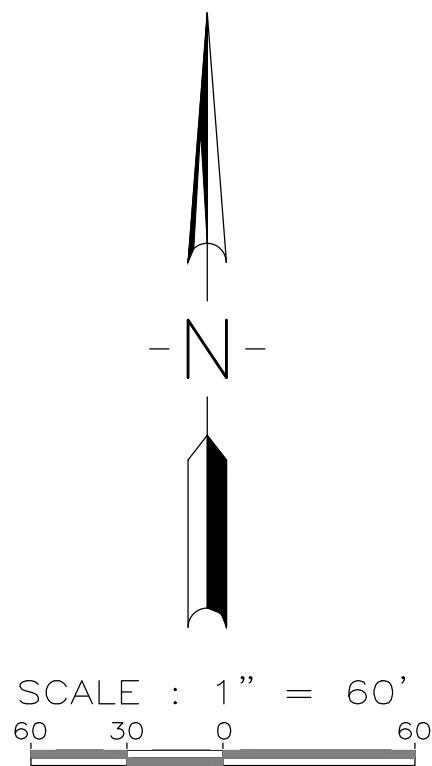


PRELIMINARY PLAT
FOR THE
STIMPSON SUBDIVISION
NIBLEY CITY, CACHE COUNTY, UTAH
PART OF SECTION 28
TOWNSHIP 11 N., RANGE 1 E.
SALT LAKE BASE AND MERIDIAN
AUGUST 2022



	PROPOSED	EXISTING		PROPOSED	EXISTING
SANITARY SEWER MANHOLE	●	○	FIRE HYDRANT	⬆	⬆
SANITARY CLEANOUT	●	○	CONCRETE CURB	—	---
SANITARY SEWER	—	—SA—	LIGHT POLE	●	◇
STORM MANHOLE	⊙	⊙	POWER POLE	●	◇
STORM SEWER	---	---SD---	BENCH MARK	⊕	⊕
IRRIGATION INLET	⌋	⌋			
STORM DRAIN BOX	≡	⌋	EXISTING PAVEMENT	■	
WATERMAIN & VALVE	⌋	⌋	PROPOSED PAVEMENT	■	
WATER METER & SERVICE	⌋	⌋			
WATERLINE BLOWOFF	⌋	⌋			

Notes:

There are no wetlands on the property as defined by the USACE, areas shown in a 100-yr floodplain on FEMA maps, water bodies, floodways, drainage ways, slopes exceeding 20%, or any other natural feature.

The development will incorporate the street section using an 18" flat ribbon curb, planter strip drainage swale, and concrete sidewalk. The section dimensions may need to be modified slightly to fit the 29' of pavement in the proposed 60' right of way. An additional 17' of right of way will be dedicated on the south side of 3400 South to establish the 60' right of way.

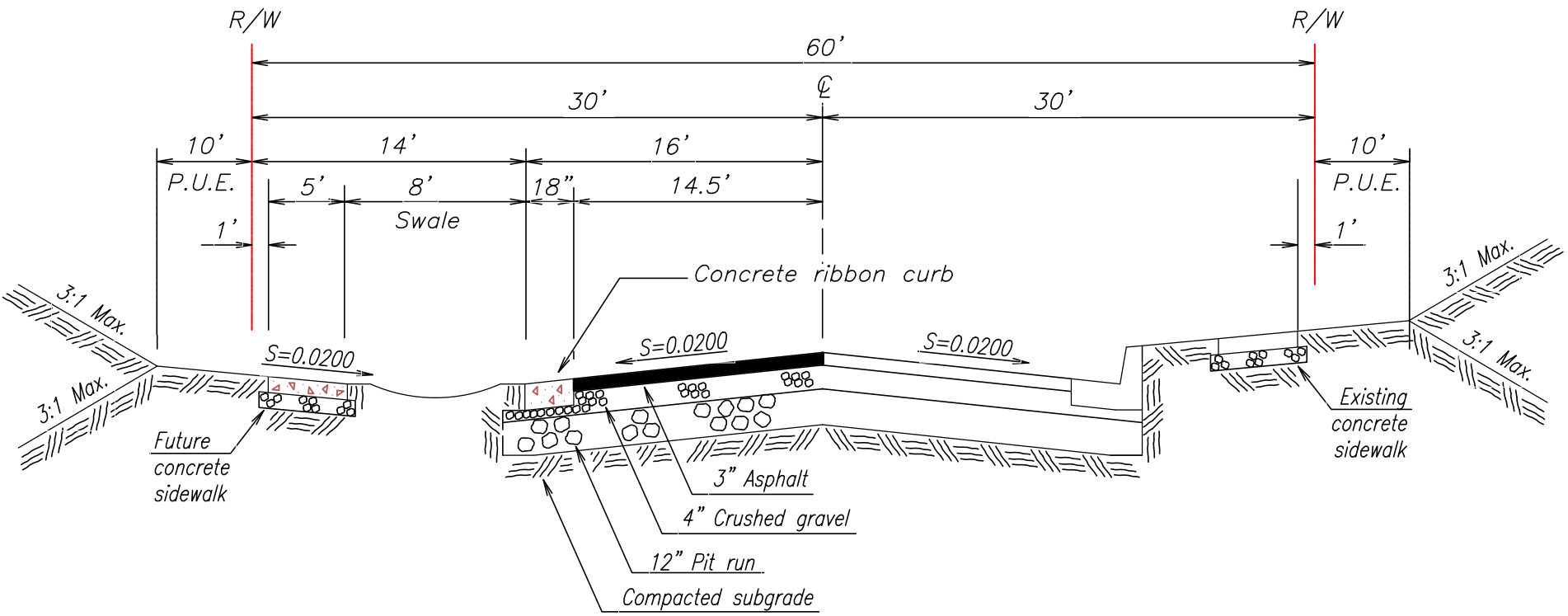
The development will be done in two phases. Phase 1 will be lots 1-9 and Phase 2 will be lots 10-11.



