 p.m. Commissioner Zane  
566 seconded the motion. Voting Aye: Commissioners Zane, Glissmeyer, Thurber, Rawlings,  
567 Richards, and Vance. Nay: none. The motion passed.

568

569 **Administrative Items:**

570

571 Discussion on limiting the number of agenda items and having a second meeting in months  
572 there are numerous applications was discussed. The Commission's preference was to  
573 schedule second meetings on fourth Thursdays.

574

575 Commissioner Glissmeyer requested redlines to documents where there are amendments.

576

577 On Saturday, January 25<sup>th</sup> a joint work session with the City Council was a possibility.

578

579 Commissioner Glissmeyer motioned to adjourn the meeting. Commissioner Richards  
580 seconded the motion. Voting Aye: Commissioners Zane, Glissmeyer, Thurber, Rawlings,  
581 Richards, and Vance. Nay: none. The motion passed. The meeting adjourned at 9:57 p.m.

## HEBER CITY PLANNING COMMISSION

Meeting date: February 13, 2014

Report by Anthony L. Kohler

### **Re: Labrum Shop & Showroom Addition**

The petitioner is requesting approval of a new 2,800 square foot Ford Showroom and 13,099 square foot Ford Service Department addition at 901 South Main Street to the existing 12,500 square foot showroom and shop. The property is located within the C-2 Commercial Zone and contains an existing Chevrolet dealership. The proposed buildings will allow Labrum to combine their 2 dealerships, Chevrolet and Ford, into one location on the east side of Main Street.

The petitioner has acquired a lease from UCCU for the driveway entrance into UCCU, upon which a Ford sign is proposed. It is impossible to meet Section 103 of the Design Criteria, Building Setback, as the petitioner does not own the property in front of the building, and must allow the driveway access to remain for UCCU. Parking is adequate for the facilities, with an expansion area in the rear of the building.

### **RECOMMENDATION**

The proposed site plan is consistent with the C-2 Commercial Zone, the C-2 & C-4 Design Criteria, and Title 17 Subdivisions; the proposed elevations of the Ford Showroom are not consistent with Section 312 "Building Materials", requiring (1) a minimum of 30% of the vertical wall surface of the first floor must include some form of masonry material such as brick, or stone with an indigenous look to the area, and (2) large panelized products or extensive featureless surfaces such as stucco, aluminum and metal panels shall be avoided. Section 111 of the Design Criteria requires all buildings larger than 15,000 square feet to enter into a vacancy, development and maintenance agreement between the property/building owner and the city.

February 5, 2014

Heber City Corporation  
Attn: Bart Mumford P.E.  
75 North Main  
Heber City, Utah 84032

**Subject: Labrum Ford – Commercial Concept Review**

Dear Bart:

Horrocks Engineers recently reviewed the concept plans for the Labrum Ford commercial project located at 901 South Main Street. The following items need to be addressed with approval.

**General**

- Relocating the overhead power to underground power should be discussed.
- Should the street lights along the Main Street frontage be replaced to the current Heber City Standards?
- A plan showing the parcels needs to be submitted showing the proposed development and where they are with respect to the existing parcels. Does the property need a lot line adjustment?

**Site Plan**

- The site plan needs to be updated to include all existing utilities and proposed services.
- Any broken sidewalk along the Main Street frontage needs to be replaced with this project.
- There is an existing street light in the sidewalk adjacent to the southern entrance. The sidewalk transitions from a combination sidewalk to park strip right where the street light is in the sidewalk. This causes a narrow spot in the sidewalk. Should this situation be remedied with this project?
- A storm drain plan needs to be submitted showing the storm drainage being retained on site.
- The existing irrigation ditch/storm drain line that runs through the property will need to be relocated. The relocation plan should be shown on the site plan.
- The existing grease trap on the sewer lateral needs to be verified.

Please call our office with any questions or concerns regarding this project.

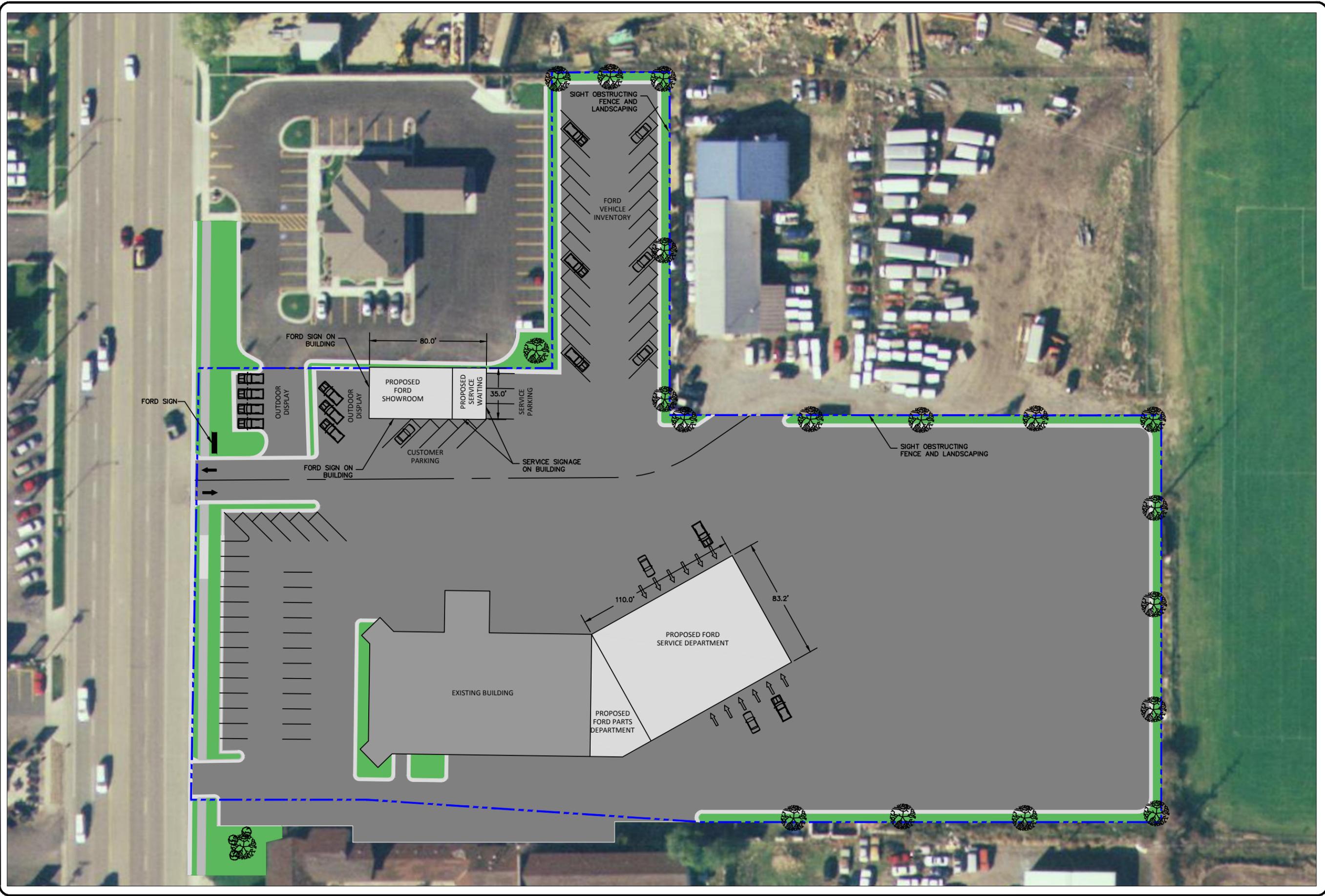
Sincerely,

HORROCKS ENGINEERS



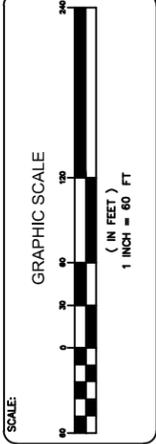
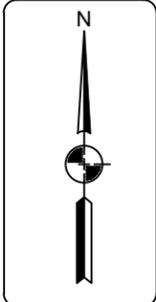
Willa Motley, P.E.

cc: file  
Summit Engineers  
Heber Planning Department



**Summit Engineering Group Inc.**  
 Structural • Civil • Surveying  
 55 WEST CENTER P.O. BOX 176  
 P.O. BOX 176  
 P: 435-854-9229 • F: 435-854-9231

REGISTERED PROFESSIONAL ENGINEER  
 SUMMIT ENGINEERING GROUP, INC.  
 LICENSE NO. 100000000  
 U.S.A. MEMBER OF THE FORD GROUP OF COMPANIES  
 FORD MOTOR COMPANY IS THE REGISTERED TRADEMARK OF FORD MOTOR COMPANY. ALL OTHER TRADEMARKS AND SERVICE MARKS ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS. THIS PLAN IS THE PROPERTY OF SUMMIT ENGINEERING GROUP, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SUMMIT ENGINEERING GROUP, INC.

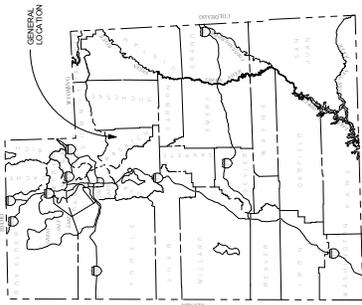


PROJECT: LABRUM FORD  
 SHEET TITLE: SITE PLAN



# LABRUM FORD

NEW SHOWROOM  
900 S. MAIN - HEBER CITY UTAH



## PROJECT VICINITY MAP

NTS



## CODE ANALYSIS:

APPLICABLE CODES:  
INTERNATIONAL BUILDING CODE - 2009  
INTERNATIONAL ELECTRICAL CODE - 2011  
INTERNATIONAL MECHANICAL CODE - 2010  
INTERNATIONAL FUEL AND GAS - 2009  
OCCUPANCY CLASSIFICATION B  
OFFICES, VEHICLE SHOWROOM

CONSTRUCTION TYPE 2B  
MAX. HEIGHT - 30 FT. OR 3 STORIES  
BASIC ALLOWABLE FLOOR AREA, 17,200 SF PER STORY  
TOTAL ALLOWABLE FLOOR AREA, 51,600 SF  
TOTAL ALLOWABLE AREA INCLUDING INCREASE, NOT TAKEN  
ACTUAL BUILDING HEIGHT: 30 FT. OCCUPANCY - 3072 SQ FT.

FIRE SPRINKLERS: NOT REQUIRED  
FIRE ALARMS: NOT REQUIRED  
EGRESS WIDTHS: NOT REQUIRED  
PROTECTED OPENINGS AT EXTERIOR WALL REQUIRED: NO, BASED ON SEPARATION TO ADJACENT BUILDINGS  
DRAFT STOP: NO  
OCCUPANT LOAD: 31  
EGRESS WIDTH REQUIRED: 7'  
EGRESS DOORS REQUIRED: 2  
EGRESS DOORS PROVIDED: 3



## DESIGN CRITERIA:

Governing Code: 2009 IBC/ICC  
Occupancy Category: I  
Importance Factor: 1  
Soil Properties:  
Soil Class: B  
Soil Bearing Pressure: 1500 psf

Seismic Design:  
S1: 0.1668  
S2: 0.200  
S3: 0.230  
Seismic Design Category: D 3.5

Wind Design:  
Basic Wind Speed: 90 mph  
Exposure: B

Loading:  
Roof Snow Load: 95 psf  
Roof Live Load: 40 psf  
Roof Dead Load: 15 psf  
Floor Live Load: 45 psf  
Floor Dead Load: 15 psf





CONSTRUCTION NOTES

DATE  
APRIL 2013



PROJECT #  
13SMR615

DESIGNER: CRC  
CHECKED: A.H.  
PROJECT #  
13SMR615

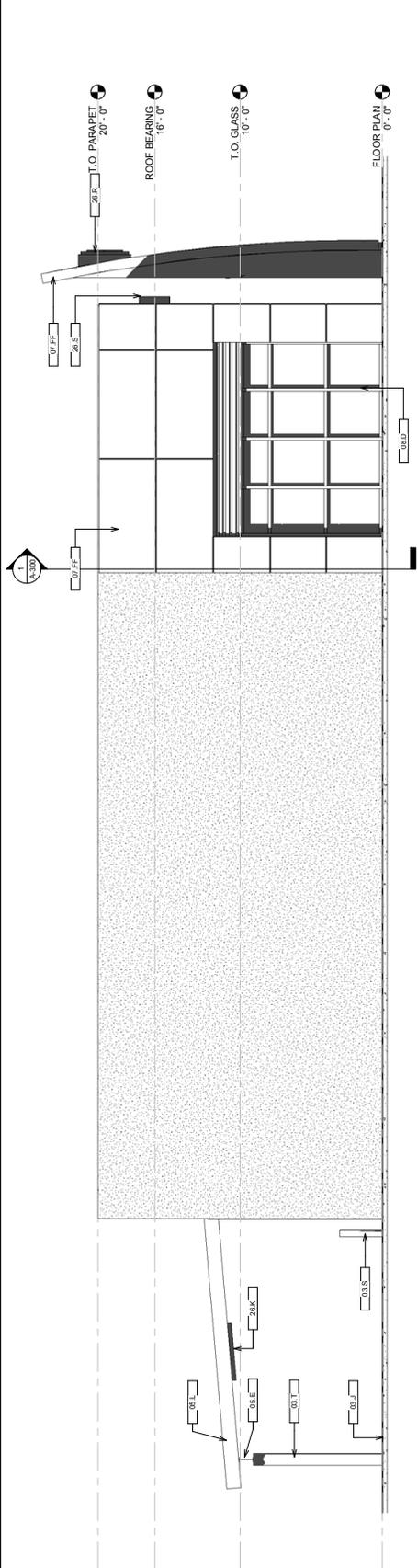
SCALE  
1/4" = 1'-0"

PROJECT NAME  
LABRUM FORD

PROJECT LOCATION  
900 S. MAIN  
HEBER CITY

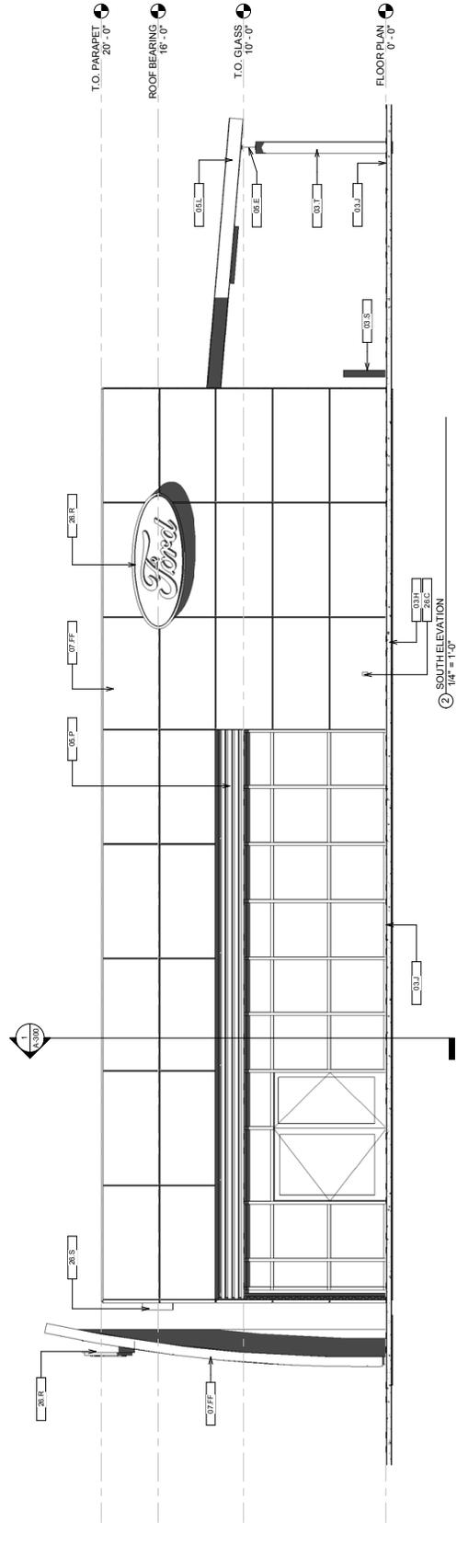
SHEET TITLE  
ELEVATIONS

PLAN SET  
REVIEW  
A-101



1 NORTH ELEVATION  
1/4" = 1'-0"

NUMBER	KEYNOTES	DESCRIPTION
03.1		STANDARD CONCRETE CURB IN PLACE WITH 2" SLUG
03.2		CONCRETE REINFORCING
03.3		CONCRETE FIBER FIBER BOLLARD
03.4		STEEL W/ALUMINUM FINISH
03.5		STEEL W/ALUMINUM FINISH
03.6		METAL FINISHED & SHIMMED ROOF STRUCTURE
03.7		ALUMINUM FINISH
03.8		ALUMINUM FINISH
03.9		ALUMINUM FINISH
03.10		ALUMINUM FINISH
03.11		ALUMINUM FINISH
03.12		ALUMINUM FINISH
03.13		ALUMINUM FINISH
03.14		ALUMINUM FINISH
03.15		ALUMINUM FINISH
03.16		ALUMINUM FINISH
03.17		ALUMINUM FINISH
03.18		ALUMINUM FINISH
03.19		ALUMINUM FINISH
03.20		ALUMINUM FINISH
03.21		ALUMINUM FINISH
03.22		ALUMINUM FINISH
03.23		ALUMINUM FINISH
03.24		ALUMINUM FINISH
03.25		ALUMINUM FINISH
03.26		ALUMINUM FINISH
03.27		ALUMINUM FINISH
03.28		ALUMINUM FINISH
03.29		ALUMINUM FINISH
03.30		ALUMINUM FINISH



2 SOUTH ELEVATION  
1/4" = 1'-0"



CONSTRUCTION NOTES

DATE  
SEPTEMBER 2013



REVISIONS  
DATE DESCRIPTION  
1 10/1/13 10/1/13  
2 10/1/13 10/1/13  
3 10/1/13 10/1/13  
4 10/1/13 10/1/13  
5 10/1/13 10/1/13  
6 10/1/13 10/1/13  
7 10/1/13 10/1/13  
8 10/1/13 10/1/13  
9 10/1/13 10/1/13  
10 10/1/13 10/1/13  
11 10/1/13 10/1/13  
12 10/1/13 10/1/13  
13 10/1/13 10/1/13  
14 10/1/13 10/1/13  
15 10/1/13 10/1/13  
16 10/1/13 10/1/13  
17 10/1/13 10/1/13  
18 10/1/13 10/1/13  
19 10/1/13 10/1/13  
20 10/1/13 10/1/13  
21 10/1/13 10/1/13  
22 10/1/13 10/1/13  
23 10/1/13 10/1/13  
24 10/1/13 10/1/13  
25 10/1/13 10/1/13  
26 10/1/13 10/1/13  
27 10/1/13 10/1/13  
28 10/1/13 10/1/13  
29 10/1/13 10/1/13  
30 10/1/13 10/1/13  
31 10/1/13 10/1/13  
32 10/1/13 10/1/13  
33 10/1/13 10/1/13  
34 10/1/13 10/1/13  
35 10/1/13 10/1/13  
36 10/1/13 10/1/13  
37 10/1/13 10/1/13  
38 10/1/13 10/1/13  
39 10/1/13 10/1/13  
40 10/1/13 10/1/13  
41 10/1/13 10/1/13  
42 10/1/13 10/1/13  
43 10/1/13 10/1/13  
44 10/1/13 10/1/13  
45 10/1/13 10/1/13  
46 10/1/13 10/1/13  
47 10/1/13 10/1/13  
48 10/1/13 10/1/13  
49 10/1/13 10/1/13  
50 10/1/13 10/1/13  
51 10/1/13 10/1/13  
52 10/1/13 10/1/13  
53 10/1/13 10/1/13  
54 10/1/13 10/1/13  
55 10/1/13 10/1/13  
56 10/1/13 10/1/13  
57 10/1/13 10/1/13  
58 10/1/13 10/1/13  
59 10/1/13 10/1/13  
60 10/1/13 10/1/13  
61 10/1/13 10/1/13  
62 10/1/13 10/1/13  
63 10/1/13 10/1/13  
64 10/1/13 10/1/13  
65 10/1/13 10/1/13  
66 10/1/13 10/1/13  
67 10/1/13 10/1/13  
68 10/1/13 10/1/13  
69 10/1/13 10/1/13  
70 10/1/13 10/1/13  
71 10/1/13 10/1/13  
72 10/1/13 10/1/13  
73 10/1/13 10/1/13  
74 10/1/13 10/1/13  
75 10/1/13 10/1/13  
76 10/1/13 10/1/13  
77 10/1/13 10/1/13  
78 10/1/13 10/1/13  
79 10/1/13 10/1/13  
80 10/1/13 10/1/13  
81 10/1/13 10/1/13  
82 10/1/13 10/1/13  
83 10/1/13 10/1/13  
84 10/1/13 10/1/13  
85 10/1/13 10/1/13  
86 10/1/13 10/1/13  
87 10/1/13 10/1/13  
88 10/1/13 10/1/13  
89 10/1/13 10/1/13  
90 10/1/13 10/1/13  
91 10/1/13 10/1/13  
92 10/1/13 10/1/13  
93 10/1/13 10/1/13  
94 10/1/13 10/1/13  
95 10/1/13 10/1/13  
96 10/1/13 10/1/13  
97 10/1/13 10/1/13  
98 10/1/13 10/1/13  
99 10/1/13 10/1/13  
100 10/1/13 10/1/13

SCALE: 3/16" = 1'-0"

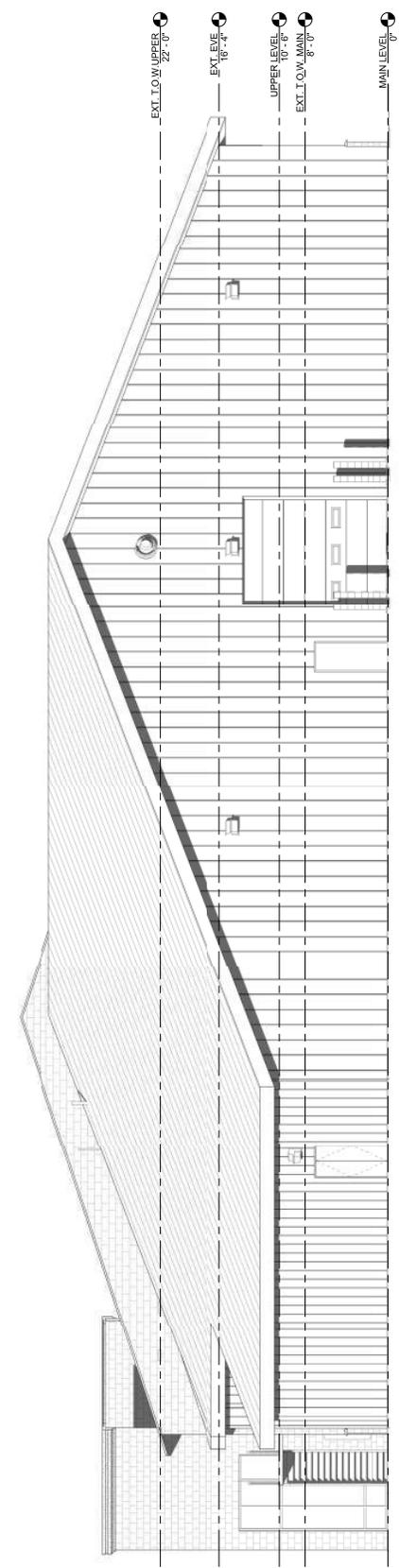
PROJECT NAME:  
LABRUM FORD &  
CHEVROLET

PROJECT LOCATION:  
HEBER CITY UT

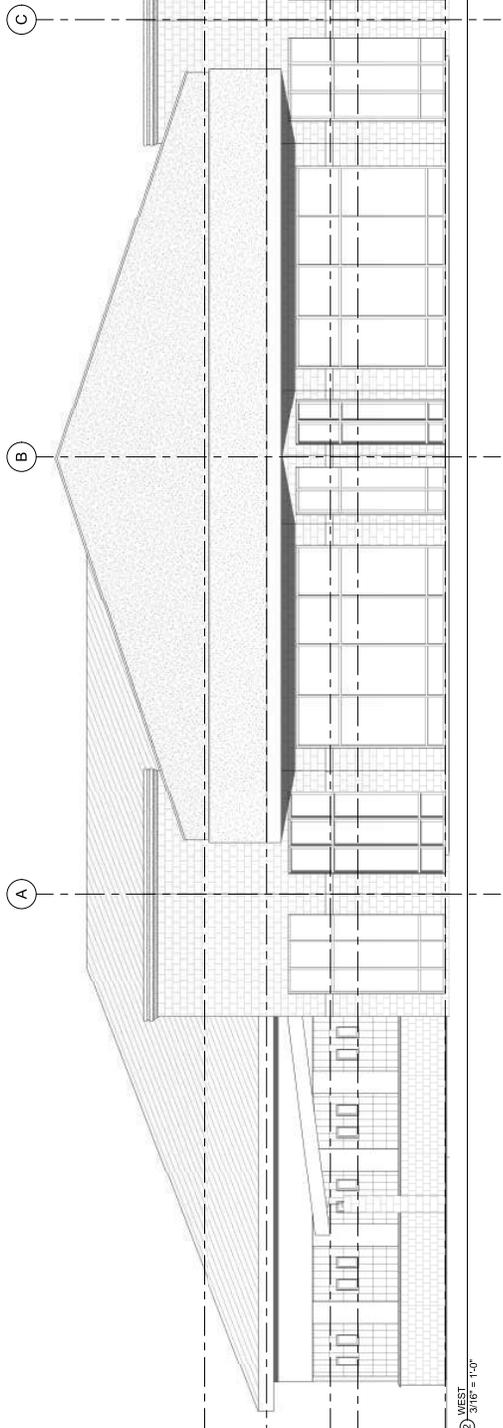
SHEET TITLE:  
ELEVATIONS

PLAN SET:  
BID SET

SHEET  
A-100



① EAST  
3/16" = 1'-0"



