



# HURRICANE CITY UTAH

**Mayor**

**City Manager**

Nanette Billings Kaden DeMille

## Planning Commission

*Mark Sampson, Chair  
Paul Farthing, Alternate Chair  
Ralph Ballard  
Rebecca Broneman  
Michelle Cloud  
Shelley Goodfellow  
Brad Winder  
Kelby Iverson*

### **Hurricane Planning Commission Meeting Agenda**

July 14, 2022  
5:00 PM

Hurricane City Offices 147 N 870 W, Hurricane

Notice is hereby given that the Hurricane City Planning Commission will hold a Regular Meeting commencing at 6:00 p.m. in the Hurricane City Offices 147 N 870 W, Hurricane, UT.

Meeting link:

<https://cityofhurricane.webex.com/cityofhurricane/j.php?MTID=me42b4eb65609e35eb0e0664c925c9dbc>

Meeting number: 2632 882 4836

Password: HCplanning

Host key: 730111

Join by phone +1-415-655-0001 US Toll

Access code: 2632 882 4836

Host PIN: 9461

A roll call will be taken, along with the Pledge of Allegiance and prayer and /or thought by invitation. Details on these applications are available in the Planning Department at the City Office, 147 N. 870 West

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#### **5:00 p.m. - Planning Commission Business:**

1. Presentation on the 2022 Moderate Income Housing Plan
2. Discussion of amendments to the city code with regards to residential agriculture and agriculture zones
3. Discussion of amendments to the city code with regards to the issuance of building permits

#### **6:00 p.m. or soon thereafter - Call to Order**

Pledge

Prayer and/or thought by invitation

Declaration of a conflict of interest

#### **Public Hearings**

1. A Zone Change Amendment request located at approx.. 88 N 1690 W from R1-10, residential one unit per 10,000 square feet, and HC, highway commercial, to add

0.127 acres to the existing highway commercial area and the rest as R1-8, residential one unit per 8,000 square feet with a Planned Development Overlay. Parcel numbers H-3-1-33-3141 and H-3-1-33-4221

## **OLD BUSINESS**

1. 2022-PP-16: Discussion and consideration of a recommendation to the City Council on a preliminary plat for Cordero Phase 3, a 214 lot residential subdivision, located at 2100 W 3900 S. Brant Tuttle Applicant.
2. 2022-ZC-28 2022-PSP-24: Discussion and consideration of a recommendation to the City Council on a Zone Change Amendment request located on the northwest corner of SR-7 & SR-9 intersection from R1-8, one unit per 8,000 square feet, to PC, planned commercial. Parcel numbers H-3-1-31-1101 and H-3-1-31-2101. Silverado Development LLC Applicant

## **NEW BUSINESS**

1. 2022-ZC-29 2022-PSP-36: Discussion and consideration of a recommendation to the City Council on a Zone Change Amendment request located at approx.. 88 N 1690 W from R1-10, residential one unit per 10,000 square feet, and HC, highway commercial, to add 0.127 acres to the existing highway commercial area and the remainder as R1-8, residential one unit per 8,000 square feet with a Planned Development Overlay. Parcel numbers H-3-1-33-3141 and H-3-1-33-4221. Hinton Holdings LLC Applicant. Richard & Kathleen Hinton Agent.
2. 2022-AP-02: Discussion and consideration of a recommendation to the City Council on an Agriculture Protection Overlay for Bevin Johnson located at 1235 S 700 W. Parcel number H-3-1-3-13192. Bevin Johnson Applicant
3. 2022-AP-03: Discussion and consideration of a recommendation to the City Council on an Agriculture Protection Overlay for Dale Johnson located at 1239 S 700 W. Parcel numbers H-3-2-3-23193 H-3-2-3-23180 and H-3-2-3-2317. Dale W. Johnson Applicant.
4. 2022-CUP-14: Discussion and consideration of a possible approval of a conditional use permit for a building of greater height and size, located at 1375 W 3000 S. John Brammall Applicant. Colten Iverson Agent.
5. 2022-FSP-07: Discussion and consideration of a possible approval of a final site plan for Zion Hub, a recreation resort development consisting of 35 units and two restaurants, located at the northwest corner of State St. and 500 N. Henry Hill Oil Services LLC Applicant. Matt Lowe Agent.
6. 2022-CUP-15: Discussion and consideration of a possible approval of a conditional use permit for a metal building located at 163 S Main St. Catholic Diocese of Salt Lake City Applicant. Lynn Olds and Steve Muno Agents.
7. 2022-PP-17 2022-PSP-22: Discussion and consideration of a recommendation to the City Council on a preliminary plat and a possible approval of a preliminary site plan for Lakeview Townhomes, a multifamily development consisting of 88 townhomes and 62 duplexes, located at the northwest corner of Sand Hollow Road and Dixie Springs Dr. Brett Burgess Applicant.

## **Approval of Minutes:**

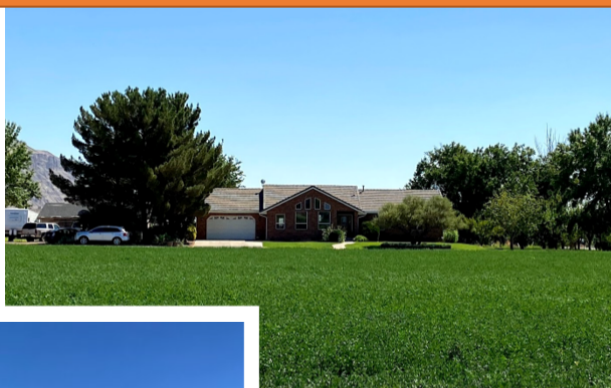


1. June 9, 2022
2. June 23, 2022

## **Adjournment**



# Moderate Income Housing Plan



## Introduction and Vision

Hurricane City is a rural, but growing community located in Washington County, Utah. The City is uniquely placed near Zion National Park, Red Rock Reserve, has two state parks reservoirs within its boundary (Sand Hollow State Park and Quail Creek State Park), Sand Dunes to the south, and world-famous mountain biking and hiking. The population at the time of writing this document was around 22,680, and an average growth rate is around 7% each year for the last five years. About 60%-70% of the property within Hurricane is still available for development. Hurricane City anticipates that growth will continue over the next several decades.

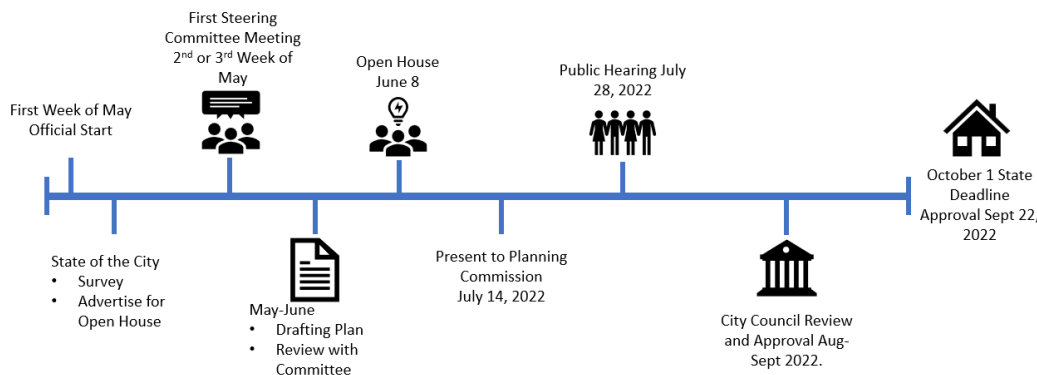
The high housing demand has created shortages within the City over the last several years, with near-record low number of units available on the market at any given time. Home prices and rental prices have continued to rise over the past several years, pricing people out of the market. Hurricane City has taken steps in the last few years to increase housing options within the City, partly by approving developments that contain a higher variety of housing options than a standard single family subdivision.

This plan's goal is to build upon existing strategies and create further policies to help guide the City to allow housing options for everyone to find adequate and affordable housing within the City.

## Process of Creating the Plan

Hurricane City has endeavored to create an open process to create this plan while receiving input from the public, a steering committee made up of business owners and residents, review and editing by the Planning Commission, and final approval by the City Council.

## Timeline for Moderate Income Housing Plan



## Hurricane City's General Plan

In March of 2021, Hurricane City adopted a new General Plan. Chapter 4 within that plan focused on Housing and Transportation. The General Plan has the following vision

### OUR HOUSING VISION

*In 2030, Hurricane is a city that addresses their diverse housing needs with a wide range of housing options. A balance of stable single-family neighborhoods filled with full-time residents, retirement communities, affordable, well-designed multi-family developments, and residential agriculture provides options for families and individuals at all stages of life and allows residents to age-in-place.*

### THIS MEANS:

- » *Allowing a mix of housing options such as accessory dwelling units to meet housing affordability needs*
- » *Providing high-quality senior housing options and smaller lots with less maintenance to allow residents to age-in-place*
- » *Preserving and investing in already established neighborhoods*
- » *Creating design standards for high-density housing*
- » *Managing short-term/vacation rentals to mitigate the potential impact on the surrounding neighborhoods*

(General Plan, 2021, p. 39)

The General Plan lists strategies and policies to help achieve this vision. These strategies and policies will not be listed within this document. This plan will not seek to rewrite these sections but build upon them into detailed plans on how to achieve the vision within the General Plan.

## State Law Requirements

Utah State Legislature updated requirements for qualifying cities for moderate income housing plans in the spring of 2022 with House Bill 462 and requires each municipality to comply with the new standard by October 1, 2022. These new requirements make the 2019 Moderate Income Housing Plan obsolete and in a need of an update. The law requires Hurricane City to adopt three strategies from a menu of options within state law. This plan meets the new requirements within state law by adopting seven of the menu options and incorporating strategies and an implementation plan to achieve those strategies.

Commented [SN1]: I need to site the code update.

## Other Factors

While the City cannot control the housing market, it can take steps to ensure housing options continue to be available for all residents of all income ranges and ages. These include locating appropriate land use designations for multi-family housing, manufactured home communities, and townhome developments. Ensuring these land use designations are located in areas convenient to shopping, transportation, and jobs will help families keep transportation costs lower. The City took these factors into consideration as it updated the 2020 General Plan and is reflected within this Plan.

## Outline

This plan shall address the following items.

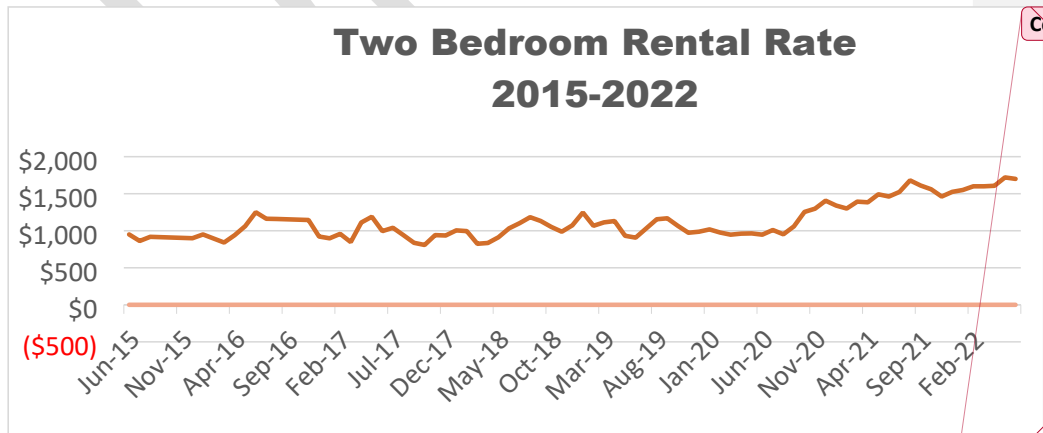
- ❖ Assessment of the current housing in within Hurricane City
- ❖ Review of Public Input
- ❖ Current Policies
- ❖ Strategies and Policy Implementation

## Assessment

One of the first steps to creating a housing plan is to assess the current housing market within the City. This section will review home and rental prices, existing affordable housing stock, growth within Hurricane, short term rentals, and anticipated housing needs.

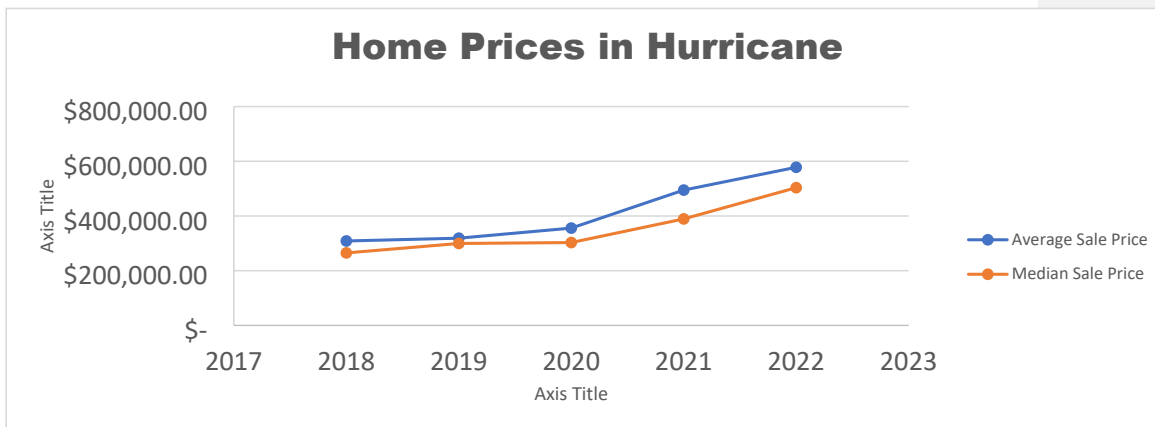
### Home and Rental Prices

Hurricane City has seen a dramatic increase in housing costs over the last several years. Home prices have risen across the board for every type of housing option.



Commented [SN2]: Add Reference

The graph above shows the average rental rate of a two-bedroom apartment within Washington County. As the data shows, the average monthly rental rate in 2015 was \$950, while today the average rental rate is around \$1,700.



The graph above represents the actual average and median home sale prices from January 2018-January 2022. As you seen from the graph, home prices have risen 87% since 2018.

## Existing Affordable Housing Stock and Developments

LIHTC Project Name	Location	Number of Units	Low-Income Units	Zoning
Hurricane Apts	165 N 200 W	24	24	RM-2
Knollwood Townhomes	6220 W 140 N	28	28	RM-2
Hurricane Hills I	2002 W 200 S	50	50	RM-2 PDO
Renee Ann	6325 W 25 N	23	23	RM-2
Hurricane Hills II	2002 W 200 S	28	28	RM-2 PDO
Crown at Stoney Point	580 N 230 W	8	8	R1-6
Stone Ridge Townhomes	380 and 384 S 6250 W	40	40	RM-3 PDO
Stone Ridge Townhomes II	368 & 380 S 6200 W	68	68	RM-3 PDO
LIHTC Project Name	Location	Number of Units	Low-Income Units	Zoning
Hurricane Apts	165 N 200 W	24	24	RM-2
Knollwood Townhomes	6220 W 140 N	28	28	RM-2
Hurricane Hills I	2002 W 200 S	50	50	RM-2 PDO
Renee Ann	6325 W 25 N	23	23	RM-2
Hurricane Hills II	2002 W 200 S	28	28	RM-2

**Commented [SN3]:** When will these lease rates expire?

**Commented [SN4]:** When will these lease rates expire?



				PDO
<b>Crown at Stoney Point</b>	580 N 230 W	8	8	R1-6
<b>Stone Ridge Townhomes</b>	380 and 384 S 6250 W	40	40	RM-3 PDO
<b>Stone Ridge Townhomes II</b>	368 & 380 S 6200 W	68	68	RM-3 PDO

Hurricane City has several existing affordable Projects within Hurricane. Some of these are through federal programs, and some include historic housing developments within the City.

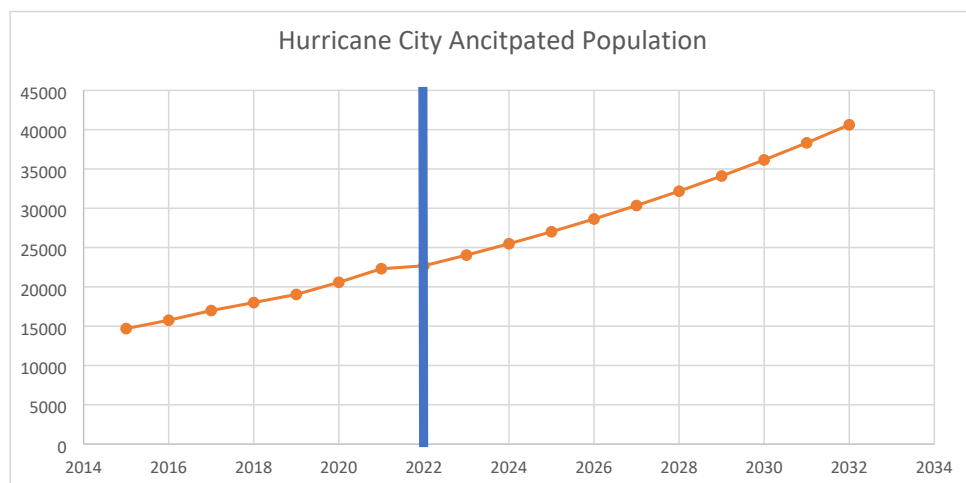
*(This table shows the number of units that have been approved as Low Income Housing Tax Credit (LIHTC) Developments)*



The City has also approved a new FHA Condo Home Project containing 200 Units located on Old Hwy 91 and Foothills Canon Dr. The City has recently had several homes built by Self Help Homes. In addition, housing stock in the historic downtown area have remained some of the most affordable units within the City.



## Growth within Hurricane City



*(This table represents a population estimate of Hurricane City based on the number of the building permits issued each year with an average of 2.7 people for each household and closely correlates with census estimates)*

Hurricane City has experienced a high growth rate over the last few years, with a record number of building permits that have been issued. The number of building permit in 2020 and 2021 have had a dramatic rise. The City has also seen a rise in different housing types within the City with an increase in townhomes and the completion of the first large apartment complex in 2021 and a second large complex being construction in 2021.

## Number of Building Permits Issued

Year	Homes	Twin Homes	Condo's	Commercial	Total
2022 (Jan- May)	70	53	15	11	149
2021	492	132	15	40	679
2020	412	160		35	607
2019	313	44		25	382
2018	313	37		15	365
2017	349	25	51	10	435
2016	364	2			366
2015	296	6	18	1	321

## Short Term Rentals

Number of Licenses June 2022	
Short Term Business Licenses	400
Total	
Breakdown	
Residential Hosting	108
Commercial	10
Resorts	214
Number in Single Family	66 (2 pending)
Applicants on Waiting List	76

Hurricane City allows for property to be rented out as vacation rentals in three ways:

- As part of a resort development or in commercial areas
- In Single-Family Neighborhoods: limit to three licenses for every 1000 residents
- Residential Hosting: A homeowner can rent out a section of their home or a casita (accessory dwelling unit) for guests.

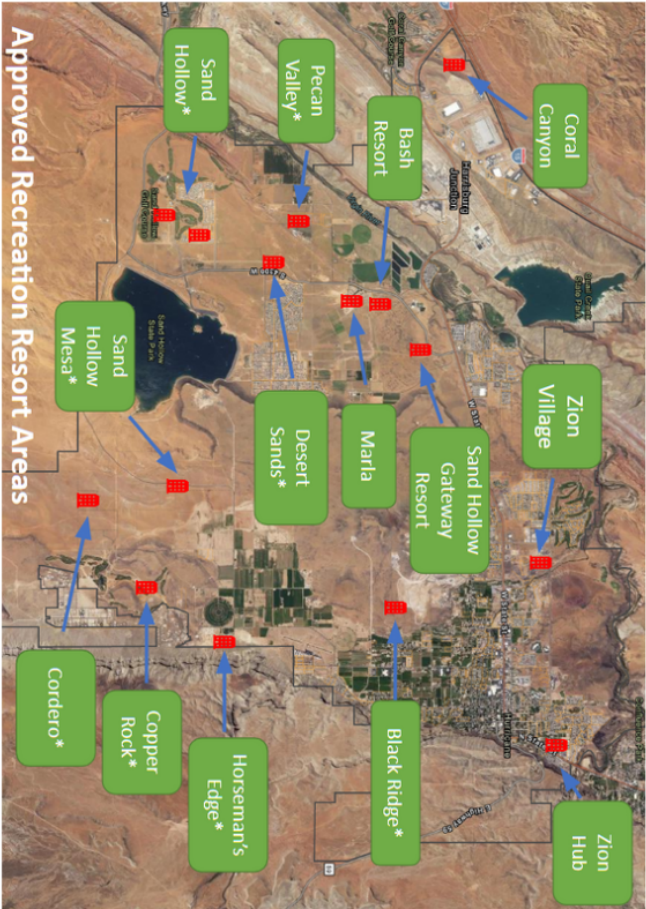
The table shows the number of issued licenses for each time of allowed short term rental unit.

The City has approved 5,214 resort units, most of which have not been built. In 2021 and 2022, the City took proactive steps to limit the further expansion of resort units within the City.

- The City updated its Recreation Resort Zoning to provide enhanced guidelines for future zone change requests and updated the standards of the ordinance to mitigate impacts from resort developments.
- The City updated its code enforcement policy from a criminal citation to an administrative citation to allow for better enforcement for short term rentals operating in violation of Hurricane City code.

	2010	2015	2020
<b>Total Housing Units (occupied + vacant)</b>	<b>5129</b>	<b>5711</b>	<b>7131</b>
<b>Total Occupied</b>	<b>4538</b>	<b>4766</b>	<b>6142</b>
Owner-occupied	3573	3193	4442
Renter-occupied	965	1573	1700
<b>Total Vacant</b>	<b>591</b>	<b>945</b>	<b>989</b>
For rent	50	49	46
For sale	84	36	24
Rented or sold, awaiting occupancy	0	164	0
For seasonal, recreational, or occasional use	308	502	705
Other vacant	149	194	214
<b>Vacancy Rate</b>	<b>11.52%</b>	<b>16.55%</b>	<b>13.87%</b>

## Recreation Resort Areas in Hurricane



\*Indicates development is a mix of long term and short term housing

Recreation Resort Zones	
Development	Approved Number of Units
Bash Resort	353
Black Ridge	247
Copper Rock	774
Coral Canyon	140
Cordero	345
Desert Sand	354
Horseman's Edge	15
Marla	121
Pecan Valley	447
Sand Hollow	702
Sand Hollow Gateway Resort	885
Sand Hollow Mesa	707
Zion Hub	35
Zion Village	89
<b>Total</b>	<b>5214</b>

## Anticipated Housing Needs

With the growth in Hurricane, rising prices, and the limited number of homes and rentals on the market, Hurricane has been faced with the housing crisis. Many individuals and families are having a difficult time finding adequate and affordable housing. The data below shows estimated housing deficits for Hurricane's Median Income, and then the following sections shows Cost Burden by Washington County Area Median Income (AMI).

**Commented [SN5]:** Talk to Kayo about getting some additional information.

**Commented [SN6]:** We need to add more explanation for these.

Housing is considered affordable when no more than 30% of a household's income is spent on housing and utilities. Affordable Housing is housing that those making 30%, 50%, and 80% of the area's median income can afford a housing unit without spending more than 30% of their income.

### Two types of Affordable Housing

**Market Provided (Naturally Occurring) Units:** These units are available on the open market and are affordable.

**Dedicated Affordable Units:** These are units that have some sort of deed or government restrictions to maintain affordability.

