



**August 4th, 2022**

**Planning Commission**

**Meeting**

**Information Packet**

# Public Hearings

*a. Public Hearing for Class A Kennel Permit  
Application for Joseph Espinosa to keep 5 dogs  
on the property located at 187 N. Hale Street*

# AGENDA ITEM #1

*Election of new Vice Chair for  
Planning Commission to fill mid-  
term vacancy.*

## **AGENDA ITEM #2**

Consideration of the Class A Kennel  
Permit Application for Joseph Espinosa  
to keep 5 dogs on the property located at  
187 N. Hale Street



# KENNEL PERMIT APPLICATION

\$75.00 application fee - Zoning Administrator Approval  
\$200.00 application fee - Planning Commission for Approval

AMOUNT PAID unpaid \$200<sup>00</sup>

DATE PAID 6/28/2022

HEARING DATE \_\_\_\_\_

PERMIT # \_\_\_\_\_

NAME Joseph ESPINOSA

PHONE [REDACTED]

MAILING ADDRESS 187 N HALE St 89029 Grantsville UT

ADDRESS OF SUBJECT PROPERTY 187 N HALE St Grantsville UT 89029

1. Please describe reason for request and how many dogs you are requesting to keep (Class A Kennel – 3 to 15 dogs, Class B Kennel – 16 to 30 dogs, Class C Kennel – more than 30 dogs):

5 Dogs (2 of my own (1 my son 2 my sisters that are living with us.)

2. Do you own the property? (if not, provide written approval from the property owner)

yes

3. What zone is subject property located in \_\_\_\_\_

4. Include with your application a site plan that shows dimensions of your lot, where your residence is located, as well as the size of and where the kennels are located on the property, all residences on adjacent properties, as well as how far away those residences are from the dogs housing / kennel area. All Class A, B, and C Kennel licenses require a separate site plan application along with all pertinent information required by application.

5. A plat of the parcel obtained from Tooele County Recorder's office and a five (500) hundred-foot radius report with the names and mailing addresses placed on mailing labels with a like number of stamped envelopes of all property owners; **Please LEAVE addresses on the label sheet. (Mailing Addresses must be from the Tooele County Recorder's Office)**

Joseph Espinosa  
SIGNATURE OF APPLICANT

\_\_\_\_\_  
SIGNATURE OF CO-APPLICANT



151 N. Main Street  
Environmental Health, Suite 140  
Tooele, Utah 84074  
Phone (435) 277-2440 • Fax (435) 277-2444  
[www.tooelehealth.org](http://www.tooelehealth.org)

January 3, 2022

Jamie Espinosa  
187 N. Hale St.  
Grantsville, UT 84029

Re: Sportsmans license

Dear Jamie:

On January 3, 2022, the Tooele County Health Department made an inspection at your property located at 187 N. Hale St., Grantsville, regarding your application for a Sportsmans/Kennel license. At the time of the inspection we discussed your plan for containment, sanitation and noise control in regards to the dogs. It has been determined that the environmental and sanitation concerns have been satisfied at this time. Therefore, the kennel is approved by the Health Department.

If you have any questions concerning this matter, please call me at (435) 277-2440.

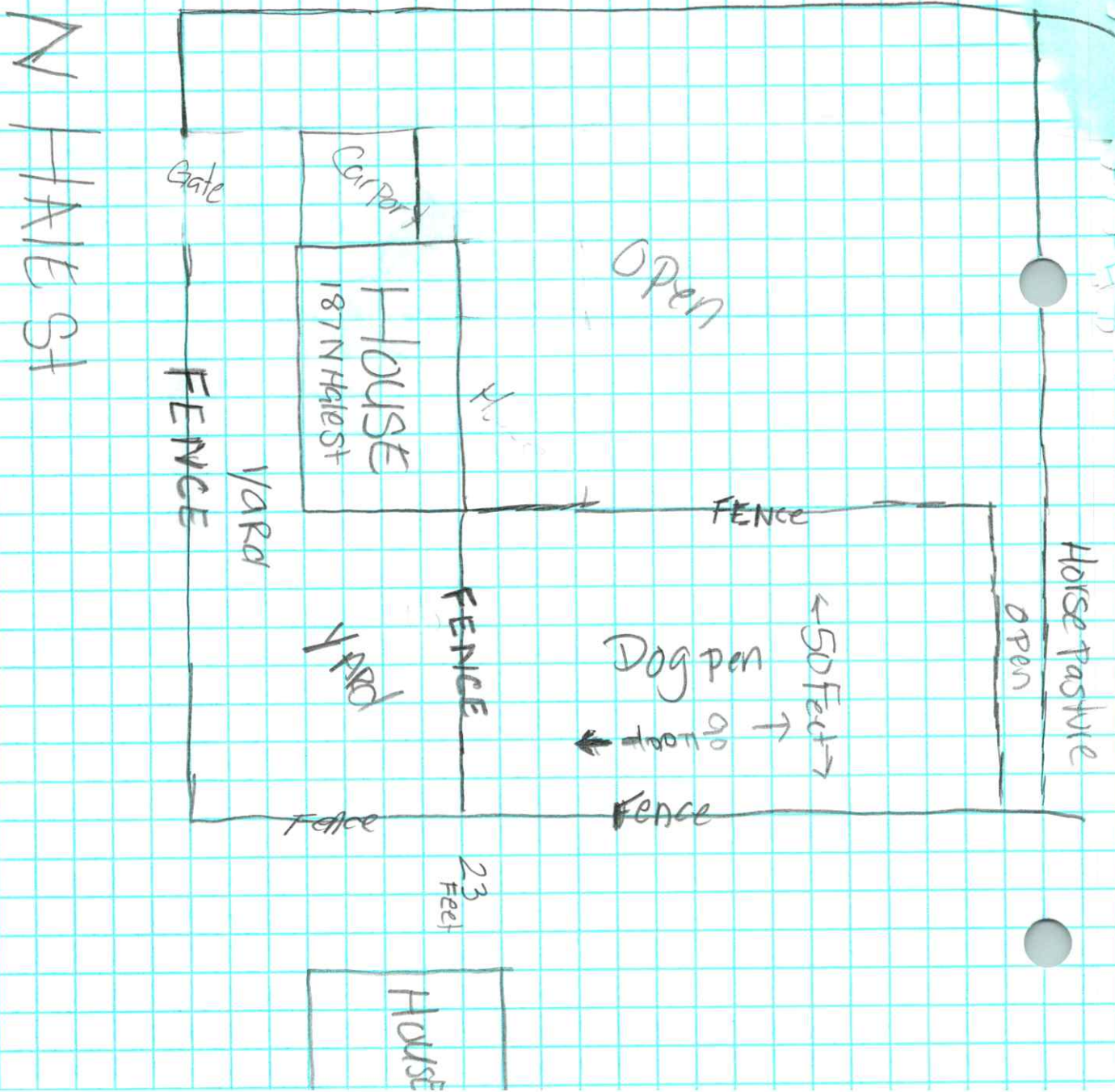
Sincerely,

A handwritten signature in black ink, appearing to read "Bryan Slade", written in a cursive style.

Bryan Slade, L.E.H.S.  
Environmental Health Director

## REQUIREMENTS FOR A KENNEL/SPORTSMANS PERMIT

- Applicant must have 85 feet of kennel space per dog, this includes dogs that stay indoors most of the day.
- Applicant's property must have enough area to provide a minimum of a one hundred (100) foot buffer zone between the kennels and any neighboring residences.
- Submit a site plan with the application that indicates where all neighboring residences are and the exact linear footage from the outside edge of the kennels to the neighboring homes.
- Applicant must have kennel area inspected by both the Grantsville City Animal Control Officer and the Tooele County Health Department and submit letters of approval from each.
- Approvals are for three (3) to five (5) dogs for a Sportsman's Permit.
- Approvals for a Kennel Permit are as follows:  
Class A Kennel – 3 to 15 dogs, Class B Kennel – 16 to 30 dogs, Class C Kennel – more than 30 dogs):
- A non-refundable \$75.00 application fee - Zoning Administrator Approval  
\$200.00 application fee - Planning Commission for Approval.
- Applicant must submit a complete application and attach all required items that are listed on the application to the Zoning Administrator twenty (28) days prior to the Planning Commission meeting that is desired to be scheduled on. The Commission meets the second Thursday of every month.
- Permits are renewable each year by January 31st. All dogs must be licensed by March 31<sup>st</sup> every year.







# GRANTSVILLE CITY POLICE DEPARTMENT

Report for Incident 21G003967

**Nature:** BARKING DOG  
**Location:** GCPD

**Address:** 187 N HALE ST  
GRANTSVILLE UT 84029

**Offense Codes:** ANPR

**Received By:** LUND D

**How Received:** O

**Agency:** GCPD

**Responding Officers:** E TRIPP

**Responsible Officer:** E TRIPP

**Disposition:** CLO 10/25/21

**When Reported:** 10:24:27 10/21/21

**Occurred Between:** 10:24:24 10/21/21 and 10:24:24 10/21/21

**Assigned To:**

**Detail:**

**Date Assigned:** \*\*/\*\*/\*\*

**Status:**

**Status Date:** \*\*/\*\*/\*\*

**Due Date:** \*\*/\*\*/\*\*

## Complainant:

**Last:**

**First:**

**Mid:**

**DOB:** \*\*/\*\*/\*\*

**Dr Lic:**

**Address:**

**Race:**

**Sex:**

**Phone:**

**City:** ,

## Offense Codes

**Reported:** ANPR Animal Problem

**Observed:** ANPR Animal Problem

**Additional Offense:** ANPR Animal Problem

## Circumstances

ADOG Animal, Dog

LT20 Residence or Home

**Responding Officers:**

E TRIPP

**Unit :**

G30

**Responsible Officer:** E TRIPP

**Agency:** GCPD

**Received By:** LUND D

**Last Radio Log:** 10:35:07 10/21/21 CMPLT

**How Received:** O OFCR Generated

**Clearance:** LF Long form

**When Reported:** 10:24:27 10/21/21

**Disposition:** CLO **Date:** 10/25/21

**Judicial Status:**

**Occurred between:** 10:24:24 10/21/21

**Misc Entry:**

**and:** 10:24:24 10/21/21

**Modus Operandi:**

**Description :**

**Method :**

## Involvements

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<b>Date</b>	<b>Type</b>	<b>Description</b>	<b>Relationship</b>
10/25/21	Name	RUSSELL, MILDRED	Complainant
10/25/21	Name	ESPONSA, JAMIE	Owner
10/21/21	Cad Call	10:24:27 10/21/21 BARKING DOG	Initiating Call

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**Narrative**

ANIMAL CONTROL OFFICER: E Tripp

CALL: Barking dog

DATE: 10/21/2021

TIME: 1024 hrs

**SYNOPSIS:**

Report of barking dogs and other violations.

**NARRATIVE:**

On the above date, Mildred Russell, came into the police department to file a complaint on her neighbors at 187 N Hale St for the dogs barking all day and night, digging under the fence, the smell, and unsanitary conditions. I responded to the incident address where I spoke with Jamie Esponosa, owner, who advised that she has 2 dogs, but that her sister who is getting a divorce and her son are living with her temporarily and they do have 3 dogs between them, making it 5 dogs on the property. Jamie also explained that the neighbor's dog antagonizes her dogs, causing them to bark and to try and dig under the fence. Jamie advised that she bought bark collars and will put them back on, just to make sure there is no problem.

While I was at the residence, I did not find it to be in an unsanitary condition, just a property that has animals.

On 10/25/2021, I spoke with the Grantsville City Attorney who advised that as long as the dogs are only there temporarily, she would not need to have a kennel permit, but if they dogs are there more than about a month more, she would need to apply for a permit.

My department issued body camera was worn in a clear and visible manner, and was activated during this incident.

**DISPOSITION:**

No charges at this time. Owner spoke to about the issues.

Case closed.

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**Responsible LEO:**

---

**Approved by:**

---

**Date**

## Supplement

ANIMAL CONTROL OFFICER: E Tripp

CALL: Supplemental

DATE: 11/10/2021

TIME: 1545 hrs

### NARRATIVE:

On 11/8/2021, I received the attached letter from Mildred Russell with 4 questions about the case. On that same date, I contacted Mildred and answered the questions for her. I advised Mildred that in regards to her questions about how many more dogs the neighbor gets to have will depend on if the kennel license gets approved. If it does get approved, the kennel permit is good for up to 15 dogs. In regards to questions #3 about the son living at the residence, that it is only temporary living situations as the son just moved home from school and is looking for a place to live that is affordable. In regards to question #4, I have asked the suspect for a copy of each dogs rabies vaccinations and when those are received they will be attached to the report, that Mildred is able to request.

I then ended the phone call and cleared the call.

My department issued body camera was worn in a clear and visible manner, and was activated during this incident.

### DISPOSITION:

Letter with questions attached.



## Supplement

ANIMAL CONTROL OFFICER: E Tripp

CALL: Follow up

DATE: 11/15/2021

TIME: 0900 hrs

### NARRATIVE:

On the above date, I was asked by the administrative assistant, on behalf of Mayor Marshall to forward this case to the city attorney for the below charge.

### CHARGES:

4-1-16: Nuisance; animals.

On the above date, I also received a message from Jamie that had a copy of 2 of the dogs current rabies vaccinations, as well as a note saying that she has turned in a kennel permit to Kristy Clark with the city.

My department issued body camera was worn in a clear and visible manner, and was activated during this incident.

### DISPOSITION:

Please forward charges to the city attorney.