② WEST  
3/16" = 1'-0"

CONSTRUCTION NOTES

DATE  
SEPTEMBER 2013



REVISIONS

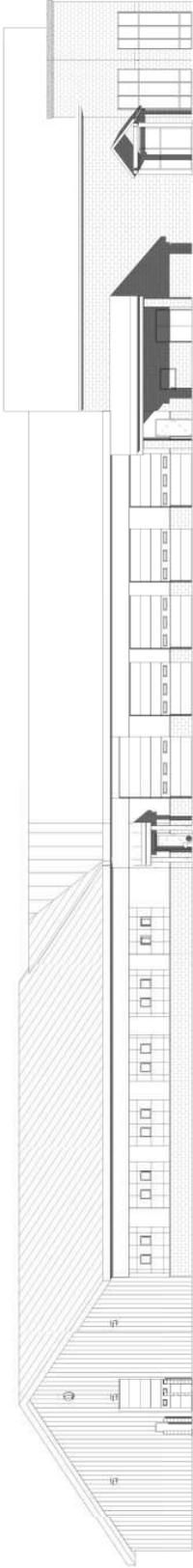
DESIGNER: CDR  
DRAWN BY: CDR  
REVIEWED: AJH  
PROJECT #  
00-00-000

SCALE:  
3/32" = 1'-0"

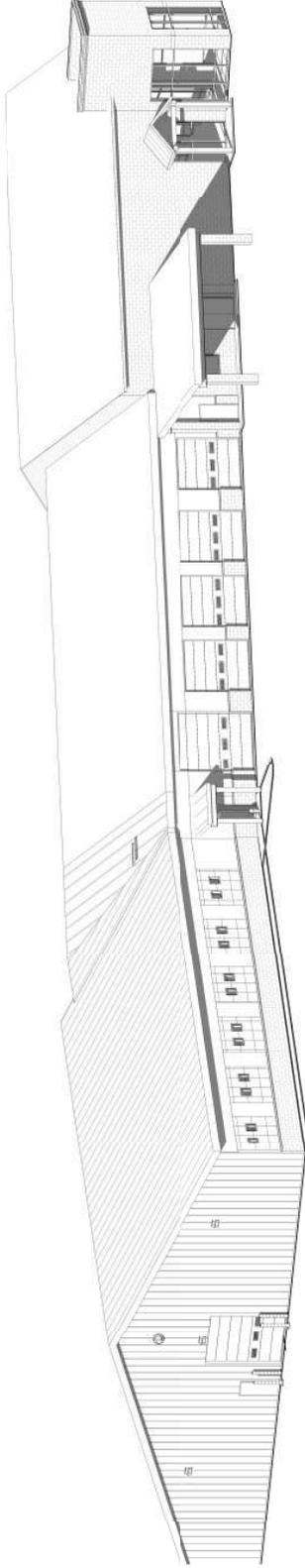
PROJECT NAME:  
LABRUM FORD &  
CHEVROLET  
PROJECT LOCATION:  
HEBER CITY UT

SHEET TITLE:  
ELEVATIONS

PLAN SET:  
BID SET  
SHEET  
A-101



② NORTH  
3/32" = 1'-0"



③ NORTH 3D  
3/32" = 1'-0"



① SOUTH  
3/32" = 1'-0"

CONSTRUCTION NOTES

DATE  
SEPTEMBER 2013



REVISIONS

DESIGNER	CRS
DRAWN	CRS
CHECKED	CRS
REVIEWED	APL
PROJECT #	00-00-000

SCALE  
1/8" = 1'-0"

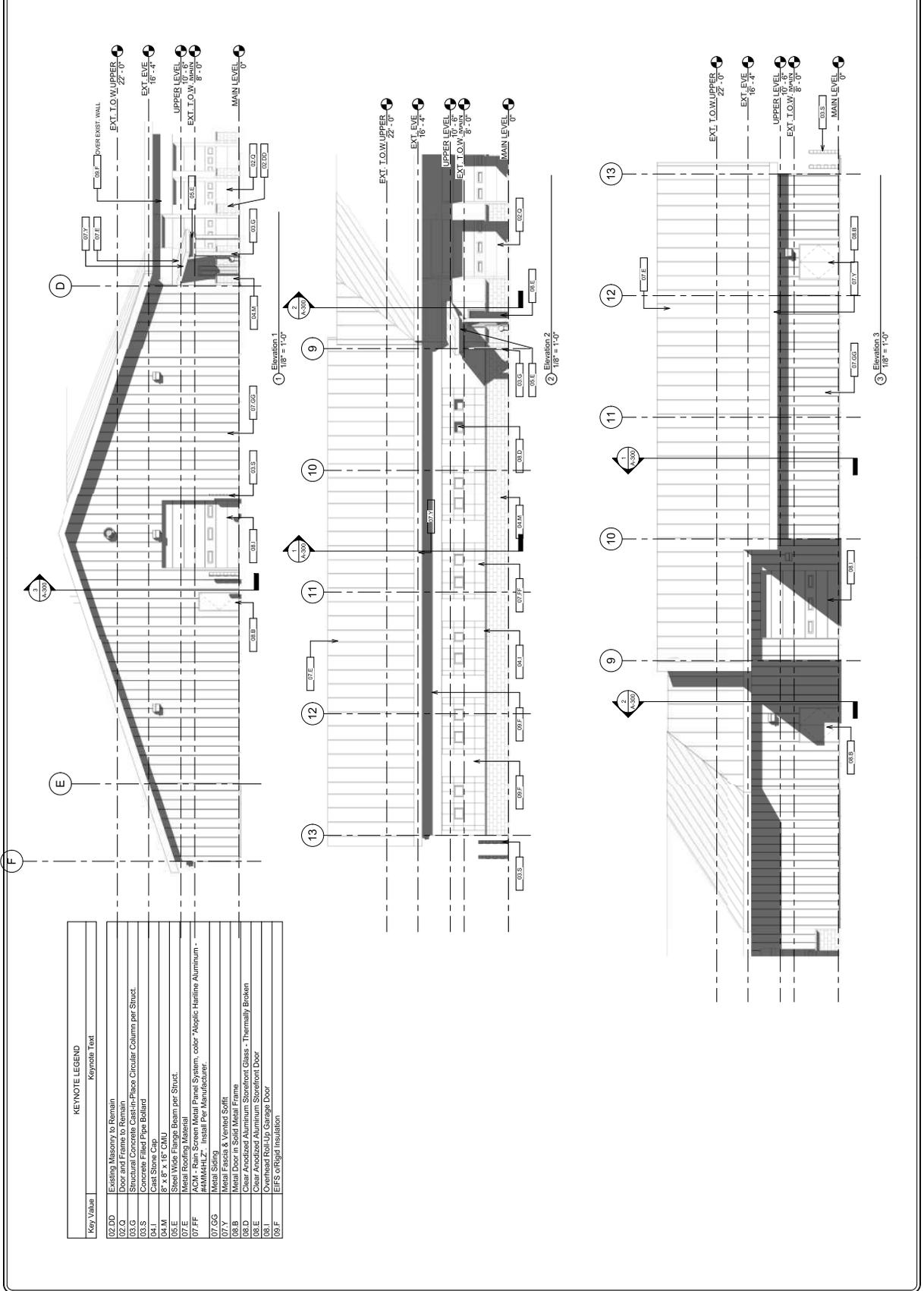
PROJECT NAME  
LABRUM FORD & CHEVROLET

PROJECT LOCATION  
HEBER CITY UT

SHEET TITLE  
ELEVATIONS

PLAN SET  
BID SET

SHEET  
A-102



KEYNOTE LEGEND	
Key Value	Keystroke Text
02.DD	Excavate, Masonry to Remain
03.O	Door and Frame to Remain
03.G	Structural Concrete Cast-in-Place Circular Column per Struct.
03.S	Concrete Filled Pipe Bolt
04.I	Cast Stone Cap
04.M	8" x 8" x 16" CMU
05.E	Steel Wide Flange Beam per Struct.
05.F	Steel Wide Flange Beam per Struct.
07.FF	ACM - Rein. Steel Metal Panel System, color "Aspique Hailline Aluminum"
07.GG	Metal Siding
07.Y	Metal Fascia & Vented Soffit
08.B	Metal Door in Solid Metal Frame
08.D	Clear Anodized Aluminum Storefront Glass - Thermally Broken
08.L	Overhead Roll-Up Garage Door
08.I	Overhead Roll-Up Garage Door
09.F	EFS or Rigid Insulation

CONSTRUCTION NOTES

DATE  
SEPTEMBER 2013



REVISION / DESCRIPTION

DESIGNER: CDR  
 CHECKER: CDR  
 REVIEWED: APL  
 PROJECT #  
 00-00-000

SCALE:  
3/32" = 1'-0"

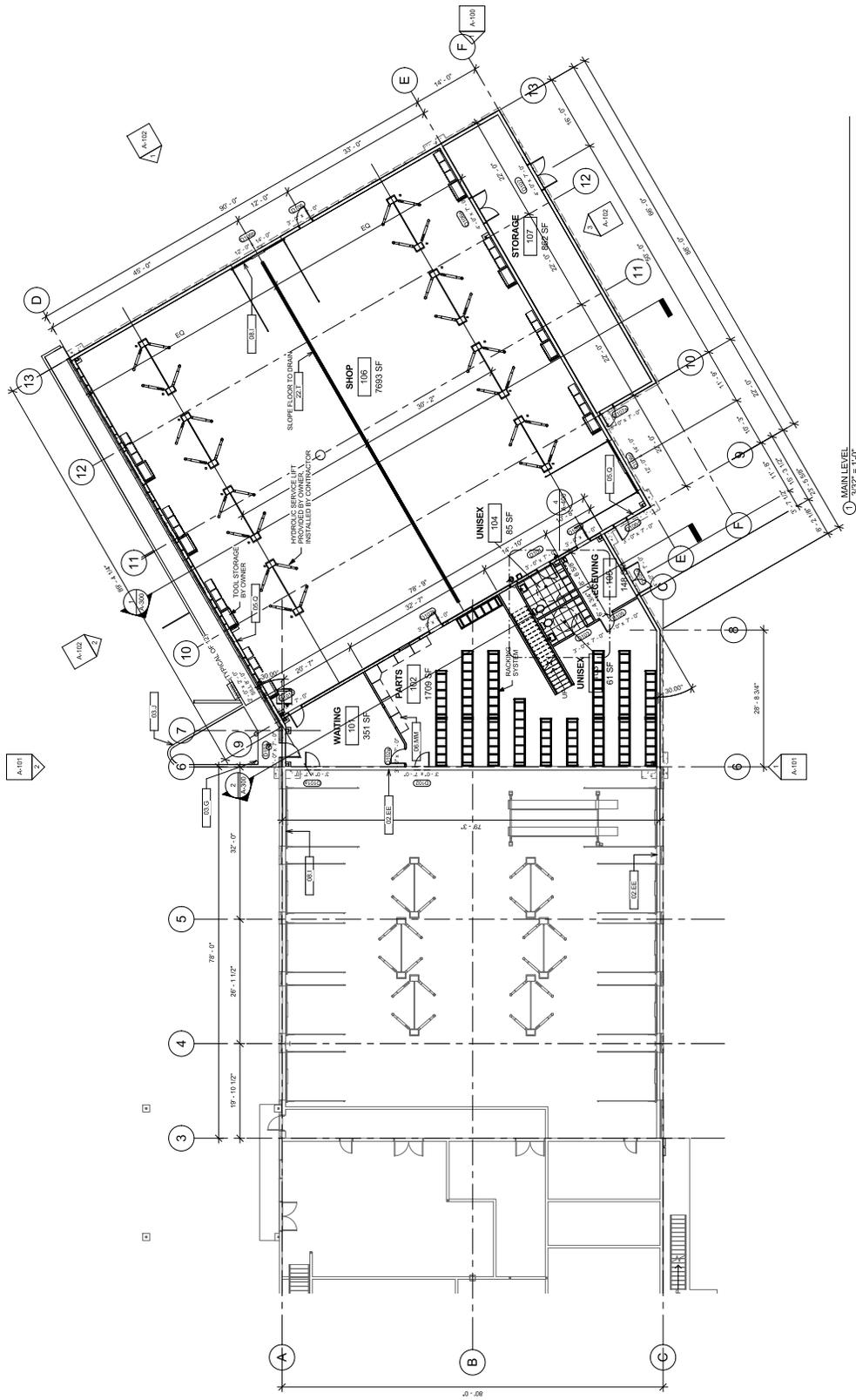
PROJECT NAME:  
LABRUM FORD &  
CHEVROLET

PROJECT LOCATION:  
HEBER CITY UT

SHEET TITLE:  
MAIN LEVEL

PLAN SET:  
BID SET  
SHEET  
A-201

Key Value	Keynote Text
02.EE	Existing to Remain
03.G	Structural Concrete Cast-in-Place Circular Column per Struct.
03.J	Concrete Floorwork
03.K	Rebar Fabricated Building Component per Manufacturer
05.CM	Cast-in-Place Concrete
08.I	Overhead Roll-Up Garage Door
22.T	Floor Trench Drain



① MAIN LEVEL  
3/32" = 1'-0"

CONSTRUCTION NOTES

DATE: SEPTEMBER 2013



REVISION: 01

DESIGNER: EPIC  
 CHECKED: EPH  
 REVIEWED: AJH  
 PROJECT #: 00-00-000

SCALE: 3/32" = 1'-0"

PROJECT NAME:  
**LABRUM FORD & CHEVROLET**

PROJECT LOCATION:  
 HEBER CITY UT

SHEET TITLE:  
 UPPER LEVEL

PLAN SET:  
 BID SET

SHEET:  
**A-202**

KEYNOTE LEGEND

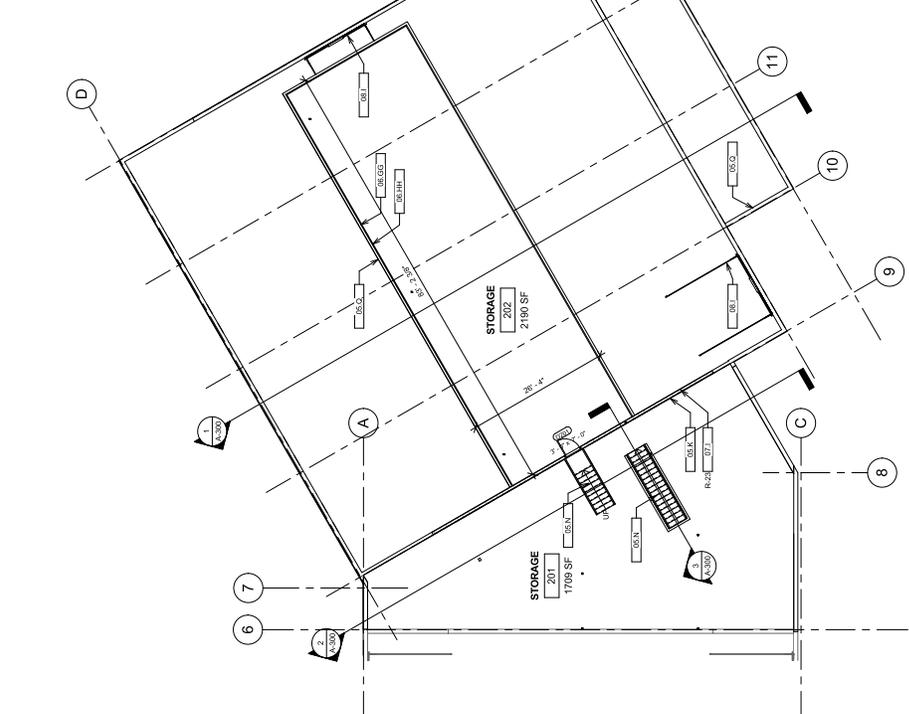
Key Value	Keynote Text
06.K	Light Gauge 2x6 Steel Framing @ 16" o.c.
06.N	Metal Fabricated Stair
06.O	Metal Fabricated Building Component per Manufacturer
06.GG	Guard Rail @ 42" A.F.F.
06.HH	Balusters Spaced w/3.75" Clear Between
07	Blown-In Insulation
08.1	Overhead Roll-Up Garage Door

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	FRAME TYPE	SLAB MATERIAL
D101	3'-0"	7'-0"	ALUMINUM - THERMALLY BROKEN	CLEAR ANODIZED
D101a	3'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D101b	3'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D102	3'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D102a	3'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D102b	3'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D103	3'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D104	3'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D105	3'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D105a	4'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D105b	3'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D106	3'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D106a	12'-0"	14'-0"	PER MANUFACTURER	METAL
D106b	12'-0"	14'-0"	PER MANUFACTURER	METAL
D107	3'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D107a	4'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D107b	3'-0"	7'-0"	SOLID METAL	METAL - INSULATED
D201	3'-0"	7'-0"	SOLID METAL	METAL

WINDOW SCHEDULE

MARK	SIZE	TYPE	DESCRIPTION
W106	24" x 24"	FIXED	THERMALLY BROKEN ALUMINUM FRAME - DUAL PANE LOWE



1 UPPER LEVEL  
 3/32" = 1'-0"

HEBER CITY COUNCIL

Staff Report by: Anthony L. Kohler

Meeting Date: February 13, 2014

## Item: Ranch Landing Plat A Final Approval

The petitioner is requesting final approval for Phase 1 of the Ranch Landing Cottages, consisting of 18 single-family lots. The preliminary plan was approved by the Planning Commission on September 12, 2013. The Planning Commission asked for the right to farm clause to be placed on the plat and for fencing to be constructed along the subdivision boundary to protect the farm.

The property is zoned R-3 Residential. Each of the lots meets the minimum 6500 square foot area and 65 foot frontage requirements of the R-3 Zone. 500 East includes existing curb and sidewalk improvements.

The City Attorney indicates if the Right to Farm Notice is placed on the plat, the City will need its own Notice as shown below on the plat to define the city's role in enforcement of the Right to Farm Notice.

**CITY NOTICE:** "Said Notice is a condition proposed between the adjacent property owners and does not obligate the City in any way, including but not limited to enforcement. The City is simply allowing this Notice as part of the recording, but takes no position on the legitimacy or enforceability of said Notice."

### RECOMMENDATION

The proposed subdivision is consistent with Chapter 18.60 R-3 Residential Zone, Chapter 17.20.030 Final Plans, and Chapter 17.40 Improvements, conditional upon the following:

1. A street light be placed at each intersection consistent with engineering standards;
2. The developer install storm drain easement landscaping and be maintained in perpetuity by a Home Owner's Association;
3. Developer construct a 6 foot tall fence along rear property line of lots 15 through 18;
4. The plat show a legend for the designated PUEs and their widths;
5. If the Right to Farm Notice is shown on the Plat, the City Notice also be included on the plat;
6. The plat show a note prohibiting driveway access to 500 East as prohibited for Lots 14 and 15;
7. Provide an updated title report prior to recording the plat; and
8. Provide a tax clearance from county assessor prior to recording the plat.

February 5, 2014

Heber City Corporation  
Attn: Bart Mumford P.E.  
75 North Main  
Heber City, Utah 84032

**Subject: Ranch Landing Cottages – Final Review**

Dear Bart:

Horrocks Engineers recently reviewed the final plans for the Ranch Landing Cottages project located at 980 South 500 East. The following items need to be addressed with approval.

**General**

- All redline comments made to the final plans and the items discussed at DRC need to be addressed on the final approved plan set. The red line comments include but are not limited to corrections to the culinary water, sewer, grading/drainage, and utility services.
- The storm drain ponds need to be updated to meet the City Standards for ponds.
- The subdivision agreement should state that the landscaping for the pond will be installed and maintained by the HOA.

**Plat**

- The “Right to Farm Note” wording needs to be updated per the most recent approved version.
- The provided wording for the storm drain easement needs to be added and the location of any fencing on lot 14 needs to be approved.

Please call our office with any questions or concerns regarding this project.

Sincerely,

HORROCKS ENGINEERS

  
Willa Motley, P.E.

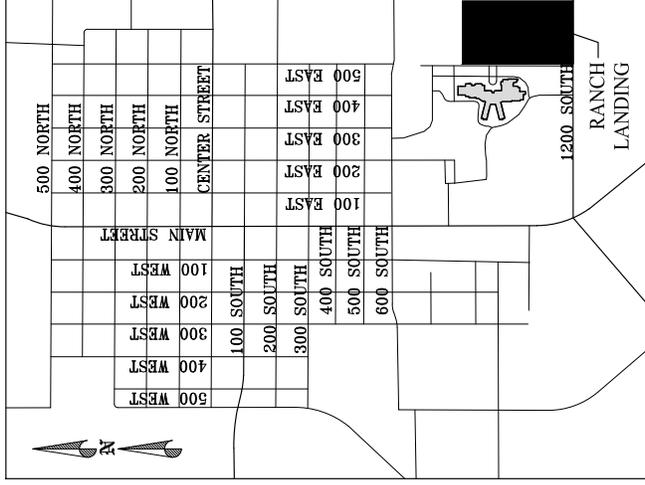
cc: file  
Berg Engineering  
Heber Planning Department

# RANCH LANDING COTTAGES

## FINAL SUBDIVISION APPLICATION

### SHEET INDEX

1. MASTER PLAN
2. RANCH LANDING COTTAGES - PLAT A
3. UTILITY PLAN
4. 840 SOUTH ROAD PLAN & PROFILE
5. 550 EAST ROAD PLAN & PROFILE
6. OLD MILL DRIVE PLAN & PROFILE
7. ROAD CONSTRUCTION DETAILS
8. WATER & IRRIGATION PLAN
9. WATER CONSTRUCTION DETAILS
10. IRRIGATION CONSTRUCTION DETAILS
11. 840 SOUTH ROAD SEWER PLAN & PROFILE
12. 550 EAST SEWER PLAN & PROFILE
13. OLD MILL DRIVE SEWER PLAN & PROFILE
14. SEWER CONSTRUCTION DETAILS
15. 840 SOUTH ROAD STORM DRAIN PLAN & PROFILE
16. 550 EAST STORM DRAIN PLAN & PROFILE
17. OLD MILL DRIVE STORM DRAIN PLAN & PROFILE
18. STORM DRAIN POND PLAN
19. STORM DRAIN CONSTRUCTION DETAILS
20. LANDSCAPE PLAN
21. FENCING PLAN



VICINITY MAP

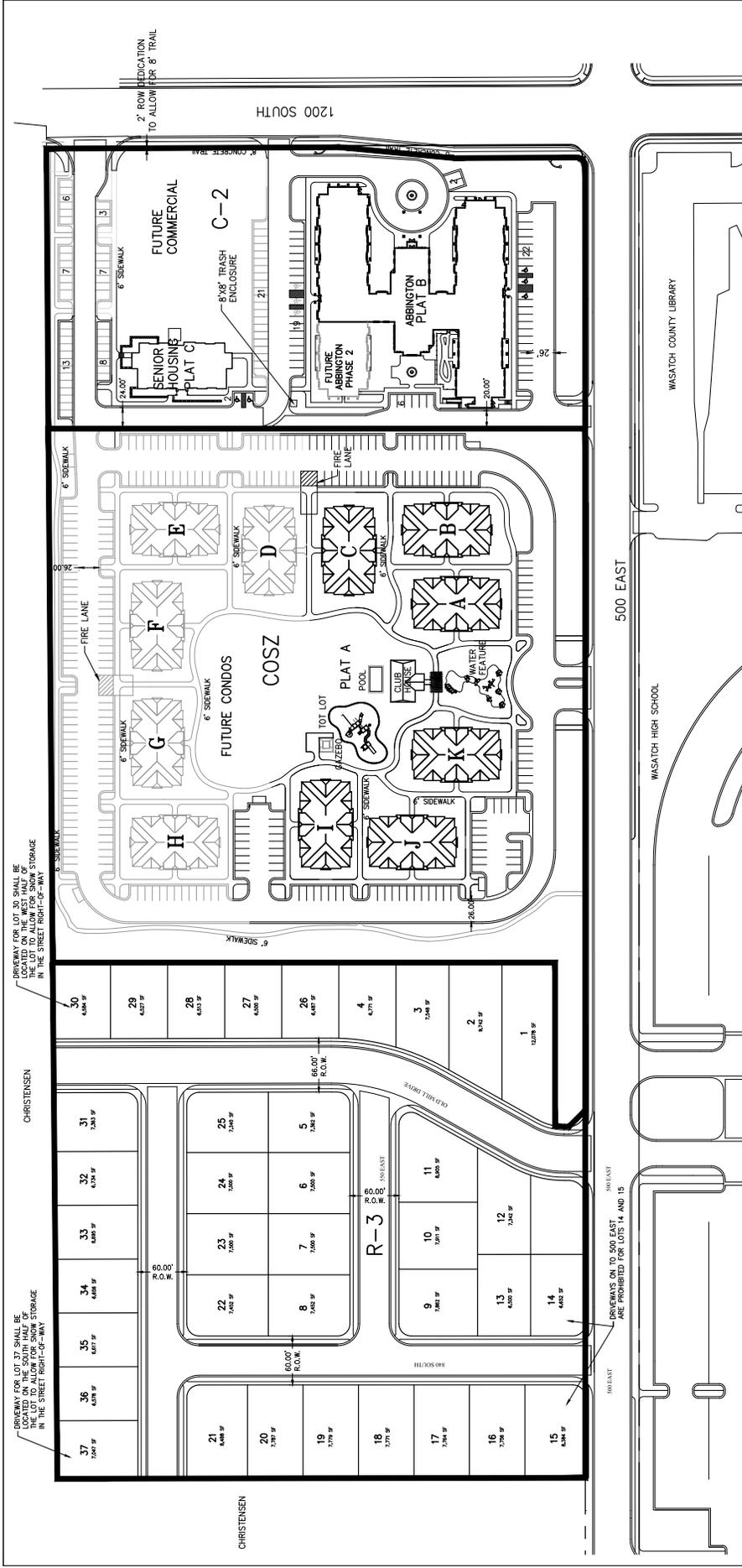
THIS DOCUMENT IS INCOMPLETE FOR RECORDING PURPOSES. IT IS BEING RECORDED FOR RECORDING OF FRONT PURPOSES.  
 PAUL A. BERG, P.E.  
 DATE: 18 JAN 2014

WATSON ENTERPRISES  
 RANCH LANDING COTTAGES

COVER



PROJECT NO. DATE: 18 JAN 2014 SHEET  
 DRAWING NO. REC. 0



DRIVEWAY FOR LOT 30 SHALL BE THE LOT TO ALLOW FOR SNOW STORAGE IN THE STREET RIGHT-OF-WAY

DRIVEWAY FOR LOT 37 SHALL BE THE LOT TO ALLOW FOR SNOW STORAGE IN THE STREET RIGHT-OF-WAY

DRIVEWAY FOR LOT 36 SHALL BE THE LOT TO ALLOW FOR SNOW STORAGE IN THE STREET RIGHT-OF-WAY

DRIVEWAY FOR LOT 35 SHALL BE THE LOT TO ALLOW FOR SNOW STORAGE IN THE STREET RIGHT-OF-WAY

MASTER PLAN AMENDMENT FOR RANCH LANDING WAS APPROVED IN JUNE 2013.

