



August 4th, 2022

Planning Commission
Meeting

Information Packet

Public Hearings

*a. Public Hearing for Class A Kennel Permit
Application for Joseph Espinosa to keep 5 dogs
on the property located at 187 N. Hale Street*

AGENDA ITEM #1

*Election of new Vice Chair for
Planning Commission to fill mid-
term vacancy.*

AGENDA ITEM #2

Consideration of the Class A Kennel
Permit Application for Joseph Espinosa
to keep 5 dogs on the property located at
187 N. Hale Street

KENNEL PERMIT APPLICATION

\$75.00 application fee - Zoning Administrator Approval
\$200.00 application fee - Planning Commission for Approval

AMOUNT PAID 4/28/2022 \$200.00

DATE PAID 4/28/2022

HEARING DATE _____

PERMIT # _____

NAME Joseph ESPINOSA PHONE [REDACTED]

MAILING ADDRESS 187 N HALE St 84029 Grantsville UT

ADDRESS OF SUBJECT PROPERTY 187 N HALE St Grantsville UT 84029

1. Please describe reason for request and how many dogs you are requesting to keep (Class A Kennel – 3 to 15 dogs, Class B Kennel – 16 to 30 dogs, Class C Kennel – more than 30 dogs):

5 Dogs (2 of my own (1 my son 2 my sisters that are ~~not~~ living with us.)

2. Do you own the property? (if not, provide written approval from the property owner)

YES

3. What zone is subject property located in _____

4. Include with your application a site plan that shows dimensions of your lot, where your residence is located, as well as the size of and where the kennels are located on the property, all residences on adjacent properties, as well as how far away those residences are from the dogs housing / kennel area. All Class A, B, and C Kennel licenses require a separate site plan application along with all pertinent information required by application.

5. A plat of the parcel obtained from Tooele County Recorder's office and a five (500) hundred-foot radius report with the names and mailing addresses placed on mailing labels with a like number of stamped envelopes of all property owners; **Please LEAVE addresses on the label sheet. (Mailing Addresses must be from the Tooele County Recorder's Office)**

Joseph Espinosa
SIGNATURE OF APPLICANT

SIGNATURE OF CO-APPLICANT



TOOELE COUNTY
HEALTH
DEPARTMENT

151 N. Main Street
Environmental Health, Suite 140
Tooele, Utah 84074
Phone (435) 277-2440 • Fax (435) 277-2444
www.tooelehealth.org

January 3, 2022

Jamie Espinosa
187 N. Hale St.
Grantsville, UT 84029

Re: Sportsmans license

Dear Jamie:

On January 3, 2022, the Tooele County Health Department made an inspection at your property located at 187 N. Hale St., Grantsville, regarding your application for a Sportsmans/Kennel license. At the time of the inspection we discussed your plan for containment, sanitation and noise control in regards to the dogs. It has been determined that the environmental and sanitation concerns have been satisfied at this time. Therefore, the kennel is approved by the Health Department.

If you have any questions concerning this matter, please call me at (435) 277-2440.

Sincerely,

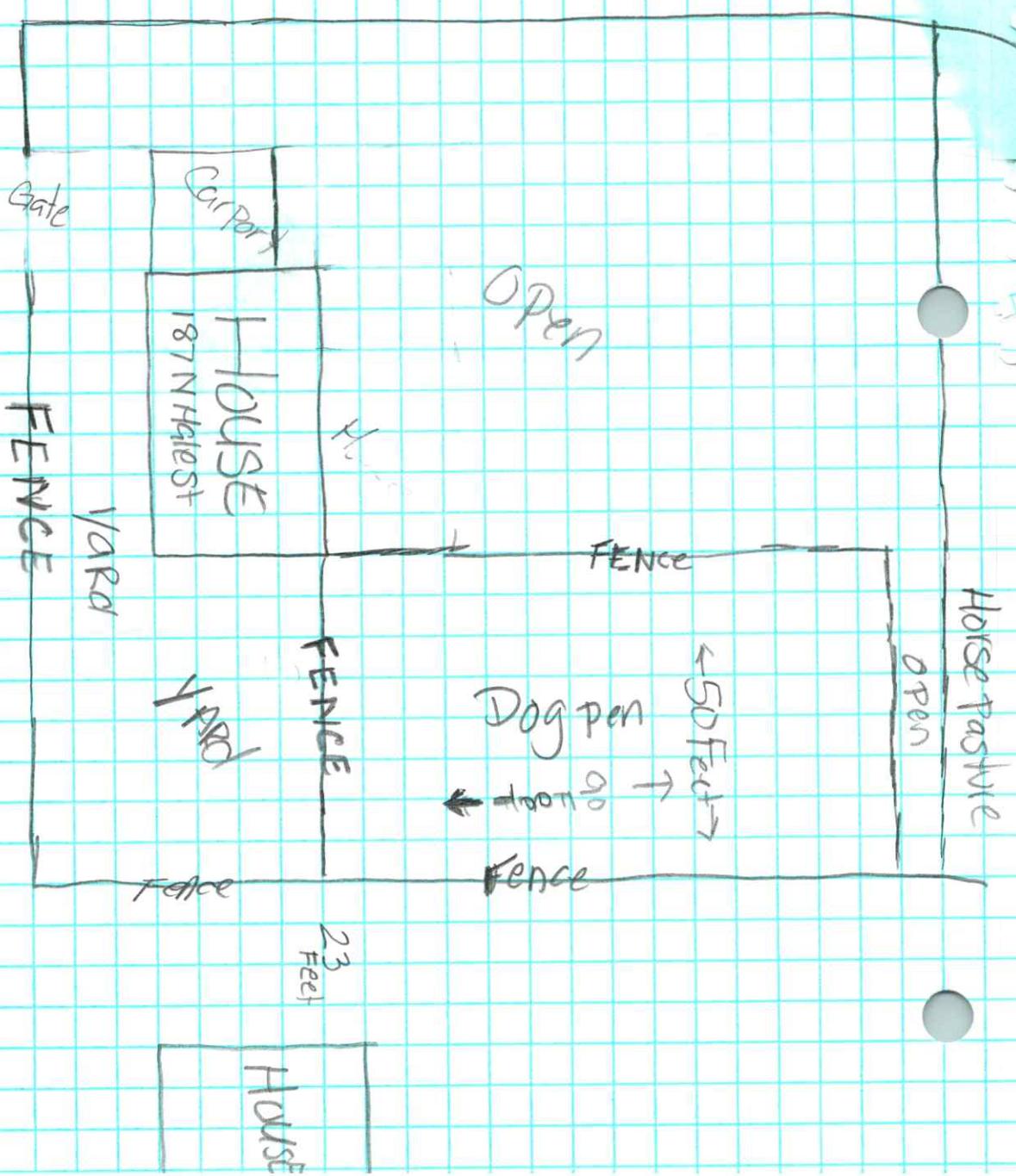
A handwritten signature in black ink that reads "Bryan T. Slade".

Bryan Slade, L.E.H.S.
Environmental Health Director

REQUIREMENTS FOR A KENNEL/SPORTSMANS PERMIT

- Applicant must have 85 feet of kennel space per dog, this includes dogs that stay indoors most of the day.
- Applicant's property must have enough area to provide a minimum of a one hundred (100) foot buffer zone between the kennels and any neighboring residences.
- Submit a site plan with the application that indicates where all neighboring residences are and the exact linear footage from the outside edge of the kennels to the neighboring homes.
- Applicant must have kennel area inspected by both the Grantsville City Animal Control Officer and the Tooele County Health Department and submit letters of approval from each.
- Approvals are for three (3) to five (5) dogs for a Sportsman's Permit.
- Approvals for a Kennel Permit are as follows:
Class A Kennel – 3 to 15 dogs, Class B Kennel – 16 to 30 dogs, Class C Kennel – more than 30 dogs):
- A non-refundable \$75.00 application fee - Zoning Administrator Approval
\$200.00 application fee - Planning Commission for Approval.
- Applicant must submit a complete application and attach all required items that are listed on the application to the Zoning Administrator twenty (28) days prior to the Planning Commission meeting that is desired to be scheduled on. The Commission meets the second Thursday of every month.
- Permits are renewable each year by January 31st. All dogs must be licensed by March 31st every year.

N HALE St





GRANTSVILLE CITY POLICE DEPARTMENT

Report for Incident 21G003967

Nature: BARKING DOG

Address: 187 N HALE ST

Location: GCPD

GRANTSVILLE UT 84029

Offense Codes: ANPR

Received By: LUND D

How Received: O

Agency: GCPD

Responding Officers: E TRIPP

Responsible Officer: E TRIPP

Disposition: CLO 10/25/21

When Reported: 10:24:27 10/21/21

Occurred Between: 10:24:24 10/21/21 and 10:24:24 10/21/21

Assigned To:

Detail:

Date Assigned: **/**/**

Status:

Status Date: **/**/**

Due Date: **/**/**

Complainant:

Last:

First:

Mid:

DOB: **/**/**

Dr Lic:

Address:

Race:

Sex:

Phone:

City: ,

Offense Codes

Reported: ANPR Animal Problem

Observed: ANPR Animal Problem

Additional Offense: ANPR Animal Problem

Circumstances

ADOG Animal, Dog

LT20 Residence or Home

Responding Officers:

Unit :

E TRIPP

G30

Responsible Officer: E TRIPP

Agency: GCPD

Received By: LUND D

Last Radio Log: 10:35:07 10/21/21 CMPLT

How Received: O OFCR Generated

Clearance: LF Long form

When Reported: 10:24:27 10/21/21

Disposition: CLO Date: 10/25/21

Judicial Status:

Occurred between: 10:24:24 10/21/21

Misc Entry:

and: 10:24:24 10/21/21

Modus Operandi:

Description :

Method :

Involvements

Date	Type	Description	Relationship
10/25/21	Name	RUSSELL, MILDRED	Complainant
10/25/21	Name	ESPONSA, JAMIE	Owner
10/21/21	Cad Call	10:24:27 10/21/21 BARKING DOG	Initiating Call

Narrative

ANIMAL CONTROL OFFICER: E Tripp
CALL: Barking dog
DATE: 10/21/2021
TIME: 1024 hrs

SYNOPSIS:

Report of barking dogs and other violations.

NARRATIVE:

On the above date, Mildred Russell, came into the police department to file a complaint on her neighbors at 187 N Hale St for the dogs barking all day and night, digging under the fence, the smell, and unsanitary conditions. I responded to the incident address where I spoke with Jamie Esponosa, owner, who advised that she has 2 dogs, but that her sister who is getting a divorce and her son are living with her temporarily and they do have 3 dogs between them, making it 5 dogs on the property. Jamie also explained that the neighbor's dog antagonizes her dogs, causing them to bark and to try and dig under the fence. Jamie advised that she bought bark collars and will put them back on, just to make sure there is no problem.

While I was at the residence, I did not find it to be in an unsanitary condition, just a property that has animals.

On 10/25/2021, I spoke with the Grantsville City Attorney who advised that as long as the dogs are only there temporarily, she would not need to have a kennel permit, but if the dogs are there more than about a month more, she would need to apply for a permit.

My department issued body camera was worn in a clear and visible manner, and was activated during this incident.

DISPOSITION:

No charges at this time. Owner spoke to about the issues.

Case closed.

Responsible LEO:

Approved by:

Date

Supplement

ANIMAL CONTROL OFFICER: E Tripp

CALL: Supplemental

DATE: 11/10/2021

TIME: 1545 hrs

NARRATIVE:

On 11/8/2021, I received the attached letter from Mildred Russell with 4 questions about the case. On that same date, I contacted Mildred and answered the questions for her. I advised Mildred that in regards to her questions about how many more dogs the neighbor gets to have will depend on if the kennel license gets approved. If it does get approved, the kennel permit is good for up to 15 dogs. In regards to questions #3 about the son living at the residence, that it is only temporary living situations as the son just moved home from school and is looking for a place to live that is affordable. In regards to question #4, I have asked the suspect for a copy of each dogs rabies vaccinations and when those are received they will be attached to the report, that Mildred is able to request.

I then ended the phone call and cleared the call.

My department issued body camera was worn in a clear and visible manner, and was activated during this incident.

