



RIVERDALE CITY PLANNING COMMISSION AGENDA COMMUNITY CENTER – 4360 S. PARKER DR. TUESDAY – AUGUST 9, 2022

6:00 p.m. – Planning Commission Work Session Meeting (Conference Room)

The purpose of the work session is to review maps, plans, paperwork, etc. No motions or decisions will be considered during this session, which is open to the public.

Planning Commission Work Session Items - Planning Commission Training to be determined 6:30 p.m. – Planning Commission Meeting (Council Chambers)

A. Welcome & Roll Call

B. Public Comment

This is an opportunity to address the Planning Commission regarding your concerns or ideas. Please try to limit your comments to three minutes. No action will be taken during public comment.

C. <u>Presentations and Reports</u>

D. Consent Items

1. Consideration of Meeting Minutes from:

July 12, 2022 Work Session July 12, 2022 Regular Meeting

E. Action Items

- a. Public hearing to receive and consider comments regarding proposed updated roadway vacation petition for Cozy Dale Drive (1500 West), 4650 South, 4675 South, 4800 South, 1300 West, and 1350 West as located between approximately 4800 South and 4400 South, Riverdale, Utah, as requested by America First Federal Credit Union and AWA Engineering.
 - b. Consideration to forward a recommendation to the City Council regarding proposed roadway vacation petition for Cozy Dale Drive (1500 West), 4650 South, 4675 South, 4800 South, 1300 West, and 1350 West as located between approximately 4800 South and 4400 South, Riverdale, Utah, 84405 as requested by America First Federal Credit Union and AWA Engineering.
- Consideration to recommend City Council approval of the Final Site Plan for Shake Shack Riverdale, located at approximately 4142 South Riverdale Road, Riverdale, Utah 84405, as requested by Shake Shack and McNeil Engineering.
- 3. Consideration to recommend City Council approval of the Final Site Plan for Riverdale Townhomes residential project, located at approximately 4086 South 300 West, Riverdale, Utah 84405, as requested by Riverdale Center North, LLC and AWA Engineering.

Items presented by: Mike Eggett, Community Development

F. <u>Comments</u>

- 1. Planning Commission
- 2. City Staff

G. Adjournment

In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Offices (801) 394-5541 at least 48 hours in advance of the meeting.

Certificate of Posting

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Riverdale City limits on this 5th day of August, 2022 at the following locations: 1) Riverdale City Hall Noticing Board 2) the City website at http://www.riverdalecity.com/ 3) the Public Notice Website: http://www.utah.gov/pmn/index.html and 4) A copy was also provided to the Standard-Examiner.

Michelle Marigoni

Michelle Marigoni Riverdale City Recorder



Planning Commission Work Session, July 12, 2022

Minutes of the **Work Session** of the Riverdale City **Planning Commission** held Tuesday July 12, 2022, at 6:00 p.m., at the Community Center, 4360 S Parker Dr., Riverdale City, Weber County, Utah.

Present: Commissioners: Robert Wingfield, Vice Chairman

Blair Jones, Commissioner Rikard Hermann, Commissioner Wanda Ney, Commissioner Kent Anderson, Commissioner

City Employees: Mike Eggett, Community Development

Michelle Marigoni, City Recorder

Excused: Kathy Eskelsen, Chairman

Amy Ann Spiers, Commissioner

A. Welcome & Roll Call

The Planning Commission Work Session began at 6:03 p.m. Vice Chairman Wingfield welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present except Chair Eskelsen and Commissioner Spiers, who were excused, and Commissioners Anderson and Jones who were expected to be late. Mr. Anderson arrived at 6:11 pm and Mr. Jones arrived at 6:16 pm.

B. Public Comment

Vice Chair Wingfield asked if anyone knew of any public comments.

C. Presentations and Reports

Vice Chair Wingfield turned the time over to Mr. Eggett, who reported the following:

- Chick-Fil-A will be closing July 22 for 3-4 months for remodel
- Take 5 is currently building
- Cheddar's is still working on right-of-way access
- Possible tenant for Sweeto Burrito building
- West Bench RDA Development Agreement was approved at City Council 7/5
- Bach Homes Development Agreement was approved at City Council 7/5
- Rezone on 700 West will be before City Council 7/19
- Parker Drive rezone was tabled 7/5 at City Council
- Truth in Taxation public hearing on August 16th
- Sierra Trading Post and Home Goods are moving into the old Gordman's building.

D. Consent Items

Consideration of Meeting Minutes from June 28, 2022 Work Session and June 28, 2022 Regular Meeting.
 Vice Chair Wingfield asked if there were any changes to the minutes from the meetings. There were no changes.

E. Action Items

- 1. Consideration of Conditional Use Permit request for new shared Shopping Center Sign use located at approximately 5091 South 1050 West, as requested by YESCO, LLC.
 - Mr. Eggett explained this is a newer requirement in the sign ordinance. Approval will be sent to City Council for further approval. Target is looking to install a taller sign for better visibility from I-84.
- a. Review and discussion of adjusted proposed roadway vacation petition for rights-of-way areas along Cozy
 Dale Drive (1500 West) between 4800 South and 4400 South, as requested by America First Federal Credit
 Union and AWA Engineering.
 - b. Consideration to set Public Hearing for adjusted proposed roadway vacation petition for rights-of-way areas along Cozy Dale Drive (1500 West) between 4800 South and 4400 South, as requested by America First Federal Credit Union and AWA Engineering.
 - Mr. Eggett explained this was the addition of 4800 South to the previous vacation. The old 4800 S will be vacated, and a new 4800 S will be built and dedicated. A public hearing is required.

- 3. Consideration to approve changes to and recommend City Council approval of the AFCU Corporate Campus Subdivision, property located at approximately 4624 South 1500 West (Cozy Dale Drive), Riverdale Utah 84405, as requested by America First Federal Credit Union and AWA Engineering.
 - Mr. Eggett said this is an approval of minor changes before recommending to City Council.
- 4. Consideration to approve Preliminary Site Plan for Shake Shack Riverdale, located at approximately 4142 South Riverdale Road, Riverdale, Utah 84405, as requested by Shake Shack and McNeil Engineering.
 - Mr. Eggett went over the executive summary and site plan review document and noted Shake Shack is being represented by Ted D??? with McNeil Engineering.
 - Mr. Hermann asked if this would tie into the property where Raising Cane's is located. Mr. Eggett explained it is in the plans, but it depends on what happens with the old John Paras building.

Items presented by: Mike Eggett, Community Development

F.	Comments

G.	Adjournment As there was no further business to discuss, the Planning Commission Work Session meeting adjourned at 6:25 pm
	Date Approved:



Planning Commission Regular Session, July 12, 2022

Minutes of the **Regular Session** of the Riverdale City **Planning Commission** held Tuesday, July 12, 2022, at 6:30 p.m., at the Community Center, 4360 S Parker Dr., Riverdale City, Weber County, Utah.

Present: Commissioners:

Robert Wingfield, Vice Chairman Blair Jones, Commissioner Rikard Hermann, Commissioner Wanda Ney, Commissioner Kent Anderson, Commissioner

City Employees: Mike Eggett, Community Development

Michelle Marigoni, City Recorder

Excused: Kathy Eskelsen, Chairman

Amy Ann Spiers, Commissioner

Visitors: Jeff Grant

Natalie Nichols Tim Snideman Ted Didas

A. Welcome & Roll Call

The Planning Commission Meeting began at 6:30 p.m. Vice Chair Wingfield welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present except Chairman Eskelsen and Commissioner Spiers, who were excused.

B. Public Comment

Vice Chair Wingfield asked if any public were present with comments. There was no public comment.

C. Presentations and Reports

Vice Chair Wingfield turned the time over to Mr. Eggett, who reported the following:

- Chick-Fil-A will be closing July 22 for 3-4 months for remodel
- Take 5 is currently building
- Cheddar's is still working on right-of-way access
- Possible tenant for Sweeto Burrito building
- West Bench RDA Development Agreement was approved at City Council 7/5
- Bach Homes Development Agreement was approved at City Council 7/5
- Rezone on 700 West will be before City Council 7/19
- Parker Drive rezone was tabled 7/5 at City Council
- Truth in Taxation public hearing on August 16th
- Sierra Trading Post and Home Goods are moving into the old Gordman's building.

D. Consent Items

Consideration of Meeting Minutes from June 28, 2022 Work Session and June 28, 2022 Regular Meeting.

Chairman Eskelsen asked if there were any changes to the minutes. There were no changes. Commissioner Hermann moved to approve the minutes; Commissioner Ney seconded the motion, and all were in favor.

E. Action Items

1. Consideration of Conditional Use Permit request for new shared Shopping Center Sign use located at approximately 5091 South 1050 West, as requested by YESCO, LLC.

Mr. Eggett explained this is a request to change the sign to 54' which is under the 60' maximum, in order to create better visibility. The Planning Commission will review and recommend to City Council.

Motion: Commissioner Anderson moved to approve and recommend a favorable action to City Council for the Conditional Use Permit request.

Second: Commissioner Hermann

Roll Call Vote:

Commissioner Ney: Yes
Commissioner Wingfield: Yes
Commissioner Hermann: Yes
Commissioner Jones: Yes
Commissioner Eskelsen: Excused
Commissioner Anderson: Yes
Commissioner Spiers: Excused

- a. Review and discussion of adjusted proposed roadway vacation petition for rights-of-way areas along Cozy
 Dale Drive (1500 West) between 4800 South and 4400 South, as requested by America First Federal Credit
 Union and AWA Engineering.
 - b. Consideration to set Public Hearing for adjusted proposed roadway vacation petition for rights-of-way areas along Cozy Dale Drive (1500 West) between 4800 South and 4400 South, as requested by America First Federal Credit Union and AWA Engineering.

Mr. Eggett noted this change is to add the 4800 South vacation to the overall project. The old 4800 South road will be vacated and a new 4800 South will be built and dedicated. Public hearing is required for this change. There will be no meeting on July 26th, so the next available date for public hearing will be August 9th.

Motion: Commissioner Hermann moved to set the public hearing for August 9th, 2022.

Second: Commissioner Anderson

Roll Call Vote:

Commissioner Wingfield: Yes
Commissioner Spiers: Excused
Commissioner Hermann: Yes
Commissioner Ney: Yes
Commissioner Anderson: Yes
Commissioner Jones: Yes
Commissioner Eskelsen: Excused

 Consideration to approve changes to and recommend City Council approval of the AFCU Corporate Campus Subdivision, property located at approximately 4624 South 1500 West (Cozy Dale Drive), Riverdale Utah 84405, as requested by America First Federal Credit Union and AWA Engineering.

Mr. Eggett went over the executive summary, noting this is an approval of minor changes before recommending to City Council.

Motion: Commissioner Hermann moved to approve changes and recommend approval to City Council provided all staff comments are addressed.

Second: Commissioner Ney

Roll Call Vote:

Commissioner Jones: Yes
Commissioner Eskelsen: Excused
Commissioner Spiers: Excused
Commissioner Ney: Yes
Commissioner Wingfield: Yes
Commissioner Hermann: Yes
Commissioner Anderson: Yes

4. Consideration to approve Preliminary Site Plan for Shake Shack Riverdale, located at approximately 4142 South Riverdale Road, Riverdale, Utah 84405, as requested by Shake Shack and McNeil Engineering.

Mr. Eggettt noted Ted Didas from McNeil Engineering was present to represent Shake Shack and that the Planning Commission is the approving body for this preliminary site plan. He went over the executive summary and site plan comments, as well as staff and engineering concerns, as provided in the packet.

Commissioner Ney asked Mr. Didas to tell commissioners about the business. Mr. Didas gave a brief history of Shake Shack, noting they started in New York City as a street cart, and they specialize in burgers and shakes. There are two other stores in Utah, and this will be the first Shake Shack with a drive through. There will also be seating inside and outdoor patio seating.

Motion: Commissioner Anderson moved to approve the preliminary site plan for Shake Shack Riverdale, provided staff and engineering concerns are addressed.

Second: Commissioner Ney

Discussion on motion:

Roll Call (or verbal) Vote:

Commissioner Anderson: Yes
Commissioner Hermann: Yes
Commissioner Eskelsen: Excused
Commissioner Spiers: Excused
Commissioner Wingfield: Yes
Commissioner Ney: Yes
Commissioner Jones: Yes

F. Comments

Mr. Eggett thanked commissioners for being flexible and changing plans to make sure a quorum was present.

G. Adjournment

As there was no further business to discuss, Commissioner Ney moved to adjourn. This was seconded by Commissioner Hermann and the Planning Commission meeting adjourned at 6:57 p.m.

Date Approved:		

RIVERDALE CITY PLANNING COMMISSION AGENDA August 9, 2022

AGENDA ITEM: E1

SUBJECT: Consideration to forward a recommendation to the City Council regarding

proposed roadway vacation petition for Cozy Dale Drive (1500 West), 4650 South, 4675 South, 4800 South, 1300 West, and 1350 West as located between approximately 4800 South and 4400 South, Riverdale, Utah, 84405 as requested by America First Federal Credit Union and AWA Engineering.

PRESENTER: Mike Eggett, Community Development

INFORMATION: a. Exec Summ AFCU Update Vacate Plat – PC [20220809]

b. Dept Staff Reports – AFCU Update Vacate Plat – PC [20220804]

c. City Eng Review #2 AFCU Cozydale Vacation Plat, Recommend

d. [20220803] Minutes – PC May 10, 2022 for previous review of this item

BACK TO AGENDA



Planning Commission Executive Summary

For the Commission meeting on: 8-9-2022

Petitioner: America First Credit Union represented by Natalie Nichols and Jake Tate (AWA Engineering)

Summary of Proposed Action

America First Federal Credit Union, as represented by Natalie Nichols and Jake Tate with AWA Engineering, have submitted the updated Cozy Dale Drive Vacation Plat documentation for the vacation of the existing Cozy Dale Drive (1500 West) right-of-way, 4800 South right-of-way, 4600 South right-of-way, 4650 South right-of-way, 1300 West right-of-way, and 1350 West right-of-way areas. The rights-of-way/roadways are all currently located within the AFCU campus area between 4400 South and 4800 South.

On May 10, 2022, there was a previous public hearing regarding the previous vacation plat request. Following the public hearing, the Planning Commission discussed the proposed original vacation plat. At the conclusion of the discussion in the matter, the Planning Commission recommended City Council approval of the proposed vacation plat.

However, since that time, there has now been a further review of right-of-way areas that need vacation and there was a realization that the 4800 South right-of-way also needed to be vacated. Therefore, this was added to the updated vacation plat that is now before the Planning Commission for a public hearing and recommendation review consideration thereafter.

Due to the fact that this request involves public property change considerations, a public hearing is required to consider this updated vacation plat proposal to allow the public time to provide commentary regarding this request.

Following the presentation and discussion of the proposal, the Planning Commission may make a motion to approve and then provide a recommendation to City Council for final approval of the updated Cozy Dale Drive Vacation Plat proposal, approval with any requested modifications, tabling the matter to a later date, or not approving and recommending approval of the updated vacation plat proposal. If a recommendation for approval is provided, then this matter could move forward for final updated vacation plat proposal consideration with the City Council.

Title 10 Ordinance Guidelines (Code Reference)

This Final Subdivision and Site Plan review is regulated under City Code 10-21 "Subdivisions", 10-25 "Development in All Zones" and is affected by City Codes 10-10A "Commercial Zones (C-1, C-2, C-3)", 10-14 "Regulations Applicable to All Zones"; Roadway Vacation is guided by UCA 10-9a-609.5.

The rights-of-way proposed for vacation are all currently dedicated roadways for Riverdale City and the community. The rights-of-way are located in M-1 zoned areas.

Attached following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The Planning Commission should discuss any concerns raised by

these summaries.		
Staff would recommend that the Planning Commission make a motion to pro Council for final approval of the updated Cozy Dale Drive Vacation Plat propose modifications, tabling the matter to a later date, or not recommending approva proposal. If a recommendation for approval is provided, then this matter could vacation plat proposal consideration with the City Council.	al, approval with any requested val of the updated vacation plat	
General Plan Guidance (Section Reference	-)	
The General Plan use for this area is currently set as "Special Use District – Light Industrial/Business Park" and this proposed project would comply with this land use.		
Legal Comments – City Attorney		
	Steve Brooks, Attorney	
Administrative Comments – City Administrato	or	

Steve Brooks, City Administrator

DEPARTMENTAL STAFF REPORTS - 5/18/2022 to 8/4/2022

From: Shawn Douglas

Sent:

To: Mike Eggett

Subject: AFCU Vacation

Plan Review For AFCU Vacation Plat

No comments or concerns noted.

Shawn Douglas

Riverdale City Public Works 801-394-5541 ext 1217

Sdouglas@Riverdalecity.com

From: Scott Brenkman

Sent: Wed 5/18/2022 5:01 PM

To: Mike Eggett

Subject: RE: Updated Final PC Review Comments Needed - AFCU Ops Center Site Plan and AFCU Subdiv

[pt 1]

I don't have concerns at this time.

Chief Scott Brenkman
Riverdale Police Department
4580 S. Weber River Dr.
Riverdale, UT 84405
(801)394-6616

sbrenkman@riverdalecity.com

From: Jared Sholly

Sent: Thu 8/4/2022 9:21 AM

To: Mike Eggett **CC:** Randy Koger

Subject: RE: !REMINDER - RE: Updated Vacation Plat docs for PC Mtg

We also went through these plans and have no additional recommendations.

Jared Sholly
Fire Chief
Riverdale City Fire Department

Cell: 801-628-6562 Office: 801-394-7481

From: Randy Koger

Sent: Thu 8/4/2022 7:04 AM

To: Mike Eggett **CC:** Jared Sholly

Subject: RE: !REMINDER - RE: Updated Vacation Plat docs for PC Mtg

I'm okay with it if you are.

Fire Marshal/Code Enforcement Officer

fanoly S. Kagev

Riverdale City 801-436-1241

From: Mike Eggett **To:** Planning Commission **Subject:** AFCU Vacation

I have no comments or concerns to address with this vacation plat proposal. I would only defer to the City Engineer on any concerns he may otherwise note or changes needed on this proposed vacation plat.

Michael Eggett, MPA

Community Dev Director/RDA Deputy Exec Director

4600 So. Weber River Drive

Riverdale, Utah 84405

Office: 801-394-5541, ext. 1215

Cell: 801-941-7005

Email: meggett@riverdalecity.com
Website: http://riverdalecity.com
Riverdale



5141 South 1500 West Riverdale City, Utah 84405 801-866-0550

3 August 2022

Riverdale City 4600 South Weber River Drive Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director

Proj: AFCU Master Campus

Subj: Cozy Dale Vacation Plat - Review #2 – Approval recommendation

Dear Mike,

I have completed the review of the Cozy Dale Vacation Plat. With the few items listed below addressed, I will herewith recommend approval of the Cozy Dale Vacation Plat.

- 1. The dates under the titles on all the sheets should include the "month" and the year not just the year.
- 2. The "Utility Easement Note" took care of access to utilities until the new public right of way is established but it needs to include public access to the roads being vacated.
- 3. Please forward an <u>electronic copy</u> of the Vacation plat to our office for record keeping upon design completion.

Should you have any questions or concerns please contact me at your earliest convenience.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.

R Tool Freeman

R. Todd Freeman, S.E., P.E.

City Engineer

Cc. Shawn Douglas, Public Works Director



Planning Commission Regular Session, May 10, 2022

Minutes of the **Regular Session** of the Riverdale City **Planning Commission** held Tuesday, May 10, 2022, at 6:30 p.m., at the Civic Center, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

Present: Commissioners: Kathy Eskelsen, Chairman

Robert Wingfield, Vice Chairman Blair Jones, Commissioner Amy Ann Spiers, Commissioner Wanda Ney, Commissioner Rikard Hermann, Commissioner

City Employees: Mike Eggett, Community Development

Steve Brooks, City Administrator and Attorney

Michelle Marigoni, City Recorder

Excused: Kent Anderson, Commissioner

Visitors: Braden Mitchell

Steve Hilton Laura Hilton Tammy Donohoo Lynn Donohoo Tim Sniderman Ted Heap Natalie Nichols Kim Choate

A. Welcome & Roll Call

The Planning Commission Meeting began at 6:35 p.m. Chairman Eskelsen welcomed everyone to the meeting and stated for the record that members of the Planning Commission were present.

B. Public Comment

Chairman Eskelsen asked if there were any public comments.

C. <u>Presentations and Reports</u>

Mrs. Eskelsen turned the time over to Mr. Eggett, who reported the following:

- Farmers Building being demolished for a new Shake Shack
- Maverik is moving along and is anticipated to open around August
- Hillside at Riverdale Subdivision submitted, will be at PC for review in two weeks
- Townhomes behind Bed, Bath & Beyond submitted
- Resubmittal of site plan for AFCU Ops building
- West Bench RDA Project is still being worked on as far as details

D. Consent Items

 Consideration of Meeting Minutes from April 26, 2022 Work Session and April 26, 2022 Regular Meeting.

Mrs. Eskelsen asked if there were any changes to the minutes. There were no changes. Commissioner Spiers moved to approve the minutes; Commissioner Ney seconded the motion, and all were in favor.

E. Action Items

1a. Public hearing to receive and consider comments regarding proposed roadway vacation petition for Cozy Dale Drive (1500 West), 4650 South, 4675 South, 1300 West, and 1350 West as located between approximately 4800 South and 4400 South, Riverdale, Utah, as requested by America First Federal Credit Union and AWA Engineering.

Discussion: Mr. Eggett went over the executive summary and noted all required noticing had been completed for the public hearing and that all documentation is in the packet. Two inquiries were received regarding the vacation: one from a neighboring property owner and one from Rocky Mountain Power. All questions were answered, and an explanation of the vacation was given.

Motion: Commissioner Hermann moved to open the public hearing.

Second: Commissioner Spiers

All in favor.

Public Comment: There was no public comment regarding this item.

Motion: Commissioner Spiers moved to close the public hearing.

Second: Commissioner Hermann

All in favor.

1b. Consideration to forward a recommendation to the City Council regarding proposed roadway vacation petition for Cozy Dale Drive (1500 West), 4650 South, 4675 South, 1300 West, and 1350 West as located between approximately 4800 South and 4400 South, Riverdale, Utah, 84405 as requested by America First Federal Credit Union and AWA Engineering.

Discussion: Mr. Hermann asked about the utilities. Natalie Nichols approached the podium and Mr. Hermann said it seems early in the process for the road to be vacated. Is the plan for the road to be vacated before the subdivision starts? Will the new road be finished, and utilities moved before the old road is vacated?

Natalie: The utilities will remain public for the time being on the old road. Some of the buildings on the campus will be going where the current road is. As new building come up, the utilities will be rerouted. For the time being, the existing data center will be used, and the utilities will remain.

Mr. Eggett clarified that another vacation will be completed later for the utilities. Ms. Nichols stated this was correct.

The roads are being vacated but the utilities are not being moved at this time. The masterplan has a master utilities design, so the new road does not need to be cut into. The transition between phases will allow the utilities to remain until they need to be moved.

Mr. Jones asked when they are planning on building the new road. Natalie said it is one of the first things that will be completed, as it will be the entrance to the campus.

Mr. Jones asked if there has been any feedback from the utility companies. Natalie said they have heard from some of them, but none had any issues with it.

Mrs. Ney asked about the size of the roads and the number of roundabouts. Kim Choate said it will be a four-lane road, two lanes each with a center turn lane. One new roundabout is proposed at approximately 4800 South. Kim stated they would like to start construction on the road in July of this year.

Ms. Ney clarified that the old road will be left, and a new gate will be added to keep people out of the property. Ms. Nichols said a temporary road will be created during construction. Ms. Choate stated there will still be a way to get from 4400 to Riverdale Road during construction.

Motion: Commissioner Spiers moved to forward a favorable recommendation to the City Council for the vacation of Cozy Dale Drive and other included roads, so long as any staff and engineering recommendations are addressed.

Second: Commissioner Ney

Roll call vote:

Commissioner Anderson: Excused
Commissioner Spiers: Yes
Commissioner Hermann: Yes
Commissioner Wingfield: Yes
Commissioner Ney: Yes
Commissioner Jones: Yes
Commissioner Eskelsen: Yes

2a. Public hearing to receive and consider comments regarding proposed rezone request from Agricultural (A-1) Zoning to Single-Family Residential (R-1-4.5) Zoning for property located at approximately 3450 South Parker Drive, Riverdale, Utah, as requested by Hugh Parke.

Discussion: Mr. Eggett went over the executive summary and noted the surrounding zones. The property is currently vacant. The general plan recommendation is agricultural. All public hearing requirements have been completed and the documentation is in the packet.

Motion: Commissioner Spiers moved to open the public hearing.

Second: Commissioner Hermann.

All in favor, public hearing open.

Public Comment:

Tammy Donohoo, a resident of Riverdale, said the agricultural piece is in her backyard. She said the proposed zoning would devalue her property, more homes will put more weight on the school system, and she doesn't know if a road study has been done. She does not want a lesser value home behind hers.

Steve Hilton said he is impressed with the Planning Commission and their questions on the last item. He said he is here as only a resident. When he moved in, the proposed property was spongy and a flood area. The city assured him when he moved in that they wanted the property to be an extension of the river trail. The city was essentially forced by the state to allow the storage sheds. The city asserted at that time that the property should be a park and should remain A-1. The R-1-4.5 is the worst zoning for this area, he hopes it would stay agricultural, but if rezoned it should be R-1-8. It would be a shame to downgrade one of the nicest areas in the city.

Braden Mitchell stated he is only a citizen tonight and has no voting rights. He said he's grateful for the planning commissioners and the time they put in for the city. He read from the city website "The Planning Commission has a greater opportunity to affect community change than any other public agency". He echoed what Mr. Hilton said, and said the city usually goes with the general plan. He said this is nothing personal against the development, but that residents are concerned. Referring to page 38 of the packet, he said the petitioner must give a reason for the rezone request. The petitioner answered the application that it is an "eyesore", and Mr. Mitchell said the residents disagree.

The general plan states the recommendation for other use is for low-density housing. Title 10 explains R-1-10,8, and 6 are low density. R-1-4.5 is explained as moderate density. He feels this shows it's not the best fit for that property, he would like to see a park or something along that line, but if it is developed it should be larger lots. R-1-8 is a better match to the surrounding properties. He again thanked the planning commission for all they do.

Motion: Commissioner Ney moved to close the public hearing.

Second: Commissioner Hermann All in favor, public hearing closed.

2b. Consideration to forward a recommendation to the City Council regarding proposed rezone request from Agricultural (A-1) Zoning to Single-Family Residential (R-1-4.5) Zoning for property located at approximately 3450 South Parker Drive, Riverdale, Utah, 84405 as requested by Hugh Parke.

Discussion: Hugh Parke approached the podium and thanked the public for their comments. He said he has enjoyed working with Riverdale city and has brought some great residents to the city. We are in challenging times right now and he is aware there is a lot of history with this property. He said they are cognizant of that and sensitive to it.

R-1-4.5 is a minimum of 4500 square feet, the lots are going to be narrow but deep and closer to 5000 square feet. The homes will be slab-on-grade and there are no longer flood issues in the area to be built. He feels like, through engineering, that they have a really good plan.

4.5 because he doesn't think townhomes are a good fit for the area, and this would be a transition from commercial to residential. The general plan housing goals and objectives say sustain a mix of housing types so moderate-income housing is integrated but not concentrated in one area.

