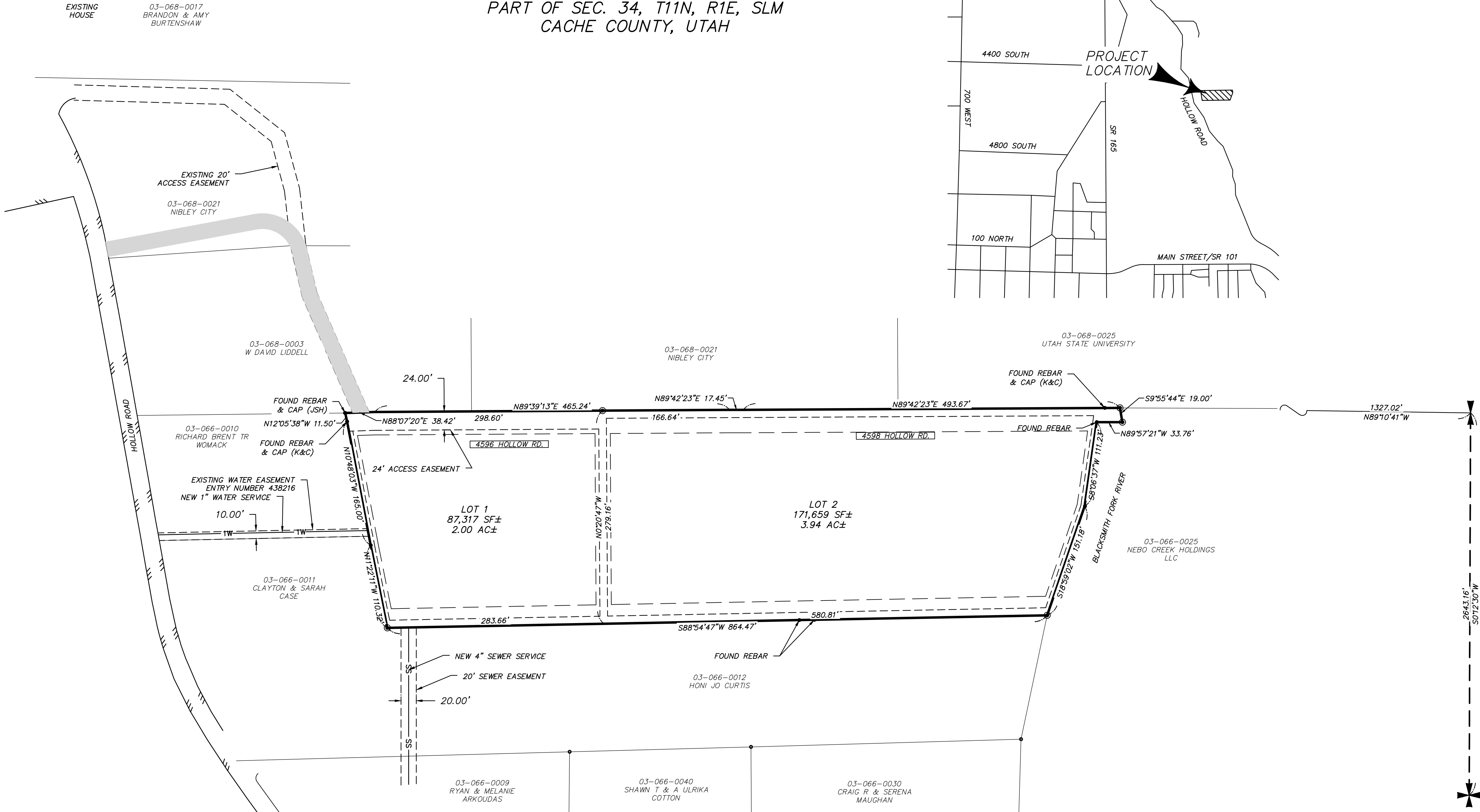