## Supplement

ANIMAL CONTROL OFFICER: E Tripp  
CALL: Kennel Permit inspection  
DATE: 12/17/2021  
TIME: 1000 hrs

### NARRATIVE:

On the above date, I responded to the incident address to do a kennel permit inspection for Jamie Espinosa. I observed the area to be large enough for the dogs to run in, and that they had access to food and water. I also observed that the dogs can go up onto the porch to get out of the weather. The area was fenced in completely and there was a black-out cloth on the north side of the fence between the properties.

My department issued body camera was worn in a clear and visible manner, and was activated during this incident.

### DISPOSITION:

Based on what I observed, I don't see any reason why a kennel/sportsman permit can't be granted.

End of report.

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**Name Involvements:****Complainant :** 5187**Last:** RUSSELL**First:** MILDRED**Mid:****DOB:** 05/09/56**Dr Lic:****Address:** 227 N HALE ST**Race:** W**Sex:** F**Phone:** (435)884-0148**City:** TOOELE, UT 84074**Owner :** 117128**Last:** ESPONSA**First:** JAMIE**Mid:****DOB:** 02/21/77**Dr Lic:****Address:** 187 N HALE ST**Race:** W**Sex:** F**Phone:****City:** GRANTSVILLE, UT 84029

GRANTSVILLE CITY  
429 E MAIN STREET  
GRANTSVILLE UT 84029

435-884-3411

Receipt No: 7.001253

Jun 28, 2022

JOSEPH & JAMIE ESPINOSA

Previous Balance:  
MISC LICENSES  
KENNEL PERMIT

.00

200.00

Total:

200.00

CASH

Total Applied:

200.00

200.00

Change Tendered:

.00

06/28/2022 11:40 AM





#### GIS Map Disclaimer:

This is not an official map but for reference use only. The data was compiled from the best sources available, but various errors from the sources may be inherent on the map. All boundaries and features therein should be treated as such. For boundary information, the pertinent County Departments or Municipalities should be contacted. This map is a representation of ground features and is not a legal document of their locations. The scale represented is approximate, so this is NOT a Survey or Engineering grade map and should by no means be used as such. This map is not intended for all users. Tooele County is not responsible or liable for any derivative or misuse of this map.



Jose Espinosa  
01-051-0-0030

0 100 200 400 600 800 Feet



emily.jones  
Date: 7/8/2022



**Tooele County Recorder**

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Misc.	\$10.00
Processing Fee	\$1.50
<hr/>	
<b>TOTAL</b>	<b>\$11.50</b>

07/8/2022 09:07 am

V\*4789

AuthCode: 690661-690672

Ref: 62c84ac9-SIP-31171

Transaction ID: Event-3690

Account Number: Joseph Espinosa-V\*4789

Name: Joseph Espinosa

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Customer Copy

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Tooele County Recorder  
47 South Main  
Tooele, UT 84074  
435-843-3100

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Thank-you.

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Your statement will describe your payment as 'CBT\*TOOELE COUNTY UT' and the service fee transaction as 'CBT\*SVC FEE TOOELE CN'.

SMITH LANCE ✓  
58 W CLARK ST  
GRANTSVILLE, UT 84029

CICCONI DAIVA L TRUSTEE ✓  
74 W CLARK  
GRANTSVILLE, UT 84029

CASTAGNO NICHOLAS JT ✓  
88 W CLARK ST  
GRANTSVILLE, UT 84029

JOHNSON JAY MICHAEL JT ✓  
160 N COOLEY ST  
GRANTSVILLE, UT 84029

JOYCE R RYDALCH TRUSTEE ✓  
P O BOX 825  
GRANTSVILLE, UT 84029

THE ROGER E HAYNES TRUST DATED  
THE 1ST DAY OF AUGUST 2019 ✓  
259 N HALE ST  
GRANTSVILLE, UT 84029

HARVEY R HAYNES ✓  
PO BOX 856  
GRANTSVILLE, UT 84029

ISOROKYU VERNON JT ✓  
140 N HALE ST  
GRANTSVILLE, UT 84029

SIX MILE RANCH CO ✓  
P O BOX 222  
GRANTSVILLE, UT 84029

LINDA GREEN ✓  
260 N HALE ST  
GRANTSVILLE, UT 84029

SHIRLEY K JOHNSTON TRUSTEE ✓  
45 W APPLE ST  
GRANTSVILLE, UT 84029

VERA ANDREW KENT JT ✓  
200 LIDDIARD LN  
GRANTSVILLE, UT 84029

SIX MILE RANCH COMPANY ✓  
PO BOX 222  
GRANTSVILLE, UT 84029

HAWS COLTON G JT ✓  
237 N HALE ST  
GRANTSVILLE, UT 84029

MILDRED I RUSSELL JT ✓  
227 N HALE ST  
GRANTSVILLE, UT 84029

ESPINOSA JOSEPH JT ✓  
187 N. HALE STREET  
GRANTSVILLE, UT 84029

KEVIN DEAN CARLING ✓  
165 N HALE ST  
GRANTSVILLE, UT 84029

JAMES M CAPPO ✓  
155 N HALE STR  
GRANTSVILLE, UT 84029

PIPER MILL LLC ✓  
566 E 400 S  
PAYSON, UT 84651

VANESSA L KNICKERBOCKER JT ✓  
151 N HALE ST  
GRANTSVILLE, UT 84029

EVELER REBECCA JT ✓  
46 W CLARK ST  
GRANTSVILLE, UT 84029

DAVE A REED JT ✓  
P O BOX 173  
GRANTSVILLE, UT 84029

ALBERT CURTIS MACE JT ✓  
P O BOX 153  
GRANTSVILLE, UT 84029

WADE LAURYL ✓  
247 NORTH HALE STREET  
GRANTSVILLE, UT 84029

**APPLICATION FOR AN  
ANIMAL CONDITIONAL USE PERMIT  
CONSIDERATION BY GRANTSVILLE CITY  
PLANNING COMMISSION**

This is to inform you that an application has been received in our office for consideration of an animal conditional use permit for:

**Joseph Espinosa to keep up to ~~three~~ (5) DOGS on his property located at 187 North Hale Street. The requirements for 5 DOGS has been met and inspected.**

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A public hearing and meeting to discuss, consider action, and to decide will be held in the Grantsville City Hall Council Chambers, 429 E Main Street and on Zoom, on:

**August 4, 2022 at 7:00 pm**

You are invited to request a copy of the application, proposed plans, and zoning code by emailing me at [lwood@grantsvilleut.gov](mailto:lwood@grantsvilleut.gov).

You may attend the meeting in person and present comments at that time.

For more information, please call me at 435-884-3411 ext. 674.

Thank you,

Libra Wood  
Zoning Administrative Assistant





Libra Wood &lt;lwood@grantsvilleut.gov&gt;

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**North Hale Street Kennel Liscence**

2 messages

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**Dennis Russell** <skvly\_russ@yahoo.com>  
To: "lwood@grantsvilleut.gov" <lwood@grantsvilleut.gov>

Tue, Jul 26, 2022 at 4:26 PM

Good afternoon, Libra.

I am writing concerning the proposed dog kennel license application at about [223 North Hale Street](#). My parents live next door and I have been at their home. The dogs at [223 North Hale](#) bark almost every time someone goes out the door. I believe that people should be able to enjoy their backyard without the neighbor's dogs barking at them.

While I don't live in Grantsville anymore, I do live about a mile from a dog kennel and can hear the dogs barking at all hours of the day and night. I respectfully request that you consider the neighborhood peace when evaluating the permit.

Thanks

Dennis Russell

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**Libra Wood** <lwood@grantsvilleut.gov>  
To: Dennis Russell <skvly\_russ@yahoo.com>

Tue, Jul 26, 2022 at 4:29 PM

Thank you for your thoughts. I will add them to the file.

[Quoted text hidden]

--

*Libra M Wood*  
*Community Development Administrative Assistant*  
[lwood@grantsvilleut.gov](mailto:lwood@grantsvilleut.gov)  
435-884-3411 Ext. 674

## **AGENDA ITEM #3**

Consideration to recommend approval of the proposed rezone of 11 Acres of property located at 4860 West Highway 112 to go from an A-10 Designation to an RR-1 Designation

**APPLICATION FOR AMENDING THE ZONING MAP  
(REZONING)**

DATE PAID June 3, 2022

HEARING DATE July 7, 2022

**\$500.00 FEE  
NON-  
REFUNDABLE**

APPLICANT'S NAME George Lynn Cook

MAILING ADDRESS 4860 West Highway 112, Grantsville, Utah 84029-8505

E-MAIL \_\_\_\_\_

APPLICANT'S PHONE 435-884-6597

LOCATION OF SUBJECT PROPERTY 4860 West Hwy 112

DO YOU OWN THE PROPERTY? Yes

NUMBER OF ACRES INVOLVED 11

CURRENT ZONE OF PROPERTY A-10

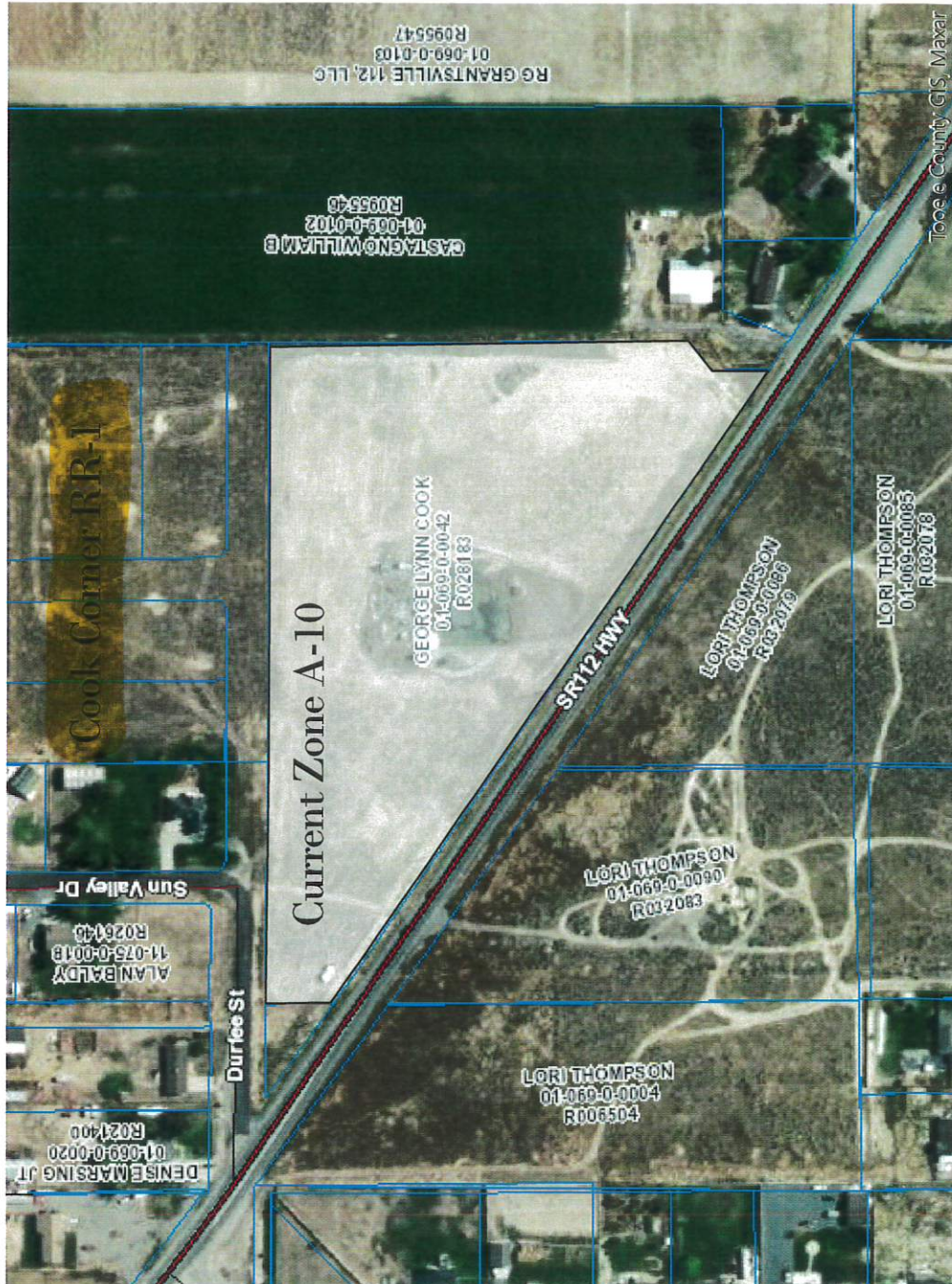
REQUESTED ZONE RR-1

PROPOSED USE FOR NEW ZONE, IF APPROVED A single 1-acre lot

will be divided out for my nephew to build a house on.

Attach all required items from checklist sheet, incomplete applications cannot be accepted.

