



**Wednesday, August 24, 2022
Development Review Committee**

DEVELOPMENT REVIEW COMMITTEE AGENDA

PUBLIC NOTICE is hereby given that the Development Review Committee of Spanish Fork, Utah, will hold a regular meeting at the Spanish Fork City Council Chamber, 40 South Main Street, Spanish Fork, Utah, commencing at 10:00 a.m. This meeting is not available to attend virtually.

1. Approval of Minutes

Subject	A. August 10, 2022
Meeting	Aug 24, 2022 - Development Review Committee
Category	1. Approval of Minutes
Access	Public
Type	Action, Minutes

2. Final Plat

Subject	A. EL TENEDOR LOGISTICS CENTER - PHASE 1. The proposal involves creating 2 industrial lots located at 1401 North 300 West.
Meeting	Aug 24, 2022 - Development Review Committee
Category	2. Final Plat
Access	Public
Type	Action, Discussion

File Attachments
[report.drc.eltenedorlogisticscenter.8-24-2022.pdf \(8,807 KB\)](#)
[plans.eltenedorlogisticscenterphase1.8-11-2022.pdf \(893 KB\)](#)

3. Minor Subdivision

Subject	A. NELSON MEADOWS SUBDIVISION PLAT A. The proposal involves the platting of a subdivision with three residential lots located at 891 South 1700 East.
Meeting	Aug 24, 2022 - Development Review Committee
Category	3. Minor Subdivision
Access	Public
Type	Action, Discussion

File Attachments

[report.drc.nelsonmeadowsplata.8-24-2022.pdf \(1,456 KB\)](#)
[plans.nelsonmeadowsplata.8-1-2022.pdf \(6,185 KB\)](#)

4. Site Plan

Subject **A. LELAND SUBSTATION. The proposal involves construction of a power substation to be located at approximately 910 South 2000 West.**

Meeting Aug 24, 2022 - Development Review Committee

Category 4. Site Plan

Access Public

Type Action, Discussion

File Attachments

[report.drc.lelandsubstation.8-24-2022.pdf \(3,320 KB\)](#)

[plan.lelandsubstation.8-11-2022.pdf \(185 KB\)](#)

[plans.lelandsubstation.7-14-2022.pdf \(1,609 KB\)](#)

5. Discussion Items

Subject **A. MINER ANNEXATION FEASIBILITY STUDY.**

Meeting Aug 24, 2022 - Development Review Committee

Category 5. Discussion Items

Access Public

Type Discussion

Subject **B. OAKRIDGE COVE PHASE 2.**

Meeting Aug 24, 2022 - Development Review Committee

Category 5. Discussion Items

Access Public

Type Discussion

File Attachments

[plans.oakridgecove.2-14-2022.pdf \(2,015 KB\)](#)

6. Adjourn

EL TENEDOR LOGISTICS CENTER SUBDIVISION - PHASE 1

LOCATED IN THE NORTH HALF OF SECTION 13, TOWNSHIP 8 SOUTH, RANGE 2 EAST,
SALT LAKE BASIN AND MERIDIAN
SPANISH FORK CITY, UTAH COUNTY, UTAH
AUGUST 2022

LEGEND

- 1. 16.36 ACRES
- 2. 16.36 ACRES
- 3. 16.36 ACRES
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- 99. 16.36 ACRES
- 100. 16.36 ACRES

NOTARIES CERTIFICATE

I, _____, Notary Public for the State of Utah, do hereby certify that the foregoing is a true and correct copy of the original as the same appears in my records.

Given under my hand and seal of office at _____, Utah, this _____ day of _____, 2022.

Notary Public for the State of Utah

OWNER'S DECLARATION

I, _____, owner of the above described property, do hereby declare that the foregoing is a true and correct copy of the original as the same appears in my records.

Given under my hand and seal of office at _____, Utah, this _____ day of _____, 2022.

Owner

NOTARY ACKNOWLEDGMENT

I, _____, Notary Public for the State of Utah, do hereby acknowledge that the foregoing is a true and correct copy of the original as the same appears in my records.

Given under my hand and seal of office at _____, Utah, this _____ day of _____, 2022.

Notary Public for the State of Utah

CITY OF SPANISH FORK

I, _____, Mayor of the City of Spanish Fork, do hereby declare that the foregoing is a true and correct copy of the original as the same appears in my records.

Given under my hand and seal of office at _____, Utah, this _____ day of _____, 2022.

Mayor

CITY ENGINEER APPROVAL

I, _____, City Engineer of the City of Spanish Fork, do hereby declare that the foregoing is a true and correct copy of the original as the same appears in my records.

Given under my hand and seal of office at _____, Utah, this _____ day of _____, 2022.

City Engineer

CITY ATTORNEY APPROVAL

I, _____, City Attorney of the City of Spanish Fork, do hereby declare that the foregoing is a true and correct copy of the original as the same appears in my records.

Given under my hand and seal of office at _____, Utah, this _____ day of _____, 2022.

City Attorney

PLAT BY JOURNAL

I, _____, Recorder of Deeds for the State of Utah, do hereby declare that the foregoing is a true and correct copy of the original as the same appears in my records.

Given under my hand and seal of office at _____, Utah, this _____ day of _____, 2022.

Recorder of Deeds

El Tenedor Logistics Center Phase 1, Final Plat Approval Request

August 24, 2022, Development Review Committee Meeting.

Located at 1401 North 300 West, including 16.36 acres.

The subject property is zoned I-1.

The applicant has requested that a Final Plat of two lots be approved.

Key Issues

1. Power.
2. Utilities.
3. Access.

Recommendation

That the proposed Final Plat be approved based on the following findings and subject to the following conditions:

Findings

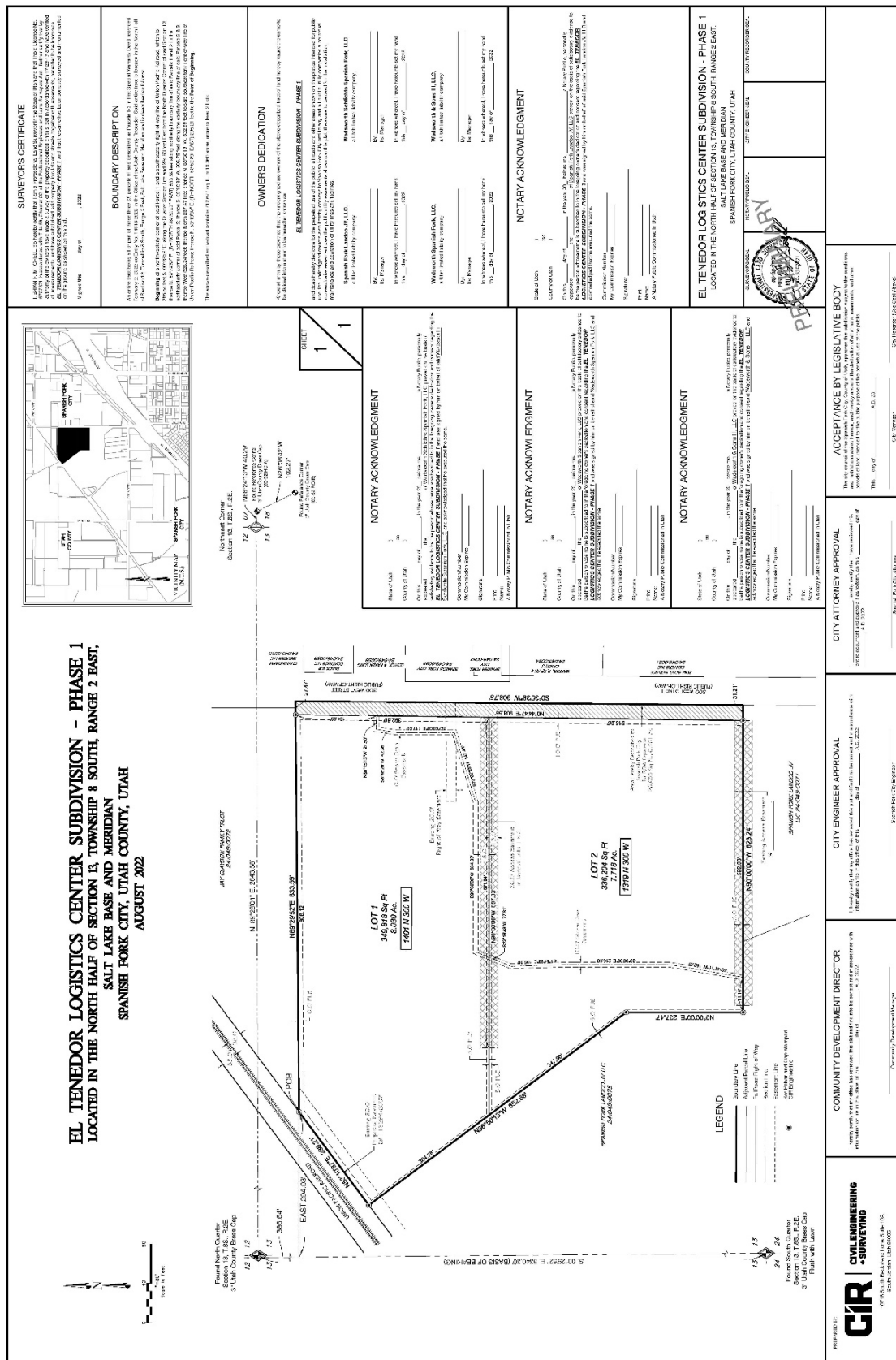
1. That the application conforms to the City's General Plan Designation and Zoning Map.
2. That the application is consistent with the approved Preliminary Plat.

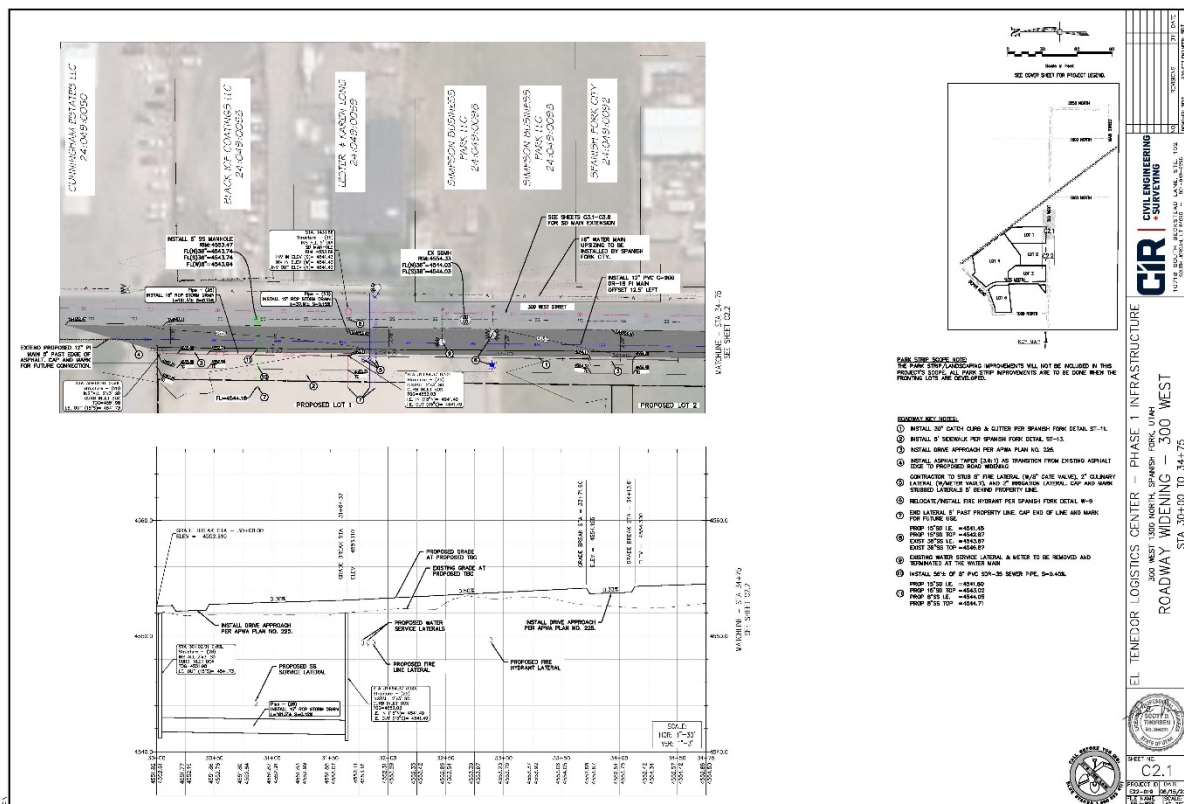
Conditions

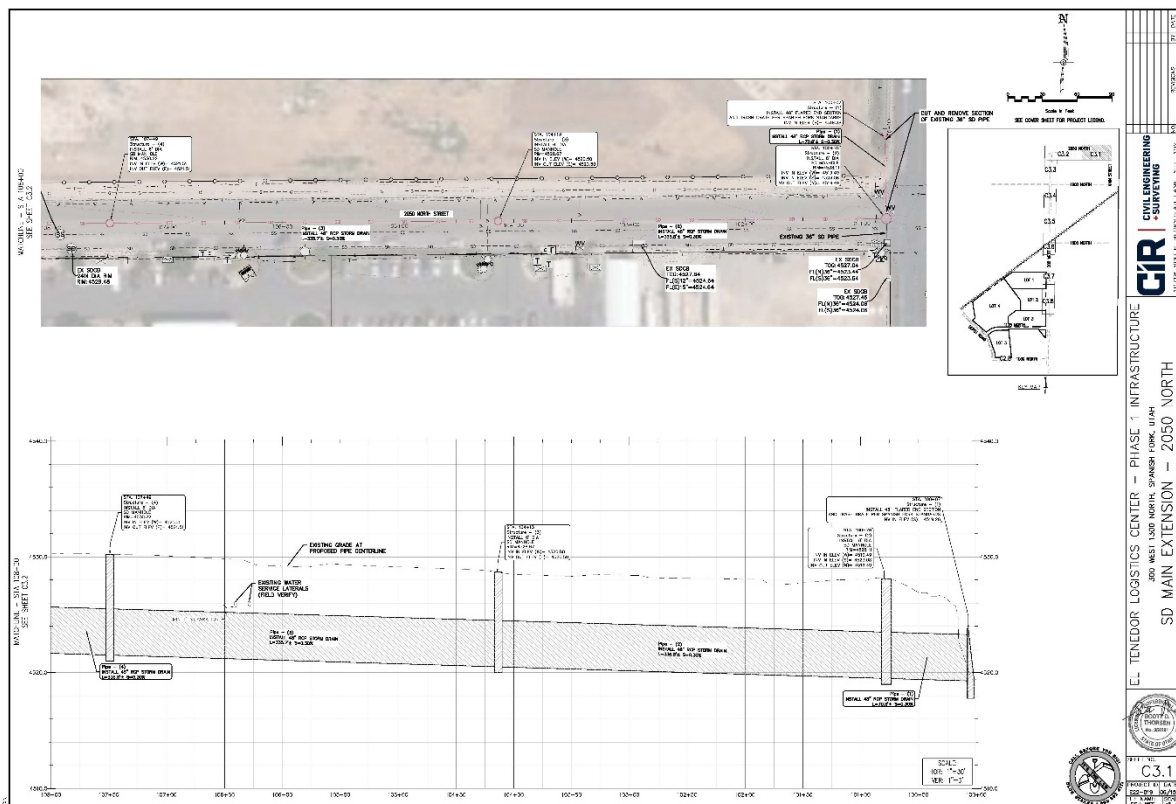
1. That the applicant meets the City's Construction Standards.
2. That the applicant addresses any red-lines.

