



FARR WEST CITY PLANNING COMMISSION AGENDA

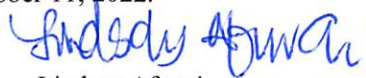
October 13, 2022 at 7:00 p.m.
City Council Chambers
1896 North 1800 West
Farr West, UT 84404

Notice is hereby given that the Planning Commission of Farr West City will hold a 6 pm work session and its regular meeting at 7:00 pm on Thursday, October 13, 2022

6:00 pm Work Session to discuss the general plan maps and the C-3 zone

1. Call to Order –Chairman Ted Black
2. Opening Ceremony
 - a. Pledge of Allegiance
 - b. Prayer
3. Business Items
 - a. Report from City Council
 - b. Recommendation to the City Council approval or denial of a site plan of The Fisher Family Homestead LLC assisted living facility located at 1300 North 2000 West
 - c. Set a public hearing for October 27, 2022 to consider the request of a conditional use permit for an accessory building over 2,000 square feet for Jordan Watson at 1634 West 1850 North
4. Consent Items
 - a. Approval of minutes dated September 22, 2022
5. Chairman/Commission Follow-up
 - a. Report on Assignments
6. Public Comments (*Resident(s) attending this meeting will be allotted 2 minutes to express a concern or ask a question about any issue that IS NOT ON THE AGENDA. No action can or will be taken on any issue presented.*)
7. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was mailed to each member of the Planning Commission, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on October 11, 2022.


Lindsay Afuvai
Recorder

Application for Site Plan Approval



1896 North 1800 West
Farr West, UT 84404
Phone – (801)731-4187
Fax – (801) 731-7732

Date Submitted: _____

Applicant Name: Sonia Fisher Applicant Address: _____

Phone: _____ Email: _____

Business Name: The Fisher Family Homestead LLC Application Number: _____

Business Address: 6467 S 1850 E, Ogden, UT 84405 Phone: 801-564-7847

Address and description of site being considered: _____

2000 West 1300 North Farr West City

New construction on a greenfield.

Tax ID number of site being considered: 150040117

Current zoning of site: A-1

FEE SCHEDULE

Application: \$100.00 Engineering Deposit: \$1,000.00

Site Plan approval is required for the following conditions. Please indicate all conditions associated with this application:

- ☒ All proposed new development except single-family detached residences.
- ☐ All additions of alterations to nonconforming structures (see chapter 17.52 of the Farr West City municipal code for reference to nonconforming buildings).
- ☐ Issuance of a conditional use permit for new construction.
- ☒ New signs
- ☐ Modified site plan review shall be required for any change of use in a existing structure or site or addition, except single-family detached residences.
- ☐ All plans for earth sheltered dwellings.

The following information is required for site plan approval (check box next to all items submitted with application):

(Note: Not providing the required information will result in a delay of approval by the planning commission)

- ☒ A site plan (or set of plans as needed) showing all the required information listed below drawn accurately to an engineering scale. The plan needs to be submitted on 11x17, or larger paper, and in an electronic PDF format.
- ☒ Lot dimensions and orientations: North arrow, etc.
- ☒ Existing and proposed buildings with their dimensions and the locations of all opening in exterior walls.
- ☒ Height of all buildings and other proposed or existing structures; type and slope of roof construction.
- ☒ Indication of proposed use of buildings.
- ☒ All off street parking, locations and size of points of entry and exists, loading facilities, internal traffic circulation patterns, location of handicapped parking and handicapped access to building(s).
- ☒ Height of all existing and proposed walls and fences and type of construction.
- ☒ Location and type of landscaping.
- ☒ All existing easements (dedicated and prescriptive), irrigation ditches, alleys and street rights of ways. Locations and height of any overhead power and communication and transmission lines, and all utility easements which may affect the property.
- ☒ All existing and proposed improvements. Improvements include: curb and gutter, sidewalks, sanitary and storm sewer lines, fire hydrants and driveway approaches. Grades must be shown for curb and gutter, sidewalks, sanitary and storm sewer lines.
- ☒ Location, type, lighting and size of proposed and existing signs.
- ☒ Location, type and size of proposed and existing light poles.
- ☒ A method for controlling storm drainage so that storm runoff will not enter adjoining property must be shown.
- ☒ One copy of a current county ownership plat showing the property and adjacent properties.
- ☐ Approval letter from Weber Fire District (801-782-3580).
- ☒ Approval letter from Bona Vista Water (801-621-0474).

If any of the above information is not being provided please indicate reasoning:

Weber fire marshal David Reed has emailed that the "location will work", but they do not provide will serve or approval letters. They serve all structures by law, and review new buildings once full construction documents with stamps have been completed. He said he would contact the city to get on the same page and would take care of whatever we need to get site plan approval

Answer the following questions as applicable: (Attach additional paper if needed.)

1. State in detail what is intended to be done on or with the property? _____

Construction of an 11,200 sf 16 unit assisted living facility along with a 1,400 sf manager home.

2. How will the proposed use be compatible with existing surrounding uses, buildings, and structures, when considering traffic generation, parking, building design, location and landscaping?

The architecture of the assisted will be in the farmhouse style with a large covered porch that is consistent with the surrounding buildings. Assisted living facilities have minimal traffic which will not adversely affect the traffic flow.

Signature of Applicant:

Applicant acknowledges they are responsible for all engineering fees associated with this application.

In issuing this application the signer(s) certifies the information provided is correct and they agree to the conditions set by the members of the planning commission and city council. **All** property owners must sign below in the presence of the city recorder/clerk or have their signatures notarized in order to be valid.

Val S Fisher

Owner Signature

Val S. Fisher

Print Name

Sonia Fisher

Owner Signature

Sonia Fisher

Print Name

I/We authorize Val S. + Sonia to act as my/our agent in all matters relating to this application.
(Print name) Fisher

Val S Fisher

Owner Signature

Val S. Fisher

Print Name

Sonia Fisher

Owner Signature

Sonia Fisher

Print Name

Authorized Agent Signature

Signature of City Recorder/Clerk
(Not Required if Notarized)

State of Utah)

§

Count of Weber)

On this 27 day of April, in the year 2022, before me McKenna Kennedy,
a notary public, personally appeared Val S Fisher, proved
on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument,
and acknowledge (he/she/they) executed the same. Witness my hand and official seal.



McKenna Kennedy
NOTARY PUBLIC

S

E
A
L

State of Utah)

County of Neber)
§

On this 27 day of April, in the year 2022, before me McKenna Kennedy, a notary public, personally appeared Sonia Fisher, proved on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument, and acknowledge (he/she/they) executed the same. Witness my hand and official seal.



McKenna Kennedy
NOTARY PUBLIC

S
E
A
L

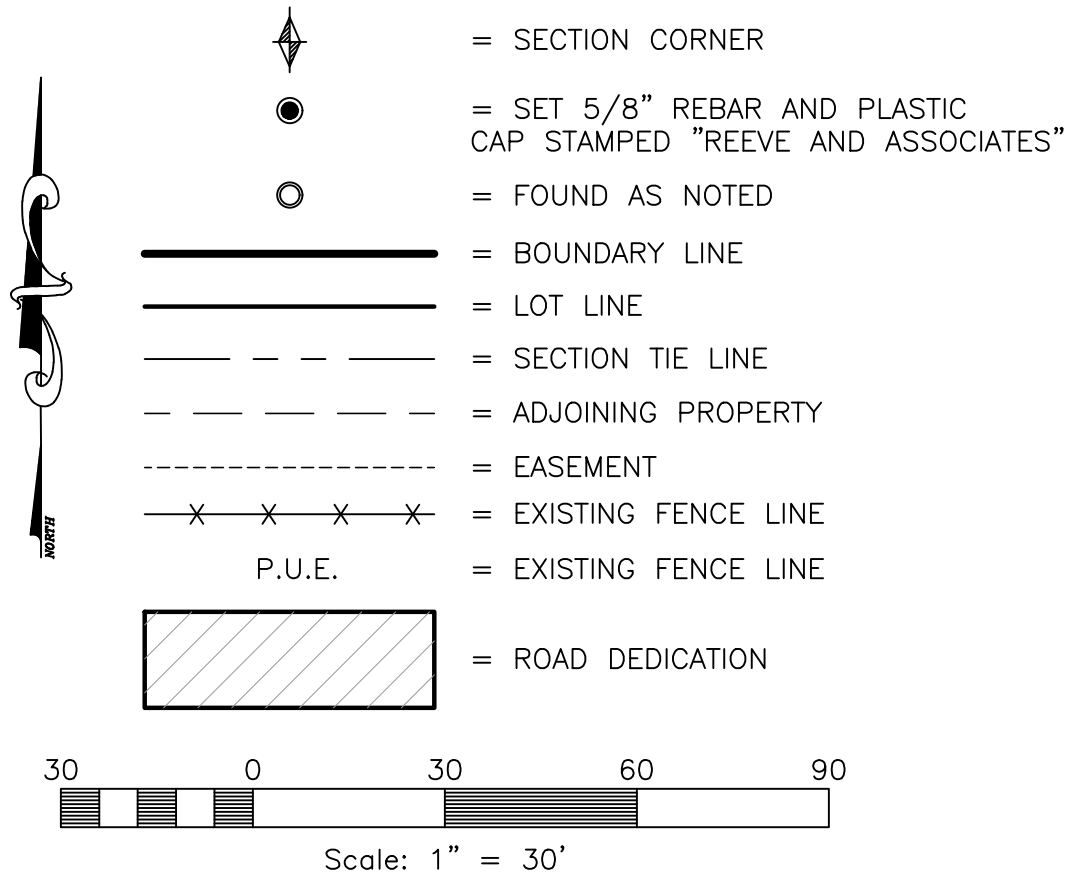
For City Use:

Fee received by: McKinzie Date received: 4.27.22
Receipt number: 9-001980 Cash/Check (circle one) .
Date site plan received: 4.27.22 Received by: McKinzie
Date met with city engineer: _____ Signed: _____
Date engineer approved plan: _____ Signed: _____
Date planning commission approved: _____
Date city council approved (conditional use permit only): _____



VICINITY MAP
SCALE: NONE

LEGEND



BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE LINE BETWEEN TWO FOUND MONUMENTS AT THE EAST QUARTER CORNER AND SOUTHEAST CORNER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS S00°37'40"W.

NARRATIVE

THE PURPOSE OF THIS PLAT IS TO DIVIDE THE BELOW DESCRIBED PROPERTY INTO LOTS AS SHOWN. THE NORTH LINE WAS PLACED ALONG THE SURVEYED SOUTH LINE OF PARCEL # 15-004-0084 AS PER RECORD OF SURVEY # 4426. THE EAST LINE WAS PLACED ALONG THE WESTERLY RIGHT OF WAY LINE OF I-15 AS PER RECORD OF SURVEY # 4267, WHICH MATCHES OCCUPATION WELL AND A FOUND PIPE. THE SOUTH LINE WAS PLACED ALONG THE DEED LINE. THE WEST LINE WAS ALSO PLACED ALONG THE DEED, WITH THE SHOWN PROPOSED RIGHT OF WAY BEING DETERMINED BY THE RIGHT OF WAY SHOWN ON THE BONA VISTA WEBER FIRE SUBDIVISION. ALL REAR LOT CORNERS WERE SET WITH A 5/8" X 24" REBAR AND PLASTIC CAP STAMPED "REEVE & ASSOCIATES".

BOUNDARY DESCRIPTION

PART OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

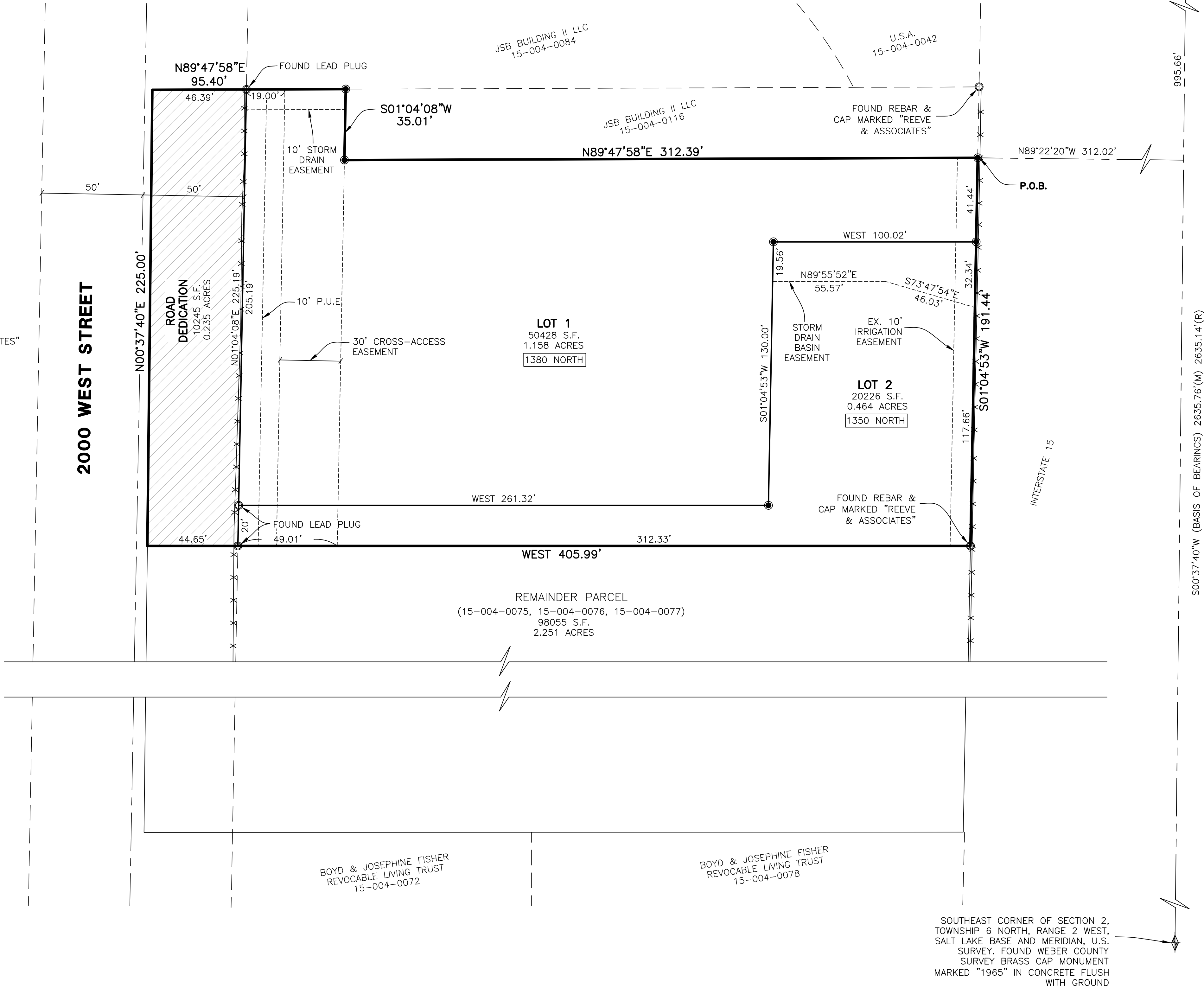
BEGINNING AT A POINT IN AN EXISTING FENCE LINE, SAID POINT BEING S00°37'40"W 995.66 FEET AND N89°22'20"W 312.02 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION 2; THENCE S01°04'53"W 191.44 FEET; THENCE WEST 405.99 FEET; THENCE N00°37'40"E 225.00 FEET; THENCE N89°47'58"E 95.40 FEET; THENCE S01°04'08"W 35.01 FEET; THENCE N89°47'58"E 312.39 FEET TO AN EXISTING FENCE LINE AND TO THE POINT OF BEGINNING.

CONTAINING 80,899 SQUARE FEET OR 1.857 ACRES MORE OR LESS.

THE FISHER FAMILY HOMESTEAD

PART OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY
FARR WEST CITY, WEBER COUNTY, UTAH
MAY, 2022

EAST QUARTER CORNER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. FOUND WEBER COUNTY SURVEY BRASS CAP MONUMENT MARKED "2005" IN CONCRETE 10" BELOW GROUND



BOYD & JOSEPHINE FISHER
REVOCABLE LIVING TRUST
15-004-0072

BOYD & JOSEPHINE FISHER
REVOCABLE LIVING TRUST
15-004-0078

SOUTHEAST CORNER OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. FOUND WEBER COUNTY SURVEY BRASS CAP MONUMENT MARKED "1965" IN CONCRETE FLUSH WITH GROUND

FARR WEST CITY PLANNING COMMISSION

APPROVED BY THE FARR WEST CITY PLANNING COMMISSION

THIS _____ DAY OF _____, 20____.

CHAIRMAN

FARR WEST CITY ENGINEER

APPROVED BY THE FARR WEST CITY ENGINEER

THIS _____ DAY OF _____, 20____.

FARR WEST CITY ENGINEER

FARR WEST ACCEPTANCE

THIS IS TO CERTIFY THAT THIS PLAT AND DEDICATION OF THIS PLAT WERE DULY APPROVED AND ACCEPTED BY FARR WEST CITY, WEBER COUNTY, UTAH.

THIS _____ DAY OF _____, 20____.

ATTEST:

TITLE:

FARR WEST CITY ATTORNEY

I HEREBY CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES PREREQUISITE TO APPROVAL BY THE _____ OF THE FOREGOING PLAT AND DEDICATIONS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20____.

Weber County Recorder

Entry No. _____ Fee Paid _____

And Recorded, _____

At _____ in Book _____

Of The Official Records, Page _____

Recorded For: _____

Weber County Recorder

Deputy.

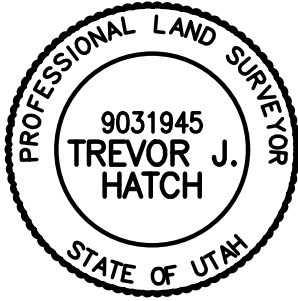
SURVEYOR'S CERTIFICATE

I, **TREVOR J. HATCH**, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND THAT THIS PLAT OF **THE FISHER FAMILY HOMESTEAD** IN **FARR WEST CITY, WEBER COUNTY, UTAH**, HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE **WEBER COUNTY** RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND. I FURTHER CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND ORDINANCES OF **FARR WEST CITY, WEBER COUNTY**, CONCERNING ZONING REQUIREMENTS REGARDING LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 20____.

9031945

UTAH LICENSE NUMBER



OWNERS DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THE PLAT AND NAME SAID TRACT **THE FISHER FAMILY HOMESTEAD**, AND DO HEREBY DEDICATE TO UDOT ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS ROAD DEDICATION, THE SAME TO BE USED AS PUBLIC THOROUGHFARES AND ALSO TO GRANT AND DEDICATE A PERPETUAL RIGHT AND EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED HEREON AS PUBLIC UTILITY AND DRAINAGE EASEMENTS, SEWER EASEMENTS, AND IRRIGATION CANAL EASEMENTS, THE SAME TO BE USED FOR THE INSTALLATION MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINE, STORM DRAINAGE FACILITIES, IRRIGATION CANALS OR FOR THE PERPETUAL PRESERVATION OF WATER CHANNELS IN THEIR NATURAL STATE WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY THE GOVERNING AUTHORITY, WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS, AND DO HEREBY DEDICATE A 30' CROSS ACCESS EASEMENT AS SHOWN HEREON TO ALL LOT OWNERS, THEIR HEIRS AND ASSIGNS, AND DO HEREBY DEDICATE THE STORM DRAIN AND DETENTION BASIN EASEMENT SHOWN HEREON TO THE PROPERTY OWNER, TO BE MAINTAINED BY THE SAME.

SIGNED THIS _____ DAY OF _____, 20____.

ACKNOWLEDGMENT

STATE OF UTAH)ss.
COUNTY OF _____)

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ SIGNER(S) OF THE ABOVE OWNER'S DEDICATION AND CERTIFICATION, WHO BEING BY ME DULY SWORN, DID ACKNOWLEDGE TO ME _____ SIGNED IT FREELY, VOLUNTARILY, AND FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____

NOTARY PUBLIC

ACKNOWLEDGMENT

STATE OF UTAH)ss.
COUNTY OF _____)

ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, _____ BEING BY ME DULY SWORN, ACKNOWLEDGED TO ME THEY ARE _____ OF _____ AND THAT THEY SIGNED THE ABOVE OWNER'S DEDICATION AND CERTIFICATION FREELY, VOLUNTARILY, AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED.

COMMISSION EXPIRES _____

NOTARY PUBLIC

Project Info.

Surveyor: T. HATCH

Designer: E. ROCHE

Begin Date: 5-10-21

Name: THE FISHER

FAMILY HOMESTEAD

Number: 7570-01

Revision: 5-20-22

Scale: 1"=30'

Checked: _____



Reeve & Associates, Inc.

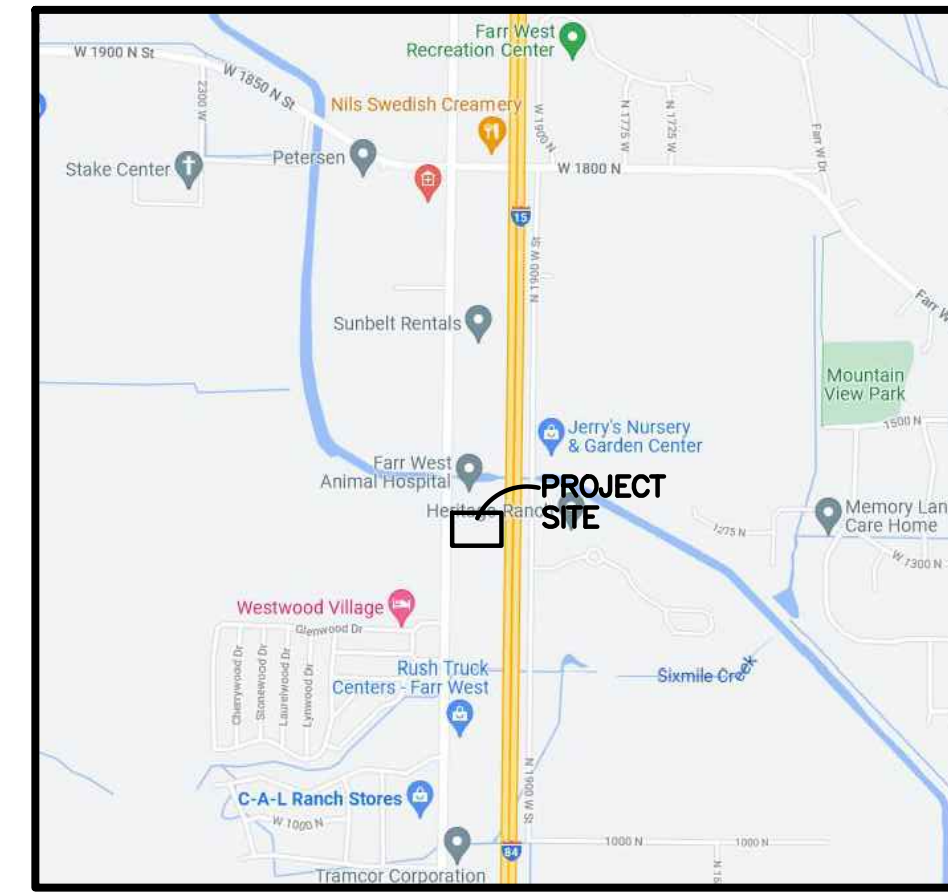
5160 S 1500 W, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-associates.com

Project Narrative/Notes/Revisions

- 02/01/22 JM - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
- 03/07/22 JM - CLIENT'S NEW LAYOUT.
- 04/26/22 TB - COMMENT REVISIONS.
- 05/11/22 TB - CITY COMMENT REVISIONS (05/09/2022).
- 06/08/22 JM - UDOT COMMENTS.
- 06/23/22 JM - FIRE REVIEW.
- 07/26/22 TB - UDOT COMMENTS.
- 08/25/22 KH - PARKING AND FIRE REVISIONS.
- 09/02/22 KH - ADA RAMP AND CONCRETE STALLS.
- 09/20/22 JM - WATER COMMENTS.

