



FARR WEST CITY PLANNING COMMISSION AGENDA

October 27, 2022 at 6:00 p.m.
City Council Chambers
1896 North 1800 West
Farr West, UT 84404

Notice is hereby given that the Planning Commission of Farr West City will hold a 6 pm work session and its regular meeting at 7:00 pm on Thursday, October 27, 2022

6:00 pm Work Session to discuss the general plan maps and the C-3 zone

1. Call to Order –Chairman Ted Black
2. Opening Ceremony
 - a. Pledge of Allegiance
 - b. Prayer
3. Business Items
 - a. Report from City Council
 - b. Open public hearing to consider the request of a conditional use permit for an accessory building over 2,000 square feet for Jordan Watson at 1634 West 1850 North
 - c. Close public hearing and proceed with the regular meeting
 - d. Recommend to the City Council approval or denial of the request of a conditional use permit for an accessory building over 2,000 square feet for Jordan Watson at 1634 West 1850 North
 - e. Recommend to the City Council approval or denial of the request of a new sign for Jiffy Lube located at 1783 West 2700 North – Identity Signs
 - f. Set a public hearing to consider the request of a re-zone for ALS Development from the R-1-15 and A-1 zones to the R-1-15 and M-1 zones, parcel numbers 19-040-0026, 15-005-0025 and 15-005-0063, located at approximately 1913 North 2000 West
4. Consent Items
 - a. Approval of minutes dated September 22, 2022
5. Chairman/Commission Follow-up
 - a. Report on Assignments
6. Public Comments (*Resident(s) attending this meeting will be allotted 2 minutes to express a concern or ask a question about any issue that IS NOT ON THE AGENDA. No action can or will be taken on any issue presented.*)
7. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was mailed to each member of the Planning Commission, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on October 21, 2022.

Lindsay Afuvai
Recorder



Farr West City

APPLICATION FOR ISSUANCE OF CONDITIONAL USE PERMIT

The Municipal Code 17.48.020 requires that the following be considered to obtain a Conditional Use Permit.

Application Date 10.7.2022 Applicant Name Jordan Watson

Mailing Address [REDACTED]

Phone Number [REDACTED]

Email [REDACTED]

Property address of proposed conditional use 1634 W. 1850 N. Current Zoning: R-1-15

Please list the requested conditional use as listed within the city zoning ordinance Accessory building over 2,000 SF.

A) Explain how the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community.

Detached garage will serve as storage for vehicles and allow for internal storage rather than external use of driveway. Property size is more than adequate to accommodate the size of garage while maintaining the city's requirements.

B) Explain how such use will not be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses.

The garage will be built by a reputable licensed general contractor. Aesthetics will be consistent and complimentary to my house. Professional landscaping will be completed upon completion of the garage.

C) Explain how the proposed use will comply with the regulations and conditions specified in this title for such use.

The garage will meet the city's setback and coverage requirements for accessory buildings.

D) Explain how the proposed use conforms to the goals, policies and governing principles and land use of the Farr West City General Plan.

The general plan allows for accessory buildings on residential lots in excess of 2,000 sf as long as they meet the required setbacks and coverage requirements and receive a conditional use permit. I am following that process.

E) Explain how the proposed use will not lead to the deterioration of the environment, or ecology of the immediate vicinity, the general area, or the community as a whole.

I am using a licensed general contractor to ensure the highest quality, aesthetics, and minimal impact to the environment during construction.

Jordan Walker
Signature of Applicant

Property Owner? ☒ Y ☐ N

Date Application & \$100.00 Processing Fee received Oct 7, 2022

Received by McKinzie

Date of public hearing: _____

Date application was _____ Approved _____ Denied by Planning Commission _____

Conditions/Reasons

Date application was _____ Approved _____ Denied by City Council: _____

Conditions/Reasons

Planning Commission Chair

Mayor



P.O. Box 217
St. George, UT 84771
(435) 868-2228
shawna@snparch.com

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Release Date:
22 MAR 2018

Project Number:
1000

1808

Plan Series:
CUSTOM

HOME FOR
MR. AND MRS. WATSON
WATSON ESTATES LOT #7-R

FARR WEST, UTAH



1. BEFORE CONSTRUCTION BEGINS BUILDER IS TO VERIFY LOT DIMENSIONS AGAINST THE PLAT DIMENSIONS.
2. COORDINATE PROVIDED AND INSTALL NEAR APPROPRIATE INTERSECTIONS WITH NEAREST EXISTING POWER, TELEPHONE, CABLE TV, NATURAL GAS AND WATER LINES TO FRONT YARD.
3. PULPER DRAINAGE SHALL BE PROVIDED BY A LICENSED PROFESSIONAL ENGINEER.
4. DRAINAGE SHALL HAVE A MINIMUM SLOPE OF .05' FEET PER FOOT DRAINAGE FOR A MAXIMUM OF 10'-0" IN ALL AREAS PERVIOUS AND IMPERVIOUS INCLUDING CONCRETIZED SURFACES.
5. ANY SLOPE SHALL NOT BE GREATER THAN 1 VERTICAL UNIT FOR EVERY 2 HORIZONTAL UNITS. ALL RAKES, GRADERS SHALL BE SET. ALL SLOPE SHALL BE MEASURED AND DESIGNED BY A PROFESSIONAL.
6. SLOPE SHALL BE STAKED BY A PROFESSIONAL SKILLED TO INSURE ACCURACY OF ELEVATIONS.

PROPERTY LINE

SET BACK

EASUREMENT

278 304-474-0376-04-000000

CONCRETE

1

BUILDING

Drainage Direction, Minimum of 5%

EROSION CONTROL NOTES:

- [illegible]



SITE PLAN
SCALE: 1/8"=1'-0"

SCALE: 1/8" = 1'-0"

DRAWING NOTES

DESIGN CODE: 2018 IBC.
USE GROUP: U
CONSTRUCTION TYPE VB
DESIGN CATEGORY: RISK CATEGORY I – LOW RISK

SEISMIC CRITERIA:
DESIGN CATEGORY D
SOIL SITE CLASS D (ASSUMED)
 $R = 2.5$ (LIGHT-FRAME WALLS WITH SHEAR PANELS OF ALL OTHER MATERIALS)
 $SS = 0.0g$, $S1 = 0.0g$; $SDS = 0.0g$, $SD1 = 0.0g$
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE
BASE SHEAR = 11,997 LBS

WIND LOAD:
ULTIMATE WIND DESIGN SPEED: 115 MPH 3 SEC. GUST
TERRAIN EXPOSURE C

FROST DEPTH: 30 IN
SITE ELEVATION: 4260 FT

SNOW LOAD:
GROUND SNOW LOAD: 50 PSF
ROOF DESIGN SNOW LOAD: 30 PSF

DEAD LOADS:
ROOF 4 PSF
WALLS 4 PSF

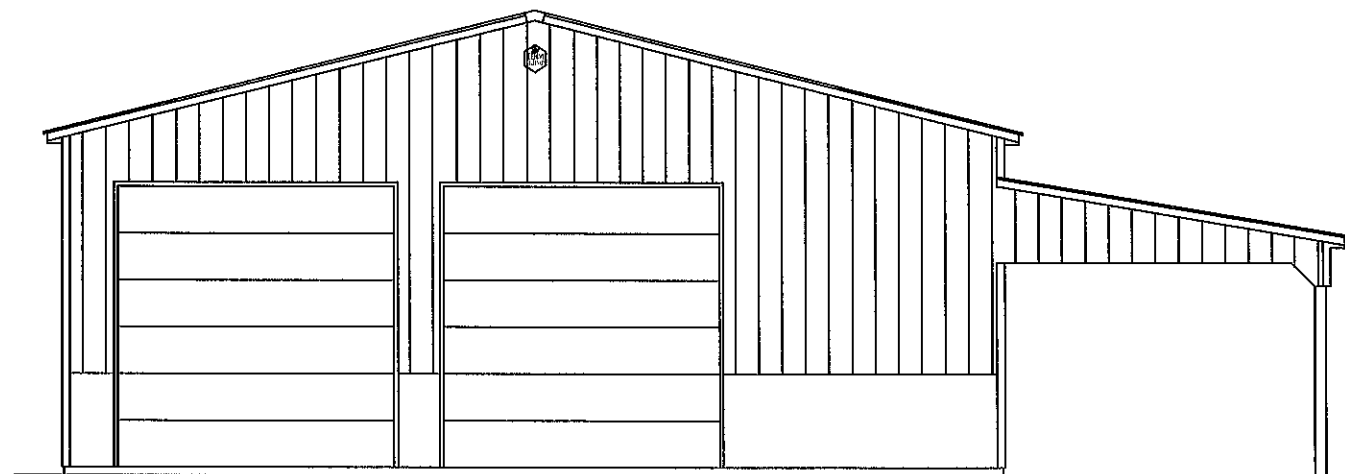
ROOF LIVE LOAD: 20 PSF

CONCRETE FOUNDATION NOTES:
1. 28 DAY STRENGTH (F'C) W/ NORMAL 145 PCF DENSITY:
1.1. FOOTINGS: 2500 PSI
1.2. SLABS ON GRADE: 2500 PSI REQ'D, 3500 PSI RECOMMEND
2. ALL SLABS: PROVIDE A MIN. THICKNESS OF 4" W/ 4" DEEP MIN. CRUSHED GRAVEL BASE.
3. CONTRACTION/CONTROL JOINTS SHALL BE INSTALLED IN SLABS ON GRADE SO THE LENGTH TO WIDTH RATIO OF THE SLAB IS NO MORE THAN 1.5:1. CONTROL JOINT SPACING SHALL NOT EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION, UNLESS OTHERWISE NOTED.
4. CONTROL JOINTS SHALL BE COMPLETED WITHIN 6-18 HOURS OF CONCRETE PLACEMENT.
5. CONTROL JOINTS SHALL BE TOOLED OR SAWED TO THE GREATER DEPTH OF 1" DEEP OR 1/4 THICKNESS OF CONCRETE SLAB.

SOILS AND EXCAVATION:
6. NO SOILS REPORT PROVIDED – STABLE SOIL CHARACTERISTICS ASSUMED. ALL DESIGN WAS BASED ON STABLE SOIL CHARACTERISTICS. GEOTECHNICAL HAZARDS FOUND ON OR AROUND THE SITE, INCLUDING EXPANSIVE CLAYS, OR SOILS FOUND AT THE SITE WHILE EXCAVATION OCCURS WHICH DIFFERS FROM THOSE ASSUMED SHOULD BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND ENGINEER.
7. ALLOWABLE BEARING PRESSURE: 1500 PSF
8. NATIVE MATERIAL SURROUNDING FOOTINGS TO BE DISTURBED MINIMALLY DURING EXCAVATION.
9. FOOTINGS SHALL BE PLACED ENTIRELY IN UNDISTURBED NATIVE SOILS OR STRUCTURAL FILL WHICH IS BEARING ON UNDISTURBED NATIVE SOILS.
10. ALL BACKFILLING SHALL BE DONE WITH GRANULAR FREE-DRAINING MATERIAL. EXISTING SITE MATERIAL MAY BE USED IF FREE FROM CLAY SOILS AND ANY CONSTRUCTION DEBRIS. COMPACT ALL BACKFILL MATERIAL IN 8 INCH LIFTS TO 95% OF MODIFIED PROCTOR DENSITY.
11. SLOPE FINISHED GROUND AWAY FROM THE BUILDING A MINIMUM OF 6 INCHES VERTICAL IN 10 FEET HORIZONTAL.

BEEHIVE BUILDINGS

JORDAN WATSON BUILDING



BUILDING INFORMATION

SITE INFORMATION:

ADDRESS:
1634 W 1850 N
FARR WEST, UTAH

BUILDING INFORMATION:

DIMENSIONS: 40' x 60' x 14'-6"
TOTAL SQUARE FOOTAGE: 2960 S.F.
MAIN BUILDING: 2400 S.F.
LEANS: 560 S.F.