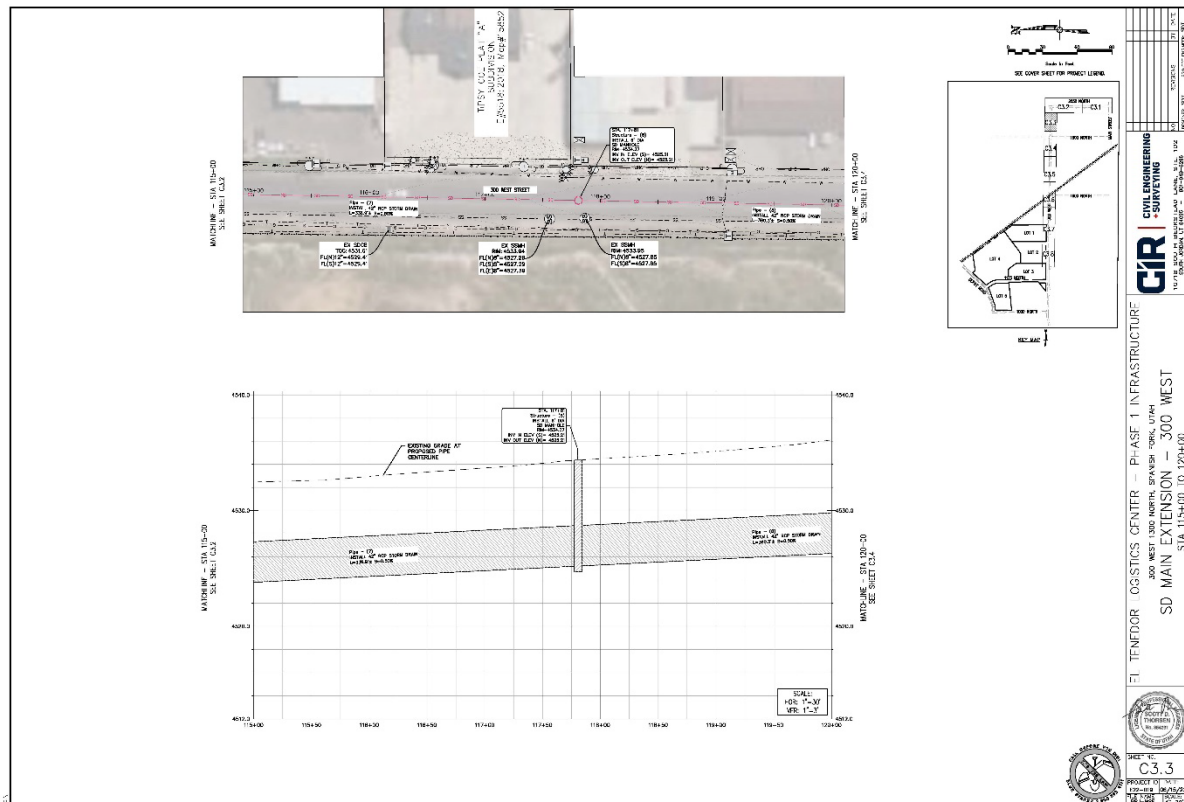
Exhibits

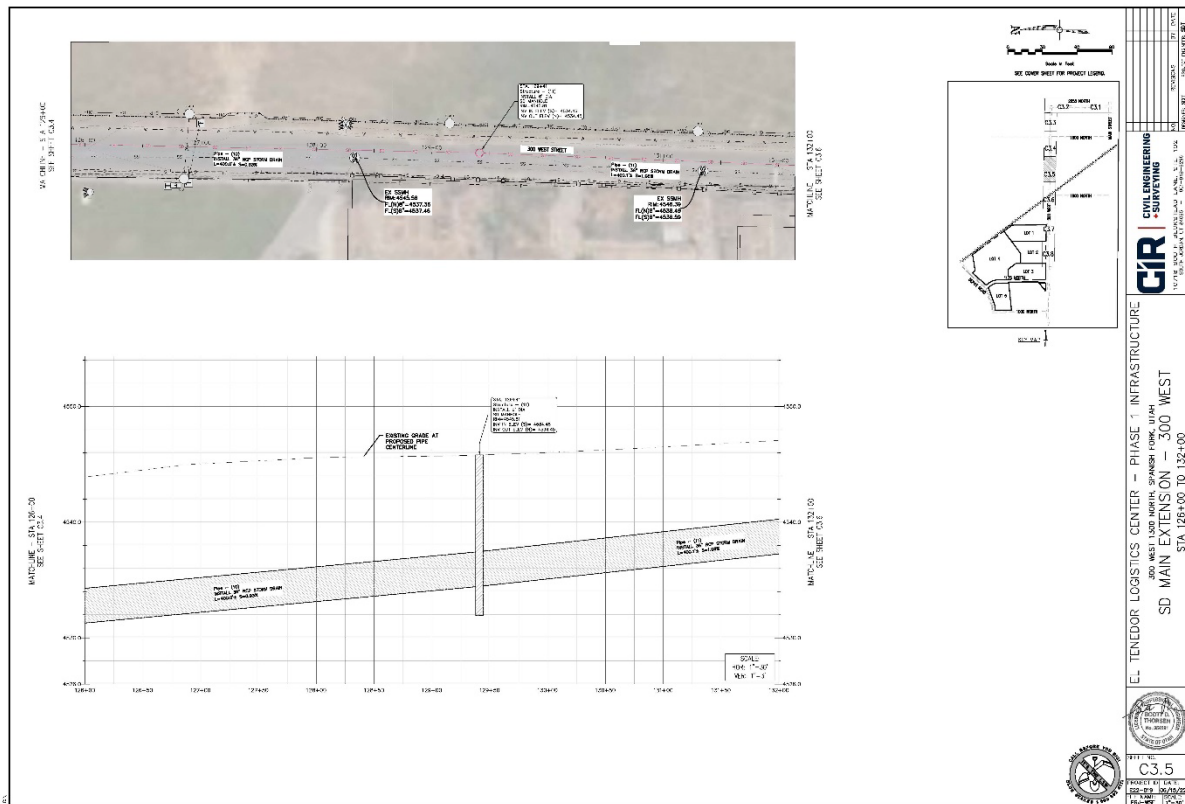
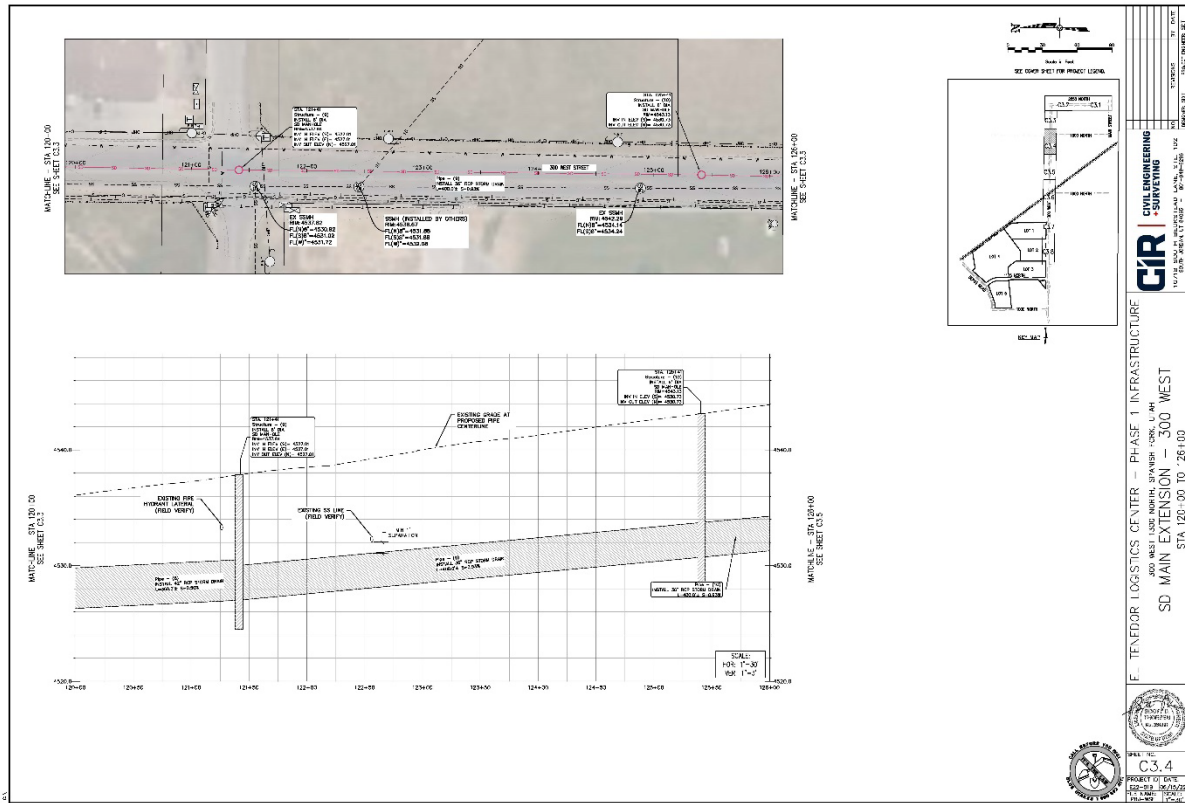
1. Final Plat.
2. Infrastructure Plans.

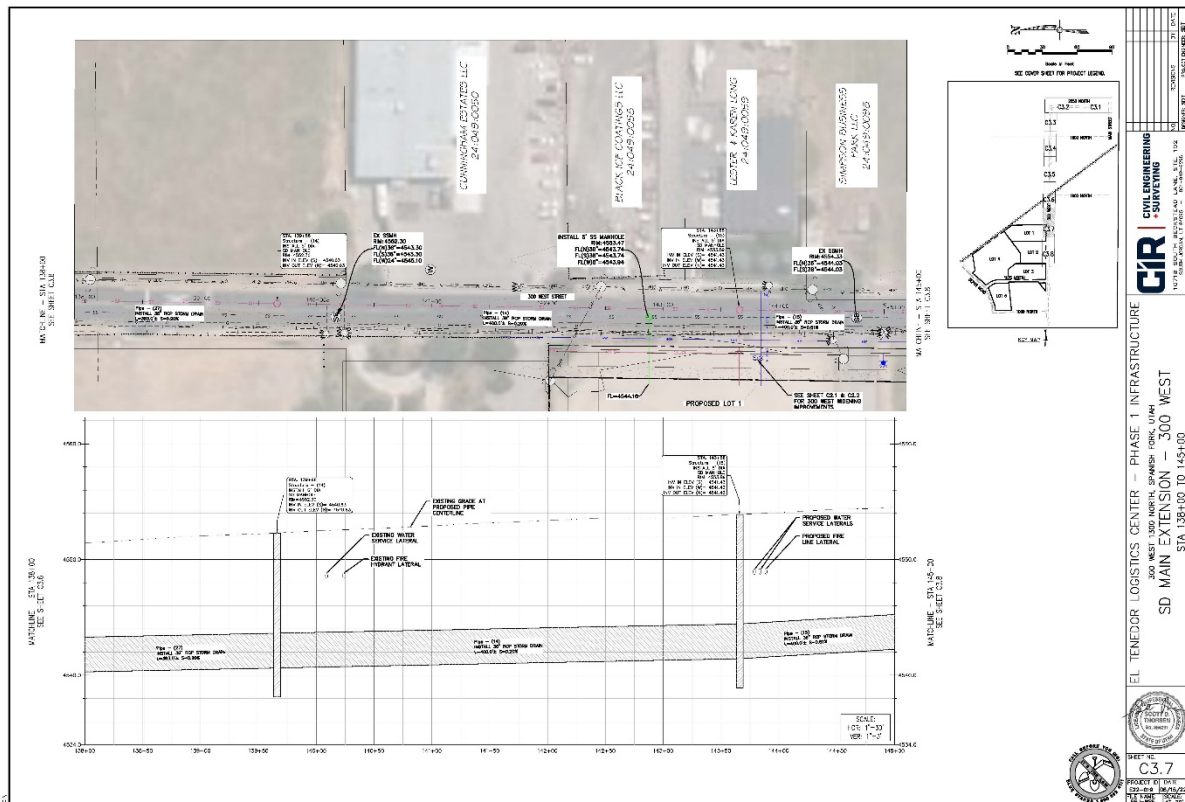
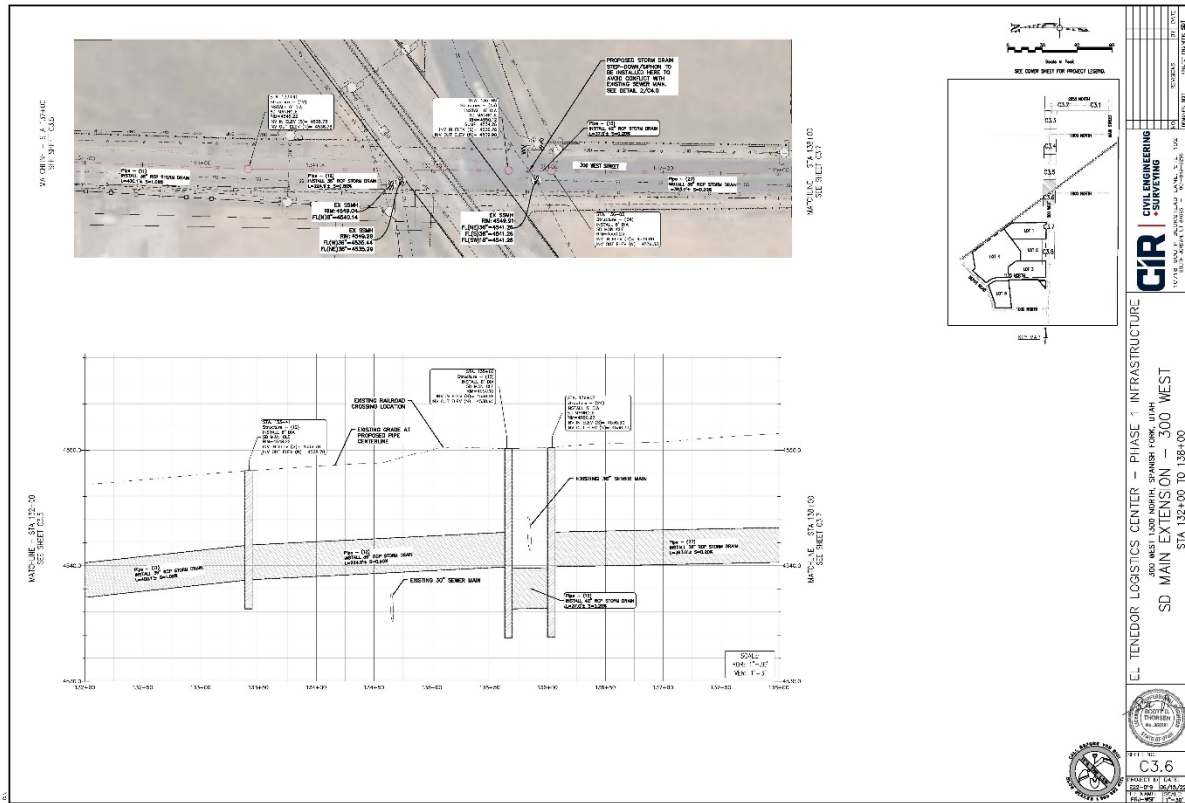


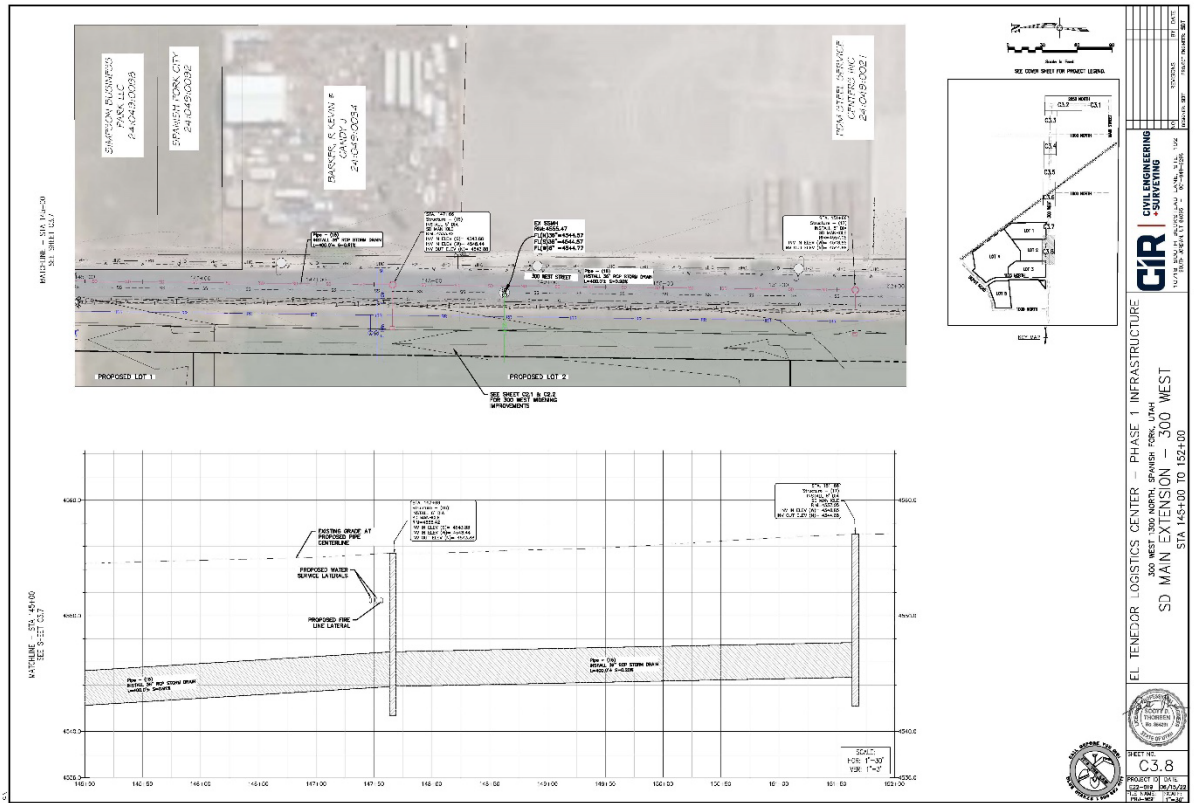


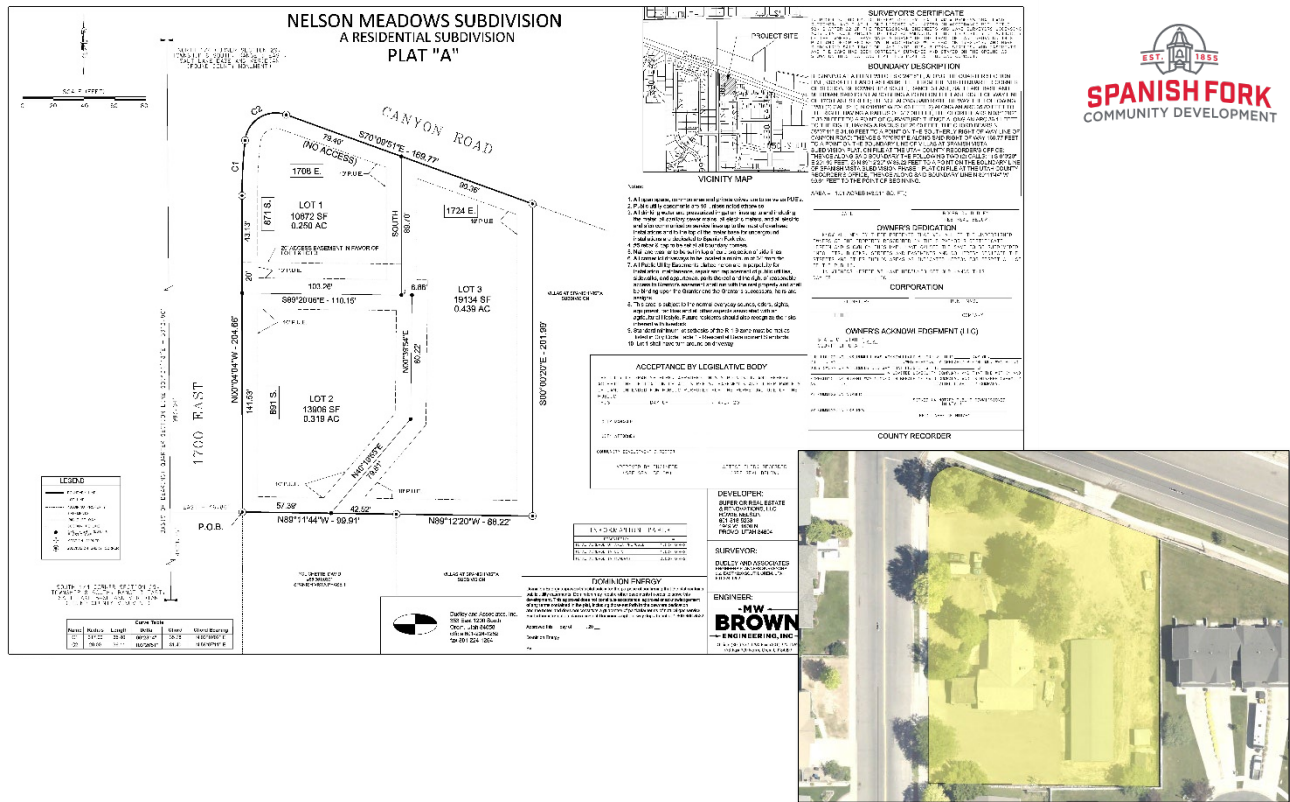












Nelson Meadows Plat A Minor Subdivision Approval Request

August 24, 2022, Development Review Committee Meeting.

Located at 891 South 1700 East, including 1.008 acres.

The subject property is zoned R-1-9.

The applicant has requested that a Minor Subdivision be approved.

