



JULY 28, 2022

PLANNING COMMISSION MEETING 6:00 P.M.

City Council Chambers
217 East Center Street
Moab, Utah 84532

1. 6:00 P.M. Call To Order

2. Citizens To Be Heard

To have your comments considered for the Citizens to Be Heard portion of the electronic meeting, please fill out the form found here:

[HTTPS://DOCS.GOOGLE.COM/FORMS/D/E/1FAIPQLSECP3KYU0F_F8J6J5ROFAEUPTNKW938GR8DVWEOJJH-AQFNGA/VIEWFORM?VC=0&C=0&W=1](https://docs.google.com/forms/d/e/1FAIPQLSECP3KYU0F_F8J6J5ROFAEUPTNKW938GR8DVWEOJJH-AQFNGA/VIEWFORM?VC=0&C=0&W=1)

You must submit your comments by 5:00 pm on the day of the meeting. Please limit your comments to 400 words

3. Approval Of Minutes

3.1. Approval Of Minutes: Moab City Planning Commission Special Meeting Minutes Draft 06.09.2022

Possible action

Documents:

[MIN-PC-2022-06-09 DRAFT 072822.PDF](#)

4. Action Item

4.1. Proposed Planning Resolution No. 06-2022: A Resolution Amending The City Of Moab Planning Commission Bylaws To Reduce The Number Of Planning Commissioners From Seven (7) To Five (5) Members, Update Resolution Number For Article 1, Section 1.1(D) - General Provisions Regarding Adopted Rules Of Procedure For Planning Commission Meetings, Amend Language To Require The Majority Of The Planning Commission Body For Voting Approval, And Adjust Minor Formatting Issues.

Briefing and possible action

Documents:

[PLANNING RESOLUTION NO. 06-2022 PC AGENDA SUMMARY 07.28.2022.PDF](#)

[EXHIBIT 1_MOAB CITY PLANNING COMMISSION BYLAWS - REDLINE 072822.PDF](#)

[EXHIBIT 2_PLANNING RESOLUTION 06-2022 PLANNING COMMISSION BYLAWS AMENDMENT 072822.PDF](#)

4.2. Proposed Planning Resolution No. 07-2022: A Resolution Replacing The Moab Planning Commission Resolution No. 2018-01, A Resolution Adopting Rules Of Procedure For Planning Commission Meetings, To Remove Language Referring To Closed Session Procedure And Amend Language To Require The Majority Of The Planning Commission Body For Voting Approval.

Briefing and possible action

Documents:

[PLANNING RESOLUTION NO. 07-2022 PC AGENDA SUMMARY 07.28.2022.PDF](#)

[EXHIBIT 1_PLANNING RESOLUTION NO. 2018-01 - REDLINE 072822.PDF](#)

[EXHIBIT 2_ORDINANCE NO. 2022-12 REDUCTION OF PC BODY.PDF](#)

[EXHIBIT 3_PLANNING RESOLUTION 06-2022 PLANNING COMMISSION BYLAWS AMENDMENT_AWAITING FINAL APPROVAL 072822.PDF](#)

[EXHIBIT 4_PLANNING RESOLUTION 07-2022 CITY RESOLUTION NO. 2018-01 REPLACEMENT](#)

072822.PDF

PLANNING COMMN RULES OF PROCEDURE2 WITH ACCEPTED REDLINE (1) 072822.PDF

- 4.3. Proposed Planning Resolution No. 08-2022: A Resolution Approving The Level II Site Plan Application For The 2x3 Townhome & Condominium Project On Property Located At 175 South 300 East, Moab UT 84532

Briefing and possible action

Documents:

2X3 TOWNHOMES SITE PLAN PC AGENDA SUMMARY 07.28.2022.PDF

EXHIBIT 1_2X3 TOWNHOMES VICINITY MAP.PDF

EXHIBIT 2_2X3 TOWNHOMES_PROJECT NARRATIVE.PDF

EXHIBIT 3_2X3 TOWNHOMES SITE PLAN DRAWINGS 06.29.2022.PDF

EXHIBIT 4_LANDSCAPING SITE PLAN 2X3 TOWNHOMES.PDF

EXHIBIT 5_RENDERINGS 2X3 TOWNHOMES.PDF

EXHIBIT 6 PLANNING RESOLUTION 08-2022 2X3 TOWNHOMES SITE PLAN_DRAFT 072822.PDF

5. Discussion Item

- 5.1. Future Land Use Code Amendments And City Initiatives, Including: Possible Landscaping Code Amendments, Possible Outdoor Lighting Code Amendments, Possible Subdivision Code Amendments, Possible Planned Unit Developments Code Amendment, And Review Of Identified Code Discrepancies List

Discussion

6. Future Agenda Items

7. Adjournment

Special Accommodations:

In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the Recorder's Office at 217 East Center Street, Moab, Utah 84532; or phone (435) 259-5121 at least three (3) working days prior to the meeting.

Check our website for updates at: www.moabcity.org

**MOAB CITY PLANNING COMMISSION
SPECIAL MEETING MINUTES--DRAFT
June 9, 2022**

Call to Order:

The Moab City Planning Commission held its regularly scheduled meeting on the above date. Staff and Planning Commission Members participated electronically with the City Council Chambers serving as an anchor location. Planning Commission Chair Kya Marienfeld called the Meeting to order at 6:03 p.m. Planning Commission Members Ruben Villalpando-Salas, Jill Tatton, Jessica O'Leary and Jeremy Lynch were in attendance. City Council Liaison Luke Wojciechowski, City Planner Cory Shurtleff and Planning and Zoning Administrator Anna Anglin also attended. Audio is archived at www.utah.gov/pmn and video is archived at www.youtube.com/watch?v=nLzfKgGpF38.

Citizens to Be Heard: There were no Citizens to Be Heard.

Approval Of Minutes:

Commission Member Lynch moved to approve Minutes of the May 12 and May 26, 2022 Regular Meetings. Commission Member Villalpando-Salas seconded the motion. The motion passed unanimously with Commission Members Villalpando-Salas, Lynch, Marienfeld, O'Leary and Tatton voting aye.

Conduct of Hearings—Public Hearing

Planner Shurtleff explained Proposed **Ordinance 2022-09**: an ordinance amending the Moab Municipal Code, Section 17.72.150, Conduct Of Hearings, to repeal notice requirements as applicable to open and public meetings and to make necessary changes. He explained that, after a legal review, the standards were subject to code updates and amendments. Commission Chair Marienfeld opened the public hearing at 6:10 p.m. There were no comments. Commission Chair Marienfeld closed the public hearing at 6:10 p.m.

Conduct of Hearings—Approved

Motion: Commission Chair Marienfeld moved to forward a positive recommendation to City Council regarding Proposed **Ordinance 2022-09**: an ordinance amending the Moab Municipal Code, Section 17.72.150, Conduct Of Hearings, to repeal notice requirements as applicable to open and public meetings and to make necessary changes. Commission Member Patton seconded the motion.

Discussion: Commission Member Villalpando-Salas asked about the process and expectations for future code revisions.

Vote: The motion passed unanimously with Commission Members Villalpando-Salas, Lynch, Marienfeld, O'Leary and Tatton voting aye.

Abandoned Sewer Main Easement—Public Hearing

Planner Shurtleff explained the need for relinquishment of an abandoned sewer main easement as described in Proposed **Ordinance 2022-10**: an ordinance approving relinquishment of the abandoned sewer main easement on property located at 315 N Main Street, Moab UT 84532. Commission Chair Marienfeld opened the public hearing at 6:21 p.m. There were no comments. Commission Chair Marienfeld closed the public hearing at 6:21 p.m.

Abandoned Sewer Main Easement—Approved

Discussion: Commission Member Villalpando-Salas asked about existing infrastructure within the easement and whether the City would await landowners to pursue abandonment of future

easements.

Motion and Vote: Commission Member Villalpando-Salas moved to approve a positive recommendation regarding Proposed **Ordinance 2022-10**: an ordinance approving relinquishment of the abandoned sewer main easement on property located at 315 N Main Street, Moab UT 84532. Commission Member O'Leary seconded the motion. The motion passed unanimously with Commission Members Villalpando-Salas, Lynch, Marienfeld, O'Leary and Tatton voting aye.

Future Agenda Items:

Planner Shurtleff announced forthcoming changes to the Planning Commission bylaws, specifically regarding the membership of the Planning Commission. He also noted that increased staffing in the Planning Department enables staff to work on several code amendments and planning modalities that have long been inactive. Shurtleff also noted several plats and plans slated for future agendas.

Commission Members noted upcoming planned absences.

Adjournment: Commission Chair Marienfeld adjourned the meeting at 6:32 p.m.

DRAFT

Moab Planning Commission Agenda Item
Planning Resolution No. 06-2022
Meeting Date: July 28, 2022

Title: Consideration and Possible Approval of Planning Resolution No. 06-2022, A Resolution Amending the City of Moab Planning Commission Bylaws to Reduce the Number of Planning Commissioners from Seven (7) to Five (5) Members, Update Resolution Number for Article 1, Section 1.1(d) – General Provisions Regarding Adopted Rules of Procedure for Planning Commission Meetings, Amend Language to Require the Majority of the Planning Commission Body for Voting Approval, and Adjust Minor Formatting Issues.

Disposition: Discussion and Possible Action

Staff Presenter: Cory P. Shurtleff, Planning Director

Attachment(s):

Exhibit 1: Moab City Planning Commission Bylaws - Redline

Exhibit 2: Planning Resolution 06-2022 Amendment of Planning Commission Bylaws

Options:

1. Approve the Planning Resolution as written;
2. Continue or table action to a later meeting with specific direction to City Staff as to additional information needed to decide; or
3. Deny the Planning Resolution, giving specific findings for decision.

Recommended Motion: I move that the City of Moab Planning Commission Approve Planning Resolution No. 06-2022, A Resolution Amending the City of Moab Planning Commission Bylaws to Reduce the Number of Planning Commissioners from Seven (7) to Five (5) Members, Update Resolution Number for Article 1, Section 1.1(d) – General Provisions Regarding Adopted Rules of Procedure for Planning Commission Meetings, Amend Language to Require the Majority of the Planning Commission Body for Voting Approval, and Adjust Minor Formatting Issues.

Background:

In an effort to provide efficient and productive Planning and Zoning services from Moab City, it was determined that the reduction of Planning Commission members from seven (7) to five (5) members and subsequent adjustment to the Planning Commission's Rules of Procedure in regards to voting majority following this reduction would be the most appropriate course of action. With these minor changes, the Planning Commission would prove to be more effective. This allows for the review, discussion, and approval/denial of proposed developments and projects to move forward in a more useful and efficient manner.

Summary of Amendment(s):

The 2018 Planning Commission Bylaws will be rewritten to reflect the following changes:

- Reflect five (5) Planning Commissioners Members instead of seven (7);

- Update Language referring to an outdated Resolution regarding Planning Commission Rules of procedure;
- Reflect requirement of majority Planning Commission body voting procedure; and
- Fix minor formatting issues

MOAB CITY PLANNING COMMISSION BYLAWS

6/87/28/2022

PURPOSE

These policies and procedures are designed and adopted for the purpose of providing guidance and direction to the members of the Moab City Planning Commission in the performance of their duties. The Planning Commission shall be governed by the provisions of all applicable State statutes, City ordinances, and these rules. Nothing in these rules shall be interpreted to provide an independent basis for invalidating or in any way altering a final decision of the Commission.

ARTICLE 1 – GENERAL PROVISIONS

The Moab City Planning Commission, hereinafter referred to as the “Commission,” shall be governed by the following statutes, ordinance, and rules:

- 1.1 Applicable State Statutes, Local Ordinances and Rules. To the extent that they remain in force and in effect and as they may be amended from time to time, the Commission and its members shall be governed by state statutes and local ordinances and policies including the following:
 - a. State statutes applying to public boards, members, and officials.
 - b. State statutes governing the activities of Municipal Planning Commissions.
 - c. The Moab City General Plan and Moab Municipal Code Book and other applicable ordinances and regulations approved by the Moab City Planning Commission or Moab City Council.
 - d. The adopted Rules of Procedure for Planning Commission Meetings. (Resolution #~~2018-0607-2022~~)
 - e. The rules and policies of the commission as set forth herein.
- 1.2 Familiarity with State Statutes, Local Ordinance, and Rules Affecting the Commission. Upon taking office, all members of the Commission shall familiarize themselves with the applicable statutes, ordinances and rules, and, while in office, shall maintain such knowledge, including knowledge of amendments and additions, and shall be strictly governed thereby in the conduct of Commission affairs.
- 1.3 Number of Commission Members and duration of term. The number of Planning Commission members shall be ~~seven~~-five (57) and they shall serve for a term of three (3) years.

ARTICLE 2 – POWERS AND DUTIES

The Commission shall have the following powers and duties:

- a. To prepare or cause to be prepared a General Plan, or elements thereof, and to recommend the General Plan, or elements, to the Moab City Council;
- b. To prepare or cause to be prepared amendments to such plan and elements thereof and to recommend the amendments to the Moab City Council;

- c. To review and make recommendations to the Moab City Council with regard to amendments to the General Plan Land Use and Zoning Map;
- d. To initiate, review and make recommendations to the Moab City Council on applications for amendments to the zoning text of the Moab Municipal Code to promote health, safety and welfare;
- e. To hear, review and recommend approval or disapproval of applications where required by the Moab Municipal Code in accordance with the rules and regulations established by the Moab City Council, or to approve certain development applications when specifically authorized by the Moab City Council; and
- f. To adopt by-laws, policies, procedures and regulations for the conduct of its meetings, the consideration of application for development approval, and for any other purposes deemed necessary for the function of the Commission.

ARTICLE 3 – CONDUCT OF COMMISSION MEMBERS

- 3.1. Ethical Principles. The following ethical principles shall guide the actions of the Commission and its members in carrying out the powers and duties described above:
 - a. Serve the Public Interest. The primary obligation of the Commission and each member is to serve the public interest.
 - b. Support Citizen Participation in Planning. The Commission shall ensure a forum for meaningful citizen participation and expression in the planning process, and assist in the clarification of community goals, objectives and policies.
 - c. Avoid Conflicts of Interest. Commission members shall avoid conflicts of interest and even the appearance of impropriety. A commissioner with a potential conflict of interest shall make the interest public, abstain from voting on the matter, not participate in any deliberations on the matter, and leave any chamber in which such deliberations are to take place. The commissioners shall also not discuss the matter privately with any other official voting on the matter.
 - d. Render Thorough and Diligent Planning Service. If a commissioner has not sufficiently reviewed relevant facts and advice affecting a public planning decision, that commissioner should not participate in that discussion.
 - e. Not Disclose or Improperly Use Confidential Information for Financial Gain. A commissioner shall not disclose or improperly use confidential information for financial gain, and must not disclose to others confidential information acquired in the course of his/her duties, or use it to further a personal interest.
 - f. Ensure Full Disclosure at Public Meetings. The Commission shall ensure that the presentation of information on behalf of any party to a planning question occurs only at the scheduled public meeting on the question, not in private, unofficially, or with other

interested parties absent, and must make partisan information regarding the question received by mail, telephone, or any other communication, part of the public record.

g. Respect for and Courtesy to Other Commission Members, Public and Staff. Each commission member has the same rights and privileges as any other member. Any commissioner has the right to be heard and to hear what others have to say about items being considered by the Commission.

3.2 Representation of Applicants or Petitioners. No member of the Commission shall represent applicants or petitioners on matters on which the Commission is to make determinations or recommendations.

3.3 Ex-parte Communications. Pre-arranged private meetings between a commissioner and an individual(s) and their agents, or other interested parties with a matter pending before the Commission are prohibited. Partisan information on any application received by a Commissioner, whether by mail, telephone, or other communication should be avoided. When such communication does occur it must be made part of the public record by the commissioner.

3.4 Attendance. Each commissioner shall be responsible for attending at least seventy-five percent of the regularly scheduled meetings within the calendar year. Should circumstances arise where a Commissioner is unable to attend a schedule meeting, the commissioner shall be responsible for notifying the Planning Department as soon as possible. Commissioners who fail to attend seventy-five percent of the meetings shall be removed from the Commission.

ARTICLE 4 – MEETINGS AND ORGANIZATION

4.1 Regular Meetings. Regular meetings of the Commission shall be scheduled at least twice a month unless there are mitigating circumstances, such as lack of a quorum, lack of items to be discussed, holidays and other circumstances.

4.2 Citizen Planner Workshop. All Commissioners are required to attend a minimum of one (1) citizen planner workshop trainings conducted by the Utah League of Cities and Towns. All commissioners shall attend a second training offered by any of the following: Utah Chapter of the American Planning Association, the Utah Land Use Institute, or other acceptable urban planning or planning law conference.

4.3 Special Meetings, Work Sessions and Field Trips. Special meetings, work sessions and field trips for any purpose may be held at the call of the chair, the Moab City Council or the Planning Department. Work session and field trip meetings shall be for the discussion and informational purposes only; no action shall be taken on any item.

4.4 Open to the Public. All regular, special, work session and field trip meetings of the Commission are open to the public and will be noticed in accordance with the requirements of The Open and Public Meetings Act.

4.5 Membership. The Commission shall consist of ~~five~~^{seven} (57) members selected from the public at large and form a representative sample of the community. Members shall serve for terms not to exceed three (3) years in length.

- 4.6 Officers. At an annual meeting to be held at the first regular meeting at the commencement of each calendar year, the members of the Commission shall elect one (1) of its members as Chair and one (1) as Vice Chair. In the absence of the Chair, the Vice Chair shall act as Chair and shall have all powers of the Chair. If both the Chair and Vice Chair are absent or unable to preside over the meeting, the commission members present shall appoint an Acting Chair to preside. If the Chair leaves the Commission during an appointed term, the Vice Chair shall succeed to the office of Chair for the remainder of the term. If the Vice Chair leaves the Commission or succeeds to office of the Chair, the Commission, at its next regularly scheduled meeting, shall hold an election to fill the vacancy of the Vice Chair.
- 4.7 Role of the Chair. The Chair shall be in charge of all proceedings before the Commission, and shall take such action as shall be necessary to preserve order and the integrity of all proceedings before the Commission. Whenever the Chair rules a motion out of order, the Chair shall explain why it is so, and advise the mover of corrections needed to make the motion in order.

ARTICLE 5 – PROCEDURES

5.1 Quorum and Necessary Vote. No regular or special meeting of the Commission at which action may be taken may be called to order, or items voted upon, by the Commission without a quorum consisting of at least ~~four~~ three (3) members of the Commission being present. ~~A majority of the Commission members then present and voting is required for final action. Unless otherwise provided by law, all matters brought for action before the Commission shall be deemed approved by an affirmative vote of the majority of the Commission body, including the Chairperson.~~ A quorum is not required to hold a work session or field trip, so long as notice is given in accordance with The Open and Public Meetings Act.

~~5.2 All meetings shall be conducted in accordance with the~~

~~5.3.2~~ Forms and Procedures of Decisions and Motions. Robert’s Rules of Order Newly Revised, may be used by the Chair as a general guide.

~~5.4.3~~ Motions. Any Commissioner, including the Chair, may make or second a motion.

- a. Motions should be supported by reasons. The person making the motion is encouraged to state the reasons and finding(s) supporting the motion at the time the motion is made. Any conditions for approval shall be stated. The motion may refer to the staff report for detail of the conditions for approval if the person making the motion desires to do so.
- b. Motions may be repeated for clarification following discussion and prior to the vote at the request of any Commissioner.
- c. Planning Commission may request legal advice from the City Attorney in the preparation, discussion and deliberation of motions and findings in support of any motion.

~~5.5.4~~ Voting. All Commission members, including the Chair, are entitled to vote. No Commission member shall discuss or vote on any matter deciding an application or petition except after attending the public meeting(s) and/or hearing(s) on the matter and listening to all testimony presented. A member may qualify to participate in further discussion and vote on the matter by examining the evidence and reviewing the record of the meeting(s) and/or hearing(s) at which the member was absent.

5-65.5 Rules of Order. In accordance with these rules, the Chair shall decide all points of procedure and order unless otherwise directed by a majority vote of the members in attendance.

5-75.6 Conduct During Public Hearings. During all meetings and hearings, persons providing testimony shall proceed without interruption except that of the Commission. All comments, arguments and pleadings shall be addressed to the Chair. There shall be no debate or argument between individuals. The Chair shall maintain order and decorum, and, to that end, may order removal of disorderly or disruptive persons.

ARTICLE 6 – AMENDING BY-LAWS

6.1 Amending By-Laws. These by-laws may be amended by a majority vote of the Commission, except where such amendments would be contrary to the requirements or limitations set forth by State Law or Moab Municipal Code. An amendment may be proposed at any regular meeting of the Commission. Member shall receive a copy of the proposed or amended by-laws not less than one week prior to the meeting at which said proposed changes shall be heard.

ARTICLE 7 – ELECTRONIC PARTICIPATION

7.1 Electronic Meetings Authorized. Moab City Planning Commissioners, and/or City staff may participate in an electronic meeting of the Planning Commission as provided in this section. All actions taken at an electronic meeting held in compliance with this section are valid and binding to the same extent as if all participants had been physically present at the anchor location.

7.2 Definitions. The definitions in the Utah Code Annotated 5-24-103, the Open and Public Meetings Act, shall apply to this section with the addition of the following definitions:

“Anchor location” means the Moab City Council Chambers, or any other physical location where a meeting is held and from which the electronic meeting originates.

“Elected officials” means the Moab City Councilmembers and Mayor.

“Remote location” means any place, other than the anchor location, where a Councilmember, the Mayor, or City staff may be located, and where meeting participants can establish real-time audio and/or video telecommunication access to the meeting.

7.3 Quorum for Electronic Meetings.

a. As otherwise defined in this chapter, a majority of the Planning Commission constitutes a quorum for the transaction of business. A quorum of the Planning Commission must be present to convene an electronic meeting but need not be present at the anchor location. Elected officials and/or City staff may participate in an electronic meeting from a remote location.

b. Planning Commission members participating in an electronic meeting from a remote location shall be considered present and are authorized to vote and otherwise participate in the meeting as if they were present at the anchor location.

- c. In the event of an equipment failure, or other similar event which causes an interruption of communication with a remote location, the Planning Commission has discretion to either: (a) act on the matters up for consideration on its agenda provided that a quorum is still present; or (b) continue the matter to a subsequent meeting.

7.4 Procedures for Electronic Meetings.

- a. Notice of any electronic meeting of the Planning Commission shall be given in the same manner as provided for all other Planning Commission meetings except that the notice shall indicate the meeting will be electronic and shall comply with Utah Code Annotated 52-4-207(3)(b) which requires: “notice of the electronic meeting to the members of the public body at least 24 hours before the meeting so that they may participate in and be counted as present for all purposes, including the determination that a quorum is present; and a description of how the members will be connected to the electronic meeting.”
- b. Meeting procedures for electronic meetings of the Planning Commission shall be the same for nonelectronic meetings, except as noted below.
- c. Planning Commissioners and City staff shall be connected in such a manner that comments made by them will be broadcasted to the public. The Recorder will take a verbal roll-call for members present. The presiding officer shall allow remote participants to participate in the discussion to the same extent as if they were present at the anchor location.
- d. Matters called to a vote in an electronic meeting shall be via roll-call vote, and Planning Commissioners participating from a remote location must state their name and their vote audibly when asked by the Recorder.

CITY OF MOAB PLANNING RESOLUTION NO. 06-2022

A RESOLUTION AMENDING THE CITY OF MOAB PLANNING COMMISSION TO REDUCE THE NUMBER OF PLANNING COMMISSIONERS FROM SEVEN (7) TO FIVE (5) MEMBERS, UPDATE RESOLUTUION NUMBER FOR ARTICLE 1, SECTION 1.1(d) – GENERAL PROVISIONS REGARDING ADOPTED RULES OF PROCEDURE FOR PLANNING COMMISSION MEETINGS, AMEND LANGUAGE TO REQUIRE THE MAJORITY OF THE PLANNING COMMISSION BODY FOR VOTING APPROVAL, AND ADJUST MINOR FORMATTING ISSUES

WHEREAS, the Moab Planning Commission Bylaws were last revised on February 20, 2018; and

WHEREAS, the 2018 Bylaws are hereby rewritten to:

- Reflect five (5) Planning Commissioners Members instead of seven (7);
- Update Language referring to an outdated Resolution regarding Planning Commission Rules of procedure;
- Reflect requirement of majority Planning Commission body voting procedure; and
- Fix minor formatting issues

NOW, THEREFORE, BE IT RESOLVED BY THE MOAB PLANNING COMMISSION, the proposed amendments to the Moab Planning Commission By-Laws are hereby APPROVED, attached as Exhibit 1.

PASSED AND APPROVED in open meeting of the Planning Commission by a majority vote of the Governing Body of Moab Planning Commission on July 28, 2022.

SIGNED: _____
Kya Marienfeld, Chair

Moab Planning Commission Agenda Item
Planning Resolution No. 07-2022
Meeting Date: July 28, 2022

Title: Consideration and Possible Approval of Planning Resolution No. 07-2022, A Resolution Replacing the Moab Planning Commission Resolution No. 2018-01, A Resolution Adopting Rules of Procedure for Planning Commission Meetings, to Remove Language Referring to Closed Session Procedure and Amend Language to Require the Majority of the Planning Commission Body for Voting Approval

Disposition: Discussion and Possible Action

Staff Presenter: Cory P. Shurtleff, Planning Director

Attachment(s):

Exhibit 1: Moab Planning Commission Resolution No. 2018-01, A Resolution Adopting Rules of Procedure for Planning Commission Meetings

Exhibit 2: Moab City Ordinance No. 2022-12, An Ordinance Amending Moab Municipal Code, Section 2.52.010, Establishment – Composition, to Reduce the Number of Planning Commission Members from Seven (7) to Five (5) Members

Exhibit 3: Planning Resolution No. 06-2022, A Resolution Amending the City of Moab Planning Commission Bylaws to Reduce the Number of Planning Commissioners from Seven (7) to Five (5) Members, Update Resolution Number for Article 1, Section 1.1(d) – General Provisions Regarding Adopted Rules of Procedure for Planning Commission Meetings, Amend Language to Require the Majority of the Planning Commission Body for Voting Approval, and Adjust Minor Formatting Issues

Exhibit 4: Planning Resolution 07-2022 Amendment of Planning Commission Bylaws

Options:

1. Approve the Planning Resolution as written;
2. Continue or table action to a later meeting with specific direction to City Staff as to additional information needed to decide; or
3. Deny the Planning Resolution, giving specific findings for decision.

Recommended Motion: I move that the City of Moab Planning Commission Approve Planning Resolution No. 06-2022, A Resolution Amending the City of Moab Planning Commission Bylaws to Reduce the Number of Planning Commissioners from Seven (7) to Five (5) Members, Update Resolution Number for Article 1, Section 1.1(d) – General Provisions Regarding Adopted Rules of Procedure for Planning Commission Meetings, Amend Language to Require the Majority of the Planning Commission Body for Voting Approval, and Adjust Minor Formatting Issues.

Background:

In an effort to provide efficient and productive Planning and Zoning services from Moab City, it was determined that the reduction of Planning Commission members from seven (7) to five (5) members and subsequent adjustment to the Planning Commission's Rules of Procedure in regards to voting majority following this reduction would be the most appropriate course of

action. With these minor changes, the Planning Commission would prove to be more effective. This allows for the review, discussion, and approval/denial of proposed developments and projects to move forward in a more useful and economical manner.

Summary of Amendment(s):

The 2018 Planning Commission Bylaws will be rewritten to reflect the following changes:

- Reflect five (5) Planning Commissioners Members instead of seven (7);
- Update Language referring to an outdated Resolution regarding Planning Commission Rules of procedure;
- Reflect requirement of majority Planning Commission body voting procedure; and
- Fix minor formatting issues

**~~CITY OF MOAB~~ PLANNING RESOLUTION NO. ~~2018-0107-2022~~, A RESOLUTION
ADOPTING RULES OF PROCEDURE FOR PLANNING COMMISSION MEETINGS**

The following describes the intent and purpose of this resolution:

- a. Utah Code Annotated § 10-9a-301 requires that a municipality adopt planning commission rules of procedure and order to govern public meetings. The City of Moab has additionally enacted ordinances which create the Planning Commission and specify the matters that are within its jurisdiction.
- b. The City of Moab finds that it is proper from time to time to adopt and revise rules of procedure so that public meetings before boards and commissions are conducted in a fair, orderly, and efficient manner.
- c. Pursuant to Moab Municipal Code Section 2.52.050 the Planning Commission has authority to enact rules governing the transaction of its business.
- d. These rules are adopted to provide advisory guidelines for the conduct of public meetings and public hearings before the Moab Planning Commission.

Therefore, the City of Moab Planning Commission enacts as follows:

1. **Quorum.** The number of Planning Commission members required to be present to constitute a quorum for a meeting shall be three.
2. **Chairperson.** The members of the Planning Commission shall elect a Chairperson from within their members. The Chairperson shall serve a term of one year, and may serve multiple or successive terms. The Chairperson shall call the meeting to order at the time scheduled, and is charged with preserving order at the meeting and conducting the meeting in conformity with the agenda, applicable ordinances, and these rules. If the Chairperson is not present the remaining members shall designate one person to serve as the Chairperson pro tempore.
3. **Convening the Meeting; Workshops,** Regular meetings shall be scheduled in advance by resolution of the Commission and adopted on an annual basis. Special meetings may be called from time to time by action of any two Planning Commission members or by the Planning Director.
 - a. Planning Commission meeting may be preceded by an informal workshop, at which time the Commission can ask questions or receive input from staff and others on agenda items or other matters. Workshops may be conducted informally. No final action shall be taken on any item during a workshop.
4. **Citizens to be Heard.** At every regular meeting of the Commission there shall be an agenda item allowing citizens to address the Commission on the subject of any land use matter of public concern which is not identified on the agenda for action. The Commission shall not take final action on any matter discussed during the citizens to be heard portion of the agenda, but Commission members may ask questions, give directions to staff, or ask that a matter be brought back for formal action at a later meeting.

- a. To ensure equity and avoid the appearance of favoritism, comments by members of the public during the citizens to be heard portion of the agenda shall be limited to a maximum of three minutes per individual, unless otherwise directed by the Chairperson.
 - b. In order to ensure that all present feel comfortable expressing their views, and that the free speech rights of all individuals are respected, members of the public who are present but not currently speaking shall not engage in outward displays of support or opposition to those speaking at the citizens to be heard portion of the meeting. Persons who engage in disruptive conduct will be asked to leave the meeting.
5. **General Meeting Procedure; Consent Agenda.** Unless otherwise moved by the Commission, matters shall be considered in the order specified in the agenda. Where there are several routine or uncontested matters requiring approval, the Commission may elect to approve those items as a group under a consent agenda, and without extensive discussion. Any Commission member may request that any item to be removed from consideration under a consent agenda, in which case it will be reviewed individually.
 - a. All meetings should be conducted fairly and efficiently, and with respect for the participants. The Chairperson has discretion to conduct the meeting in a manner which is consistent with these goals.
6. **Review Procedure.** The Chairperson shall call an item up for discussion. The matter should typically be introduced by a member of the staff, who will outline the issues up for decision. The Chairperson may elect to call the applicant, and request that interested persons address the Commission on the matter under consideration. Commission members may ask questions of staff and proponents, and may review documents and information as necessary to understand the issue.
 - a. An applicant or member of staff may pull an item from consideration by delivering notice to the Chairperson prior to the commencement of the meeting. During the meeting the presiding officer should announce that the item has been pulled from the agenda.
7. **Manner of Acting.** To approve an item under consideration, a Commission member must move to approve the item, the motion must be seconded by another Commission member, and approved by a majority vote. In his/her discretion, the Chairperson may second a motion offered by another Commission member. In the absence of a second to a motion the motion fails.
 - a. Prior to voting Commission members may discuss or debate the motion to the extent they see fit. The Chairperson has discretion to limit lengthy debate and may call the question on any item as he/she sees fit.
 - b. At any time prior to voting, a moving Commission member may, without a second or vote, elect to withdraw the motion. A pending motion may be amended by offering an amendment by motion, which must be seconded. An amended motion offered prior to action on the primary motion shall be decided prior to voting on the original motion.
 - c. A motion to table an item or adjourn a meeting shall be acted upon without debate.
 - d. With respect to information requests to staff or similar routine items, the Commission may act informally or by consensus.
8. **Voting.** Unless otherwise provided by law, all matters brought for action before the Commission shall be deemed approved by an affirmative vote of ~~a majority of the Commission present and~~

~~voting, including the Chairperson, the majority of the Commission body.~~ In the case of a tie vote, the motion fails.

~~a. If the Commission wishes to enter into a closed session, as allowed by the Utah Open and Public Meetings Act, the decision to enter into a closed meeting must be preceded by an affirmative vote of 2/3 of the Commission, unless otherwise provided by law.~~

9. **Reconsideration.** Subject to applicable law, the Commission may elect to reconsider a matter which was previously acted upon. Reconsideration requires a motion, second, and affirmative vote of the majority. At the time of reconsideration the number of Commission members present must be equal to the number of Commission members present when the matter was first considered. Where reconsideration would have the effect of cancelling or abrogating a binding obligation of the City (such as rescinding a prior land use approval), the Chairperson shall require that the City Attorney provide a legal opinion to the Commission on the subject prior to any action on reconsideration.
10. **Conduct of Public Hearings.** By law the Commission is required to hold a public hearing prior to reaching a decision on certain adjudicatory or other matters. Public hearings are more formal than other proceedings, and shall be conducted in a manner which respects the due process rights of the applicant and all other participants. The following procedures shall apply to public hearings.
 - a. Where a staff report is generated prior to the public hearing the applicant shall be provided with a copy of the staff report a reasonable period of time prior to the public hearing.
 - b. At the public hearing the matter shall be introduced by staff, followed by testimony from the applicant. Interested persons shall then be given the opportunity to provide testimony for or against the matter. At the conclusion of testimony by interested persons the applicant shall be given the opportunity to offer rebuttal testimony.
 - c. Persons providing testimony will be requested to: i) identify themselves; ii) state clearly how the application would affect their interests; iii) state clearly their position on the matter under review; and iv) provide testimony, information, or data in support of their position. Unsupported argument or derogatory comments directed to the matter in question or the applicant are not useful to the Commission, and are discouraged.
 - d. Persons other than the applicant may only provide testimony once during a specific public hearing; this applies to hearings that are continued or postponed to future meetings. The Chairperson has discretion to limit the length of testimony or allocate the available time for the hearing to allow interested persons the opportunity to testify.
 - e. All testimony, evidence, documents, photographs, or other information received by the Commission shall be entered into the record of proceedings. The Commission has discretion to postpone action on a public hearing item, and it may continue to receive additional written comments or other evidence until such time as it closes the public hearing.
 - f. At the conclusion of the public hearing the Commission will consider the matter, and Commission members may engage in discussion and debate to the extent deemed necessary. Although the rules of evidence do not apply to public hearings, Commission

members have discretion to weigh the evidence and measure the credibility of the testimony in the manner that they see fit. Irrelevant or incompetent evidence should be disregarded.

- g. A final decision may be made in the manner provided for all other decisions, except that the Commission may: i) announce its findings in support of the decision orally on the record or; ii) give direction to staff to prepare a written order, permit, or decision consistent with the Commission findings, which the Commission may adopt or modify as it sees fit.

11. **Modification of these Rules.** To the extent these rules conflict with any other law or statute, the other law or statute shall prevail. The Commission or the Chairperson has discretion to modify these rules or the procedures under these rules to the extent necessary to accommodate the needs of a particular situation. The adoption of these rules shall not be deemed to confer any specific substantive or procedural rights upon any person participating at a Planning Commission hearing or meeting.

12. **Adjournment.** The Planning Commission may elect to adjourn a meeting without hearing all matters on the agenda if the meeting continues past 9:00 p.m. Matters not heard will be rescheduled on the next available agenda. The Commission may also adjourn at any time if disruptive conduct at a meeting prevents orderly action.

13. **Expulsion.** By majority vote the Planning Commission may elect to expel any person from a meeting where that person is engaged in disorderly, abusive, or criminal conduct during the meeting.

14. **Recusal.** Planning Commission members are subject to the provisions of the Municipal Officers and Employees Ethics Act, U.C.A. § 10-3-1301 et seq., as well as Moab Municipal Code § 2.28.130. Additionally, Planning Commission members must not engage in conduct which would have the effect of impairing the fundamental fairness of any matter which comes before the Commission for decision. If any Planning Commission member has a conflict of interest that person shall recuse him/herself to the extent provided by other ordinances or applicable law.

The foregoing is approved and adopted by majority vote of the Moab Planning Commission, as set forth below. This resolution shall take effect immediately.

By: _____
Chairperson _____ Date _____

Attest:

~~Jeff Reinhart~~ Cory Shurtleff, Planning Director _____ Date _____

-End of Document-

CITY OF MOAB ORDINANCE #2022-12

AN ORDINANCE AMENDING MOAB MUNICIPAL CODE, SECTION 2.52.010, ESTABLISHMENT—COMPOSITION, TO REDUCE THE NUMBER OF PLANNING COMMISSION MEMBERS FROM SEVEN (7) TO FIVE (5) MEMBERS


WHEREAS, the City has adopted Section 2.52.010 of the Moab Municipal Code, which establishes the composition of the City of Moab Planning Commission; and,

WHEREAS, the Moab City Council finds that updating the code to provide more efficient and productive Planning and Zoning services by reducing the number of Planning Commission members from seven (7) to five (5) members would assist in achieving quorum more effectively.

NOW THEREFORE, the Moab City Council hereby ordains that Section 2.52.010, Establishment—Composition be amended as displayed in Exhibit 2:

PASSED AND APPROVED by a majority of the City of Moab City Council. This ordinance shall take effect immediately upon passage.

SIGNED:



Joette Langianese, Mayor

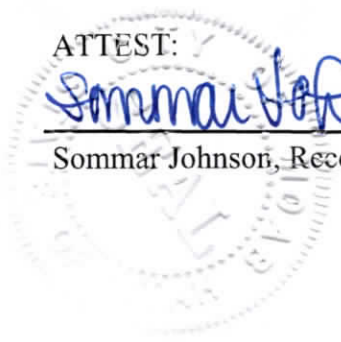
7/12/22

Date

ATTEST:



Sommar Johnson, Recorder



Chapter 2.52 PLANNING COMMISSION

Sections:

- 2.52.010 Establishment--Composition.
- 2.52.020 Appointment of members--Qualifications--Compensation.
- 2.52.030 Terms--Minimum attendance--Standards removal--Filling vacancies.
- 2.52.050 Organization--Meetings.
- 2.52.060 Powers and duties.

2.52.010 Establishment--Composition.

The Planning Commission shall consist of five (5) regular members. (Ord. 18-04 (part), 2018; Ord. 06-01 (part), 2006; prior code § 2-60)

2.52.020 Appointment of members--Qualifications--Compensation.

The members of the Planning Commission shall be appointed by the Mayor with the consent of the City Council from among the qualified electors of the City. Such members shall be selected without respect to political affiliations, and may serve with compensation to be determined by the City Council. (Ord. 18-04 (part), 2018; Ord. 06-01 (part), 2006; prior code § 2-61)

2.52.030 Terms--Minimum attendance--Standards removal--Filling vacancies.

The terms of office of each member of the Planning Commission shall be for three years. Planning Commission members must attend a minimum of seventy-five percent of all Planning Commission meetings held during the course of a calendar year in order to remain a member of the Planning Commission. This ongoing determination of attendance shall be conducted by planning department staff and forwarded to the chairperson of the Planning Commission, the City Manager and Mayor and City Council. Vacancies and/or removals occurring otherwise than through the expiration of terms shall be filled by appointment by the Mayor with the consent of City Council. Members may be removed, with or without cause, by a majority vote of City Council. (Ord. 18-04 (part), 2018; Ord. 95-18, 1995; prior code § 2-62)

2.52.050 Organization--Meetings.

The Planning Commission shall elect from its membership a chair and vice chair and shall conduct meetings in accordance with the adopted bylaws and rules of procedure for Planning Commission meetings. The City Recorder shall keep a public record of Planning Commission proceedings. (Ord. 18-04 (part), 2018: prior code § 2-64)

2.52.060 Powers and duties.

The Planning Commission shall have the following powers and duties:

- A. After holding public hearings, the Planning Commission may recommend to the City Council a General Plan for the physical development of the City. The General Plan shall show the Planning Commission recommendations and may include, among other things, the general location, character and extent of streets, parks, parkways, and other public places; the general location and extent of public utilities; recommendations for future zoning designations and land uses; recommendations for future land use policy initiatives and long term goals; plans for the development of additional housing; a future land use plan; and other elements as may be required by law (Utah State Code). The Planning Commission may from time to time review the General Plan and forward recommendations to the City Council for amendments or revisions.
- B. From time to time the Planning Commission may review the land use ordinances of the City and consider amendments to same. It may recommend amendments or new ordinances to the City Council, either on its own initiative or upon referral by the City Council or staff.
- C. The Planning Commission shall act as an advisory body, reviewing and making recommendations to the City Council with respect to those land use applications or proceedings as otherwise specified by ordinance. Additionally, the Planning Commission shall act as the land use authority on those matters specified by ordinance.
- D. In its discretion, the Planning Commission may recommend that staff undertake studies or may recommend to the Mayor and City Council programs or policies for the improvement of land development within the City.
- E. The Planning Commission may exercise those additional powers as are reasonable or necessary to carry out and perform the enumerated powers and duties specified above. (Ord. 18-04 (part), 2018: prior code § 2-65)

The Moab Municipal Code is current through Ordinance 22-08, passed May 10, 2022.

Disclaimer: The City Recorder's Office has the official version of the Moab Municipal Code. Users should contact the City Recorder's Office for ordinances passed subsequent to the ordinance cited above.

Note: This site does not support Internet Explorer. To view this site, Code Publishing Company recommends using one of the following browsers: Google Chrome, Firefox, or Safari.