The Fisher Family Homestead 2000 W & 1300 N Improvement Plans

FARR WEST CITY, WEBER COUNTY, UTAH
JANUARY 2022



Vicinity Map
NOT TO SCALE

SITE DATA

PARKING:	24 STALLS PROVIDED (2 A.D.A.)
PARCEL AREA:	80,899 S.F. (1.86 ACRES)
BUILDING AREA:	15,276 S.F. 18.9%
PAVED AREA:	28,830 S.F. 35.6%
LANDSCAPE AREA:	36,793 S.F. 45.5%

Sheet Index

Sheet 1 - Cover/Index Sheet

Sheet 2 - Notes/Legend

Sheet 3 - Existing/Demolition Plan

Sheet 4 - Proposed Site Plan

Sheet 5 - Grading/Utility Plan

Sheet 6 - Civil Details

Sheet 7 - Storm Water Pollution Prevention
Plan Exhibit

Sheet 8 - Storm Water Pollution Prevention
Plan Details

Sheet 9 - Landscape Plan

Sheet 10- Irrigation Plan

Sheet 11- Irrigation Details

Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Elevation Datum:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE LINE BETWEEN TWO FOUND MONUMENTS AT THE EAST QUARTER CORNER AND SOUTHEAST CORNER OF SECTION 2, TOWNSHIP 6 NORTH RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, SHOWN HEREON AS S00°37'40"W.



Architect:

Brian Zaintz
JZW Architects
849 w Hillfield Rd
Layton Utah 84041
PH: (801) 936-1343

Geotech. Engineer:

Andrew Harris
CMT Engineering
andyharris@cmtlabortaoaries.com
(801) 870-6730

Surveyor:

Trevor Hatch
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Landscape Architect:

Nathan Peterson
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Developer Contact:

Val & Sonia Fisher
Fisher Investments Family Limited
Partnership
6467 S 1850 E
Ogden, Utah 84405
PH: (801) 564-7847

Project Contact:

Ken Hunter
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Notice:

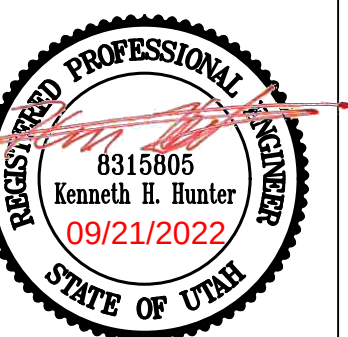
THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER INFRASTRUCTURE. IF PRINTED IN, OR COPIED TO BLACK & WHITE, SOME LINE WORK MAY NOT SHOW UP PROPERLY.



REVISIONS	DATE	DESCRIPTION
05-11-22	TB	City Comments
06-08-22	JM	UDOT COMMENTS
07-26-22	TB	UDOT COMMENTS

The Fisher Family Homestead
2000 W & 1300 N
FARR WEST, WEBER COUNTY, UTAH

Cover/Index Sheet



Project Info.

Engineer:
KENNETH H. HUNTER, P.E.
Drafter:
J. MEYERS
Begin Date:
FEBRUARY 2021
Name:
FISHER FAMILY
HOMESTEAD
Number: 7570-01

General Notes:

1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA), AND THE DESIGN ABOVE IS ARRANGED BY SENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
2. CONTRACTOR TO STRICTLY FOLLOW GEOTECHNICAL RECOMMENDATIONS FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH PROJECT GEOTECHNICAL ENGINEER.
3. TRAFFIC CONTROL, STRIPING & SIGNAGE TO CONFORM TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
5. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
6. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
7. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
8. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PERMITS AND APPROVAL DOCUMENTS APPROVED BY ALL OF THE PERTINENT AUTHORITIES.
9. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
10. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING TESTING REQUIRED INSPECTIONS.
11. ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
12. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
13. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
14. CATCH SLOPES SHALL BE GRADED AS SPECIFIED ON GRADING PLANS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
16. CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTAINED IN THESE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
17. CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS HE MAY PREFER OF THE LOCATIONS OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF, DURING THE COURSE OF HIS EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO HIM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING HIS BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, HE HAS RELIED AND IS RELYING ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS NECESSARY TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE. BY THE CONTRACTOR, CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING HIS BID.
18. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
19. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, AND/OR GOVERNING AGENCIES.
20. CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
21. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
23. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
24. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
25. CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR PRIOR TO ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
26. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED.
27. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
28. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO TIE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
29. CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES, OR REQUIREMENTS FOR EXCAVATION AND TRENCHES.
30. ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.

Utility Notes:

1. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
2. EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS), PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES, ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
3. CONTRACTOR SHALL POT HOLE ALL UTILITIES TO DETERMINE IF CONFLICTS EXIST PRIOR TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
4. CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT HIS EXPENSE.
5. ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
6. CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
7. CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROCESS, TO A SMOOTH FINISH.
8. CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET LID FRAME AND TOP OF CONCRETE BOX.
9. SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEAN CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
10. CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATINGS TO ALLOW ACCESS.
11. EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DE-WATERED CONDITIONS.
12. CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
13. MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS PER BONA VISTA STANDARDS.
14. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
15. ALL BOLTED FITTINGS MUST BE GREASED AND WRAPPED.
16. UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
17. ALL WATER LATERALS SHALL BE INSTALLED A MINIMUM OF 48" COVER FROM TOP OF COPPER TUBING TO FINISHED GRADE PER BONA VISTA STANDARDS.
18. ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE SEWER LINE AND WATER LINE SHALL BE LAID IN SEPARATE TRENCHES AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
19. CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
20. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
21. CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.
22. THRUST BLOCKS & RESTRAINED JOINTS WITH MECA-LUG ADAPTERS REQUIRED ON ALL BENDS AND FITTINGS USING BLUE BOLTS. PROTECT ALL BOLTS FROM BEING ENCASED IN CONCRETE. INSTALL PER MANUFACTURER RECOMMENDATIONS.

Notice to Contractor:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS IS BASED UPON RECORDS OF THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

THE CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

NOTE:
1. SAWCUT EXISTING ASPHALT INSIDE FROM OUTER EDGE FOR TACK SEAL OF NEW ASPHALT.
2. CONTRACTOR TO VERIFY 2% MIN. AND 5% MAX SLOPE FROM EDGE OF ASPHALT TO LIP OF GUTTER.

Survey Control Note:

THE CONTRACTOR OR SURVEYOR SHALL BE RESPONSIBLE FOR FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING REEVE & ASSOCIATES, INC. SURVEY DATA OR CONSTRUCTION IMPROVEMENT PLANS. PRIOR TO PROCEEDING WITH CONSTRUCTION STAKING, THE SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY, IMPROVEMENT PLAN, OR ANY ELECTRONIC DATA PROVIDED. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN FIVE (5) EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ELECTRONIC DATA PROVIDED. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY REEVE & ASSOCIATES, INC. AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION STAKING.

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL OF THIS PROJECT. ALL CONSTRUCTION OF THIS PROJECT, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED AREA IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

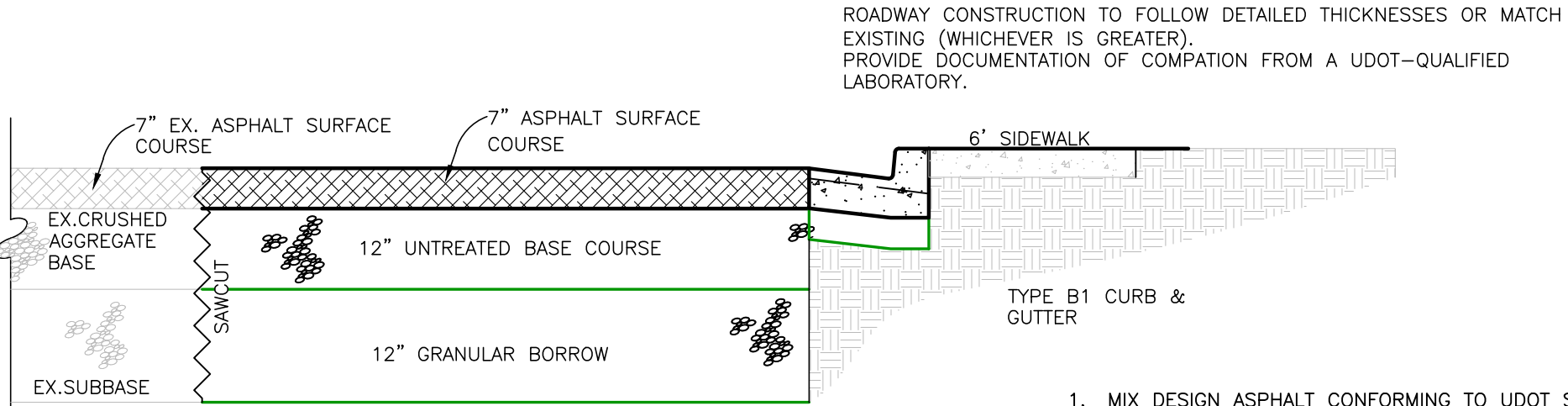
EXPPOSED SLOPES:

ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:

- A) SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
- B) TRACKING STRAW PERPENDICULAR TO SLOPES
- C) INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

UDOT Notes:

1. ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATIONS.
2. THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN UDOT RIGHT-OF-WAY. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATION SECTION OF THE ENCROACHMENT PERMIT.
3. UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
4. OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT RIGHT-OF-WAY AS A RESULT OF DEVELOPMENT ACTIVITIES.
5. OWNER, DEVELOPER, AND/OR CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
6. ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
7. COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-23-14 (DISTURBED CORNERS - COUNTY SURVEYOR TO BE NOTIFIED - COORDINATION WITH CERTAIN STATE AGENCIES).



UDOT Street Detail

SCALE: NONE

1. MIX DESIGN ASPHALT CONFORMING TO UDOT SPECIFICATIONS 02741
2. SAWCUT AND TACK COAT VERTICAL CUTS IN ASPHALT PER UDOT SPECIFICATION 027055 PAVEMENT CUTTING
3. CHIP SEAL TYPE II WITH EMULSION LAMRS-2 PER UDOT STANDARD SPECIFICATIONS 02785 (ESTIMATED APPLICATION RATE OF 0.45 GAL/SQ YD) IS REQUIRED FOR THIS ROADWAY ON AT LEAST ALL NEW PAVEMENT PLACED WITHIN DOT ROW.

Legend

	= PROPOSED SECONDARY WATER LATERAL		= PROPOSED WATER METER	PP	= POWER/UTILITY POLE
	= PROPOSED LAND DRAIN LATERAL		= EXISTING WATER METER	P.U.E.	= PUBLIC UTILITY EASEMENT
	= PROPOSED WATER LATERAL		= PROPOSED CATCH BASIN	RCP	= REINFORCED CONCRETE PIPE
	= PROPOSED SEWER LATERAL		= EXISTING CATCH BASIN	RIM	= RIM OF MANHOLE
	= PROPOSED CULINARY WATER LINE		= DRAINAGE SWALE	R.O.W.	= RIGHT-OF-WAY
	= EXISTING CULINARY WATER LINE		= PLUG W/ 2\"/>	SD	= STORM DRAIN
	= PROPOSED SECONDARY WATER LINE		= PLUG & BLOCK	SS	= SANITARY SEWER
	= EXISTING SECONDARY WATER LINE		= STREET LIGHT	TBC	= TOP BACK OF CURB
	= PROPOSED SANITARY SEWER LINE		= SIGN	TOA	= TOP OF ASPHALT
	= EXISTING SANITARY SEWER LINE		= BUILDING	TOC	= TOP OF CONCRETE
	= PROPOSED STORM DRAIN LINE		= CURB & GUTTER	TOFF	= TOP OF FINISHED FLOOR
	= EXISTING STORM DRAIN LINE		= CATCH BASIN	TOI	= TOP OF PUMP ISLAND
	= PROPOSED LAND DRAIN LINE		= CUBIC FEET	TSW	= TOP OF SIDEWALK
	= EXISTING LAND DRAIN LINE		= CUBIC FEET PER SECOND	W	= CULINARY WATER
	= PROPOSED IRRIGATION LINE		= FENCE CORNER	WM	= WATER METER
	= EXISTING IRRIGATION LINE		= FINISH FLOOR		= EXISTING ROADWAY PAVEMENT
	= FENCE LINE		= FINISH FLOOR ELEVATION		= PROPOSED ASPHALT PAVEMENT
	= PROPOSED FIRE HYDRANT		= FIRE HYDRANT		= PROPOSED CONCRETE
	= EXISTING FIRE HYDRANT		= FLOW LINE		= PROPOSED GRAVEL
	= PROPOSED MANHOLE		= GRADE BREAK		= PROPOSED OUTFALL CURB
	= EXISTING MANHOLE		= INVERT		
	= PROPOSED SEWER CLEAN-OUT		= LINEAR FEET		
	= PROPOSED GATE VALVE		= NATURAL GRADE		
	= EXISTING GATE VALVE				

Reeve & Associates, Inc.

REVISIONS

DATE	DESCRIPTION
05-11-22	TB City Comments
06-08-22	JM UDOT COMMENTS
07-26-22	TB UDOT COMMENTS

5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeveco.com
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

The Fisher Family Homestead

2000 W & 1300 N

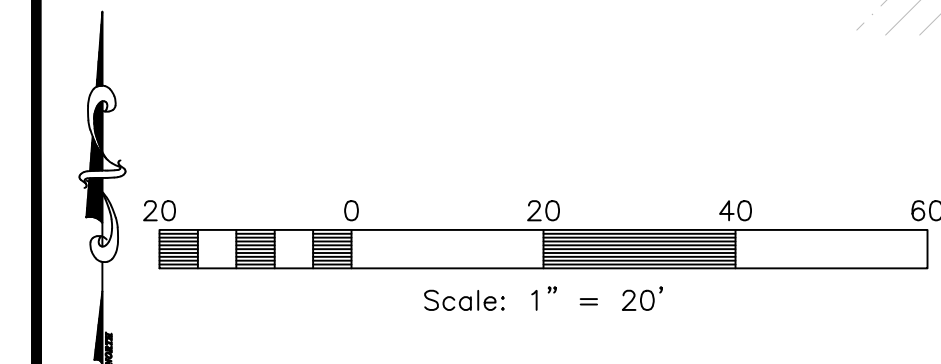
FARR WEST, WEBER COUNTY, UTAH

Notes/Legend

Project Info.
Engineer: KENNETH H. HUNTER, P.E.
Drafted: J. MEYERS
Begin Date: FEBRUARY 2021
Name: FISHER FAMILY HOMESTEAD
Number: 7570-01

2

11 Total Sheets



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Reeve & Associates, Inc. - Solutions You Can Build On



Reeve & Associates, Inc.

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS
TEL: (801) 621-3100 WWW.1000000.COM

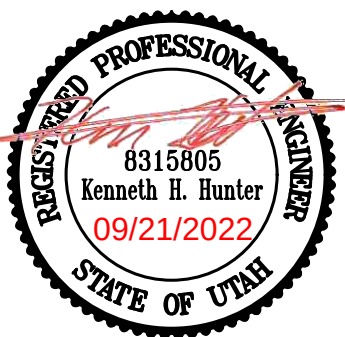
REVISIONS		DATE	DESCRIPTION
		05-11-22	City Comments
		06-08-22	UDOT COMMENTS
		07-26-22	UDOT COMMENTS

The Fisher Family Homestead 2000 W & 1300 N

2000 W & 1300 N
FARR WEST, WEBER COUNTY, UTAH

FARR WEST, WEBER COUNTY, UTAH

Existing/Demolition Plan



Project Info.

Engineer: KENNETH H. HUNTER, P.E.
 Drafter: J. MEYERS
 Begin Date: FEBRUARY 2021
 Name: FISHER FAMILY
 HOMESTEAD
 Number: 7570-01

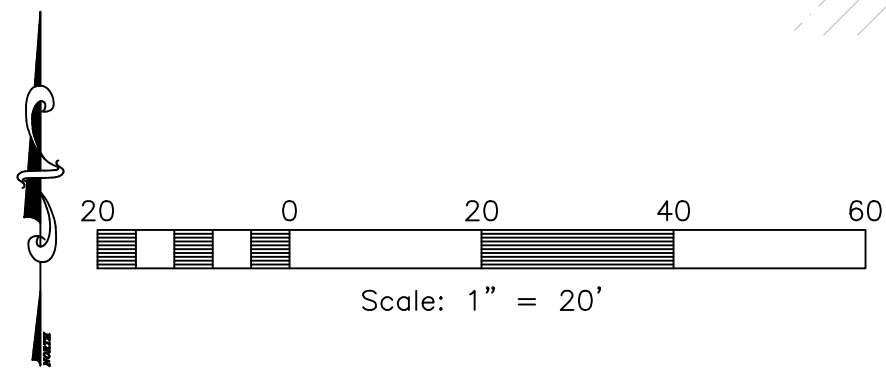
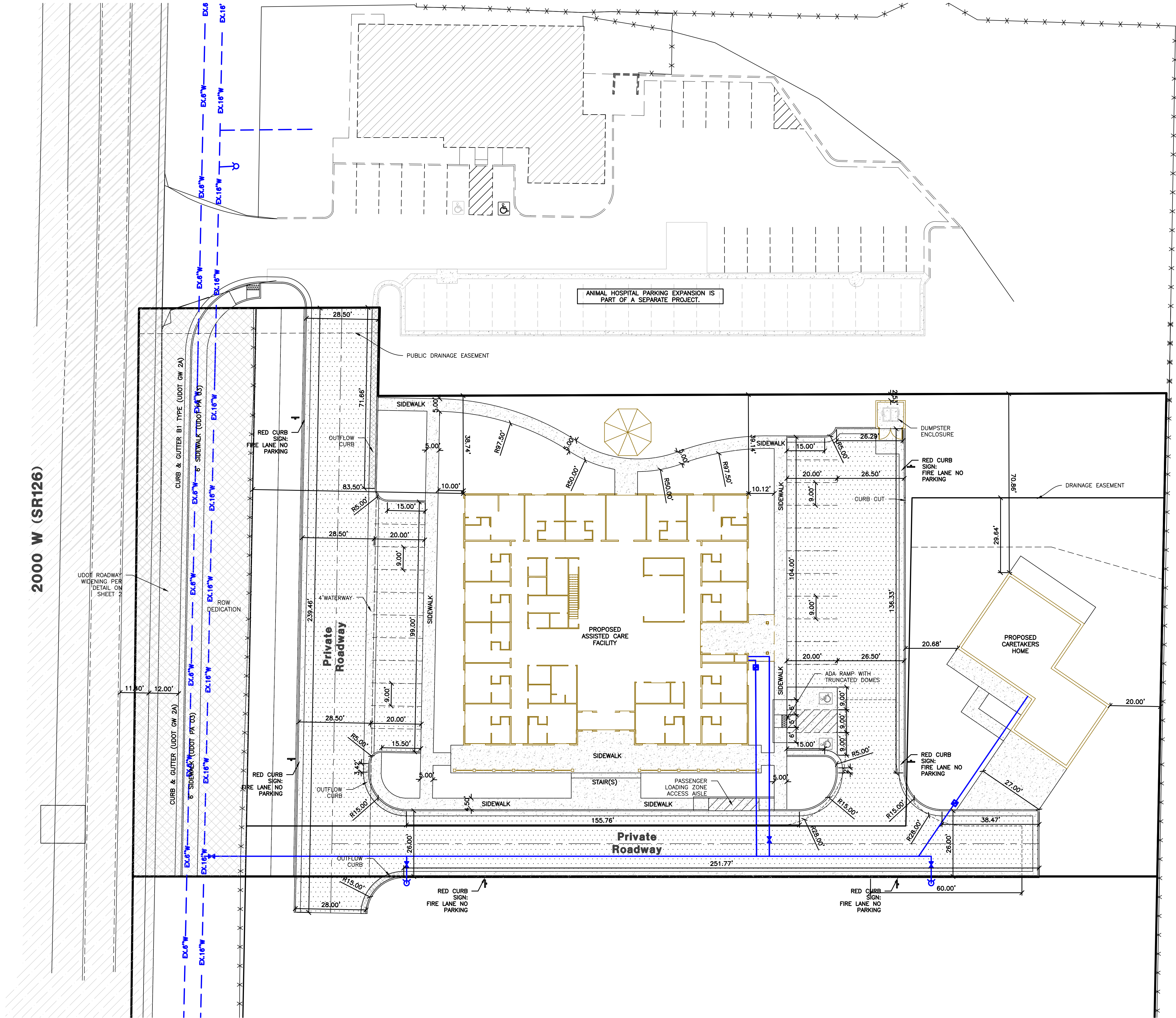
3	
11	Total Sheets

Notice:

THESE PLANS WERE CREATED UTILIZING
COLORS FOR UTILITIES & OTHER
INFRASTRUCTURE. IF PRINTED IN, OR
COPIED TO BLACK & WHITE, SOME LINE
WORK MAY NOT SHOW UP PROPERLY.



Know what's below.
Call before you dig



Notice:
THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER INFRASTRUCTURE. IF PRINTED IN, OR COPIED TO BLACK & WHITE, SOME LINE WORK MAY NOT SHOW UP PROPERLY.



Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

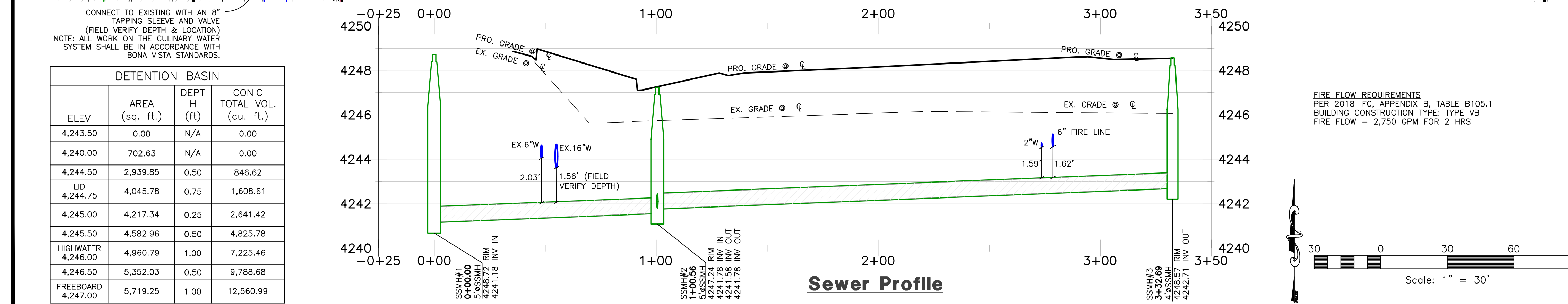
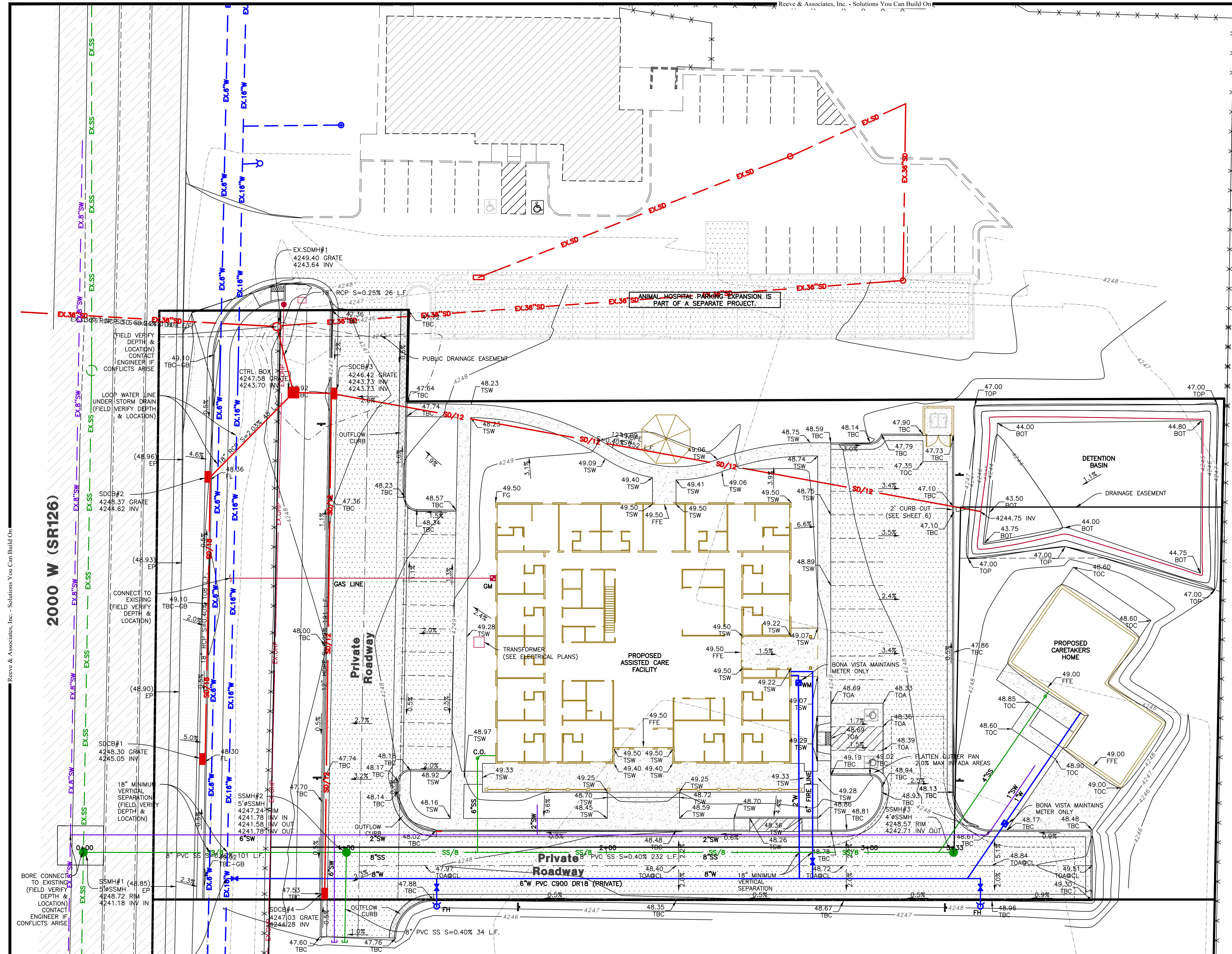
REVISIONS	DATE	DESCRIPTION
05-11-22	TB	City Comments
06-08-22	JM	UDOT COMMENTS
07-26-22	TB	UDOT COMMENTS

The Fisher Family Homestead
2000 W & 1300 N
FARR WEST, WEBER COUNTY, UTAH

Proposed Site Plan



Project Info.	
Engineer:	KENNETH H. HUNTER, P.E.
Drafter:	J. MEYERS
Begin Date:	FEBRUARY 2021
Name:	FISHER FAMILY HOMESTEAD
Number:	7570-01



Storm Runoff Calculations

The Fisher Family Homestead
1/3/2022

The following runoff calculations are based on the Rainfall - Intensity - Duration Frequency Curve for the South Weber area taken from the NOAA Atlas 14 database. Calculations have been completed for the 100-year 24-hour storm event. Storm water runoff has been calculated for a fully developed site and limited to a release rate of 0.1 cfs/acre.

The calculations are as follows:

Drainage Area:	Total Area	Runoff Coefficient	Runoff Area	Runoff Coefficient
	1.86 acres or 80,899 ft ²		28,830	C = 0.9
			15,276	C = 0.9
			36,793	C = 0.2
				C = 0.58

LID Retention:

80 th Percentile Rainfall Event (d)	Is the site feasible for LID?	Site Imperviousness (I)	NHCS Soil Group	R ₁ Equation	R ₂ Equation	R ₃ Equation	R ₄ Equation	R ₅ Equation	R ₆ Equation	R ₇ Equation	R ₈ Equation	R ₉ Equation	R ₁₀ Equation	R ₁₁ Equation	R ₁₂ Equation	R ₁₃ Equation	R ₁₄ Equation	R ₁₅ Equation	R ₁₆ Equation	R ₁₇ Equation	R ₁₈ Equation	R ₁₉ Equation	R ₂₀ Equation
0.45 in	Yes	0.55	CD	0.831*1.22	0.42	c.f.																	

Rainfall Intensities:

100-yr intensity for a 60 minute TOC - Pipe Capacity	1.89	in/hr

Peak Runoff:

Runoff Coefficient	C =	0.58
Rainfall Intensity	I =	1.89 in/hr
Area	A =	1.86 acres
Q	Q =	2.84 cfs

Volume of Run-off for 100-year Storm Event:

Time (min)	Q (cfs)	Vol. in (cu. ft.)	Vol. out (cu. ft.)	Difference (cu. ft.)
0	0.00	0.00	0.00	0.00
5	3.00	2.25	6.08	3.83
10	6.00	4.50	12.16	7.66
15	9.00	6.75	18.24	11.49
20	12.00	9.00	24.32	15.32
25	15.00	11.25	30.40	19.15
30	18.00	13.50	36.48	22.98
35	21.00	15.75	42.56	26.81
40	24.00	18.00	48.64	30.64
45	27.00	20.25	54.72	34.47
50	30.00	22.50	60.80	38.30
55	33.00	24.75	66.88	42.13
60	36.00	27.00	72.96	45.96
65	39.00	29.25	79.04	49.79
70	42.00	31.50	85.12	53.62
75	45.00	33.75	91.20	57.45
80	48.00	36.00	97.28	61.28
85	51.00	38.25	103.36	65.11
90	54.00	40.50	109.44	68.94
95	57.00	42.75	115.52	72.77
100	60.00	45.00	121.60	76.60

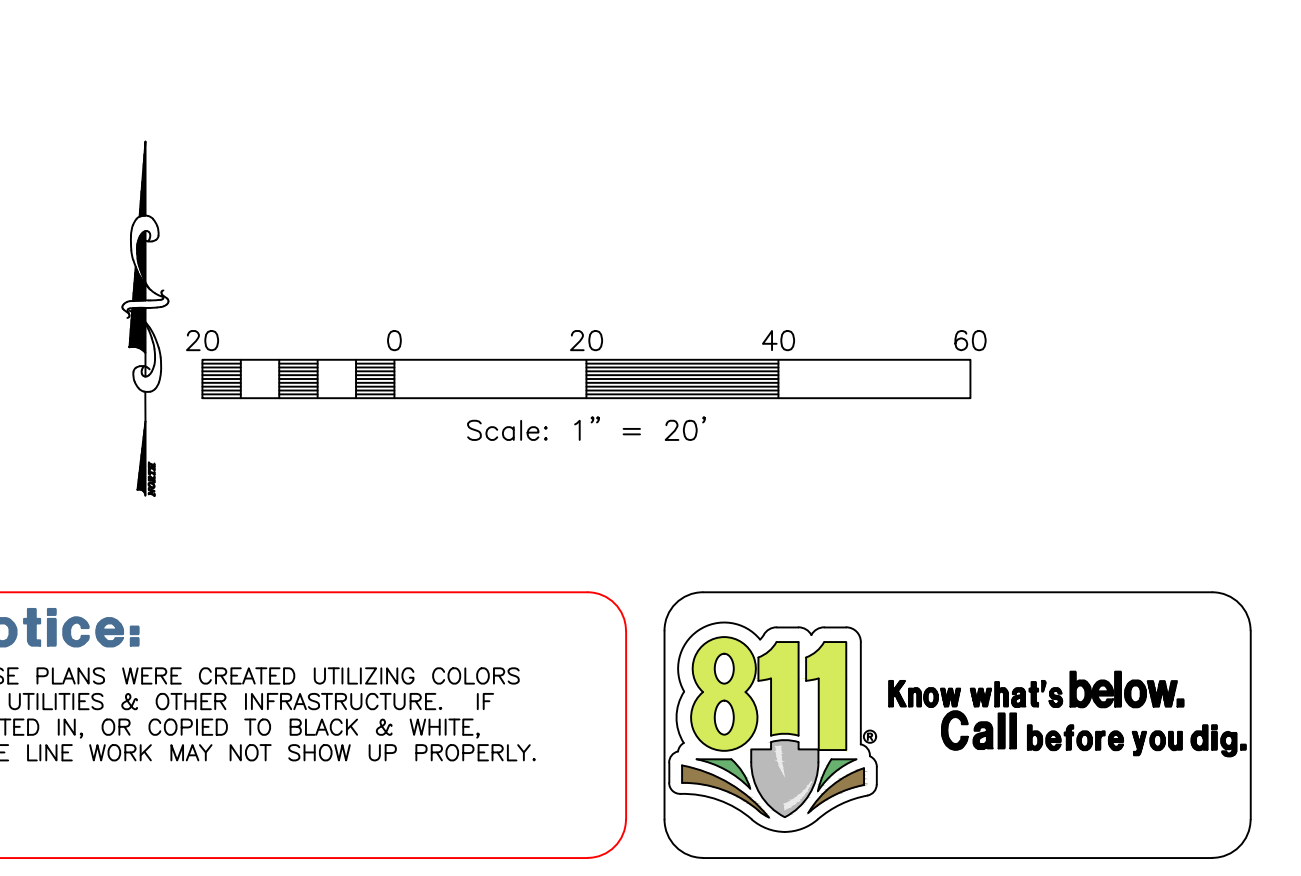
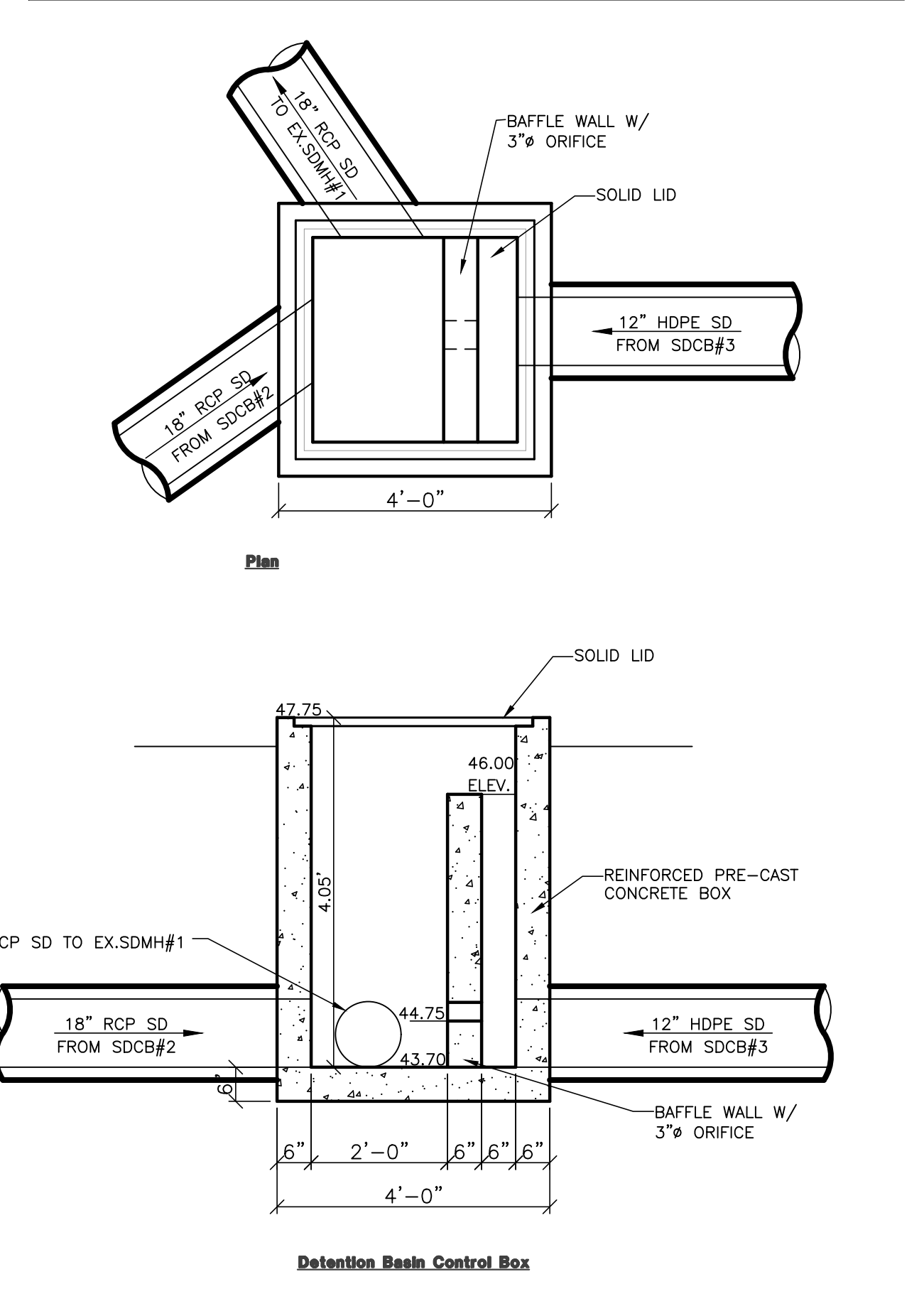
Orifice Sizing:

Given:	Q =	0.19	cfs
	Q ₂ =	64.4	ft ³ /s
	Q ₃ =	3.00	ft ³ /s
	Q ₄ =	0.82	ft ³ /s
	Q ₅ =	0.82	ft ³ /s
	Q ₆ =	0.82	ft ³ /s
	Q ₇ =	0.82	ft ³ /s
	Q ₈ =	0.82	ft ³ /s
	Q ₉ =	0.82	ft ³ /s
	Q ₁₀ =	0.82	ft ³ /s
	Q ₁₁ =	0.82	ft ³ /s
	Q ₁₂ =	0.82	ft ³ /s
	Q ₁₃ =	0.82	ft ³ /s
	Q ₁₄ =	0.82	ft ³ /s
	Q ₁₅ =	0.82	ft ³ /s
	Q ₁₆ =	0.82	ft ³ /s
	Q ₁₇ =	0.82	ft ³ /s
	Q ₁₈ =	0.82	ft ³ /s
	Q ₁₉ =	0.82	ft ³ /s
	Q ₂₀ =	0.82	ft ³ /s

SUMMARY:

The required 100-yr storage volume is	5,631	cubic feet
The required LID Retention volume is	1,275	cubic feet
Orifice size is	2.0	inches

Note: Use 3" Orifice to Prevent Clogging



Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS

DATE	DESCRIPTION
05-11-22	1B City Comments
06-08-22	1B City Comments
07-26-22	1B City Comments

The Fisher Family Homestead
2000 W & 1300 N
FARR WEST, WEBER COUNTY, UTAH

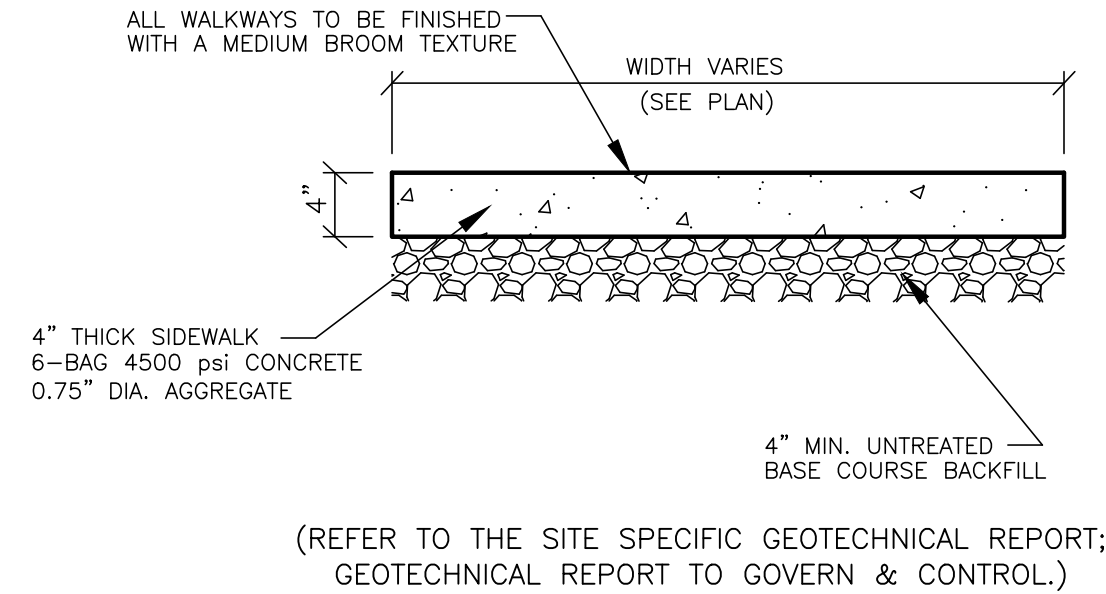
Grading/Utility Plan

Project Info.

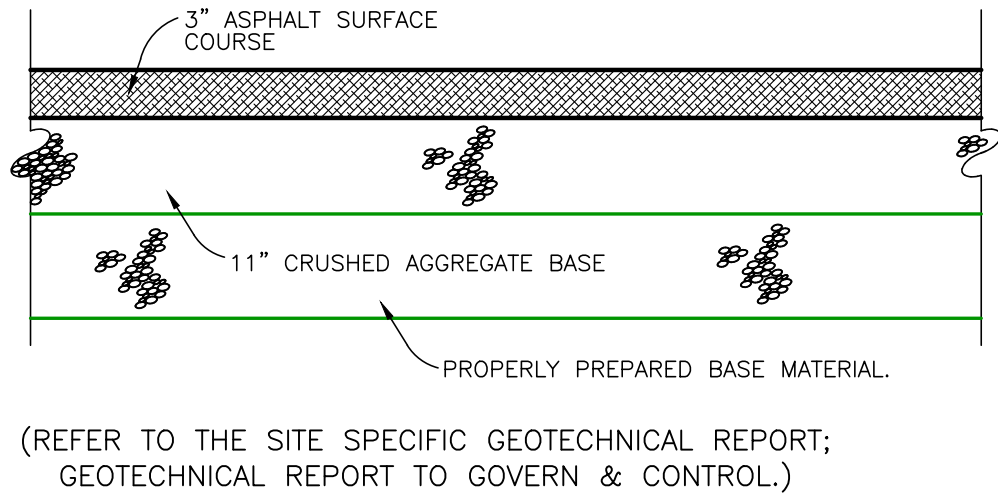
Engineer: KENNETH H. HUNTER, P.E.
Drafter: J. MEYERS
Begin Date: FEBRUARY 2021
Name: FISHER FAMILY HOMESTEAD
Number: 7570-01

5

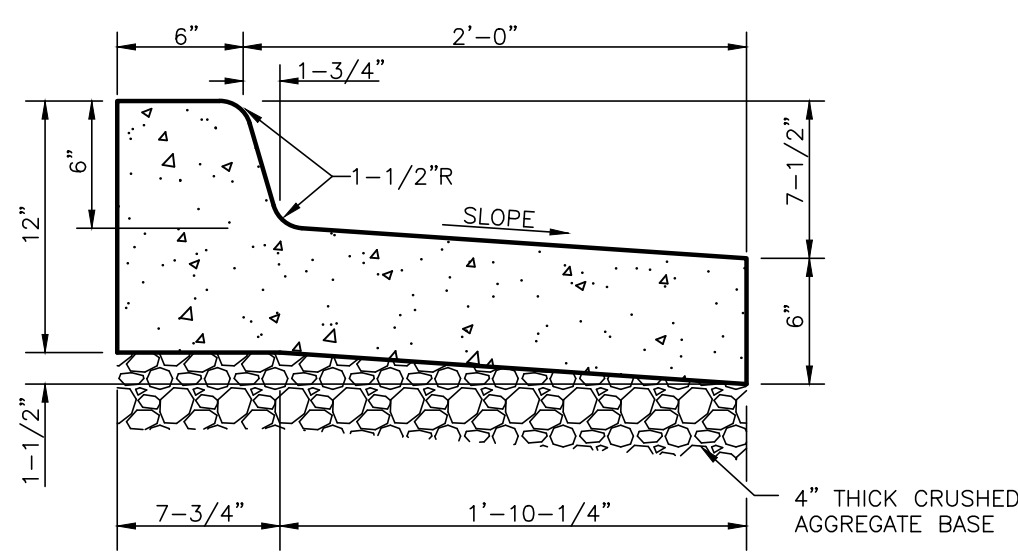
11 Total Sheets



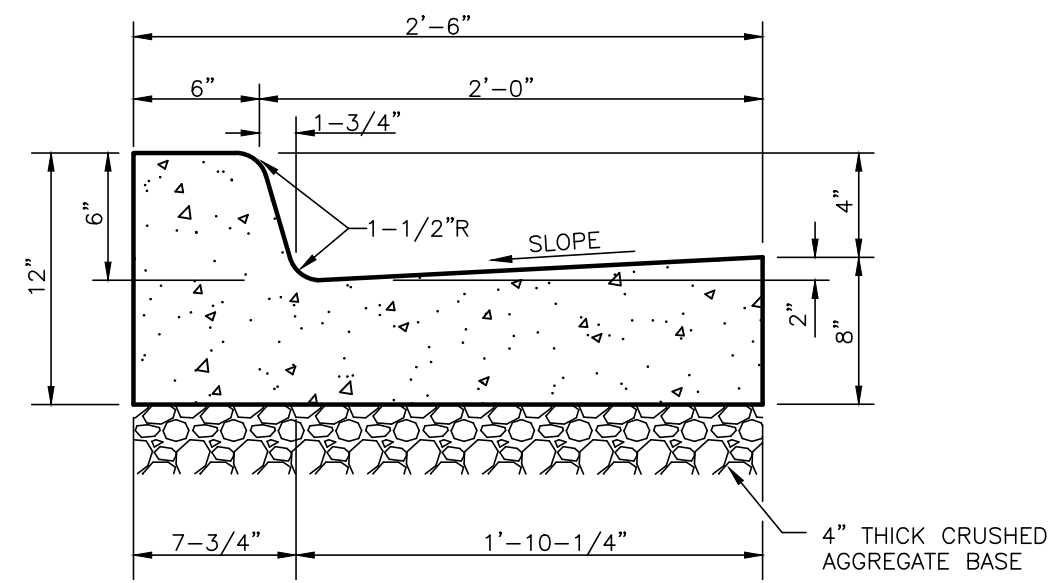
Concrete Walkway
SCALE: NONE



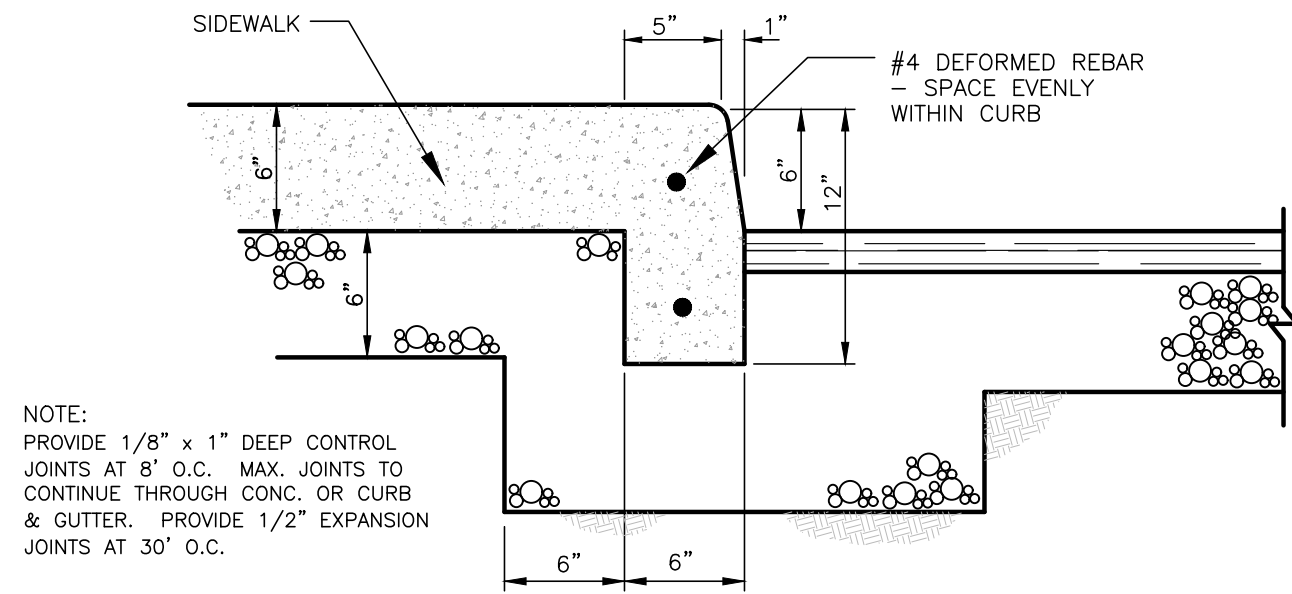
(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT;
GEOTECHNICAL REPORT TO GOVERN & CONTROL.)
Typical On-Site Asphalt Paving
SCALE: NONE