DISPOSITION:

Letter with questions attached.

Supplement

ANIMAL CONTROL OFFICER: E Tripp
CALL: Follow up
DATE: 11/15/2021
TIME: 0900 hrs

NARRATIVE:

On the above date, I was asked by the administrative assistant, on behalf of Mayor Marshall to forward this case to the city attorney for the below charge.

CHARGES:

4-1-16: Nuisance; animals.

On the above date, I also received a message from Jamie that had a copy of 2 of the dogs current rabies vaccinations, as well as a note saying that she has turned in a kennel permit to Kristy Clark with the city.

My department issued body camera was worn in a clear and visible manner, and was activated during this incident.

DISPOSITION:

Please forward charges to the city attorney.

Supplement

ANIMAL CONTROL OFFICER: E Tripp
CALL: Kennel Permit inspection
DATE: 12/17/2021
TIME: 1000 hrs

NARRATIVE:

On the above date, I responded to the incident address to do a kennel permit inspection for Jamie Espinosa. I observed the area to be large enough for the dogs to run in, and that they had access to food and water. I also observed that the dogs can go up onto the porch to get out of the weather. The area was fenced in completely and there was a black-out cloth on the north side of the fence between the properties.

My department issued body camera was worn in a clear and visible manner, and was activated during this incident.

DISPOSITION:

Based on what I observed, I don't see any reason why a kennel/sportsman permit can't be granted.

End of report.

Name Involvements:

Complainant : 5187

 Last: RUSSELL

 DOB: 05/09/56

 Race: W Sex: F

 First: MILDRED

 Dr Lic:

 Phone: (435)884-0148

 Mid:

 Address: 227 N HALE ST

 City: TOOKELE, UT 84074

Owner : 117128

 Last: ESPONSA

 DOB: 02/21/77

 Race: W Sex: F

 First: JAMIE

 Dr Lic:

 Phone:

 Mid:

 Address: 187 N HALE ST

 City: GRANTSVILLE, UT 84029

GRANTSVILLE CITY		
429 E MAIN STREET		
GRANTSVILLE	UT	84029
		435-884-3411
Receipt No: 7 001253	Jun 28, 2022	
JOSEPH & JAMIE ESPINOSA		
Previous Balance:	.00	
MISC LICENSES		
KENNEL PERMIT	200.00	
Total:	200.00	
CASH		
Total Applied:	200.00	
Change Tendered:	.00	
06/28/2022 11:40 AM		



Jose Espinosa
01-051-0-0030

0 100 200 300 400 500 600 700 800
Feet

GIS Map Disclaimer:



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emily.jones
Date: 7/8/2022

Tooele County Recorder

Misc.	\$10.00
Processing Fee	\$1.50

TOTAL	\$11.50
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07/8/2022 09:07 am	V*4789
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AuthCode: 690661-690672

Ref: 62c84ac9-SIP-31171

Transaction ID: Event-3690

Account Number: Joseph Espinosa-V*4789

Name: Joseph Espinosa

Customer Copy

Tooele County Recorder
47 South Main
Tooele, UT 84074
435-843-3100

Thank-you.

Your statement will describe your payment as 'CBT*TOOELE COUNTY UT' and the service fee transaction as 'CBT*SVC FEE TOOELE CN'.

SMITH LANCE
58 W CLARK ST
GRANTSVILLE, UT 84029

JOHNSON JAY MICHAEL JT
160 N COOLEY ST
GRANTSVILLE, UT 84029

HARVEY R HAYNES
PO BOX 856
GRANTSVILLE, UT 84029

LINDA GREEN
260 N HALE ST
GRANTSVILLE, UT 84029

SIX MILE RANCH COMPANY
PO BOX 222
GRANTSVILLE, UT 84029

ESPINOSA JOSEPH JT
187 N. HALE STREET
GRANTSVILLE, UT 84029

PIPER MILL LLC
566 E 400 S
PAYSON, UT 84651

DAVE A REED JT
P O BOX 173
GRANTSVILLE, UT 84029

CICCONI DAIVA L TRUSTEE
74 W CLARK
GRANTSVILLE, UT 84029

JOYCE R RYDALCH TRUSTEE
P O BOX 825
GRANTSVILLE, UT 84029

ISOROKYU VERNON JT
140 N HALE ST
GRANTSVILLE, UT 84029

SHIRLEY K JOHNSTON TRUSTEE
45 W APPLE ST
GRANTSVILLE, UT 84029

HAWS COLTON G JT
237 N HALE ST
GRANTSVILLE, UT 84029

KEVIN DEAN CARLING
165 N HALE ST
GRANTSVILLE, UT 84029

VANESSA L KNICKERBOCKER JT
151 N HALE ST
GRANTSVILLE, UT 84029

ALBERT CURTIS MACE JT
P O BOX 153
GRANTSVILLE, UT 84029

CASTAGNO NICHOLAS JT
88 W CLARK ST
GRANTSVILLE, UT 84029

THE ROGER E HAYNES TRUST DATED
THE 1ST DAY OF AUGUST 2019
259 N HALE ST
GRANTSVILLE, UT 84029

SIX MILE RANCH CO
P O BOX 222
GRANTSVILLE, UT 84029

VERA ANDREW KENT JT
200 LIDDIARD LN
GRANTSVILLE, UT 84029

MILDRED I RUSSELL JT
227 N HALE ST
GRANTSVILLE, UT 84029

JAMES M CAPPO
155 N HALE STR
GRANTSVILLE, UT 84029

EVELER REBECCA JT
46 W CLARK ST
GRANTSVILLE, UT 84029

WADE LAURYL
247 NORTH HALE STREET
GRANTSVILLE, UT 84029

**APPLICATION FOR AN
ANIMAL CONDITIONAL USE PERMIT
CONSIDERATION BY GRANTSVILLE CITY
PLANNING COMMISSION**

This is to inform you that an application has been received in our office for consideration of an animal conditional use permit for:

Joseph Espinosa to keep up to ~~three~~(5) DOGS on his property located at 187 North Hale Street. The requirements for 5 DOGS has been met and inspected.

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A public hearing and meeting to discuss, consider action, and to decide will be held in the Grantsville City Hall Council Chambers, 429 E Main Street and on Zoom, on:

August 4, 2022 at 7:00 pm

You are invited to request a copy of the application, proposed plans, and zoning code by emailing me at lwood@grantsvilleut.gov.

You may attend the meeting in person and present comments at that time.

For more information, please call me at 435-884-3411 ext. 674.

Thank you,

Libra Wood
Zoning Administrative Assistant



Libra Wood <lwood@grantsvilleut.gov>

North Hale Street Kennel Liscence

2 messages

Dennis Russell <skvly_russ@yahoo.com>
To: "lwood@grantsvilleut.gov" <lwood@grantsvilleut.gov>

Tue, Jul 26, 2022 at 4:26 PM

Good afternoon, Libra.

I am writing concerning the proposed dog kennel license application at about [223 North Hale Street](#). My parents live next door and I have been at their home. The dogs at [223 North Hale](#) bark almost every time someone goes out the door. I believe that people should be able to enjoy their backyard without the neighbor's dogs barking at them.

While I don't live in Grantsville anymore, I do live about a mile from a dog kennel and can hear the dogs barking at all hours of the day and night. I respectfully request that you consider the neighborhood peace when evaluating the permit.

Thanks

Dennis Russell

Libra Wood <lwood@grantsvilleut.gov>
To: Dennis Russell <skvly_russ@yahoo.com>

Tue, Jul 26, 2022 at 4:29 PM

Thank you for your thoughts. I will add them to the file.

[Quoted text hidden]

--
Libra M Wood
Community Development Administrative Assistant
lwood@grantsvilleut.gov
435-884-3411 Ext. 674

AGENDA ITEM #3

Consideration to recommend approval of the proposed rezone of 11 Acres of property located at 4860 West Highway 112 to go from an A-10 Designation to an RR-1 Designation

APPLICATION FOR AMENDING THE ZONING MAP (REZONING)

DATE PAID June 3, 2022
HEARING DATE July 1, 2022

\$500.00 FEE
NON-
REFUNDABLE

APPLICANT'S NAME George Lynn Cook

MAILING ADDRESS 4860 West Highway 112, Grantsville, Utah 84029-8505

E-MAIL _____

APPLICANT'S PHONE 435-884-6597

LOCATION OF SUBJECT PROPERTY 4860 West Hwy 112

DO YOU OWN THE PROPERTY? Yes

NUMBER OF ACRES INVOLVED 11

CURRENT ZONE OF PROPERTY A-10

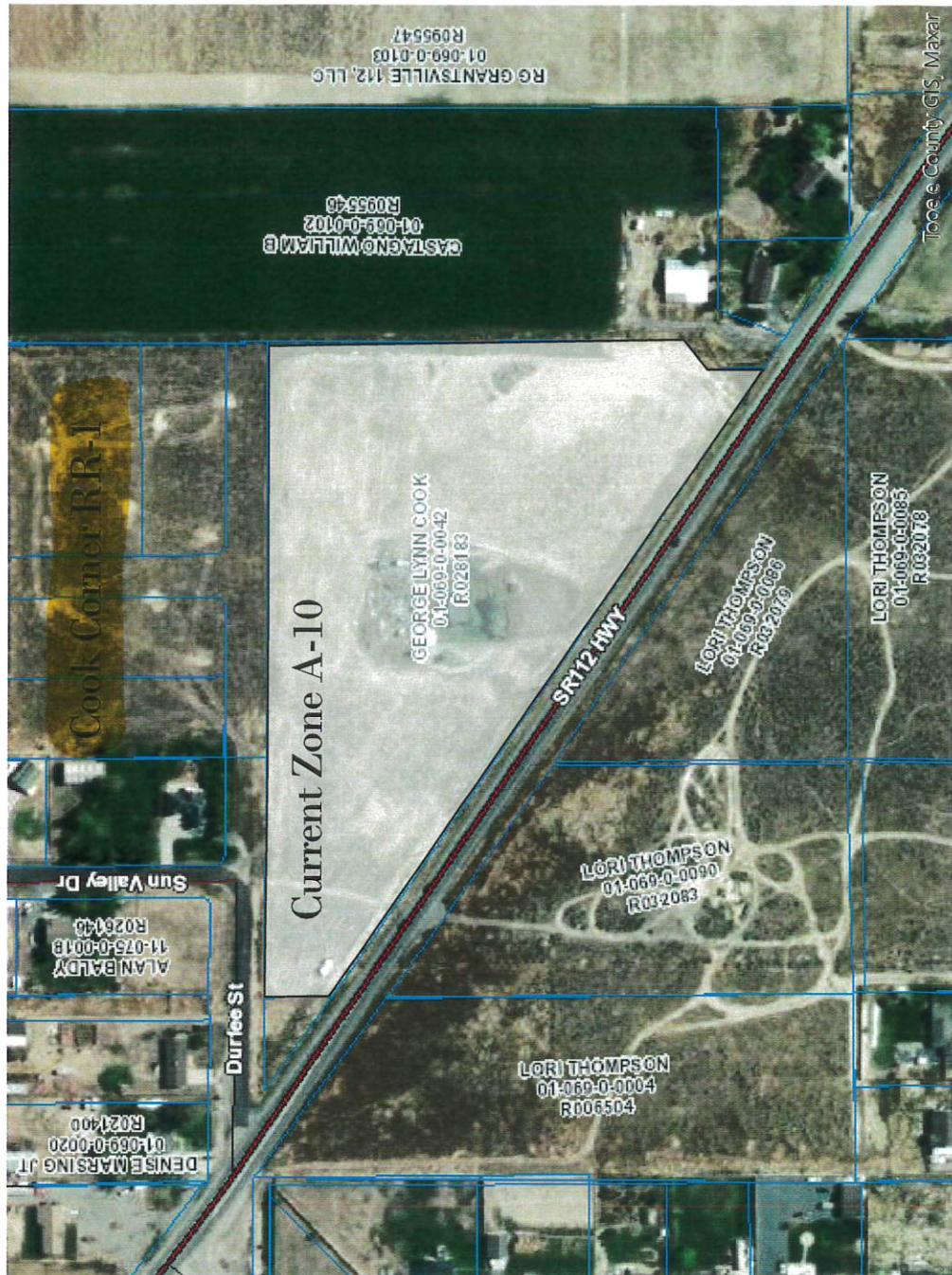
REQUESTED ZONE RR-1

PROPOSED USE FOR NEW ZONE, IF APPROVED A single 1-acre lot

will be divided out for my nephew to build a house on.