[City Website: moabcity.org](http://moabcity.org)

City Telephone: (435) 259-5121

[Code Publishing Company](#)

CITY OF MOAB PLANNING RESOLUTION NO. 06-2022

A RESOLUTION AMENDING THE CITY OF MOAB PLANNING COMMISSION TO REDUCE THE NUMBER OF PLANNING COMMISSIONERS FROM SEVEN (7) TO FIVE (5) MEMBERS, UPDATE RESOLUTION NUMBER FOR ARTICLE 1, SECTION 1.1(d) – GENERAL PROVISIONS REGARDING ADOPTED RULES OF PROCEDURE FOR PLANNING COMMISSION MEETINGS, AMEND LANGUAGE TO REQUIRE THE MAJORITY OF THE PLANNING COMMISSION BODY FOR VOTING APPROVAL, AND ADJUST MINOR FORMATTING ISSUES

WHEREAS, the Moab Planning Commission Bylaws were last revised on February 20, 2018; and

WHEREAS, the 2018 Bylaws are hereby rewritten to:

- Reflect five (5) Planning Commissioners Members instead of seven (7);
- Update Language referring to an outdated Resolution regarding Planning Commission Rules of procedure;
- Reflect requirement of majority Planning Commission body voting procedure; and
- Fix minor formatting issues

NOW, THEREFORE, BE IT RESOLVED BY THE MOAB PLANNING COMMISSION, the proposed amendments to the Moab Planning Commission By-Laws are hereby APPROVED, attached as Exhibit 1.

PASSED AND APPROVED in open meeting of the Planning Commission by a majority vote of the Governing Body of Moab Planning Commission on July 28, 2022.

SIGNED: _____
Kya Marienfeld, Chair

MOAB PLANNING RESOLUTION NO. 07-2022

A RESOLUTION REPLACING THE MOAB PLANNING COMMISSION RESOLUTION NO. 2018-01, A RESOLUTION ADOPTING RULES OF PROCEDURE FOR PLANNING COMMISSION MEETINGS, TO REMOVE LANGUAGE REFERRING TO CLOSED SESSION PROCEDURE AND AMEND LANGUAGE TO REQUIRE THE MAJORITY OF THE PLANNING COMMISSION BODY FOR VOTING APPROVAL

WHEREAS, the City of Moab Planning Commission adopted Resolution No. 2018-01, A Resolution Adopting Rules of Procedure for Planning Commission Meetings on March 8, 2018;

WHEREAS, the Moab City Council formally adopted Ordinance No. 2022-12, An Ordinance Amending Moab Municipal Code, Section 2.52.010, Establishment – Composition, to Reduce the Number of Planning Commission Members from Seven (7) to Five (5) Members on July 12, 2022;

WHEREAS, the City of Moab Planning Commission concurrently presented for approval, Resolution No. 06-2022, A Resolution Amending the City of Moab Planning Commission Bylaws to Reduce the Number of Planning Commissioners from Seven (7) to Five (5) Members, Update Resolution Number for Article 1, Section 1.1(d) – General Provisions Regarding Adopted Rules of Procedure for Planning Commission Meetings, Amend Language to Require the Majority of the Planning Commission Body for Voting Approval, and Adjust Minor Formatting Issues on July 28, 2022;

NOW, THEREFORE, BE IT RESOLVED BY THE MOAB PLANNING COMMISSION, the proposed Resolution No. 07-2022 is hereby APPROVED, attached as Exhibit 4.

PASSED AND APPROVED in open meeting of the Planning Commission by a majority vote of the Governing Body of Moab Planning Commission on July 28, 2022.

SIGNED: _____
Kya Marienfeld, Chair

**CITY OF MOAB RESOLUTION NO. 2018-01, A RESOLUTION ADOPTING RULES OF PROCEDURE
FOR PLANNING COMMISSION MEETINGS**

The following describes the intent and purpose of this resolution:

- a. Utah Code Annotated § 10-9a-301 requires that a municipality adopt planning commission rules of procedure and order to govern public meetings. The City of Moab has additionally enacted ordinances which create the Planning Commission and specify the matters that are within its jurisdiction.
- b. The City of Moab finds that it is proper from time to time to adopt and revise rules of procedure so that public meetings before boards and commissions are conducted in a fair, orderly, and efficient manner.
- c. Pursuant to Moab Municipal Code Section 2.52.050 the Planning Commission has authority to enact rules governing the transaction of its business.
- d. These rules are adopted to provide advisory guidelines for the conduct of public meetings and public hearings before the Moab Planning Commission.

Therefore, the City of Moab Planning Commission enacts as follows:

1. **Quorum.** The number of Planning Commission members required to be present to constitute a quorum for a meeting shall be three.
2. **Chairperson.** The members of the Planning Commission shall elect a Chairperson from within their members. The Chairperson shall serve a term of one year, and may serve multiple or successive terms. The Chairperson shall call the meeting to order at the time scheduled, and is charged with preserving order at the meeting and conducting the meeting in conformity with the agenda, applicable ordinances, and these rules. If the Chairperson is not present the remaining members shall designate one person to serve as the Chairperson pro tempore.
3. **Convening the Meeting; Workshops,** Regular meetings shall be scheduled in advance by resolution of the Commission and adopted on an annual basis. Special meetings may be called from time to time by action of any two Planning Commission members or by the Planning Director.
 - a. A Planning Commission meeting may be preceded by an informal workshop, at which time the Commission can ask questions or receive input from staff and others on agenda items or other matters. Workshops may be conducted informally. No final action shall be taken on any item during a workshop.
4. **Citizens to be Heard.** At every regular meeting of the Commission there shall be an agenda item allowing citizens to address the Commission on the subject of any land use matter of public concern which is not identified on the agenda for action. The Commission shall not take final action on any matter discussed during the citizens to be heard portion of the agenda,

but Commission members may ask questions, give directions to staff, or ask that a matter be brought back for formal action at a later meeting.

a. To ensure equity and avoid the appearance of favoritism, comments by members of the public during the citizens to be heard portion of the agenda shall be limited to a maximum of three minutes per individual, unless otherwise directed by the Chairperson.

b. In order to ensure that all present feel comfortable expressing their views, and that the free speech rights of all individuals are respected, members of the public who are present but not currently speaking shall not engage in outward displays of support or opposition to those speaking at the citizens to be heard portion of the meeting. Persons who engage in disruptive conduct will be asked to leave the meeting.

5. **General Meeting Procedure; Consent Agenda.** Unless otherwise moved by the Commission, matters shall be considered in the order specified in the agenda. Where there are several routine or uncontested matters requiring approval, the Commission may elect to approve those items as a group under a consent agenda, and without extensive discussion. Any Commission member may request that any item to be removed from consideration under a consent agenda, in which case it will be reviewed individually.

a. All meetings should be conducted fairly and efficiently, and with respect for the participants. The Chairperson has discretion to conduct the meeting in a manner which is consistent with these goals.

6. **Review Procedure.** The Chairperson shall call an item up for discussion. The matter should typically be introduced by a member of the staff, who will outline the issues up for decision. The Chairperson may elect to call the applicant, and request that interested persons address the Commission on the matter under consideration. Commission members may ask questions of staff and proponents, and may review documents and information as necessary to understand the issue.

a. An applicant or member of staff may pull an item from consideration by delivering notice to the Chairperson prior to the commencement of the meeting. During the meeting the presiding officer should announce that the item has been pulled from the agenda.

7. **Manner of Acting.** To approve an item under consideration, a Commission member must move to approve the item, the motion must be seconded by another Commission member, and approved by a majority vote. In his/her discretion, the Chairperson may second a motion offered by another Commission member. In the absence of a second to a motion the motion fails.

a. Prior to voting Commission members may discuss or debate the motion to the extent they see fit. The Chairperson has discretion to limit lengthy debate and may call the question on any item as he/she sees fit.

b. At any time prior to voting, a moving Commission member may, without a second or vote, elect to withdraw the motion. A pending motion may be amended by offering an amendment by motion, which must be seconded. An amended motion offered prior to action on the primary motion shall be decided prior to voting on the original motion.

c. A motion to table an item or adjourn a meeting shall be acted upon without debate.

d. With respect to information requests to staff or similar routine items, the Commission may act informally or by consensus

8. **Voting.** Unless otherwise provided by law, all matters brought for action before the Commission shall be deemed approved by an affirmative vote of a majority of the Commission present and voting, including the Chairperson. In the case of a tie vote, the motion fails.

a. If the Commission wishes to enter into a closed session, as allowed by the Utah Open and Public Meetings Act, the decision to enter into a closed meeting must be preceded by an affirmative vote of 2/3 of the Commission, unless otherwise provided by law.

9. **Reconsideration.** Subject to applicable law, the Commission may elect to reconsider a matter which was previously acted upon. Reconsideration requires a motion, second, and affirmative vote of the majority. At the time of reconsideration the number of Commission members present must be equal to the number of Commission members present when the matter was first considered. Where reconsideration would have the effect of cancelling or abrogating a binding obligation of the City (such as rescinding a prior land use approval), the Chairperson shall require that the City Attorney provide a legal opinion to the Commission on the subject prior to any action on reconsideration.

10. **Conduct of Public Hearings.** By law the Commission is required to hold a public hearing prior to reaching a decision on certain adjudicatory or other matters. Public hearings are more formal than other proceedings, and shall be conducted in a manner which respects the due process rights of the applicant and all other participants. The following procedures shall apply to public hearings.

a. Where a staff report is generated prior to the public hearing the applicant shall be provided with a copy of the staff report a reasonable period of time prior to the public hearing.

b. At the public hearing the matter shall be introduced by staff, followed by testimony from the applicant. Interested persons shall then be given the opportunity to provide testimony for or against the matter. At the conclusion of testimony by interested persons the applicant shall be given the opportunity to offer rebuttal testimony.

c. Persons providing testimony will be requested to: i) identify themselves; ii) state clearly how the application would affect their interests; iii) state clearly their position on the matter under review; and iv) provide testimony, information, or data in support of their

position. Unsupported argument or derogatory comments directed to the matter in question or the applicant are not useful to the Commission, and are discouraged.

d. Persons other than the applicant may only provide testimony once during a specific public hearing; this applies to hearings that are continued or postponed to future meetings. The Chairperson has discretion to limit the length of testimony or allocate the available time for the hearing to allow interested persons the opportunity to testify.

e. All testimony, evidence, documents, photographs, or other information received by the Commission shall be entered into the record of proceedings. The Commission has discretion to postpone action on a public hearing item, and it may continue to receive additional written comments or other evidence until such time as it closes the public hearing.

f. At the conclusion of the public hearing the Commission will consider the matter, and Commission members may engage in discussion and debate to the extent deemed necessary. Although the rules of evidence do not apply to public hearings, Commission members have discretion to weigh the evidence and measure the credibility of the testimony in the manner that they see fit. Irrelevant or incompetent evidence should be disregarded.

g. A final decision may be made in the manner provided for all other decisions, except that the Commission may: i) announce its findings in support of the decision orally on the record or; ii) give direction to staff to prepare a written order, permit, or decision consistent with the Commission findings, which the Commission may adopt or modify as it sees fit.

11. **Modification of these Rules.** To the extent these rules conflict with any other law or statute, the other law or statute shall prevail. The Commission or the Chairperson has discretion to modify these rules or the procedures under these rules to the extent necessary to accommodate the needs of a particular situation. The adoption of these rules shall not be deemed to confer any specific substantive or procedural rights upon any person participating at a Planning Commission hearing or meeting.

12. **Adjournment.** The Planning Commission may elect to adjourn a meeting without hearing all matters on the agenda if the meeting continues past 9:00 p.m. Matters not heard will be rescheduled on the next available agenda. The Commission may also adjourn at any time if disruptive conduct at a meeting prevents orderly action.

13. **Expulsion.** By majority vote the Planning Commission may elect to expel any person from a meeting where that person is engaged in disorderly, abusive, or criminal conduct during the meeting.

14. **Recusal.** Planning Commission members are subject to the provisions of the Municipal Officers and Employees Ethics Act, U.C.A. § 10-3-1301 et seq., as well as Moab Municipal Code § 2.28.130. Additionally, Planning Commission members must not engage in conduct which would have the effect of impairing the fundamental fairness of any matter which comes before

the Commission for decision. If any Planning Commission member has a conflict of interest that person shall recuse him/herself to the extent provided by other ordinances or applicable law.

The foregoing is approved and adopted by majority vote of the Moab Planning Commission, as set forth below. This resolution shall take effect immediately.

By: _____
Chairperson Date

Attest:

Jeff Reinhart, Planning Director Date

-End of Document-

Moab Planning Commission Agenda Item
Planning Resolution No. 08-2022
Meeting Date: July 28, 2022

Title: Consideration and Possible Conditional Approval of the Level II Site Plan for the 2x3 Townhomes & Condominiums Project on Property Located at 175 South 300 East, Moab UT 84532

Disposition: Discussion and Possible Action

Staff Presenter: Cory P. Shurtleff, Planning Director

Attachment(s):

- Exhibit 1: Vicinity Map
- Exhibit 2: Project Narrative
- Exhibit 3: 2x3 Townhomes Site Plan Drawings
- Exhibit 4: Landscaping Plan
- Exhibit 5: Renderings
- Exhibit 6: Planning Resolution No. 08-2022

Options:

1. Conditionally Approve the Site Plan Application;
2. Continue or table action to a later meeting with specific direction to City Staff and Applicant as to additional information needed to decide; or
3. Deny the Site Plan Application, giving specific findings for decision.

Recommended Motion: I move that the City of Moab Planning Commission Conditionally Approve the Level II Site Plan for the 2x3 Townhomes & Condominiums Project on Property Located at 175 S 300 E, Moab UT 84532, with the following condition:

1. All comments shall be addressed to the satisfaction of the Moab City Engineer, and Planning Director prior to Building Permit Application Approval. Comments include:
 - a. The project will need a Condominium and Townhome plat. The application should include CC&R's and HOA information according to state law.
 - b. Resubmitting a Lighting Plan indicating the changes required by the last DRT comment review which were: In response to the Applicant's comment on Sheet A105 regarding parking lot safety lighting and permitted lumen count, it has been determined that several fixtures are considered exempt (safety-related) from lumen count. This allows for more parking safety related light fixtures to be installed. With the removal of eight (8) Landscape Lighting LED Horizontal Step Lights at 68 lumen per fixture and thirteen (13) Vex LED Outdoor Wall Sconces at 199 lumens per fixture, the Applicant has an additional 3,131 lumens to assign to recommended parking lot safety lighting minimums.

Background:

The applicant, Courtney Kizer, initially submitted on behalf of the property ownership, Kyle Kaiser, the appropriate applications, and submittal materials for the Level II Site Plan on March 28, 2022. The Site Plan Application was reviewed by the Development Review Team (DRT) on

April 6, 2022. Following the response to DRT comments in the Resubmittal materials, submitted June 29, 2022, the DRT found the outstanding comments were sufficiently addressed. At this time the Site Plan Application has been submitted for review by the Moab City Planning Commission, on July 28, 2022.

Project Description:

Location: 175 S 300 E, Moab UT 84532

Property Owner: Kyle Kaiser

Applicant: Courtney Kizer

Parcel: 01-0B01-0004 (42,845.09 sf) (0.99 acres)

Zoning: R-3 Multi-Household Residential Zone

Proposed Use: Residential Multi-Household Apartments

Project Size: 8-Unit Townhomes and 13-Unit Condominium Multi-Household Apartment Development

Parking: 38 spaces

Narrative Summary:

Provided by Applicant:

Included in the attached files are documents pertaining to the demolition of an existing building and new construction of an 8-unit Townhome building and 13-unit Condo building on behalf of Kyle Kaiser at 200 E 300 S, Moab, UT 84532. The property is currently a vacated mobile home park. In accordance with the City of Moab LUC, the renovation of the property will maintain its function as a residential property but increase the number of units available to the community. There are 2 ADA and 20 standard surface parking spaces proposed. There are an additional 16 spaces in enclosed, dedicated townhome garages. Thus, a total of 38 spaces are provided.

The condominium building includes 10,800 SF of conditioned interior space, 650 SF of covered patio space & 2,500 SF of covered circulation.

The townhome building includes 15,200 SF of conditioned interior space, 3,700 SF of interior garages & 3,400 SF of outdoor patio space.

Two-way access to the site is provided from 200 East as well as 300 South.

Please let me know if there is any additional documentation you need in order to process our application.

Much appreciated,

Courtney Kizer, AIA, LEED BD&C, NCARB

Process: Site Plan Review

Section 17.67.050 of the Moab Municipal Code (MMC) regulates the Review Procedures for a Level II Site Plan Application. The Planning Commission acting as the Land Use Authority shall provide the approval of the submitted 2x3 Townhomes Site Plan Application based on the Approval Criteria identified in MMC Section 17.67.060.

17.67.050

D. Level II Applications. Level II applications shall first be reviewed by the DRT, which shall issue a staff report identifying recommendations for the project. The land use authority for Level II applications shall be the Planning Commission, which may approve, approve subject to conditions, or deny the application.

17.67.060

Approval criteria.

A. The following criteria govern site plan approval:-

- 1. Compliance with applicable Moab ordinances and building codes;*
- 2. Availability of necessary utilities, including culinary water, sewer, electricity, natural gas, and the like;*
- 3. Consistency of the design with Moab advisory documents; and*
- 4. Accuracy and truthfulness of submittals or representations in the application.*

B. Discretion to Grant Conditional Approval. The applicable land use authority has discretion to impose conditions during the review process that address: (1) deficiencies in the application; (2) performance of the design in providing efficient access, vehicle circulation, connectivity, pedestrian/nonmotorized vehicle access; (3) buffering of off-site impacts; (4) storm water management and flood damage prevention; (5) landscaping and architectural design; (6) utility design issues; and/or (7) other provisions of Moab ordinances or advisory documents.

C. Statement of Reasons in the Event of Denial. Where an application is denied, the land use authority shall provide a statement of reasons explaining the basis for its denial.

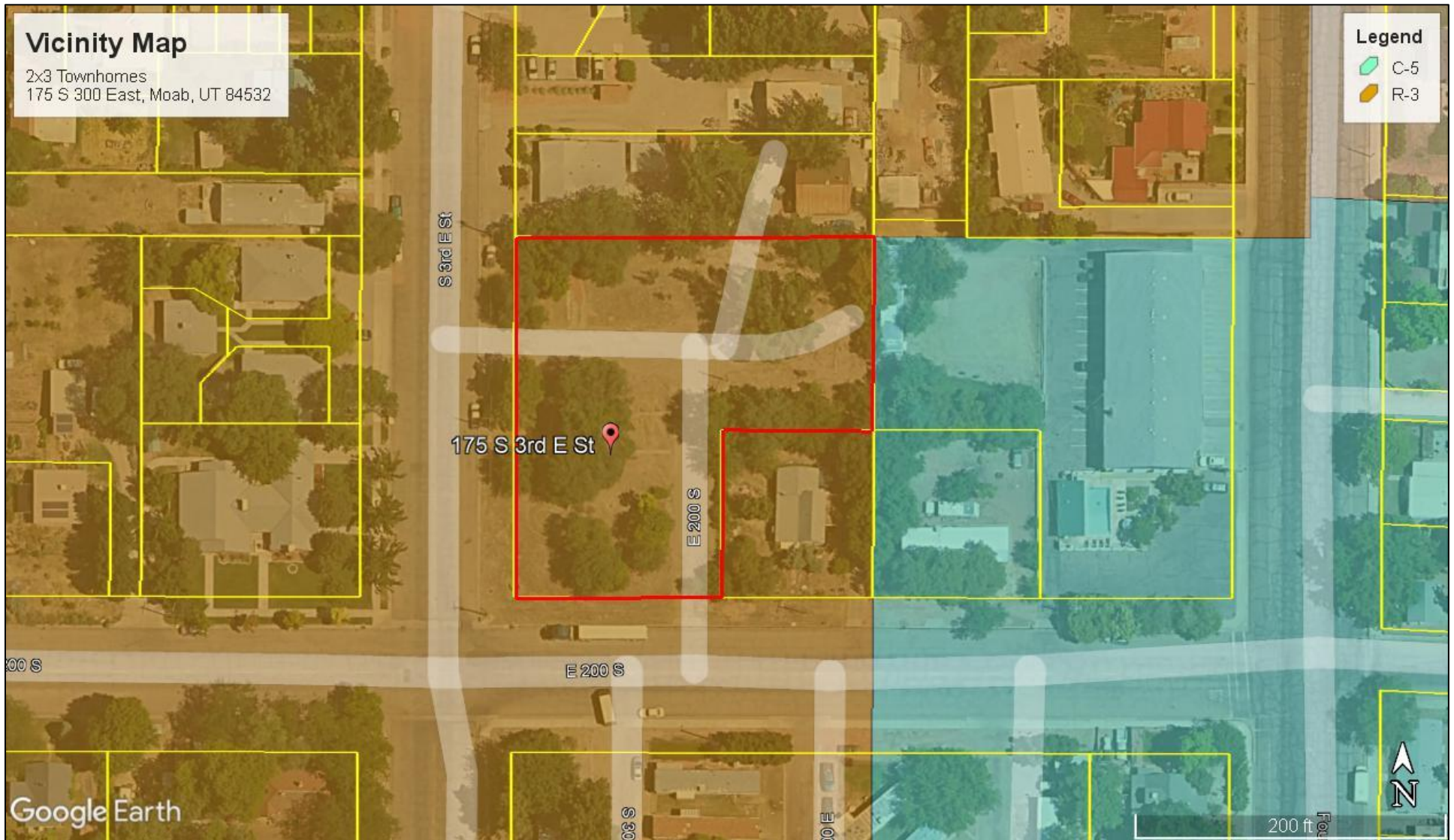


Exhibit 1: Vicinity Map for property located at 157 South 300 East, Moab, Utah 84532



Info@Arch-Squared.com
512.656.1745
301 S 400 E #209
Moab, Utah 84532

ARCHITECTURAL SQUARED

From: **Architectural Squared** <info@arch-squared.com>
Date: March 18, 2022
Subject: 2x3 Townhomes – New Construction Townhomes & Condominium
To: City of Moab Planning & Zoning

To whom it may concern-

Included in the attached files are documents pertaining to the demolition of an existing building and new construction of an 8 unit Townhome building and 13 unit Condo building on behalf of Kyle Kaiser at 200 E 300 S , Moab, UT 84532. The property is currently a vacated mobile home park. In accordance with the City of Moab LUC, the renovation of the property will maintain its function as a residential property but increase the number of units available to the community. There are 2 ADA and 20 standard surface parking spaces proposed. There are an additional 16 spaces in enclosed, dedicated townhome garages. Thus, a total of 28 spaces are provided.

The condominium building includes 10,800 SF of conditioned interior space, 650 SF of covered patio space & 2,500 SF of covered circulation.

The townhome building includes 15,200 SF of conditioned interior space, 3,700 SF of interior garages & 3,400 SF of outdoor patio space.

Two way access to the site is provided from 200 East as well as 300 South.

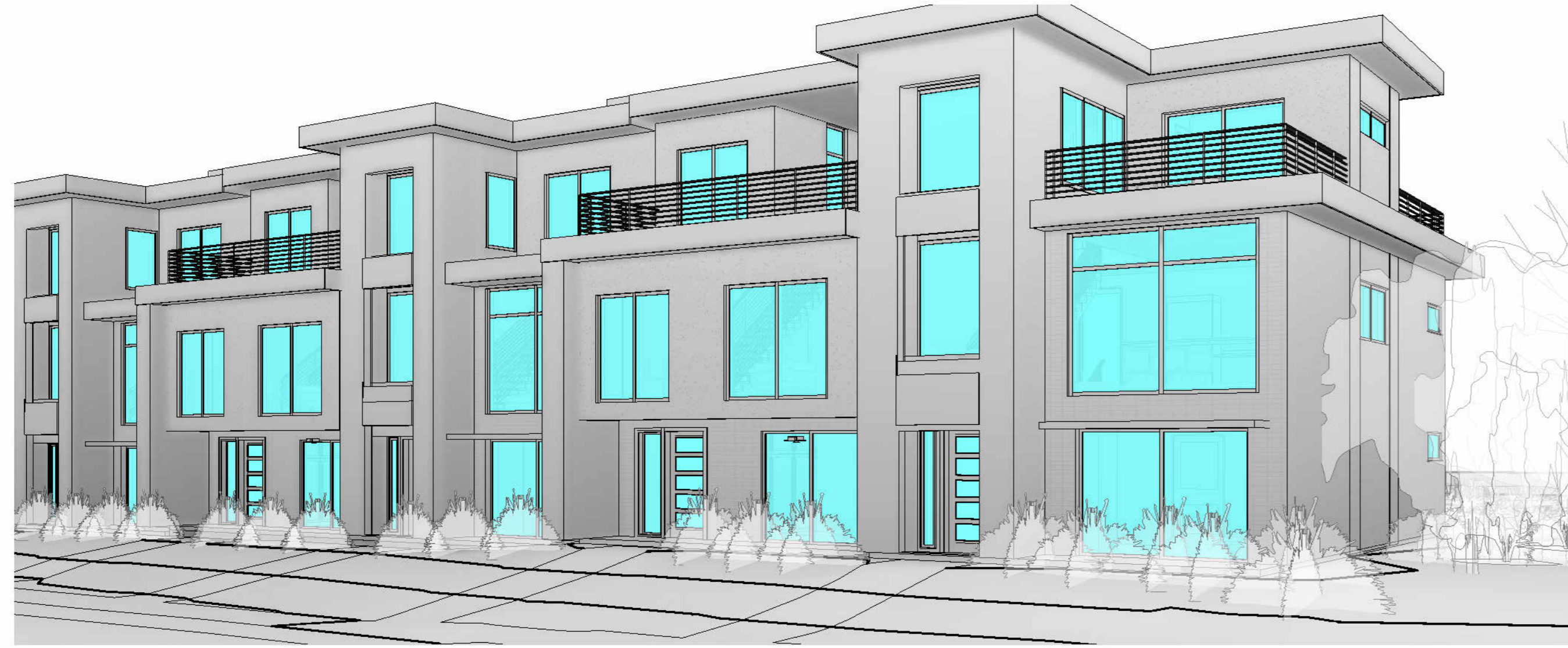
Please let me know if there is any additional documentation you need in order to process our application.

Much appreciated,
Courtney Kizer, AIA, LEED BD&C, NCARB

ARCHITECTURALSQUARED.COM

512.656.1745
Info@Arch-Squared.com
301 s 400 e #209
Moab, UT 84532

NOT FOR CONSTRUCTION

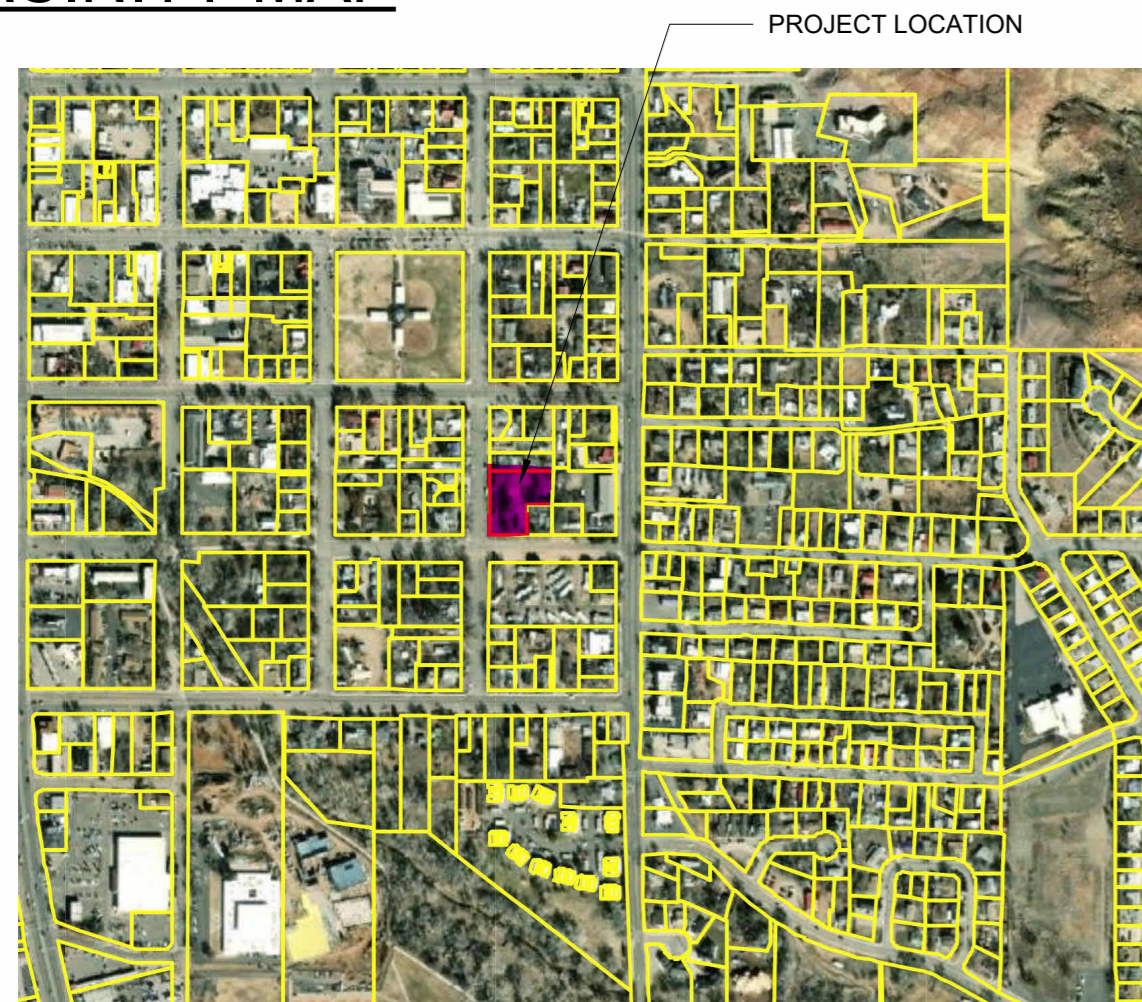


ZONING

MOAB CITY ZONING: R-3 MULTI HOUSEHOLD RESIDENTIAL ZONE
 OCCUPANCY: TOWNHOMES - IRC - R-3, RESIDENTIAL (SINGLE DWELLING)
 CONDOS - IBC - R-2, RESIDENTIAL (MULTIFAMILY) **LOT ID: 01-0B10-0004**

CODE SECTION	REQUIREMENT	SPECIFICATION		COMMENTS
		REQUIREMENT	PROVIDED	
17.48 MULTIFAMILY IN ZONE R-3: A. ACCESS B. PARKING C. GARAGES / CARPORTS D. LANDSCAPING E. BUFFERING F. RECREATION AREA	DOES NOT IMPEDE TRAFFICE	COMPLIES	EVERY PART OF A YARD IS TO THE SKY AND UNOBSTRUCTED EXCEPT FOR PERMITTED ACCESSORY BUILDINGS & ORDINARY PROJECTIONS	
	TO CONFORM TO 17.09.060 - 069, & 17.09.465	COMPLIES	LIGHTING COMPONENTS WILL BE FULLY SHIELDED, PURPOSE DRIVEN, NOT EXCEEDING 50,000 LUMEN PER SQ. FT. <3000 KELVIN, & COMPLIANT WITH LIGHTING HOURS.	
	NOT TO BE LOCATED IN FRONT YARD, 15' FROM PROPERTY LINE	COMPLIES	DWELLING CLG HEIGHT 8' + FENCES NOT PLANNED ON STREET FRONTS, ONLY AT PROPERTY REAR	
	15' OF BERMS / SHRUBS / PLANTING / SCREENS / FENCES	COMPLIES	REF CIVIL DRAINAGE PLANS	
	200 SF OF DEDICATED REC. PLAY OR LANDSCAPED AREAS	COMPLIES	REF SITE AND LANDSCAPE PLAN	
	2,000 SF PER UNIT FOR 3 HOUSEHOLD DWELLINGS +	COMPLIES	1 ACRE = 43560 SF / 2000 SF = 22 UNITS 8 TOWNHOMES + 13 CONDOS = 22 UNITS	
17.48.050	SETBACKS FRONT SETBACK: STREET SETBACK: REAR SETBACK: SIDE SETBACK:	15 FT 12 FT 12 FT 7 FT	COMPLIES	
17.12.180	MAX HEIGHT:	30 FT	COMPLIES	
17.09.220	OFF STREET PARKING, NUMBER OF SPACES	2 P/ TOWNHOME 1.5 P/ MULTIFAMILY	38 SPACES COMPLIES (36 MIN)	
17.09.270	ACCESS	REF COMMENTS	COMPLIES	
17.09.280	CIRCULATION	REF COMMENTS	COMPLIES	
17.09.330	LANDSCAPING A. CURBS + LANDSCAPE RELIEF B. SHADE TREES	REF COMMENTS REF COMMENTS	COMPLIES COMPLIES	
	C. PARKING LOTS >4000 SF	MIN 5% LANDSCAPED	COMPLIES	
			ALL OFFSTREET PARKING LOTS TO BE BORDERED BY CURB. LANDSCAPING PROVIDED TO BREAK UP EXPANSE OF CONCRETE & DEFINE LOGICAL CIRCULATION, INCLUDING SHADE TREES. SHADE TREES APPROPRIATELY SPACED AROUND PERIMETER WITH PROVIDED IRRIGATION - THIS SHALL BE DONE AS MUCH AS POSSIBLE WITHOUT IMPEDING ON THE ACCESS ROUTES & PARKING REQUIRED BY THE PROGRAM FOR "WESTERN SPIRIT". 6000 SF LANDSCAPING PROVIDED TO DEFINE AISLE & LIMIT PARKING ROWS. END OF AISLE / CORNERS SHALL BE CURBED & LANDSCAPED.	

VACINITY MAP



SIGNATURES

PROJECT TEAM

OWNER:	KYLE KAISER
ARCHITECT:	ARCHITECTURAL SQUARED COURTNEY KIZER PO BOX 1153 MOAB, UTAH 84532 www.architecturalsquared.com EMAIL: info@arch-squared.com
INTERIOR DESIGNER:	TBD
CONTRACTOR:	TBD
STRUCTURAL ENGINEER:	TBD
MECHANICAL ENGINEER:	TBD
CIVIL ENGINEER:	SET ENGINEERING, LLC 1309 E. 3RD AVE. #206 DURANGO, CO 81301 JEFF FILLUS 970.403.5088
LIGHTING DESIGNER:	TBD
LANDSCAPE ARCHITECT:	TBD

SHEET INDEX

SHEET NUMBER	SHEET NAME	PRE-APP - 22.01.14	SITE PLAN APP - 22.03.23	SITE PLAN APP REV #1 - 22.06.27
COVER				
CVR	COVER	X	REV	REV
NOTES & LEGENDS				
G200	CODE ANALYSIS			NEW
SURVEY				
S101	SURVEY		X	REV
ARCHITECTURAL				
A001	SITE PLAN + LANDSCAPE	X	REV	-
A002	AREA PLANS LEVEL 1		X	-
A003	AREA PLANS LEVEL 2		X	-
A004	AREA PLANS LEVEL 3		X	-
A101	FLOOR PLANS - TOWNHOMES	X	REV	-
A102	FLOOR PLANS - CONDOS	X	REV	-
A103	EXTERIOR LIGHTING - TOWNHOMES		X	-
A104	EXTERIOR LIGHTING - CONDOS + SIGNAGE		X	-
A105	LIGHTING SPECS		X	-
A201	ELEVATIONS - TOWNHOMES	X	REV	-
A202	ELEVATIONS - CONDOS	X	REV	-
A900	AXONS - TOWNHOMES	X	REV	REV
CIVIL				
C001	COVER SHEET		X	REV
C002	GENERAL NOTES AND LEGEND		X	REV
C100	OVERALL SITE PLAN	X	REV	REV
C200	OVERALL UTILITY DESIGN		X	REV
C201	SEWER RUN A PLAN AND PROFILE		X	REV
C202	SEWER RUN B PLAN AND PROFILE			NEW
C300	ROAD 1 PLAN AND PROFILE		X	REV
C301	ROAD 2 PLAN AND PROFILE		X	REV
C400	OVERALL GRADING PLAN		X	REV
C500	DETAILS		X	REV
C501	DETAILS			NEW

BUILDING COMMENTS

ARCHITECTURAL SQUARED
 info@Arch-Squared.com
 PO BOX 1153, MOAB, UTAH 84532
 512-666-1745

NOT FOR CONSTRUCTION

REVISIONS:
 22.06.27 SITE PLAN APPLICATION REV #1

2X3 TOWNHOMES & CONDOS

175 S 300 E
 Moab, UT 84532

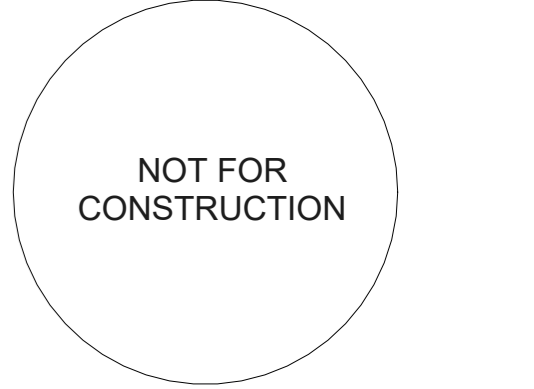
COVER

SHEET NUMBER

CVR

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REVISIONS:
22 06 27 SITE PLAN
APPLICATION REV #1

CODE ANALYSIS

SHEET NUMBER

G200

FIRE RESISTANCE REQUIREMENTS

COSNTRUCTION TYPE V-A
TABLE 601, UNLESS NOTED OTHERWISE

STRUCTURAL FRAMING	1 HOUR
BEARING WALLS - EXTERIOR	1 HOUR
BEARING WALLS - INTERIOR	1 HOUR
NON-BEARING WALLS - EXTERIOR	0 HOUR
NON-BEARING WALLS - INTERIOR	0 HOUR
FLOOR CONSTRUCTION	1 HOUR
ROOF CONSTRUCTION	1 HOUR
SLEEP UNIT SEPERATION (SECTION 708.3)	.5 HOUR
SHAFT CONSTRUCTION (SECTION 713.4 - 3 STORIES)	1 HOUR
ELEVATOR SHAFT CONSTRUCTION (SECTION 713.4 - 3 STORIES)	1 HOUR
STAIR ENCLOSURE CONSTRUCTION (SECTION 1023.2 - 3 STORIES)	1 HOUR
LAUNDRY / TRASH CHUTE ACCESS ROOM	1 HOUR/75
HOUR DOOR W/ FIRE CLOSURE (SECTION 713.13.4)	

PROJECT SPECIFIC

CORRIDORS	1 HOUR
GUESTROOM SEPERATION	1 HOUR
INCIDENTAL USE AREAS	
LAUNDRY AREA +100 SF OR AUTO SPRINKLER (TABLE 509)	1 HOUR
STORAGE AREA +100 SF OR AUTO SPRINKLER (TABLE 509)	1 HOUR

OCCUPANCY AND EXITING MATRIX

OCCUPANCY AND EXITING MATRIX: IBC CHAPTER 3 AND 10: OCCUPANT LOAD AND EXITING											
FLOOR (LEVEL)	OCCUPANCY	SPACE (NAME)	SQFT	OCCUPANT RATE (SOFT/OCC) (TABLE 1004.1.2)	OCCUPANTS	EXITING WIDTH (SECTION 1005)					
						# OF EXITS REQ'D	HORIZ EXIT WIDTH REQ'D	HORIZ. EXIT WIDTH PROV'D.	VERT. EXIT WIDTH REQ'D	VERT. EXIT WIDTH PROV'D.	
FIRST FLOOR	R1, RESIDENTIAL	GUESTROOMS	1,000	200	46						
	A1, ACCESSORY	WASHER/DRYER	1	-	-						
		MECHANICAL	1	-	-						
		STORAGE	1	300	-						
		ELECTRICAL	1	-	-						
	A2, ASSEMBLY	PANTRY LOUNGE	2	200	-						
	A3, ASSEMBLY	FITNESS	3	50	-						
MEETING/BOARD ROOM		3	37	-							
LOBBY		3	48	-							
MARKET		3	3	-							
B, BUSINESS	LAUNDRY/BREAK	4	7	-							
	FRONT DESK	4	2	-							
	OFFICES	4	7	-							
FIRST FLOOR TOTAL			1,234	-	262	2	52.4*	384*	N/A	N/A	
SECOND FLOOR	R1, RESIDENTIAL	GUESTROOMS	1,000	200	46						
	A1, ACCESSORY	WASHER/DRYER	1	-	-						
		MECHANICAL	1	-	-						
		STORAGE	1	-	-						
ELECTRICAL		1	300	-							
SECOND FLOOR TOTAL			1,234	-	262	2	52.4*	384*	N/A	N/A	
THIRD FLOOR	R1, RESIDENTIAL	GUESTROOMS	1,000	200	46						
	A1, ACCESSORY	WASHER/DRYER	1	-	-						
		MECHANICAL	1	-	-						
		STORAGE	1	-	-						
ELECTRICAL		1	300	-							
THIRD FLOOR TOTAL			1,234	-	262	2	52.4*	384*	N/A	N/A	

BUILDING DEPARTMENT COMMENTS & RESPONSES

4/29/22 DRT COMMENT RESPONSES:	
A. Dominion	<ul style="list-style-type: none">If Gas Service is requested, a Gas Main Extension looped through the complex will be required. We will need the Dominion Energy Note on the plat map. The Developer can reach out to me for the Note.1. RESPONSE(REDESERT): Revised, Ref. Revised Plat
B. Health	<ul style="list-style-type: none">High Density Housing Approval1. RESPONSE (A*2): Understood. No change to plans required.
C. Moab Irrigation	<ul style="list-style-type: none">Moab Irrigation Company has a 12" irrigation line that is passing through a 30" culvert on the west side of the property, approximately in the location of where the sidewalk would go on the west side. The line is fairly shallow and may be an issue to surface driveways/sidewalk construction.1. RESPONSE (SET): After speaking with the Moab Irrigation Company (MIC), the top half of the existing 30" culvert will be cut down and backfilled with road base to accommodate the standard driveway or sidewalk section detailed in the plans. Please see sheet C200 with the updated sidewalk and MIC contact information.
D. WRF	<ul style="list-style-type: none">The existing sewer line on the north side of the property is a service line that serves the property to the east. It will need to remain in place and connected to the city owned main in 300 East. It cannot be connected to the new service being installed for this project.1. RESPONSE (SET): A 6" sewer line is proposed to the neighboring property that will run parallel to the private sewer main for the 2x3 Condos and Townhomes. This allows for the existing service to be removed (as necessary) or abandoned and provides a much-needed upgrade. The underground detention system remains in the same location. See sheet C202 for details.
E. Public Works	<ul style="list-style-type: none">Designed with 8" main servicing everything; that will be a huge culinary fee, in addition they will be charged water usage every time we flush the fire hydrant. I recommend separating the water and fire suppression with the meter for culinary at the property line like it shows on the plans, fire suppression does not need to be metered. If they want to keep one service feeding both, they will need to submit a utility plan with a vault detail included with a metered bypass.1. RESPONSE (SET): The newly proposed water design proposes a 6" water main that splits into a fire and domestic water main. The domestic water main at the property line will have a 1.5' meter. The HOA will manage individual metering. Please see sheet C200 for details on domestic and fire main sizing
F. Building	<ul style="list-style-type: none">Sprinklers Required1. RESPONSE (A*2): Understood. Red G200 - Code Analysis, Fire Suppression.
G. Planning	<ul style="list-style-type: none">Confirmation of 30' Building Height within Planning and Building Code. Please contact and confirm with Building Official and Planning Director.1. RESPONSE (A*2): Understood. No change to this submission required, as confirmed with P&Z.Confirmation of MMC 17.48.020. Minimum 200sf designated open space/recreation area/ play area. Please contact and confirm with Planning Director.1. RESPONSE (A*2): Understood. No change to this submission required, as confirmed with P&Z.Lighting fixtures shall comply with Outdoor Lighting provisions. Please contact and confirm with Planning Director.1. RESPONSE (A*2): Understood. No change to this submission required, as confirmed with P&Z.
H. Engineering	<ul style="list-style-type: none">Project name is called 2x3 Condos and Townhomes on the site plan application forms. But civil and drainage plans refer to Kaiser Development. Please be consistent on the name of the project.1. RESPONSE (SET): The title has been updated on all sheets.Site plan (C100) calls out for 3' waterway per City Standards. The City refers to APWA standards for waterways and minimum width of waterway is 4' (APWA Plan 211). Please attach the details of 3' waterway or upsized to 4'.1. RESPONSE (SET): The new detail is shown on Detail sheet C500.Driveway approaches are called APWA 222 (typ). But the site plan drawing does not look like the APWA 222 driveway approach. The biggest difference is the sidewalk material. Driveway approaches and sidewalks need to be concrete (C100).1. RESPONSE (SET): The concrete hatching has been updated on all sheets per APWA 225 (sheet C100).Fire flow needs a separate water line that does not have a meter.1. RESPONSE (SET): This has been corrected. Please see sheet C200.Proposed sidewalk is on top of the gas line. Can you relocate the sidewalk closer to the ROW line please? (Wider parking strip)1. RESPONSE (SET): Please see sheet C200. The sidewalk has been updated to follow the curb on the south and west sides of the property. It is now considered an attached sidewalk to avoid gas line interference.Add to construction notes that the underground detention basin needs to be inspected by the City Engineering Dept before it is buried.1. RESPONSE (SET): This callout is shown on sheet C200.Does the existing sewer line serve any other properties? Obe - WRF Superintendent - needs to verify it.1. RESPONSE (SET): The existing sewer line services the trailer on the neighboring property. The new design provides a new 6" sewer service to the edge of our property. This has been coordinated with the neighbor. The existing service will be removed. See sheet C200-C202 for details.Does the 8" water line loop underneath the sewer? Can you lower the sewer to avoid this conflict? Also the sewer profile does not show these cross utilities. Why? (C201)1. RESPONSE (SET): The waterline will go above the proposed sewer. When the water line does not exceed 18" of cover above the sewer, the sewer will be encased. The water line will be insulated when necessary. Please see sheets C201 and C202 for crossings and conflict resolution.Please make sure to add all the APWA details to the final plans.1. RESPONSE (SET): General Note #3 on sheet C002 states: "The contractor shall follow the most current Moab standards and specifications as well as APWA standards".Where are you in the process of vacating telephone easements?1. RESPONSE (A*2): Vacating of telephone easements is complete and filed with the County Recorder.