CONTRACTOR

BEEHIVE BUILDINGS

CONTACT: GARRETT NICHOLS
GARRETT@BEEHIVEBUILDINGS.COM
PHONE: 801-529-4222



DRAFTING & ENGINEERING

MOUNTAIN POINT ENGINEERING

CONTACT: DEREK LLOYD
DEREK@MOUNTAINPOINTENGINEERING.COM
PHONE: 801-450-5332



DRAWING INDEX

SHEET	DESCRIPTION
00	COVER SHEET
01	FOUNDATION PLAN
02	FLOOR PLAN
03	ROOF PLAN
04	ELEVATIONS
05	GIRT PLAN
06	PANEL LAYOUT
07-09	DETAIL SHEETS

PRELIMINARY
NOT FOR PERMIT

ENGINEER STAMP

DATE

09/26/2022

PRELIMINARY
NOT FOR PERMIT

ENGINEER STAMP



ELEVATIONS

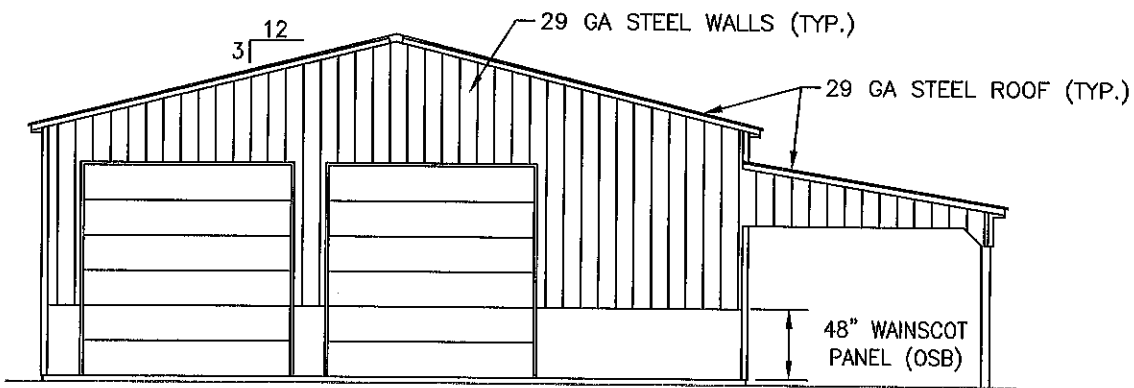
JORDAN WATSON BUILDING
FARR WEST, UTAH

PROJECT
B340

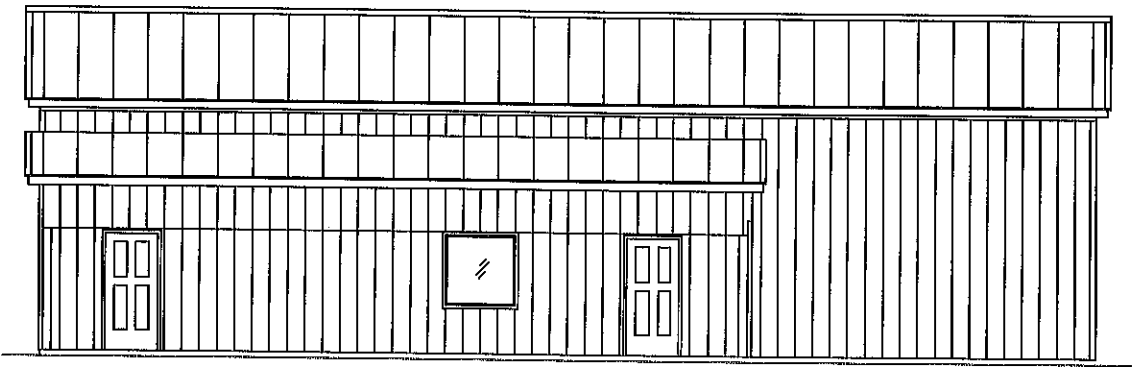
SCALE
3/32" = 1'-0"

DATE
09/26/2022

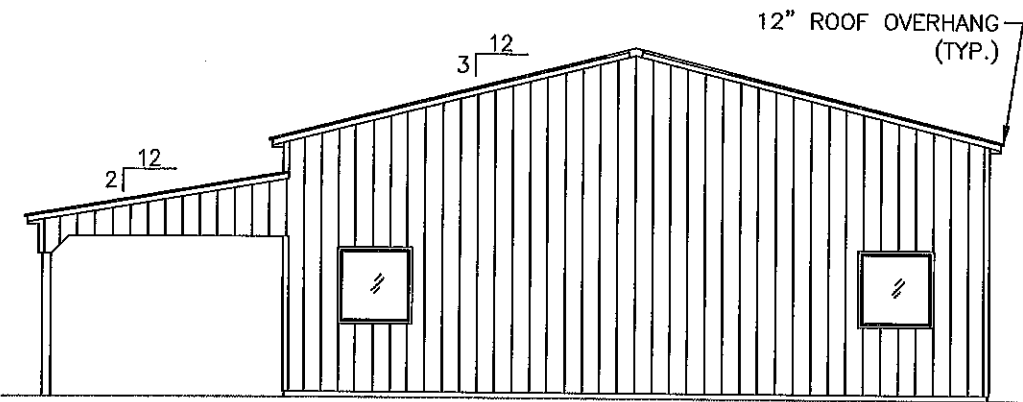
SHEET
04



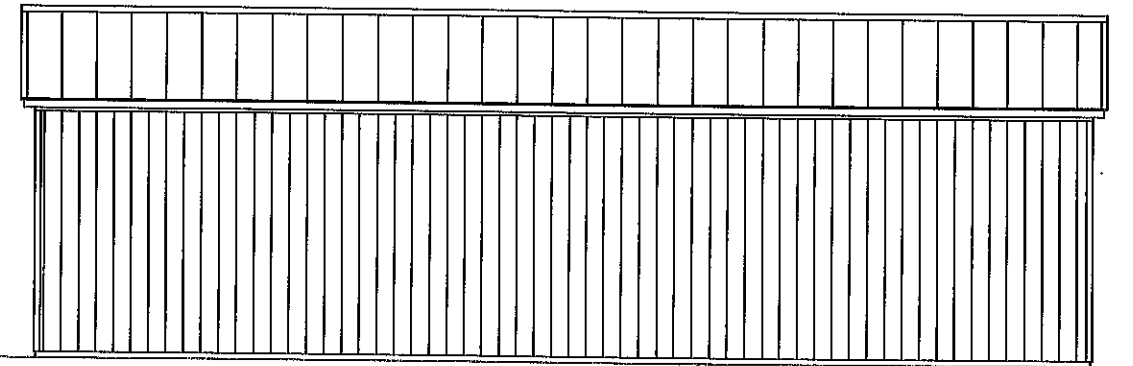
GABLE END ELEVATION - SOUTH



SIDE ELEVATION - EAST



GABLE END ELEVATION - NORTH



SIDE ELEVATION - WEST

ENGINEER STAMP

MOUNTAIN POINT
ENGINEERING

FLOOR PLAN

JORDAN WATSON BUILDING

FARR WEST, UTAH

PROJECT
B340

SCALE
8" = 1'-0"

DATE
/26/2022

SHEET
02

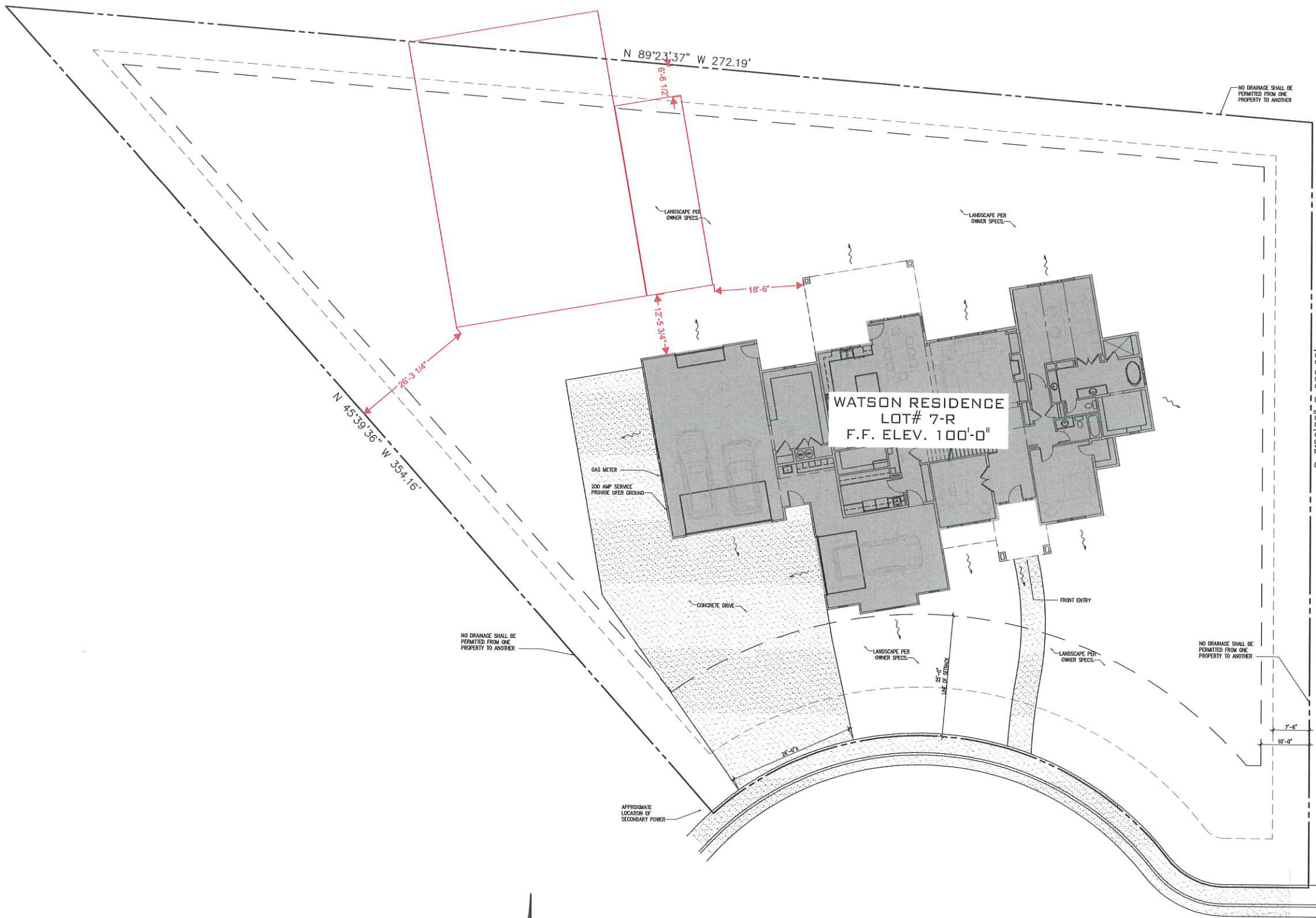


D3	3068 DOOR
W44	4040 WINDOW

NOTES:

1. 6x6 DF: 6x6 DF-L #2 TREATED POST.
2. 6x8 DF: 6x8 DF-L #2 TREATED POST.
3. EMBED POST INTO CONCRETE PIER. SEE DETAIL ON SHEET 8.
4. ROOF: 29 GA STEEL PANEL
5. WALLS: STANDARD GIRTS, 29 GA STEEL PANEL

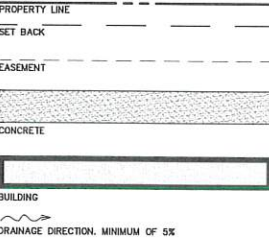
BUILDING INSULATION
ROOF: RADIANT BARRIER
WALLS: NONE



SITE PLAN
SCALE: 1/8"=1'-0"

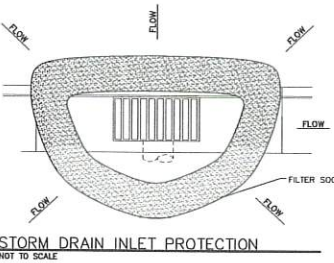
SITE NOTES:

1. BEFORE CONSTRUCTION BEGINS BUILDER IS TO VERIFY LOT DIMENSIONS AGAINST SITE PLAN DIMENSIONS.
2. COORDINATE, PROVIDE AND INSTALL WITH APPROPRIATE TRADES AND OWNER UNDERSTANDING SEWER, POWER, TELEPHONE, CABLE TV, NATURAL GAS AND WATER LINES TO UTILITY MARKS.
3. PROPER DRAINAGE SHALL BE PROVIDED BY A LICENSED PROFESSIONAL ENGINEER.
4. DRAINAGE SHALL HAVE A MINIMUM SLOPE OF SIX AWAY FROM BUILDING FOR A MINIMUM OF 10'-0" IN ALL AREAS PERVIOUS AND IMPERVIOUS INCLUDING CONCRETE SURFACES.
5. ANY SLOPE SHALL NOT BE GREATER THAN 1 VERTICAL UNIT FOR EVERY 2 HORIZONTAL UNITS. ALL LOCAL CODES SHALL BE MET. ANY GREATER SLOPE SHALL BE RETAINED AND DESIGNED BY A PROFESSIONAL.
6. HOME SHALL BE STAKED BY A PROFESSIONAL SURVEYOR TO INSURE ACCURACY OF FOUNDATION.