### Washington County Area Median Income

2022	Median Family Income	Median Income Percentage	Person in Family	
			3	4
St George UT Area	\$83,900.00	30%	\$23,030	\$27,750
		50%	\$37,350	\$41,450
		80%	\$59,700	\$66,300

(This Table was provided by HUD:

<https://www.huduser.gov/portal/datasets/il/il2022/2022summary.odn>)

### Affordability Housing Cost for Spending No More Than 30% of Monthly Income

Median Income Percentage	Affordable Monthly Payments for Household	
	3 Person	4 Person
30%	\$ 575.8	\$ 693.8
50%	\$ 933.8	\$ 1,036.3
80%	\$ 1,492.5	\$ 1,657.5

## Cost Burden Families

Income by Cost Burden (Owners and Renters)	Cost burden > 30%	Cost burden > 50%	Total
Household Income <= 30% HAMFI	350	295	535
Household Income >30% to <=50% HAMFI	165	90	520
Household Income >50% to <=80% HAMFI	575	75	1,230
Household Income >80% to <=100% HAMFI	154	4	595
Household Income >100% HAMFI	110	25	2,885
<b>Total</b>	<b>1,354</b>	<b>499</b>	<b>5,765</b>

Income by Cost Burden (Renters only)	Cost burden > 30%	Cost burden > 50%	Total
Household Income <= 30% HAMFI	235	220	315
Household Income >30% to <=50% HAMFI	70	15	220
Household Income >50% to <=80% HAMFI	240	35	415
Household Income >80% to <=100% HAMFI	10	0	140
Household Income >100% HAMFI	0	0	620
<b>Total</b>	<b>555</b>	<b>270</b>	<b>1,710</b>

Income by Cost Burden (Owners only)	Cost burden > 30%	Cost burden > 50%	Total
Household Income <= 30% HAMFI	115	75	220
Household Income >30% to <=50% HAMFI	100	80	300
Household Income >50% to <=80% HAMFI	340	45	815
Household Income >80% to <=100% HAMFI	149	4	455
Household Income >100% HAMFI	110	25	2,265
<b>Total</b>	<b>814</b>	<b>229</b>	<b>4,055</b>

\*Cost burden is the ratio of housing costs to household income. For renters- housing cost is gross rent (contract rent plus utilities)

\*For owners- housing cost is "select monthly owner costs" which includes mortgage payment; utilities; association fees; insurance; and real estate taxes.

(These tables were provided for CHAS DATA from the 2014-2018 Period:

<https://www.huduser.gov/portal/datasets/cp.html#2006-2017> )

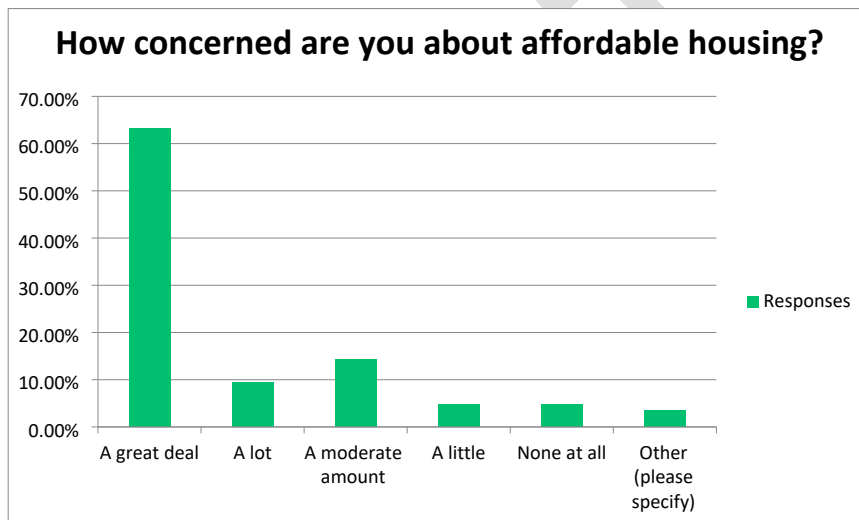
From the data provided above, it is clear that we Hurricane residents are facing increased housing cost, which is requiring many to spend more than 30% of their income to afford a place to live. From public input, many residents reported making difficult housing choices to find places to live, including spending more than they can afford, living with family and friends, and postponing buying a home.

## Public Input

The City sought to public input in a couple of ways during the process. The main ways were an online survey, public open house, both at the Mayor's State of the City, and a public hearing with the Planning Commission.

### Online Survey

The City obtained 148 online surveys responses (full results are in Appendix A). A vast majority of the those who participated within the survey had some level of concern about housing cost within Hurricane City, with 63% indicating the highest level of concern listed within the survey.



In addition, about, 67% of respondents indicated that they felt that there was inadequate affordable or accessible housing in their area. The following are some of responses to the question *Do you feel that there is adequate affordable/handicapped accessible housing in your area?*

*No I have been searching for a place of my own but everything is out of my budget. I work for Zion but may need to move to st george to find any home for under \$1600 a month*

*A lot people including myself can't afford to pay the 2k a month rent as most are either newlyweds or college students who don't make enough*

*Most of them are on a fixed income houses are to much to buy and housing wait list is to long not enough places for them to rent without a long wait list*

**Commented [SN7]:** We could provide a brief summary, and then have all the charts in an appendix.

**Commented [FR8]:** Agree

**Commented [SN9]:** Add some of the comments under to highlight general trends.

**Commented [SN10]:** Pick key graphs within the survey, then include everything else.

Where presented with a list of policies that the City could implement, the following four options were the most popular:

1. Work to preserve existing and new affordable housing
2. Continue to allow accessory dwelling units ( apartments on a single family lot, like a casita, basement apartment, mother-in-law suite, etc) to be allowed in single family zone.
3. Work with non-profit housing organizations for the construction of new affordable housing
4. Provide incentives to developers to provide housing units ensured to remain affordable

The least popular options presented were:

1. Lower parking requirements for higher density housing
2. Rezone for higher density or affordable housing development in mixed use areas (areas with commercial and residential)

When asked “What is your biggest concern about housing within Hurricane City?”, there were some main themes from the public. One of the main concerns mention was short term rentals and seasonal occupation. Another concern mention several times was the need to provide commercial development near new housing projects. One of the comments that helps summaries these points:

*There is a housing boom right now that is putting a huge demand on new houses but the people buying them are not living in them. They are closing and putting them for rent at outrageous prices. I fear the housing growth has been outpacing the growth of everything else. Soon this town will just be spots of housing developments with nothing but desert in between. Hurricane needs to prioritize building commercial areas to serve all the housing. At this rate even if affordable housing is created and managed, it will be in a good desert and be an unrealistic situation for someone in need. I expect better community planning to ensure that once homes are built they are filled with people that are going to stay, not rent out their homes to tourists or have to leave due to lack of proximity to other basic amenities or public transit.*

## Open House

The City held a public open house on June 8<sup>th</sup>, 2022. At the open house, members of the public had the opportunity to come and leave public feedback and discuss housing needs with City Councilmembers, Planning Commissioners, and City Staff. The City created posters with information and allowed applicants to write ideas down and place stickers on policies they would likely support (these results are in Appendix A). Some of the policy at the open house that were most supported

- Work with non-profit housing organizations for the construction of new affordable units
- Continue to allow accessory dwelling units to be allowed in single-family zones

While, there were a few options that were less popular, including

- Construct and manage City/Non-Profit owned affordable housing projects

On open ended questions, there were many concerns about affordability of housing within Hurricane. Many residents were concerned about the number of short term rentals within the City, and allowing a mixture of housing type in many neighborhood.

## Strategies and Policies

Housing affordability is a problem Hurricane City residents are currently facing, with no clear single solution to resolve either short-term or long-term housing issues. As such, Hurricane City is going to take a multifaceted approach by adopting several strategies with underlying policies to address housing considerations.

### Policies

#### Accessory Dwelling Units

1. **Create or allow for, and reduce regulations related to, internal or detached accessory dwelling units in residential zones;**

and

2. **Eliminate impact fees for any accessory dwelling unit that is not an internal accessory dwelling unit as defined in Section [10-9a-530](#);**

#### Policies Goals

- The City currently allows ADU's within all single family zone. Both for attached and detached. These units may be used for short-term or long term rentals.
- The City in May of 2022 changed the code to allow for lots that are .8 acres lots or larger to have two ADUs on the property, requiring that at least one can only be used for long term rental.
- The City in May of 2022 now allows the property owner to live in the ADU or Primary unit if the other unit is for long term rentals.
- The City currently does not charge impact fees for the construction of ADU's. This plan recommends that the City does not adopt impact fees for any ADUs used for long-term rentals.
- Create regulations to limit short term rentals, look at impact fees or caps in numbers. Other incentives for long term?



### Implementation

**Commented [SN11]:** Look at adding a graphic for time frame for this plan. Show all projects over five year and create a prioritization list.



<b>Impact Fees</b>	Continue to waive all impact fees for long term ADUs	Current
<b>ADUs</b>	<ul style="list-style-type: none"> <li>Look at ways to encourage long term rentals</li> <li>Keep attached and detached ADUs as permitted uses within single family zones</li> </ul>	Current

## Development Incentives

### 3. Implement zoning incentives for moderate income units in new developments

#### Policy Recommendations

- Evaluate an inclusionary zoning incentive for new developments to build housing that is affordable for those making 80%, 50%, and 30% of Washington County AMI.
  - Add density bonus for Planned Development Overlay for affordable units. This could include deed-restricted units or units that will be constructed by nonprofit housing organizations.
  - Create incentives for developers to pay fees into a housing fund that could help support the creation or construction of affordable units.
  - Evaluate density bonus incentive for affordable housing within the Planned Commercial Mix Use Zone.
  - Look at allowing land transfers for density bonuses or use Transfer of Development Rights to create more affordable developments in exchange for keeping other property open.
  - This policy should be reviewed and implemented by the Summer of 2023.

**Commented [SN12]:** Look at Kayo's process.

<b>Inclusionary Zoning</b>	<ul style="list-style-type: none"> <li>Create an overall plan to provide incentives for many different types of Development to add affordable units. Reevaluate the Planned Commercial Affordable Incentive Policy and make edits as needed.</li> </ul>	Fall of 2023
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**Commented [SN13]:** Make a priority.

Create a path to allow for this to take place

Focus on local builders

Shorter time frame: Create a shorter time frame, with clear guidelines. Create a list of pre-approved firms that have less review period.

Focus on lifesaftey issue.

Create a way for better communication between the City and Developers

**Commented [SN14]:** Look at allowing Duplexes for these trading.

	<ul style="list-style-type: none"> <li>Implement Planned Development Overlay Affordable Unit Incentives</li> </ul>	Fall of 2023
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**4. Reduce, waive, or eliminate impact fees related to moderate-income housing;**

**Policy and Implementation Recommendations**

- Do a full review of impact fees for the City and associated districts that charge impact fee within the City
- Do a financial analysis to study the effects of varying levels of impact fees waivers or reductions This full analysis will need to happen in the fall of 2023.
- Review a variety of options for reduction, waiving, or eliminating impact fees for affordable units.
- Review a policy for deferred impact fees with the possibility of waiving the impact fees after meeting certain terms specified in an agreement.
- As Impact fees are updated, include affordable housing elements with reduced impact fees for qualified affordable housing units. This can happen as the City updates its impact fee schedule. The City is scheduled to review and update water, parks, and transportation impact fees by July 2023.

**Commented [SN15]:** Look at state grants to help provide grants to help compensate.

<b>Impact Fees</b>	<ul style="list-style-type: none"> <li>Review transportation impact fees and propose affordable housing discount</li> </ul>	Winter 2022-2023
	<ul style="list-style-type: none"> <li>Review Park Impact Fees and propose affordable housing discount</li> </ul>	Spring 2023
	<ul style="list-style-type: none"> <li>Water</li> </ul>	

## Mixed Use Development

**5. Create or allow for, and reduce regulations related to, multifamily residential dwellings compatible in scale and form with detached single-family residential dwellings and located in walkable communities within residential or mixed-use zones;**

**Policy and Implementation Recommendations**

- Create a Downtown Master Plan and review housing policy within the downtown. Consider eliminating or reduction of single-family zoning for infill development and creating mixed-use standards within the downtown. The Downtown Master Plan is scheduled to begin in August 2022 and is anticipated to take 6 to 8 months.

**Commented [SN16]:** Clarify this statement. Look at preserving historic housing in the downtown area and preventing people from coming in and tearing down buildings and building new housing.

- Look at areas where “Missing Middle Housing” and mixed-use zones can be implemented within existing and future residential and commercial developments. Areas for review include new development along SR-7, Sand Hollow Road Commercial Areas, and around 3400 W on the north side of SR-9.
- Review the Planned Commercial Zoning density bonus factors.

<b>Downtown Master Plan</b>	<ul style="list-style-type: none"> <li>• Update Downtown Master Plan and recommend standards for housing, mixed use development, and create recommendation for design standards.</li> <li>• Consider eliminating or reducing single family zoning in downtown area.</li> <li>• Follow implantation plan form within the General Plan</li> </ul>	<p>Summer 2022-Spring of 2023</p> <p>Adopt Zoning Code and Standards as Downtown Master Plan Recommends</p>
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#### Land Trust Programs

##### 6. Demonstrate creation of, or participation in, a community land trust program for moderate income housing;

##### Policy and Implementation Recommendations

- Review City owned property that may be developed for affordable housing, including the recently purchased 15 acres adjacent to City Hall.
- Coordinate with (St. George Organization) for possible expansion into Hurricane.
- Olene Walker Fund and other non-profits
- The Utah Housing Coalition.

**Commented [SN17]:** Southwest Utah Landtrust and see if they

<b>Community Land Trust Program</b>	<ul style="list-style-type: none"> <li>• Evaluate Hurricane City property and evaluate if any existing property can be used for housing options, including a portion of the 15 acres adjacent to City Hall</li> </ul>	<p>Summer 2023</p>
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	<ul style="list-style-type: none"> <li>• Edit its first time home buyers program</li> </ul>	
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### Alternate Options

(A-1) Limit Short term Rentals except in Recreation Resort or Approved PDOs

- Look into local ownership limitations
- Limit expansion of short-term rentals to the current total number of license with no increases
- Continue to evaluate resort standards to limit the growth of resorts within the City.

(A-2) Work with Non-profit housing organizations for the construction of new affordable units



(January 21, 2022. Ribbon cutting for a home construct through Habitat for Humanity in Hurricane)

- Provide incentives for developers to partner with non-profit housing organizations to provide lots for construction.
- Partner with nonprofits to help develop City owned property for affordable housing options.
- Waive or defer impact fees for homes built by nonprofits building guaranteed affordable units.
- Partner with non-profits for public awareness campaigns

(A-3) Reduce barriers for owner builder

- Review barriers that prevent owner builders from building
- Reduces requirements that do not conflict with building code or state code.

## Implementation Schedule

Time Frame	Item	Steps
Current	ADU Regulation	Look at ways to encourage long term rentals Keep attached and detached ADUs as permitted uses within single-family zones
Summer 2022-Spring of 2023 Adopt Zoning Code and Standards as Downtown Master Plan Recommends	Downtown Master Plan	Update Downtown Master Plan and recommend standards for housing, mixed use development, and create recommendation for design standards. Consider eliminating or reducing single family zoning in downtown area. Follow implantation plan form within the General Plan
Summer of 2023	Inclusionary Zoning Policy	Add density bonus for Planned Development Overlay for affordable units. This could include deed-restricted units or units that will be constructed by nonprofit housing organizations. Create incentives for developers to pay fees into a housing fund that could help support the creation or construction of affordable units. Evaluate density bonus incentive for affordable housing within the Planned Commercial Mix Use Zone. Look at allowing land transfers for density bonuses or use Transfer of Development Rights to create more affordable developments in exchange for keeping other property open. This policy should be reviewed and implemented by the Summer of 2023.
Spring of 2023	Good Landlord Program	Create a good landlord program offering discounts on business licenses for landlords that complete course.
Fall of 2023	Grant Programs	Look for state and federal funding to allow for maintaining of affordable housing.

		<p>Prioritize those who complete Good Landlord Program</p> <p>City should consider establishing their own program</p> <p>Edit its first time home buyers program</p>
2023	Waiving Impact Fee	<p>Do an analysis of revenue generated by impact fees and provide estimates of cost to the City by waiving impact fee for affordable units</p> <p>Create and adopt a policy where affordable units and units constructed by charities are provided an impact fee waiver or discount.</p>
Summer 2023	Community Land Trust Program	<p>Evaluate Hurricane City property and evaluate if any existing property can be used for housing options, including a portion of the 15 acres adjacent to City Hall</p> <p>Coordinate with existing housing programs and charities for partnership to form the trust.</p>

## Conclusion

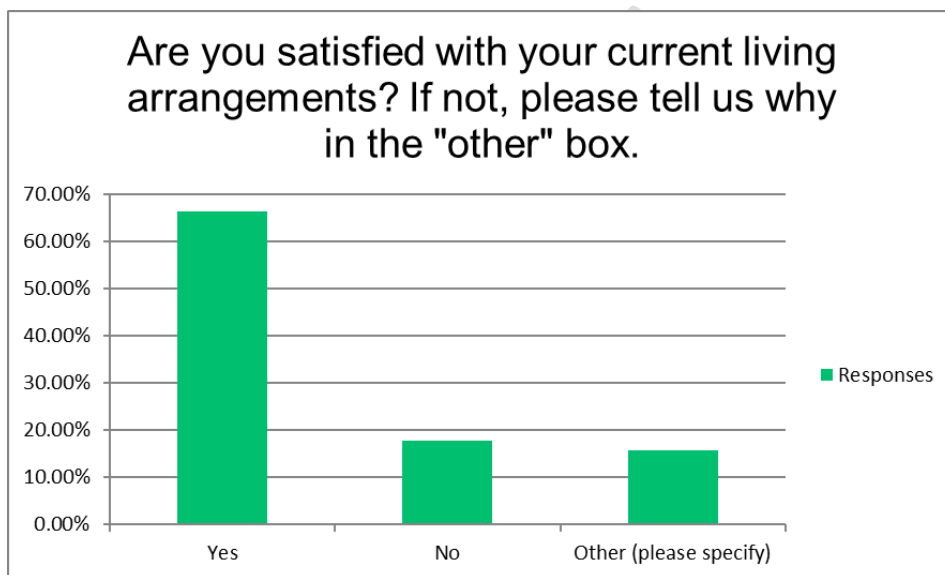
Hurricane City is facing an affordable housing crisis which has led to many families paying more for housing than they would otherwise and excluding many from the current housing market. The City is committed to taking steps to increase housing options within the City and allowing more affordable options as part of new developments. The City is also committed to maintaining the existing affordable housing stock. The City believes that by implementing the strategies within the General Plan and this plan, that it can work toward meeting housing needs of all its residents.

**Commented [SN18]:** Better summary of the plan.

## Appendix A

### Public Input

#### Online Survey Results



#### Are you satisfied with your current living arrangements? If not, please tell us why in the "other" box.

I would like to live in a house with a yard

Hurricane needs to keep up with the mass amount of people moving here OR stop allowing building of new homes. With all these new people here has the police dept hired more staff because you're going to need it. Cars are getting stolen and broken into around my area off 3700

Rent was raised this past year while nothing was changed in the house. It has all original appliances and carpets from over 20 years ago!

Rent too high

It was very expensive for an older home in an older neighborhood

It's too small but all I can afford

Lack of washer/dryer and sheltered parking.

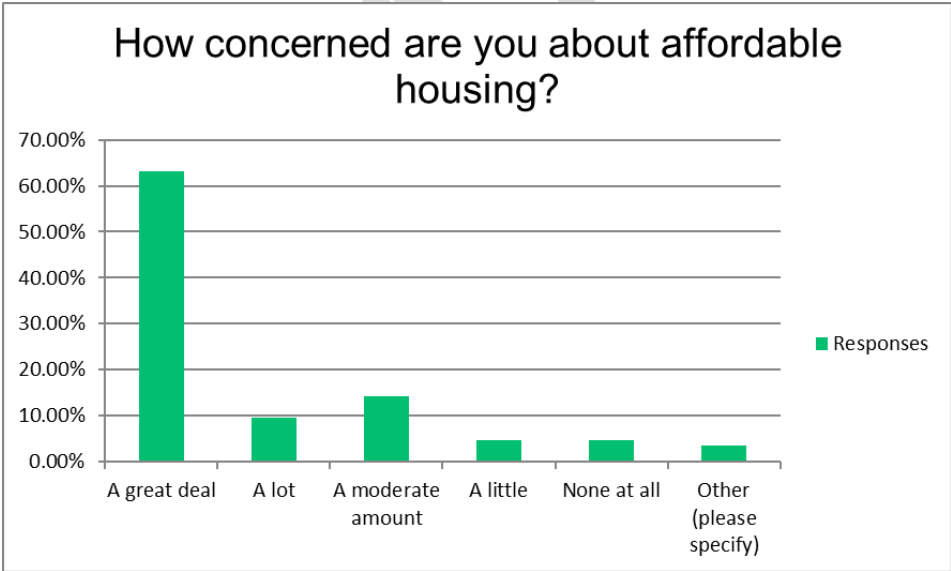
I want to live in a house but nothing is reasonable

Not enough space.

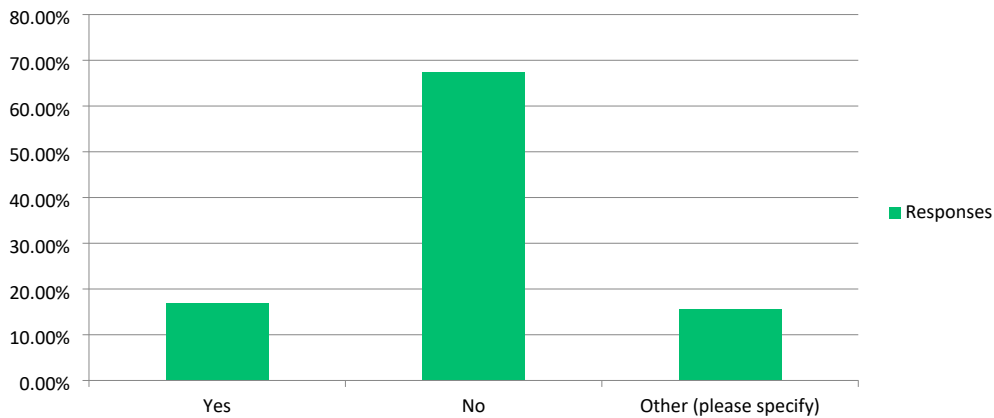
I want a house with a yard and enough space inside for my children as well



I would love to live in a gated community that has a hoa to keep trashy neighbors out that don't want to take care of a yard
I would like to have more property and to live in a more rural place.
Other than the price for rent, yes I am satisfied.
I live with my mom to make ends meet
I have to rent out a room to afford to eat
dont like shared driveway
Renting until we can afford to buy a house
Poor it lack of, repairs.
Rent is high
I have to live with my parents to be able to afford a place to live.
My lot rent keeps going up so high I can barley make enough to feed my kids
Would rather have house with more parking
I live in my parents casita, it's small but it's affordable. I would love to get a townhouse or duplex, but not when they're \$400k+.



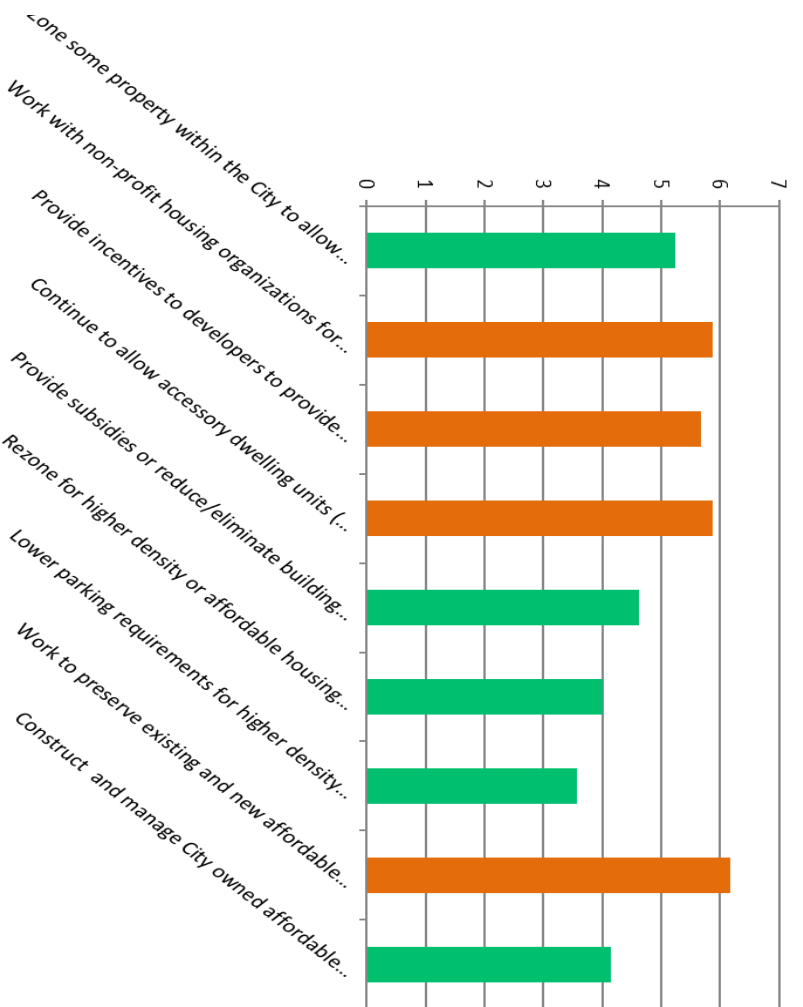
### Do you feel that there is adequate affordable/handicapped accessible housing in your area?