George Lynn Cook  
SIGNATURE OF APPLICANT





GRANTSVILLE CITY  
429 E MAIN STREET  
GRANTSVILLE UT 84029 435-884-3411

Receipt No: 7.001111 Jun 3, 2022

GEORGE COOK

Previous Balance:	.00
ZONING/SUBDIV. FEES	
ZONE CHANGE FEE	500.00

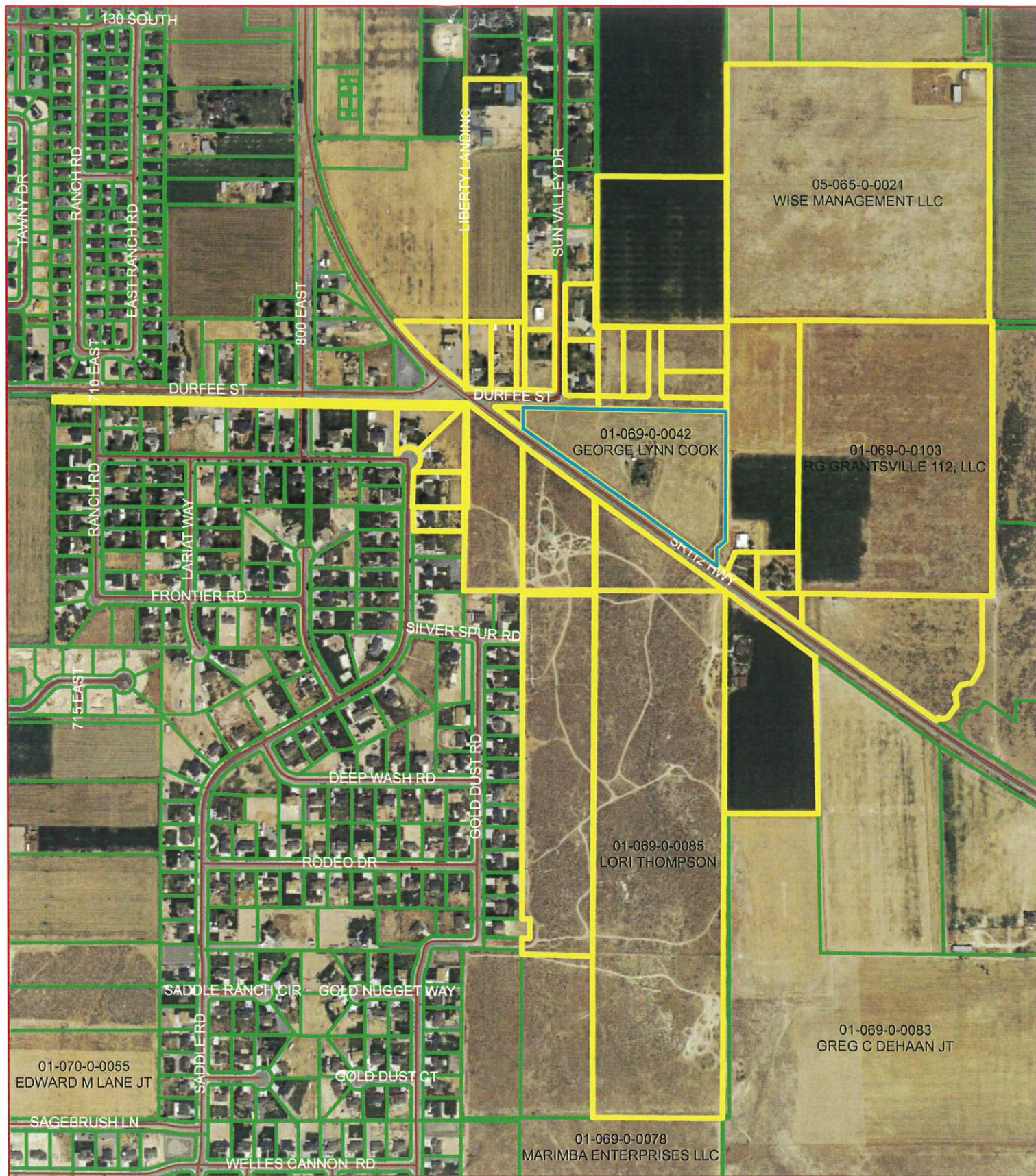
Total:	500.00
--------	--------

CASH	500.00
Total Applied:	500.00

Change Tendered:	.00
------------------	-----

06/03/2022 12:10 PM



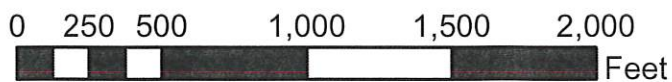


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Joshua Cook - Lynn Cook  
01-069-0-0042



Date: 6/1/2022  
blanca.rodriguez



CLAYTON JEFF JT  
4792 HIGHWAY 112  
GRANTSVILLE, UT 84029

CHRISTENSEN NATHAN V. JT  
343 SOUTH SADDLE ROAD  
GRANTSVILLE, UT 84029

BROWN MATTHEW ALLEN JT  
4795 HWY 112  
GRANTSVILLE, UT 84029

LORI THOMPSON  
9446 S WASATCH VIEW CR  
SOUTH JORDAN, UT 84095

GEORGE LYNN COOK  
4806 HWY 112  
GRANTSVILLE, UT 84029

*Applicant*

DENISE MARSING JT  
295 HWY 112  
GRANTSVILLE, UT 84029

SUPERIOR ASPHALT LC  
PO BOX 450  
MAGNA, UT 84044

RDJ INVESTMENTS LC  
PO BOX 450  
MAGNA, UT 84044

ANDERSON RANCH LC  
P O BOX 1389  
GRANTSVILLE, UT 84029

HERBERT ELI BROUGHTON TRUSTEE  
321 S SADDLE RD  
GRANTSVILLE, UT 84029

FAHERTY SEAN JT  
313 S. SADDLE ROAD  
GRANTSVILLE, UT 84029

EVANS DEBBIE C JT  
845 E SADDLE RD  
GRANTSVILLE, UT 84029

ANDERSON RANCH III INVESTMENTS  
LLC  
405 E 4450 N  
PROVO, UT 84604

GEORGE LYNN COOK  
4860 HWY 112  
GRANTSVILLE, UT 84029

*Dup*

ALAN BALDY  
3575 SUN VALLEY DR  
GRANTSVILLE, UT 84029

STALEY NICHOLAS C JT  
3570 SUN VALLEY DRIVE  
GRANTSVILLE, UT 84029

WISE MANAGEMENT LLC  
182 E MAIN ST #2  
GRANTSVILLE, UT 84029

ALLEN TERRY LEE SR TRUSTEE  
3619 SUN VALLEY DR  
GRANTSVILLE, UT 84029

JOSHUA G ECHAVARRIA JT  
3610 N SUN VALLEY DR.  
GRANTSVILLE, UT 84029

JEFFREY SCOTT JENSEN JT  
279 HWY 112  
GRANTSVILLE, UT 84029

RDJ INVESTMENTS LC  
125 S 900 E  
GRANTSVILLE, UT 84029

RG GRANTSVILLE 112, LLC  
2265 E. MURRAY HOLLADAY ROAD  
HOLLADAY, UT 84117

RG GRANTSVILLE 112, LLC  
2265 EAST MURRAY HOLLADAY RD  
HOLLADAY, UT 84117

*Dup*

EQUITY TRUST COMPANY CUSTODIAN  
1089 E BRETONWOODS LN  
OREM, UT 84097

CASTAGNO WILLIAM B  
35 E MAIN ST  
GRANTSVILLE, UT 84029

ICONIC DEVELOPMENT LLC  
3410 N MOYLE LANE  
ERDA, UT 84074

GRANTSVILLE CITY  
429 E MAIN  
GRANTSVILLE, UT 84029

ICONIC DEVELOPMENT, LLC  
3410 N MOYLE LN  
TOOELE, UT 84074

*Dup*

# APPLICATION FOR A REZONE CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

An application has been received in our office for the consideration to rezone:

**11 acres of land located at 4860 West Highway 112. The request is to go from an A-10 zone to an RR-1 Zone**

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A public hearing to receive public input and meeting to discuss and consider action on the proposed project and make a recommendation to the City Council will be held in the Grantsville City Hall Council Chambers, 429 E. Main Street, Grantsville, Utah on:

**Thursday, July 7th, 2022 at 7:00pm**

You are invited to request a copy of the application and zoning code by emailing me at [bbaugh@grantsvilleut.gov](mailto:bbaugh@grantsvilleut.gov). At this time, they are just asking for a zoning change and future plans aren't required. If and when the property gets developed, you will be notified and I will be able to send you the development plan at that time.

We will continue to broadcast the Planning Commission meetings electronically on Zoom. If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on May 19, 2022. For more information, please call me at 435-884-4604 or email me.

Thank you,

*Braydee Baugh*

Interim Zoning Administrator

Join Zoom Meeting

<https://us02web.zoom.us/j/89498252841>

Meeting ID: 894 9825 2841



## **AGENDA ITEM #4**

Consideration to recommend approval of proposed rezone of 8.385 Acres of Property located at approximately 448 and 454 E. Main Street to go from a CD and A-10 Designation to a Mixed-Use Density Designation

## APPLICATION FOR AMENDING THE ZONING MAP (REZONING)

DATE PAID 7-8-22

HEARING DATE July 21, 2022

**\$500.00 FEE  
NON-  
REFUNDABLE**

APPLICANT'S NAME Tru Le, South Coastal Investments, LLC.

MAILING ADDRESS 11238 Charismatic Court, South Jordan, UT 84095

E-MAIL trule111@gmail.com

APPLICANT'S PHONE 714-800-9646

LOCATION OF SUBJECT PROPERTY 448 and 454 E. Main Street

DO YOU OWN THE PROPERTY? Y

NUMBER OF ACRES INVOLVED 8.385 Acres

CURRENT ZONE OF PROPERTY CD and A-10

REQUESTED ZONE Mixed-Use Density

PROPOSED USE FOR NEW ZONE, IF APPROVED \_\_\_\_\_

20% Commercial and 80% High Density Residential

Attach all required items from checklist sheet, incomplete applications cannot be accepted.

706  
SIGNATURE OF APPLICANT

GRANTSVILLE CITY  
429 E MAIN STREET  
GRANTSVILLE UT 84029 435-884-3411

Receipt No: 14.000007 Jul 8, 2022

SOUTH COASTAL INV

Previous Balance:	.00
ZONING/SUBDIV. FEES	
ZONE CHANGE FEE	500.00
	-----
Total:	500.00
	=====
CHECK	
Check No: 1022	500.00
Total Applied:	500.00
	-----
Change Tendered:	.00
	=====

Duplicate Copy  
07/08/2022 3:18 PM

**LEGAL DESCRIPTIONS FOR 448 and 454 E. Main Street:**

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**448 E. Main Street (Parcel ID: 18-062-0-0001)**

Lot 1, Jay Hale Subdivision, a Subdivision according to the official plat thereof on file and or record in the office of the Tooele County Recorder, State of Utah.

**454 E. Main Street (Parcel ID: 18-062-0-0002)**

Lot 2, Jay Hale Subdivision, a Subdivision according to the official plat thereof on file and or record in the office of the Tooele County Recorder, State of Utah.





VICINITY MAP





**RECORDER/SURVEYOR OFFICE**

Request for Surrounding Property Owners

**Property Information and Location**

(All lines must be filled in)

**Property Address:** 448 E Main Street and 454 E Main Street, Grantsville, UT

**Lot #** 1 & 2 **Subdivision Name:** Jay Hale Subdivision

**Township** \_\_\_\_\_ **Range** \_\_\_\_\_ **Section** \_\_\_\_\_

**Parcel #** 18-062-0-0001 and 18-062-0-0002

***Please Choose one of the following***

\_\_\_\_\_ 300 Foot Radius includes Mailing labels / Maps

\_\_\_\_\_ 400 Foot Radius Includes Mailing Labels /Maps

☒ Other 500 Foot Radius

**FEE:** To be determined \$ 10.00 *Paid CO over the phone -*  
(Basic charge is \$10.00 - 4 to 30 labels including boundary  
map printed on an aerial base map) Completed by (initials) RS Date 7/9/22

Name of person and contact information Requesting information

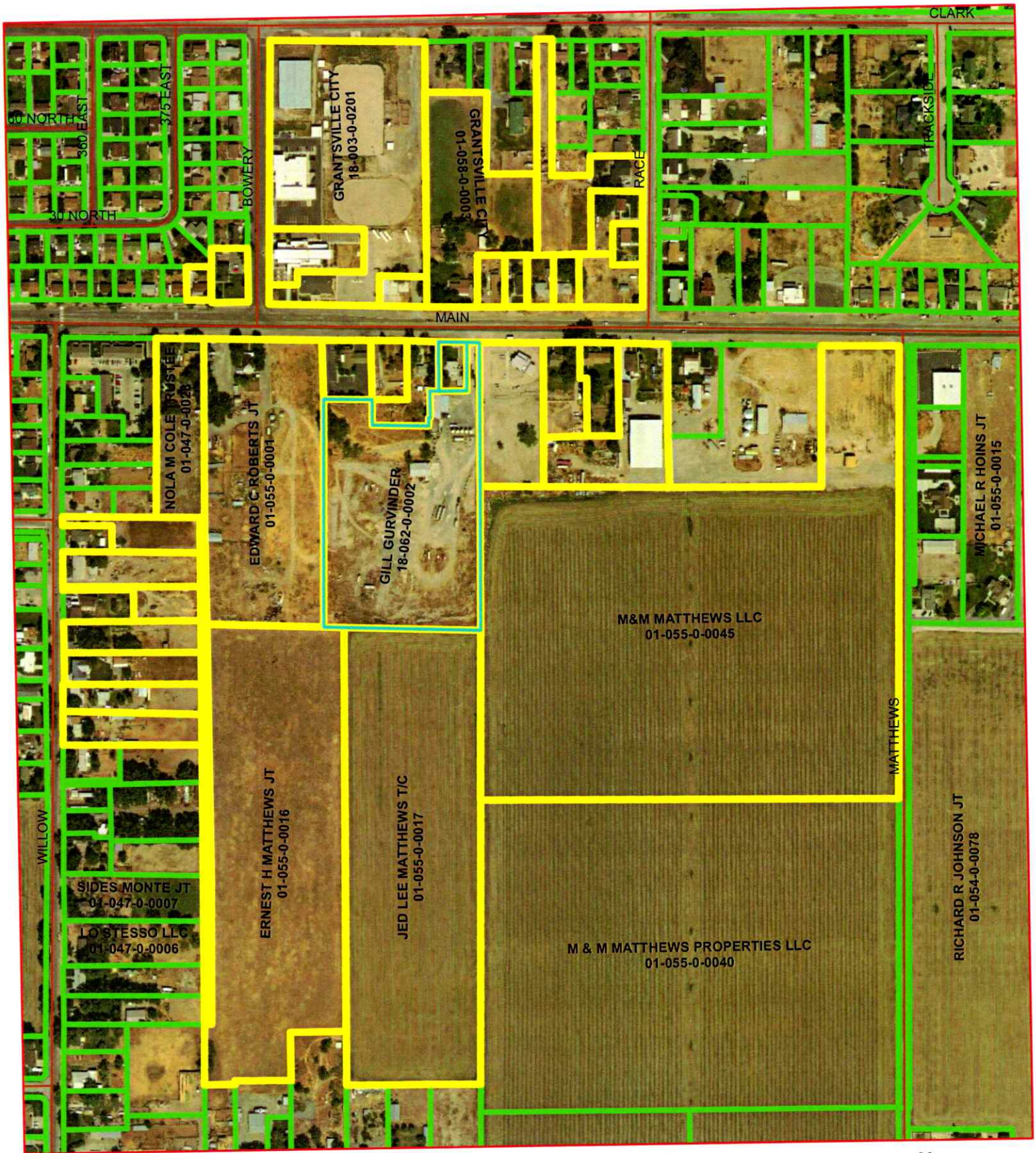
**Name** Robert Donigan **Date** 07/07/2022

**Contact Number** 801-703-6383

**Please allow our Mapping Department 24 hours to complete request, you will be notified when they are ready to be picked up**

*Thank you*





#### GIS Map Disclaimer:

This is not an official map but for reference use only. The data was compiled from the best sources available, but various errors from the sources may be shown on the map. All boundaries and features therein should be treated as such. For boundary information, the pertinent County Departments or Municipalities should be contacted. This map is a representation of ground features and is not a legal document of their locations. The scale represented is approximate, so this is NOT a Survey or Engineering grade map and should be used as such. This map is not intended for all uses. Tooele County is not responsible or liable for any derivative or misuse of this map.