MEANS OF EGRESS

- A. AREAS INCLUDED FOR OCCUPANT LOAD CALCULATION DO NOT INCLUDE CORRIDORS, STAIRS, RESTROOMS AND UNOCCUPIED AREAS.
- B. THE NUMBER OF OCCUPANTS HAVE BEEN ROUNDED UP TO THE NEAREST WHOLE OCCUPANT.
- C. DESIGN OCCUPANT LOAD (IBC TABLE 1004.1.2): SEE CALCULATIONS BY OCCUPANCY THIS SHEET.
 - A. ACCESSORY STORAGE AREAS = 300 SF/OCCUPANT (GROSS)
 - B. ASSEMBLY WITHOUT FIXED SEATS = 15 SF/OCCUPANT (NET)
 - C. ASSEMBLY FITNESS/LOCKER/POOL = 50 SF/OCCUPANT (GROSS)
 - D. BUSINESS AREAS = 150 SF/OCCUPANT (GROSS)
 - E. RESIDENTIAL = 200 SF/OCCUPANT (GROSS)
- D. NUMBER OF EXITS (IBC 1015): TWO EXITS SHALL BE REQUIRED FROM ANY SPACE WHERE THE OCCUPANT LOAD EXCEED THE FOLLOWING VALUES PER IBC TABLE 1015.1: SEE EXITING PLANS THIS SHEET.
 - A. GROUP A = 49 OCCUPANTS
 - B. GROUP B = 49 OCCUPANTS
 - C. GROUP R = 10 OCCUPANTS
- E. SEPARATION OF EXITS (IBC 1007.1.1): WHERE TWO EXITS ARE REQUIRED THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN 1/3 THE DIAGONAL DIMENSION OF THE AREA SERVED, EXCEPTION 2 - SPRINKLERED BUILDING. SEE EXITING PLANS THIS SHEET FOR SEPERATION DIMENSIONS.
- F. COMMON PATH OF EGRESS TRAVEL (IBC TABLE 1006.2.1):
 - A. GROUP A = 75 FT MAXIMUM
 - B. GROUP B = 100 FT MAXIMUM
 - C. GROUP R-1 = 75 FT MAXIMUM
- A. EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2):
 - A. GROUP A, R = 250 FT (SPRINKLERED)
 - B. GROUP B = 300 FT (SPRINKLERED)
- B. DEAD-END CORRIDORS (IBC 1020.4):
 - A. WHERE MORE THAN ONE EXIT IS REQUIRED, MAX. DEAD-END LENGTH = 20 FT
 - B. GROUP B, R-1 (SPRINKLERED) = 50 FT
- C. EGRESS WIDTH (IBC 1005): SHALL NOT BE LESS THAN THE TOTAL OCCUPANT LOAD SERVED BY THE MEANS OF EGRESS MULTIPLIED BY:
 - A. (SPRINKLERED EXCEPTION) .3 INCHES/OCCUPANT FOR STAIRS. PROPOSED STAIR WIDTH: 50"/3= 166 OCCUPANTS/STAIR ACCOMODATED (SPRINKLERED EXCEPTION) .2 INCHES PER OCCUPANT FOR OTHER COMPONENTS. PROPOSED RESIDENTIAL CORRIDOR WIDTH = 60" CLEAR. 3 = 400 OCCUPANTS ACCOMODATED
 - C. SEE EXITING PLANS FOR ACTUAL NUMBER OF OCCUPANTS.
- D. MEANS OF EGRESS ILLUMINATION (IBC 1008):
 - A. PROVIDE ILLUMINATION LEVEL OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE AT ALL TIMES WHEN THE SPACE SERVED THE MEANS OF EGRESS IS OCCUPIED.
 - B. POWER SUPPLY TO BE PROVIDED BY PREMISES' ELECTRICAL SUPPLY, IN THE EVENT OF A POWER FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE AREAS REQUIRED PER IBC 1006.3 INCLUDING: CORRIDORS, EXIT ENCLOSURES, EXIT PASSAGEWAYS, INTERIOR EXIT DISCHARGE ELEMENTS AND EXTERIOR LANDINGS FOR EXIT DISCHARGE DOORWAYS. REFER TO THE ELECTRICAL PLANS OR BIDDER/DESIGN PLANS FOR SYTEM DESIGN.
- E. EXIT SIGNS (IBC 1013):
 - A. PROVIDE AN APPROVED EXIT SIGN AT ALL EXITS AND EXIT ACCESS DOORWAYS (FROM SPACE REQUIRING TWO EXITS) IN A LOCATION THAT IS READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. PLACE SIGNS SUCH THAT NO POINT IN CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100 FT FROM THE NEAREST VISIBLE EXIT SIGN.
 - B. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED PER IBC 1013.5 AND 1013.6.
 - C. PROVIDE A TACTILE EXIT SIGN STATING "EXIT" AND COMPLYING WITH ICC A117.1 ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, EXTERIOR AREA FOR ASSISTED RESCUE, EXIT STAIRWAY, EXIT RAMP, EXIT PASSAGEWAY AND/OR AN EXIT DISCHARGE.
 - D. WHERE EXIT SIGNS ARE REQUIRED IN GROUP R-1 OCCUPANCIES BY SECTION 1013.1, ADDITIONAL LOW-LEVEL EXIT SIGNS SHALL BE PROVIDED IN ALL AREAS SERVING GUEST ROOMS IN GROUP R-1 OCCUPANCIES AND SHALL COMPLY WITH SECTION 1013.5.
- F. POSTING OF OCCUPANT LOAD (IBC 1004): EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE SPACE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY, POSTED SIGNS SHALL BE MAINTAINED. SEE OCCUPANCY & EGRESS PLANS FOR OCCUPANT LOADS.

CODE ANALYSIS

ZONING: R-1 (PRIMARY), A-2, A-3, B OCCUPANCY: TYPE V-A CONSTRUCTION TYPE: REF 4004 & 4005 SHEETS ALLOWABLE FLOOR AREA: REQUIRED - NFPA 13-R FIRE SUPPRESSION: REQUIRED - GRAND COUNTY LUC IRRIGATION: GRAND COUNTY LUC	BUILDING DEPT: (435) 259-4134 BUILDING DEPT PHONE: ALL UTAH STATE AMENDMENTS APPLY: CODE JURISDICTION: 2015 INTERNATIONAL BUILDING CODE (2015 IBC) 2015 INTERNATIONAL RESIDENTIAL CODE (2015 IRC) -DETACHED ASSURED HOUSING 2015 INTERNATIONAL PLUMBING CODE (2015 IPC) 2015 INTERNATIONAL MECHANICAL CODE (2015 IMC) 2015 INTERNATIONAL FUEL GAS CODE (2015 IFGC) 2017 NATIONAL ELECTRIC CODE (2017 NEC) 2015 INTERNATIONAL ENERGY CONSERVATION CODE (2015 IECC) 2015 INTERNATIONAL EXISTING BUILDING CODE (2015 IEBEC) 2006 EDITION OF THE UTAH WILDLAND URBAN INTERFACE CODE 2015 INTERNATIONAL FIRE AND SMOKE ALARMING CODE (2015 IFSA) 2015 INTERNATIONAL ACCESSIBLE AND USABLE BUILDING DESIGN CODE (2015 IABDC) SUBJECT TO SUBSECTION 15A-2-104(2), THE HUD CODE
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ZONING DISTRICT	MINIMUM AREA	MAXIMUM LOT COVERAGE	MAXIMUM HEIGHT	PROPERTY SETBACKS		
				FRONT (ROAD)	SIDE	REAR
REQUIRED	N/A	N/A	35' MAX	20 FEET	10 FEET	20 FEET
ACTUAL	N/A	N/A	35' MAX - TO T.O. FINISH ROOF	COMPLIES	COMPLIES	COMPLIES

AREA ANALYSIS

DEFINITIONS:	PROJECT SQUARE FOOTAGE					
	LOWER LEVEL	MAIN LEVEL	LEVEL 2	LEVEL 3	TOTAL	
SQUARE FOOT: AS DEFINED BY ANSI Z765-2003: LIVABLE FLOOR AREA AS MEASURED FROM EXTERIOR DIMENSIONS INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR, EXCLUDING FIREPLACE BUMP-OUTS, MECHANICAL SPACES, GARAGE SPACES, AND UNFINISHED BASEMENT AND/OR ATTIC SPACE.		7,258 SF	11,376 SF	11,376 SF	30,010 SF	
GROSS SQUARE FOOT: TOTAL BUILDING AREA AS MEASURED FROM EXTERIOR DIMENSIONS INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR, MECHANICAL SPACES, GARAGE SPACES, AND ACCESSIBLE UN-FINISHED SPACE; DOES NOT INCLUDE CRAWL SPACES, PATIOS AND DECKS.		3,079 SF			3,079 SF	
		890 SF			890 SF	
		958 SF	118 SF	118 SF	1,194 SF	
		2,442 SF	2,030 SF	2,030 SF	6,502 SF	
		397 SF	1,295 SF	841 SF	3,374 SF	
					45,049 GSF	

SITE INFORMATION

POWER: ROCKY MOUNTAIN POWER	
WATER: GRAND WATER SEWER SERVICES AGENCY	
SEWER: GRAND WATER SEWER SERVICES AGENCY	
GAS: QUESTAR	
CABLE: N/A	
TELEPHONE SERVICE: N/A	
UNDERGROUND UTILITY: N/A	
LOCATE: N/A	
FIRE DEPT: MOAB VALLEY FIRE PROTECTION DISTRICT	
FIRE DEPT PHONE: (435) 259-5557	
DEFENSIBLE SPACE: N/A	
GEOTECHNICAL REPORT: N/A	

DESIGN CRITERIA

ROOF SNOW LOAD -	<5,000' = 25 LBS / >5,000' = 45 LBS
GROUND SNOW LOAD -	<5,000' = 38 LBS / >5,000' = 65 LBS
FROST DEPTH -	<5,000' = 20" / >5,000' = 30"
WIND LOAD -	115 MPH EXPOSURE C
SEISMIC ZONE -	B
IECC ZONE-	5B

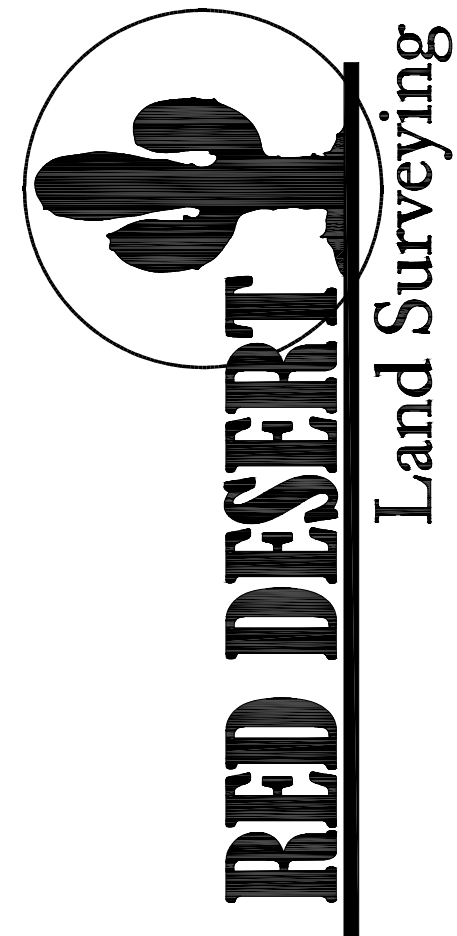
OCCUPANCY CLASSIFICATIONS

PRIMARY OCCUPANCY IS R-1, RESIDENTIAL WITH NON-SEPERATED MIX USE.	
R-1: RESIDENTIAL - HOTEL,TRANSIENT (SECTION 310)	B: BUSINESS (SECTION 304)
A-2/A-3: ASSEMBLY (SECTION 303)	S: STORAGE (SECTION 311)

INSULATION SPECIFICATIONS

INSULATION SCHEDULE - PROJECT SPECIFIC	CAVITY	R-VALUE				
		MINIMUM	PROJECT SPECIFIC			
ROOFS OVER HEATED SPACES	R-30 ci OR R-49	R-30 ci	8" MIN DEPTH OF CONTINUOUS RIGID FOAM BOARD INSULATION			
		R-49	8" MIN DEPTH OF CAVITY SPRAY FOAM INSULATION			
EXTERIOR WALLS	R-13+7.5 OR R-20+3.8	R-20+3.8 ci	5.5" MIN FIBERGLASS BATT INSULATION W/ 1" CONTINUOUS RIGID FOAM BOARD INSULATION			
INTERIOR WALLS	2X4	R-11	FIBERGLASS BATT INSULATION			
	2X6	R-19				
FLOORS OVER UNHEATED SPACES	R-30	N/A	N/A			
INTERIOR FLOORS	-	R-19	FIBERGLASS BATT INSULATION			
BASEMENT WALLS	R-7.5 ci	R-7.5 ci	1.5" CONTINUOUS RIGID FOAM BOARD INSULATION			
CRAWLSPACE	LID	-	N/A			
	WALL	R-7.5 ci	N/A			
CONCRETE SLAB	R-10, DEPTH OF 24"	R-10, DEPTH OF 24"	2" CONTINUOUS RIGID FOAM BOARD INSULATION			
ASSEMBLY	U-FACTOR & SHGC					
	FIXED	MINIMUM	PROJECT SPECIFIC			
FENESTRATION	OPERABLE	U-.38	North SHGC - .53, .58, .64	U-.38	North SHGC - .58	CONFIRM THAT ALL SPECIFICATIONS COMPLY; SUBMITTAL TO BE APPROVED BY ARCHITECT
	ENTRY	U-.45	S/E/W SHGC - .40, .48, .64	U-.45	S/E/W SHGC - .64	
		U-.77		U-.77		
SKYLIGHTS	U-.50 + 40 SHGC	N/A	CONFIRM THAT ALL SPECIFICATIONS COMPLY; SUBMITTAL TO BE APPROVED BY ARCHITECT			

- NOTES:
- ARCHITECT'S RECOMMENDATION FOR ALL EXTERIOR EAVES AND RAKES TO RECIEVE MIN. 3" OF BLOWN IN POLYURETHANE INSULATION UNLESS NOTED OTHERWISE.
 - DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 4" SPRAY APPLIED POLYURETHANE INSULATION AT EXTERIOR WALLS WITH R-11 MINERAL FIBER BATT OVER TOP OF 2" SPRAY APPLIED POLYURETHANE INSULATION.
 - ARCHITECT'S RECOMMENDATION FOR BASEMENT FURRING WALLS TO RECEIVE 3.5" BLOWN IN POLYURETHANE INSULATION IN PLACE OF R-19 BATT.
 - DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 2" NCFI SPRAY APPLIED POLYURETHANE INSULATION UNDER CONCRETE SLAB WITH 2" POLY-ISOCYANURATE RIGID FOAM INSULATION.
 - GENERAL CONTRACTOR TO PROVIDE COST COMPARISON FOR BLOWN-IN WET CELLULOSE PRODUCT TO REPLACE BATT INSULATION IN EXTERIOR WALLS AND FLOORS.
 - THERMAL IMAGING TEST SHALL BE PERFORMED AND REPORT SUBMITTED TO OWNER AND ARCHITECT.
 - AT A MINIMUM, ALL INTERIOR WALLS SEPERATING BEDROOMS AND/OR BATHROOMS SHALL BE INSULATED AS SPECIFIED ABOVE. IT IS STRONGLY RECOMMENDED THAT ALL INTERIOR WALLS BE INSULATED.
 - FOAM INSULATING SEALANT AT ALL WINDOWS AND DOORS.
 - PROJECTION FACTOR TO BE CONFIRMED AT EACH LOCATION.



88 East Center Street
Moab, UT 84532
435.259.8171

STANDARD LEGEND

PROPERTY BOUNDARY
EASEMENTS
PROPERTY ADJOINING

PROPERTY CORNER
SECTION MONUMENT

PRIVATE
LIMITED COMMON AREA
COMMON AREA

PROJECT TYPE:
FINAL CONDOMINIUM
TOWNHOME PLAT

PROJECT ADDRESS:
175 S 300 E
Moab, Utah 84532

PROJECT LOCATION:
GRAND COUNTY, STATE OF UTAH

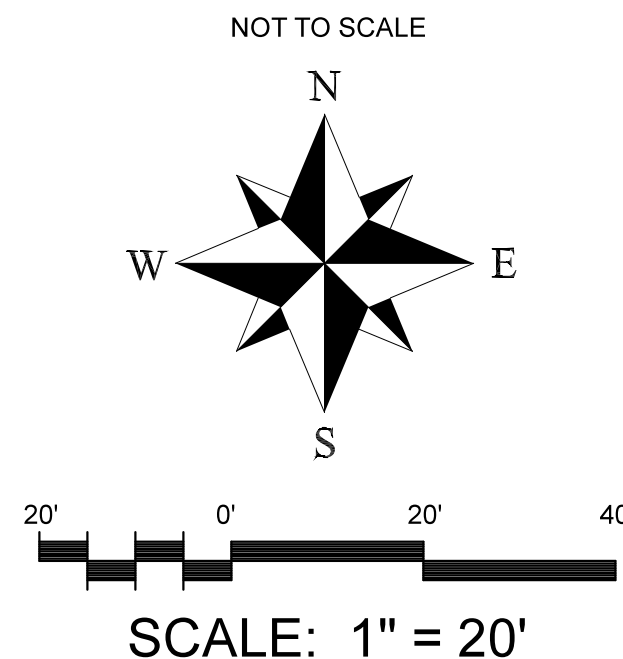
PREPARED FOR:
KANE DEVCO, LLC

DATE:
4/30/2021

JOB NUMBER:
223-20

SHEET 1 OF 2

VICINITY MAP



PLAT NOTES:

- 1. ALL AREAS ON THIS PLAT DESIGNATED AS COMMON AREA ARE TO ALSO SERVE AS PUBLIC UTILITY EASEMENTS, PER UTAH CODE (54-3-27).
- 2. ALL AREAS ARE COMMON AREAS AND FACILITIES EXCEPT THOSE AREAS DESIGNATED AS CONDOMINIUM & TOWNHOME UNITS, WHICH UNITS ARE MORE PARTICULARLY DESCRIBED AND DEFINED IN THE DECLARATION OF CONDOMINIUM & TOWNHOMES FOR KAISER CONDOMINIUMS & TOWNHOMES, A UTAH CONDOMINIUM & TOWNHOME PROJECT (THE "DECLARATION"), TO BE RECORDED CONCURRENTLY WITH THE RECORDATION OF THIS PLAT.
- 3. ALL DECKING, STAIRS, PATHS USED AS ACCESS TO UNITS, AND ALL OTHER AREAS NOT PLATED AS PRIVATE OR LIMITED COMMON ARE DEDICATED AS COMMON AREA.
- 4. ALL COMMON AREAS ARE TO BE MAINTAINED BY THE CONDOMINIUM OWNERS ASSOCIATION EXCEPT AS OTHERWISE EXPRESSLY PROVIDED IN THE DECLARATION.

PRESERVATION OF COMMON AREA

THIS PLAT DESIGNATES CERTAIN AREAS AS COMMON AREAS INTENDED FOR THE USE BY THE CONDOMINIUM & TOWNHOME UNIT OWNERS FOR INGRESS, EGRESS, PARKING, RECREATION, AND OTHER ACTIVITIES AS ALLOWED IN THE DECLARATION. THE AREAS DESIGNATED AS COMMON AREAS ARE NOT DEDICATED HEREBY TO THE GENERAL PUBLIC BUT OWNED BY, AND RESERVED FOR THE USE OF, THE CONDOMINIUM & TOWNHOME UNIT OWNERS AS MORE FULLY PROVIDED IN THE DECLARATION, THE TERMS OF WHICH ARE INCORPORATED HEREIN.

UTILITY DEDICATION

THE OWNER OF THE LAND DESCRIBED AND DEPICTED ON THIS PLAT CONSENTS TO THE PREPARATION AND RECORDATION OF THIS PLAT AND HEREBY OFFERS AND CONVEYS TO ALL PUBLIC UTILITY PROVIDERS AND THEIR SUCCESSORS AND ASSIGNS A PERMANENT EASEMENT AND RIGHT OF WAY OVER, UNDER, AND THROUGH ALL AREAS DESIGNATED ON THIS PLAT AS UTILITY EASEMENTS, FOR THE CONSTRUCTION AND MAINTENANCE OF ELECTRICAL, TELEPHONE, NATURAL GAS, SEWER, STORM DRAIN, AND WATER LINES AND FACILITIES (WHICH LINES AND FACILITIES SHALL BE SUBTERRANEAN EXCEPT FOR THOSE FACILITIES WHICH, BY THEIR NATURE, MUST BE ABOVE GROUND, TOGETHER WITH THE RIGHT OF ACCESS THERETO.

DOMINION ENERGY UTAH - NOTE:

Questar Gas Company, dba Dominion Energy Utah hereby approves this plat solely for purpose of confirming that the plat contains public utility easements. Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities including prescriptive rights and other rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set forth in the Owners Dedication and the Notes, and does not constitute of guarantee of particular terms of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department at 1-800-366-8 QUESTAR GAS COMPANY Dba DOMINION ENERGY UTAH

Approved this _____ day of _____, 20____
By _____
Title _____

APPROVAL BY MOAB CITY PUBLIC WORKS

APPROVED THIS _____ DAY OF _____ AD, 20____

DIRECTOR

APPROVAL BY MOAB CITY ATTORNEY

APPROVED THIS _____ DAY OF _____ AD, 20____

CITY ATTORNEY

APPROVAL BY MOAB CITY ENGINEER

APPROVED THIS _____ DAY OF _____ AD, 20____

CITY ENGINEER

APPROVAL BY MOAB CITY PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____ AD, 20____

CHAIR

APPROVAL BY MOAB CITY COUNCIL

APPROVED THIS _____ DAY OF _____ AD, 20____

MOAB CITY MAYOR

ATTEST:

GRAND COUNTY RECORDER

STATE OF UTAH, GRAND COUNTY, RECORDED AT THE REQUEST OF _____

DATE _____ BOOK _____ PAGE _____ FEE _____

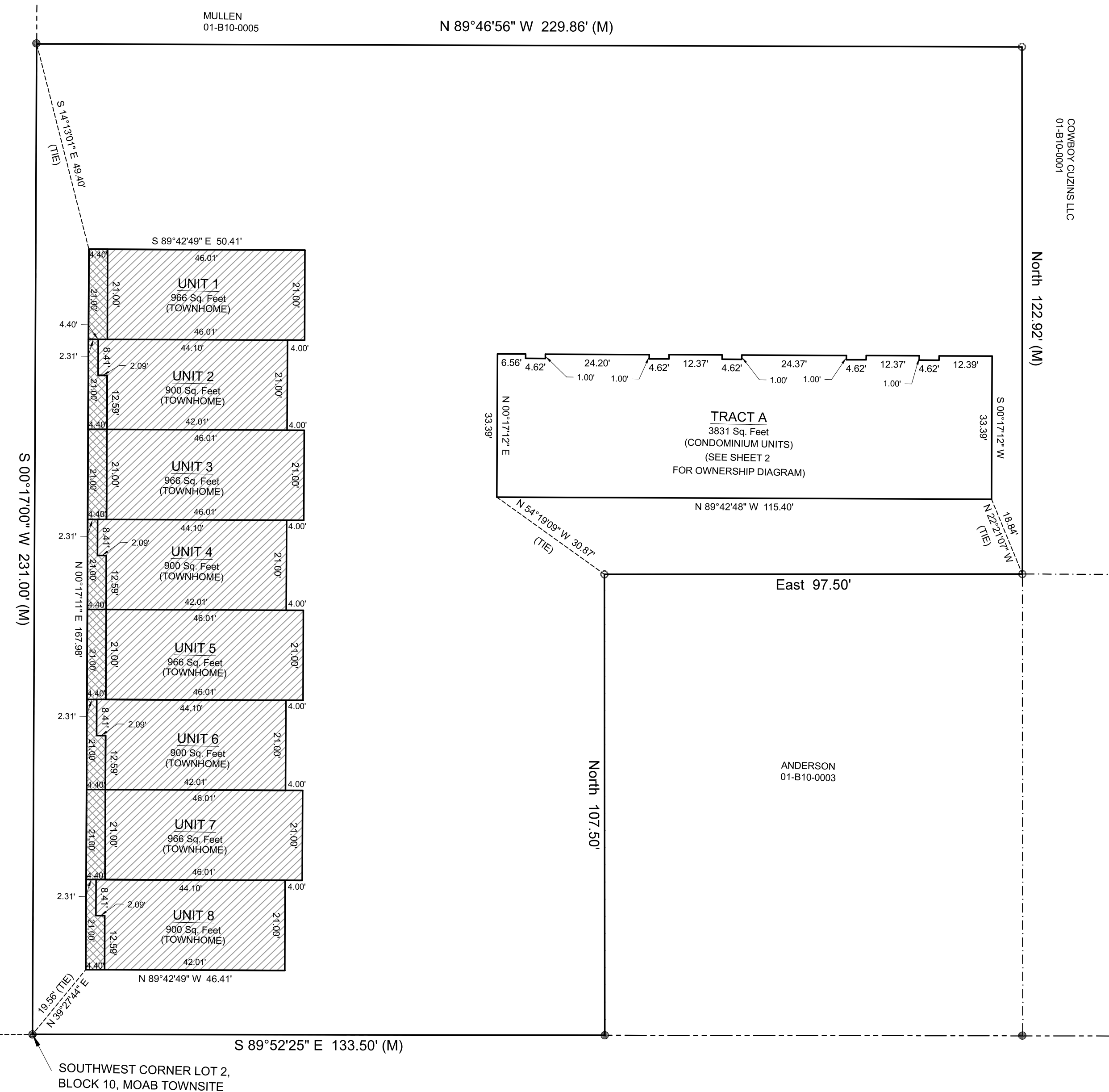
COUNTY RECORDER

KAISER CONDOMINIUMS & TOWNHOMES

A CONDOMINIUM & TOWNHOME DEVELOPMENT
LOCATED WITHIN BLOCK 10, MOAB TOWNSITE, ALSO WITHIN THE
SOUTHEAST QUARTER OF SECTION 1, T26S, R21E, SLB&M

CENTERLINE MONUMENT
100 SOUTH STREET
300 EAST STREET

CENTERLINE 300 EAST STREET



CENTERLINE MONUMENT
200 SOUTH STREET
400 EAST STREET

CENTERLINE 200 SOUTH STREET

SURVEYOR NOTES

THE BASIS OF BEARING IS N 00°17' E ALONG THE CENTERLINE OF 300 EAST STREET.

SURVEYOR'S CERTIFICATE

KNOWN ALL MEN BY THESE PRESENTS: I, LUCAS BLAKE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT - I HOLD CERTIFICATE- NO. #7540504 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT AT THE REQUEST OF THE OWNER OF THE BELOW DESCRIBED LAND, I PERFORMED A SURVEY OF SAID LAND, THAT THE DESCRIPTION BELOW CORRECTLY DESCRIBES THE LAND SURFACE UPON WHICH WILL BE CONSTRUCTED, AND THIS RECORD OF SURVEY MAP, CONSISTING OF TWO (2) PAGES IS ACCURATE AND COMPLIES WITH THE PROVISIONS OF SECTION 57-8-13 (1) OF THE UTAH CONDOMINIUM OWNERSHIP ACT AND SECTION 17-23-17 SUBDIVISIONS, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO UNITS & TRACTS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS KAISER CONDOMINIUMS & TOWNHOMES I FURTHER CERTIFY THAT THE REFERENCE MARKERS SHOWN ON THIS PLAT ARE LOCATED AS SHOWN AND ARE SUFFICIENT TO READILY RETRACE OR REESTABLISH THIS SURVEY.

LUCAS BLAKE
LICENSE NO. 7540504

DATE

SUBDIVISION BOUNDARY LEGAL DESCRIPTION

Beginning at the Southwest corner of Lot 2, Block 10, Moab Townsite and running with said Block 10 thence South 89°52'25" East 133.50 feet (RECORD=East 133.5'), thence North 107.5 feet, thence East 97.5 feet, thence North 122.92 feet (RECORD=North 123.5'), thence North 89°46'56" West 229.86 feet (RECORD=West 231.0') to the West boundary of said Block 10, Thence with said boundary South 00°17'00" West 231.00 feet (RECORD=South 231.0') to the point of beginning, having an area of 42,695 square feet, 0.98 acres.

OWNER'S DEDICATION

Know all men by these presents that the undersigned are the owners of the above described tract of land, and hereby cause the same to be divided into units, tracts, common area, together with easements as set forth to be hereafter known as KAISER CONDOMINIUMS & TOWNHOMES and do hereby dedicate for the perpetual use of the public all roads and other areas shown on this plat as intended for public use. The undersigned owners also hereby convey to any and all public utility companies a perpetual, non-exclusive easement over the public utility easements (and private roads) shown on this plat, the same to be used for the installation, maintenance and operation of utility lines and facilities. The undersigned owners also hereby convey any other easements as shown on this plat to the parties indicated and for the purposes shown hereon.

KYLE JACKSON KAISER

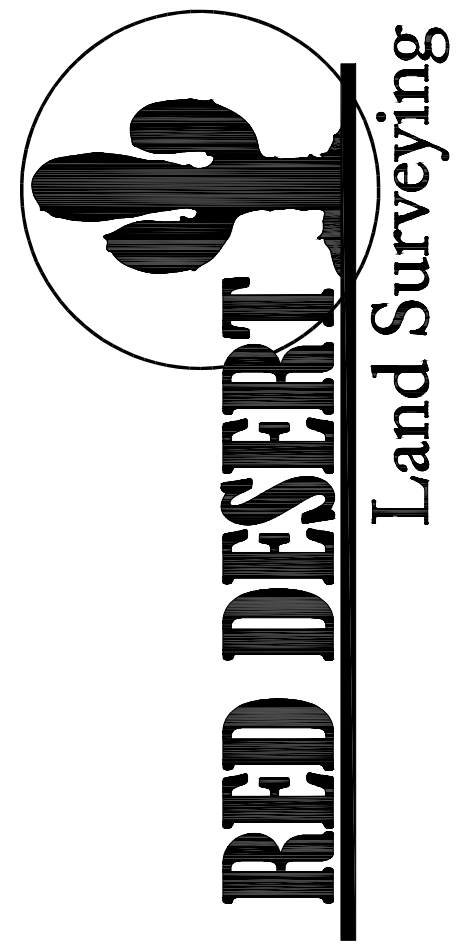
ACKNOWLEDGMENT

STATE OF _____
COUNTY OF _____

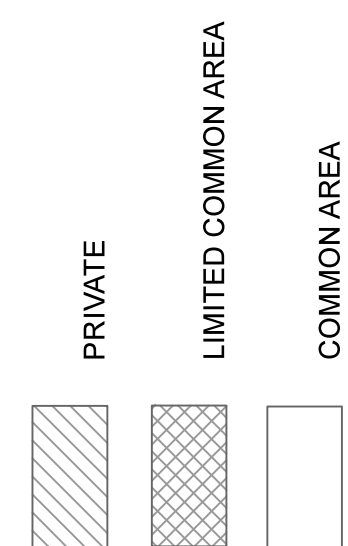
ON THE _____ DAY OF _____, 2020, PERSONALLY APPEARED BEFORE ME, KYLE JACKSON KAISER, WHOM DID ACKNOWLEDGE TO ME THAT THEY SIGNED THE FOREGOING OWNER'S DEDICATION FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES STATED THEREIN.

NOTARY PUBLIC

NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____



88 East Center Street
Moab, UT 84532
435.259.8171



PROJECT TYPE:
FINAL CONDOMINIUM
TOWNHOME PLAT

PROJECT ADDRESS:
175 S 300 E
Moab, Utah 84532

PROJECT LOCATION:
GRAND COUNTY, STATE OF UTAH

PREPARED FOR:
KYLE KAISER

DATE:
5/16/22

JOB NUMBER:
010-22

SHEET 2 OF 2

KAISER CONDOMINIUMS & TOWNHOMES

OWNER'S CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED IS THE OWNER OF THE PROPERTY DESCRIBED AND DEPICTED IN THIS PLAT, HAVING CAUSED A SURVEY TO BE MADE AND THIS PLAT TO BE PREPARED, HEREBY CONSENTS TO THE RECORDATION OF THIS PLAT AND SUBMITS THE PROPERTY DESCRIBED HEREIN TO THE UTAH CONDOMINIUM OWNERSHIP ACT.

IN WITNESS WHEREOF, THE UNDERSIGNED HAS HEREUNTO SET ITS HAND THIS DAY OF _____, 20__.

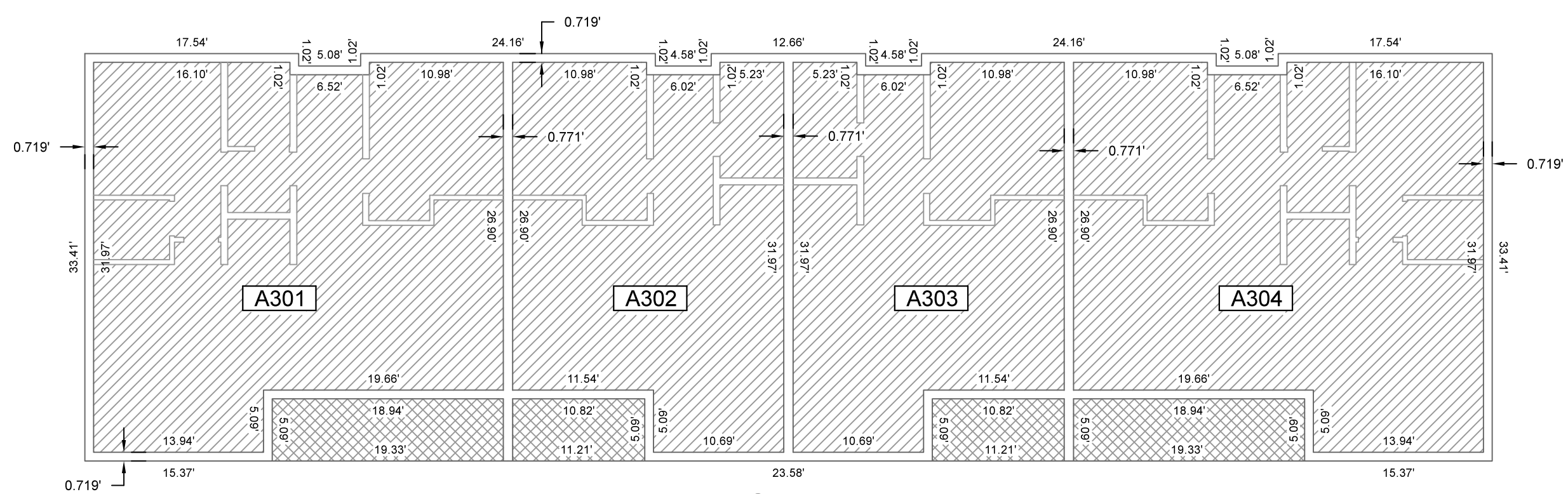
By:
KYLE JACKSON KAISER

ACKNOWLEDGMENT

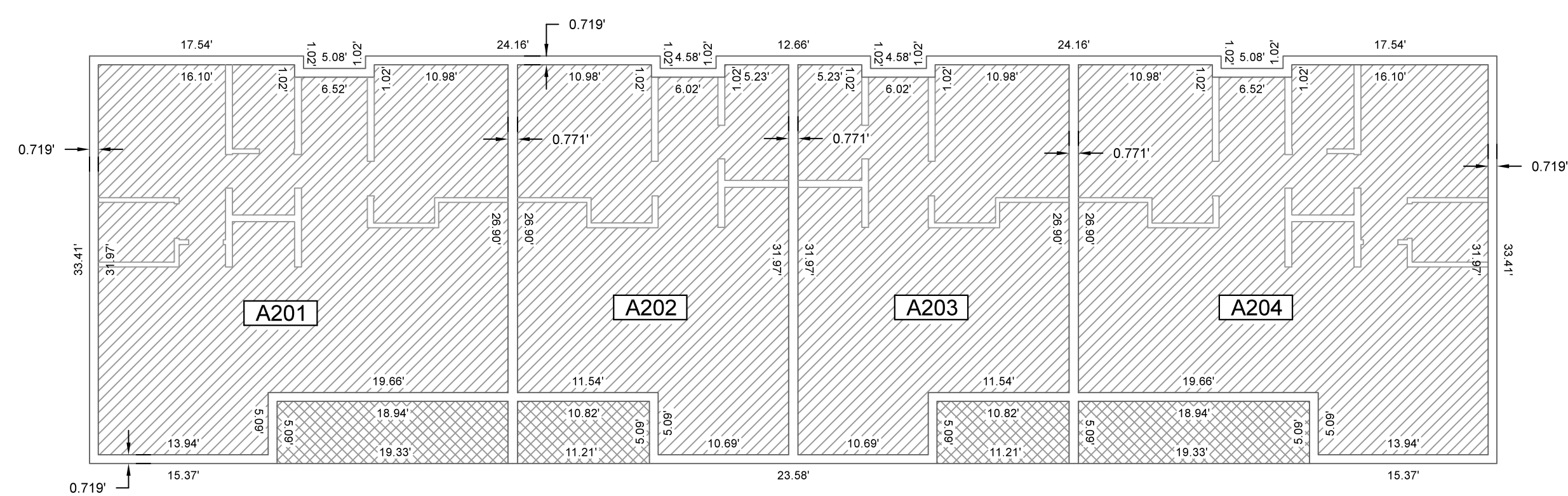
STATE OF _____ } S.S.
COUNTY OF _____ }

THE FOREGOING PLAT WAS ACKNOWLEDGED BEFORE ME THIS ___ DAY OF _____, 20__, BY KYLE JACKSON KAISER.