EROSION CONTROL NOTES:

1. SOIL EXCAVATED IN PREPARATION OF FOUNDATION CONSTRUCTION SHALL BE STOCKPILED ONCE AT A SECURE LOCATION NOT TO BE DISTURBED.
2. PLACE FILTER SOCKS WITHIN CURB AND GUTTER ANGLED UP GRADIENT. ANCHOR FILTER SOCKS WITH ONE SANDING OF EACH END. THE FILLED SOCK WILL ADD IN FILTERING STORM WATER RUNOFF THAT MAY CONTAIN SEDIMENT DUE TO TRACKING FROM THE SITE. TRACKING SHOULD BE MAINTAINED AS PART OF GOOD HOUSE KEEPING MEASURES.
3. CONTRACTOR TO MAINTAIN ALL BMP'S.
4. INSTALL IP-W BMP AT NEAREST STORM DRAIN INLET DOWN GRADIENT FROM SITE ALONG STREET.
5. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT A MINIMUM OF ONCE A WEEK.
6. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 1/3-1/2 OF FILTER SOCK HEIGHT.



CREATIVE DIMENSIONS
ARCHITECTURAL DESIGN
P.O. Box 217
St. George, UT 84771
(435) 668-2228
shawm@srpatch.com

Release Date:
22 MAR 2018
Project Number:
1808
Plan Series:
CUSTOM

HOME FOR
MR. AND MRS. WATSON
WATSON ESTATES LOT #7-R

Sheet Title:
SITE PLAN

Sheet:
SD1.1

Application for Sign Approval



This application is to be used for temporary commercial signs (including any banner signs), new permanent signs, or in the event that a simple change of signs is being requested and no construction or external remodeling is being accomplished which would require a full site plan.

Date Submitted: 10/10/22 Applicant Name: Identity Signs
Applicant Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Email: _____

SIGN PERMIT FEE SCHEDULE

Site Plan: \$25.00

Sign Erection or Relocation: \$25

Business Name: Jiffy Lube Address: 1783 W. 2700 N.

Description of site being considered:

Install Monument sign in front of location

Tax ID number: 87-0629644 Current zoning of site: C-2

Abbreviated Site Plan:

Provide a scale drawing that clearly shows the following:

- Location, type, lighting and size of proposed and existing signs.
- Materials to be used for the construction of this sign.

If any of the above information is not being provided, please indicate reasoning:

n/a

How will the proposed sign be compatible with existing surrounding uses, buildings and structures when considering traffic generation, parking, building design, location and landscaping? Monument sign to be installed to direct customers to business. It is in front building on lawn area.

Application for Sign Approval



The following conditions will apply to this sign application: n/a

Expiration Date for the use of a temporary sign: n/a

All fields must be filled out before application will be considered. ('N/A' fields not applicable)

Signature of Applicant:

In issuing this application the signer(s) certifies the information provided is correct and they agree to the conditions set by the planning commission and/or city council

Business Owner/Sign Company Signature Kara Lopez
Print Name Kara Lopez c/o Identity Signs

Property Owner Signature [Signature]
Print Name D.J. Griffin

For City Use:

Fee Paid \$ 25 Received By: McKinzie

Planning Commission/City Council Review Checklist.

___ Has all the required information been provided for review where applicable?

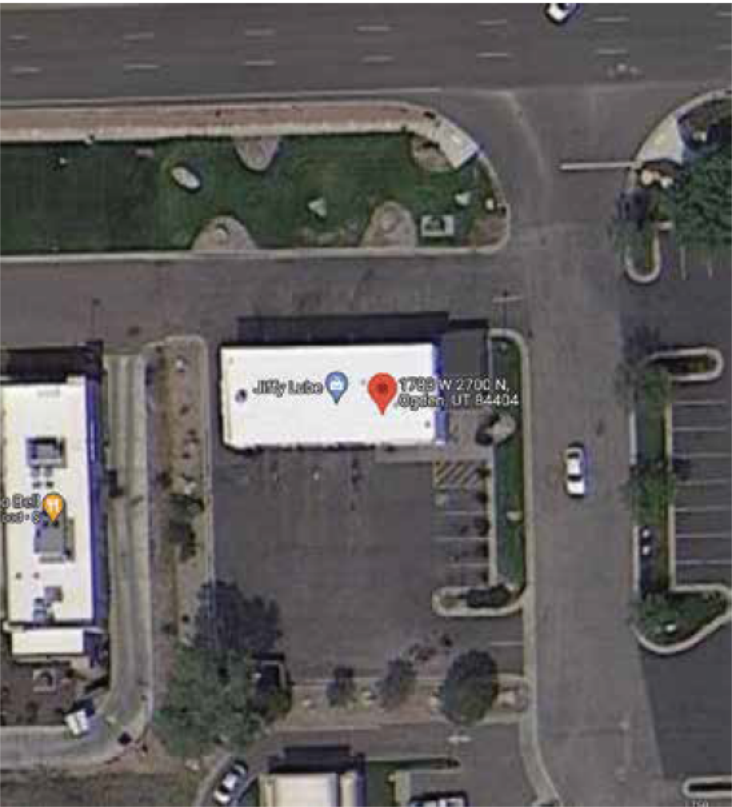
___ Does the proposed sign conform to the City Sign Ordinance?

___ Has the plan been reviewed by the City Engineer/Bldg Official and all concerns addressed?

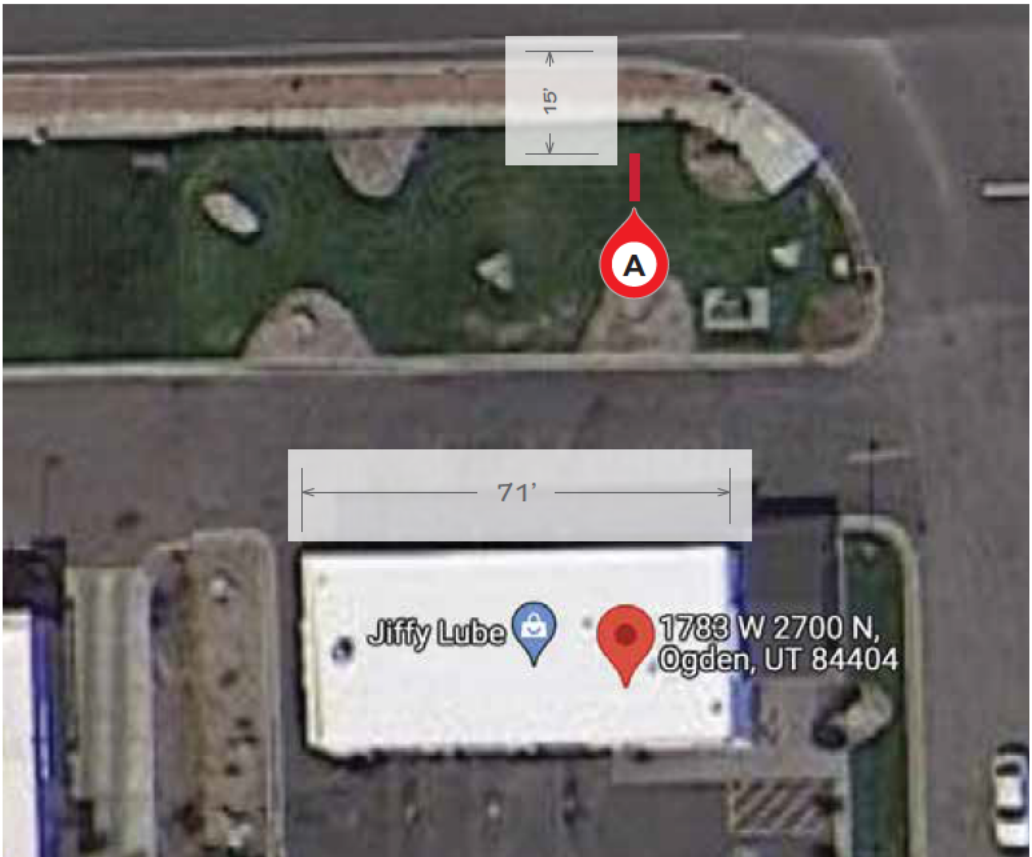
VICINITY MAP



PROPERTY MAP



SITE PLAN



SIGN LEGEND

A

Monument Sign

qty 158.7ft²D/S

jiffylubemulticare



Salt Lake, UT | Seattle, WA
801.748.4750
sales@idsignco.com

Job # 48057

Client
Griffin Fast Lube Management

Address
1783 W 2700 N
Farr West, UT 84404

Zone
Commercial

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Identity Signs
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Sales Person
Brent Albers

Project Manager
Kara Lopez

Designer
Punga Vea

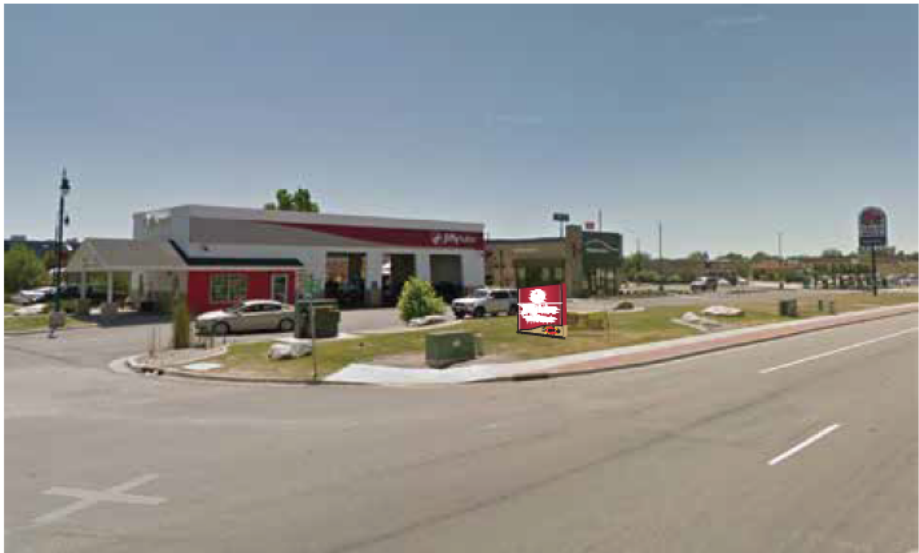
A SIGN TYPE [Monument]		
Description Lit Aluminum Monument		
Voltage Existing		
Square Feet of Proposed Sign 58.7	Sign Weight 000 lbs	Elevation N