Robert Donigan  
18-062-0-0001 & 18-062-0-0002

0 150 300 600 900 1,200 Feet



emily.jones  
Date: 7/8/2022



# APPLICATION FOR A REZONE CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

An application has been received in our office for the consideration to rezone:

**8.385 Acres of Property located at approximately 448 and 454 East Main Street  
to Rezone from a CD and A-10 Zone to a Mixed Use Density**

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A public hearing to receive public input and meeting to discuss and consider action on the proposed project and make a recommendation to the City Council will be held in the Grantsville City Hall Council Chambers, 429 E. Main Street, Grantsville, Utah on:

**Thursday, July 21st, 2022 at 7:00pm**

You are invited to request a copy of the application and zoning code by emailing me at [bbaugh@grantsvilleut.gov](mailto:bbaugh@grantsvilleut.gov). At this time, they are just asking for a zoning change and future plans aren't required. If and when the property gets developed, you will be notified and I will be able to send you the development plan at that time.

We will continue to broadcast the Planning Commission meetings electronically on Zoom. If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on July 21st, 2022. For more information, please call me at 435-884-4604 or email me.

Thank you,

*Braydee Baugh*

Interim Zoning Administrator



RACHEL DAVIS JT  
393 E MAIN ST  
GRANTSVILLE, UT 84029

GILL GURVINDER  
6 E. MAIN STREET  
GRANTSVILLE, UT 84029

NOLA M COLE TRUSTEE  
1982 N 500 E  
OREM, UT 84097

FARR LLOYD HEBER  
89 WILLOW STREET  
GRANTSVILLE, UT 84029

HAL L SAGERS JT  
97 WILLOW ST  
GRANTSVILLE, UT 84029

SAMUELS MARCUS JT  
117 WILLOW ST  
GRANTSVILLE, UT 84074

HAL L SAGERS JT  
97 S WILLOW  
GRANTSVILLE, UT 84029

COLTON TY JENSEN  
125 WILLOW ST  
GRANTSVILLE, UT 84029

GREGORY A LUND JT  
129 WILLOW ST  
GRANTSVILLE, UT 84029

FRED L KILLPACK JT  
432 S QUIRK  
GRANTSVILLE, UT 84029

EDWARD C ROBERTS JT  
367 SADDLE RD  
GRANTSVILLE, UT 84029

KIMBERLY JENKINS  
381 E MAIN ST  
GRANTSVILLE, UT 84029

ERNEST H MATTHEWS JT  
295 WILLOW ST  
GRANTSVILLE, UT 84029

ARDELL REX HENDERSON JT  
65 WILLOW ST  
GRANTSVILLE, UT 84029

JED LEE MATTHEWS T/C  
2125 E DOWNINGTON  
SALT LAKE CITY, UT 84108

BLEAZARD HEATH MORGAN JT  
482 E MAIN ST  
GRANTSVILLE, UT 84029

AMERICAN UNITED FAMILY OF CREDIT  
UNIONS FCU  
2687 W 7800 S  
WEST JORDAN, UT 84088

HELEN K BOYER TRUSTEE  
P O BOX 868  
GRANTSVILLE, UT 84029

CHARTWAY FEDERAL CREDIT UNION  
5700 CLEVELAND STREET  
VIRGINIA BEACH, VA 23462

LOCKWOOD WILLIAM JT  
494 E MAIN STREET  
GRANTSVILLE, UT 84029

OSTLER HOLDING LIMITED COMPANY  
OF UTAH  
6816 W. 10760 N.  
HIGHLAND, UT 84003

TOOELE HOSPITAL CORPORATION  
310 25TH AVENUE NORTH, SUITE 305  
NASHVILLE, TN 37203

GRANTSVILLE CITY  
429 E MAIN ST  
GRANTSVILLE, UT 84029

CLARA E SMITH JT  
455 E MAIN ST  
GRANTSVILLE, UT 84092

CURTIS JAY FISHER TRUSTEE  
45 N RACE ST  
GRANTSVILLE, UT 84029

WEISHAR JEANIE  
475 E. MAIN ST.  
GRANTSVILLE, UT 84029

SKYLER BAILEY HOLDING COMPANY  
10032 SOUTH 3345 WEST  
SOUTH ORDAN, UT 84095

MEMMOTT TRACEE L  
21 RACE ST  
GRANTSVILLE, UT 84029

JAYME MARSHALL  
465 E MAIN ST  
GRANTSVILLE, UT 84029



5960

GRANTSVILLE CITY  
429 E. MAIN STREET  
GRANTSVILLE, UT 84029

Easy Peel® Address Labels  
Bend along line to expose Pop-up Edge

WARBURTON MARK JT  
59 N RACE ST  
GRANTSVILLE, UT 84029

Go to [avery.com/templates](https://avery.com/templates)  
Use Avery Template 5160

VICKIE JOHNSON  
481 E MAIN ST  
GRANTSVILLE, UT 84029

**Tooele County Recorder**

---

Misc.	\$10.00
<b>Processing Fee</b>	<b>\$1.50</b>

---

<b>TOTAL</b>	<b>\$11.50</b>
--------------	----------------

07/8/2022 08:07 am

V\*0725

AuthCode: 266824-266827

Ref: 62c84195-SIP-30885

Transaction ID: Event-3690

Account Number: robert donigan-V\*0725

Name: robert donigan

---

Customer Copy

---

Tooele County Recorder  
47 South Main  
Tooele, UT 84074  
435-843-3100

---

---

Thank-you.

---

Your statement will describe your payment as 'CBT\*TOOELE COUNTY UT' and the service fee transaction as 'CBT\*SVC FEE TOOELE CN'.

## **AGENDA ITEM #5**

Consideration to recommend approval of the Preliminary Plat proposal for Nicole Cloward and the Cloward Subdivision



Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

# CLOWARD COURT SUBDIVISION

713 EAST MAIN STREET  
GRANTSVILLE, UTAH

INDEX OF DRAWINGS

1-1	BOUNDARY TOPOGRAPHIC SURVEY
1-1	PRELIMINARY PLAT
1-1	PLAT
C-001	GENERAL NOTES
C-100	SITE / UTILITY PLAN
PP-1	PLAN AND PROFILE CLOWARD COURT

FOR REVIEW  
NOT FOR CONSTRUCTION

DATE PRINTED  
June 17, 2022

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

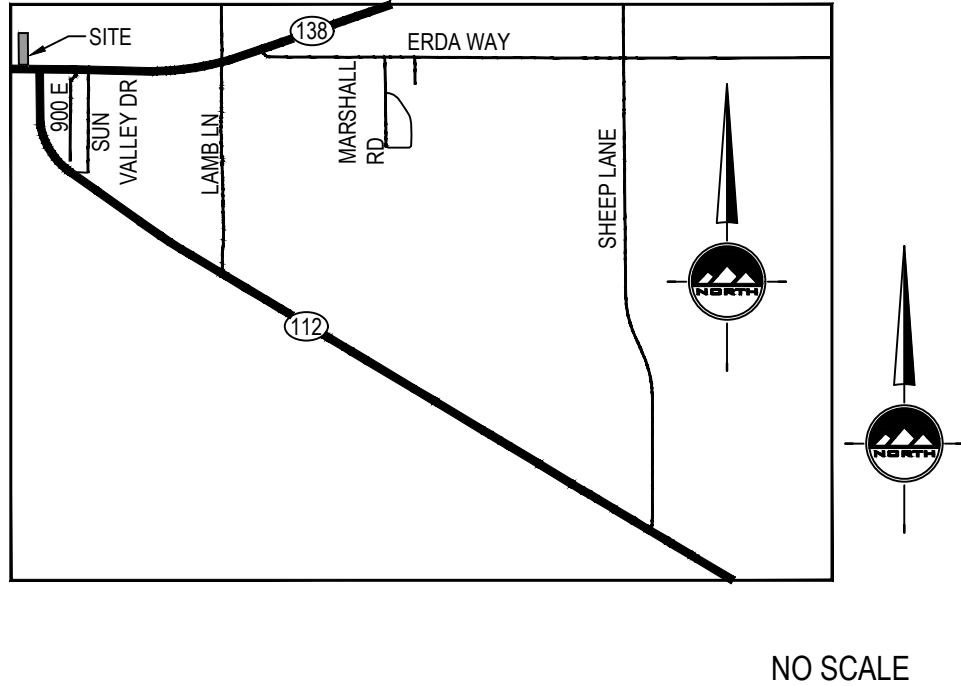
NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

VICINITY MAP



GENERAL NOTES

- ALL WORK SHALL CONFORM TO GRANTSVILLE CITY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- BENCHMARK ELEVATION = WITNESS CORNER TO THE EAST QUARTER CORNER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 5 WEST SALT LAKE BASE & MERIDIAN ELEV. = 4293.53



**TOOELE**  
169 N. Main Street, Unit 1  
Tooele, UT. 84074  
Phone: 435.843.3590

**SALT LAKE CITY**  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**CEDAR CITY**  
Phone: 435.866.1453

**RICHFIELD**  
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:  
RE/MAX  
713 EAST MAIN STREET  
GRANTSVILLE, UTAH

CONTACT:  
NICOLE CLOWARD  
PHONE: 435-241-0410

CLOWARD COURT SUBDIVISION

713 EAST MAIN STREET  
GRANTSVILLE, UTAH

For Review  
06/17/2022 12:41:49 PM

COVER

PROJECT NUMBER  
9700A  
PRINT DATE  
2022-06-17  
DRAWN BY  
J.CID  
CHECKED BY  
D.KINSMAN  
PROJECT MANAGER  
D.KINSMAN

C-000



811

Know what's below.  
Call before you dig.

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@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

BENCHMARK

WITNESS CORNER TO THE EAST QUARTER  
CORNER OF SECTION 32, TOWNSHIP 2 SOUTH,  
RANGE 5 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4293.53'

**SURVEYORS NARRATIVE**

I, Douglas J. Kinsman, do hereby state that I am a Professional Land Surveyor, and that I hold license no. 334575, as prescribed by the laws of the state of Utah, and represent that I have made a survey of the following described property. The purpose of this survey is to retrace the boundary, monument the corners, and provide boundary information to our client.

The basis of bearing for this survey is the line between the found monuments at the Witness Corner to the East Quarter Corner and the Witness Corner to the West Quarter Corner of Section 32, Township 2 South, Range 5 West, Salt Lake Base and Meridian, which bears a calculated bearing of North 88°54'16" West 5303.46 feet.