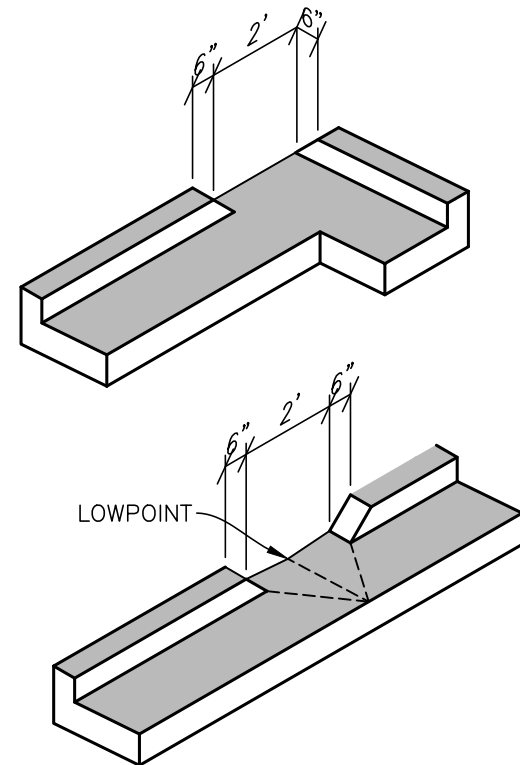
**On-Site Outfall
'L' Curb & Gutter**
SCALE: NONE



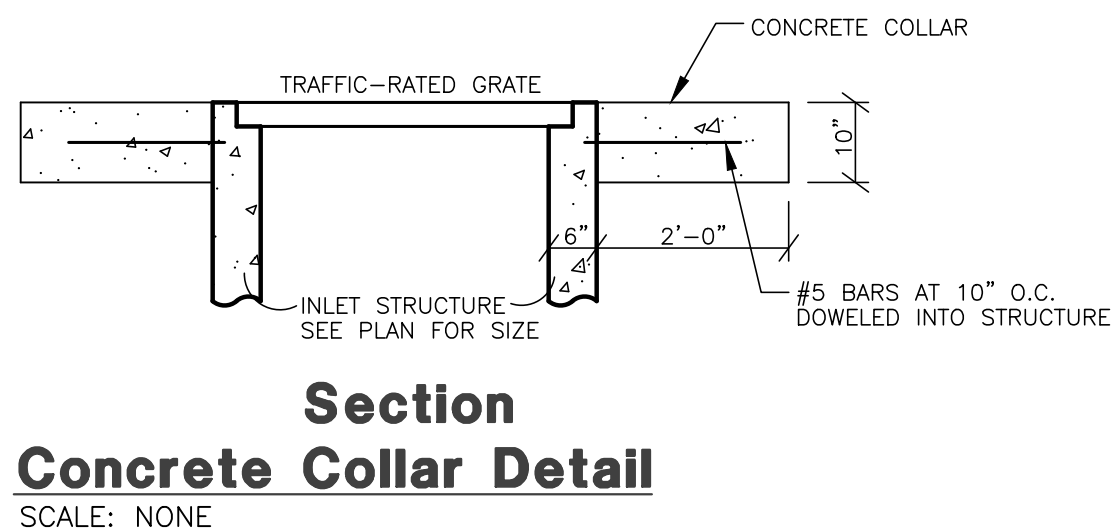
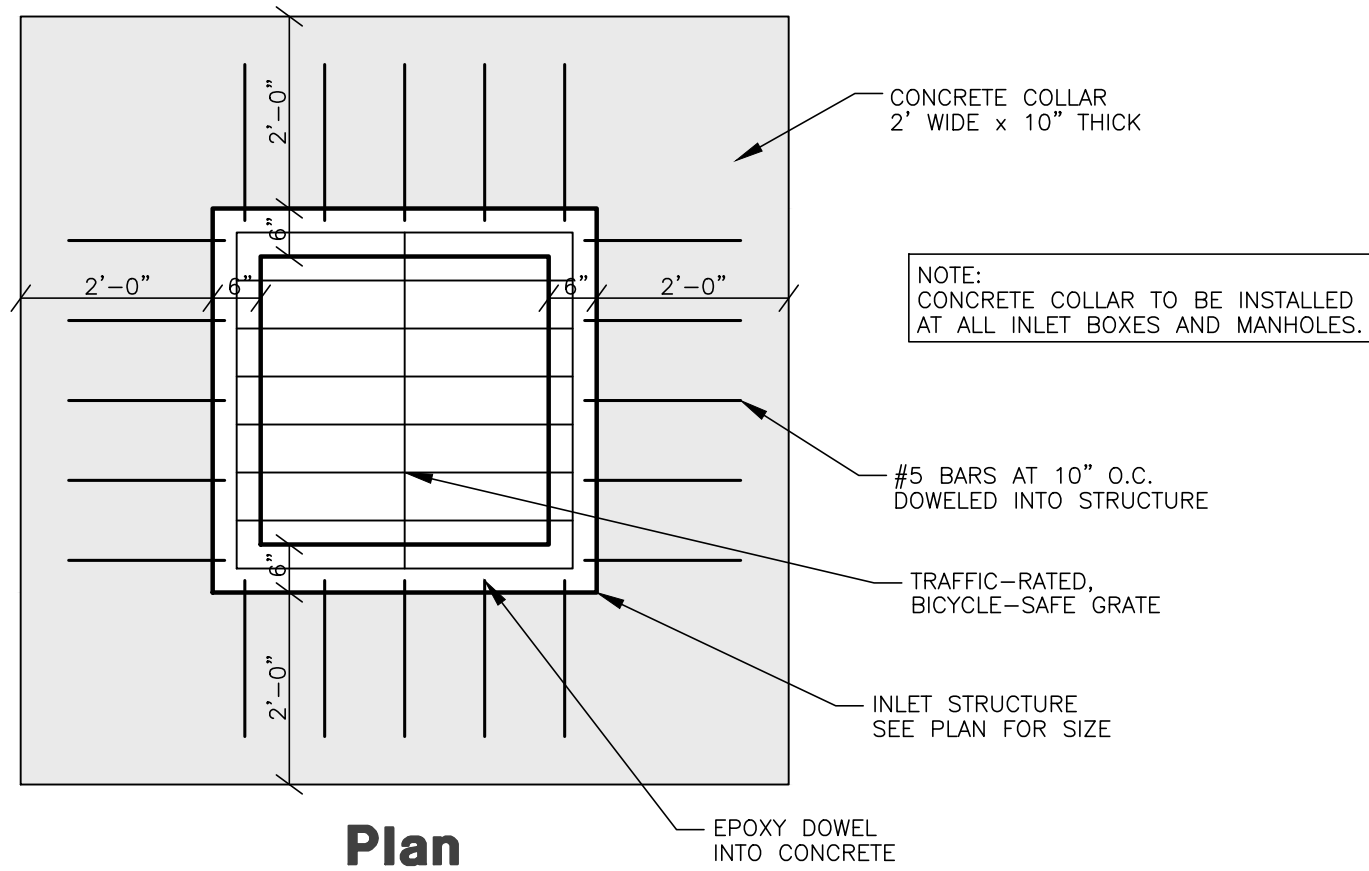
**On-Site 'L' Curb
& Gutter**
SCALE: NONE



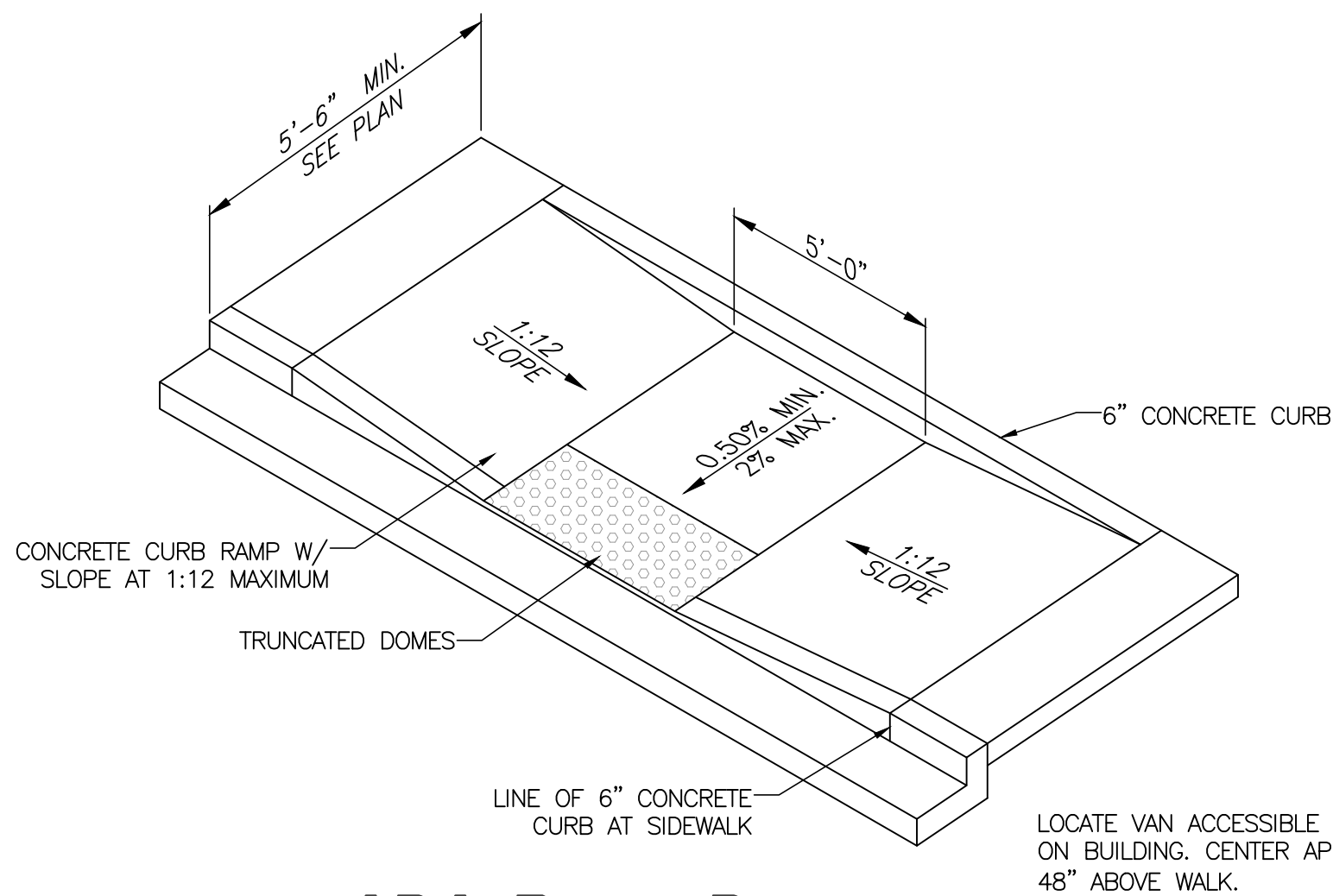
Curb/Sidewalk Turndown Detail
SCALE: NONE



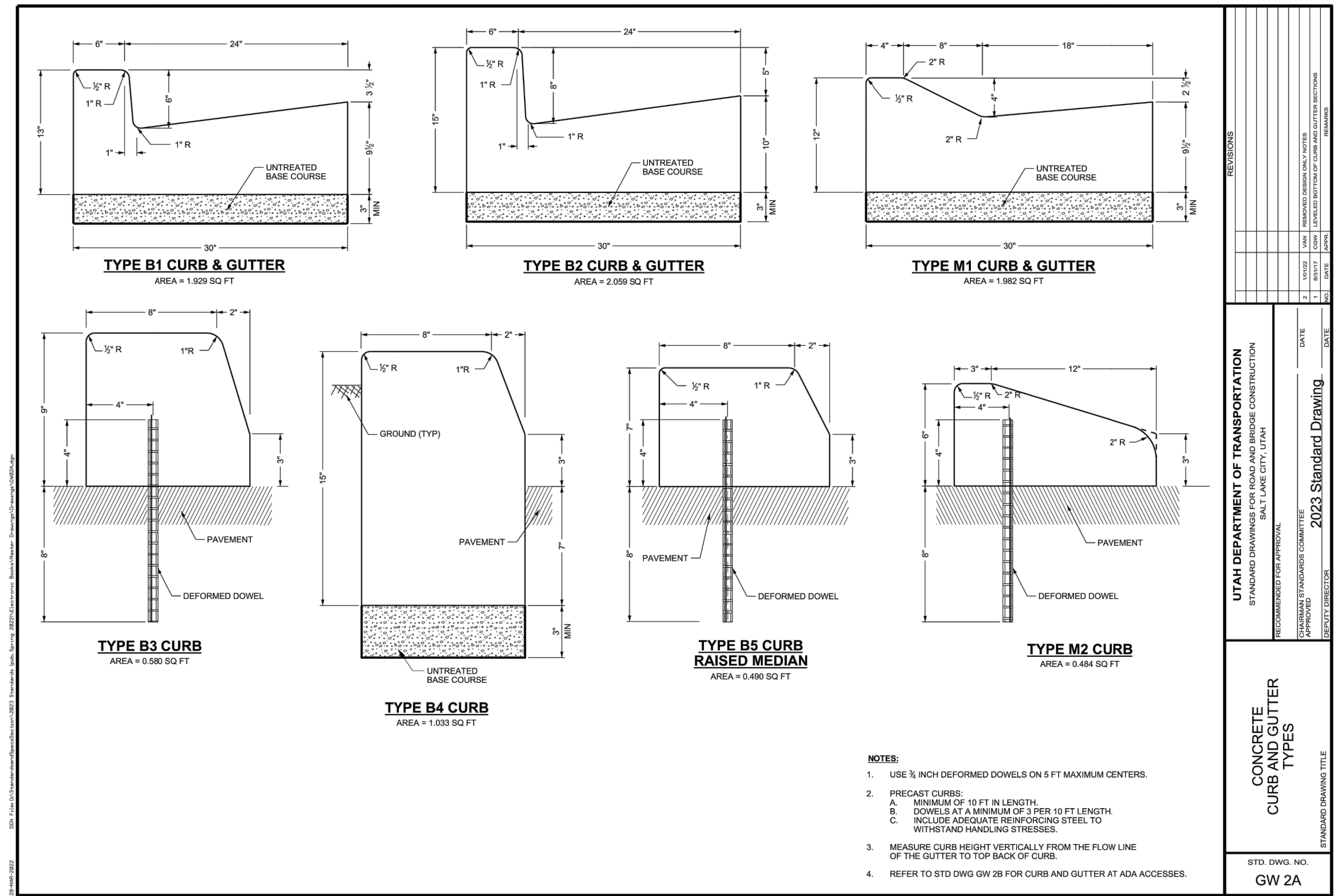
2' Curb Cut
SCALE: NONE



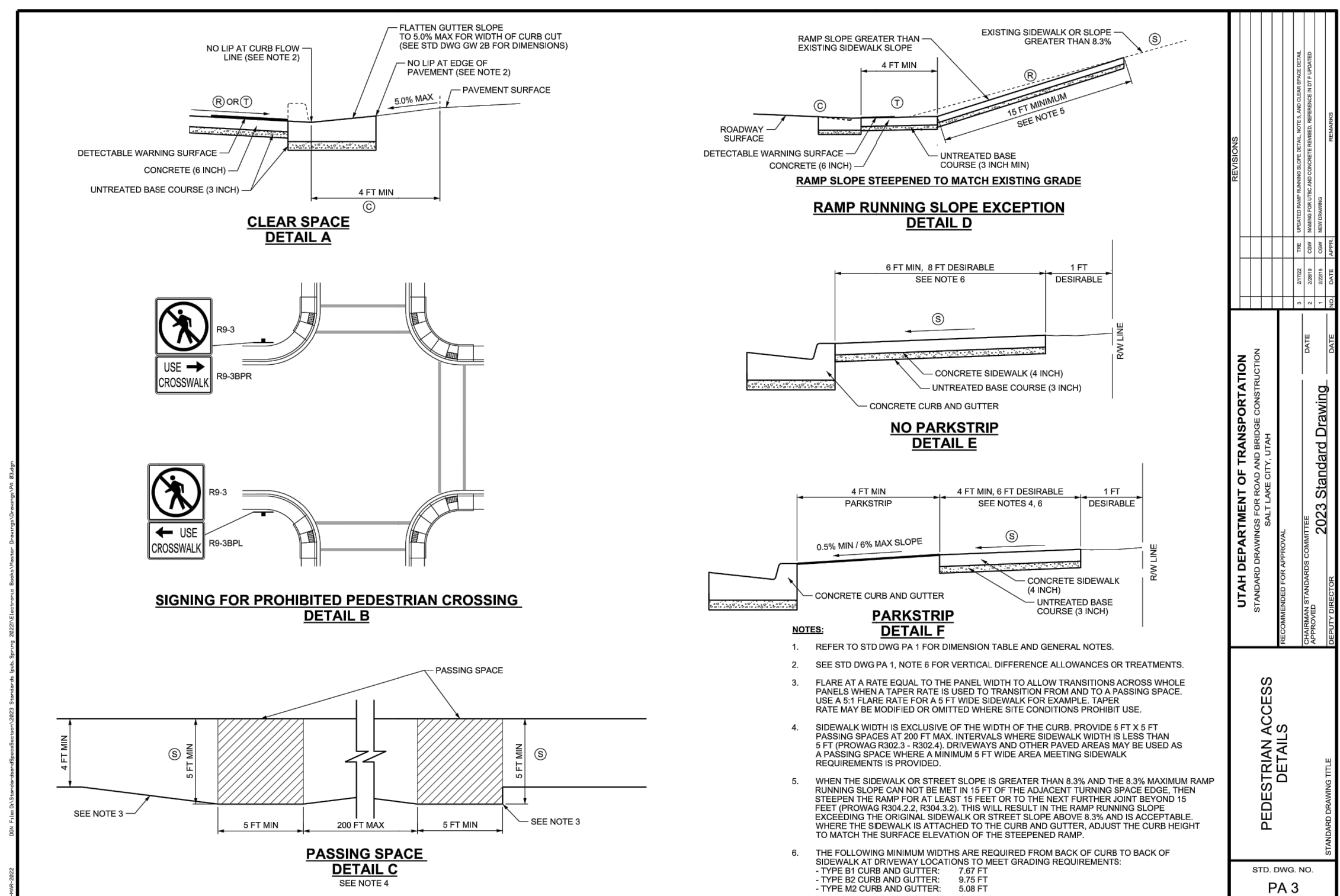
**Section
Concrete Collar Detail**
SCALE: NONE



ADA Ramp Detail
SCALE: NONE
REFERENCE APWA STANDARD PLAN NO. 236



- NOTES:**
1. USE 3/8 INCH DEFORMED DOWELS ON 5 FT MAXIMUM CENTERS.
 2. PRECAST CURBS:
A. MINIMUM CP 10 FT IN LENGTH.
B. DOWELS AT A MINIMUM OF 3 FEET TO 10 FT LENGTH. INCLUDE ADEQUATE REINFORCING STEEL TO WITHSTAND HANDLING STRESSES.
 3. MEASURE CURB HEIGHT VERTICALLY FROM THE FLOW LINE OF THE GUTTER TO TOP BACK OF CURB.
 4. REFER TO STD DWG GW 2B FOR CURB AND GUTTER AT ADA ACCESSES.