### Do you feel that there is adequate affordable/handicapped accessible housing in your area?

I dont know
No I have been searching for a place of my own but everything is out of my budget. I work for Zion but may need to move to st george to find any home for under \$1600 a month
The wait lists to get into any housing are outrageous, if there even open.
Not sure
Most of them are on a fixed income houses are to much to buy and housing wait list is to long not enough places for them to rent without a long wait list
A lot people including myself can't afford to pay the 2k a month rent as most are either newlyweds or college students who don't make enough
So what if there isn't we are the city for them.
Not sure what is available
Nothing affordable for families
I would guess no, but I have no idea
Not familiar with this
Don't know
They fill up too quickly.

State law requires the City to adopt an Affordable Housing Plan. Within this plan, the City is required to create policies to address affordable housing issues within the City. Please rank the following policies for those you think the City should priorit



- Zone some property within the City to allow construction of more affordable housing
- Work with non-profit housing organizations for the construction of new affordable housing
- Provide incentives to developers to provide housing units ensured to remain affordable
- Continue to allow accessory dwelling units (apartments on a single family lot, like a casita, basement apartment, mother-in-law suite, etc) to be allowed in single family zone.
- Provide subsidies or reduce/eliminate building permit/impact fees for affordable units
- Rezone for higher density or affordable housing development in mixed use areas (areas with commercial and residential)
- Lower parking requirements for higher density housing
- Work to preserve existing and new affordable housing
- Construct and manage City owned affordable housing projects

What is your biggest concern about housing within Hurricane City?
Open-Ended Response
Too expensive to buy and to rent
Would love to see opportunities for more affordable housing/rentals in the area so younger generations an service related jobs and employees can stay in the area.
The developing of the housing is so fast that the City Engineers do not have the appropriate amount of time or effort into the review of the plans.
Not enough affordable housing
That there will be no way any average family can afford a single family detached home or even a townhouse because of the people buying out houses for investment properties.
Cost is going to high
The allowed growth is outpacing infrastructure. The push for housing with very little commercial to support new homes and people in the area. The city needs to rethink strategy and create Hurricane into a boutique city. We do not need more homes or people. We need more jobs. We need more industry. We need to slow growth and allow home prices to skyrocket to keep Utah as Utah! Stop Californiacation of Hurricane!
Not enough rentals available and price too high for newly married couples
Public streets not improved by development and a lot of the roads need upgraded already.
Need smaller units that are affordable to young families, police, teachers, etc.
Mixing low income in with homes that people worked thier whole life to buy.
That housing prices and costs will outpace the wages of the working residents of Hurricane city. Those moving in from out of State will be the only ones able to afford the houses and that working resident will be forced to move to a less expensive area.
I am a single adult and I can't find an apartment to live in Hurricane that matches my budget. I am a teacher and want to live in the area.
There is a housing boom right now that is putting a huge demand on new houses but the people buying them are not living in them. They are closing and putting them for rent at outrageous prices. I fear the housing growth has been outpacing the growth of everything else. Soon this town will just be spots of housing developments with nothing but desert in between. Hurricane needs to prioritize building commercial areas to serve all the housing. At this rate even if affordable housing is created and managed, it will be in a good desert and be an unrealistic situation for someone in need. I expect better community planning to ensure that once homes are built they are filled with people that are going to stay, not rent out their homes to tourists or have to leave due to lack of proximity to other basic amenities or public transit.
It's not affordable for people my age due to unfair pay and landlords over charging. I am 21 and I make 30,000 a year and am engaged and we cannot afford anything here.
There is to much development happening. Farms are shutting down so subdivisions can be but on the land. Hurricane should focus on being little old hurricane.
Infrastructure, traffic, lack of grocery stores, shops, home depot, water, pollution etc
Devolopers don't care about the people of hurricane. One told me "we aren't building these homes for you guys" they are building them with California prices in mind to make a buck full on knowing we can't afford them here.
Losing the agricultural land. The price of houses being so high that middle class and young families cannot afford to buy. The city becoming a resort/unaffordable town like Springdale.

There is no regulation to what private companies can charge, apartment building especially. Everyone is being priced out
Need balance of residential and commercial. A lot of housing is going in but everyone has to commute to shop. Bringing in a balance would bring money to the city through sales tax. Concerned if infrastructure is being evaluated well for like water and roads. So many areas build first and do impact analysis after. Remember what citizens want too. Find balance. More parks and Rec. Indoor pool would be a nice add or a Rec center to have more for people to do.
Too expensive, not enough housing, pet friendly
Not enough affordable places to rent or buy
City officials and their families are making huge profits from unsustainable housing development. Hurricane is not a small town anywhere and our local government used their greed in gaining tax revenue that created the problems we face.
To many short term rentals and not enough affordable housing for the middle income
Traffic increases
Too expensive
People can't afford housing in the city because wages don't allow it. Kids have to live with parents cause can't find affordable housing when they want to be on own. Alot of people only see how much they can make on a dwelling which pushes the locals out.
I am very concerned with anything that will "bring the neighborhood down" (e.g., increased crime, graffiti, littering, traffic, noise pollution, etc.) We must battle to keep Hurricane as desirable (or actually more desirable!) than it already is. Thank you!
The low income options are too expensive for residents who are on fixed income like Social Security and disability.
It's too expensive for people afford especially those with pets and kids
Water is my biggest concern, next would be that we are allowing building at such a rapid pace that this town will lose it history and small town charm. The wrighting is all on the wall for our agricultural community, we will be just like Washington fields and Little Valley within the next 10-15 years. At the rate we are going this town won't be recognizable as the charming small town I have spent my entire life in. So sad to see happening.
The high growth rate for high income housing
Not enough long term rentals. Young people have no affordable place to rent (not just young people) but if we want to keep our families in the area, the corporations have to stop vacation rent along every property that comes up for sale. It's a sad sad thing for community.
The infrastructure is lacking. Quit building until we have the water and roads necessary to sustain growth.
Too expensive and lots are too small
Rent is ridiculous. Families are reduced to poverty because of costs.
Price
We will run out of water and end up a ghost town.
To expensive for children of current residents to stay
To many new homes and not enough water or roads
To much growth way to fast, everything is unaffordable. We're lucky to be able to pay rent now

<p>Their is new housing every where. Where are they getting their water. The problem is getting worse, less and less water. 7000 new units and where is the water coming from</p>
<p>Less farming, no WATER High traffic affordability</p>
<p>The growth is too rapid</p>
<p>There isn't enough in general. And what there is, is way out of affordability for what is being paid by most local businesses.</p>
<p>There is too many houses, too much growth, and it's all too expensive. Slow growth is understandable, but so very much in last few years</p>
<p>It will never be possible for my children, who are just becoming adults, to move out</p>
<p>There is no way that we could ever buy a home on the income that we have. Income has not increased to match the housing increase costs. If we didn't rent from my parents we couldn't afford ANY housing in So UT</p>
<p>Prices to high and crowding</p>
<p>Too many corporations buying up all the housing and then renting it out at a huge rate</p>
<p>Single mom with a decent full time job can not afford to rent or own without having roommates</p>
<p>Air B and B's are taking all the available housing. No sooner that a home becomes available for sale sure enough someone snags it for a B and B. We have people living in RV's hoping to find housing because the city doesn't have a plan for B and B's. St. George has designated areas for this. No one wants their neighborhood to become a hotel zone but that is exactly what is happening. No one in city seems to have a clue (city planner -manager need replaced?) Just another reason Hurricane is considered ghetto. Please allow a planned area for B and B's so that we can once again enjoy family neighborhoods and people can purchase these homes for their families.</p>
<p>Affordability</p>
<p>Too much</p>
<p>Prices are too high for locals to purchase.</p>
<p>Too many short term/vacation rentals</p>
<p>That the impact fees are not high enough to cover the cost of needed infrastructure.</p>
<p>The city's lack of concern for home owners. The city surrounds hard working home owners with pawn shops, dollar stores, rv camping sites, and the like with no border between them. An acceptable solid barrier is prison fencing with mesh that blows off within weeks. Hurricane will be north Las Vegas within 10 years.</p>
<p>Pricing Utah families out of the market. People moving in from California if they sold their home there can afford a home here.</p>
<p>Too many homes that are unaffordable</p>
<p>Water</p>
<p>Growth is happening too fast.</p>
<p>its too expensive for what is available and offered in the homes or apartments</p>
<p>No water</p>
<p>Finding a house for my family</p>
<p>Property Value is crazy High! out of control nothing good is going to happen from this I do not think there is an answer</p>

Prices ore out of control. It will crash
Growing too fast, ridiculous pricing, and limited resources that are not sustainable.
Too much random rezoning. Housing being built in the name of 'affordable housing' is too expensive for buyers.
Prices are outrageous
Nothing is adorable, yet the city is growing too fast.
Having enough affordable housing
The average educated worker in Hurricane will not be able to afford a decent home here. We will all get pushed out and then in turn have no work force. A starter home is not 500k.
Being a single mom, it is hard to find anything that is within a single income that I can even rent and keep my sons dog that helps with his night terrors
The working wages are to low and the housing costs are to high it's not sustainable something has to be done.
Costs not being affordable
Density
People finding affordable housing. Also I really am against all the Air B&Bs. Especially the illegal ones. Or turning the older part of Hurricane and the pioneer houses into them or making businesses out of them. It's not fair to people who have purchased a home in that area to have to put up with the noice and traffic.
Rising prices
To much new homes that locals can not afford
Too many people no homes for my children
Cost of living is up. Wages are low!
To much growth too fast. If we want families to live here we need to increase lot size. Kids need yards to play in, and room for gardens. Not everyone is retired and want these postage stamp sized lots.
Too fast of growth for water and too much traffic.
To much construction too fast
No pets
Very little affordable housing for young families
WATER IS A BIG CONCERN TO ME
Price of buying a house
Investors owning homes that would normally be locally owned or rented.
How do we do affordable housing without overcrowding the area?
growing way to fast.
It's way too expensive for my children to move out of my home.
Building to fast
Traffic congestion! We moved here from Sy George due to the city's own small town proclamation. Please don't succumb to developers desires and making this nice "smalltown" just like St George .
It is not affordable for the average citizen let alone low income
Lack of affordable housing

No vertical building. Height restrictions could be adjusted for some apartment buildings (like in downtown St. George). Singles or young couples or seniors would welcome affordable apartment living with amenities.
Affordability and allowing too much construction
Affordable housing is unaffordable and unavailable. I feel this has a lot to do with the current lack of needed revisions to vacation rental regulations. I feel all vacations should be required to be owner occupied, or be required to license, insure, and tax the same way a hotel/motel would.
The green space isn't being maintained.
Not enough affordable housing for families.
Lack if affordable housing
High growth and high costs. Not enough affordable housing for lower paying jobs through out the city. Public safety not funded for the growth that has already occurred.
Too expensive
The amount of people coming in is a bigger priority than the people already here.
Corporate developers buying up homes for rental properties
We do not have housing that people that we need in our community to make it run can afford. For example, we don't have housing for people who work as police officers, paramedics, firefighters, teachers, etc.
Too much growth the city and area is unprepared for. We can't expect St George to support our community's needs (stores and services) if we are expecting to double (triple?) in size. We also need to get on top of our infrastructure and traffic control. Update our utilities (the power company still has people going from house to house reading meters instead of having an automation system in place, that's insane with how big we are getting). We need to think ahead instead of reacting to all the building.
Cost and number of dwellings. There currently are not enough available dwellings for rent driving up the cost of what is available
Is there enough water?
Cost to buy or rent is to high for anybody to buy which is driving young locals to look elsewhere.
I am concerned there will never be anything affordable for the working class to live in. I am also concerned for individuals that work to have an expensive home in an expensive area, only to have their home values plummet because "affordable housing" brought crime and destruction to their neighborhoods.
We need more business infrastructure to handle the growth. More stores, restaurants, doctors, entertainment venues, a better pool, and schools
High impact fees and policies biased towards developers tend to price individuals out of the market for being able to acquire or build housing that they can afford.
Lack of affordable housing, an attitude of 'not in my backyard' by residents.
Too much, too fast. Anything done with haste is not well planned for or analyzed enough to predict impacts for long term.
Prices are too high. Too much growth for our infrastructure and resources like water.
Too High and pay doesn't justify for it
Everything is so expensive we can barley live. I live in the sand hallow trailer park. Lot rent has gone up almost 300.00. They have not done anything that we were told they were going to do. No park, big holes in the roads, most houses are fire hazards, us as renters pay property tax, so why are they



allowed to raise the lot rent so high. I could understand if they actually cared about making it nice. Would be nice for them to be made to follow through.

Becoming a low-income, crime-ridden area. Reducing land and scenery to just build. We are the pathway to Zion National Park and should have an area that reflects that. Hurricane has huge city limits and current single family home areas should remain zoned for that and not re-zoned to increase population. There are no jobs to maintain that growth and what about water? How can we continue to build when there is a severe water shortage throughout the State?

Too expensive and not enough long term rentals, especially that allow pets

Too much high density going up and in areas it shouldn't be

There need to be penalties for nightly rentals (where nightly rentals are not allowed). It's my opinion that vacation homes are affecting single family home pricing. My family of four is currently living in a 2 bedroom house because anything bigger is absolutely astronomically priced. I'd love to be in something bigger since since my husband works at home then he could have an office space. But I have no hope of that happening anytime soon. Buying a 4 bedroom house now would break us financially and my husband has an excellent paying job.

Too long-term rental properties currently being used as vacation rentals.

It's too expensive

What affordable housing? There is none! We are a family of 3 make decent money can't afford even an apartment! Thank goodness my parents have an apartment that we rent for cheap. But this is a complete joke!

New business incentives to increase the shopping core in our town; more large stores, more mid-range food options (not drive thrus).

Not enough affordable options. Too many vacation rentals.

not affordable for seniors/disabled that have only limited income

Availability and affordability

Too much traffic through town. New builds are not set back far enough to allow for parking that doesn't encroach onto the sidewalk and streets. Not enough parks in new neighborhoods to keep kids off the streets.

We need more freedom to do what we want with our homes...freedom works. Let it...stay out of the way and you will be surprised what can happen.

Unaffordable to work and live here, better wages and lower costs in other states and cities.

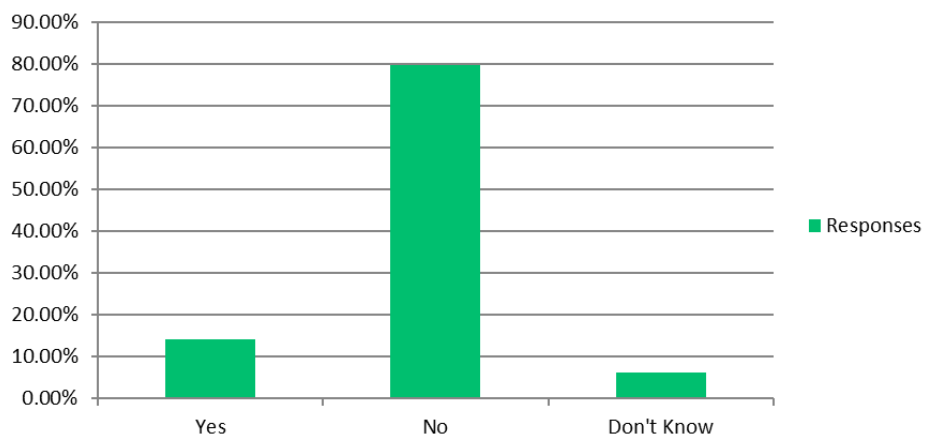
Affordable housing

We don't allow for higher density projects in town where people want to live to be close to the community center and other amenities.

600 North getting all the vacation rentals, affordable housing, etc it is a traffic mess! Terrible planning to put all on one street. Clear some of the old not desirable housing into affordable homes

Not enough affordable housing.

Would you be able to afford your current home if you had to move there today?



## Public Open House Results

# STEPS TO TAKE

## WHAT IS YOUR MAIN HOUSING CONCERN IN HURRICANE?

Lack of affordable housing <sup>yes</sup>

\* Residents need to cooperate in allowing affordable housing to be built near them.

City can contribute by having affordable friendly ordinances

Developers can contribute by helping to provide affordable options other than condo style units.

\* Lack of housing under \$1500/month  
Too many vacation homes / Air BNBs but  
no where for co-workers + self to live  
to support local jobs + industry. <sup>yes</sup>

- Update City ordinances... key.  
Make affordable housing a factor  
when city considers increased  
density and other accommodations  
requested by developers

I think the density is too  
grouped. I think it's healthier to  
distribute more affordable housing  
amongst SFs - ex duplexes  
& triplex next to or in SF neighborhoods.  
I just don't see that done and would like  
to. The density is just too dense.

We've become a resort town. /  
Cater more to the people who  
live and work here and not to the developers  
who don't invest in the city. <sup>yes!</sup>

Big Corporations buying everything

<sup>yes</sup>  
<sup>yes</sup> Lack of transportation

<sup>yes</sup>  
<sup>yes</sup> Hold Builders Responsible  
to their word of lowering  
prices if the city waves fees  
or allows more homes

<sup>yes</sup>  
<sup>yes</sup> Too many short term  
rentals & apparently  
little oversight  
& Restrict  
Air BNB's  
No Corporations  
Air BNB

# STEPS TO TAKE

## WHAT STEPS SHOULD HURRICANE TAKE TO ADDRESS AFFORDABLE HOUSING?

Pass affordable friendly ordinances and incentives.

When impact fees  
Impact fees so high no one  
can afford it anymore for  
affordable housing

Build more units that are  
affordable ✓

Allow much smaller  
lots like 20 lots/ac  
with very small impact  
fees ✓

Decrease lot size requirement  
LOT = 50% OF HOUSE SQ FT.  
AFFORDABLE ZONE ✓

BASE ZONING BY POPULATION INCOMES  
IF 50% OF POP NEEDS AFFORDABLE HOUSING  
THEN 50% OF ZONING SHOULD BE AVAILABLE FOR  
AFFORDABLE ✓

A new kind of zoning that mixes  
duplex, 4 plex that look like nice SFR's  
mixed in w/ single family ✓

yes → Invest in a  
public transit  
system to enable  
people to work  
in St George

\* More regulatory  
information of the BSB ✓  
Create more income based  
renting complexes.  
Make more high density  
zones for affordable  
apartments.

Be sure to invest in  
Families - i.e. financial  
management, care of the  
home, Education  
etc

# WHAT POLICIES WOULD YOU SUPPORT

## Work with non-profit housing organizations for the construction of new affordable units

32 Votes

This Means:

- Provide <sup>incentive?</sup> insensitive for Developers to work with non-profits
- Look at City property for development by non-profits

## Continue to allow accessory dwelling units (ADUs) (like a casita, basement apartment, etc) to be allowed in a single-family zone.

25 Votes

This Means.

- Continue to allow for attached and detached ADUs in single family zones
- Continue to not charged impact fees for ADUs



# WHAT POLICIES WOULD YOU SUPPORT

## Work to preserve existing and new affordable housing

21 Votes

This Means:

- Provide subsidies to affordable units
- Offer grant programs to help with upkeep of older units
- Improve infrastructure in old areas of town
- Start a good landlord program

## Construct and manage City/Non-Profit owned affordable housing projects

11 Votes

This Means

- The City uses its own property to build and maintain housing at affordable rates
- Partner with Non-profit for construction and maintenance of homes on City property

# WHAT POLICIES WOULD YOU SUPPORT

## Zone some property within the City to allow construction of more affordable housing

18 Votes

This Means:

- Increased densities in some areas
- Allow more housing options for redevelopment
- Allow accessory dwelling units in single family zones

## Provide incentives to developers to provide housing units required to remain affordable

20 Votes

This Means:

- Density bonus in developments for affordable units.
- Waive some development fees, including impact fees, application fees, building permit fees, etc

# WHAT POLICIES WOULD YOU SUPPORT

## Rezoning for higher density or affordable housing development in mixed-use areas (areas with commercial and residential)

21 Votes

This Means:

- Allow some new areas to develop commercial and housing on the same property
- Look at allowing mixed-use in downtown

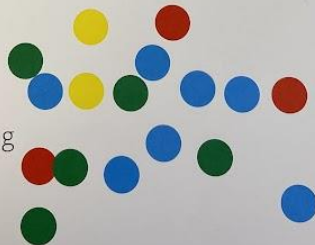


## Provide subsidies or reduce/eliminate building permit/impact fees for affordable units

16 Votes

This Means:

- Waive Impact Fees for units guaranteed to be affordable
- Providing discounts on building permits for affordable units





#### Sec. 10-14-4. Development standards.

Development standards within residential agriculture zones shall be as set forth in table 10-14-2 of this section.

TABLE 10-14-2  
DEVELOPMENT STANDARDS IN RESIDENTIAL AGRICULTURE ZONES

Development standard	Zones	
	RA-1	RA-.5
Lot standards:		
Average lot area <sup>1</sup>	1 acre <a href="#">(See Note 7)</a>	0.5 acre <a href="#">(See Note 7)</a>
Minimum lot area <sup>2</sup>	0.8 acre <a href="#">(See Note 7)</a>	0.4 acre <a href="#">(See Note 7)</a>
Minimum lot width	100 feet <a href="#">(See Note 7)</a>	100 feet <a href="#">(See Note 7)</a>
Building standards:		
Maximum height, main building <sup>3</sup>	35 feet	35 feet
Maximum height, accessory building	20 feet	20 feet
Maximum size, accessory building <sup>4</sup>	2,000 square feet	2,000 square feet
Building coverage	50% of lot (see subsection 10-37-12I of this title)	
Distance between buildings	No requirement	No requirement
Setback standards front yard:		
Any building <sup>5</sup>	25 feet	25 feet
Setback standards rear yard:		
Main building	30 feet	30 feet
Accessory building, including private garage	If located 10 feet from main building: 2 feet. If not, same as main building.	
Setback standards interior side yard:		
Main building	10 feet one side and 20 feet other side	10 feet
Accessory building	If located 10 feet from main building: 2 feet. If not, same as main building.	
Setback standards street side yard:		
Main building	20 feet	20 feet
Accessory building	If located 10 feet from main building: 10 feet. If not, same as main building. No accessory building shall be built within a public utility easement.	
Pool location and setbacks <sup>6</sup>	3 feet	3 feet

#### Notes

1. "Average size" means the total acreage devoted to lots divided by the number of lots. Net density definition shall apply.
2. The indicated number is 80 percent of average lot area requirement.
3. Except as otherwise permitted by subsection 10-14-7C of this chapter.
4. Except as otherwise permitted by subsection 10-14-7B of this chapter.
5. Except as modified by the provisions of subsection 10-37-12F, setback measurement, of this title.

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6. Pools must be located behind front yard setbacks. Setback is measured from rear and side property lines. Pools may require special engineering. A closer property line setback may be approved by the Building Official if engineering ensures structural integrity for any adjoining buildings or walls as well as the pool.
  7. Subdivisions containing three lots or less may be approved with smaller lot sizes and smaller frontages than required with the following conditions
    - a. There are required Master Plan Roadway Dedication as part of the development
    - b. The number of units shall not exceed the overall gross density of the underlying zoning for the size of the parcel
    - c. RA-1 minimum lot size shall be .6 acres.
    - d. RA-0.5 minimum lot size shall be .35 acres
    - e. All other applicable zoning standards shall still apply.
    - f. The minimum frontage shall be no smaller than 80'

Sec. 10-7-9. Conditional use permit.

A. *Purpose.* This section sets forth procedures for considering and approving conditional use permits.

B. *Authority.*

1. The Planning Commission is authorized to issue conditional use permits for the following uses:

Agricultural industry.

Agritourism activities.

Animal specialties.

Assisted living facility.

Greater heights than permitted by this Code in all zones except residential and residential agricultural zones.

Greater size than permitted by this Code in all zones except residential and residential agricultural zones.

Metal building in commercial and residential zones.

Multi family in commercial zones.

Public stable.

Reception center.

Recreation and entertainment, outdoor.

2. The Zoning Administrator is authorized to issue conditional use permits for the following uses:

Animals and fowl for recreation and family food production.