**Surveyed Description**

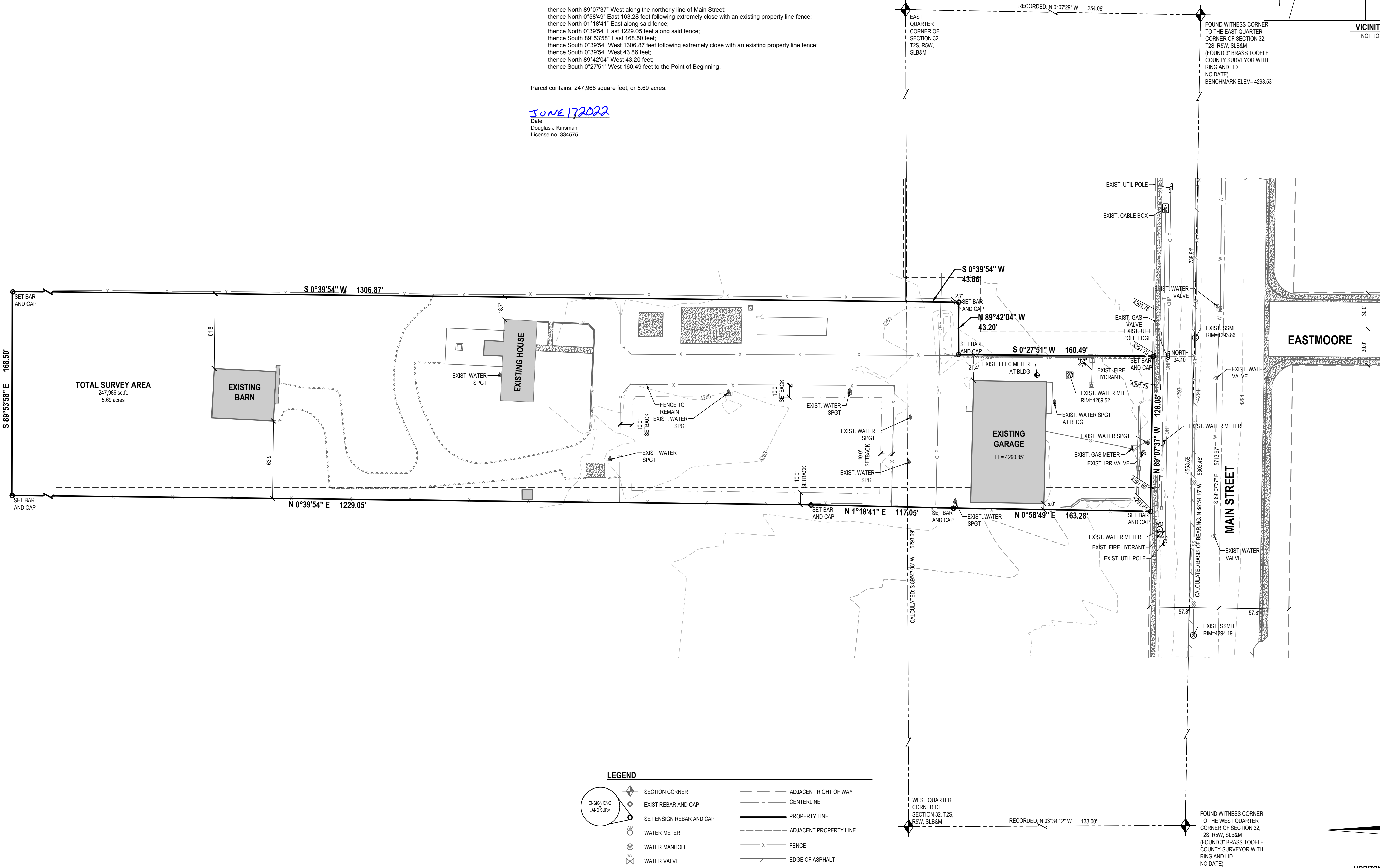
A parcel of land, situate in the Northwest Quarter of Section 32, Township 2 South, Range 5 West, Salt Lake Base and Meridian, more particularly described as follows:

Beginning at a point on the northerly line of Main Street, which is located North 88°54'16" West 739.91 feet from the found witness monument at the East Quarter Corner of Section 32, Township 2 South, Range 5 West, Salt Lake Base and Meridian, and running North 34.10 feet from the section line, and running:

thence North 89°07'37" West along the northerly line of Main Street;  
thence North 0°58'49" East 163.28 feet following extremely close with an existing property line fence;  
thence North 0°11'18"41" East along said fence;  
thence North 0°39'54" East 1229.05 feet along said fence;  
thence South 89°53'58" East 168.50 feet;  
thence South 0°39'54" West 1306.87 feet following extremely close with an existing property line fence;  
thence South 0°39'54" West 43.86 feet;  
thence North 89°42'04" West 43.20 feet;  
thence South 0°27'51" West 160.49 feet to the Point of Beginning.

Parcel contains: 247,968 square feet, or 5.69 acres.

JUNE 17, 2022  
Date  
Douglas J. Kinsman  
License no. 334575



SECTION CORNER

EXIST REBAR AND CAP

SET ENSIGN REBAR AND CAP

WATER METER

WATER MANHOLE

WATER VALVE

FIRE HYDRANT

IRRIGATION VALVE

SANITARY SEWER MANHOLE

UTILITY POLE

GAS METER

ADJACENT RIGHT OF WAY CENTERLINE

PROPERTY LINE

ADJACENT PROPERTY LINE

FENCE

EDGE OF ASPHALT

SANITARY SEWER LINE

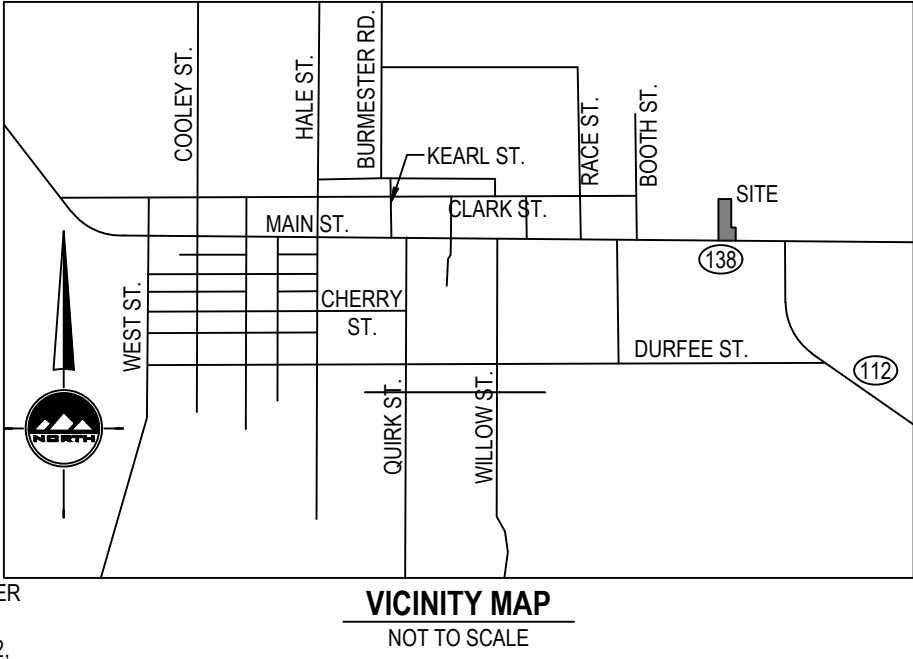
OVERHEAD POWER LINE

GAS LINE

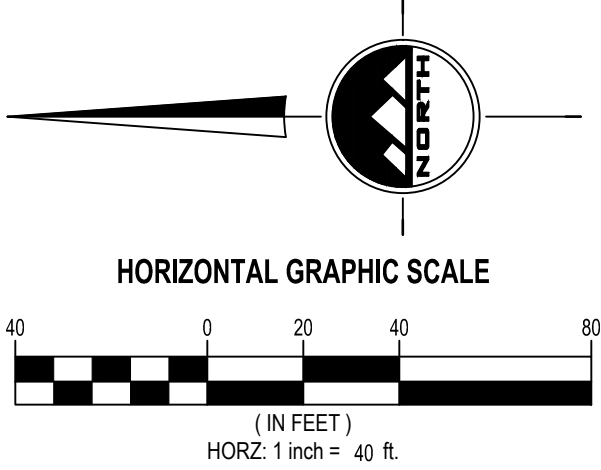
EXISTING CONTOURS

CONCRETE

BUILDING



VICINITY MAP  
NOT TO SCALE



LOCATED IN THE NORTHEAST CORNER  
OF SECTION 32,  
TOWNSHIP 2 SOUTH, RANGE 5 WEST,  
SALT LAKE BASE AND MERIDIAN  
GRANTSVILLE CITY, TOOELE COUNTY, UTAH

ENSIGN

THE STANDARD IN ENGINEERING

TOOELE

169 N. Main Street, Unit 1  
Tooele, UT. 84074  
Phone: 435.843.3590

SALT LAKE CITY

Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

CEDAR CITY

Phone: 435.866.1453

RICHFIELD

Phone: 435.896.2983

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FOR:  
REIMAX  
713 EAST MAIN STREET  
GRANTSVILLE, UTAH

CONTACT:  
NICOLE CLOWARD  
PHONE: 435-241-0410

RE/MAX TENANT FINISH  
DESIGN SERVICES  
713 EAST MAIN STREET  
GRANTSVILLE, UTAH



BOUNDARY  
TOPOGRAPHIC  
SURVEY

PROJECT NUMBER  
9700

PRINT DATE  
6/17/22

DRAWN BY  
J. SHAW

CHECKED BY  
D. KINSMAN

PROJECT MANAGER  
C. CHILD

1 of 1











811

Know what's below.  
Call before you dig.

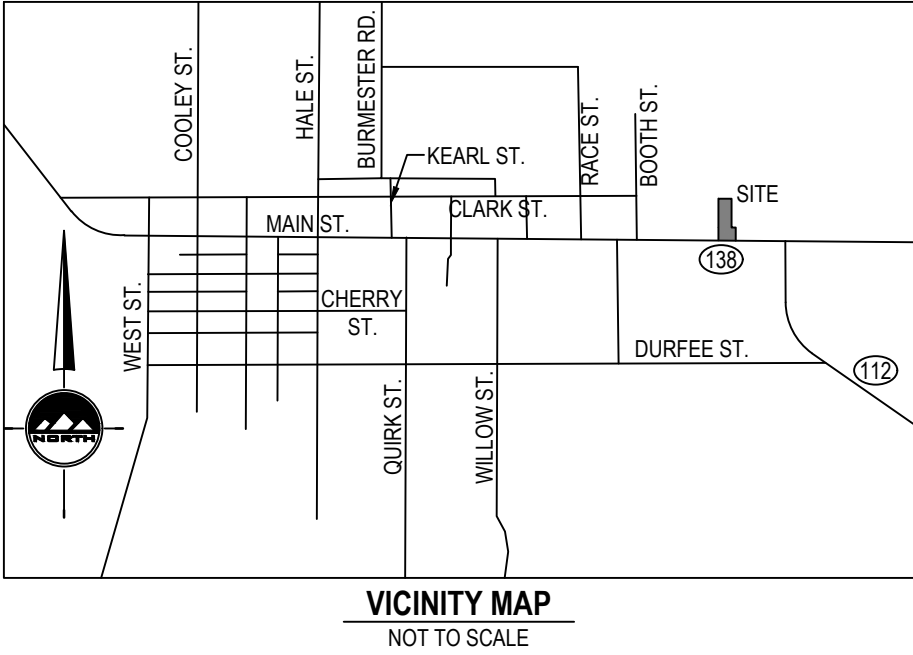
CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

**SCOPE OF WORK:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- 1
- 6" SDR-35 PVC SANITARY SEWER LATERAL, INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACING, PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS. LENGTH AND SLOPE PER PLAN.
- 2
- CONNECT TO EXISTING SEWER MAIN PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- 3
- 1" CULINARY WATER METER PER APWA STANDARD PLAN NO. 521 AND SPECIFICATIONS.

GENERAL NOTES

1.
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3.
- ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
4.
- ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
5.
- DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
6.
- PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
7.
- THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
8.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
9.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
10.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

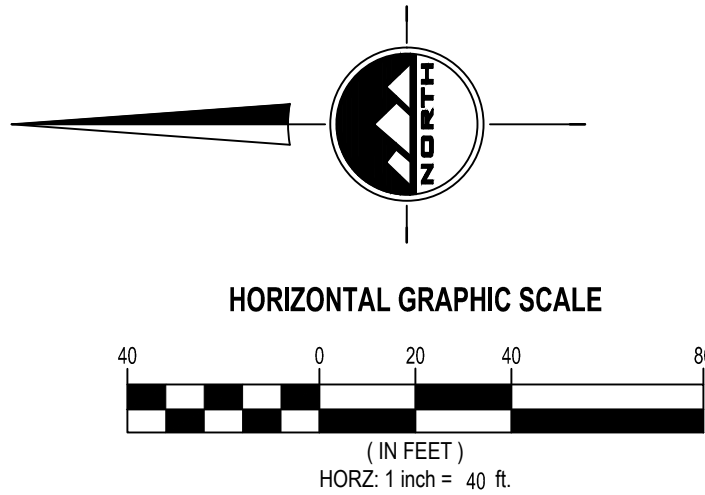
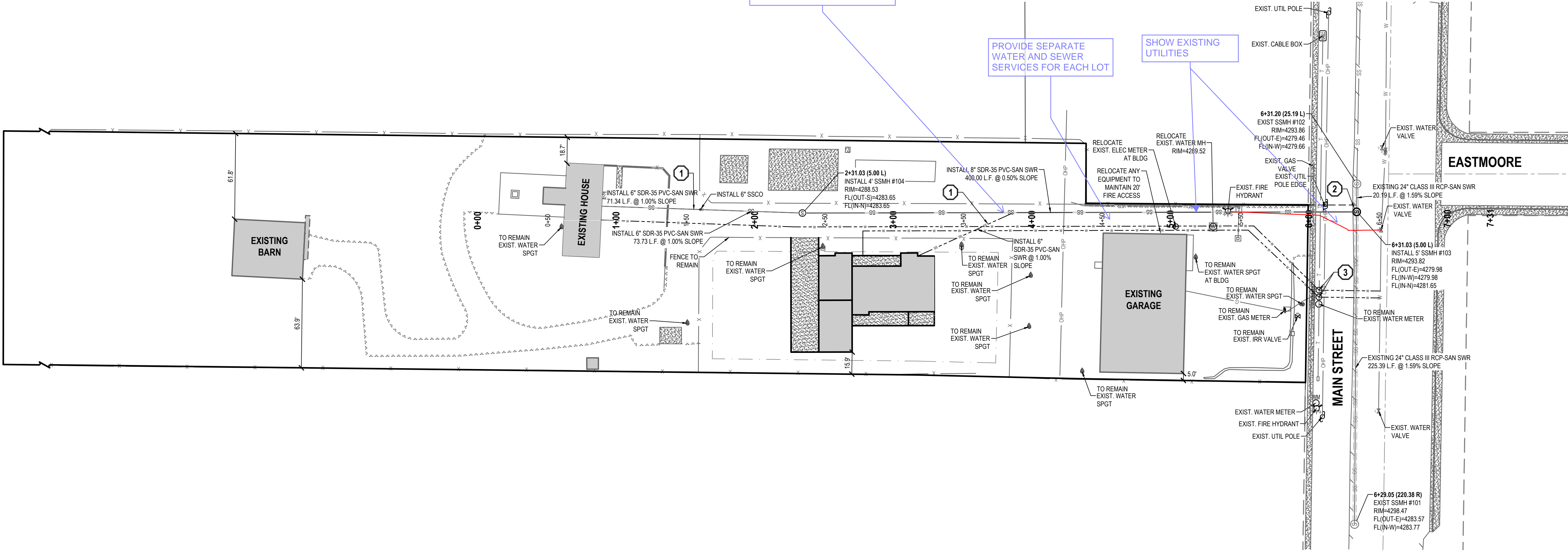