- NOTES:**
1. REFER TO STD DWG PA 1 FOR DIMENSION TABLE AND GENERAL NOTES.
 2. SEE STD DWG PA 1 NOTE 6 FOR VERTICAL DIFFERENCE ALLOWANCES OR TREATMENTS.
 3. FLARE AT A RATE EQUAL TO THE PANEL WIDTH TO ALLOW TRANSITIONS ACROSS WHOLE PANELS. MINIMUM FLARE RATE IS USED TO TRANSITION FROM AND TO A PASSING SPACE. USE A 3:1 FLARE RATE FOR 4:1:1 RAMP SLOPE. FOR EXAMPLE, TABLE RATE MAY BE MODIFIED OR OMITTED WHERE SITE CONDITIONS PROHIBIT USE.
 4. SIDEWALK WIDTH IS EXCLUSIVE OF THE WIDTH OF THE CURB. PROVIDE 5 FT X 5 FT PASSING SPACES AT 200 FT MAX. INTERVALS WHERE SIDEWALK WIDTH IS LESS THAN 5 FT (PROVIDING KIOSK 3 - KIOSK 4) DRIVEWAYS AND OTHER PAVED AREAS MAY BE USED AS A PASSING SPACE PROVIDED A MINIMUM 5 FT WIDE AREA MEETING SIDEWALK REQUIREMENTS IS PROVIDED.
 5. WHEN THE SIDEWALK OR STREET SLOPE IS GREATER THAN 8.3% AND THE 8.3% MAXIMUM RAMP RUNNING SLOPE CAN NOT BE MET IN 15 FT OF THE ADJACENT TURNING SPACE EDGE, THEN STEEPEN THE RAMP FOR AT LEAST 15 FEET OR TO THE NEXT TURNING JOINT BEYOND 15 FEET. PROVIDE KIOSK 3, KIOSK 4, DRIVEWAYS AND OTHER PAVED AREAS MAY BE USED AS A PASSING SPACE PROVIDED A MINIMUM 5 FT WIDE AREA MEETING SIDEWALK REQUIREMENTS IS PROVIDED.
 6. THE FOLLOWING MINIMUM WIDTHS ARE REQUIRED FROM BACK OF CURB TO BACK OF SIDEWALK AT DRIVEWAY LOCATIONS TO MEET GRADING REQUIREMENTS:
- TYPE B1 CURB AND GUTTER: 5.75 FT
- TYPE B2 CURB AND GUTTER: 5.75 FT
- TYPE M2 CURB AND GUTTER: 5.08 FT

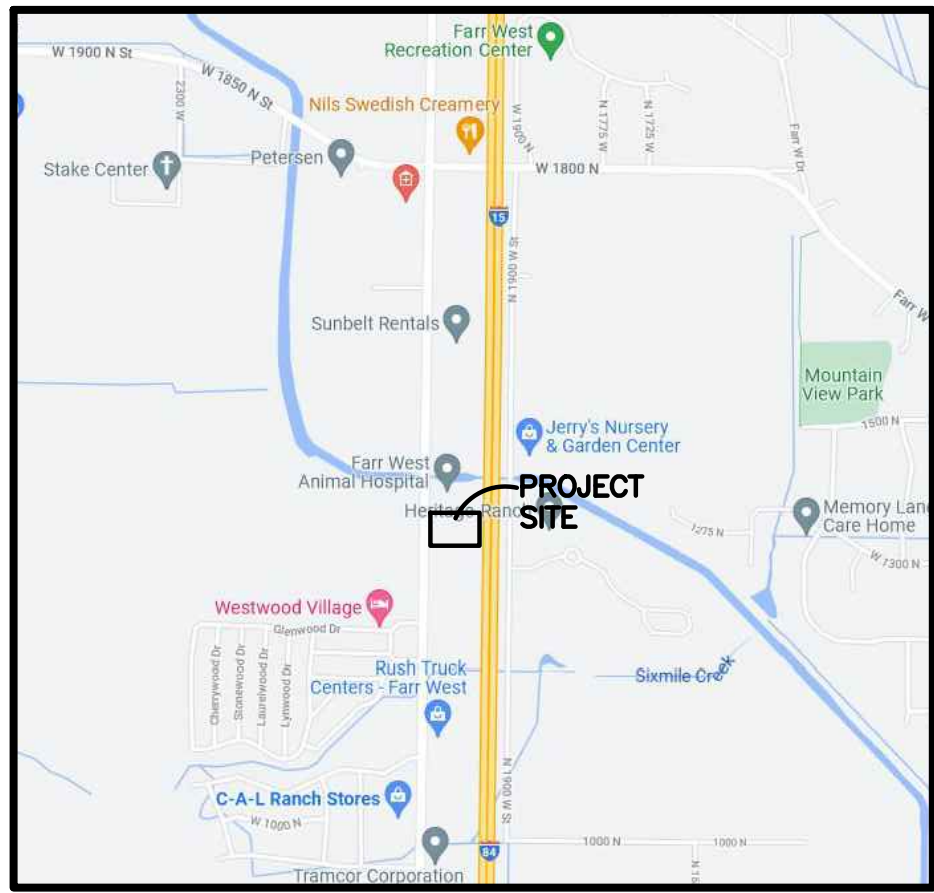
REVISIONS	DATE	DESCRIPTION
05-11-22	TB	City Comments
06-08-22	JM	UDOT COMMENTS
07-26-22	TB	UDOT COMMENTS

The Fisher Family Homestead

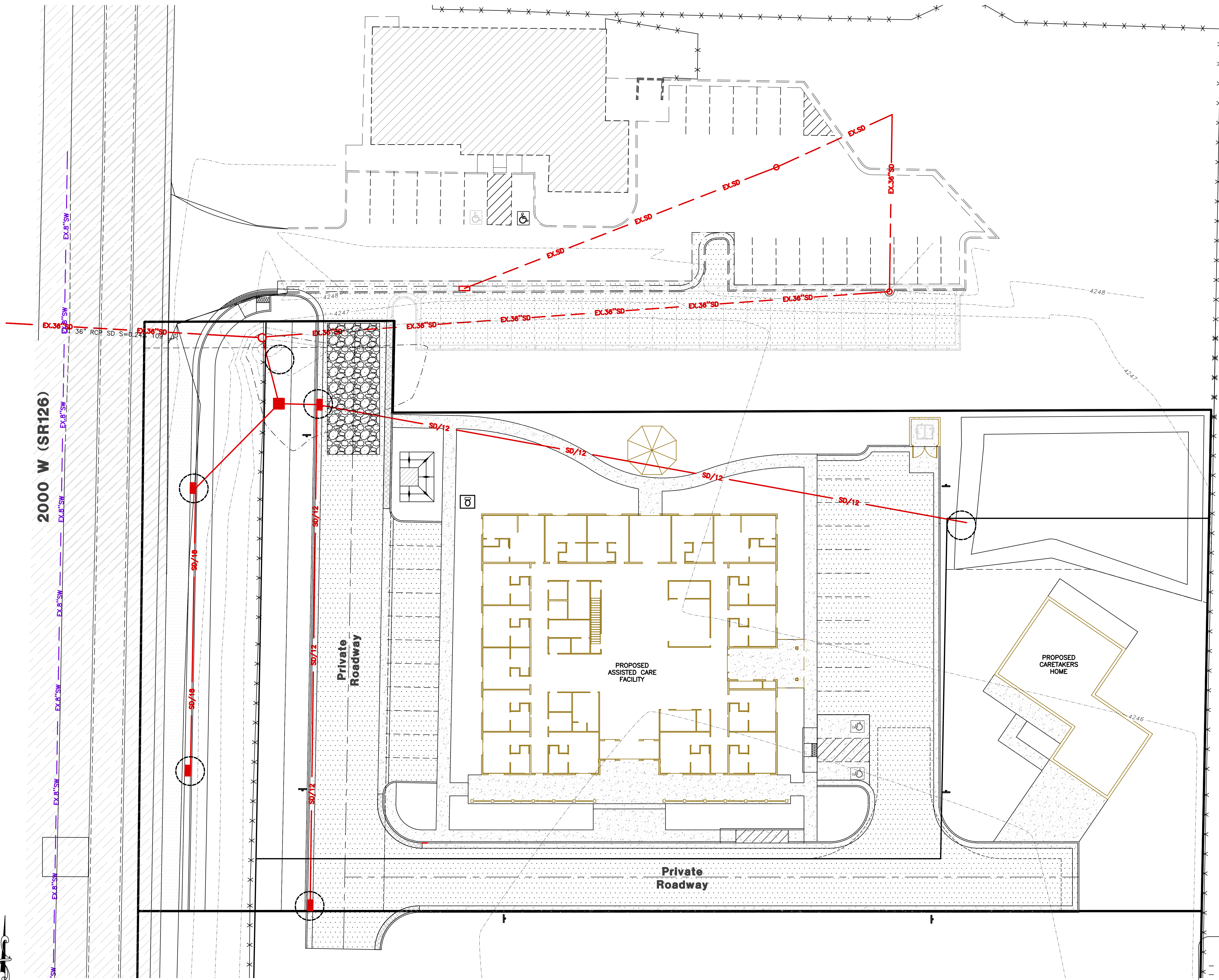
2000 W & 1300 N

Storm Water Pollution Prevention Plan Exhibit

FARR WEST CITY, WEBER COUNTY, UTAH
JANUARY 2022



Vicinity Map
NOT TO SCALE



PORTABLE TOILET

INLET PROTECTION
TYP. (SEE DETAIL)

STREETS TO BE SWEEPED WITHIN
1000 FEET OF CONSTRUCTION
ENTRANCE DAILY IF NECESSARY

ALL VEHICLES EXITING SITE
TO PROCEED THROUGH
CONSTRUCTION ENTRANCE
TO REDUCE AMOUNTS OF
SEDIMENT TRACKED ONTO
ROADWAYS.

50'x20' CONSTRUCTION
ENTRANCE W/8" CLEAN
GRAVEL

CONCRETE WASH
AREA (SEE DETAIL)
OR AS SELECTED
BY CONTRACTOR

Construction Activity Schedule

- PROJECT LOCATION.....FARR WEST CITY, WEBER COUNTY, UTAH
- PROJECT BEGINNING DATE.....MARCH 2022
- BMP'S DEPLOYMENT DATE.....MARCH 2022
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....TBD
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER

Reeve & Associates, Inc.
IRA

5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DATE	DESCRIPTION
05-11-22	TB	City Comments
06-08-22	JM	UDOT COMMENTS
07-26-22	TB	UDOT COMMENTS

The Fisher Family Homestead
2000 W & 1300 N
FARR WEST, WEBER COUNTY, UTAH

Storm Water Pollution
Prevention Plan Exhibit



Project Info.

Engineer:
KENNETH H. HUNTER, P.E.
Drafter:
J. MEYERS
Begin Date:
FEBRUARY 2021
Name:
FISHER FAMILY
HOMESTEAD
Number: 7570-01

Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - Soil contaminated by soil amendments:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean; prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
 - Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTRC00000 identifies the minimum inspection requirements.
 - Part II.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 300000.

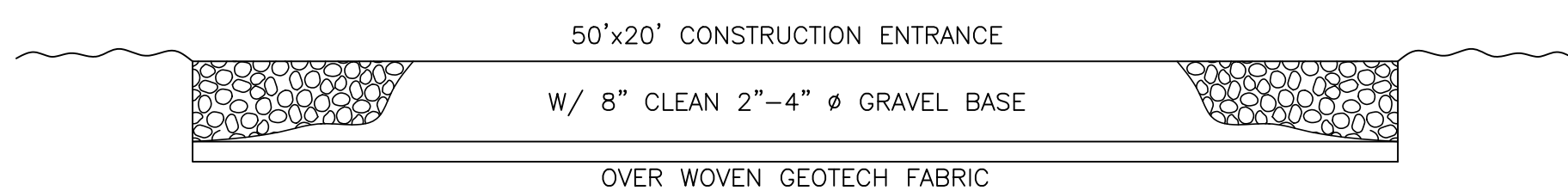
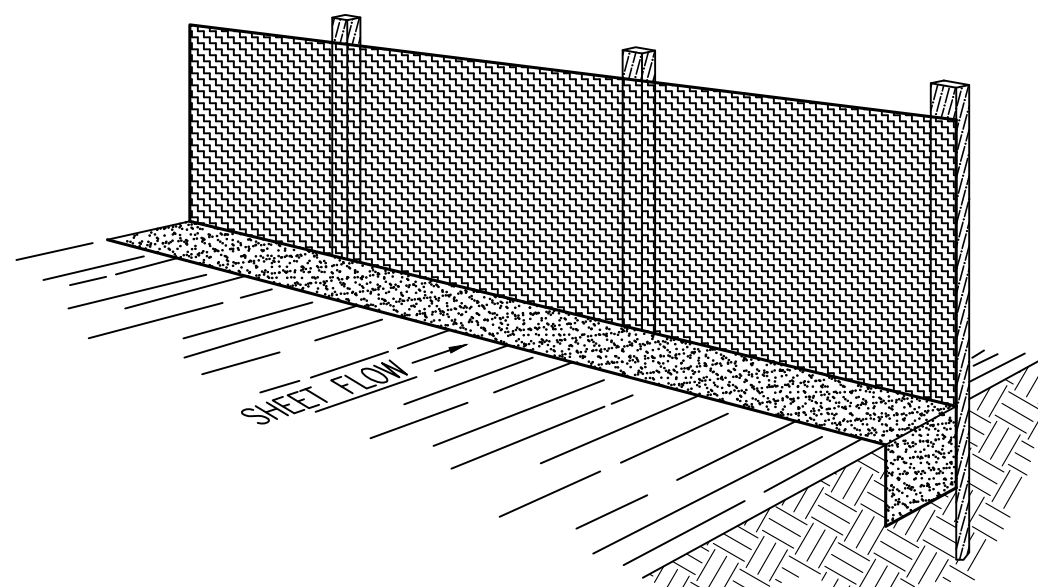
**Cross Section 50' x 20' Construction Entrance****Perspective View**

Figure 2

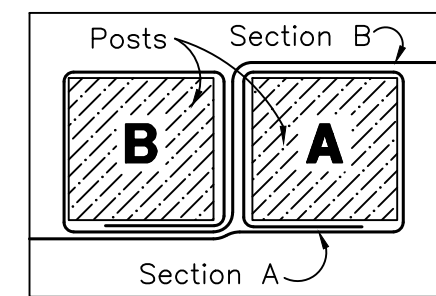
INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences), at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)		
Slope Steepness (%)	Max. Slope Length m (ft)	
<2%	30.5m (100ft)	
2-5%	22.9m (75ft)	
5-10%	15.2m (50ft)	
10-20%	7.6m (25ft)	
>20%	4.5m (15ft)	

PREFABRICATED SILT FENCE ROLLS

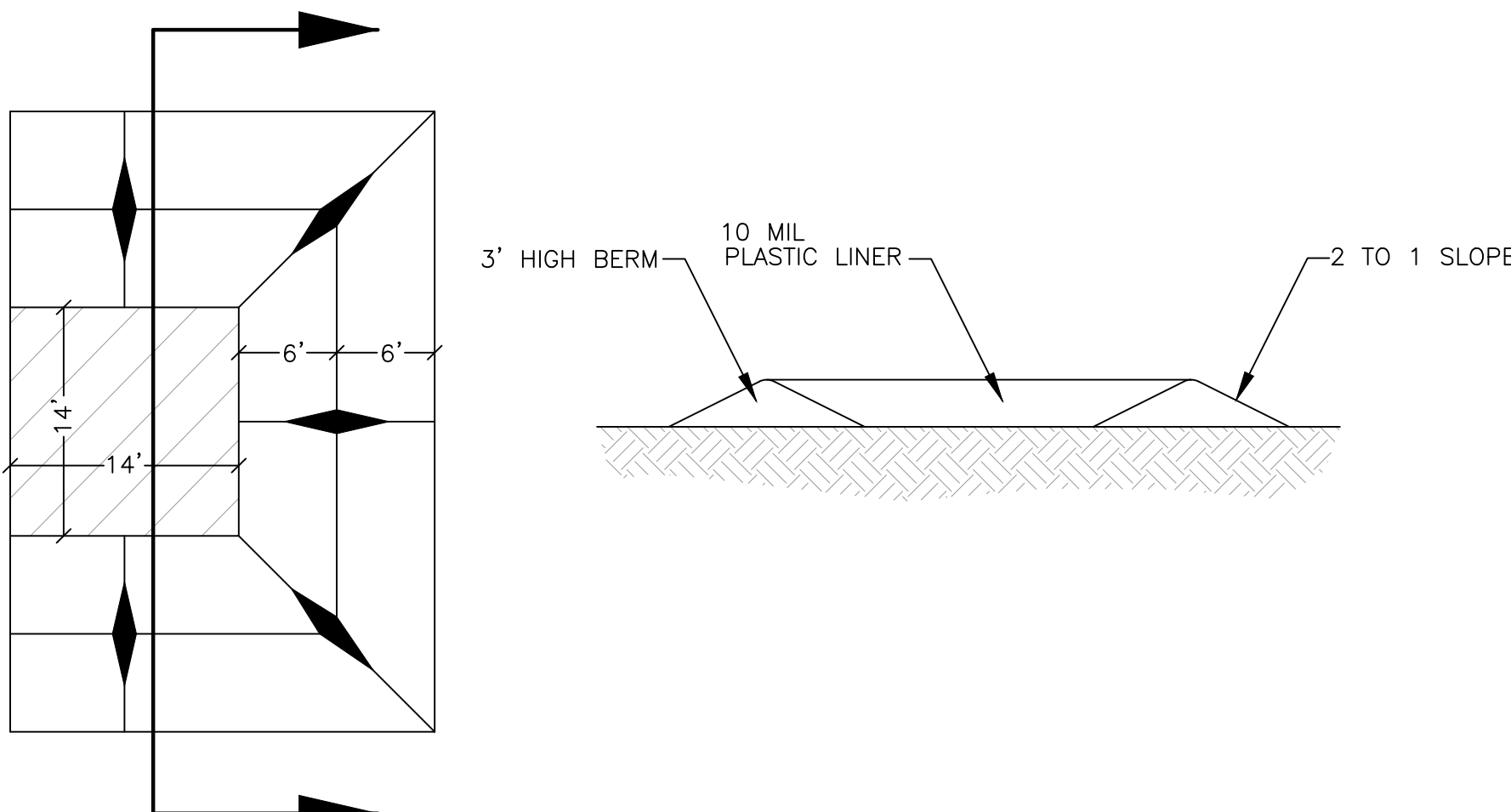
- *Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- *Unroll the silt fence, positioning the post against the downstream wall of the trench.
- *Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
- *Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
- *Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

Figure 1:
Top View of
Roll-to-Roll Connection**FIELD ASSEMBLY:**

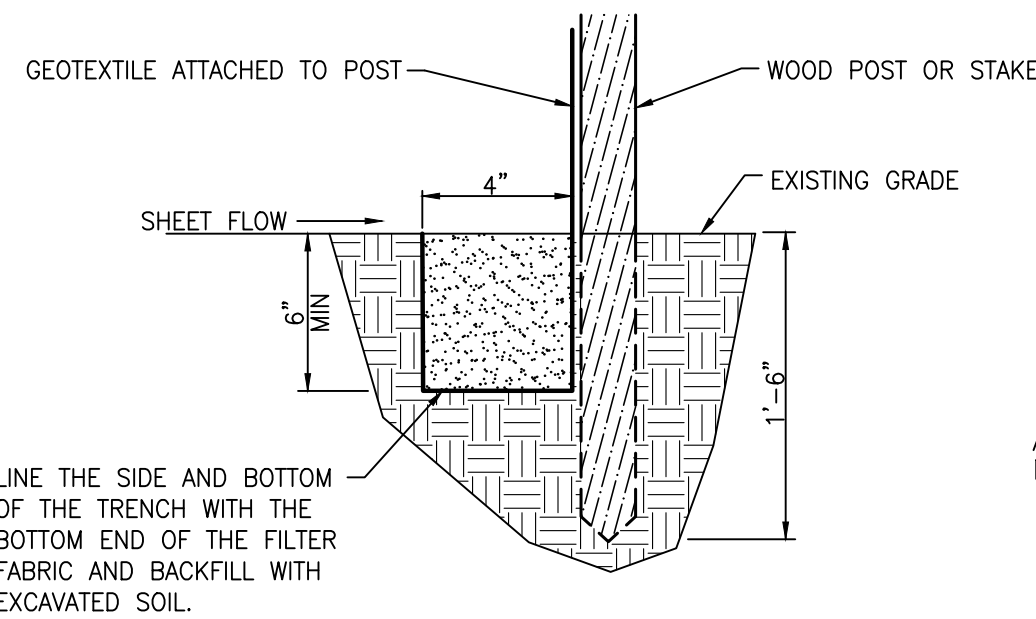
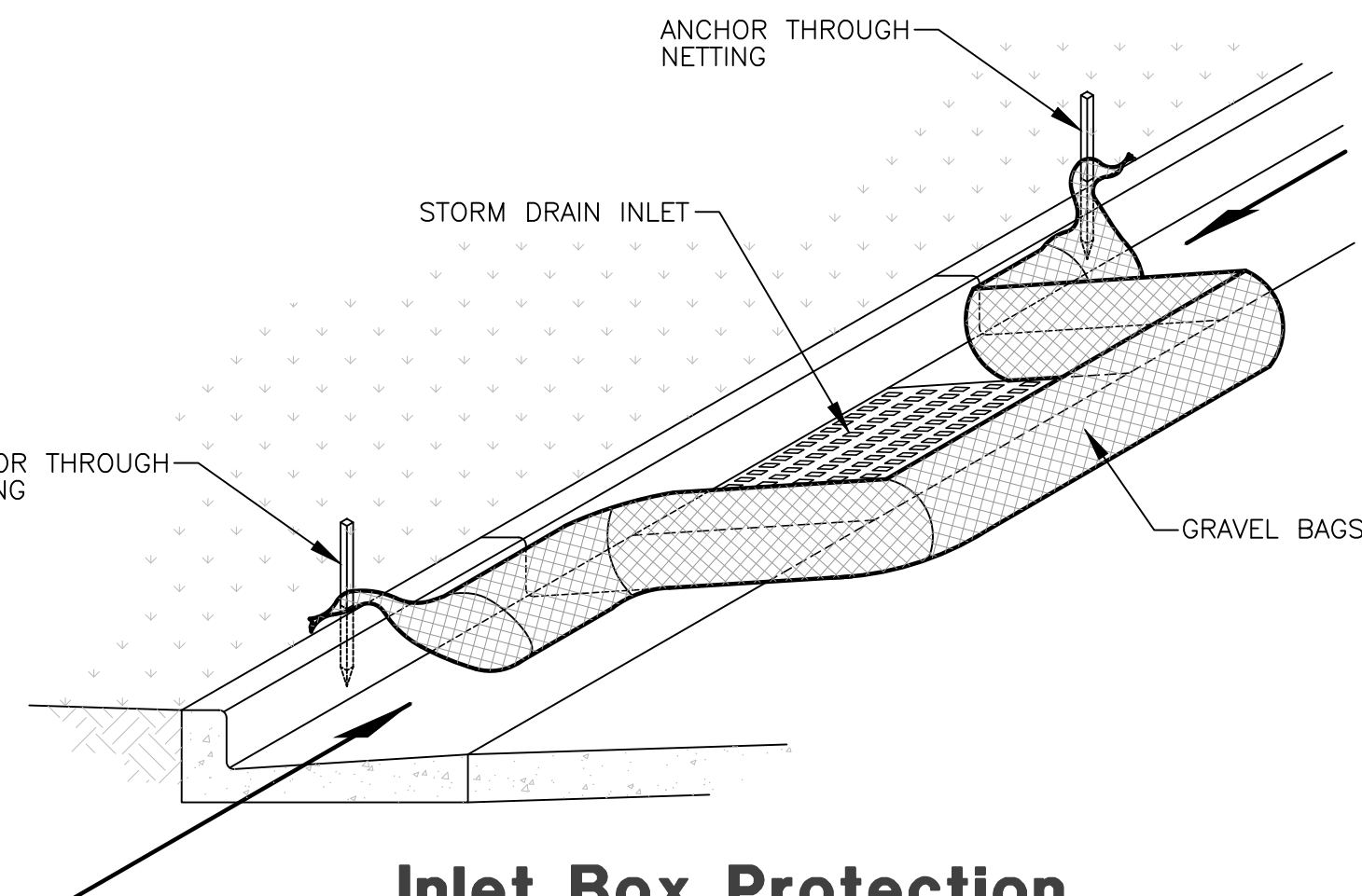
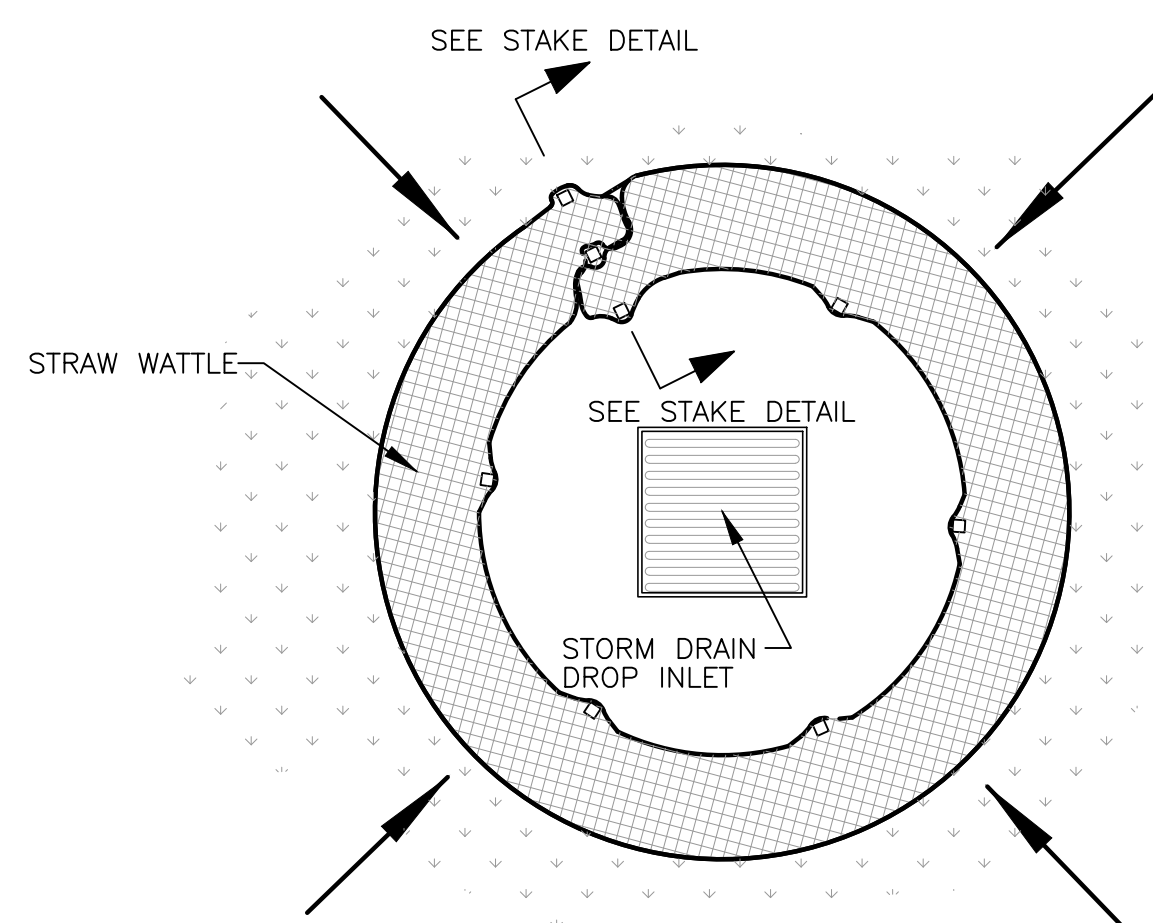
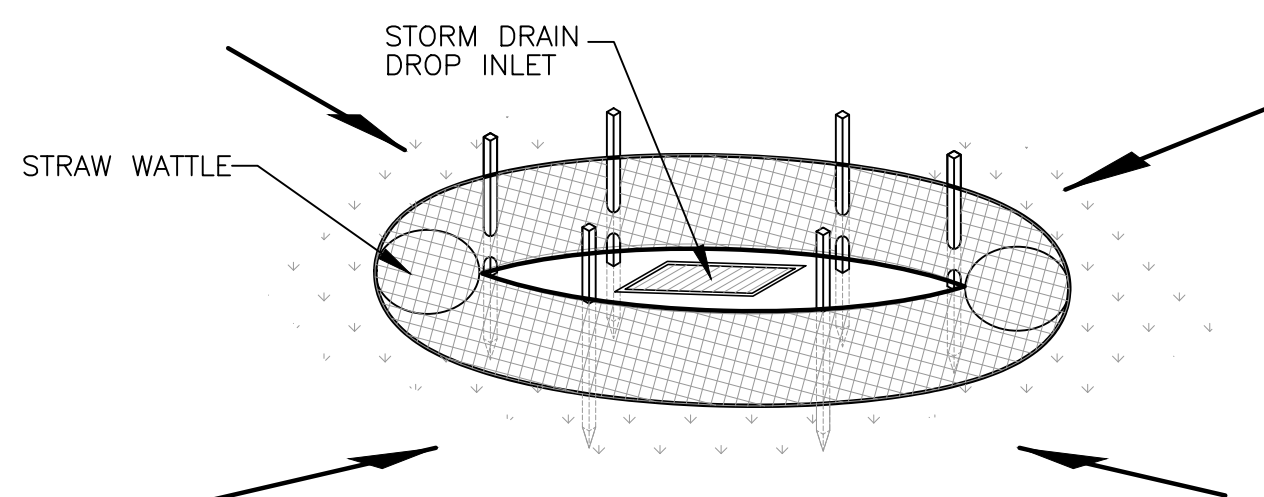
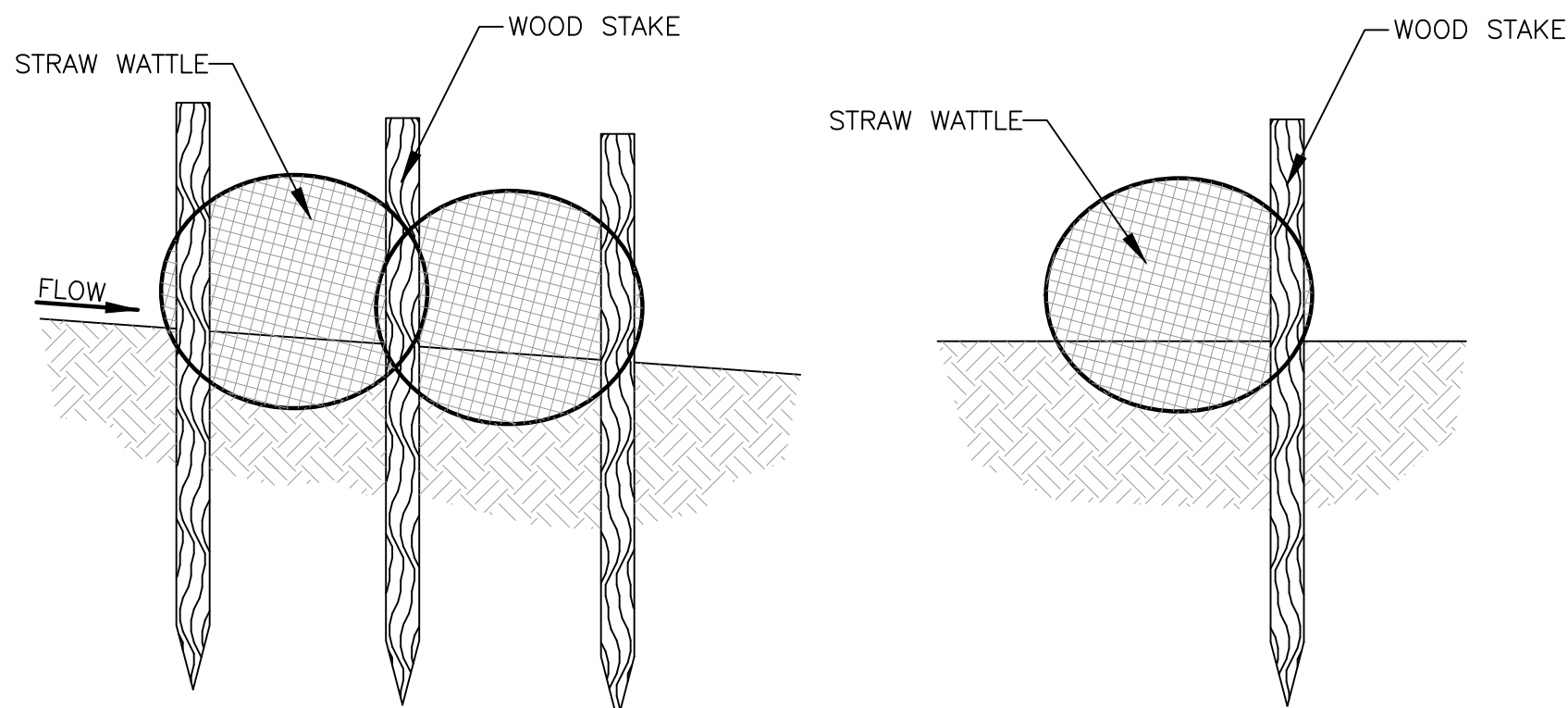
- *Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
- *Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