Greater size accessory buildings than permitted by this Code in residential zones.

Greater size accessory buildings than permitted by this Code in residential and residential agricultural zones.

Greater height accessory buildings than permitted by this Code in residential and residential agricultural zones.

C. *Initiation.* A property owner, or the owner's agent, may request a conditional use permit as provided in subsection D1 of this section.

D. *Procedure.* An application for a conditional use permit shall be considered and processed as provided in this subsection.

1. A complete application shall be submitted to the office of the Zoning Administrator in a form established by the administrator along with any fee established by the City's schedule of fees. The application shall include at least the following information:

- a. The name, address and telephone number of the applicant and the applicant's agent, if any;
- b. The address and parcel identification of the subject property;
- c. The zone, zone boundaries and present use of the subject property;
- d. A description of the proposed conditional use;
- e. A plot plan showing the following:
  - (1) Applicant's name;
  - (2) Site address;
  - (3) Property boundaries and dimensions;
  - (4) Layout of existing and proposed buildings, parking, landscaping, and utilities; and
  - (5) Adjoining property lines and uses within 100 feet of the subject property;
- f. Traffic impact analysis, if required by the City Engineer or the Planning Commission;
- g. A statement by the applicant demonstrating how the conditional use permit request meets the approval standards for the conditional use desired; and
- h. Such other and further information or documentation as the Zoning Administrator may deem necessary for proper consideration and disposition of a particular application.

2. After the application is determined to be complete, the Zoning Administrator shall schedule a public meeting before the Planning Commission as provided in section 10-7-4 of this chapter or shall review the application to determine if it meets the standards for an administrative conditional use permit.

3. A staff report evaluating the application shall be prepared by the Zoning Administrator for a conditional use permit that will be reviewed by the Planning Commission.

4. The Planning Commission shall hold a public meeting and shall thereafter approve, approve with conditions, or deny the application pursuant to the standards set forth in subsection E of this section. A conditional use shall be approved if reasonable conditions are proposed or can be imposed to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with the applicable standards, the conditional use may be denied.

5. After the Planning Commission or Zoning Administrator makes a decision, the Zoning Administrator shall give the applicant written notice of the decision.

6. A record of all conditional use permits shall be maintained in the office of the Zoning Administrator.

E. *Approval standards.* The following standards shall apply to the issuance of a conditional use permit:

1. A conditional use permit may be issued only when the proposed use is shown as conditional in the zone where the conditional use will be located, or by another provision of this title.

2. Standards for each use must be reviewed. Specific standards are set forth for each use in subsections E2a through E2g of this section:

a. *Standards for a reception center.*

(1) Hours of operation must be compatible with adjoining uses and comply with City noise regulations.

(2) Parking must be provided.

(3) The use of on street parking to provide up to 40 percent of the required parking may be permitted if adjoining uses are not residential uses and the street is fully improved.

(4) The center must have an approved site plan.

(5) If beer, wine, or other alcoholic beverages are served, the center must be licensed by the state alcohol control board.

(6) In an agricultural or residential-agriculture zone, the center must be setback 200 feet from unrelated structures such as homes on other properties

Sec. 10-12-3. Uses allowed.

A. *Permitted and conditional uses.* Permitted and conditional uses allowed within agricultural zones shall be as set forth in table 10-12-1 of this section. Permitted and conditional uses are indicated by a "P" or "C," respectively, in the appropriate column. Uses not permitted are indicated by "N." Any use not shown on table 10-12-1 of this section shall be prohibited unless the Zoning Administrator determines the use is substantially the same as a permitted or conditional use as provided in subsection 10-7-18E4 of this title.

TABLE 10-12-1

PERMITTED AND CONDITIONAL USES ALLOWED IN AGRICULTURAL ZONES

Use	Zones				
	A-40	A-20	A-10	A-5	A-1
Agricultural uses:					
Accessory building	P	P	P	P	P
Agricultural business	P	P	P	P	P
Agricultural industry	P	P	P	P	C
Agriculture	P	P	P	P	P
Agritourism	P	P	P	P	C
Animal specialties	P	P	P	P	C
Animals and fowl for recreation and family food production	P	P	P	P	P
Stable, private	P	P	P	P	P
Residential uses:					
Assisted living facility	P	P	P	P	N

Building, accessory	P	P	P	P	P
Dwelling, earth sheltered	P	P	P	P	P
Dwelling, single-family	P	P	P	P	P
Dwelling, single-family with single accessory dwelling unit	P	P	P	P	P
Dwelling, temporary	P	P	P	P	P
Guesthouse for family members and non-paying guests	P	P	P	P	P
Home base business	P	P	P	P	P
Manufactured home	P	P	P	P	P
Residential facility for elderly persons <sup>1</sup>	P	P	P	P	N
Residential facility for persons with a disability <sup>1</sup>	P	P	P	P	P
Residential facility for troubled youth	N	N	N	N	N
Short term rental	N	N	N	N	P
Public and civic uses:					
Auditorium or stadium	N	N	N	N	N
Cemetery	P	P	P	P	P
Church or place of worship	P	P	P	P	P
Club or service organization	P	P	P	P	P

Convalescent care facility	N	N	N	N	N
Cultural service	P	P	P	P	P
Golf course	N	N	N	N	N
Hospital	N	N	N	N	N
Park	P	P	P	P	P
Protective service	P	P	P	P	P
Reception center	<u>CN</u>	<u>CN</u>	<u>CN</u>	<u>CN</u>	<u>CN</u>
Stable, public	P	P	P	P	C
Utility, minor	P	P	P	P	P
Utility substation	P	P	P	P	P
Commercial uses:					
Agricultural sales and service	P	P	C	C	N
Agritourism activities	P	P	P	P	C
Animal hospital	P	P	P	P	P
Bed and breakfast, home	P	P	P	P	P
Garden center	P	P	P	P	P
Kennel, residential	P	P	P	P	P
Licensed family child care <sup>2</sup>	P	P	P	P	P



Media service	N	N	N	N	N
Personal care service, home based <sup>2</sup>	P	P	P	P	P
Personal instruction service, home based <sup>2</sup>	P	P	P	P	P
Produce stand	P	P	P	P	P
Recreation and entertainment, outdoor	C	C	C	C	N
Residential certificate child care facility <sup>2</sup>	P	P	P	P	N
Vehicle repair, limited	N	N	N	N	N
Veterinary service	P	P	P	P	P
Wireless telecommunication facility	See section 10-50-5, table 10-50-1 of this title				

## Notes

1. See chapter 46 of this title.

2. See chapter 42 of this title.

B. *Accessory uses.* Permitted and conditional uses set forth in table 10-12-1 of this section shall be deemed to include accessory uses and activities that are necessarily and customarily associated with and incidental and subordinate to such uses.

1. Accessory uses shall be subject to the same regulations that apply to permitted and conditional uses in the same zone except as otherwise expressly provided in this title.

2. No accessory use, building, or structure shall be allowed on a lot unless a permitted or conditional use has been established.

3. Accessory uses in agricultural zones shall include, but are not limited to, the following:

Garage sales, subject to applicable standards of chapter 48, temporary uses, of this title.

Garages, carports, and off street parking areas, subject to applicable standards of chapter 34, off street parking and loading, of this title.

Hobby activities when conducted by an occupant of the premises solely for personal enjoyment, amusement, or recreation and which does not conflict with any applicable provision of this Code.

Home based businesses, subject to applicable standards of chapter 42, home based businesses, of this title.

Household pets.

Keeping of machinery, livestock, and farming equipment as needed for agricultural use.

Nurseries and greenhouses.

Playhouses, patios, porches, gazebos, and incidental storage buildings.

Produce stands.

Swimming pools and hot tubs for use by residents and their guests.

Temporary real estate offices, subject to applicable standards of chapter 48, temporary uses, of this title.

#### Sec. 10-14-3. Uses allowed.

A. *Permitted and conditional uses.* Permitted and conditional uses allowed within residential agriculture zones shall be as set forth in table 10-14-1 of this section. Permitted and conditional uses are indicated by a "P" or "C," respectively, in the appropriate column. Uses not permitted are indicated by "N." Any use not shown on table 10-14-1 of this section shall be prohibited unless the Zoning Administrator determines the use is substantially the same as a permitted or conditional use as provided in subsection 10-7-18E4 of this title.

TABLE 10-14-1

#### PERMITTED AND CONDITIONAL USES ALLOWED IN

#### RESIDENTIAL AGRICULTURE ZONES

Use	Zones	
	RA-1	RA-.5

Agricultural uses:		
Agricultural business	P	N
Agricultural industry	N	N
Agriculture	P	P
Animal specialties	P	P
Animals and fowl for recreation and family food production	P	P <sup>3</sup>
Stable, private	P	P
Residential uses:		
Assisted living facility	P	P
Boarding house	N	N
Building, accessory	P	P
Dwelling, earth sheltered	P	P
Dwelling, multiple-family	N	N
Dwelling, single-family	P	P
Dwelling, single-family with single accessory dwelling unit	P	P
Dwelling, temporary	P	P
Dwelling, two-family	N	N
Guesthouse	P	P

Manufactured home	P	P
Manufactured/mobile home park	N	N
Manufactured/mobile home subdivision	N	N
Protective housing facility	P	P
Residential facility for elderly persons <sup>1</sup>	P	P
Residential facility for persons with a disability <sup>1</sup>	P	P
Residential facility for troubled youth	C	C
Short term rental <sup>4</sup>	P	P
Public and civic uses:		
Auditorium or stadium	N	N
Cemetery	P	P
Church or place of worship	P	P
Club or service organization	N	N
Convalescent care facility	N	N
Cultural service	P	P
Golf course	P	P
Hospital	N	N
Park	P	P

Protective service	P	P
Reception center	<u>CN</u>	<u>CN</u>
Stable, public	P	N
Utility, minor	P	P
Utility substation	P	P
Commercial uses:		
Agricultural sales and service	N	N
Animal hospital	P	P
Bed and breakfast, home	P	P
Bed and breakfast inn	N	N
Garden center	N	N
Kennel, residential	P	P
Licensed family child care <sup>2</sup>	P	P
Media service	N	N
Personal care service, home based <sup>2</sup>	P	P
Personal instruction service, home based <sup>2</sup>	P	P
Produce stand	P	P
Recreational vehicle park	N	N

Residential certificate child care facility <sup>2</sup>	P	P
Residential hosting facility	P	P
Temporary trailer	P	P
Veterinary service	N	N
Warehouse, self-service storage	N	N
Wireless telecommunication facility	See section 10-50-5, table 10-50-1 of this title	

## Notes

1. See chapter 46 of this title.
2. See chapter 42 of this title.
3. See section 10-37-15 of this title for permitted animals and fowl.
4. See licensing and operations requirements in title 3 of this Code.

**B. Accessory uses.** Permitted and conditional uses set forth in table 10-14-1 of this section shall be deemed to include accessory uses and activities that are necessarily and customarily associated with and incidental and subordinate to such uses.

1. Accessory uses shall be subject to the same regulations that apply to permitted and conditional uses in the same zone except as otherwise expressly provided in this title.
2. No accessory use, building, or structure shall be allowed on a lot unless a permitted or conditional use has been established.
3. Accessory uses in residential agriculture zones shall include, but not be limited to, the following:

Garage sales, subject to applicable standards of chapter 48, temporary uses, of this title.

Garages and off street parking areas, subject to applicable standards of chapter 34, off street parking and loading, of this title.

Hobby activities when conducted by an occupant of the premises solely for personal enjoyment, amusement, or recreation and which does not conflict with any other City ordinance.

Home based businesses, subject to applicable standards of chapter 42, home based businesses, of this title.

Household pets.

Nurseries and greenhouses.

Playhouses, patios, porches, gazebos, and incidental storage buildings.

Swimming pools and hot tubs for use by residents and their guests.

## CHAPTER 21. AGRICULTURE PROTECTION OVERLAY ZONE

### Sec. 10-21-1. Purpose; established.

- A. To protect and preserve the existing agricultural areas within the City from the encroachment of development, and to allow the ongoing agricultural operations to proceed without unreasonable restriction unless there is a direct relationship to public health or safety.
- B. An agriculture protection overlay zone is established which shall be an overlay zone of the zoning classification in this title.

### Sec. 10-21-2. Definitions.

For the purpose of this chapter, the following terms shall have the meanings set forth below and shall apply in addition to the terms defined in chapter 3 of this title:

*Advisory Board* means the agriculture protection area advisory board of Washington County.

*Agriculture production* means production for commercial purposes of crops, livestock, and livestock products, including processing or retail marketing of any crops, livestock and livestock products when more than 50 percent of the processed or merchandised products are produced by the farm operator.

*Agriculture protection areas or overlay zone* means a geographic area created under the authority of this chapter that is granted the specific legal protections contained in this chapter.

*Crops, livestock and livestock products* means:

- A. Land devoted to the raising of useful plants and animals with a reasonable expectation of profit, including forages and sod crops; grains and feed crops; livestock; trees and fruits; or vegetables, nursery, floral and ornamental stock; or
- B. Land devoted to and meeting the requirements and qualifications for payments or other compensation under a crop-land retirement program with an agency of the state or federal government.

*Political subdivision* means a City, school district or special district.

*Proposed sponsors* means the owners of land in agricultural production who are sponsoring the proposal for creating an agricultural protection area.

*State agency* means each department, commission, board, council, agency, institution, officer, corporation, fund, division, office, committee, authority, laboratory, library, unit, bureau, panel or other administrative unit of the state.

### Sec. 10-21-3. Proposal for creation of agricultural protection area.

- A. *Filing.* Any owner of land in agricultural production may file a proposal for creation of an agricultural protection area with the Planning Commission.
- B. *Content.* The proposal shall identify:
  - 1. The land in agricultural production that the proposal sponsors wish to become part of an agriculture protection area;
  - 2. Any limits on the types of agriculture production to be allowed within the agriculture protection area; and



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3. For each parcel of land:
- The owners of the land contained within the parcel;
  - The tax parcel number or account number of each parcel; and
  - The number or account number of acres as listed on the parcel tax records.
- C. *Documents required.* The proposal shall include:
1. A plat from the county recorder's office showing each parcel of land with each outlined in color to identify proposed area.
  2. Application fee as outlined on the City fee schedule, available from the City Recorder/Clerk.
  - D. Minimum acreage. A minimum area of five contiguous acres shall be included in an agriculture protection area. The City Council may approve smaller areas under the following conditions
    1. At least a single contiguous area is a minimum of five acres
    2. The parcel or area that is not contiguous supports the agriculturalagriculture use for the larger area.
    3. The noncontiguous areaisolated-area is a minimum of .5 acres
    4. The noncontiguous areaisolated-area shall be within one mile of the larger area.

Commented [1]: Look at limiting the amount of areas that could be under 5 acre.

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#### Sec. 10-21-4. Planning commission review of proposal.

- A. *Required.* After 15 days from the date of the notice, the Planning Commission shall refer the proposal and any proposed modifications and objections to the proposal to the Advisory Board for their review, comments and recommendations.
- B. *Report; recommendation.*
  1. Within 45 days after receipt of the proposal, the Planning Commission shall submit a report to the City Council that:
    - a. Identifies the effect of the creation of the proposed area on the City's planning policies and objectives;
    - b. Analyzes and evaluates the proposal by applying the criteria contained in section 10-21-6 of this chapter;
    - c. Recommends any modifications to the proposal;
    - d. Recommends any limits on the types of agriculture production to be allowed in the agriculture protection area;
    - e. Analyzes and evaluates any objections to the proposal; and
    - f. Includes a recommendation to the City Council to either accept, accept and modify, or reject the proposal.
  2. Within 45 days after receipt of the proposal, the Advisory Board shall submit a report to the City Council that:
    - a. Recommends any modifications to the proposal;
    - b. Recommends any limits on the types of agriculture production to be allowed in the agriculture protection area;
    - c. Analyzes and evaluates the proposal by applying the criteria contained in section 10-21-6 of this chapter;

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- d. Analyzes and evaluates any objections to the proposal; and
  - e. Includes a recommendation to the City Council to either accept, accept and modify, or reject the proposal.
  - C. *Failure to submit report.* If the Planning Commission or the Advisory Board fail to submit a report within 45 days, the City Council shall consider their failure to report as an approval of the proposal.

**Sec. 10-21-5. City Council review and action.**

- A. *Procedure.* City Council review and procedures are the same as for a zone change as set forth in section 10-7-7 of this title.
- B. *Filing executed documents.* In order to give constructive notice of the existence of an agriculture protection area to all persons who have, may acquire or may seek to acquire an interest in land in or adjacent to an agriculture protection area, within ten days of the creation of an agriculture protection area, the City Council shall file an executed document containing a legal description of the agriculture protection area with the county recorder of deeds and the Planning Commission.
- C. *Written notice.* Within ten days of the recording of an agriculture protection area, the City Council shall send written notification to the [state] commissioner of agriculture that the agriculture protection area has been created. The following shall be included in the notification:
  - 1. The number of landowners owning land within the agriculture protection area;
  - 2. The total acreage of the area;
  - 3. The date of approval of the area; and
  - 4. The date of recording.

**Sec. 10-21-6. Criteria in evaluating proposals.**

In evaluating a proposal and in determining whether or not to create or recommend the creation of an agriculture protection area, the Advisory Board, Planning Commission and City Council shall apply the following criteria:

- A. *Use of land.* Whether or not the land is currently being used for agriculture production;
- B. *Zoning.* Whether or not the land is zoned for agricultural use;
- C. *Viability.* Whether or not the land is viable for agricultural production;
- D. *Improvements.* The extent and nature of existing or proposed farm improvements; and
- E. *Trends anticipated.* Anticipated trends in agricultural and technological conditions.

**Sec. 10-21-7. Adding, removing land from area.**

- A. *Adding.*
  - 1. Any owner may add land to an existing agriculture protection area by:
    - a. Filing a proposal with the City Council; and
    - b. Obtaining approval of the City Council for the addition of the land to the area.
  - 2. The City Council shall comply with the provisions for creating an agriculture protection area in determining whether or not to accept the proposal.
- B. *Removal.*

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1. Any owner may remove land from an agriculture protection area by filing a petition for removal of the land from the agriculture protection area with the City Council;
  2. The City Council shall:
    - a. Grant the petition for removal of land from an agriculture protection area even if removal of the land would result in an agriculture protection area of less than the number of acres established by this chapter as the minimum; and
    - b. In order to give constructive notice of the removal to all persons who have, may acquire or may seek to acquire an interest in land in or adjacent to the agriculture protection area and the land removed from the agriculture protection area, file a legal description of the revised agriculture protection area with the county recorder of deeds and the Planning Commission.
    - c. The remaining land in the agriculture protection area is still an agriculture protection area.

#### **Sec. 10-21-8. Review of areas.**

- A. *Required.* The City Council shall review any agriculture protection area created under the authority of this chapter in the twentieth calendar year after it is created.
- B. *Action.*
  1. In the twentieth year, the City Council shall:
    - a. Request the Planning Commission and Advisory Board to submit recommendations about whether the agriculture protection area should be continued, modified or terminated;
    - b. At least 120 days before the end of the calendar year, hold a public hearing to discuss whether the agriculture protection area should be continued, modified or terminated;
    - c. Give notice of the hearing using the same procedures required by subsection 10-21-5B of this chapter; and
    - d. After the public hearing, continue, modify or terminate the agriculture protection area.
  2. If the City Council modifies or terminates the agriculture protection area, it shall file an executed document containing the legal description of the agriculture protection area with the county recorder of deeds.
- C. *Failure to act.* If the City Council fails to affirmatively continue, modify or terminate the agriculture protection area in the twentieth calendar year, the agriculture protection area is considered to be reauthorized for another 20 years.

#### **Sec. 10-21-9. Protection of land.**

- A. *Property taxes.* Any land placed in an agriculture protection area shall be subject to the provisions of Utah Code Annotated title 59, chapter 2, part 5, Farmland Assessment Act.
- B. *Limitations on local regulations.*
  1. It shall be the policy of the City to encourage the continuity, development and viability of agriculture within the area by not enacting local laws, ordinances or regulations that would unreasonably restrict farm structures or farm practices within the area unless those laws, ordinances or regulations bear a direct relationship to public health or safety.
  2. The City Council may not change the zoning designation of land within an agriculture protection area unless it receives written approval for the change from all the landowners within the agriculture protection area.

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C. *Nuisances.*

1. To the extent deemed necessary or desirable, the City Council shall ensure that any of its laws or ordinances that define or prohibit a public nuisance exclude from the definition or prohibition any agricultural activity or operation within an agriculture protection area conducted using normal farming methods unless that activity or operation bears a direct relationship to public health or safety.
2. In a civil action for nuisance involving agriculture activities, it is a complete defense if:
  - a. The agriculture activities were conducted within an agriculture protection area; and
  - b. The agriculture activities were not in violation of any federal, state or local law or regulation relating to the alleged nuisance, and were conducted according to sound agricultural practices.
3. For each new subdivision development located in whole or in part within 300 feet of the boundary of an agriculture protection area, the owner of the development shall provide notice on any plat filed with the county recorder the following notice:

*Agriculture protection area*

*This property is located in the vicinity of an established agriculture protection area in which normal agricultural uses and activities have been afforded the highest priority use status. It can be anticipated that such agricultural uses and activities may now or in the future be conducted on property included in the agriculture protection area. The use and enjoyment of this property is expressly conditioned on acceptance of annoyance or inconvenience which may result from such normal agricultural uses and activities.*

D. *Eminent domain restrictions.*

1. *Approval required.* A political subdivision having or exercising eminent domain powers may not condemn for any purpose any land within an agriculture protection area that is being used for agriculture production unless it has obtained approval of the City Council and the Advisory Board according to the procedures and requirements of this section.
2. *Notice.* Any condemner wishing to condemn property within an agriculture protection area shall file a notice of condemnation with the City Council and the agriculture protection area's Advisory Board at least 30 days before filing an eminent domain complaint.
3. *Actions required of council and board.* The City Council and the Advisory Board shall:
  - a. Hold a joint public hearing on the proposed condemnation;
  - b. Publish notice of the time, date, place and purpose of the public hearing in a newspaper of general circulation within the City; and
  - c. Post notice of the time, date, place and purpose of the public hearing in three conspicuous public places within the City.
4. *Approval conditions.*
  - a. If the condemnation is for highway purposes or for the disposal of solid or liquid waste materials, the City Council and the Advisory Board may approve the condemnation only if there is no reasonable and prudent alternative to the use of the land within the agriculture protection area for the project.
  - b. If the condemnation is for any other purpose, the City Council and the Advisory Board may approve the condemnation only if:
    - (1) The proposed condemnation would not have an unreasonably adverse effect upon the preservation and enhancement of agriculture within the agriculture protection area; or

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- (2) There is no reasonable and prudent alternative to the use of the land within the agriculture protection area for the project.
5. *Decision; failure to act.*
- a. Within 60 days of receipt of the notice of condemnation, the City Council and the Advisory Board shall approve or reject the proposed condemnation.
- b. If the City Council and the Advisory Board fail to act within the 60 days, the condemnation shall be considered approved.
6. *Violations prohibited; action to enjoin.* The City Council or the Advisory Board may request the City Attorney to bring an action to enjoin any condemner from violating any provisions of this subsection.
- E. *Restrictions on state development projects.*
1. Each state agency that plans any development project that might affect land within an agriculture protection area shall submit its development plan to the state commissioner of agriculture and the agriculture protection area's Advisory Board for their review.
2. The state commissioner of agriculture and the agriculture protection area's Advisory Board shall:
- a. Review the state agency's proposed development plan; and
- b. Recommend any modifications to the development project that would protect the integrity of the agriculture protection area or that would protect the agriculture protection area from nonfarm encroachment.