**RANCH LANDING MASTER PLAN DESCRIPTION**

BEGINNING AT A POINT WHICH IS EAST 03.75 FEET AND NORTH 56.61 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN;

THENCE NORTH 00°07'29" WEST 1519.48 FEET;  
 THENCE NORTH 80°53'24" EAST 647.17 FEET;  
 THENCE SOUTH 00°31'26" EAST 960.28 FEET;  
 THENCE SOUTH 00°23'34" EAST 672.40 FEET;  
 THENCE SOUTH 89°43'55" WEST 642.16 FEET;  
 THENCE SOUTH 89°43'55" WEST 642.16 FEET ALONG A CURVE TO THE LEFT 23.61 FEET (CENTRAL ANGLE OF 90°11'19" AND CHORD OF NORTH 45°10'25" WEST 21.25 FEET) THENCE SOUTH 89°37'22" WEST 3.03 FEET TO THE POINT OF BEGINNING.

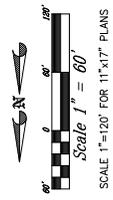
CONTAINING: 24.53 ACRES

**COSZ ZONE LAND USE TABLE**

ZONE:	COSZ
TOTAL AREA:	10.02 ACRES
MINIMUM AREA FOR COSZ:	10.00 ACRES
OPEN SPACE:	5.61 ACRES (56%)
OPEN SPACE REQUIREMENT:	50%
CONDO UNITS:	116
DENSITY:	11.58 UNITS PER ACRE
ALLOWED DENSITY:	12 UNITS PER ACRE

**R-3 ZONE LAND USE TABLE**

ZONE:	R-3
TOTAL AREA:	9.26 ACRES
OPEN SPACE REQUIREMENT:	0%
MINIMUM LOT SIZE:	6,500 SF
MINIMUM LOT WIDTH:	65'
NUMBER OF LOTS:	37



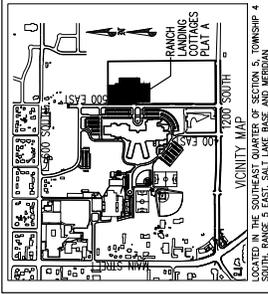
THIS DOCUMENT IS INCOMPLETE FOR REVIEW FOR FINAL. IT IS FOR INFORMATION ONLY AND NOT FOR CONSTRUCTION OR PERMIT PURPOSES.

PAUL D. BERG, LICENSED PROFESSIONAL ENGINEER, P.E.  
 1000 WEST 1000 SOUTH, SUITE 100  
 SALT LAKE CITY, UT 84119  
 DATE: 15 JAN 2014

WATSON ENTERPRISES  
 RANCH LANDING COTTAGES  
 MASTER PLAN

**ENGINEERING**  
 Paul D. Berg, P.E.  
 License No. 10000  
 License Expiration 12/31/2016  
 License State: UT

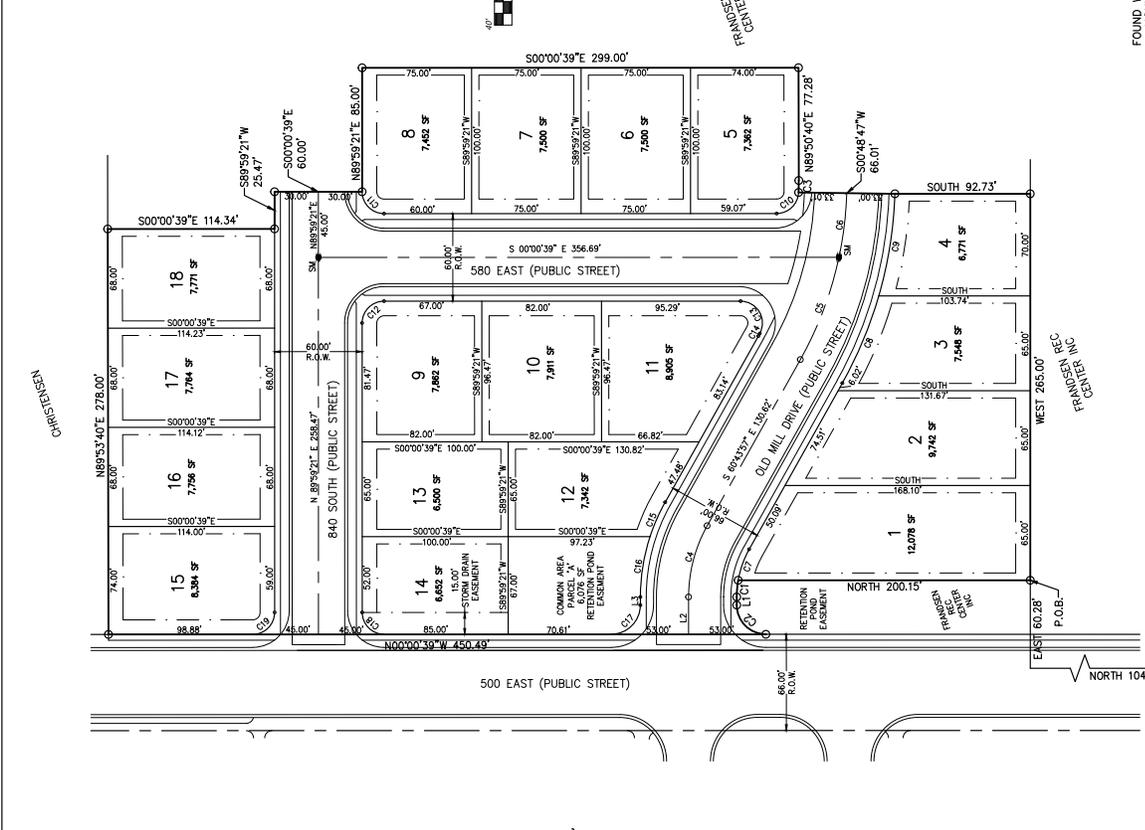
DESIGNED BY: [ ]  
 DRAWN BY: CNB  
 SHEET: 1



**RIGHT-TO-FARM NOTE:**  
PURCHASERS OF LOTS IN THIS SUBDIVISION ARE HEREBY ADVISED THAT THE SUBDIVISION IS INTENDED FOR AGRICULTURAL LAND USES AND WILL PROTECT THE RIGHT TO FARM. PURCHASERS ARE ADVISED THAT FARM HOUSES OF ONE AND ONE-HALF STORIES OR LESS IN HEIGHT, AND DOORS WHICH MAY BE ADJUSTABLE TO SINK OR RISE, ARE FREQUENTLY OVERSEEN ON ADJACENT PROPERTIES WHICH CAN SATURATE OR DAMPEN ADJACENT LOTS, STOCK AND EQUIPMENT ARE FREQUENTLY OVERSEEN ON ADJACENT PROPERTIES IF NOT PROPERLY FENCED, DUMPING OF GRASS AND OTHER DEBRIS IS FREQUENTLY OVERSEEN ON ADJACENT PROPERTY WITHOUT PERMISSION IS CONSIDERED AN OFFENSE.

**OFF-SITE RETENTION POND EASEMENT NOTE:**  
STORM DRAIN RETENTION POND WAS MAINTAINED BY A RANCH LANDING COTTAGES SUBDIVISION BY FRANZSEN REC CENTER, INC. OF THE WASATCH COUNTY RECORDS. PLEASE REFER TO THE WASATCH COUNTY RECORDS.

**DRIVEWAY RESTRICTIONS NOTE:**  
DRIVEWAYS ON TO 500 EAST ARE PROHIBITED FOR LOTS 14 AND 15.



**BOUNDARY DESCRIPTION**  
BEGINNING AT A POINT WHICH IS NORTH 1044.32 FEET AND EAST 60.28 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN;  
THENCE NORTH 200.15 FEET; THENCE ALONG THE ARC OF A 67.00 FOOT RADIUS CURVE TO THE LEFT 11.51 FEET (CENTRAL ANGLE OF 09°50'38" AND A CHORD BEARING SOUTH 45°00'04" WEST 28.29 FEET); THENCE NORTH 89°59'21" EAST 7.774 FEET; THENCE ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE LEFT 31.42 FEET (CENTRAL ANGLE OF 90°00'39" AND A CHORD BEARING SOUTH 45°00'04" WEST 28.29 FEET); THENCE NORTH 00°00'39" WEST 450.49 FEET; THENCE NORTH 89°59'21" EAST 278.00 FEET; THENCE NORTH 25.47 FEET; THENCE SOUTH 00°00'39" EAST 60.00 FEET; THENCE NORTH 89°59'21" EAST 85.00 FEET; THENCE ALONG THE ARC OF A 217.00 FOOT RADIUS CURVE TO THE RIGHT 0.26 FEET (CENTRAL ANGLE OF 180°00'39" AND A CHORD BEARING SOUTH 00°00'39" WEST 66.01 FEET); THENCE SOUTH 00°00'39" WEST 66.01 FEET; THENCE SOUTH 92.73 FEET; THENCE WEST 265.00 FEET TO THE POINT OF BEGINNING.  
CONTAINING: 4.745 ACRES

**BOUNDARY DESCRIPTION**  
BEGINNING AT A POINT WHICH IS NORTH 1044.32 FEET AND EAST 60.28 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN;  
THENCE NORTH 200.15 FEET; THENCE ALONG THE ARC OF A 67.00 FOOT RADIUS CURVE TO THE LEFT 11.51 FEET (CENTRAL ANGLE OF 09°50'38" AND A CHORD BEARING SOUTH 45°00'04" WEST 28.29 FEET); THENCE NORTH 89°59'21" EAST 7.774 FEET; THENCE ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE LEFT 31.42 FEET (CENTRAL ANGLE OF 90°00'39" AND A CHORD BEARING SOUTH 45°00'04" WEST 28.29 FEET); THENCE NORTH 00°00'39" WEST 450.49 FEET; THENCE NORTH 89°59'21" EAST 278.00 FEET; THENCE NORTH 25.47 FEET; THENCE SOUTH 00°00'39" EAST 60.00 FEET; THENCE NORTH 89°59'21" EAST 85.00 FEET; THENCE ALONG THE ARC OF A 217.00 FOOT RADIUS CURVE TO THE RIGHT 0.26 FEET (CENTRAL ANGLE OF 180°00'39" AND A CHORD BEARING SOUTH 00°00'39" WEST 66.01 FEET); THENCE SOUTH 00°00'39" WEST 66.01 FEET; THENCE SOUTH 92.73 FEET; THENCE WEST 265.00 FEET TO THE POINT OF BEGINNING.  
CONTAINING: 4.745 ACRES

**ADDRESS TABLE**

LOT	ADDRESS
1	518 EAST OLD MILL DRIVE
2	532 EAST OLD MILL DRIVE
3	542 EAST OLD MILL DRIVE
4	554 EAST OLD MILL DRIVE
5	593 SOUTH 500 EAST
6	895 SOUTH 550 EAST
7	877 SOUTH 550 EAST
8	865 SOUTH 550 EAST
9	858 SOUTH 550 EAST
10	842 SOUTH 550 EAST
11	824 SOUTH 550 EAST
12	805 SOUTH 550 EAST
13	525 EAST OLD MILL DRIVE
14	525 EAST 840 SOUTH
15	525 EAST 840 SOUTH
16	525 EAST 840 SOUTH
17	535 EAST 840 SOUTH
18	548 EAST 840 SOUTH

**OWNER'S DEDICATION**  
KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED (OWNERS) OF THE PROPERTY DESCRIBED HEREON, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PUBLIC AND PRIVATE STREETS, AND EASEMENTS, AND TO BE COMPARED WITH THE TERMS AND CONDITIONS OF PUBLIC RECORDS AND RECORDS, WITH THE TERMS AND CONDITIONS OF PUBLIC RECORDS AND RECORDS FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES AND EMERGENCY VEHICLE ACCESS.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

**ACKNOWLEDGMENT**  
BY: \_\_\_\_\_  
RW 2006 LLC - RUSSELL WATTS, MANAGER

STATE OF \_\_\_\_\_ } S.S.  
COUNTY OF \_\_\_\_\_ }  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, PERSONALLY APPEARED \_\_\_\_\_ TO ME, \_\_\_\_\_, A NOTARY PUBLIC, WHO IS DULY QUALIFIED TO ME THAT THE SAID PARTY EXECUTE THE SAME IN THE CAPACITY INDICATED.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC \_\_\_\_\_

**ACCEPTANCE BY HEBER CITY**  
THE CITY COUNCIL OF HEBER CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS PLANNED UNIT DEVELOPMENT AND ACCEPTS THE DEDICATION OF EASEMENTS AND PUBLIC RIGHTS-OF-WAY HEREON SHOWN.  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
APPROVED: \_\_\_\_\_ MAYOR  
ATTEST: \_\_\_\_\_ CLERK-RECORDER (SEE SIGNATURE)  
APPROVED: \_\_\_\_\_ CITY ATTORNEY  
CITY ENGINEER (SEE SIGNATURE)

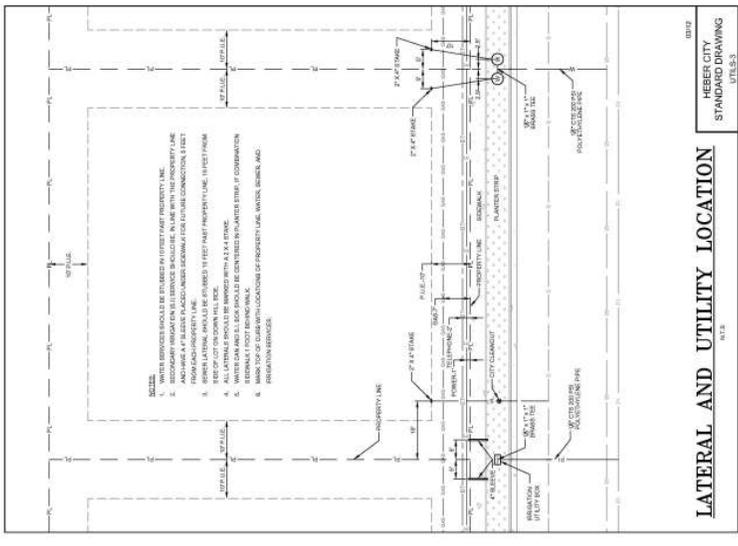
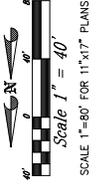
**PLANNING COMMISSION APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ BY THE  
PLANNING DIRECTOR: \_\_\_\_\_ CITY PLANNING COMMISSION  
CHAIRMAN, PLANNING COMMISSION: \_\_\_\_\_

**RANCH LANDING COTTAGES**  
PLAT "A"  
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN  
A COMMERCIAL PROJECT. HEBER CITY, WASATCH COUNTY, STATE OF UTAH  
SCALE: 1" = 40' FEET

**COUNTY SURVEYOR'S CERTIFICATE**  
APPROVED AS TO FORM ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
COUNTY SURVEYOR: \_\_\_\_\_

**COUNTY RECORDER**  
FOUND WASATCH COUNTY MONUMENT AT THE SOUTHWEST CORNER OF SECTION 5, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN.  
MEASURED BETWEEN TWO FOUND MONUMENTS  
N89°59'35"E 2660.65' BASIS OF BEARINGS  
N89°59'35"E 2660.65' BASIS OF BEARINGS  
MEASURED BETWEEN TWO FOUND MONUMENTS

**PLANNING COMMISSION APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ BY THE  
PLANNING DIRECTOR: \_\_\_\_\_ CITY PLANNING COMMISSION  
CHAIRMAN, PLANNING COMMISSION: \_\_\_\_\_



**UTILITY NOTES:**

1. ALL WATER AND PRESSURIZED IRRIGATION PIPELINES SHALL BE STUBBED TO HEBER CITY STANDARDS.
2. ALL LOTS SHALL HAVE A 4 INCH SEWER LATERAL WITH A CITY CLEAN OUT.
3. INSTALL SEWER LATERALS TO LIMIT OF PUBLIC UTILITY CASSEMENT.

**COLUMBIAN WATER SYSTEM NOTES:**

1. ALL COLUMBIAN WATER CONSTRUCTION TO BE TO HEBER CITY STANDARDS.
2. ALL PRESSURIZED IRRIGATION CONSTRUCTION TO BE TO HEBER CITY STANDARDS.
3. INSTALL WATER SERVICES TO LIMIT OF PUBLIC UTILITY CASSEMENT.

**PRESSURIZED IRRIGATION NOTES:**

1. ALL PRESSURIZED IRRIGATION CONSTRUCTION TO BE TO HEBER CITY STANDARDS.
2. ALL LOTS SHALL HAVE A 1 INCH IRRIGATION SERVICE.

HEBER CITY STANDARD DRAWING UTILS-3

DATE: 10.16.2014

DESIGNED BY: [Name]

CHECKED BY: [Name]

DRAWN BY: [Name]

PROJECT: RANCH LANDING COTTAGES

UTILITY PLAN

**BERG ENGINEERING**

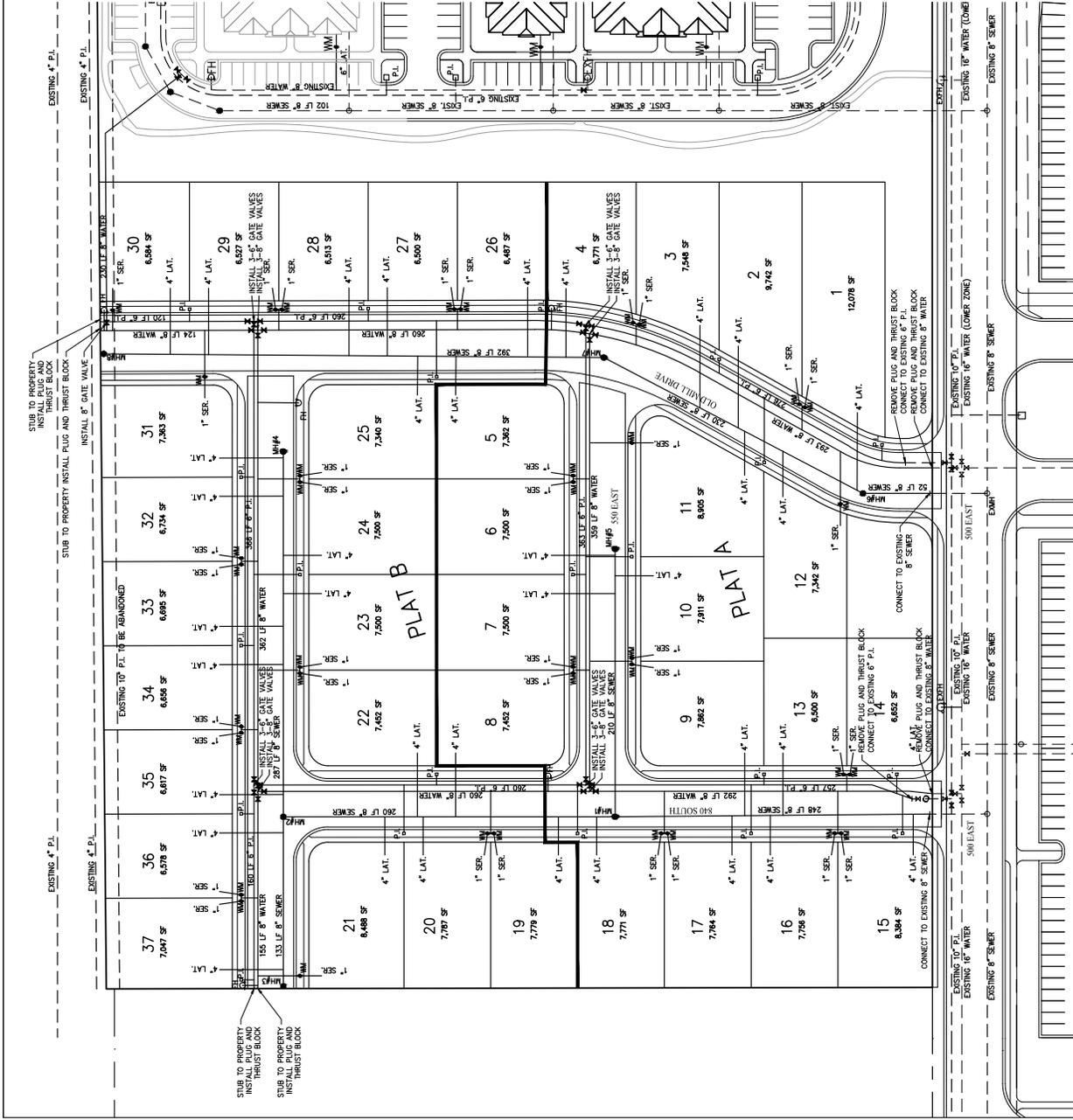
1000 S. 1000 E. SUITE 1000

PROVO, UT 84604

PHONE: 801.225.7777

PROJECT NO: 14-001

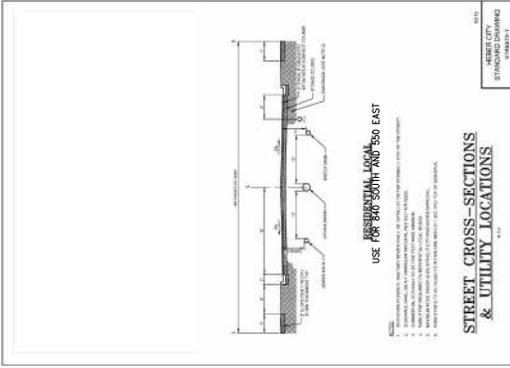
SHEET NO: 3









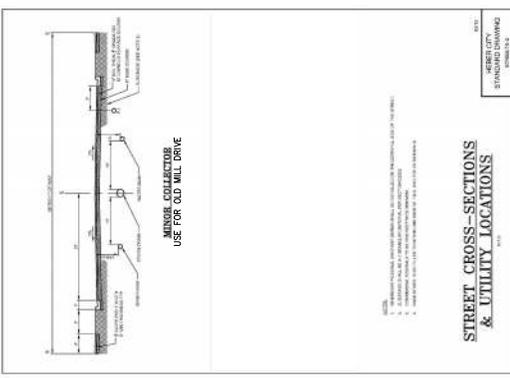


**RESIDENTIAL DRIVEWAY APPROACH**  
USE FOR 24" WIDE WHEEL CHAIR RAMP

1. DRIVEWAY SHALL BE 24" WIDE WHEEL CHAIR RAMP WITH 1:12 SLOPE.
2. DRIVEWAY SHALL BE 1/2" THICK CONCRETE ON 4" COMPACTED AGGREGATE BASE.
3. DRIVEWAY SHALL BE 4" COMPACTED AGGREGATE BASE ON 4" COMPACTED AGGREGATE BASE.
4. DRIVEWAY SHALL BE 4" COMPACTED AGGREGATE BASE ON 4" COMPACTED AGGREGATE BASE.