Silt Fence Detail

SCALE: NONE

**Concrete Washout Area
w/ 10 mil Plastic Liner**

SCALE: NONE

**Section****Inlet Box Protection****Plan View****Drop Inlet Protection****Stake Detail**

REVISIONS	DATE	DESCRIPTION
05-11-22	TB	City Comments
06-08-22	JM	UDOT COMMENTS
07-26-22	TB	UDOT COMMENTS

The Fisher Family Homestead
2000 W & 1300 N
FARR WEST, WEBER COUNTY, UTAH

**Storm Water Pollution
Prevention Plan Details**



Project Info.
Engineer:
KENNETH H. HUNTER, P.E.
Drafter:
J. MEYERS
Begin Date:
FEBRUARY 2021
Name:
FISHER FAMILY
HOMESTEAD
Number: 7570-01

8**11** Total Sheets



PLANT TABLE

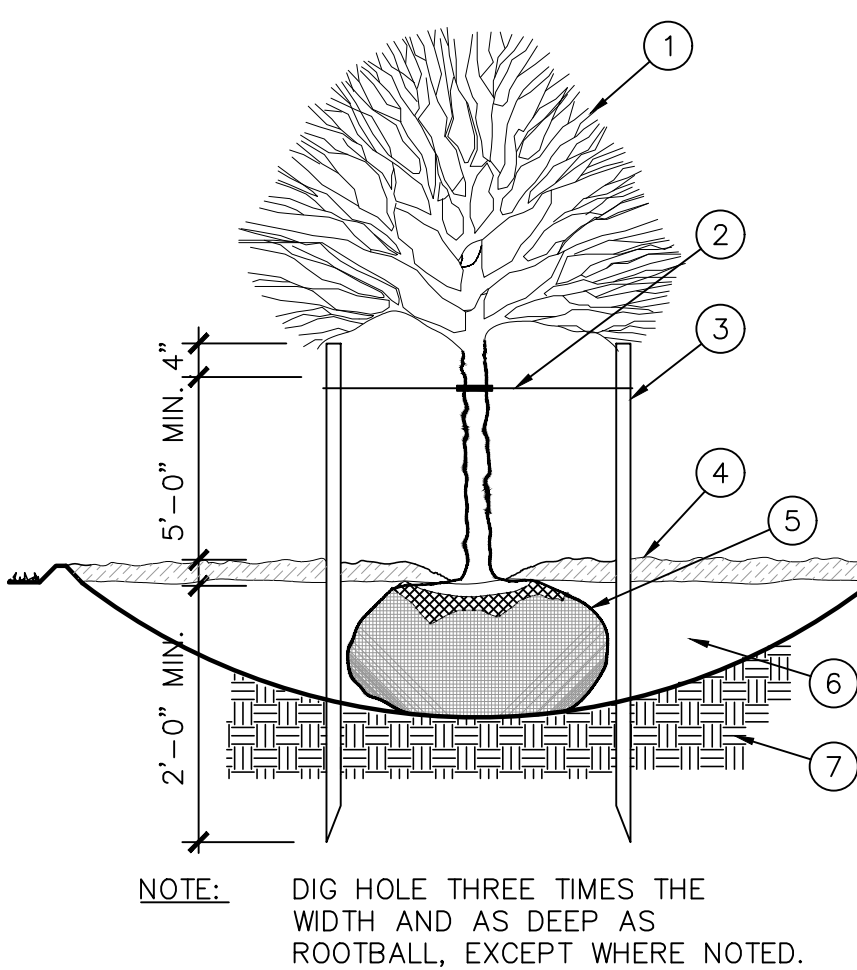
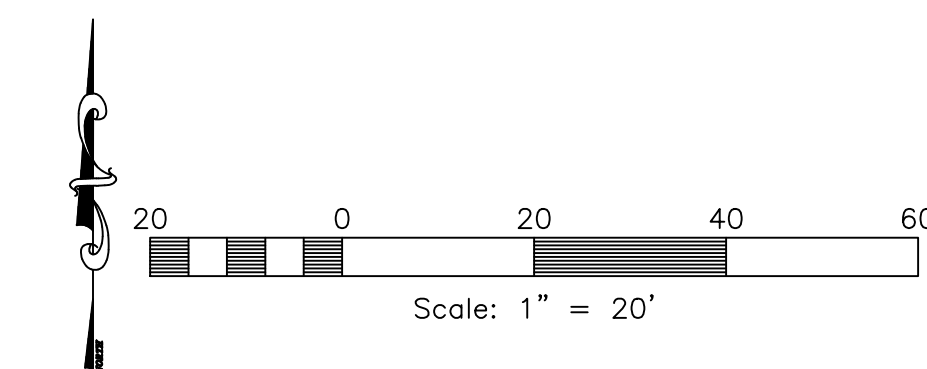
TREES				
Quantity	Symbol	Scientific Name	Common Name	Size
1		Acer Palmatum 'Purple Ghost'	Purple Ghost Japanese Maple	2" cal.
6		Gleditsia triacanthos 'Imperial'	Imperial Honey Locust	2" cal.
6		Malus sp. 'Red Barron'	Red Barron Crabapple	2" cal.
2		Pinus nigra	Austrian Pine	6" Ht
2		Prunus virginiana 'Canada Red'	Canada Red Chokecherry	2" cal.

SHRUBS				
Quantity	Symbol	Scientific Name	Common Name	Size
4		Berberis thun. atro. 'Nana'	Crimson Pygmy Barberry	5 gal.
10		Buddleia x weyeriana 'Sungold'	Sungold Butterfly Bush	5 gal.
6		Juniperus 'Buffalo'	Buffalo Juniper	5 gal.
9		Thuja occidentalis 'Golden Globe'	Golden Globe Arborvitae	5 gal.
16		Pinus mugo 'Slowmound'	Slowmound Mugo Pine	5 gal.
17		Prunus x cistena 'UCONNPC001'	Darkstar Purple Sand Cherry	5 gal.
9		Prunus laurocerasus 'Otto Luykens'	Otto Luykens' Laurel	5 gal.
23		Potentilla fruticosa 'Gold Drop'	Gold Drop Cinquefoil	5 gal.
10		Rhamnus frangula 'Columnaris'	Tallhedge Columnar Buckthorn	5 gal.
38		Ribes Alpinum 'Green Mound'	Green Mound Alpine Currant	5 gal.
15		Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	5 gal.
19		Viburnum trilobum 'Bailey Compact'	Bailey Compact Cranberry	5 gal.

ORNAMENTAL GRASS				
Quantity	Symbol	Scientific Name	Common Name	Size
30		Calamagrostis 'Karl Foerster'	Karl Foerster Grass	1 gal.

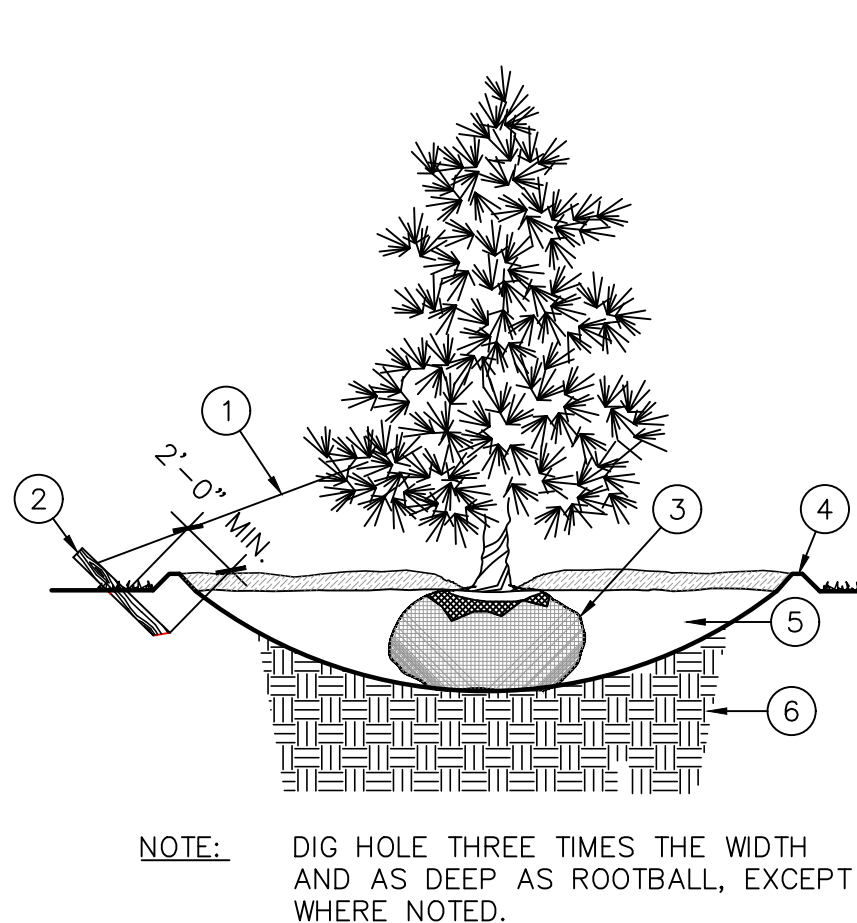
PERENNIALS				
Quantity	Symbol	Scientific Name	Common Name	Size
37		Bergenia cordifolia "Rose"	Rose Bergenia	1 gal.
61		Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	1 gal.
21		Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 gal.

OTHER		
Symbol	Description	Size/Type
	Turf Grass - Sod	Sod
	Kentucky Bluegrass Mix - 3 Species Minimum	
	Rock Mulch - Round Cobble - Brown/Tan	1" Diameter
	Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	3" Depth
	Rock Mulch - Angular Cobble - Grey/Brown	4" Diameter
	Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	4" Depth
	Concrete Mow Strip	6"x6"



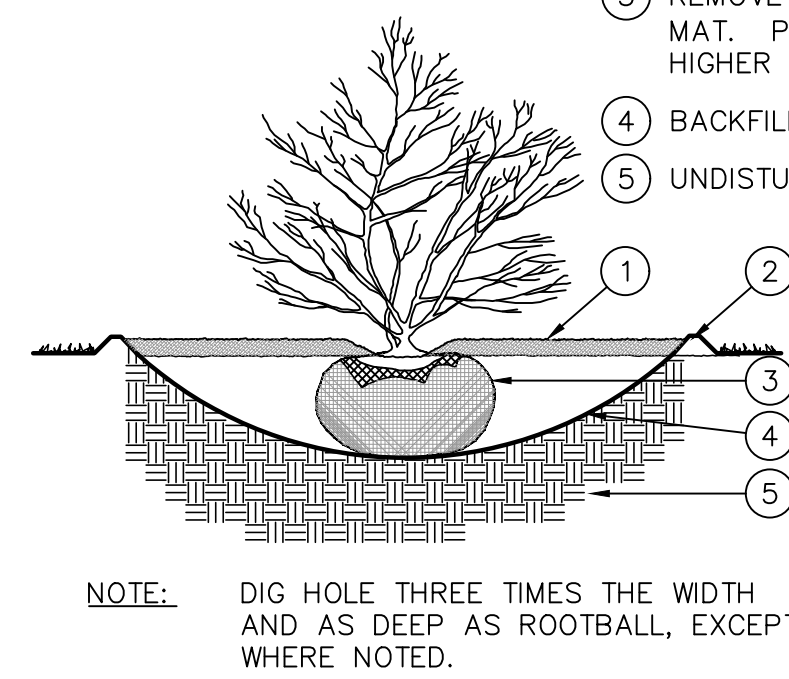
DECIDUOUS TREE PLANTING

NTS



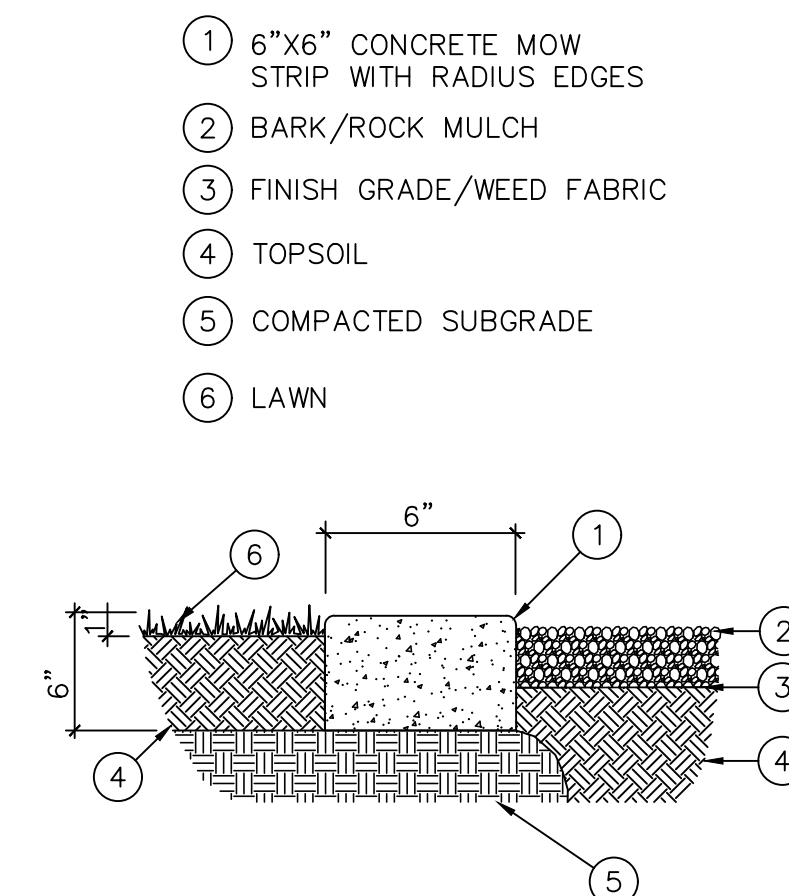
CONIFEROUS TREE PLANTING

NTS



SHRUB PLANTING

NTS

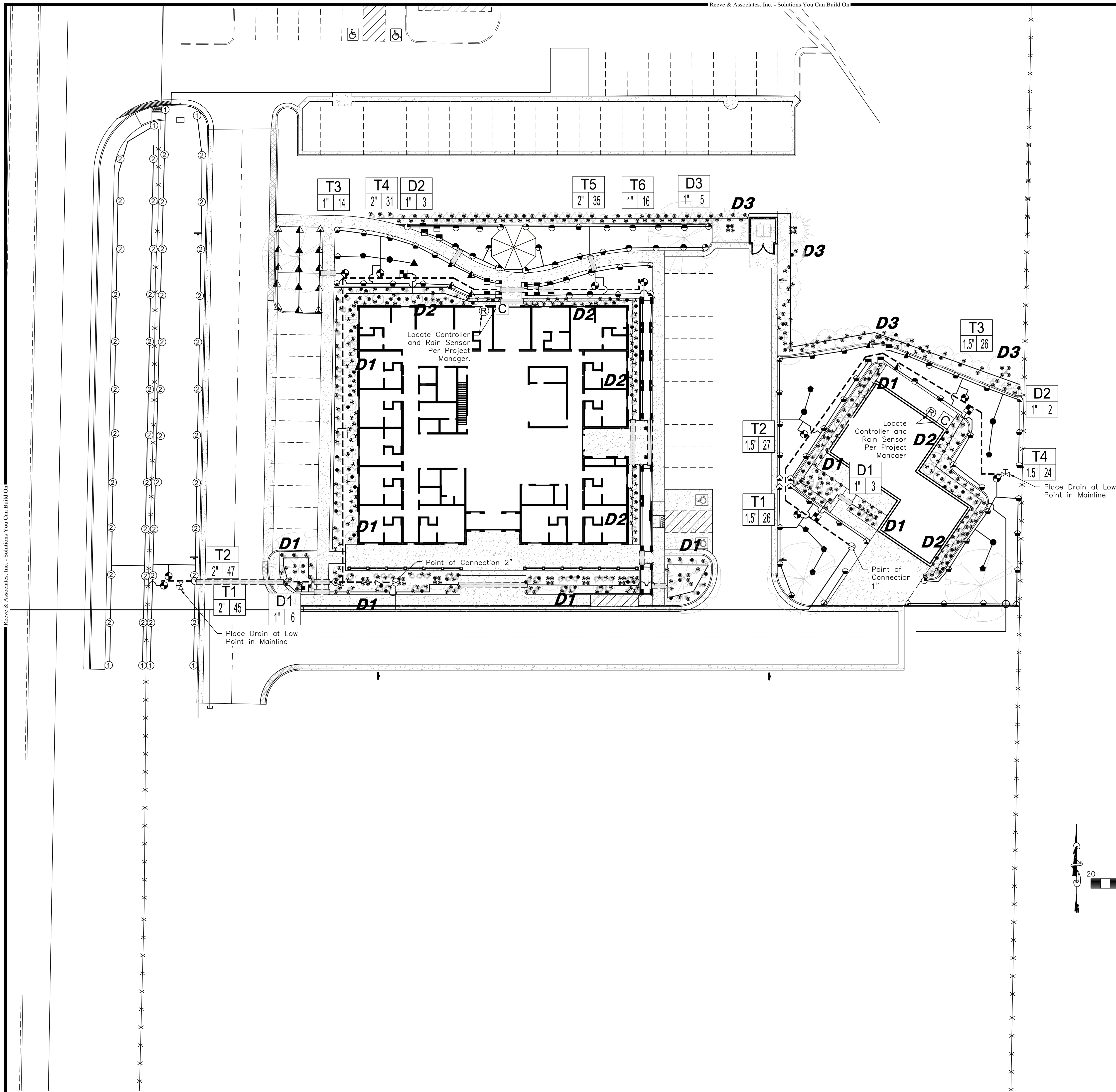


CONCRETE MOW STRIP

NTS

PLANTING NOTES

- This planting plan is diagrammatic and plant locations are approximate.
- Field survey, stake, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done.
- Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owners representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
- Finish grade of soil in lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent grade.
- Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
- All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
- Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
- Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
- Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
- Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owners representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
- Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch.
- Provide a 3' minimum diameter circle "tree ring" around trees that are placed within lawn areas. Place a 3" min. depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds.
- The contractor shall maintain all work until work is complete and accepted by the Owner. The contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.