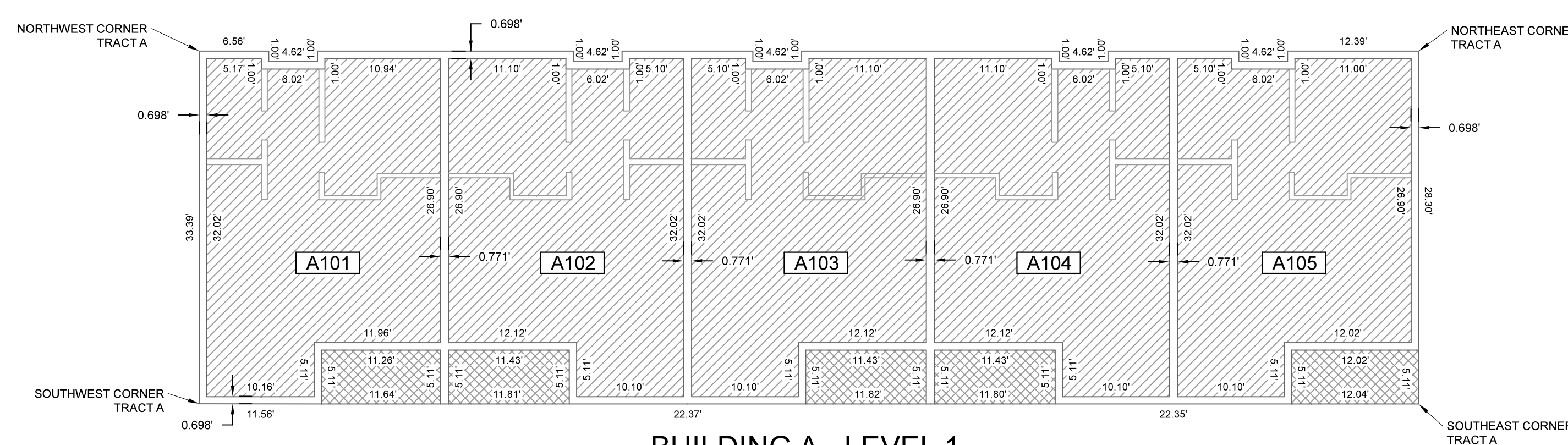
NOTARY PUBLIC _____



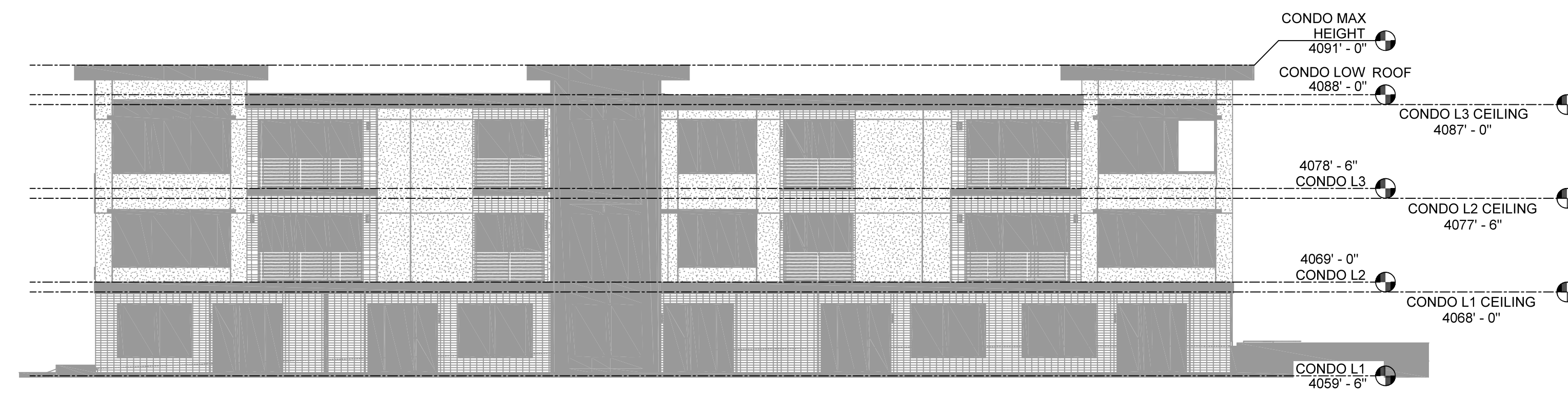
BUILDING A - LEVEL 3



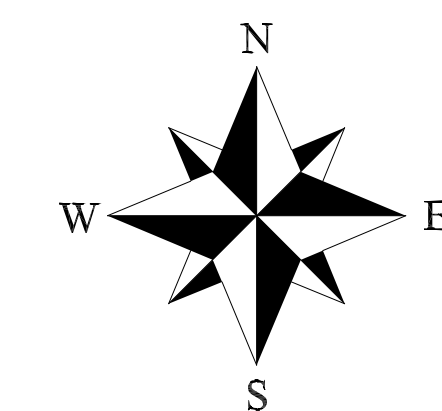
BUILDING A - LEVEL 2



BUILDING A - LEVEL 1



BUILDING A - LANDSCAPE

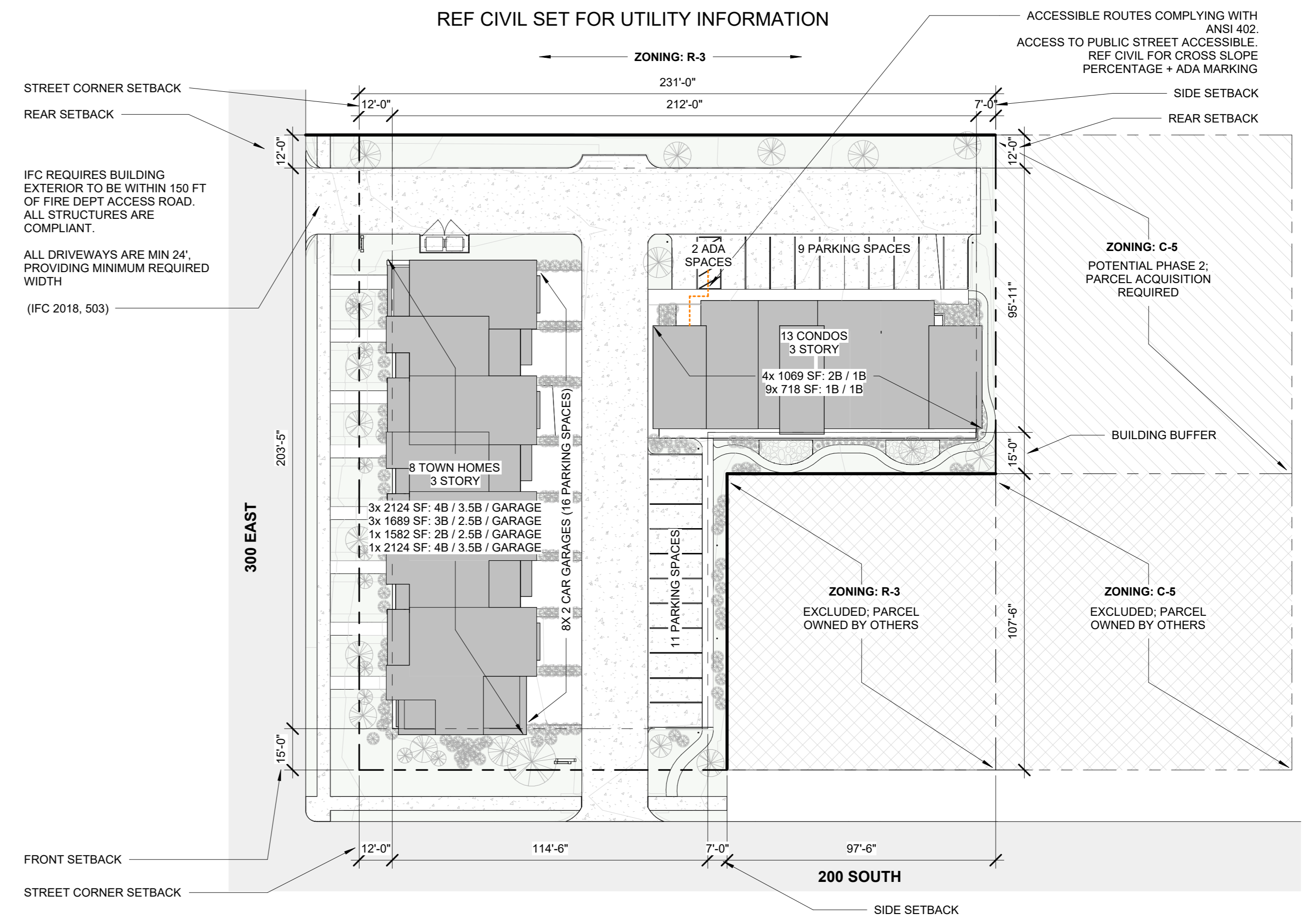
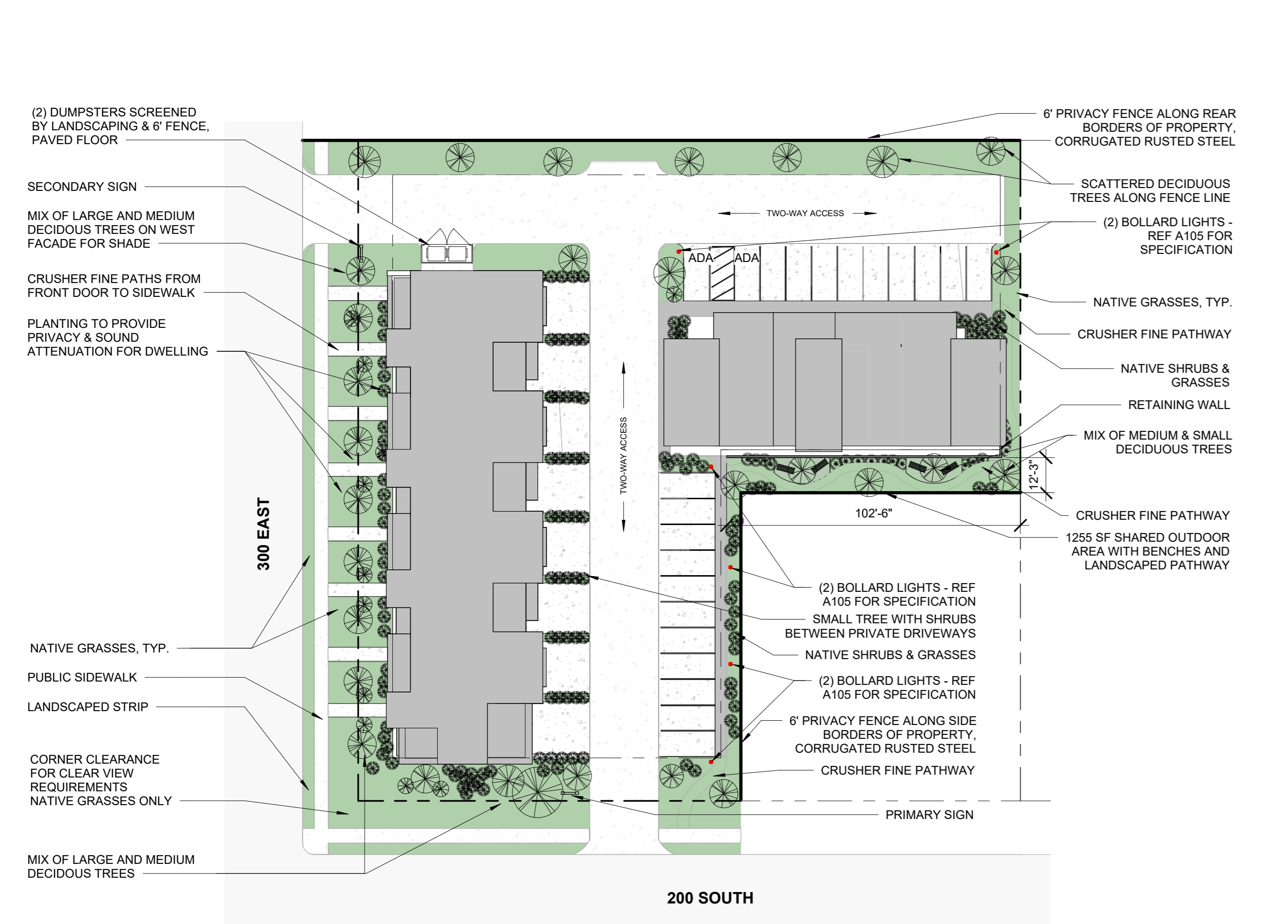
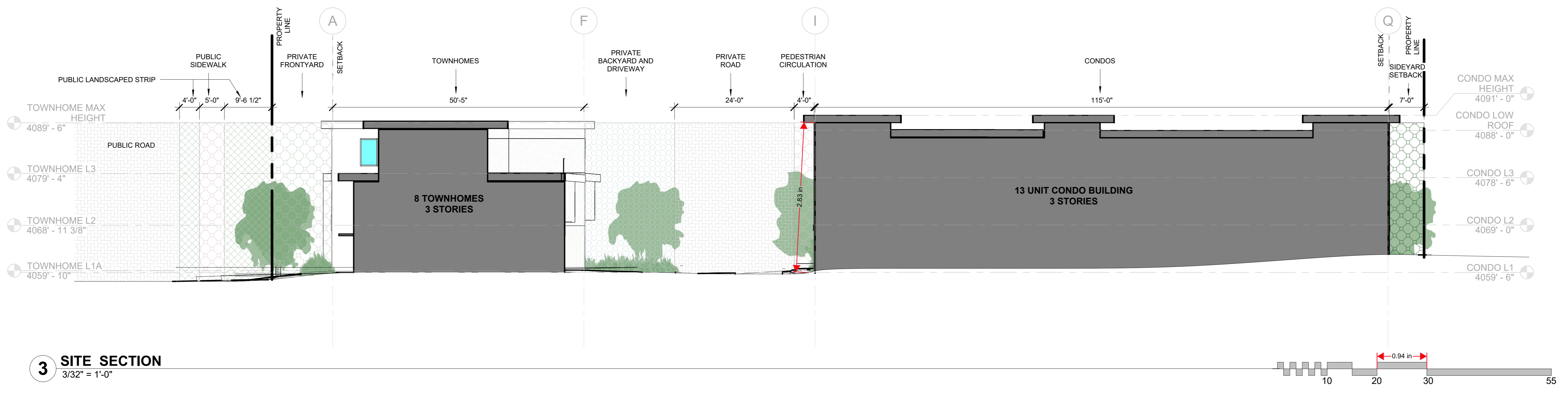


NOT TO SCALE

NOT FOR CONSTRUCTION

REVISIONS:
 22 06 27 SITE PLAN
 APPLICATION REV #1

NOT FOR CONSTRUCTION



2X3 TOWNHOMES & CONDOS
 175 S 300 E
 Moab, UT 84532

SITE PLAN + LANDSCAPE

SHEET NUMBER
A001

6/29/2022 6:53:32 PM

cmk

NOT FOR CONSTRUCTION

REVISIONS:
 22 06 27 SITE PLAN
 APPLICATION REV #1

2X3 TOWNHOMES & CONDOS
 175 S 300 E
 Moab, UT 84532

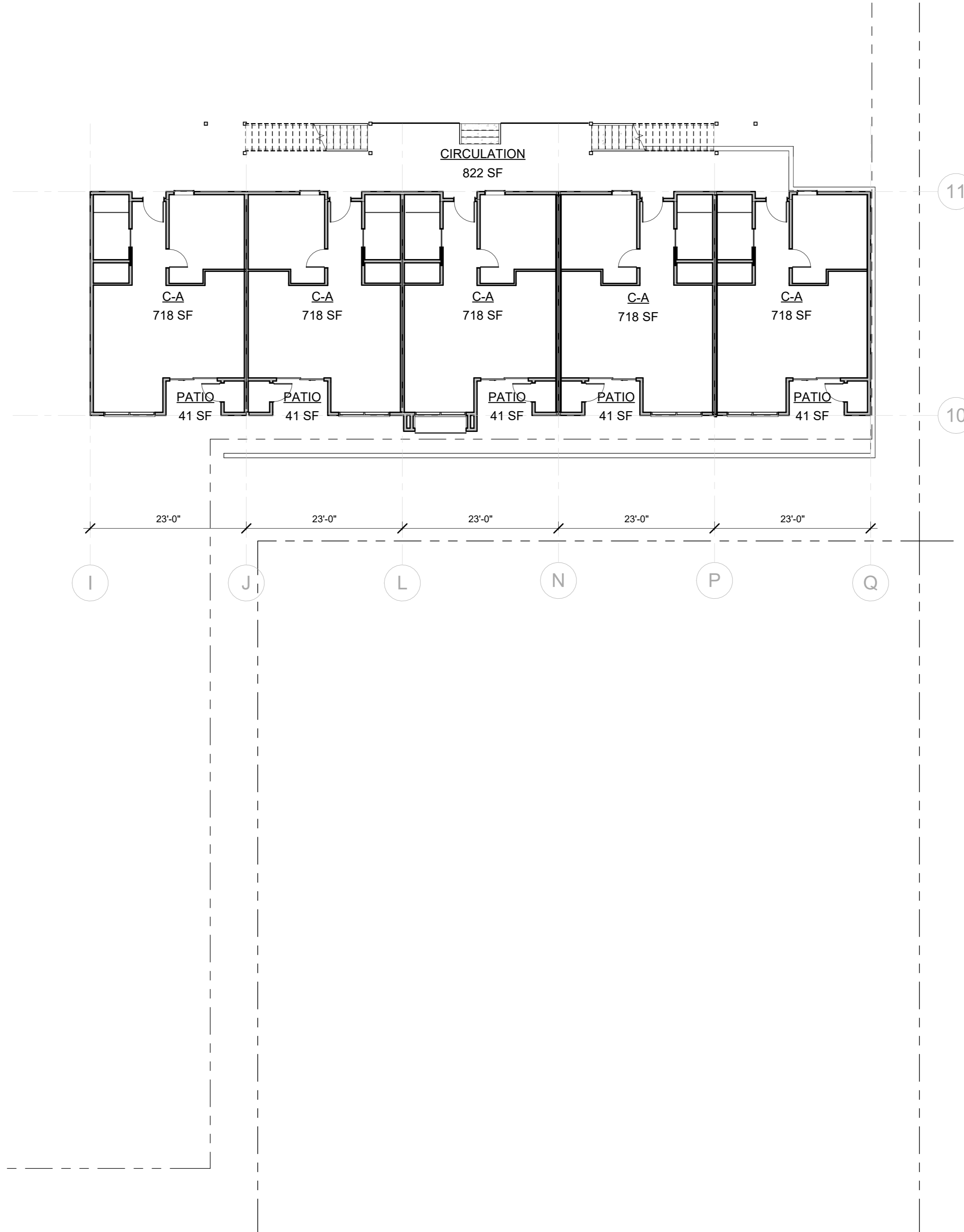
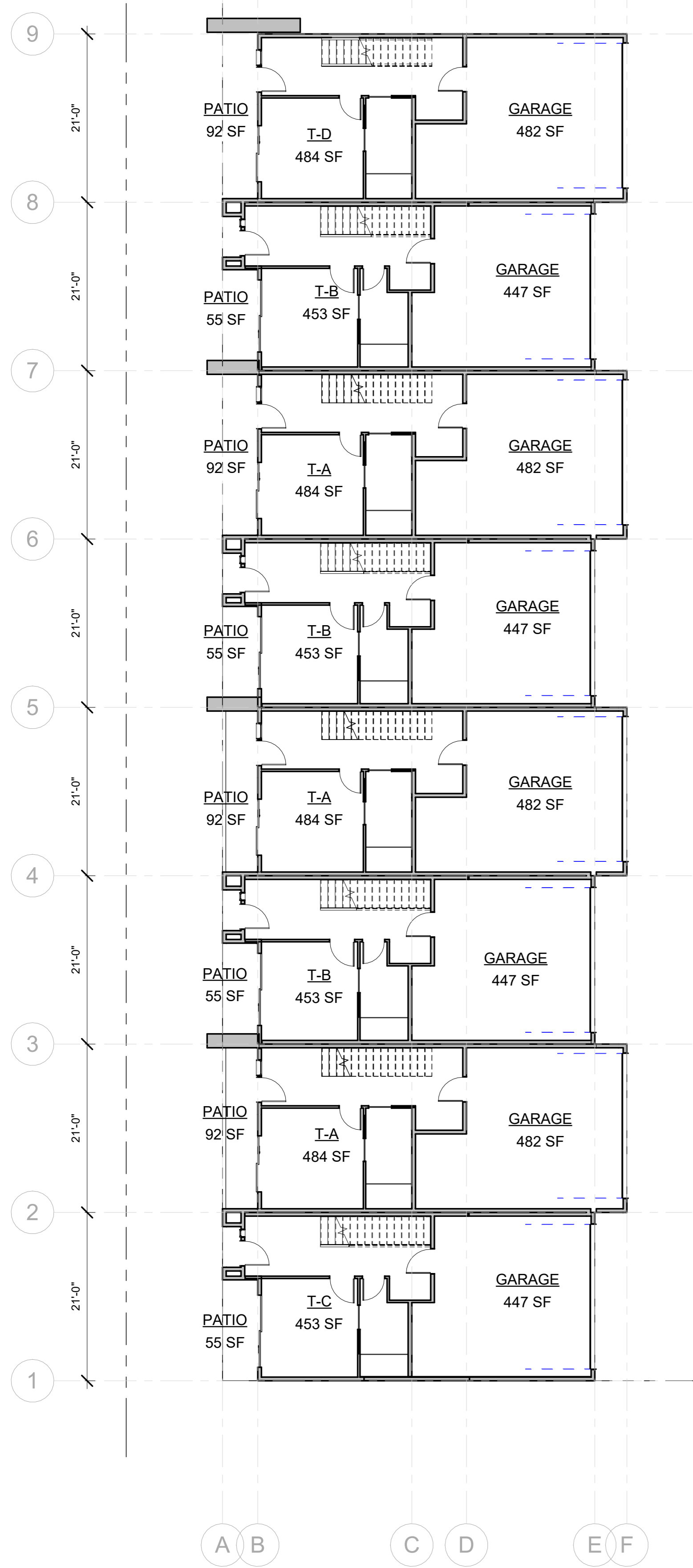
AREA PLANS
 LEVEL 1

SHEET NUMBER

A002

©cmk

NOT FOR CONSTRUCTION



Area Schedule (Overall Floors)

Sort Order	Name	Area	Count
CONDO			
CONDO L1	CIRCULATION	822 SF	1
		822 SF	1
CONDO L2	CIRCULATION	822 SF	1
		822 SF	1
CONDO L3	CIRCULATION	822 SF	1
		822 SF	1
Building Common Area		2466 SF	3
CONDO PATIO			
CONDO L1	PATIO	206 SF	5
		206 SF	5
CONDO L2	PATIO	220 SF	4
		220 SF	4
CONDO L3	PATIO	220 SF	4
		220 SF	4
Exterior Area		646 SF	13
CONDO C-A			
CONDO L1	C-A	3589 SF	5
		3589 SF	5
CONDO L2	C-A	1436 SF	2
CONDO L2	C-B	2138 SF	2
		3575 SF	4
CONDO L3	C-A	1436 SF	2
CONDO L3	C-B	2138 SF	2
		3575 SF	4
Floor Area		10739 SF	13
CONDO		13851 SF	13
TOWN HOME			
TOWN HOME L1	PATIO	591 SF	8
		591 SF	8
TOWN HOME L3	PATIO	2804 SF	10
		2804 SF	10
Exterior Area		3394 SF	18
TOWN HOME GARAGE			
TOWN HOME L1	GARAGE	3719 SF	8
TOWN HOME L1	T-A	6371 SF	3
TOWN HOME L1	T-B	5067 SF	3
TOWN HOME L1	T-C	1582 SF	1
TOWN HOME L1	T-D	2124 SF	1
Floor Area		18863 SF	8
TOWN HOME		22257 SF	8

TOWNHOMES

UNIT TYPE	SF PER UNIT	BEDS/ BATHS	QTY	PARKING	TOTAL
T-A	2124 SF	4 / 3.5	3	2 GARAGE	6 SPACES
T-B	1689 SF	3 / 2.5	3	2 GARAGE	6 SPACES
T-C	1582 SF	2 / 2.5	1	2 GARAGE	2 SPACES
T-D	2124 SF	4 / 3.5	1	2 GARAGE	2 SPACES

CONDOS

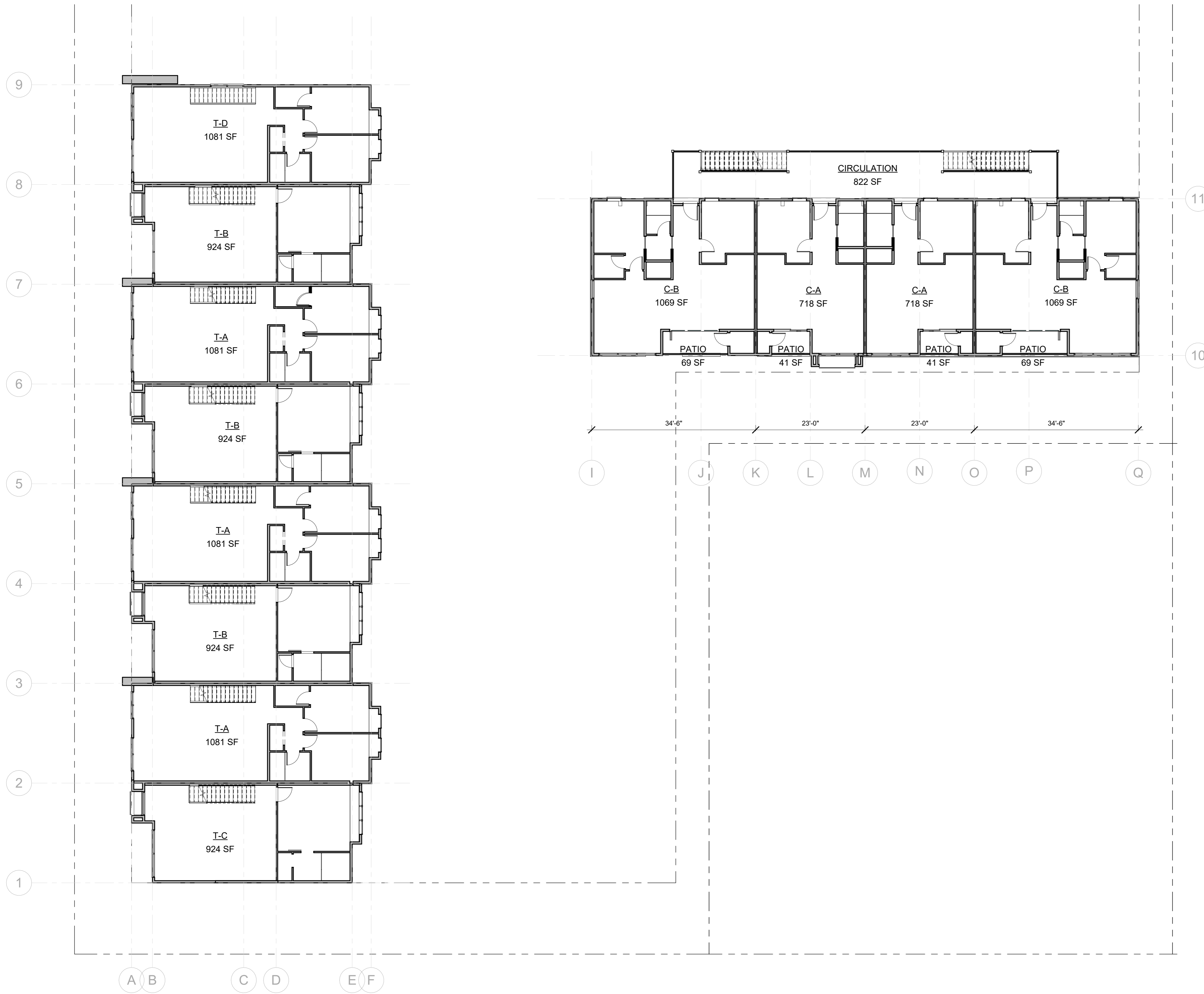
UNIT TYPE	SF PER UNIT	BEDS/ BATHS	QTY	PARKING	TOTAL
C-A	1069 SF	2 / 1	4	1.5 SURFACE	6 SPACES
C-B	718 SF	1 / 1	9	1.5 SURFACE	14 SPACES

TOTAL SPACES REQUIRED = 36
 TOTAL SPACES PROVIDED = 38

1 AREA PLAN - L1
 3/32" = 1'-0"

6/29/2022 6:53:34 PM

NOT FOR CONSTRUCTION



Area Schedule (Overall Floors)

Sort Order	Name	Area	Count
------------	------	------	-------

CONDO			
CONDO L1	CIRCULATION	822 SF	1
		822 SF	1
CONDO L2	CIRCULATION	822 SF	1
		822 SF	1
CONDO L3	CIRCULATION	822 SF	1
		822 SF	1
Building Common Area		2466 SF	3
PATIO			
CONDO L1	PATIO	206 SF	5
		206 SF	5
CONDO L2	PATIO	220 SF	4
		220 SF	4
CONDO L3	PATIO	220 SF	4
		220 SF	4
Exterior Area		646 SF	13
C-A			
CONDO L1	C-A	3589 SF	5
		3589 SF	5
CONDO L2	C-A	1436 SF	2
CONDO L2	C-B	2138 SF	2
		3575 SF	4
CONDO L3	C-A	1436 SF	2
CONDO L3	C-B	2138 SF	2
		3575 SF	4
Floor Area		10739 SF	13
CONDO		13851 SF	13
TOWN HOME			
TOWN HOME L1	PATIO	591 SF	8
		591 SF	8
TOWN HOME L3	PATIO	2804 SF	10
		2804 SF	10
Exterior Area		3394 SF	18
GARAGE			
TOWN HOME L1	GARAGE	3719 SF	8
TOWN HOME L1	T-A	6371 SF	3
TOWN HOME L1	T-B	5067 SF	3
TOWN HOME L1	T-C	1582 SF	1
TOWN HOME L1	T-D	2124 SF	1
Floor Area		18863 SF	8
TOWN HOME		22257 SF	8

TOWNHOMES

UNIT TYPE	SF PER UNIT	BEDS/ BATHS	QTY	PARKING	TOTAL
T-A	2124 SF	4 / 3.5	3	2 GARAGE	6 SPACES
T-B	1689 SF	3 / 2.5	3	2 GARAGE	6 SPACES
T-C	1582 SF	2 / 2.5	1	2 GARAGE	2 SPACES
T-D	2124 SF	4 / 3.5	1	2 GARAGE	2 SPACES

CONDOS

UNIT TYPE	SF PER UNIT	BEDS/ BATHS	QTY	PARKING	TOTAL
C-A	1069 SF	2 / 1	4	1.5 SURFACE	6 SPACES
C-B	718 SF	1 / 1	9	1.5 SURFACE	14 SPACES

TOTAL SPACES REQUIRED = 36
TOTAL SPACES PROVIDED = 38

NOT FOR CONSTRUCTION

REVISIONS:
22.06.27 SITE PLAN
APPLICATION REV #1

2X3 TOWNHOMES & CONDOS

175 S 300 E
Moab, UT 84532

**AREA PLANS
LEVEL 2**

SHEET NUMBER

A003

6/29/2022 6:53:35 PM

©cmk

1 TOWNHOME L2
3/32" = 1'-0"

NOT FOR CONSTRUCTION

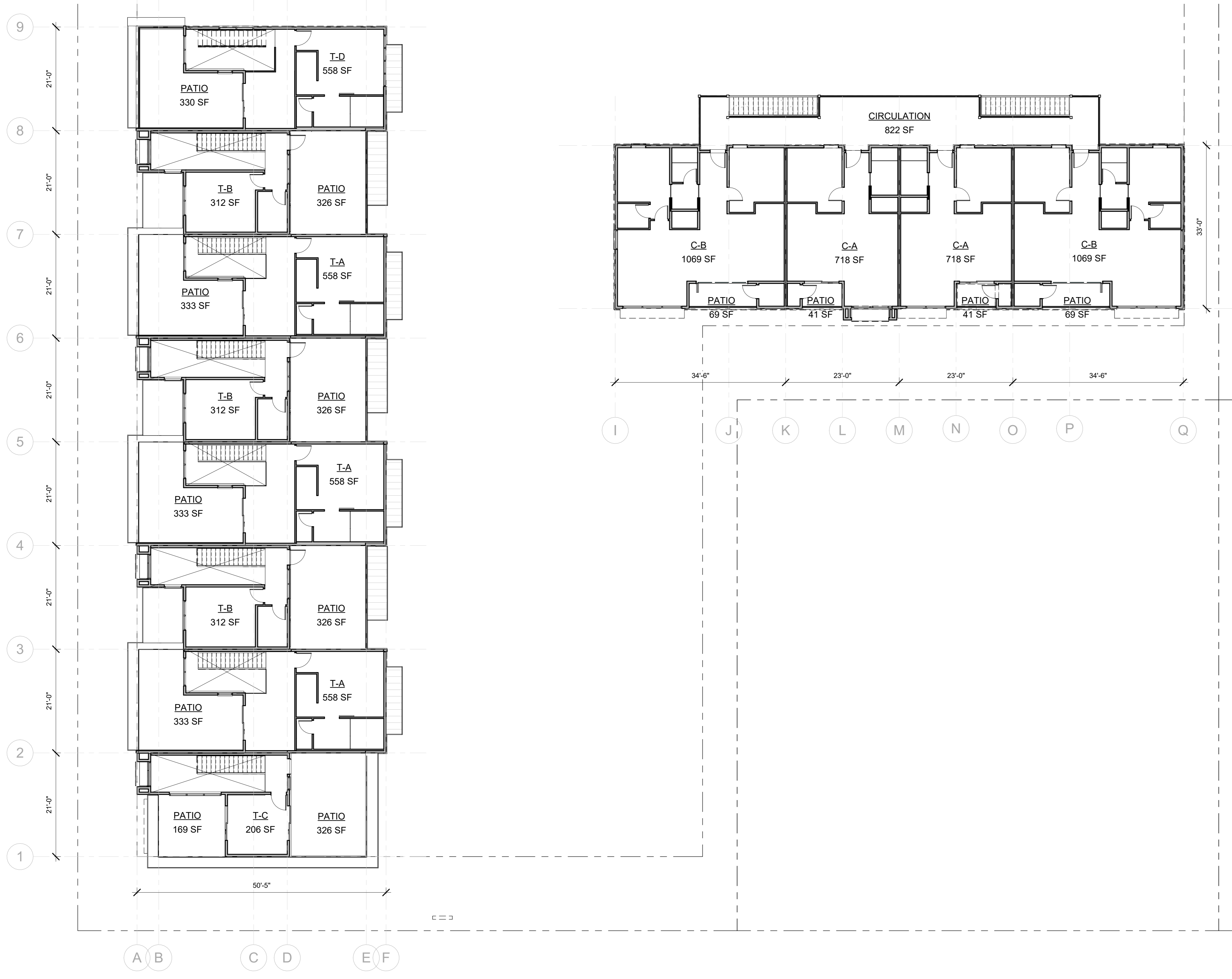
REVISIONS:
 22.06.27 SITE PLAN
 APPLICATION REV #1

2X3 TOWNHOMES & CONDOS
 175 S 300 E
 Moab, UT 84532

**AREA PLANS
 LEVEL 3**

SHEET NUMBER
A004
 ©cmk

NOT FOR CONSTRUCTION



Area Schedule (Overall Floors)

Sort Order	Name	Area	Count
CONDO			
CONDO L1	CIRCULATION	822 SF	1
		822 SF	1
CONDO L2	CIRCULATION	822 SF	1
		822 SF	1
CONDO L3	CIRCULATION	822 SF	1
		822 SF	1
Building Common Area		2466 SF	3
PATIO			
CONDO L1	PATIO	206 SF	5
		206 SF	5
CONDO L2	PATIO	220 SF	4
		220 SF	4
CONDO L3	PATIO	220 SF	4
		220 SF	4
Exterior Area		646 SF	13
C-A			
CONDO L1	C-A	3589 SF	5
		3589 SF	5
CONDO L2	C-A	1436 SF	2
CONDO L2	C-B	2138 SF	2
		3575 SF	4
CONDO L3	C-A	1436 SF	2
CONDO L3	C-B	2138 SF	2
		3575 SF	4
Floor Area		10739 SF	13
CONDO		13851 SF	13
TOWN HOME			
TOWN HOME L1	PATIO	591 SF	8
		591 SF	8
TOWN HOME L3	PATIO	2804 SF	10
		2804 SF	10
Exterior Area		3394 SF	18
TOWN HOME L1			
TOWN HOME L1	GARAGE	3719 SF	8
TOWN HOME L1	T-A	6371 SF	3
TOWN HOME L1	T-B	5067 SF	3
TOWN HOME L1	T-C	1582 SF	1
TOWN HOME L1	T-D	2124 SF	1
		18863 SF	8
Floor Area		18863 SF	8
TOWN HOME		22257 SF	8

TOWNHOMES

UNIT TYPE	SF PER UNIT	BEDS/ BATHS	QTY	PARKING	TOTAL
T-A	2124 SF	4 / 3.5	3	2 GARAGE	6 SPACES
T-B	1689 SF	3 / 2.5	3	2 GARAGE	6 SPACES
T-C	1582 SF	2 / 2.5	1	2 GARAGE	2 SPACES
T-D	2124 SF	4 / 3.5	1	2 GARAGE	2 SPACES

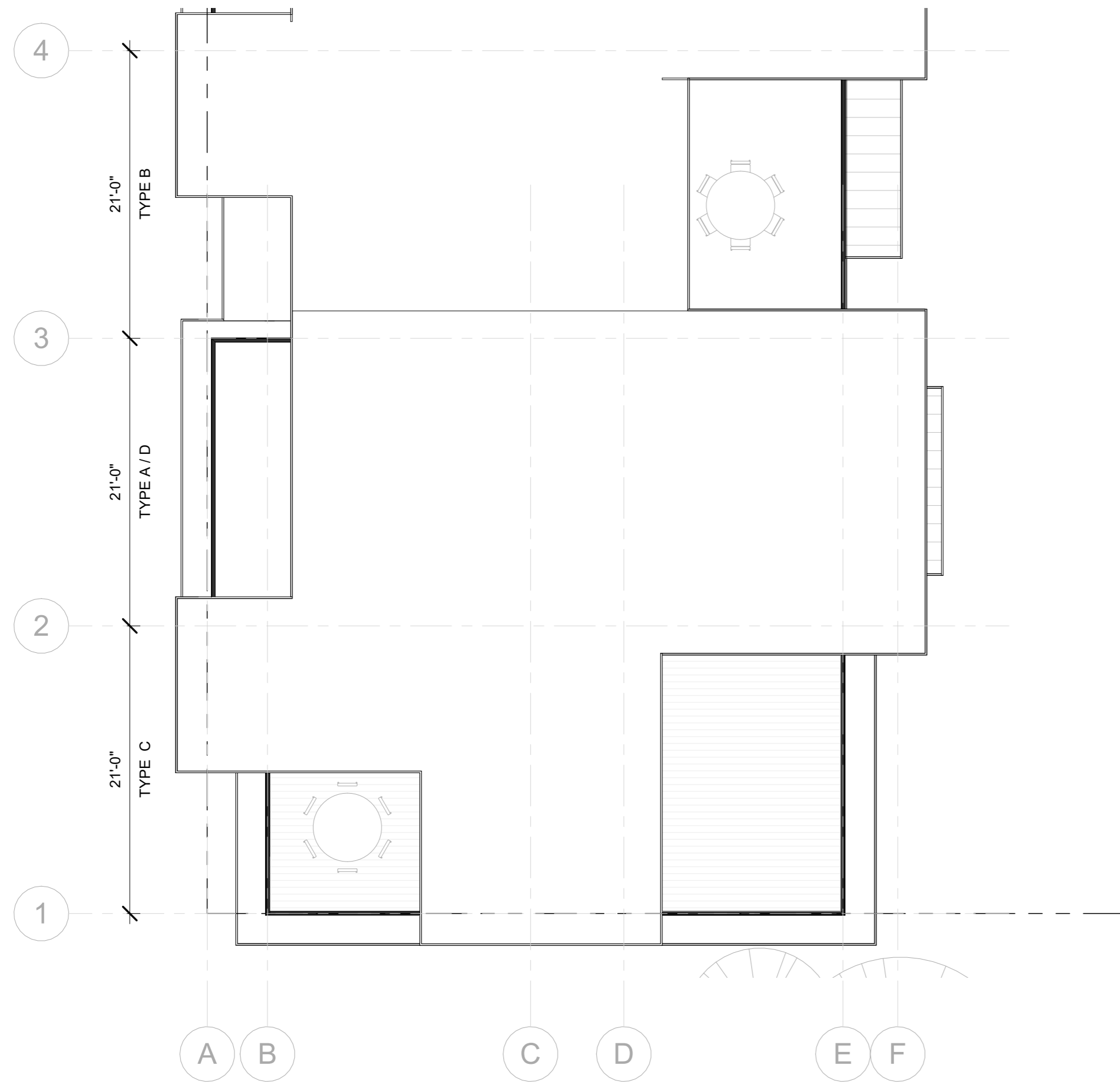
CONDOS

UNIT TYPE	SF PER UNIT	BEDS/ BATHS	QTY	PARKING	TOTAL
C-A	1069 SF	2 / 1	4	1.5 SURFACE	6 SPACES
C-B	718 SF	1 / 1	9	1.5 SURFACE	14 SPACES