Attach all required items from checklist sheet, incomplete applications cannot be accepted.

George Lynn Cook
SIGNATURE OF APPLICANT

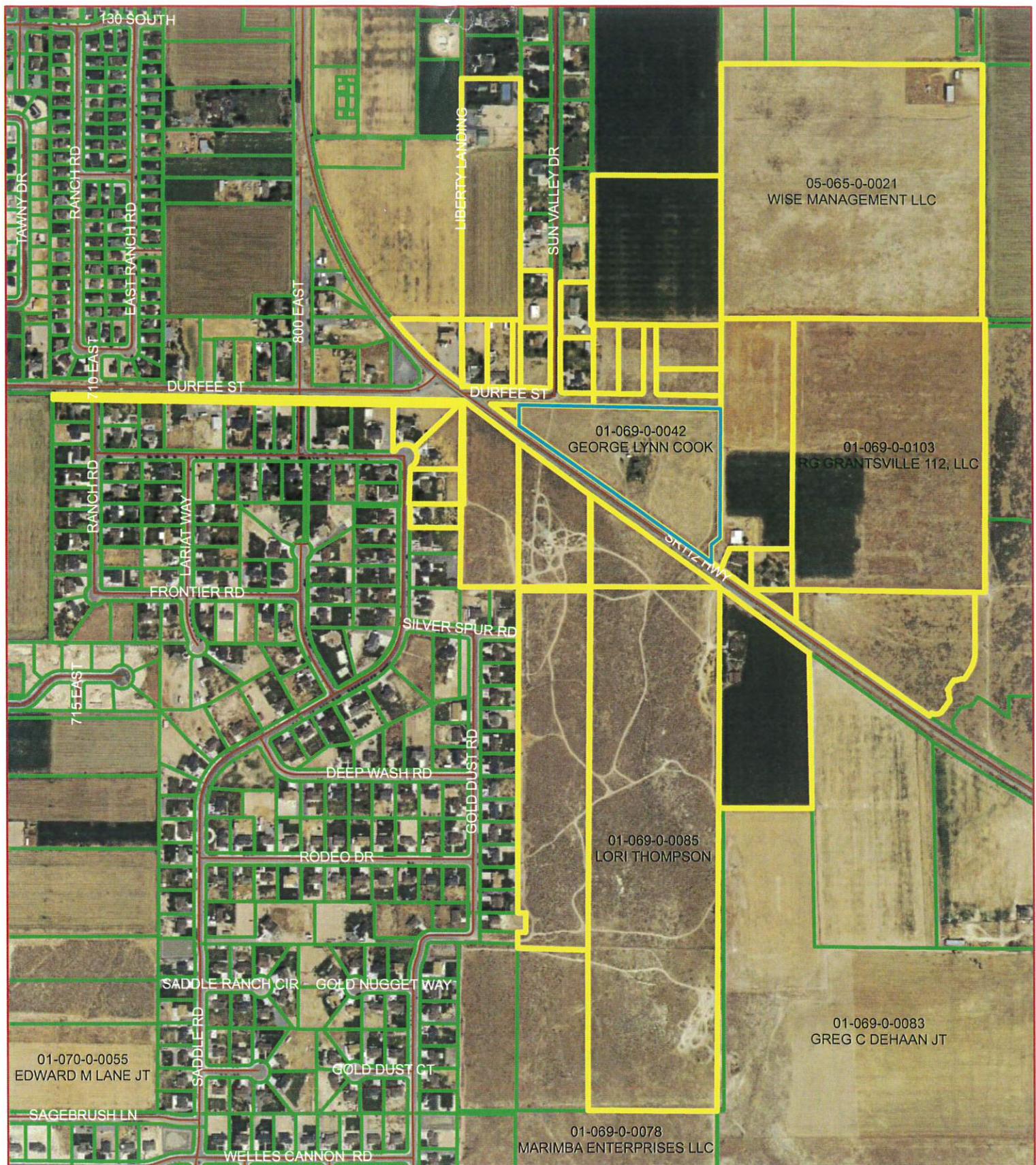


GRANTSVILLE CITY
429 E MAIN STREET
GRANTSVILLE UT 84029 435-884-3411
Receipt No: 7.001111 Jun 3, 2022

GEORGE COOK

Previous Balance:	.00
ZONING/SUBDIV. FEES	
ZONE CHANGE FEE	500.00
Total:	500.00
CASH	500.00
Total Applied:	500.00
Change Tendered:	.00

06/03/2022 12:10 PM



GIS Map Disclaimer:



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Joshua Cook - Lynn Cook
01-069-0-0042

0 250 500 1,000 1,500 2,000
Feet



Date: 6/1/2022
blanca.rodriguez

CLAYTON JEFF JT
4792 HIGHWAY 112
GRANTSVILLE, UT 84029

CHRISTENSEN NATHAN V. JT
343 SOUTH SADDLE ROAD
GRANTSVILLE, UT 84029

BROWN MATTHEW ALLEN JT
4795 HWY 112
GRANTSVILLE, UT 84029

LORI THOMPSON
9446 S WASATCH VIEW CR
SOUTH JORDAN, UT 84095

GEORGE LYNN COOK
4806 HWY 112
GRANTSVILLE, UT 84029

DENISE MARSING JT
295 HWY 112
GRANTSVILLE, UT 84029

SUPERIOR ASPHALT LC
PO BOX 450
MAGNA, UT 84044

RDJ INVESTMENTS LC
PO BOX 450
MAGNA, UT 84044

ANDERSON RANCH LC
P O BOX 1389
GRANTSVILLE, UT 84029

HERBERT ELI BROUGHTON TRUSTEE
321 S SADDLE RD
GRANTSVILLE, UT 84029

FAHERTY SEAN JT
313 S. SADDLE ROAD
GRANTSVILLE, UT 84029

EVANS DEBBIE C JT
845 E SADDLE RD
GRANTSVILLE, UT 84029

ANDERSON RANCH III INVESTMENTS
LLC
405 E 4450 N
PROVO, UT 84604

GEORGE LYNN COOK
4860 HWY 112
GRANTSVILLE, UT 84029

ALAN BALDY
3575 SUN VALLEY DR
GRANTSVILLE, UT 84029

STALEY NICHOLAS C JT
3570 SUN VALLEY DRIVE
GRANTSVILLE, UT 84029

WISE MANAGEMENT LLC
182 E MAIN ST #2
GRANTSVILLE, UT 84029

ALLEN TERRY LEE SR TRUSTEE
3619 SUN VALLEY DR
GRANTSVILLE, UT 84029

JOSHUA G ECHAVARRIA JT
3610 N SUN VALLEY DR.
GRANTSVILLE, UT 84029

JEFFREY SCOTT JENSEN JT
279 HWY 112
GRANTSVILLE, UT 84029

RDJ INVESTMENTS LC
125 S 900 E
GRANTSVILLE, UT 84029

RG GRANTSVILLE 112, LLC
2265 E. MURRAY HOLLADAY ROAD
HOLLADAY, UT 84117

RG GRANTSVILLE 112, LLC
2265 EAST MURRAY HOLLADAY RD
HOLLADAY, UT 84117

EQUITY TRUST COMPANY CUSTODIAN
1089 E BRETONWOODS LN
OREM, UT 84097

CASTAGNO WILLIAM B
35 E MAIN ST
GRANTSVILLE, UT 84029

ICONIC DEVELOPMENT LLC
3410 N MOYLE LANE
ERDA, UT 84074

GRANTSVILLE CITY
429 E MAIN
GRANTSVILLE, UT 84029

ICONIC DEVELOPMENT, LLC
3410 N MOYLE LN
TOOELE, UT 84074

APPLICATION FOR A REZONE

CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

An application has been received in our office for the consideration to rezone:

11 acres of land located at 4860 West Highway 112. The request is to go from an A-10 zone to an RR-1 Zone

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A public hearing to receive public input and meeting to discuss and consider action on the proposed project and make a recommendation to the City Council will be held in the Grantsville City Hall Council Chambers, 429 E. Main Street, Grantsville, Utah on:

Thursday, July 7th, 2022 at 7:00pm

You are invited to request a copy of the application and zoning code by emailing me at bbaugh@grantsvilleut.gov. At this time, they are just asking for a zoning change and future plans aren't required. If and when the property gets developed, you will be notified and I will be able to send you the development plan at that time.

We will continue to broadcast the Planning Commission meetings electronically on Zoom. If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on May 19, 2022. For more information, please call me at 435-884-4604 or email me.

Thank you,

Braydee Baugh

Interim Zoning Administrator

Join Zoom Meeting

<https://us02web.zoom.us/j/89498252841>

Meeting ID: 894 9825 2841

AGENDA ITEM #4

Consideration to recommend approval of proposed rezone of 8.385 Acres of Property located at approximately 448 and 454 E. Main Street to go from a CD and A-10 Designation to a Mixed-Use Density Designation

APPLICATION FOR AMENDING THE ZONING MAP (REZONING)

DATE PAID 7-8-22

HEARING DATE July 21, 2022

**\$500.00 FEE
NON-
REFUNDABLE**

APPLICANT'S NAME Tru Le, South Coastal Investments, LLC.

MAILING ADDRESS 11238 Charismatic Court, South Jordan, UT 84095

E-MAIL trule111@gmail.com

APPLICANT'S PHONE 714-800-9646

LOCATION OF SUBJECT PROPERTY 448 and 454 E. Main Street

DO YOU OWN THE PROPERTY? Y

NUMBER OF ACRES INVOLVED 8.385 Acres

CURRENT ZONE OF PROPERTY CD and A-10

REQUESTED ZONE Mixed-Use Density

PROPOSED USE FOR NEW ZONE, IF APPROVED 20% Commercial and 80% High Density Residential

Attach all required items from checklist sheet, incomplete applications cannot be accepted.

70L
SIGNATURE OF APPLICANT

GRANTSVILLE CITY
429 E MAIN STREET
GRANTSVILLE UT 84029 435-884-3411

Receipt No: 14.000007 Jul 8, 2022

SOUTH COASTAL INV

Previous Balance: .00

ZONING/SUBDIV. FEES

ZONE CHANGE FEE 500.00

Total: 500.00

=====

CHECK

Check No: 1022 500.00

Total Applied: 500.00

Change Tendered: .00

=====

Duplicate Copy
07/08/2022 3:18 PM

LEGAL DESCRIPTIONS FOR 448 and 454 E. Main Street:

448 E. Main Street (Parcel ID: 18-062-0-0001)

Lot 1, Jay Hale Subdivision, a Subdivision according to the official plat thereof on file and or record in the office of the Tooele County Recorder, State of Utah.

454 E. Main Street (Parcel ID: 18-062-0-0002)

Lot 2, Jay Hale Subdivision, a Subdivision according to the official plat thereof on file and or record in the office of the Tooele County Recorder, State of Utah.