EXISTING CONDITIONS

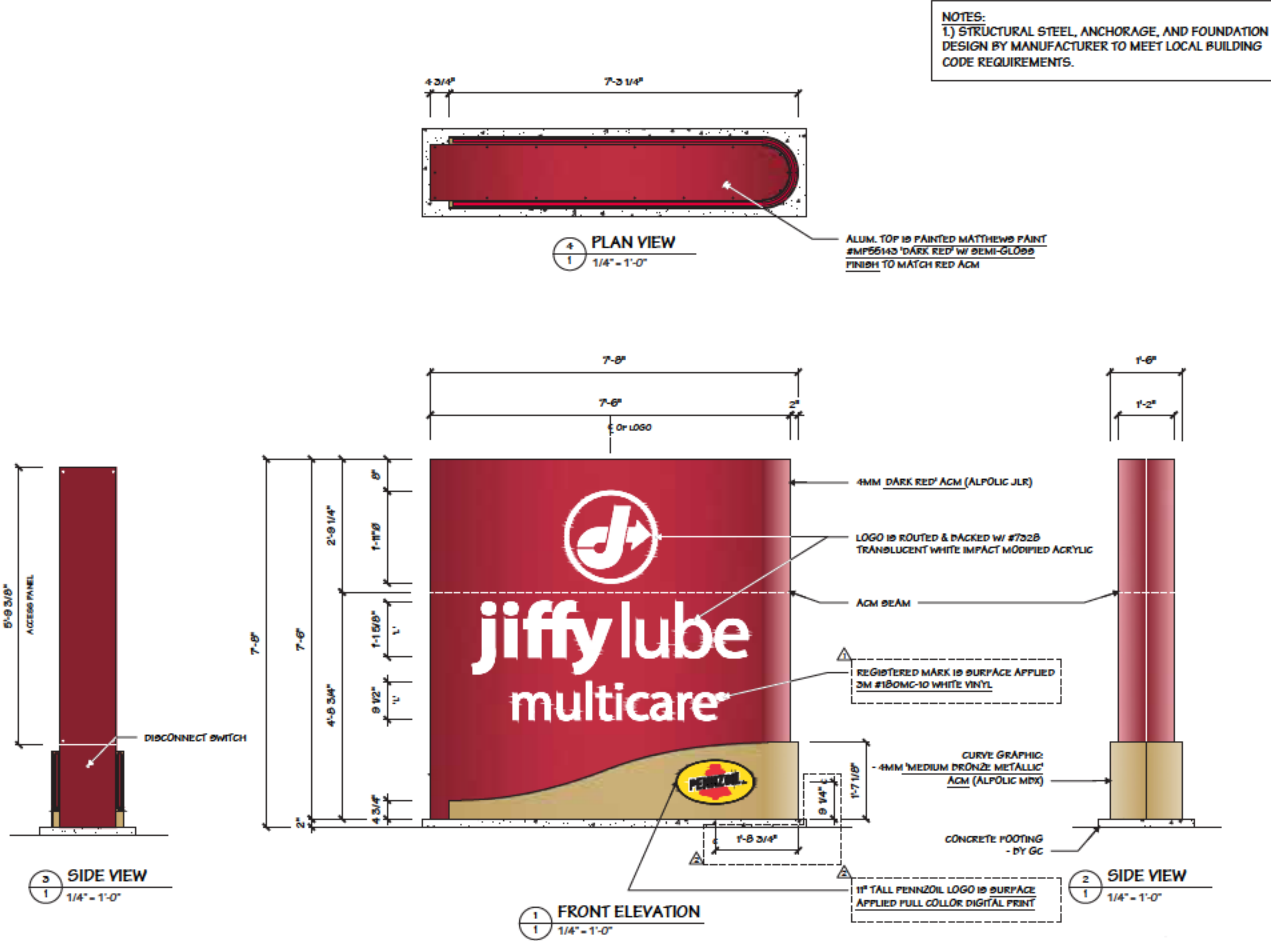


Site Notes/Prep
Remove existing sign face

SIGN RENDERING



SIGN SPECIFICATIONS



Salt Lake, UT | Seattle, WA
801.748.4750
sales@idsignco.com

Job # 48057

Client
Griffin Fast Lube Management

Address
1783 W 2700 N
Farr West, UT 84404

Zone
Commercial

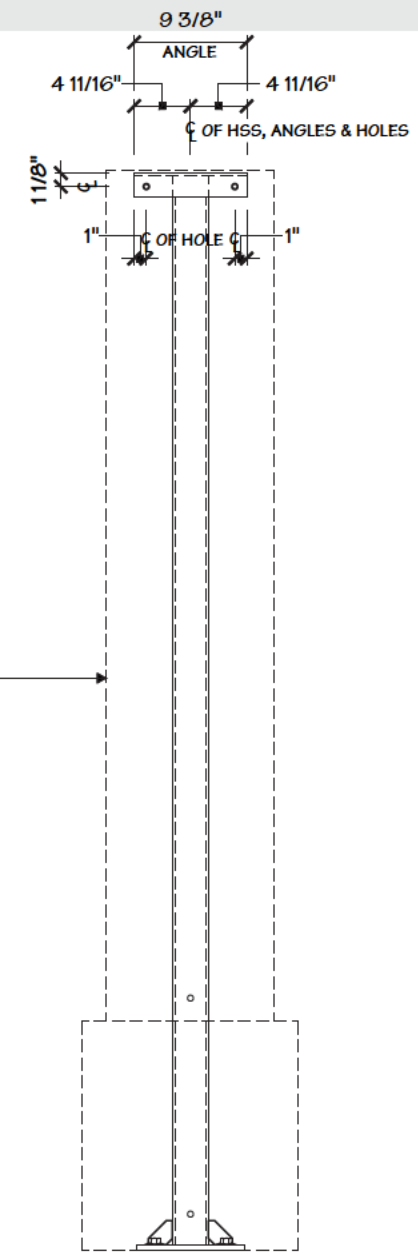
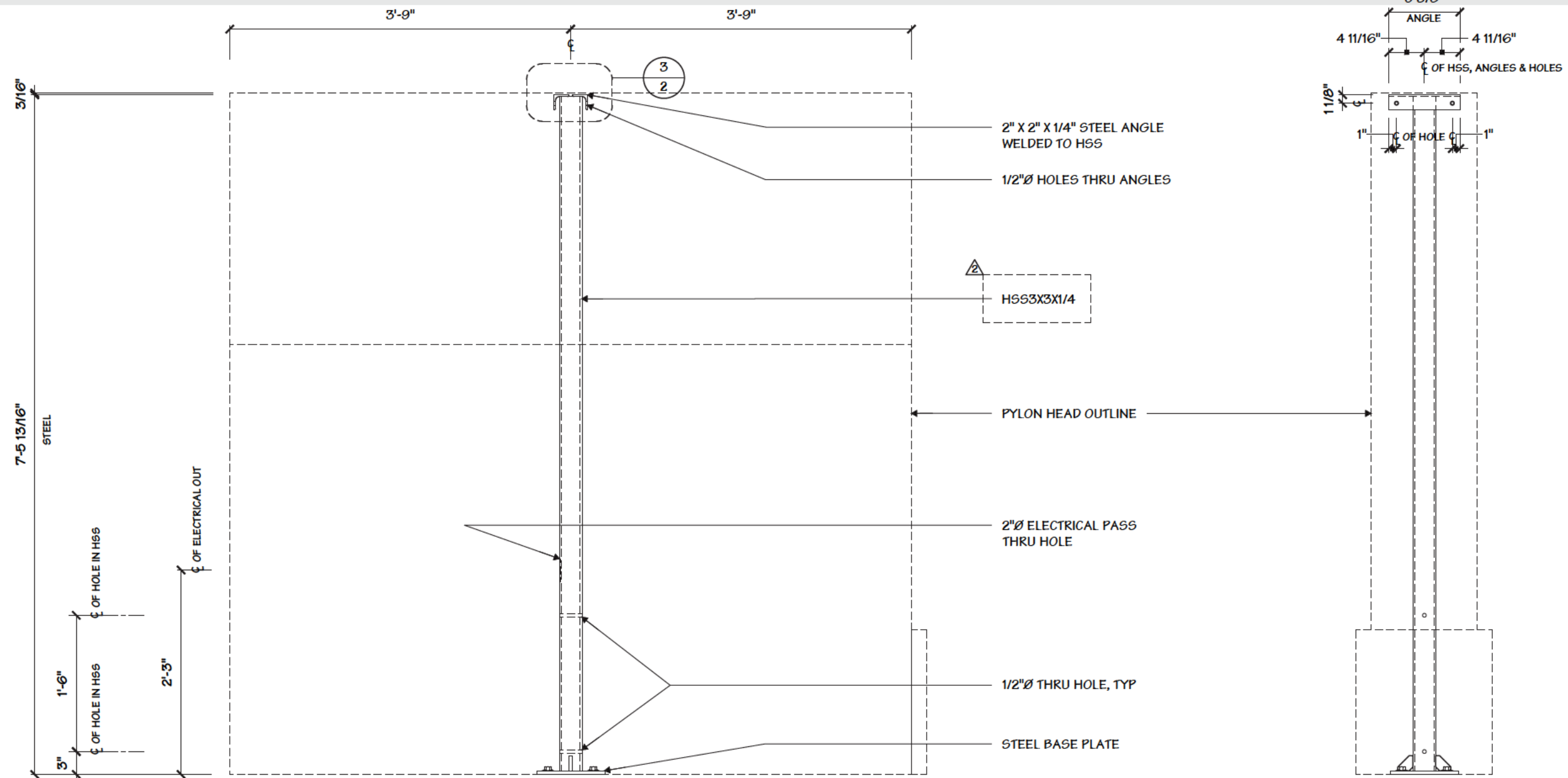
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Sales Person
Brent Albers

Project Manager
Kara Lopez

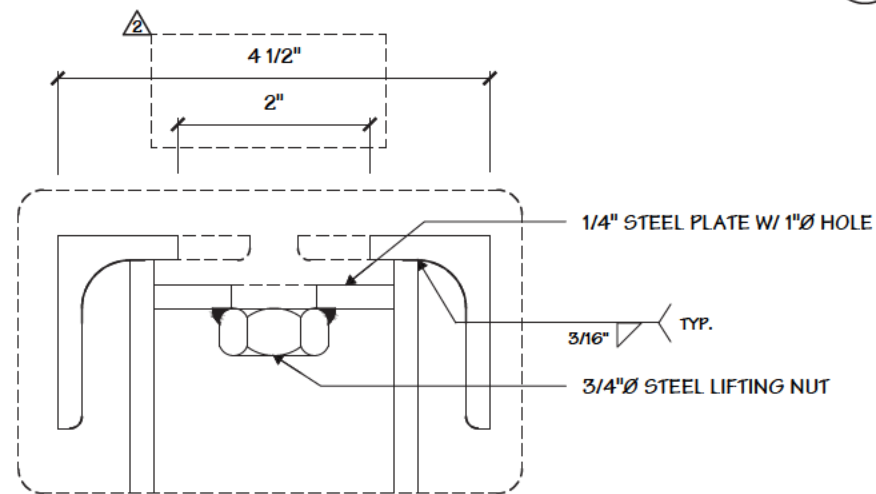
Designer
Punga Vea

MOUNTING DETAIL



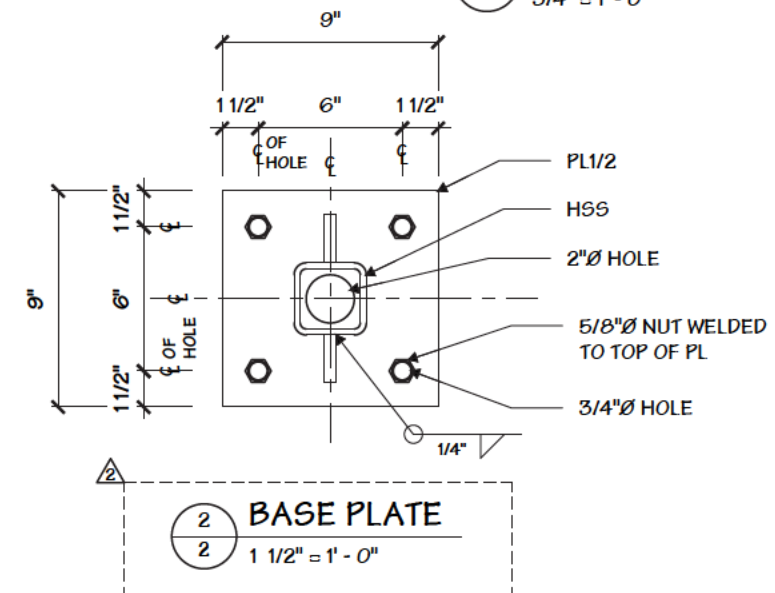
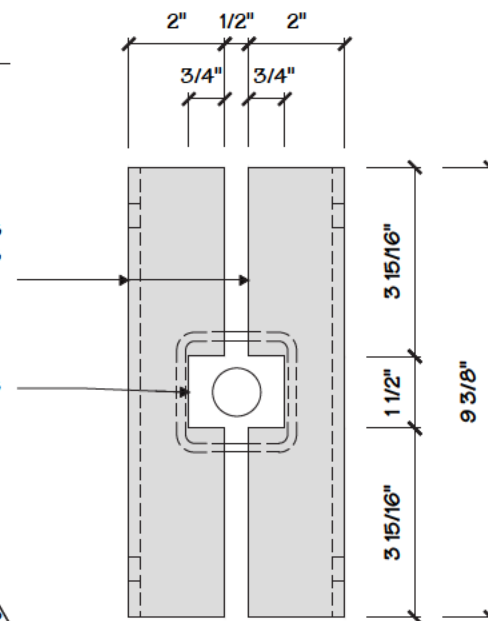
1 STEEL ELEVATION
2 3/4" = 1' - 0"