UTILITIES DO NOT NEED TO BE APPROVED IN PRELIMINARY PLANS

IF THE SEWER LATERALS CAN NOT BE SEPARATED, THEN A MAINTENANCE AGREEMENT IS REQUIRED BETWEEN THE PROPERTIES

PROVIDE SEPARATE WATER AND SEWER SERVICES FOR EACH LOT

SHOW EXISTING UTILITIES



CLOWARD COURT SUBDIVISION

713 EAST MAIN STREET  
GRANTSVILLE, UTAH

For Review  
06/17/2022 12:42:26 PM

SITE / UTILITY  
PLAN

PROJECT NUMBER  
9700A  
PRINT DATE  
2022-06-17  
DRAWN BY  
J.CID  
CHECKED BY  
D.KINSMAN  
PROJECT MANAGER  
D.KINSMAN

C-100

WWW.ENSIGNENG.COM

FOR:  
REINAX  
713 EAST MAIN STREET  
GRANTSVILLE, UTAH  
CONTACT:  
NICOLE CLOWARD  
PHONE: 435-241-0410

**ENSIGN**  
THE STANDARD IN ENGINEERING

**TOOELE**  
169 N. Main Street, Unit 1  
Tooele, UT. 84074  
Phone: 435.843.3590

**SALT LAKE CITY**  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**CEDAR CITY**  
Phone: 435.866.1453

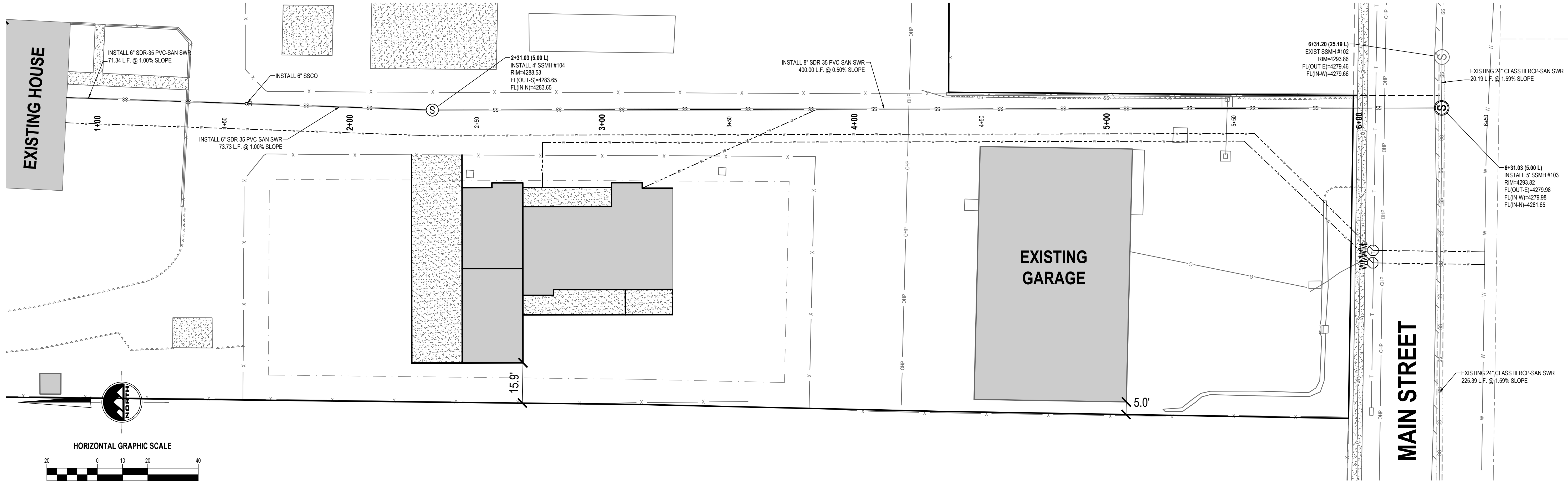
**RICHFIELD**  
Phone: 435.896.2983



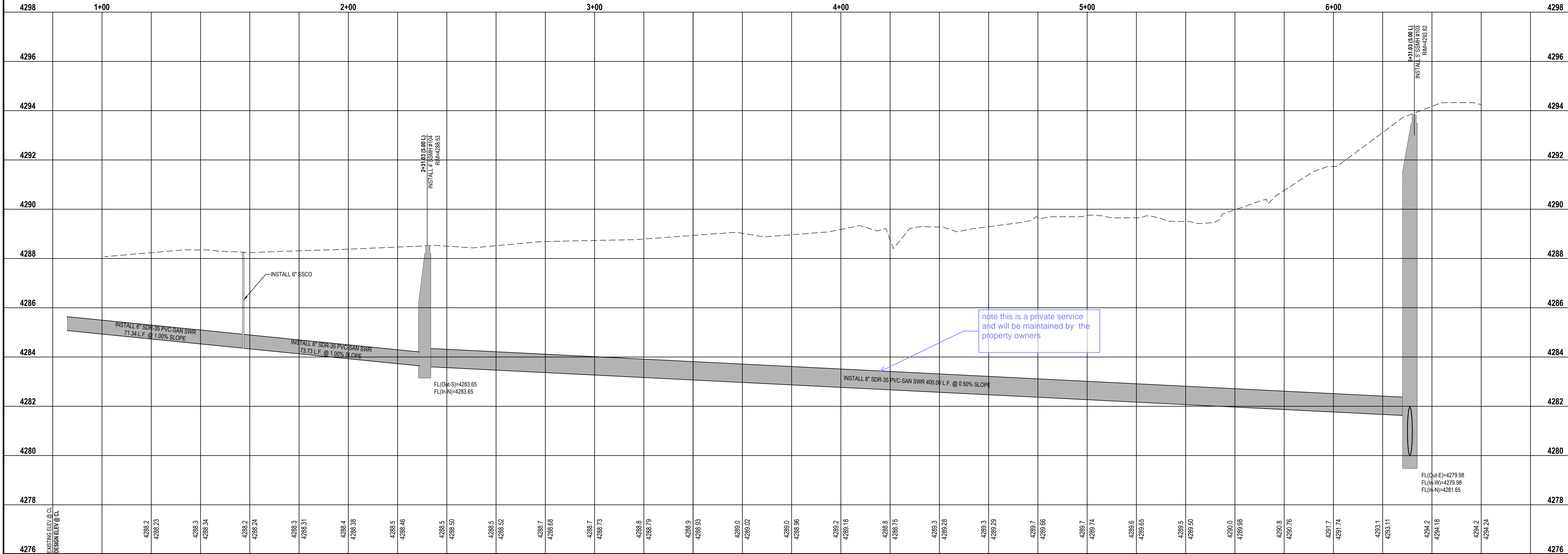
811

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CONSTRUCTION.



CLOWARD COURT



EN SIGN

THE STANDARD IN ENGINEERING

TOOELE

169 N. Main Street, Unit 1  
Tooele, UT. 84074  
Phone: 435.843.3590

SALT LAKE CITY

Phone: 801.255.0529

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Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

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FOR:  
REIMAX  
713 EAST MAIN STREET  
GRANTSVILLE, UTAH

CONTACT:  
NICOLE CLOWARD  
PHONE: 435-241-0410

CLOWARD COURT SUBDIVISION

713 EAST MAIN STREET  
GRANTSVILLE, UTAH

For Review

06/17/2022 12:42:26 PM

PLAN & PROFILE  
CLOWARD COURT

PROJECT NUMBER  
9700A

PRINT DATE  
2022-06-17

DRAWN BY  
J.CID

CHECKED BY  
D.KINSMAN

PROJECT MANAGER  
D.KINSMAN

PP-1



## **AGENDA ITEM #6**

Discussion on Concept Plan for Mike  
Wagstaff and Tru Real Estate  
Investments, LLC for property located at  
360 West and 374 West Apple Street and  
339 West Main Street

**GRANTSVILLE CITY  
ZONING DEPARTMENT**

**429 EAST MAIN STREET  
GRANTSVILLE, UTAH 84029  
PHONE (435) 884-3411  
FAX (435) 884-0426**

Concept  
Application Fee:  
\$50.00

Turn in with Plat  
Map 15 days  
before P&Z  
Meeting

**DATE PAID** 06/16/2022

**HEARING DATE** 08/04/2022

**CONCEPT PLAN APPLICATION**

Date of Application 7/27/2022

Property Location 360 W Apple St, 374 W Apple St, and 339 W Main St

Property Owner(s) TRU REAL ESTATE INVESTMENTS, LLC - Brad Lancaster

E-Mail michaeldalewagstaff@gmail.com

Acting Agent Name Mike Wagstaff

Owner Phone 435.720.4119 Agent Phone 801.910.3375

Subdivision Name Grantsville Station

Number of Acres in Subdivision ~5.5 Acres

Total Number of Lots 1 Commercial and 78 Residential

Lot Sizes \_\_\_\_\_

Current Zoning of Property MU Parcel Number 01-097-0-0009, 01-097-0-0026,  
01-097-0-0027



\_\_\_\_\_  
Signature of Owner or Agent



**SITE FEASIBILITY PLAN OPTION**

1  
PR1.1

2  
1" = 50'-0"

ADDRESS: 339 W MAIN (MU)  
374 W APPLE ST. (MU)  
360 W APPLE ST. (MU)

TOTAL ACRAGE: 5.96 ACRES (259,746 SF)

**CURRENT ZONE:**

**ZONE: MU (MIXED USE DISTRICT)**

SETBACKS:  
FRONT: 20'  
SIDE: 7.5'  
REAR: 20'

MAX BUILDING HEIGHT: 2 STORIES / 35 FEET  
MAX DENSITY: 10/ACRE  
LANDSCAPING REQUIREMENT: 25%  
MINIMUM DWELLING SIZE: 900SF  
MAX UNITS: 60

**CONDITIONAL:**  
MAX BUILDING HEIGHT: 3 STORIES / 35 FEET  
MAX DENSITY: 15/ACRE  
LANDSCAPING REQUIREMENT: SPECIAL CONSIDERATION/ ARCHITECTURAL DESIGN THAT FITS SCALE  
MAX UNITS: 89

78.

**OPTION 2**

**PARKING:**

RETAIL OPT.  
4.1 STALL PER 1,000 GROSS SF RETAIL SPACE X 11,760 SF = 48 STALLS  
ADA STALLS 2 STALLS

GENERAL OFFICE OPT.  
2.8 STALL PER 1,000 GROSS SF GEN. OFFICE SPACE X 11,760 SF = 33 STALLS  
ADA STALLS 2 STALLS

MEDICAL/DENTAL OFFICE OPT.  
4.1 STALL PER 1,000 GROSS SF MED. OFFICE SPACE X 11,760 SF = 48 STALLS  
ADA STALLS 2 STALLS