VICINITY MAP





RECORDER/SURVEYOR OFFICE

Request for Surrounding Property Owners

Property Information and Location

(All lines must be filled in)

Property Address: 448 E Main Street and 454 E Main Street, Grantsville, UT

Lot # 1 & 2 **Subdivision Name:** Jay Hale Subdivision

Township _____ **Range** _____ **Section** _____

Parcel # 18-062-0-0001 and 18-062-0-0002

Please Choose one of the following

- 300 Foot Radius includes Mailing labels / Maps
- 400 Foot Radius Includes Mailing Labels /Maps
- Other 500 Foot Radius

FEE: To be determined \$ 10.00 *Paid (C) over the phone)* -
(Basic charge is \$10.00 – 4 to 30 labels including boundary
map printed on an aerial base map) Completed by (initials) SD **Date** 7/07/22

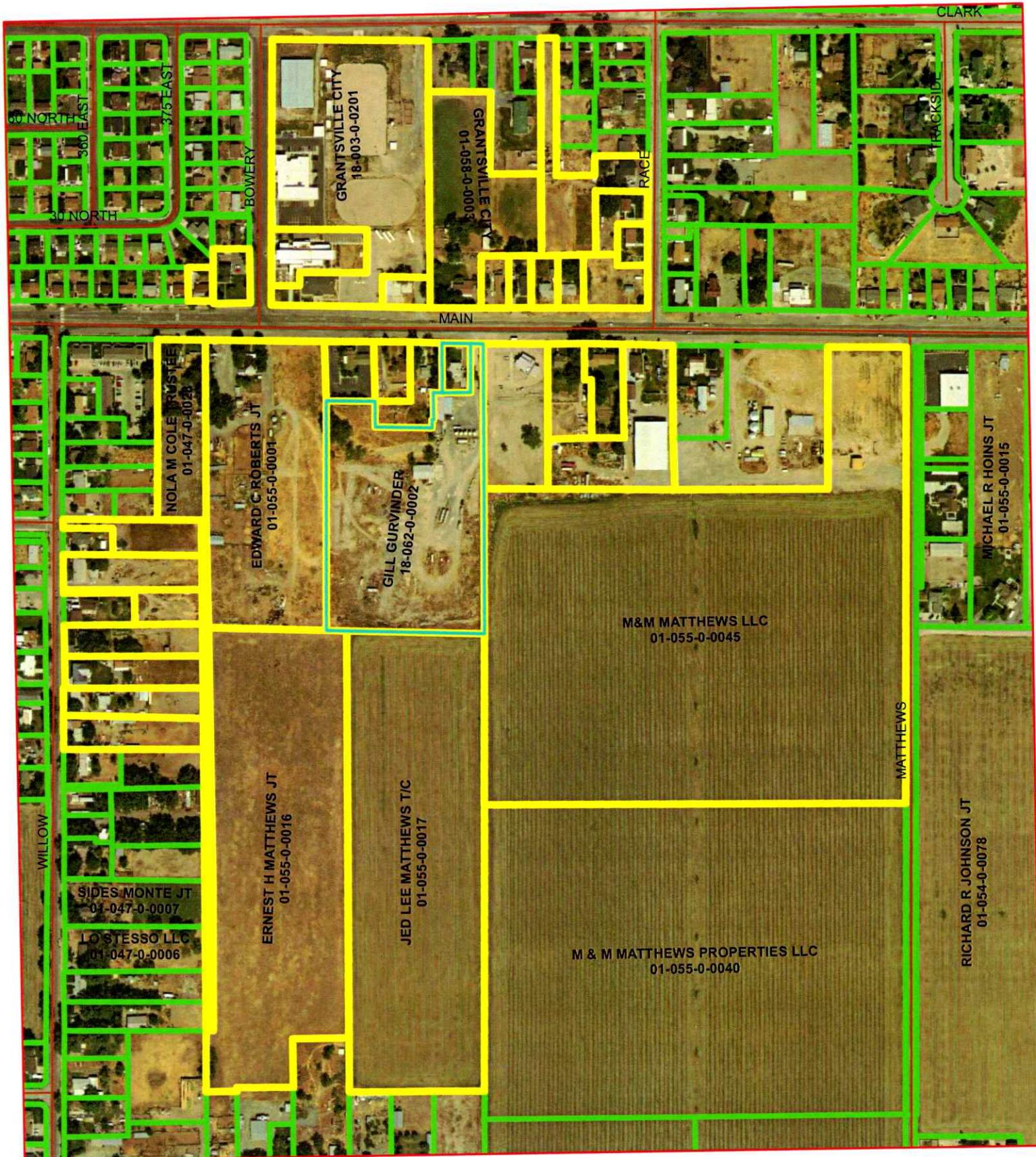
Name of person and contact information Requesting information

Name Robert Donigan **Date** 07/07/2022

Contact Number 801-703-6383

**Please allow our Mapping Department 24 hours to complete request, you will be notified when they
are ready to be picked up**

Thank you



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TOOELE
COUNTY

Robert Donigan
18-062-0-0001 & 18-062-0-0002

0 150 300 600 900 1,200
Feet



emily.jones
Date: 7/8/2022

APPLICATION FOR A REZONE

CONSIDERATION BY GRANTSVILLE CITY PLANNING COMMISSION

An application has been received in our office for the consideration to rezone:

8.385 Acres of Property located at approximately 448 and 454 East Main Street to Rezone from a CD and A-10 Zone to a Mixed Use Density

This site is in the area of, or adjoins property you own, according to the tax rolls of Tooele County. A public hearing to receive public input and meeting to discuss and consider action on the proposed project and make a recommendation to the City Council will be held in the Grantsville City Hall Council Chambers, 429 E. Main Street, Grantsville, Utah on:

Thursday, July 21st, 2022 at 7:00pm

You are invited to request a copy of the application and zoning code by emailing me at bbaugh@grantsvilleut.gov. At this time, they are just asking for a zoning change and future plans aren't required. If and when the property gets developed, you will be notified and I will be able to send you the development plan at that time.

We will continue to broadcast the Planning Commission meetings electronically on Zoom. If you choose to attend, please wear a face covering. Comments through email or by mail must be received no later than 5:00 p.m. on July 21st, 2022. For more information, please call me at 435-884-4604 or email me.

Thank you,

Braydee Baugh

Interim Zoning Administrator

RACHEL DAVIS JT
393 E MAIN ST
GRANTSVILLE, UT 84029

GILL GURVINDER
6 E. MAIN STREET
GRANTSVILLE, UT 84029

NOLA M COLE TRUSTEE
1982 N 500 E
OREM, UT 84097

FARR LLOYD HEBER
89 WILLOW STREET
GRANTSVILLE, UT 84029

HAL L SAGERS JT
97 WILLOW ST
GRANTSVILLE, UT 84029

SAMUELS MARCUS JT
117 WILLOW ST
GRANTSVILLE, UT 84074

HAL L SAGERS JT
97 S WILLOW
GRANTSVILLE, UT 84029

COLTON TY JENSEN
125 WILLOW ST
GRANTSVILLE, UT 84029

GREGORY A LUND JT
129 WILLOW ST
GRANTSVILLE, UT 84029

FRED L KILLPACK JT
432 S QUIRK
GRANTSVILLE, UT 84029

EDWARD C ROBERTS JT
367 SADDLE RD
GRANTSVILLE, UT 84029

KIMBERLY JENKINS
381 E MAIN ST
GRANTSVILLE, UT 84029

ERNEST H MATTHEWS JT
295 WILLOW ST
GRANTSVILLE, UT 84029

ARDELL REX HENDERSON JT
65 WILLOW ST
GRANTSVILLE, UT 84029

JED LEE MATTHEWS T/C
2125 E DOWNTON
SALT LAKE CITY, UT 84108

BLEAZARD HEATH MORGAN JT
482 E MAIN ST
GRANTSVILLE, UT 84029

AMERICAN UNITED FAMILY OF CREDIT
UNIONS FCU
2687 W 7800 S
WEST JORDAN, UT 84088

HELEN K BOYER TRUSTEE
P O BOX 868
GRANTSVILLE, UT 84029

CHARTWAY FEDERAL CREDIT UNION
5700 CLEVELAND STREET
VIRGINIA BEACH, VA 23462

LOCKWOOD WILLIAM JT
494 E MAIN STREET
GRANTSVILLE, UT 84029

OSTLER HOLDING LIMITED COMPANY
OF UTAH
6816 W. 10760 N.
HIGHLAND, UT 84003

TOOELE HOSPITAL CORPORATION
310 25TH AVENUE NORTH, SUITE 305
NASHVILLE, TN 37203

GRANTSVILLE CITY
429 E MAIN ST
GRANTSVILLE, UT 84029

CLARA E SMITH JT
455 E MAIN ST
GRANSTVILLE, UT 84092

CURTIS JAY FISHER TRUSTEE
45 N RACE ST
GRANTSVILLE, UT 84029

WEISHAR JEANIE
475 E. MAIN ST.
GRANTSVILLE, UT 84029

SKYLER BAILEY HOLDING COMPANY
10032 SOUTH 3345 WEST
SOUTH ORDAN, UT 84095

MEMMOTT TRACEE L
21 RACE ST
GRANTSVILLE, UT 84029

JAYME MARSHALL
465 E MAIN ST
GRANTSVILLE, UT 84029

GRANTSVILLE CITY
429 E. MAIN STREET
GRANTSVILLE, UT 84029

WARBURTON MARK JT
59 N RACE ST
GRANTSVILLE, UT 84029

Go to avery.com/templates
Use Avery Template 5160

VICKIE JOHNSON
481 E MAIN ST
GRANTSVILLE, UT 84029

Tooele County Recorder

Misc.	\$10.00
Processing Fee	\$1.50

TOTAL	\$11.50
--------------	---------

07/8/2022 08:07 am V*0725

AuthCode: 266824-266827

Ref: 62c84195-SIP-30885

Transaction ID: Event-3690

Account Number: robert donigan-V*0725

Name: robert donigan

Customer Copy

Tooele County Recorder
47 South Main
Tooele, UT 84074
435-843-3100

Thank-you.

Your statement will describe your payment as 'CBT*TOOELE COUNTY UT' and the service fee transaction as 'CBT*SVC FEE TOOELE CN'.

AGENDA ITEM #5

Consideration to recommend approval of
the Preliminary Plat proposal for Nicole
Cloward and the Cloward Subdivision



CLOWARD COURT SUBDIVISION

713 EAST MAIN STREET
GRANTSVILLE, UTAH

INDEX OF DRAWINGS

- 1-1 BOUNDARY TOPOGRAPHIC SURVEY
- 1-1 PRELIMINARY PLAT
- 1-1 PLAT
- C-001 GENERAL NOTES
- C-100 SITE / UTILITY PLAN
- PP-1 PLAN AND PROFILE CLOWARD COURT

FOR REVIEW
NOT FOR CONSTRUCTION

DATE PRINTED
June 17, 2022

CLOWARD COURT SUBDIVISION

713 EAST MAIN STREET
GRANTSVILLE, UTAH

For Review
06/17/2022 12:41:49 PM

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

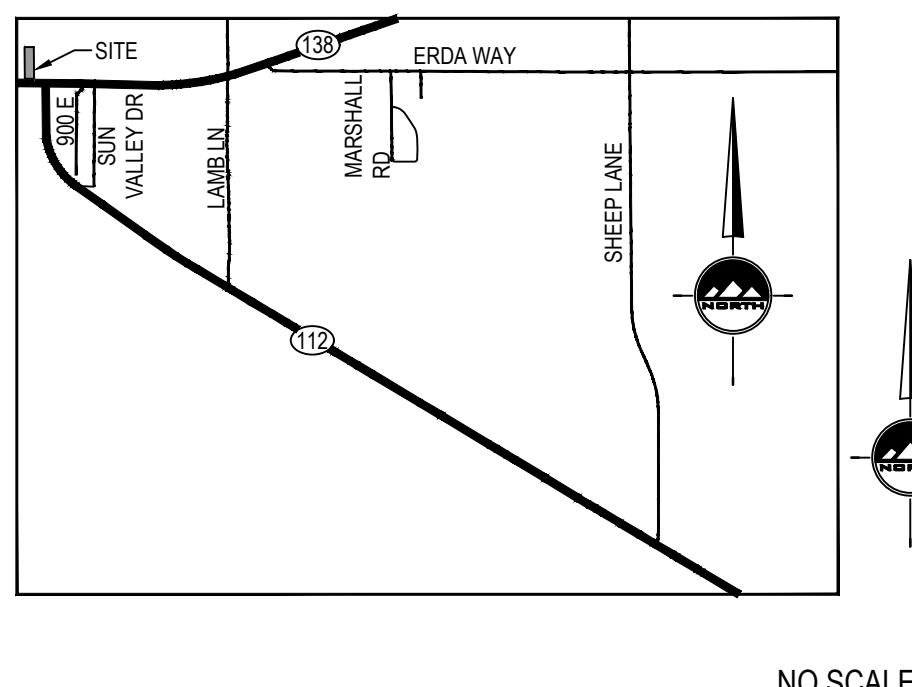
NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