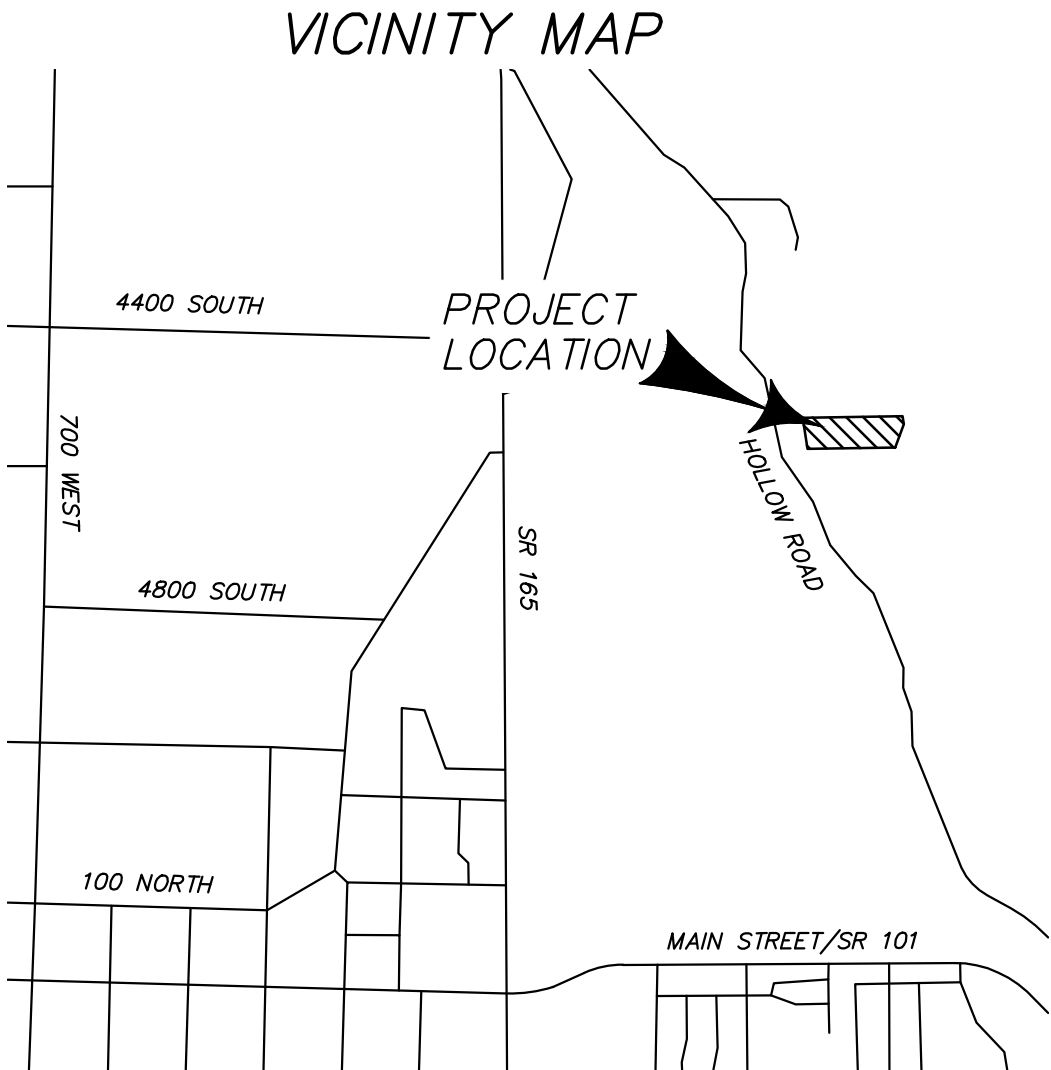