The other developments they have completed, including Panunzio farms, are nice homes with brick, rock, and nice materials.

Mr. Jones asked about the wetlands. He said in the past, some developments were allowed to move the wetlands. Mr. Parke said a study was done

Mrs. Spiers asked if there was documentation from the Army Corps of Engineers. Mr. Parke said he has it and that the property was changed due to some pipes causing the wetlands, not the natural landscape. The wetlands have been defined as about a quarter acre of space. The development will not touch the areas of wetlands.

Mrs. Ney asked who will maintain the area that is a wetland. Mr. Parke said it is just natural ground, so it will be left natural, possibly cleaned up, and they may add a trail connecting to the river trail and a small gazebo or pergola.

Mrs. Spiers said she is a resident of Riverglen, a planning commissioner, and a real estate agent. She asked why they can't build something which is more in line with what Riverglen is, as larger homes are selling just as well as smaller ones. She asked about the price points for the homes.

Mr. Parke said they are looking at \$450,000 to \$500,000. Mrs. Spiers said that would crush the values of the Riverglen homes. He said he should not have used the word "eyesore". She asked if he was not willing to look at a different zoning and larger

homes. He said they operate very cautiously, and don't want to pretend the market is going to stay how it is indefinitely. They would like to stay with the 4.5 zone.

Mr. Jones asked if this zone was requested with the intent to gain more lots. Mr. Parke confirmed.

Mrs. Spiers said many residents were not in favor of the storage sheds, as the elevation is different, and it caused flooding to the Riverglen homes. She said the development will have another elevation which will cause more water to drain to Riverglen. Mr. Parke said no topographical surveys or engineering have been done yet, but that he has observed it comes to a high point in the middle. He said the new road will have a negative support to the river, which should help the drainage. The water should be able to drain the same as the existing subdivisions. The new homes will not be higher than Riverglen but should be about the same elevation.

Mrs. Spiers asked about the standing water. Mr. Parke said the homes will not be anywhere near the water, but that they will be built on helical piers, so the groundwater should not be an issue.

Mr. Hermann said the reason for the request is currently only that it is an "eyesore", and asked without that word, what would be the reason for the request. Mr. Parke said what he meant was that some residents had been concerned about some activities on that property.

Mr. Hermann asked Mr. Eggett to give a history of the property. He said the wetland and floodplain were the first issue. Fill dirt started showing up, and the property owner was ordered to cease and desist. This caused issues between the city and the property owner. The fill impacted the floodplain, as it was not done properly and was not the correct type of soil. Due to the helical pier construction, the fill dirt would not need to be removed.

Mr. Hermann asked if all proposals would satisfy the issues from the past. Mr. Parke said they dug test holes, found clean fill, and that it was amenable to do the construction. The city's engineer and developer's engineer worked together to test and find the best way to put the road in, taking into consideration concerns from Public Works. Their structural engineer suggested the helical piers. He said the city has been dealing with this property for years.

Mr. Hermann asked about water retention, as it has been a concern in other subdivisions. He asked if it meets the city requirements. Mr. Parke said more retention is being required by the state right now due to the drought, and it would be able to be retained in the same place as Riverglen. He said the design has not been completed yet, so there are not full details regarding future flood issues. This would be included in future plat maps.

Mr. Jones asked if the size of the retention basin would need to be increased. Mr. Parke said it would be determined by the engineers in the design. The civil design process would begin after the rezone. Mr. Jones asked if anything would need to be submitted to FEMA. Mr. Parke said there are no requirements, and the only areas which cannot be developed are not part of the plan other than to be open space.

Mr, Parke said they have done a large amount of research and consulting with many types of engineers.

Motion: Commissioner Spiers moved to table this until they have more information about the water and elevation and site impacts.

Second: Commissioner Jones

Roll call vote:

Commissioner Jones: Yes
Commissioner Ney: Yes
Commissioner Spiers: Yes
Commissioner Eskelsen: Yes
Commissioner Hermann: Yes
Commissioner Wingfield: Yes
Commissioner Anderson: Excused

Motion passes, item tabled.

F. Comments

G. Adjournment

As there was no further business to discuss, Commissioner Jones moved to adjourn. This was seconded by Commissioner Wingfield. The Planning Commission meeting adjourned at 7:43 p.m.

Planning Commission Regular Session, May 10, 2022

Kathy Eskelsen	Michelle Marigoni
Planning Commission Chair	City Recorder
Data Approved: 5/24/2022	
Date Approved:	

RIVERDALE CITY PLANNING COMMISSION AGENDA

August 9, 2022

AGENDA ITEM: E2

SUBJECT: Consideration to recommend City Council approval of the Final Site Plan for

Shake Shack Riverdale, located at approximately 4142 South Riverdale Road, Riverdale, Utah 84405, as requested by Shake Shack and McNeil Engineering.

PRESENTER: Mike Eggett, Community Development

INFORMATION: a. Exec Summ Shake Shack Final Site Plan PC [20220809]

b. Shake Shack Final Site Plan Review – 20220804

c. Dept Staff Reports – Shake Shack Final Site Plan PC [20220804]

d. City Eng Shake Shack review #2 – 4 August 2022

e. Shake Shack Update App – 20220628

f. 22180 – Shake Shack – Riverdale

g. Shake Shack Riverdale Landscape 2022-7-21

h. 01-0013-2022 – Shake Shack – Riverdale, UT – Site Review Set

i. 061322 SS Riverdale Road – Elevations 061322

BACK TO AGENDA



Planning Commission Executive Summary

For the Commission meeting on: 8-9-2022

Petitioner: Shake Shack and McNeil Engineering represented by Ted Didas

Summary of Proposed Action

Shake Shack, as represented by Ted Didas with McNeil Engineering, have submitted updated Final Site Plan documentation for a restaurant site with drive thru services for real estate located at approximately 4142 South Riverdale Road (on the Farmer's Insurance building lot site). The affected parcel is zoned in the Community Commercial (C-2) zone, which requires a conditional use permit approval for requested development uses in this zone. H&P Investments has previously received a conditional use permit approval from the Planning Commission for this use (back on April 26, 2022). The property is currently owned by H&P Investments, LLC. A public hearing is not required to consider this site plan proposal.

As it relates to the Final Site Plan proposal, following the presentation and discussion of the proposal, the Planning Commission may make a motion to recommend Council approval of the proposed Shake Shack - Riverdale Final Site Plan, approval of the proposed final site plan with any requested modifications, tabling the matter to a later date, or not recommending approval for the proposed final site plan with the appropriate findings of facts. If recommendation to Council is provided, then this matter could move forward to a future final site plan consideration process with the City Council.

Title 10 Ordinance Guidelines (Code Reference)

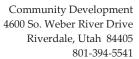
This Final Subdivision and Site Plan review is regulated under City Code 10-21 "Subdivisions", 10-25 "Development in All Zones" and is affected by City Codes 10-10A "Commercial Zones (C-1, C-2, C-3)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".

The proposed development parcel is located west of Riverdale Road on property currently owned by H&P Investments, LLC. The property is located in a C-2 zoned area and the requested use of regional restaurant is a conditional use in this zone. As stated above, the property owner has secured a conditional use permit approval for this use on this property.

Attached with this executive summary is a document entitled "Preliminary Site Plan Review: Shake Shack — Riverdale"; this is a supplementary document addressing items on the Preliminary Site Plan application documents. Also attached, following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The Planning Commission should discuss any concerns raised by these summaries.

Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission make a motion to recommend Council approval of the proposed Shake Shack - Riverdale Final Site Plan, approval of the proposed final site plan with any requested modifications, tabling the matter to a later date, or not recommending approval for the proposed final site plan with the appropriate findings of facts. If recommendation to Council is provided, then this matter could move forward to a future final site plan

consideration process with the City Council.		
General Plan Guidance (Section Reference)	
The General Plan use for this area is currently set as "Planned Commercial - I would comply with this land use.	High" and this proposed project	
Legal Comments – City Attorney		
	Steve Brooks, Attorney	
Administrative Comments – City Administrator		
	Steve Brooks, City Administrator	





Preliminary Site Plan Review: Shake Shack - Riverdale, 4142 South Riverdale Road

Completed by Mike Eggett, Community Dev. Director on 7/5-6/2022 and 8/4/2022

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this proposed final site plan review. Items of consideration or note (if any) have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to recommend Council approval of the final site plan or not recommend approval of the proposed Shake Shack final site plan with any additional comments, requirements or concerns to be addressed by the developer.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	June 22, 2022 and July 21, 2022
Date Application Submitted to City:	June 22, 2022
Date Fee Paid:	June 28, 2022 (see receipt for detail)
Site Plan – Preliminary Requirements	Departmental Review Comments
COVER SHEET	Provided
<u>Title Block</u>	
Project name and address	Project name and address location shown
Property Owner's name, address, and phone number	H&P Investments, LLC., 892 West Riverdale Road, Riverdale, UT 84405 Contact: Kord Cutrubus, 801-627-1300; correct owner information not shown on cover sheet, this needs to be updated
Property Developer's name, address, and phone number	Shown on cover page: Shake Shack, 225 Varick Street, Suite 301, New York, NY 10014; Contact: Justin Dehner, 206-580-3835
Approving agency's name and address: Utility companies if applicable	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405 (This STILL needs to be added to cover sheet); other utility agencies name and contact info not provided, where applicable
Consulting Engineer's name, address, and phone number	McNeil Engineering, 8610 South Sandy Parkway, Suite 200, Sandy, Utah 84070, 801-255-7700
Licensed Land Surveyor's name, address, phone number, signature, and seal	McNeil Engineering, 8610 South Sandy Parkway, Suite 200, Sandy, Utah 84070, 801-255-7700; seal and signature provided where applicable

Date	Yes – July 2022
Revision block with date and initials	Revision blocks shown and no notes yet
Sheet number and total sheets	Shown (15 total sheets), elevation plans submitted as well
General	
Street names	Shown on cover sheet and on other sheets in packet – Riverdale Road and Branz Way
Layouts of lots with lot numbers	Yes, shown
Adjacent tract ownership and tax identification numbers	Tract ownership names and tax ID
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown, 1"=20'
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements clearly identified on Site Utility Plan, existing structures currently on site shown, existing utility lines shown on sheets; plans provided showing approvals to cross, use, relocate utilities
Space for notes	Yes, provided
Contours	Yes, shown on multiple sheets
Public areas	Existing and planned sidewalks and curb/gutter shown on multiple sheets, newly dedicated public areas shown as well
Vicinity Map	
Street names	Yes
Site location	Yes
North arrow	Yes
Scale	Note of "Not to Scale"
Layout	
Landscaping (location and type with area calculations) Location of exterior lighting devices, signs, and outdoor advertising	Yes, provided on sheet PL-1, area calculations shown on PL-1 Yes, location of existing lighting and signs shown in packet; location of proposed onsite lighting
· ·	devices shown; proposed signage locations shown using existing sign poles; architectural elevations provided; planned building lighting provided
Location of underground tanks, dumpsters, etc	No tanks present on site; dumpster and dumpster enclosure location shown in packet

Additional Information	
Benchmark	Appear to be shown on cover sheet, defer to City Engineer
Basis of bearings	Appear to be shown on cover sheet, <u>defer to City</u> <u>Engineer</u>
Legend	Shown on sheet C0.01
PLAN AND PROFILE SHEETS	Site plan and profile sheets provided
<u>Title Block</u>	
Project name and address	Project name and address location shown
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405 (This STILL needs to be added to cover sheet)
Consulting Engineer's name, address, and phone number	McNeil Engineering, 8610 South Sandy Parkway, Suite 200, Sandy, Utah 84070, 801-255-7700
Date	Yes – July 2022
Scale	Yes, scale is showing
Revision block with date and initials	Revision blocks shown and no notes yet
Sheet number and total sheets	Shown (15 total sheets), elevation plans submitted as well
General	
North arrow	Yes
Street names	Shown on cover sheet and on other sheets in packet – Riverdale Road and Branz Way
Lot numbers	Yes, shown
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet C0.10
Signage	Existing pole signage location shown; some proposed building signage shown on architectural rendering sheet; may inquire more regarding future signage intent if desired
Height	Future final pole sign height is unknown; maximum of 40' allowed
Size	Pole sign size is unknown at this time; building signs sizing is unknown at this time; will have better understanding with DRC process
Locations	Some building signage concepts shown on arch drawing; Existing on site pole sign locations shown

Colors	Building signage coloration and pole signage
	coloration not provided at this time; will have
	better understanding with DRC process
Lighting	Signage lighting unknown at this time
New and Existing Buildings	
Height and Size	New building - Height = approximately 24-26 feet at highest point; Building size = approx. 5061 sf
Location, setbacks, and all dimensions	Building setbacks provided; approximates: south setback – 42.50 ft at nearest point; north setback – 42 ft at nearest point; front (west) setback – 45 feet at nearest point; back (east) setback – minimum 146 feet plus at nearest point, exceeds minimum requirements
Type of construction	Materials for structure, texture, color appearance provided on architectural rendering; DRC will need to approve the building colorations and material, signage concepts, and landscape plan
Type of occupancy and proposed uses	Regional restaurant with drive thru access
Show handicapped access	ADA accessible ramp and access areas shown and handicapped parking stalls shown
New and Existing Landscaping & Percentage	Landscaping identified on sheet PL-1; Percentage of landscaping provided for site is 37% as shown on sheet PL-1 table, therefore landscaping plan meets minimum requirement of 20% or more landscaping coverage per City Code 10-14-12(B.)(2.)
Number of trees	11 trees, 142 shrubs, 93 ornamental grasses, 37 boulders
Landscape plan showing all planting, hardscaping, berming, and watering	Planting, hardscaping shown; required gentle berming locations, as required in 10-14-12 (B.)(2.) to screen drive thru and parking area from motorists along road, shown on landscape plan and shrub row screening has been provided, irrigation plan provided
Xeriscaping alternatives being considered	Yes, xeriscaping seems to be applied in the rock mulch and ground cover areas of landscape plan; for more, inquire of the developer
New and Existing Walls and Fences	
Location, design, and height	Existing fence location shown; no new fences appear to be planned for site
Materials proposed for construction	No new fences planned for site
New and Existing Parking	

Location, area, and layout of off-street parking	44 dedicated stalls are provided and shown and
(size of stalls, regular and handicapped)	then drive-thru stacking of 23 shown; handicapped
	parking space provided and shown; size meets city
	requirements
Location of employees' parking, customer parking,	Established as shown in drawings; employee
and handicapped parking	parking and customer parking appear shared
Internal circulation pattern	Internal circulation not identified but can be
	inferred by site plan documents
New and Existing Ingress and Egress	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown
Circulation pattern	Internal circulation no identified but can be
Circulation pattern	inferred by site plan documents; inquire more if
	desired
New and Existing Streets	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	Shown, dedicated right-of-way identified
Face of curb lines	Yes, this is shown
Centerline slope	Shown on drawings and established per previous
	and other project road development
Signing and striping	Public signing installation should be coordinated
	with public works dept and paid for by applicant,
	where applicable; roadway striping should be
	coordinated with public works, where applicable
Light poles	Yes, location of existing light poles and power
	equipment shown; location of onsite proposed
	light poles and equipment shown in packet
Street lights	Yes, location of existing street light poles and
	power equipment shown; no newly proposed
	street light poles or devices appear to be planned
Street name signs	Location of street name signs on site not
	applicable to this location
Stop signs	Location of stop signs on site shown not identified,
	where applicable
UDOT approval (if required for project)	This project does comply with UDOT approvals for the site
Sidewalk (4' side with 4" of road base or 6' side	Yes, shown and details on sheet C5.04
with 6" of road base through the approach)	
Planting Strip	There are no planting strips available along
	Riverdale Road for this project
New and Existing Storm Drainage	

Top of curb elevations	Shown on C2.01, in detail on sheets C5.01-C5.06
Slope of gutter	Shown on C2.01, in detail on sheets C5.01-C5.06
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	Shown on C2.01, in detail on sheet C5.01, <u>defer to</u> <u>City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on C4.01, in detail on sheets C5.01-C5.06, defer to City Engineer
Location of catch basins	Shown on multiple sheets in packet
Ditches, location and ownership	No waterways or ditches located on this site or planned for this project
Approval to pipe, reroute or use	Other than future City approval, <u>unknown if other</u> approval required, defer to City Engineer
Calculations for retention system	Provided in storm drain report, <u>defer to City</u> <u>Engineer</u>
Method of storm water clean-up	Shown on sheets C2.10 and C4.01
New and Existing Sanitary Sewers	
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	Shown on C2.01, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on C4.01, in detail on sheets C5.01-C5.06, defer to City Engineer
New and Existing Water Lines	
Length, size, type, and slope of mains and laterals	Shown on C4.01, in detail on sheets C5.01-C5.06, defer to City Engineer
Location, size, and type of water meters, valves, and fire hydrants	Shown on C4.01, water meter location and size shown, type not identified; Location of existing valves shown; Location of new valves shown; existing fire hydrants on site shown; no new hydrants planned for this site plan
New and Existing Gas Lines	
Size and type	Existing gas lines shown, note on C4.01; size and type not shown; new lines not shown, where applicable
New and Existing Electrical Lines	
Size, location, and type	Existing power lines locations shown, note on C4.01, new lines location, size, and type not identified
Location of power poles	Existing power poles and overhead lines location; new power poles location not planned

New and Existing Telephone Lines		
Location of poles, junction boxes, and manholes	Existing location of telephone lines shown, <u>new</u> telephone utility lines location not shown-note on C4.01	
New and Existing Cable TV Lines		
Location of lines (if applicable)	Cable TV lines not shown, where applicable; refer to note on C4.01	
DETAILED DRAWINGS		
Cross section of roadway (minimum 8" road base and 3" asphalt)	Refer to sheets C5.05 for roadway cross section connection to curb, gutter, and sidewalk areas	
Cross section of curb and gutter (standard 30" high back)	Shown on sheets C5.01, <u>defer to City Engineer</u>	
Gutter inlet box with bicycle safe grate	Detail drawing provided on sheet C5.02, locations identified on multiple sheets; gutter inlet boxes not identified as having bicycle safe grates; defer to City Engineer	
Cleanout box	Detail shown on sheets C5.01-C5.06, location identified on multiple sheets; defer to City Engineer	
Thrust blocking	None showing and may not be applicable; <u>defer to</u> <u>City Engineer</u>	
Special energy dissipating or drop manholes	None showing and may not be applicable; <u>defer to</u> <u>City Engineer</u>	
ADDITIONAL INFORMATION		
Soils report	Geotechnical report has been provided as completed by Terracon Consultants, Inc on January 26, 2022 for this site	
Drainage and runoff calculations	Provided in storm drain report, defer to City Engineer	
Water right transfer documentation	Applicant needs to work with Public Works Department to provide adequate water rights for this site per 8-6-3 of City Code	
Copy of protective covenants, codes, and regulations for development	No copy of CCR's have been provided at this point, if any apply to this project	
Three (3) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings	Yes, provided as requested	
Building elevation renderings	Provided with packet, not in color version	
Corp of Engineers approval (if required)	Located outside of the 0.2% annual floodplain; no approval req.	

Zoning compliance	Yes, Community Commercial (C-2) Zone meets	
	intended uses for site design; Conditional Use	
	Permit approved by PC in meeting C-2 zoning	
	requirements	
RDA compliance (if applicable)	No applicable RDA regulations for this project	
	area; this is located in the 550 West RDA area	
Use compliance	Yes, this use complies with the zoning for this C-2	
	zoned area; Conditional Use Permit approved by	
	PC in meeting C-2 zoning requirements	
Engineering comments and letter of approval	Engineering comments, along with Public Works,	
recommendation	Police Department, Fire Department provided	
Traffic study	Not currently required, unless deemed otherwise	
	appropriate by City or UDOT	
All Planning Commission and City Staff conditions	Currently Final Site Plan submittal consideration	
for approval have been met	being reviewed by Planning Commission for	
	recommendation to City Council	

DEPARTMENTAL STAFF REPORTS - 7/6/2022 to 8/4/2022

From: Shawn Douglas

Sent: Thu 8/4/2022 9:47 AM

To: Mike Eggett

Subject: Shake Shack

Mike,

I have included my comments for Shake Shack. Thanks

Plan Review For Shake Shack

Storm Water

- 1-Drainage system operation and maintenance plan and BMPS approved and recorded with plat. Needs to include BMPs for cleanup devices and timetables for maintenance.
- 2-Hydralic separator or BMP's to treat storm water before water inters underground retention/detention and city system.
- 3-Include pipe size of storm water connection pipe.
- 4-Storm water prevention plan for construction site including BMP's. Including concrete washout, portable restroom, and trash dumpster. All storm water inspections will need to completed on Compliance Go.
- 5-Notice of intent filed with state.
- 6-Note to certify retention/detention structure size after construction.
- 7-Injection well permit.

Water

- 1-Existing water utilities shown on plans.
- 2-Existing water services need to be shown and include a note to require line to be capped at mainline.
- 3-Backflow preventor location, type, and size.
- 4-Proposed irrigation/sprinkler system plan.
- 5-Provide water usage peak demands.
- 6-Provide what water shares will be used to meet water requirements.
- 7-Water service line and meter need to be same size.

Streets

1-Sidewalk along Branz way to provide connection for future development.

Sewer

1-Proposed sewer flows daily and peak. Including peak demand time.

- 2-Show existing sewer mains and laterals.
- 3-A note requiring abandoned sewer lines to be capped at the property line.

Other

- 1-Note requiring all missing, nonfunctioning, and or damage surface improvements shall be replaced. (sidewalk, curb and gutter, fencing, etc.)
- 2-What is native grass in the landscape? How is it maintained for aesthetics and possible fire hazard?

Shawn Douglas

Riverdale City Public Works 801-394-5541 ext 1217

Sdouglas@Riverdalecity.com

From: Scott Brenkman

Sent: Tue 7/26/2022 9:37 AM

To: Mike Eggett

Subject: RE: Review Comments needed for Updated Shake Shack Site Plan submittal for PC Rec review

I have no concerns.

Scott

Chief Scott Brenkman
Riverdale Police Department
4580 S. Weber River Dr.
Riverdale, UT 84405
(801)394-6616
sbrenkman@riverdalecity.com

From: Jared Sholly

Sent: Thu 8/4/2022 9:20 AM

To: Mike Eggett **CC:** Randy Koger

Subject: RE: !REMINDER - RE: Review Comments needed for Updated Shake Shack Site Plan submittal

for PC Rec review

I and Randy sat down the other day with the plans and we have no additional items that need to be addressed.

Thanks,

Jared Sholly Fire Chief

Riverdale City Fire Department

Cell: 801-628-6562 Office: 801-394-7481

From: Randy Koger

Sent: Wed 7/6/2022 11:35 AM

To: Mike Eggett **CC:** Jared Sholly

Subject: RE: Review Comments needed - Shake Shack Prelim PC review docs

REVIEW COMMENTS:

I have no additional recommendations.

The review comments are based on information provided on the Preliminary Site Plan Proposal, and shall not extend to means, methods, techniques, sequences, or procedures of construction nor conformance to any specifications. Acceptance of the project is the prerogative of the Authority Having Jurisdiction.

Fire Marshal/Code Enforcement Officer

Fandy S. Kagev

Riverdale City 801-436-1241



5141 South 1500 West Riverdale City, Utah 84405 801-866-0550

4 August 2022

Riverdale City 4600 South Weber River Drive Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director

Proj: Shake Shack - Riverdale

Subj: Shake Shack Improvement Drawing Review

Dear Mike,

Attached for consideration is my engineering review of the above referenced project. The following items will need to be considered and addressed prior to receiving recommended approval from our office.

General Note:

Please request the Developer or his Engineer, submit a response letter with their resubmittal of drawings answering all Engineering review comments contained herein.

1. An <u>electronic copy</u> of the Plat drawing must be submitted to the Public Work Department for record keeping upon design completion and prior to approval of the final drawings from our office.

<u>Improvement Drawings - Shake Shack</u>

- 1. Directional orientation (North) needs to be corrected on all sheets.
- 2. A Hydrodynamic Separator needs to be added to the storm water system either prior to entrance into the underground storage system or prior to inlet outlet structure.
- 3. An injection well permit needs to be obtained for the underground storage system.

- 4. Snout not shown in any of the storm drain details. Long-Term Stormwater Management Plan refers to the snout for debris control. Hydrodynamic separator will eliminate need for snout and concerns that debris can be flushed past the snout in certain circumstances.
- 5. Show the details for the irrigation connection and backflow device (RP-backflow). Ensure irrigation connection is after the meter.
- 6. On sheet C1.01 it shows removal of "Local Benchmark". Does benchmark need to be replaced?

We would be happy to meet with the Developer and/or his Engineer to review the above items should they have any questions.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.

R. Todd Freeman, S.E., P.E.

City Engineer

Cc. Shawn Douglas, Public Works Director Jeff Woody, Building Official





Community Development 4600 So. Weber River Drive Riverdale, Utah 84405

10-34-1500

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL OR MANUFACTURING SITE PLAN APPROVAL

CASE NO: 2022-08	DATE SUBMITTED: 6-22-2022			
APPLICANT'S NAME: Ted Didas, McNeil Engineering				
ADDRESS: 8610 Sandy Parkway #200, Sandy, UT 84070				
PHONE: (801) 984-2841	TAX I.D. No:			
Address of Site: 4142 Riverdale Road				
APPLICANT'S INTEREST: Civil Engineer for Shake Shack				
***	one Commission requesting that the following permitted use, as for property in the zone in			
Signature of Applicant	Signature of Property Owner			
I authorize H, KORD CUTRUBUS relating to this application.	to act as my representative in all matters if it is a superior of Property Owner			
NOTE: A fee will be charged at the time the site plan is Fee: \$ 484.00	submitted for review - \$400 per acre or portion of Date paid: 6 28 2022			
Planning Commission set public hearing: Yes No V Planning Commission scheduled to hear this application Date: 1/2/2672; 9/1/2672 Decision of Com City Council set public hearing: Yes No V Date	for site plan approval on:			
City Council scheduled to hear this application for site pl				
Date: Decision of Cou	neile			

Our v. ().