VICINITY MAP



GENERAL NOTES

1. ALL WORK SHALL CONFORM TO GRANTSVILLE CITY STANDARDS & SPECIFICATIONS.
2. CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
3. BENCHMARK ELEVATION = WITNESS CORNER TO THE EAST QUARTER CORNER OF SECTION 32, TOWNSHIP 2 SOUTH, RANGE 5 WEST SALT LAKE BASE & MERIDIAN ELEV. = 4293.53

COVER

PROJECT NUMBER
9700A
PRINT DATE
2022-06-17
DRAWN BY
JCID
CHECKED BY
DKNSMAN
PROJECT MANAGER
DKNSMAN

C-000

EN SIGN
THE STANDARD IN ENGINEERING

TOOELE
169 N. Main Street, Unit 1
Tooele, UT, 84074
Phone: 435.843.3590

SALT LAKE CITY
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM
FOR
RE/MAX
713 EAST MAIN STREET
GRANTSVILLE, UTAH
CONTACT:
NICOLE CLOWARD
PHONE: 435-241-0410



BENCHMARK
WITNESS CORNER TO THE EAST QUARTER
CORNER OF SECTION 32, TOWNSHIP 2 SOUTH,
RANGE 5 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4293.53'

SURVEYORS NARRATIVE
I, Douglas J. Kinsman, do hereby state that I am a Professional Land Surveyor, and that I hold license no. 334575, as prescribed by the laws of the state of Utah, and represent that I have made a survey of the following described property. The purpose of this survey is to retrace the boundary, monument the corners, and provide boundary information to our client.
The basis of bearing for this survey is the line between the found monuments at the Witness Corner to the East Quarter Corner and the Witness Corner to the West Quarter Corner of Section 32, Township 2 South, Range 5 West, Salt Lake Base and Meridian, which bears a calculated bearing of North 88°54'16" West 5303.46 feet.
ELEV = 4293.53'

Surveyed Description

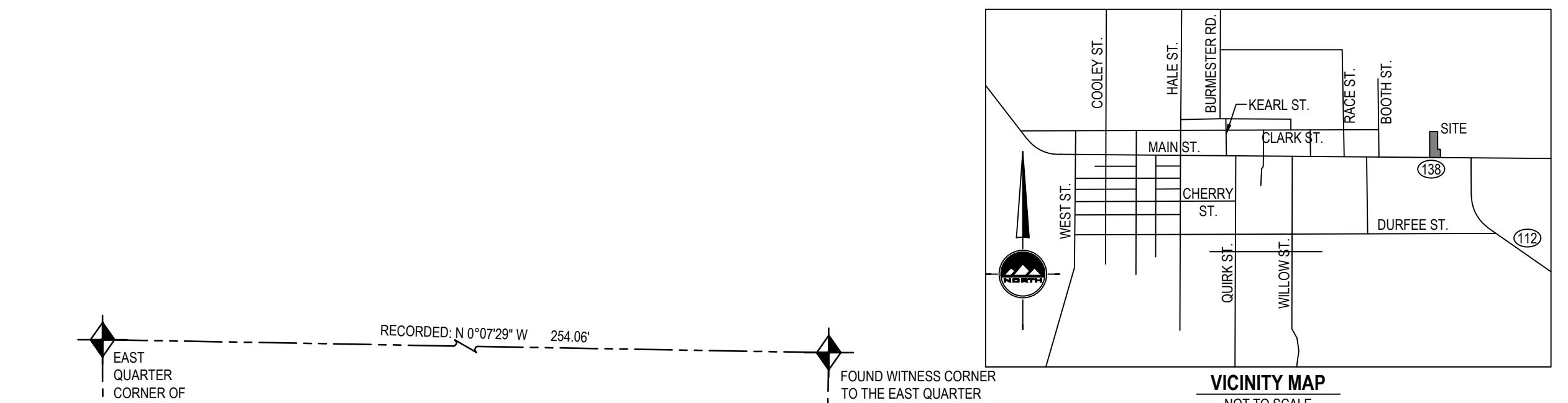
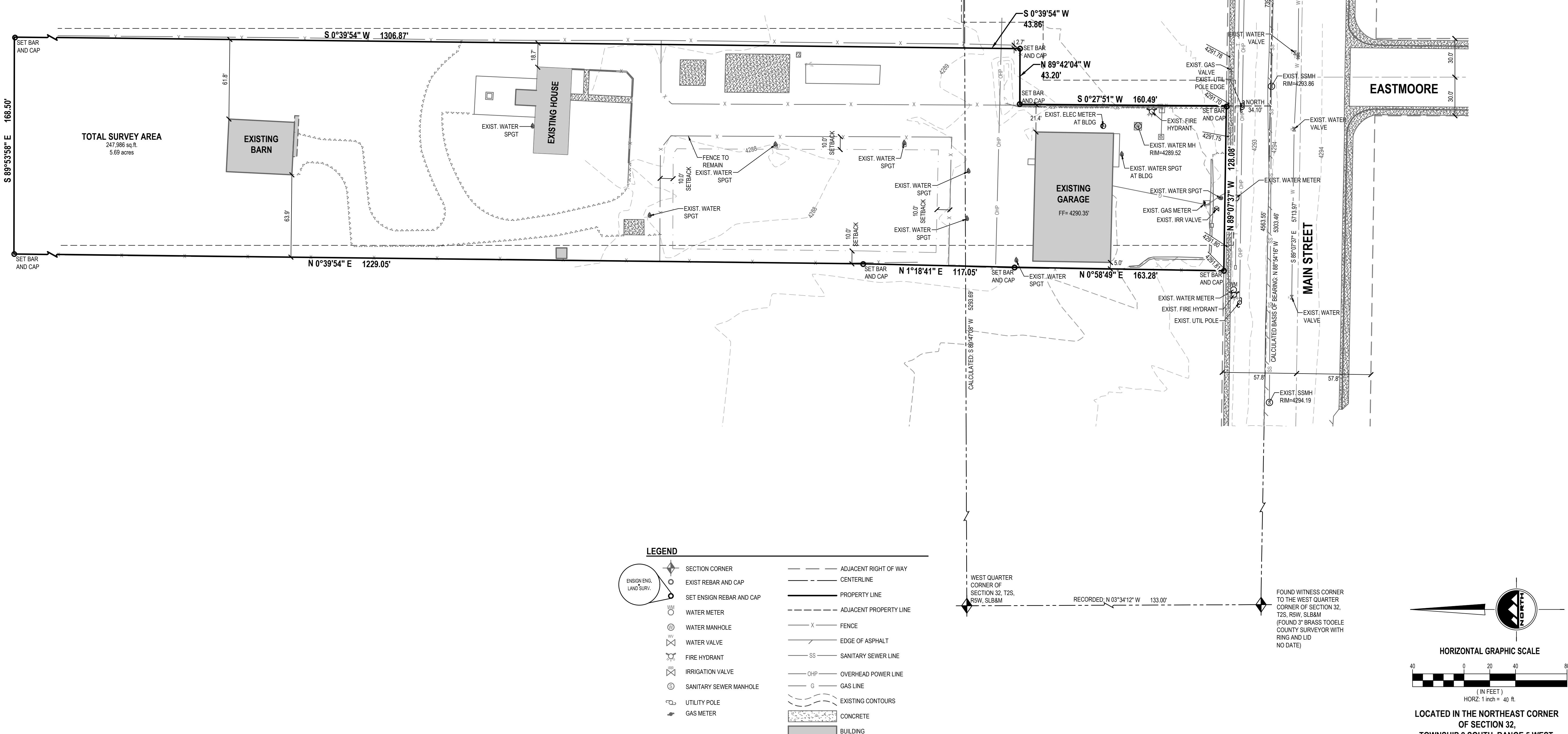
A parcel of land, situate in the Northwest Quarter of Section 32, Township 2 South, Range 5 West, Salt Lake Base and Meridian, more particularly described as follows:
Beginning at a point on the northerly line of Main Street, which is located North 88°54'16" West 739.91 feet from the found witness monument at the East Quarter Corner of Section 32, Township 2 South, Range 5 West, Salt Lake Base and Meridian, and running North 34.10 feet from the section line, and running:

thence North 89°07'37" West along the northerly line of Main Street;
thence North 0°58'49" East 163.28 feet following extremely close with an existing property line fence;
thence North 0°39'54" East along said fence;
thence South 89°53'58" East 168.50 feet;
thence South 0°39'54" West 1306.87 feet following extremely close with an existing property line fence;
thence South 0°39'54" West 43.66 feet;
thence North 89°42'04" West 43.20 feet;
thence South 0°27'51" West 160.49 feet to the Point of Beginning.

Parcel contains: 247,968 square feet, or 5.69 acres.

JUNE 17 2022

Date
Douglas J. Kinsman
License no. 334575



THE STANDARD IN ENGINEERING

TOOELE

169 N. Main Street, Unit 1
Tooele, UT, 84074
Phone: 435.843.3590

LAYTON

Phone: 801.547.1100

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR
RE/MAX
713 EAST MAIN STREET
GRANTSVILLE, UTAH
CONTACT:
NICOLE CLOWARD
PHONE: 435-241-0410

**RE/MAX TENANT FINISH
DESIGN SERVICES**
713 EAST MAIN STREET
GRANTSVILLE, UTAH



**BOUNDARY
TOPOGRAPHIC
SURVEY**

PROJECT NUMBER
9700
PRINT DATE
6/17/22
DRAWN BY
J. SHAW
CHECKED BY
D. KINSMAN
PROJECT MANAGER
C. CHILD

LOCATED IN THE NORTHEAST CORNER
OF SECTION 32,
TOWNSHIP 2 SOUTH, RANGE 5 WEST,
SALT LAKE BASE AND MERIDIAN
GRANTSVILLE CITY, TOOELE COUNTY, UTAH

811

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

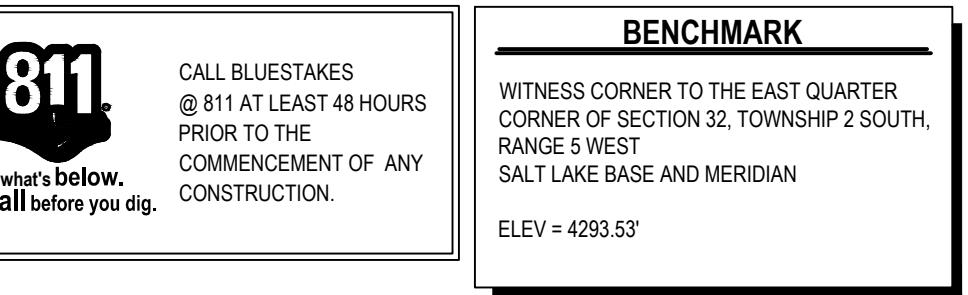
BENCHMARK

WITNESS CORNER TO THE EAST QUARTER
CORNER OF SECTION 32, TOWNSHIP 2 SOUTH,
RANGE 5 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4293.53'

CLOWARD COURT SUBDIVISION

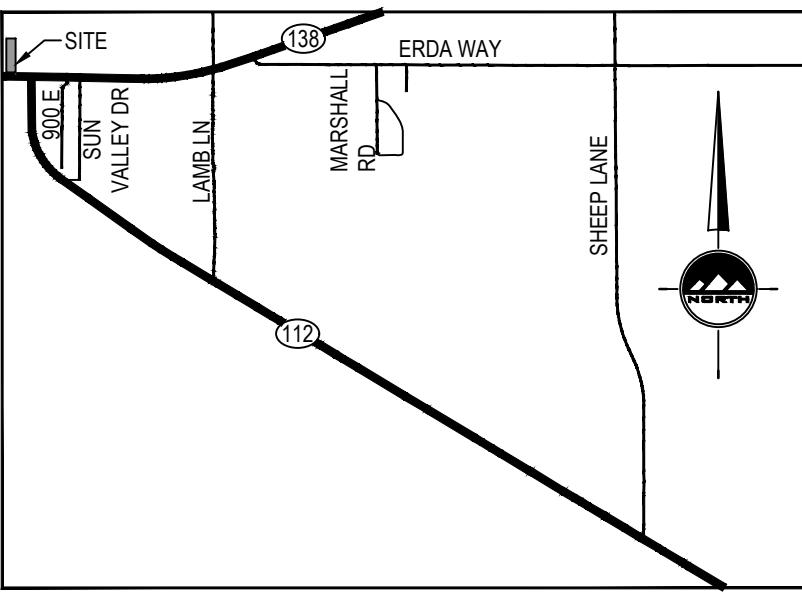
PRELIMINARY PLAT

LOCATED IN THE NORTH EAST QUARTER OF SECTION 32
TOWNSHIP 2 SOUTH, RANGE 5 WEST,
SALT LAKE BASE AND MERIDIAN,
GRANTSVILLE CITY, TOOELE COUNTY, UTAH



NOTES

- ALL PUBLIC STREETS ARE HEREBY DEDICATED TO GRANTSVILLE CITY AS RIGHT-OF-WAY (R.O.W.) FOR PUBLIC USE.
- NO DRIVEWAYS SHALL BE CONSTRUCTED SO AS TO SLOPE TOWARD ANY STRUCTURES WITHOUT WRITTEN PERMISSION FROM GRANTSVILLE CITY ENGINEER.
- 5/8" X 24" REBAR AND CAP TO BE SET AT ALL LOT CORNERS UNLESS OTHERWISE INDICATED.
- UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AS MAY BE REQUIRED TO REMOVE ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES, AND VEGETATION THAT MAY EXIST WITHIN THE P.U.E. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE P.U.E. AT THE LOT OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE P.U.E. OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE P.U.E. WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE P.U.E.