2 SIDE VIEW
2 3/4" = 1' - 0"



2" X 2" X 1/4" STEEL ANGLES
WELDED TO HSS

CUT OUT TO ALLOW FOR LIFTING



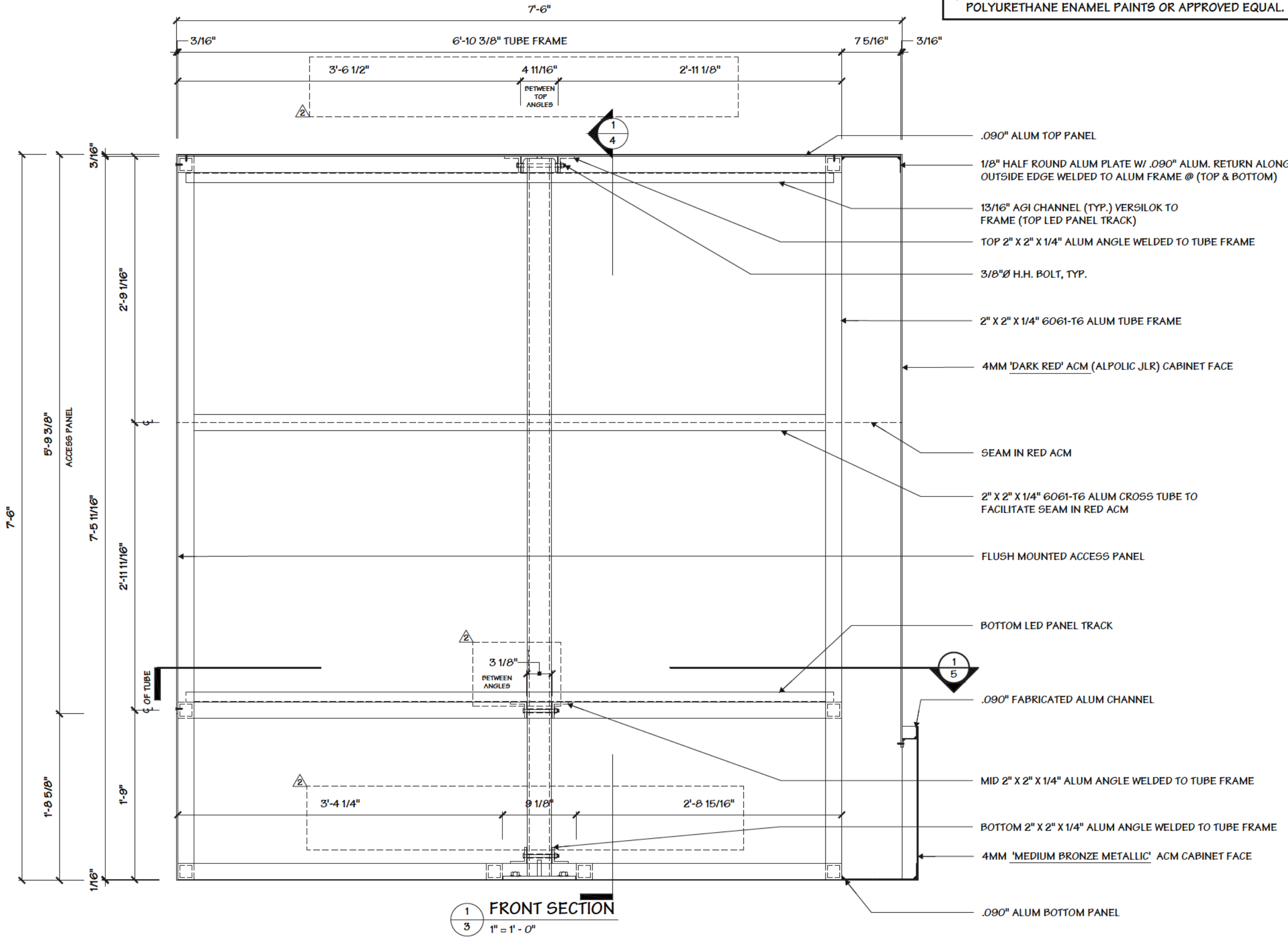
2 BASE PLATE
2 1 1/2" = 1' - 0"

4 TOP VIEW @ ANGLES
2 3" = 1' - 0"

3 DETAIL VIEW @ LIFTING NUT
2 6" = 1' - 0"

MOUNTING DETAIL

- NOTES:
- 1) SIGN INTERIOR & HSS TO BE PAINTED GLOSS WHITE.
 - 2) ALUM. PANELS ARE TO BE PAINTED WITH MATTHEWS POLYURETHANE ENAMEL PAINTS OR APPROVED EQUAL.



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801.748.4750
sales@idsignco.com

Job # 48057

Client
Griffin Fast Lube Management

Address
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Farr West, UT 84404

Zone
Commercial

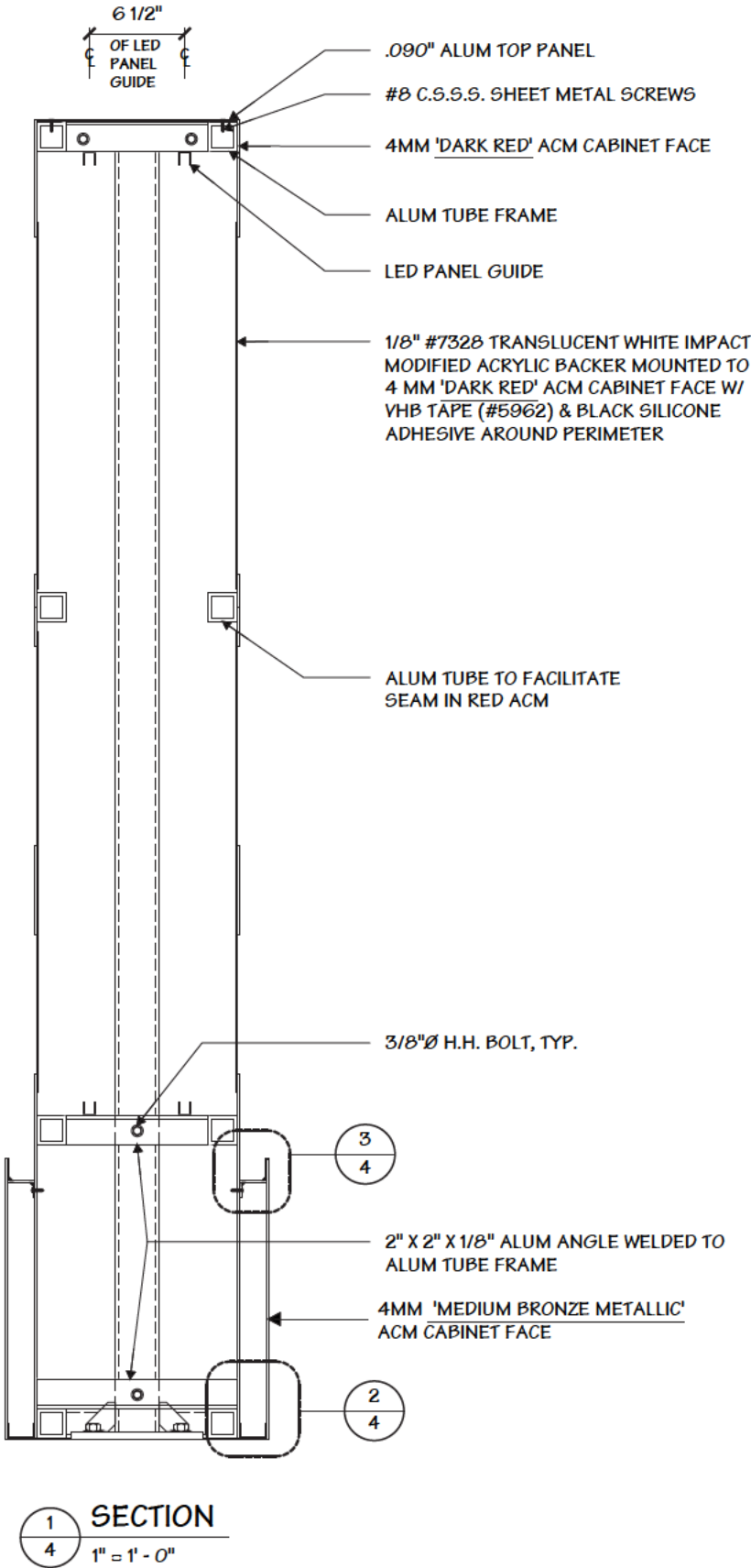
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Sales Person
Brent Albers

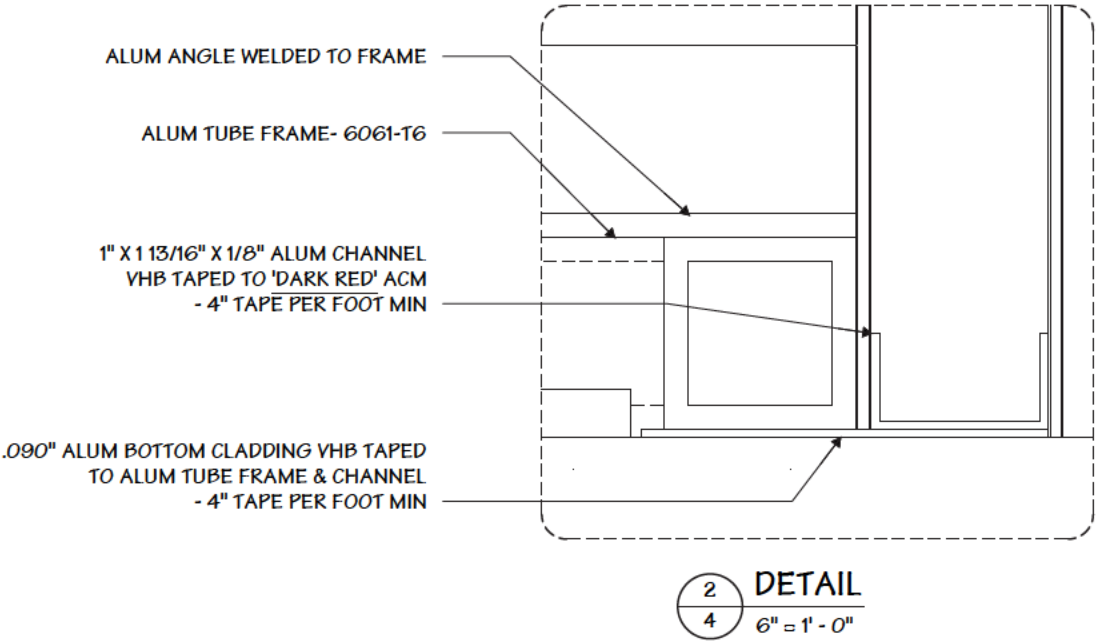
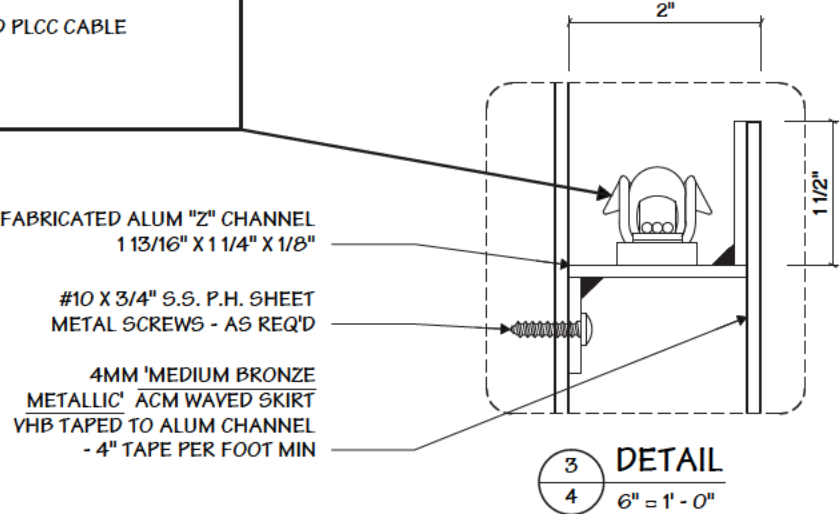
Project Manager
Kara Lopez