Riverdale City 4600 South Weber River Drive Riverdale, UT 84405 (801) 394-5541

XBP Confirmation Number: 123357723

► Transaction detail for payment to Riverdale City. Date: 06/28/2022 - 12:34:16 PM N Transaction Number: 176069192PT VisaXXXX-XXXX-7739 Status: Successful				
Account #	Item	Quantity	Item Amount	
10341500	PlanDev Review	1	\$484.00	
Notes: 4142 RIVE	ERDALE ROAD			

TOTAL:

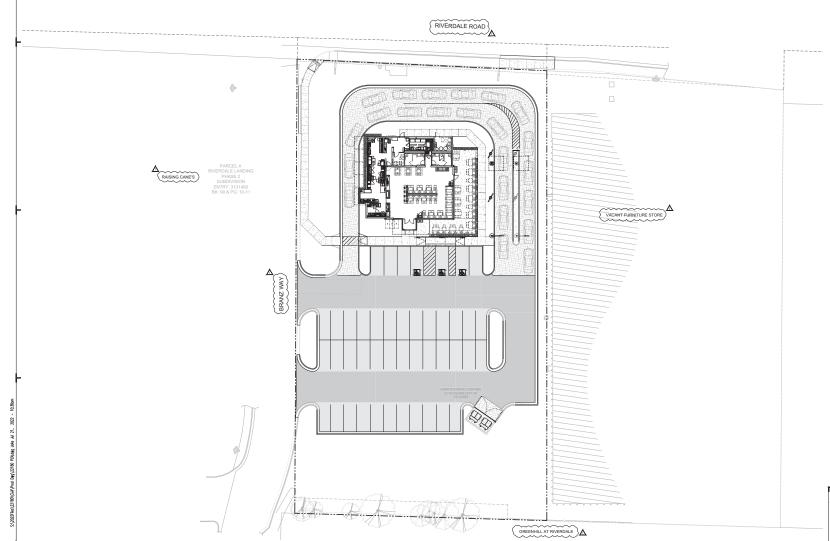
\$484.00

Billing Information THEODORE DIDAS , 84405 Transaction taken by: Admin acummings

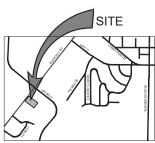
SHAKE SHACK - RIVERDALE **CONSTRUCTION PLANS**

4142 RIVERDALE ROAD

RIVERDALE, UTAH 84405 LOCATED IN THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 5 NORTH, RANGE 1 WEST, SLB&M







VICINITY MAP

DRAWING INDEX

	CIVIL PLANS					
SHEET	DESCRIPTION					
C0.00	CIVIL COVER SHEET					
00.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS					
C0.10	SITE DEMOLITION PLAN					
C1.01	CIVIL SITE PLAN					
C2.01	GRADING AND DRAINAGE PLAN					
C2.10	EROSION CONTROL PLAN					
C4.01	SITE UTILITY PLAN					

LANDSCAPE PLANS

SHEET	DESCRIPTION
PL-1	PRELIMINARY LANDSCAPE PLAN

ELECTRICAL PLANS

SHEET	DESCRIPTION
E000	ELECTRICAL GENERAL NOTES, SYMBOL SCHEDULE, AND DETAILS
E101	ELECTRICAL SITE PLAN
E101A	ELECTRICAL SITE PHOTOMETRIC PLAN
E801	ELECTRICAL SCHEDULES
FOOL	DISCUSION SECURICATIONS

ALL WORK AND MATERIALS FOR WATER MUST CONFORM TO RIVERDALE CITY STANDARDS AND SPECIFICATIONS. RIVERDALE CITY 4600 SOUTH WEBER RIVER DRIVE RIVERDALE, UTAH 84405

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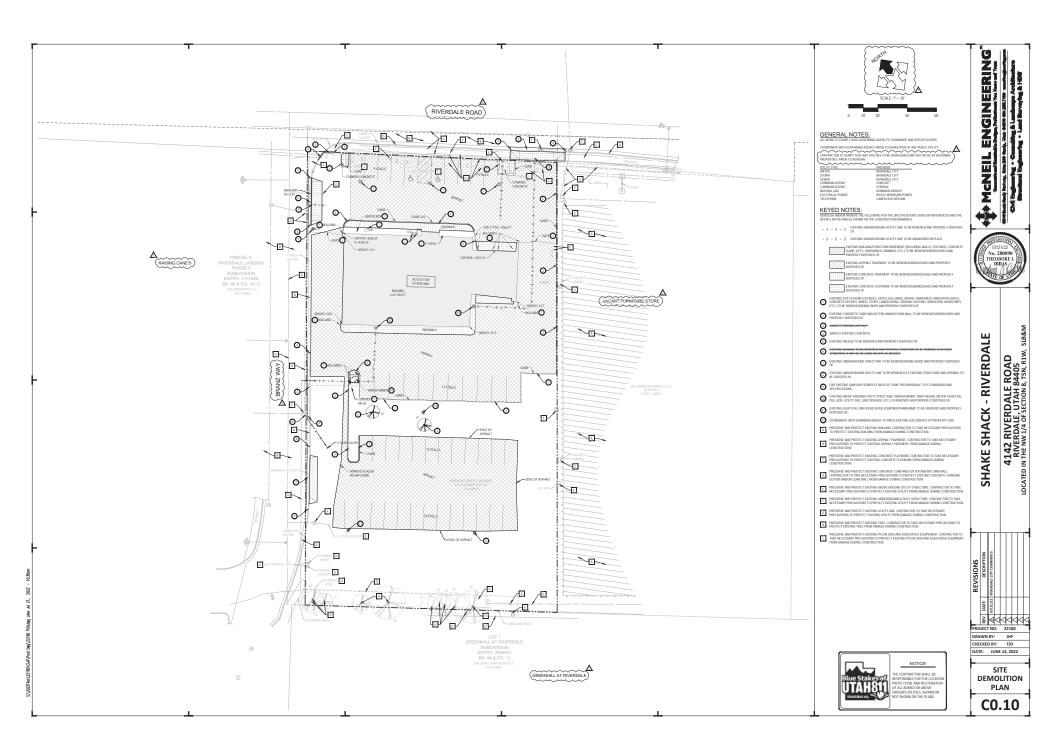
ALL WORK AND MATERIALS MUST CONFORM TO RIVERDALE STANDARDS AND SPECIFICATIONS. RIVERDALE CITY

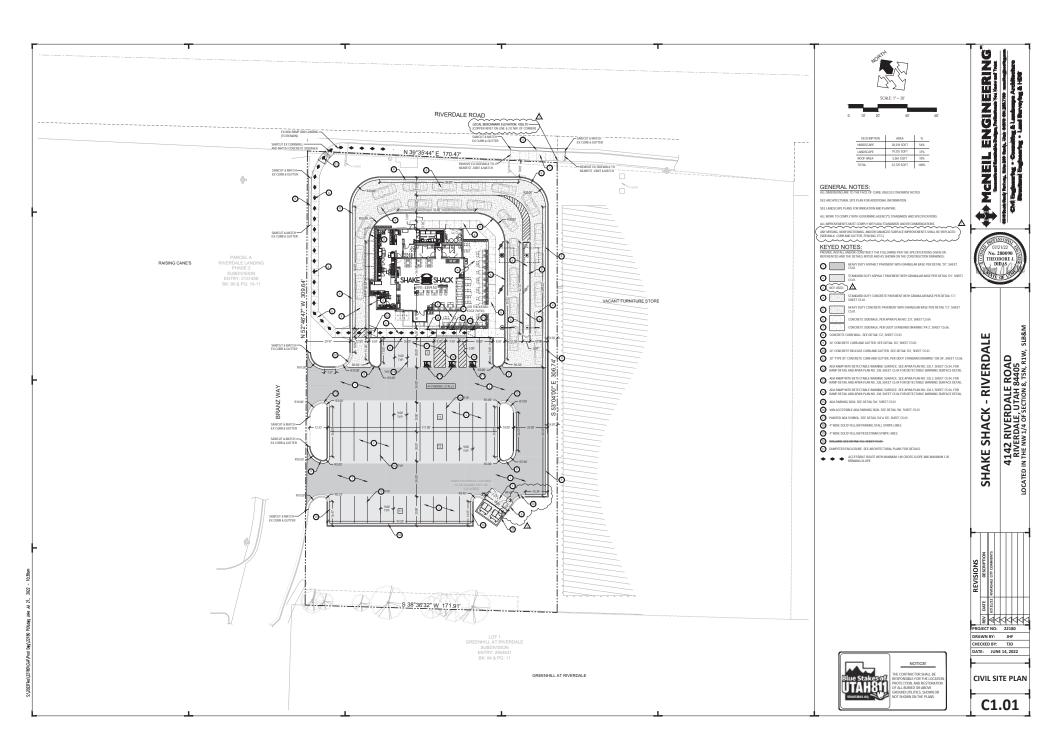
4600 SOUTH WEBER RIVER DRIVE RIVERDALE, UTAH 84405

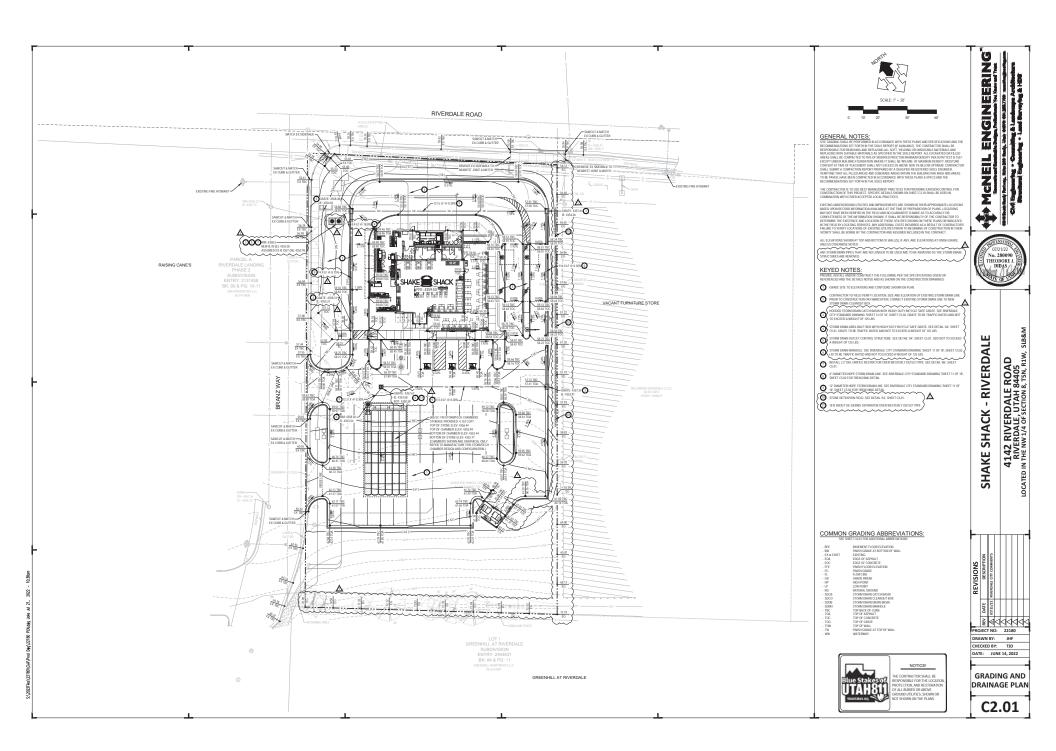
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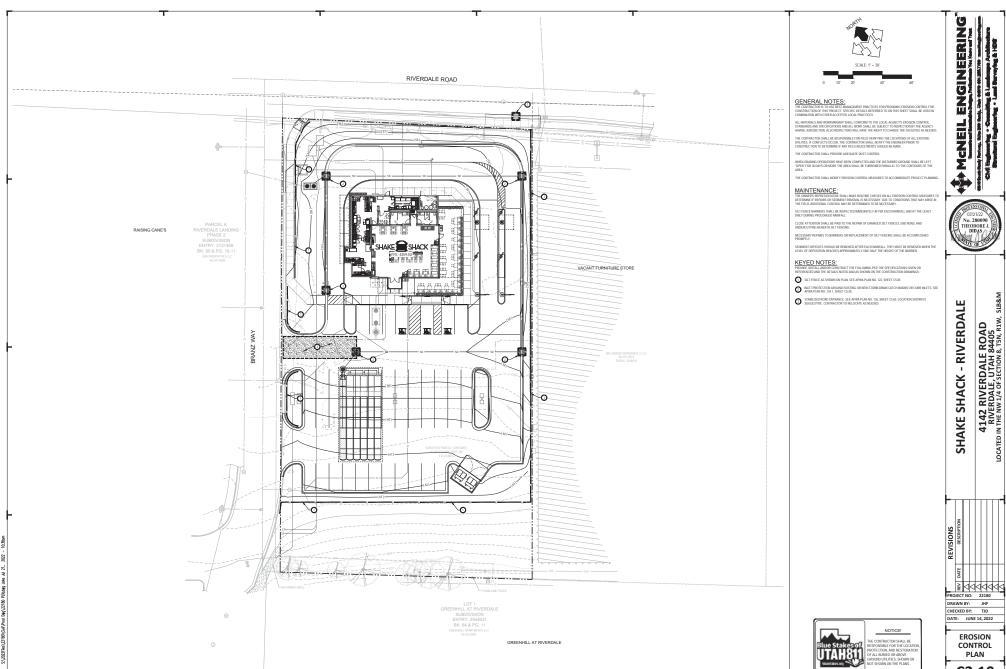
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GENERAL NOTES	CENERAL NOTES: CONTINUED	r	,		l FC	ZEND.			т	T 5m
CEMERAL NOTES 1. COURPAINOE 1. COU					MORAMENT LINE CONTRICTURE CONTRICTURE ADJACENT PROPERTY LINE ADJACENT PROPERTY LINE EASTMOTH LINE FUNCTIONAL FIRST LINE COMBENT LINE COMBENT LINE COMBENT LINE COMBENT LINE FREE LINE NATURAL CAS LINE OVERSHED COMBENDATIONS OVERSHED COMBENDATIONS OVERSHED TEMPORE LINE OVERSHED TEMPORE LINE PORTECTED LINE FORESHED FORESH	NEW PARTY OF THE	EXISTING	SECTION CORNER (OF FOURD) SECTION CORNER (OF FOURD) STREET INCREMENT PORES PAGE UITSTYPEL GUR ARGORE PORES TRANSCORRER TRAFFIS SONA CARRET TRAFF		SHAKE SHACK - RIVERDALE 4142 RIVERDALE ROAD A142 RIVERDALE ROAD A144 RIVERDALE ROAD A144 RIVERDALE ROAD A145 RIVERDALE ROAD A145 RIVERDALE ROAD A155
1.6 GRADING / SOILS 1.5 TICLARIOS CALL REPROPRIED RACCORDANCE WITH THESE PLANS ARE STREET, AND ALL REPROPRIED RACCORDANCE WITH THE PLANS ARE CONSTITUTION. AND ALL REPROPRIED RACCORDANCE WITH THE CONTROL OF THE CONTR	.1.	AC. ACRE AND SETTION OF THE SETTION	INVERTELEVATION INVESTOR INTO THE STATE OF	P	OF COMPANDIA ORDER OF MITTERSCENDS OF	TORROSOP TOR				PROJECT NO: 22180 DRAWN 87: JUNE 10, 2022 GENERAL NOTE: LEGEND AND ABBREVIATION CO.01

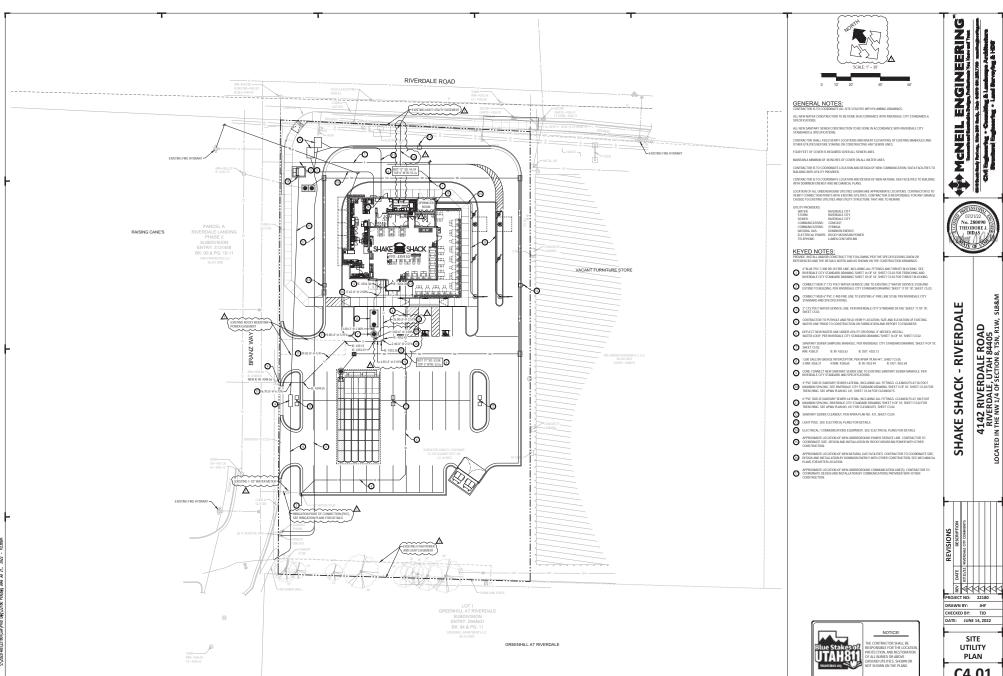




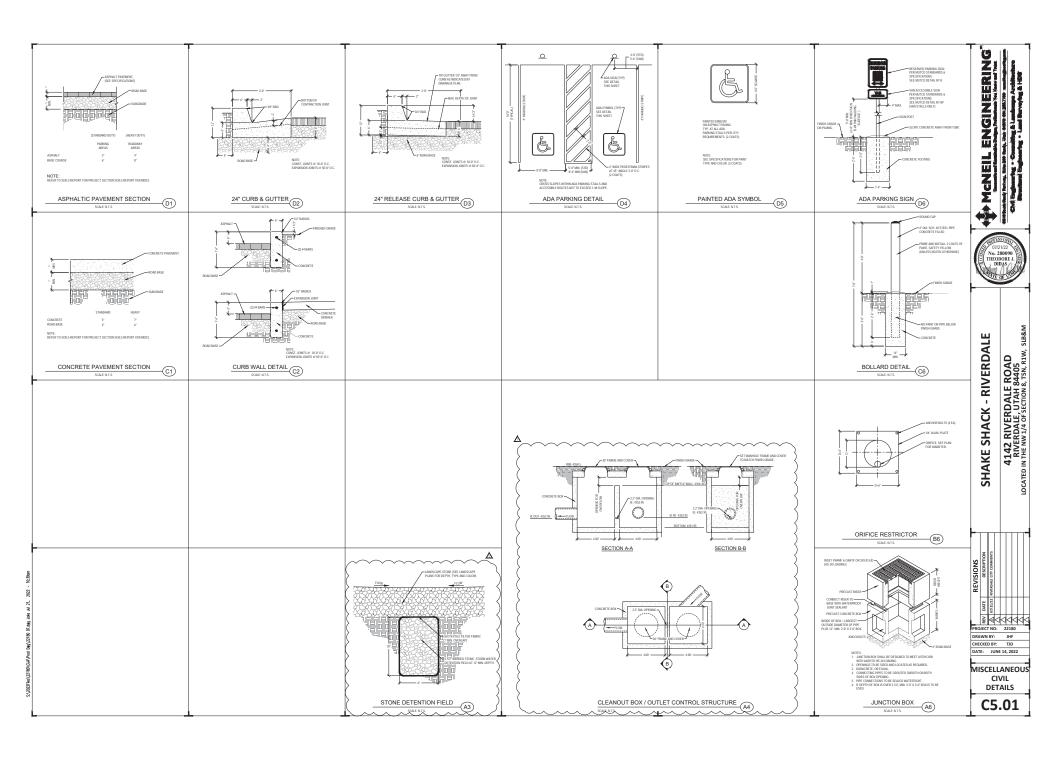


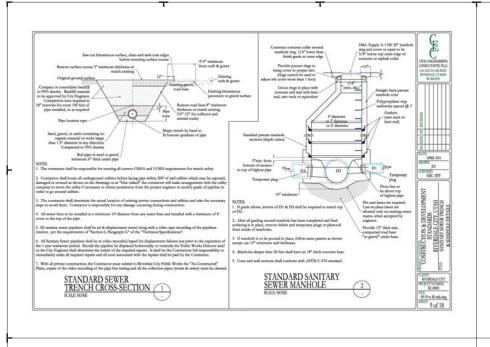


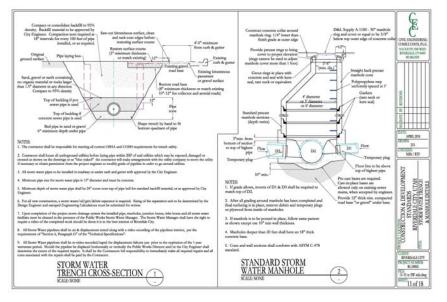
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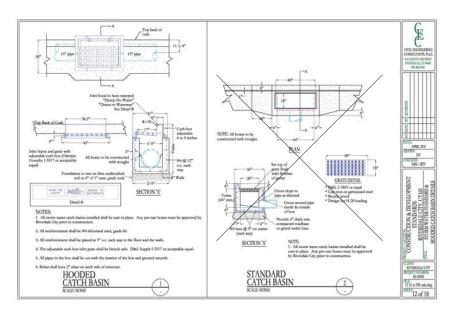
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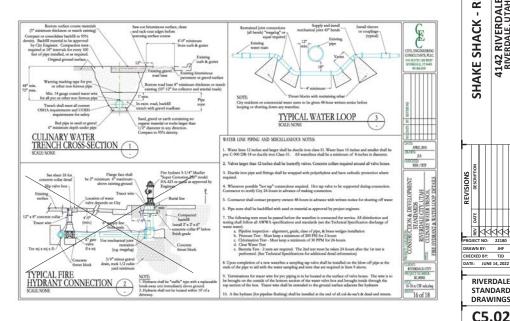
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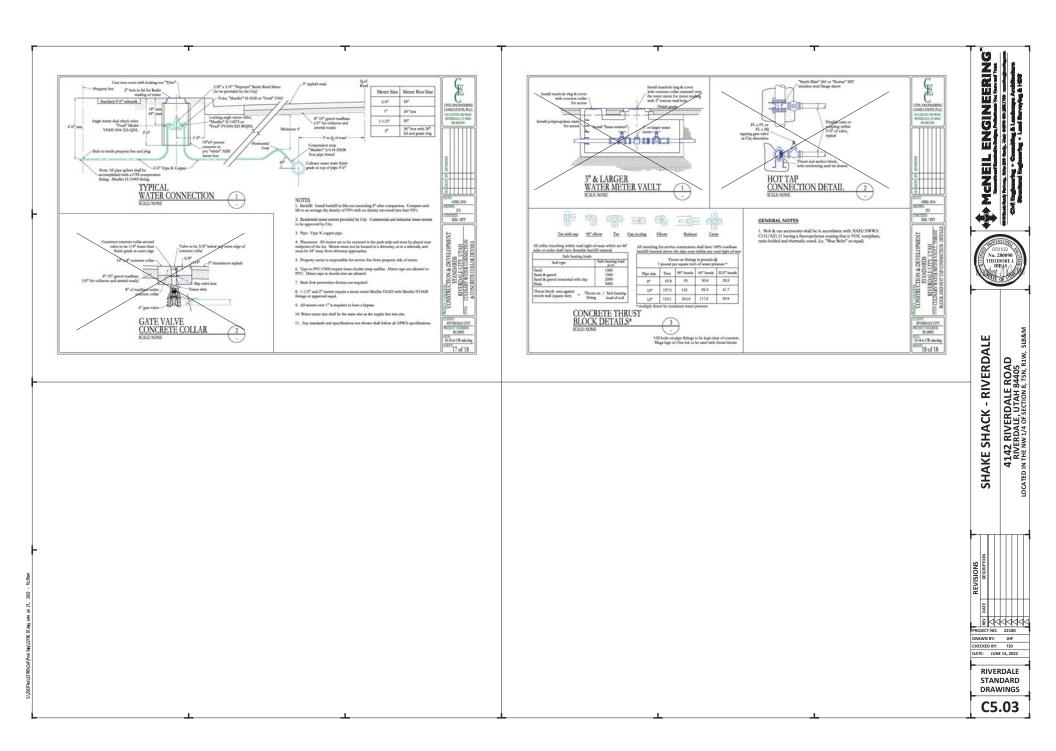
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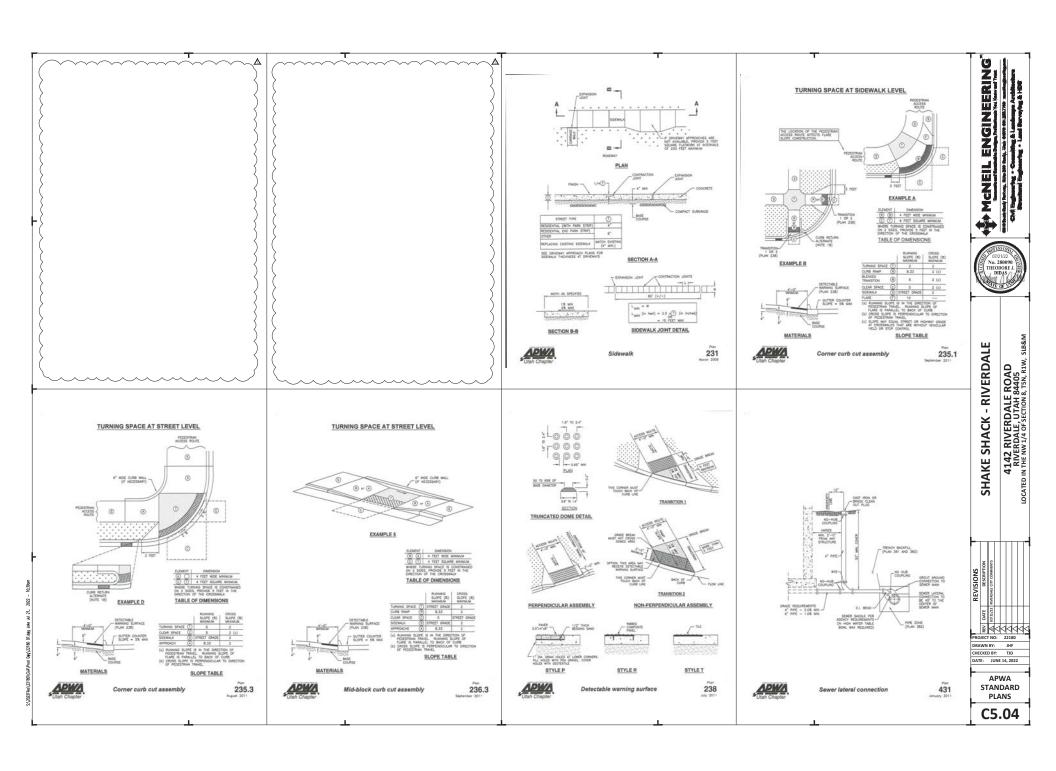
DRAWINGS C5.02