VICINITY MAP

1"=5000'

SURVEYOR'S CERTIFICATE

I, Douglas J. Kinsman do hereby certify that I am a Professional Licensed Land Surveyor, and that I hold License No. 334575 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Act; I further certify that by authority of the owners I have completed a survey of the property described on this subdivision plat in accordance with section 17-23-17, have verified all measurements, and have subdivided said tract of land into lots and streets, hereafter to be known as CLOWARD COURT Subdivision, and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION

A parcel of land, situate in the Northwest Quarter of Section 32, Township 2 South, Range 5 West, Salt Lake Base and Meridian, more particularly described as follows:

Beginning at a point on the northerly line of Main Street, which is located North 88°54'16" West 739.91 feet from the found witness monument at the East Quarter Corner of Section 32, Township 2 South, Range 5 West, Salt Lake Base and Meridian, and running North 34.10 feet from the section line, and running

thence North 89°07'37" West along the northerly line of Main Street;

thence North 89°53'58" East 122.05 feet down extremely close with an existing property line fence;

thence North 0°39'44" East 122.05 feet along said fence;

thence South 89°53'58" East 168.50 feet;

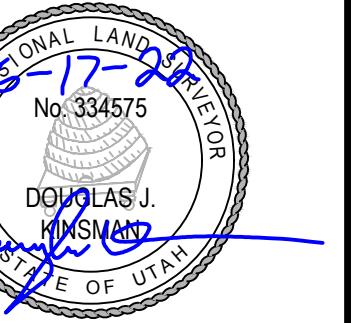
thence South 0°27'51" West 1306.87 feet following extremely close with an existing property line fence;

thence North 89°53'58" West 43.86 feet;

thence North 89°42'04" West 43.20 feet;

thence South 0°27'51" West 160.49 feet to the Point of Beginning.

Parcel contains: 247.968 square feet, or 5.69 acres. (3 Lots)



PROFESSIONAL LAND SURVEYOR
No. 334575
DOUGLAS J. KINSMAN
LIC. NO. 334575
E. OF UTAH

JUNE 17 2022

Date
Douglas J Kinsman
License no. 334575

OWNER'S DEDICATION

Known all men by these present that the undersigned are the owner(s) of the herein described tract of land and hereby cause the same to be divided into lots and streets together with easements as set forth hereafter to be known as:

CLOWARD COURT SUBDIVISION

The undersigned owner(s) hereby dedicate to Grantsville City all those parts or portions of said tract of land on said plat designated herein as streets, the same to be used as public thoroughfares forever. The undersigned owner(s) also hereby convey to Grantsville City and to all public utility companies providing service to the herein described tract a perpetual, perpetual non-exclusive easement over the streets, public utility, and drainage easements shown on this plat, the same to be used for the drainage and the installation, maintenance and operation of public utility service lines and facilities. The undersigned owner(s) also convey any other easements shown on this plat to the parties indicated and for the purposes shown herein.

In witness whereof I / we have hereunto set my / our hand this _____ day of _____ A.D. 20_____.

By: Tony L. Cloward Trustee of the Tony L. Cloward and Nicole Cloward Living Trust Dated December 22, 2016

By: Nicole Cloward Trustee of the Tony L. Cloward and Nicole Cloward Living Trust Dated December 22, 2016

INDIVIDUAL ACKNOWLEDGMENT

STATE OF UTAH
County of TOOELE

On the _____ day of _____ A.D. 20_____

personally appeared before me, the undersigned Notary public, in and for said County of _____ in said State of Utah, who after being duly sworn, acknowledged to me that He/She/They signed the Owner's Dedication, _____ in number, freely and voluntarily for the purposes therein mentioned.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC RESIDING IN _____ COUNTY

INDIVIDUAL ACKNOWLEDGMENT

STATE OF UTAH
County of TOOELE

On the _____ day of _____ A.D. 20_____

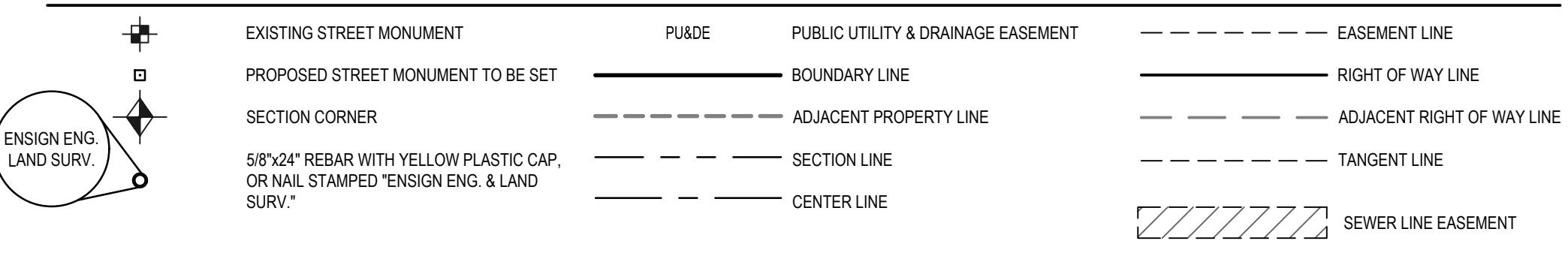
personally appeared before me, the undersigned Notary public, in and for said County of _____ in said State of Utah, who after being duly sworn, acknowledged to me that He/She/They signed the Owner's Dedication, _____ in number, freely and voluntarily for the purposes therein mentioned.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC RESIDING IN _____ COUNTY

LEGEND

CITY PLANNER APPROVAL	
APPROVED THIS _____ DAY OF _____ 20_____ BY THE GRANTSVILLE CITY PLANNER	
GRANTSVILLE CITY PLANNER	



TOOELE COUNTY TREASURER	
I HEREBY CERTIFY THAT PROPERTY TAXES DUE AND OWING HAVE BEEN PAID IN FULL THIS DAY OF _____ 20_____ FOR PARCEL NO. _____	
TOOELE COUNTY TREASURER	

CITY MAYOR APPROVAL	
APPROVED THIS _____ DAY OF _____ 20_____ BY THE GRANTSVILLE CITY MAYOR	
GRANTSVILLE CITY MAYOR	ATTEST: GRANTSVILLE CITY RECORDER

CITY ATTORNEY'S APPROVAL	
APPROVED THIS _____ DAY OF _____ 20_____ BY THE GRANTSVILLE CITY ATTORNEY	
GRANTSVILLE CITY ATTORNEY	



TOOELE
169 North Main Street Unit 1
Tooele, Utah 84074
Phone: 435.843.4074
Fax: 435.578.0108
www.ensigneng.com

SALT LAKE CITY
Phone: 801.255.0529
LAYTON
Phone: 801.547.1100
CEDAR CITY
Phone: 435.865.1453
RICHFIELD
Phone: 435.896.2983

RECORDED # _____
STATE OF UTAH, COUNTY OF TOOELE, RECORDED AND FILED AT THE
REQUEST OF _____
DATE: _____ TIME: _____
FEES: _____
TOOELE COUNTY RECORDER

CITY FIRE DEPARTMENT APPROVAL

APPROVED THIS _____ DAY OF _____ 20_____ BY THE GRANTSVILLE CITY FIRE DEPT.	
GRANTSVILLE CITY FIRE CHIEF	

GRANTSVILLE CITY PUBLIC WORKS APPROVAL	
APPROVED THIS _____ DAY OF _____ 20_____ BY THE GRANTSVILLE CITY PUBLIC WORKS	
GRANTSVILLE CITY PUBLIC WORKS DIRECTOR	

PLANNING COMMISSION APPROVAL	
APPROVED THIS _____ DAY OF _____ 20_____ BY THE GRANTSVILLE CITY PLANNING COMMISSION	
CHAIR, GRANTSVILLE CITY PLANNING COMMISSION	

COUNTY SURVEY DEPARTMENT	
APPROVED THIS _____ DAY OF _____ 20_____ BY THE TOOELE COUNTY SURVEY DEPARTMENT	
RECORD OF SURVEY FILE # 2009-0070	
TOOELE COUNTY SURVEY DEPT. DIRECTOR	GRANTSVILLE CITY ENGINEER DATE

ENGINEER'S CERTIFICATE	
I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.	
DEVELOPER RE/MAX 713 EAST MAIN STREET GRANTSVILLE, UT 84074 435-241-0410	SHEET 1 OF 1 PROJECT NUMBER: 9700A MANAGER: D. KINSMAN DRAWN BY: J. CID CHECKED BY: D. KINSMAN DATE: 6/17/22



CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION

SCOPE OF WORK:

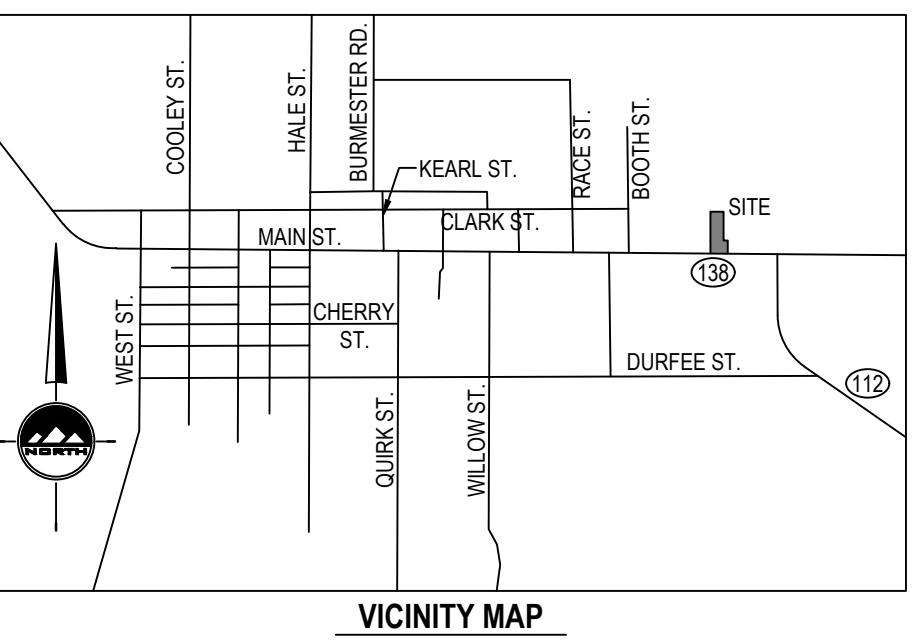
SCOPE OF WORK: PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① 6" SDR-35 PVC SANITARY SEWER LATERAL, INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACING, PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS. LENGTH AND SLOPE PER PLAN.
- ② CONNECT TO EXISTING SEWER MAIN PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ③ 1" CULINARY WATER METER PER APWA STANDARD PLAN NO. 521 AND SPECIFICATIONS.