IRRIGATION SCHEDULE

RADIUS	SYMBOL	PSI	MANUFACT.	CATALOG #	DESCRIPTION
SPRAY	QU. HALF FULL				HEAD; NOZZLE
5'		30	RAINBIRD	1804-SAM-PRS	SPRAY; 5' MPR
8'		30	RAINBIRD	1804-SAM-PRS	SPRAY; 8' MPR
10'		30	RAINBIRD	1804-SAM-PRS	SPRAY; 10' MPR
12'		30	RAINBIRD	1804-SAM-PRS	SPRAY; 12' MPR
15'		30	RAINBIRD	1804-SAM-PRS	SPRAY; 15' MPR
4'X30'		30	RAINBIRD	1804-SAM-PRS	SPRAY; 15SST
4'X15'		30	RAINBIRD	1804-SAM-PRS	SPRAY; 15RCS/LCS

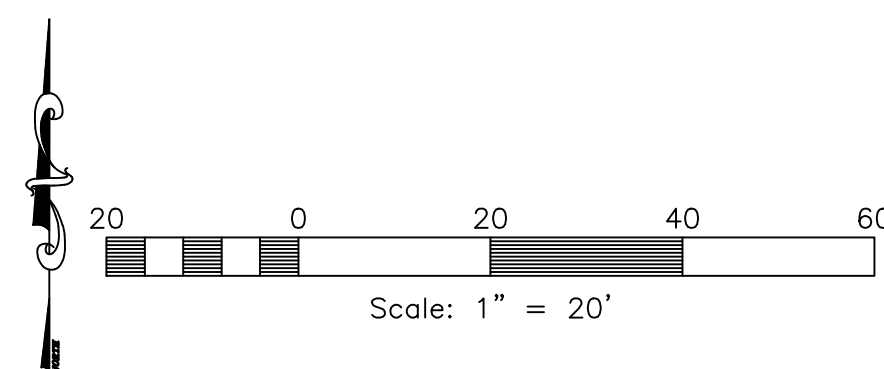
ROTOR	ADJ. FULL				HEAD; NOZZLE
15'-30'	①	45	RAINBIRD	3504-PC-SAM	ROTOR; #1
15'-30'	②	45	RAINBIRD	3504-PC-SAM	ROTOR; #2
15'-30'	③	45	RAINBIRD	3504-PC-SAM	ROTOR; #2

EQUIP.	SYMBOL	MANUFACT.	CATALOG #	DESCRIPTION
		FORD	BC11-444SWM-NL	STOP AND WASTE
		WILKINS	975XL2	BACKFLOW PREVENTION ASSEMBLY
		STRONGBOX	SBBC-30AL	ALUMINUM BACKFLOW ENCLOSURE
		RAINBIRD	MODEL 44LRC	1" QUICK COUPLING VALVE
		FORD	B111-333-NL 3/4"	MANUAL DRAIN VALVE ASSEMBLY
		RAINBIRD	ESP LXME	120 VAC-INDOOR/OUTDOOR CONTROLLER
		RAINBIRD	WR2-RC	WIRELESS RAIN SENSOR
		RAINBIRD	XCZ-100-PRB-COM	DRIP REMOTE CONTROL VALVE
		RAINBIRD	PEB SERIES	REMOTE CONTROL VALVE

PIPE	SYMBOL		CATALOG #	DESCRIPTION
		SCH. 40	PVC MAIN LINE	PRESSURIZED IRRIGATION MAIN LINE
		SCH. 40	PVC LATERAL LINE	IRRIGATION LINE; SIZE AS FOLLOWS: 3/4" (0-8 gpm), 1" (8-12 gpm), 1 1/4" (12-22 gpm), 1 1/2" (22-30 gpm), 2" (30-50 gpm)
		SCH. 40	PVC SLEEVE	2 X DIA. - USE UNDER PAVEMENT
DRIP	SYMBOL	MANUFACT.	CATALOG #	DESCRIPTION
		RAINBIRD	XB-T-20-PC	XERIBUG DRIP EMITTERS, 2 GAL/HOUR 1 EMITTER PER 1 GALLON PLANT 2 EMITTERS PER 5 GALLON PLANT 4 EMITTERS PER TREE (OUTSIDE TURF AREAS)
		PVC/POLY	DRIP LATERAL LINE	1/2"-3/4" LATERAL SUPPLY LINE

LABELS				
	T1	1.5"	21	TURF VALVE NUMBER
				GALLONS PER MINUTE
				VALVE SIZE
	D1	1"	5	DRIP VALVE NUMBER
				GALLONS PER MINUTE
				VALVE SIZE

D1 DRIP IRRIGATION ZONE NUMBER



Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 621-3100 www.reeve.co

LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS

DATE	DESCRIPTION

The Fisher Family Homestead
2000 W & 1300 N
FARR WEST, WEBER COUNTY, UTAH

Irrigation Plans

Project Info.

Engineer: KENNETH H. HUNTER, P.E.

Drafter: N. PETERSON

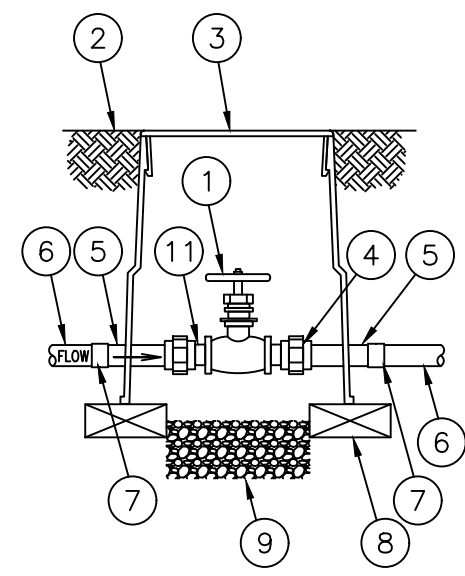
Begin Date: FEBRUARY 2021

Name: FISHER FAMILY HOMESTEAD

Number: 7570-01

10

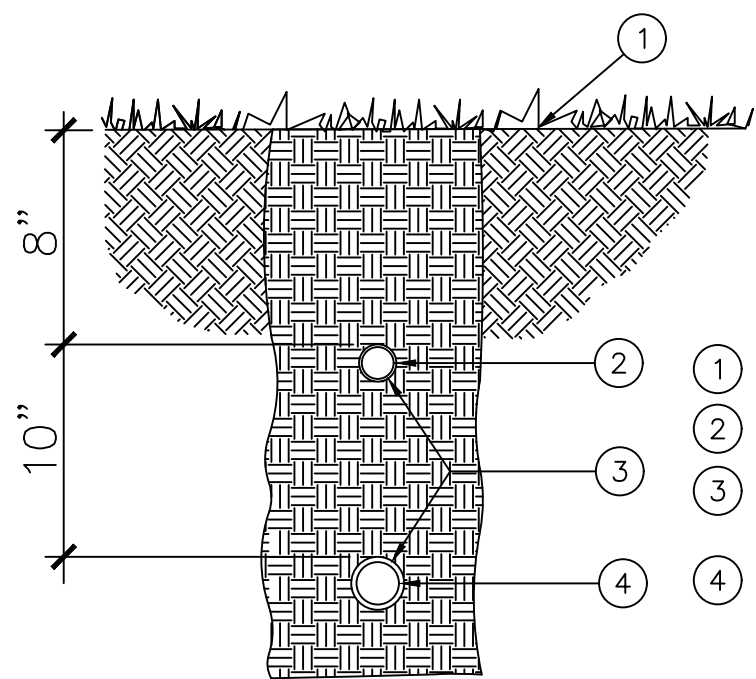
11 Total Sheets



- 1 GATE VALVE - SEE SCHEDULE
- 2 FINISH GRADE
- 3 VALVE BOX WITH COVER: RAIN BIRD VB-6RND
- 4 ACTION UNIONS
- 5 GALVANIZED NIPPLE - 12" MIN.
- 6 PVC MAINLINE PIPE
- 7 PVC SCH 80 FEMALE ADAPTER
- 8 BRICK (1 OF 2)
- 9 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 10 PVC SCH 40 ELL
- 11 CLOSE NIPPLE

GATE VALVE

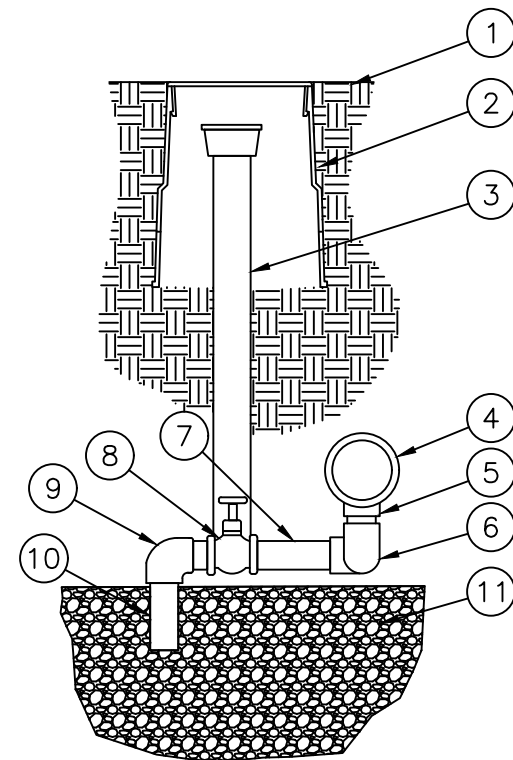
N.T.S.



- 1 FINISH GRADE
- 2 LATERAL LINE
- 3 2" MIN. SAND OR ROCK FREE SOIL AROUND PIPE
- 4 MAIN LINE

TRENCH SECTION

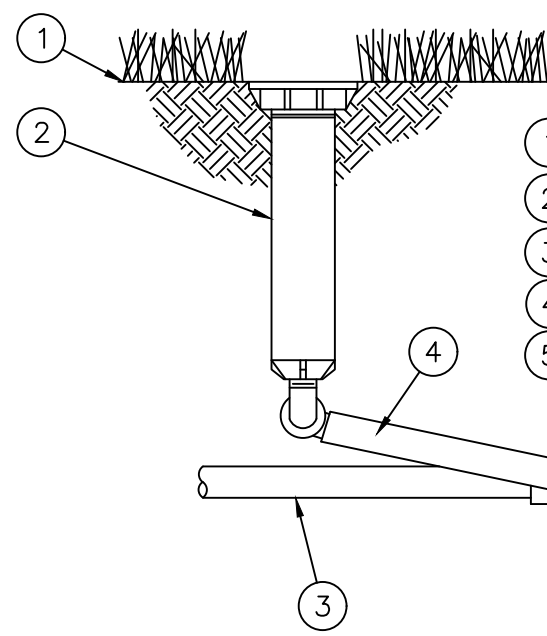
N.T.S.



- 1 FINISH GRADE/TOP OF MULCH
 - 2 IRRIGATION VALVE BOX WITH BOLT LID
 - 3 HEIGHT AS REQUIRED
 - 4 PVC MAINLINE
 - 5 SERVICE TEE
 - 6 (2) 3/4" 90 ELL
 - 7 (2) 3/4" CLOSE PVC NIPPLE
 - 8 3/4"x12" PVC SCH 80 NIPPLE
 - 9 3/4" DRAIN VALVE-SEE SCHEDULE
 - 10 3/4"x12" PVC SCH 80 NIPPLE
 - 11 3/4" PVC SCH 40 ELL
 - 12 3/4" X 6" PVC SCH 80 TOE NIPPLE
 - 13 3/4-INCH WASHED GRAVEL SUMP 5 CUBIC FEET MIN.
- Note: Place at low spot(s) in Mainline to allow for proper winterization

MANUAL DRAIN VALVE

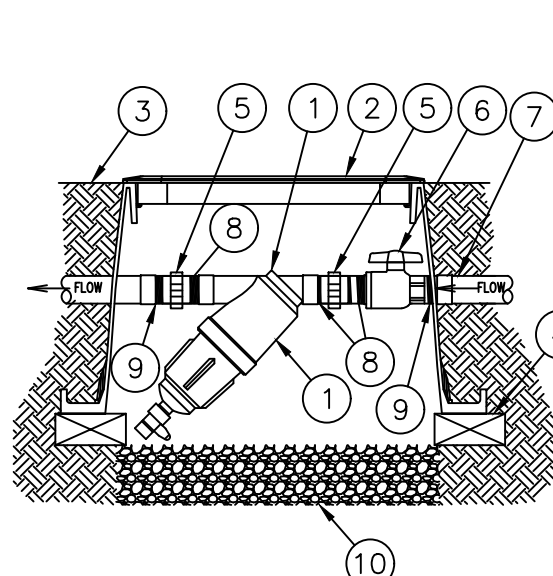
N.T.S.



- 1 FINISH GRADE/TOP OF MULCH
- 2 POP-UP SPRAY SPRINKLER:
- 3 PVC LATERAL PIPE
- 4 SWING ASSEMBLY:
- 5 PVC SCH 40 TEE OR ELL

POP-UP SPRAY HEAD

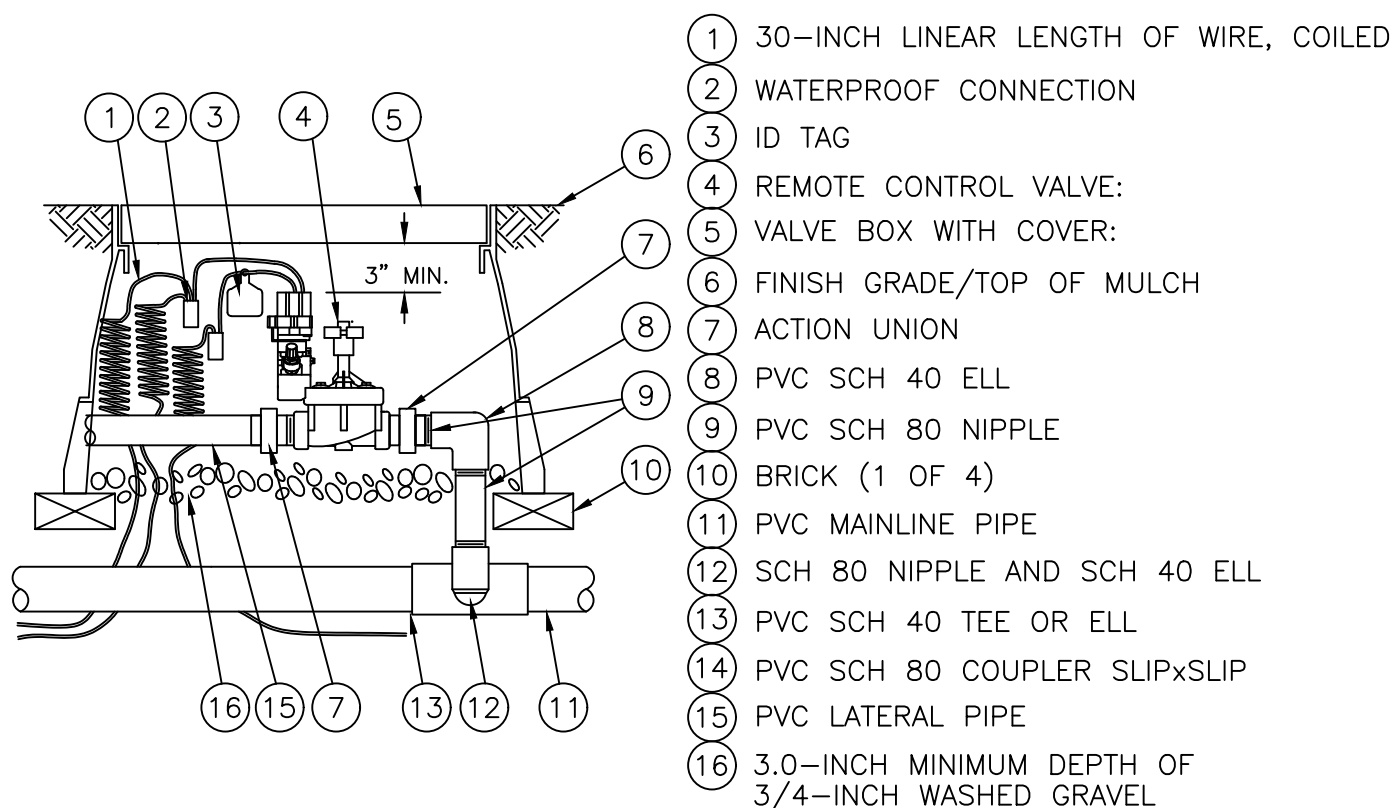
N.T.S.



- 1 INLINE FILTER - SEE SCHEDULE
- 2 JUMBO VALVE BOX
- 3 FINISH GRADE
- 4 BRICK/PAVER
- 5 ACTION UNION T&T
- 6 PVC THREADED BALL VALVE
- 7 SCH. 40 PVC MAIN LINE
- 8 PVC SCH. 80 THREADED CLOSE NIPPLE
- 9 SCH. 40 PVC SOCKET MALE ADAPTER
- 10 3" MIN. DEPTH OF 3/4" WASHED GRAVEL

MAINLINE FILTER ASSEMBLY

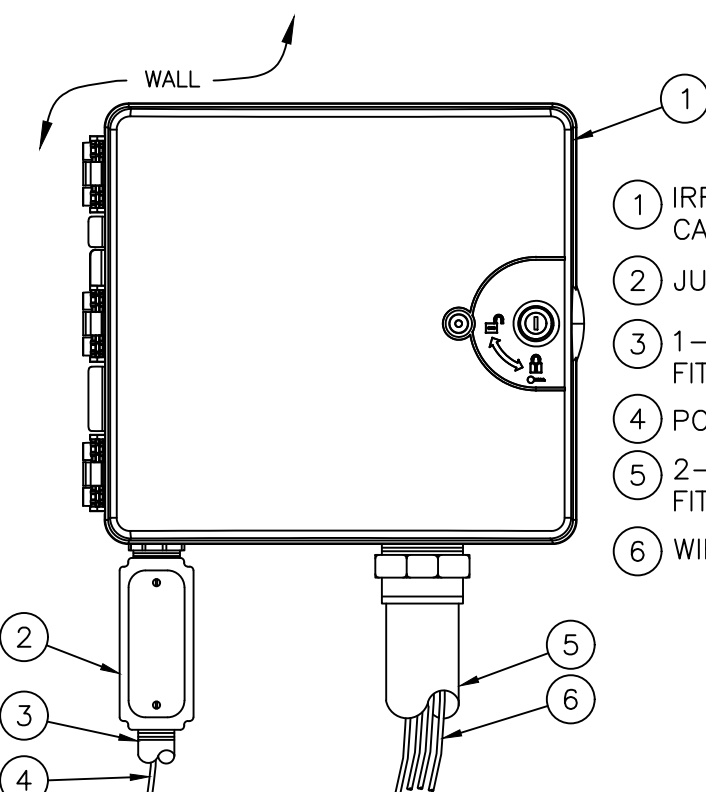
N.T.S.



- 1 30-INCH LINEAR LENGTH OF WIRE, COILED
- 2 WATERPROOF CONNECTION
- 3 ID TAG
- 4 REMOTE CONTROL VALVE:
- 5 VALVE BOX WITH COVER:
- 6 FINISH GRADE/TOP OF MULCH
- 7 ACTION UNION
- 8 PVC SCH 40 ELL
- 9 PVC SCH 80 NIPPLE
- 10 BRICK (1 OF 4)
- 11 PVC MAINLINE PIPE
- 12 SCH 80 NIPPLE AND SCH 40 ELL
- 13 PVC SCH 40 TEE OR ELL
- 14 PVC SCH 80 COUPLER SLIPXSLIP
- 15 PVC LATERAL PIPE
- 16 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL

REMOTE CONTROL VALVE

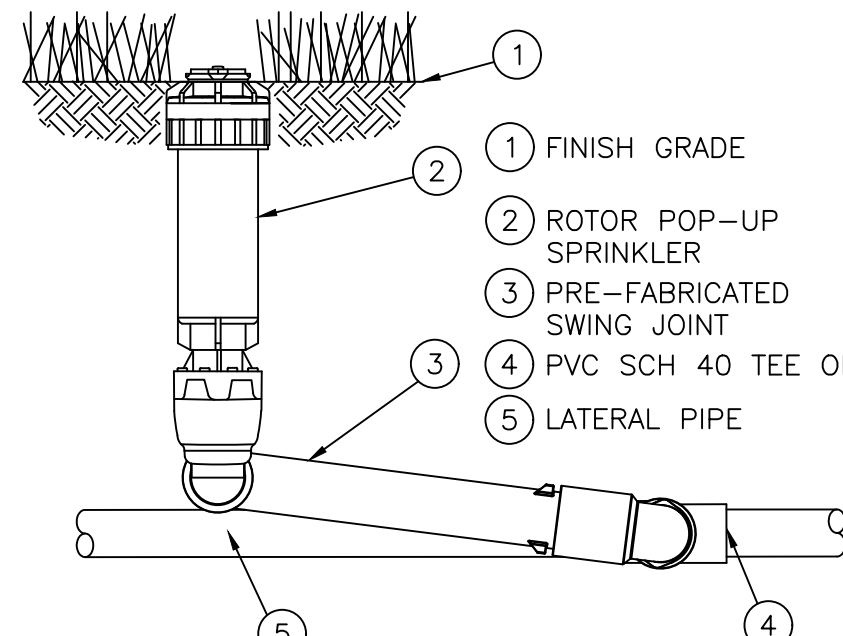
N.T.S.



- 1 IRRIGATION CONTROLLER IN CABINET WITH WALL MOUNT
- 2 JUNCTION BOX
- 3 1-INCH CONDUIT AND FITTINGS TO POWER SUPPLY
- 4 POWER SUPPLY WIRE
- 5 2-INCH CONDUIT AND FITTINGS FOR STATION WIRES
- 6 WIRES TO REMOTE CONTROL VALVES

IRRIGATION CONTROLLER

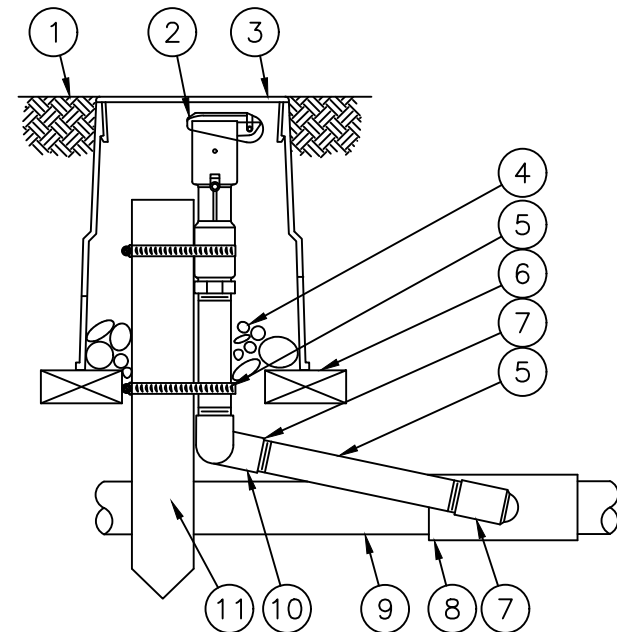
N.T.S.



- 1 FINISH GRADE
- 2 ROTOR POP-UP SPRINKLER
- 3 PRE-FABRICATED SWING JOINT
- 4 PVC SCH 40 TEE OR ELL
- 5 LATERAL PIPE

ROTOR POP-UP HEAD

N.T.S.