### Sec. 9-1-3. Issuance of building permits.

- A. The City acknowledges the existence of areas within the City that are characterized by the presence of subsurface water, groundwater, unstable soils and other geological hazards which carry an increased risk of damage to, diminution in value of, and the likelihood of additional costs and expenses for maintenance, repair and replacement of homes, structures or other improvements constructed or maintained in these areas.
- B. As a general policy, therefore, the City discourages residential and commercial development in these areas; however, the City also recognizes the right of private property owners to utilize their property at their own risk for any purpose not prohibited by law. The City recognizes that these geological hazards are often not readily apparent and sometimes are not identified until after construction of improvements are underway or complete.
- C. In order to minimize or avoid these increased risks and/or additional costs, ~~the City strongly encourages all each~~ property owners, as a condition of obtaining a building permit, shall ~~who seek or obtain a building permit for property in these areas to:~~ 1) obtain a geotechnical report from a qualified engineer; and 2) agree to strictly follow all recommendations contained therein.
- D. The issuance of a building permit by the City is not, and should not in any way be interpreted or construed as, a guarantee: 1) as to the reliability or soundness of any geotechnical report obtained by the owner; or 2) that any home, structure or other improvement constructed on the property in accordance with any such geotechnical report will be free from damages, diminution in value, and/or increased costs and expenses for maintenance, repair and replacement because of subsurface water, groundwater, unstable soils or other geological hazards.
- ~~E. The owner of any home, structure or other improvement constructed or maintained on property in any area characterized by the presence of subsurface water, groundwater, unstable soil or any other geological hazard, shall be responsible and liable for mitigation of any damage to, diminution in value of, and payment of any costs and expenses for maintenance, repair or replacement of such home, structure or other improvement.~~
- ~~FE.~~ The City shall not be responsible or liable for mitigation of any damage to, diminution in value of, and payment of any costs and expenses for maintenance, repair or replacement of any home, structure or other improvement constructed or maintained on property ~~in any area characterized by resulting from~~ the presence of subsurface water, groundwater, unstable soil, or any other geological hazard.
- ~~GF.~~ In consideration of the issuance by the City of a building permit ~~for property in any area characterized by the presence of subsurface water, groundwater, unstable soils or other geological hazards,~~ the owner shall be required to sign an acknowledgment, waiver, and release in substantially ~~the form attached as exhibit A to the ordinance codified herein and incorporated herein by this reference.~~ the following form:

When Recorded Return to:  
Hurricane City  
147 N. 870 West  
Hurricane, UT 84737

Parcel ID#: H-

Legal Description: \_\_\_\_\_

### Acknowledgement, Waiver, and Release

In consideration of the agreement by Hurricane City to issue the undersigned property owner a building permit for the construction of a home, structure or other improvement upon the real property described below, the undersigned acknowledges, covenants and agrees as follows:

1. I am aware that subsurface water, high groundwater, unstable soil conditions, or other geological hazards have been found to exist in areas of Hurricane City, which may include the property described below.
2. I acknowledge that I have obtained ~~or have been advised by Hurricane City to obtain~~ from a competent engineer a geotechnical report which analyzes subsurface water, groundwater, and soil conditions on my property described below.
3. I acknowledge that it is my responsibility to cause the construction of my structure to be completed in strict compliance with the recommendations of any such geotechnical report, I agree to strictly comply with the recommendations of such geotechnical report, and I understand and agree that the inspections performed by Hurricane City will not include inspection for compliance with ~~said such~~ geotechnical report.
- ~~4. I understand and assume all risk and responsibility for any damages to, diminution in value of, or payment of all costs and expenses for maintenance, repair or replacement of any home, structure or other improvement constructed on the property.~~
- 5.4. In view of the foregoing, I agree on behalf of myself, my heirs, successors, and assigns to waive any and all claims as against Hurricane City, and, further, do hereby release Hurricane City from any and all liability for damages to, diminution in value of, and payment of all costs and expenses for maintenance, repair or replacement of any home, structure or improvement which is in any way attributable ~~or related~~ to subsurface water, groundwater, unstable soil conditions and/or any other geological hazards upon or under the property described below, or by reason of my own or my agent's or contractor's violation of any applicable laws, ordinances, or City standards.

The covenants and agreements herein made shall run with the land and shall be binding upon the heirs, successors, and assigns of the undersigned.

THE REAL PROPERTY AFFECTED BY THIS AGREEMENT IS DESCRIBED AS:

Address: \_\_\_\_\_

Subdivision: \_\_\_\_\_ Phase: \_\_\_\_\_ Lot: \_\_\_\_\_

DATE: \_\_\_\_\_

\_\_\_\_\_

Property Owner Signature

Property Owner Name (printed)

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Property Owner Name (printed)

**(Owner Notary)**

STATE OF UTAH )

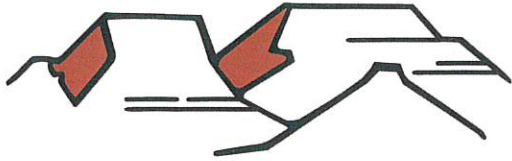
: ss.

COUNTY OF WASHINGTON)

On the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared before me \_\_\_\_\_, the signer(s) of the foregoing instrument, who did say that he/she/they is/are the owner(s) of the above-described property and that he/she/they has/have signed the foregoing instrument for the reasons stated therein.

\_\_\_\_\_  
Notary Public





PLANNING & ZONING  
**HURRICANE CITY**  
**UTAH**

147 N 870 W Hurricane UT  
PHONE: 435.635.2811 FAX: 435.635.2184

## PRELIMINARY PLAT APPLICATION

For office use only: \$150.00 Fee

File No. 2022-48-10

Receipt No. 0.158433

Name: BRAD TITTLE, NORTHERN ENGINEERING Telephone: 801-802-8992

Address: 1040 E 800 N, OREM, UTAH 84097 Fax No. 801-802-8993

Email: btuttle@neicrta.com Agent Email: \_\_\_\_\_

Agent (If Applicable): same as above Telephone: \_\_\_\_\_

Address/Location of Subject Property: 2100 WEST 4000 SOUTH, HURRICANE

Tax ID of Subject Property: H-3400-R; H-3400-S, H-3400-T Zone District: R1-6

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) CORDEO PHASE THREE

PRELIMINARY PLAT CONTAINS 214 LOTS ON 52.82 ACRES FOR DENSITY OF 4.05 LOTS/ACRE  
SEE ATTACHED SUMMARY LETTER

Submittal Requirements: The preliminary plat application shall provide the following:

- \_\_\_ 1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:
  - \_\_\_ a. The proposed name of the subdivision.
  - \_\_\_ b. The location of the subdivision, including the address and section, township and range.
  - \_\_\_ c. The names and addresses of the owner or subdivider, if other than the owner.
  - \_\_\_ d. Date of preparation, and north point.
  - \_\_\_ e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.
- \_\_\_ 2. Existing Conditions: The preliminary plat shall show:
  - \_\_\_ a. The location of the nearest monument.
  - \_\_\_ b. The boundary of the proposed subdivision and the acreage included.
  - \_\_\_ c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
  - \_\_\_ d. The location, width, and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
  - \_\_\_ e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
  - \_\_\_ f. Existing sewers, water mains, culverts, or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.
  - \_\_\_ g. Existing Hurricane Canal Company facilities; other ditches, canals, natural drainage channels and open waterways and any proposed realignments.

<b>Agenda Date:</b>	07/14/2022
<b>Application Number:</b>	2022-PP-16
<b>Type of Application:</b>	Preliminary Plat Application
<b>Action Type:</b>	Administrative
<b>Applicant:</b>	Brant Tuttle, Northern Engineering
<b>Agent:</b>	
<b>Request:</b>	Approval of a Preliminary Plat
<b>Location:</b>	2100 W 3900 S
<b>Zoning:</b>	R1-6
<b>General Plan Map:</b>	Planned Community

**Update 7/14/2022:** A will-serve letter has been provided by the Water Department. Staff recommends approval of this preliminary plat subject to staff and JUC comments.

**Discussion:**

The applicant has filed a preliminary plat for phase 3 of Cordero. The applicant is proposing 214 lots on 52.82 acres and is on the other side of Future 3960 S from phase 2 which was approved earlier this year. The Cordero development is split into three sections with different zonings: the west side is zoned Recreation Resort, the middle section is zoned R1-10 (Southern Shores) and the east side is zoned R1-6. A development agreement governs this development that limits the overall unit count to 700 units across all three sections. This preliminary plat will complete the R1-6 section of the development. Utilities are still scarce throughout the region so any approval should be contingent on the developer being able to supply adequate services to the property.





approved units within the entire development. No preliminary plat has been approved for the Recreation Resort area yet.

4. The applicant will need to construct improvements to the surrounding roadways on the City's Transportation Master Plan. The applicant will also need to provide walls along the master plan roadways.
5. There is a 12' multi-use sidepath along the west side of 2100 W that will need to be shown on the plat.
6. Hurricane City Code 10-37-12:
  - a. *Double frontage lots. Lots having frontage on two or more streets shall be prohibited except for corner lots and double frontage lots in subdivisions which back onto streets shown on the City's road master plan. Such double frontage lots shall be accessed only from an internal subdivision street. Frontage on lots having a front lot line on more than one street shall be measured on one street only.*
  - b. Lots along 2100 W (Lots 139-183) are permitted due to 2100 W being a master planned roadway, but they must front either 2080 W or 2160 W. All other double-frontage lots (28-49, 54-74, 137-138) must be redesigned. Lots 4-28 are probably fine due to the preliminary site plan for Copper Rock not showing a roadway along that property line.
7. 4160 S and any other roadways that go to 2000 W should stub through to Copper Rock
8. All block lengths between 4160 S and 4300 S exceed the 800' block length standard in the city code. Another roadway should bisect these blocks. 2160 W from 4160 S to 3960 S also exceeds 800'
9. All park strips will need to be landscaped and have the proper improvements.
10. A will serve letter from the culinary and sanitary water providers has not been provided.

**Recommendation:** Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. Staff would recommend continuing this application so the applicant can redesign the plat to meet city standards on block lengths, connectivity, and double frontage lots.

May 10, 2022

Mr. Stephen Nelson  
City Planning Director  
City of Hurricane  
147 North 870 West  
Hurricane, UT 84737

### Cordero Phase Three Preliminary Plat Summary

Dear Stephen,

The Cordero Phase Three Preliminary Plat contains 214 lots on 52.82 acres for a density of 4.05 lots per acre. Phase Three is located south of Cordero Phase One and Two at the 2100 West and Copper Rock Parkway intersection. The extension and improvements of 2100 West to the south property line will be included with the construction of Phase Three. No residential driveway accesses will be allowed on 2100 West Street. An existing drainage channel runs through Phase Three and will discharge into the relocated drainage channel in Phase One and Two. The general slope of the property is from the southeast to the northwest. The Phase Three Preliminary Plat contains six separate storm water detention basins which are located within each sub-phase of Phase Three. Each storm drainage basin will provide the 0.2 cfs historical storm water discharge into the storm drainage channel through an outlet structure and will detain the peak storm drain event. Each detention basin will be design with an emergency overflow into the storm drainage channel. Each sub-phase will have a piped storm drain collection system which will channel the storm water to the detention basins. The construction drawings will provide the details in addressing the storm drainage system along with a storm water drainage report submitted with the construction drawings. There are no Hurricane Canal Company facilities located on the project site.

Potential geotechnical constraints have been previously evaluated at this site and there are no known collapsible soils or geologic fault lines in this area. A soils report has been performed on the site and will be resubmitted with the construction drawings. The property is not located in a desert tortoise area. The main access to the project will be through 2100 West Street and Copper Rock Parkway. For a second access a roadway dedication plat has been prepared for 2600 West Street which will provide access from 3000 South Street to Copper Rock Parkway. The Ash Creek Special Service District has an existing sewer line in 2100 West Street and 3960 South Street. The water system improvements as part of Cordero Phase One approval are bonded and currently under construction. The Cordero Phase Two project will provide two separate water main connections and two separate accesses to Phase One, Phase Two and Phase Three. Phase Three will continue the water main and access along 2100 West Street with the adjoining





residential streets connecting into Cordero Phase One and Two. The Cordero Phase Three Project will be developed in six sub-phase as per the Master Plan.

If you have any questions or need any additional information, please contact me.

Thanks,

A handwritten signature in blue ink, reading 'Brant D. Tuttle'.

Brant D. Tuttle, P.E.

Northern Engineering, Inc.

June 9, 2022

Mr. Stephen Nelson  
Planning Director  
Hurricane City, Utah 84737

RE: Cordero Phase 3 Preliminary Plat Review Comments

Dear Stephen,

We have prepared this letter to address a few of the items from the staff comments on the Cordero Phase 3 Preliminary Plat. Items 6, 7, 8 and 10 are the only items that we want to address. All of the other items we agree with and do not have any concerns.

- Item 6 addresses the double fronted lots. On our initial design of 2020 West Street we wanted to have the back yards adjacent to the drainage channel of which this design created the double fronted lots from Lot 28 to Lot 49. We had also looked at placing a half plus 12 foot wide roadway along the easterly property line in a north/south direction adjacent to the Copper Rock Development. We are familiar with the Copper Rock Master Plan. A north/south roadway along their westerly property line does not work with their Master Plan. Copper Rock Parkway and 3960 South Street are the only roadway extensions to the Copper Rock Development. To eliminate the double fronted lots we have moved 2020 West Street to the east side of the drainage channel. We have attached an updated lot layout to this letter reflecting this change. In looking at this updated layout it would provide better access for the operation and maintenance of the drainage channel.
- Item 7, 4160 South Street should extend east and stub to the Copper Rock Development. We do not have a problem with this roadway stub but there is no planned roadway connection in the Copper Rock Master Plan. The same issue occurs on the west property line adjacent to the Southern Shores project of which their master plan does not plan any roadway extensions to the east.
- Item 8, block lengths should not exceed 800 feet. We have researched the City Code and could not find the requirement. However, we did find in the Hurricane Design Standard item 3.2.4.2.F on page 3-7 indicating that block lengths without an intervening connector street shall not exceed 800 feet. The row of blocks between 4160 South Street and 4300 South Street are 800 feet from property line to property line. We did not find any required measurement from property line to property line or roadway centerline to roadway centerline. We would request the City consider the 800 feet distance from property line to property line. We have attached a copy of the Design Standards page 3-7.

- Item 10, will serve letter from the culinary and sanitary water providers. We have attached a copy of the will serve letter from Ash Creek Special Service District for sanitary sewer. We have spoken with Ken Richins, the Hurricane City Water Superintendent regarding the water will serve letter and similar to Cordero Phase 2 they are wanting confirmation of the water model for the 214 lots. This model has been submitted, reviewed by the City Consultant and resubmitted to the City with changes made to the water model as per the Consultants comments. We have not received any further review or approval comments from the City or Consultant. We would like to mention that River Valley Development has bonded and is constructing millions of dollars of water system improvements for the Cordero Development of which the water system improvements were approved as part of the final Cordero Phase 1 construction drawings. In addition to the Cordero Phase 1 water system improvements a PID has been approved for this same area by the Hurricane City Council which will enhance the water service to all of this area.

We would respectfully request approval of the Cordero Phase 3 Preliminary Plat with addressing the items mentioned above. As a consideration of accepting the revised layout of eliminating the double front lots and with approval by the Planning Commission we would commit to submitting a full updated Preliminary Plan set prior to the next City County meeting. If you have any questions or need any additional information, please contact me.

Thanks,



Brant D. Tuttle, P.E.

Northern Engineering, Inc.





## **Ash Creek Special Service District**

1350 S. Sand Hollow Road

Hurricane, UT 84737

Office: (435) 635-2348 Fax: (435) 635-8550

ashcreek@infowest.com

June 7, 2022

Hurricane City  
Stephen Nelson  
127 N. 870 W.  
Hurricane, UT 84737

### **RE: Cordero Phase III**

Stephen,

There is sewer capacity for this project. The developers understand and agree that they will need to get plan approval for the sewer system.

After approval, they agree to pay all costs associated with construction and impact fees. Please let us know if you have any questions.

Sincerely,

Amber Gillette, P.E.  
Engineer  
Ash Creek Special Service District



# HURRICANE CITY UTAH

Water Department  
Ken Richins, Superintendent

July 8, 2022

To Whom It May Concern:

Brant Tuttle (the "Developer") has requested a culinary water will serve letter for the subdivision known as Cordero Phase 3, located at approximately 2100 W 4000 S in Hurricane, Utah (the "Project").

### Infrastructure

The City currently has infrastructure to supply culinary water in the general area of the Project. However, Developer will be responsible to connect the Project to the existing water infrastructure, including the installation of infrastructure in dedicated public streets and as otherwise required to meet City standards. In addition, Developer may be required to obtain and supply a hydraulic water study to ensure the waterline will deliver required fire flows. A looped water system may be required.

### Water Supply

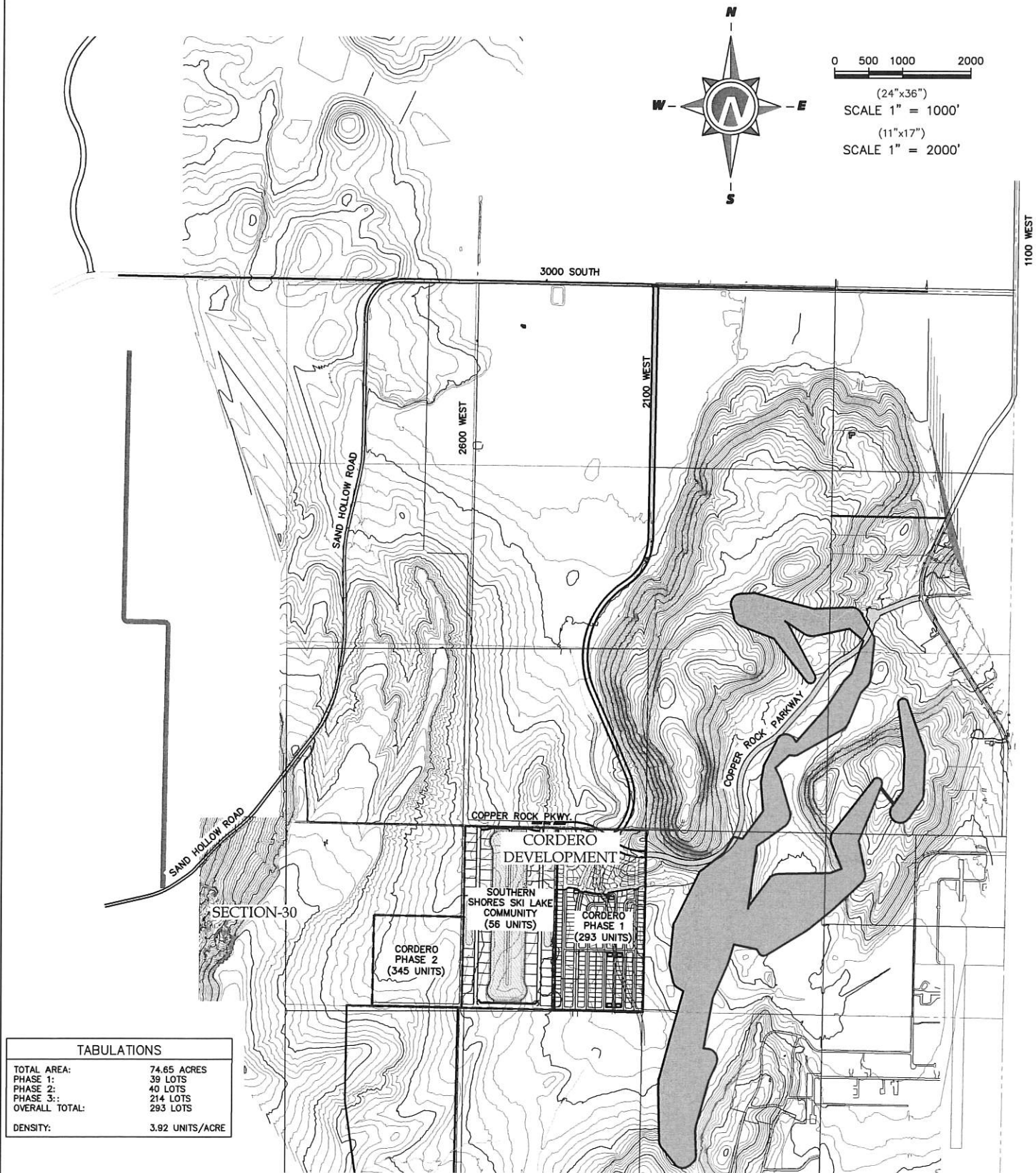
As of the date of this letter, the city has adequate water to supply water to 213 residential connections within the Project. However, water within the City is a finite resource with limited supply. The ability of the City to supply water to previously approved projects, as well as continue to serve additional water customers, is contingent on water supplies being available from the Washington County Water Conservancy District (the "Conservancy District"). Therefore, the City's statements in this letter regarding the adequacy of water supply is (1) contingent on water being available from the Conservancy District and (2) shall expire one year from the date of this letter, after which a renewed will serve letter will be required for any property or lot that has not obtained a metered connection to the City's culinary water system. Developer is encouraged to obtain a guarantee of water from the Conservancy District.

### General Requirements

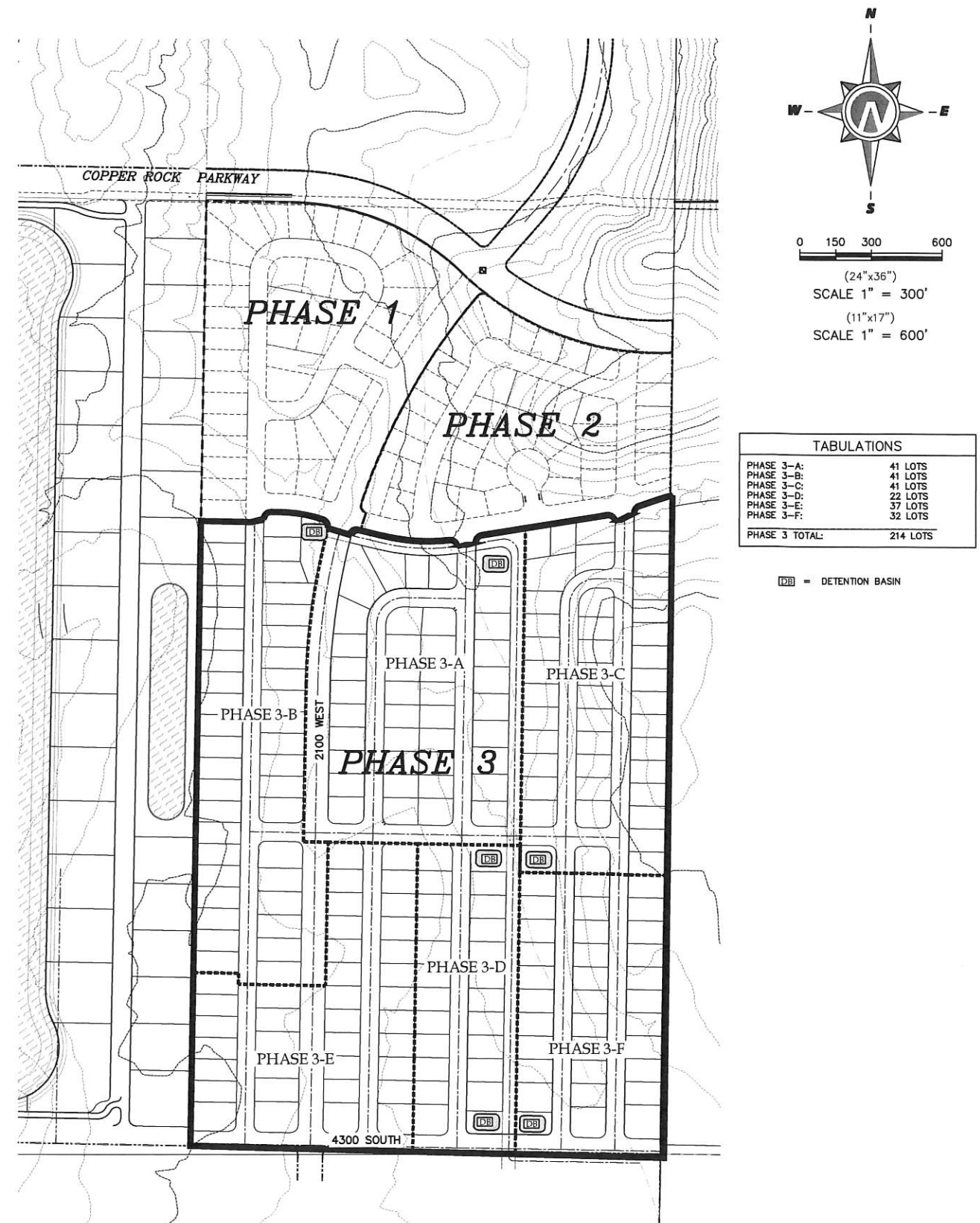
In addition to the requirements and limitations described above, Developer shall be required to comply with all applicable laws, ordinances, policies, and construction and design standards. These requirements include, but are not limited to, secondary water system requirements and any obligations described in an applicable development agreement.