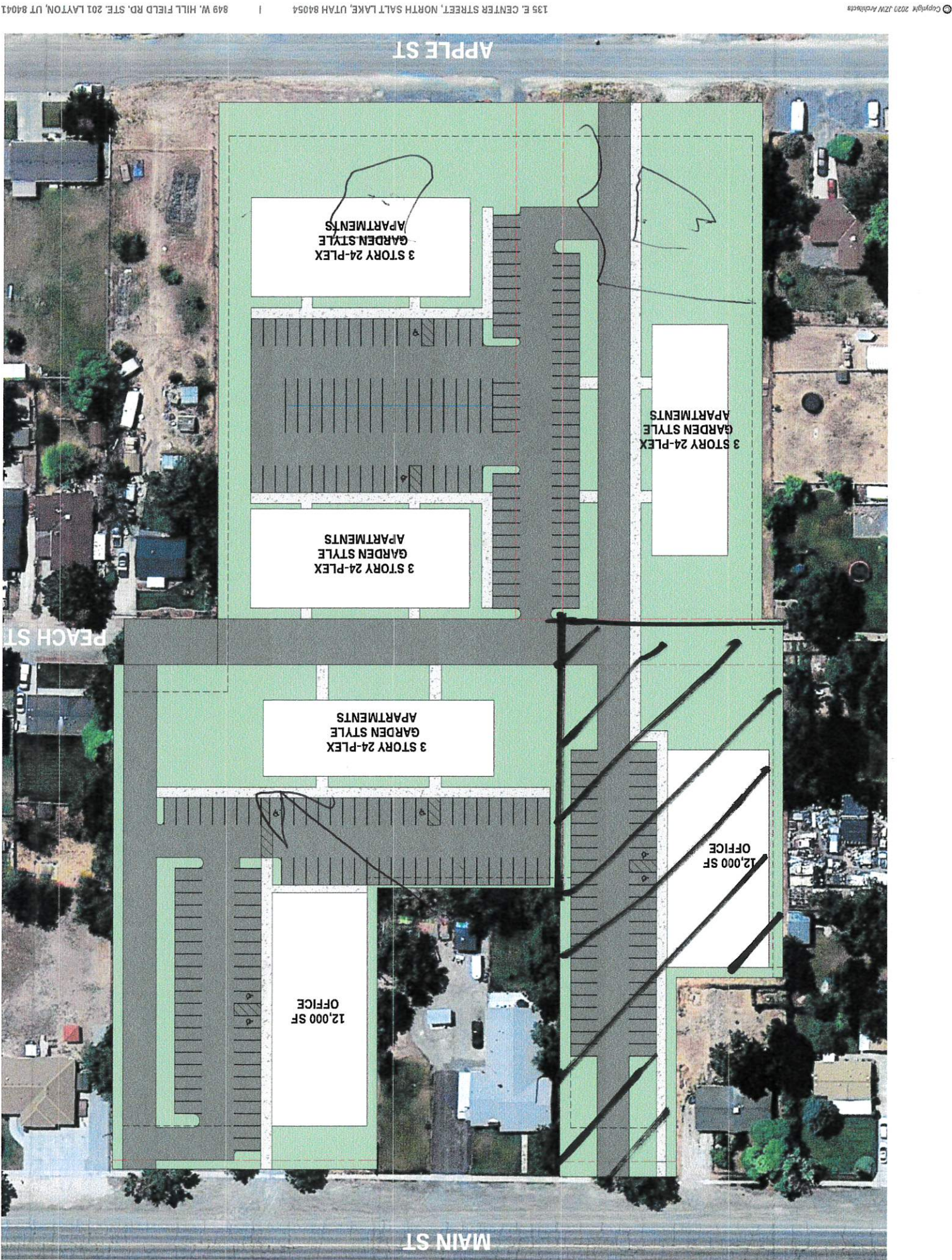
MULTI-UNIT DWELLING  
1.5 STALL PER DWELLING UNIT (78) = 117 STALLS

**BUILDING:**  
COMMERCIAL - 1 BUILDING  
ACCESSORY - 1 BUILDING  
6-PLEX - 11 BUILDINGS  
4-PLEX - 3 BUILDINGS  
TOTAL UNITS - 78

**LANDSCAPING:**  
61,200 SF - 31% COVERAGE

**PROVIDED PARKING:**  
84 STALLS  
156 GARAGE STALLS





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135 E. CENTER STREET, NORTH SALT LAKE, UTAH 84054

849 W. HILL FIELD RD, STE. 201 LAYTON, UT 84041

150 N. MAIN STREET STE. 101 HEBER CITY, UT 84032

(801) 936-1343

NOVEMBER 4, 2021



# GRANTSVILLE MIXED USE PLAN A1.0

SITE PLAN  
1" = 40'-0"

PROPERTY LINE  
SITE SETBACK/EASEMENT LINES  
STRUCTURE ABOVE

## LINETYPE LEGEND

MAX HEIGHT:  
35/2 STORY  
15 D.U./ACRE MAY BE APPROVED X 6.78 ACRES-101  
10 D.U./ACRE  
LAND USE: MIXED-USE DENSITY  
MAX DENSITY:  
7 D.U./ACRE  
MAX BUILDING HEIGHT:  
35 FEET  
REAR: 20'  
SIDE: 7.5'  
FRONT: 25'  
SETBACKS:  
ZONE: RM-7 (MULTIPLE RESIDENTIAL DISTRICT)  
TOTAL ACREAGE: 6.78  
ADDRESSES:  
339 W MAIN  
371 W MAIN  
374 W APPLE ST.  
360 W APPLE ST.

UNIT MIX:  
1 BED UNITS: 24(25%)  
2 BED UNITS: 48(25%)  
3 BED UNITS: 24(25%)  
TOTAL UNITS: 96  
LOT AREA: 309,847 SF  
BUILDING: 66,692 SF (21.5%)  
LANDSCAPING: 117,808 SF (37.9%)  
PARKING: RETAIL OPT.  
1.5 STALLS PER UNIT X 108 UNITS = 162 STALLS  
4.1 STALL PER 1,000 GROSS SF RETAIL SPACE X 24,000 SF = 99 STALLS  
TOTAL REQUIRED ADA STALLS  
GENERAL OFFICE OPT.  
1.5 STALLS PER UNIT X 108 UNITS = 162 STALLS  
2.8 STALL PER 1,000 GROSS SF GEN. OFFICE SPACE X 24,000 SF = 68 STALLS  
TOTAL REQUIRED ADA STALLS  
MEDICAL/DENTAL OFFICE OPT.  
1.5 STALLS PER UNIT X 108 UNITS = 162 STALLS  
4.1 STALL PER 1,000 GROSS SF MED. OFFICE SPACE X 24,000 SF = 99 STALLS  
TOTAL REQUIRED ADA STALLS  
TOTAL REQUIRED ADA STALLS  
162 STALLS  
261 STALLS  
7 STALLS  
PROVIDED  
ACTUAL  
ADA PROVIDED  
267 STALLS  
8 STALLS

1-3 FLOOR  
1/16" = 1'-0"

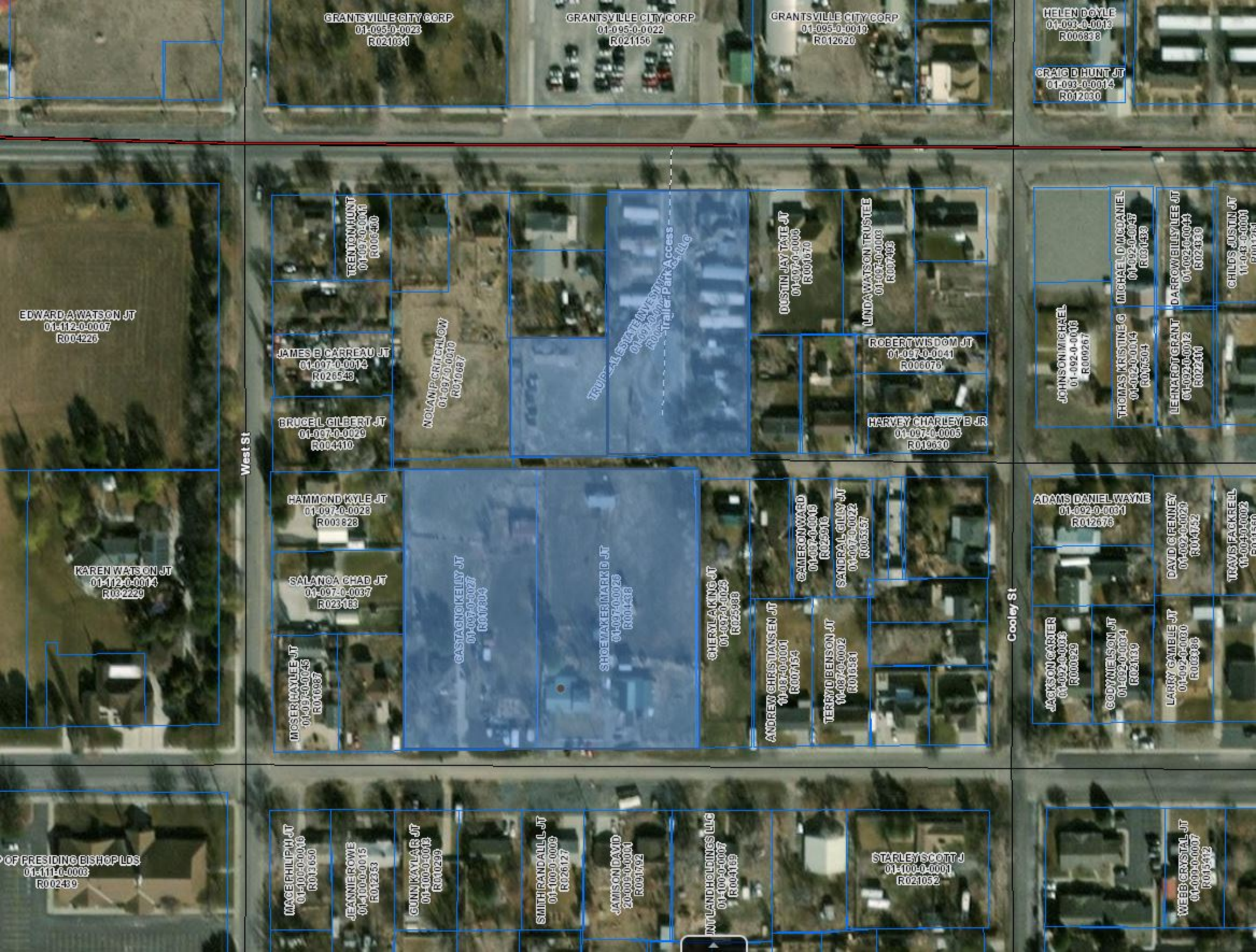
3 BED		3 BED	
2 BED		2 BED	
2 BED		2 BED	
3 BED		3 BED	

2 AND 3 BED 24-PLEX

2 BED		2 BED	
2 BED		2 BED	
1 BED		1 BED	
1 BED		1 BED	

1 AND 2 BED 24-PLEX





GRANTSVILLE CITY CORP  
01-095-0-0023  
R021031

GRANTSVILLE CITY CORP  
01-095-0-0022  
R021156

GRANTSVILLE CITY CORP  
01-095-0-0019  
R012620

HELEN DOYLE  
01-093-0-0013  
R006838

CRAIG D HUNT JT  
01-093-0-0014  
R012030

EDWARD A WATSON JT  
01-112-0-0007  
R004226

TRENTON HUNT  
01-097-0-0041  
R006460

JAMES B CARREAU JT  
01-007-0-0014  
R026548

NOLAN P CRITCHLOW  
01-097-0-0010  
R010687

BRUCE L GILBERT JT  
01-097-0-0029  
R004410

TRUPAL ESTATE INVESTMENT LLC  
01-097-0-0010  
R010687  
Trailer Park Access

DUSTIN JAY TATE JT  
01-097-0-0000  
R001670

LINDA WATSON TRUSTEE  
01-097-0-0008  
R007493

ROBERT WISDOM JT  
01-092-0-0041  
R006076

HARVEY CHARLEY B JR  
01-097-0-0005  
R010630

JOHNSON MICHAEL  
01-092-0-0016  
R000267

MICHAEL D MC DANIEL  
01-092-0-0047  
R001439

DARROW BILLY LEE JT  
01-092-0-0044  
R024330

CHILDOS JUSTIN JT  
11-043-0-0001  
R001251

HAMMOND KYLE JT  
01-097-0-0028  
R003828

SALANCA CHAD JT  
01-097-0-0037  
R023183

MOSE HAYLEE JT  
01-097-0-0045  
R010087

CASTAGNO KELLY JT  
01-097-0-0027  
R017304

SHOEMAKER MARK D JT  
01-097-0-0026  
R001438

CHERYL AKING JT  
01-097-0-0025  
R023988

CHERON WARD  
01-097-0-0046  
R029916

SANDRA L GILLY JT  
01-097-0-0022  
R003357

ANDREW CHRISTENSEN JT  
11-037-0-0001  
R007154

TERRY D BENSON JT  
11-037-0-0002  
R016381

ADAMS DANIEL WAYNE  
01-092-0-0031  
R012676

JACKSON CARRIER  
01-092-0-0036  
R000920

GODWIN NELSON JT  
01-092-0-0034  
R021130

DAVID C FENNEY  
01-092-0-0029  
R014752

LARRY GABLE JT  
01-092-0-0030  
R006386

TRAVIS FACKRELL  
11-004-0-0002  
R001530

OF PRESIDENT BISHOP LDS  
01-111-0-0003  
R002439

MAGE PHILIP H JT  
01-100-0-0016  
R013650

JEANNIE ROWE  
01-100-0-0015  
R012253

GUNN KAYLAR JT  
01-100-0-0013  
R010299

SMITH RANDALL L JT  
01-100-0-0009  
R026127

JAMISON DAVID  
20-009-0-0001  
R001792

INT LAND HOLDINGS LLC  
01-100-0-0007  
R004169

STARLEY SCOTT J  
01-100-0-0001  
R021052

WEBB CRYSTAL JT  
01-009-0-0007  
R015412



LEGEND

Future Land Use Designations

Ensuring that the land and the proposed land-uses within the community are utilized to meet a unified community vision or goal is the first and often most important responsibility of a general plan. Outlined on this map is the proposed Future land use map for the City of Grantsville:

Commercial

(A variety of commercial, retail, office and light industrial associated with a retail presence fronting street with special approval)

Mixed-Use Density

(A mixture of commercial/retail and residential uses, allowing up to 10 units per acre where surrounding uses are compatible. Heights are limited to two stories or a maximum of 35' above grade at street. Three stories above grade at street and/or 15 units per acre may be approved with special considerations of landscaping, buffering and architectural design that fit the scale of the surrounding properties in the zone.)