GENERAL NOTES

GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
4. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
6. DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
7. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
8. THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
9. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
10. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
11. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.



VICINITY MAP

NOT TO SCALE

UTILITIES DO NOT NEED TO BE APPROVED IN PRELIMINARY PLANS

IF THE SEWER LATERALS CAN
NOT BE SEPARATED, THEN A
MAINTENANCE AGREEMENT
IS REQUIRED BETWEEN THE
PROPERTIES

PROVIDE SEPARATE
WATER AND SEWER
SERVICES FOR EACH LOT

SHOW EXISTING UTILITIES

CLOWARD COURT SUBDIVISION

713 EAST MAIN STREET
GRANTSVILLE, UTAH

For Review
06/17/2022 12:42:26 PM

SITE / UTILITY PLAN

PROJECT NUMBER	PRINT DATE
9700A	2022-06-17
DRAWN BY	CHECKED BY
J.CID	D.KINSMAN

PROJECT MANAGER
D.KINSMAN

C 10

C 100

A horizontal graphic scale with a circular 'NORTH' indicator and a 0-40 ft scale. The scale is marked at 0, 20, and 40. A checkered pattern is visible on the left side of the scale. The text 'HORIZONTAL GRAPHIC SCALE' is centered above the scale. Below the scale, the text '(IN FEET)' is in parentheses, and 'HORZ: 1 inch = 40 ft.' is written below it.

A horizontal graphic scale diagram. It features a horizontal line with tick marks. The first tick mark is labeled '0'. The second tick mark is labeled '20'. The third tick mark is labeled '40'. Below the line, there is a black and white checkered pattern. A vertical line extends from the '0' tick mark down to the checkered pattern. Another vertical line extends from the '40' tick mark down to the checkered pattern. Below the checkered pattern, the text '(IN FEET)' is written in parentheses. Below that, the text 'HORZ: 1 inch = 40 ft.' is written.

C-100

AGENDA ITEM #6

Discussion on Concept Plan for Mike Wagstaff and Tru Real Estate Investments, LLC for property located at 360 West and 374 West Apple Street and 339 West Main Street

GRANTSVILLE CITY ZONING DEPARTMENT

429 EAST MAIN STREET
GRANTSVILLE, UTAH 84029
PHONE (435) 884-3411
FAX (435) 884-0426

Concept
Application Fee:
\$50.00

Turn in with Plat
Map 15 days
before P&Z
Meeting

DATE PAID 06/16/2022

HEARING DATE 08/04/2022

CONCEPT PLAN APPLICATION

Date of Application 7/27/2022

Property Location 360 W Apple St, 374 W Apple St, and 339 W Main St

Property Owner(s) TRU REAL ESTATE INVESTMENTS, LLC - Brad Lancaster

E-Mail michaeldalewagstaff@gmail.com

Acting Agent Name Mike Wagstaff

Owner Phone 435.720.4119 Agent Phone 801.910.3375

Subdivision Name Grantsville Station

Number of Acres in Subdivision ~5.5 Acres

Total Number of Lots 1 Commercial and 78 Residential

Lot Sizes _____

Current Zoning of Property MU Parcel Number 01-097-0-0009, 01-097-0-0026,
01-097-0-0027



Signature of Owner or Agent



SITE FEASIBILITY PLAN OPTION

2

PR11

1" = 50'-0"

ADDRESS: 335 W MAIN (MU)
374 W APPLE ST. (MU)
360 W APPLE ST. (MU)

TOTAL ACREAGE: 5.96 ACRES (259,746 SF)

CURRENT ZONE:

ZONE: MU (MIXED USE DISTRICT)

SETBACKS:

- FRONT: 20'
- SIDE: 7.5'
- REAR: 20'

MAX BUILDING HEIGHT: 2 STORIES / 35 FEET

MAX DENSITY: 10/ACRE

LANDSCAPING REQUIREMENT: 25%

MINIMUM DWELLING SIZE: 900SF

MAX UNITS: 60

CONDITIONAL:

MAX BUILDING HEIGHT: 3 STORIES / 35 FEET

MAX DENSITY: 15/ACRE

LANDSCAPING REQUIREMENT: SPECIAL CONSIDERATION/ ARCHITECTURAL DESIGN THAT FITS SCALE

MAX UNITS: 89

78,

OPTION 2

PARKING:

RETAIL OPT.	= 48 STALLS
4.1 STALL PER 1,000 GROSS SF RETAIL SPACE X 11,760 SF	2 STALLS

GENERAL OFFICE OPT.	= 33 STALLS
2.8 STALL PER 1,000 GROSS SF GEN. OFFICE SPACE X 11,760 SF	2 STALLS

MEDICAL/DENTAL OFFICE OPT.	= 48 STALLS
1.1 STALL PER 1,000 GROSS SF MED. OFFICE SPACE X 11,760 SF	2 STALLS

MULTI-UNIT DWELLING	= 117 STALLS
1.5 STALL PER DWELLING UNIT (78)	

BUILDING:

COMMERCIAL - 1 BUILDING

ACCESORY - 1 BUILDING

6-PLEX - 1 BUILDING

4-PLEX - 3 BUILDINGS

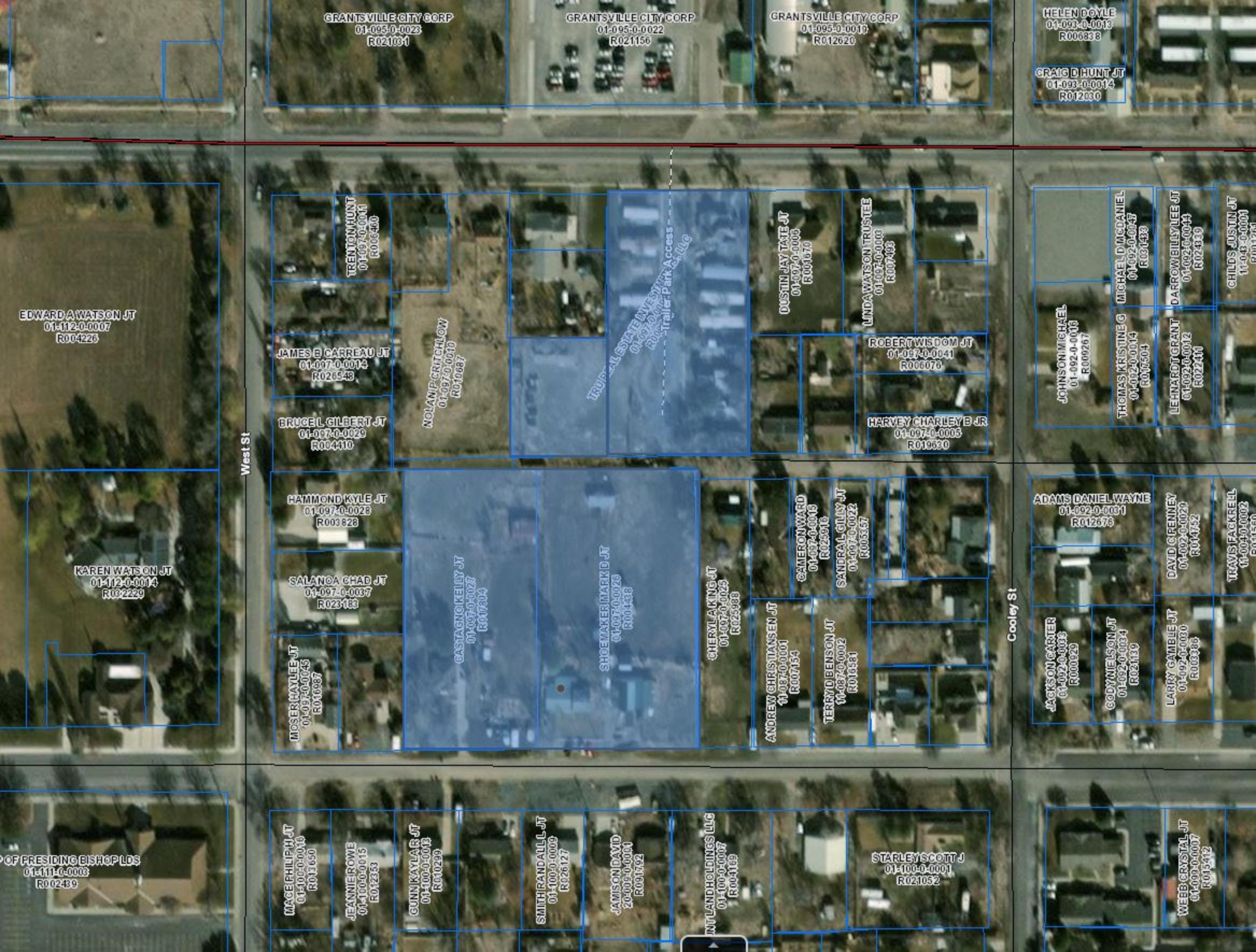
TOTAL UNITS - 78

LANDSCAPING:

91,288 SF - 31% COVERAGE

PROVIDED PARKING:

- 64 STALLS
- 150 GARAGE STALLS



LEGEND
Future Land Use
Designations

Ensuring that the land and the proposed land-uses within the community are utilized to meet a unified community vision or goal is the first and often most important responsibility of a general plan. outlined on this map is the proposed Future land use map for the City of Grantsville:

Commercial

(A variety of commercial, retail, office and light industrial associated with a retail presence fronting street with special approval)

Mixed-Use Density

(A mixture of commercial/retail and residential uses, allowing up to 10 units per acre where surrounding uses are compatible. Heights are limited to two stories or a maximum of 35' above grade at street. Three stories above grade at street and/or 15 units per acre may be approved with special considerations of landscaping, buffering and architectural design that fit the scale of the surrounding properties in the zone.)

High Single Family Density Residential
(Residential uses, allowing a maximum of 6 dwelling units per acre)

Medium Density Residential

(Residential uses, allowing a maximum of 3 dwelling units per acre)

Low Density Residential
(Residential use, allowing a maximum of 2 dwelling units per acre)

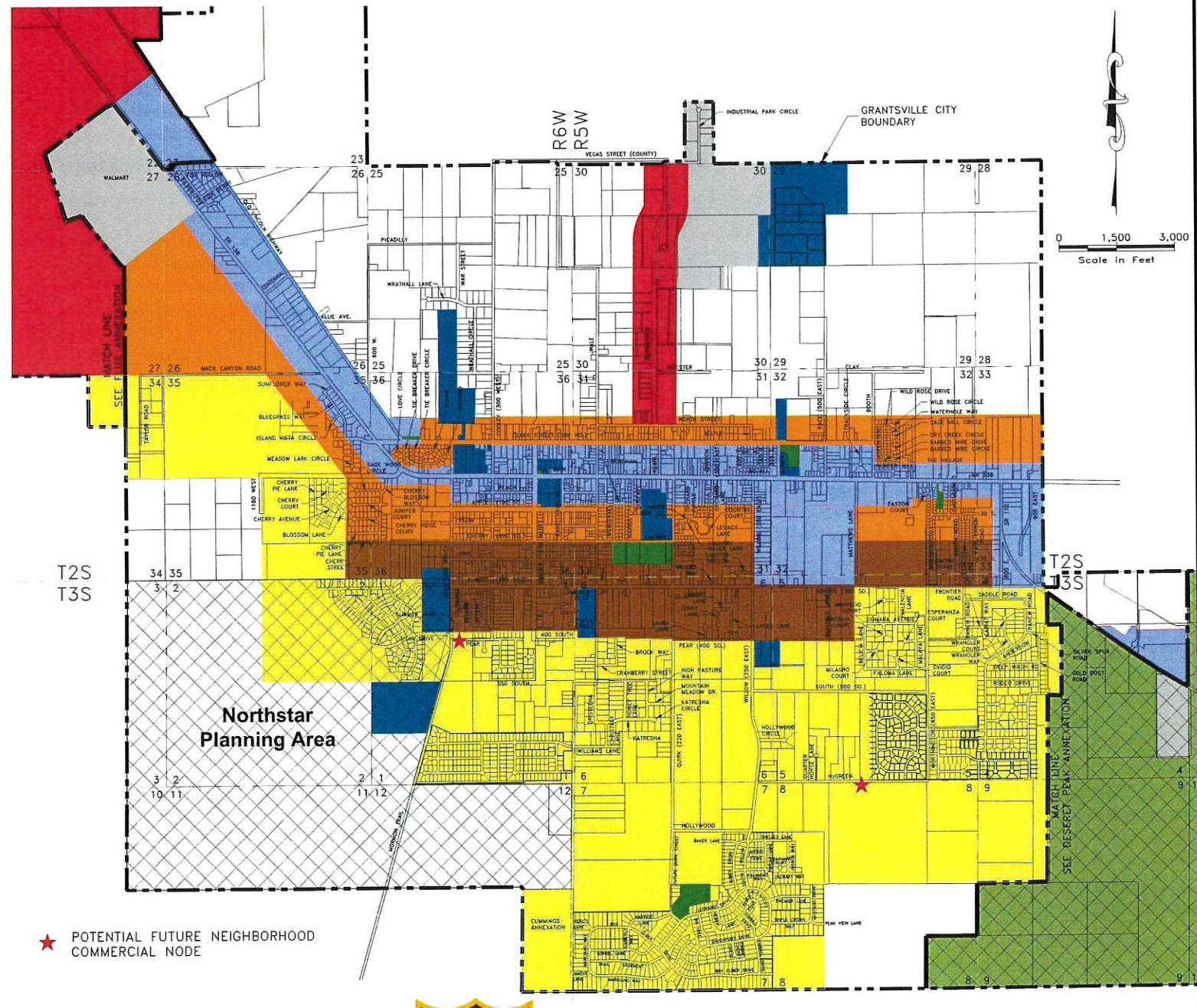
Rural Residential - 1
(Residential use with applicable rural land uses, allowing 1 dwelling unit per one to ten acres)