Storm water notes:

All lots will be required to manage storm water on their individual lot. This includes runoff from roofs and driveways.

The additional pavement on 3400 South will travel over the flat, ribbon curb to a roadside swale. This swale meets the requirement for treating the runoff before leaving the site.



TS-13: LOCAL: 2-LANE WITH SWALE

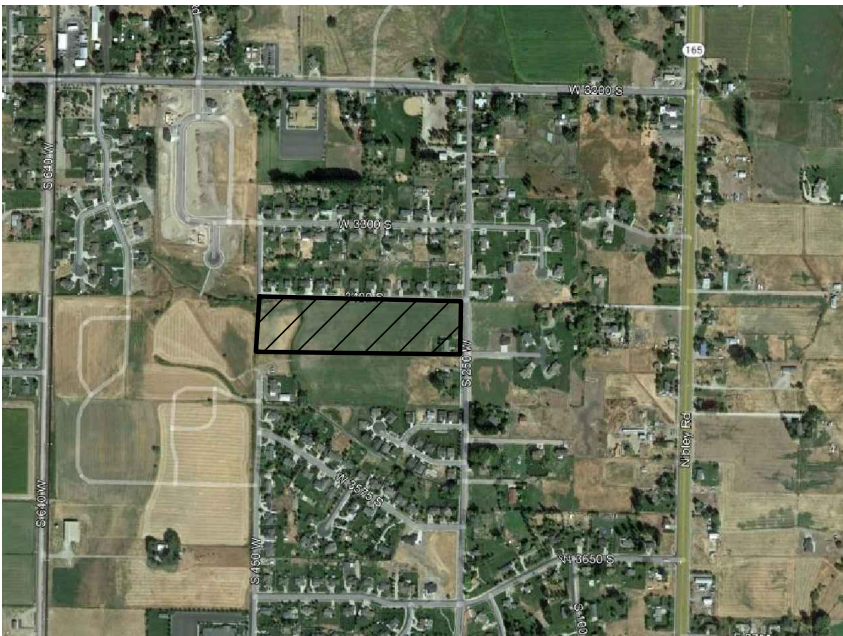
NO SCALE

LEGAL DESCRIPTION

The legal description contained hereon is from the boundary survey completed on 5/2/2005 by Hansen and Associates. The survey is recorded in the Cache County recorders office as 2005-0074.

A PART OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 11 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN AND A PART OF LOT 12, BLOCK 17, MILLVILLE WEST FIELD SURVEY, BEGINNING AT THE NORTHEAST CORNER OF SAID LOT AND RUNNING THENCE SOUTH 00°58'43" WEST 231.65 FEET (230.00 FEET BY RECORD) ALONG THE EAST LINE OF SAID LOT; THENCE NORTH 88°58'38" WEST 217.80 FEET; THENCE SOUTH 00°58'43" WEST 100.00 FEET TO THE SOUTH LINE OF THE NORTH HALF OF SAID LOT; THENCE NORTH 88°58'38" WEST 1099.72 FEET ALONG SAID SOUTH LINE TO THE WEST LINE OF SAID LOT; THENCE NORTH 00°33'43" EAST 330.45 FEET (330.00 FEET BY RECORD) TO THE NORTH LINE OF SAID LOT; THENCE SOUTH 89°01'48" EAST 1319.93 FEET (1320.00 FEET BY RECORD) ALONG THE NORTH LINE OF SAID LOT TO THE POINT OF BEGINNING, CONTAINING 9.52 ACRES±

VICINITY MAP



OWNER / DEVELOPER

TODD STIMPSON
3425 SOUTH 250 WEST
NIBLEY, UTAH
435-512-3675

PRELIMINARY PLAT

STIMPSON SUBDIVISION

NIBLEY, UTAH

Turner Design
Engineering, Inc.

CIVIL ENGINEERING ▲ LAND PLANNING
46 SOUTH 410 WEST PROVIDENCE, UTAH
(435) 695-8245

Know all men by these presents that we, the undersigned, are registered representatives of the owner of the property. Authorization of this action has been given expressly by Todd Stimpson. Under this designation of representation, we submit the certificate of clear title on the land shown on this plat.

In witness we have hereunto set our signature this the ____ day of ____ , 2022.

Aug. 2, 2022

Date

1" = 60'

Scale

D.T.

Designed by

D.T.

Drawn By

Job Number

22-002

Sheet

1 of 2