SALMON FLY SUBDIVISION

PART OF SEC. 34, T11N, R1E, SLM
CACHE COUNTY, UTAH



SURVEY NARRATIVE

THIS SURVEY WAS ORDERED BY STEVE SMITH TO DIVIDE THE SUBJECT PARCEL SHOWN. PREVIOUS SURVEYS DONE IN THIS AREA WERE RETRACED AND USED TO ESTABLISH THE BOUNDARIES AS SHOWN. NO MAJOR DISCREPANCIES WERE FOUND.

GROUNDWATER NOTE

AREAS IN NIBLEY CITY HAVE GROUNDWATER PROBLEMS DUE TO THE VARYING DEPTHS OF A FLUCTUATING WATER TABLE. THE CITY'S APPROVAL OF A BUILDING PERMIT OR CONSTRUCTION PLANS DOES NOT CONSTITUTE A REPRESENTATION BY THE CITY THAT BUILDING AT ANY SPECIFIED ELEVATION OR LOCATION WOULD SOLVE SUBSURFACE OR GROUNDWATER PROBLEMS. IN ADDITION, CONCERNS FOR BUILDING ELEVATION AND/OR GRADING AND DRAINAGE ARE UNIQUE TO EACH BUILDING LOT AND SITE. RESPONSIBILITY FOR THESE STATED CONCERNS, AND ALL OTHER SUCH CONCERNS RELATED TO A LOT OR OTHER BUILDING SITE, REMAINS SOLELY WITH THE BUILDING PERMIT APPLICANT, PROPERTY OWNER AND/OR CONTRACTOR. NIBLEY CITY IS NOT RESPONSIBLE FOR ANY SUBSURFACE OR GROUNDWATER PROBLEMS WHICH MAY OCCUR, NOR FOR OTHER SUCH CONCERNS, INCLUDING, BUT NOT LIMITED TO, BUILDING LOCATION AND/OR ELEVATION, SITE GRADING, AND DRAINAGE.

FINISHED FLOOR ELEVATION

NO FINISHED FLOOR SHALL BE BUILT AT AN ELEVATION LOWER THAN 4652.00

LEGEND

- BOUNDARY
- SECTION LINE
- RIGHT-OF-WAY
- PARCEL LINE
- EASEMENT
 - 10' FRONT
 - 5' SIDE
 - 10' FRONT
- BUILDING SETBACK
 - 30' FRONT
 - 10' SIDE
 - 25' REAR
- FENCE
- SECTION CORNERS
- SET REBAR W/ STEVEN C EARL CAP
- FOUND SURVEY MONUMENT AS NOTED

DOMINION ENERGY UTAH

QUESTAR GAS COMPANY, DBA DOMINION ENERGY UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNER'S DEDICATION OR IN THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

QUESTAR GAS COMPANY
dba DOMINION ENERGY UTAH
APPROVED THIS ____ DAY OF _____, 20____
BY _____
TITLE _____

OWNER/DEVELOPER
KOHN G. SMITH
4598 HOLLOW ROAD.
NIBLEY, UTAH, 84321

SURVEYOR
CACHE-LANDMARK ENGINEERING
ATTN: STEVEN EARL, PE, PLS
95 GOLF COURSE RD #101
LOGAN, UT 84321
(435) 713-0099
searl@cachelandmark.com

ROCKY MOUNTAIN POWER

- PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OF OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- PURSUANT TO UTAH CODE ANN. § 17-27a-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE P.U.E. AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
 - (i) A RECORDED EASEMENT OR RIGHT-OF-WAY
 - (ii) THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
 - (iii) TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND FACILITIES OR
 - (iv) ANY OTHER PROVISION OF LAW.

APPROVED THIS ____ DAY OF _____, 2022
BY _____
TITLE _____

ATTORNEY APPROVAL

APPROVED AS TO FORM THIS ____ DAY OF _____ A.D. 2022.

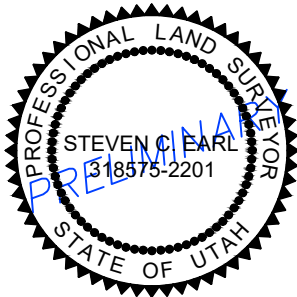
CITY ATTORNEY _____ DATE _____

UTILITY COMPANY APPROVALS

THE UTILITY EASEMENTS SHOWN ON THIS PLAT ARE APPROVED.
CENTURY LINK COMMUNICATIONS _____ DATE _____
COMCAST COMMUNICATIONS _____ DATE _____

SURVEY CERTIFICATE

I, STEVEN C. EARL, A REGISTERED LAND SURVEYOR, HOLD CERTIFICATE NO. 318575-2201, AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH, AND DO HEREBY CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT, WHICH IS ACCURATELY DESCRIBED THEREWITH, AND HAVE SUBDIVIDED SAID TRACT INTO LOTS KNOWN HEREAFTER AS SALMON FLY SUBDIVISION, AND THAT THE SAME HAS BEEN SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.