Sincerely,

Ken Richins  
Water Department Superintendent



VICINITY PLAN



MASTER PLAN

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

5			DESIGNED BY:		DATE:
4			DRAWN BY:		DATE:
3			CHECKED BY:		DATE:
2			APPROVED:		DATE:
1			COGO FILE:		DATE:
NO.	REVISIONS	BY	DATE	REV. COGO FILE:	DATE:



**Northern  
ENGINEERING INC**  
ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT

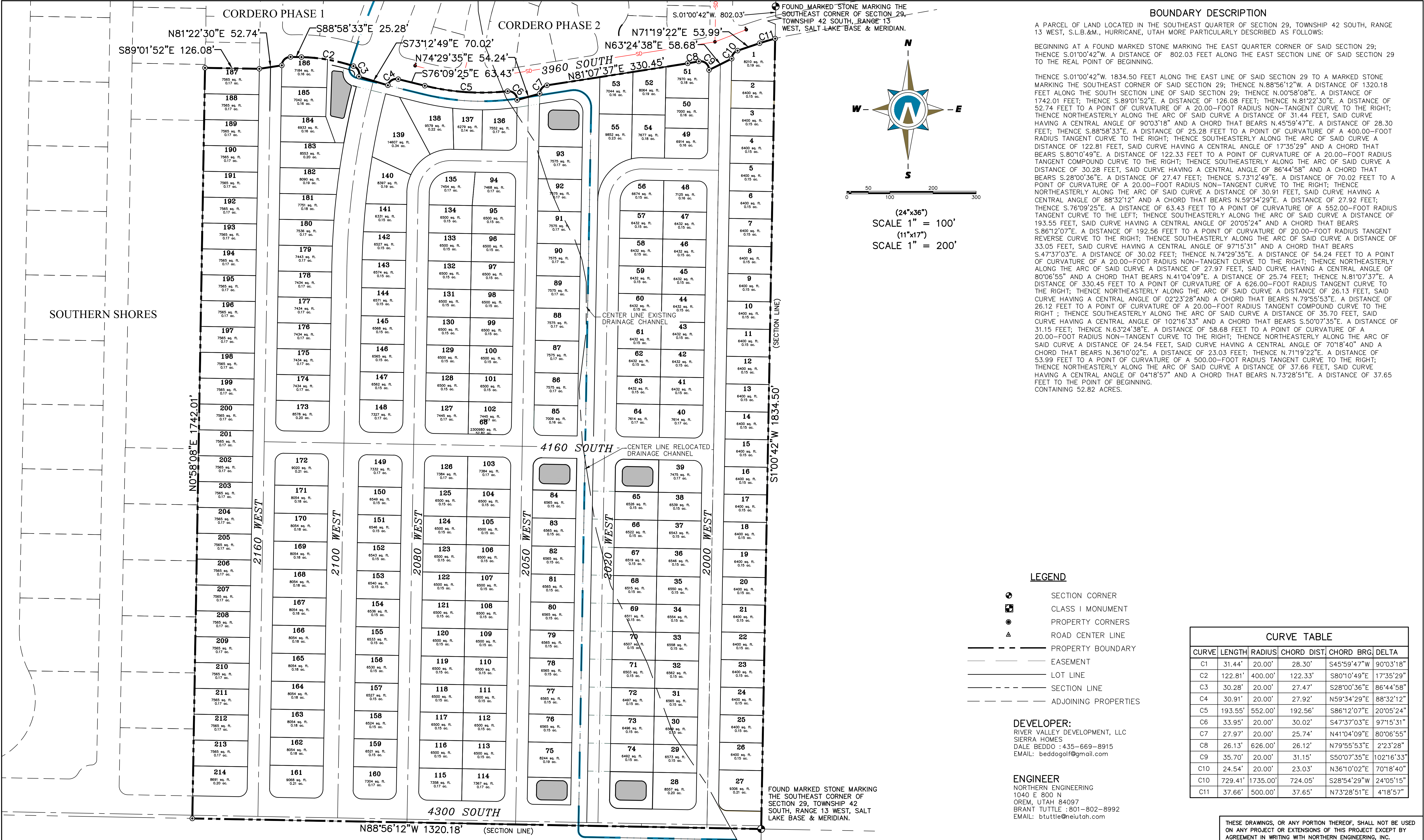
1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

**CORDERO PHASE III  
PLAT A SUBDIVISION**

MASTER PLAN  
HURRICANE, UTAH

JOB NO.  
03-16-052  
SHEET NO.  
1-2







# ZONE CHANGE APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:

File No. 2022-2C-28

Receipt No. 0-159047

Name: Silverado Development LLC Telephone: 801-885-2611

Address: 1510E 850N Orem UT 84097 Fax No. \_\_\_\_\_

Agent (If Applicable): \_\_\_\_\_ Telephone: \_\_\_\_\_

Email: dave@silveradobc.com Agent Email: \_\_\_\_\_

Address/Location of Subject Property: North-West of SR-7 & SR-9 Intersection

Tax ID of Subject Property: H-3-1-31-1101 & H-3-1-31-2101 Existing Zone District: R1-8

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)  
Planned Commercial (PC)

**Submittal Requirements:** The zone change application shall provide the following:

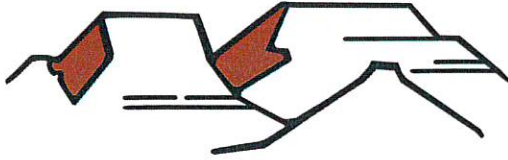
- \_\_\_\_\_ a. The name and address of every person or company the applicant represents;
- \_\_\_\_\_ b. An accurate property map showing the existing and proposed zoning classifications;
- \_\_\_\_\_ c. All abutting properties showing present zoning classifications;
- \_\_\_\_\_ d. An accurate legal description of the property to be rezoned;
- \_\_\_\_\_ e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- \_\_\_\_\_ f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note:** It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.

\*\*\*\*\*

(Office Use Only)  
Date Received: 6.6.22 Application Complete: YES ☒ NO ☐

Date application deemed to be complete: 6.6.22 Completion determination made by: BS



PLANNING & ZONING  
**HURRICANE CITY**  
**UTAH**

147 N 870 W Hurricane UT  
PHONE: 435.635.2811 FAX: 435.635.2184

**PRELIMINARY SITE PLAN APPLICATION**

*For office use only. \$200.00 Fee*

File No. 2022-PSP-24

Receipt No. 8159647

Name: Silverado Development LLC Telephone: 801-885-2611

Address: 1510 E 850 N UT 84097 Fax No. \_\_\_\_\_

Email: dave@silveradobc.com Agent Email: \_\_\_\_\_

Agent (If Applicable): \_\_\_\_\_ Telephone: \_\_\_\_\_

Address/Location of Subject Property: North-West of SR-2 & SR-9 Intersection

Tax ID of Subject Property: H-3-1-31-1101 & H-3-31-2101 Zone District: P1-8

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) \_\_\_\_\_

Planned Commercial (PC)

This application shall be accompanied by the following:

- \_\_\_\_ 1. A vicinity map showing the general location of the project.
- \_\_\_\_ 2. Three (3) copies of a site plan showing:
  - \_\_\_\_ Topography showing 2' contours, identification of 30% or greater slopes:
  - \_\_\_\_ The layout of proposed uses.
  - \_\_\_\_ Location of open space when applicable.
  - \_\_\_\_ Proposed access to the property and traffic circulation patterns.
  - \_\_\_\_ Adjoining properties and uses:
  - \_\_\_\_ Proposed reservations for parks, playgrounds, school, and any other public facility sites, if any.
- \_\_\_\_ 3. Preliminary utility plan, including water, sewer, and storm drainage plans, and including access points to utilities.
- \_\_\_\_ 4. Tables showing the number of acres in the proposed development and a land use summary; and
- \_\_\_\_ 5. A phased development plan if applicable.
- \_\_\_\_ 6. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and the fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed due to an incomplete application could result in a month's delay.**

(Office Use Only)

Date Received: 6.6.22 Received by: Brienna Spencer

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

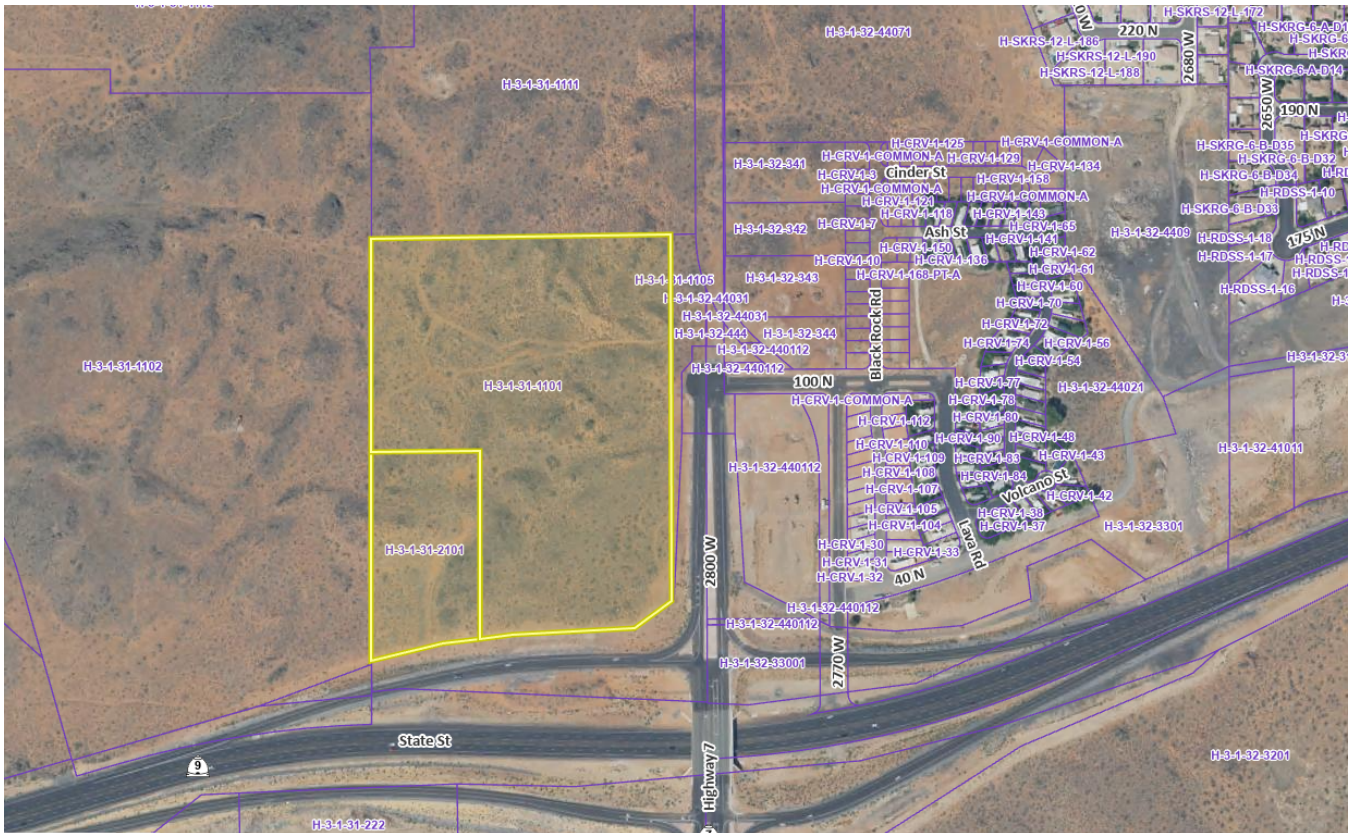
<b>Agenda Date:</b>	<b>07/14/2022</b>
<b>Application Number:</b>	2022-ZC-28 2022-PSP-24
<b>Type of Application:</b>	Zone Change and Preliminary Site Plan Application
<b>Action Type:</b>	Legislative
<b>Applicant:</b>	Silverado Development LLC
<b>Agent:</b>	
<b>Request:</b>	A Zone Change from R1-8 to Planned Commercial
<b>Location:</b>	Northwest of the SR-7 & SR-9 intersection
<b>Zoning:</b>	R1-8
<b>General Plan Map:</b>	<a href="#">General Commercial and Single Family</a>

**Update 7/14/2022:** Staff has not received an updated site plan that meets the concerns of this report and the Planning Commission's discussion at the time of this writing.

**Discussion:** The applicant is seeking a zone change and preliminary site plan from R1-8 to Planned Commercial. The applicant is proposing a hotel, retail, convenience store, townhomes/private garages, and multi-family housing. The property is located adjacent to the recently constructed SR-7 and SR-9 interchange. The City Council recently changed the Planned Commercial ordinance, and staff is working with the applicant to come into compliance with the code.

	<b>Zoning</b>	<b>Adjacent Land Use</b>
<b>North</b>	R1-8 PDO	Planned single family homes (Paraiso subdivision)
<b>East</b>	PF, HC, MH/RV PDO	Undeveloped, Canyons RV
<b>South</b>	PF, HC	SR-9 and undeveloped property
<b>West</b>	R1-8	Undeveloped





## Zone Change Factors:

When considering a zone change the Planning Commission must consider the following:  
As per Hurricane City Code 10-7-7:

*Approval Standards: A decision to amend the text of this title or the zoning map is a matter within the legislative discretion of the city council as described in subsection 10-7-5A of this chapter. In making an amendment, the following factors should be considered:*

1. *Whether the proposed amendment is consistent with goals, objectives and policies of the city's general plan;*
2. *Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;*
3. *The extent to which the proposed amendment may adversely affect adjacent property; and*
4. *The adequacy of facilities and services intended to serve the subject property, including, but not limited to, roadways, parks and recreation facilities, police and fire protection, schools, stormwater drainage systems, water supplies, and wastewater and refuse collection.*



***1. Is the proposed amendment consistent with the City's General Plan's goals, objectives, and policies?***

**Response:** The General Plan maps this area as General Commercial and Single Family which is defined as:

*GENERAL COMMERCIAL: Commercial uses that provide retail, employment and service uses for the City. These developments should be located along major corridors*

*SINGLE FAMILY: These uses should be located near supporting community uses such as, but not limited to churches, schools, and parks. Appropriate densities for this land use include R1-15, R1-10, R1-8, and R1-6.*

The line between single family and commercial appears to be the existing overhead power lines indicated on the site plan.

In the past, the City has approved multifamily developments in Single Family zones, especially in this area as a deference to the steep cliffs and major roadways of the area, as long as the density was kept to single-family levels. This plan has about 14.5 units per acre, therefore would not qualify for that.

The General Plan calls for “Medium and high density residential developments should be planned near support facilities such as collector and arterial roads, schools, shopping, and employment centers. Medium and high density residential developments should be planned and designed to minimize impacts to nearby existing developments, while providing high-quality, attractive housing options” It also calls for “Support creating commercial spaces in population Centers in the City to provide services to those areas”

A few weeks ago and prior to this application being submitted, staff proposed that this area be changed on the General Plan Map to either Mix Use or Commercial because this would be a good space, with its proximity to major traffic corridors, for commercial and higher density residential. Putting higher density near significant traffic corridors is to help minimize traffic impacts on local roadways and allow more efficient travel from these developments. Placing higher density near commercial spaces also helps stimulate commercial growth in an area and provides housing, and serves in the same area.

***2. Is the proposed amendment harmonious with the overall character of existing development in the subject property's vicinity?***

**Response:** There are almost no developments currently in the vicinity beyond Canyons RV to the east. The multifamily area may not be completely harmonious with what is planned to the north with Paraiso. The southern phase of the Paraiso development contains single family homes. It may be more appropriate to have the townhome section adjacent to the single family section to phase density. Commercial is planned across 2800 W from this property.

***3. Will the proposed amendment affect the adjacent property?***

**Response:** Yes. Although development is planned for almost all surrounding properties and commercial, such as retail and convenience stores, it could be beneficial to future residents in the area.

***4. Are public facilities and services adequate to serve the subject property?***

**Response:** Public facilities and services are not currently adequate for the property. Canyons del Sol, Paraiso, and the City are currently working to extend 2800 W through to 600 N, which should bring most major facilities to the property. Please see the review notes from the JUC below.

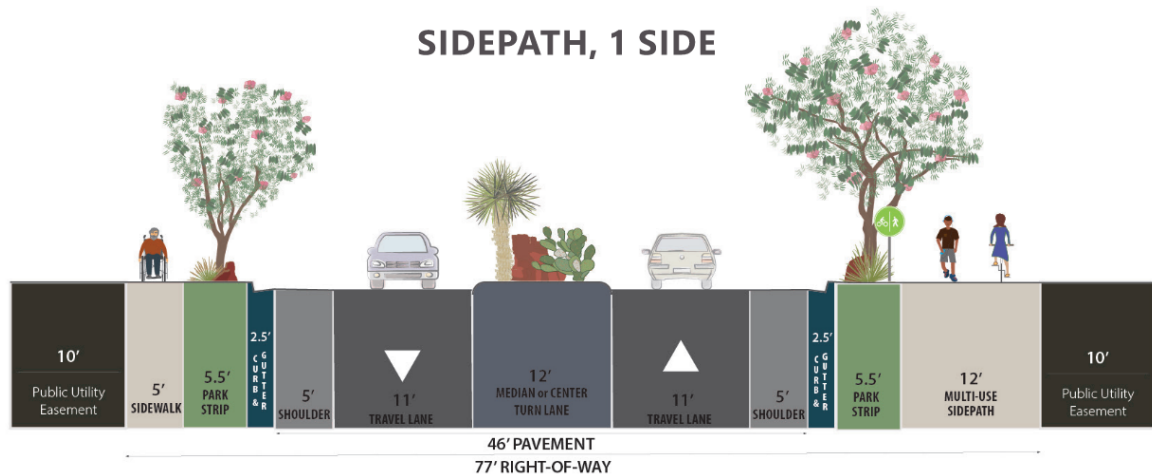
**JUC Comments**

The following items will need to be addressed:

1. **Sewer:** No issues with the zone change. There is significant off-site sewer work needed for this project. Developer should contact Ash Creek to discuss options.
2. **Water:** Full water model and information about streets required.
3. **Fire:** Road width and hydrant spacing will need to meet fire code.
4. **Engineering:** 100 N should be a 77' wide ROW. Phase 1 should have a detention area. Check block lengths, blocks shall not be longer than 800 feet. Development should stub roadways to neighboring parcels. Limited driveway access on 2800 W and 100 N. Driveway to Phase 3 will need to be approved by UDOT, UDOT ROW extends all the way to 100 N. Planned 2800 W ROW does not appear to have been accounted for; the developer should coordinate with Civil Science for 2800 W. Large diameter storm drain is shown next to SR-9 on the storm drain master plan, and should be addressed in drainage study. Keep detention basins out of utility easements. May need to re-evaluate layout of garage and multifamily areas.
5. **Streets:** Traffic study required. Are the private garages for personal or business use?
6. **Power:** No major concerns with layout. Project is subject to 2800 W power line.

**Staff Comments: Preliminary Site Plan**

1. The newly passed Planned Commercial ordinance caps residential density at 15 units an acre unless 40% of the area is commercial or 10% of the units are affordable housing, in which case they can get a density bonus of up to 20 units per acre. It also requires that either 20% of the property is residential or 20% of the property is commercial.
  - a. Upon speaking with the applicant the "private garages" shown in Phase 2 are actually closer to townhomes/condominiums than storage units. These units will be individually subdivided and sold and will consist of a larger than average garage/storage area on the bottom and small living quarters on top. Thus Phase 2 is part of the residential section of the development and not the commercial section
  - b. Overall residential density is 14.5 units per acre
  - c. The commercial property (Phase 3) is 22% of the property
2. The site plan refers to the development as "Zion Gateway" ; this name is already taken within the city and another one should be picked.
3. 100 N is a master plan to have a 12' sidepath along the north side. See the cross-section below.



4. The commercial uses in Phase 3 are permitted uses in Planned Commercial zoning, however:
  - a. HCC 10-15-8: *For commercial parking, parking lots shall not be located in front of buildings nearest the right-of-way but shall be contained within parking lots located to the side or behind buildings that front the right-of-way. Commercial buildings may only be located behind parking lots if other buildings are fronting onto the right-of-way.*
  - b. The convenience store should front 2800 W
  - c. Staff would also recommend that residential buildings are also placed in front of parking areas to increase walkability.
5. Staff would encourage connectivity between this development and Paraíso to the north, though no access is planned for either development.
6. Staff has some concerns about the current layout and access points. The proposed layout should be reworked to address access concerns on SR-7, provide some phasing of density, and create better connectivity between development sections.
7. All block lengths appear to meet Hurricane City Code
8. Applicant indicates that the property in question is 23.737 acres, however county records show the two parcels combined as 19.91 acres, while the County GIS shows the property as 22.5 acres. This discrepancy should be resolved

### Findings:

Staff makes the following findings:

1. The proposed zone change does not meet the standards of the General Plan Map, however staff believes a plan compliant with zoning code would meet some of the General Plan's goals
2. The proposed zone change is generally harmonious with the approved surrounding development
3. The proposed amendment will have an impact on the area, but development is anticipated for the area.
4. The services are not currently adequate for the area but services are planned for the area.

**Recommendation:** Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. Staff believes this area is appropriate for mixed-use, which is why we recommend considering amending the General Plan Map and that a mixed-use area could meet goals

within the full general plan as listed within this report. Our recommendation is to consider the zone change with that in mind and to require a site plan that provides positive commercial and housing to the City while mitigating the potential negative impact to the surrounding area.



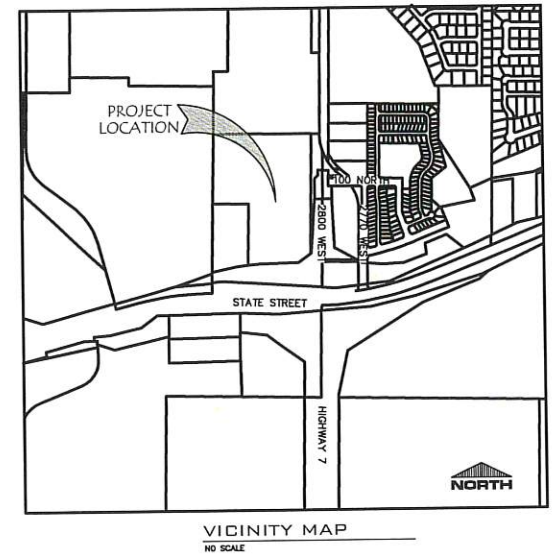
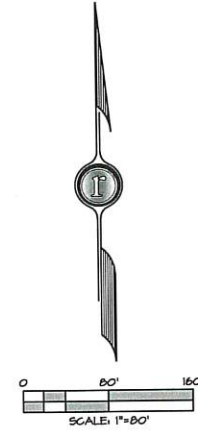
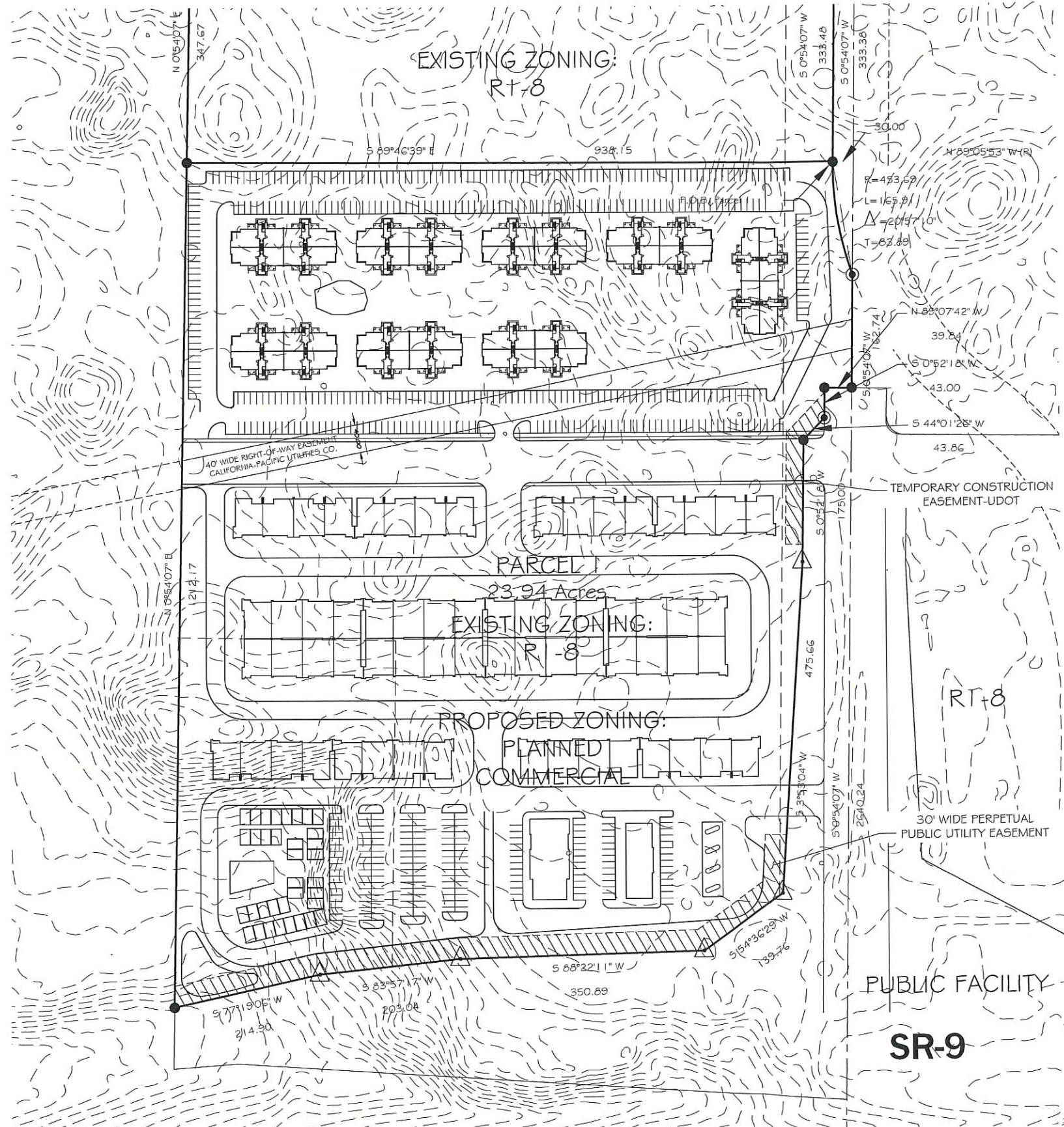


## Notes



*DISCLAIMER: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.*





LOCATED IN THE N.E. & S.E. 1/4 OF SECTION 31  
T.41S., R.13W., S.L.B.&M.