**STREET CROSS-SECTIONS & UTILITY LOCATIONS**

DATE: 08/14/2014  
DRAWN BY: JCB  
CHECKED BY: JCB  
SCALE: AS SHOWN  
SHEET: 7

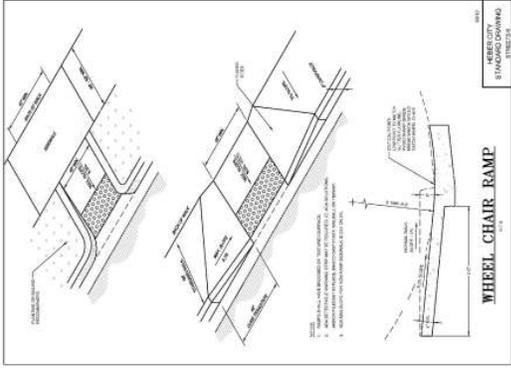


**MINOR COLLECTOR USE FOR OLD MILL DRIVE**

1. DRIVEWAY SHALL BE 24" WIDE WHEEL CHAIR RAMP WITH 1:12 SLOPE.
2. DRIVEWAY SHALL BE 1/2" THICK CONCRETE ON 4" COMPACTED AGGREGATE BASE.
3. DRIVEWAY SHALL BE 4" COMPACTED AGGREGATE BASE ON 4" COMPACTED AGGREGATE BASE.
4. DRIVEWAY SHALL BE 4" COMPACTED AGGREGATE BASE ON 4" COMPACTED AGGREGATE BASE.

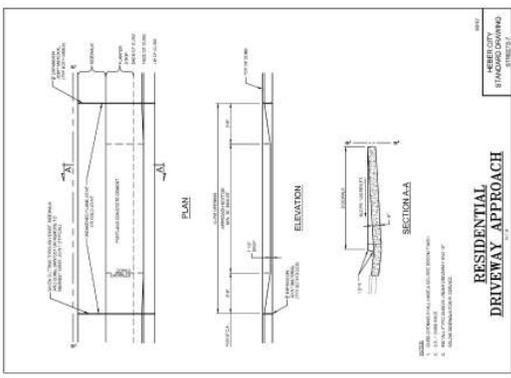
**STREET CROSS-SECTIONS & UTILITY LOCATIONS**

DATE: 08/14/2014  
DRAWN BY: JCB  
CHECKED BY: JCB  
SCALE: AS SHOWN  
SHEET: 7



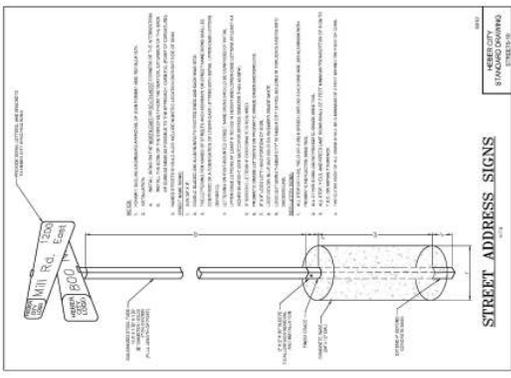
**WHEEL CHAIR RAMP**

DATE: 08/14/2014  
DRAWN BY: JCB  
CHECKED BY: JCB  
SCALE: AS SHOWN  
SHEET: 7



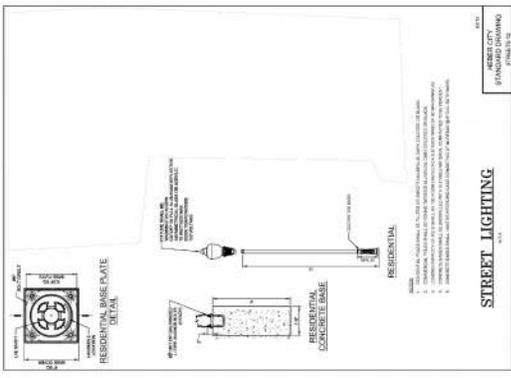
**RESIDENTIAL DRIVEWAY APPROACH**

DATE: 08/14/2014  
DRAWN BY: JCB  
CHECKED BY: JCB  
SCALE: AS SHOWN  
SHEET: 7



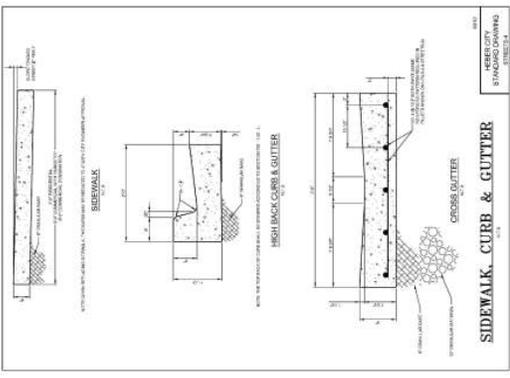
**STREET ADDRESS SIGNS**

DATE: 08/14/2014  
DRAWN BY: JCB  
CHECKED BY: JCB  
SCALE: AS SHOWN  
SHEET: 7



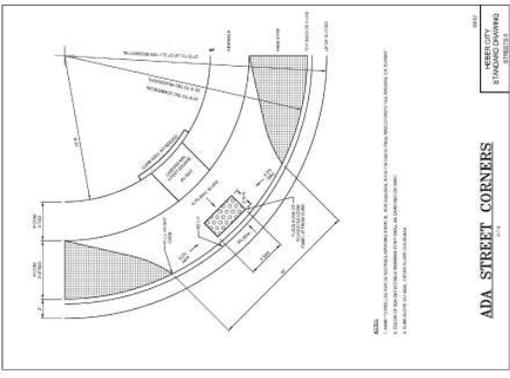
**STREET LIGHTING**

DATE: 08/14/2014  
DRAWN BY: JCB  
CHECKED BY: JCB  
SCALE: AS SHOWN  
SHEET: 7



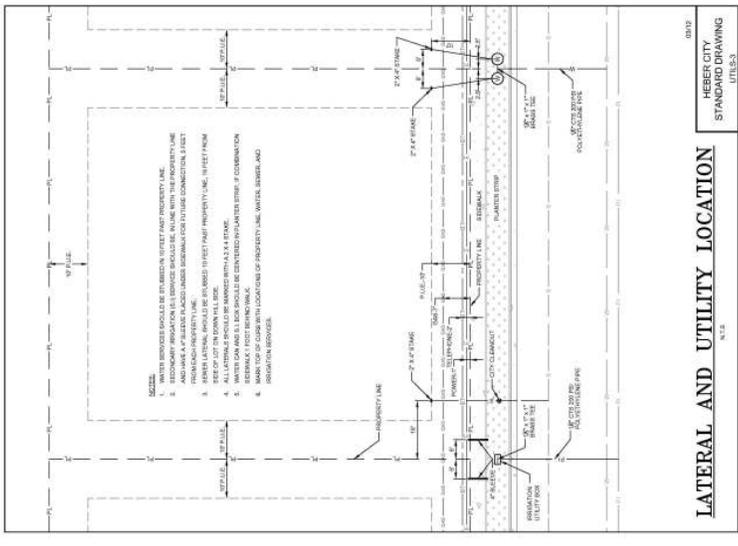
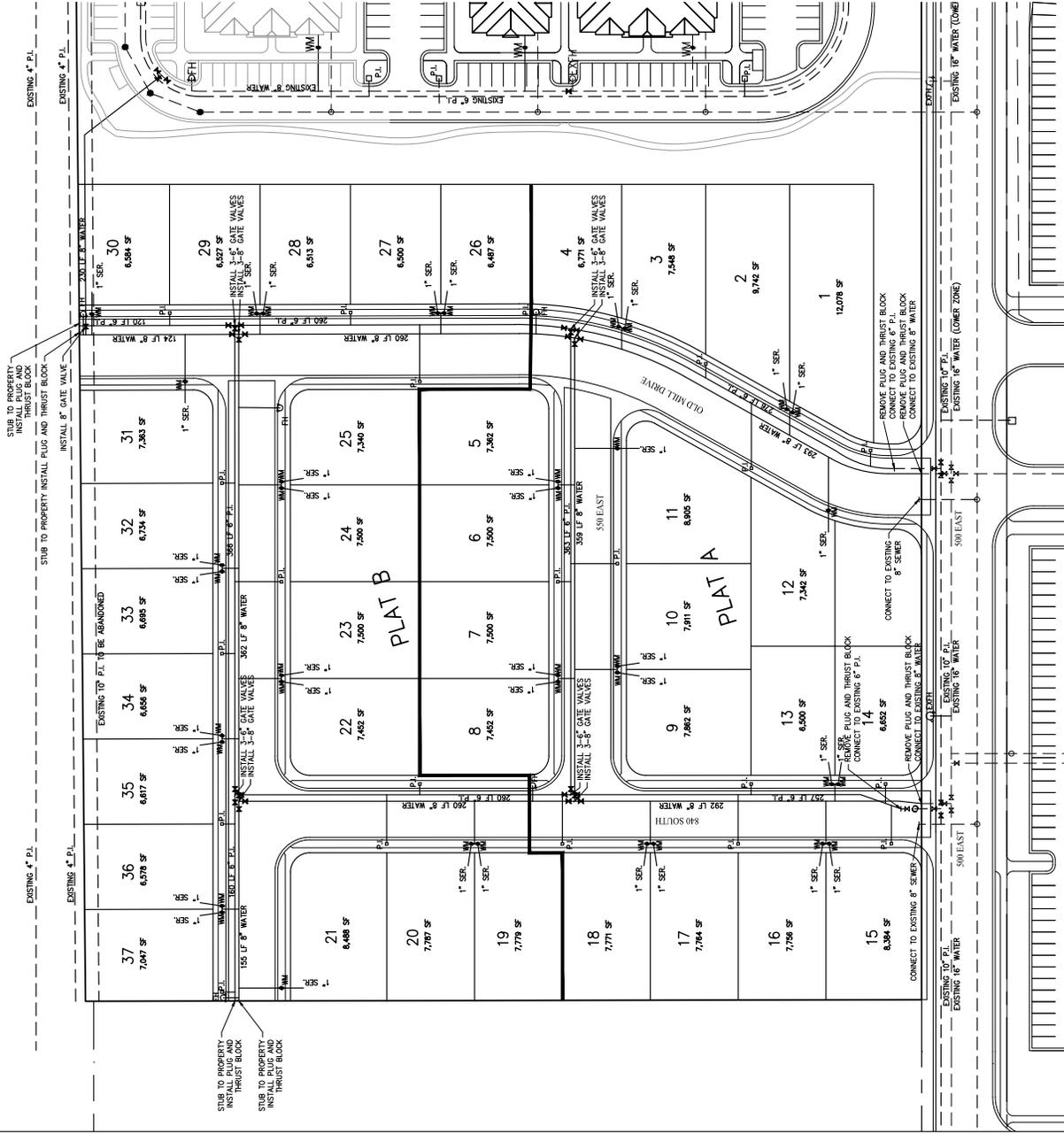
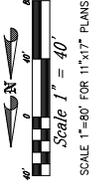
**SIDEWALK, CURB & GUTTER**

DATE: 08/14/2014  
DRAWN BY: JCB  
CHECKED BY: JCB  
SCALE: AS SHOWN  
SHEET: 7



**ADA STREET CORNERS**

DATE: 08/14/2014  
DRAWN BY: JCB  
CHECKED BY: JCB  
SCALE: AS SHOWN  
SHEET: 7



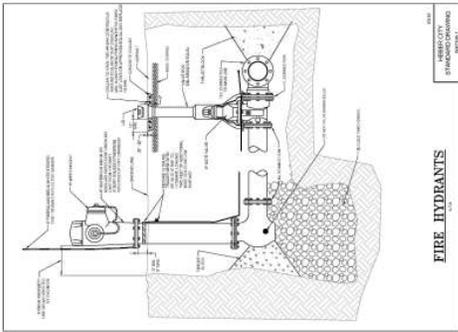
THIS DOCUMENT IS INCOMPLETE FOR REVIEW AND CONSTRUCTION. IT IS BEING PROVIDED FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR ANY PURPOSES, INCLUDING PERMITS, WITHOUT THE SIGNATURE OF THE DESIGNER. DATE: 16-JAN-2014

WATKINS ENTERPRISES  
RANCH LANDING COTTAGES  
WATER PLAN

**BERG**  
ENGINEERING  
PUBLIC GROUP P/C  
1000 S. 1000 E.  
MIDWAY, UT 84049  
PHONE: 801-225-7779  
FAX: 801-225-7779  
P.E.  
DATE: 16-JAN-2014

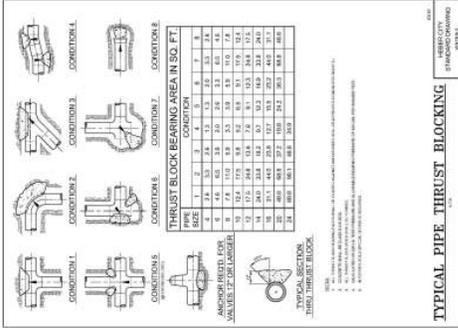
DESIGNER: JTB  
CHECKER: RJA  
DRAWN: CNB  
SHEET: 8

- UTILITY NOTES:**
1. ALL WATER AND PRESSURIZED IRRIGATION PIPELINES SHALL BE STUBBED TO FEET BEYOND EDGE OF ASPHALT IN PHASE 1 WITH PLUG AND THRUST BLOCKS INSTALLED.
- COLUMBIAN WATER SYSTEM NOTES:**
1. ALL COLUMBIAN WATER CONSTRUCTION TO BE TO HEBER CITY STANDARDS.
  2. ALL PRESSURIZED IRRIGATION CONSTRUCTION TO BE TO HEBER CITY STANDARDS.
  3. INSTALL WATER SERVICES TO LIMIT OF PUBLIC UTILITY CASSEMENT.
- PRESSURIZED IRRIGATION NOTES:**
1. ALL PRESSURIZED IRRIGATION CONSTRUCTION TO BE TO HEBER CITY STANDARDS.
  2. ALL LOTS SHALL HAVE A 1 INCH IRRIGATION SERVICE.



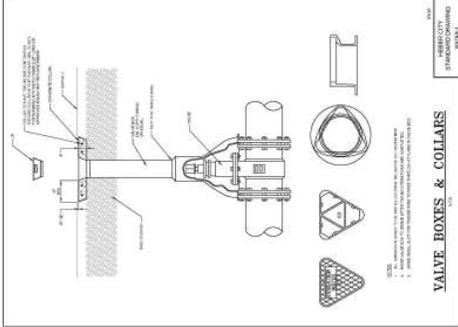
**FIRE HYDRANTS**

ASCE  
STANDARD DRAWING  
SHEET



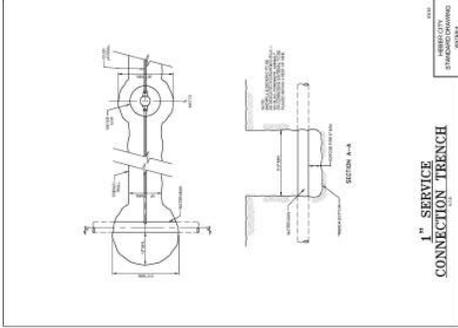
**TYPICAL PIPE THRUST BLOCKING**

ASCE  
STANDARD DRAWING  
SHEET



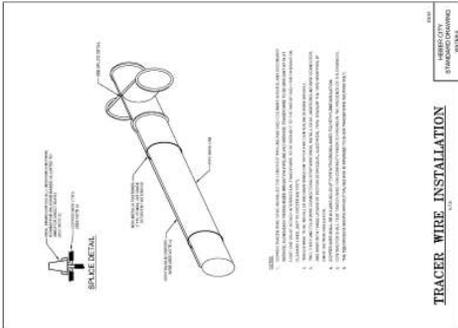
**VALVE BOXES & COLLARS**

ASCE  
STANDARD DRAWING  
SHEET



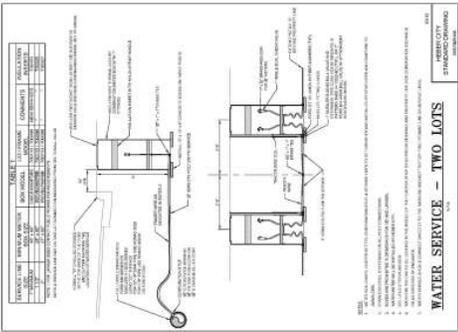
**1" SERVICE CONNECTION TRENCH**

ASCE  
STANDARD DRAWING  
SHEET



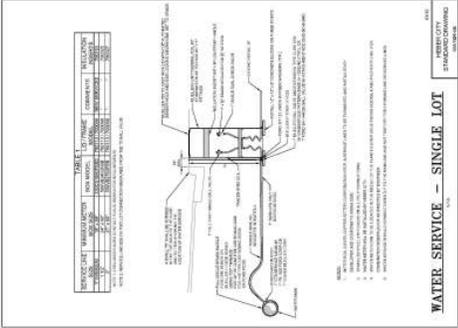
**TRACER WIRE INSTALLATION**

ASCE  
STANDARD DRAWING  
SHEET



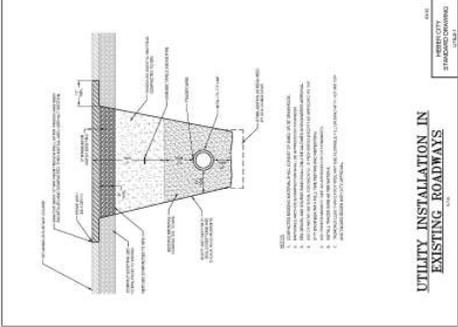
**WATER SERVICE - TWO LOTS**

ASCE  
STANDARD DRAWING  
SHEET



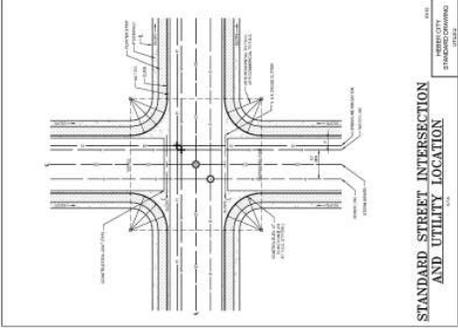
**WATER SERVICE - SINGLE LOT**

ASCE  
STANDARD DRAWING  
SHEET



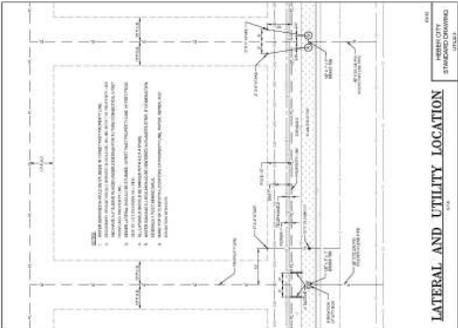
**UTILITY INSTALLATION IN EXISTING ROADWAYS**

ASCE  
STANDARD DRAWING  
SHEET



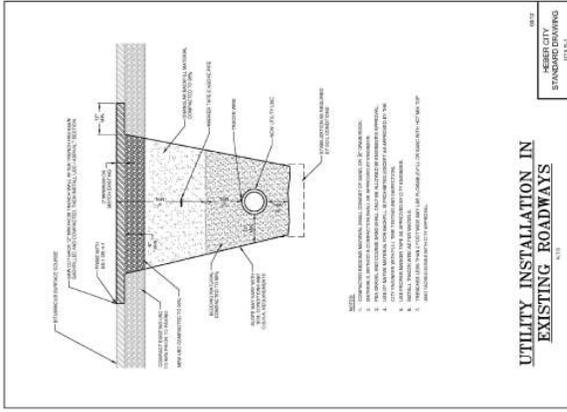
**STANDARD STREET INTERSECTION AND UTILITY LOCATION**

ASCE  
STANDARD DRAWING  
SHEET



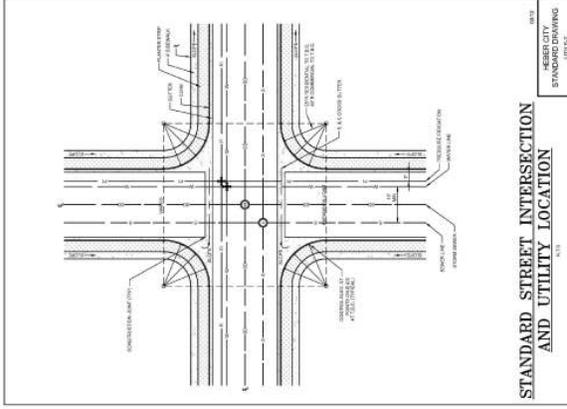
**LATERAL AND UTILITY LOCATION**

ASCE  
STANDARD DRAWING  
SHEET



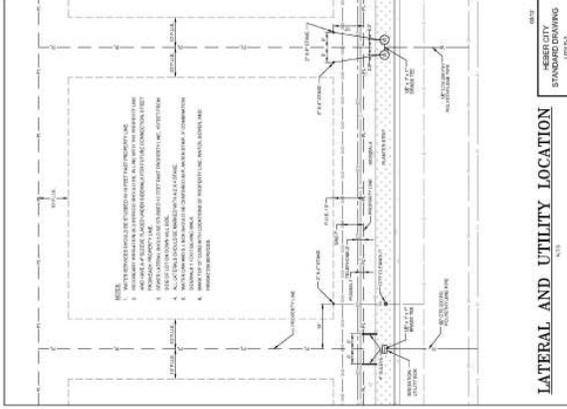
**UTILITY INSTALLATION IN EXISTING ROADWAYS**

HEBER CITY STANDARD DRAWING UTILITIES



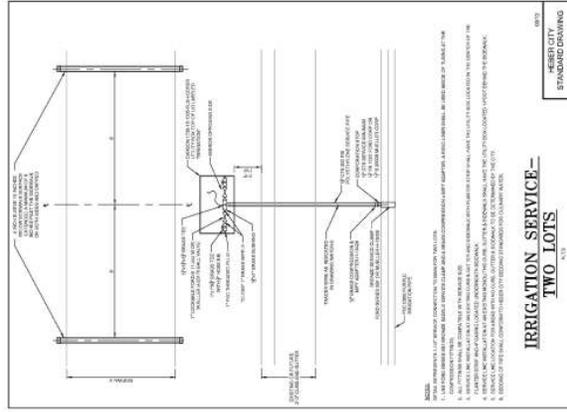
**STANDARD STREET INTERSECTION AND UTILITY LOCATION**

HEBER CITY STANDARD DRAWING UTILITIES



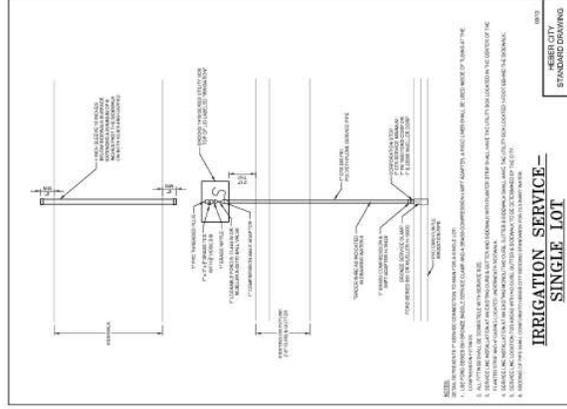
**LATERAL AND UTILITY LOCATION**

HEBER CITY STANDARD DRAWING UTILITIES



**IRRIGATION SERVICE— TWO LOTS**

HEBER CITY STANDARD DRAWING IRRIGATION



**IRRIGATION SERVICE— SINGLE LOT**

HEBER CITY STANDARD DRAWING IRRIGATION

WATSEMPERISES  
**RANCH LANDING COTTAGES**  
**PRESSURIZED IRRIGATION**  
**DETAILS**

**ENGINEERING**  
 BERG  
 CIVIL ENGINEERING GROUP P/C  
 1000 S. 1000 E.  
 MOORE, UT 84040  
 PHONE: 435-227-7777  
 FAX: 435-227-7777

DESIGNER: WBS  
 DATE: 10/26/2014  
 DRAWN BY: CNB  
 SHEET NO. 10



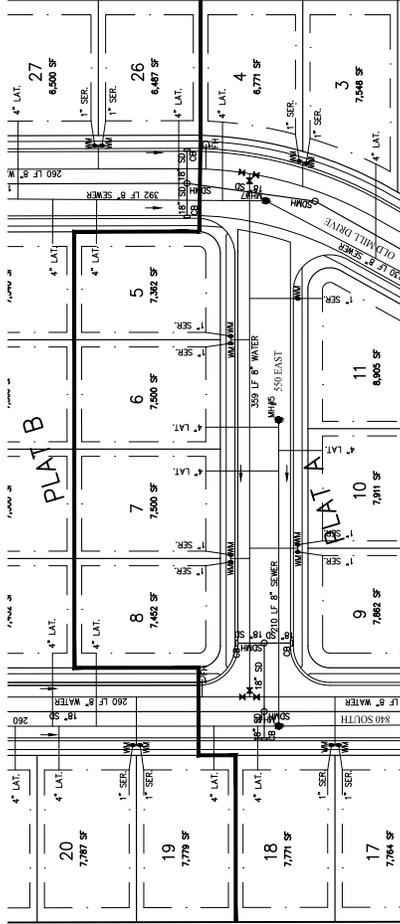
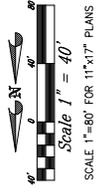








CONSTRUCTION NOTES:  
 UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.  
 SLOPE DRAIN NOTES:  
 CONSTRUCTION TO MEET HEER CITY JUNE 2017 STANDARDS.