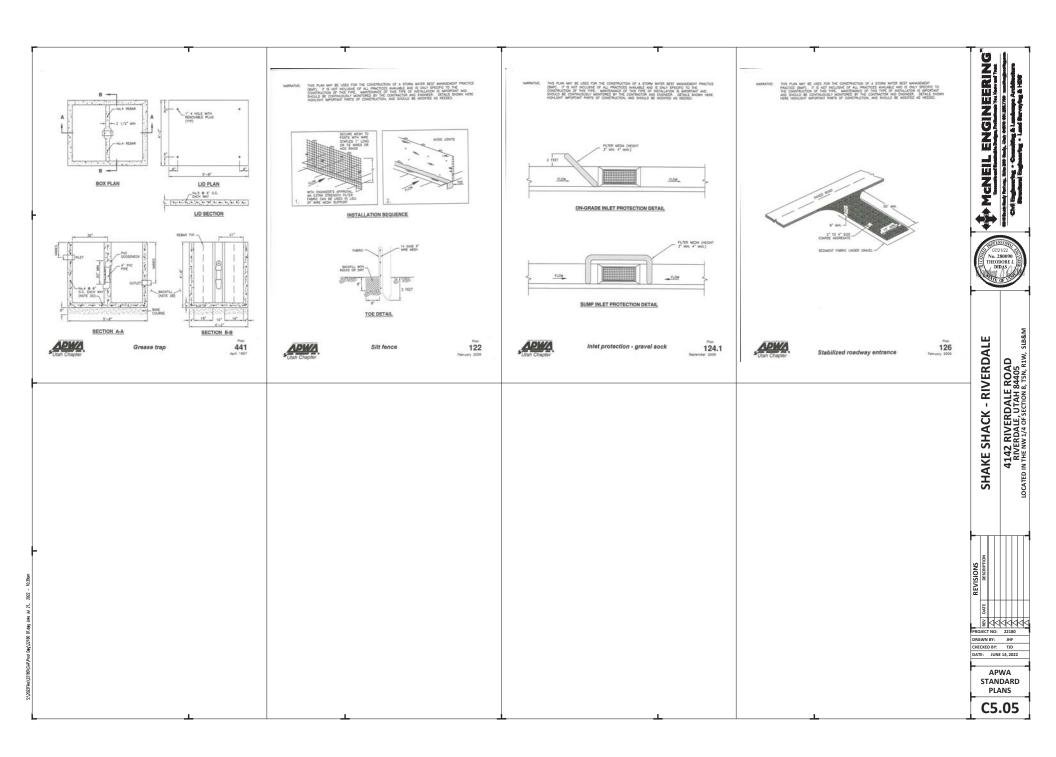
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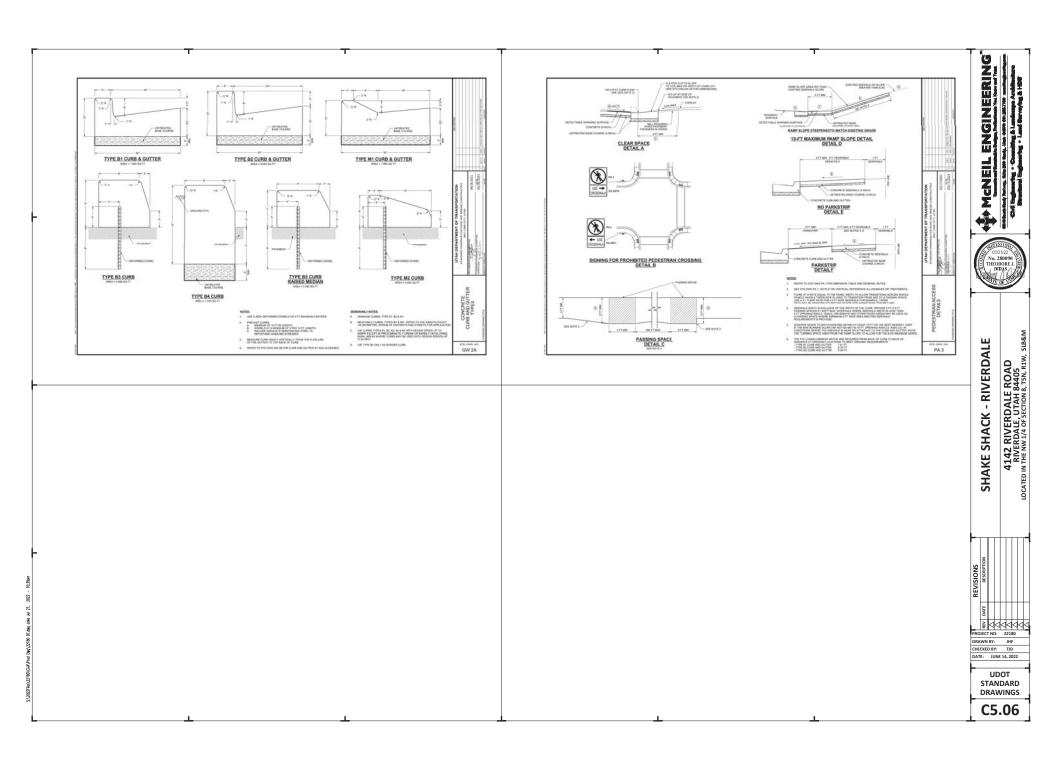














60 FT

PRELIMINARY LANDSCAPE SCHEDULE

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	
DECIDUOUS TREES				
	3	ALLEE LACEBARK ELM	ULMUS PARVIFLORA 'ELMER II'	2
The state of the s		PELLE ENGLISH CEM	DEMOST PARVILLENON ELINEARTI	-
	4	GREEN VASE ZELKOVA	ZELKOVA SERRATA 'GREEN VASE'	2
EVERGREENS TREES				
EVERGREENS TREES				
ASSA .	1	CURL-LEAF MOUNTAIN MAHOGANY	CERCOCARPUS LEDIFOLIUS	
A. S. A.				
	3	PINYON PINE	PINUS EDULIS	
	3	PINTON PINE	PINOS EDULIS	
SHRUBS				
*	5	FERN BUSH	CHAMAEBATIARIA MILLEFOLIUM	5
•	27	YELLOW RABBITBRUSH	CHRYSOTHAMNUS VISCIDIFLORUS	6
	2	NEW MEXICO PRIVET	FORESTIERA NEOMEXICANA	6
A.	11	MOONGLOW JUNIPER	JUNIPERUS SCOPULORUM 'MOONGLOW'	- 1
	23	ROCKY MOUNTAIN BEARDTONGUE	PENSTEMON STRICTUS	
	20	TALLHEDGE BUCKTHORN	RHAMNUS FRANGULA 'COLUMNARIS'	
-	54	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	5
ORNAMENTAL GRASSES				
•	72	FOERSTER'S FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	5
•	21	BLONDE AMBITION BLUE GRAMA GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	5
SYMBOL BOULDERS	QTY.	DESCRIPTION	SOURCE	
BOULDERS	37	BOULDERS		
SYMBOL	QTY.	DESCRIPTION		
LANDSCAPE AREAS	411.	DESCRIPTION		
	132 S.F.	RAISED PLANTING BED CONSISTING OF MULCH AND 100% PLANT COVERAGE.		
	13,025 S.F.	XERISCAPE PLANTING AREA CONSISTING OF CRUSHED ROCK AND ROUGHLY 40% PLANT COVERAGE. PLANT MATERIAL TO BE DROUGHT TOLERANT.		
		BE DROUGHT TOLERANT.		
		BE DROUGHT TOLERANT. NATIVE SEED AREA		

RIVERDALE CITY DATA

ZONED AS	COMMUNITY COMMERCIAL (C-2)				
TOTAL SITE AREA	52,725 S.F. = 0.02 AC.				
ON-SITE LANDSCAPE AREA	19,345 S.F.				
	REQUIRED	PROVIDED			
GENERAL:					
REQUIRED LANDSCAPE AREA	MIN. 20%	19,345 S.F. = 37%			
XERISCAPE/DROUGHT TOLERANT LANDSCAPING	MIN. 85%	100%			
LAWN AREA	MAX. 15%	0%			
REQUIRED TREES - 1 PER 5,000 S.F. LOT AREA	52,725 S.F. / 5,000 = 11	11			
NOT MORE THAN 33% OF TREES FROM SAME SPECIES		YES			
YARDS:					
REAR YARD	20"	YES			





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Economic and Sustainable Designs, Professionals You Know and Trust

SHAKE SHACK - RIVERDALE

4142 RIVERDALE ROAD RIVERDALE, UTAH

PRELIMINARY LANDSCAPE PLAN





ELECTRICAL POWER & LIGHTING DEVICES TYPICAL MOUNTING HEIGHTS

ELECTRICAL DEVICE SYMBOL SCHEDULE		ELECTRICAL	ANNOTATION SYMBOL
SYMBOL.	DESCRIPTION	SYMBOL	DESCRIPTION
SWITCHES		RACEMAY AND CON	DUCTORS
\$	SINGLE POLE SWITCH		ONE CIRCUIT, 2§12 THINN (CL
\$2	TWO POLE SWITCH		TWO CIRCUITS (SHARED NEUTR
\$5	THREE WAY SWITCH	+	THREE CIRCUITS (SHARED NEL
\$4	FOUR WAY SMITCH	#10	THREE CIRCUITS (SHARED NEL
\$6	DIMMER SWITCH (PROVIDE DIMMER COMPATIBLE WITH LIGHT(S) BEING CONTROLLED)	-1-	ONE CIRCUIT, 2#12 THWN (CU
\$ ₁₀	DIMMER THREE WAY SWITCH (PROVIDE DIMMER COMPATIBLE WITH LIGHT(S) BEING CONTROLLED)	+	TWO CIRCUITS (DEDICATE NEU
S.	MASTER OVERRIDE SWITCH		THREE CIRCUITS (DEDICATE NE
\$ _{tu}	ELECTRIC TIMER SWITCH	٥	ELECTRICAL JUNCTION BOX (S
\$	SWITCH WITH RED PILOT LIGHT IN HANDLE		RACEWAY AND/OR CONDUCTOR
Sea	MANUAL MOTOR STARTER WITH HEATER ELEMENTS	~~~	FLEXIBLE CONDUIT, STEEL OR
\$cs	WALL MOUNTED OCCUPANCY SENSOR SWITCH (DUAL TECHNOLOGY)	ABBREVIATIONS	
\$m	WALL MOUNTED VACANCY SENSOR SWITCH (DUAL TECHNOLOGY)	F.B.O.	FURNISHED BY OTHERS
8	CELING MOUNTED CCCUPANCY SENSOR (DUAL TECHNOLOGY)	FALB.O.	FURNISHED & INSTALLED BY
99	CELLING MOUNTED VACANCY SENSOR (DUAL TECHNOLOGY)	FAMH.	FIELD VERIFY MOUNTING HEIGH
6	DAYLIGHT SENSOR (CLOSED LOOP)	A/R	AS REQUIRED
- 0	POWER PACK FOR OCCUPANCY / VACANCY / DAYLIGHT SENSOR MOUNTED IN ACCESSIBLE CEILING	N/A	NOT APPLICABLE OR NOT AVAI
(RC)	PROGRAMMABLE LIGHTING ROOM CONTROLLER		MOUNT 48" FROM THE FINISH
	PHOTOCELL, SENSOR	-	MOUNT COUNTER HEIGHT (FIEL
POWER RECEPTACLE	is a pevices	co	CONSTRUCTION DOCUMENT(S)
ф.	SINGLE RECEPTACLE	ου	COPPER
8	DUPLEX RECEPTACLE	- AL	ALUMNUM
ø,	RECEPTACLE MOUNTED ABOVE COUNTER (COORDINATE WITH ARCHITECTURAL DRAWINGS)	w-	WEATHERPROOF
4	HALF SWITCH RECEPTACLE (LABEL ON FACE PLATE FOR EACH OUTLET)	N.	NIGHTLIGHT
-	DOUBLE DUPLEX RECEPTACLE	E	DMERSENCY
Ø ewc	ELECTRIC WATER COOLER GFG RECEPTAGLE (COORDINATE WITH PLUMBING CONTRACTOR)	150	HOLATED
d _{gro}	ORGUND FAULT CHREET INTERRIPTER DUPLEY RECEPTACIE.	GND	GROUND
8 arc	GROUND FAULT CURRENT INTERRUPTER DUPLEX RECEPTACLE IN MEATHER PROOF ENCLOSURE	UND	UNLESS NOTED OTHERWISE
Ø _{ic}	SQUATED GROUND DUPLEX RECEPTACLE	(0)	TO BE REMOVED OR DEMOUS
	SPECIAL PURPOSE OUTLET (TYPE SPECIFIED IN CD)	(E)	TO REMAIN OR EXISTING
	SPECIAL PURPOSE OUTLET (TYPE SPECIFED IN CD)	(M)	TO BE MOVED OR RELOCATED
Tall	POWER RECEPTACLE LOCATED IN FLOOR (TWPE SPECIFIED IN CD)	000	NPW
(a)	POWER RECEPTACIF LOCATED IN CELLING	W	TO BE PROMOF BY VENDOR
6m-	WALL FURNITURE CONNECTION (USE SEALTIGHT FROM WALL TO FURNITURE)	(0)	TO BE PROVIDE BY OWNER
(e)~-	FLOOR FURNITURE CONNECTION (USE SEALTICHT TO FURNITURE, TYPE SPECIFIED IN CD)	(4)	To se i monte di dimen
® ~	CELING FURNITURE CONNECTION (POLE PROVIDED BY FURNITURE VENDOR UNIO)		
TELECOMMUNICATION			
▼	VOICE OUTLET (# INDICATES THE NUMBER OF CATE CABLES)	ELECTRICAL	TRE ALARM SYMBOL
₩ 7	DATA OUTLET (# INDICATES THE NUMBER OF CATE CABLES)		
× ×	VOICE & DATA OUTLET (\$/\$ INDICATES THE NUMBER OF CATE CHALES FOR VOICE / DATA)	SYMBOL	DESCRIPTION
*	COXX CUTLET (# INDICATES THE NUMBER OF ROS CABLES)		
¥		PANELS	
¥	SPECIAL OUTLET (TYPE SPECIFIED IN CONSTRUCTION DOCUMENTS) TELECOMMUNICATION OUTLET LOCATED IN FLOOR	EACE	FIRE ALARM CONTROL PANEL
	TELECOMMUNICATION OUTLET LOCATED IN FLOOR	FX803	FIRE ALARM REMOTE DISPLAY
- T	WALL FLANTURE CONNECTION (USE SEALTIGHT FROM WALL TO FLANTURE)	EARD	FIRE ALARM REMOTE TERMINAL
		DEACT)	FIRE ALARM NOTIFICATION POW
⊙ ~	FLOOR FURNITURE CONNECTION (USE SEALTIGHT TO FURNITURE, TYPE SPECIFIED IN CD)	CAMP	FIRE ALARM AMPLIFIER POMER
₽~	CELLING FURNITURE CONNECTION (POLE PROVIDED BY FURNITURE VENDOR UNO)	ACORESSABLE MOD	ALES