Key Issues

1. Improvements.
2. Landscaping.
3. Residence.
4. Power.
5. Taxes.
6. Wall(s).

Recommendation

That the proposed Minor Subdivision be approved based on the following findings and subject to the following conditions:

Findings

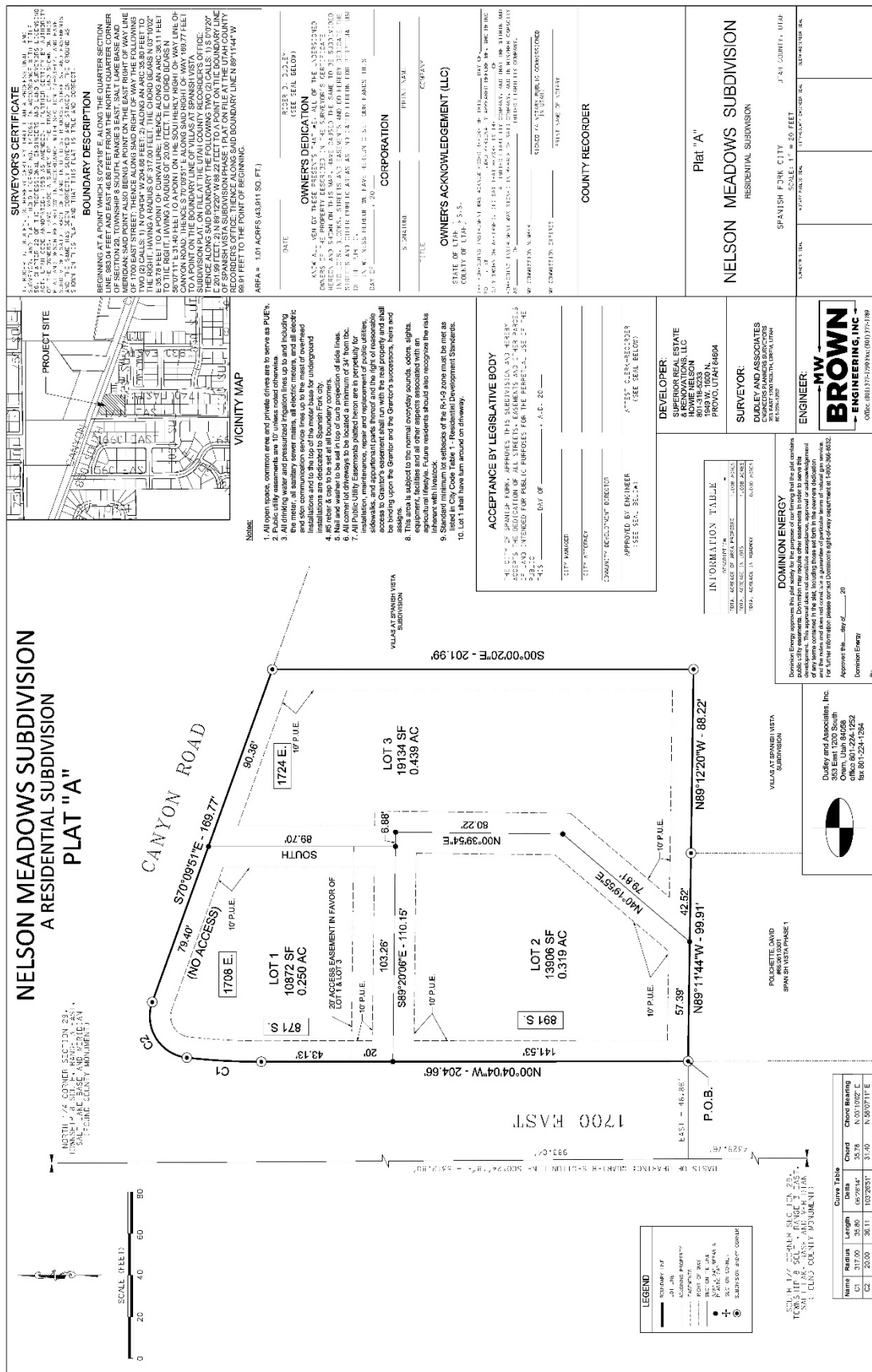
1. That the application conforms to the City's General Plan Designation and Zoning Map.

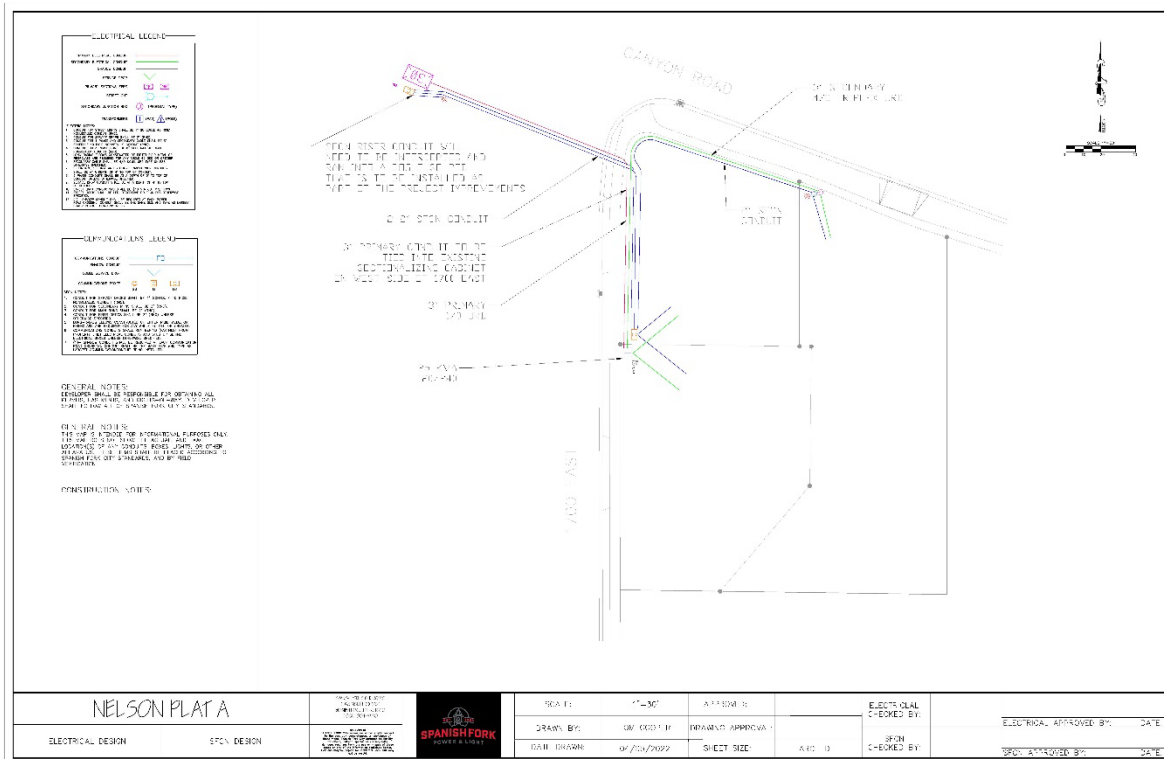
Conditions

1. That the applicant meets the City's Zoning requirements and Construction Standards.
2. That the applicant addresses any red-lines.

Exhibits

1. Plat.
2. Site Plan.







1. ROGER D. DUDLEY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 147089 IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT, THAT BEING BEING IN ACCORDANCE WITH THE FOLLOWING: (1) THAT THE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

BEGINNING AT A POINT WHICH S 0°24'18" E, ALONG THE QUARTER SECTION LINE, 983.04 FEET AND EAST 46.86 FEET FROM THE NORTH QUARTER CORNER OF SECTION 29, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN; SAID POINT ALSO BEING A POINT ON THE EAST RIGHT OF WAY LINE OF 1700 EAST STREET; THENCE ALONG SAID RIGHT OF WAY THE FOLLOWING TWO (2) CALLS: 1) N 0°04'04" W 204.66 FEET; 2) ALONG AN ARC 35.80 FEET TO THE RIGHT, HAVING A RADIUS OF 317.00 FEET, THE CHORD BEARS N 03°10'02" E 35.78 FEET TO A POINT OF CURVATURE; THENCE ALONG AN ARC 36.11 FEET TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET, THE CHORD BEARS N 58°07'11" E 31.40 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CANYON ROAD; THENCE S 70°09'51" E ALONG SAID RIGHT OF WAY 169.77 FEET TO A POINT ON THE BOUNDARY LINE OF VILLAS AT SPANISH VISTA SUBDIVISION PLAT, ON FILE AT THE UTAH COUNTY RECORDER'S OFFICE; THENCE ALONG SAID BOUNDARY THE FOLLOWING TWO (2) CALLS: 1) S 0°0'20" E 201.99 FEET; 2) N 89°12'20" W 88.22 FEET TO A POINT ON THE BOUNDARY LINE OF SPANISH VISTA SUBDIVISION PHASE 1 PLAT ON FILE AT THE UTAH COUNTY RECORDER'S OFFICE; THENCE ALONG SAID BOUNDARY LINE N 89°11'44" W 99.91 FEET TO THE POINT OF BEGINNING.

DATE _____ ROGER D. DUDLEY
(SEE SEAL BELOW)

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS
DAY OF _____, 20__

SIGNATURE

PRINT NAME

_____ TITLE _____ COMPANY _____

STATE OF UTAH }
COUNTY OF UTAH } S.S.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____
20____, BY _____, WHO PERSONALLY APPEARED BEFORE ME, WHO BEING
DULY SWORN OR AFFIRMED, DID SAY THAT HE/SHE IS THE _____ OF _____
_____, A LIMITED LIABILITY COMPANY, AND THAT THE WITHIN AND
FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID COMPANY, AND IN HIS/HER CAPACITY
AS _____ OF _____ LIMITED LIABILITY COMPANY.

MY COMMISSION NUMBER _____ SIGNED (A NOTARY PUBLIC COMMISSIONED
IN UTAH)
MY COMMISSION EXPIRES _____ PRINT NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY OF SPANISH FORK, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC

THIS _____ DAY OF _____, A.D. 20 ____

CITY MANAGER

CITY ATTORNEY

COMMUNITY DEVELOPMENT DIRECTOR

APPROVED BY ENGINEER
(SEE SEAL BELOW)

ATTEST CLERK-RECORDER
(SEE SEAL BELOW)

DEVELOPER:

**SUPERIOR REAL ESTATE
& RENOVATIONS, LLC
HOWIE NELSON
801-318-5233
1949 W. 1600 N.
PROVO, UTAH 84604**

SURVEYOR:

DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

ENGINEER:



MW
BROWN
ENGINEERING, INC.

Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84097

INFORMATION TABLE

DESCRIPTION	=
TOTAL ACREAGE OF AREA PROPOSED	1.008 ACRES
TOTAL ACREAGE IN LOTS	1.008 ACRES
TOTAL ACREAGE IN ROADWAY	0.000 ACRES

DOMINION ENERGY

Dominion Energy approves this plat solely for the purpose of confirming that the plat contains public utility easements. Dominion may require other easements in order to serve this development. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the owners dedication and the notes and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Dominion's right-of-way department at 1-800-368-8532

Approved this ____ day of _____, 20 ____

Dominion Energy

By- _____

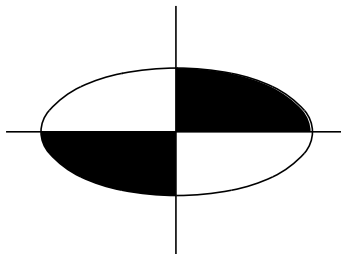
Curve Table					
Name	Radius	Length	De'lta	Chord	Chord Bearing
C1	317.00	35.80	06°28'14"	35.78	N 03°10'02" E
C2	20.00	36.11	103°26'51"	31.40	N 58°07'11" E

SOUTH 1/4 CORNER SECTION 29,
TOWNSHIP 8 SOUTH, RANGE 3 EAST,
SALT LAKE BASE AND MERIDIAN
(FOUND COUNTY MONUMENT)

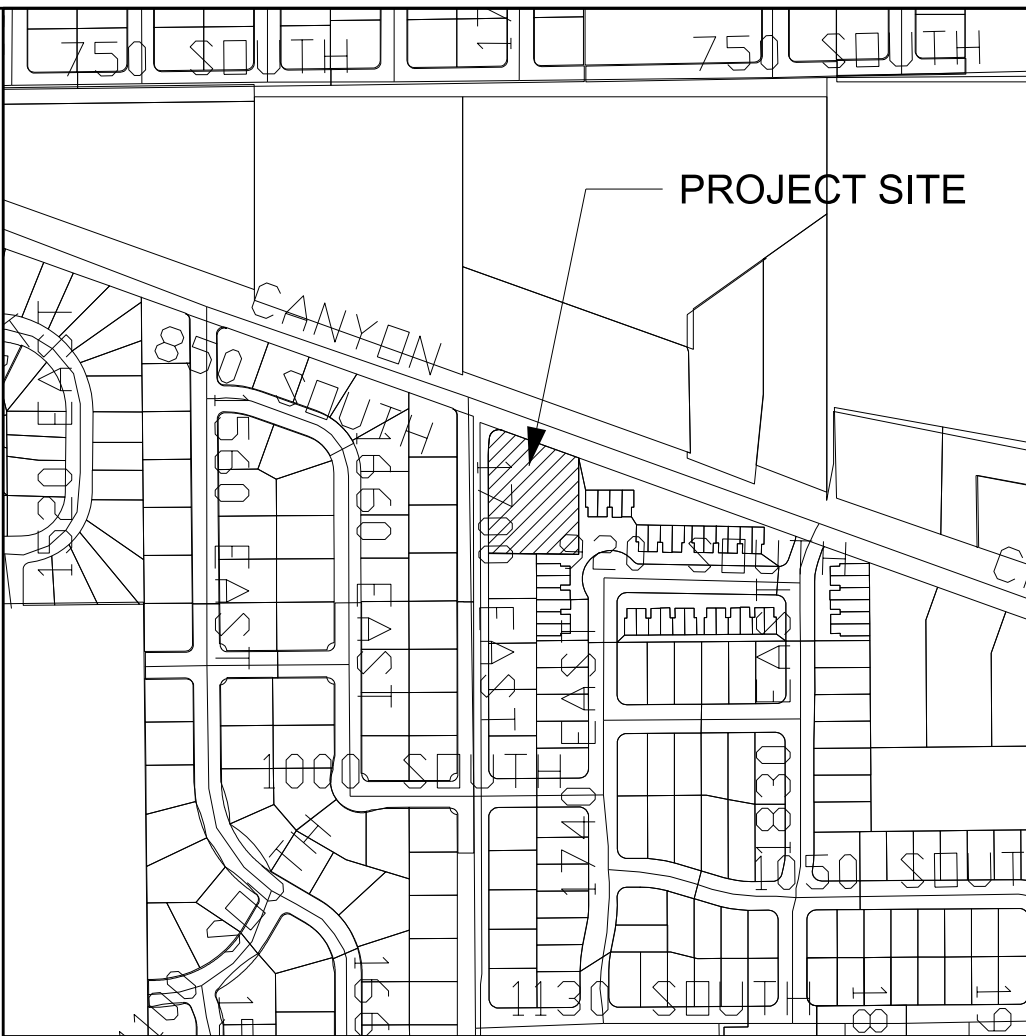
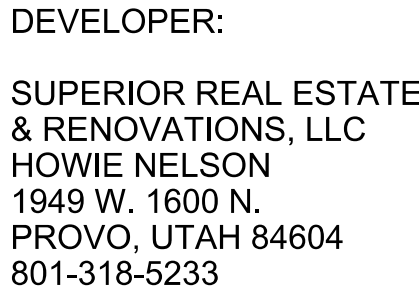
POLICHETTE, DAVID
#66:061:0301
SPANISH VISTA PHASE 1

VILLAS AT SPANISH VISTA
SUBDIVISION

Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
office 801-224-1252
fax 801-224-1264



1. EXISTING WATER, SANITARY, AND STORM SEWER LINES ARE SHOWN ON BEST AVAILABLE INFORMATION. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS SPECIFICALLY AT CONNECTION POINTS AND AT POTENTIAL POINTS OF CONFLICT. ALL INFORMATION SHALL BE SUPPLIED TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - (A) CONTRACTOR SHALL OBTAIN ALL PERMITS FOR STREET CUTS, UTILITIES CONSTRUCTION AND GRADING. THE COST OF ALL PERMITS SHALL BE INCLUDED AS PART OF THE CONTRACTOR'S BID INCLUDING, BUT NOT LIMITED TO THE NOI & NOT PERMITS AND ASSOCIATED SWPPP.
 - (B) COORDINATING WITH ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
 - (C) ALL PROJECT SAFETY INCLUDING, BUT NOT LIMITED TO, TRENCH EXCAVATION AND SHORINGS, TRAFFIC CONTROL, AND SECURITY.
 - (D) COORDINATING ALL WORK AND INSPECTIONS AS REQUIRED BY THE CITY OR THE STATE.
 - (E) OBTAINING NECESSARY PERMITS FROM UDOT FOR ALL WORK IN AND ADJACENT TO UDOT RIGHT-OF-WAY.
 - (F) RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE. AS-BUILTS SHALL INCLUDE UNDERGROUND UTILITIES AS WELL AS ANY FIELD MODIFICATIONS OF THE PLANS.
 - (G) KEEPING ADJACENT STREETS FREE AND CLEAN OF ALL DEBRIS AND DIRT FROM THE JOB SITE.
3. IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
4. THE CONTRACTOR SHALL PREPARE ALL TRAFFIC CONTROL PLANS PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS FOR WORK WITHIN THE CITY, COUNTY, OR STATE RIGHT-OF-WAYS. THE PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND AS MODIFIED BY THE UDOT SUPPLEMENT TO THE MUTCD. THE PLAN SHALL ADDRESS THE REQUIREMENTS FOR ALL SIGNS, BARRICADES, FLAGMEN, LIGHTS, HOURS OF CONSTRUCTION, AND OTHER DEVICES AS NECESSARY FOR SAFE TRAFFIC CONTROL.
5. TWO WORKING DAYS BEFORE YOU DIG, GRADE, OR EXCAVATE, CALL THE UTILITY NOTIFICATION CENTER OF UTAH FOR THE MARKING OF MEMBER UNDERGROUND UTILITIES. THE UTILITIES SHOWN ON THESE PLANS ARE PLOTTED BASED ON AVAILABLE INFORMATION. M.W. BROWN ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, AND REPAIR OF ANY EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ANY UTILITY DAMAGED BY CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE SPANISH FORK CITY STANDARD SPECIFICATIONS AND DRAWINGS. THE CONTRACTOR SHALL HAVE COPIES OF CITY AND STATE SPECIFICATIONS ON THE SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH ALL UTILITY COMPANIES INVOLVED AND THE CITY OF SPANISH FORK WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OR EXISTING UTILITIES DURING CONSTRUCTION TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
8. ADVANCE COORDINATION BY THE CONTRACTOR TO ALL UTILITY COMPANIES INVOLVED SHALL BE REQUIRED FOR ANY SERVICE INTERRUPTIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER, PROJECT MANAGER AND THE UTILITY COMPANY 48 HOURS PRIOR TO START OF CONSTRUCTION. NO UTILITY TAPS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION BY THE UTILITY COMPANY AND THE CITY.
9. MAINTAIN 10-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES.
10. UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
11. CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY BUILDING INSPECTION DEPARTMENT 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH UTILITY COMPANIES TO OBTAIN TEMPORARY POWER AND TELEPHONE SERVICE DURING CONSTRUCTION. ALL COSTS FOR TEMPORARY SERVICES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
13. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR COMPLETION OF INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED BY NOTE TO BE "PROVIDED", "INSTALLED" OR "CONSTRUCTED" UNLESS SPECIFICALLY NOTED OTHERWISE.
14. CONTRACTOR WILL HAVE A COPY OF APPROVED SOILS REPORTS FOR PAVEMENT DESIGN AND COMPACTION REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL RECOMMENDATIONS CONTAINED WITHIN THE SOILS REPORT AND SHALL SUBMIT A PAVEMENT DESIGN TO THE SPANISH FORK CITY ENGINEERING DEPARTMENT PRIOR TO ANY PAVING.
15. SUBGRADE DENSITY SHALL BE TESTED BY A PRIVATE SOILS TESTING FIRM AND APPROVED BY THE SOILS ENGINEER PRIOR TO INSTALLING BASE COURSE OR CONCRETE. BASE COURSE DENSITY SHALL ALSO BE TESTED BY THE PRIVATE SOILS FIRM AND APPROVED BY THE SOILS ENGINEER PRIOR TO INSTALLING PAVEMENT.
16. THESE GENERAL NOTES SHALL BE APPLICABLE TO ALL SHEETS WITHIN THIS SET OF DRAWINGS.
17. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED AT THE JOB SITE AT ALL TIMES. EACH SUBCONTRACTOR (INCLUDING THE SURVEYOR) SHALL HAVE A SIGNED COPY OF THE PLANS AND THE APPROPRIATE STANDARDS AND SPECIFICATIONS IN HIS POSSESSION AT ALL TIMES WHEN IMPROVEMENTS ARE BEING INSTALLED.
18. THE SITE WORK SHALL MEET OR EXCEED THE LATEST EDITION OF THE CITY DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. THE CONTRACTOR SHALL HAVE A COPY OF THE STANDARDS ON SITE AT ALL TIMES.
19. BENCHMARK VERIFICATION: CONTRACTOR SHALL USE BENCHMARKS AND DATUMS SHOWN HEREON TO SET PROJECT BENCHMARK(S), BY RUNNING A LEVEL LOOP BETWEEN AT LEAST TWO BENCHMARKS, AND SHALL PROVIDE SURVEY NOTES OF SUCH TO PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
20. COORDINATES ARE GIVEN TO AID THE CONTRACTOR/SURVEYOR IN LOCATING PROPOSED IMPROVEMENTS. THE CONTRACTOR/SURVEYOR IS RESPONSIBLE FOR CHECKING THE LOCATIONS OF IMPROVEMENTS LAID OUT WITH COORDINATES USING DIMENSIONS AND OFFSETS GIVEN. IF A PERTINENT DIMENSION OR OFFSET IS NOT SHOWN ON THE PLAN, CONTACT THE ENGINEER FOR INFORMATION.
21. CONTRACTOR TO COORDINATE ELECTRICAL SERVICES TO SITE WITH POWER DEPARTMENT.
22. SEPTIC TANK TO BE COMPLETELY REMOVED FROM SITE.
23. CULINARY WATER LATERAL TO LOT 1 TO BE UPGRADED TO CURRENT STANDARDS.