5680

5670

Station	5680	5670	5660	5650	5640
5680					
5670					
5660					
5650					
5640					

THIS DOCUMENT IS INCOMPLETE AND IS BELIEVED TO BE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.  
 PAUL D. BERG, P.E.  
 DATE: 28 JAN 2024

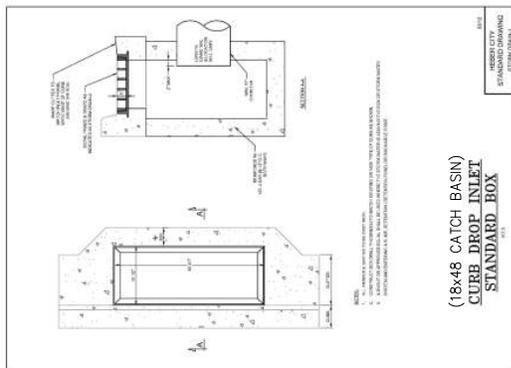
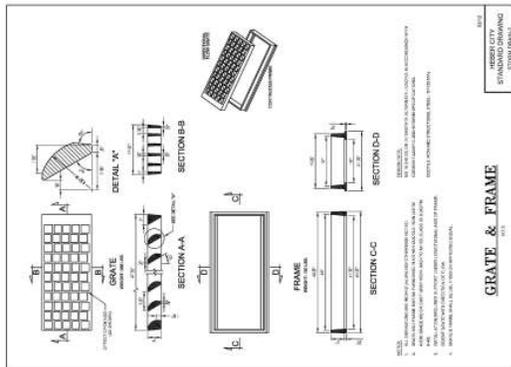
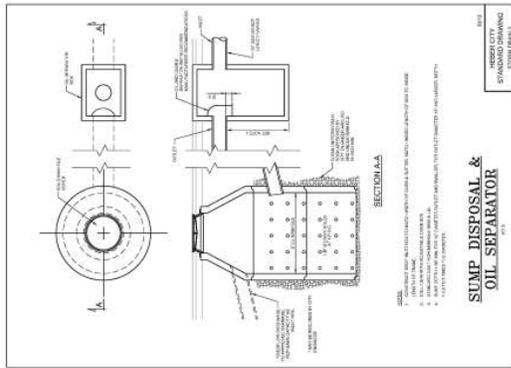
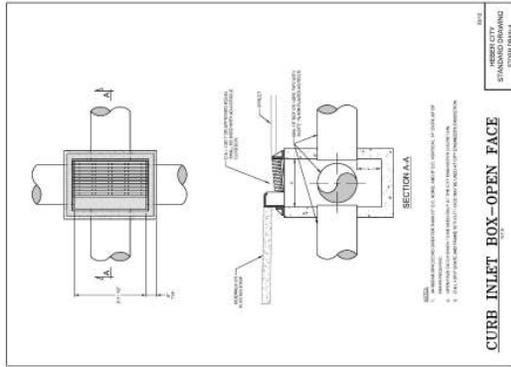
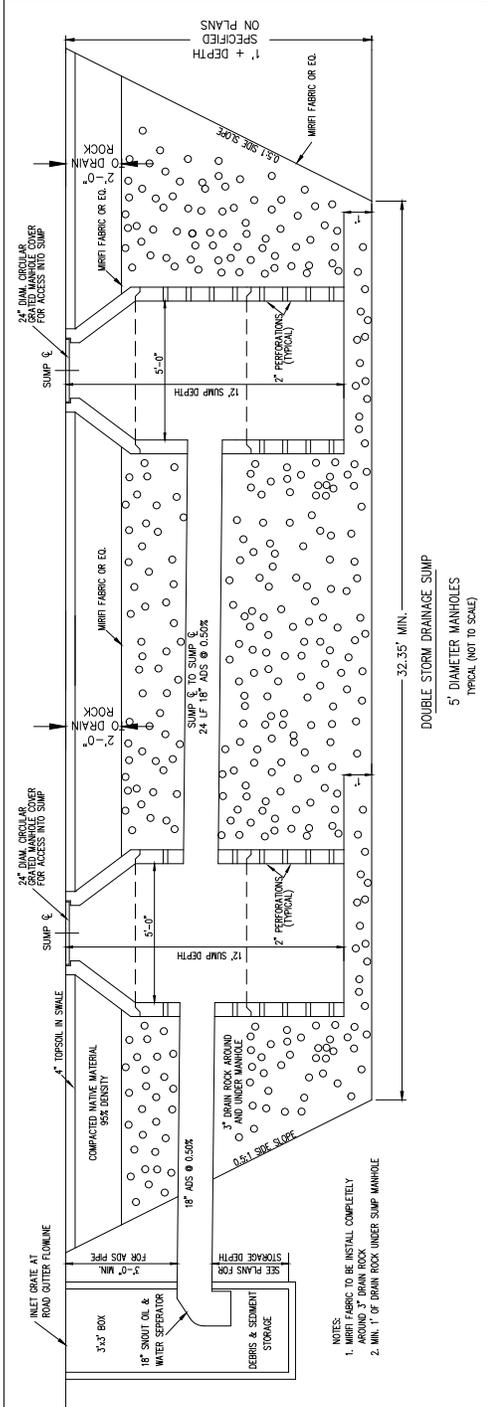
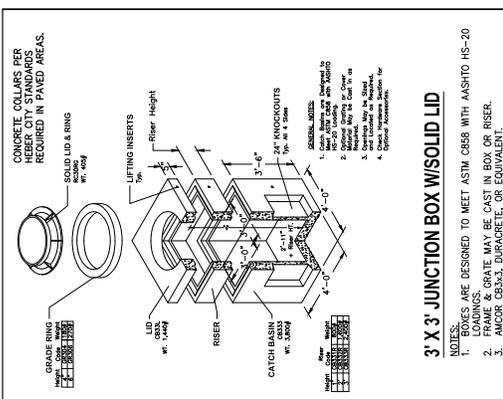
WATSEMPERISSES  
 RANCH LANDING COTTAGES  
 550 EAST STORM DRAIN  
 PLAN & PROFILE



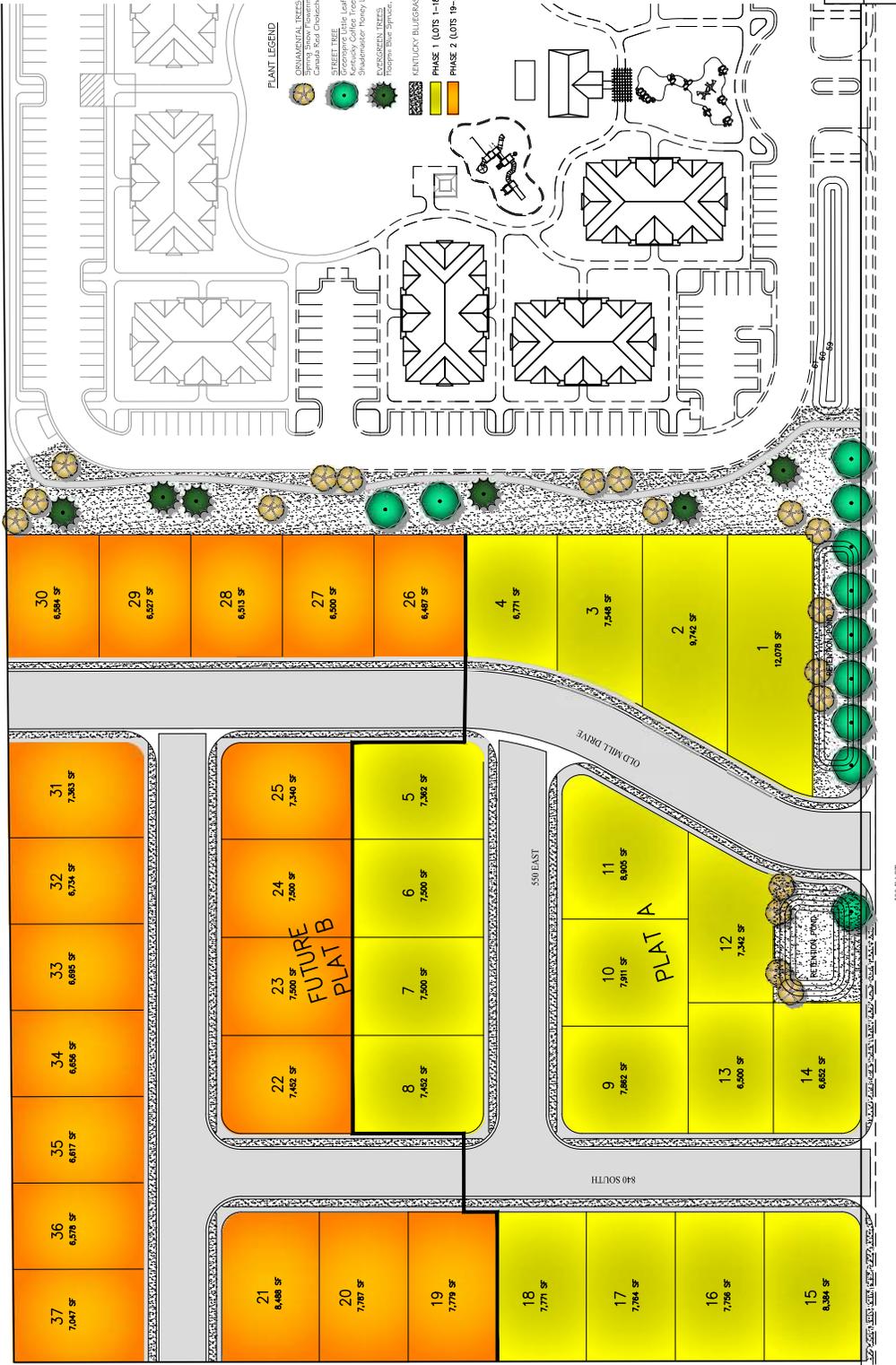
DESIGNED BY: REP  
 DRAWN BY: CNB  
 DATE: 06/28/2024  
 SHEET: 16







Scale 1" = 40'  
SCALE 1"=80' FOR 11"x17" PLANS



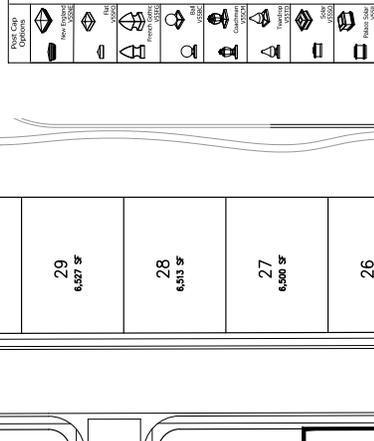
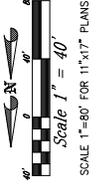
**PLANT LEGEND**

- ORNAMENTS TREES**  
 3" - 5" Snow Flowering Crabapple, Thomas Cooper® Firethorn,  
 Canada Red Chokeberry, Cardinal Royal Mountain Ash
- STREET TREES**  
 Kentucky Coffee Tree, Marshall Seedlings Green Ash,  
 Shademaster Honey Locust
- EXPERIMENTAL TREES**  
 Populus, Blue Spruce, White Fir, Austrian Pine
- PERENNIAL BLUEGRASSES**

THIS DOCUMENT IS RELEASED  
 FOR REVIEW ONLY. IT IS NOT  
 TO BE USED FOR CONSTRUCTION  
 UNLESS SIGNED AND SEALED.  
 DAN N. BERG, P.E.  
 LICENSE NO. 20000 L.A.  
 DATE: 18 JUL 2012

WATSON ENTERPRISES  
 RANCH LANDING COTTAGES  
 LANDSCAPE PLAN

**BERG ENGINEERING**  
 Dan N. Berg, P.E.  
 1405 12th Street  
 Monterey, CA 93940  
 (408) 385-1234  
 DRAWN: CNB  
 DATE: 06/20/12  
 SHEET: 20



- Post Options:
- 1) 5" x 5" - 140 wall
  - 2) 5" x 5" H.D. - 230 wall
  - 3) Majestic- 8" x 8" - 230 wall

Style: **V300-6**  
 Description: **Solid Tongue & Groove 6" x 8"**  
 Notes: 1. ALL ILLUSIONS VINYL FENCES ARE ASBY PROGRAM COMPLIANT  
 2. All materials are subject to availability  
 3. Installation subject to local codes and regulations

- 6" TAN VINYL FENCE TO BE INSTALLED WITH PLAT A BY WATIS ENTERPRISES (DEVELOPER)
- 6" TAN VINYL FENCE TO BE INSTALLED WITH PLAT B BY WATIS ENTERPRISES (DEVELOPER)

THIS DOCUMENT IS INCOMPLETE FOR RECORDING PURPOSES. IT IS BEING SUBMITTED FOR RECORDING OF FRONT PURPOSES.  
 E.M.A. & B.E.G.  
 1000 S. 10TH AVE.  
 DENVER, CO 80202  
 DATE: 16 JUN 2014

WATIS ENTERPRISES  
 RANCH LANDING COTTAGES  
 FENCING PLAN

**BERG**  
 ENGINEERING  
 FENCING GROUP P/C  
 1000 S. 10TH AVE.  
 DENVER, CO 80202  
 PHONE: 303.733.7279  
 FAX: 303.733.7279  
 P.E.  
 DATE: 16 JUN 2014

DESIGNER: JTB  
 DRAWN BY: CNB  
 SHEET: 21



Heber City Planning Commission  
Meeting date: February 13, 2014  
Report by: Anthony L. Kohler

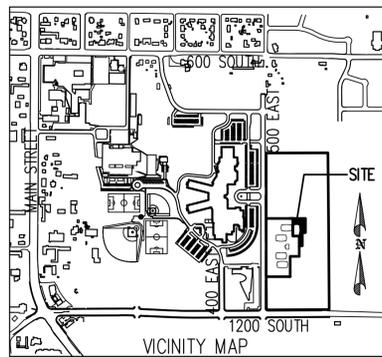
## **Re: Ranch Landing Plat B Condominium**

On December 2, 2010, Russ Watts petitioned to amend the Ranch Landing Plat by removing 2 future buildings from the plat. Mr. Watts is now requesting to re-record the original Condominium Plat for Building I, containing 12 units. The petitioner intends to construct the building this season, as the other buildings are at or near full occupancy. The required parking lot and utility stubs are already constructed to the building site.

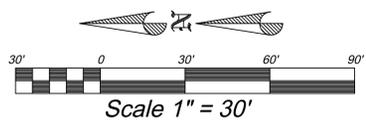
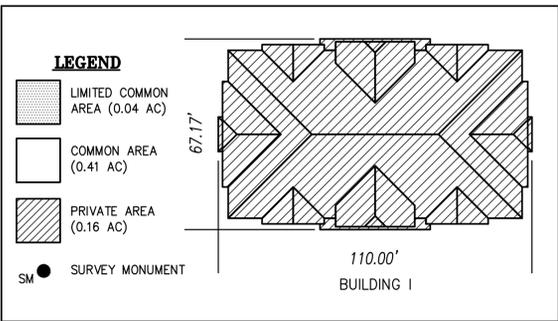
### **RECOMMENDATION**

The proposed condominium plat is consistent with the Ranch Landing Master Plan, Chapter 18.22 Clustered Open Space Zone, and Chapter 18.60 R-3 Residential Zone, conditional upon the following:

1. Developer provide evidence prior to recording the plat that the new building will be included in the Ranch Landing Home Owner's Association and appropriate documents be recorded to accomplish such;
2. Architecture be consistent with prior Ranch Landing Phases;
3. Provide an updated title report prior to recording the plat; and
4. Provide a tax clearance from county assessor prior to recording the plat;



LOCATED IN THE SOUTHEAST CORNER OF SECTION 5, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN



RECIPROCAL EASEMENT AGREEMENT FOR THE COVENANTS, CONDITIONS AND RESTRICTIONS FOR RANCH LANDING PLAT "B" SEE THE RANCH LANDING RECIPROCAL EASEMENT AGREEMENT BOOK \_\_\_\_\_ PAGES \_\_\_\_\_

**BASIS OF BEARING**  
 THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED AS NORTH 89°50'38" EAST (MEASURED 2660.68') BETWEEN FOUND WASATCH COUNTY SECTION CORNER SURVEY MONUMENTS FOR THE SOUTH ONE-QUARTER AND SOUTHEAST CORNERS OF SECTION 5, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN, IN CONFORMANCE WITH UTAH COORDINATE SYSTEM 1983 CENTRAL ZONE BEARINGS.

ADDRESS TABLE	
BUILDING	ADDRESS
I	1045 SOUTH 500 EAST BUILDING I

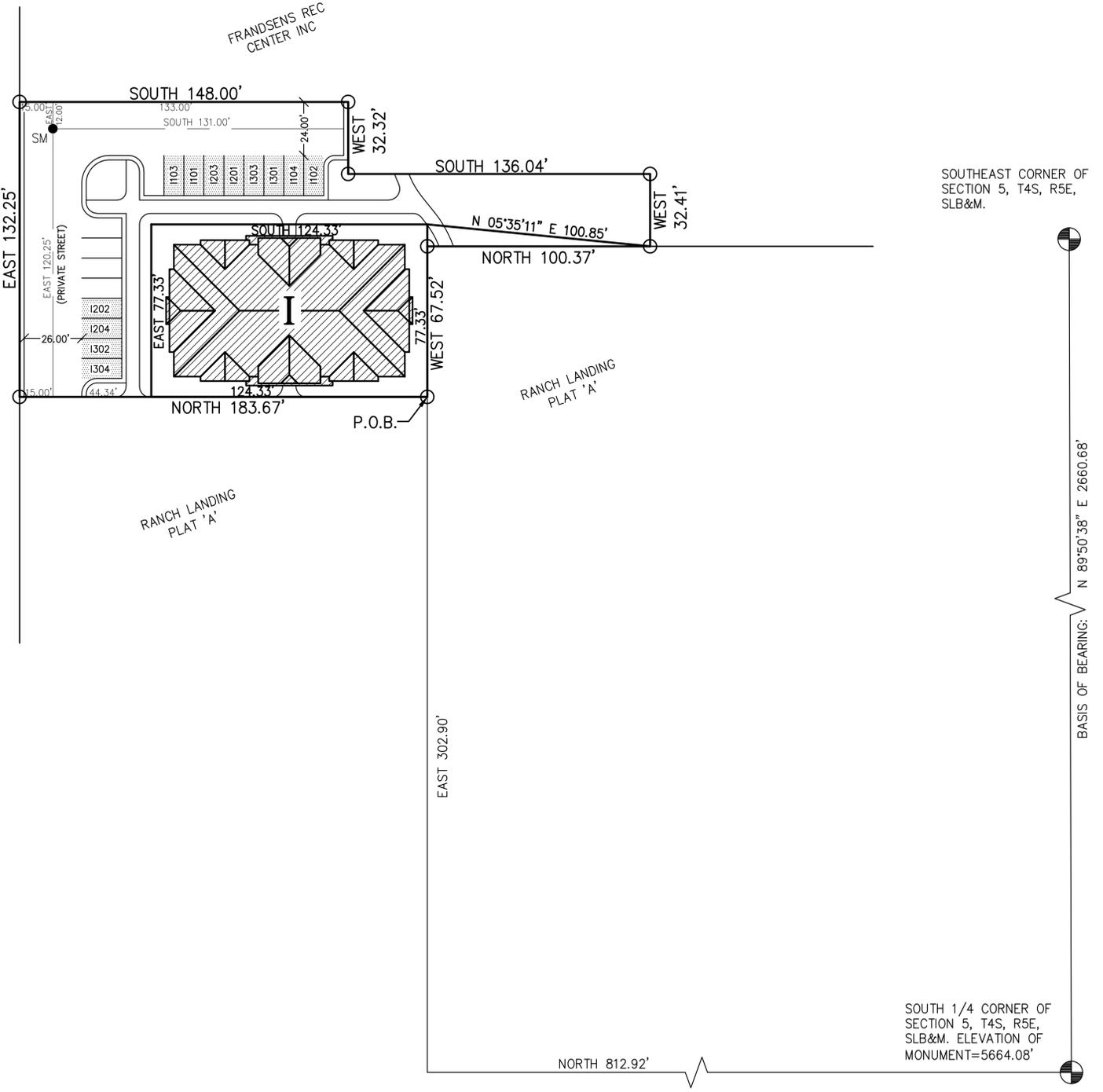
**SURVEYOR'S CERTIFICATE**  
 IN ACCORDANCE WITH SECTION 10-9g-603 OF THE UTAH CODE, I, BING CHRISTENSEN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR HOLDING LICENSE NUMBER 145796 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT.  
 I FURTHER CERTIFY THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THE PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH CODE, AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT.

DATE \_\_\_\_\_ SURVEYOR (SEE SEAL BELOW)

**BOUNDARY DESCRIPTION**  
 BEGINNING AT A POINT WHICH IS NORTH 812.92 FEET AND EAST 302.90 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN;  
 THENCE NORTH 183.67 FEET;  
 THENCE EAST 132.25 FEET;  
 THENCE SOUTH 148.00 FEET;  
 THENCE WEST 32.32 FEET;  
 THENCE SOUTH 136.04 FEET;  
 THENCE WEST 32.41 FEET;  
 THENCE NORTH 100.37 FEET;  
 THENCE WEST 67.52 FEET TO THE POINT OF BEGINNING.  
 CONTAINING: 0.606 ACRES

**OWNER'S DEDICATION**  
 KNOW ALL MEN BY THESE PRESENT THAT I, THE UNDERSIGNED OWNER OF THE TRACT OF LAND DESCRIBED HEREON AS RANCH LANDING PLAT "A" ALSO KNOWN AS RANCH LANDING CONDOS, A UTAH CONDOMINIUM PROJECT LOCATED ON SAID TRACT OF LAND, HAVE CAUSED A SURVEY TO BE MADE AND THIS RECORD OF SURVEY MAP CONSISTING OF THIRTEEN (13) SHEETS TO BE PREPARED, DO HEREBY GIVE CONSENT TO THE RECORDATION OF THIS RECORD OF SURVEY MAP AND SUBMIT THIS PROPERTY TO THE UTAH CONDOMINIUM OWNERSHIP ACT, AND DO HEREBY DESIGNATE ALL COMMON SPACE FOR THE USE OF THE CONDOMINIUM OWNERS OF RANCH LANDING PLAT "A" ALSO KNOWN AS RANCH LANDING CONDOS, A UTAH CONDOMINIUM PROJECT FOR INGRESS AND EGRESS, THE SAME TRACT OF LAND HAS BEEN SUBDIVIDED INTO CONDOMINIUM UNITS AND COMMON SPACE, AND THE OWNER HEREBY DEDICATES THOSE AREAS LABELED AS COMMON SPACE FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES.  
 IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND  
 THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2007.  
 BY \_\_\_\_\_, RWK 2006 LLC - RUSS WATTS, MANAGER  
 STATE OF UTAH ) S.S.  
 COUNTY OF WASATCH )

ON THE \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2007, RUSS WATTS DID PERSONALLY APPEAR BEFORE ME STATING THAT HE IS THE MANAGER OF RANCH LANDING, A UTAH LIMITED LIABILITY COMPANY AND BEFORE ME SIGNED THE FOREGOING OWNERS DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT SAID COMPANY DID EXECUTE THE SAME.  
 MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC \_\_\_\_\_



- UTILITY NOTES:**
- ALL PRIVATE STREETS, PARKING AREAS AND COMMON AREA ARE DEDICATED AS PUBLIC UTILITY EASEMENTS.
  - HEBER CITY HAS THE RIGHT OF ACCESS THROUGH THESE EASEMENTS TO ACCESS, MAINTAIN, AND REPAIR CITY PUBLIC UTILITIES. NO CHANGES TO TOPOGRAPHY, STRUCTURES, ABOVE OR BELOW GROUND ARE ALLOWED IN EASEMENTS WITHIN 10 FEET OF PUBLIC UTILITIES WITHOUT WRITTEN PERMISSION FROM HEBER CITY ENGINEER. ANY OBSTACLES ERRECTED WITHIN THESE EASEMENTS WITHOUT WRITTEN PERMISSION WILL BE REMOVED AT THE CURRENT PROPERTY OWNERS EXPENSE.
  - ALL STORM DRAIN UTILITIES AND THEIR MAINTENANCE WITHIN PRIVATE PROPERTY SHALL BE THE RESPONSIBILITY OF PROPERTY OWNER.
  - ALL SEWER LATERAL AND THEIR MAINTENANCE TO THE PUBLIC SEWER MAIN SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
  - ALL CULINARY WATER AND SECONDARY WATER SERVICES AND THEIR MAINTENANCE TO THE WATER METER OR SERVICE VAULT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

RANCH LANDING "B" JANUARY 13, 2014

SURVEYOR  
 BING CHRISTENSEN, R.L.S.  
 P.O. BOX 176  
 HEBER CITY, UTAH 84032  
 PHONE: (435) 654-9229

DATE OF SURVEY: AUG 2006

SOUTH 1/4 CORNER OF SECTION 5, T4S, R5E, SLB&M. ELEVATION OF MONUMENT=5664.08'