ELECTRICAL LIGHTING SYMBOL SCHEDULE				
SYMBOL.	DESCRIPTION			
LUMINARES (SEE U	GIT FIXTURE SCHEDULE FOR ADDITIONAL DETAILS)			
0000	LUMINARES (APPROXIMATE SHAPE AND SIZED FOR CLARITY)			
~~~~	STRIP, NEON AND FIBER OPTIC LUMINARES			
⊗	EXT SIGN (NUMBER OF FACES (SHADED) AND ARROW(S) AS SHOWN			
4_8	EMERGENCY LIGHT WITH BATTERY PACK			
LUMINWIPE MOUNTIN	•			
000	RECESSED LUMNWRES			
<b>00</b>	SUSPENDED LUMINARES			
Q₽₽	WALL MOUNTED LUMINAIRES			
● • • •	POLE TOP MOUNTED LUMINARIES (ROUND OR SQUARE POLE)			
ΟΨΟΨ	POLE WITH ARM MOUNTED LUMINARES (ROUND OR SQUARE POLE)			
	GROUND OR FLOOR MOUNTED LUMINARES			
-0-0-0-	TRACK MOUNTED (LENGTH DRAWN TO SCALE, LUMINARE TYPES AND QUANTITIES AS SHOWN)			
LUMINARE OPTIC O	RENTATION			
000	HORIZONTAL ZERO UNE			
ôôô	PRIMARY LUMINARE ORENIXTON			
⊕ •	DIRECTIONAL AMING LINE (FROM PHOTOMETRIC CENTER TO TARGET)			
LUMINARE ANNOTAT	ON .			
	LUMINARES THAT PROVIDE EMERGENCY ILLUMINATION			
೦ೄ∟⊡ೄ	LUMINARES THAT PROVIDE EMERGENCY ILLUMINATION			
O _{NL} $\square$ _{NL}	LUMINARES THAT PROVIDE NIGHT LIGHT ILLUMINATION			
Ò +48.	MOUNTING HEIGHT			
<u></u>	LUMINARE TAG (# INDICATES THE NUMBER OF LUMINARES IN THE AREA, ESTIMATE ONLY)			
್ಕ ದ್ಕ	LOWER CASE SUBSCRIPT INDICATES SWITCH IDENTIFICATION			
041-1 11-1	UPPER CASE SUBSORPT INDICATES CIRCUIT IDENTIFICATION			

SYMBOL	DESCRIPTION
RACEMAY AND CON	DUCTORS
-	ONE CIRCUIT, 2#12 THINN (CU), 1#12 THINN (CU) GND
+	TWO CRICUITS (SHARED NEUTRAL), 3\$12 THWN (CU), 1\$12 THWN (CU) GND
+	THREE CIRCUITS (SHARED NEUTRAL), 4#12 THWN (CU), 1#12 THWN (CU) GND
#10	THREE CHICUITS (SHARED NEUTRAL), 4§10 THWN (CU), 1§10 THWN (CU) CND
	ONE CIRCUIT, 2#12 THWN (CU), 1#12 THWN (CU) GROUND, 1#12 THWN (CU) ISO GND
	TWO CIRCUITS (DEDICATE NEUTRALS), 4#12 THINN (CU), 1#12 THINN (CU) GND
*	THREE CHICUITS (DEDICATE NEUTRALS), 6§12 THWN (CU), 1§12 THWN (CU) GND
٥	ELECTRICAL JUNCTION BOX (SIZE PER NFPA 70)
	RACEWAY AND/OR CONDUCTORS CONCEALED BELOW FLOOR OR BELOW FINISHED GRADE
<b>-</b>	FLEXIBLE CONDUIT, STEEL OR SEALTICHT
ABBREVATIONS	•
F.B.O.	FURNISHED BY OTHERS
F.ALB.O.	FURNISHED & INSTALLED BY OTHERS
F.V.M.H.	FIELD VERIFY MOUNTING HEIGHT
A/R	AS REQUIRED
N/A	NOT APPLICABLE OR NOT AVAILABLE
*	MOUNT 46" FROM THE FINISHED FLOOR TO THE CENTER OF DEVICE
¢	MOUNT COUNTER HEIGHT (FIELD VERIFY MOUNTING HEIGHT)
со	CONSTRUCTION DOCUMENT(S)
αu	COPPER
M.	ALUMNUM
WP	WEATHERPROOF
N.	монтионт
Ε	DMERGENCY
190	HOLATED
GND	GROUND
UNO	UNLESS NOTED OTHERWISE
(D)	TO BE REMOVED OR DEMOUSHED
(E)	TO REMAIN OR EXISTING
(M)	TO BE MOVED OR RELOCATED
(N)	NEW
(4)	TO BE PROVIDE BY VENDOR
(0)	TO BE PROVIDE BY OWNER

2550	FIRE ALARM REMOTE DISPLAY
EXEC	FIRE ALARM REMOTE TERMINAL
OME	TIRE ALARM NOTIFICATION POWER SUPPLY
AMP)	FIRE ALARM AMPLIFIER POWER SUPPLY
ACORESSABLE MO	DOULES
Ð	TIRE ALARM MANUAL PULL STATION
22	FIRE ALARM MONTOR MODULE
EM	FIRE ALARM RELAY MODULE
229	FIRE ALARM CONTROL POINT MODULE
239	FIRE ALARM CONVENTIONAL ZONE MODULE
CM	FIRE ALARM LINE ISOLATION MODULE
●	FIRE ALARM SMOKE DETECTOR
<b>a</b>	FIRE ALARM HEAT DETECTOR
46	FIRE ALARM DUCT DETECTOR
NOTIFICATION DEV	nces
-®	FIRE ALARM BELL
□4	THE ALARM HORN
×	FIRE ALARM STROBE
184	FIRE ALARM HORN STROBE
FIRE SPRINKLER	DEVICES (F.BURO.)
E3	FIRE SPRINKLER FLOW SWITCH
03	FIRE SPRINKLER TAMPER SWITCH
8	THE SPRINKLER PRESSURE SWITCH

ELECTRICAL	MOTOR	AND	EQUIPMENT	HOOK-UP	SYMBOL	SCHEDULE	

SYMBOL	DESCRIPTION
MOTOR AND EQUA	MENT HOOK-UP
0	ELECTRIC MOTOR HOCK-UP (FURNISHED AND INSTALLED BY OTHERS UNLESS NOTED OTHERWISE)
٥	ELECTRIC EQUIPMENT HOCK-UP (JUNCTION BOX WITH FLEXIBLE CONDUIT, STEEL OR SEALTIONT)
XXAF S	DISCONNECT SWITCH (NON-FUSIBLE) (AF = FRAME SIZE)
XX 🗗	DISCONNECT SWITCH (FUSIBLE) (AF = FRAME SIZE, AT = TRIP SETTING)
XXAF (28	DISCONNECT SWITCH (CIRCUIT BREAKER) (AF = FRAME SIZE, AT = TRIP SETTING)
ame ⊠	MAGNETIC STARTER (STYLE = PANR, PAR, AFD, ETC)
	COMBINATION STARTER
STYLE C	CONTACTOR - SELF-ENCLOSED

ELECTRICAL GENERAL NOTES

ALL WORK SHALL COMPLY WITH ALL LOCALLY ADDPTED BUILDING CODES AND REQUIREMENT THE AUTHORITIES HAWING JURISDICTION.

THE CONTRACTOR SHALL BE FAMILIAR WITH THE EXISTING SITE CONDITIONS.

THE CONTRACTOR SHALL PROVIDE ALL UTILITY WILLTS & PADS AS REQUIRED BY THE UTILITY COMPANY UNLESS NOTED OTHERWISE.

ALL MY SWITCHDEAR, SECTIONALIZING CABINETS AND MY TO LY STEP DOWN TRANSFORMERS SHALL BE PROVIDED AND INSTALLED BY THE UTILITY COMPANY UNLESS NOTED OTHERWISE.

IN WAREHOUSE AREAS THE CONTRACTOR CAN USE MC CABLE ABOVE  $15^{\circ}$ —0" UNLESS NOTED OTHERWISE. RUNS WIST BE MADE SQUARE TO THE BUILDING AND INSTALLED IN A NEXT AND WISHMEN LIKE MANCH.

. THE CONTRACTOR SHALL SEAL ALL RACEMAY PENETRATIONS OF THE BULEONS EXTENCE WITH AN APPROVED METHOD FOR THE TYPE OF MATERIAL BEING PENETRATED AND MAINTAIN THE FIRE MATING.

20.	THE CONTRACTOR SI	HALL USED THE		COLOR CODING	SCHEME FOR ALL	
	AC SYSTEM	PHASE A	PHASE B	PHASE C	NEUTRAL	GROUND
	480/277V, 30, 4W	BROWN	ORANGE	YELLOW	GRAY	GREEN
	480V. 36. 3W	BROWN	ORANGE	YELLOW	N/A	GREEN
	240V, 34, 3W	BLACK	RED	BLUE	N/A	OREEN
	240/120V, 16, 3W	BLACK	RED	N/A	WHITE	GREEN
	240/120V, 36, 4W	BLACK	ORANGE*	BLUE	MHITE	GREEN
	208/120V, 34, 4W	BLACK	RED	BLUE	WHITE	OREEN
	*PHASE B SHALL BE	E WRED AS THE	HIGH-LEG.			
	**ALL ISOLATED GRO	UND CONDUCTO	RS SHUL I	RE GREEN WITH	A YELLOW STRIPE.	

THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER COMPLETE RECORD OF ALL FIELD C NOT EDGLAMENTED BY RFL, ADDENDUM, ETC. TO BE INCLUDED IN THE OWNERS RECORD

#### BLUE STAKES OF UTAH

THE CONTRACTOR SHALL CONTACT ALL INVOLVED PROPERTY OWNERS, UTILITIES AND OTHER CONTRACTORS INVOLVED WITH THE SITE BEFORE DIGDING AND SHALL GREY STATE "CALL REFOR YOU DIG" LAWS.

IF ANY MEMBER UTILES HAS FALED TO NOTIFY OR LOCATE THEIR FACILITIES THE EXCANATO SHALL CONTACT BLUE STAYES OF UTAH AND FILE A SECOND NOTICE.

	ELECTRICAL REVISIONS	
7	DESCRIPTION	DATE
Α	k .	
	k .	

**TAFT** 

Toft Engineering, LLC 8610 South Sondy Porkedy, Suite #2 Sondy, Utoh 84070 (801) 971-3724

DETAILS AND SCHEDULES SYMBOL NOTES,

GENERAL

ELECTRICAL

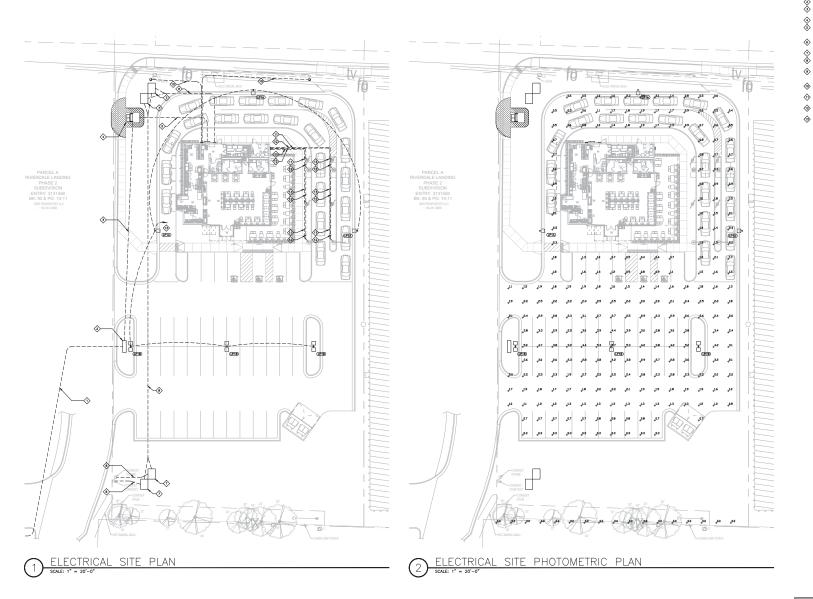
SHAKE SHACK 4142 RIVERDALE ROAD RIVERDALE, UT 84405

01-0013-2022

SITE REVIEW SET

06-13-2022

E000



**TAFT** 

PLANS SITE

ELECTRICAL

SHAKE SHACK 4142 RIVERDALE ROAD RIVERDALE, UT 84405

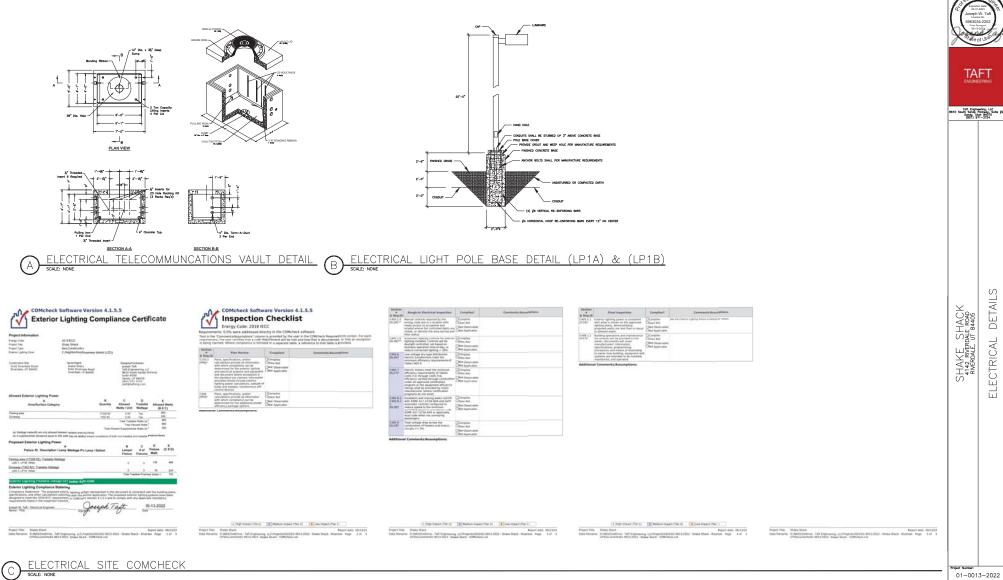
01-0013-2022

SITE REVIEW SET

06-13-2022

E101

ELECTRICAL REVISIONS DESCRIPTION



ELECTRICAL REVISIONS DESCRIPTION

01-0013-2022 SITE REVIEW SET

DETAILS

ELECTRICAL

06-13-2022

E601

LECTRICA	CTRICAL LIGHT FIXTURE SCHEDULE (1990)									
TYPE	QUANTITY (ESTIMATE ONLY)	DESCRIPTION	MANUFACTURER(S)	CATALOG NUMBER(S)	LIGHT SOURCE	WATTS PER FIXTURE	VOLTAGE	DOMMING	MOUNTING	NOTES
LP1A	3	SINGLE HEADED LIGHT POLE	VISIONARE		LED 10,229lm, 4000K, 70 CRI	78	UNV	0-10VDC @ 10%	SEE DETAIL B/E801.	
LP1A	3	TWO HEADED LIGHT POLE	VESIONARE	2 X HEADS: VMX-T3-46LC-5-4K-UNV-AM-SCBA-DIM-WSC-40 POLE: SNTS-5S-7-25"-128C-136-02-SCBA	LED 10,229m, 4000K, 70 CRI	156	UNV	0-10VDC @ 10%	SEE DETAIL B/EB01.	
NOTES:										
		ARCHITECT TO DETERMINE FINISH OF FIXTURES								

Stonal English Stones to the S

TAFT

Toft Engineering, LLC 8610 South Sondy Porkey, Safe \$20 Specify Units 86/70 (601) 971-3724

> SHAKE SHACK 4142 RIVERDALE ROAD RIVERDALE, UT 84405

ELECTRICAL SCHEDULES

Project Number: 01-0013-2022

SITE REVIEW SET

06-13-2022

E801

1.01 GENERAL CONDITIONS

A. The General Conditions are a part of this contract.

A. Provide all items, articles, ma3terials, operations or methods listed, mentioned or schedules on the drawings or herein specified, including all labor, material, equipment, and incidentals necessary and required for their completion.

- 26020 Moterial and Methods 26030 Electrical Services 26040 Electrical Distribution 26050 Lighting Flutures 26060 Communication Conduit System 26070 Fire Marm System 26080 Generator

#### 1.03 DRAWINGS AND SPECIFICATIONS

- A. Electrical drawings are diagrammatic, but shall be followed as closely as actual construction and work of other contractors will permit. Home runs shall be installed from outlets as shown on drawings.
- B. Devictions from drawings required to make work of this contract conform to building as constructed, as to work of other contractors, shall be made by the Contractor at his expense. The Architect reserves the right to make minor changes prior to installation in the location of equipment and outlets without additional charges.
- C. Before submitting bid, the Contractor shall familiarize himself with the architectural and contractor shall remissive himself with the architectural and contractor shall be shall be shall be shall be shall be contracted before contractor shall be shall
- D. Items in the plans and specifications that are in conflict, not understood, or incomplete shall be referred to the Architect for conflictiones before submitting bit. Foliate to rodily the Architect of the expense of correcting these items to the submitting bit. Foliate to the in this bit to cover the expense of correcting these items to the subfaction of the Architect.
- E. The Contractor shall keep a record set of drawings neatly marked with all changes from the original design, the Contractor shall make neat and accurate changes on a set of sepios supplied by the Architect. These deviatings shall be delivered to the Architect the completion of the project prior to receiving final payment. A print of these drawings shall be made available to the Architect and his Engineer of the time of final impaction.

#### 1.04 INDUSTRY STANDARDS

A. The following is an abbreviation list of organizations and publications specified herein:

- NEC National Electrical Code
   NEMA National Electrical Manufacturers' Association
   UL Underwriters Laboratories, Inc.

A. The installation and materials shall comply with all laws applying to electrical installations in effect, with the regulations of the NEC where such regulations of the Public Utility Company furnishing the service. The deneral Contractor will obtain and pay for the cost of the electric permit. The building aware is responsible to pay for power & communication utility connection and impact fees.

#### 1.08 DRAWINGS

- a. Contractor that cheek at although developes for conformance with contract facciments before salamittings for Antheck lies what note on drawings only changes from liers specified, falling reasons and glying source of change such as "changed by oddendam" or "changed by change order". Contractor shall be responsible for conformance with plans and specifications; for dimension to be confirmed and correlated of the job after for information that performs solely to white other through the confirmed conformation of the confirmed conformation of the source white other through the conformation of the source with other through the conformation of the source with other through the conformation of the source when the conformation of the source of the conformation of the conformation of the source of the conformation of the confo

#### 1.07 TESTS

A. This Contractor shall furnish a permit and certificate of acceptance for all work installed by him, including inspection fee for all motors. On completion of the work, the installation shall be tested free from all grounds and short circuits.

A. This Controctor shall guarantee all materials, workmanship and the successful operation of all equipment and apparatus under this contract for a period of one (1) year or as the law requires from the odds of final consequence of the while work, the shall guarantee to report or provided such defect is, in the opinion of the Architect, due to Improper materials or workmanship and not to correlessors or improper use.

#### 1.09 SUBSTITUTES

A. Refer to General, Supplementary and Special Conditions for instructions on bidding substitute

#### 26020 - MATERIALS AND METHODS

- Part 1 General
- 1.01 GENERAL CONDITIONS
- A. The General Conditions are a part of this contract. 1.02 SCOPE OF WORK

A. This Contractor shall furnish all labor and materials required to complete all the electrical work shown on the drawings and as specified herein. 1.03 MATERIALS

A. All moterials shall be UL approved unless otherwise required and shall be delivered to the site of such stopes of the work as will expedite the work as a whole. The moterials shall be there stored in original controls until record for use in such a momero as to permit ready observation by the Architect or his representative. This Contractor shall make his own provisions for delivery and safe storage of materials.

#### 1.04 ALTERNATE MATERIALS

A Mondificultural rooms on falsed to satisfacts function and scall or interfacts or equipment. Marticles as lated and late title a specified views entire approach is obtained the satisfaction and the satisfaction of the satisfact to the satisfact of the satisfaction of the satisfaction of the satisfact to the satisfaction of the satisfaction

#### 1.05 EXCAVATION

A. Trenching or other excavation necessitated under this contract shall include proper backfilling, compaction and grading of excess earth. All rubbish or wasted shall be removed and premises left clean as for as this construction is concerned.

#### 1 OE CONDUCTORS

- A. All aring shall be done with copper conductors sized occording to the drowings. Minimum wire size shall be §12.7860, except co noted life §10.7860 and larger shall be stranded. The insulation shall be type THHIst of Their or as share not drowings and shall conform with NEC for the processor supplication, frament breast conductors within these inches (C) of bodget shall be used when shall be consult systems. Winnerman with may be used in feet of a countil systems. Walnimum with may be used with the other countil systems. Walnimum with may be used with the other countil systems. Walnimum with may be used in feet of a countil systems. Walnimum with may be
- 8. Wires shall not be pulled into conduits until the entire system is completely installed and swobbed out and the building, except inferior fishs, is esubstantially completed. Give propried wire lubricant shall be applied to cenductors. All wires of the same circuit shall run in the same conduit. Neutral conductors shall not be paralleled nor feet deapther, except at neutral bus in
- 2. Splices, taps, and terminals shall be made in accordance with NEC and shall be made in junction boxes, outlets and panelboards approved for the purpose. Ideal wire connectors or equal shall be used for all splices. All wire shall be used for all splices. All wire shall run in metalic raceways.

#### 1.07 RACEWAYS

- A Concallas shall be afther rigid state. Intermediate model consol. (MC) or electrical metallic babing and control of the cont
- B. All raceways shall be installed as one complete system with all joints in pipes and all connection to bases made electrically and mechanically correct. Roceways shall be installed with a pitch down toward boxes in set or damp areas and shall enter bases squarely without drop overs or bunching. They shall be firmly secured with standard fittings.
- C. No raceway shall run on roof deck, be out into insulation or be so located as to endanger the strength of structural members. No hardcontal runs shall be made in structural walls without permission of the structural reprierer. Conduits burdled in concrete stable shall not exceed 1/3 of the depth of sick and shall be covered by not less than 1/3 depth of concrete. Conduits may be run under from where necessary, with opprovial of Architect.
- D. All condults shall be run conceiled in hollow spaces of waits or ceiling, except where otherwise noted. Condults shall be run exposed on ceilings in unfinished areas. Exposed condults shall be routed in a verimaniliar moner on surface of real or ceiling, whill be parollet to valid and ceiling, and shall not span across bottom of joists, except where directed by Electrical Engineer Concultes shall be used where required to provide on eact and vertramplia installations.
- E. Conduit shall be supported within the feet (2") of all couplings and, where exposed, equally spaced not further apart than sight feet (6). Cookall shall be supported on approved types of the specific consistency of the supported on approved types of the specific consistency when shall be specific consistency of the specific consisten

#### 1.08 FITTINGS AND BUSHINGS

AS DIF counting and filtings that he abel pin-fight compression or shee all serves type and to flowers the flowers defined buildings, even to CV type SLO of SLO, about he used where required by cooks, CV will entonce seeds shall be used on all below grook will consider the contract of the contract of

#### 1.09 BOXES

- B. Ceiling outlet boxes in reinforced concrete joist construction shall be located in headers between the joists. All boxes shall be set plumb and level and shall be firmly secured in place so that the face of the box cover will be flush with the finished wall or ceiling line. Provide box extensions to extend box flush with wall finish per NEC 370-10.
- C. Only such innoclouds shall be removed from the boxes as are required for connections. Junction boxes, pull boxes and outlet boxes for devices shall be sized as required by NCF, what is 4.7 separe by 2.7 deep minimum, and small be provided with a subtlete cover of owns motherial or come motherial or come motherial or come motherial or cover of the control of the control of the cover of the

#### 1.10 LABELS

- A. Provide lobels identifying all conductors entering pull boxes and junction boxes, identify all receivery systems where exposed and all empty acidet boxes. Lobel shall be on inside cover on reasonable and on a continuous control of the contr
- B. Labels shall be engraved metal tags, plates or embossed plastic tape.
- C. Nameplates shall be black laminated micrata or equal with white engraved capital letters on black with white beveled edges, utilize red background for emergency panels and apparatus.
- A. The Controctor shall be held solely responsible for the proper installation of his work. He shall arrange with the proper contractors for the building of archors, etc., and for the sewing of facilities of the contractor of th
- B. Unless otherwise indicated or directed, the heights to the center of outlets or equipment shall be

as follows:				
Receptacles	18"	Intercom stations	48"	
Telephone outlet	18"	Wall switches	48"	
Clock outlet	98"	Distribution panels	72"	top
Bells and horns	82"	Disconnect switches	60*	
Speakers	98"	Motor controllers	60*	
Fire alarm station	48"			

C. Before placing outlets and equipment, the Contractor shall consult the drawings and specifications of other trades for conflict with equipment, cobinets, shelves, etc. Where such conflicts exist, the Contractor shall consult with the Architect for exact location of outlets.

- 1.01 GENERAL CONDITIONS
- A. The General Conditions are a part of this contract

### 1.02 SCOPE OF WORK

A. This Contractor shall furnish all labor and materials required to complete all the electrical work shown on the drawings and as specified herein.

#### 1.03 SERVICE ENTRANCE

- A. Three phase 120/208 volt, 4 wire, 60 cycle.

- A. Underground service shall be installed as shown on plans. Extend up service pole as directed by Power Company if plans call for extension up pole.
- B. Contractor shall verify exact location of service entrance and voltage available with local Power Company before commencing with electrical installation. If any changes are required from system shown on drawings, Contractor shall receive written approval for Architect before making changes 1.05 METERING EQUIPMENT
- A. Meter and current transformers shall be provided by local Power Company. Contractor shall provide and install meter base and transformer can sized as required by Power Company. 1.06 GROUNDING SYSTEM
- A. The conduit system and neutral conductor of the wiring system shall be grounded to the cold water pipe having a continuous path to earth in compliance with NEC. Point of connection to the water system shall be as near as practicable to the service entrance. Run grounding conductor.
- B. Provide bonding jumper same size as system, ground to provide ground continuity from customer's side of metallic line service entrance and street side of metallic mains.
- C. In addition to the water pipe ground system, the Contractor shall install a made electrode ground system consisting of two (2)  $3/4^{\circ}$  xiO copperated rods spaced not closer than ten feet (10°) part. Grounding conductors and connections to ground rods shall be protected from damage and shall be placed to avoid disconnect by unauthorized personnel. Interconnect with water pipe entry of systems.

- D. Ground and bond all cabinets, motor frames, conduit systems, electrical appliances, equipment, etc. as required by NEC. Grounding connection shall be accessible for inspection.
- E. Condult system shall not serve as the sole grounding conductor, a separate ground is required in all condults or cables that contain wiring over 50 volts. However, in all plastic condults and where on equipment ground wise is required, it shall be a copper conductor, sized per NEC Table 250-95. Terminote grounding conductors in outlet boxes per NEC 250-114 and on ground terminol strips in pensiborate. Do not connect to neutral bus.

26040 - ELECTRICAL DISTRIBUTION

- PART 1 GENERAL 1.01 GENERAL CONDITIONS
- A. The General Conditions are a part of this contract

#### 1.02 SCOPE OF WORK

A. This Contractor shall furnish all labor and materials required to complete all the electrical work shown on the drawings and as specified herein.

#### 1.03 PANELBOARDS

A. Poweboards shall be complete with concealed frim clamps, door with concealed hinges, flush lock, permanent numbering system, and breakers as shown on the drawings. Breakers used to be completely contained to the control of th

- C. Panelboard layout, circuit numbers, etc., shall conform with Panelboard Schedule shown on drawings. Circuits numbered as shown on drawings shall be consected to respective circuits numbered as shown on drawings shall be consected to respective circuits. Or Provide a newly types or lettered index for oil circuits served by each pore ulargo permote norm numbers or names as directed by the Architect. Each index shall be enclosed in one opproved holder on the Inside of the cobilent door.
- F. Provide and install ground terminal strip in all panelboards with grounding conductors. Anchor and ground strip securely to can. Terminate each grounding conductor individually.
- G. Panels and distribution switchgear with fused switches shall have metal nameplate permanently secured on outside of each switch door. Nameplate shall indicate "fuse type", "maximum fuse amps" as shown on drawlings.
- H. Semi-flush mount flush mounted panelboards which protrude from the wall. Fur around panel as directed by Architect. 1.04 FUSES
- A. The fused distribution system is designed to provide current-limitation and component protection.
   To retain these design standards, all fuses shall be of the same manufacture.
- Ampere ratings shall be as listed in plans. Interrupting ratings shall be 200,000 amperes for branch feeder and main fuses, unless otherwise noted.
- C. Fuses rated 1/10 to 600 amperes shall be UL Class RK-5 dual-element, current-limiting, All dual-element fuses shall have separate overload and short circuit elements. Bussman Low-Peak Dual-Element Fuse LPM-LPS.
- D. Fuses rated 601 to 6000 amperes shall be UL Class L with time-delay. Bussman Hi-Cap Time Delay Fuse KRP-C.
- E. When indicated on plans, fuses protection circuit-breaker panelboards shall be Class KR-1 or Class L current-limiting fuses. Bussman Limitron Fast Acting Fuses KTN-KTS-KTU.
- F. Motor circuit fuses roted 1/10 to 600 amperes shall be sized one ampere roting above to selected heater element. Fuse ampear roting shall not exceed 1/25K of motor FLA. Abovom FLASE of the selected heater element. Fuse roted 1/10 to 50 amperes shall be U. Closs RK-5 Buldehernt. Baseron Fuserior Dual-Dement Fuses RK-5 Buldehernt. Baseron Fuserior Dual-Dement Fuses RK-5 Buldehernt. Baseron Fuserior Dual-Dement Fuses RK-5 Buldehernt.
- G. Motor circuit fuses rated 601 to 6000 amperes shall be sized at 150% of motor nameplate Fuses shall be UL Class L with time-delay. Bussman Hi-Cap Time-Delay Fuse KRP-C.
- Provide spare fuse cabinet equal to Bussman for storing spare fuses. Mount on wall near main panel or as directed by Architect.
- 1.05 HEATING, VENTILATION, AND MISCELLANEOUS EQUIPMENT
- A. The Electrical Contractor shall perform all line voltage wiring and make all line voltage connections to equipment, except where noted otherwise. Line voltage shall be that voltage at 50 volts and above.
- B. The Contractor shall install all starters and controls furnished to by the Contractors of other trades and furnish and install all starters, controls and disconnect switches shown on the drawings, or not provided by other Contractors.