DATE: 4/14/2021	
JOB NO.: 12468-22-001	
DRAWN BY: K.R.S.	
CHECKED BY:	
SCALE: 1"=150'	
DWG: SURVEY-ROS.DWG	
REVISIONS	DATE
<b>ROSENBERG</b> ASSOCIATES CIVIL ENGINEERS • LAND SURVEYORS	
352 EAST RIVERSIDE DRIVE, SUITE A-2 ST. GEORGE, UTAH 84790 PH (435) 673-8586 FX (435) 673-8397 WWW.RACIVIL.COM	
ZONE CHANGE-SITE PLAN For <b>SILVERADO B.C.</b> HURRICANE, UTAH	
STATE OF UTAH PROFESSIONAL ENGINEER ROBERT A. KID 54722	
SHEET <b>1</b> OF 1 SHEETS	



**MULTI-FAMILY HOUSING**

96 1 BEDROOM  
96 2 BEDROOM  
192 TOTAL UNITS  
8.76 ACRES

**64 PRIVATE GARAGES**  
2300 SF FOOTPRINT EA  
8.91 ACRES

**COMMERCIAL ZONE**

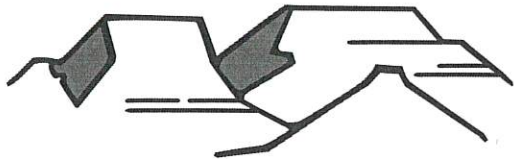
- 102 UNIT HOTEL WITH POOL AREA
  - 6200 SF RETAIL PAD WITH DRIVE THRU
  - C – STORE WITH GAS SERVICE
- 5.08 ACRES



ZION GATEWAY  
HURRICANE, UTAH  
05/26/2022

methodstudio





PLANNING & ZONING  
**HURRICANE CITY**  
UTAH

147 N 870 W Hurricane UT  
PHONE: 435.635.2811 FAX: 435.635.2184

## ZONE CHANGE APPLICATION

*For office use only: \$500.00 Fee*

File No. 2022-2C-29

Receipt No. 8.159261

Name: Hinton Holdings LLC Telephone: \_\_\_\_\_

Address: 678 W State St. Hurricane, UT 84737 Fax No. \_\_\_\_\_

Email: smalltownauto@yahoo.com Agent Email: \_\_\_\_\_

Agent (If Applicable): Richard & Kathleen Hinton Telephone: 435-680-2501

Address/Location of Subject Property: Approx. 88 N 1690 W

Tax ID of Subject Property: H-3-1-33-3141, H-3-1-33-4221 Existing Zone District: R1-10 & HC

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary) To add .127 acres to HC & Change the existing R1-10 to R1-8 w/PDO

Submittal Requirements: The zone change application shall provide the following:

- ☒ a. The name and address of every person or company the applicant represents.
- ☒ b. An accurate 11 x 17-inch property map showing the existing and proposed zoning classifications.
- ☒ c. All abutting properties showing present zoning classifications.
- ☒ d. An accurate legal description of the property to be rezoned.
- ☒ e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- ☒ f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

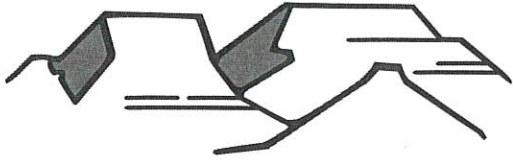
Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.

(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES \_\_\_\_\_ NO \_\_\_\_\_

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_





PLANNING & ZONING  
**HURRICANE CITY**  
UTAH

147 N 870 W Hurricane UT  
PHONE: 435.635.2811 FAX: 435.635.2184

## PRELIMINARY SITE PLAN APPLICATION

*For office use only: \$200.00 Fee*  
File No. 2022-PSP-25  
Receipt No. 8159261

Name: Hinton Holdings LLC Telephone: \_\_\_\_\_

Address: 678 W State St. Hurricane, UT Fax No. \_\_\_\_\_

Email: smalltownauto@yahoo.com Agent Email: Same

Agent (If Applicable): Richard + Kathleen Hinton Telephone: 435-680-2501

Address/Location of Subject Property: Approx 88 N 1690 W

Tax ID of Subject Property: H-3-1-33-3144, H-3-1-33-3141, H-3-1-33-4221 Zone District: R1-10 + HC (R1-10 to change to R1-8)

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) \_\_\_\_\_

This application shall be accompanied by the following:

- ☒ 1. A vicinity map showing the general location of the project.
- ☒ 2. Three (3) copies of a site plan showing:
  - ☒ Topography showing 2' contours, identification of 30% or greater slopes.
  - ☒ The layout of proposed uses.
  - ☒ Location of open space when applicable.
  - ☒ Proposed access to the property and traffic circulation patterns.
  - ☒ Adjoining properties and uses.
  - ☒ Proposed reservations for parks, playgrounds, school, and any other public facility sites, if any.
- ☒ 3. Preliminary utility plan, including water, sewer, and storm drainage plans, and including access points to utilities.
- ☒ 4. Tables showing the number of acres in the proposed development and a land use summary; and
- ☒ 5. A phased development plan if applicable.
- ☒ 6. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and the fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed due to an incomplete application could result in a month's delay.

(Office Use Only)

Date Received: \_\_\_\_\_ Received by: \_\_\_\_\_

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

<b>Agenda Date:</b>	<b>07/14/2022</b>
<b>Application Number:</b>	2022-ZC-29 2022-PSP-25
<b>Type of Application:</b>	Zone Change and Preliminary Site Plan Application
<b>Action Type:</b>	Legislative
<b>Applicant:</b>	Hinton Holdings LLC
<b>Agent:</b>	Richard & Kathleen Hinton
<b>Request:</b>	A Zone Change from R1-10 and Highway Commercial to R1-8 PDO and Highway Commercial
<b>Location:</b>	Approximately 88 N 1690 W
<b>Zoning:</b>	R1-10 and Highway Commercial
<b>General Plan Map:</b>	<a href="#">Single Family</a>

**Discussion:** The applicant is seeking a zone change to add 0.127 acres to the existing Highway Commercial (HC) zoning on their property and to rezone the R1-10 portion to R1-8 PDO. This property is located along SR-9. A preliminary site plan has also been filed that shows four commercial lots and 52 residential lots of varying sizes.

	<b>Zoning</b>	<b>Adjacent Land Use</b>
<b>North</b>	R1-8, PF, RA-1, R1-15 PDO	Single Family homes (Firerock and Hurricane Garden Homes)
<b>East</b>	R1-10, HC	Single Family homes and Tractor Supply
<b>South</b>	HC	SR-9 and commercial property
<b>West</b>	HC, R1-8	Commercial property and Firerock





4. *The adequacy of facilities and services intended to serve the subject property, including, but not limited to, roadways, parks and recreation facilities, police and fire protection, schools, stormwater drainage systems, water supplies, and wastewater and refuse collection.*

***1. Is the proposed amendment consistent with the City's General Plan's goals, objectives, and policies?***

**Response:** The General Plan maps this area as Single Family which is defined as:

*SINGLE FAMILY: These uses should be located near supporting community uses such as, but not limited to churches, schools, and parks. Appropriate densities for this land use include R1-15, R1-10, R1-8, and R1-6.*

The General Plan calls for “*Medium and high density residential developments should be planned near support facilities such as collector and arterial roads, schools, shopping, and employment centers. Medium and high density residential developments should be planned and designed to minimize impacts to nearby existing developments, while providing high-quality, attractive housing options*” It also calls for “*Support creating commercial spaces in population Centers in the City to provide services to those areas*”

A few weeks ago and prior to this application being submitted, staff proposed that this area be changed on the General Plan Map to either Mix Use or Commercial because this would be a good space, with its proximity to major traffic corridors, for commercial and higher density residential. Placing single-family developments near major traffic corridors is a poor use of what could be good, convenient commercial space. Placing higher density near commercial spaces also helps stimulate commercial growth in an area and provides housing, and serves in the same area.

Overall, while this application does not meet the standards of the General Plan Map staff believes this application is in line with many of the General Plan’s goals as well as good planning practice for areas near major traffic corridors

***2. Is the proposed amendment harmonious with the overall character of existing development in the subject property’s vicinity?***

**Response:** The property is being developed with what appears to be small single family lot and commercial lots. Depending on the commercial use this would be harmonious with the surrounding area. Most of the residences in the area, with the exception of those in Firerock are larger lot single family homes. However, the proposed site plan shows larger lots along the border with the existing residential in the area to temper this.

***3. Will the proposed amendment affect the adjacent property?***

**Response:** Yes. Although development is anticipated by the General Plan, such as retail and convenience stores, it could be beneficial to future residents in the area.

***4. Are public facilities and services adequate to serve the subject property?***

**Response:** Public facilities and services are largely adequate to the property. Developers will need to pay for any required utility upgrades. See JUC review comments below.

## **Preliminary Site Plan Application**

### **JUC Comments**

The following items will need to be addressed:

1. **Sewer:** No comments.
2. **Water:** No comments.
3. **Fire:** Okay with zone change. No parking signs required on turnaround in HC area.
4. **Engineering:** Interconnectivity is encouraged, however the extension of 180 N may not be feasible with the required grading. Check for double frontage lots. Check drainage plan. Lot 53 is in Zone AE floodplain. Coordination with neighbors required for development of 1690 W. The Transportation Master Plan doesn't show 100 N in this area however that might be desirable. Specific approval from the City Engineer is required for a street to end without a cul-de-sac turnaround. Additional information is needed. How long is the dead end street? What will the grading be like? Does the existing structure limit access?
5. **Streets:** Okay with zone change. Are the streets in the R1-8 zone private or public?
6. **Power:** Existing power line on the south side will need to be put underground. A fee of \$900 will be charged to the owner/developer to design the power system. This must be done before construction drawings. Load calculations for pool/rec area and commercial lots must be given before design. Easements need to be obtained and turned over to the city.
7. **GIS:** Street names required on some internal streets.

### **Staff Comments: Preliminary Site Plan**

1. **Density:** The Preliminary Site Plan shows 52 units on 10.065 acres. This is a density of 5.16 units per acre. The max R1-8 PDO density is 4.4 units per acre. The applicant could ask for a density bonus however at this time no density bonus has been requested.
2. The property owner to the west has come to city staff about an easement located on the south end of this property that would not allow it to be developed in the manner shown on the site plan. Staff is still investigating these claims at this time.
3. While it appears that there are double-fronted lots along Andesite Road, upon further review it appears there will be some open-space barrier between the homes and the road. There is an elevation difference between the property and Andesite Road. Staff would require these lots front on the internal streets

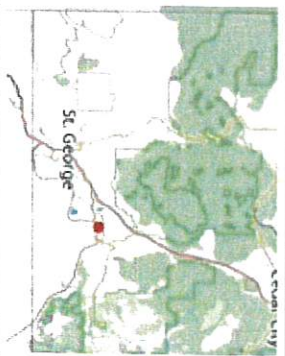
**Findings:**

Staff makes the following findings:

1. The proposed zone change does not meet the standards of the General Plan Map, however staff believes a plan compliant with zoning code would meet some of the General Plan's goals
2. The proposed zone change is generally harmonious with the approved surrounding development
3. The proposed amendment will have an impact on the area, but development is anticipated for the area.
4. The services and facilities are broadly adequate for this development.
5. The application does not meet the density of the proposed underlying zone and there are some concerns about the layout as mentioned within this report.

**Recommendation:** Staff recommends the Planning Commission review this application based on standards with Hurricane City Code and comments in the public hearing. Staff believes that this is a good place for this kind of development which is why staff recommends the General Plan Map be amended for this area. Staff recommends continuing this item so that issues with the layout and densities on the property can be worked out.





- ## Notes

**DISCLAIMER:** The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.

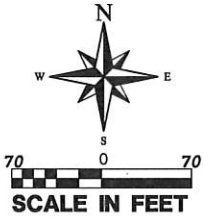


EXISTING ZONE MAP FOR:  
**RICHARD & KATHLEEN HINTON**

LOCATED IN SECTION 33, T41S, R13W, S.L.B.&M.  
HURRICANE CITY, WASHINGTON COUNTY, UTAH

**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- SECTION LINE



**OWNER:**

HINTON HOLDINGS LLC:  
678 WEST STATE STREET  
HURRICANE, UT 84737

**CONTACT:**

RICHARD & KATHLEEN HINTON  
(435)-680-2501  
SMALLTOWNAUTO@YAHOO.COM

**LEGAL DESCRIPTION FOR AFFECTED PARCELS:**

**PROPOSED PLANNED DEVELOPMENT R1-8 ZONE LEGAL DESCRIPTION:**  
COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 SOUTH, RANGE 13 WEST, OF THE SALT LAKE BASE AND MERIDIAN, THENCE N89°45'32"W ALONG THE QUARTER SECTION LINE OF SAID SECTION 33, 303.00 FEET TO THE POINT OF BEGINNING; THENCE N89°45'32"W ALONG THE QUARTER SECTION LINE OF SAID SECTION 33, 335.00 FEET; THENCE S00°10'58"E 42.36 FEET; THENCE S89°52'40"W 436.53 FEET; THENCE N21°10'08"W 168.39 FEET; THENCE N45°26'40"E 213.00 FEET; THENCE N43°41'43"E 645.41 FEET; THENCE N89°50'31"E 146.32 FEET; THENCE N85°37'10"E 88.78 FEET; THENCE S00°01'17"W 738.42 FEET TO THE POINT OF BEGINNING.

AREA CONTAINS 438,417 SQUARE FEET OR 10.065 ACRES.

**PROPOSED HIGHWAY COMMERCIAL LEGAL DESCRIPTION:**  
COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 SOUTH, RANGE 13 WEST, OF THE SALT LAKE BASE AND MERIDIAN, THENCE N89°45'32"W ALONG THE QUARTER SECTION LINE OF SAID SECTION 33, 506.07 FEET TO THE POINT OF BEGINNING; THENCE S00°01'17"W 41.52 FEET; THENCE S89°52'40"W 131.78 FEET; THENCE N00°10'58"W 42.36 FEET TO THE QUARTER SECTION LINE OF SAID SECTION 33; THENCE S89°45'32"E ALONG SAID LINE 131.93 FEET TO THE POINT OF BEGINNING.

AREA CONTAINS 5,530 SQUARE FEET OR 0.127 ACRES.

**HIGHWAY COMMERCIAL LEGAL DESCRIPTION:**  
COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 SOUTH, RANGE 13 WEST, OF THE SALT LAKE BASE AND MERIDIAN, THENCE N89°45'32"W ALONG THE QUARTER SECTION LINE OF SAID SECTION 33, 506.07 FEET, THENCE S00°01'17"W 41.52 FEET TO THE POINT OF BEGINNING; THENCE S00°01'17"W 167.19 FEET; THENCE S89°45'32"E 203.07 FEET; THENCE S00°01'12"W 267.33 FEET; THENCE N80°16'29"W 50.90 FEET; THENCE N89°24'57"W 424.92 FEET; THENCE N00°11'35"E 421.86 FEET; THENCE N89°52'38"E 270.73 FEET TO THE POINT OF BEGINNING.

AREA CONTAINS 167,655 SQUARE FEET OR 3.849 ACRES.

**OWNERS LEGEND:**

- A HINTON HOLDINGS LLC - PARCELS: H-3-1-33-3141, H-3-1-33-4221, H-3-1-33-3114
- B SR-9 DETAIL DEVELOPMENT LLC: PARCELS: H-3-1-33-448
- C PORTER ROCKWELL EXECUTIVE SUITES LLC: PARCELS: H-3-1-33-31421, H-3-1-33-3147
- D JANE E STEWART: PARCELS: H-3-1-33-3115
- E RANDY T SIMONSEN LTD: PARCELS: H-3-1-33-3118, H-3-1-33-3111
- F THOMAS E HUGHES & PATTI LU TRS: PARCELS: H-3-1-33-4222
- G HARDY LEONARD W SR & RONDA S: PARCELS: H-3-1-33-42231
- H BRIAN M SANDERSON: PARCELS: H-3-1-33-42302, H-3-1-33-42301
- I BLACKMORE ROSALEE B TR: PARCELS: H-3-1-33-42281, H-3-1-33-4231
- J RYERSON TERRY P TR: PARCELS: PARCELS: H-3-1-33-4226
- K SCOTT T HUGHES: PARCELS: H-3-1-33-4225
- L SNOW ROBERT GARDNER: PARCELS: H-3-1-33-4227
- M REES TERRY & AMBER: PARCELS: H-CWE-7-D
- N LANDAVERDE LEA RAQUEL & DIONICIO: PARCELS: H-CWE-7-E, H-CWE-7-C
- O ASH CREEK SPECIAL SERVICE DIST: PARCELS: H-CWE-7-B
- P FIRE-1-34, H-FIRE-1-35, H-FIRE-1-36, H-FIRE-1-37, H-FIRE-1-38, H-FIRE-1-39, H-FIRE-1-40, H-FIRE-1-41, H-FIRE-1-42, H-FIRE-1-43, H-FIRE-1-44

**ZONE LEGEND:**

- RA-1: RESIDENTIAL AGRICULTURAL - 1 UNIT PER ACRE
- PF: PUBLIC FACILITY
- HC: HIGHWAY COMMERCIAL
- PLANNED DEVELOPMENT W/ R1-8 ZONE
- R1-10: RESIDENTIAL - 1 UNIT PER 10,000 SQ. FT.
- PROPOSED HIGHWAY COMMERCIAL (HC)
- EXISTING R1-8 ZONE



**NOTICE:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

EXISTING ZONE MAP FOR:

**RICHARD & KATHLEEN HINTON**

LOCATED IN SECTION 33, T41S, R13W, S.L.B.&M.  
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE: 06/08/2012  
SCALE: 1"=10'

JOB NO.  
699-001

SHEET NO:

**1 OF 2**

Page 140 of 220

PROVALUE ENGINEERING, INC.

Engineers: Land Surveyors - Land Planners  
20 South 800 West, Suite 1  
Hurricane City, Utah 84737  
Phone: (435) 668-0001



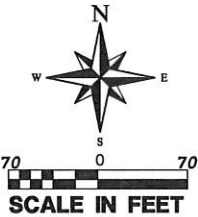


PROPOSED ZONE MAP FOR:  
**RICHARD & KATHLEEN HINTON**

LOCATED IN SECTION 33, T41S, R13W, S.L.B.&M.  
HURRICANE CITY, WASHINGTON COUNTY, UTAH

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- SECTION LINE



OWNER:

HINTON HOLDINGS LLC;  
678 WEST STATE STREET  
HURRICANE, UT 84737

CONTACT:

RICHARD & KATHLEEN HINTON  
(435)-680-2501  
SMALLTOWNAUTO@YAHOO.COM

LEGAL DESCRIPTION FOR AFFECTED PARCELS:

PROPOSED PLANNED DEVELOPMENT R1-8 ZONE LEGAL DESCRIPTION:  
COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 SOUTH, RANGE 13 WEST, OF THE SALT LAKE BASE AND MERIDIAN, THENCE N89°45'32"W ALONG THE QUARTER SECTION LINE OF SAID SECTION 33, 303.00 FEET TO THE POINT OF BEGINNING; THENCE N89°45'32"W ALONG THE QUARTER SECTION LINE OF SAID SECTION 33, 335.00 FEET; THENCE S00°10'58"E 42.36 FEET; THENCE S89°52'40"W 436.53 FEET; THENCE N21°10'08"W 168.39 FEET; THENCE N45°26'40"E 213.00 FEET; THENCE N43°41'43"E 645.41 FEET; THENCE N89°50'31"E 146.32 FEET; THENCE N85°37'10"E 88.78 FEET; THENCE S00°01'17"W 738.42 FEET TO THE POINT OF BEGINNING.

AREA CONTAINS 438,417 SQUARE FEET OR 10.065 ACRES.

PROPOSED HIGHWAY COMMERCIAL LEGAL DESCRIPTION:  
COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 SOUTH, RANGE 13 WEST, OF THE SALT LAKE BASE AND MERIDIAN, THENCE N89°45'32"W ALONG THE QUARTER SECTION LINE OF SAID SECTION 33, 506.07 FEET, THENCE S00°01'17"W 41.52 FEET TO THE POINT OF BEGINNING; THENCE S00°01'17"W 167.19 FEET; THENCE S89°45'32"E 203.07 FEET; THENCE S00°01'12"W 267.33 FEET; THENCE N80°16'29"W 50.90 FEET; THENCE N89°24'57"W 424.92 FEET; THENCE N00°11'35"E 421.86 FEET; THENCE N89°52'38"E 270.73 FEET TO THE POINT OF BEGINNING.

AREA CONTAINS 5,530 SQUARE FEET OR 0.127 ACRES.

HIGHWAY COMMERCIAL LEGAL DESCRIPTION:  
COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 41 SOUTH, RANGE 13 WEST, OF THE SALT LAKE BASE AND MERIDIAN, THENCE N89°45'32"W ALONG THE QUARTER SECTION LINE OF SAID SECTION 33, 506.07 FEET, THENCE S00°01'17"W 41.52 FEET TO THE POINT OF BEGINNING; THENCE S00°01'17"W 167.19 FEET; THENCE S89°45'32"E 203.07 FEET; THENCE S00°01'12"W 267.33 FEET; THENCE N80°16'29"W 50.90 FEET; THENCE N89°24'57"W 424.92 FEET; THENCE N00°11'35"E 421.86 FEET; THENCE N89°52'38"E 270.73 FEET TO THE POINT OF BEGINNING.

AREA CONTAINS 167,655 SQUARE FEET OR 3.849 ACRES.