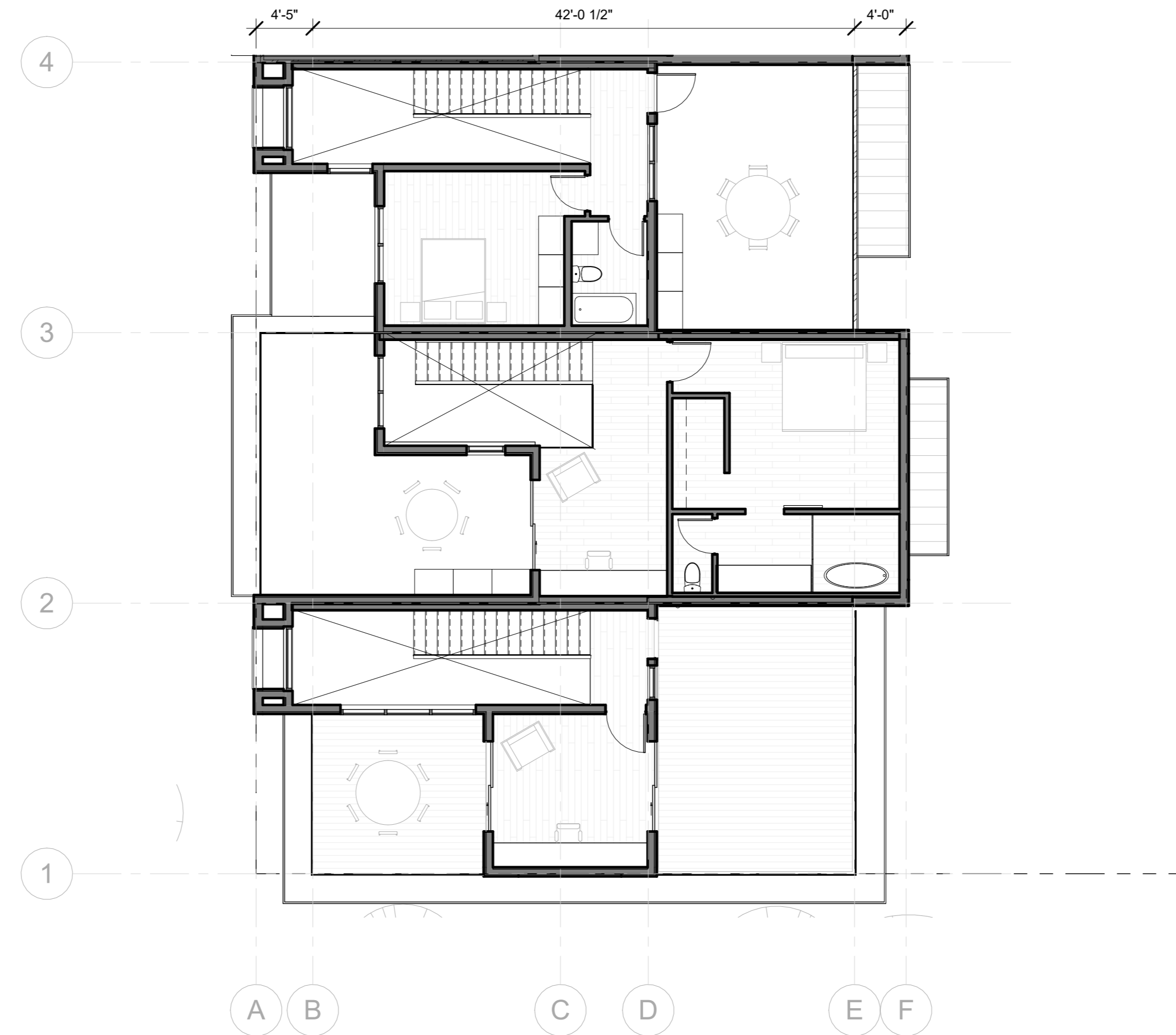
TOTAL SPACES REQUIRED = 36
 TOTAL SPACES PROVIDED = 38

1 AREA PLAN - L3
 3/32" = 1'-0"

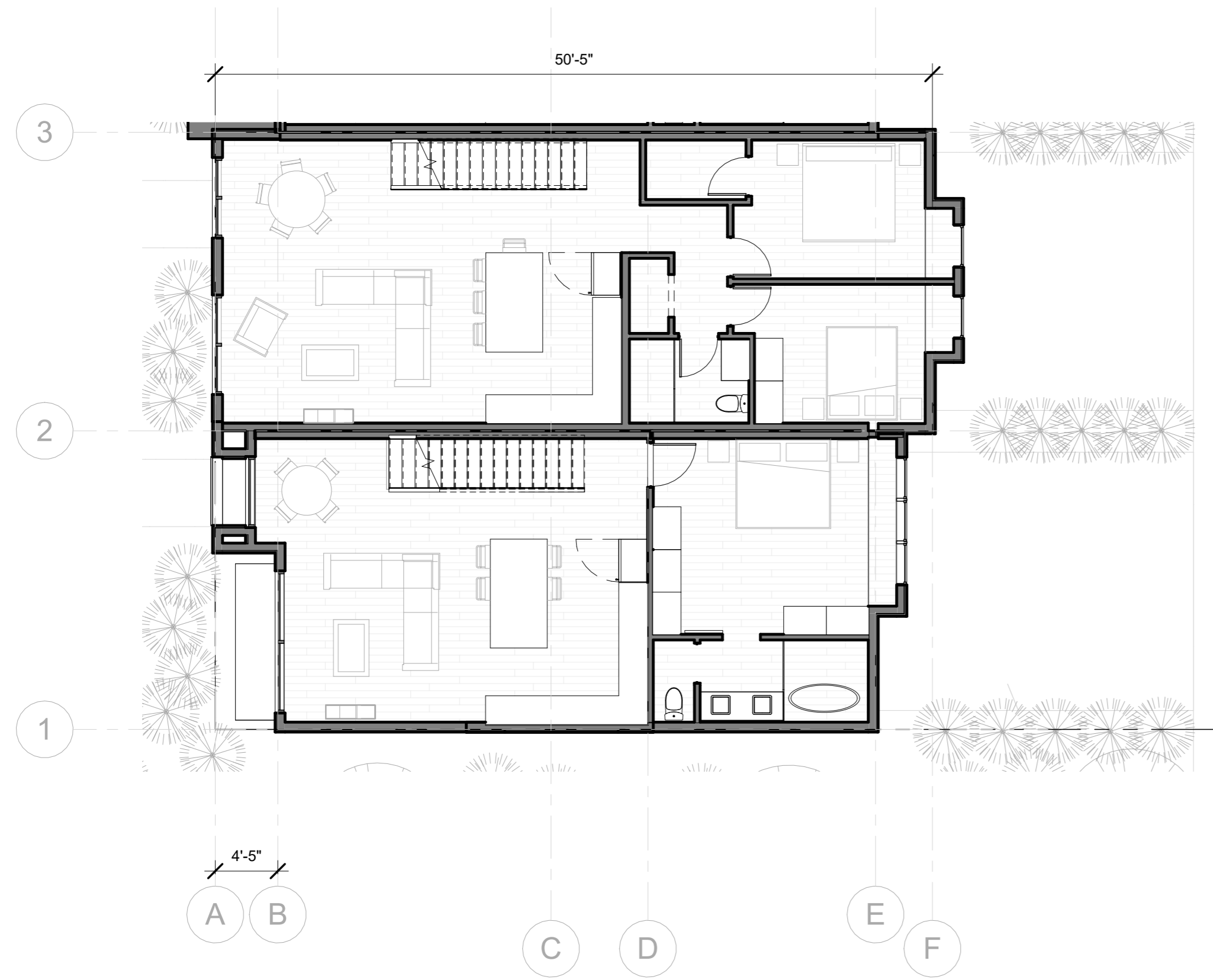
NOT FOR CONSTRUCTION



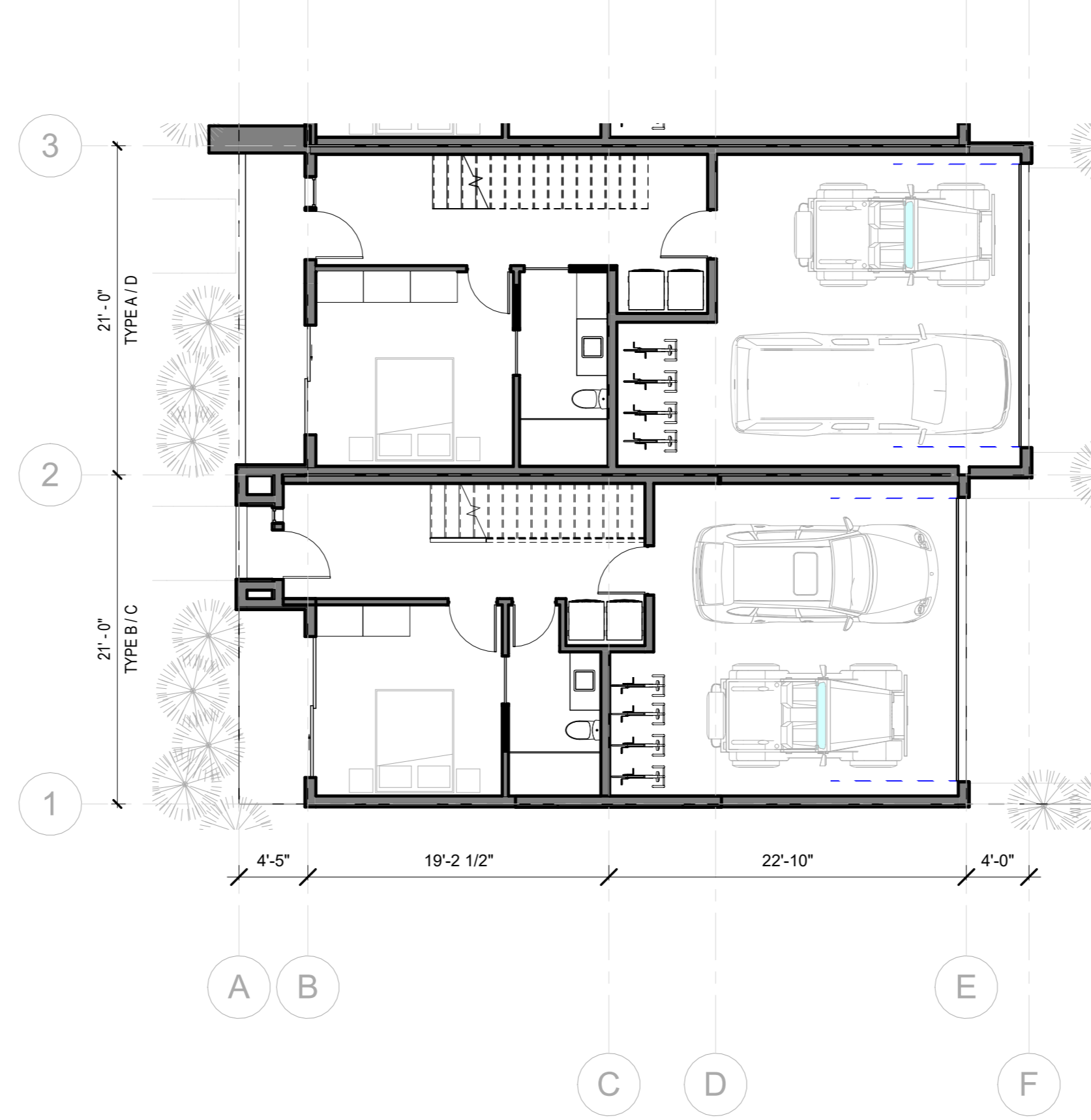
4 TOWNHOME ROOF PLAN
1/8" = 1'-0"



3 TOWNHOME FLOOR PLAN LEVEL 3
1/8" = 1'-0"



2 TOWNHOME FLOOR PLAN LEVEL 2
1/8" = 1'-0"



1 TOWNHOME FLOOR PLAN LEVEL 1
1/8" = 1'-0"

GENERAL NOTES:

- A. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
- B. HOLD ALL "CLEAR" INTERIOR ROOM DIMENSIONS TO FACE OF FINISH.
- C. COORDINATE F.E.C. (FIRE EXTINGUISHER CABINETS) LOCATIONS AND QUANTITY WITH LOCAL FIRE MARSHALL. SHOWN IN PLAN @ 75'-0" O.C. MAX SPACING.
- D. SEE SHEETS XXX FOR ASSEMBLY TYPES
- E. SEE SHEETS A600 AND A601 FOR DOOR AND WINDOW SCHEDULES.
- F. ALL AUDIBLE AND VISUAL ALARMS SHALL COMPLY WITH PROVISIONS OF THE NFPA 72.
- G. REFER TO SPECIFICATIONS FOR INTERIOR FINISH INDEX.
- H. TO THE MAXIMUM EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS AND NOT IN GUESTROOMS. ALL FLOOR CLEAN-OUTS LOCATED IN CARPETED AREAS ARE TO BE FITTED WITH CARPET INSERTS. ALL CLEAN-OUTS ARE TO BE FLUSH TO FLOORS/WALLS.
- I. WATER CLOSET WASTE LINES ARE TO BE LOCATED IN WALL CHASE, NOT IN EXTERIOR WALLS.
- J. CENTER ALL DOORS ABOUT WALL SPACE U.N.O.
- K. THE GENERAL CONTRACTOR AND/OR WINDOW MANUFACTURER/SUPPLIER SHALL BE RESPONSIBLE FOR ENSURING THAT SAFETY GLASS IS PROVIDED WHERE APPLICABLE IN ACCORDANCE WITH 2012 IRC SECTION R308.4.

NOT FOR CONSTRUCTION

REVISIONS:
22 06 27 SITE PLAN
APPLICATION REV #1

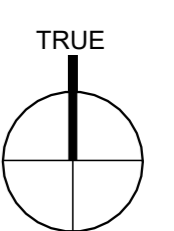
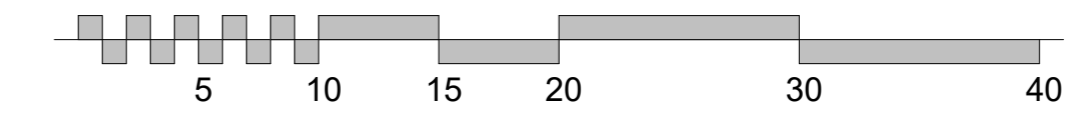
2X3 TOWNHOMES & CONDOS

175 S 300 E
Moab, UT 84532

FLOOR PLANS - TOWNHOMES

SHEET NUMBER

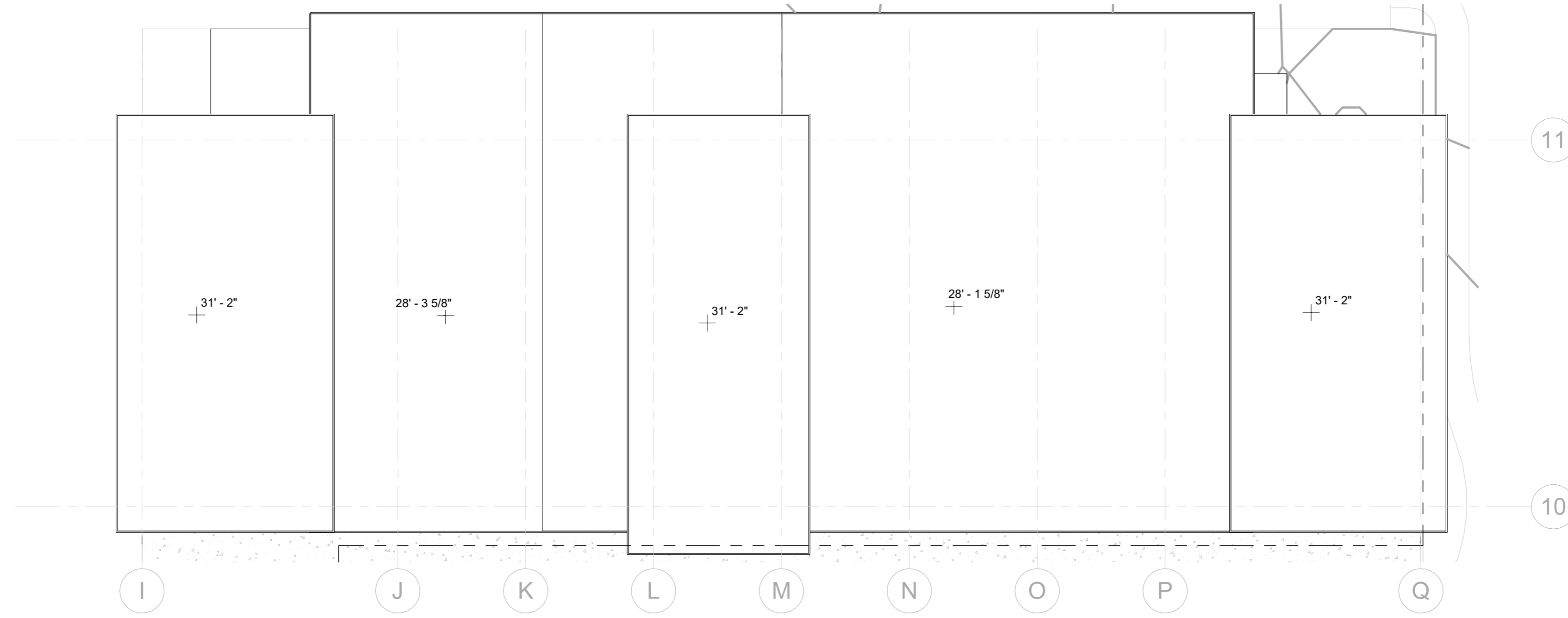
A101



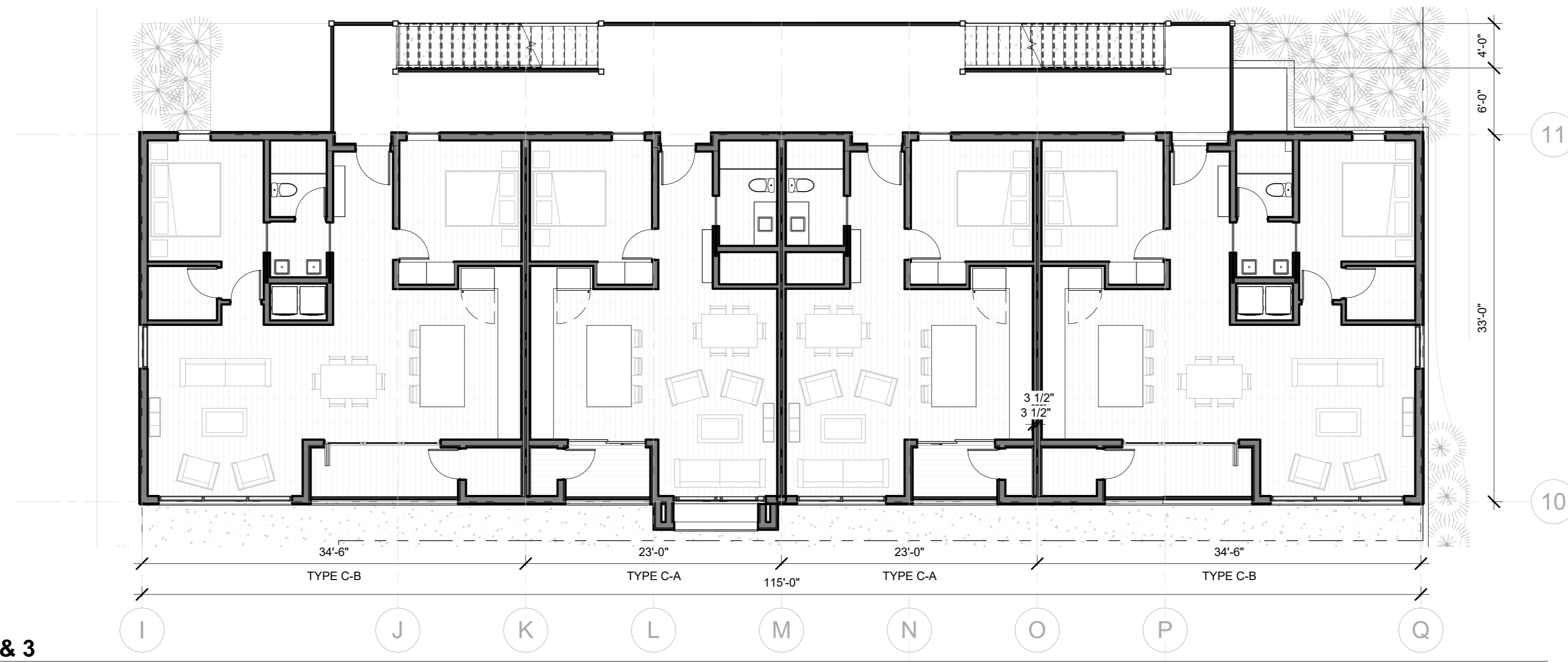
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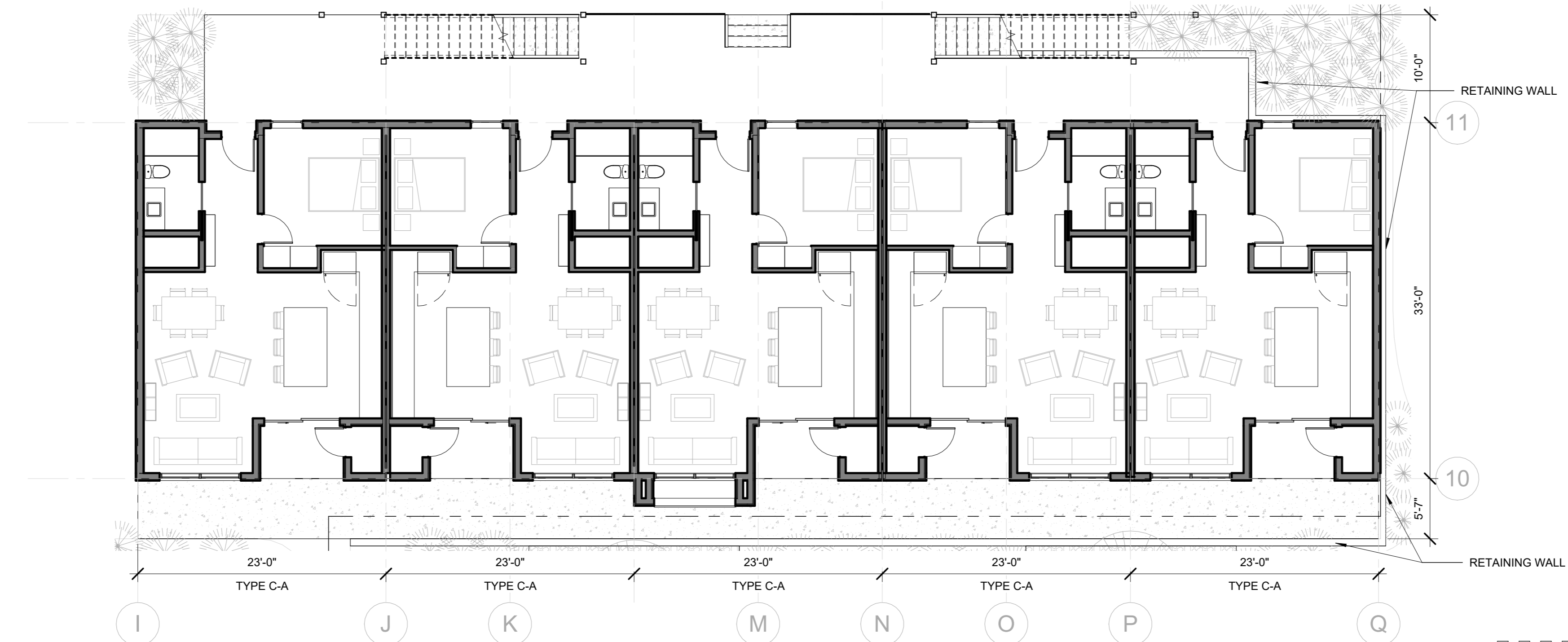
NOT FOR CONSTRUCTION



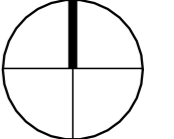
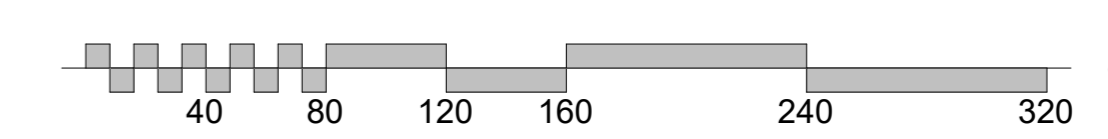
1 CONDO ROOF PLAN
1/8" = 1'-0"



2 CONDO FLOOR PLAN LEVEL 2 & 3
1/8" = 1'-0"



3 CONDO FLOOR PLAN LEVEL 1
1/8" = 1'-0"



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REVISIONS:
 22 06 27 SITE PLAN
 APPLICATION REV #1

2X3 TOWNHOMES & CONDOS

175 S 300 E
 Moab, UT 84532

FLOOR PLANS - CONDOS

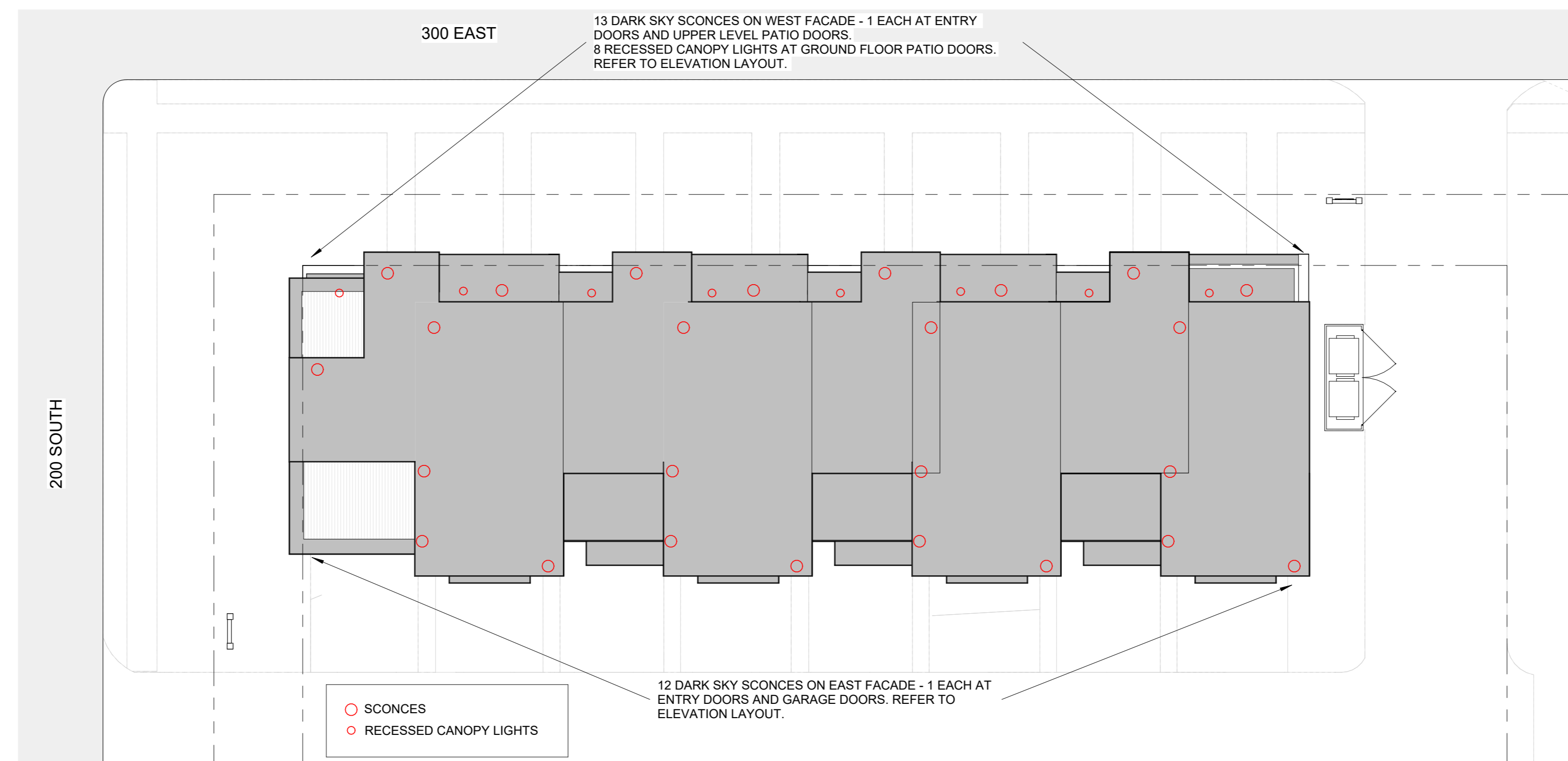
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A102

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NOT FOR CONSTRUCTION

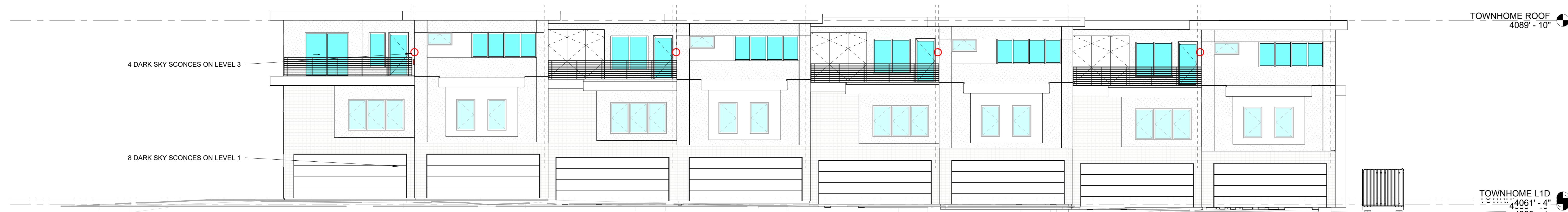


3 TOWNHOME EXTERIOR LIGHTING PLAN
1/16" = 1'-0"



NOTE: TOTAL OF (13) SCONCES AND (8) RECESSED EGRESS CANOPY LIGHTS ON WEST TOWNHOME FACADE

2 TOWNHOME WEST - LIGHTING
1/8" = 1'-0"



NOTE: TOTAL OF (12) SCONCES ON EAST TOWNHOME FACADE

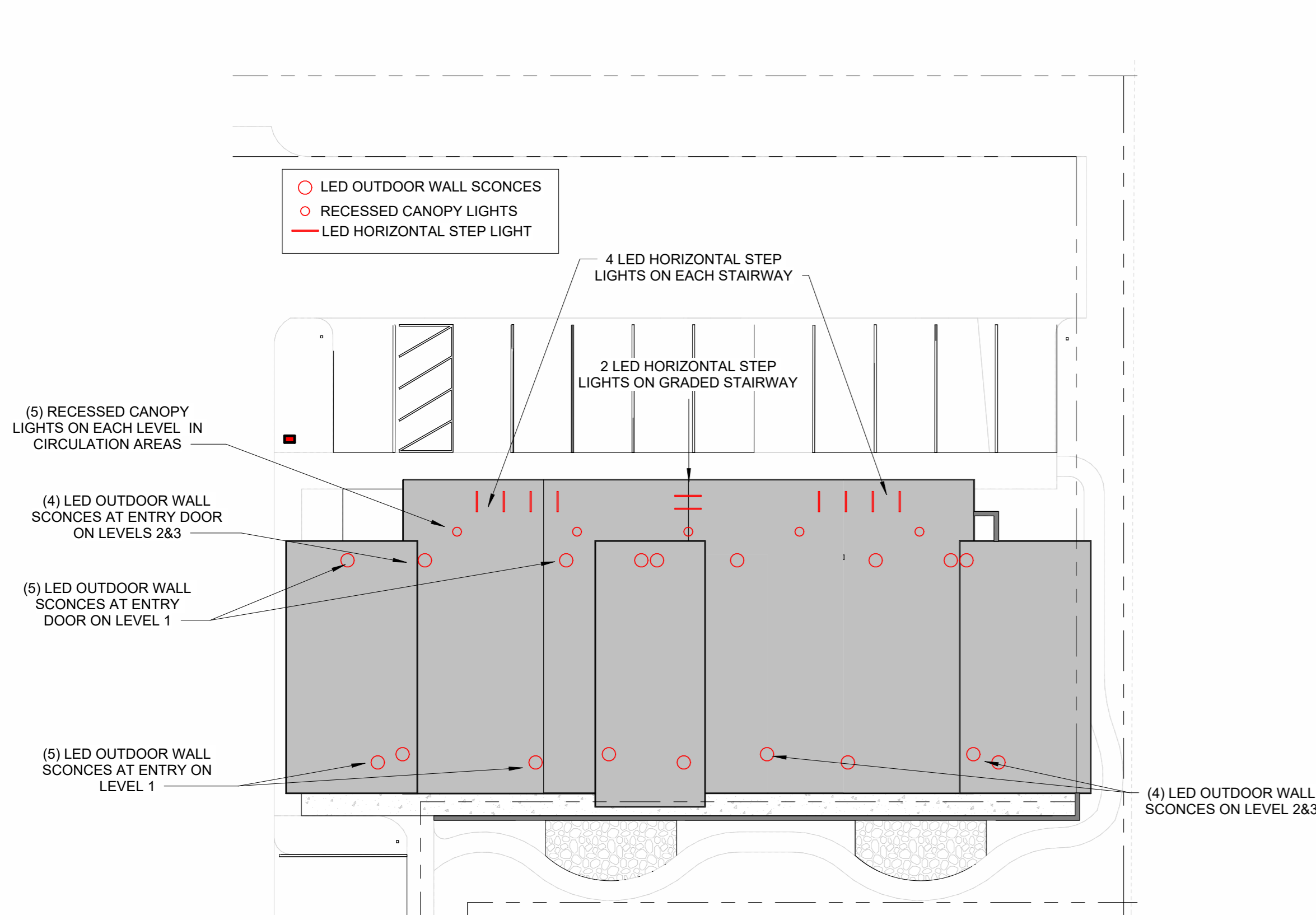
1 TOWNHOME EAST - LIGHTING
1/8" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS:
22 06 27 SITE PLAN
APPLICATION REV #1

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NOT FOR CONSTRUCTION

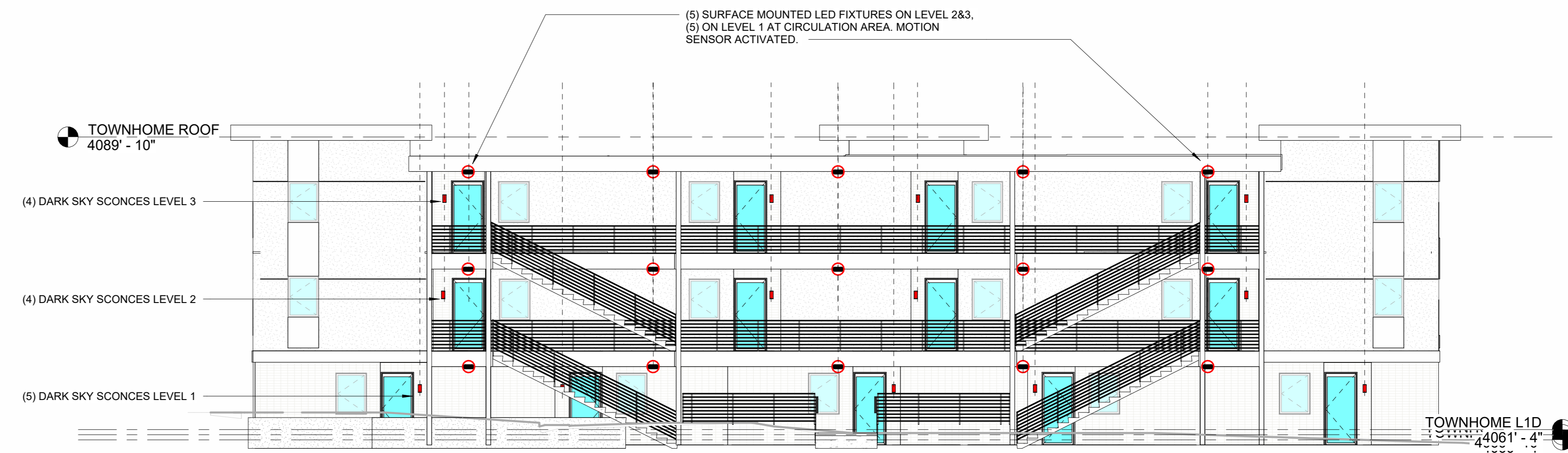


4 CONDO EXTERIOR LIGHTING PLAN
1/16" = 1'-0"



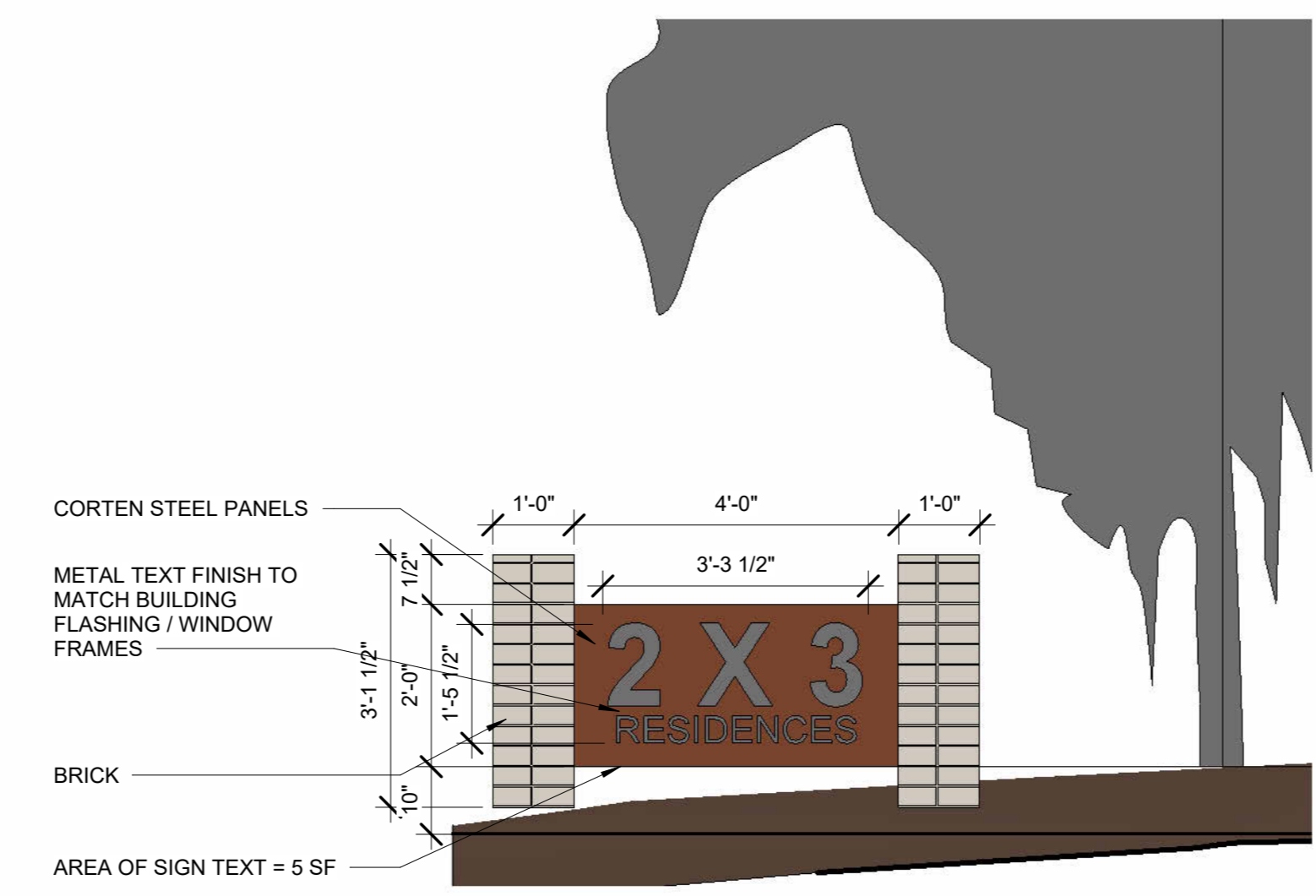
3 CONDO SOUTH - LIGHTING
1/8" = 1'-0"

NOTE: TOTAL OF (15) SCONCES ON SOUTH CONDO FACADE



2 CONDO NORTH - LIGHTING
1/8" = 1'-0"

NOTE: TOTAL OF (13) SCONCES AND (15) SURFACE MOUNTED LED FIXTURES ON NORTH CONDO FACADE



5 SIGN ELEVATION
1/2" = 1'-0"

15.44.080. SIGNS IN RESIDENTIAL ZONES.
F. FREESTANDING SIGNS IN RESIDENTIAL ZONES MAY NOT EXCEED FIVE FEET IN HEIGHT MEASURED FROM GRADE.
D. APARTMENTS AND GUEST APARTMENTS MAY BE ALLOWED UP TO SIXTEEN SQUARE FEET OF SIGNAGE IF THEY HAVE MORE THAN FOUR UNITS.