- C. The Contractor shall perform all wiring required for interlocking equipment of other trades installed under this contract. Interlock wiring for mechanical system shall be done as specified under the mechanical section of these specification.

  D. Low voltage equipment and wiring shall be installed by others or as specified under the mechanical section of these specifications or as shown on the drawings.

#### 1.06 WIRING DEVICES

- A. General:
- All devices shall be specification grade and shall be Hubbell, P&S, Leviton or as noted. All devices shall be of one manufacture, install hospital grade devices where indicated on plans.
- B. Switches:
- Flush taggle type AC quiet, 20 amp, color per architect or owner, Pass & Seymour 20AC1, 20AC3, 20AC4 for spec grade, 2801, 2803, 2804 where decorator devices are called out or equals by Hubbell or Leviton. C. Receptacles:
- 3-wire flush grounding type, 125 voll, 20 amp, color per architect, Pass & Seymour 5352 for spac goods, 26252 for 150 amp decorator & 26352 for 20 amp decorator style, 67 outlet, 10 outlets must be 15 or 20 amp spac grade as noted, facult by hibable of Levilina are acceptable. Weatherproof receptacles shall have Pass & Seymour WP-26 or WP-6 W.P. covers as appropriate.
- E. Plates: Lexan plastic color to match device, equal to P&S RP series.

F. Special Purpose Outlet: Provide 4-11/16* square by 2-1/6* deep junction box minimum with raise plaster ring, flexible metalic conduit with ground wire and wire or exceptable as required. Floriter ring shall be metalic conduit with ground wire or metalic conduit with ground size of the provided provided by the provided prov

Shall be equal to Walker Parkersburgh 880 Series steel floor box with #895 brass cover plates for power, #896 CK-1 brass cover plate for telephone. Provide carpet flanges in corpeted areas Where required, service filting shall be provided as specified on drawins.

- H. Time Switch: Shall be equal to Tork W300 for outside lights and Tork #7200 24-hour clock for indoor lights. Provide NEMA Type 1B enclosure with key look and size as required where flush mounting is specified.
- Shall be equal to Square D with rating as required by NEC and shall be weatherproof where located outside.
- (a) Single Phase: Motor starting switch with thermal overload. Omit overloads when included

- in controller.
- (b) Three Phase: Safety switch NEMA type ND fusible. Fuse with Buss dual element fuses sized and 125% of motor full load amps or at next standard fuse size.
- Disconnect means for each motor controller shall be provided with auxiliary contacts as required (or separate disconnect switch adjacent to controller disconnect) for disconnect controller controlle
- Starters:

  1. Shall be equal to Siemens A-C magnetic full voltage RQ-21 starter complete with pilot light, three heaters, selector switch and properly rated for motor it serves.

Starters with disconnect switch shall be equal to R0-21 combination starter with fuelble disconnect switch, having auxiliary contacts for control of separately derived control circuit operating hosting cod. Noting of indefining out involves of an immber of interescents who be as specifications. Size thermal overload units for full load ampere ratings shown on motor nameptation. Record motor nameptation full load ampere ratings after an order nameptate. Record motor nameptate full load ampere ratings after relating and hortespaper in soch starter.

#### 26050 - LIGHTING FIXTURES

PART 1 - GENERAL

1.01 GENERAL CONDITIONS

A. The General Conditions are a part of this contract.

#### 1.02 SCOPE OF WORK

A. This Contractor shall furnish all labor and materials required to complete all the electrical work shown on the drawings and as specified herein.

### 1.03 EQUIPMENT

- A. Fixtures as described and scheduled on the drawings and herein shall be furnished and installed complete with all necessary wiring, sockets, lamps, ballasts, auxiliaries, plaster frames, supports, etc. Controtor shall be responsible for verifying correct mounting required for each fixture.
- Fixture supports shall be provided in accordance with the NEC and as specified herein. Outlet boxes supporting fixtures shall be firmly anchored to permanent building structures.
- Fatures weighing more than 50 pounds and all fluorescent fatures shall be firmly anchored  $t=-1/2^{\circ}$  steel channel supported by permanent building structure. Spacing between supports to fluorescent fitures shall be not severe than eight feet (8') and there shall be not less than two (2) supports for each fluorescent fiture. All surface mounted fictures shall mount tight opainst cailing expect spacers shall be provided for combisables cailings as required by fisture mountacturer. Includes shall not be supported from tie or loth of wood, metal or composition. Recessed fistures designed for grid type cailings shall be continguise supported by 4 #12 gods. stell writer attached to structure.
- C. All recessed fixtures shall be removable from the front and shall have tope connection conductors having and insultation suitable for the temperature encountered running from the fixture terminal connection to an outlet box, ploced of best one foot (1) from the fixture. Such tape shall extend in at least four feet (4') but not more than six feet (6') of fiesible conduit. Outlet box shall be accessible when fixture is removed.
- D. Where permitted by code, recessed fixtures may be wired directly with supply conductors having insulation suitable for the temperature noted on the fixture. E. Where there is a discrepancy between the quantity of fixtures shown on the drawings and the quantity of fixtures shown in the fixture symbol, the quantity shown on the drawings shall govern.
- F. All fixtures located in wet or damp areas shall be rated for the specific area and shall carry label indicating approved for wet or damp location.
- G. Typically fixtures are LED roted 3500K for interior lighting and 4000K for exterior applications. Where fluorescent fixtures are utilized they shall have ELECTRONIC ballosts with no more than 20% total harmonic disturbance, All lamps must be full spectrum T-8 sec. 3500 style.

#### 26060 - COMMUNICATION CONDUIT SYSTEM

PART 1 - GENERAL 1.01 GENERAL CONDITIONS

A. The General Conditions are a part of this contract.

- A. This Contractor shall furnish all labor and materials required to complete all the electrical work shown on the drawings and as specified herein. 1.03 EQUIPMENT A. Underground service shall be installed as shown on drawings. Contractor shall welfy exact location of service entrance with the Telephone Company before commencing with electrical installation. If any changes are required from those shown on the drawings, Contractor shall obtain witten approval from Architect before making, changes.
- B. Voice/data outlets shall be standard 4" x 4" box with telephone face plate to match plates for
- C. Provide raceway system as shown on drawings. Surface mounted raceways terminating at loc of telephone equipment shall be neatly racked and stubbed up 6° above floor and 5° below ceiling. Secure condutts to 1° channel mounted on wall. Provide bushings on all conduits.

**TAFT** 

Taft Engineering, LLC 9610 South Sondy Porkedy, Suite & Sandy, Utoh 84070 (801) 971-3724

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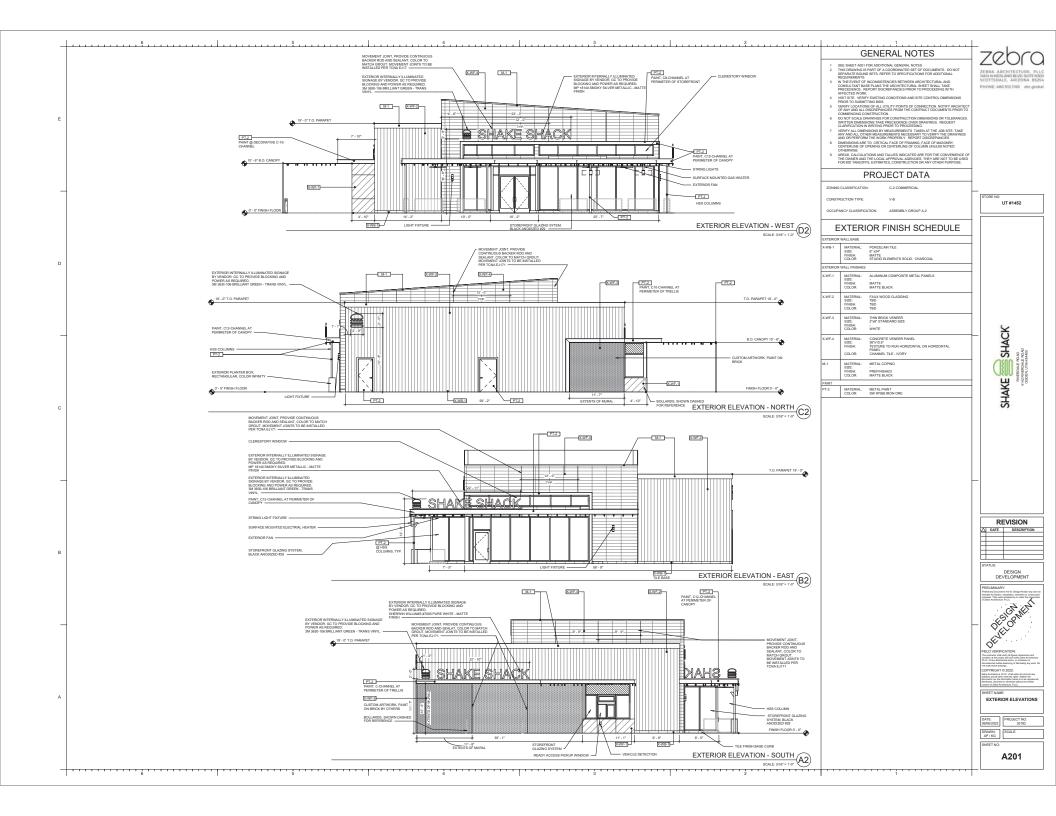
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SITE REVIEW SET

06-13-2022 heat Numbe

E901

ELECTRICAL REVISIONS DESCRIPTION



# RIVERDALE CITY PLANNING COMMISSION AGENDA

August 9, 2022

**AGENDA ITEM: E3** 

**SUBJECT:** Consideration to recommend City Council approval of the Final Site Plan for

Riverdale Townhomes residential project, located at approximately 4086 South 300 West, Riverdale, Utah 84405, as requested by Riverdale Center

North, LLC and AWA Engineering.

**PRESENTER:** Mike Eggett, Community Development

**INFORMATION:** a. Exec Summ Final Riv Townhomes Site Plan – PC [20220809]

b. Riv Townhomes Final Site Plan PC Review – 20220804

c. Dept Staff Reports – PC Riv Townhomes Final Plan [20220804]

d. City Eng Riv Townhomes site plan review #2 – 4 August 2022

e. Riv Townhomes Update Site Plan App – 20220510

f. 2022-07-13 Comment Response Letter

g. Riverdale Townhomes 2nd City Submittal 07-12-22

**BACK TO AGENDA** 



# Planning Commission Executive Summary

For the Commission meeting on: 8-9-2022

Petitioner: Riverdale Center North, LLC and Revival Development Represented by Jake Tate (AWA Engineering)

### **Summary of Proposed Action**

Riverdale Center North, LLC and Revival Development, as represented by Jake Tate (with AWA Engineering), have resubmitted Final Site Plan documentation for the Riverdale Townhomes Residential Site Plan proposal as located at approximately 4086 South 300 West in a Multiple-Family Residential R-4 zone. The proposed site plan is before the Planning Commission for final recommendation review of the submitted plan. A public hearing is not required for review of this proposed site plan.

Following the presentation and discussion of the final site plan proposal, the Planning Commission may make a motion to recommend City Council approval of the site plan, approval with additional requirements and criteria, or not recommend Council approval of the proposed Riverdale Townhomes residential site plan with the appropriate findings of fact to support the decision. Should this final site plan proposal receive Commission recommendation, then the site plan would be updated and brought to the City Council for Final Site Plan approval consideration.

### Title 10 Ordinance Guidelines (Code Reference)

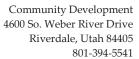
This Residential Subdivision Site Plan review is regulated under City Code 10-21 "Subdivisions" and is affected by City Codes 10-9E "Multiple-Family Residential Zone (R-4)", 10-14 "Regulations Applicable to All Zones", and 10-15 "Parking, Loading Space; Vehicle Traffic and Access".

The petitioner's properties are currently listed in the County Records under the ownership of Riverdale Center North, LLC. The majority of this site plan property is undeveloped and unused with some adjacent accessways and parking lots also existing on the proposed development property.

Attached with this executive summary is a supplementary document addressing items on the Preliminary Site Plan application and as directed by 10-21 of the City Code. Also attached, following this executive summary, are comments from the contracted City Engineer, Public Works Department, Fire Department, and Police Department. The Planning Commission should discuss these summaries and any noted Planning Commission and/or staff concerns.

Staff encourages the Planning Commission to review this matter, including concerns outlined herein, and then discuss with the petitioner concerns associated with this application. Staff would then recommend that the Planning Commission make a motion to recommend City Council approval of the site plan, approval with additional requirements and criteria, or not recommend Council approval of the proposed Riverdale Townhomes residential site plan with the appropriate findings of fact to support the decision. Should this final site plan proposal receive Commission recommendation, then the site plan would be updated and brought to the City Council for Final Site Plan approval consideration.

General Plan Guidance (Section Reference)		
The General Plan use for this property is currently set as "Planned Commercial - High" and this proposed project is in direct support of the planned commercial uses in this area of the City.		
Legal Comments – City Attorney		
	Steve Brooks, Attorney	
Administrative Comments – City Administrato	r	
	Steve Brooks, City Administrator	





# Preliminary Site Plan Review – Riverdale Townhomes Project, 4086 South 300 West

Completed by Mike Eggett, Community Dev. Director on 5/18/2022, 5/19/2022, and 8/4/2022

**Recommendation:** City staff recommends that the Planning Commission examine and review this proposed final site plan. Items of consideration or note have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to recommend City Council approval of the final site plan, approval of the final site plan with additional comments or concerns to be addressed by the developer, or not recommend approval of the final site plan proposal for the Riverdale Townhomes project.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	May 10 2022, update on 7/19/2022
Date Application Submitted to City:	May 10, 2022
Date Fee Paid:	Paid on May 17, 2022 (see application and receipt
	for details)
Subdivision/Site Plan – Preliminary	Departmental Review Comments
Requirements	
COVER SHEET	Provided
<u>Title Block</u>	
Project name and address	Project name shown and address location shown; units have been numbered for each building unit; address for lot should show as 4086 South 300 West; the private drives need to be identified with a name or numeric information on the Riverdale Center V Subdivision, Amended plat and/or the units numbering needs to be shown on the Riverdale Center V Subdivision, Amended plat
Property Owner's name, address, and phone number	This information is provided on plan: Riverdale Center North, LLC, 5670 Wilshire Blvd, Suite 1250, Los Angeles, California 90036, 323-965-1510, Contact: Steven Usdan
Developer's name, address, and phone number	This information is provided on plan: Riverdale Center North, LLC, 5670 Wilshire Blvd, Suite 1250, Los Angeles, California 90036, 323-965-1510, Contact: Steven Usdan

Approving agency's name and address: Utility companies as applicable	Approving agency's name and address provided – Riverdale City, 4600 South Weber River Drive, Riverdale Utah 84405; <u>utility companies name and address not provided</u> , if applicable
Consulting Engineer's name, address, and phone number	Anderson Wahlen & Associates, 2010 North Riverdale Road, Salt Lake City, Utah 84116, 801- 521-8529
Licensed Land Surveyor's name, address, phone number, signature, and seal	Anderson Wahlen & Associates, 2010 North Riverdale Road, Salt Lake City, Utah 84116, 801- 521-8529
Date	Yes – 10 May 2022, this date may need to be updated since we are now working on a July revision
Revision block with date and initials	Revision block shown for use
Sheet number and total sheets	16 total sheets
General	
Street names	Shown – 300 West and Pacific Avenue
Layouts of lots with lot numbers and addresses	There is only one lot with 45 townhome units on the lot; units have been numbered for each building unit
Adjacent tract ownership and tax identification numbers	Adjacent property tract ownership names with tax ID numbers shown
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown as 1" = 20' and 1" = 30'
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements shown, existing structures and utility lines shown; unsure of approvals provided to cross, use, relocate
Space for notes	Yes, provided
Contours	Yes, shown on multiple sheets
Public areas	Sidewalks and curb/gutter shown on multiple sheets; open space parcels identified
<u>Vicinity Map</u>	
Street names	Yes
Site location	Yes
North arrow	Yes
Scale	"Not to scale" noted
Landscaping (location and type with area calculations)	Landscaping plan shown on sheets L1.1-L2.2; area calculations shown on L1.1

Location of exterior lighting devices, signs, and outdoor advertising	Existing street lights shown and anticipated street lights shown; exterior lighting devices per each unit referenced on comment response sheet; no anticipated subdivision signage locations shown, if applicable
Location of underground tanks, dumpsters, etc	Underground tanks shown on sheet C3.1; dumpsters not anticipated for this site
Additional Information	
Benchmark	Shown, defer to City Engineer review
Basis of bearings	Shown, defer to City Engineer review
Legend	Yes, shown
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements shown, existing structures and utility lines shown; unsure of approvals provided to cross, use, relocate
PLAT SHEET	There is no plat for this residential site plan development; however there is a plat associated with this lot that has been submitted, "Riverdale Center V Subdivision, Amended"
PLAN AND PROFILE SHEETS	Site Plan and Utility Plan sheet provided
<u>Title Block</u>	
Project name and address	Project name shown and address location shown; units have been numbered for each building unit; address for lot should show as 4086 South 300 West; the private drives need to be identified with a name or numeric information on the Riverdale Center V Subdivision, Amended plat and/or the units numbering needs to be shown on the Riverdale Center V Subdivision, Amended plat
Approving Agency's name and address	Approving agency's name and address provided – Riverdale City, 4600 South Weber River Drive, Riverdale Utah 84405
Consulting Engineer's name, address, and phone number	Anderson Wahlen & Associates, 2010 North Riverdale Road, Salt Lake City, Utah 84116, 801- 521-8529
Date	Yes – 10 May 2022, this date may need to be updated since we are now working on a July revision
Scale	Yes, scale is shown as 1" = 20' and 1" = 30'
Revision block with date and initials	Revision block shown for use
Sheet number and total sheets	16 total sheets

<u>General</u>	
North arrow	Yes
Street names	Shown – 300 West and Pacific Avenue
Lot numbers	There is only one lot with 45 townhome units on the lot; units have been numbered for each building unit
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet C0.1
<u>Signage</u>	Subdivision signage locations not shown, if applicable; may inquire future signage intent
Height	Not available
Size	Not available
Locations	Not available
Colors	Not available
Lighting	Not available
New and Existing Buildings	
Height and Size (multiple homes)	New building - Height = approx. 26 ft 5 inches tall; Building size = 1643 sf per unit; existing buildings and utility structures on site shown; may inquire for more details about the planned structures
Location, setbacks, and all dimensions	Setbacks along road are 20 feet, setbacks along rear perimeter or homes and subdivision are 16 feet at closest point; building footprints shown on drawings should be set to meet R-4 zoning reqs
Type of construction	Unknown building materials and types of construction at this time; may inquire for more information
Type of occupancy and proposed uses	Multiple family residential use on lot; townhomes are single family dwellings
Show handicapped access	ADA accessible ramp shown and identified on multiple sheets
New and Existing Landscaping & Percentage	Landscaping identified on sheets L1.1-L2.2; percentage of landscaping provided for site as compared to overall lot area is 36.16% and meets minimum requirement of 20% or more landscaping coverage per City Code 10-14-12(B.)(2.)

Number of trees	Per plant schedule on L1.2 there are 12 trees, 258
	shrubs, 81 ornamental grasses, 81 perennials
Landscape plan showing all planting, hardscaping, berming, and watering	Planting, hardscaping shown; irrigation plan provided
Xeriscaping alternatives being considered	Yes, xeriscaping seems to be applied in the rock
	mulch and ground cover areas of landscape plan;
	for more, inquire of the developer
New and Existing Walls and Fences	
Location, design, and height	No existing fences identified on C0.1; new fences
	shown on sheet C1.0
Materials proposed for construction	Chainlink and vinyl fencing planned
New and Existing Parking	
Location, area, and layout of off-street parking	Onsite guest parking: 33 stalls; 90 dedicated stalls
(size of stalls, regular and handicapped)	provided and shown; handicapped parking spaces
	identified and shown; stalls size should meet city
	requirements, parking stalls need to be a minimum
	of 180 feet in size per 10-15-5(D.)(1.);
Location of guest parking, residential parking, and handicapped parking	Established as shown on drawings
Internal circulation pattern	Internal circulation not shown, may discuss traffic
	movement
New and Existing Ingress and Egress	
Location and size of points of ingress and egress	Yes, shown
for motor vehicles and internal use	
Circulation pattern	Not shown, may discuss traffic movement
New and Existing Streets	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	Shown, and identified as "right-of-way"
Face of curb lines	Yes, this is shown
Centerline slope	Yes, this is shown
Signing and striping	Signing installation should be coordinated with
	public works dept and paid for by applicant;
	roadway striping should be coordinated with
	public works;
Light poles	Existing street lights shown and anticipated street
0 - F	lights shown; exterior lighting devices per each
	unit referenced on comment response sheet
Street lights	Existing and proposed street lights along 300 West
	and Pacific Avenue shown
	and racine Avenue Shown

Street name signs	Signing installation, if any, should be coordinated
	with public works dept and paid for by applicant;
Stop signs	Signing installation, if any, should be coordinated
	with public works dept and paid for by applicant;
UDOT approval (if required for project)	Not applicable to this project
Sidewalk (4' side with 4" of road base or 6' side	Yes, shown and defined on sheet C4.1-C4.3 "Civil
with 6" of road base through the approach)	Details"
Planting Strip	Shown
New and Existing Storm Drainage	
Top of curb elevations	Shown, defer to City Engineer
Slope of gutter	Shown, defer to City Engineer
Manholes	Existing and new shown on multiple sheets
Invert elevations	Shown, defer to City Engineer
Length, size, slope, and type of mains and laterals	Shown on multiple sheets, identified on sheet
	C3.1, defer to City Engineer
Location of catch basins	Shown on multiple sheets
Ditches, location and ownership	No ditches or waterways of note
Approval to pipe, reroute or use	Other than future City approval, unknown if other
	approval required; <u>defer to City Engineer</u>
Calculations for retention system	Storm runoff and retention calculations shown on
	"Drainage Analysis" document for this project;
	defer to City Engineer
Method of storm water clean-up	Shown on sheet C5.1-C5.3; defer to Public Works
·	Director
New and Existing Sanitary Sewers	
Manholes	Existing and new shown on multiple sheets
Invert elevations	Shown, defer to City Engineer
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, identified on sheet
	C3.1, <u>defer to City Engineer</u>
New and Existing Water Lines	
Length, size, type, and slope of mains and laterals	Shown on multiple sheets, identified on sheet
	C3.1, <u>defer to City Engineer</u>
Location, size, and type of water meters, valves,	Water meter locations shown on sheet C3.1: water
and fire hydrants	meter size varies, type per public works; Location
	of new and existing valves shown; Existing and
	new fire hydrants shown
New and Existing Gas Lines	

C' I	e total and a second second
Size and type	Existing and new: size and type not shown,
	however developer note identified on utility plat
	sheet that states, "Power meters, telephone boxes
	& gas meters to be located along ends of buildings.
	Coordinate with RMP, Dominion & Telecom
New and Existing Electrical Lines	Companies"
New and Existing Electrical Lines	
Size, location, and type	Existing locations shown; new electrical lines
	information not shown or provided, however
	developer note identified on utility plat sheet that
	states, "Power meters, telephone boxes & gas
	meters to be located along ends of buildings.
	Coordinate with RMP, Dominion & Telecom
	Companies"
Location of power poles	Existing locations shown; new power pole
	<u>locations, if any, not shown,</u> however developer
	note identified on utility plat sheet that states,
	"Power meters, telephone boxes & gas meters to
	be located along ends of buildings. Coordinate
	with RMP, Dominion & Telecom Companies"
New and Existing Telephone Lines	
Location of poles, junction boxes, and manholes	Existing and new: size and type not shown,
	however developer note identified on utility plat
	sheet that states, "Power meters, telephone boxes
	& gas meters to be located along ends of buildings.
	Coordinate with RMP, Dominion & Telecom
	Companies"
New and Existing Cable TV Lines	
Location of lines (if applicable)	Existing and new: size and type not shown,
	however developer note identified on utility plat
	sheet that states, "Power meters, telephone boxes
	& gas meters to be located along ends of buildings.
	Coordinate with RMP, Dominion & Telecom
	Companies"
DETAILED DRAWINGS	
Cross section of roadway (minimum 8" road base	Where applicable, shown on sheets C4.1-C4.3
and 3" asphalt)	"Civil Details"; <u>defer to City Engineer</u>
Cross section of curb and gutter (standard 30" high	Shown on sheet C4.1 "Civil Details"; defer to City
back)	<u>Engineer</u>
Gutter inlet box with bicycle safe grate	Shown on sheet C4.2 "Civil Details"; bicycle safe
	grates identified in plans; <u>defer to City Engineer</u>
Cleanout box	Shown; <u>defer to City Engineer</u>
Thrust blocking	Not shown, note that will be installed where
-	applicable to City Standards; <u>defer to City Engineer</u>