Designer
Punga Vea

MOUNTING DETAIL



SLOAN FLEXIBLE RED LED MOUNTED TO 2" ALUM. REVEAL
- AS REQ'D
PART #s:
1) SLO #701499-R-10
2) SLO #701507MOD POWER SUPPLY
3) SLO #400299-100 BELDEN JACKETED PLCC CABLE
4) SLO #701572-25 MOUNTING CLIPS
5) SLO #701491-FB JOINT KIT
6) SLO #701386-25 BUTT SPLICES



Identity
Signs

Salt Lake, UT | Seattle, WA
801.748.4750
sales@idsignco.com

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Sales Person
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Project Manager
Kara Lopez

Designer
Punga Vea

MOUNTING DETAIL



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sales@idsignco.com

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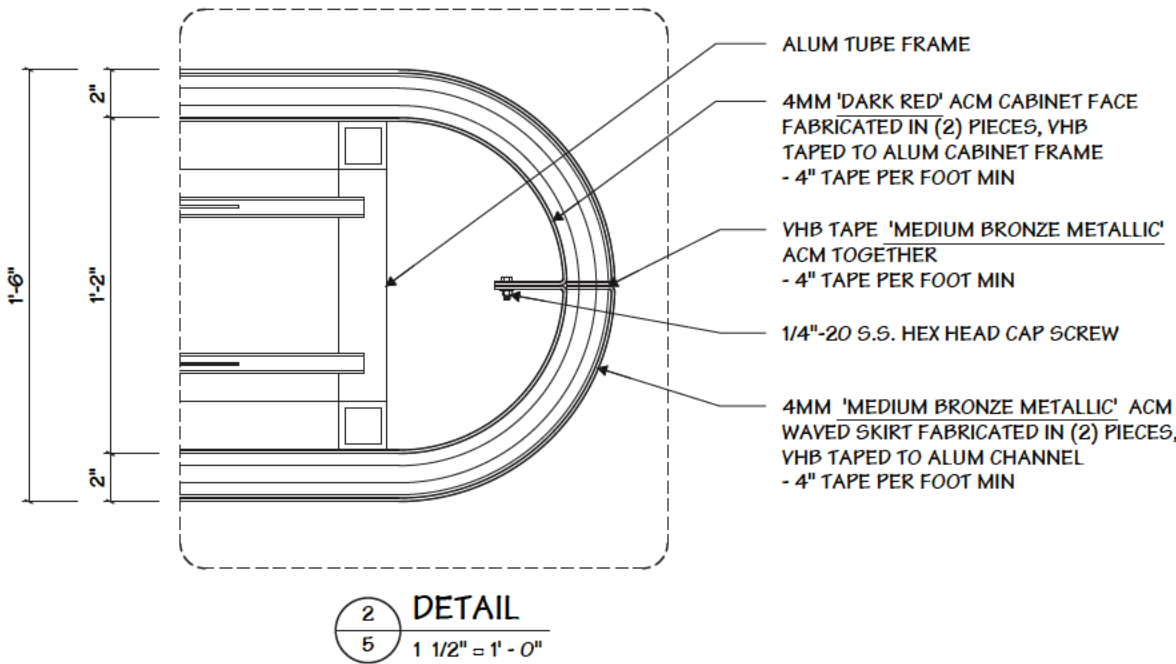
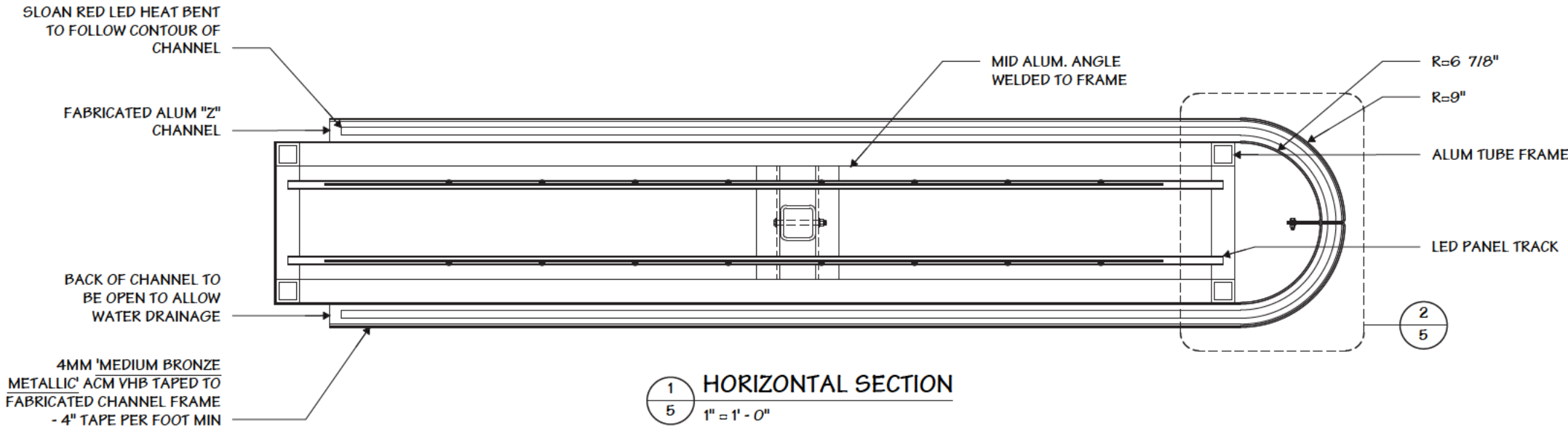
Sales Person
Brent Albers

Project Manager
Kara Lopez

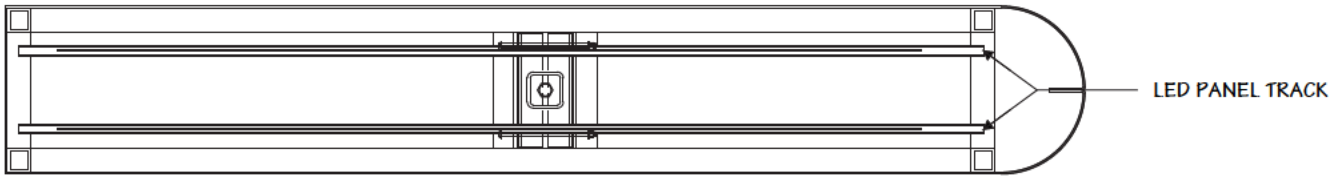
Designer
Punga Vea

NOTES:

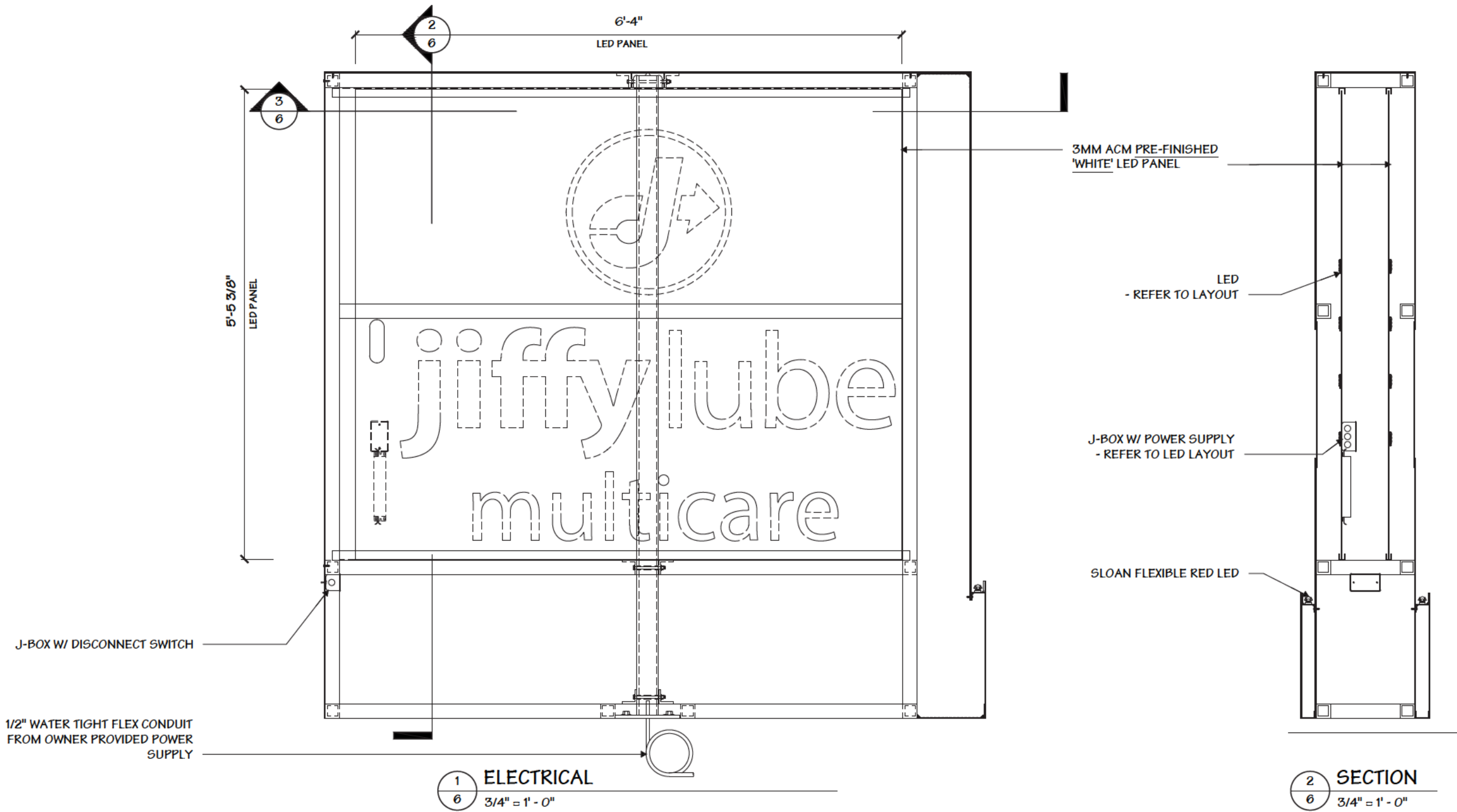
1) ATTACHMENT OF ALL ACM TO THE ALUM. FRAME IS VIA VHB TAPE.