High Single Family Density Residential

(Residential uses, allowing a maximum of 6 dwelling units per acre)

Medium Density Residential

(Residential uses, allowing a maximum of 3 dwelling units per acre)

Low Density Residential

(Residential use, allowing a maximum of 2 dwelling units per acre)

Rural Residential - 1

(Residential use with applicable rural land uses, allowing 1 dwelling unit per one to ten acres)

Rural Residential 2

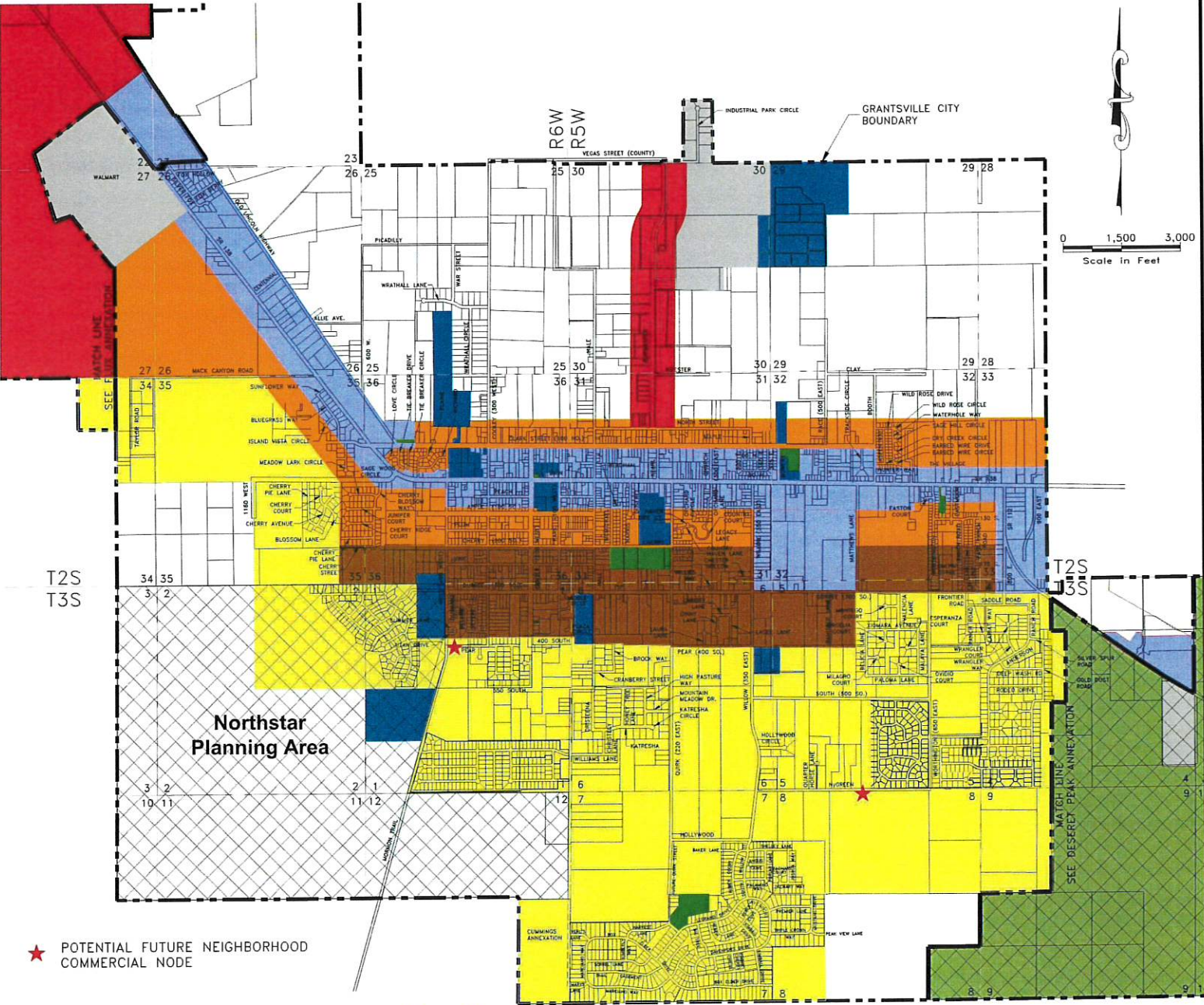
(Residential use with applicable rural land uses, allowing 1 dwelling unit per five to ten acres)

Industrial

(Allowing industrial, light industrial and mining)

Municipal/School: This land use designates city-owned school district owned property serving a public purpose.

Parks & Open Space: Designates public parks, open space and recreational areas.



**GRANTSVILLE CITY**  
**FUTURE LAND USE MAP**  
**CITY CENTER**  
ADOPTED JANUARY 15, 2020



The purpose of designated Planning Areas is to foster a joint working relationship between the City and the landowner(s) of large parcels or groups of parcels 500 acres or greater, to create a Master Plan for the area with a balance of uses beneficial to both the development and the surrounding community adequately addressing the potential impacts on transportation, utility, and other public services and amenities.

# **AGENDA ITEM #7**

Discussion regarding amendments to  
Chapter 19 Sensitive Area District  
establishing a proposed boundary

## **PROPOSED BOUNDARY FOR THE SENSITIVE AREA DISTRICT OVERLAY**

The Grantsville Land Use Development and Management Code, Chapter 19 Sensitive Area District, SA, "is to designate and describe those areas within the municipality that possess physical and/or environmental characteristics which require special public consideration of use applications which might affect the structure of the land; the management of surface or subsurface water; safety of future land occupants due to increased fire, earthquake, or storm hazards from proposed development; or the uneconomic extensions of public facilities and services. Of specific concern is the development in flood prone areas, earthquake zones, landslide areas, areas of steep slope or unstable soils, wetlands, and other sensitive areas requiring careful assessment prior to alteration."

In accordance with this Code the following area is hereby designated and described as the Sensitive Area District for the City of Grantsville;

The area is to be bounded by the following described line;

Starting at the Southwest corner of the Grantsville City limits, thence North and East along the City limits to the Northeast corner of the City limits, thence South along the Eastern City limits to the Southern City limits, thence West to a point directly South of the intersection between SR112 and SR138, thence North to a point directly in line with the projection of Clark Street, thence West along the projected and existing centerline of Clark street to the intersection with West Street, thence South along West Street and Mormon Trail to the South City limits, thence West to the point of beginning.

This area may be extended to include any future annexation of land.

This area has slopes greater than 30%, sensitive soils, collapsible soils, existing storm drain channels, springs, wetlands, creeks, wildlife habitat, other natural features, and areas beyond the current economical limits of Grantsville City's public facilities and services that require special management and protection measure be addressed and provide for in any future use of these lands.



## **Chapter 19 Sensitive Area District, SA**

### **19.1 Purpose And Intent**

### **19.2 Conditional Uses**

### **19.3 Artificial Obstructions Within A Floodway Prohibited**

### **19.4 Permissible Uses Within Floodways**

### **19.5 Construction Within Floodways And Floodplains Restricted**

### **19.6 Setbacks From Streams Outside Designated Floodplains**

### **19.7 Natural Drainage System Utilized To Extent Feasible**

## **19.1 Purpose And Intent**

(1) The purpose of the SA Sensitive Area District is to designate and describe those areas within the municipality that possess physical and/or environmental characteristics which require special public consideration of use applications which might affect the structure or the land; the management of surface or subsurface water; safety of future land occupants due to increased fire, earth-quake, or storm hazards from the proposed development; or, the uneconomic extension of public facilities and services. Of specific concern is development in flood-prone areas, earthquake zones, landslide areas, areas of steep slope or unstable soils, wetlands, and other sensitive areas requiring careful assessment prior to alteration.

(2) It is the intent of these regulations to permit the widest possible latitude in the use of property, while at the same time requiring design solutions which will avoid detrimental impacts on sensitive natural areas, as well as provide protection from adverse natural forces and hazards.

## **19.2 Conditional Uses**

(1) The SA Sensitive Area District is an overlay district whose sole effect is to require additional review of proposed uses in the underlying districts. To this end, any permitted use in a district overlaid by an SA District, with the exception of those uses permitted in Section 19.2 above, is a conditional use. Conditional uses authorized in districts overlaid by the SA District remain conditional uses, and those use prohibited in the underlying the SA District shall also be prohibited in the SA District.

## **19.3 Artificial Obstructions Within A Floodway Prohibited**

(1) No artificial obstruction shall be located within any floodway, except as provided in Section 19.4. For the purpose of this Chapter, an artificial obstruction is any obstruction, other than a natural obstruction, that is capable of reducing the water carrying capacity of a stream. A natural obstruction includes any rock, tree, gravel, or analogous natural matter that is an obstruction and has been located within the floodway by a nonhuman cause.

## **19.4 Permissible Uses Within Floodways**

(1) No permit to make use of land within a floodway may be issued unless the proposed use is listed as permissible both in the underlying zoning district regulations and the following list:

- (a) General farming, pasture, outdoor plant nurseries, horticulture, forestry, wildlife sanctuary, game farm, and other similar agricultural, wildlife, and related uses;
- (b) Ground-level loading areas, parking areas, rotary aircraft ports, and other similar ground-level area uses;
- (c) Lawns, gardens, play areas, and other similar uses; and



(d) Golf courses, tennis courts, driving ranges, archery ranges, picnic grounds, parks, hiking or horseback riding trails, open space, and other similar private and public recreational uses.

### **19.5 Construction Within Floodways And Floodplains Restricted**

(1) No subdivision, planned unit development, building permit or conditional use permit shall be issued for any development within a floodplain until the Zoning Administrator has reviewed the plans of the development to assure that:

- (a) The proposed development is consistent with the need to minimize flood damage;
- (b) The area has had an evaluation by the U. S. Army Corp of Engineers to determine a classification as a wetlands;
- (c) All public utilities and facilities such as water, sewer, gas electrical, and water systems are located and constructed to minimize or eliminate flood damage;
- (d) Adequate drainage is provided to minimize or reduce exposure to flood hazards;
- (e) All necessary permits have been received from those agencies from which approval is required by federal and state law; and
- (f) A geological survey establishes fifty (50) and one hundred (100) year flood levels,

(2) No building shall be constructed and no addition to an existing building shall take place within any floodway. Mobile home parks that are nonconforming because they are located within a floodway, shall be allowed to place mobile homes in such parks only if they comply with Chapter 10.

(3) No new residential building shall be constructed and no substantial improvement of a residential building may take place within any floodplain unless the lowest floor (including basement) of the building or improvement is elevated to, or above the base flood level. Other structures shall comply with the following:

- (a) Residential accessory structures shall be allowed within floodplains provided that they are firmly anchored to prevent flotation; and
- (b) Anchoring of any accessory buildings shall be done by bolting the building to a concrete slab or by over-the-top ties. When bolting to a concrete slab, one-half inch bolts, six (6) feet on center with a minimum of two per side shall be required. If over-the-top ties are used, a minimum of two ties with a force adequate to secure the building is required.

(4) No new residential building shall be constructed and no substantial improvements of a nonresidential building shall take place within any floodplain unless the lowest floor (including basement) of the building or improvement is elevated or flood proof to, or above the base flood level. Where flood proofing is used in lieu of elevation, a registered professional engineer or architect shall certify that any new construction or substantial improvement has been designed to withstand the flood depths, pressure, velocities, impact, and uplift forces associated with the base flood at the location of the building and that the walls below the base flood level are substantially impermeable to the passage of water.

(5) For purposes of this Section, "substantial improvement" means for a building constructed prior to the effective date of this chapter, any repair, reconstruction, addition, or improvement of a building the cost of which equals or exceeds fifty (50) percent of the market value of the structure either:

- (a) before the improvement or repair is started; or
- (b) if the structure has been damaged and is being restored, before the damage occurred.

(6) "Substantial improvement" occurs when the first alteration on any wall, ceiling, floor, or other structural part of the building commences, whether or not that alteration affects the external dimensions of the building. The term shall not, however, include either:

- (a) any project for improvement of a structure to comply with existing state or local health, sanitary, or safety code specifications that are solely necessary to insure safe living conditions; or
- (b) any alteration of a building listed on the National Register of Historic Places or a State Inventory of Historic Places.

(7) No building permit or conditional use permit shall be issued for any development within a floodplain until the Building Inspector has reviewed the plans to assure that any new construction or substantial improvements shall be:

- (a) Designed (or modified) and adequately anchored to prevent flotation collapse, or lateral movement of the structure;
- (b) Constructed with materials and utility equipment resistant to flood damage; and
- (c) Constructed by methods and practices that minimize flood damage.

(8) Notwithstanding any other provision of this chapter, no mobile home shall be located or relocated within that portion of the floodplain outside of the floodway, unless the following criteria is met:

- (a) Ground anchors for tie downs are provided in accordance with Chapter 10 of this ordinance;
- (b) The following tie-down requirements are met:
  - i) Over the top ties are required at each of the four corners of the mobile home, with one additional tie per side at an intermediate location, for mobile homes less than fifty (50) feet long. Two additional ties per side are required for mobile homes more than fifty (50) feet long;
  - ii) Frame ties are required in conjunction with each over-the top tie; and
  - iii) All components of the anchoring must be capable of carrying a force of 4,800 pounds;
- (c) Lots or pads are elevated on compacted fill or by any other method approved by the Building Inspector so that the lowest habitable floor of the mobile home is at or above the base flood level;
- (d) Adequate surface drainage and easy access for mobile home hauler is provided; and
- (e) Load-bearing foundation supports such as piers or pilings shall be placed in accordance with Chapter 10 of this code, except that if the support height is greater than seventy two (72) inches, the support must contain steel reinforcement.

(9) Whenever any portion of a floodplain is filled in with dirt, slopes shall be adequately stabilized to withstand the erosive force of the base flood.

## **19.6 Setbacks From Streams Outside Designated Floodplains**

(1) In any area that is located outside a designated floodplain but where a stream is located, no building or fill may be located within a distance of the stream bank equal to five times the width of the stream at the top of the bank or twenty (20) feet on each side, whichever is greater, or outside of the one hundred (100) year flood area if a geological survey has been conducted.

## **19.7 Natural Drainage System Utilized To Extent Feasible**

(1) To the extent practicable, all development shall conform to the natural contours of the land and natural and preexisting man-made drainage ways shall remain undisturbed. Drainage shall be directed to on-site containment and flow from there to the natural contours of the land.

# **AGENDA ITEM #8**

Approval of Minutes from Planning and  
Zoning Commission Meeting held  
07/21/2022



## **AGENDA ITEM #9**

Report from City Council Liaison Mayor  
Critchlow

## **AGENDA ITEM #10**

Adjourn