	applicable to City Standards; <u>defer to City Engineer</u>

Special energy dissipating or drop manholes	May not be applicable; <u>defer to City Engineer</u>
ADDITIONAL INFORMATION	
Soils report	Provided as prepared by CMT Engineering on March 21, 2022
Drainage and runoff calculations	Storm runoff and retention calculations shown on "Drainage Analysis" document for this project; defer to City Engineer
Water right transfer documentation	Applicant needs to show proof of transfer to Public Works; defer to PW Director
Copy of protective covenants, codes, and regulations for development	No protective PRUD CCR's required for this project
Three large full set of plan drawings (24x36), one full set of plan drawings (11x17 sized), and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Building renderings concepts have been provided
Corp of Engineers approval (if required)	Not applicable or required
Zoning compliance	Yes, Multiple-Family Residential (R-4) meets intended uses for site design
RDA compliance (if applicable)	Not applicable in this matter
Use compliance	Yes, site designed for Multiple-Family Residential homes at R-4 zoning density
Engineering comments and letter of approval recommendation	City Engineer, Public Works, Fire Dept, and Police Dept comments provided
Traffic study	Not applicable unless requested by City or PC
All Planning Commission and City Staff conditions for approval have been met	Currently consideration of Final Site Plan submission being reviewed for Council recommendation

# DEPARTMENTAL STAFF REPORTS - 5/19/2022 to 8/4/2022

From: Shawn Douglas

**Sent:** Thu 7/21/2022 11:47 AM

**To:** Mike Eggett

**Subject:** Riverdale Townhomes

Mike,

I have attached my review comments for the Riverdale Townhomes project. Thanks

### **Storm Water**

- 1-Drainage system operation and maintenance plan and BMPS approved and recorded with plat. The submitted plan doesn't match what the design plans show and needs to be updated.
- 2-Hydralic separator or BMP's to treat storm water before water inters underground retention/detention.
- 3-Storm water prevention plan for construction site including BMP's. All storm water inspections will need to completed on Compliance Go. Needs to include trash receptacle/dumpster.
- 4-Notice of intent filed with state.
- 5-Injection well permit.
- 6-The underground system is listed as ACO Storm Brixx system. There are no details provided. How is this system cleaned and maintained? No load rating is shown. All water must be treated before entering the underground system.

### **Streets**

- 1-Stop signs.
- 2-Locations for snow removal/stacking on site. Response states snow will be placed north of dog park. There doesn't seem to be any area that would hold the amount of snow from the entire site. Snow must stay on site and cannot be pushed onto or across city streets.

### Water

- 1-Proposed irrigation/sprinkler system plan include smart clock.
- 2-Provide what water shares will be used to meet water requirements.

### <u>Sewer</u>

1-Proposed sewer flows daily and peak. Including peak demand time.

# **Shawn Douglas**

Riverdale City Public Works 801-394-5541 ext 1217

### Sdouglas@Riverdalecity.com

From: Scott Brenkman

**Sent:** Tue 7/19/2022 3:41 PM

**To:** Mike Eggett

Subject: RE: Review comments needed for Updated Riverdale Townhomes Site Plan submittal with PC

I don't have concerns.

Chief Scott Brenkman Riverdale Police Department 4580 S. Weber River Dr. Riverdale, UT 84405 (801)394-6616

sbrenkman@riverdalecity.com

From: Jared Sholly

**Sent:** Thu 8/4/2022 9:23 AM

**To:** Mike Eggett **Cc:** Randy Koger

Subject: RE: Review comments needed for Updated Riverdale Townhomes Site Plan submittal with PC

We are good with everything.

Jared Sholly
Fire Chief
Riverdale City Fire Department
Office 801-394-7481
Cell 801-628-6562

From: Randy Koger

**Sent:** Thu 5/19/2022 7:05 AM

**To:** Mike Eggett **Cc:** Jared Sholly

Subject: RE: Preliminary Review Comments needed - Riverdale Townhomes Subdiv and Riv Center V

Amended Subdiv

I have no additional recommendations.

fandly S. Kagev

Fire Marshal/Code Enforcement Officer Riverdale City 801-436-1241



5141 South 1500 West Riverdale City, Utah 84405 801-866-0550

3 August 2022

Riverdale City 4600 South Weber River Drive Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director

Proj: **Riverdale Townhomes Subdivision**Subj: Improvement Drawings - Review #2

Dear Mike,

The following items will need to be considered and addressed prior to receiving recommended approval from our office.

### **General Note:**

Please request the Developer or his Engineer, submit a response letter with their resubmittal of drawings answering all Engineering review comments contained herein.

1. An <u>electronic copy</u> of the Site Plat & Improvement drawings and details must be submitted to the Public Work Department for record keeping upon design completion and prior to approval of the final drawings from our office.

### Plat provided separately

• The provided plat and the improvement drawings do not have matching boundary lines shown.

## <u>Site Plan – Improvement Drawings:</u>

### 1. General Concerns:

- The overall site area called out on the plat is 108,020 sf. On the improvement drawings it calls out an overall site area of 112,505 sf. Which area is correct?
- The Landscape area, Impervious area, and unit footprints do not add up to the full site area shown on the improvement drawings.

- How does the additional area in the northeast count for parking? It appears the parking may not be accessible if adjoining properties were to build to the property line?
- Sheet C1.1 has duplicate notes (8 and 16). Note 11 should be included on the south asphalt cut area.
- On the north east side of sheet C1.1 there is a portion of fence shown crossing a small section of the adjoining property. Correct property lines need to be shown.

### 2. Storm Water Concerns:

- Sheet C2.1 should have contour lines. Many areas have low spots where water will puddle.
- Adjustments need to be made to eliminate discharge onto adjacent parcels.
- Additional elevations should be added on sheet C2.2 to clarify detailed areas and elevations.
- The storm water must be treated prior to entering the city system from the new detention chambers for the existing retail development.
- Manhole 17 base should not be 500 feet deep.
- How is water being retained in the new detention chambers for the existing retail development when the water is allowed to flow past the chambers and not through them, or into them?
- What is supposed to happen with the existing 24" storm drain pipe that passes through manhole 18 towards the catch basin, is it supposed to be removed?
- Storm water from the additional parking area to the north is not caught or accounted for.

### 3. Culinary Water Concerns:

- The backflow preventer detail needs to have size of pipe, fittings and type of devise included.
- The water line along 300 West and progressing to the north along Pacific Avenue goes from 8" to 6". The 6" line should be upsized to 8" to ensure proper flow to the development.

We would be happy to meet with the Developer and/or his Engineer to review the above items should they have any questions.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.

R. Todd Freeman, S.E, PE.

City Engineer

Cc. Shawn Douglas, Riverdale City Public Works Director Jeff Woody, Riverdale City Building Official





Community Development 4600 So. Weber River Drive Riverdale, Utah 84405 Acct #10-34-1500

## RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR RESIDENTIAL SUBDIVISION SITE PLAN APPROVAL

Case No: 2022-07	DATE SUBMITTED: 5-10-2022
APPLICANT'S NAME: Anderson Wahlen & Associates -	Jake Tate
ADDRESS: 2010 North Redwood Road, SLC, UT 841	16
PHONE: 801-410-8505	
Address of Site: _ 300 West Street & Pacific Avenue	
APPLICANT'S INTEREST: Owner's Authorized Agent	
Application is hereby made to the Riverdale City Planning	
residential subdivision consisting of 45 un	lots be approved on 12.94 acres of
(number of lots)	(sq. ft./acreage)
property in the R-4 zone in accordance with the atta	ched site plan.
Signature of Applicant	Docusigned by: Alver Usdan D1006B688EC34E7 Signature of Property Owner
I authorize Anderson Wahlen & Associates - Jake Tarrelating to this application.	to act as my representative in all matters  Docusigned by:  Alvenusdan  D10008B888EC34E7.  Signature of Property Owner
NOTE: A fee will be charged at the time the site plan is surfice: \$\(\frac{10}{150}\)\frac{100}{150}\)	bmitted for review - \$150 per lot/unit  Date paid: 5-17-2022-
	. /
Planning Commission sets public hearing: Yes 🗆 No 🗹	
Planning Commission scheduled to hear this application for Date: 5/24/2022   8/9/2022   Decision of Comm	ission: Apparel;
City Council sets public hearing: Yes ☐ No ✓ Date of	
City Council scheduled to hear this application for site plan	approval on:
Date: Decision of Counc	il:

2/1-



Riverdale City 4600 South Weber River Drive Riverdale, UT 84405 (801) 394-5541

XBP Confirmation Number: 120843624

Firansaction	detail for payment to Riverdale City. Transaction Number: VisaXXXX-XXXX-) Status: Succe	173075745PT (XXX-1386	5/17/2022 - 4:47:44 PM M
Account #	Item	Quantity	Item Amount
10341500	Zoning ampamp Subdiv. Fee	1	\$800.00
10341500	Zoning ampamp Subdiv. Fee	1	\$6750.00
Notes: ANDER	SON WAHLEN		**************************************

TOTAL:

\$7550.00

171

Billing Information BRET WAHLEN , 84405 Transaction taken by: Admin acummings



Mike Eggett Community Development 4600 Weber River Drive Riverdale, UT 84405

July 13, 2022

Project Name: Riverdale Townhomes

Project Address: 300 West Pacific Avenue, Riverdale, Utah 84405

This letter is submitted in response to Preliminary Site Plan Comments for the Riverdale Townhomes project reviewed on the May 24, 2022 commission meeting. The comments have been individually addressed as follows:

## **Planning Department**

**Comment:** Address for lot needs to be identified in working with City staff, units may also need individual addressing depending on the numbering system used.

Response: Addressing for the lot will be finalized with the plat but unit numbers have been added to the overall site plan.

**Comment:** Property Owner's names, address and phone number: this information is not provided on plan anywhere; I think it is CCA/Kornwasser, 5670 Wilshire Blvd, Suite 1250, Los Angeles, California 90036, 323-965-1510

Response: Information has been added to plans

**Comment:** Developer's names, address and phone number: this information is not provided on plan anywhere; I think it is CCA/Kornwasser, 5670 Wilshire Blvd, Suite 1250, Los Angeles, California 90036, 323-965-1510

Response: Information has been added to plans

Comment: Approving agency's name and address not provided

Response: Information has been added to plans

Comment: Lot needs to be addressed with staff and units may also need addressing for each unit/bldg Response: Addressing for the lot will be finalized with the plat but unit numbers have been added to the overall site plan.

Comment: Adjacent property tract ownership names with tax ID numbers not shown

Response: adjacent property owner info has been added to plans

**Comment:** Existing easements not shown

Response: There are very few easements on the property but those that are have been added to

plans.

**Comment:** Existing and anticipated exterior lighting devices (Street Lights) not shown; no anticipated subdivision signage locations shown, if applicable

Response: One existing street light has been labeled on the plans. Two street lights have been added to the plans. One at each entrance. Additionally, each unit will have sconce lighting at each front door and at either side of each garage.

**Comment:** Existing easements not shown

Response: There are very few easements on the property but those that are have been added to plans.

**Comment:** Address for lot needs to be identified in working with City staff, units may also need individual addressing depending on the numbering system used.

Response: Addressing for the lot will be finalized with the plat but unit numbers have been added to the overall site plan.

**Comment:** Approving agency's name and address not provided

Response: Information has been added to plans

Comment: Lot needs to be addressed with staff and units may also need addressing for each unit/bldg Response: Addressing for the lot will be finalized with the plat but unit numbers have been added to the overall site plan.

**Comment:** New building – height = range of height unknown at this time; building size = range of size unknown at this time

Response: building height has been added to overall site plan data table along with building livable area listed.

**Comment:** Minimum front setback of 20 feet not met for 15 units on North and Northeast end of the project area

Response: Units have been shifted 20' from all property lines.

Comment: provided additional stalls is 93 stalls, not 96 stalls, need to updated numbers on sheet C1.0 Response: stall count has been updated to reflect the additional parking north of the housing area and the single ADA stall provided on site.

Comment: Shown but not clearly identified as "Right-of-Way" Response: Right of way has been labeled on the site plan.

Comment: anticipated exterior light poles (interior project lights) not shown and street lights not shown Response: One existing street light has been labeled on the plans. Two street lights have been added to the plans. One at each entrance. Additionally, each unit will have sconce lighting at each front door and at either side of each garage.

Comment: Existing and proposed street lights along 300 west and Pacific Avenue not shown Response: One existing street light has been labeled on the plans. Two street lights have been added to the plans. One at each entrance.

**Comment:** Existing and new Gas Lines: size and type not shown; developer note that these "lines are not part of these plans"

Response: Note has been added to utility plan identifying the proposed location of electrical meters, gas meters, telecom boxes and HVAC units. These designs will be provided by the individual providers once the project moves farther along.

**Comment:** New electrical lines information not shown or provided **Response:** 

**Comment:** New power pole locations, if any, not shown

Response: no new power poles are proposed at this time but 2 light poles will be added at entrances to development.

**Comment:** Existing and new telephone lines: size and type not shown; developer note that these "lines are not part of these plans"

Response: Note has been added to utility plan identifying the proposed location of electrical meters, gas meters, telecom boxes and HVAC units. These designs will be provided by the individual providers once the project moves farther along.

**Comment:** Existing and New Cable TV Lines; size and type not shown; developer note that these "lines are not a part of these plans"

Response: Note has been added to utility plan identifying the proposed location of electrical meters, gas meters, telecom boxes and HVAC units. These designs will be provided by the individual providers once the project moves farther along.

**Comment:** Thrust blocking not shown, if applicable

Response: Thrust blocking will be provided per City Standards.

Comment: Applicant needs to show proof of transfer to Public Works; defer to PW Director

Response: CCA is working to acquire the necessary water rights. AWA will work directly with Shawn Douglas on the amount of transfer and will provide those shares as soon as they are acquired.

#### **Public Works**

#### **Storm Water**

**Comment:** Drainage system operation and maintenance plan and BMPs approved and recorded with plat

Response: Long Terms stormwater maintenance agreement was submitted with this submittal for city review/approval. It will be recorded upon approval from city.

**Comment:** Orifice size, location and plan detail, free board on detention/retention structure, free board on structure and emergency overflow

Response: Detention information has been updated and orifice sizes have been added to plans. An updated storm water study has been provided with this study.

Comment: Hydraulic separator or BMP's to treat storm water before water enters underground

retention/detention or city system

Response: a treatment structure has been added to plans prior to discharging to the city's system.

**Comment:** How is the existing storm water detention basin going to be incorporated and managed on

the new site?

Response: The existing storm water detention is provided in a new underground in a tank system. The water will not impact the townhomes site and will be discharged to the city's system in the street as it

has historically done.

**Comment:** Storm water prevention plan for construction site including BMP's. All storm water

inspections will need to be completed on Compliance Go

Response: A SWPPP plan has been submitted with this submittal and the contractor will comply with

**Compliance GO requirements.** 

Comment: Notice of intent filed with State

Response: Noted. Contractor will file the NOI when appropriate prior to start of construction.

**Comment:** Note to certify retention/detention structure size after construction

Response: Note has been added to utility plan sheet C3.1.

**Comment:** Injection well permit

Response: Application for an injection well permit is underway and will be provided to the City as

soon as it is complete.

Comment: Will entire sites storm water ERU's be billed to landscape meter? If they will be billed to

separate meters provide a breakdown of impervious surface for each meter

Response: Yes, we would like the ERU's billed to 1 meter.

#### Streets

Comment: Street light design and placement

Response: One existing street light has been labeled on the plans. Two street lights have been added

to the plans. One at each entrance.

**Comment:** Street names and signs

Response: Public streets are listed on plans. Since the development is private and units individually identified, no street names are proposed within the development. Therefore, no street signs are

proposed to be installed.

**Comment:** Street signs

Response: See response above.

**Comment:** Locations for snow removal/stacking on site

Response: Snow stacking will be provided near the dogpark at the north of the site.

**Comment:** Trees are not allowed in city owned park strips Response: Noted. Street trees have been removed from plans.

#### Water

**Comment:** Backflow preventor location, type, and size

Response: Backflow details can be found on the irrigation plan.

**Comment:** Proposed irrigation/sprinkler system plan include smart clock

Response: Noted. Irrigation control details can be found on the irrigation plan.

**Comment:** Provided water usage peak demands

Response: Water calculations will be provided directly to Shawn Douglas as soon as internally

plumbing information is more accurately designed by the architect.

**Comment:** Provide wat water shares will be used to meet water requirements

Response: AWA will work directly with Shawn Douglas on water share calculations and provide the

necessary shares to the city as soon as they are acquired.

**Comment:** Label main water lines as private

Response: Onsite water mains have been labeled as private.

#### Sewer

**Comment:** Proposed sewer flows daily and peak demand time

Response: Sewer calculations will be provided directly to Shawn Douglas as soon as internally

plumbing information is more accurately designed by the architect.

**Comment:** Label main sanitary sewer lines as private

Response: Onsite sewer mains have been labeled as private.

#### Other

Comment: Note requiring all construction and materials shall meet Riverdale City standards

Response: Note has been added to cover sheet.

Comment: Note requiring all missing, non functioning and or damage surface improvements shall be

replaced. (sidewalk, curb and gutter, fencing, etc.) Response: Note has been added to cover sheet.

## Engineering

#### **General Note**

**Comment:** An electronic copy of the Site Plan & improvement drawings and details must be submitted to the Public Work Department for record keeping upon design and completion and prior to approval of the final drawings from our office

Response: electronic copy of approved plans will be provided to the city prior to permit issuance.

#### Site Plan – Improvement Drawings:

Comment: Units should be numbered for identifications. Proposed addresses should be shown Response: Addressing for the lot will be finalized with the plat but unit numbers have been added to the overall site plan.

**Comment:** A maintenance schedule and maintenance plan will need to be prepared and provided for storm water

Response: long term stormwater maintenance plan has been submitted to city with this submittal for review/approval

**Comment:** Storm drain manholes 2 and 4 should be five foot (5') manholes

Response: Updated.

Comment: Storm drain manhole 2 appears to have a reverse flow towards inlet box 8

Response: Updated.

Comment: Storm drain inlet box 8 appears to have a reverse flow towards inlet box 9

Response: Updated.

**Comment:** Storm drain key notes 2 and 3 overlap and are unreadable

Response: Updated.

**Comment:** Storm drain key notes 14 and 15 need to be corrected for this site

Response: Updated

**Comment:** Where is the outlet control structure to ensure 0.2 cfs max discharge? Shown in details but not noted where it goes on drawings

Response: orifice locations have been added to plans and an updated storm water study has been provided with this submittal.

**Comment:** Site Construction Note number 22 calls for a 2' conc walkway. Should be 2' conc. waterway **Response: updated.** 

**Comment:** Is the single 1" irrigation meter large enough to suppl the full site?

Response: yes. Our landscape architect has confirmed the 1" meter is sufficient for this mostly xeriscape landscape design.

**Comment:** How is water supplied to all areas of landscaping?

Response: Please refer to the irrigation plan included with submittal.

Comment: Manholes with more than two connecting pipes should be five foot (5') diameter manholes

Response: Noted and updated.

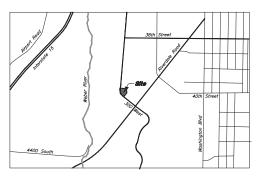
Comment: Final connection manhole in City Street should be replaced with a five foot (5') diameter

manhole

Response: noted.

# Riverdale Townhomes

## 300 West Street & Pacific Avenue Riverdale, Utah





## Civil Sheet Index

C0.0	Cover Sheet
	Subdivision Plat
C0.1	Demolition Plan
C1.0	Overall Site Plan
C1.1	Site Plan
C2.1	Grading Plan
C3.1	Utility Plan
C4.1	Details
C4.2	Details
C4.2	Details
C5.1	Erosion Control Plan - Phase 1
C5.2	Erosion Control Plan - Phase 2
C5.3	Erosion Control Details
L1.1	Landscape Plan

Landscape Notes & Details

Irrigation Notes & Details

Irrigation Plan

Property Owner - Developer

Riverdale Center North, LLC. 5760 Wilshire Blvd., Suite 1250 Los Angles, CA 90036 Contact: Steven Usdan Phone: 323-965-1510

#### Approving Agency

Riverdale City 4600 South Weber River Drive Riverdale, UT 84405

#### Civil Engineer

AWA
Anderson Wahlen & Assocites
2010 North Redwood Road
Salt Loke City, UT 84116
Contact: Joke Tate
Office: 801-521-8529
Direct: 801-410-8505
Cell: 801-910-5340

#### Construction Material Note

#### Damaged Improvement Note

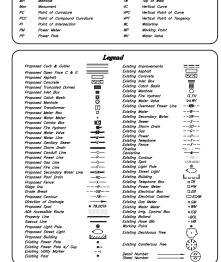
#### Basis of Bearings



Townhomes Sheet

10 May, 2022

CO.0



Abbreviations

ADDITION

Begin Curb Return

Bolland India Grade – Bottom of Retaining Wall

Cable Television Box

Catch Basin

Corrupated Metal Pipe

Cleanout Box

Cleanout Box

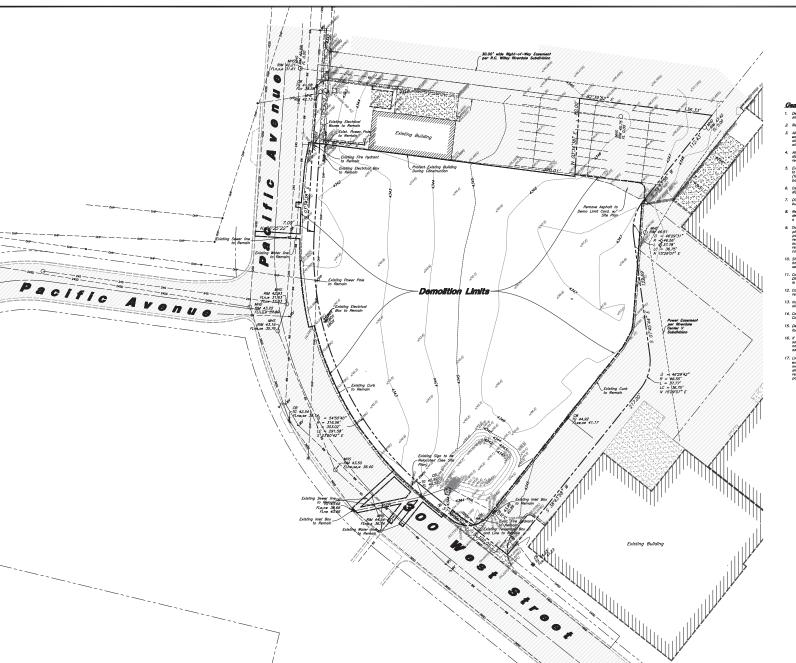
Chemout Box Chemout to Grade Edge of Asphalt Electrical Box End of Curb Return Grade Break Gas Meter Hose Bib High Point Irrigation Line Irrigation Control Box Lip of Gutter Light Polet Manhole Monument

Float of Tangange,
Populary Classica
Populary Classica
Populary Classica
Populary Classica
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Populary
Po



L1.2

L2.1





- Demolition and site cleaning for this contract are to include all areas shown within demolition limits or by note.



#### Property Owner - Developer

Riverdale Center North, LLC. 5760 Wilshire Blvd., Suite 1250 Los Angles, CA 90036 Contact: Steven Usdan Phone: 323-965-1510

#### Approving Agency

Riverdale City 4600 South Weber River Drive Riverdale, UT 84405

## Civil Engineer

AWA
Anderson Wahlen & Assocites
2010 North Redwood Road
Soit Lake City, UT 84116
Contact: Jake Tate
Office: 801-521-8239
Direct: 801-910-5340
Cell: 801-910-5340



Revival Devolpment

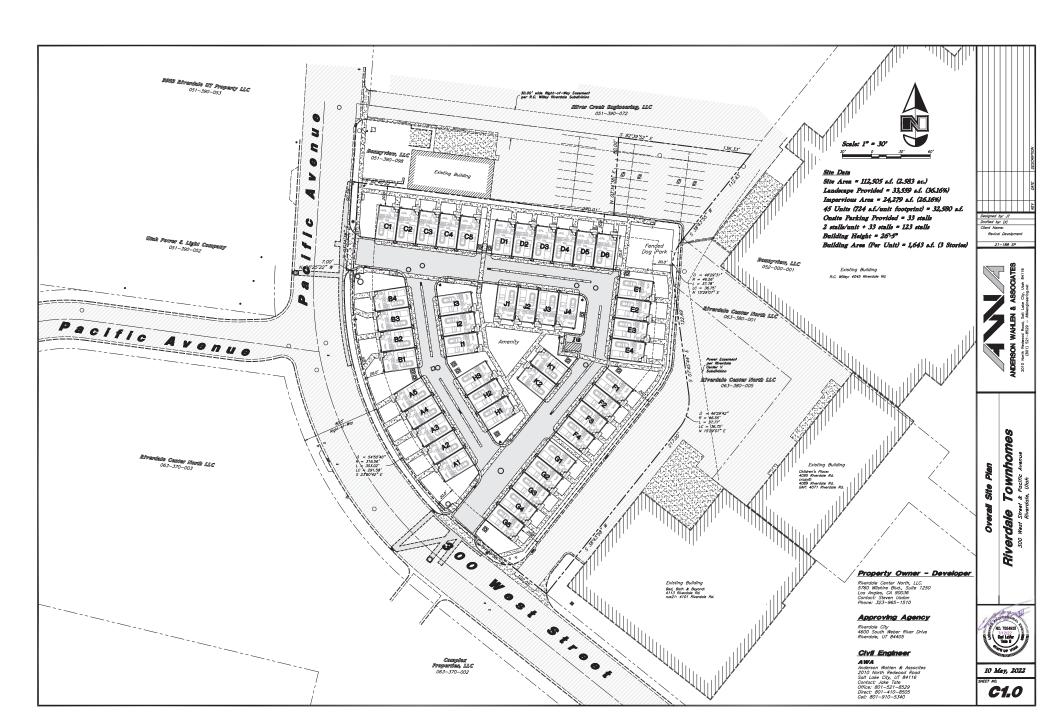


Townhomes

** A Pacific Avenue
date, Utah Demolition Plan Riverdale 300 West Street

10 May, 2022

CO.1







Const. 24" Curb & Gutter
CA.1

Const. Asphalt Paving