NOT FOR CONSTRUCTION

REVISIONS:
22 06 27 SITE PLAN APPLICATION REV #1

175 S 300 E
Moab, UT 84532

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20,000 LUMEN PERMITTED PER DEVELOPED ACRE - REF 17.09.064	
LOT SIZE	1 ACRES
PERMITTED	20,000 LUMENS
PROVIDED	19,932 LUMENS

	SILO OUTDOOR FLUSHMOUNT	11250 LED OUTDOOR WALL SCONCE	LANDSCAPE LIGHTING LED HORIZONTAL STEP LIGHT	GATE LED BOLLARD LIGHT
PLACEMENT	CEILING FLUSHMOUNTED; AWNINGS, DECK UNDERSIDE	WALL MOUNTED DOWNLIGHT	IN-SET IN STEPS	FREESTANDING / SITE
MFR	HINKLEY	WAC LIGHTING	WAC LIGHTING	WAC LIGHTING
COLOR	BRONZE	BRONZE	BRONZE ON ALUMINIUM	BRONZE
KELVIN	3,000 K	3,000 K	WARM WHITE (CONFIRM <3,000 K)	2,700 K
LUMEN	420	199	68	115
# ON SITE	23	42	18	6
LUMEN TOTAL	9,660 LUMEN	8,358 LUMEN	1,224 LUMEN	690 LUMEN

IT IS NOT POSSIBLE TO MEET RECOMMENDED PARKING LOT SAFETY LIGHTING MINIMUMS WITH THE MAXIMUM ALLOWED TOTAL LUMENS FOR THE PROPERTY CALLED OUT IN 17.09.064. THE ARCHITECT REQUESTS A REVIEW TOGETHER TO CREATE A SAFE LEVEL OF LIGHTING FOR INHABITANTS.

REF 2/A001, LANDSCAPE PLAN FOR LOCATIONS OF BOLLARD LIGHTS

Landscape Lighting LED Horizontal Step Light

By WAC Lighting



Call Us 866.428.9289

Product Options

Finish: Black on Aluminum, Bronze on Aluminum, Bronze on Brass, Cast Stainless Steel, White on Aluminum
Light Option: Amber, Warm White, White

Details

- Protected against high-pressure water jets
- 10%-100% dimming
- 50° beam spread
- Solid diecast brass, corrosion resistant aluminum alloy or cast stainless steel construction
- Invisible hardware
- Maintains constant lumen output against voltage drop
- Transformer required
- Fits into 2" x 4" J-Box with minimum inside dimensions of 3/4" x 2" W x 2" H
- Includes bracket for J-Box mount
- Designed in 2016
- Shade Material: Frosted Glass
- ADA compliant
- UL Listed Wet
- Warranty: 10 Years Functional / 5 Years Functional for Black Finish
- Made In China

Dimensions

Fixture: Width 5", Height 3", Depth 1.5"

Lighting

- 2 Watt (68 Lumens) 12 Volt Integrated LED, CRI: 90 Lifespan: 60000 hours

Additional Details

Product URL: <https://www.ylighting.com/landscape-lighting-led-horizontal-step-light-by-wac-lighting-WACP138098.html>
Rating: UL Listed Wet

Product ID: WACP138098

Prepared by:
Project:
Room:
Placement:
Approval:



Notes:

Created December 1st, 2021

Cut Sheet Preview

[Customize](#) Add custom contact info, project, logo and more.

[Create](#) Generate PDF Spec Sheet to save, print and share.

Vex LED Outdoor Wall Sconce

By Tech Lighting



Call Us 866.428.9289

Product Options

Finish: Black, Bronze
Size: Small, Large
Light Function: Up and Downlight, Downlight

Details

- Marine grade powder-coated finish
- Material: Aluminum
- Dimmable When Used With a ELV or TRIAC or 0-10V Dimmer (Not Included)
- ADA compliant, Title 24 compliant
- ETL Listed Wet
- Warranty: 5 Year
- Made In China

Dimensions

Small Option Backplate: Width 4", Height 12"

Small Option Fixture: Width 4.6", Height 12", Depth 4", Weight 5Lbs

Large Option Backplate: Width 4", Height 20"

Large Option Fixture: Width 4.6", Height 20", Depth 4", Weight 8Lbs

Lighting

- Small Option: 8.4 Watt (199 Lumens) 120 Volt/277 Volt Integrated LED, CRI: 90 Color Temp: 3000K Lifespan: 70000 hours
- Small Option: 18.9 Watt (557 Lumens) 120 Volt/277 Volt Integrated LED, CRI: 90 Color Temp: 3000K Lifespan: 70000 hours
- Large Option: 8.4 Watt (199 Lumens) 120 Volt/277 Volt Integrated LED, CRI: 90 Color Temp: 3000K Lifespan: 70000 hours
- Large Option: 18.9 Watt (557 Lumens) 120 Volt/277 Volt Integrated LED, CRI: 90 Color Temp: 3000K Lifespan: 70000 hours

Additional Details

Product URL: <https://www.ylighting.com/vex-led-outdoor-wall-light-by-tech-lighting-TECP310669.html>
Rating: ETL Listed Wet

Product ID: TECP310669

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:



Notes:



Silo Outdoor Flushmount

By Hinkley



Call Us 866.428.9289

Product Options

Finish: Architectural Bronze, Black, Satin White

Details

- Rust and corrosion resistant
- Designed in 2021
- Material: Composite
- Shade Material: Etched Glass
- Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)
- Dark Sky compliant
- UL Listed Damp
- Warranty: Limited 5 Year
- Made In China

Dimensions

Fixture: Height 7", Diameter 5", Weight 1.63Lbs

Notes:

Lighting

- One 5.5 Watt (420 Lumens) 120 Volt GU10 Twist & Lock Base LED Lamp(s) (Included)

Additional Details

Product URL: <https://www.ylighting.com/silo-outdoor-ceiling-light-by-hinkley-HKYP387815.html>

Rating: UL Listed Damp

Product ID: HKYP387815

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:



Created March 18th, 2022

Gate LED Bollard Light

By WAC Lighting



Call Us 866.428.9289

Product Options

Finish: Black, Bronze
Color Temperature: 2700, 3000

Details

- Protected against powerful water jets
- Factory sealed water tight fixtures
- Mounting stake, 6 foot lead wire, and detachable back plate included
- Rated for 60,000 hours of life
- May be used with existing low-voltage landscape systems
- Designed in 2017
- Material: Aluminum
- ADA compliant
- UL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In China

Dimensions

Fixture: Length 3", Width 3", Height 27"

Notes:

Lighting

- 2700K Option: 7 Watt (115 Lumens) 12 Volt Integrated LED, CRI: 90 Color Temp: 2700K
- 3000K Option: 7 Watt (115 Lumens) 12 Volt Integrated LED, CRI: 90 Color Temp: 3000K

Additional Details

Product URL: <https://www.ylighting.com/gate-led-bollard-light-by-wac-lighting-WACP160001.html>
Rating: UL Listed Wet

Product ID: WACP160001

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:



Created December 1st, 2021

ARCHITECTURAL SQUARED
 info@Arch-Squared.com
 PO BOX 1153, MOAB, UTAH 84532
 512-666-1745

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REVISIONS:
 22 06 27 SITE PLAN APPLICATION REV #1

2X3 TOWNHOMES & CONDOS

175 S 300 E
 Moab, UT 84532

LIGHTING SPECS

SHEET NUMBER

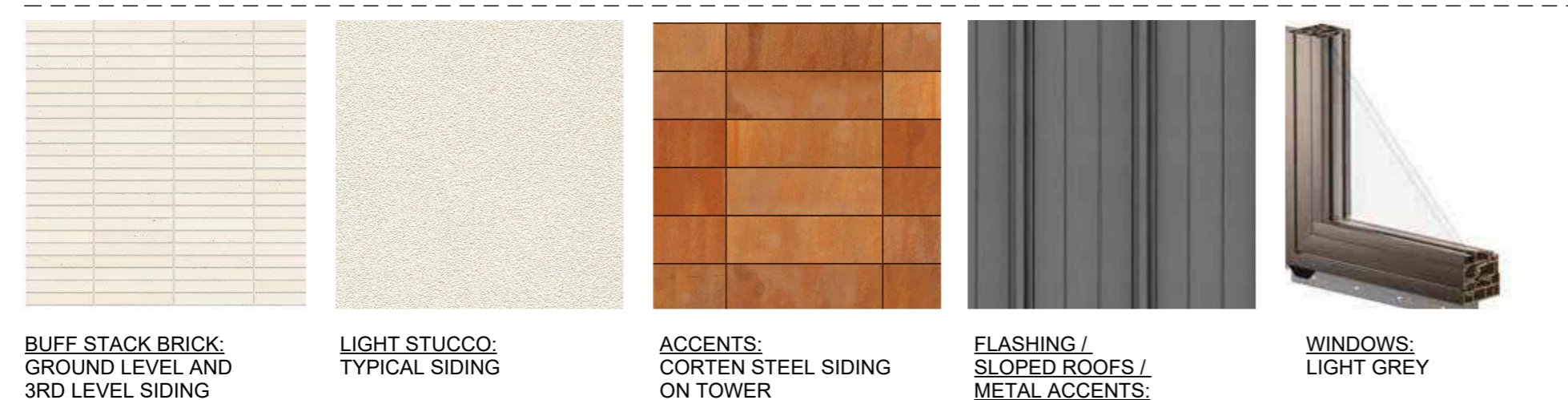
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MATERIALS



TOWNHOME - EXTERIOR MATERIALS

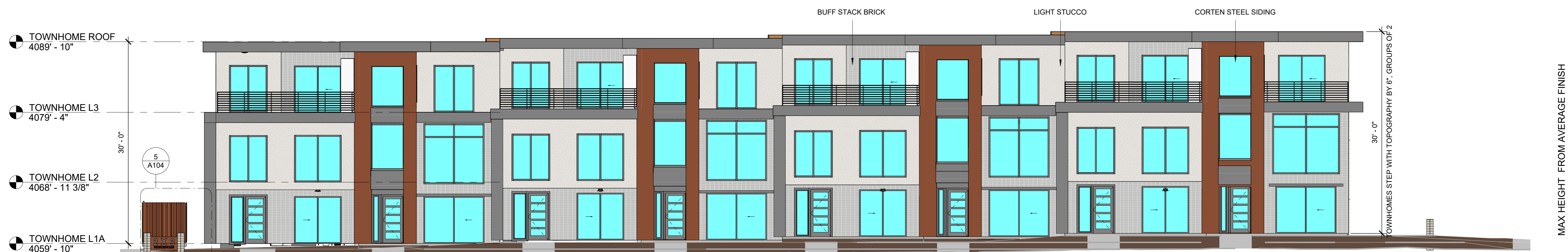
3/16" = 1'-0"

GENERAL NOTES:

- A. SEE DOOR SCHEDULE AND DETAILS FOR FURTHER INFORMATION.
- B. SEE WINDOW SCHEDULE AND DETAILS SHEET FOR FURTHER INFORMATION.
- C. PROVIDE BACKER ROD & SEALANT AT PERIMETER OF ALL WALL PENETRATIONS.
- D. PROVIDE BACKER ROD & SEALANT BETWEEN ALL DISSIMILAR MATERIALS.
- E. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING INFORMATION.

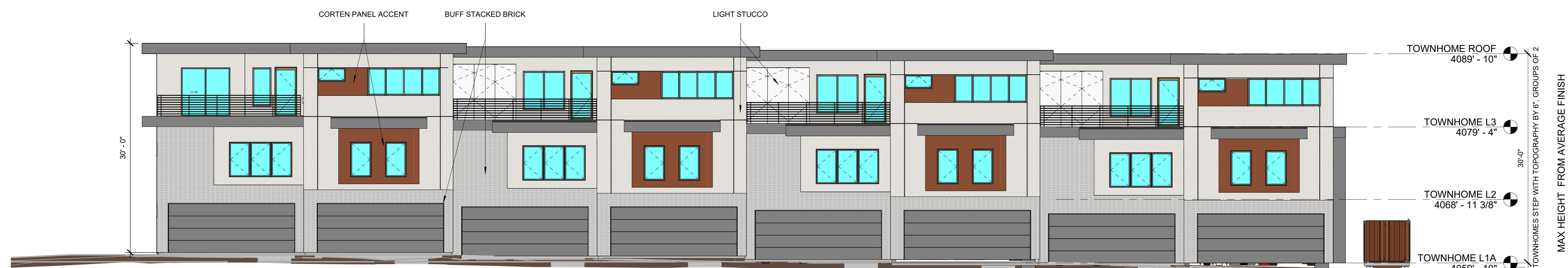
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REVISIONS:
 22 06 27 SITE PLAN
 APPLICATION REV #1



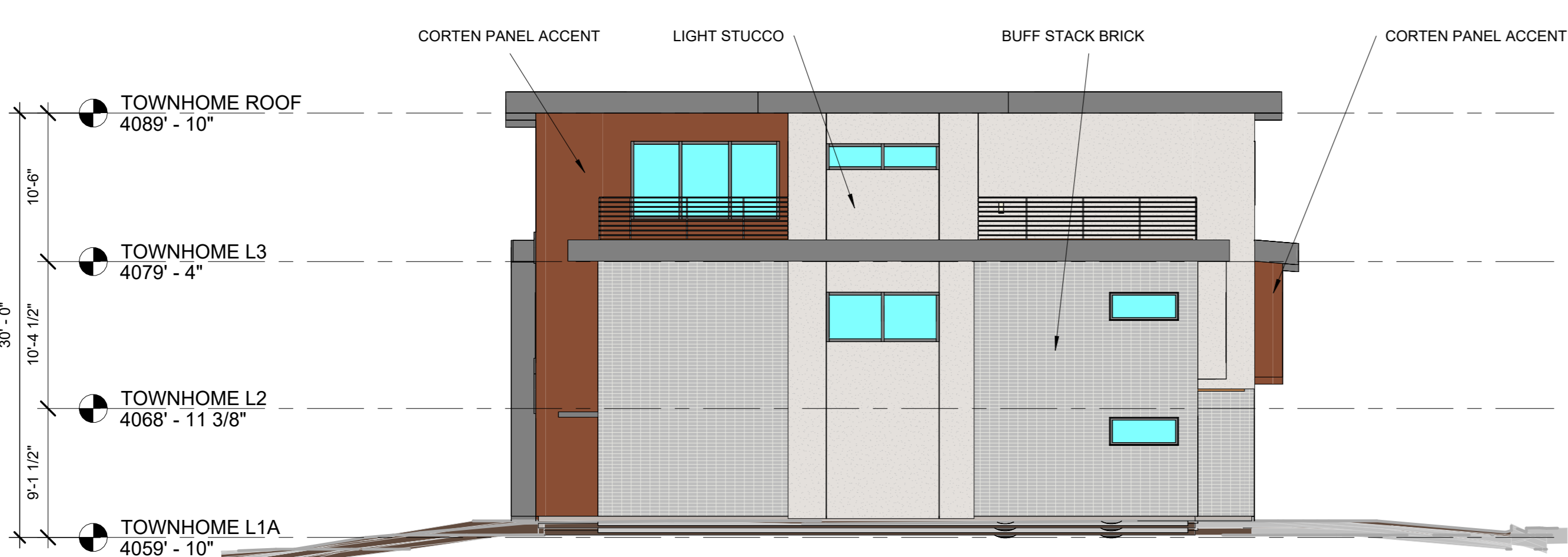
1 TOWNHOME WEST ELEVATION

1/8" = 1'-0"



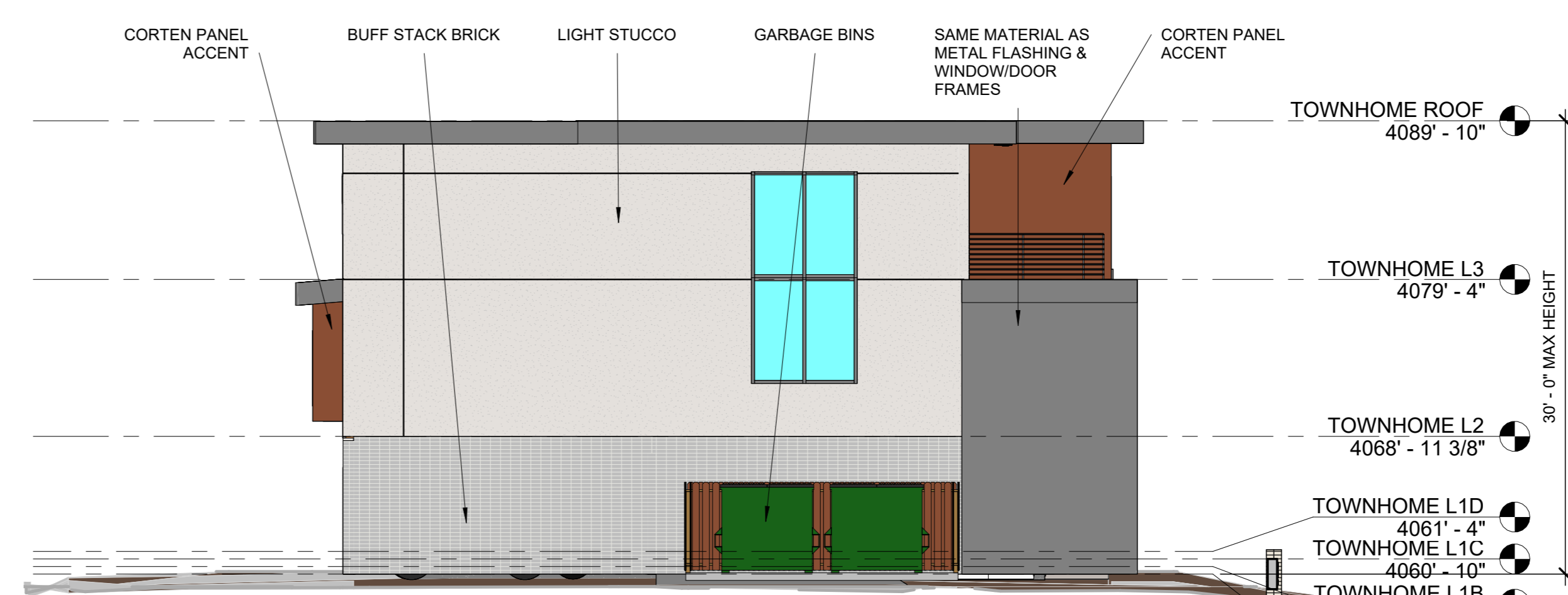
2 TOWNHOME EAST ELEVATION

1/8" = 1'-0"



3 SOUTH ELEVATION

1/8" = 1'-0"



4 TOWNHOME NORTH ELEVATION

1/8" = 1'-0"

2X3 TOWNHOMES & CONDOS

175 S 300 E
 Moab, UT 84532

ELEVATIONS
TOWNHOMES

SHEET NUMBER

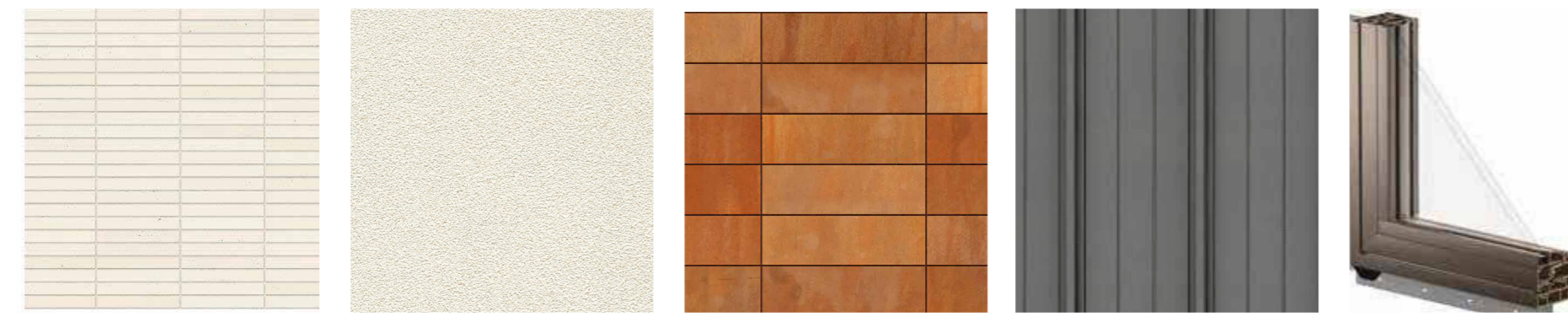
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MATERIALS



BUFF STACK BRICK:
GROUND LEVEL AND
3RD LEVEL SIDING

LIGHT STUCCO:
TYPICAL SIDING

ACCENTS:
CORTEN STEEL SIDING
ON TOWER

ROOF:
LIGHT GREY

WINDOWS:
LIGHT GREY

1 CONDO - EXTERIOR MATERIALS
3/16" = 1'-0"



3 CONDO AXON SE



1 CONDO AXON SW



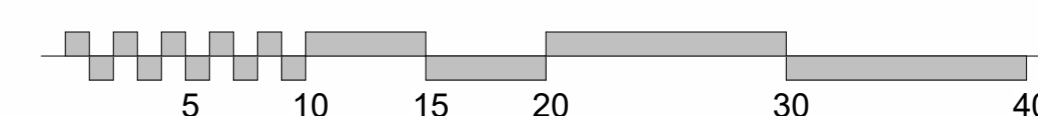
4 CONDO ELEVATION - SOUTH
1/8" = 1'-0"



2 CONDO AXON NW



5 CONDO ELEVATION - NORTH
1/8" = 1'-0"



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APPLICATION REV #1

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TOWNHOME ELEVATIONS ADJUSTED TO STEP WITH THE EXISTING SITE TOPOGRAPHY. REF CIVIL DRAWINGS FOR DETAILS. MAX BUILDING HEIGHT IN EACH SECTION NOT TO EXCEED 30'



3 TOWNHOME AXON SW



2 TOWNHOME AXON NW



GENERAL MATERIAL AESTHETIC RENDERING



1 TOWNHOME AXON NE

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REVISIONS:
22 06 27 SITE PLAN
APPLICATION REV #1

2X3 CONDOS AND TOWNHOMES SITE PLAN APPLICATION CIVIL ENGINEERING DESIGN DRAWINGS MOAB, UT 06/27/2022

OWNER
KYLE KAISER
616 NICHOLS LN.
MOAB, UT 84532

CIVIL ENGINEER
SET ENGINEERING, LLC
1309 E. 3RD AVE. #206
DURANGO, CO 81301
970-403-5088

SURVEYOR
RED DESERT LAND SURVEYING
30 SOUTH 100 EAST, SUITE 2
MOAB, UTAH 84532
436-259-8171

UTILITIES
CITY OF MOAB WATER AND SEWER
ROCKY MOUNTAIN POWER
888-221-7070
DOMINION ENERGY
800-323-5517

ARCHITECT
ARCHITECTURAL SQUARED
301 SOUTH 400 EAST
SUITE #207
MOAB, UTAH 84532
512-656-1745



VICINITY MAP
NTS

LAND USE DATA:

PARCEL ID: 01B100004
ZONE: R3-RESIDENTIAL
GROSS LAND AREA: 0.98 AC. ±
NE CORNER OF 300 E AND 200 S
MOAB, UTAH 84532

LEGAL DESCRIPTION & BASIS OF BEARINGS:
REFER TO ENGINEERING SURVEY BY RED DESERT LAND SURVEY
DATED 01-22-2022.

COORDINATE SYSTEM & DATUM:
UTAH STATE PLANE, CENTRAL ZONE, US FT, NAD83

CITY OF MOAB APPROVAL:

SIGNATURE _____

DATE _____

SHEET LIST TABLE		
#	SHEET TITLE	SHEET NUMBER
1	COVER SHEET	C001
2	GENERAL NOTES & LEGEND	C002
3	SITE PLAN	C100
4	UTILITY PLAN	C200
5	SEWER RUN A PLAN AND PROFILE	C201
6	SEWER RUN B PLAN AND PROFILE	C202
7	ROAD 1 PLAN AND PROFILE	C300
8	ROAD 2 PLAN AND PROFILE	C301
9	GRADING AND DRAINAGE PLAN	C400
10	DETAILS	C500

Revisions:
DATE DESCRIPTION

**2X3 CONDOS AND TOWNHOMES
COVER SHEET
MOAB, UT**



**PLAN NO.
C001**

Sheet 1 of 11
Project: 2021-054 KAISER
Date: 06/27/2022
Drawn By: SH
Checked By: JG

**FOR REVIEW ONLY
NOT FOR
CONSTRUCTION**



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GENERAL NOTES

- ALL WORK SHALL BE CONSTRUCTED ACCORDING TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF MOAB, UTAH APWA, LOCAL UTILITY PROVIDERS, GEOTECHNICAL ENGINEER, AND PROJECT CIVIL ENGINEER.
- THE CONTRACTOR SHALL OBTAIN DRAWINGS DIRECTLY FROM THE ENGINEER FOR SITE LAYOUT.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MOAB STANDARDS AND SPECIFICATIONS AND UTAH APWA STANDARDS, MOST CURRENT VERSION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER/DEVELOPER OF ANY PROBLEMS IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- THE OWNER/DEVELOPER SHALL BE THE RESPONSIBLE PARTY TO NOTIFY THE ENGINEER OF WORK AND CITY DURING CONSTRUCTION ACTIVITIES TO RESOLVE CONSTRUCTION PROBLEMS DUE TO CHANGED CONDITIONS OR DESIGN ERRORS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROPOSED WORK. IF THE MODIFICATIONS PROPOSED BY THE DEVELOPER TO THE APPROVED PLANS INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK OR TO FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DEVELOPER AND ENGINEER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED PLANS TO THE APPROPRIATE AGENCIES FOR APPROVAL PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK. ANY IMPROVEMENTS CONSTRUCTED NOT IN ACCORDANCE WITH THE APPROVED PLANS OR THE APPROVED REVISED PLANS, SHALL BE REMOVED AND THE IMPROVEMENTS SHALL BE RECONSTRUCTED ACCORDING TO THE APPROVED PLANS.
- THE CONTRACTOR SHALL CONTACT THE APPROPRIATE AGENCIES FOR LOCATION OF UNDERGROUND WATER, SEWER, GAS, ELECTRIC, AND TELEPHONE UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY, AND ALL EXISTING UTILITIES MAY NOT BE SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COPY OF "RECORD DRAWING" PLANS TO THE APPROPRIATE AGENCIES PRIOR TO FINAL ACCEPTANCE OF WORK.
- THE CONTRACTOR SHALL RESET ALL SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION WITHIN 60 DAYS OF PROJECT COMPLETION.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT, AND ADJACENT, TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DUTY OF THE OWNER'S REPRESENTATIVE IS TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
- ALL EXISTING IMPROVEMENTS SHALL BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.
- ALL STORM DRAIN INLETS SHALL HAVE BICYCLE-SAFE GRATING INSTALLED.
- THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF PLANS AND SPECIFICATIONS WHICH HAVE BEEN APPROVED BY THE UTILITY.

GRADING, DRAINAGE, AND EROSION CONTROL NOTES

- CONTRACTOR SHALL PREPARE A CONSTRUCTION PHASE STORMWATER POLLUTION PREVENTION PLAN AND OBTAIN REQUIRED PERMITS FROM STATE AND LOCAL AGENCIES.
- ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR.
- ANY CONSTRUCTION DEBRIS OR MUD TRACKING IN THE PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY FIX ANY EXCAVATIONS OR EXCESSIVE PAVEMENT FAILURES CAUSED DURING CONSTRUCTION AND SHALL PROPERLY BARRICADE THE SITE UNTIL CONSTRUCTION IS COMPLETE.
- THE PLACEMENT OF FILL MATERIALS SHALL BE CLOSELY MONITORED TO VERIFY THAT THE FILL MATERIALS ARE OF GOOD QUALITY, INCLUDING BEING FREE OF GYPSUM OR ORGANIC OR OTHER POOR-QUALITY MATERIALS, AND ARE COMPACTED SUFFICIENTLY.
- FILL MATERIAL SHOULD BE PLACED BETWEEN OPTIMUM MOISTURE CONTENT TO ABOUT 2% ABOVE OPTIMUM MOISTURE CONTENT AND COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY AS DEFINED BY THE MODIFIED PROCTOR TEST (ASTM D1557).
- THE FILL MATERIALS SHOULD BE TESTED DURING EVERY DAY OF FILL PLACEMENT, AT 1-FOOT INCREMENTS, WITH A TEST PERFORMED FOR EVERY 1,000 CUBIC YARDS OF MATERIAL PLACED.
- IF LARGE RIDE-ON COMPACTION EQUIPMENT IS USED THEN IT IS LIKELY POSSIBLE TO PLACE FILL MATERIAL TO A LOOSE LIFT THICKNESS OF UP TO 12 INCHES PRIOR TO COMPACTION.
- THE TESTING FREQUENCY SHOULD BE HIGHER AT THE START TO ESTABLISH A GOOD PLACEMENT PATTERN AND MOISTURE CONTROL, IN THE RANGE OF EVERY 500 CUBIC FEET AND EVERY 1-FOOT DEPTH INTERVAL.

- FIELD DENSITY (COMPACTION) TESTING MUST BE PERFORMED ON A REGULAR BASIS THROUGHOUT THE PLACEMENT OF FILL MATERIALS. THIS WILL MOST LIKELY REQUIRE A FULL-TIME TECHNICIAN DURING THE PLACEMENT OF FILL MATERIALS.
- A QUALIFIED CONSTRUCTION INSPECTOR SHOULD OVERSEE THE PLACEMENT OF FILL MATERIALS TO VERIFY THAT LIFT THICKNESSES, MOISTURE CONDITIONING, AND COMPACTION EFFORT IS MAINTAINED THROUGHOUT THE ENTIRE FILL PLACEMENT OPERATIONS.
- THE WHITE COLORED SANDS THAT CONTAIN SIGNIFICANT GYPSUM SHOULD NOT BE USED FOR ANY FILL OF IMPORTANCE SUCH AS BELOW ROADS OR STRUCTURES. THESE LOCATIONS MAY BE APPROXIMATELY SIZED AND LOCATION NOTED ON THE PROJECT CIVIL PLANS. THERE MAY BE SOME LOSS OF AVAILABLE MATERIAL DUE TO THE SCATTERED GYPSUM DEPOSITS AROUND THE SITE.
- SITE SPECIFIC GEOTECHNICAL ENGINEERING STUDIES SHOULD BE PERFORMED ON A STRUCTURE SPECIFIC BASIS AS THE DEVELOPMENT PROGRESSES.
- ALL DISTURBED AREAS SHALL BE RESEEDDED AND THE VEGETATION ESTABLISHED TO AT LEAST 70% COVERAGE PRIOR TO FINAL APPROVAL.

STREET CONSTRUCTION NOTES

- WITH NOTIFICATION OF THE RESPECTIVE OWNER, ADJUST RIMS OF ALL CLEANOUTS, MANHOLES, VALVE COVERS AND SURVEY MONUMENTS TO FINISH GRADE AFTER THE FINAL LIFT PAVING.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL PROVIDE INGRESS AND EGRESS TO PRIVATE PROPERTY ADJACENT TO THE WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.
- PRIOR TO FINAL PLACEMENT OF SURFACE PAVEMENT, ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED AND SERVICE CONNECTIONS STUBBED OUT TO BEYOND CURB LINE OR SHOULDER WHEN ALLOWED BY THE UTILITY. SERVICE FROM PUBLIC UTILITIES AND FROM SANITARY SEWERS SHALL BE MADE AVAILABLE FOR EACH LOT IN SUCH A MANNER THAT WILL NOT BE NECESSARY TO DISTURB THE STREET PAVEMENT, CURB, GUTTER, AND SIDEWALK WHEN CONNECTIONS ARE MADE.
- CONTRACTOR SHALL RELOCATE STREET SIGNS TEMPORARILY DURING CONSTRUCTION, THEN REPLACE AS REQUIRED, INCLUDING T-LOCK BASE, METAL POST, MOUNTING HARDWARE, ETC.
- CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS FROM UDOT FOR ACCESS AND UDOT ROW IMPROVEMENTS.

UTILITY NOTES

- THE EXISTING SANITARY SEWER LINES SHALL REMAIN IN SERVICE DURING THE NEW SEWER LINE CONSTRUCTION.
- ALL WATER PIPE BENDS AND TEES OF 4" OR GREATER SHALL HAVE CONCRETE THRUST BLOCKS IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS. ALL CONCRETE THRUST BLOCKS SHALL BE 3,000 PSI MINIMUM COMPRESSIVE STRENGTH PLANT REDI-MIX DELIVERED TO THE SITE BY TRUCK.
- ALL VERTICAL BENDS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED.
- THE CITY OF MOAB WILL OPERATE ALL IN SERVICE WATER VALVES AS PART OF THIS PROJECT. COORDINATION BETWEEN THE CITY AND THE CONTRACTOR IS REQUIRED FOR ALL WATER MAIN TIE-INS. CONTRACTOR IS RESPONSIBLE FOR INTERRUPTION OF WATER SERVICE PERMIT. THREE (3) BUSINESS DAYS NOTICE TO THE COUNTY IS REQUIRED PRIOR TO PLANNED OUTAGES FOR MAIN LINE CONNECTIONS.
- THE CONTRACTOR SHALL REPAIR OR REPLACE THE EXISTING SITE AND LANDSCAPING, IN KIND, THAT WAS REMOVED OR DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL GUARANTEE SAID REPAIRS FOR ONE (1) YEAR AFTER THE FINAL ACCEPTANCE OF CONSTRUCTION.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY PUBLIC OR PRIVATE IMPROVEMENTS, IN KIND, INCLUDING, BUT NOT LIMITED TO: RESIDENTIAL SERVICES, WATER LINES, SEWER LINES, STORM DRAINS, ETC., THAT WERE REMOVED OR DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR MAY TEMPORARILY BACKFILL TRENCHES TO THE EXISTING ROADWAY SURFACE WITH CLASS 6 ABC, PROVIDING A SMOOTH DRIVING SURFACE. IN THIS MANNER THE CONTRACTOR CAN ASPHALT PAVE LARGE SECTIONS OF TRENCH AT ONE TIME WHILE STILL PROVIDING A USABLE ROADWAY.
- WHERE CONSTRUCTION OCCURS IN OR ACROSS ASPHALT OR CONCRETE PAVEMENT, SAW CUT THE PAVEMENT FOR A CLEAN STRAIGHT EDGE 6" OUTSIDE THE TRENCH LIMITS TO ALLOW CLEAN REMOVAL AND A GOOD SURFACE FOR PROPER PATCHING.
- ALL PAVEMENT SAW CUTS SHALL BE 90° TO ONE ANOTHER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING ASPHALT FROM CONSTRUCTION EQUIPMENT. DAMAGED ASPHALT SHALL BE REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL INLETS SHALL HAVE BICYCLE SAFE GRATING INSTALLED.
- ALL CURB INLET FACE OPENINGS SHALL BE SET TO 9-INCHES OPEN.
- SEWER INVERTS, PIPE LENGTHS, AND SLOPES SHOWN ARE TO 24" OFFSET FROM CENTER OF MANHOLE, COINCIDENT WITH INNER WALL OF 48" MANHOLES.
- THE WATER SYSTEM SHALL BE INSTALLED AT A MINIMUM DEPTH OF 3.5 FEET OF COVER

LEGEND:

LINETYPE/HATCH	DESCRIPTION
	EXISTING ROAD CENTERLINE
	EXISTING CONCRETE
	EXISTING FLOWLINE
	EXISTING EASEMENT BOUNDARY
	EXISTING FENCE
	EXISTING GAS LINE
	EXISTING GRAVEL ROAD/PATH
	EXISTING IRRIGATION LINE
	EXISTING VEGETATION
	EXISTING PROPERTY BOUNDARY
	EXISTING POWER
	EXISTING RAILROAD
	EXISTING ASPHALT PAVEMENT EDGE
	EXISTING RIGHT-OF-WAY BOUNDARY
	EXISTING SEWER (GENERIC OR SERVICE LINE)
	EXISTING SEWER MAIN (SIZE DENOTED)
	EXISTING STORM DRAIN (SIZE DENOTED)
	EXISTING TELECOMM
	EXISTING COMBINATION OVERHEAD POWER/CABLE/FIBER
	EXISTING COMBINATION OVERHEAD POWER/CATV
	EXISTING COMBINATION OVERHEAD POWER/TELECOMM
	EXISTING LANDSCAPE WALL
	EXISTING WATER MAIN (SIZE DENOTED)
	EXISTING WATER SERVICE LINE
	EXISTING ITEM TO BE DEMOLISHED/REMOVED/RELOCATED (PER PLAN)
	EXISTING CONTOUR (LABELED W/ ELEVATIONS)

PROPOSED IMPROVEMENTS:

	PROPOSED CONTOUR (LABELED W/ ELEVATIONS)
	CENTERLINE/ALIGNMENT W/ STATIONING
	CONCRETE PAVEMENT
	FLOWLINE (DIRECTION DENOTED W/ ARROWS)
	EASEMENT BOUNDARY
	SETBACK BOUNDARY
	FENCE
	GAS MAIN
	GRAVEL ROAD/SHOULDER/PATH
	EXISTING IRRIGATION LINE
	PROPERTY BOUNDARY
	POWER (UNDERGROUND)
	POWER (OVERHEAD)
	PAVEMENT MARKING
	ASPHALT PAVEMENT
	RIGHT-OF-WAY BOUNDARY
	SEWER SERVICE LINE (SIZE DENOTED)
	SEWER MAIN (PER PLAN & PROFILE)
	STORM DRAIN (PER PLAN & PROFILE)
	TELECOMM
	COMBINATION OVERHEAD ELECTRIC/CABLE/FIBER
	COMBINATION OVERHEAD ELECTRIC/CATV
	COMBINATION OVERHEAD ELECTRIC/TELECOMM
	CONCRETE WALL
	LANDSCAPE BOULDER WALL
	WATER MAIN (SIZE DENOTED)
	WATER SERVICE (PER PLAN)
	FIRE SERVICE (PER PLAN)
	RIP RAP OUTFALL/LINER
	BUILDING/STRUCTURE
	PROJECT BOUNDARY
	REVISION CLOUD & TRIANGLE (REV. # DENOTED)

SYMBOL LEGEND:

	PROPERTY PIN
	BENCHMARK
	WATER MANHOLE
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	WATER WELL
	WATER SHUT-OFF
	WATER LINE CAP
	WATER SPRINKLER
	WATER SPIGOT
	SEWER MANHOLE
	SEWER CLEANOUT
	GAS VALVE
	STORM DRAIN MANHOLE
	STORM DRAIN FLARED END SECTION
	STORM DRAIN AREA INLET
	STORM DRAIN CURB INLET
	POWER MANHOLE
	LIGHT POLE
	LUMINAIRE
	TRANSFORMER
	GUY WIRE
	TELECOMM PEDESTAL
	TELECOMM MANHOLE
	MAILBOX
	SIGN
	BOULDER
	ADA PARKING SPACE MARKING
	PEDESTRIAN RAMP
	CONIFEROUS TREE
	DECIDUOUS TREE

NOTATION LEGEND:

CL = CENTERLINE	BFE() = BASE FLOOD ELEVATION INTERPOLATED
(E) = EXISTING	FF = FINISH FLOOR
EG = EXISTING GRADE	R/W = RIGHT-OF-WAY
FG = FINISH GRADE	29 = LOT, TRACT, OR UNIT NUMBER
FL = FLOWLINE	TH = TWIN-HOME LOT
IE = INVERT ELEVATION	SF = SINGLE-FAMILY LOT
BOP = BOTTOM OF PIPE	EOP/A/C/G = EDGE OF PAVT/ASPHALT/CONCRETE/GRAVEL
TOP = TOP OF PIPE	
BTM = BOTTOM	
GB = GRADE BREAK	
TBC = TOP BACK OF CURB	
BFE = BASE FLOOD ELEVATION	

Revisions:

#	DATE	DESCRIPTION

**2X3 CONDOS AND TOWNHOMES
GENERAL NOTES & LEGEND
MOAB, UT**



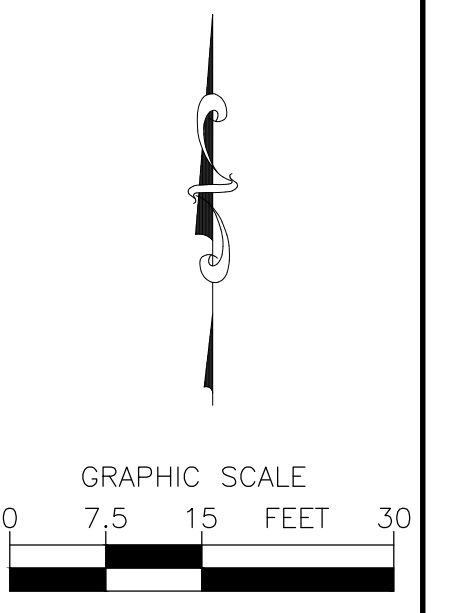
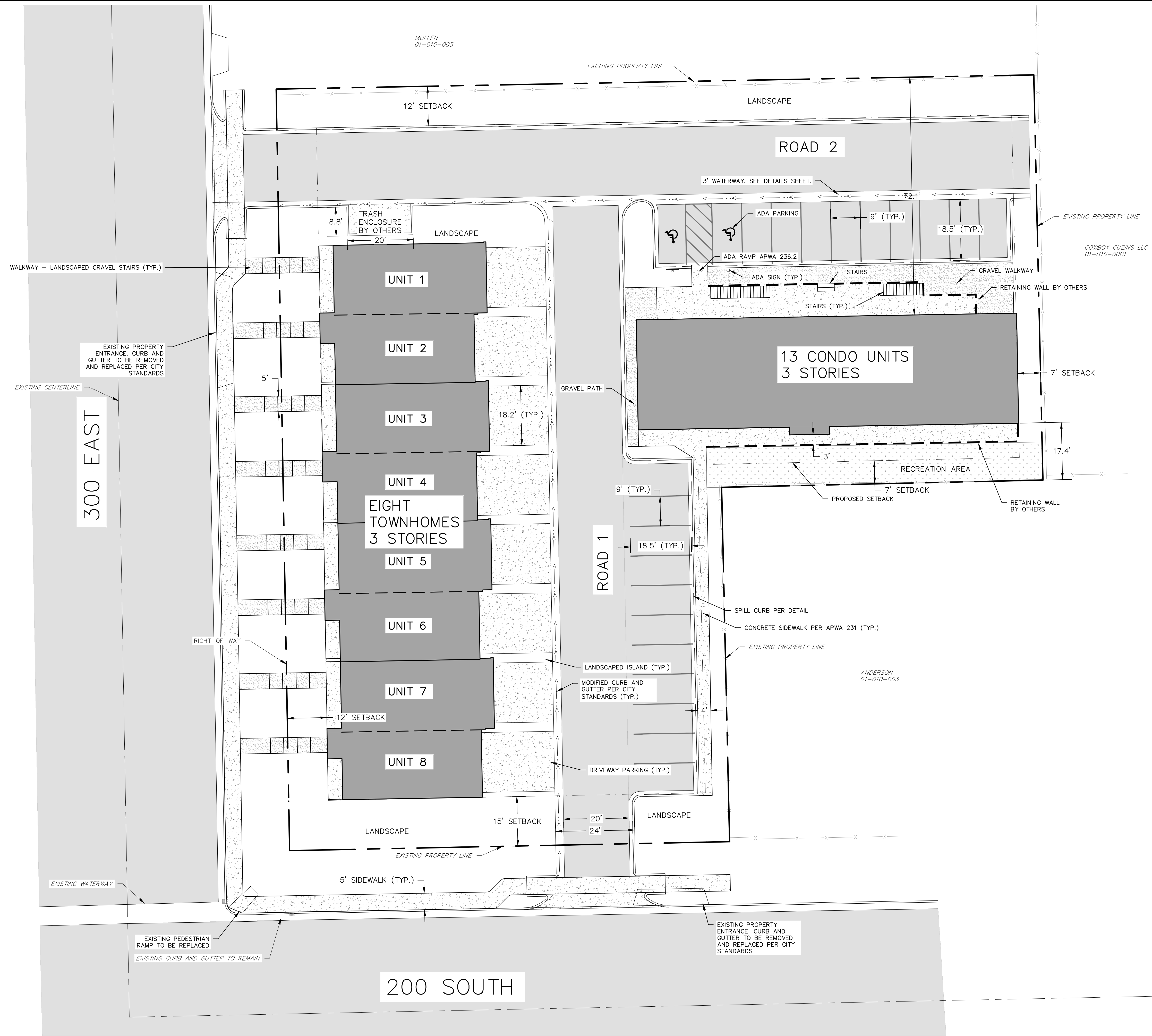
**PLAN NO.
C002**