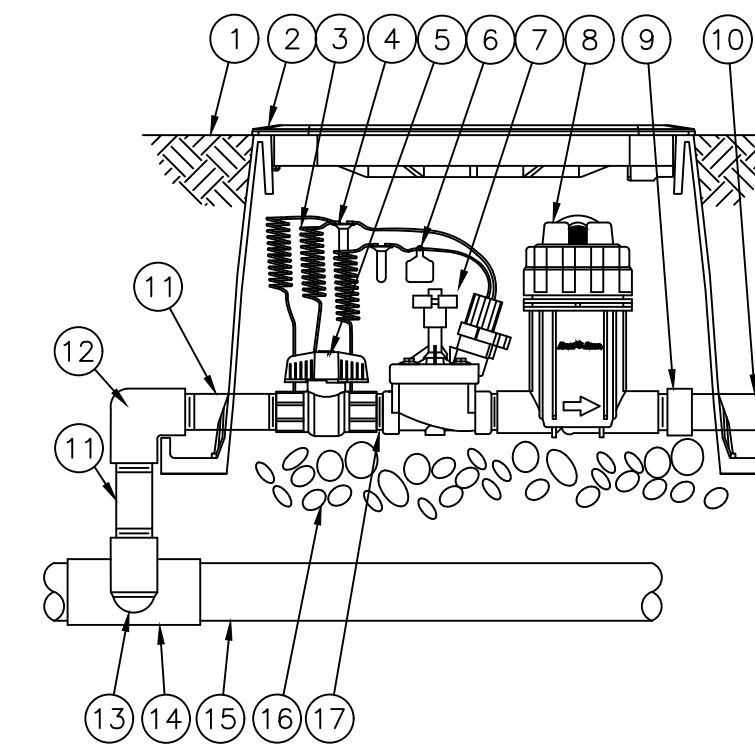


- 1 FINISH GRADE/TOP OF MULCH
- 2 QUICK-COUPLING VALVE
- 3 VALVE BOX WITH COVER
- 4 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 5 PVC SCH 80 NIPPLE
- 6 BRICK (1 OF 2)
- 7 PVC SCH 40 STREET ELL
- 8 PVC SCH 40 TEE OR ELL
- 9 PVC MAINLINE PIPE
- 10 PVC SCH 40 ELL
- 11 2"x2" REDWOOD STAKE WITH STAINLESS STEEL GEAR CLAMPS OR EQUIVALENT SUPPORT SYSTEM

NOTE: FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

QUICK COUPLING VALVE

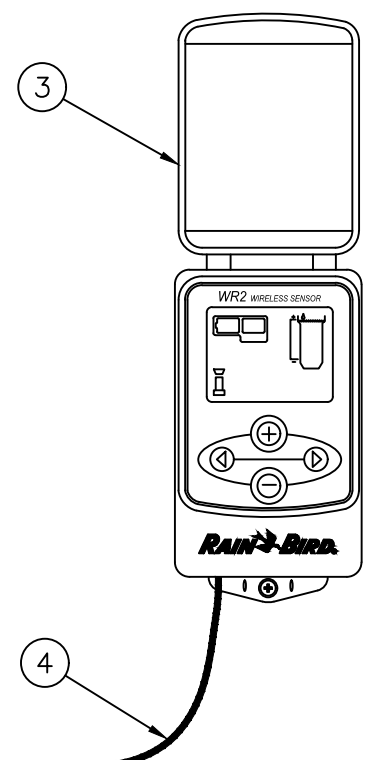
N.T.S.



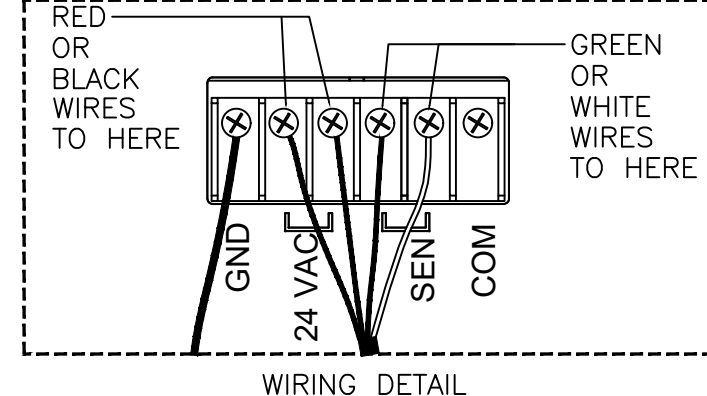
- 1 FINISH GRADE/TOP OF MULCH
- 2 VALVE BOX WITH COVER:
- 3 30-INCH LINEAR LENGTH OF WIRE, COILED
- 4 WATERPROOF CONNECTION:
- 5 1-INCH BALL VALVE
- 6 ID TAG
- 7 REMOTE CONTROL VALVE
- 8 PRESSURE REGULATING FILTER
- 9 PVC SCH 40 FEMALE ADAPTOR
- 10 LATERAL PIPE
- 11 PVC SCH 80 NIPPLE
- 12 PVC SCH 40 ELL
- 13 PVC SCH 80 NIPPLE AND PVC SCH 40 ELL
- 14 PVC SCH 40 TEE OR ELL
- 15 MAINLINE PIPE
- 16 3 INCH MIN. DEPTH OF 3/4" WASHED GRAVEL
- 17 PVC SCH 80 NIPPLE, CLOSE

REMOTE CONTROL DRIP VALVE

N.T.S.

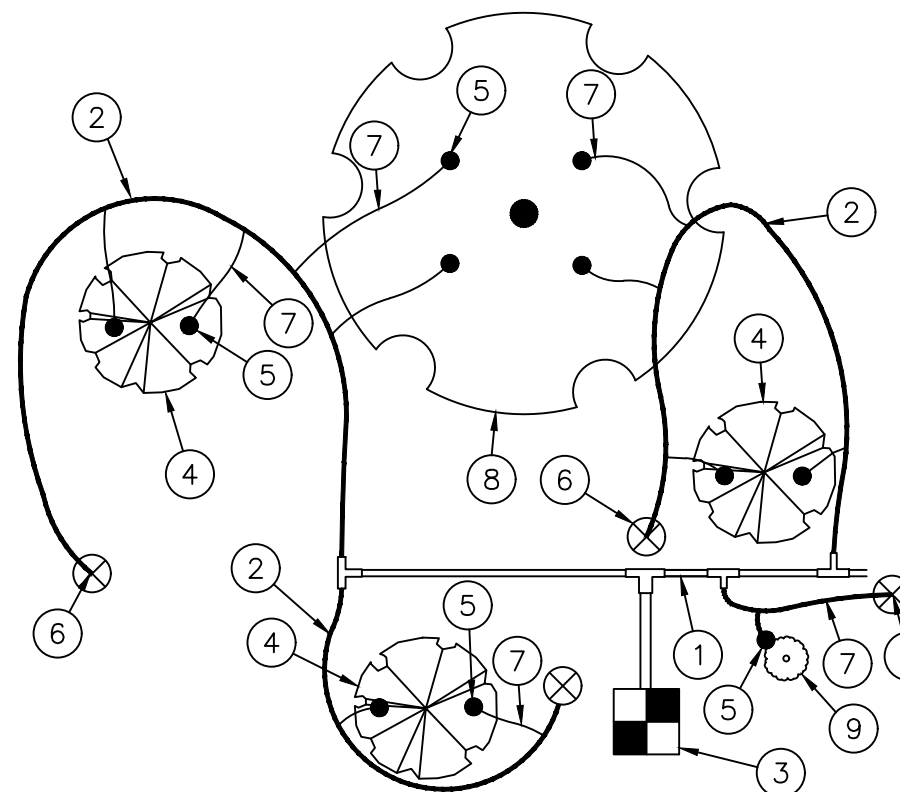


- 1 RAIN BIRD CONTROLLER:
- 2 1-INCH PVC SCH 40 CONDUIT AND FITTINGS FOR VALVE WIRES
- 3 RAIN BIRD WR2 WIRELESS SENSOR CONTROLLER INTERFACE
- 4 CABLE HARNESS FOR CONTROLLER INTERFACE (30" MAXIMUM)
- 5 GROUND WIRE TO GROUNDING GRID
- 6 JUNCTION BOX
- 7 1/2-INCH PVC SCH 40 CONDUIT TO POWER SUPPLY



WIRELESS RAIN SENSOR

N.T.S.



- 1 SCH. 40 PVC LATERAL
- 2 1/2" SOLID DRIP TUBING OR EQUIV. LENGTH NOT TO EXCEED 250'
- 3 DRIP VALVE ASSEMBLY. SEE DETAIL
- 4 TYPICAL SHRUB
- 5 DRIP EMITTER ASSEMBLY (SEE DETAIL THIS SHEET)
- 6 AUTOMATIC FLUSH VALVE. SEE DETAIL THIS SHEET
- 7 1/4" VINYL DISTRIBUTION TUBING (MAX. LENGTH IS 4')
- 8 TYPICAL TREE
- 9 TYPICAL PERENNIAL

NOTE: *WHENEVER POSSIBLE PLACE EMITTER UPHILL FROM SHRUB.

DRIP ZONE LAYOUT

N.T.S.

IRRIGATION NOTES

1. This irrigation plan is diagrammatic and equipment locations are approximate. Equipment and piping may be shown outside landscape areas for graphic purposes only.
2. Place sleeves where piping crosses under paved areas prior to being paved. Sleeves shall be twice the diameter of the largest irrigation line to be sleeved.
3. The intention of the Contracting Officer's rep and consultant is to have constructed, under the construction contract, a complete project ready for use. The general contractor and his sub-contractors should view these documents accordingly. Any apparent question, incomplete area, areas of discrepancy or contradiction in these documents should be brought to the attention of the Contracting Officer's rep prior to bidding. By submitting a bid on this project, the bidder certifies that he has fully informed himself of the requirements of the construction drawings, as they relate to his work, and has read and understands the notes and specifications. Also, that any questions, incomplete areas, discrepancies or contradictions have been brought to the attention of the Contracting Officer's rep and that they have been resolved.
4. Willful installation of this work when it is obvious there exists job/site conditions or discrepancies on the plans that are detrimental to the project and that should be brought to the attention of the Contracting Officer's rep will be back-charged to the installer. The installer assumes full responsibility to correct the work at his own expense if he fails to give the required notification for resolution.
5. Existing landscape outside the limits of disturbance shall be protected and repaired, if damaged, at no additional cost to the owner.
6. Refer to irrigation schedule and details for more information.
7. Hand trenching only shall occur within the drip line of existing trees. Machine trenching is strictly prohibited.
8. Consult with General Contractor, in conjunction with the design team, before cutting through tree roots 2" or larger.
9. Spray, rotor and rotary heads are intended to provide head to head coverage with minimal over-spray onto non-irrigated areas.
10. Quantities provided are for convenience only. The contractor is required to verify quantities and adjust bid and construction accordingly. If major discrepancies exist, notify Contracting Officer's rep immediately.
11. Water pressure shall be verified on site by landscape contractor.
12. See Irrigation schedule for lateral line sizing, typical for all irrigated areas.

MEMORANDUM



CONSULTING ENGINEERS

TO: Farr West City Planning Commission and City Council

FROM: Matt Robertson, P.E.
City Engineer

RE: **FISHER FAMILY HOMESTEAD**
Site Plan and Subdivision Plat Review

Date: October 6, 2022

Our office has completed a review of the site plan and subdivision plat for the Fisher Family Homestead located at 1300 North 2000 West. We have gone through multiple reviews on the site plan and plat and they have addressed all comments and received all necessary agency approvals. The plans generally conform with City standards, and we recommend final approval of this development subject to the following comments:

1. Prepare and Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) with the State prior to beginning any construction.
2. A pre-construction conference with the Developer and their Contractor should be held with the City and utility providers prior to beginning any construction.

Please let me know if you have any further questions.



Bona Vista Water Improvement District

2020 West 1300 North, Farr West, Utah 84404

Phone (801) 621-0474 Fax (801) 621-0475

April 18, 2022

To whom it may concern:

RE: AVAILABILITY LETTER – The Fisher Family Homestead

The Bona Vista Water District does have culinary water available for the project located at 2000 West and 1300 North in FarrWest.

This letter states that the above named project is in the boundaries of the Bona Vista Water Improvement District. The information will be evaluated with our review process when formal application is made by the Developer and fees are paid to the District.

The plan review fee for commercial is \$1,000 plus \$300 per acre and includes running one fire flow model. We consider this fee to be minimal and is only to cover the cost of review by the District and the District Engineer. If additional models are requested, supplementary fees will be required. Only the phase in consideration is guaranteed service and only for a period of one year from the date of the District approval, if not constructed.

Connection fees and fire line fees are based on meter and line size. All water mains, service lines, fire hydrants, etc. must be constructed according to the district's specifications. Those specifications can be found on the district's website: <https://www.bonavistawater.com/construction-standards>.

Proof of secondary water will need to accompany the connection fee for each connection inside the development. Allowable proof of secondary water is a connection receipt from a pressurized secondary water provider or a letter clearly stating that there are 3-acre feet of water available for each acre of undeveloped property (water shares must be in owner's name).

The connection receipt will serve as verification from the district for building permit purposes.

If you have any questions, please feel free to call me. I can be reached at 801-621-0474 ext. 207, Monday through Friday, 9am – 5pm.

Sincerely,

Matt Fox
Assistant Manager

Board of Directors

Michelle Tait, Chairwoman - Harrisville
Jon Beesley, Vice Chairman - Plain City
Ronald Stratford - Unincorporated Area
Scott Van Leeuwen - Marriott/Slaterville
Ken Phippen - Farr West

Management

Blake Carlin, Manager
Matt Fox, Assistant Manager
Marci Doolan, Administrative Manager



Bona Vista Water Improvement District

2020 West 1300 North, Farr West, Utah 84404

Phone (801) 621-0474 Fax (801) 621-0475

September 21, 2022

TO: FarrWest City

RE: WILL SERVE LETTER – Fisher Family Homestead

The project located at 2000 West 1300 North is in the boundaries of the Bona Vista Water Improvement District. The commercial project utility plans have been reviewed by the District and changes, if any, have been made and corrected.

This letter serves as verification that the corrected plans have been approved for the above-named project. Only the phase in consideration is guaranteed service. The plan review is good for a period of one year from the date of this letter. If not constructed within that time frame, the review process will start again including additional fees.

Culinary water will be made available once the following criteria are met:

- All water mains, service lines, fire hydrants, etc. must be constructed according to the district's specifications. Those specifications can be found on the district's website: <https://www.bonavistawater.com/construction-standards>
- Fire line fees are paid, if applicable.
- Proof of secondary water will need to accompany the connection fee for *each* connection inside the development. The connection receipt will serve as verification from the district for building permit purposes.
 - Allowable proof of secondary water is a connection receipt from a pressurized secondary water provider or a letter clearly stating that there are 3-acre feet of water available for each acre of undeveloped property (water shares must be in owners name).

If you have any questions, please feel free to call me. I can be reached at 801-621-0474 ext. 207, Monday through Friday, 9am – 5pm.

Sincerely,

Matt Fox
Assistant Manager

Board of Directors

Michelle Tait, Chairwoman - Harrisville
Jon Beesley, Vice Chairman – Plain City
Ronald Stratford – Unincorporated Area
Scott Van Leeuwen – Marriott/Slaterville
Ken Phippen – Farr West

Management

Blake Carlin, Manager
Matt Fox, Assistant Manager
Marci Doolan, Administrative Manager



Farr West City

APPLICATION FOR ISSUANCE OF CONDITIONAL USE PERMIT

The Municipal Code 17.48.020 requires that the following be considered to obtain a Conditional Use Permit.

Application Date 10.7.2022 Applicant Name Jordan Watson

Mailing Address [REDACTED]

Phone Number [REDACTED] Email [REDACTED]

Property address of proposed conditional use 1634 W. 1850 N. Current Zoning: R-1-15

Please list the requested conditional use as listed within the city zoning ordinance Accessory building over 2,000 SF.

A) Explain how the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community.

Detached garage will serve as storage for vehicles and allow for internal storage rather than external use of driveway. Property size is more than adequate to accommodate the size of garage while maintaining the city's requirements.

B) Explain how such use will not be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses.

The garage will be built by a reputable licensed general contractor. Aesthetics will be consistent and complimentary to my house. Professional landscaping will be completed upon completion of the garage.

C) Explain how the proposed use will comply with the regulations and conditions specified in this title for such use.

The garage will meet the city's setback and coverage requirements for accessory buildings.

D) Explain how the proposed use conforms to the goals, policies and governing principles and land use of the Farr West City General Plan.

The general plan allows for accessory buildings on residential lots in excess of 2,000 sf as long as they meet the required setbacks and coverage requirements and receive a conditional use permit. I am following that process.

E) Explain how the proposed use will not lead to the deterioration of the environment, or ecology of the immediate vicinity, the general area, or the community as a whole.

I am using a licensed general contractor to ensure the highest quality, aesthetics, and minimal impact to the environment during construction.

Jordan Walker
Signature of Applicant

Property Owner? ☒ Y ☐ N

Date Application & \$100.00 Processing Fee received Oct 7, 2022

Received by McKinzie

Date of public hearing: _____

Date application was _____ Approved _____ Denied by Planning Commission _____

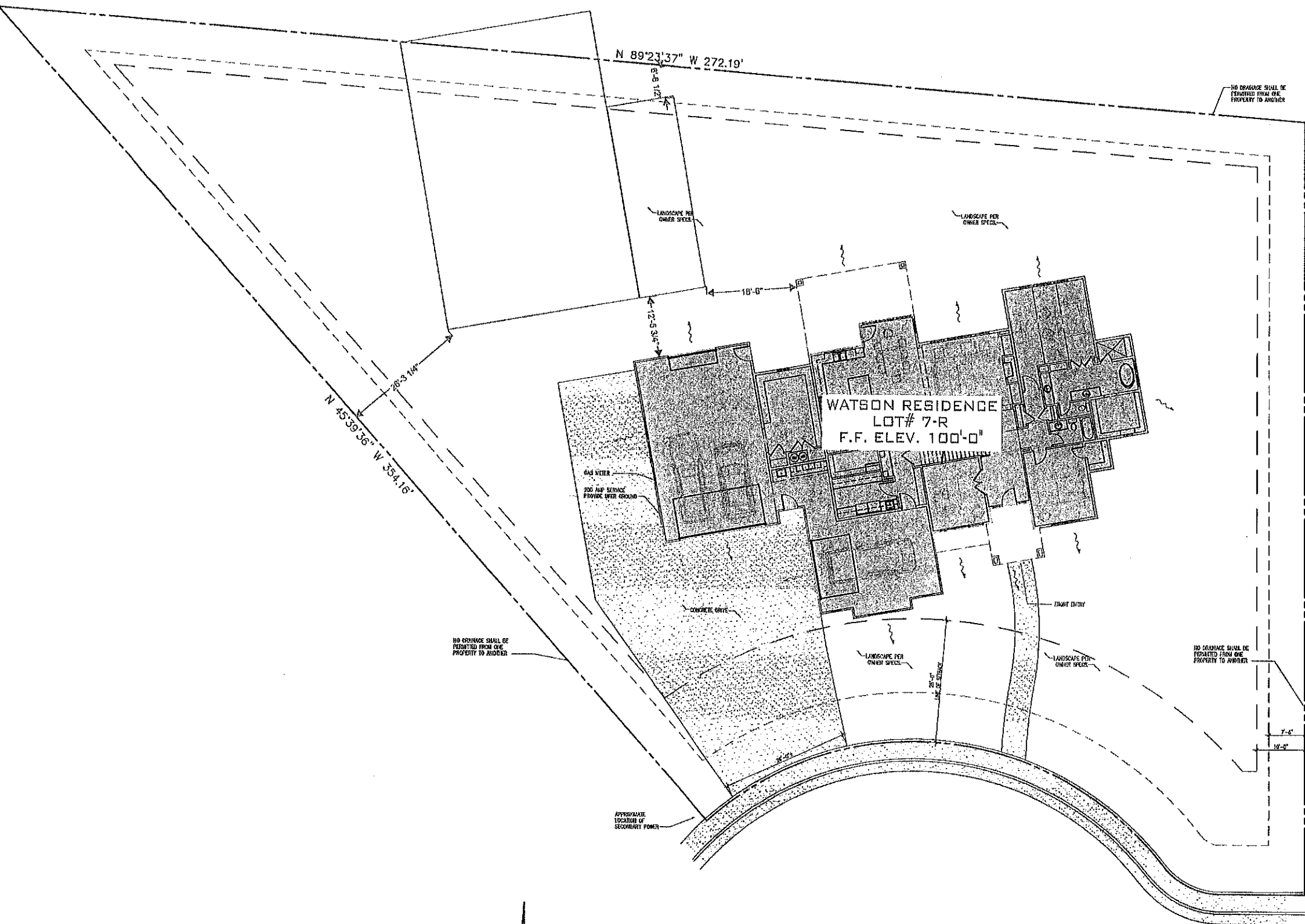
Conditions/Reasons

Date application was _____ Approved _____ Denied by City Council: _____

Conditions/Reasons

Planning Commission Chair

Mayor



SITE NOTES:

1. BEFORE CONSTRUCTION BEGINS BUILDER IS TO VERIFY LOT DIMENSIONS AGAINST THE PLAN DIMENSIONS.
2. COORDINATE, PROVIDE AND INSTALL WITH APPROPRIATE TIES AND OWNER UNDERSTANDING SEWER, POWER, TELEPHONE, CABLE TV, NATURAL GAS AND WATER LINES TO UTILITY MARKS.
3. PROPER DRAINAGE SHALL BE PROVIDED BY A LICENSED PROFESSIONAL ENGINEER.
4. DRAINAGE SHALL HAVE A MINIMUM SLOPE OF SIX INCHES PER HUNDRED FEET FOR A MINIMUM OF 10'-0" IN ALL AREAS PERVIOUS AND IMPERVIOUS INCLUDING CONCRETE SURFACES.
5. ANY SLOPE SHALL NOT BE GREATER THAN 1 VERTICAL UNIT FOR EVERY 2 HORIZONTAL UNITS. ALL SLOPE COVERS SHALL BE SET ANY GREATER SLOPE SHALL BE RETAINED AND DESIGNED BY A PROFESSIONAL.
6. THESE SHALL BE CHECKED BY A PROFESSIONAL ENGINEER TO INSURE ACCURACY OF FOUNDATION.

PROPERTY LINE

SET BACK

EASEMENT

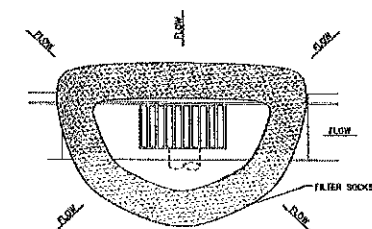
CONCRETE

BUILDING

DRAINAGE DIRECTION MINIMUM OF SIX

EROSION CONTROL NOTES:

1. SOIL EXPOSED IN PREPARATION OF FOUNDATION CONSTRUCTION SHALL BE STOCKPILED UNTIL A STABLE LOCATION HIT TO BE RESTORED.
2. PLACE FILTER ROCKS WITHIN CURB AND GUTTER ANGLES OF DRIVEWAYS, AND/OR FILTER ROCKS WITHIN CURB ANGLES OF DRIVEWAYS. THE FILTER ROCKS SHALL BE IN PLACE BEFORE ANY CONCRETE IS PLACED. THE FILTER ROCKS SHALL BE PLACED AS PART OF THE DRIVEWAY CONSTRUCTION MEASURES.
3. CONSTRUCTION TO MAINTAIN ALL CURBS.
4. INSTALL 18\"/>



STORM DRAIN INLET PROTECTION
NOT TO SCALE

SITE PLAN
SCALE: 1/8"=1'-0"



CREATIVE DIMENSIONS
ARCHITECTURAL DESIGN

P.O. Box 217
St. George, UT 84771
(435) 866-2228
shawna@cdarch.com

©ALL RIGHTS RESERVED

Release Date:
22 MAR 2018

Project Number:
1808

Plan Series:
CUSTOM

HOME FOR
MR. AND MRS. WATSON
WATSON ESTATES LOT #7-R

FARR WEST, UTAH

Sheet Title:
SITE PLAN

Sheet:

SD1.1