UDOT NOTES:

1. UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
2. WORK ON THE UDOT RIGHT-OF-WAY IS SEASONALLY RESTRICTED FROM OCTOBER 15 TO APRIL 15.
3. ROW WORK: WORK IS NOT ALLOWED ON THE RIGHT-OF-WAY DURING THE AM/PM PEAK TRAFFIC HOURS (6:00 - 9:00 AM AND 3:30 - 6:00 PM). ADDITIONAL WORK RESTRICTIONS OR MODIFICATIONS MAY BE IMPOSED AT THE TIME OF THE ENCROACHMENT PERMIT.
4. REPLACE ALL PAVEMENT MARKINGS IN KIND (TAPE WITH TAPE AND PAINT WITH PAINT). INSTALL ALL PAINT LINES WITH PERMANENT PAINT APPLICATION AND UDOT SPECIFICATION 0276S. PAINT MUST HAVE AT LEAST 6 MONTHS LIFE AS DETERMINED BY UDOT'S PERMITS OFFICER.
5. ALL NEW PAVEMENT WORDS, ARROWS AND SYMBOLS MARKING WITHIN THE RIGHT-OF-WAY SHALL BE PRE-FORMED, THERMOPLASTIC, ALL LETTERS, ARROWS, AND SYMBOLS SHALL CONFORM WITH THE "STANDARD ALPHABET" FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" ADOPTED BY THE FEDERAL HIGHWAY ADMINISTRATION.
6. ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE IX SHEETING) WITH A B3 SPLIT BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
7. BEFORE COMMENCING WORK ON THE STATE HIGHWAY, THE GENERAL CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE REGION'S PERMIT OFFICER BEFORE WORKING WITHIN THE STATE RIGHT-OF-WAY.
8. FOR ALL UTILITY TAPS (ROAD CUTS), USE FLOWABLE FILL PER UDOT'S CURRENT MIX DESIGN (50-150 PSI) UDOT SPEC. 0357S.
9. ALL UTILITIES WITHIN THE PAVED SURFACE MUST BE BORED.
10. FOR EXCAVATIONS OUTSIDE OF THE ROADWAY, BACK FILL WITH UDOT AASHTO SPECIFICATION BORROW AND ROAD BASE. COMPACTION PER UDOT SPEC. 2056 AND 2721.
11. OWNER, DEVELOPER, AND/OR THE CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
12. OWNER, DEVELOPER, AND THE CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGE TO THE UDOT RIGHT-OF-WAY THAT MAY BE DIRECTLY OR INDIRECTLY CAUSED BY THE DEVELOPMENT ACTIVITY.
13. TRAFFIC SIGNAL INSTALLATION OR MODIFICATION REQUIRES A SEPARATE WARRANTY BOND ONCE THE WORK HAS BEEN COMPLETED AND ACCEPTED. THE PERMITTEE IS RESPONSIBLE FOR HIRING AN INDEPENDENT INSPECTION COMPANY TO PERFORM INSPECTION SERVICES FOR ALL SIGNAL WORK COMPLETED. FOR A LIST OF THE UDOT APPROVED CONTRACTORS AND CONSULTANTS CONTACT THE APPROPRIATE REGIONS TRAFFIC SIGNALS ENGINEER.
14. PARTIAL CONCRETE PANEL REPLACEMENT IS NOT ALLOWED. WHEN PANELS ARE REMOVED, THE ENTIRE PANEL IS REQUIRED TO BE REPLACED PER UDOT STANDARDS, SPECIFICATIONS, AND STANDARD DRAWINGS.
15. DOUBLE SAW CUT THE CONCRETE TO PREVENT THE SPALLING OF OTHER CONCRETE PANELS AND TO AVOID OVER CUTS. OVER CUTS AND SPALLS WILL REQUIRE FULL PANEL REPLACEMENT.
16. ALL ABOVE GROUND FEATURES INCLUDING UTILITIES (POLES, FIRE HYDRANTS, BOXES, ETC.) MUST BE RELOCATED OUT OF THE AASHTO CLEAR ZONE OR A MINIMUM OF 18" BEHIND CURB.

- UDOT REQUIRES 12" OF GRANULAR BORROW, 6" UNTREATED BASE COURSE, 7" OF PG GRADE SUPERPAVE MIX DESIGN ASPHALT CONFORMING TO UDOT SPECIFICATION 02741.

- SAW CUT AND TACK COAT VERTICAL CUTS IN ASPHALT PER UDOT SPECIFICATION 02705 PAVEMENT CUTTING.

- LOCATE ALL ABOVE GROUND UTILITIES (UTILITY POLES, FIRE HYDRANTS) 18" BEHIND THE CURB.

- LOCATE ABOVE GROUND UTILITIES CLEAR OF AND BEYOND THE AASHTO DEFINE CLEAR ZONE WHEN CURB IS ABSENT.

- BORE ALL UTILITIES WITHIN THE PAVED SURFACE. FOR ALL UTILITY TAPS, FLOWABLE FILL (50 - 150 psi / UDOT SPECIFICATION 0357S) AND 7" OF PG GRADE SUPERPAVE MIX DESIGN ASPHALT MUST CONFORM TO UDOT SPECIFICATION 02741.

- CONTAIN DRAINAGE ON SITE. THE REGION HYDRAULICS ENGINEER MUST GIVE WRITTEN APPROVAL TO CONNECT TO UDOT'S STORM DRAIN SYSTEM.

- THE DEPARTMENT WILL ONLY ACCEPT 0.2 cfs PER ACRE FOR A 25-YEAR STORM. PROVIDE CALCULATIONS FOR BOTH THE 25 AND 100 YEAR STORMS. ALL DRAINING CONNECTIONS NEED TO CONFORM TO UDOT STANDARD DRAWING CB 12.

Curve Table					
Name	Radius	Length	Delta	Chord	Chord Bearing
C1	317.00	35.80	06°28'14"	35.78	N 03°10'02" E
C2	20.00	36.11	103°26'51"	31.40	N 58°07'11" E

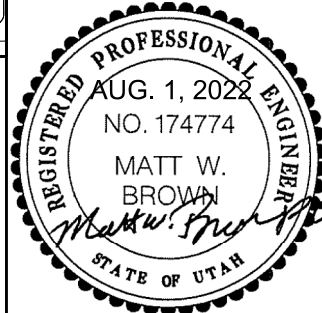
Title: NELSON MEADOWS SUBDIVISION

Location: SPANISH FORK CITY, UTAH

Drawing Name: SITE PLAN

MW
BROWN
ENGINEERING, INC.

Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84097

[illegible]

Designed _____
 Drawn J.T.B
 Checked M.W.B.
 Date 04-04-22

SHEET NO.
2.00

ELECTRICAL LEGEND

PRIMARY ELECTRICAL CONDUIT

SECONDARY ELECTRICAL CONDUIT

SHADOW CONDUIT

SERVICE DROP

PRIMARY SECTIONALIZERS

STREETLIGHT

SECONDARY JUNCTION BOX

TRANSFORMERS

1. CONDUIT FOR STREET LIGHTS SHALL BE 1" SCHEDULE 40 RIGID NONMETALLIC CONDUIT (RNC).

2. CONDUIT FOR SERVICE DROPS SHALL BE 2" (RNC).

3. CONDUIT FOR 1 PHASE AND SECONDARY CABLE SHALL BE 3" SCHEDULE 40 RIGID NONMETALLIC CONDUIT (RNC).

4. CONDUIT FOR 3 PHASE SHALL BE 6" SCHEDULE 40 RIGID NONMETALLIC CONDUIT (RNC).

5. LONG-RADIUS ELBOWS CONSTRUCTED OF EITHER RIGID METAL OR FIBERGLASS ARE REQUIRED FOR ANY ANGLE 45 DEG OR GREATER.

6. SECONDARY CABLE SHALL BE 4/0 NOML URD TYPE UNLESS OTHERWISE SPECIFIED.

7. SECONDARY, 1 PHASE AND 3 PHASE TRANSFORMER CONDUITS SHALL BE AT A DEPTH OF 4" TO TOP OF CONDUIT.

8. 3 PHASE CONDUITS SHALL BE AT A DEPTH OF 6" TO TOP OF CONDUIT, UNLESS OTHERWISE SPECIFIED.

9. SERVICE DROP CONDUIT SHALL BE AT A DEPTH OF 4" TO TOP OF CONDUIT.

10. STREET LIGHT CONDUITORS SHALL BE #10 STR CU TYPE THWN.

11. STREET LIGHTS SHALL BE LED, DECORATIVE POLE UNLESS OTHERWISE SPECIFIED.

12. (1)- SHADOW CONDUIT SHALL BE REQUIRED AT EACH POWER ROAD CROSSING. CONDUIT SHALL BE THE SAME SIZE AND TYPE AS LARGEST POWER CONDUIT BEING INSTALLED.

COMMUNICATIONS LEGEND

COMMUNICATIONS CONDUIT

SHADOW CONDUIT

COMM. SERVICE DROP

COMMUNICATIONS BOXES

1. CONDUIT FOR SERVICE DROPS SHALL BE 1" SCHEDULE 40 RIGID NONMETALLIC CONDUIT (RNC).

2. CONDUIT FOR SECONDARY RUNS SHALL BE 2" (RNC).

3. CONDUIT FOR MAIN RUNS SHALL BE 2" (RNC).

4. CONDUIT FOR FIBER OPTICS SHALL BE 3" (RNC) UNLESS OTHERWISE SPECIFIED.

5. LONG-RADIUS ELBOWS CONSTRUCTED OF EITHER RIGID METAL OR FIBERGLASS ARE REQUIRED FOR ANY ANGLE 45 DEG OR GREATER.

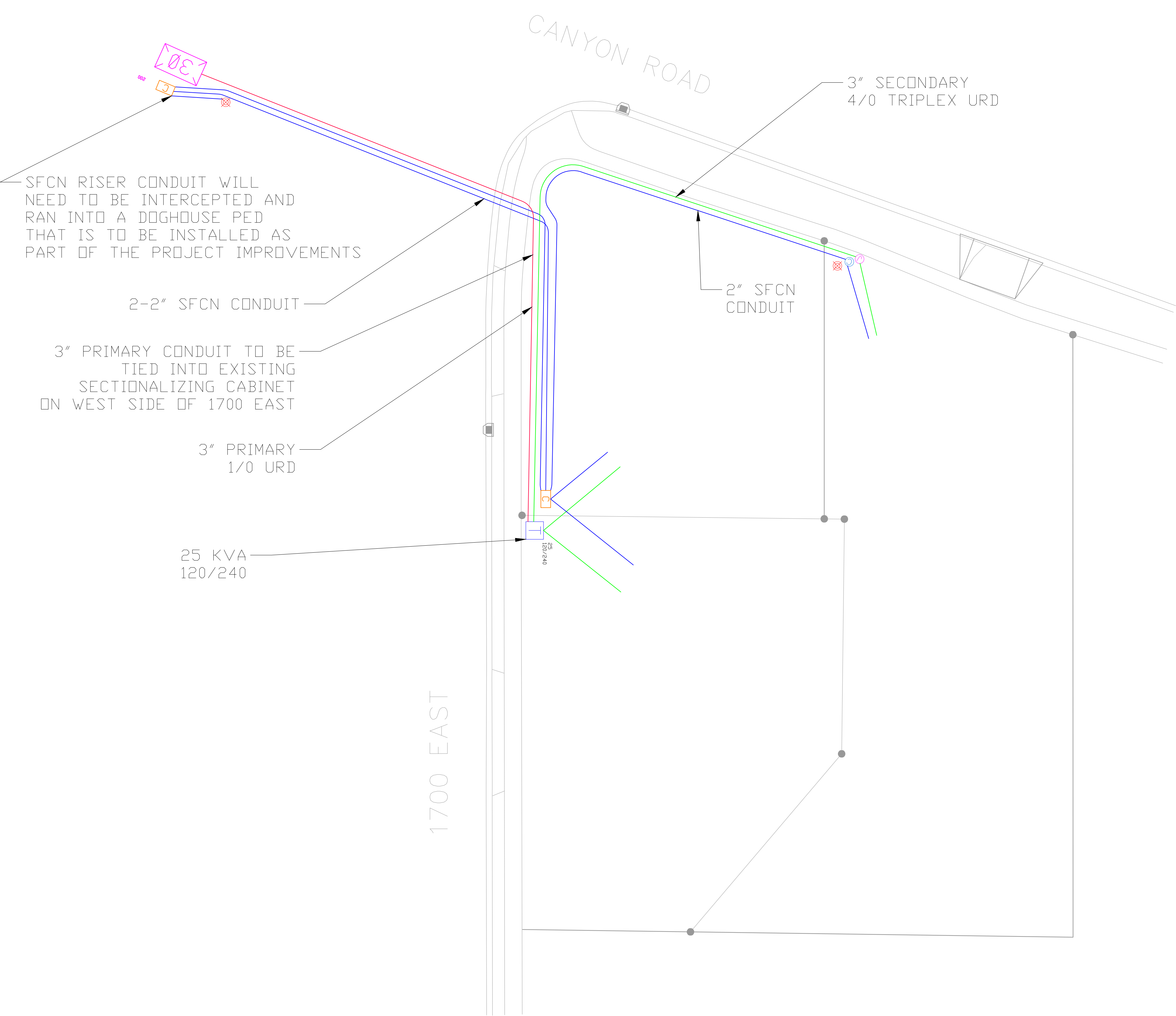
6. COMMUNICATIONS CONDUITS SHALL RUN BEHIND (FARTHEST FROM PROPERTY LINE) ELECTRICAL CONDUITS AND STUB UP BEHIND ELECTRICAL BOXES UNLESS OTHERWISE SPECIFIED.

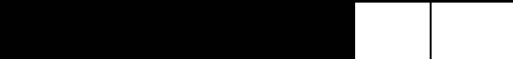
7. (1)- SHADOW CONDUIT SHALL BE REQUIRED AT EACH COMMUNICATION ROAD CROSSING. CONDUIT SHALL BE THE SAME SIZE AND TYPE AS LARGEST COMMUNICATIONS CONDUIT BEING INSTALLED.

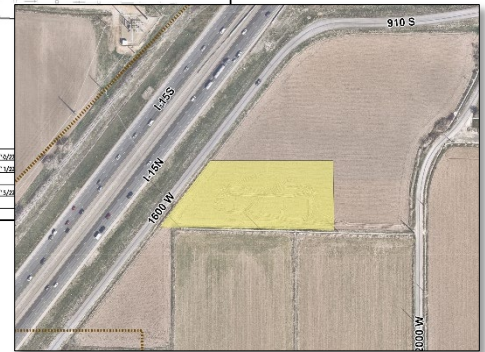
GENERAL NOTES:
DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, EASEMENTS, AND RIGHTS-OF-WAY. DEVELOPER SHALL FOLLOW ALL OF SPANISH FORK CITY STANDARDS.

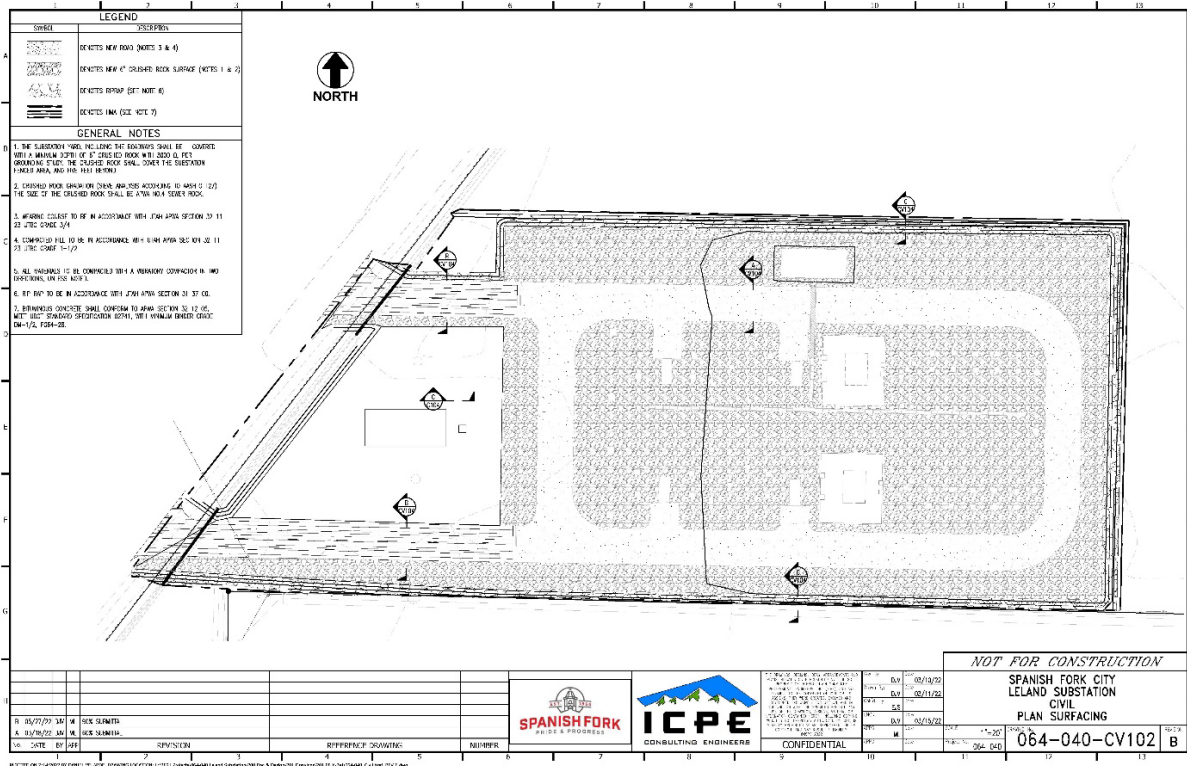
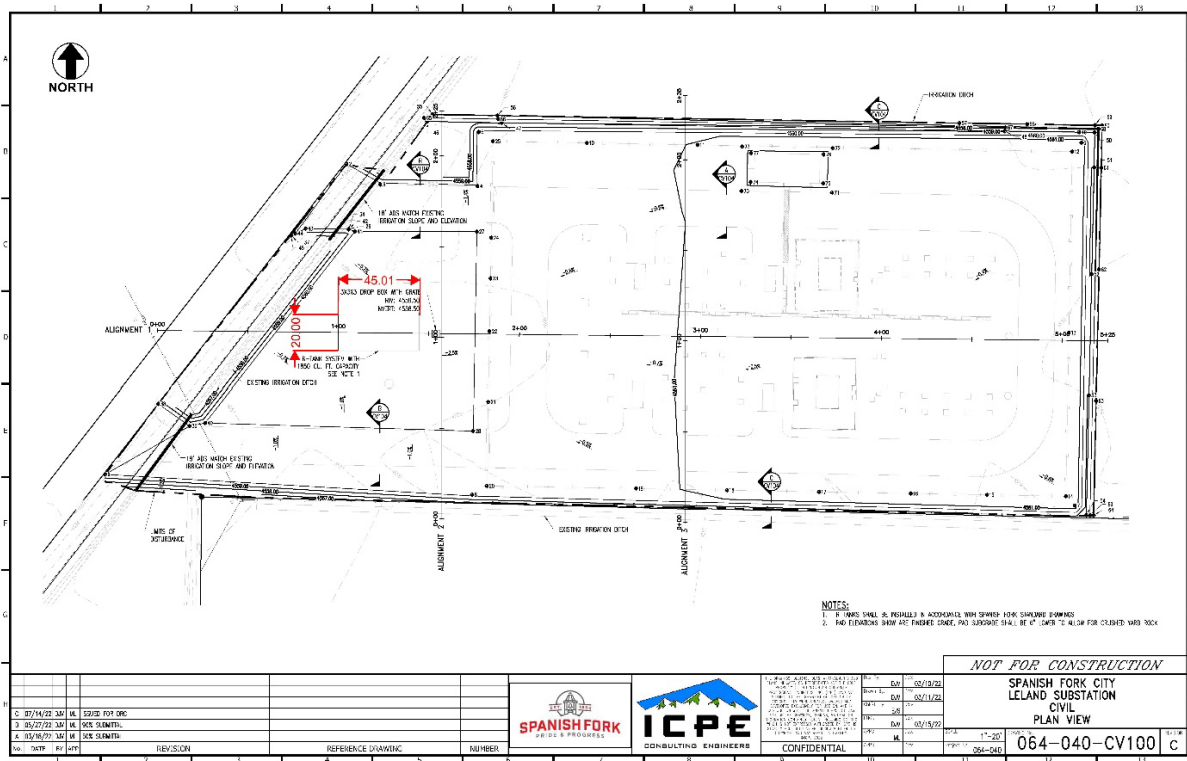
GENERAL NOTES:
THIS MAP IS INTENDED FOR INFORMATIONAL PURPOSES ONLY. THIS MAP DOES NOT SHOW THE ACTUAL, AND EXACT LOCATION(S) OF ANY CONDUITS, BOXES, LIGHTS, OR OTHER APPARATUS. THESE ITEMS SHALL BE PLACED ACCORDING TO SPANISH FORK CITY STANDARDS, AND BY FIELD VERIFICATION.