COUNTY RECORDER

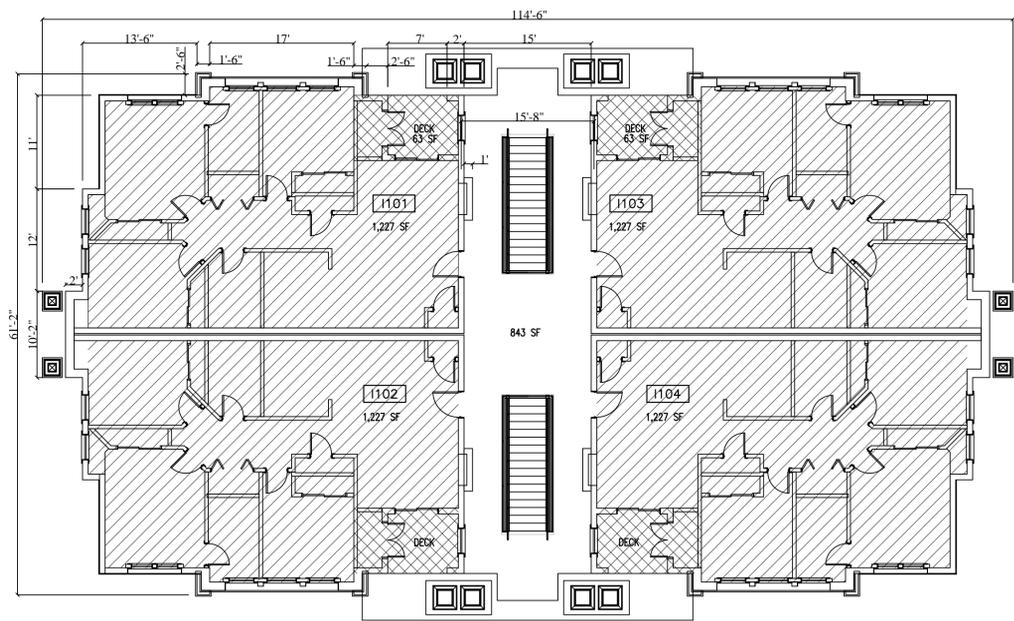
COUNTY SURVEYOR'S CERTIFICATE  
 APPROVED AS TO FORM ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
 ROS# \_\_\_\_\_  
 \_\_\_\_\_  
 COUNTY SURVEYOR

**ACCEPTANCE BY HEBER CITY**  
 THE CITY COUNCIL OF HEBER CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS PLANNED UNIT DEVELOPMENT AND ACCEPTS THE DEDICATION OF EASEMENTS AND PUBLIC RIGHTS-OF-WAY HEREON SHOWN.  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
 APPROVED \_\_\_\_\_ ATTEST \_\_\_\_\_  
 MAYOR CLERK-RECORDER (SEE SEAL BELOW)  
 APPROVED \_\_\_\_\_ ATTEST \_\_\_\_\_  
 CITY ATTORNEY CITY ENGINEER (SEE SEAL BELOW)

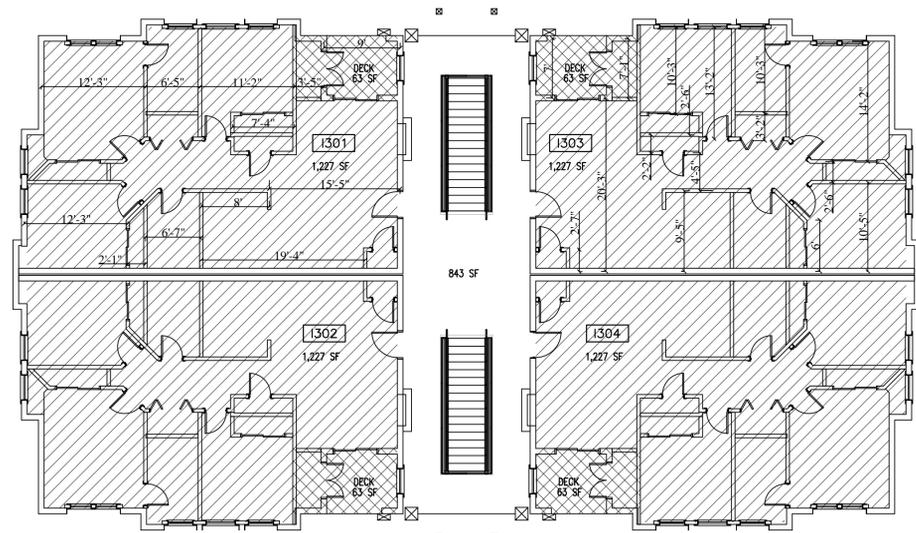
**PLANNING COMMISSION APPROVAL**  
 APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ BY THE  
 \_\_\_\_\_ HEBER CITY PLANNING COMMISSION  
 \_\_\_\_\_ DIRECTOR - SECRETARY \_\_\_\_\_ CHAIRMAN, PLANNING COMMISSION

**RANCH LANDING "B"**  
 PLAT  
 ALSO KNOWN AS  
**RANCH LANDING CONDOS**  
 A UTAH CONDOMINIUM PROJECT, \_\_\_\_\_ HEBER CITY, WASATCH COUNTY, STATE OF UTAH  
 SCALE: 1" = 30 FEET SHEET 1 OF 3

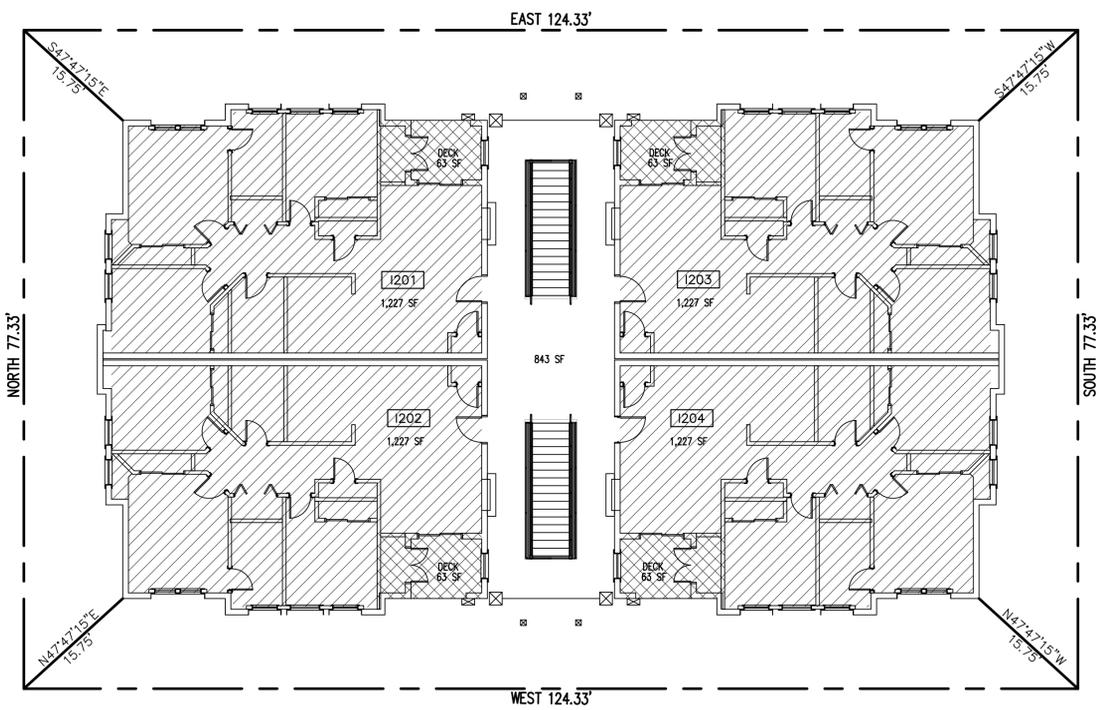
SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL



FIRST FLOOR PLAN

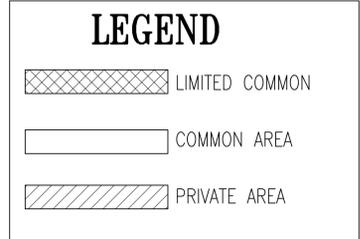


THIRD FLOOR PLAN



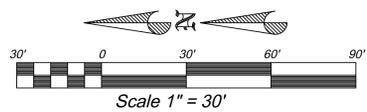
SECOND FLOOR PLAN

<b>1ST FLOOR</b>	
LIMITED COMMON	252 SF
COMMON AREA	843 SF
PRIVATE AREA	4,908 SF
<b>2ND FLOOR</b>	
LIMITED COMMON	252 SF
COMMON AREA	843 SF
PRIVATE AREA	4,908 SF
<b>3RD FLOOR</b>	
LIMITED COMMON	252 SF
COMMON AREA	843 SF
PRIVATE AREA	4,908 SF



NOTES:

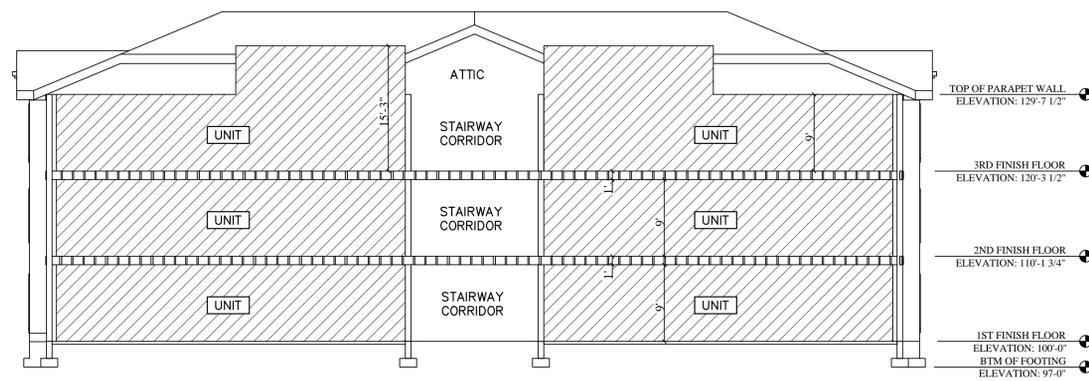
1. PLANS AND DIMENSIONS SHOWN ON THIS PLAT WERE COMPILED FROM ARCHITECTURAL DRAWINGS PREPARED BY LYTHGOE DESIGN GROUP, 370 SOUTH MAIN STREET HEBER, UTAH 84032 (435) 654-4064
2. ALL UNIT EXTERIOR DIMENSIONS ARE TO THE OUTSIDE WALL.
3. ALL UNIT INTERIOR DIMENSIONS ARE TO THE MIDDLE OF WALL.
4. FOR COMPLETE DESCRIPTION OF OWNERSHIP COVENANTS, RESTRICTIONS AND CONDITIONS REFER TO THE RANCH LANDING RECIPROCAL EASEMENT AGREEMENT BOOK \_\_\_\_\_, PAGES \_\_\_\_\_.
5. ALL PRIVATE, COMMON AND LIMITED COMMON AREAS EXTEND TO THE CENTER OF THE WALL.
6. ALL UNITS HAVE THE SAME INTERIOR DIMENSIONS.



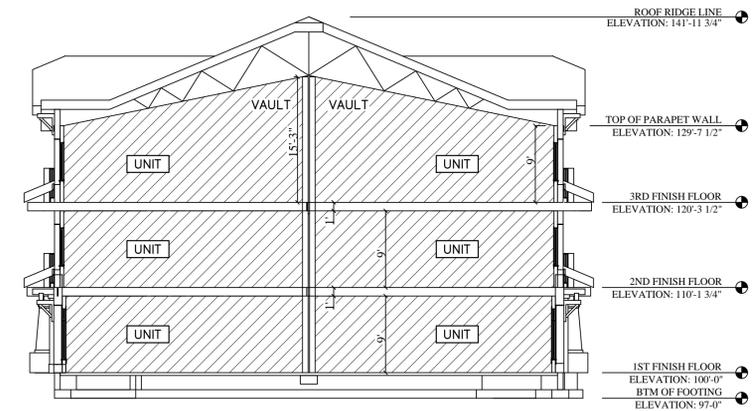
ADDRESS BLOCK	
UNIT	ADDRESS
FIRST FLOOR	
1101	1045 SOUTH 500 EAST UNIT 1101
1102	1045 SOUTH 500 EAST UNIT 1102
1103	1045 SOUTH 500 EAST UNIT 1103
1104	1045 SOUTH 500 EAST UNIT 1104
SECOND FLOOR	
1201	1045 SOUTH 500 EAST UNIT 1201
1202	1045 SOUTH 500 EAST UNIT 1202
1203	1045 SOUTH 500 EAST UNIT 1203
1204	1045 SOUTH 500 EAST UNIT 1204
THIRD FLOOR	
1301	1045 SOUTH 500 EAST UNIT 1301
1302	1045 SOUTH 500 EAST UNIT 1302
1303	1045 SOUTH 500 EAST UNIT 1303
1304	1045 SOUTH 500 EAST UNIT 1304

**RANCH LANDING**  
BUILDING "I"  
ALSO KNOWN AS  
**RANCH LANDING CONDOS**  
A UTAH CONDOMINIUM PROJECT, \_\_\_\_\_ HEBER \_\_\_\_\_ CITY, WASATCH COUNTY, STATE OF UTAH  
SCALE: 1" = 10 FEET SHEET 2 of 3

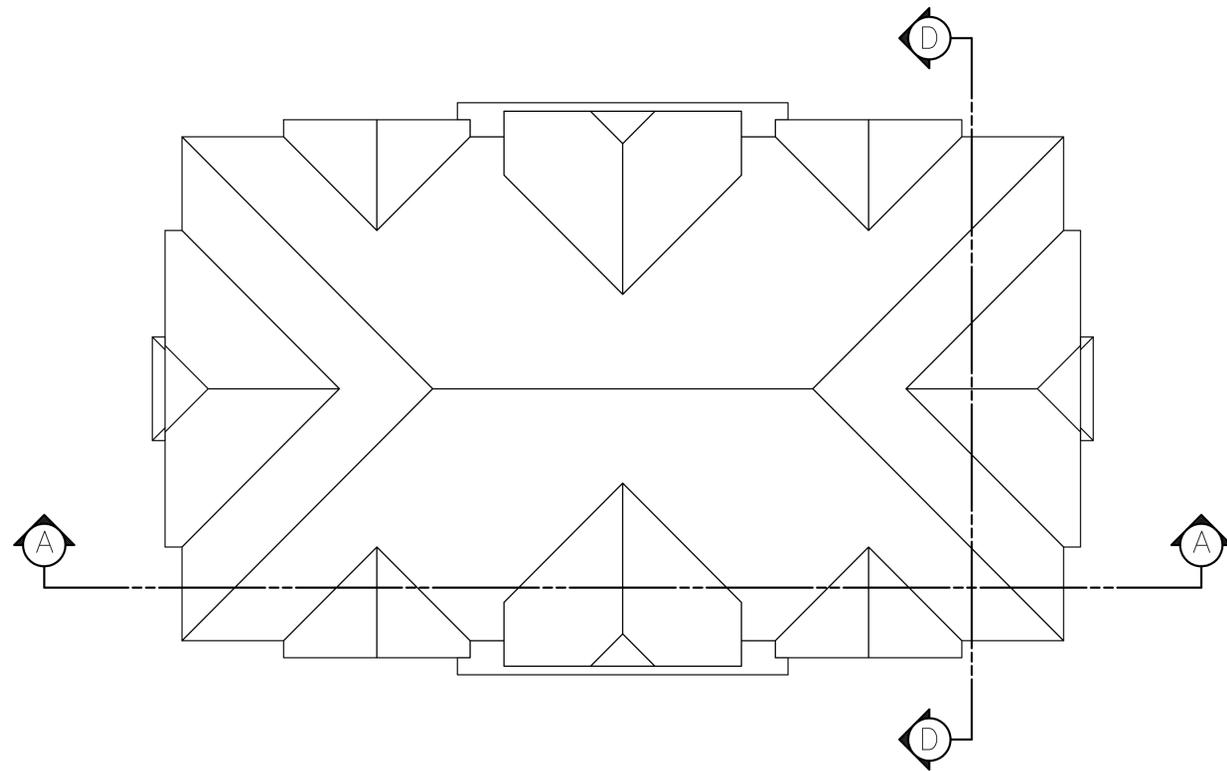
SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL
-----------------	--------------------	--------------------	---------------------



TYPICAL SECTION A-A



TYPICAL SECTION D-D



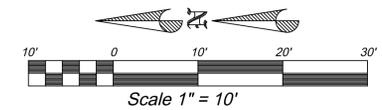
SECTION KEY

**LEGEND**

- LIMITED COMMON
- COMMON AREA
- PRIVATE AREA

**NOTES:**

1. PLANS AND DIMENSIONS SHOWN ON THIS PLAT WERE COMPILED FROM ARCHITECTURAL DRAWINGS PREPARED BY LYTHGOE DESIGN GROUP, 370 SOUTH MAIN STREET HEBER, UTAH 84032 (435) 654-4064
2. ALL UNIT EXTERIOR DIMENSIONS ARE TO THE OUTSIDE WALL.
3. ALL UNIT INTERIOR DIMENSIONS ARE TO THE MIDDLE OF WALL.
4. FOR COMPLETE DESCRIPTION OF OWNERSHIP COVENANTS, RESTRICTIONS AND CONDITIONS REFER TO THE RANCH LANDING RECIPROCAL EASEMENT AGREEMENT BOOK \_\_\_\_\_, PAGES \_\_\_\_\_.
5. ALL PRIVATE, COMMON AND LIMITED COMMON AREAS EXTEND TO THE CENTER OF THE WALL.
6. ALL UNITS HAVE THE SAME INTERIOR DIMENSIONS.



FINISHED FLOOR OF BUILDING ELEVATION 100'-0" = 5662.00'  
 BENCHMARK FOR RANCH LANDING IS THE SOUTH QUARTER CORNER MONUMENT OF SECTION 5, TOWNSHIP 4 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN. ELEVATION OF MONUMENT = 5664.08 FEET.

**RANCH LANDING**  
 BUILDING "I"  
 ALSO KNOWN AS  
**RANCH LANDING CONDOS**  
 A UTAH CONDOMINIUM PROJECT, \_\_\_\_\_ HEBER \_\_\_\_\_ CITY, WASATCH COUNTY, STATE OF UTAH  
 SCALE: 1" = \_\_\_\_\_ FEET SHEET 3 of 3

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL

## HEBER CITY PLANNING COMMISSION

Meeting date: February 13, 2014

Report by: Anthony L. Kohler

### **Re: Red Ledges Phase 1Q**

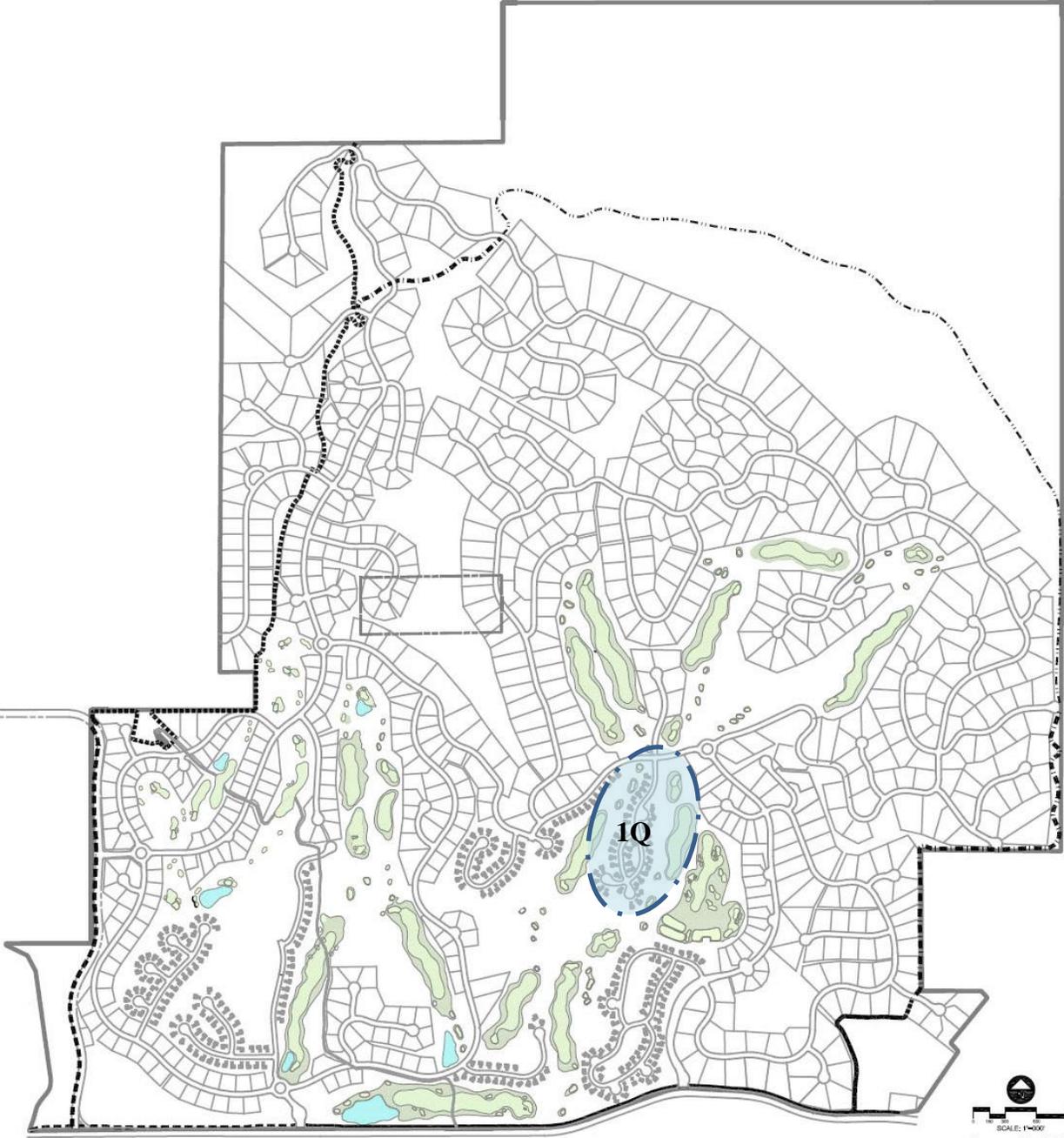
Red Ledges is proposing Phase 1Q, consisting of 22 lots. Red Ledges is proposing to change the housing product from 5,500 square foot patio lots to 8,000 square foot + Traditional Lots. The Master Plan for Red Ledges had a loop with 2 cul-de-sacs, and the current proposal is to have just one cul-de-sac. The number of lots in this vicinity has decreased as a result. The cul-de-sac is at the maximum length of 1320 feet permitted by the County Code, as the City and County agreed the Red Ledges streets would meet the requirements of the County Code. The end 2 lots, Lot 216 and 217, have a shared driveway. Lot 216, 217, 224, 225, and 226 extend partially into platted open space, requiring a vacation of a portion of previously recorded Red Ledges Plats.

### **RECOMMENDATION**

The proposed Phase 1Q is consistent with the Red Ledges Master Plan, the PC Planned Community Zone, Interlocal Agreement, and Master Plan Agreement, conditional upon the following:

1. The City Council will need to vacate a portion of an adjoining plat for part of Lots 216, 217, 224, 225, and 226;
2. The plat shall make clear that the Home Owners Association shall maintain the shared drive between Lot 216 and 217;
3. Provide an updated title report prior to recording the plat;
4. Provide addresses for the lots on the plat; and
5. Provide a tax clearance from county assessor prior to recording the plat.

Vicinity Map



728 West 100 South, #2  
Heber, UT 84032  
www.horrocks.com



Heber Office  
Tel: 435.654.2226  
Fax: 435.657.1160

February 5, 2014

Heber City Corporation  
Attn: Bart Mumford P.E.  
75 North Main  
Heber City, Utah 84032

**Subject: Red Ledges Phase 1Q – Final Plan Review**

Dear Bart:

Horrocks Engineers recently reviewed the plans for the Red Ledges Phase 1Q project located in the Red Ledges development. The following items need to be addressed with approval.

**General**

- All redline comments made to the final plans and the items discussed at DRC need to be addressed on the final approved plan set.
- Addresses need to be obtained for the plat.

**Streets/Storm Drain**

- The running slope of the cul-de-sac circle should be reduced to three percent or less if possible.
- The storm drain calculations need to be submitted and reviewed.

Please call our office with any questions or concerns regarding this project.

Sincerely,

HORROCKS ENGINEERS

A handwritten signature in blue ink that reads "Willa Motley".

Willa Motley, P.E.