Sheet 2 of 11
Project: 2021-054 KAISER
Date: 06/27/2022
Drawn By: SH
Checked By: JG

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Revisions:	DESCRIPTION
#	DATE

**2X3 CONDOS AND TOWNHOMES
SITE PLAN
MOAB, UT**



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Durango, CO 81301
970-403-5088

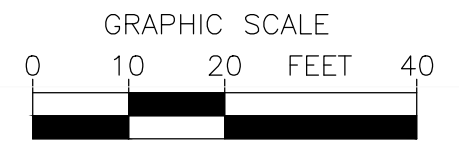
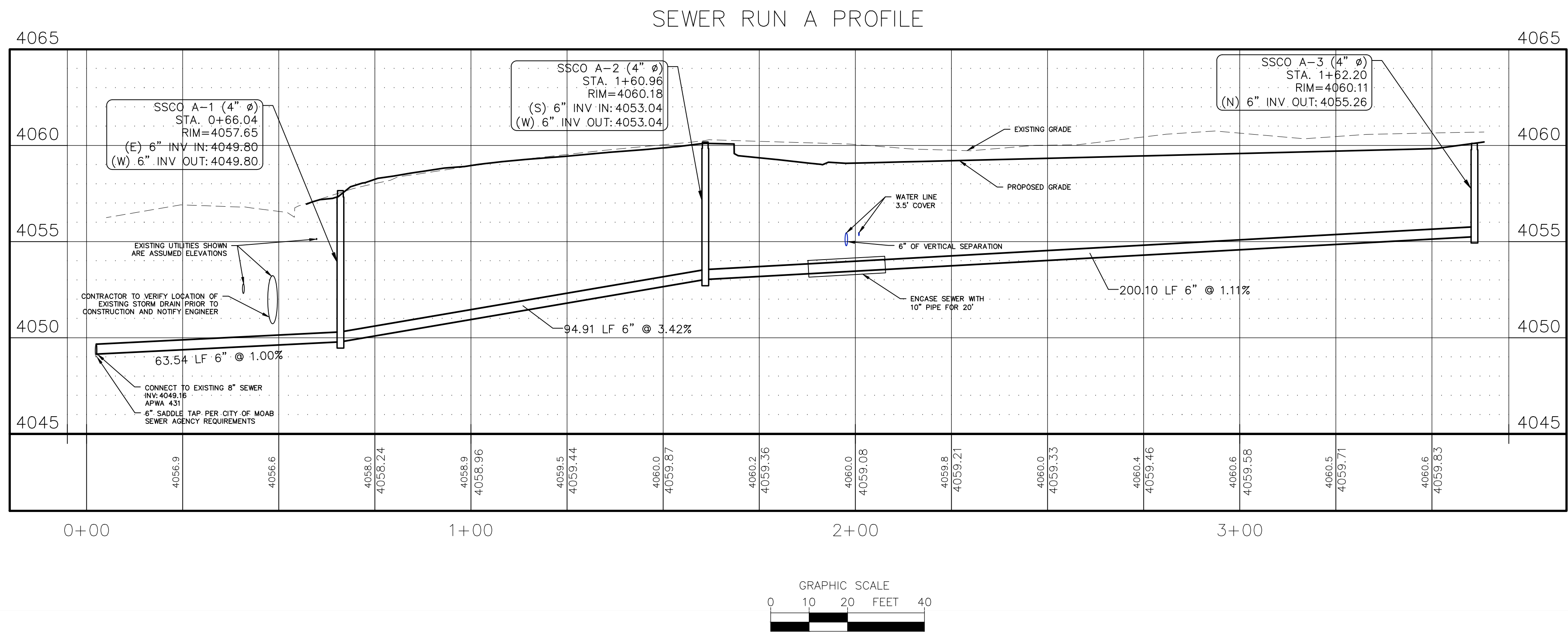
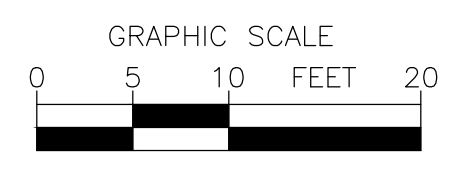
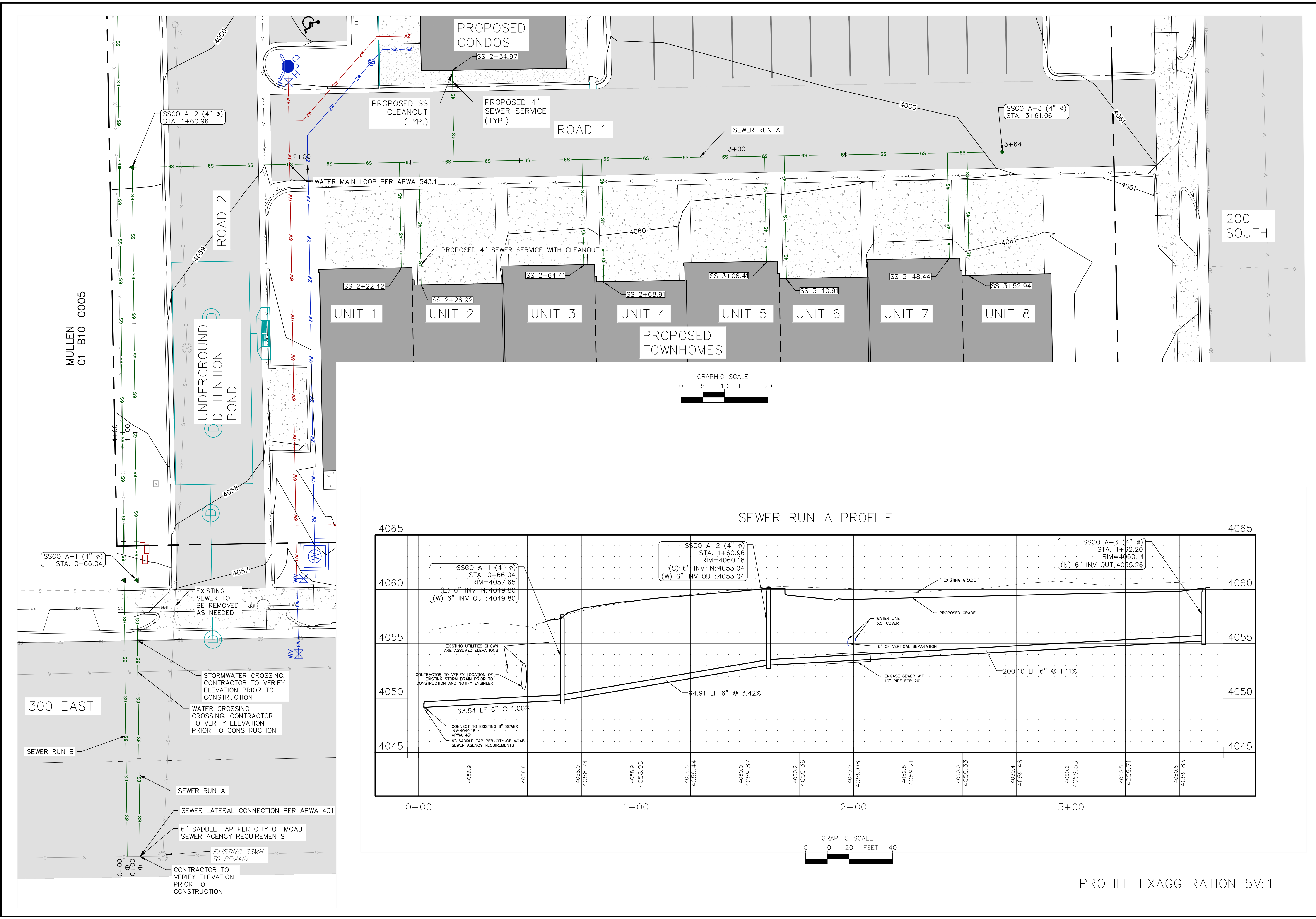
**PLAN NO.
C100**

Sheet 3 of 11
Project: 2021-054 KAISER
Date: 06/27/2022
Drawn By: SH
Checked By: JG

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MULLEN
01-B10-0005



PROFILE EXAGGERATION 5V:1H

Revisions: #	DATE	DESCRIPTION

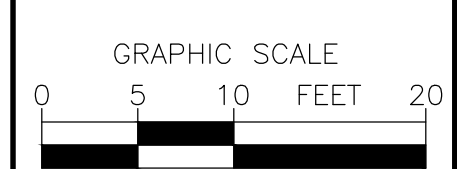
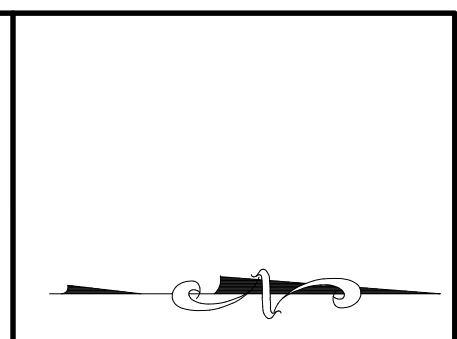
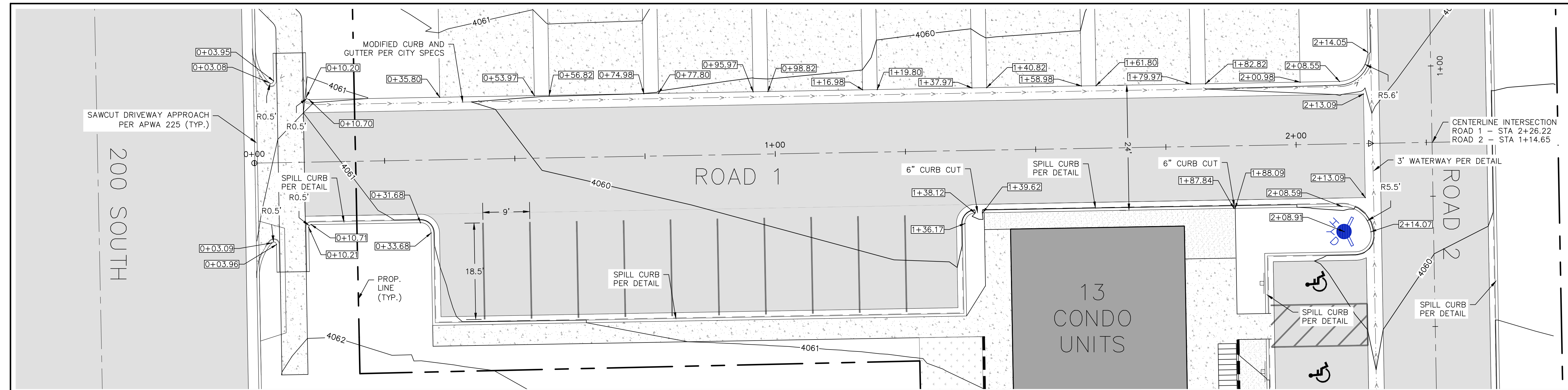
**2X3 CONDOS AND TOWNHOMES
SEWER RUN A PLAN AND PROFILE
MOAB, UT**

SET
ENGINEERING LLC
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Durango, CO 81301
970-403-5088

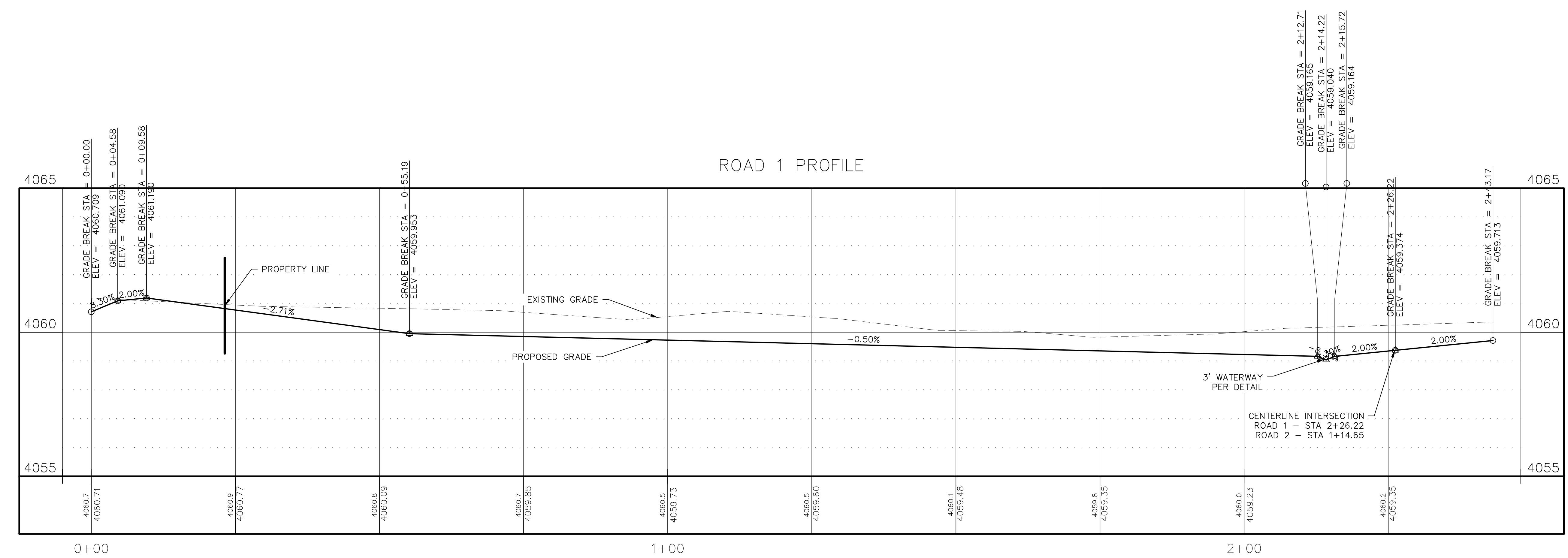
**PLAN NO.
C201**

Sheet 5 of 11
Project: 2021-054 KAISER
Date: 06/27/2022
Drawn By: SH
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Revisions: #	DATE	DESCRIPTION



PROFILE EXAGGERATION - 5V:H

**2X3 CONDOS AND TOWNHOMES
ROAD 1 PLAN AND PROFILE
MOAB, UT**



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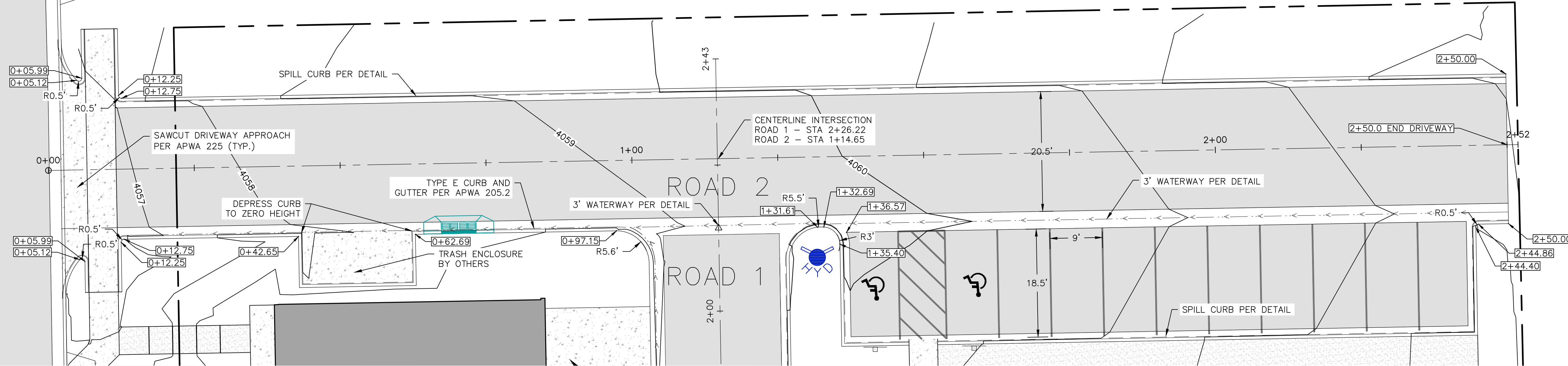
**PLAN NO.
C300**

Sheet 7 of 11
Project: 2021-054 KAISER
Date: 06/27/2022
Drawn By: SH
Checked By: JG

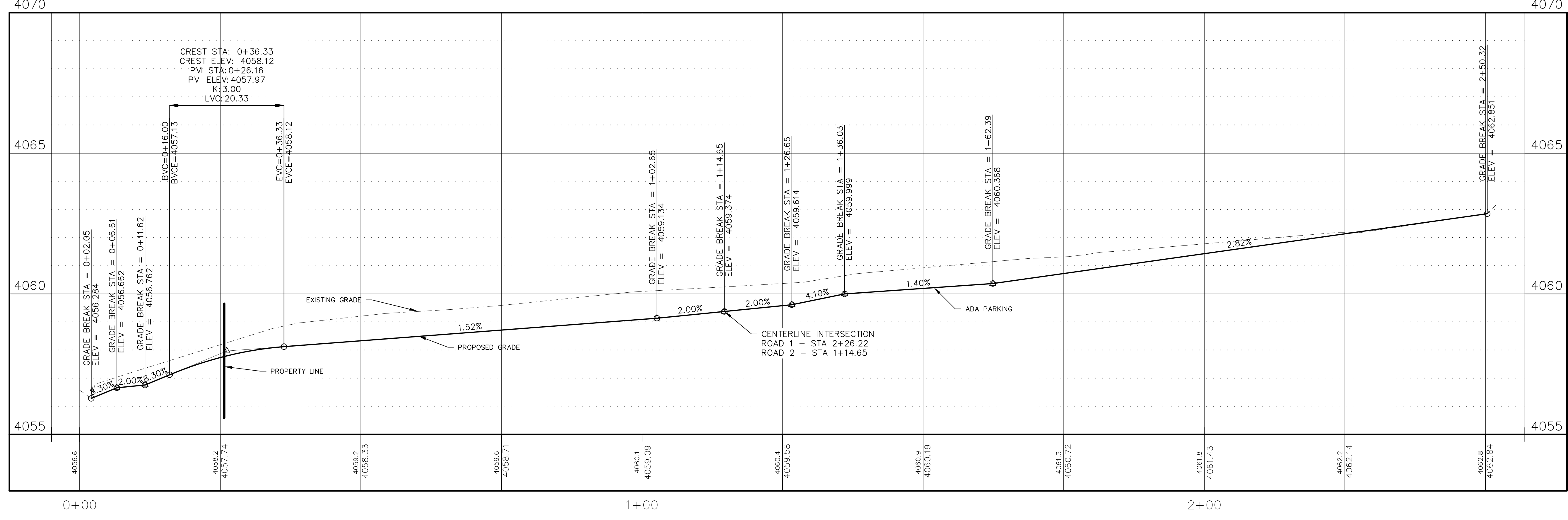
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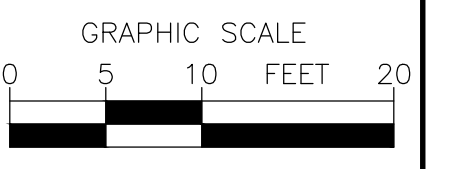
300 EAST



ROAD 2 PROFILE



PROFILE EXAGGERATION - 5V:H



Revisions:	DESCRIPTION
#	DATE

2X3 CONDOS AND TOWNHOMES
ROAD 2 PLAN AND PROFILE
MOAB, UT



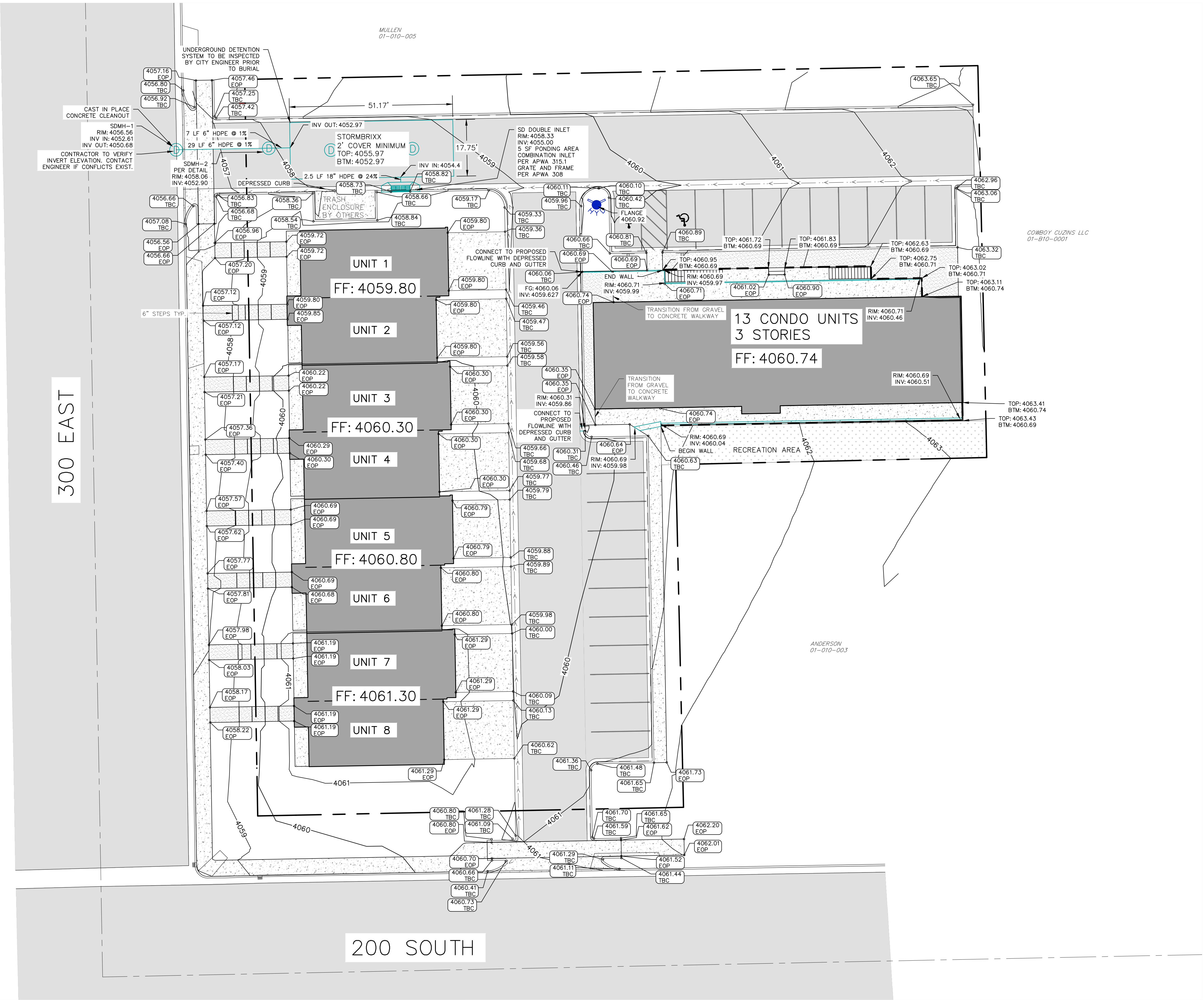
ENGINEERING LLC
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PLAN NO.
C301

Sheet 8 of 11
 Project: 2021-054 KAISER
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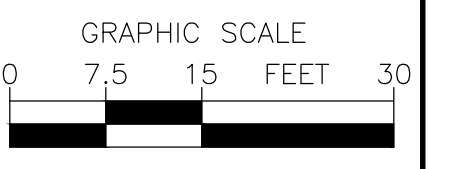
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CAST IN PLACE CONCRETE CLEANOUT
SDMH-1
RIM: 4056.56
INV IN: 4052.61
INV OUT: 4050.68
CONTRACTOR TO VERIFY INVERT ELEVATION. CONTACT ENGINEER IF CONFLICTS EXIST.

300 EAST

200 SOUTH



Revisions:	DESCRIPTION
#	DATE

**2X3 CONDOS AND TOWNHOMES
GRADING AND DRAINAGE PLAN
MOAB, UT**

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**PLAN NO.
C400**

Sheet 9 of 11
Project: 2021-054 KAISER
Date: 06/27/2022
Drawn By: SH
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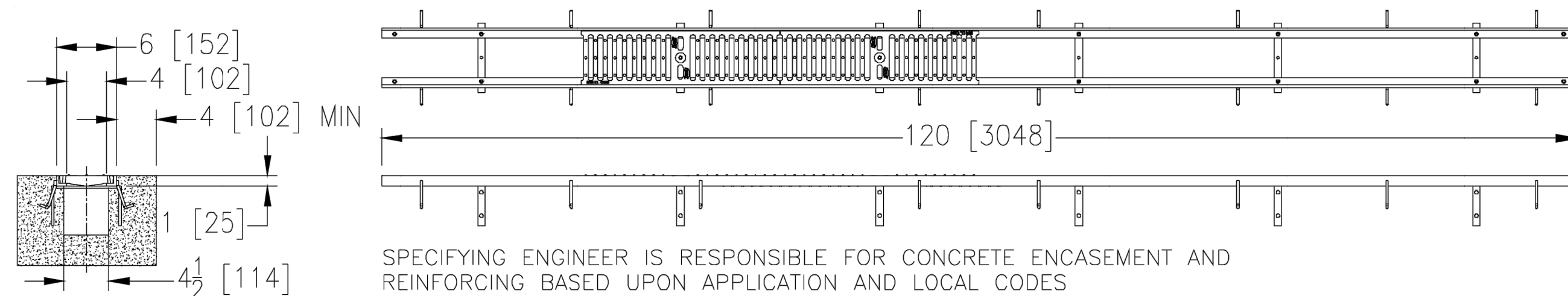
ZURN Z706

6 [159] WIDE REVEAL FRAME AND GRATE SYSTEM

SPECIFICATION SHEET

TAG _____

Dimensional Data (inches and [mm]) are Subject to Manufacturing Tolerances and Change Without Notice



SPECIFYING ENGINEER IS RESPONSIBLE FOR CONCRETE ENCASEMENT AND REINFORCING BASED UPON APPLICATION AND LOCAL CODES

ENGINEERING SPECIFICATION: Zurn Z706

Frame and Grate System shall be 120 [3048] long, 6 [152] wide and have a 4 [102] clear opening. Frame shall mechanically lock into the concrete surround every 10 [254]. Shall be provided with standard DGC grates that lock down to frame. Zurn 6 [152] wide reveal Ductile Iron Slotted Grate conforming to ASTM specification A536-84, Grade 80-55-06. Ductile Iron grate is rated class C per the DIN EN1433 top load classifications. Supplied in 20 [508] nominal lengths with 1/2 [13] wide slots, and 3/4 [19] bearing depth. Grate has an open area of 18.57 sq. in per ft. [39.307 sq. mm per meter]. The 1/4 [6] thick Heavy-Duty Carbon Steel Frame Assembly conforms to ASTM specification A36 with 12 - 4 [102] long concrete anchors per 120 [3048]. Grate lockdown bars are to be integral to the frame. The frame is supplied with a powder coated finish. All welds must be performed by a certified welder per ASTM standard AWS D1.1. Frames Shall be produced in the U.S.A.

PREFIX OPTIONS (Check/specify appropriate options)

- Z Ten-foot, Heavy Duty Carbon Steel Frame with Anchor Studs*

SUFFIX OPTIONS (Check/specify appropriate options)

- CBF Black Acid Resistant Coated Frame
- GFA Galvanized Frame Assembly
- SF Type 304 Stainless Steel Top Frame

Grate Options (Load Classifications are per DIN EN1433)

- BDC Black Acid Resistant Epoxy Coated Ductile Grate - Class C
- BDE Black Acid Resistant Epoxy Coated Ductile Grate - Class E
- BG Galvanized Ductile Iron Bar Grate - Class C
- DBG Ductile Iron cast Bar Grate - Class C
- DC Ductile Iron Solid Cover - Class C
- DGC Ductile Iron Slotted Grate - Class C*
- DGE Ductile Iron Slotted Grate - Class E
- GDC Galvanized Ductile Slotted Grate - Class C
- GDE Galvanized Ductile Slotted Grate - Class E
- GG Fiberglass Grate - Class A
- GHPD Galvanized Heel-Proof Ductile Grate - Class B
- GHPDE Galvanized Heel-Proof Ductile Grate - Class E
- HPD Heel-Proof Ductile Slotted Grate - Class B
- HPDE Heel-Proof Ductile Slotted Grate - Class E
- HPP Heel-Proof Polyethylene Grate - Class A
- RFG Reinforced Galvanized Steel Slotted Grate - Class B
- RFGC Reinforced Slotted Galvanized Grate - Class C
- RFSC Reinforced Slotted Stainless Steel Grate - Class C
- RPG Reinforced Galvanized Perforated Grate - Class B
- RPGC Reinforced Perforated Galvanized Grate - Class C
- RPGR Reinforced Galvanized Perforated Reverse Punch Anti-Slip Grate - Class B
- RPGRC Reinforced Perforated Galvanized Reverse Punch Grate - Class C
- RPSC Reinforced Perforated Stainless Steel Grate - Class C
- RPSRC Reinforced Perforated Stainless Steel Reverse Punch Grate - Class C
- SC Fabricated Stainless Solid Cover - Class A

Miscellaneous Options

- VP Vandal-Proof Lockdown
- RC Rebar Clip

Decorative Grate Options (Load Classifications are per DIN EN1433)

- BCD Bronze Circular Decorative Grate - Class A
- BDD Bronze Diagonal Decorative Grate - Class A
- DCD Ductile Iron Circular Decorative Grate - Class C
- DDD Ductile Iron Diagonal Decorative Grate - Class A
- DOG Ductile Iron Decorative Grate - Class A
- DTW Decorative Tidal Wave Grate, Ductile Iron - Class C
- DWV Ductile Wave Decorative Grate - Class A
- HPB Heel-Proof Bronze Slotted Grate - Class A
- HPS Heel-Proof Stainless Steel Slotted Grate - Class A
- SBG Stainless Steel Bar Grate - Class E
- SCD Stainless Steel Circular Decorative Grate - Class B
- SDD Stainless Steel Diagonal Decorative Grate - Class B
- SMG Stainless Steel Mesh Screen Grate - Class B
- SOG Stainless Steel Decorative Grate - Class B

MADE in the U.S.A. (Load Classifications are per DIN EN1433)

- AWG Aluminum Wire Grate - Class A
- BDE-USA Black Acid Resistant Epoxy Coated Ductile Grate - Class E
- DCE-USA Solid Cover, Dura-Coated Ductile Iron - Class E
- DGC-USA Ductile Iron Slotted Grate - Class C
- DGE-USA Ductile Iron Slotted Grate - Class E
- FG Fabricated Galvanized Steel Slotted Grate - Class A
- FS Fabricated Stainless Steel Slotted Grate - Class A
- GDC-USA Galvanized Ductile Slotted Grate - Class C
- GDE-USA Galvanized Ductile Slotted Grate - Class E
- GHPDE-USA Galvanized Heel-Proof Ductile Grate - Class E
- GMG Galvanized Mesh Screen Grate - Class B
- HPDE-USA Heel-Proof Ductile Slotted Grate - Class E
- PPC Plastic Perforated Grate - Class A
- PG Perforated Galvanized Steel Grate - Class A
- PGR Galvanized Perforated Reverse Punch Anti-Slip ADA Grate - Class A
- PS Perforated Stainless Steel Grate - Class A

Decorative MADE in the U.S.A. (Load Classifications are per DIN EN1433)

- BZ Bronze Decorative Grate - Class A
- NBZ-USA Nickel Bronze Decorative Grate - Class A
- PDE-USA Ductile Iron Perforated ADA Grate - Class E
- PSR Perforated Stainless Steel Raised Grate - Class A
- SWG Stainless Steel Wire Grate - Class A

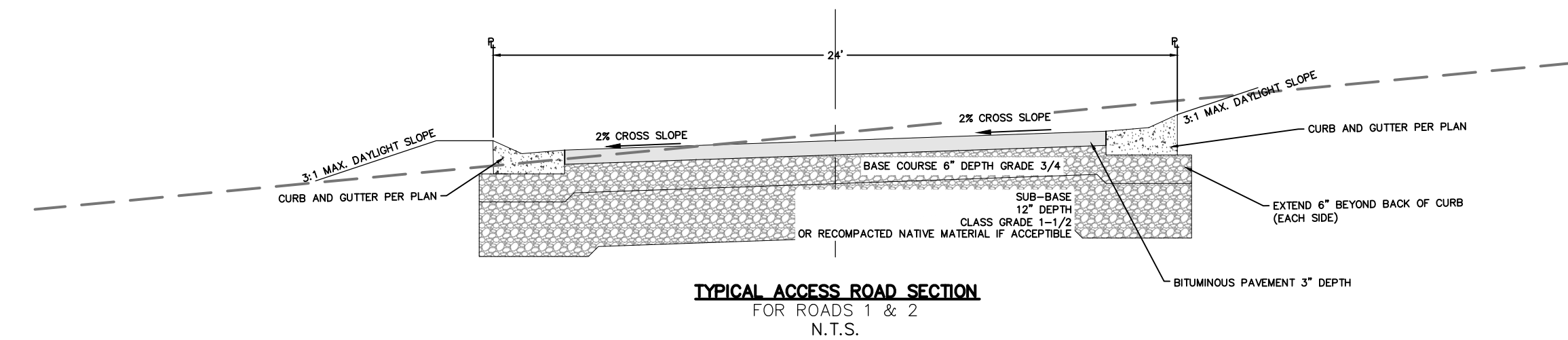
* Regularly furnished unless otherwise specified.

Zurn Industries, LLC | Specification Drainage Operation
1801 Pittsburgh Avenue, Erie, PA U.S.A. 16502 · Ph. 855-663-9876, Fax 814-454-7929

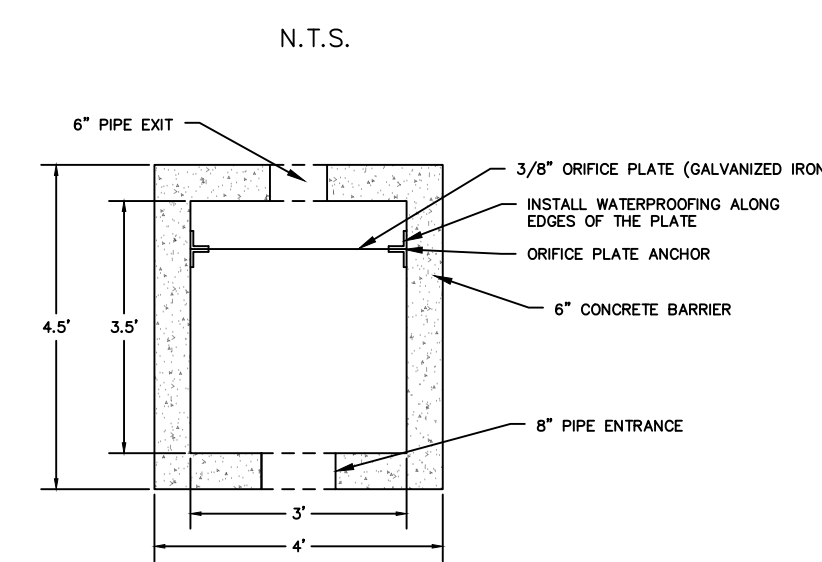
In Canada | Zurn Industries Limited
3544 Nashua Drive, Mississauga, Ontario L4V 1L2 · Ph. 905-405-8272, Fax 905-405-1292

www.zurn.com

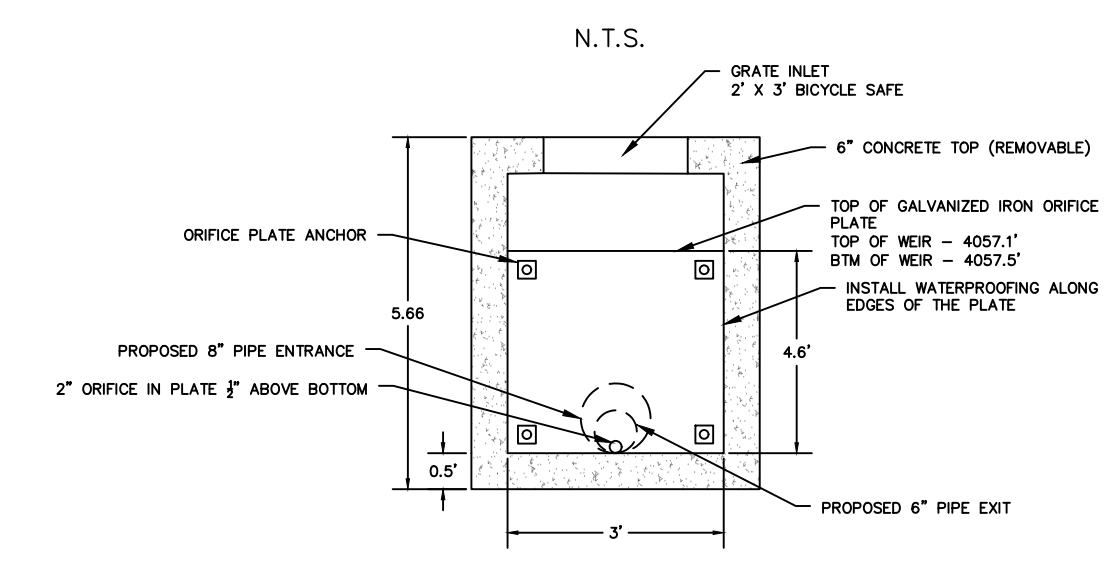
Rev. G
Date: 07/23/14
C.N. No. 131265
Prod. | Dwg. No. Z706



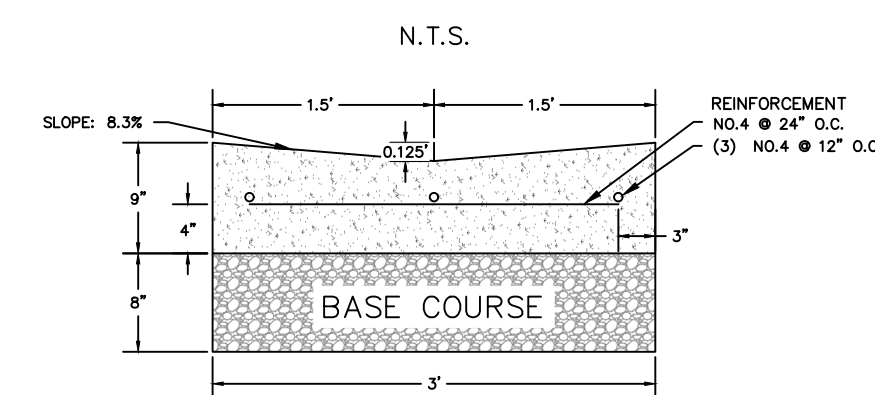
ORIFICE AND WEIR BOX PLAN VIEW



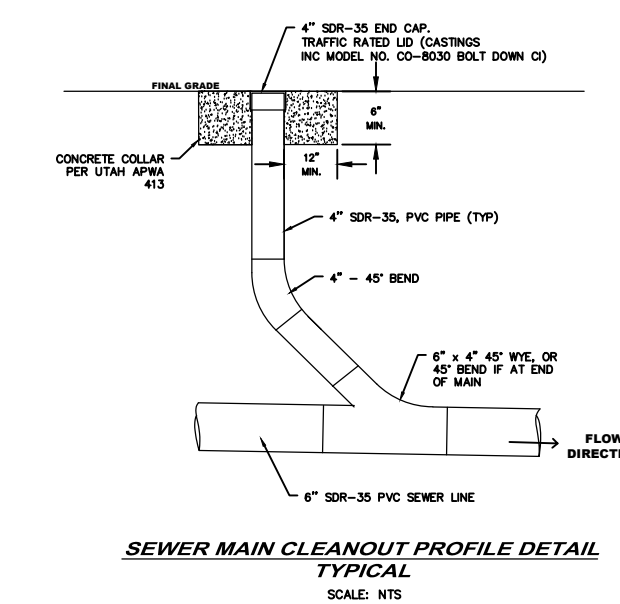
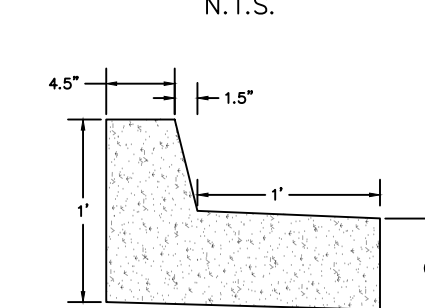
ORIFICE AND WEIR BOX PROFILE VIEW



3\"/>

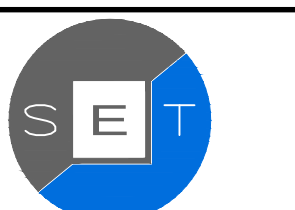


SPILL CURB AND GUTTER



Revisions:	DESCRIPTION
#	DATE

2X3 CONDOS AND TOWNHOMES
DETAILS
MOAB, UT



ENGINEERING LLC
1309 E. 3rd Ave., #206
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970-403-5088

PLAN NO.
C500

Sheet 10 of 11

Project: 2021-054 KAISER

Date: 06/27/2022

Drawn By: SH

Checked By: JG

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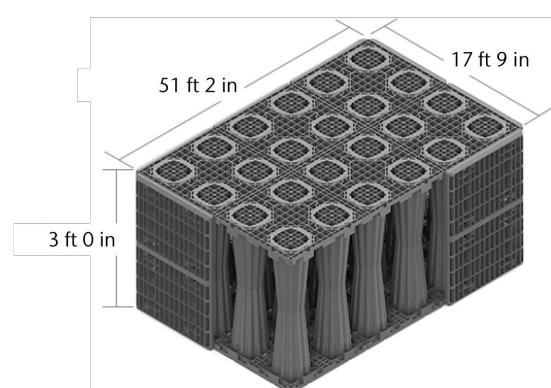
Online Project Configuration

Project Details
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 Date : 06-23-2022
 City : Moab
 State : Utah
 Zip Code : 84532
 Country : USA

Customer Details
 Contact : Steffen Horwath
 Email : steffenh@setengineering.com

Tank Configuration

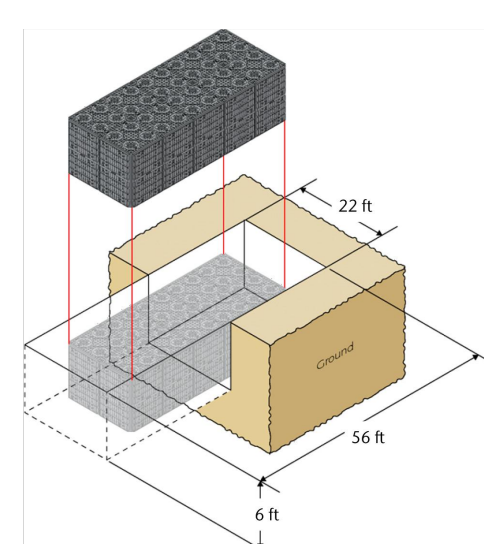
Tank Function	Infiltration
Product	Standard Duty (SD)
Number of Layers	1.0
Total Net Volume (ft³)	2,637.5 ft³
Total Gross Volume (ft³)	2,719.1 ft³
Length of Tank (ft/in)	51 ft 2 in
Width of Tank (ft/in)	17 ft 9 in
Depth of Tank (ft/in)	3 ft 0 in



Cavity & Excavation Details

Length of Cavity (ft/in)	55 ft 2 in
Width of Cavity (ft/in)	21 ft 9 in
Depth of Cavity (ft/in)	5 ft 6 in
Volume of Material to be Excavated (ft³)	6,551.6 ft³
*Membrane Quantity (ft²)	2,560.7 ft²
Cover Dimension (ft/in)	2 ft 0 in
**Backfill Material (ft³)	3,832.5 ft³

* Calculation includes a 15% overlap
 ** Pavement not accounted for



* Diagram shows cavity size rounded to nearest foot

Project Configuration Inlets, Outlets, and Access



Inlets

Inlets	Qty
Inlets	1
Remote Access Unit	0
Side Panels	1
Horizontal Pipe Connector	0

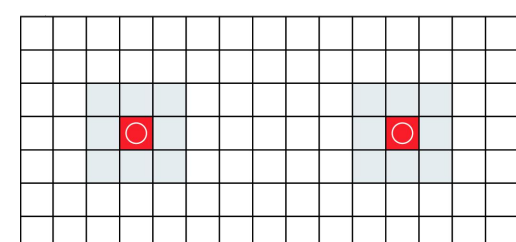
Outlets

Outlets	Qty
Outlets	1
Remote Access Unit	0
Side Panels	1
Horizontal Pipe Connector	0

Access

Access Points	Qty
Access Points	2
Remote Access Unit	2
Remote Access Plate	0

Grid Note
 The grids below do not represent accurate dimensions or proportions they just give a general guide to both inlet / outlet and access placement on your StormBrixx scheme.