LEGAL DESCRIPTION

PART OF SECTION 34, TOWNSHIP 11 NORTH, RANGE 1 EAST, SALT LAKE MERIDIAN, LOCATED IN CACHE COUNTY, UTAH, DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION;
THENCE N89°51'10"W 1323.61 FEET;
THENCE N89°57'21"W 33.76 FEET TO THE WEST BANK OF BLACKSMITH FORK RIVER;
THENCE S08°06'37"W 111.23 FEET ALONG SAID WEST BANK;
THENCE S18°59'02"W 151.18 FEET ALONG SAID WEST BANK;
THENCE S88°54'47"W 864.47 FEET;
THENCE N11°22'11"W 110.32 FEET;
THENCE N10°48'03"W 165.00 FEET;
THENCE N12°05'38"W 11.50 FEET;
THENCE N88°07'20"E 38.42 FEET;
THENCE N89°39'13"E 465.24 FEET;
THENCE N89°42'23"E 17.45 FEET TO CENTER LINE OF BLACKSMITH FORK IRRIGATION COMPANY CANAL;
THENCE N89°42'23"E 493.67 FEET;
THENCE S09°55'44"E 19.00 FEET TO THE POINT OF BEGINNING

CONTAINS 5.95 AC +/-

OWNER'S CERTIFICATE OF DEDICATION

KNOW BY THESE PRESENTS THAT WE THE UNDERSIGNED OWNERS OF THE TRACT OF LAND DESCRIBED HEREON, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AS SHOWN ON THIS PLAT AND NAME SAID TRACT SALMON FLY SUBDIVISION, DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND DO WARRANT, DEFEND AND SAVE THE MUNICIPALITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE MUNICIPALITY'S USE, OPERATION AND MAINTENANCE OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN, WITH THE SAME WARRANTY AS GIVEN FOR OTHER DEDICATED PROPERTY.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____, A.D. 2022.

KOHN G. SMITH SMITH, OWNER

ARLENE SMITH, OWNER

ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF CACHE

ON THIS ____ DAY OF _____, IN THE YEAR 2022, BEFORE ME _____, A NOTARY PUBLIC, PERSONALLY APPEARED KOHN G. SMITH AND ARLENE SMITH, PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THIS DOCUMENT, AND ACKNOWLEDGED HE EXECUTED THE SAME.

NOTARY PUBLIC SIGNATURE: _____
NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

ENGINEERS CERTIFICATE

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE AND THE CITY ORDINANCE.

CITY ENGINEER _____ DATE _____

PLANNING COMMISSION/CITY APPROVAL

PRESENTED TO THE NIBLEY CITY COUNCIL THIS ____ DAY OF _____ A.D. 2022, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

PLANNING COMMISSION CHAIRMAN _____ DATE _____

COUNTY RECORDER'S NO.

STATE OF UTAH, COUNTY OF RICH, RECORDED AND FILED AT THE REQUEST OF _____
DATE _____ TIME _____ FEE _____
ABSTRACTED _____
INDEX _____
FILED IN: FILE OF PLATS _____ COUNTY RECORDER _____

S34 T11N R1E SLM

FINAL PLAT

SHEET DESCRIPTION

PROJECT NAME: SALMON FLY SUBDIVISION

PROJECT NAME:



Cache • Landmark
Engineers
Surveyors
Planners
95 Golf Course Rd.
Suite 101
Logan, UT 84321
435.713.0099

DATE: 2022
SCALE: 1" = 80'
CALCULATED BY: S. EARL
CHECKED BY: S. EARL
APPROVED BY: S. EARL
PROJECT NUMBER: 20094SMT