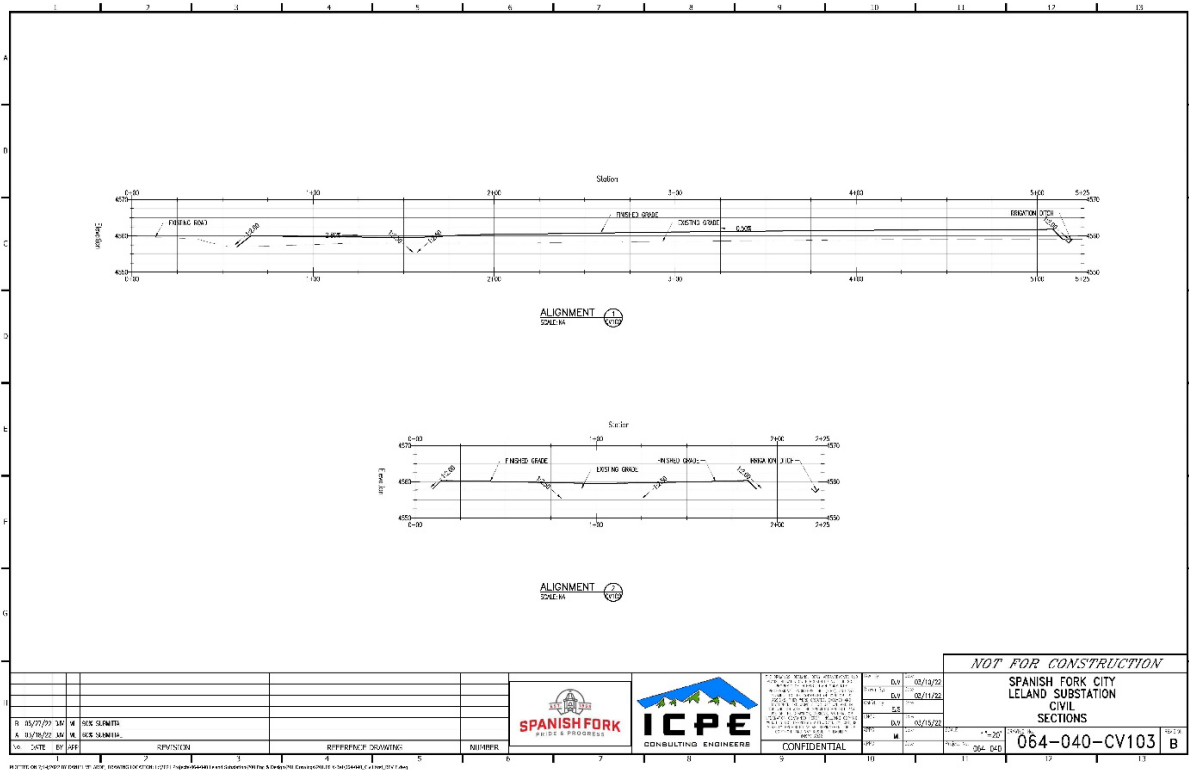
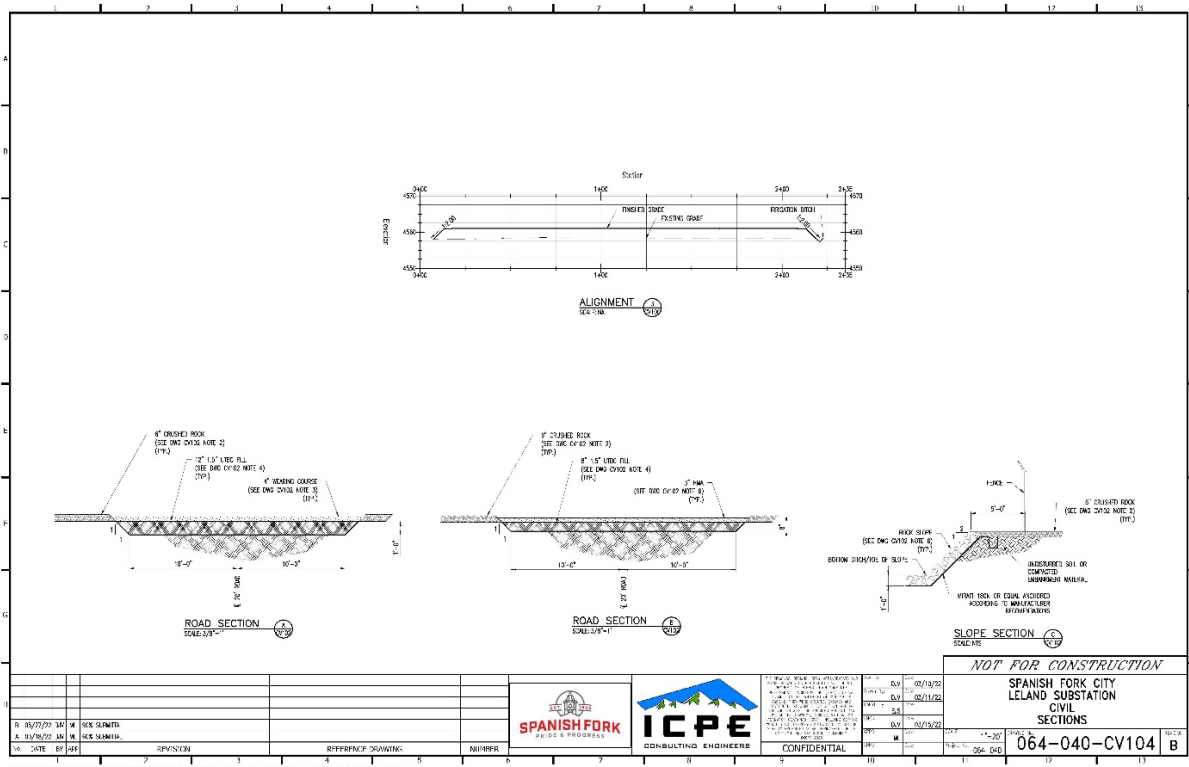
CONSTRUCTION NOTES:

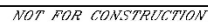
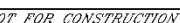


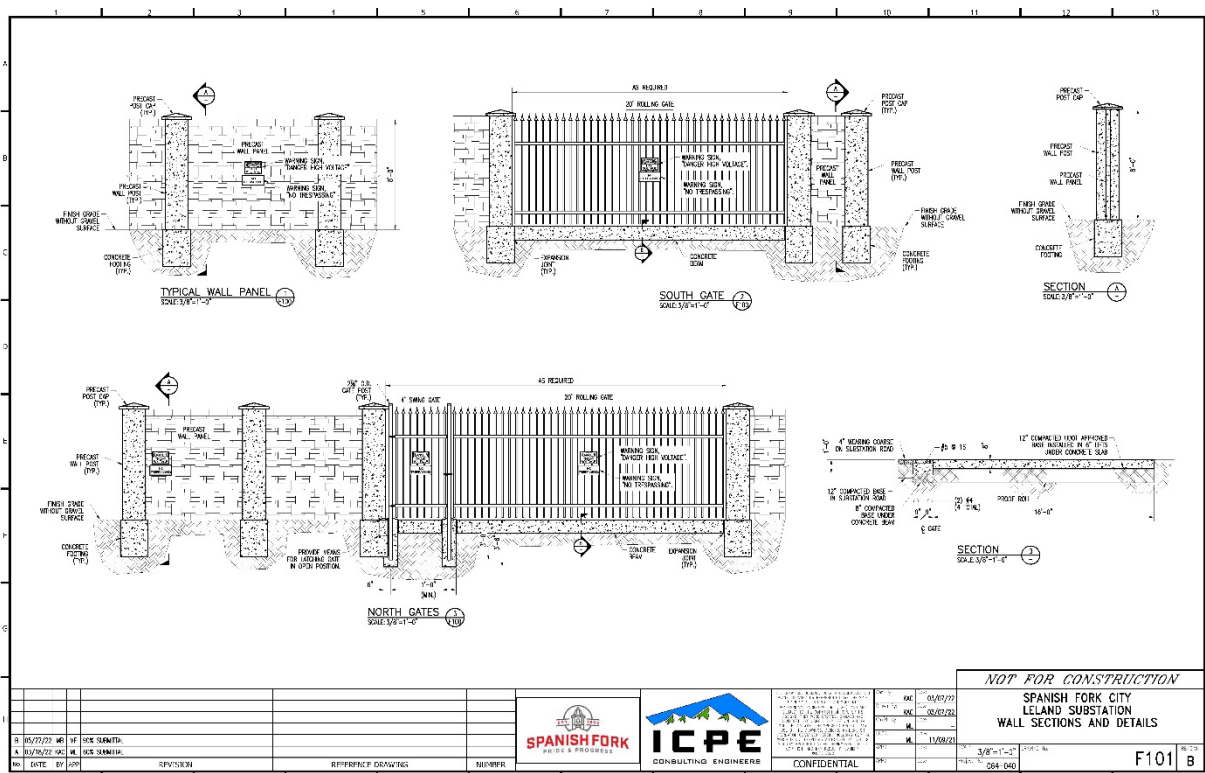
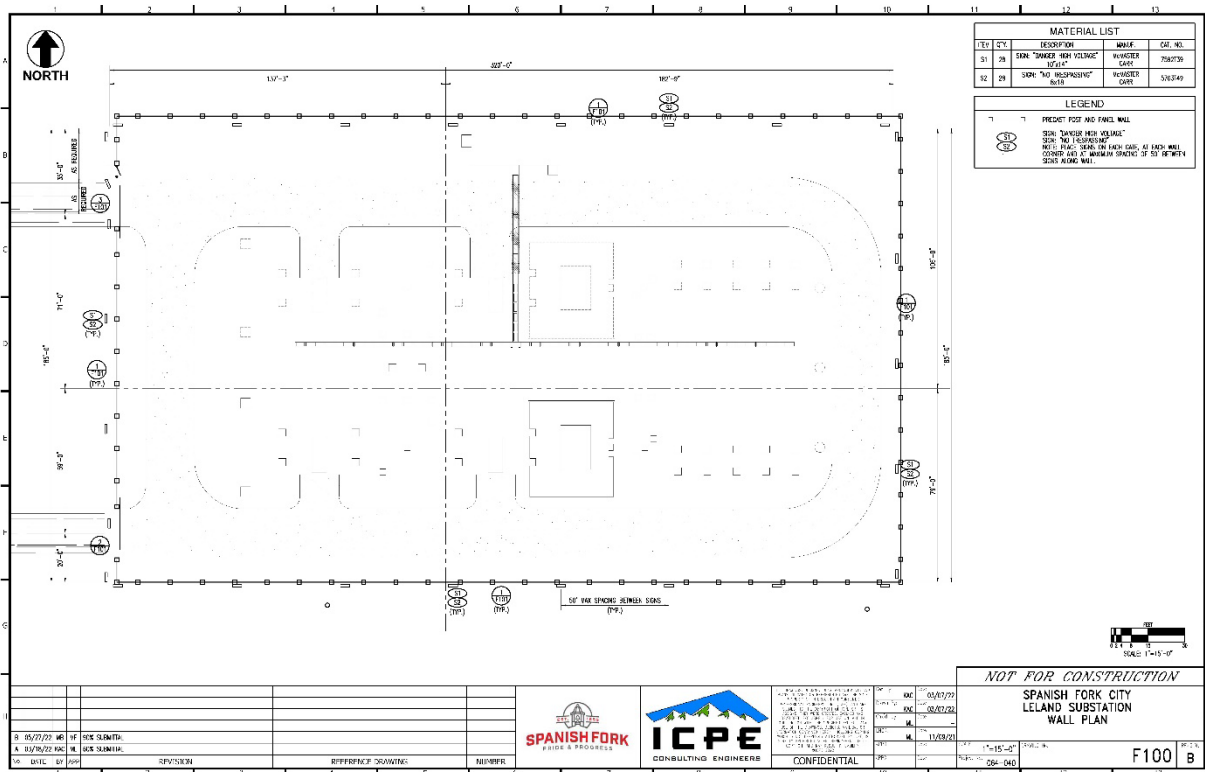
NELSON PLAT A		SPANISH FORK CITY ELECTRIC 260 NORTH 175 EAST SPANISH FORK, UTAH 84660 (801) 804-4490		SCALE:	1"=30'	APPROVED:		ELECTRICLAL CHECKED BY:		
ELECTRICAL DESIGN	SFCN DESIGN	DISCLAIMER: SPANISH FORK CITY makes no warranty with respect to the accuracy, completeness, or usefulness of these maps. Spanish Fork City assumes no liability for direct, indirect, special, or consequential damages resulting from the use or misuse of these maps or any of the information contained herein. Portions may be copied for incidental uses, but may not be resold.		DRAWN BY:	TOM COOPER	DRAWING APPROVAL:		SFCN CHECKED BY:		ELECTRICAL APPROVED BY: DATE:
				DATE DRAWN:	04/05/2022	SHEET SIZE:	ARCH D			SFCN APPROVED BY: DATE:

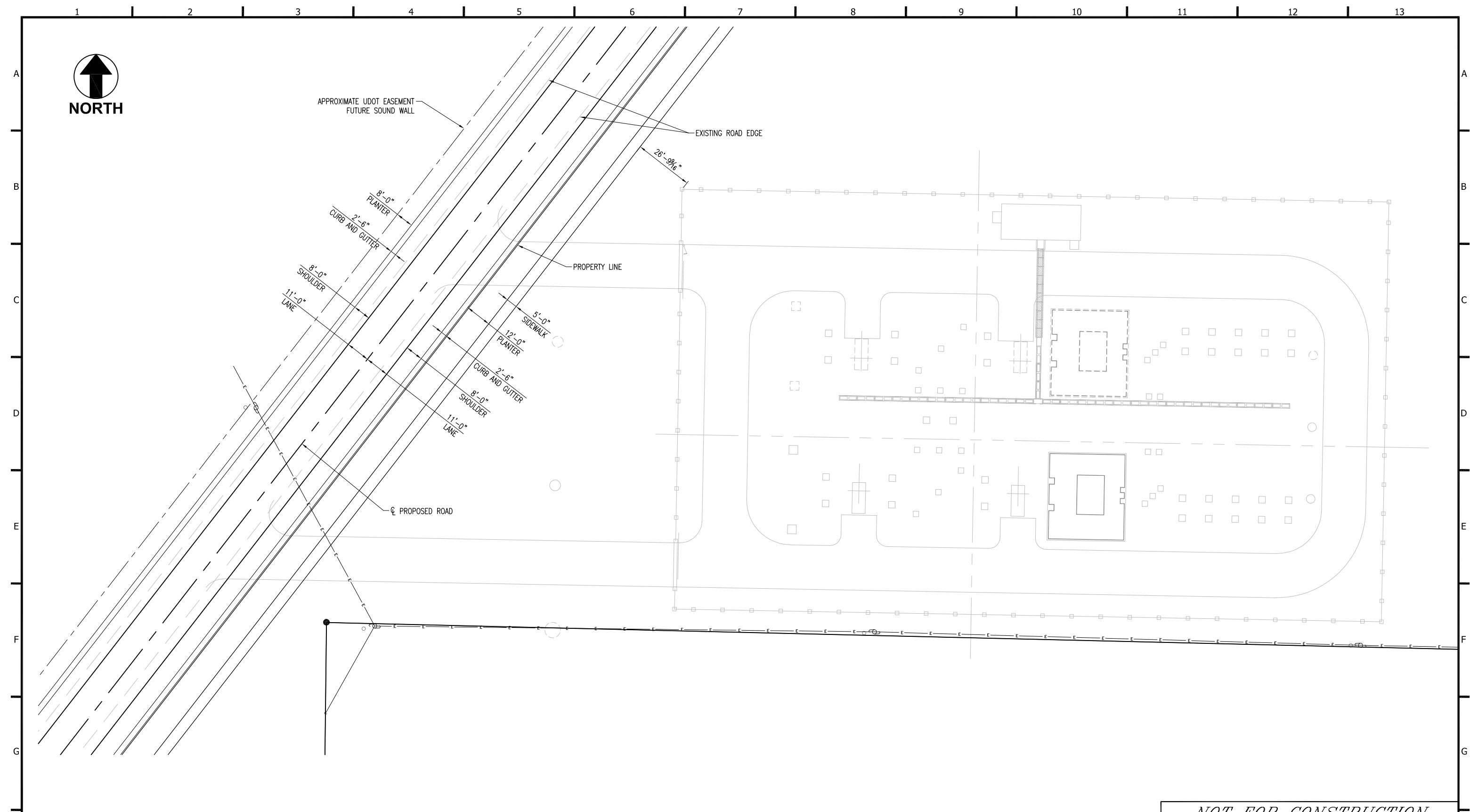






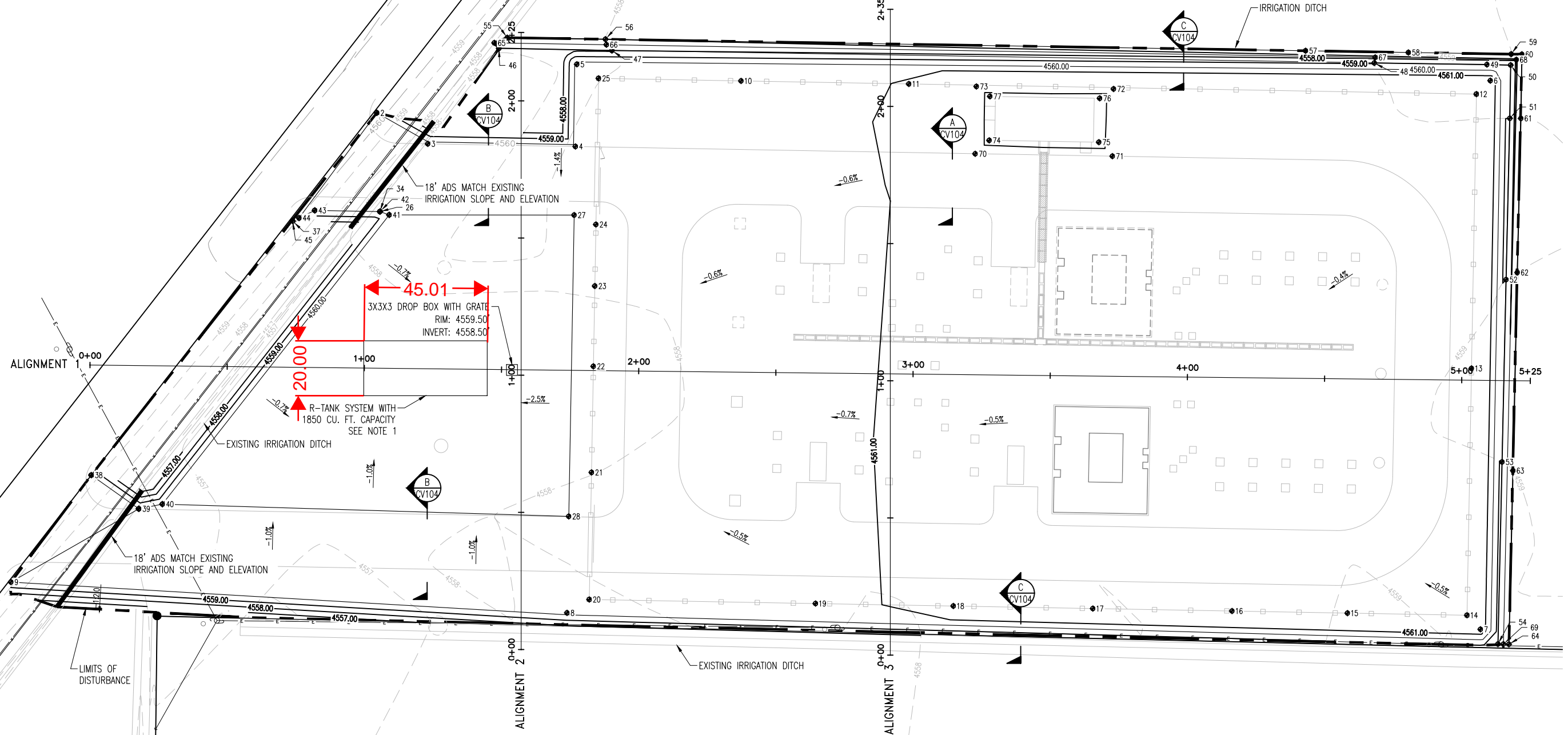






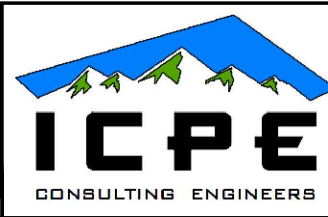
1 2 3 4 5 6 7 8 9 10 11 12 13

PLOTTED ON 8/11/2022 BY DANIEL VELARDE, DRAWING LOCATION: L:\2021 Projects\064-040 Leland Substation\200 Eng & Design\201 Drawings\201.08 x-Ref\064-040_Civil\Xref_REV F.dwg



- NOTES:
1. R-TANKS SHALL BE INSTALLED IN ACCORDANCE WITH SPANISH FORK STANDARD DRAWINGS
 2. PAD ELEVATIONS SHOW ARE FINISHED GRADE, PAD SUBGRADE SHALL BE 6" LOWER TO ALLOW FOR CRUSHED YARD ROCK

C	07/14/22	DJV	ML	ISSUED FOR DRC
B	05/27/22	DJV	ML	90% SUBMITTAL
A	03/18/22	DJV	ML	60% SUBMITTAL
No.	DATE	BY	APP	REVISION



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Des By:	DJV	Date	03/10/22
Drawn By:	DJV	Date	03/11/22
Chk'd By:	EJS	Date	
ENGR.	DJV	Date	03/15/22
APPD.	ML	Date	
APPD.		Date	

NOT FOR CONSTRUCTION			
SPANISH FORK CITY LELAND SUBSTATION CIVIL PLAN VIEW			
SCALE	1"=20'	DRAWING No.	064-040-CV100
Project No.	064-040	REVISION	c

Point Table				
Point #	Elevation	Northing	Easting	Description
1	4560.00	7204099.77	1587099.85	PAD
2	4560.00	7204099.76	1587099.87	PAD
3	4560.35	7204088.44	1587118.43	PAD
4	4560.35	7204087.47	1587172.23	PAD
5	4560.40	7204117.47	1587172.77	PAD
6	4561.90	7204111.48	1587505.72	PAD
7	4561.90	7203911.47	1587502.12	PAD
8	4560.35	7203917.46	1587169.18	PAD
9	4560.00	7203928.70	1586966.48	PAD
10	4560.74	7204111.39	1587232.61	PAD
11	4561.03	7204110.29	1587293.76	PAD
12	4562.00	7204106.58	1587500.63	PAD
13	4561.75	7204006.59	1587498.83	PAD
14	4562.00	7203916.61	1587497.22	PAD
15	4561.80	7203917.39	1587453.62	PAD
16	4561.60	7203918.14	1587411.58	PAD
17	4561.36	7203919.06	1587360.82	PAD
18	4561.12	7203919.97	1587310.00	PAD
19	4560.89	7203920.87	1587259.74	PAD
20	4560.50	7203922.35	1587177.27	PAD
21	4560.39	7203968.67	1587178.10	PAD
22	4560.30	7204007.34	1587178.80	PAD
23	4560.36	7204036.63	1587179.32	PAD
24	4560.40	7204059.05	1587179.72	PAD
25	4560.50	7204112.32	1587180.68	PAD
26	4560.00	7204063.75	1587100.97	PAD
27	4560.00	7204062.48	1587171.79	PAD
28	4560.00	7203952.64	1587169.81	PAD
29	4560.00	7203955.40	1587013.11	PAD
30	4560.00	7203967.68	1586995.78	PAD

Point Table				
Point #	Elevation	Northing	Easting	Description
31	4560.00	7203955.40	1587013.11	PAD
32	4560.00	7203957.10	1587021.72	PAD
33	4560.00	7204062.55	1587104.37	PAD
34	4560.00	7204063.75	1587100.97	PAD
35	4560.00	7204064.17	1587077.25	PAD
36	4560.00	7204061.43	1587071.52	PAD
37	4560.00	7204060.31	1587069.18	PAD
38	4560.00	7203967.68	1586995.78	DITCH
39	4560.00	7203955.40	1587013.11	DITCH
40	4560.00	7203957.10	1587021.72	DITCH
41	4560.00	7204062.55	1587104.37	DITCH
42	4560.00	7204063.75	1587100.97	DITCH
43	4560.00	7204064.17	1587077.25	DITCH
44	4560.00	7204061.43	1587071.52	DITCH
45	4560.00	7204060.31	1587069.18	DITCH
46	4558.05	7204123.21	1587144.33	DITCH
47	4558.00	7204122.46	1587185.54	DITCH
48	4559.00	7204117.94	1587463.42	DITCH
49	4559.00	7204117.35	1587504.48	DITCH
50	4559.00	7204117.15	1587513.12	DITCH
51	4559.00	7204097.74	1587512.80	DITCH
52	4559.00	7204038.94	1587511.43	DITCH
53	4559.00	7203972.47	1587509.99	DITCH
54	4559.00	7203906.11	1587508.48	DITCH
55	4558.00	7204127.16	1587147.38	DITCH
56	4558.00	7204126.58	1587183.18	DITCH
57	4558.77	7204122.38	1587438.38	DITCH
58	4558.89	7204121.76	1587475.84	DITCH
59	4559.00	7204121.14	1587513.31	DITCH
60	4559.00	7204121.08	1587517.20	DITCH

Point Table				
Point #	Elevation	Northing	Easting	Description
61	4559.00	7204097.73	1587516.84	DITCH
62	4559.00	7204041.54	1587515.53	DITCH
63	4559.00	7203969.32	1587513.96	DITCH
64	4559.00	7203906.03	1587512.48	DITCH
65	4557.06	7204125.24	1587142.69	DITCH
66	4557.14	7204124.58	1587183.55	DITCH
67	4557.70	7204119.94	1587463.73	DITCH
68	4557.81	7204119.12	1587515.16	DITCH
69	4558.22	7203906.07	1587510.48	DITCH
70	4561.20	7204084.82	1587317.96	BUILDING
71	4561.45	7204083.96	1587367.95	BUILDING
72	4561.55	7204108.45	1587368.39	BUILDING
73	4561.30	7204109.35	1587318.40	BUILDING
74	4562.45	7204089.73	1587323.05	BUILDING
75	4562.45	7204089.04	1587363.04	BUILDING
76	4562.45	7204105.04	1587363.33	BUILDING
77	4562.45	7204105.76	1587323.34	BUILDING

EARTHWORK NOTES:

1. ALL SITE WORK, MATERIAL, AND COMPACTION SHALL CONFORM TO THE LELAND SUBSTATION GEOTECHNICAL REPORT DEVELOPED BY AGEC, DATED FEBRUARY 10, 2022, PROJECT NUMBER 1211170.
2. APPROXIMATELY 1½ TO 2 FEET OF TOPSOIL WAS ENCOUNTERED IN THE BORINGS. TOPSOIL, UNSUITABLE FILL, DEBRIS AND OTHER DELETERIOUS MATERIALS SHOULD BE REMOVED FROM BELOW AREAS OF THE PROPOSED BUILDINGS, SLABS, PAVEMENT AND OTHER SETTLEMENT-SENSITIVE IMPROVEMENTS.
3. THE UPPER NATURAL SOIL CONSISTS PREDOMINANTLY OF CLAY. THE CLAY WILL BE EASILY DISTURBED BY CONSTRUCTION EQUIPMENT WHEN THE UPPER SOIL IS VERY MOIST TO WET OR WHERE EXCAVATIONS EXTEND DOWN TO VERY MOIST TO WET SOIL. CARE WILL BE REQUIRED TO MINIMIZE DISTURBANCE OF THE NATURAL SOIL DURING CONSTRUCTION. PLACEMENT OF APPROXIMATELY 1½ TO 2 FEET OF GRANULAR BORROW CONSISTING PREDOMINANTLY OF GRAVEL WITH LESS THAN 15 PERCENT PASSING THE NO. 200 SIEVE MAY BE NEEDED TO PROVIDE LIMITED ACCESS FOR RUBBER-TIRED EQUIPMENT AND TO FACILITATE PAVEMENT CONSTRUCTION WHEN THE SUBGRADE IS VERY MOIST TO WET. CONSIDERATION SHOULD BE GIVEN TO PLACING A SUPPORT FABRIC OVER THE NATURAL SOIL PRIOR TO PLACING GRANULAR BORROW.
4. WE ANTICIPATE THAT EXCAVATION AT THE SITE CAN BE ACCOMPLISHED WITH TYPICAL EXCAVATION EQUIPMENT. EXCAVATION EQUIPMENT WITH A FLAT CUTTING EDGE SHOULD BE USED WHEN EXCAVATING FOR FOUNDATIONS AND SLABS TO MINIMIZE DISTURBANCE OF THE BEARING SOIL.
5. TEMPORARY EXCAVATIONS IN THE CLAY MAY BE SLOPED AT 1 HORIZONTAL TO 1 VERTICAL OR FLATTER. TEMPORARY EXCAVATION SLOPES IN THE INTERLAYERED SOIL AND SAND MAYBE SLOPED AT 1½ HORIZONTAL TO 1 VERTICAL OR FLATTER. THE TEMPORARY EXCAVATION SLOPES INDICATED ASSUME THAT THE EXCAVATION IS DEWATERED. FLATTER SLOPES MAYBE NEEDED IF THERE IS WATER SEEPAGE INTO THE EXCAVATION.
6. EXCAVATIONS THAT EXTEND BELOW THE WATER LEVEL SHOULD BE DEWATERED. THE WATER LEVEL SHOULD BE MAINTAINED BELOW THE BASE OF THE EXCAVATION DURING INITIAL FILL AND CONCRETE PLACEMENT. FREE-DRAINING GRAVEL WITH LESS THAN 5 PERCENT PASSING THE NO. 200 SIEVE SHOULD BE USED FOR FILL OR BACKFILL BELOW THE ORIGINAL WATER LEVEL. A FILTER FABRIC SHOULD BE PLACED BETWEEN THE NATURAL SOIL AND FREE-DRAINING GRAVEL.
7. MATERIAL PLACED AS FILL FOR SUPPORT OF STRUCTURES SHOULD BE NON-EXPANSIVE GRANULAR SOIL WITH LESS THAN 35 PERCENT PASSING THE NO. 200 SIEVE, A LIQUID LIMIT OF LESS THAN 30 PERCENT AND A MAXIMUM PARTICLE SIZE OF LESS THAN 4 INCHES.
8. THE UPPER NATURAL SOIL CONSISTS PREDOMINANTLY OF CLAY. THE CLAY IS NOT RECOMMENDED FOR USE AS FILL BELOW PROPOSED STRUCTURES BUT MAY BE CONSIDERED FOR USE AS SITE GRADING FILL OUTSIDE OF THE AREAS OF STRUCTURES IF TOPSOIL, ORGANICS, DEBRIS AND OTHER DELETERIOUS MATERIALS ARE REMOVED OR IT MAY BE CONSIDERED FOR USE IN LANDSCAPE AREAS.
9. GRANULAR BORROW PLACED TO SUPPORT CONSTRUCTION EQUIPMENT SHOULD IDEALLY CONSIST OF ANGULAR GRAVEL WITH SAND AND CONTAIN LESS THAN 15 PERCENT PASSING THE NO. 200 SIEVE.
10. FREE-DRAINING GRAVEL WITH LESS THAN 5 PERCENT PASSING THE NO. 200 SIEVE SHOULD BE USED AS FILL BELOW THE ORIGINAL FREE WATER LEVEL. A FILTER FABRIC SHOULD BE PROVIDED BETWEEN THE FREE-DRAINING GRAVEL AND NATURAL SOIL.
11. COMPACTION OF MATERIALS PLACED AT THE SITE SHOULD EQUAL OR EXCEED THE MINIMUM DENSITIES AS INDICATED BELOW WHEN COMPARED TO THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.

FILL TO SUPPORT FOUNDATIONS	95%
CONCRETE FLATWORK PAVEMENT	90%
BASE COURSE	95%
FILL PLACED BELOW BASE COURSE	90%
LANDSCAPING	85%

12. TO FACILITATE THE COMPACTION PROCESS, THE FILL SHOULD BE COMPACTED AT A MOISTURE CONTENT WITHIN 2 PERCENT OF THE OPTIMUM.
13. FILL SHOULD BE FREQUENTLY TESTED FOR COMPACTION.

B	05/27/22	DJV	ML	90% SUBMITTAL			
A	03/18/22	DJV	ML	60% SUBMITTAL			
No.	DATE	BY	APP	REVISION	REFERENCE DRAWING		NUMBER



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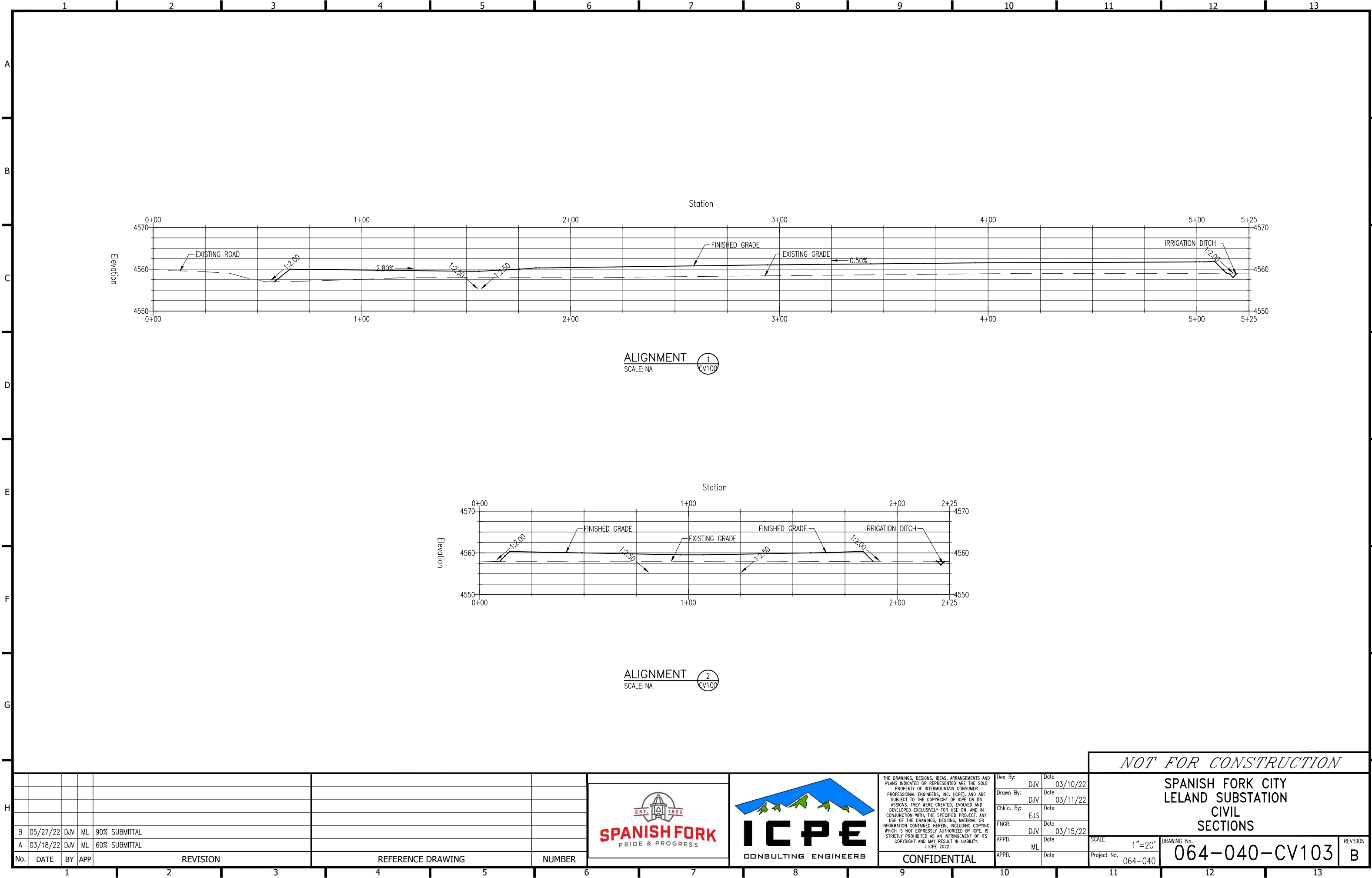
Des By:	DJV	Date	03/10/22
Drawn By:	DJV	Date	03/11/22
Chk'd. By:	EJS	Date	
ENGR.	DJV	Date	03/15/22
APPD.	ML	Date	
APPD.		Date	