MOUNTING DETAIL



3 SECTION
6 3/4" = 1' - 0"



Job #

Client
Griffin Fast Lube Management

Address

Zone

© 2022
Identity Signs

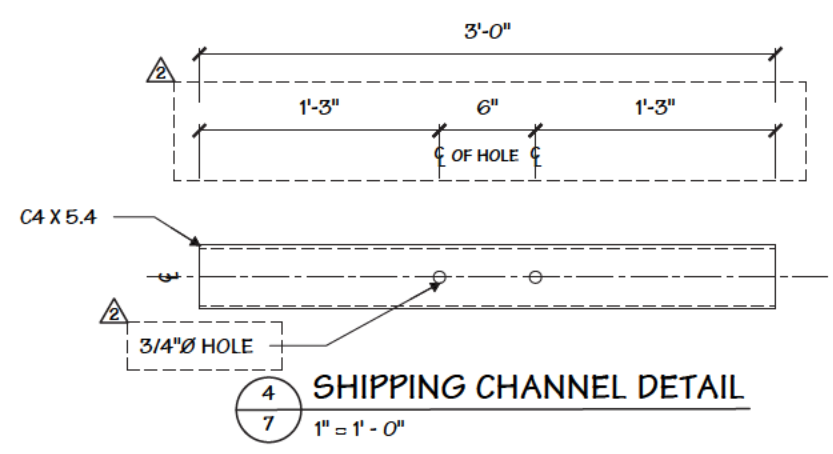
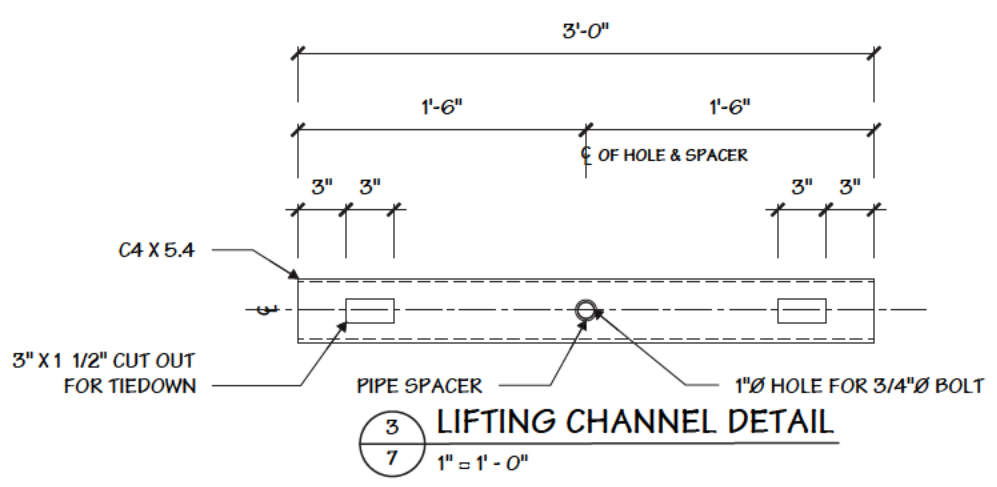
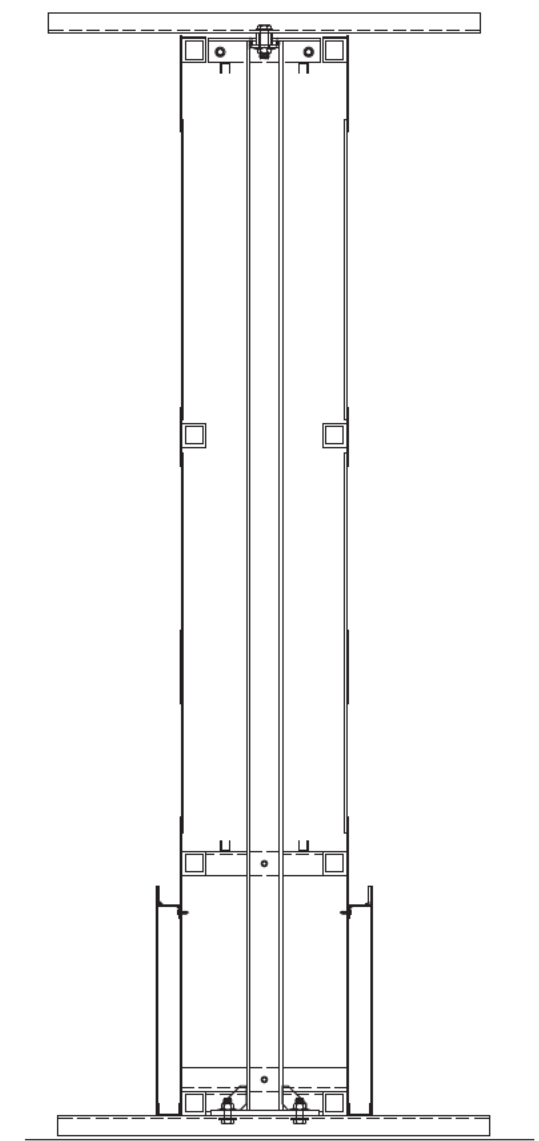
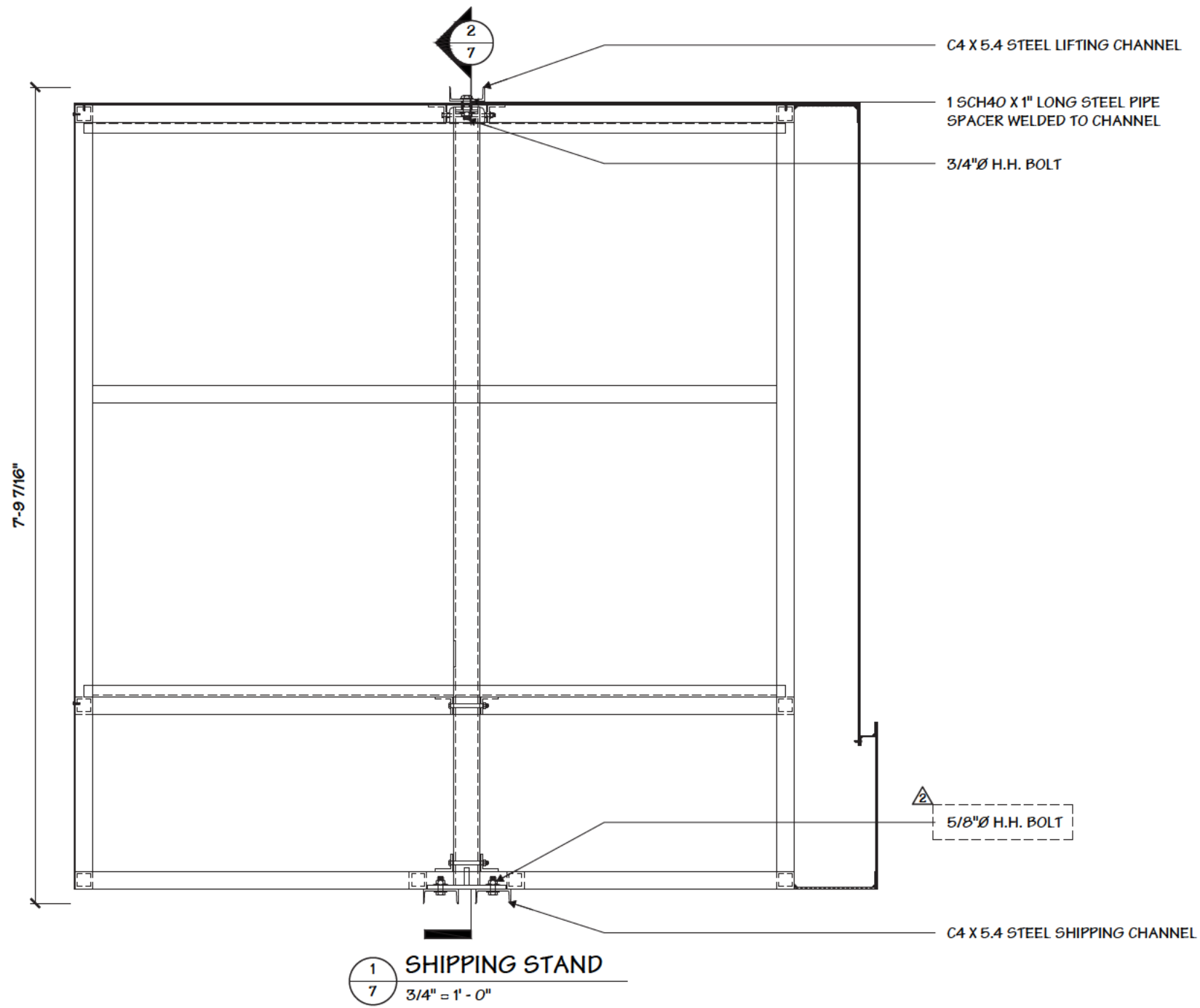
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Sales Person
Brent Albers

Project Manager
Kara Lopez

Designer
Punga Vea

MOUNTING DETAIL



Job #

Client
Griffin Fast Lube Management

Address

Zone

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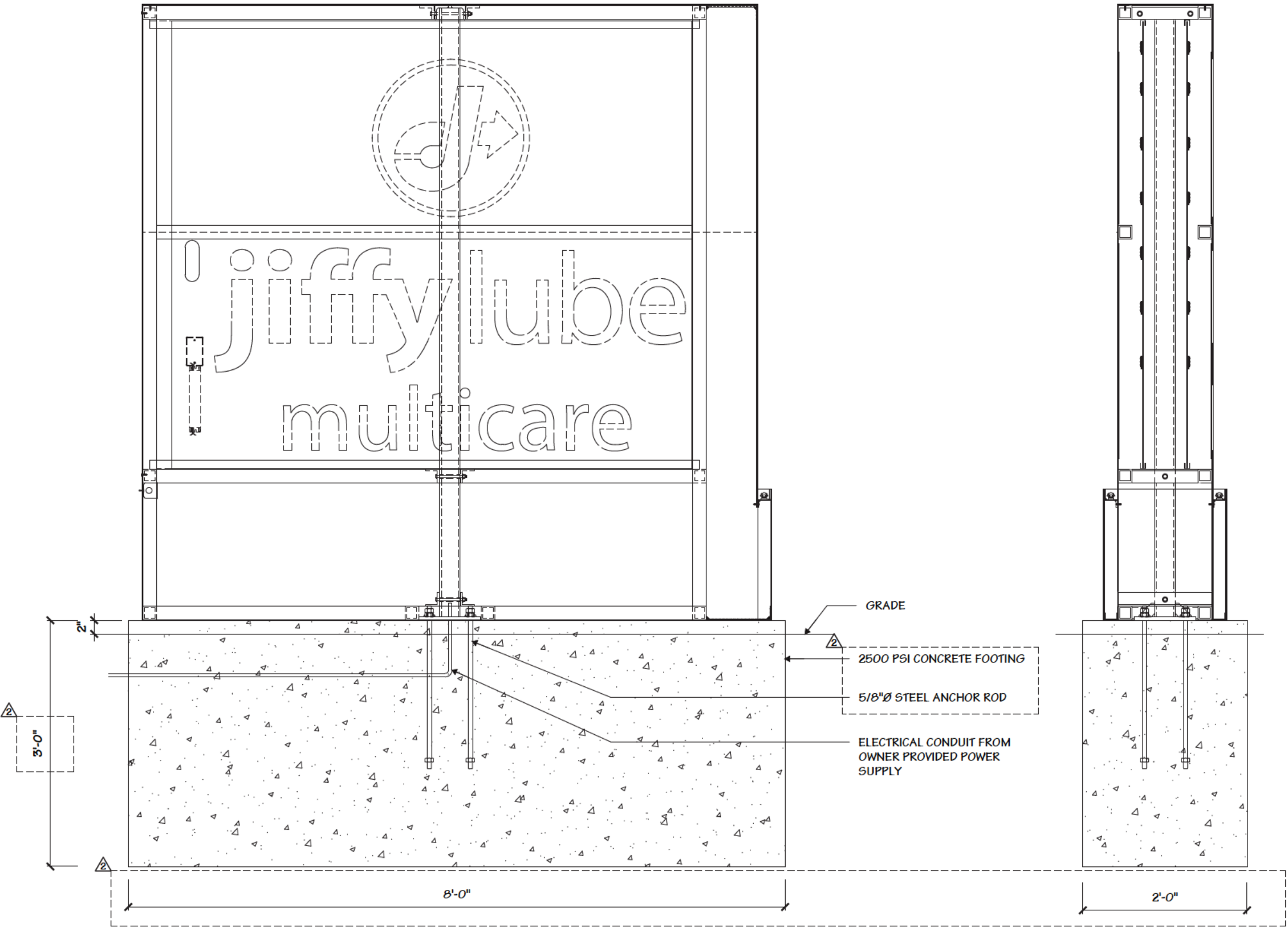
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Sales Person
Brent Albers

Project Manager
Kara Lopez

Designer
Punga Vea

FOUNDATION DETAIL



1 FOUNDATION
8 3/4" = 1' - 0"

Job #

Client
Griffin Fast Lube Management

Address

Zone

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Sales Person
Brent Albers

Project Manager
Kara Lopez

Designer
Punga Vea



Job #

Client
Griffin Fast Lube Management

Address

Zone

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Sales Person
Brent Albers

Project Manager
Kara Lopez

Designer
Punga Vea

Application for Rezoning Real Property



Date Submitted 9/22/2022 Applicant's Name ALS Development

Applicant's Address [REDACTED]

Applicant's Phone [REDACTED] E-mail (optional) [REDACTED]

.....

Fee Schedule (check one):

Up to 5 acres..... \$150.00 []

More than 5 acres..... \$200.00 ☒

Commercial or Manufacturing..... \$250.00 []

Fee received by Andrea Date 9/27/2022

.....

I (we), the undersigned property owner (s), request that the following real property (include or attach a legal description and a scale drawing of the real property here):

19-040-0026
15-005-0025
15-005-0063

Be rezoned from (present zoning) Agriculture & Commercial

To (desired zoning) Medium Density residential and Commercial (with the expansion of the storage units)

YELLOW = M-1, PINK = R-1.5

Include or attach a list of all adjacent property owners within three hundred feet (300') of the property proposed for rezone and their addresses. [☒]

The Planning Commission must review the request from the standpoint that changes in property zoning cannot be made unless it is in the best interest of the citizens of Farr West City generally.