Rural Residential 2
(Residential use with applicable rural land uses, allowing 1 dwelling unit per five to ten acres)

Industrial
(Allowing industrial, light industrial and mining)

Municipal/School: This land use designates city-owned school district owned property serving a public purpose.

Parks & Open Space: Designates public parks, open space and recreational areas.



GRANTSVILLE CITY

FUTURE LAND USE MAP

CITY CENTER

ADOPTED JANUARY 15, 2020



R6W
R5W

The purpose of designated Planning Areas is to foster a joint working relationship between the City and the landowner(s) of large parcels or groups of parcels 500 acres or greater, to create a Master Plan for the area with a balance of uses beneficial to both the development and the surrounding community adequately addressing the potential impacts on transportation, utility, and other public services and amenities.

AGENDA ITEM #7

Discussion regarding amendments to
Chapter 19 Sensitive Area District
establishing a proposed boundary

PROPOSED BOUNDARY FOR THE SENSITIVE AREA DISTRICT OVERLAY

The Grantsville Land Use Development and Management Code, Chapter 19 Sensitive Area District, SA, "is to designate and describe those areas within the municipality that possess physical and/or environmental characteristics which require special public consideration of use applications which might affect the structure of the land; the management of surface or subsurface water; safety of future land occupants due to increased fire, earthquake, or storm hazards from proposed development; or the uneconomic extensions of public facilities and services. Of specific concern is the development in flood prone areas, earthquake zones, landslide areas, areas of steep slope or unstable soils, wetlands, and other sensitive areas requiring careful assessment prior to alteration."

In accordance with this Code the following area is hereby designated and described as the Sensitive Area District for the City of Grantsville;

The area is to be bounded by the following described line;

Starting at the Southwest corner of the Grantsville City limits, thence North and East along the City limits to the Northeast corner of the City limits, thence South along the Eastern City limits to the Southern City limits, thence West to a point directly South of the intersection between SR112 and SR138, thence North to a point directly in line with the projection of Clark Street, thence West along the projected and existing centerline of Clark street to the intersection with West Street, thence South along West Street and Mormon Trail to the South City limits, thence West to the point of beginning.

This area may be extended to include any future annexation of land.

This area has slopes greater than 30%, sensitive soils, collapsible soils, existing storm drain channels, springs, wetlands, creeks, wildlife habitat, other natural features, and areas beyond the current economical limits of Grantsville City's public facilities and services that require special management and protection measure be addressed and provide for in any future use of these lands.

Chapter 19 Sensitive Area District, SA

19.1 Purpose And Intent

19.2 Conditional Uses

19.3 Artificial Obstructions Within A Floodway Prohibited

19.4 Permissible Uses Within Floodways

19.5 Construction Within Floodways And Floodplains Restricted

19.6 Setbacks From Streams Outside Designated Floodplains

19.7 Natural Drainage System Utilized To Extent Feasible

19.1 Purpose And Intent

(1) The purpose of the SA Sensitive Area District is to designate and describe those areas within the municipality that possess physical and/or environmental characteristics which require special public consideration of use applications which might affect the structure or the land; the management of surface or subsurface water; safety of future land occupants due to increased fire, earthquake, or storm hazards from the proposed development; or, the uneconomic extension of public facilities and services. Of specific concern is development in flood-prone areas, earthquake zones, landslide areas, areas of steep slope or unstable soils, wetlands, and other sensitive areas requiring careful assessment prior to alteration.

(2) It is the intent of these regulations to permit the widest possible latitude in the use of property, while at the same time requiring design solutions which will avoid detrimental impacts on sensitive natural areas, as well as provide protection from adverse natural forces and hazards.

19.2 Conditional Uses

(1) The SA Sensitive Area District is an overlay district whose sole effect is to require additional review of proposed uses in the underlying districts. To this end, any permitted use in a district overlaid by an SA District, with the exception of those uses permitted in Section 19.2 above, is a conditional use. Conditional uses authorized in districts overlaid by the SA District remain conditional uses, and those use prohibited in the underlying the SA District shall also be prohibited in the SA District.

19.3 Artificial Obstructions Within A Floodway Prohibited

(1) No artificial obstruction shall be located within any floodway, except as provided in Section 19.4. For the purpose of this Chapter, an artificial obstruction is any obstruction, other than a natural obstruction, that is capable of reducing the water carrying capacity of a stream. A natural obstruction includes any rock, tree, gravel, or analogous natural matter that is an obstruction and has been located within the floodway by a nonhuman cause.

19.4 Permissible Uses Within Floodways

(1) No permit to make use of land within a floodway may be issued unless the proposed use is listed as permissible both in the underlying zoning district regulations and the following list:

- (a) General farming, pasture, outdoor plant nurseries, horticulture, forestry, wildlife sanctuary, game farm, and other similar agricultural, wildlife, and related uses;
- (b) Ground-level loading areas, parking areas, rotary aircraft ports, and other similar ground-level area uses;
- (c) Lawns, gardens, play areas, and other similar uses; and

(d) Golf courses, tennis courts, driving ranges, archery ranges, picnic grounds, parks, hiking or horseback riding trails, open space, and other similar private and public recreational uses.

19.5 Construction Within Floodways And Floodplains Restricted

(1) No subdivision, planned unit development, building permit or conditional use permit shall be issued for any development within a floodplain until the Zoning Administrator has reviewed the plans of the development to assure that:

- (a) The proposed development is consistent with the need to minimize flood damage;
- (b) The area has had an evaluation by the U. S. Army Corp of Engineers to determine a classification as a wetlands;
- (c) All public utilities and facilities such as water, sewer, gas electrical, and water systems are located and constructed to minimize or eliminate flood damage;
- (d) Adequate drainage is provided to minimize or reduce exposure to flood hazards;
- (e) All necessary permits have been received from those agencies from which approval is required by federal and state law; and
- (f) A geological survey establishes fifty (50) and one hundred (100) year flood levels,

(2) No building shall be constructed and no addition to an existing building shall take place within any floodway. Mobile home parks that are nonconforming because they are located within a floodway, shall be allowed to place mobile homes in such parks only if they comply with Chapter 10.

(3) No new residential building shall be constructed and no substantial improvement of a residential building may take place within any floodplain unless the lowest floor (including basement) of the building or improvement is elevated to, or above the base flood level. Other structures shall comply with the following:

- (a) Residential accessory structures shall be allowed within floodplains provided that they are firmly anchored to prevent flotation; and
- (b) Anchoring of any accessory buildings shall be done by bolting the building to a concrete slab or by over-the-top ties. When bolting to a concrete slab, one-half inch bolts, six (6) feet on center with a minimum of two per side shall be required. If over-the-top ties are used, a minimum of two ties with a force adequate to secure the building is required.

(4) No new residential building shall be constructed and no substantial improvements of a nonresidential building shall take place within any floodplain unless the lowest floor (including basement) of the building or improvement is elevated or flood proof to, or above the base flood level. Where flood proofing is used in lieu of elevation, a registered professional engineer or architect shall certify that any new construction or substantial improvement has been designed to withstand the flood depths, pressure, velocities, impact, and uplift forces associated with the base flood at the location of the building and that the walls below the base flood level are substantially impermeable to the passage of water.

(5) For purposes of this Section, "substantial improvement" means for a building constructed prior to the effective date of this chapter, any repair, reconstruction, addition, or improvement of a building the cost of which equals or exceeds fifty (50) percent of the market value of the structure either:

- (a) before the improvement or repair is started; or
- (b) if the structure has been damaged and is being restored, before the damage occurred.

(6) "Substantial improvement" occurs when the first alteration on any wall, ceiling, floor, or other structural part of the building commences, whether or not that alteration affects the external dimensions of the building. The term shall not, however, include either:

- (a) any project for improvement of a structure to comply with existing state or local health, sanitary, or safety code specifications that are solely necessary to insure safe living conditions; or
- (b) any alteration of a building listed on the National Register of Historic Places or a State Inventory of Historic Places.

(7) No building permit or conditional use permit shall be issued for any development within a floodplain until the Building Inspector has reviewed the plans to assure that any new construction or substantial improvements shall be:

- (a) Designed (or modified) and adequately anchored to prevent flotation collapse, or lateral movement of the structure;
- (b) Constructed with materials and utility equipment resistant to flood damage; and
- (c) Constructed by methods and practices that minimize flood damage.

(8) Notwithstanding any other provision of this chapter, no mobile home shall be located or relocated within that portion of the floodplain outside of the floodway, unless the following criteria is met:

- (a) Ground anchors for tie downs are provided in accordance with Chapter 10 of this ordinance;
- (b) The following tie-down requirements are met:
 - i) Over the top ties are required at each of the four corners of the mobile home, with one additional tie per side at an intermediate location, for mobile homes less than fifty (50) feet long. Two additional ties per side are required for mobile homes more than fifty (50) feet long;
 - ii) Frame ties are required in conjunction with each over-the top tie; and
 - iii) All components of the anchoring must be capable of carrying a force of 4,800 pounds;
- (c) Lots or pads are elevated on compacted fill or by any other method approved by the Building Inspector so that the lowest habitable floor of the mobile home is at or above the base flood level;
- (d) Adequate surface drainage and easy access for mobile home hauler is provided; and
- (e) Load-bearing foundation supports such as piers or pilings shall be placed in accordance with Chapter 10 of this code, except that if the support height is greater than seventy two (72) inches, the support must contain steel reinforcement.

(9) Whenever any portion of a floodplain is filled in with dirt, slopes shall be adequately stabilized to withstand the erosive force of the base flood.

19.6 Setbacks From Streams Outside Designated Floodplains

(1) In any area that is located outside a designated floodplain but where a stream is located, no building or fill may be located within a distance of the stream bank equal to five times the width of the stream at the top of the bank or twenty (20) feet on each side, whichever is greater, or outside of the one hundred (100) year flood area if a geological survey has been conducted.

19.7 Natural Drainage System Utilized To Extent Feasible

(1) To the extent practicable, all development shall conform to the natural contours of the land and natural and preexisting man-made drainage ways shall remain undisturbed. Drainage shall be directed to on-site containment and flow from there to the natural contours of the land.

AGENDA ITEM #8

Approval of Minutes from Planning and
Zoning Commission Meeting held
07/21/2022

AGENDA ITEM #9

Report from City Council Liaison Mayor
Critchlow

AGENDA ITEM #10

Adjourn