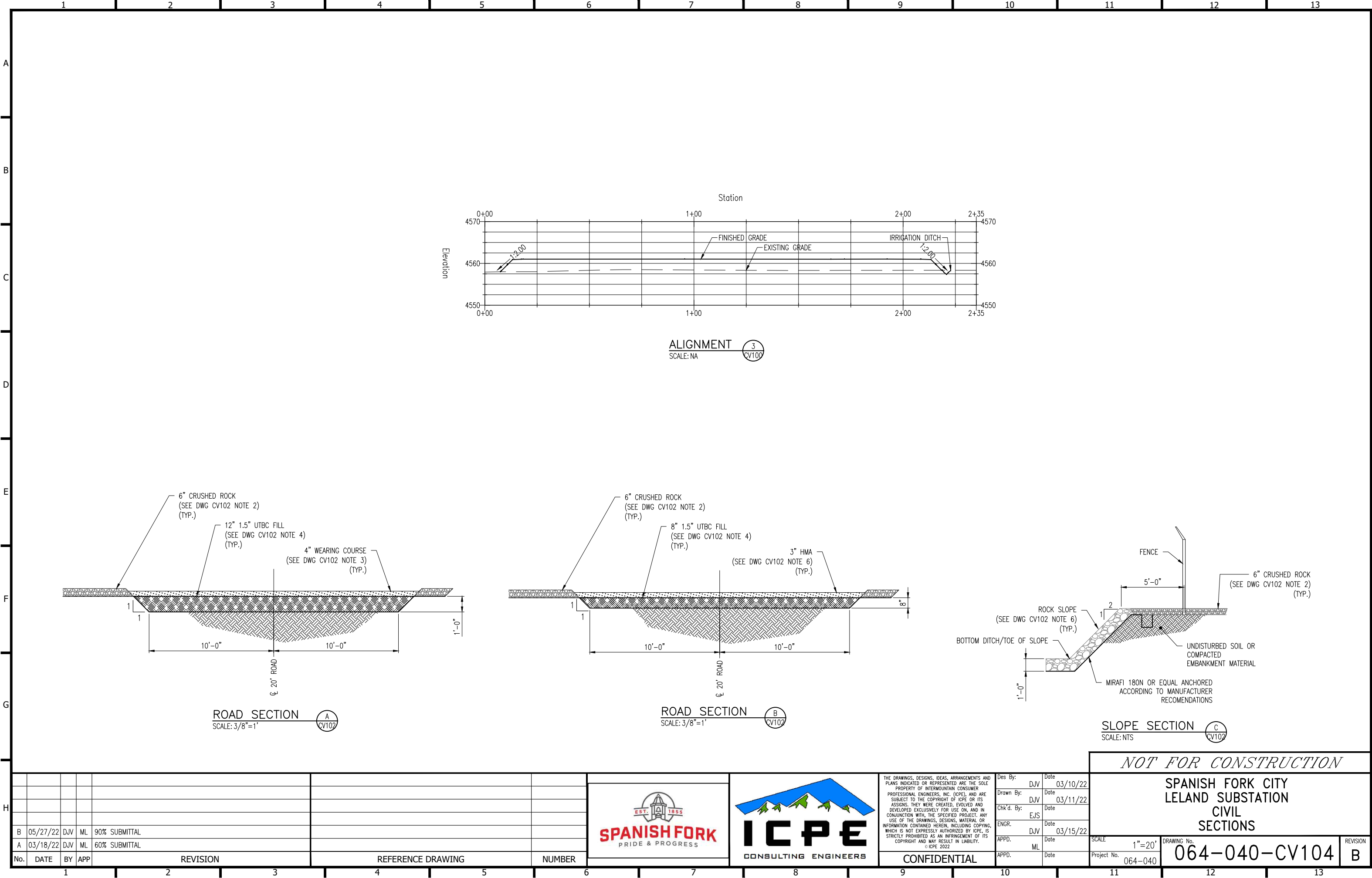
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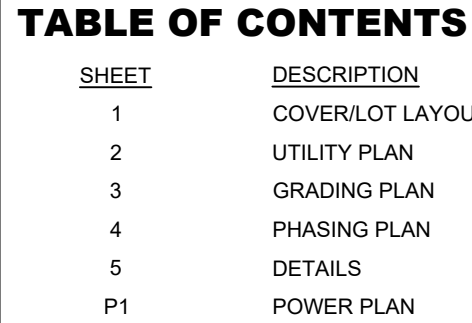
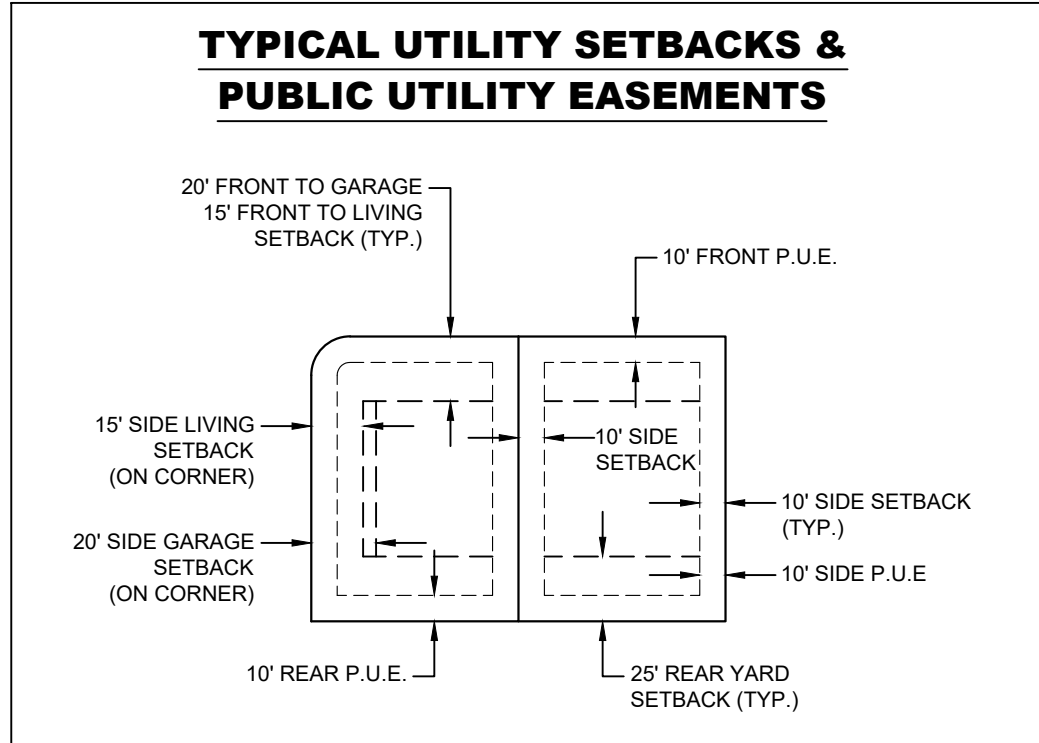
SPANISH FORK CITY
LELAND SUBSTATION
CIVIL
POINTS TABLE/NOTES

SCALE	1"=20'	DRAWING No.	064-040-CV101	REVISION	B
Project No.	064-040				

1		2		3		4		5		6		7		8		9		10		11		12		13	
LEGEND																									
SYMBOL		DESCRIPTION																							
		DENOTES NEW ROAD (NOTES 3 & 4)																							
		DENOTES NEW 6" CRUSHED ROCK SURFACE (NOTES 1 & 2)																							
		DENOTES RIPRAP (SEE NOTE 6)																							
		DENOTES HMA (SEE NOTE 7)																							
GENERAL NOTES																									
1. THE SUBSTATION YARD, INCLUDING THE ROADWAYS SHALL BE COVERED WITH A MINIMUM DEPTH OF 6" CRUSHED ROCK WITH 3000 Q, PER GROUNDING STUDY. THE CRUSHED ROCK SHALL COVER THE SUBSTATION FENCED AREA, AND FIVE FEET BEYOND.																									
2. CRUSHED ROCK GRADATION (SIEVE ANALYSIS ACCORDING TO AASHTO T27) THE SIZE OF THE CRUSHED ROCK SHALL BE APWA NO.4 SEWER ROCK.																									
3. WEARING COURSE TO BE IN ACCORDANCE WITH UTAH APWA SECTION 32 11 23 UTBC GRADE 3/4																									
4. COMPACTED FILL TO BE IN ACCORDANCE WITH UTAH APWA SECTION 32 11 23 UTBC GRADE 1-1/2																									
5. ALL MATERIALS TO BE COMPACTED WITH A VIBRATORY COMPACTOR IN TWO DIRECTIONS, UNLESS NOTED.																									
6. RIP RAP TO BE IN ACCORDANCE WITH UTAH APWA SECTION 31 37 00.																									
7. BITUMINOUS CONCRETE SHALL CONFORM TO APWA SECTION 32 12 05, MEET UDOT STANDARD SPECIFICATION 02741, WITH MINIMUM BINDER GRADE DM-1/2, PG64-28.																									
NOT FOR CONSTRUCTION																									
SPANISH FORK CITY LELAND SUBSTATION CIVIL PLAN SURFACING																									
SCALE 1"=20'																									
DRAWING No. 064-040-CV102																									
REVISION B																									







TABULATIONS

TOTAL DEVELOPMENT AREA:	21.82 ACRES
TOTAL LOT AREA:	16.31 ACRES
TOTAL NUMBER OF LOTS:	38 UNITS
OPEN SPACE:	1.15 ACRES (5%)
FLOOD ZONE:	0.00 ACRES
DENSITY:	1.74 UNITS/ACRE
ZONE:	R-1-15

- # NOTES
1. ALL CONSTRUCTION TO BE DONE ACCORDING TO THE LATEST EDITION OF SPANISH FORK CITY STANDARDS AND SPECIFICATIONS.
 2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 3. ALL SEWER LINES TO BE 8" UNLESS NOTED OTHERWISE.
 4. ALL CULINARY WATER LINES TO BE 8" UNLESS NOTED OTHERWISE.
 5. DUE TO ELEVATION, DEVELOPMENT TO NOT BE SERVICED BY PRESSURIZED IRRIGATION.
 6. ALL ROAD CENTERLINE PROFILE GRADES ARE ANTICIPATED TO BE BETWEEN 0.45% AND 8%.
 7. PUBLIC EASEMENTS TO BE 10' ON SIDES OF LOTS.
 8. ALL INTERSECTIONS TO HAVE ADA HANDICAP RAMPS ACCORDING TO CITY STANDARDS.
 9. ALL EXISTING FENCING WITHIN THE PROPOSED BOUNDARY TO BE REMOVED.
 10. ALL DRINKING WATER LINES UP TO AND INCLUDING THE METER, ALL SANITARY SEWER MAINS, ALL ELECTRIC METERS, AND ALL ELECTRIC AND SFCM COMMUNICATION SERVICE LINES UP TO THE MAST ON OVERHEAD INSTALLATIONS AND TO THE TOP OF THE METER BASE FOR UNDERGROUND INSTALLATIONS ARE DEDICATED TO SPANISH FORK.
 11. LOCATION OF PRESSURIZED IRRIGATION AIR RELEASE VALVES AND DRAINS TO BE DETERMINED WITH FINAL IMPROVEMENT DRAWINGS.
 12. ALL VERTICAL DATA BASED ON NAVD 88.
 13. ALL CORNER LOT DRIVEWAYS TO BE LOCATED A MINIMUM OF 34' FROM STREET RIGHT-OF-WAY UNLESS OTHERWISE NOTED.
 14. ALL FIRE HYDRANT LOCATIONS TO BE APPROVED BY SPANISH FORK CITY FIRE MARSHALL AT FINAL DESIGN.
 15. IRRIGATION COMPANY APPROVAL REQUIRED ON ANY IMPROVEMENTS TO IRRIGATION DITCHES OR ANY IRRIGATION STRUCTURES. ALL IRRIGATION DITCHES ABANDONED WITH DEVELOPMENT REQUIRE IRRIGATION COMPANY APPROVAL.
 16. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO CONTACT CENTURY LINK AND COMCAST CONCERNING THEIR REQUIRED IMPROVEMENTS.
 17. ALL ELECTRICAL IMPROVEMENTS SHALL BE INSTALLED TO THE MOST CURRENT VERSION OF THE SPANISH FORK CITY CONSTRUCTION STANDARDS. IF NEWER VERSION OF STANDARDS IS RELEASED DURING PROJECT, THE PROJECT SHALL BE COMPLETED USING STANDARDS VERSION THAT WAS ISSUED AT PRE-CONSTRUCTION MEETING. ANY ELECTRICAL DESIGNS AS PER ARCHITECT/DEVELOPER DRAWING SHALL BE SUPERSEDED BY CITY DESIGN.
 18. ANY EXISTING FACILITIES AFFECTED BY DEVELOPMENT WILL NEED TO BE BROUGHT TO CURRENT NEC. NECS AND CITY STANDARDS AT DEVELOPERS EXPENSE, INCLUDING BUT NOT LIMITED TO UPGRADING OF METER BASE, SERVICE CONDUITS, COMMUNICATIONS SERVICES, AND LANDSCAPING RESTORATION.
 19. WATER RIGHTS TO BE TRANSFERRED TO CITY ACCORDING TO LATEST CITY STANDARD DATED APRIL 16, 2019.
 20. STORM DRAIN BOWS AND OVERFLOW DRAIN LINE IS APPROXIMATE. FINAL LOCATIONS TO BE DETERMINED AT FINAL.
 21. DEVELOPMENT IS A MASTER PLAN DEVELOPMENT WHICH IS SUBJECT TO CITY CODE AND PROVISIONS OF THE PROJECTS DEVELOPMENT AGREEMENT.
 22. ACCESS OF EXISTING MONITORING WELLS TO BE THROUGH PARCEL B AND THE PROPOSED CITY TRAIL.
 23. 4,000 SQ. FT. BUILDABLE AREA SHOWN FOR ILLUSTRATION PURPOSES ONLY. FULL LOT BUILDABLE AREA TO BE DETERMINED BY SETBACK REQUIREMENTS FROM PROPERTY LINE AND/OR SLOPE BOUNDARY.

LEGEND

4000 S.F. BUILDABLE AREA LESS THAN 30% SLOPE (SEE NOTE #23)

EXISTING	
WATER METER	W □ M
WATER	— EX — W —
WATER VALVE	— ✕ —
FIRE HYDRANT	— ○ —
SEWER	— EX — SS —
SEWER MANHOLE	— S —
STORM DRAIN	— EX — SD —
STORM DRAIN MANHOLE	— D —
STORM DRAIN CURB INLET	— I —
PI	— EX — PI —
PI VALVE	— ✕ —
FENCE	— — — — —

PROPOSED	
WATER	— W —
WATER VALVE	— ✕ —
FIRE HYDRANT	— F —
CITY INSTALLED SEWER	— — — — —
SEWER	— SS —
SEWER MANHOLE	— S —
STORM DRAIN	— SD —
STORM DRAIN MANHOLE	— D —
STORM DRAIN CURB INLET	— I —
PI	— — — — —
PI VALVE	— ✕ —

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NOT FOR
CONSTRUCTION

OAKRIDGE COVE SUBDIVISION, PHASE 2 PRELIMINARY

SPANISH FORK, UTAH

COVER

REVISIONS	
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LEI PROJECT #:
2015-0021

DRAWN BY:
RWH

CHECKED BY:
GDM

SCALE:
1" = 60'

DATE:
01/11/2022

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OAKRIDGE COVE SUBDIVISION, PHASE 2 PRELIMINARY
SPANISH FORK, UTAH
UTILITY PLAN

REVISIONS	
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LEI PROJECT #:
2015-0021
DRAWN BY:
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SCALE:
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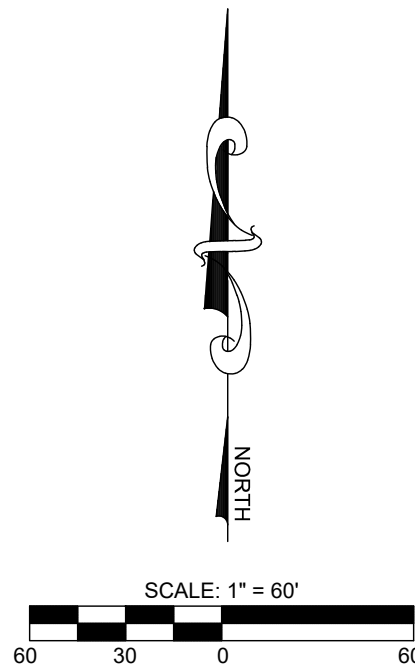
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NOTES

1. STORM DRAIN PIPE SIZING TO BE PROVIDED WITH FINAL CONSTRUCTION DRAWINGS.
2. ALL VERTICAL DATA BASED ON NAVD 88 ELEVATIONS. THE EAST QUARTER CORNER OF SECTION 33 HAS AN ELEVATION OF 4849.04'.
3. LOTS 1-9 WILL BE REQUIRED TO ROUTE ROOF DRAINS TO FRONT YARD AND STORM DRAIN SYSTEM OR PROVIDE INFILTRATION SYSTEM. BERMS MAY ALSO BE REQUIRED TO PREVENT RUNOFF FROM FLOWING ONTO ADJACENT LOTS. FINAL DESIGN TO BE SUBMITTED WITH INDIVIDUAL LOT SITE PLANS.