Please answer the following questions: (Attach additional sheets if necessary)

1. How is this request consistent with the policies of Farr West City's General Plan?

Medium density housing will allow for homes to be more affordable. The Storage unit expansion will allow the greater Farr West residents access to storage units closer to home in an area where storage units already exist.

Application for Rezoning Real Property



2. How will this request benefit the general public and the community?

It will provide more indoor storage options, more affordable housing, and a retail commercial pad for sales tax revenue

3. How will this request promote the health, safety, convenience, order or prosperity of the general public?

All development will be designed with the health safety and convenience of the general public.

Signature of Petitioner(s):

David H. H.

Address:

2273 n 2825 w
Plain City, Utah 84404

✓ Checklist:

- ☒ Fees Paid
- ☒ Legal Description
- ☒ Scale Drawing
- ☒ Adjacent Property Owners List
- ☐ Public Hearing Set
- ☐ Adjacent Property Owners Notified

- ☐ Notice Advertised on: _____
- ☐ Public Hearing Held on: _____
- PC Recommendation:
- ☐ Approve ☐ Reject Date: _____
- CC Action:
- ☐ Approve ☐ Reject Date: _____

Application for Rezoning Real Property



2. How will this request benefit the general public and the community?

3. How will this request promote the health, safety, convenience, order or prosperity of the general public?

Signature of Petitioner(s):

DYANN BROWN

Dyann Brown

Address:

1895 N. 2000W
FARM WEST, UT 84404

 Andy Strahan
Manager Tri-City Store

✓ Checklist:

- ☒ Fees Paid
- ☒ Legal Description
- ☒ Scale Drawing
- ☒ Adjacent Property Owners List
- ☐ Public Hearing Set
- ☐ Adjacent Property Owners Notified

- ☐ Notice Advertised on: _____
- ☐ Public Hearing Held on: _____
- PC Recommendation:
- ☐ Approve ☐ Reject Date: _____
- CC Action:
- ☐ Approve ☐ Reject Date: _____



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[<--Back to Search Results](#)
Parcel # 19-040-0026

Ownership Info

Owner	BROWN REVOCABLE TRUST
Property Address	1913 N 2000 W FARR WEST 84404
Mailing Address	1895 N 2000 W FARR WEST UT 844049373
Tax Unit	145

[View in Geo-Gizmo](#)

Plat Map

19-040 [View PDF](#)

Updated: August 22 2022

Prior Year Plats

Plats as of Dec 31st of each year

2017 - 19-040 [View PDF](#)2016 - 19-040 [View PDF](#)2015 - 19-040 [View PDF](#)2014 - 19-040 [View PDF](#)

Dedication Plat

No Dedication Plats found

Current References

Entry #
3077509

Book

Page

Recorded Date
18-AUG-20Kind of Instrument
QUIT CLAIM DEED

Prior Parcel Numbers

No Prior Serial Numbers Found

Legal Description

* For Tax Purposes Only *

PART OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY: BEGINNING AT A POINT ON WEST LINE OF ROAD 746.7 FEET WEST AND 9.59 FEET NORTH OF THE SOUTHEAST CORNER OF SECTION 35; THENCE NORTH 164.41 FEET; THENCE SOUTH 82D41' WEST TO SECTIONLINE; THENCE EAST TO A POINT 896.7 FEET WEST OF THE SOUTHEAST CORNER OF SAID QUARTER SECTION, THENCE NORTH 9.59 FEET, THENCE EAST 150 FEET TO THE POINT OF BEGINNING.

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Today's Date: 10/20/2022

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Parcel # 15-005-0025

Ownership Info

Owner BROWN REVOCABLE TRUST

[View in Geo-Gizmo](#)

Property Address

Plat Map

15-005 [View PDF](#)

Updated: August 22 2022

Mailing Address 1895 N 2000 W
FARR WEST UT 844049373

Tax Unit 145

Prior Year Plats

Plats as of Dec 31st of each year

2017 - 15-005 [View PDF](#)

2016 - 15-005 [View PDF](#)

2015 - 15-005 [View PDF](#)

2014 - 15-005 [View PDF](#)

Dedication Plat

No Dedication Plats found

Current References

Entry #
3077508

Book

Page

Recorded Date
18-AUG-20

Kind of Instrument
QUIT CLAIM DEED

Prior Parcel Numbers

No Prior Serial Numbers Found

Legal Description

** For Tax Purposes Only **

PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE MERIDIAN, U.S. SURVEY: BEGINNING 896.7 FEET WEST FROM THE SOUTHEAST CORNER OF SECTION 35, TOWNSHIP 7 NORTH, RANGE 2 WEST, THENCE SOUTH 1D07' WEST 197.23 FEET, THENCE SOUTH 82D41' WEST 805 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF WILLARD CANAL, THENCE NORTHERLY ALONG THE ARC OF A 385 FOOT RADIUS CURVE TO THE LEFT FOR A DISTANCE OF 270 FEET, THENCE NORTH 60D31' WEST 135 FEET TO THE NORTHERLY PROPERTY LINE AS DEFINED BY WD IN BOOK 132, PAGE 153, THENCE NORTH 82D41' EAST TO THE NORTH LINE OF SAID SECTION 2, THENCE EAST ALONG SECTION LINE TO BEGINNING. CONTAINING 5.06 ACRES, MORE OR LESS.

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Today's Date: 10/20/2022

[<--Back to Search](#)
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Parcel # 15-005-0063

Ownership Info

Owner

BROWN REVOCABLE TRUST

[View in Geo-Gizmo](#)

Property Address

1895 N 2000 W
FARR WEST 84404

Plat Map

15-005 [View PDF](#)

Updated: August 22 2022

Mailing Address

1895 N 2000 W
FARR WEST UT 844049373

Tax Unit

145

Prior Year Plats

Plats as of Dec 31st of each year

2017 - 15-005 [View PDF](#)2016 - 15-005 [View PDF](#)2015 - 15-005 [View PDF](#)2014 - 15-005 [View PDF](#)

Dedication Plat

No Dedication Plats found

Current References

Entry #
3077510

Book

Page

Recorded Date
18-AUG-20Kind of Instrument
QUIT CLAIM DEED

Prior Parcel Numbers

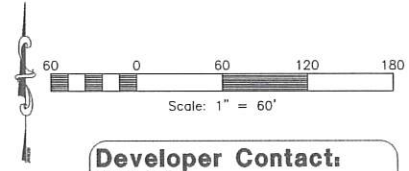
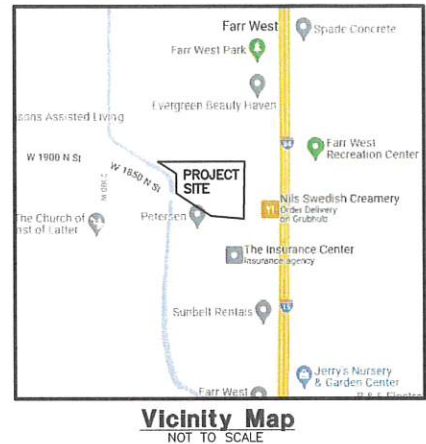
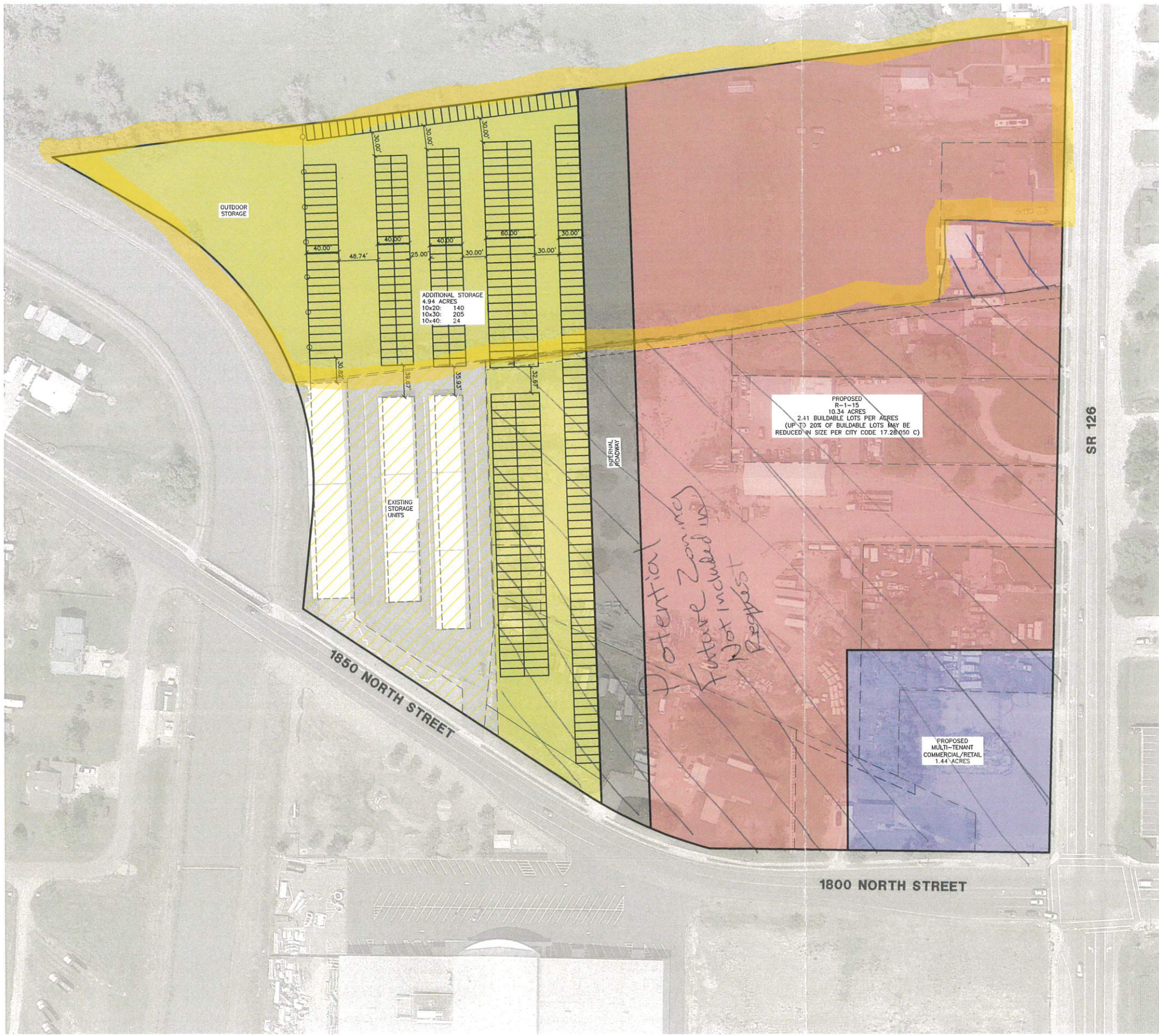
150050025

Legal Description

* For Tax Purposes Only *

PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, AND THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 7 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY: BEGINNING AT A POINT ON THE WEST LINE OF 2000 WEST STREET (U-84), SAID POINT BEING WEST ALONG THE SECTION LINE 755.32 FEET AND SOUTH 1D07' WEST 90.41 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 2, AND RUNNING THENCE NORTH 88D53' WEST 150.00 FEET, THENCE NORTH 1D07' EAST 100.00 FEET, THENCE SOUTH 88D53' EAST 150.00 FEET TO THE WEST LINE OF SAID STREET, THENCE SOUTH 1D07' WEST 100.00 FEET TO THE POINT OF BEGINNING.

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Developer Contact:
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dave@ipaveutah.com
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Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Notice:
THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER INFRASTRUCTURE. IF PRINTED IN, OR COPIED TO BLACK & WHITE, SOME LINE WORK MAY NOT SHOW UP PROPERLY.



REVISIONS	DESCRIPTION
DATE	

Farr West Property
PART OF THE NE 1/4 OF SECTION 2 & THE SE 1/4 OF SECTION 35
T.6N, R.2W, S.14B & M., U.S. SURVEY
WEBER COUNTY, UTAH

Concept Plan



Project Info.
Engineer: J. NATE REEVE, P.E.
Drafter: J. MEYERS
Begin Date: SEPTEMBER 2022
Name: FARR WEST PROPERTY
Number: 8065-01