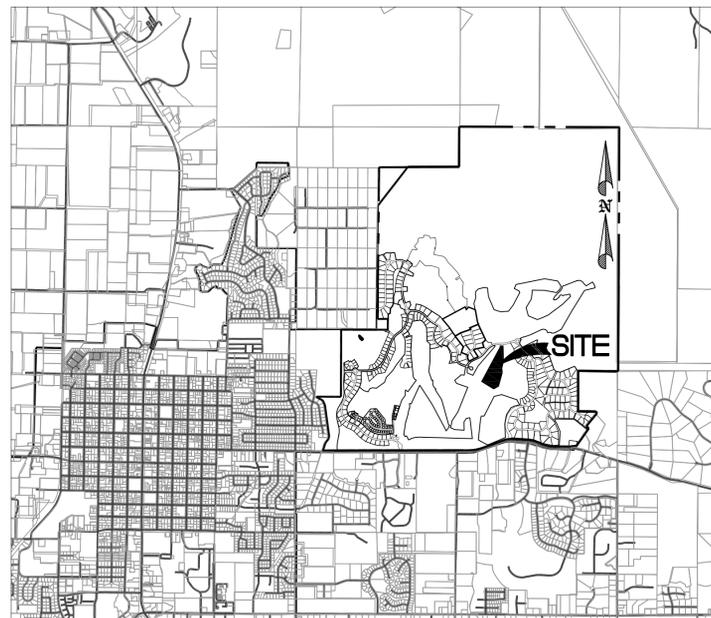
cc: file  
Red Ledges  
Wilding Engineering  
Heber Planning Department

# RED LEDGES PHASE 1Q

LOCATED IN THE WEST HALF OF SECTION 34,  
TOWNSHIP 3 SOUTH, RANGE 5 EAST, SALT LAKE BASE  
AND MERIDIAN  
WASATCH COUNTY, UTAH

## NOTES

- ALL OF THE PROPERTY INCLUDED IN THIS PLAT IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR RED LEDGES AND ANY AMENDMENTS THERETO ("DECLARATION") RECORDED IN THE OFFICE OF THE WASATCH COUNTY RECORDER IN HEBER CITY, UTAH. THE USE OF ANY RED LEDGES LOT IS GOVERNED BY THE TERMS OF THE DECLARATION. PURSUANT TO THE DECLARATION, ALL LOT OWNERS WITH RED LEDGES COMMUNITY ARE MEMBERS OF THE RED LEDGES COMMUNITY ASSOCIATION, INC. (THE "ASSOCIATION"). CERTAIN LOTS AND PARCELS MAY ALSO BE COVERED BY THE TERMS OF THE SUPPLEMENTAL DECLARATION AND NEIGHBORHOOD DECLARATIONS AS CONTEMPLATED BY THE TERMS OF THE DECLARATION. EACH LOT IS SUBJECT TO AND BENEFITED BY ALL EASEMENTS AND USE RIGHTS SET FORTH IN THESE PLAT NOTES, ON THIS PLAT AND IN THE DECLARATION TO THE EXTENT PROVIDED HEREIN AND IN THE DECLARATION.
- NO IMPROVEMENTS OR LANDSCAPING MAY BE MADE TO ANY LOT WITHOUT THE REVIEW AND APPROVAL OF THE DECLARANT OR, IF DELEGATED BY DECLARANT, THE ARCHITECTURAL REVIEW COMMITTEE OF RED LEDGES IN ACCORDANCE WITH THE DECLARATION AND THE RED LEDGES DESIGN GUIDELINES ("DESIGN GUIDELINES") AND ANY SUPPLEMENTAL DESIGN GUIDELINES WHICH MAY BE PROMULGATED THERE UNDER FROM TIME TO TIME, WHICH DESIGN GUIDELINES AND SUPPLEMENTAL DESIGN GUIDELINES INCORPORATE OR INCLUDE LIGHTING, LANDSCAPING, GRADING, SIGNAGE, AND OTHER GUIDELINES. THE DESIGN GUIDELINES REQUIRE THE ESTABLISHING OF STRICT LIMITS OF DISTURBANCE FOR ANY CONSTRUCTION ACTIVITY. CERTAIN LOTS IN VISUALLY SENSITIVE AREAS MAY BE SUBJECT TO SUPPLEMENTAL DESIGN GUIDELINES FOR SENSITIVE AREAS ("SUPPLEMENTAL DESIGN GUIDELINES") AS PROVIDED IN THE "DEVELOPMENT AGREEMENT" (DEFINED IN NOTE 9 BELOW). THE DECLARANT OR ARCHITECTURAL REVIEW COMMITTEE, WHICHEVER HAS DESIGN REVIEW AUTHORITY, IS REFERRED TO AS THE "DESIGN REVIEW ENTITY."
- DEVELOPMENT ON EACH LOT WILL BE LIMITED TO SPECIFIC BUILDING DISTURBANCE AREAS, OR "BUILDING ENVELOPES" DESIGNATED PURSUANT TO THE DESIGN GUIDELINES AND SUPPLEMENTAL DESIGN GUIDELINES. BUILDING ENVELOPES MAY BE ESTABLISHED IN THE DESIGN GUIDELINES AND SUPPLEMENTAL DESIGN GUIDELINES AND MODIFIED BY THE DECLARANT, OR THE ARCHITECTURAL REVIEW COMMITTEE, WITH THE CONSENT OF THE DECLARANT, IN THE EXERCISE OF THE DECLARANT'S (AND IF APPLICABLE ARCHITECTURAL REVIEW COMMITTEE'S) SOLE DISCRETION, PROVIDED SUCH BUILDING ENVELOPE SHALL INCORPORATE ALL APPLICABLE BUILDING SETBACKS UNDER THE DEVELOPMENT AGREEMENT (DEFINED IN NOTE 5 BELOW) THE MASTER PLAN (DEFINED IN NOTE 5 BELOW) AND THE DESIGN GUIDELINES SHALL COMPLY WITH ANY ADDITIONAL SETBACK REQUIREMENTS PROVIDED FOR IN THIS FINAL PLAT. THE MAXIMUM HEIGHT OF ANY STRUCTURE SHALL BE ESTABLISHED BY THE DESIGN GUIDELINES. OWNERS OF LOTS SHALL HAVE NO RIGHTS, EXPECTATIONS OR GUARANTEES WITH RESPECT TO THE FINAL LOCATION OF BUILDING SITE ON ANY LOT, THE PARTICULAR VIEW FROM ANY LOT, THE LOCATION, SCALE, OR HEIGHT OR OTHER DESIGN FEATURES, OR ANY IMPROVEMENTS THAT MAY BE APPROVED FOR CONSTRUCTION ON ANY LOT.
- RED LEDGES IS SERVED BY OR INCLUDED WITHIN THE BOUNDARIES OF TWIN CREEKS SPECIAL SERVICE DISTRICT (TCSSD) AND THE HEBER CITY FIRE SERVICE DISTRICT (HCFSD) AND HEBER CITY.
- RED LEDGES IS GOVERNED BY THE TERMS OF A MASTER PLAN APPROVED BY HEBER CITY. A SUBDIVISION AGREEMENT BETWEEN RED LEDGES LLC AND HEBER CITY, A DEVELOPMENT AGREEMENT BETWEEN HEBER CITY AND THE RED LEDGES LLC, AN ANNEXATION AGREEMENT BETWEEN HEBER CITY AND RED LEDGES, LLC, AND AN INTER LOCAL AGREEMENT BETWEEN RED LEDGES LLC, HEBER CITY, TWIN CREEKS SPECIAL SERVICE DISTRICT AND WASATCH COUNTY. THE ABOVE REFERENCED AGREEMENTS GOVERN USE AND IMPOSES REGULATIONS APPLICABLE WITHIN RED LEDGES.
- ALL ROADS WITHIN RED LEDGES ARE PRIVATE AND WILL BE MAINTAINED BY THE ASSOCIATION SUBJECT TO THE TERMS OF THE DECLARATION. PRIVATE DRIVEWAYS SERVING INDIVIDUAL RESIDENCES AND THE LANDSCAPING ON EACH LOT SHALL BE THE MAINTENANCE RESPONSIBILITY OF THE LOT OWNER. GUARDBOUSES, GATES, LANDSCAPING, SIGNAGE AND OTHER SIMILAR FACILITIES CONSTRUCTED WITHIN THE ROAD RIGHTS OF WAY OR ADJOINING COMMON AREA PARCELS. PRIVATE DRIVEWAYS AND OTHER IMPROVEMENTS SERVING MORE THAN ONE LOT SHALL BE THE SHARED MAINTENANCE RESPONSIBILITY OF THE OWNERS OF THE LOTS SERVED THEREBY, PROVIDED THE ASSOCIATION MAY, IN ITS SOLE DISCRETION, UNDERTAKE THE MAINTENANCE OF SUCH SHARED FACILITIES AND ESTABLISH SPECIAL ASSESSMENTS APPLICABLE TO THE BENEFITED LOTS TO COVER THE COSTS OF SUCH MAINTENANCE. AT THE TIME OF ANY RESURFACING OF ROADS WITHIN RED LEDGES, THE ASSOCIATION SHALL BE RESPONSIBLE TO RAISE MANHOLES TO GRADE, ACCORDING TO HEBER CITY SPECIFICATIONS. COMMON AREA TRACTS ARE NOT TO BE CONSTRUCTED TO BE DEDICATED FOR THE USE OF THE GENERAL PUBLIC BUT ARE DECLARED COMMON AREAS FOR THE USE AND ENJOYMENT OF THE ASSOCIATION AND LOT OWNERS WITHIN THE ENTIRE RED LEDGES COMMUNITY.
- RED LEDGES CONTAINS EXTENSIVE AREAS OF OPEN SPACE. OPEN SPACE AREAS DESIGNATED ON THE PLAT SHALL BE PRESERVED IN OPEN SPACE CONDITION IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEVELOPMENT AGREEMENT, DESIGN GUIDELINES AND THE DECLARATION.
- ALL LOTS ARE SUBJECT TO A 10 FOOT WIDE PUBLIC AND PRIVATE NON-EXCLUSIVE UTILITY AND DRAINAGE EASEMENT ALONG ALL LOT LINES. DECLARANT RETAINS THE RIGHT TO GRANT ADDITIONAL UTILITY EASEMENTS WITHIN RED LEDGES. ALL ROAD RIGHT OF WAY AND OPEN SPACES SHOWN ON THIS PLAT ARE SUBJECT TO DECLARANT'S RIGHT TO GRANT EASEMENTS FOR UTILITIES.
- EACH LOT IS SUBJECT TO ADDITIONAL EASEMENTS FOR DRAINAGE, NATURAL DRAINAGE WAYS, TRAILS, UTILITIES AND OTHER MATTERS WHICH MAY AFFECT PORTIONS OF LOTS OUTSIDE OF THE PORTION OF THE LOT COVERED BY RESIDENTIAL IMPROVEMENTS. THESE EASEMENTS ARE IN ADDITION TO EASEMENTS GRAPHICALLY DESCRIBED ON THE PLAT. DECLARANT ALSO RESERVES PERMANENT EASEMENTS ACROSS THE PORTIONS OF LOTS ALONG ROADWAYS AND OUTSIDE OF THE RESERVED ROAD CORRIDOR FOR THE FINISHING OF CUT AND FILL SLOPES REQUIRED TO COMPLETE THE ROADS IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY HEBER CITY.
- TWIN CREEKS, HEBER CITY AND PUBLIC UTILITY COMPANIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY AND DEDICATED EASEMENTS IDENTIFIED ON THIS PLAT MAP. PRIVATE ROADS, TRAIL EASEMENTS AND OPEN SPACE AREAS AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.
- ALL LOT CORNERS WILL BE SET WITH A 5/8" REBAR AND ORANGE CAP MARKED WILDING ENGINEERING INC
- THE RECREATIONAL FACILITIES DEVELOPED ON THE SUBJECT PROPERTY AND OPERATED AS PART OF THE RED LEDGES CLUB ARE NOT COMMON AREA OF PROPERTY OWNERS' ASSOCIATION, BUT RATHER ARE PRIVATELY OWNED. THE USE OF SUCH FACILITIES MAY ONLY BE OBTAINED BY ACQUIRING A MEMBERSHIP AT RED LEDGES CLUB AND PAYING THE REQUISITE FEES AND CHARGES ASSOCIATED THERE WITH. OWNERSHIP OF A RESIDENCE OR HOMESITE IN RED LEDGES DOES NOT GIVE ANY VESTED RIGHT OR EASEMENT, PRESCRIPTIVE OR OTHERWISE, TO USE SAID RECREATIONAL FACILITIES AND DOES NOT GRANT ANY OWNERSHIP OR MEMBERSHIP INTEREST IN RED LEDGES CLUB OR ITS FACILITIES. THE DECLARATION ESTABLISHES CERTAIN RIGHTS AND EASEMENTS IN FAVOR OF THE RED LEDGES CLUB.
- ALL STORM WATER IMPROVEMENTS AND EASEMENTS ARE DEDICATED TO RED LEDGES COMMUNITY ASSOCIATION, INC. AND ARE TO BE MAINTAINED BY THE ASSOCIATION.
- ALL UNITS WITHIN THIS DEVELOPMENT SHALL BE FIRE SPRINKLED.



VICINITY MAP

EXECUTED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

BY: RED LEDGES LAND DEVELOPMENT, INC.,  
A FLORIDA CORPORATION

ITS: VICE PRESIDENT, TODD R. CATES

## ACKNOWLEDGMENT

STATE OF UTAH }  
COUNTY OF WASATCH }

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

BY \_\_\_\_\_

NOTARY PUBLIC:

MY COMMISSION EXPIRES:

RESIDING AT:

## SURVEYOR'S CERTIFICATE

I, GREGORY D. WILDING, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 6418582 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE PARCELS OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

DATE

## PROPERTY DESCRIPTION:

BEGINNING AT A POINT NORTH 89°48'57" EAST 1224.65 FEET AND NORTH 1973.78 FEET FROM THE SOUTHWEST CORNER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 57°24'18" WEST 131.09 FEET; THENCE NORTH 29°33'19" WEST 104.32 FEET TO A POINT ON THE RED LEDGES PHASE 1 AMENDED PLAT SUBDIVISION BOUNDARY; THENCE ALONG SAID BOUNDARY THE FOLLOWING FIVE (5) COURSES: 1) NORTH 58°36'22" WEST 320.70 FEET; 2) NORTH 28°08'06" EAST 1284.33 FEET; 3) NORTH 02°36'17" EAST 41.92 FEET; 4) SOUTH 88°52'38" EAST 97.15 FEET; 5) SOUTH 01°32'14" EAST 450.71 FEET; THENCE LEAVING SAID BOUNDARY, SOUTH 61°13'58" EAST 34.91 FEET; THENCE SOUTH 08°07'27" EAST 86.76 FEET; THENCE SOUTH 28°30'59" WEST 193.62 FEET TO A POINT ON THE RED LEDGES PHASE 1 AMENDED PLAT SUBDIVISION BOUNDARY; THENCE ALONG SAID BOUNDARY THE FOLLOWING FOUR (4) COURSES: 1) SOUTH 12°43'51" WEST 10.73 FEET; 2) SOUTH 05°58'08" EAST 147.36 FEET; 3) SOUTH 15°14'32" WEST 463.63 FEET; 4) SOUTH 61°35'29" WEST 17.97 FEET; THENCE LEAVING SAID BOUNDARY, SOUTH 12°58'47" WEST 61.04 FEET; THENCE SOUTH 41°09'42" WEST 141.06 FEET; TO THE POINT OF BEGINNING.

CONTAINS 12.49 ACRES, MORE OR LESS.

## BASIS OF BEARINGS:

THE BASIS OF BEARING FOR THIS PLAT IS SOUTH 89°48'57" WEST BETWEEN THE SOUTHWEST CORNER OF SECTION 34 AND THE SOUTH QUARTER CORNER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN.

## NARRATIVE:

THIS PROPERTY IS AN INTERNAL PHASE OF THE RED LEDGES PROJECT. SEE THE RECORD OF SURVEY ON FILE WITH THE WASATCH COUNTY SURVEYORS OFFICE FOR THE BOUNDARY SURVEY OF THE RED LEDGES PROJECT.

## OWNER'S DEDICATION AND CONSENT TO RECORD

KNOWN ALL MEN BY THESE PRESENT: THAT THE UNDERSIGNED IS THE OWNER OF THE HEREOF DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS "RED LEDGES PHASE 1Q", DOES HEREBY DEDICATE TO RED LEDGES COMMUNITY ASSOCIATION INC. ALL PARCELS OF LAND INDICATED ON THIS PLAT AS PRIVATE ROADWAYS FOR PERPETUAL USE FOR ACCESS, INGRESS AND EGRESS OF THE LOT OWNERS WITHIN THE RED LEDGES COMMUNITY AND DOES HEREBY SET ASIDE ALL PARCELS OF LAND DESIGNATED AS OPEN SPACE FOR SUCH USE BY RED LEDGES COMMUNITY ASSOCIATION INC. AND THE LOT OWNERS WITHIN THE RED LEDGES COMMUNITY AS MAY BE PERMITTED BY THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR RED LEDGES AND SUBJECT TO AND IN ACCORDANCE WITH SUCH RULES AND REGULATIONS AND MAY BE APPROVED BY THE RED LEDGES COMMUNITY ASSOCIATION INC.

ALSO, THE OWNER HEREBY GRANTS TO WASATCH COUNTY, HEBER CITY, TWIN CREEKS SSD AND WASATCH COUNTY FIRE DISTRICT, A NON-EXCLUSIVE EASEMENT OVER PRIVATE ROADS, PRIVATE DRIVEWAYS, INDICATED COMMON AREA TRACTS AND ALL OTHER EASEMENTS SHOWN ON THIS PLAT FOR THE PURPOSE OF PROVIDING UTILITY INSTALLATION, MAINTENANCE, OPERATION, AND EVENTUAL REPLACEMENT.

ALSO, ALL PUBLIC TRAILS SHOWN ON THIS PLAT ARE HEREBY DEDICATED FOR USE BY THE PUBLIC IN PERPETUITY.

## RED LEDGES PHASE 1Q

LOCATED IN THE WEST HALF OF SECTION 34,  
TOWNSHIP 3 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN  
WASATCH COUNTY, UTAH

## RECORDED

ENTRY NO. \_\_\_\_\_, BOOK \_\_\_\_\_, PAGE \_\_\_\_\_  
STATE OF \_\_\_\_\_ UTAH, COUNTY OF \_\_\_\_\_ WASATCH  
DATE \_\_\_\_\_ TIME \_\_\_\_\_  
RECORDED AND FILED AT THE REQUEST OF: \_\_\_\_\_

## COUNTY SURVEYOR

APPROVED AS TO FORM ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

ROS# \_\_\_\_\_

COUNTY SURVEYOR

## APPROVAL AS TO FORM

APPROVED ON:  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

TWIN CREEKS SPECIAL SERVICE DISTRICT MANAGER

## APPROVAL AS TO FORM

APPROVED AS TO FORM ON:  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

HEBER CITY MAYOR

ATTESTED BY HEBER CITY RECORDER

## APPROVAL AS TO FORM

APPROVED ON:  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

CITY ENGINEER

## APPROVAL AS TO FORM

APPROVED AND ACCEPTED BY:  
THE HEBER CITY PLANNING CHAIRMAN.  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

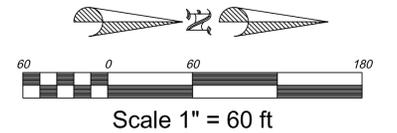
CHAIRMAN

G:\DATA\10093 Red Ledges\dwg\Plat\RL Phase 1Q Plat.dwg  
PLOT DATE: Jan 14, 2014



# RED LEDGES PHASE 1Q

LOCATED IN THE WEST HALF OF SECTION 34,  
TOWNSHIP 3 SOUTH, RANGE 5 EAST, SALT LAKE BASE  
AND MERIDIAN  
WASATCH COUNTY, UTAH

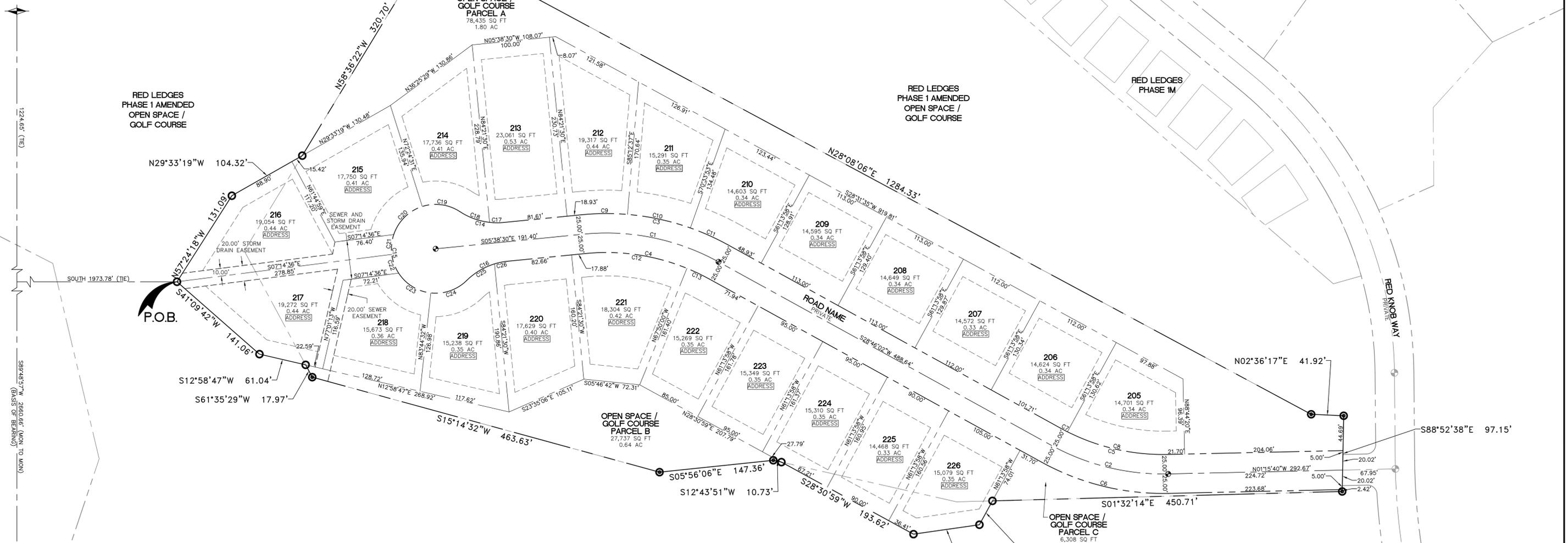


SOUTHWEST CORNER SECTION 34,  
TOWNSHIP 3 SOUTH, RANGE 5 EAST,  
SALT LAKE BASE AND MERIDIAN  
FOUND BRASS CAP PER RED LEDGES  
PHASE 1 AMENDED SUBDIVISION PLAT

RED LEDGES  
PHASE 1 AMENDED  
OPEN SPACE /  
GOLF COURSE

RED LEDGES  
PHASE 1 AMENDED  
OPEN SPACE /  
GOLF COURSE

RED LEDGES  
PHASE 1M



1224.65' (TIF)  
 1224.65' (TIF)  
 5893.57' (NON TO MON)  
 5893.57' (NON TO MON)

SOUTH QUARTER CORNER SECTION 34,  
TOWNSHIP 3 SOUTH, RANGE 5 EAST,  
SALT LAKE BASE AND MERIDIAN  
FOUND BRASS CAP PER RED LEDGES  
PHASE 1 AMENDED SUBDIVISION PLAT

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	180.16'	300.00'	34°24'32"	S11°33'46"W	177.47'
C2	157.23'	300.00'	30°01'42"	S13°45'11"W	155.43'
C3	195.18'	325.00'	34°24'32"	S11°33'46"W	192.26'
C4	165.15'	275.00'	34°24'32"	S11°33'46"W	162.68'
C5	144.13'	275.00'	30°01'42"	N13°45'11"E	142.48'
C6	170.33'	325.00'	30°01'42"	N13°45'11"E	168.39'
C7	10.29'	275.00'	2°08'38"	N27°41'43"E	10.29'
C8	133.84'	275.00'	27°53'04"	N12°40'52"E	132.52'
C9	59.17'	325.00'	10°25'53"	S00°25'33"E	59.09'
C10	83.07'	325.00'	14°38'44"	S12°06'45"W	82.85'
C11	52.93'	325.00'	9°19'55"	S24°06'04"W	52.88'
C12	133.47'	275.00'	27°48'29"	S08°15'45"W	132.16'
C13	31.68'	275.00'	6°36'03"	S25°28'01"W	31.66'
C14	59.60'	88.00'	38°48'09"	N13°45'35"E	58.46'
C15	256.28'	57.00'	25°36'18"	N84°21'30"E	88.84'
C16	59.60'	88.00'	38°48'09"	S25°02'34"E	58.46'
C17	18.52'	88.00'	12°03'36"	N00°23'19"E	18.49'
C18	41.07'	88.00'	26°44'32"	N19°47'23"E	40.70'
C19	50.49'	57.00'	50°45'08"	S07°47'05"W	48.86'
C20	53.36'	57.00'	53°38'15"	S44°24'36"E	51.43'
C21	25.88'	57.00'	26°00'52"	S84°14'10"E	25.66'
C22	25.88'	57.00'	26°00'51"	N69°44'59"E	25.66'
C23	50.22'	57.00'	50°29'04"	N31°30'01"E	48.61'
C24	50.44'	57.00'	50°42'07"	N19°05'35"W	48.81'
C25	42.14'	88.00'	27°26'16"	S30°43'31"E	41.74'
C26	17.45'	88.00'	11°21'54"	S11°19'26"E	17.43'

G:\DATA\10093 Red Ledges\dwg\Plat\RL Phase 1Q Plat.dwg  
PLOT DATE: Jan 14, 2014



**LEGEND**

- SECTION LINE
- FOUND SECTION CORNER
- SET 5/8 REBAR AND CAP (WILDING ENGINEERING) PROPERTY LINE
- FOUND REBAR AND CAP (JACK JOHNSON COMPANY) PROPERTY LINE

NOTE:  
-REAR LOT CORNERS TO BE SET WITH WILDING ENGINEERING REBAR AND CAP.  
-FRONT LOT CORNERS TO BE SET WITH RIVET IN CURB AT EXTENSION OF PROPERTY LINE.

- STREET MONUMENT (TO BE SET) FOUND STREET MONUMENT

**BUILDING SETBACKS PER TABLE BELOW**

LOT SIZE	FRONT (FT)	SIDE (FT)	REAR (FT)
5,000 - 20,000 SF	30 FROM ROW	SEE NOTE 1	20

SETBACK NOTES:  
1. 20 FEET TOTAL WITH NO LESS THAN 10 FEET ON ONE SIDE.

**SHEET 2 OF 2**

**RECORDED**

ENTRY NO. \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
STATE OF \_\_\_\_\_ COUNTY OF \_\_\_\_\_ WASATCH  
DATE \_\_\_\_\_ TIME \_\_\_\_\_  
RECORDED AND FILED AT THE REQUEST OF: \_\_\_\_\_

**Red Ledges Development**  
 Report on Amenity Status and Phasing  
 February 13, 2014

Phasing has occurred different than originally anticipated from the original Master Plan. The city has a Master Plan Agreement between Red Ledges and the City found in Book 943 page 118, recorded on June 19, 2007 in the County Recorder's Office. This agreement specifies certain amenities to be built in conjunction with different phases. Some of these amenities have been constructed earlier than anticipated such as the Lake Creek Trail.