NOT FOR
CONSTRUCTION

OAKRIDGE COVE SUBDIVISION, PHASE 2 PRELIMINARY SPANISH FORK, UTAH GRADING PLAN

REVISIONS

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LEI PROJECT #:

2015-0021

DRAWN BY:

RWH

CHECKED BY:

GDM

SCALE:

1" = 60'

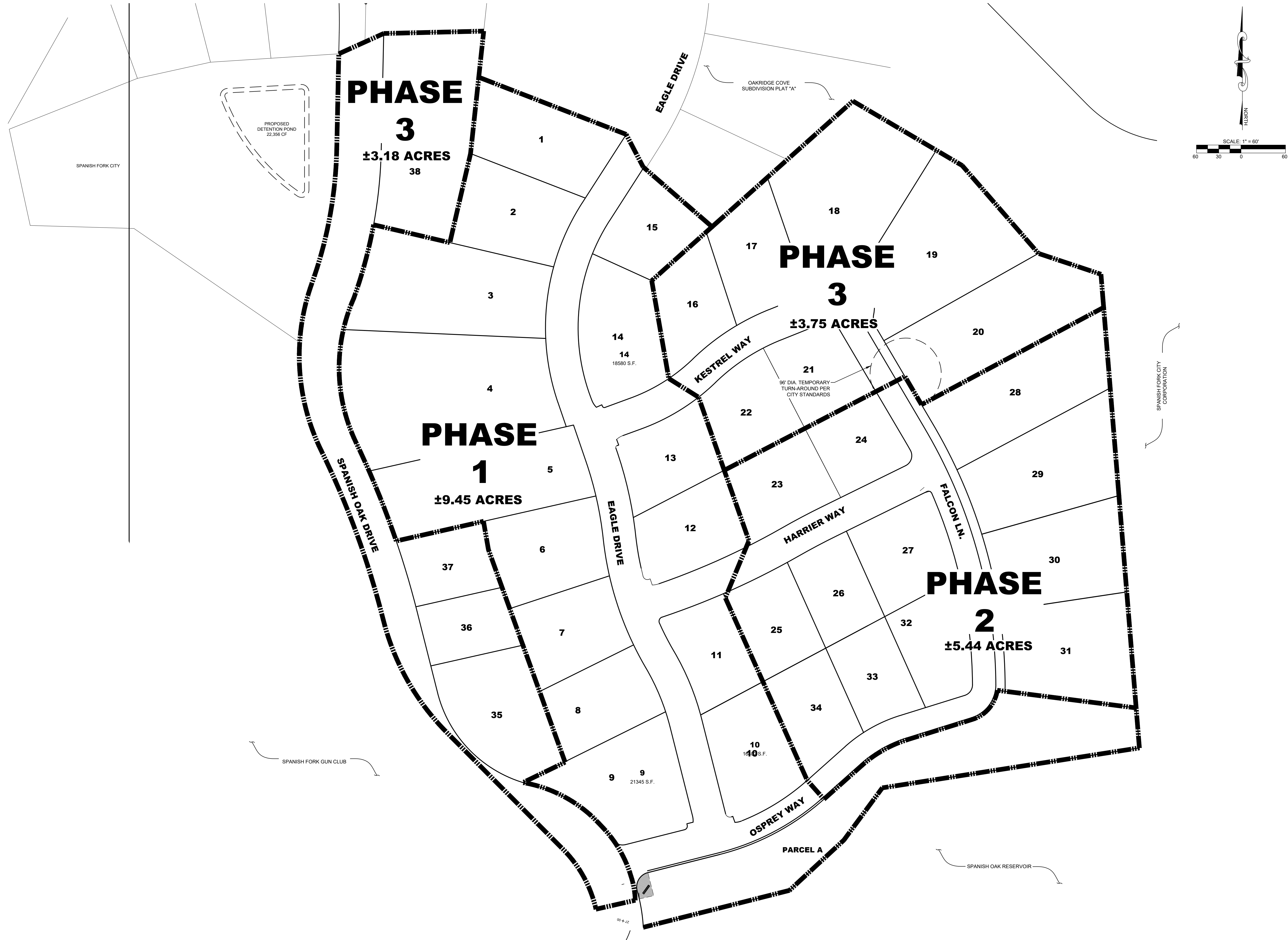
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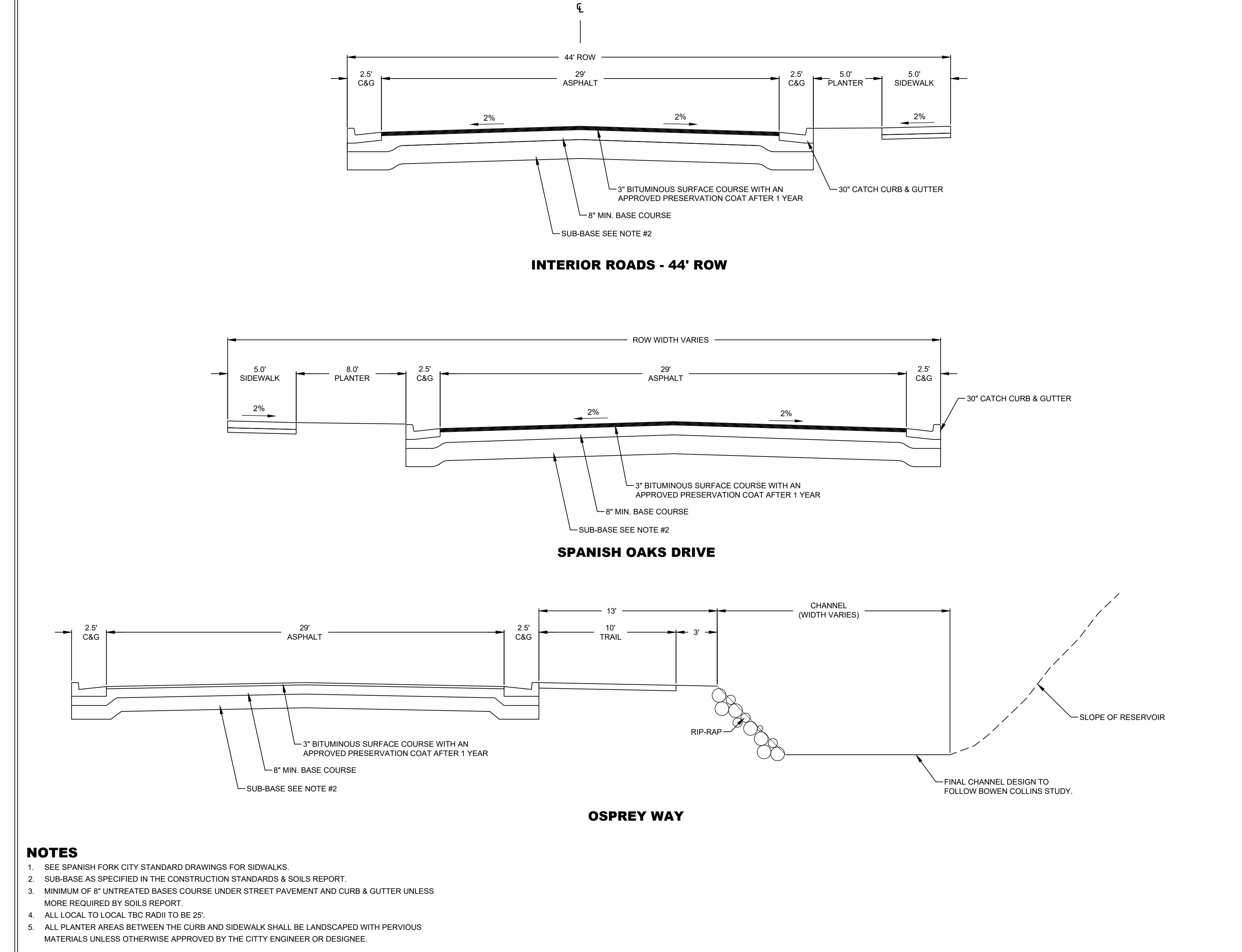
OAKRIDGE COVE SUBDIVISION, PHASE 2 PRELIMINARY
SPANISH FORK, UTAH
PHASING PLAN

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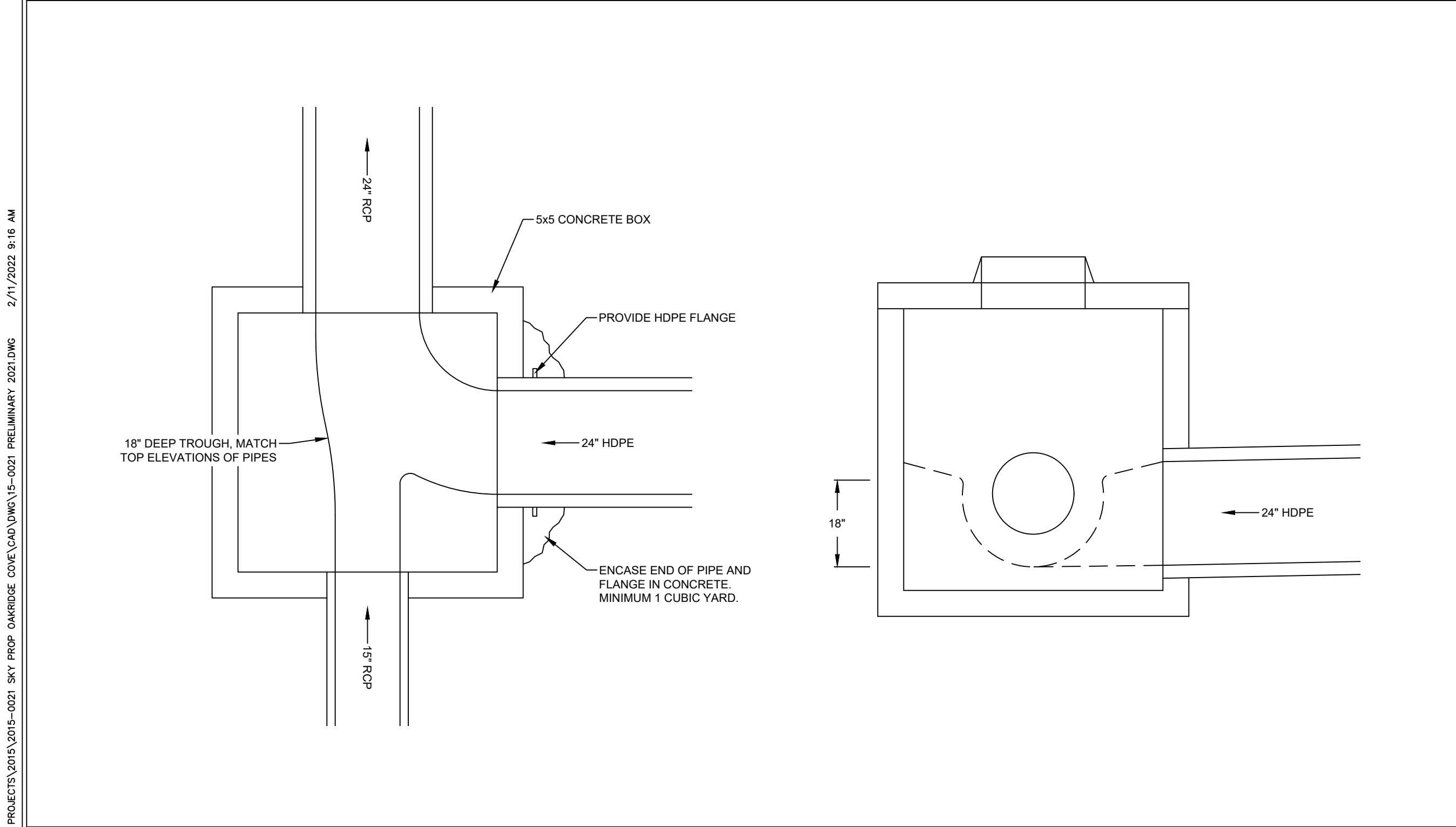
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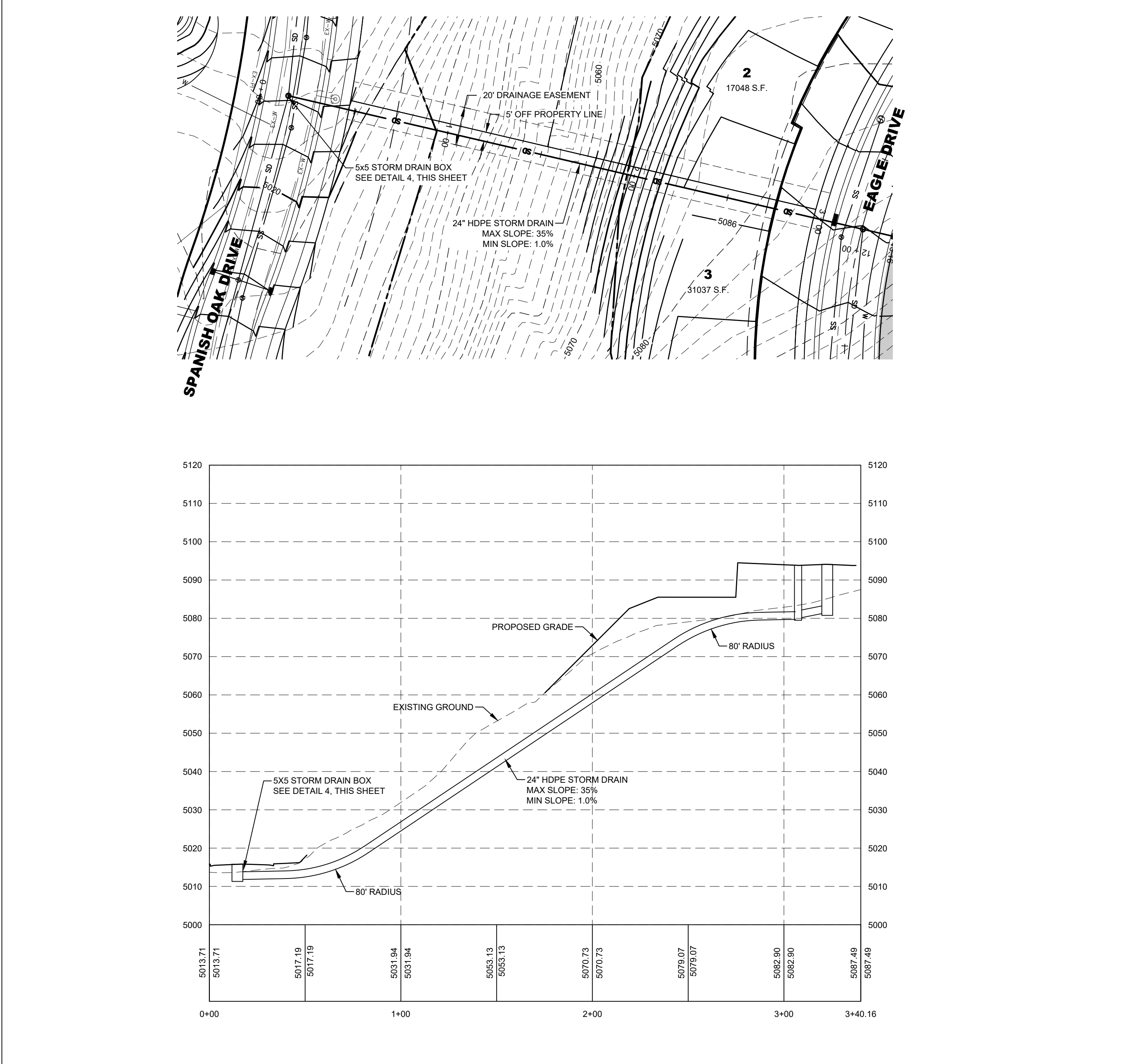
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ROAD CROSS SECTIONS



3

STORM DRAIN BOX DETAIL



2

STORM DRAIN LINE BETWEEN LOTS 2, 3 & 40

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SPANISH FORK, UTAH

DETAILS

REVISIONS	
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LEI PROJECT #:

2015-0021

DRAWN BY:

RWH

CHECKED BY:

GDM

SCALE:

1" = 30'

DATE:

01/11/2022

SHEET

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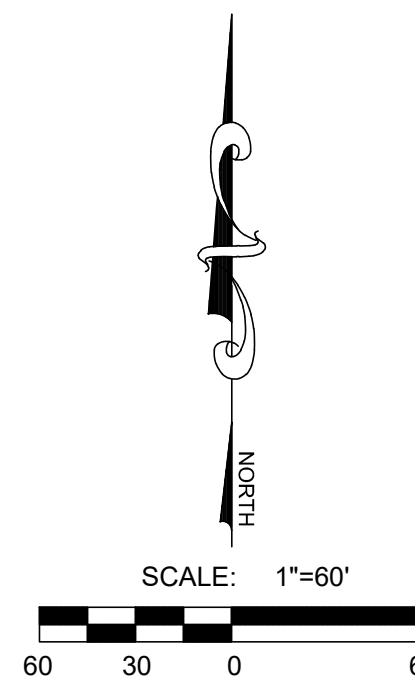
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OAKRIDGE COVE
SPANISH FORK, UTAH
POWER PLAN

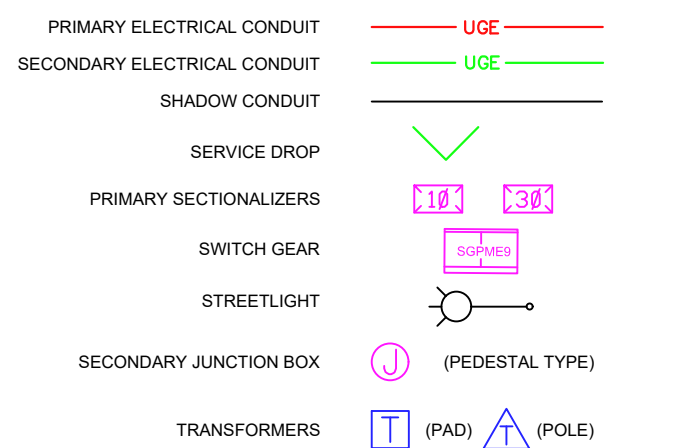
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LEI PROJECT #:
2015-0021
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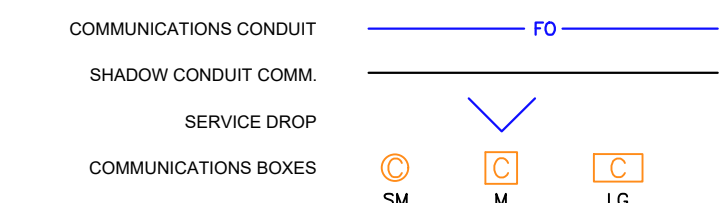


ELECTRICAL LEGEND



ELECTRIC NOTES:
1. CONDUIT FOR STREET LIGHTS SHALL BE 1" SCHEDULE 40 RIGID NONMETALLIC CONDUIT (RNC).
2. CONDUIT FOR SERVICE DROPS SHALL BE 2" (RNC).
3. CONDUIT FOR 1 PHASE AND SECONDARY CABLE SHALL BE 3" SCHEDULE 40 RIGID NONMETALLIC CONDUIT (RNC).
4. CONDUIT FOR 3 PHASE SHALL BE 6" SCHEDULE 40 RIGID NONMETALLIC CONDUIT (RNC).
5. LONG-RADIUS ELBOWS CONSTRUCTED OF EITHER RIGID METAL OR FIBERGLASS ARE REQUIRED FOR ANY ANGLE 45 DEG OR GREATER.
6. SECONDARY CABLE SHALL BE 40 KCMIL URD TYPE UNLESS OTHERWISE SPECIFIED.
7. SECONDARY 1 PHASE AND 3 PHASE TRANSFORMER CONDUITS SHALL BE AT A DEPTH OF 6' TO TOP OF CONDUIT.
8. 3 PHASE CONDUITS SHALL BE AT A DEPTH OF 6' TO TOP OF CONDUIT UNLESS OTHERWISE SPECIFIED.
9. SERVICE DROP CONDUIT SHALL BE AT A DEPTH OF 6' TO TOP OF CONDUIT.
10. STREET LIGHT CONDUCTORS SHALL BE #10 STR CU TYPE THIN.
11. STREET LIGHTS SHALL BE LED, 200 WATT PALS UNLESS OTHERWISE SPECIFIED.
12. (1) SHADOW CONDUIT SHALL BE REQUIRED AT EACH POWER ROAD CROSSING. CONDUIT SHALL BE THE SAME SIZE AND TYPE AS LARGEST POWER CONDUIT BEING INSTALLED.

COMMUNICATIONS LEGEND



SFCN NOTES:
1. CONDUIT FOR SERVICE DROPS SHALL BE 1" SCHEDULE 40 RIGID NONMETALLIC CONDUIT (RNC).
2. CONDUIT FOR SECONDARY RUNS SHALL BE 2" (RNC).
3. CONDUIT FOR MAIN RUNS SHALL BE 2" (RNC).
4. CONDUIT FOR FIBER OPTICS SHALL BE 3" (RNC) UNLESS OTHERWISE SPECIFIED.
5. LONG-RADIUS ELBOWS CONSTRUCTED OF EITHER RIGID METAL OR FIBERGLASS AREA REQUIRED FOR ANY ANGLE 45 DEG OR GREATER.
6. COMMUNICATIONS CONDUITS SHALL RUN BEHIND (FARTHEST FROM PROPERTY LINE) ELECTRICAL CONDUITS AND STUB UP BEHIND ELECTRICAL BOXES UNLESS OTHERWISE SPECIFIED.
7. (1) SHADOW CONDUIT SHALL BE REQUIRED AT EACH COMMUNICATION ROAD CROSSING. CONDUIT SHALL BE THE SAME SIZE AND TYPE AS LARGEST COMMUNICATION CONDUIT BEING INSTALLED.

GENERAL NOTES:

1. DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, EASEMENTS, AND RIGHTS-OF-WAY. DEVELOPER SHALL FOLLOW ALL OF SPANISH FORK CITY STANDARDS.
2. THIS MAP IS INTENDED FOR INFORMATIONAL PURPOSES ONLY. THIS MAP DOES NOT SHOW THE ACTUAL, AND EXACT LOCATION(S) OF ANY CONDUITS, BOXES, LIGHTS, OR OTHER APPARATUS. THESE ITEMS SHALL BE PLACED ACCORDING TO SPANISH FORK CITY STANDARDS, AND BY FIELD VERIFICATION.
3. ALL ITEMS SHOWN ON THIS SHEET SHALL BE REVIEWED AND APPROVED BY SPANISH FORK CITY POWER DEPARTMENT. LEI SHALL TAKE NO RESPONSIBILITY FOR THE DESIGN, APPROVAL, AND CONSTRUCTION OF SAID ITEMS.