Inlet/Outlet Grid Key
 Inlet/Outlet Pipe
 Inlet/Outlet using Remote Access Unit

Access Grid Key
 Remote Access Unit with maintenance access
 Remote Access Plate with maintenance access

Bill of Materials

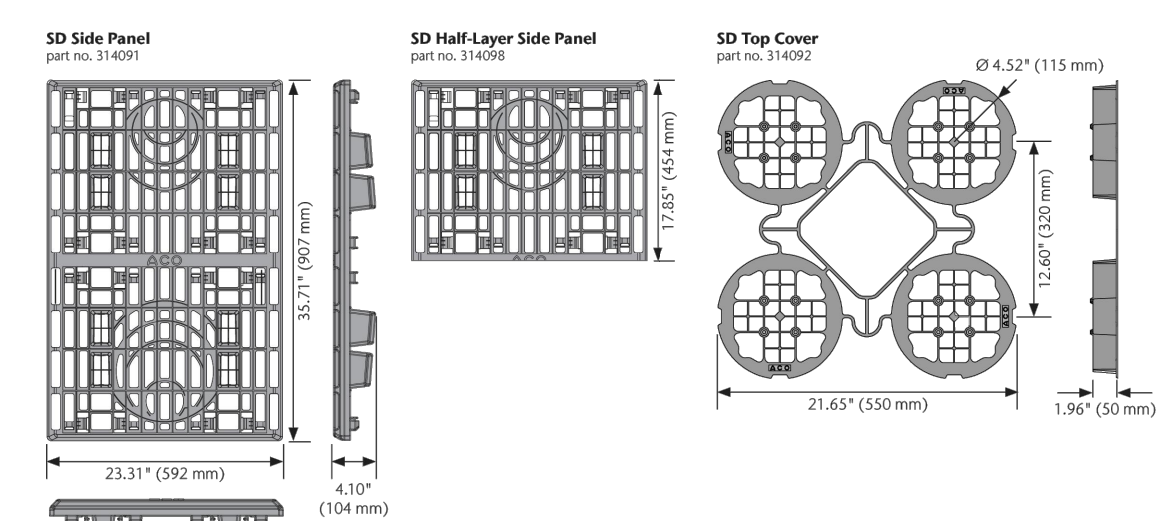
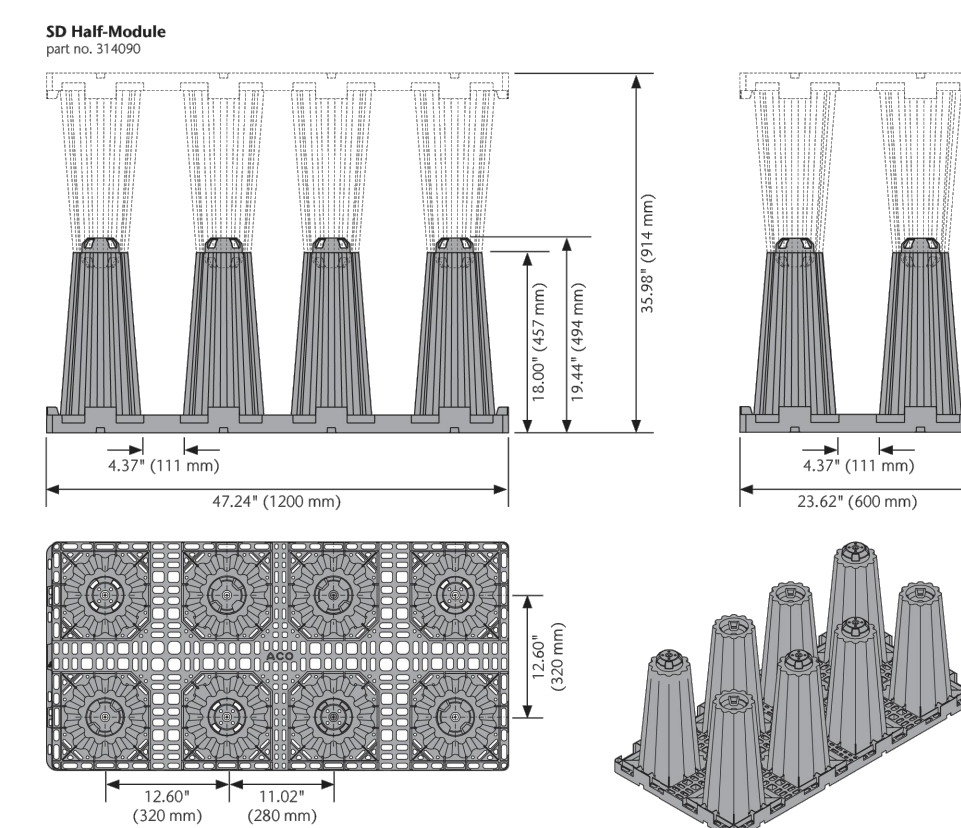


Pt No.	Description	Qty	Price Each (\$)	Extended Price (\$)	Weight Each (lbs)	Extended Weight (lbs)
314090	SD Half-Module	234	79.50	18,603.00	21.60	5,054.4
314091	SD Side Panel	70	27.50	1,925.00	7.20	504.0
314092	SD Top Cover	234	10.50	2,457.00	1.60	374.4
314093	SD Layer Connectors	117	0.90	105.30	0.03	3.5
138141	SD Remote Access Unit	4	260.00	1,040.00	40.00	160.0
314038	Extension Shaft	6	83.00	498.00	4.80	28.8
314043	Remote Access Cover - Ductile Iron	2	250.00	500.00	85.60	171.2
Totals			Price	25,128.30	Weight	6,296.3

Notes:
 1) These prices are the manufacturer's suggested retail price (MSRP). Please contact your local dealer or ACO Customer Service for more information.
 2) You should have received an email with your output results from: no-reply@acosconfigurator.com If you do not receive the confirmation within a few minutes, please check your spam folder.

ACO StormBrixx® SD Stormwater Detention/Infiltration/Retention System

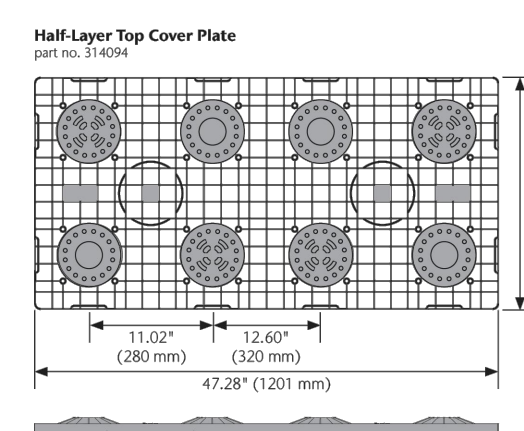
January 2021



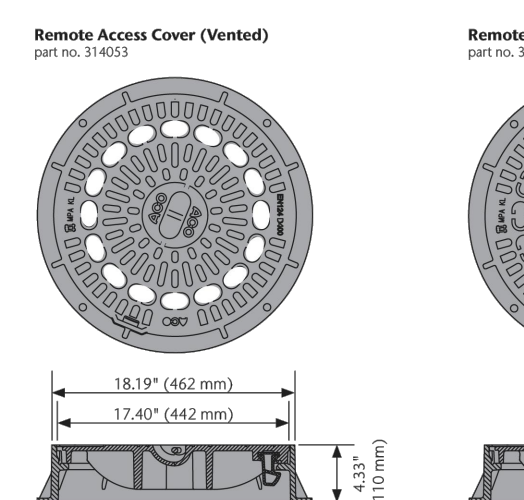
ACO Specification Information

ACO StormBrixx® SD Stormwater Detention/Infiltration/Retention System

January 2021



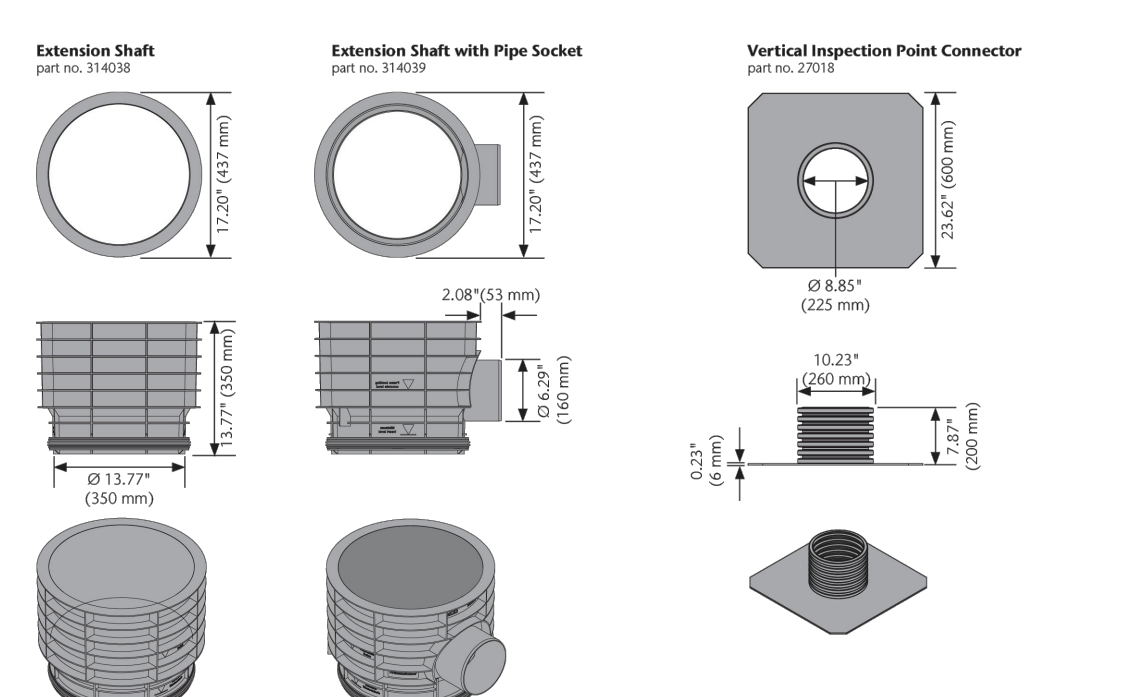
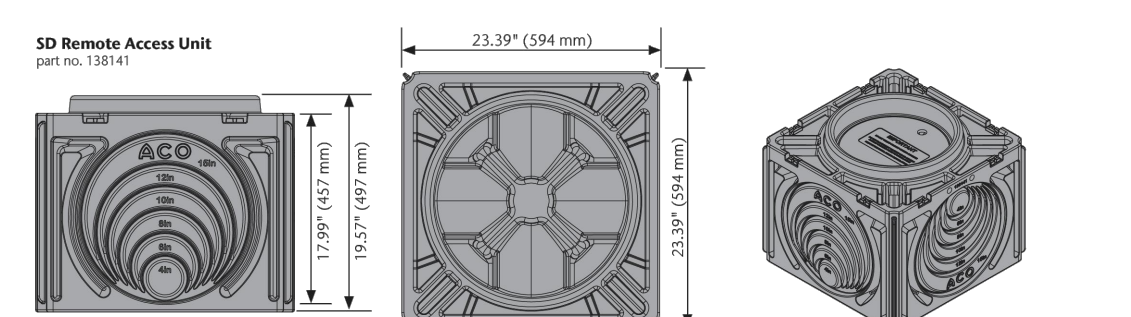
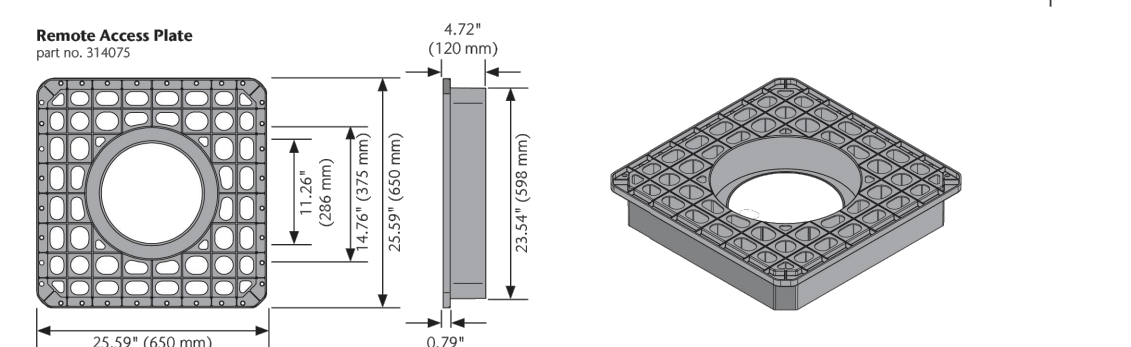
Part No.	A	B	C	H	W	L
	in (mm)	in (mm)	in (mm)	in (mm)	in (mm)	in (mm)
93139	SOR 35 - 4"	2.00	6.25	8.25	6.70	8.00
93145	SOH 40 - 4"	2.00	7.87	8.29	6.70	8.00
93140	SOR 35 - 6"	2.00	8.95	9.93	10.22	8.00
93146	SOH 40 - 6"	2.00	10.46	11.39	11.64	8.00
93141	SOR 35 - 8"	2.00	10.46	11.39	11.64	8.00
93147	SOH 40 - 8"	2.00	12.57	13.39	13.64	8.00
93142	SOR 35 - 12"	2.00	13.48	14.30	16.66	8.00
93144	SOH 35 - 15"	2.00	17.28	19.25	19.25	8.00



ACO Specification Information

ACO StormBrixx® SD Stormwater Detention/Infiltration/Retention System

January 2021



ACO Specification Information

ACO StormBrixx® SD Stormwater Detention/Infiltration/Retention System

January 2021

ACO StormBrixx SD Parts Table	Part No.	Length in (mm)	Width in (mm)	Depth in (mm)	Weight lbs (kg)
SD Half-Module	314090	47.24 (1200)	23.62 (600)	19.45 (494)	21.60 (9.80)
SD Side Panel	314091	35.71 (907)	23.31 (592)	1.57 (40)	7.20 (3.30)
SD Half-Layer Side Panel	314098	17.85 (454)	23.31 (592)	1.57 (40)	3.40 (1.54)
SD Top Cover	314092	21.65 (550)	21.65 (550)	1.96 (50)	1.60 (0.70)
Half-Layer Top Cover Plate	314094	47.25 (1200)	23.63 (600)	3.70 (94)	7.70 (3.50)
SD Remote Access Unit	138141	23.39 (594)	23.39 (594)	19.57 (497)	40.00 (18.12)
SD Layer Connector	314093	2.11 (54)	1.75 (44)	1.05 (27)	0.03 (0.02)
Remote Access Plate	314075	25.59 (650)	25.59 (650)	4.72 (120)	10.78 (4.90)
Remote Access Cover - Ductile Iron (Load Class D400)	314043	-	Ø 20.79 (528)	4.34 (110)	86.46 (39.30)
Remote Access Vented Cover - Ductile Iron (Load Class D400)	314053	-	Ø 20.79 (528)	4.34 (110)	83.60 (38.00)
Inspection Point Cover - Ductile Iron (Load Class D400)	314044	-	Ø 8.85 (225)	2.95 (75)	34.54 (15.70)
Extension Shaft	314038	-	Ø 17.21 (437)	13.78 (350)	4.84 (2.60)
Extension Shaft with Pipe Socket	314039	-	Ø 17.21 (437)	13.78 (350)	6.16 (2.80)
Vertical Inspection Point Connector	27018	-	Ø 8.85 (225)	7.87 (200)	5.52 (2.50)
Horizontal Pipe Connectors					
SDR 35 - 4"	93139	4.00 (102)		1.9 (0.87)	
SDH 40 - 4"	93145	4.00 (102)		1.9 (0.87)	
SDR 35 - 6"	93140	6.00 (152)		3.2 (1.49)	
SDH 40 - 6"	93146	6.00 (152)		3.20 (1.49)	
SDR 35 - 8"	93141	8.00 (203)		5.52 (2.50)	
SDH 40 - 8"	93147	8.00 (203)		5.52 (2.50)	
SDR 35 - 12"	93142	12.00 (305)		5.52 (2.50)	
SDR 35 - 15"	93144	15.00 (381)		5.52 (2.50)	

*Internal width

Specifications

General
 The StormBrixx stormwater Detention/Infiltration/Retention system shall be ACO StormBrixx SD as supplied by ACO, Inc.

ACO StormBrixx SD meets AASHTO H-20 and HS-20 loading conditions.

Materials
 The half-module shall be manufactured from polypropylene and have minimum properties as follows:
 Tensile strength: 152 lb/in² (319 kg/m²)
 Tensile strength, ultimate: 3,480 psi (23,994 kpa)
 Water absorption: 0.01%
 Frost proof, salt proof and fuels and oils resistant.

The stormwater tank shall provide an area of 97% open area, holding up to 22.33' ft (0.63 m) per module (2 half-modules assembled) and offer full access to all areas and levels for maintenance.

Geomembranes/Geotextiles
 The StormBrixx stormwater system shall be wrapped in appropriate permeable geotextile or impermeable geomembrane* (supplied by others) as indicated by project design engineer.

Accessories
 The StormBrixx stormwater system shall be used in conjunction with remote access unit or plate**/extension shaft**/inspection point connector**.

Installation
 The StormBrixx stormwater system shall be installed in strict accordance with the manufacturer's installation instructions and recommendations.

*Choose one
 **Choose none, one or more
 *Configuration and use of side/top panels will marginally impact these figures

West Sales Office	Northeast Sales Office	Southeast Sales Office	info@acousa.com
825 W. Beechcraft Street Casa Grande, AZ 85122 Tel: (520) 421-9988 Toll-Free: (888) 490-9552 Fax: (520) 421-9999	9470 Research Drive Mentor, OH 44860 Tel: (440) 639-7230 Toll-Free: (800) 543-4764 Fax: (440) 639-7235	4213 Research Road Fort Mill, SC 29708 Tel: (803) 531-1744 Toll-Free: (800) 543-4764 Fax: (803) 531-1744	www.acousa.com

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Revisions: # / DATE DESCRIPTION

2X3 CONDOS AND TOWNHOMES
 DETAILS
 MOAB, UT

SET ENGINEERING LLC
 1309 E. 3rd Ave., #206
 Durango, CO 81301
 970-403-5088

PLAN NO.
 C501

Sheet 11 of 11
 Project: 2021-054 KAISER
 Date: 06/27/2022
 Drawn By: SH
 Checked By: JG

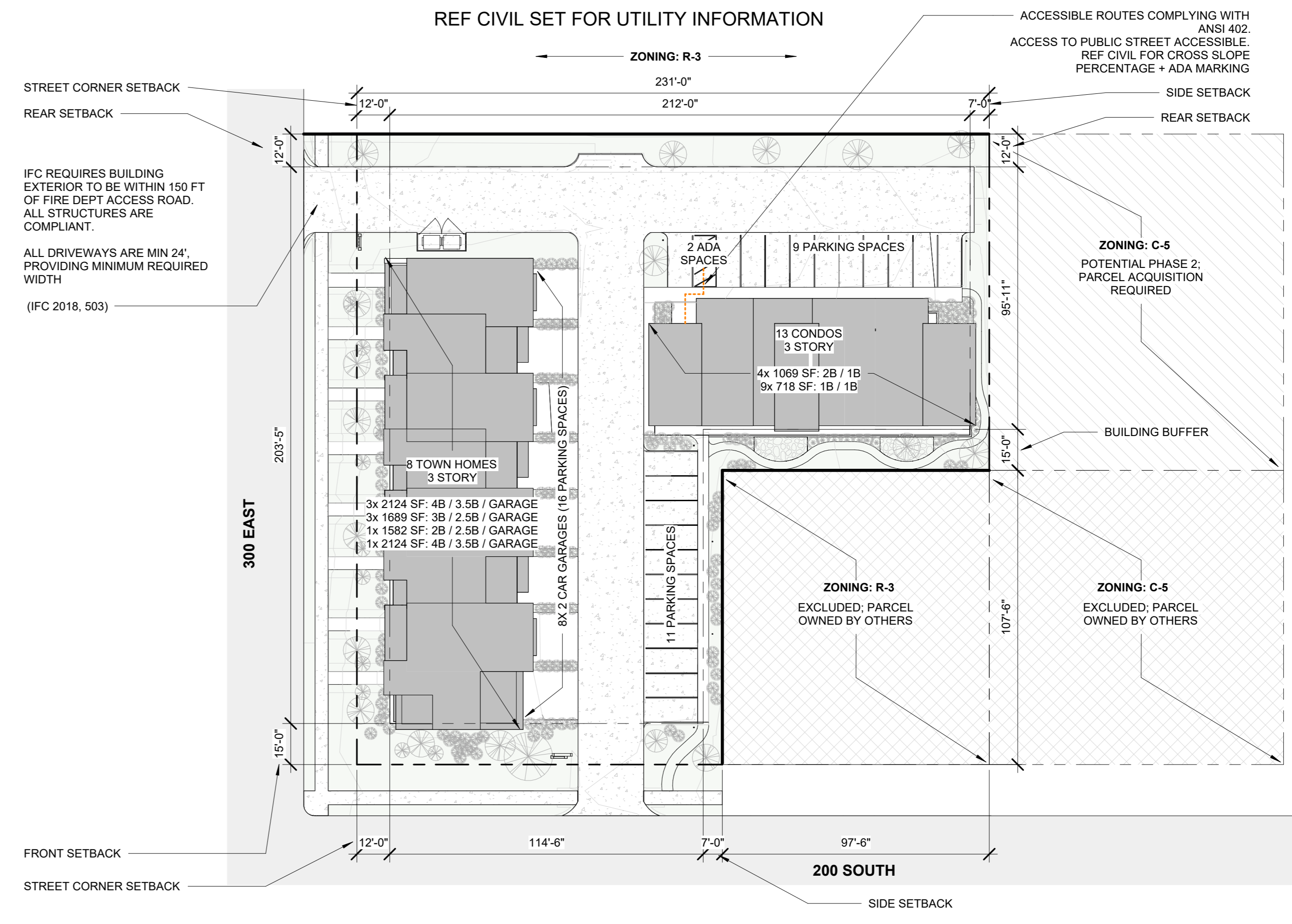
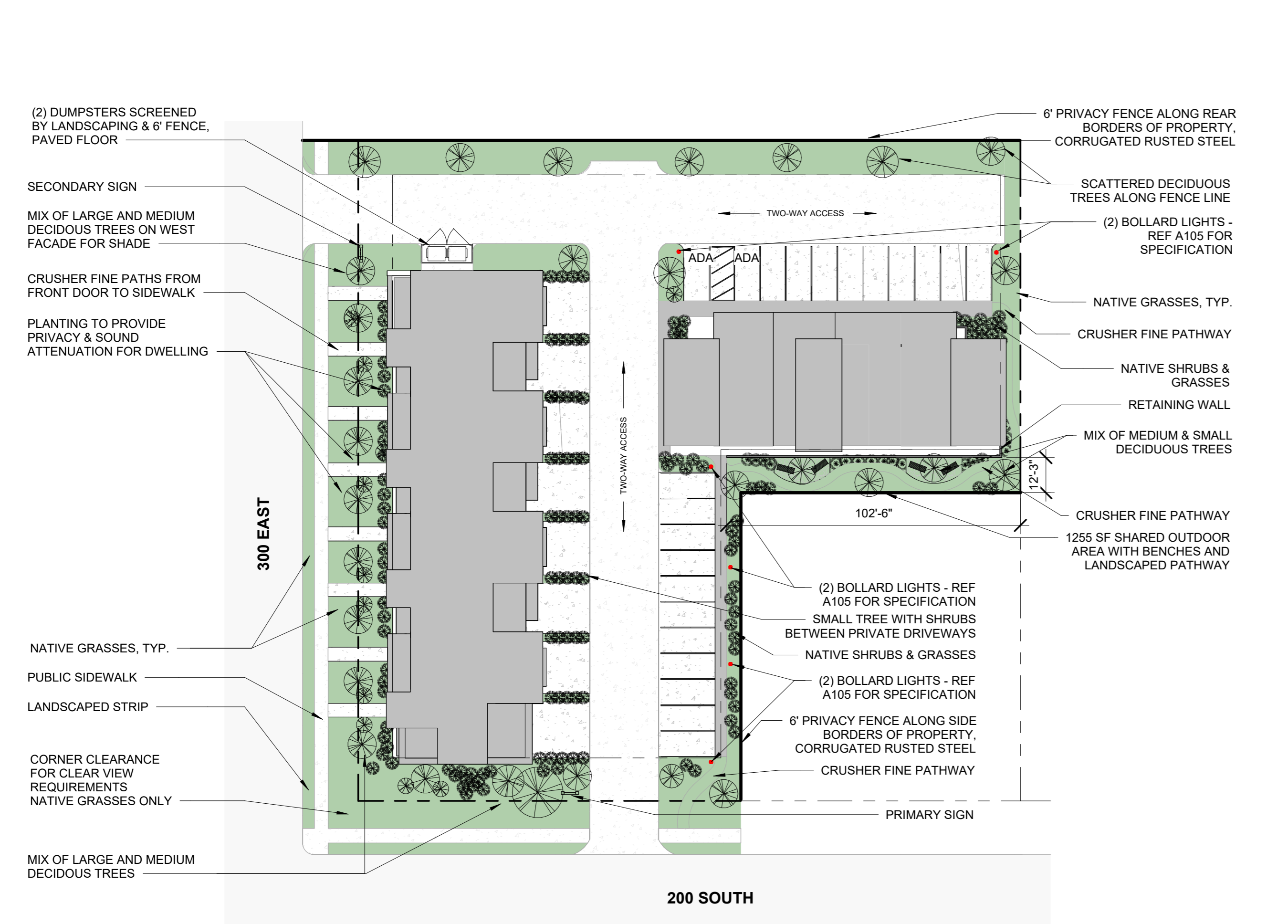
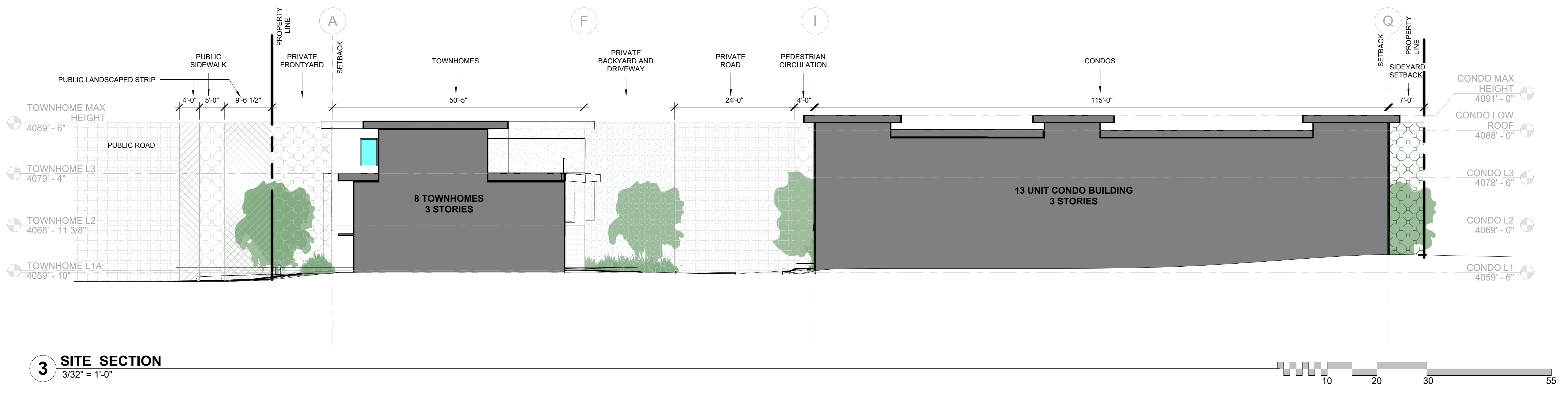
FOR REVIEW ONLY
 NOT FOR
 CONSTRUCTION

c:\users\steffenhorwath\desktop (set-engineering, llc)_set-business_set-projects-current\2021-054-kaiser-development\cad\plansheets\c100-site-plan.dwg

NOT FOR CONSTRUCTION

REVISIONS:
 22 06 27 SITE PLAN
 APPLICATION REV #1

NOT FOR CONSTRUCTION



2X3 TOWNHOMES & CONDOS
 175 S 300 E
 Moab, UT 84532

SITE PLAN + LANDSCAPE

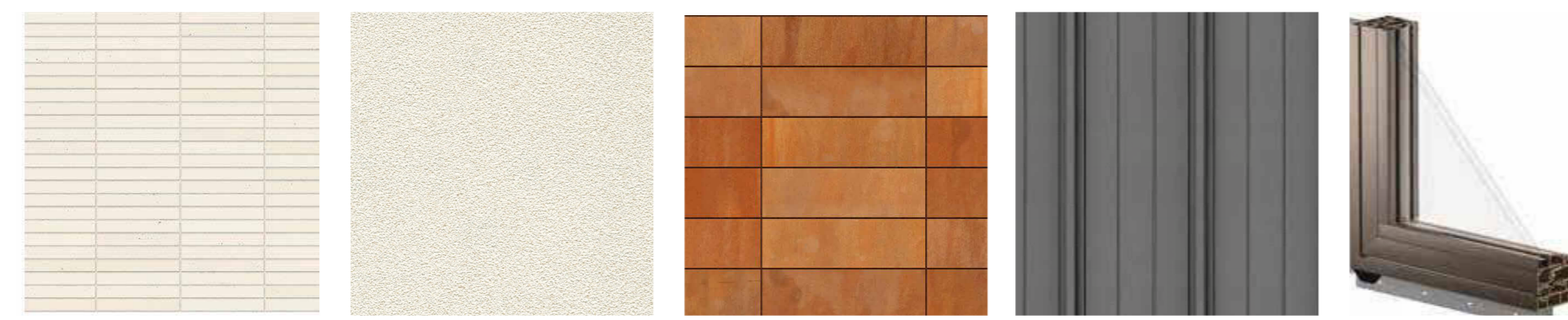
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A001

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cmk

NOT FOR CONSTRUCTION

MATERIALS



BUFF STACK BRICK:
GROUND LEVEL AND
3RD LEVEL SIDING

LIGHT STUCCO:
TYPICAL SIDING

ACCENTS:
CORTEN STEEL SIDING
ON TOWER

ROOF:
LIGHT GREY

WINDOWS:
LIGHT GREY

1 CONDO - EXTERIOR MATERIALS
3/16" = 1'-0"



3 CONDO AXON SE



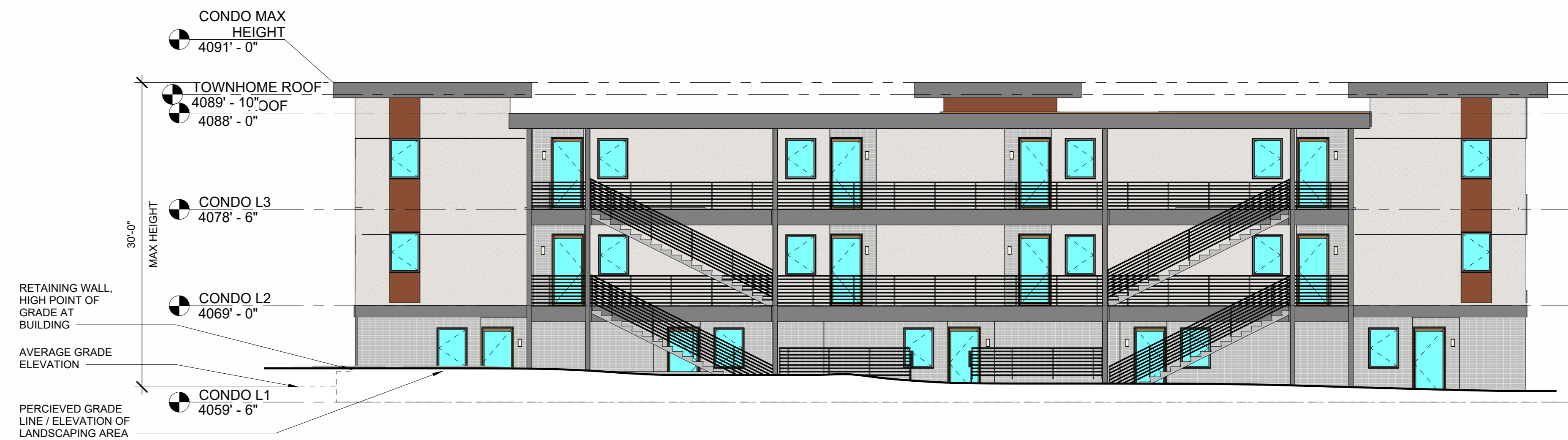
1 CONDO AXON SW



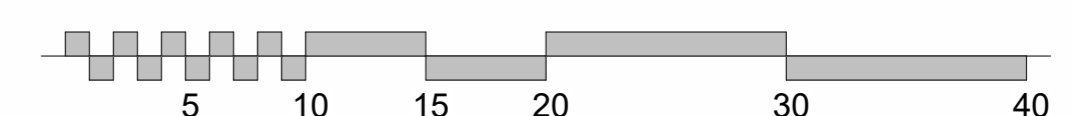
4 CONDO ELEVATION - SOUTH
1/8" = 1'-0"



2 CONDO AXON NW



5 CONDO ELEVATION - NORTH
1/8" = 1'-0"



NOT FOR CONSTRUCTION

REVISIONS:
22 06 27 SITE PLAN
APPLICATION REV #1

NOT FOR CONSTRUCTION

TOWNHOME ELEVATIONS ADJUSTED TO STEP WITH THE EXISTING SITE TOPOGRAPHY. REF CIVIL DRAWINGS FOR DETAILS. MAX BUILDING HEIGHT IN EACH SECTION NOT TO EXCEED 30'



3 TOWNHOME AXON SW



2 TOWNHOME AXON NW



GENERAL MATERIAL AESTHETIC RENDERING



1 TOWNHOME AXON NE

NOT FOR CONSTRUCTION

REVISIONS:
22 06 27 SITE PLAN
APPLICATION REV #1

2X3 TOWNHOMES & CONDOS

175 S 300 E
Moab, UT 84532

AXONS - TOWNHOMES

SHEET NUMBER

A900

6/29/2022 6:55:04 PM

cmk

CITY OF MOAB PLANNING RESOLUTION NO. 08-2022

A RESOLUTION CONDITIONALLY APPROVING A LEVEL II SITE PLAN FOR THE 2X3 TOWNHOMES & CONDOMINIUMS ON PROPERTY LOCATED AT 175 S 300 E, MOAB UT 84532.

WHEREAS, the following describes the intent and purpose of this resolution:

- a. Courtney Kizer, as the Applicant on behalf of the Owner of record, Kyle Kaiser, for property located at 175 S 300 E, Moab, Utah 84532, has applied for a Level II Site Plan Approval; and
- b. The Applicant has furnished a site plan and description of the property located at 175 S 300 E Moab Utah, 84532; Parcel 01-0B10-0004 (42,845.09 sf) (0.99 acres); and
- c. The City adopted Site Plan Review regulations in order to promote the health, safety and the general public welfare of the residents of the City by establishing standards for development in zones including the R-3 Multi-Household Residential Zone; and
- d. The Moab Planning Commission reviewed the application for Level II Site Plan for the residential multi-household apartment development in a regularly scheduled meeting held on July 28, 2022; and
- e. Sufficient evidence provided by the applicant proved that standards of development can meet or exceed the requirements and regulations outlined in the MMC Chapter 17.67 Site Plan Approval; and
- f. Following the consideration of the technical aspects of the pertinent code sections, the Moab Planning Commission, pursuant to Planning Resolution #08-2022, hereby finds, that all applicable provisions of the Moab Municipal Code have or can be met.

NOW, THEREFORE, BE IT RESOLVED BY THE MOAB PLANNING COMMISSION, the application for the 2x3 Townhomes & Condominiums Site Plan is hereby **CONDITIONALLY APPROVED**, with the following condition:

1. All comments shall be addressed to the satisfaction of the Moab City Engineer, and Planning Director prior to Building Permit Application Approval. Comments include:
 - a. The project will need a Townhome and Condominium plat. The application should include CC&R's and HOA information according to state law.
 - b. Resubmitting a Lighting Plan indicating the changes required by the last DRT comment review which were: In response to the Applicant's comment on Sheet A105 regarding parking lot safety lighting and permitted lumen count, it has been determined that several fixtures are considered exempt (safety-related) from lumen count. This allows for more parking safety related light fixtures to be installed. With the removal of eight (8) Landscape Lighting LED Horizontal Step Lights at 68 lumen per fixture and thirteen (13) Vex LED Outdoor Wall Sconces at 199 lumens per fixture, the Applicant has an additional 3,131 lumens to assign to recommended parking lot safety lighting minimums.

PASSED AND APPROVED in an open meeting of the Planning Commission by a majority vote of the Governing Body of Moab Planning Commission on July 28, 2022.

SIGNED: _____
Kya Marienfeld, Chair