CA.1 (2) Const. Asphalt Paving (CR)

3) Const. Conc. Sidewalk

4) Const. 6" Conc. Curbwall

5) Const. Conc. Crosswalk

64,1

Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets) (7) Const. 4' Height Chainlink Fence w/ Gates

8 Const. Asphalt Paving Per Riverdale Stds

eible Details and Notes)
c. Paving
6
C4.1 (10) Const. Conc. Paving

(12) Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition)

(19) Existing Conc. Sidewalk

(20) Existing Curb & Gutter

(22) Const. 2' Conc. Waterway (7)
(23) Adjust Guy Wire to Down Guy Coord w/ RMP

(24) Const. Street Light per Riverdale City Stds.

1. All dimensions are to back of curb unless otherwise

Fire lane markings and signs to be installed as directed by the Fire Marshal.

The Construction Survey Layout for this project will be provided by Anderson Richlen & Associates. The Layout Proposal and Professional Services Agreement will be provide the General Contractor(s) for inclusion in base bids. Th Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the SIte Work Bid Form.

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AWA
Anderson Wahlen & Associte
2010 North Redwood Road
Salt Lake City, UT 84116
Contact: Jake Tate
Office: 801-521-8529
Direct: 801-410-8505
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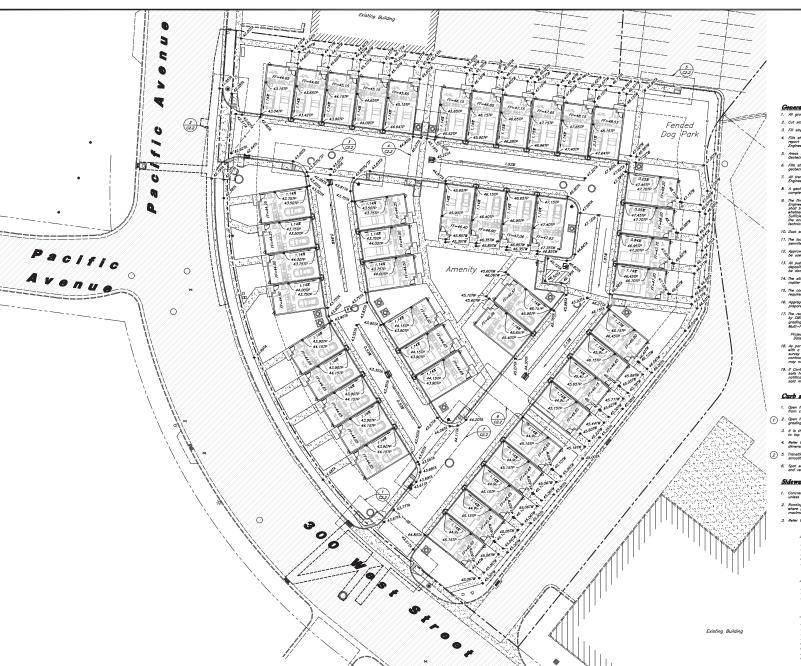
10 May, 2022

C1.1

Revival Devolpment

21-188 SP

ASSOCIATES





#### General Grading Notes:

- 2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical. 3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geolechnical report prepared for the project and shall be certified by a Geolechnical Engineer.
- Areas to receive fill shall be properly prepared and approved by a Geolechnical Engineer prior to placing fill.
- Fills shall be benched into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by a Geotechnical Engineer.

- The location and protection of all utilities is the responsibility of the permitee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.

- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.

Project No.: 17998 Dated: Mar 21, 2022

- As part of the construction documents, with a topographic survey performed by survey was prepared for project design contractor as a courtesy. It is expressly may not occurately reflect existing topog

#### Curb and Gutter Construction Notes:

- Open face gutter shall be constructed where drainage is directed away from curb.
- 2. Open face gutter locations are indicated by shading and notes on the grading plan.

- Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
  - Spot elevations are shown on this plan with text masking. Coordin and verify site information with project drawings.

#### Sidewalk Construction Notes:

- Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
- 3. Refer to the Site Plan for sidewalk dimensions

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Riverdale City 4600 South Weber River Drive Riverdale, UT 84405

#### Civil Engineer

AWA AWA
Anderson Wahlen & Associte
2010 North Redwood Road
Salt Lake City, UT 84116
Contact: Jake Tate
Office: 801-521-8529
Direct: 801-410-8505
Cell: 801-910-5340 Revival Devolpmen

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Townhomes

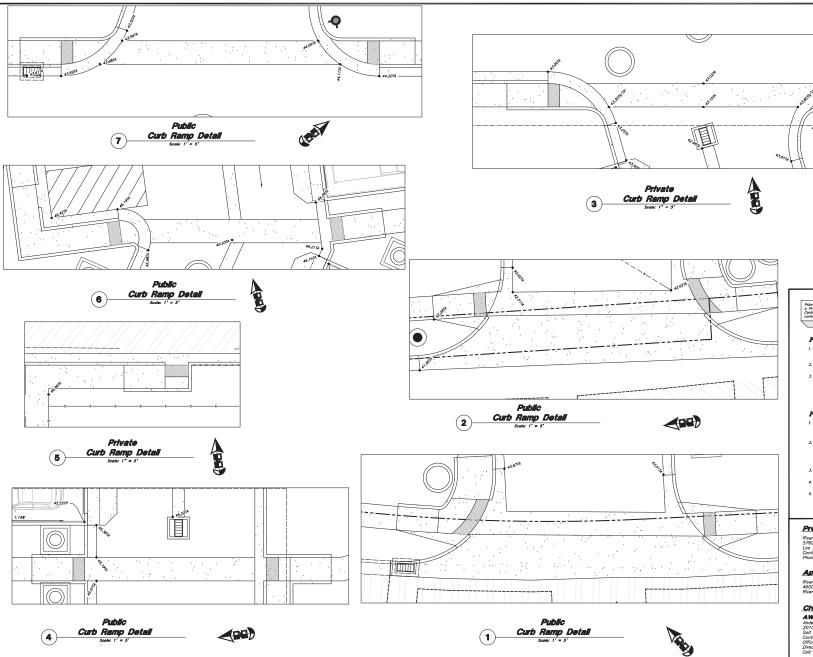
* & Pacific Avenue
date, Utch Riverdale 300 West Street

Plan

Grading

10 May, 2022

C2.1



Revival Devolpment

- Public Curb Ramp Construction Notes

#### Private Curb Ramp Construction Notes

- . Siopes provided are per Anderson Wahlen & Associates design standards. Siopes shown are below ADA and ICC maximum requirements, unless noted otherwise in project plans.
- Accessible ramp flores shall be poured separately from ramp to ensure proper slopes.

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#### Civil Engineer

AWA
Anderson Wahlen & Assocites
2010 North Redwood Road
Salt Lake City, UT 84116
Contact: Jake Tate
Office: 801-521-8529
Direct: 801-910-8505
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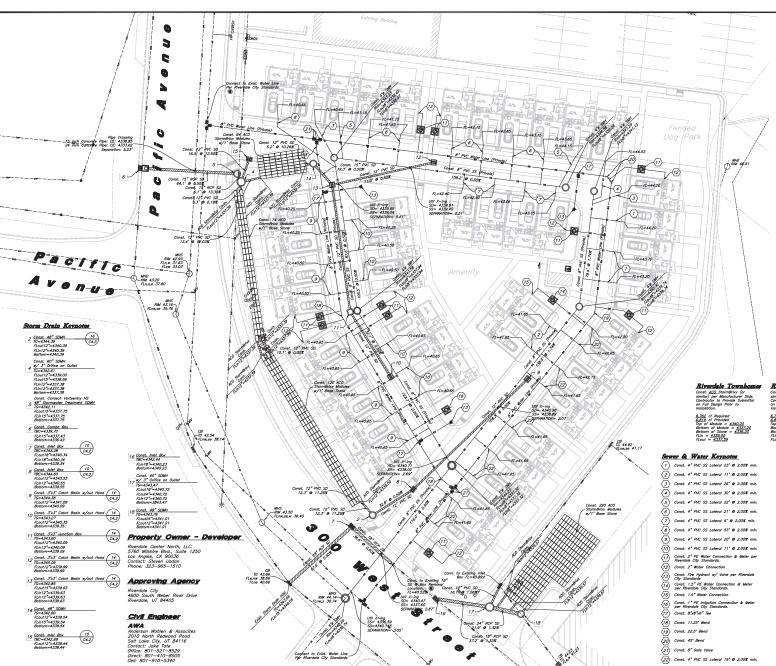


Riverdale Townhomes 300 West Street & Pocific Avenue

Grading Details and Notes

10 May, 2022

C2.2





#### General Utility Notes:

- All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and execultinations.
- 2. Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- 4. All catch basin and inlet box grates are to be bicycle proof.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- 6. Gas lines, telephone lines, and cable TV lines are not a part of these
- Water meters are to be installed per city standards and specification.
   It will be the contractor's responsibility to install all items required. 8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessory to clear seem; storm drain, or other utilities as necessary including valve baxes and hydrant spoots to proper grade.
- Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asshall.

#### Utility Piping Materials:

All ploing materials shall be per local agency standards or the specifications below at a minimum. All utility ploing shall be installed per manufacturers recommendations. Refer to project specifications for more detailed informatio regarding materials, installation, etc.

- Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
- 2. Copper Ploe (Up to 3 inches diameter): Type 'K.'

- Polyvinyl Chloride (PVC) (4 Inches to 12 Inches diameter): AWWA C900, Class 200
- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- Storm Drain Lines
- 12" pipes or smaller Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35 2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

#### Riverdale Townhomes CAUTION:

vote to Contractor: Petention/Detention System Installation must be Certified by Design Engineer Prior to Backrilling System.

Power meters, Telephone Boxes & Gas Meters to be Located along Ends of Buildings. Coordinate with RMP. Dominion & Telecom Companies.

#### Storm Drain & Sanitary Sewer Notes

All Storm Desinage & Sanitary Sewar Pipe Lengths and Slopes are from Canter of Structure to Center of Structure

(21) Const. 8" Gate Valve

(22) Const. 4° PVC SS Lateral 19° @ 2.00% min.

- Contractor shall field verify all utility connection elevations prior to any utility construction has
- Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.





Townhomes

Riverdale 300 West Stree

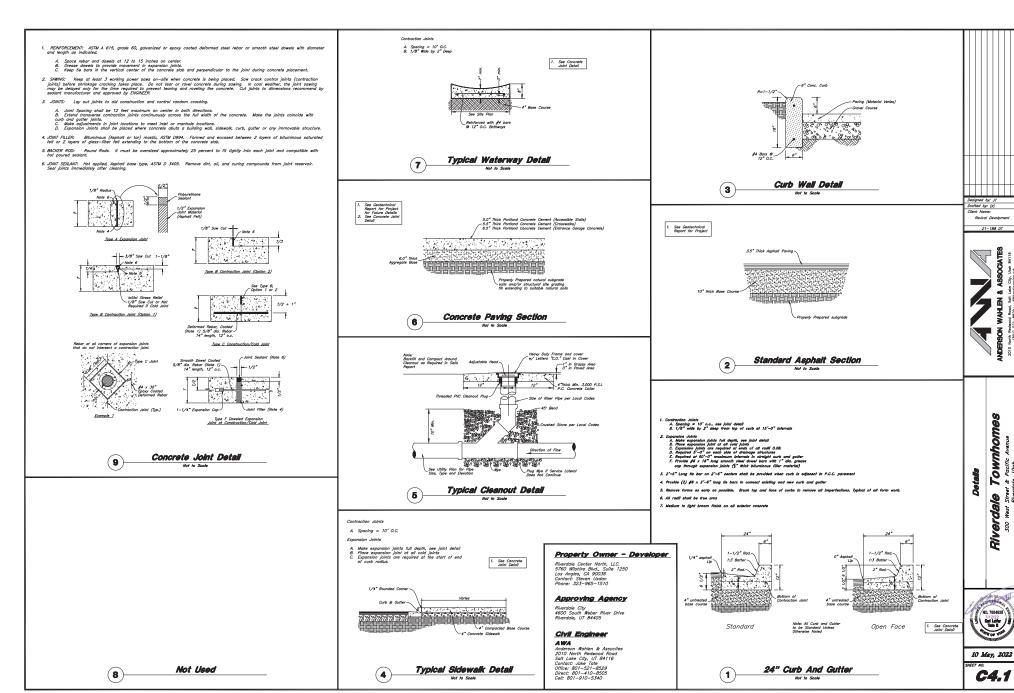
Plan

Utality

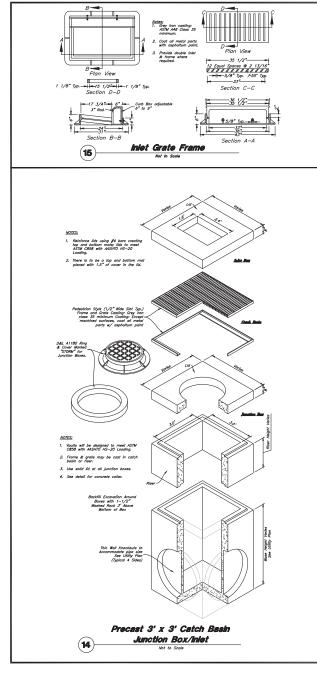
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10 May, 2022

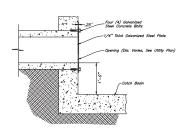
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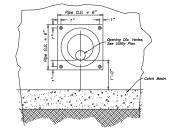


vnhomes\dwgs\21-188 DT.dwg, 7/12/2022



Not Used (13)





Orifice Plate Detail (12)

#### Property Owner - Developer

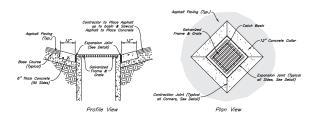
Riverdale Center North, LLC. 5760 Wilshire Bivd., Suite 1250 Los Angles, CA 90036 Contact: Steven Usdan Phone: 323–965–1510

## Approving Agency

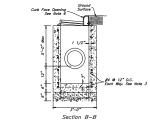
Riverdale City 4600 South Weber River Drive Riverdale, UT 84405

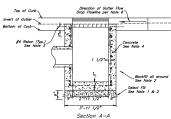
#### Civil Engineer

A WA
Anderson Wahlen & Associte
2010 North Redwood Road
Solt Lake City, UT 84116
Contact: Joke Tate
Office: 801-221-8529
Direct: 801-410-8505
Cell: 801-910-5340



Concrete Collar Detail (11)

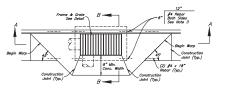




#### Catch Basin Notes

- Reinforcement: Use ASTM A 615, grade 60 deformed steel rebar. See APWA Section 03200.

- Curb Face Opening: Make opening 4 inches high. Provide at least a 2 inch drop from the gutter flowline to the invert of the curb face opening.

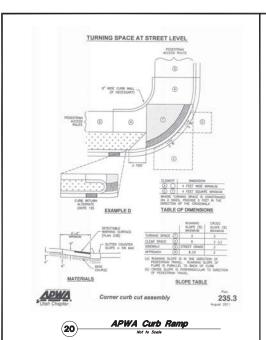


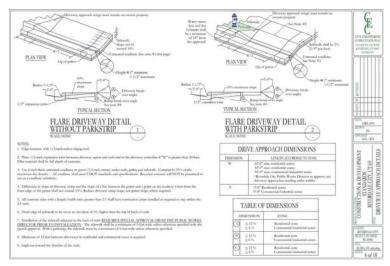
Curb Inlet with Single Grate (10)

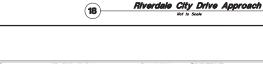
Townhomes Riverdale 300 West Street

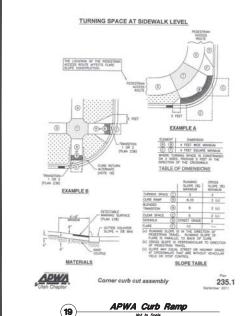
10 May, 2022

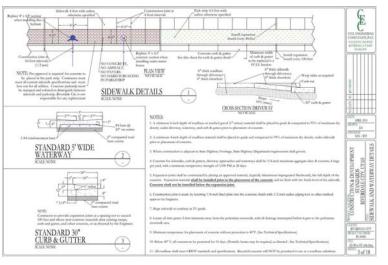
C4.2



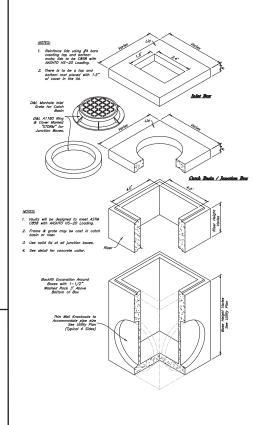








Riverdale City Sidewalk, Curb And Gutter



Precast 4' x 4' Catch Basin Junction Box/inlet Box

Property Owner - Developer

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Riverdale City 4600 South Weber River Drive Riverdale, UT 84405

Civil Engineer

AWA
Anderson Wahlen & Associte
2010 North Redwood Road
Salt Lake City, UT 84116
Contact: Jake Tate
Office: 801–521–8529
Direct: 801–410–8505
Cell: 801–910–5340

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Townhomes

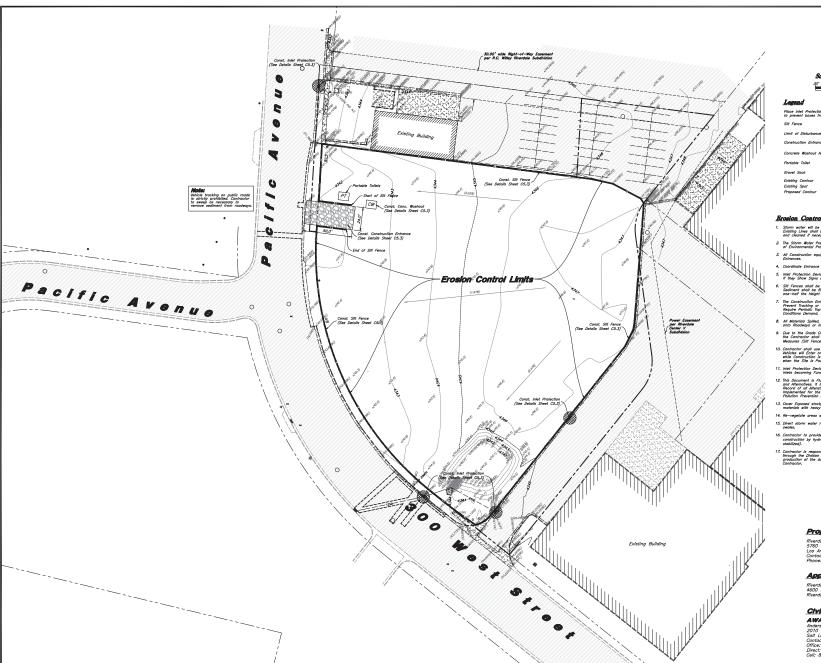
Riverdale 300 West Street

Revival Devolpment

OCIATES

10 May, 2022

C4.3



*(78.00%)

SASA CW PT

Revival Devolpment

#### Erosion Control Notes

#### Property Owner - Developer

Riverdale Center North, LLC. 5760 Wilshire Blvd., Suite 1250 Los Angles, CA 90036 Contact: Steven Usdan Phone: 323-965-1510

#### Approving Agency

Riverdale City 4600 South Weber River Drive Riverdale, UT 84405

## Civil Engineer

AWA
Anderson Wahlen & Assocites
2010 North Redwood Road
Soit Lake City, UT 84116
Contact: Jake Tate
Office: 801-521-8239
Direct: 801-910-5340
Cell: 801-910-5340



Townhomes

* & Pacific Avenue
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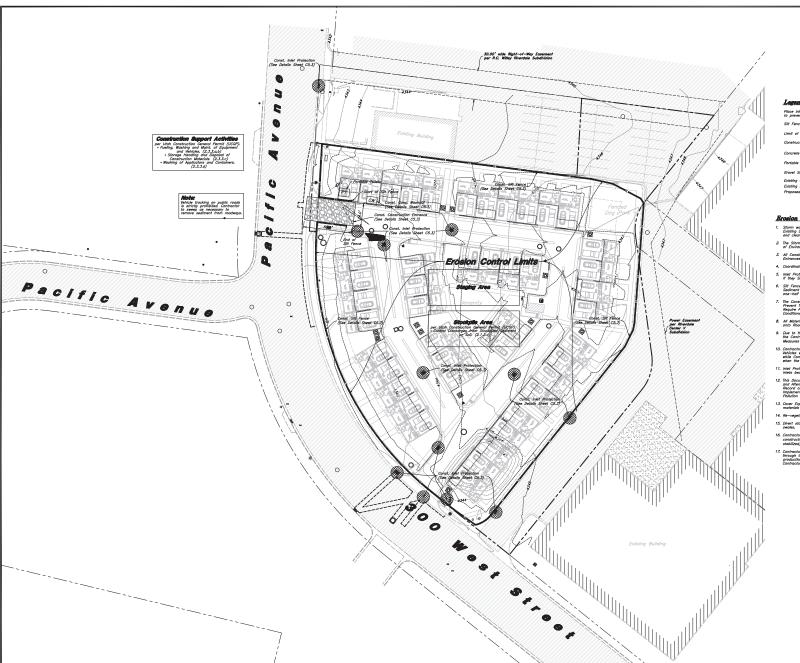
* - Phase

Control Plan



10 May, 2022

C5.1







SASA



CW PT

#### Erosion Control Notes

#### Property Owner - Developer

Riverdale Center North, LLC. 5760 Wilshire Blvd., Suite 1250 Los Angles, CA 90036 Contact: Steven Usdan Phone: 323-965-1510

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Revival Devolpment



Townhomes

* & Pacific Avenue

date, Utah Riverdale 1

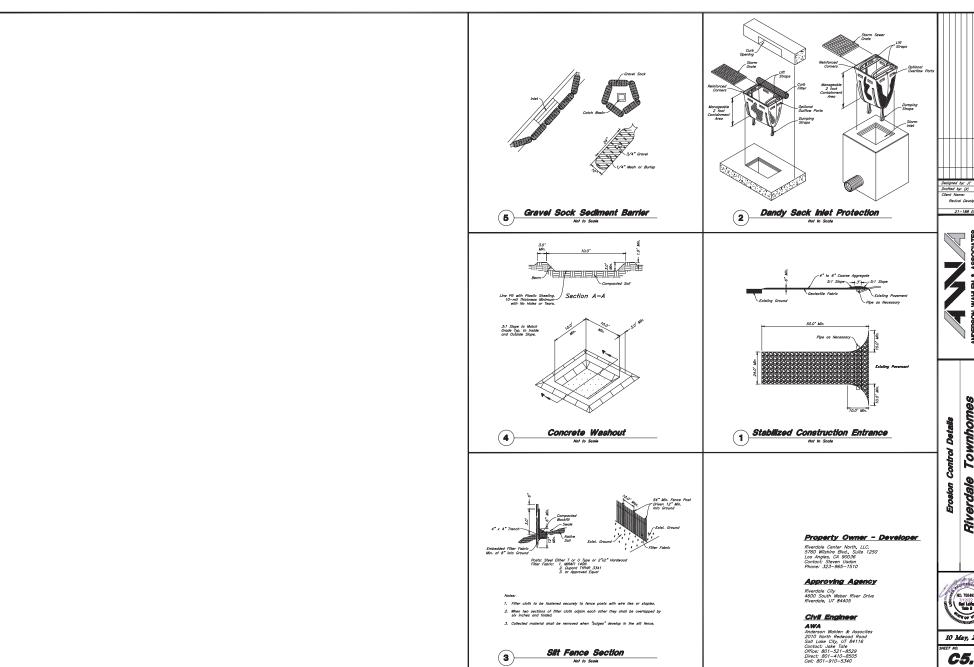
O - Phase

Eroston Control Plan

NO. 7884935

10 May, 2022

C5.2



Riverdale Townhomes
300 West Street & Pacific Avenue
Riverdale, Utah

10 May, 2022

C5.3



Zone: Muitiple-Family Residential (R-4) Site Area = 112,505 a.f. (2,583 ac.) udecape Provided = 33,559 s.f. (36%) Shrub Area = 30,065 a.f. (90%) Lawn Area = L472 a.f. (4%) Artificial Turf Area = 2,022 a.f. (6%) Off-site Landscape Area Provided = 1,661 a.f. No More Than 33% of all Newly Planted Trees May be the Same Variety

Xeriscape Landscape = 90%; Xerisca Areas Shall Coasist of Shrub Areas Drought Tolerant Plant Material

#### Landscape Notes:

#### Landscape Keynotes

- (1) Install Shrub Planter with Weed Barrier and Decorative Stone; See Material Schedule for Stone Type
- 3 6' High Vinyl France See Civil Plans for More Details; Verify that Decorative Stone is Installed at Base of Fence on Both Sides of the Fence
  4 Install Lawn See Plant Schedule

- 6 Dog Park Fence See Civil Plans for More Detail
- Install Landscape Boulder See Material Schedule for Mare Detail
- Install Irrigation Backflow Preventer; See Irrigation Plan for More Detail

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Salt Loke City, UT 84116
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Office: 801-521-8529
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Townhomes

** Pacific Avenue
dale, Ulah

Riverdale 300 West Street

10 May, 2022

PLANT SCHEDULE			
TREES	<u>or</u>	BOTANICAL / COMMON NAME	SIZE
_(`)	3	Gleditsia triacanthos "Imperial" / Imperial Honeylocust	2" Cal. / 8-10" Ht.
(·)	2	Quercus robur 'Fastiglata' / Skyrocket English Oak	1 1/2" Caliper
(•)	3	Syringa reticulata 'Nory Silk' / Ivory Silk Japanese Tree Lilac	2" Cal. / 6-8" Ht.
$(\cdot)$	4	Tilia cordata "Corzam" / Corinthian Littleleaf Linden	2" Cal. / 6-8' Ht.
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
*	34	Buxus x 'Green Mound' / Green Mound Boxwood	2 gal
☺	19	Comus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	5 gal
<ul><li></li></ul>	12	Cornus sericea "Kelseyi" / Kelseyi Dogwood	2 gal
•	20	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal
	6	Forsythia x 'Gold Tides' / Golden Tide Forsythia	5 gal
0	8	Juniperus horizontalis "Bar Harbor" / Bar Harbor Juniper	5 gal
€\$	9	Juniperus horizontalis "Blue Chip" / Blue Chip Juniper	5 gal
₩	18	Ligustrum vulgare 'Lodense' / Lodense Privet	2 gal
<b>③</b>	14	Philadelphus x 'Snowwhite Fantasy' / Snow White Sensation Mock Orange	5 gal
⊗	6	Picea pungens 'Globosa' / Dwarf Globe Blue Spruce	5 gal
<b>③</b>	18	Prunus x cistena / Purple Leaf Sand Cherry	5 gal
⊕	3	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal
⊙	20	Rosa x "Melgalplo" / Red Drift Rose	2 gal
0	18	Spiraea x burnolda Anthony Waterer / Anthony Waterer Spiraea	2 gal
*	15	Spiraea x burnalda "Limemound" / Limeound Spirea	2 gal
⊙	38	Taxus x medla 'Dark Green Spreading' / Dark Spreading Yew	2 gal
ORNAMENTAL GRASSES	<u>or</u> v	BOTANICAL / COMMON NAME	SIZE
⊗	40	Calamagrostis x acutifiora 'Karl Foerster' / Feather Reed Grass	1 gal
<b>\$</b>	41	Pennisetum alopecuroides 'Harneln' / Harneln Dwarf Fountain Grass	1 gal
PERENNALS	arr	BOTANICAL / COMMON NAME	SIZE
⑤	16	Aquilegia x "McKana Hybrid" / McKana Hybrid Columbine	1 gal
*	7	Hemerocalis x 'Red Hot Returns' / Red Hot Returns Daylity	1 gal
*	29	Heuchera x 'Black Taffeta' / Black Taffeta Coral Bells	1 gal
€\$	19	Hosta fortunei 'Fire and Ice' / Fire & Ice Hosta	1 gal
*	10	Nepeta x faassenii "Dropmore" / Calmint	1 gal
LAWY	QIY	BOTANICAL / COMMON MAME	IMPE
•	1,173 sf	BioTurf Dwarf Fescue Sod (Water Wise Turf) / Source: Biograss Sod Farm (Sandy, UT)	sod

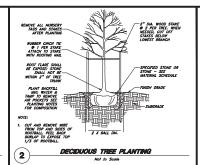
#### MATERIAL SCHEDULE

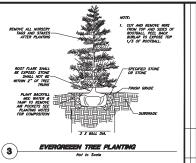
	<u>Prior to installation;</u> Stone Shall be 2" Diameter Fractured Stone from Staker Parsons Copper Canyon Pit (385–239–0804); Submit Sample for Approval	Detail: 4/L1.2
200	Decorative Stone \$2 - Install a (6) Six Inch Depth over Dealit Fra5 Weed Borrier Stone Shall be Used in all Shrub Planters Where Shoen on Plan; Stone Shall be <u>Washed Prior Lisatiolities</u> Stone Show Bo 3-5 "Diameter Fractured Tan Colored Stone From Brown's Carryon; Submit Sample for Approval	Detail: 4/L1.2
(2)	3—4° Dia, Min. Landscape Boulder — Boulders Shall be Angular, Earth Tone Colors and Shall Match Decarable Stone; All Boulders Shall be Recessed 3 Inches Into Ground and Wisshed Linea Compelling.	Detail: 5/L1.2

Decorative Stone #1 - Install a (3) Three Inch Depth over Dewitt Pro5 Weed Barrier;
Stone Shall be Used in all Shrub Planters Where Shaw on Plant Stone Shall be Washed



FINISH GRADE -PLANT BACKFILL MIX: WATER & TAMP TO REMOVE AIR POCKETS-SEE PLANTING NOTES FOR COMPOSITION CUT AND REMOVE WIRE FROM TOP AND SIDES OF ROOTBALL. PEEL BACK BURLAP TO EXPOSE TOP 1/3 OF ROOTBALL. 2. REMOVE ALL NURSERY TAGS AND STACKS AFTER PLANTING. SHRUB PLANTING







LANDSCAPE PREPARATION (4)



# HOTE: 1. USE CARE TO MINIMIZE MARRING & SCRATCHING

2. BURY BOULDER INTO SOIL, KEEPING BEST VISUAL SIDE ABOVE GROUND.

#### Landscape Notes:

**(1**)

- 3. Prior to construction, the contractor shall be responsible for locating all underground ublities and shall avoid damage to all utilities during the course of the work, it shall be the responsibility of the contractor to protect all utility lines during the construction period, and repoir any and all damage to utilities, structures, site appurtenences, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safely and cleanup must meet OSMs standards at all times. All
  contractors must have adequate liability, personnel highly and property damage
  insurance. Clean-up must be performed align, and all hardespea eraes must be
  washed free of dirt and mud on final cleanup. Construction must occur in a timely
  manner.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- 10. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.

- 13. The contractor shall install all landscape material per plan, notes and details.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botonical, common names, sizes, estimated quantities and remarks.

- 15. No grading or soil placement shall be undertaken when soils are wet or frazen.
- 16. Imported toposil shall be used for all indusper errors. The logical must be a premium quality dark sandy form, thee of rocks, clock, rocks, and plant matter. The shadcage contractor shall perform a sall text on the imported toposil and amend per soil test recommendations. The soil test shall be done by a certified soil testing agency.
- 17. Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
- 18. Provide an <u>8 inch</u> depth of imported topsoil in all shrub areas.
- 20. Front backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill instruce to depressions as needless.
- All new plants shall be balled and buriapped or container grown, unless otherwise noted on plant schedule.
- 22. Upon completion of planting operations, all landscape areas with trees, shrubs, and personnials, shall receive a specified stone over Devitt ProS weed borrier. Stone shall be evenly spread on a correlatly prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas. All stone shall be washed after installation.
- 23. All deciduous trees shall be double stated per tree staking details as needed. Verify that all trees are straight. It is the contractors responsibility to remove tree staking in a limity manner once staked trees have taken root. Tree bies shall be V.L.T. Clinche Tee £CT32.
- 24. The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of comalettion and final acceptance.

# Property Owner - Developer

Riverdale Center North, LLC. 5760 Wilshire Blvd., Suite 1250 Los Angles, CA 90036 Contact: Steven Usdan Phone: 323–965–1510

#### Approving Agency

Riverdale City 4600 South Weber River Drive Riverdale, UT 84405

#### Civil Engineer AWA

AWA
Anderson Wahlen & Assocites
2010 North Redwood Road
Salt Lake City, UT 84116
Contact: Jake Tote
Office: 801-521-8529 Kn
Direct: 801-410-8505
Cell: 801-910-5340





21-188 LS

Townhomes

**A Pacific Avenue

Riverdale 300 West Street

Detalls

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Notes

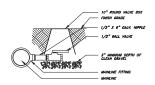
Landscape

10 May, 2022



#### VALVE SCHEDULE

VALVE STATION	VALVE SIZE	IRRIGATION TYPE	FLOW (GPM)	PSI	PSI # POC	PRECIP. RATE
1	1*	Area for Drip Emitters	3.00	42.2	56.29	0.84 in/h
2	1*	Area for Drip Emitters	3.33	42.56	56.67	0.7 in/h
3*	1-	Turf Rotor	8.68	27.3	42.09	0.67 in/h
4	**	Area for Drip Emitters	4.20	43.56	57.77	0.75 in/h
5	1-	Area for Drip Emitters	2.40	41.94	55.97	0.65 in/h
6	1*	Area for Drip Emitters	2.58	41.98	56.02	0.04 in/h
7**	r~	Turf Rotor	6.02	26.92	41.10	0.55 in/h
8	1*	Area for Drip Emitters	3.27	42.53	56.63	0.68 ln/h
9	r~	Area for Drip Emitters	4.26	43.5	57.66	0.73 in/h
10	1*	Area for Drip Emitters	4.11	43.31	57.38	0.96 in/h



MANUAL DRAIN VALVE (12)

#### Property Owner - Developer

Riverdale Center North, LLC. 5760 Wilshire Bivd., Suite 1250 Los Angles, CA 90036 Contact: Steven Usdan Phone: 323-965-1510

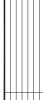
#### Approving Agency

Riverdale City 4600 South Weber River Drive Riverdale, UT 84405

## Civil Engineer

Know what's below.
Call before you dig.

## AWA

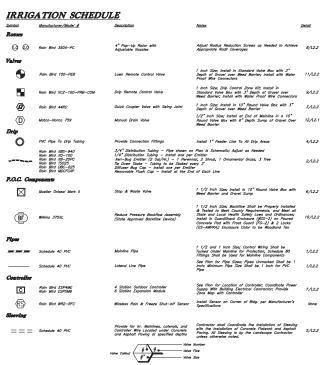




RIVerdale Townhomes
300 West Street & Pocific Avenue
Riverdale, Uteh

10 May, 2022

L2.1



#### General Irrigation Notes:

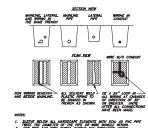
- The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions to not proceed until conditions have been corrected.

- The Owner/Landscape Architect has the right to reject any and all irrigation materia not conforming to the plans and specifications.
- 7. The contractor shall install all irrigation material per plan, notes and details.
- 8. Irrigation system components must be premium quality only and shallould to manufactures requirements and specifications. The contractor is responsible for manufactures requirements and specifications. The contractor is responsible for Substitutions must be approved by indiscage architect. Provides amen and maintenance personnel with instruction manual and all products data to operate, check, whiteirs, repoir, and adjust system.
- 10. Irrigation system check must be done before the system is backfilled, irrigation motifies and each control volve section must be flushed and pressure checked, and a section of the system of the section of the

- 16. Control valve wire shall be \$14 single conductor: white for common wire, red for ho wire and blue for the spare wire. Provide (2) two spares wire that runs the length

- of the mainline and to the controller. All wining shall be UF-UL rated. All connections shall be made with water light connectors (DBR/Y or equivalent) a contained in control valve boxes. Provide 36 starts wise length at each remote control valve in valve box. Install control wining with main service line where possible. Provide stack in control wines at all changes in direction.
- 17. Control valve size, type, quantity, and location to be approved by landscape archinstall in heavy duty plastic vandal proof box. Size boxes according to valve type size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel sump in base of boxes. Boxes to be Carson Brooks or equal.

- 20. All Infigation pipe running through walls, under allewalls, applied, or other hard and an applied of the pipe state of the pipe sta
- Plans are diagrammatic and approximate due to scale, where possible, all piping is to be installed within the planting areas. No tees, ells, or changes in direction shall occur under hardscape.
- 22. It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
- 2.1. The irrigation contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent possible overspray onto setts, rootleys, and/or buildings site and to throttle the files control of each visit to obtain the adjustment specified pressure for each system. All mainlines shall be flushed prior to the Installation of irrigation heads.
- Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
- Provide and install all manufacturer's recommended surge and lighting protection equipment on all controllers.
- 27. All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
- 28. Upon completion and approval of irrigation system, irrigation contractor to provide the owner with two sets of drawings indicating actual location of piping, valves, sprintler heads, wiring, and zones.
- 29. An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone volve (scations.)
- 30. It shall be the responsibility of the sprinkler contractor to demonstrate to the Owner the proper winterization and start—up procedures for the entire system prior to final number.



1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH. 40 PVC PIPE TRICE THE DIAMETER OF THE PIPE OR WIRE BURDLE WITHIN. 2. FOR PIPE AND WIRE BURDLE DEPTHS SEF IMPROATION MOTIFE PIPE & WIRE TRENCHING

FINISH GRADE/TOP OF STONE
COMPRESSION X 1/2"

SINGLE-OUTLET EMITTER: SEE HINGATION SCH. FOR TYPE & MODEL #

COMPRESSION FLUSH CAP

(1)

**(4**`

DIFFUSER BUG CAP - 1/4" DISTRIBUTION TUBING - TIE DOWN STAKE - TOP OF STONE SINGLE-OUTLET EMITTER: XEN-BUG EMITTERS SEE SCHEDULE FOR MODEL # NOTE:

1. DES BAN BRD REBBAN TOCK MODEL ZN-TOCK TO INSERT EMITER

1. DESCRIPTION OF SOERBOUTHON TUBBAN.

2. BRITALL EMITTES ON OPPOSITE SDES OF POOTBALL EMITTERS

ART TO BE INSTALLED TO CLEAR SUBFACE BY A MAN, OF 1" AND

AND A MAN, OF 2". TUDS ALL DESS TORROUGHER, MICHORIS

FAMILY OF 2". TUDS ALL DESS TORROUGHER, MICHORIS

FAMILY OF 3" ALL STORY OR CREATER, BISTALL BOTH EMITTERS

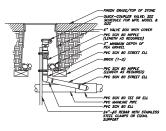
ON UPPALL SING OF ROPERAL

EMITTER INTO DISTRIBUTION TUBE **(2)** 

WIDTH VARIES

S S

(5)



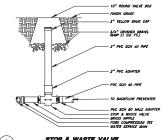
QUICK COUPLING VALVE MOT TO SCALE

(3)

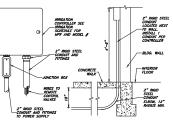
BACKFILL COMPACTED AT 95%.

-CONTROL WIRES 6" TO EITHER SIDE IN SLEEVE

PVC MAIN LINE/LATERAL IN SLEEVE



STOP & WASTE VALVE (6)



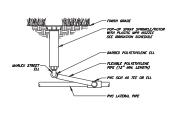
HOTE:

1. USE RAIH BIRD XERBIAN TOOL MODEL XW-TOOL TO INSERT EMITTER DIRECTLY INTO 3/4" DISTRIBUTION TUBING.

PVC TO POLY PIPE CONNECTION

NOT TO SCALE

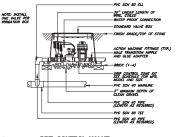
IRR. CONTROLLER - OUTDOOR WALL MOUNT **(7**)-Not to Scale



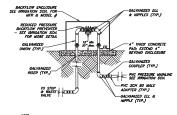
MOTE:
1. ALL HARROATION SLEEVES TO BE SCH. 40 PVC PPE.
2. ALL SLEEVES SHALL BE TWICE THE HOMENUL SIZE OF THE PIPE WITHIN.
3. ALL JOINTS TO BE SOLVEY HELDED AND WHITETHORY.
4. SLEEVE TO BE RIPH UNDER PAYEMENT AND EXTEND A MID. OF 18" PAST
EDGE OF PAYEMENT. HID OF SLEEVE TO BE CAPPED AND MARKED.

PPE SLEEVING

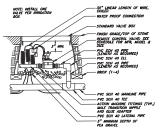
POP-UP SPRAY & ROTOR HEAD (8)



DRIP CONTROL VALVE  $(\mathbf{9})$ NOT TO SCALE



BACKFLOW PREVENTION DEVICE (10)



REMOTE CONTROL VALVE (11) MOT TO SCALE

Property Owner - Developer

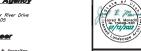
Riverdale Center North, LLC. 5760 Wilshire Blvd., Suite 1250 Los Angles, CA 90036 Contact: Steven Usdan Phone: 323-965-1510

#### Approving Agency

Riverdale City 4600 South Weber River Drive Riverdale, UT 84405

#### Civil Engineer

AWA Anderson Wahlen & Assocites 2010 North Redwood Road Salt Lake City, UT 84116 Contact: Jake Tate Office: 801-521-8529 Know what's below.



10 May, 2022

*ATES

Townhomes

** Pacific Avenue
date, Ulah

Riverdale 300 West Street

Detalls

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Notes

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