Since the phasing numbers have been flexible, the City should instead consider utilizing the number of lots as the trigger for future amenities. Currently, 493 lots have been platted or are in process, which means that for amenity phasing, the development is pretty much on track with the Master Plan Agreement.

One deviation from the agreement is the trails through phase 1 and 2B have not been constructed. The equestrian eastern trail would dead connect to Lake Creek Road and dead end up the hill. And the western trail would not connect to a public road. Once 642 lots have been platted, the Bypass trail, Clubhouse, and waterline relocation will need to be constructed.

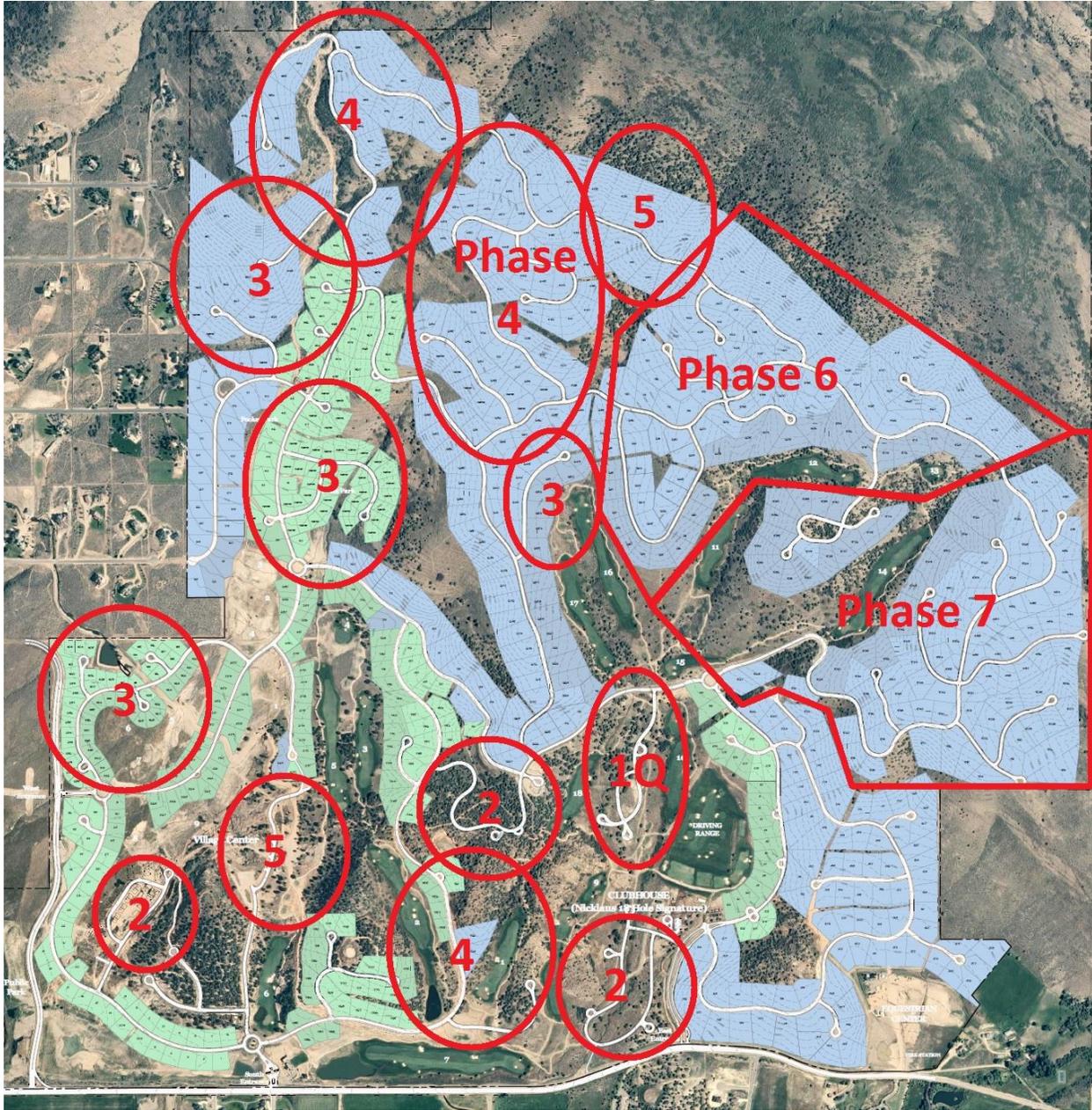
**Master Phasing Plan**

<b>Phase</b>	<b>Amenity</b>	<b>Status</b>	<b>Phase Lots</b>	<b>Lot Running Total</b>
1	Golf Course	<b>Complete</b>	201	201
	Lake Creek Rd.	<b>Complete</b>		
2	Clubhouse	In-process	172	373
3	Tennis Center	<b>Complete</b>	269	642
	Relocate water lines to tank	Construct with Phase 1P		
	Bypass trail	-		
4	Lake Creek Dr.	<b>Complete</b>	205	847
	Lake Cr. Trail	<b>Complete</b>		
	Equestrian Facility	Functioning		
	Ph. 4 Trails	-		
5	Ph. 5 Trails	-	173	1020
	Park	-		
6	Ph. 6 Trails	-	186	1206
7	Ph. 7 Trails	-	164	1370
	Bypass	October 31, 2016		
<b>Total</b>			<b>1370</b>	<b>1370</b>

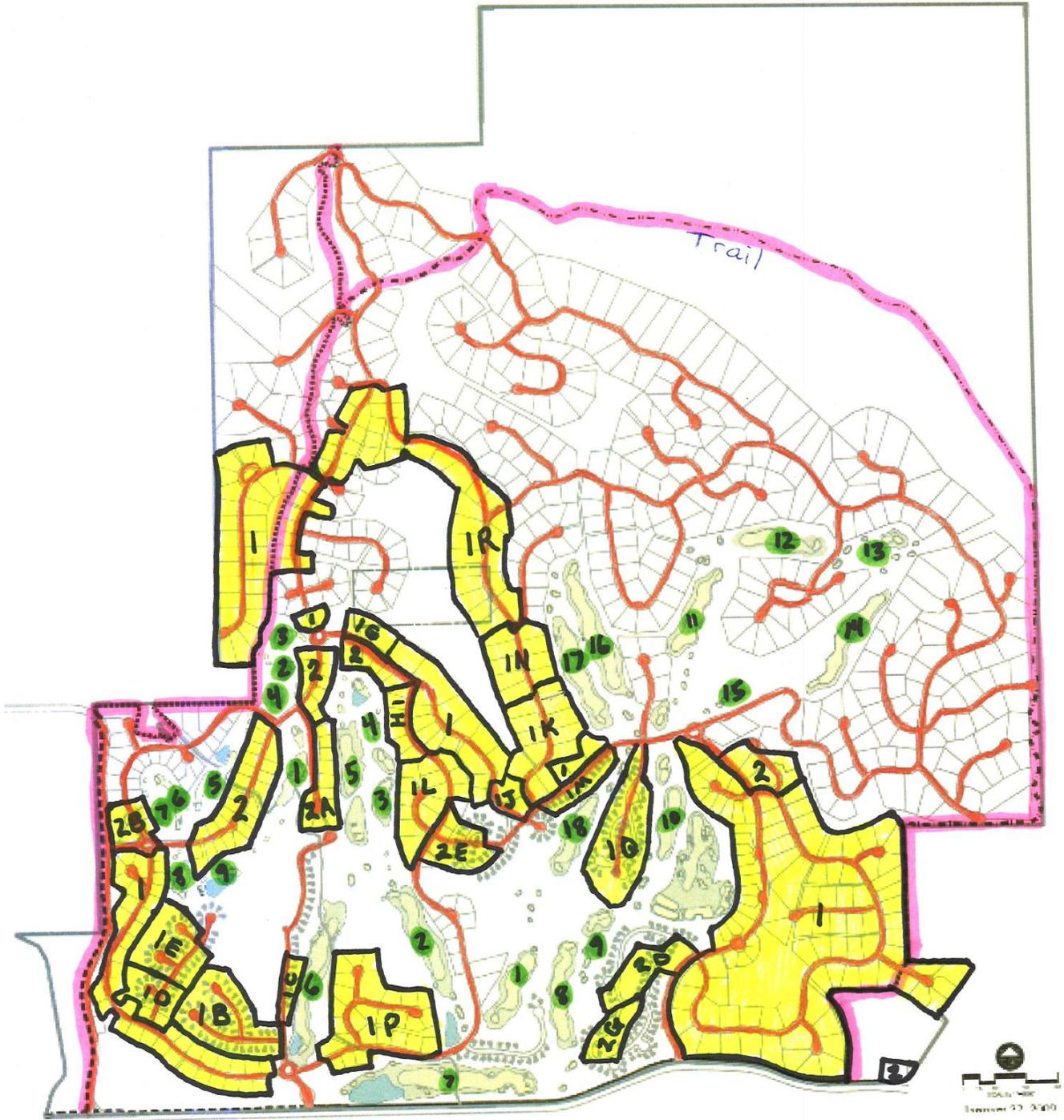
**Summary of Red Ledges Plats February 4, 2014**

<b>Plat</b>	<b>Status</b>	<b>Approval/Record Date</b>	<b>Construction Status</b>	<b>Units</b>	<b>Type</b>
Phase 1 Amd.	Recorded	8-7-08	-	204	Estate
Cabins Phase 1B Amd.	Recorded	2-13-09	-	41	Patio
Phase 2	Recorded	8-7-08	-	39	Estate
Phase 1G	Recorded	8-10-12	-	3	Estate
Phase 1H	Recorded	8-30-12	Unbuilt	5	Estate
Phase 1J	Recorded	8-10-12	-	2	Estate
Phase 1K	Recorded	3-15-13	Unbuilt	12	Estate
Cabins Phase 1M	Recorded	3-26-13	-	12	Patio
Phase 1L	Recorded	3-15-13	Unbuilt	14	Estate
Phase 1N	Recorded	10-15-13	Unbuilt	9	Estate
Phase 2 Lot 78 Amd.	Recorded	8-10-12	-	-	Estate
Phase 2a	Recorded	12-15-11	Unbuilt	11	Estate
Phase 2B Villas	Recorded	10-22-12	-	7	Traditional
Phase 2D Club Villas	Recorded	11-22-13	Unbuilt	9	Patio
Phase 1C Villas Amd.	Recorded	1-27-12	-	5	Patio
Red Ledges Villas 1D	Recorded	5-11-10	-	10	Patio/Trad.
Red Ledges Villas 1E	Recorded	6-10-13	Unbuilt	8	Patio
Lot 405 & 406 Amd	Approved	7-18-13	-	-1	Estate
Phase 1P	Approved	12-5-13	Unbuilt	25	Estate
Phase 1R	Approved	1-2-14	Unbuilt	38	Estate
Phase 2E	Approved	2-6-14	Unbuilt	8	Patio
Phase 2G	In-process	2014	Unbuilt	10	Patio
Phase 1Q	In-process	2014	Unbuilt	22	Patio
<b>Total</b>				<b>493</b>	

# Revised Phasing Plan



**Red Ledges Phase Locations**  
February 4, 2014



Heber City Planning Commission  
Meeting date: February 13, 2014  
Report by: Anthony L. Kohler

**Re: On-street angled Parking in the Downtown C-3 Zone**

At the last meeting, the Planning Commission discussed the possibility of allowing some on-street angled parking to be included in the calculation for off-street parking. Part of the rationale in doing this is to promote property owners and developers in the downtown to construct angled parking because this usually results in twice the amount of available on-street parking versus parallel parking.

Section P. of the parking ordinance specifies that the typical 5 to 1,000 parking space ratio MAY be reduced to a 3 to 1,000 ratio in the downtown zone. The city might consider making the 3 to 1,000 ratio the standard retail, office, and restaurant parking ratio in the C-3 Zone and place it in a new section "V" as shown included below with the angled on-street parking provision. The additions are shown underlined and deletions as strike-out. Staff is asking for direction on the proposed amendment.

**Section 18.72.030 Parking Spaces Designated**

P. Retail stores, personal service shops and other business buildings not specifically mentioned elsewhere in this section shall have parking space at the rate of five spaces per one thousand square feet of floor area; ~~except that in any zone designated as central commercial zone, parking space may be reduced to three spaces per one thousand square feet of floor space;~~

V. C-3 Central Commercial Zone Parking. Retail, office, restaurant and government uses in the C-3 Central Commercial Zone shall have at least three spaces per one thousand square feet of floor space; One-half (1/2) of available angled on-street parking along a parcel's frontage may be counted towards the requirements for meeting the off-street parking requirements for said uses within the C-3 Central Commercial Zone.

# Planning Commission Review of Actions – 2013

## January:

There was no meeting in January.

## February:

- Red Ledges Land Development requests Subdivision Final Approval for Subdivision Plat Phase 1M, a 12 lot phase, located in the Red Ledges Development on Red Knob Way. The main entrance to the Red Ledges Development is at 1851 East Center Street (Lake Creek Drive).
- Red Ledges Land Development requests Subdivision Final Approval for Subdivision Plat Phase 1E, an eight lot phase, located in the Red Ledges Development on Abajo Peak Way. The main entrance to the Red Ledges Development is at 1851 East Center Street (Lake Creek Drive).
- Review of 2012 Planning Commission Actions - Discussion of Goals for 2013
- Adoption of the 2013 Annual Planning Commission Meeting Schedule and Work Plan
- Consideration of Amendments to the Planning Commission Bylaws

## March:

- Mark Miller requests approval of proposed Plat Amendment to the Miller Lot Split located at 355 South 100 West
- Millstream Properties, LLC requests Final Commercial Development Approval for a 4,000 square foot addition located at 1969 South Wendell Lane
- Discuss the sign ordinance and electronic readerboard (LED) signs
- Discuss Tree Board related issues

## April:

- Michael Green requests Subdivision Final Approval for the Green Condominiums located at 35 South and 45 South Main Street
- Blake Allen requests a Lot Split Amendment of property located at 494 East Center Street, also known as the Clyde Property

**May:**

- McDonald's Corporation requests Commercial Development Approval for a restaurant at 610 South Main Street
- Mrs. Call's Candy requests Commercial Development Approval for a building at 1000 South 300 West

**June:**

- Discussion on Bee Keeping
- McDonald's Corporation requests Final Commercial Development Approval for a restaurant at 610 South Main Street
- Neil Muir requests a small subdivision / lot split of property located at 188 East 500 South
- Christopher Christensen requests a Plat Amendment to Red Ledges Phase 1K for Lots 405 and 406 located on Explorer Peak Drive
- Blake Allen requests a small subdivision / lot split of property located at 211 South 200 West, the southeast corner of the intersection of 200 West and 200 South

**July:**

- Public Hearing to consider adoption of proposed Beekeeping Ordinance
- Watts Enterprises requests a Master Plan Amendment/Concept Approval for the Ranch Landing Development located at 500 East and approximately 800 South

**August:**

- Nathan Haack requests approval of the Haack Subdivision, a small subdivision located at approximately 850 East Center Street
- Haskell Homes requests Subdivision Final Approval for the Swift Creek Subdivision located south of Aspen Pointe Subdivision, north of Majestic Mountain Subdivision, west of Noble Visa Subdivision and Brown Estates approximately between 900 South to 1100 South and 800 East to 1000 East, located in the Southeast quarter of Section 5, Township 4 South, Range 5 East, SLB&M
- Boyer Company requests approval of a single family home development located at Industrial Parkway and 1200 South

- Red Ledges requests Subdivision Final Approval for Red Ledges Subdivision Phase 2D, located in the Red Ledges Development in the vicinity of Red Ledges Blvd. The main entrance to the Red Ledges Development is at 1851 East Center Street (Lake Creek Drive)
- Consideration of proposed 4.014 acre Gardner Annexation at 2530 South Southfield Road for airport land owned by Heber City

**September:**

- Public Hearing to consider Subdivision Preliminary Approval of the Ranch Landing Cottages, a single-family home subdivision located at approximately 970 South and 500 East
- America First Credit Union requests Final Commercial Development Approval for a credit union located at 235 West 1300 South, Lot 1 of the Valley Station 2 Subdivision
- Boyer Company requests concept approval of a single family home development located at Industrial Parkway and 1200 South, in Valley Station, which is in the Mixed Use Residential Commercial Zone
- Red Ledges requests Subdivision Final Approval for Red Ledges Subdivision Phase 1N, located on Explorer Peak Drive. The main entrance to the Red Ledges Development is at 1851 East Center Street (Lake Creek Drive).

**October:**

- Michael and Sharon Seiter request Commercial Development Approval of a Cabinet Shop Addition for property located at 790 South 300 West

**November:**

- Red Ledges requests Subdivision Final Approval of Red Ledges Phase 1P located on Copper Belt Drive near the intersection of Red Ledges Village Way. The main entrance to the Red Ledges Development is at 1851 East Center Street (Lake Creek Drive)

**December:**

- Presentation by Oakwood Homes on the Cottages at Valley Station Subdivision, located in the Valley Station Subdivision between 1000 South and 1300 South and between 300 West and Industrial Parkway.
- Peter Bollenbecker requests approval of a Small Subdivision / Lot Split, Lot 39 and 39A of Red Ledges Phase 1 Amended Subdivision Plat. Lots 39 and 39A located at the intersection of Chimney Rock and Flat Top Mountain Drive. The main entrance to the Red Ledges Development is at 1851 East Center Street (Lake Creek Drive).

- Red Ledges requests Subdivision Final Approval of the Red Ledges Phase 1R Subdivision Plat located at Explorer Peak Drive and Chimney Rock Road. The main entrance to the Red Ledges Development is at 1851 East Center Street (Lake Creek Drive).

ID	File No	Application Date	Hearing Date	Project Name	Location	Request	Applicant	Description	Agent	Coordinator
868	13-043	07-Mar-13	03/14/2013	Gardner Annexation	South of Airport	Annexation	City			
829	13-010			Airport Road Warehouse Condominiums	1969 South Wendell Lane	Commercial Development Approval	Millstream Properties LLC		Brad Lyle	
833	13-014	11-Apr-13	05/09/2013	McDonald's Restaurant	610 South Main Street	Commercial Development Approval	McDonald's Corporation	Commercial Development Approval and bldg will be on the lot south of the current McDonalds	E. Farley Eskenson	Dominion Engineers
834	13-015	23-Apr-13	05/09/2013	Mrs. Calls Candy Building	1000 South 300 West	Commercial Development Approval	Mrs. Calls	Commercial Development Approval / Candy Factory	Ryan Bybee	Architectural Coalition
837	13-018	20-May-13	06/13/2013	CBJ West 355 W. 600 S.	355 West 600 South	Commercial Development Approval	Brian Lee		Lane Lythgoe	Lythgoe Design Group
853	13-033	24-Sep-13	10/10/2013	Seiter Cabinet Shop Addition	790 South 300 West	Commercial Development Approval	Michal and Sharon Seiter	70' x 70' Addition to Seiter Cabinet Shop	George Bennett	George Bennett
862	13-039	11-Dec-13	01/09/2014	Old High School Commercial Concept	600 South Main Street	Commercial Development Approval	Wasatch School District	10 lots	Paul Berg	Keith Johansen
849	13-029	12-Aug-13	09/12/2013	America First Credit Union	235 West 1300 South	Commercial Development Approval	America First Credit Union	1.6 acres / in Valley Station (Phase 2 I think)	Brandon Preece	Great Basin Engineering South
828	13-009	21-Feb-13	03/14/2013	Miller Lot Split Amendment #1	355 South 100 West	Plat Amendment / Lot Split	Mark Atkins Miller	lot split / plat amendment of 1 lot into 2 lots	Mike Johnston	
831	13-012	25-Mar-13	04/11/2013	Heber Homes 6 / Clyde Lot Split	494 East Center Street	Plat Amendment / Lot Split	Blake Allen	lot split / plat amendment of 1 lot into 2 lots	Blake Allen	Spencer Park
851	13-031	15-Aug-13	09/12/2013	Heber Homes #8	267 North 100 East	Plat Amendment / Lot Split	Blake Allen	lot split / plat amendment of 1 lot into 2 lots	Blake Allen	Lonnie Reed / Legend Engineering
864	13-041	12-Dec-13	01/09/2014	Rural Road Standard Proposal		Rural Road Standard Proposal	Paul Berg		Paul Berg	
836	13-017	20-May-13	06/13/2013	Muir Small Subdivision	188 East 500 South	Small Subdivision / Lot Split	Neil Muir		Mike Johnston	Summit Engineers
841	13-021	30-May-13	06/13/2013	Heber Homes #7	211 South 200 West	Small Subdivision / Lot Split	Blake Allen	splitting 1 lot into 3 lots at the southeast corner of 200 West and 200 South	Blake Allen	Spencer Park
844	13-024	25-Jun-13	08/08/2013	Haack Small Subdivision	approximately 850 E. Center St.	Small Subdivision / Lot Split	Nathan Haack		Mike Johnston	Summit Engineers
856	13-035	29-Oct-13	12/12/2013	Red Ledges Small Subdivision for Lots 39 and 39A	Red Ledges - 1851 East Center Street	Small Subdivision / Lot Split	Peter and Mary Bollenbecker	Red Ledges Phase 1F Lot 39 & 39A Plat Amendment	Mike Carlton	Peter Bollenbecker
865	13-042	12-Dec-13	01/09/2014	Millers Small Subdivision	77 West 400 North	Small Subdivision / Lot Split	Amanda Wright	2 lots	Thom Wright	
867	13-027SS	12-Dec-13	01/09/2014	Cottages at Valley Station Phase 1	300 West 1300 South	Small Subdivision / Lot Split	Oakwood Homes of Utah	8 lots	James Doolin	Tom Romney
842	13-022	24-Jun-13	07/11/2013	Ranch Landing Residential	500 East and approximately 800 South	Subdivision Concept Approval	Watts Enterprises	revision of Master Plan (from townhouses)	Russ Watts	Paul Berg
847	13-027	11-Jul-13	08/08/2013	Cottages at Valley Station	Approximately 1200 South and 300 West	Subdivision Concept Approval	The Boyer Co.	218 lots	Tom Romney	Focus Engineering
826	13-007	13-Feb-13	02/28/2013	Red Ledges Phases 1E	1851 East Center Street	Subdivision Final Approval	Red Ledges	8 lot phase in Red Ledges on Abajo Peak Way	Todd Cates	
827	13-008	13-Feb-13	02/28/2013	Red Ledges Phases 1M	1851 East Center Street	Subdivision Final Approval	Red Ledges	12 lot phase in Red Ledges on Red Knob Way	Todd Cates	
830	13-011	06-Mar-13	04/11/2013	Green Condominiums	35 and 45 South Main Street	Subdivision Final Approval	Michael Green	condomimiumization of 2 commercial bldgs	Michael Green	
845	13-025	10-Jul-13	08/08/2013	Red Ledges Phase 2D	1851 East Center Street	Subdivision Final Approval	Red Ledges	8 lots	Todd Cates	
846	13-026	11-Jul-13	08/08/2013	Swift Creek Subdivision	900 to 1100 South / 800 East to 1000 East	Subdivision Final Approval	Haskell Homes	27 lots	Brian Balls	Summit Engineers
852	13-032	15-Aug-13	09/12/2013	Red Ledges Phases 1N	1851 East Center Street	Subdivision Final Approval	Red Ledges	9 lots on Explorer Peak Drive	Todd Cates	
855	13-034	18-Oct-13	11/14/2013	Red Ledges Phase 1P	on Copper Belt Drive near the intersection of Red Ledges Village Way	Subdivision Final Approval	Red Ledges	26 lots	Todd Cates	
860	13-037	14-Nov-13	12/12/2013	Red Ledges Phase 1R	Explorer Peak Dr. And Chimney Rock Rd.	Subdivision Final Approval	Red Ledges	38 lots	Todd Cates	Mike Carlton
861	06-027	11-Dec-13	01/09/2014	Stone Creek	550 North 1400 East	Subdivision Final Approval	Blackstone Creek LLC	23 lots	Paul Berg	Rich Hansen
863	13-040	12-Dec-13	01/09/2014	Red Ledges Phase 2E	vicinity of Copper Belt Drive	Subdivision Final Approval	Red Ledges	8 lots	Todd Cates	
835	13-016	16-May-13	06/13/2013	Wheeler Park Phase 2 Amendment 3	2347 South Baxter Drive	Subdivision Plat Amendment	Denver Riddle		Brian Balls	Summit Engineers
840	13-020	20-May-13	06/13/2013	Red Ledges Plat Amendment Phase 1K	off Explorer Peak Drive`	Subdivision Plat Amendment	Red Ledges	Lots 405 and 406 Phase 1K	Todd Cates	
850	13-022SPA	15-Aug-13	09/12/2013	Ranch Landing Cottages	970 South 500 East	Subdivision Preliminary Approval	Watts Enterprises	Single-Family Lots where previously townhomes in Ranch Landing Master Plan	Russ Watts	Paul Berg
866	13-027SPA	12-Dec-13	01/09/2014	Cottages at Valley Station Phases 2 and 3	300 West 1300 South	Subdivision Preliminary Approval	Oakwood Homes of Utah	95 Lots	James Doolin	Tom Romney