OWNERS LEGEND:

- A HINTON HOLDINGS LLC - PARCELS: H-3-1-33-3141, H-3-1-33-4221, H-3-1-33-3114
- B SR-9 DETAIL DEVELOPMENT LLC: PARCELS: H-3-1-33-448
- C PORTER ROCKWELL EXECUTIVE SUITES LLC: PARCELS: H-3-1-33-31421, H-3-1-33-3147
- D JANE E STEWART: PARCELS: H-3-1-33-3115
- E RANDY T SIMONSEN LTD: PARCELS: H-3-1-33-3118, H-3-1-33-3111
- F THOMAS E HUGHES & PATTI LU TRS: PARCELS: H-3-1-33-4222
- G HARDY LEONARD W SR & RONDA S: PARCELS: H-3-1-33-42231
- H BRIAN M SANDERSON: PARCELS: H-3-1-33-42302, H-3-1-33-42301
- I BLACKMORE ROSALEE B TR: PARCELS: H-3-1-33-42281, H-3-1-33-4231
- J RYERSON TERRY P TR: PARCELS: PARCELS: H-3-1-33-4226
- K SCOTT T HUGHES: PARCELS: H-3-1-33-4225
- L SNOW ROBERT GARDNER: PARCELS: H-3-1-33-4227
- M REES TERRY & AMBER: PARCELS: H-CWE-7-D
- N LANDAVERDE LEA RAQUEL & DIONICIO: PARCELS: H-CWE-7-E, H-CWE-7-C
- O ASH CREEK SPECIAL SERVICE DIST: PARCELS: H-CWE-7-B
- P FIREROCK SUBDIVISION: PARCELS: H-FIRE-1-8, H-FIRE-1-15, H-FIRE-1-16, H-FIRE-1-17, H-FIRE-1-34, H-FIRE-1-35, H-FIRE-1-36, H-FIRE-1-37, H-FIRE-1-38, H-FIRE-1-39, H-FIRE-1-40, H-FIRE-1-41, H-FIRE-1-42, H-FIRE-1-43, H-FIRE-1-44

ZONE LEGEND:

- RA-1: RESIDENTIAL AGRICULTURAL - 1 UNIT PER ACRE
- PF: PUBLIC FACILITY
- HC: HIGHWAY COMMERCIAL
- PLANNED DEVELOPMENT W/ R1-8 ZONE
- R1-10: RESIDENTIAL - 1 UNIT PER 10,000 SQ. FT.
- PROPOSED HIGHWAY COMMERCIAL (HC)
- EXISTING R1-8 ZONE



NOTICE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

REVISIONS		DATE	BY
NO	DESCRIPTION		

PROVALUE ENGINEERING, INC.

Engineers - Land Surveyors - Land Planners  
20 South 850 West, Suite 1  
Hurricane City, Utah 84737  
Phone: (435) 666-6501



PROPOSED ZONE MAP FOR:  
**RICHARD & KATHLEEN HINTON**

LOCATED IN SECTION 33, T41S, R13W, S.L.B.&M.  
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE: 06/08/2022  
SCALE: 1"=10'

JOB NO.  
699-001

SHEET NO:

**2 OF 2**

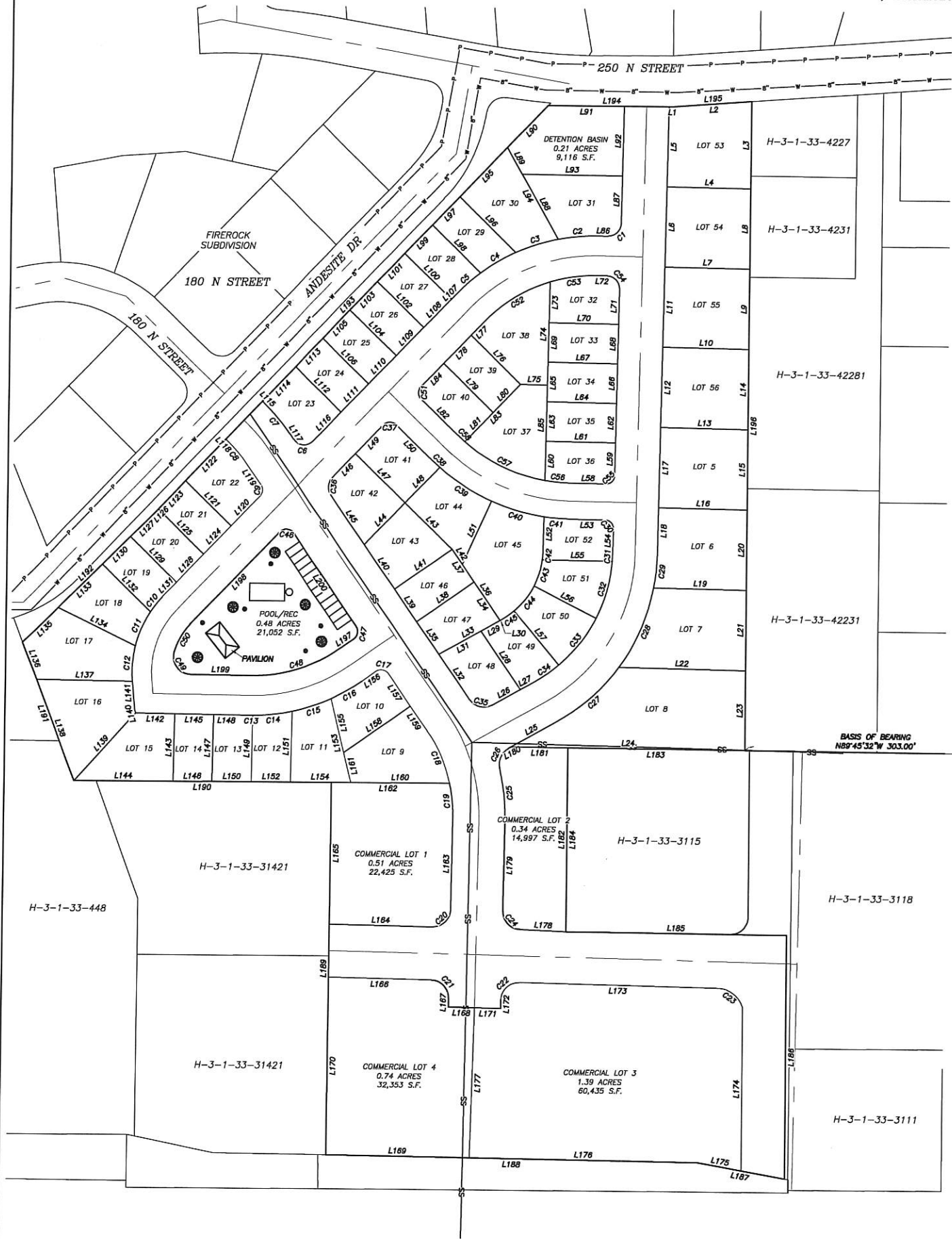


OWNER:  
HINTON HOLDINGS LLC  
678 WEST STATE STREET  
HURRICANE, UT 84737

CONTACT:  
RICHARD & KATHLEEN HINTON  
(435)-680-2501  
SMALLTOWNAUTO@YAHOO.COM

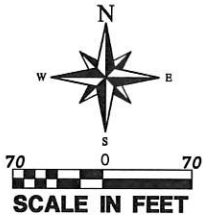
PRELIMINARY SITE PLAN FOR:  
**RICHARD & KATHLEEN HINTON**

LOCATED IN SECTION 33, T41S, R13W, S.L.B.&M.  
HURRICANE CITY, WASHINGTON COUNTY, UTAH



PARCELS		
PARCEL	AREA AC.	AREA Sq. Ft.
1	0.51	22425
2	0.34	14997
3	1.39	60435
4	0.74	32353
5	0.21	9200
6	0.21	9357
7	0.26	11125
8	0.41	18029
9	0.16	6788
10	0.10	4557
11	0.12	5096
12	0.08	3469
13	0.08	3411
14	0.08	3439
15	0.14	6168
16	0.18	7748
17	0.17	7554
18	0.11	4802
19	0.08	3392
20	0.08	3321
21	0.08	3303
22	0.10	4561
23	0.10	4225
24	0.08	3336
25	0.08	3343
26	0.08	3349
27	0.08	3356
28	0.08	3399
29	0.09	3748
30	0.15	6499

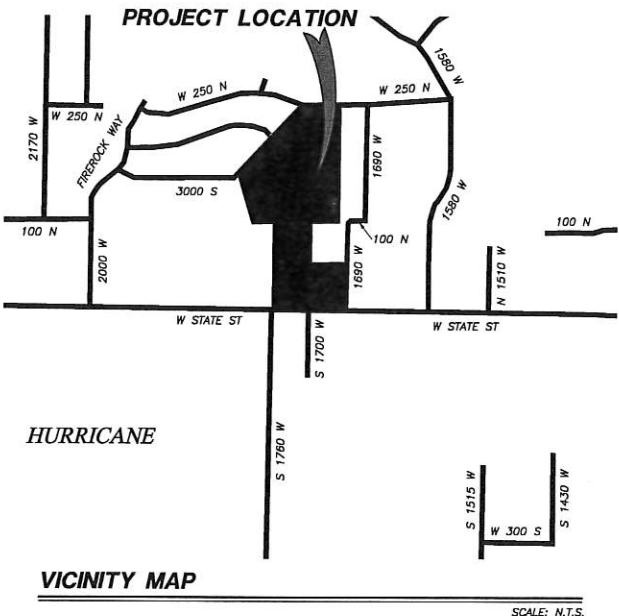
PARCELS		
PARCEL	AREA AC.	AREA Sq. Ft.
31	0.15	6557
32	0.10	4202
33	0.08	3600
34	0.08	3600
35	0.08	3600
36	0.09	3717
37	0.15	6578
38	0.15	6653
39	0.08	3600
40	0.09	3737
41	0.10	4464
42	0.11	4678
43	0.11	4978
44	0.12	5207
45	0.19	8274
46	0.08	3600
47	0.09	3926
48	0.10	4337
49	0.09	3874
50	0.10	4222
51	0.09	3975
52	0.09	3757



NOTICE  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- SECTION LINE
- WATER LINE
- CONTOUR LINE - MAJOR
- CONTOUR LINE - MINOR
- SEWER LINE
- POWER LINE
- GAS LINE
- SECTION CORNER AS DESCRIBED



PROVALUE ENGINEERING, INC.  
Engineers-Land Surveyors - Land Planners  
200 South 200 West, Suite 100  
Hurricane, UT 84737  
Phone: (435) 648-8307



PRELIMINARY SITE PLAN FOR:  
**RICHARD & KATHLEEN HINTON**

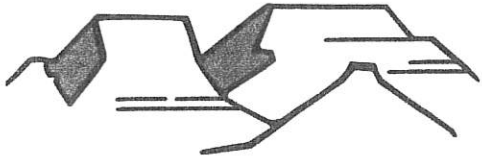
LOCATED IN SECTION 33, T41S, R13W, S.L.B.&M.  
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE: 6/14/2022  
SCALE: 1"=10'

JOB NO.  
699-001

SHEET NO.

1 OF 2



PLANNING & ZONING  
**HURRICANE CITY**  
UTAH

147 N 870 W Hurricane UT  
PHONE: 435.635.2811 FAX: 435.635.2184

**AGRICULTURAL PROTECTION AREA  
APPLICATION**

*For Office Use Only:*

File No. \_\_\_\_\_

Receipt No. \_\_\_\_\_

**APPLICATION & SUBMITTAL CHECKLIST**

Name: Bevin W Johnson Telephone: 435-862-2436

Address: 1235 S 700 W Fax No. \_\_\_\_\_

Email: bevinj3@gmail.com

Agent (If applicable): \_\_\_\_\_ Agent's Phone: \_\_\_\_\_

Agent email: \_\_\_\_\_

Address of Subject Property: 1235 S 700 W

Tax ID of Subject Property: H-3-2-3-23192 Zone District: Block C field survey

Proposed Conditional Use: (Describe, use extra sheet if necessary) \_\_\_\_\_

Raise animal feed and run cattle operation

To be included in an agriculture protection area established within Hurricane City land must consist of at least five (5) contiguous acres.

The application shall include:

1. The land in agriculture production that the proposal sponsors wish to become part of an agriculture protection area.

2. Any limits on the types of agriculture production to be allowed within the agriculture protection area: No limit

3. For each parcel of land: (a) The owners of the land contained within the parcel; (b) The tax parcel number or account number of each parcel; and (c) The number or account number of acres as listed on the parcel tax records.

Owners Name(s)

Tax Parcel #

# of acres

~~Beverly W and Susan S Johnson trust 6.56~~  
Beverly W and Susan S Johnson H-3-2-3-231912 6.56

In order for this to be a complete application, it shall include:

- (a) A plat from the county recorder's office showing each parcel of land with each outlined in color to identify proposed area.
- (b) Application fee, if any, as outlined on the city fee schedule, available from the city recorder/clerk.

In order to apply for agricultural protection, the area being proposed must be evaluated based upon State Code 17-41-305, Criteria to be applied in evaluating proposals for the creation of agriculture protection areas.

In evaluating a proposal and in determining whether or not to create or recommend the creation of an agriculture protection area the advisory committee, planning commission, and county commission shall apply the following criteria:

1. Whether or not the land is currently being used for agriculture production.
2. Whether or not the land is zoned for agriculture use.
3. Whether or not the land is viable for agriculture production.
4. The extent and nature of existing or proposed farm improvements; and
5. Anticipated trends in agriculture and technological conditions.

\*NOTE: the term agricultural production is defined by state law as follows:

State Code 17-41-101 Definitions

"Agriculture production" means production for commercial purposes of crops, livestock, and livestock products, the processing or retail marketing of any crops, livestock, and livestock products when more than 50% of the processed or merchandised products are produced by the farm operator.

List the type(s) of agricultural production that is currently occurring on the parcel(s) being included:

Alfalfa and cattle

Is the parcel(s) irrigated? yes

Describe the types and number of structures that are located on the parcel(s):

~~There~~ none

List the extend and nature of existing or proposed farm improvements:

Plan is to continue raising feed and keep the cattle production

What do you anticipate being the trends in agriculture and technical conditions for the agriculture production on the parcel(s)?

If and when it happens we plan on changing from flood irrigation to pressurized. No development plans

Berni W. Johnson

Signature of Applicant(s)

6/24/2022

Date

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES ☐ NO ☐

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

<b>Agenda Date:</b>	07/14/2022
<b>Application Number:</b>	2022-AP-02
<b>Type of Application:</b>	Agriculture Protection Overlay
<b>Action Type:</b>	Legislative
<b>Applicant:</b>	Bevin Johnson
<b>Agent:</b>	
<b>Request:</b>	A report for the City Council on a proposal to create an Agricultural Protection Area
<b>Location:</b>	1235 S 700 W
<b>Zoning:</b>	RA-0.5
<b>General Plan Map:</b>	<a href="#">Single Family</a>

**Discussion:** This request is not to change the zone but protect the land with an Agricultural Protection Area Overlay Zone. The total size is 6.56 acres. State and City codes set the standards for review by the Planning Commission and the County Agricultural Protection Area Advisory Committee. An Agricultural Protection Area grants certain legal protections to the property, including preventing forced rezoning the property, providing a defense against nuisance actions, notice to new subdivisions, and limiting eminent domain actions. These protections are found in the Utah Code, sections of which are included in this report.

The Dixie Conservation District has given a positive recommendation to this application, their letter is included in this packet.

Zoning	Adjacent Land Use
--------	-------------------

<b>North</b>	RA-1	Agriculture and single family homes
<b>East</b>	RA-0.5	Single family homes, some agriculture
<b>South</b>	RA-0.5, PF	Agriculture use, single family homes, Hurricane Intermediate School
<b>West</b>	RA-0.5. PF	Single family homes, some agriculture, Church

The criteria set by State law (17-41-303) for a “written report to the legislative body” is that it:

1. *Analyzes and evaluates the effect of the creation of the proposed area on the planning policies and objectives of the ....municipality.....:*

The 2021 General Plan states that the city should “*Encourage the use of and support applications for agricultural protection overlay zones.*” The General Plan Map has this area as Single Family which is compatible with agricultural uses.

There are no master planned roadways or other planned utilities that run through the property. Any extensions of roadways or utilities to this property will come at development at the owner's expense.

2. *Analyzes and evaluates the proposal by applying the criteria contained in Section 17-41-305 –*

*In evaluating a proposal and in determining whether or not to create or recommend the creation of an agriculture protection area, industrial protection area, or critical infrastructure materials protection area, the advisory committee, planning commission, and applicable legislative body shall apply the following criteria:*

- (1) *whether or not the land is currently being used for agriculture production, industrial use, or critical infrastructure materials operations, as the case may be;*
- (2) *whether or not the land is zoned for agriculture use, industrial use, or critical infrastructure materials operations, as the case may be;*
- (3) *whether or not the land is viable for agriculture production, industrial use, or critical infrastructure materials operations, as the case may be;*
- (4) *the extent and nature of existing or proposed farm improvements, the extent and nature of existing or proposed improvements to or expansion of the industrial use, or the extent and nature of existing or proposed improvements to or expansion of critical infrastructure materials operations, as the case may be; and*
- (5)
  - (a) *in the case of an agriculture protection area, anticipated trends in agricultural and technological conditions;*
  - (b) *in the case of an industrial protection area, anticipated trends in technological conditions applicable to the industrial use of the land in question; or*

*(c) in the case of a critical infrastructure materials protection area, anticipated trends in technological conditions applicable to the critical infrastructure materials operations of the land in question.*

The land is currently being used for alfalfa growing and cattle grazing. The property is zoned RA-0.5. The applicant intends to continue the current use except for future pressurized irrigation to the property.

3. *Recommends any modifications to the land to be included in the proposed agricultural protection area.*

Staff does not recommend any changes to the land under consideration.

4. *Analyzes and evaluates any objections to the proposal.*

No objections have been received at the time of this writing.

5. *Includes a recommendation to the ....legislative body to either accept, accept and modify, or reject the proposal.*

See the attached letter

**Recommendation:** Staff recommends the Planning Commission review the evaluation criteria, discuss the application with the applicants, and recommend approval of the attached letter to the City Council.



## DIXIE Conservation District Board of Supervisors

Stewart Bowler, Chairman

Colten Iverson, Member

Kelly Blake, Member

Sam Larson, Member

Loyd Jessop, Vice Chairman

### AGRICULTURE ADVISORY BOARD TO THE HURRICANE VALLEY CHAMBER OF COMMERCE

#### Recommendation on a proposed Agriculture Protection Area within Hurricane City.

DATE: 6/28/2022

NAME(S), (see attached copy of APA Proposal for land description):

Bevin W Johnson

As mandated in Section 17-41-305, Utah Code Annotated 1953, as amended, the following criteria were used to evaluate the suitability of this proposal for an Agriculture Protection Area designation in Washington County:

- ☒ 1. Whether or not the land is currently being used for agriculture production;
- ☒ 2. Whether or not the land is zoned for agricultural use;
- ☒ 3. Whether or not the land is viable for agricultural production;
- ☒ 4. The extent and nature of existing or proposed farm improvements; and
- ☒ 5. Anticipated trends in agricultural and technological conditions.

#### REPORT OF RECOMMENDATION:

Modifications, (if any):

Limit on types of agriculture in this APA, (if any);

Recommendation:

Accept ✓

Accept & Modify \_\_\_\_\_

(Modifications must be attached)

Reject \_\_\_\_\_

Stewart Bowler  
Dixie CD / APA Ag. Advisory Board

Loyd Jessop  
Colten Iverson  
Kelly Blake



# HURRICANE CITY

## UTAH

*Planning Commission*

**July 14, 2022**

**Subject: Report to City Council on proposed Agricultural Protection for Parcel H-3-2-3-23193, H-3-2-3-2317, and H-3-2-3-23180**

Hurricane City Council,

The Planning Commission forwards the following findings regarding Agricultural Protection Overlay 2022-AP-03:

1. The land is currently being used for agricultural production or has plans to be used for immediate agricultural production.
2. The land is zoned for agricultural uses, RA-0.5 and RA-1
3. The land is viable for agricultural use
4. The property is congruent with agriculture protection zones
5. Approving the use of this land for agriculture is consistent with current and expected technological trends in agriculture.

Future Use

1. The General Plan maps have the area listed as Single Family

### **Recommendation**

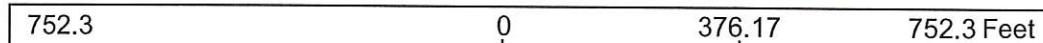
The Planning Commission recommends that the City Council approve the overlay request for parcel H-3-2-3-23193, H-3-2-3-2317, and H-3-2-3-23180.





## Subdivisions

- ## Notes

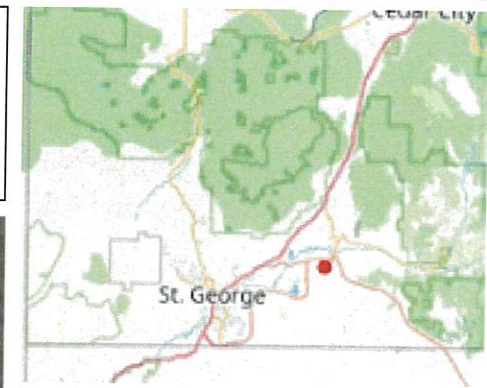
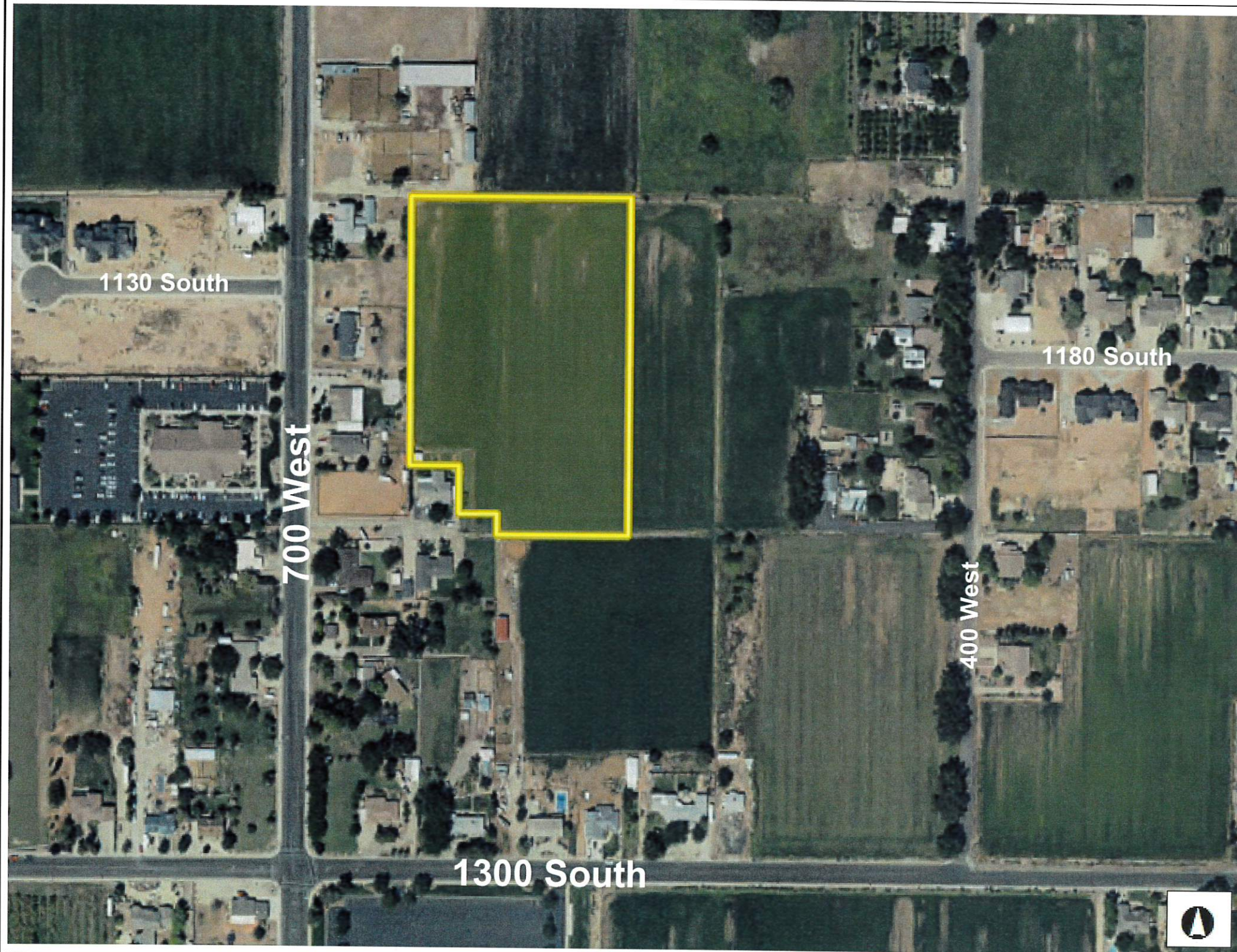


*DISCLAIMER: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.*





# Ag Protection



Legend

Notes

752.3 0 376.17 752.3 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

*DISCLAIMER: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.*





PLANNING & ZONING  
**HURRICANE CITY**  
UTAH

147 N 870 W Hurricane UT  
PHONE: 435.635.2811 FAX: 435.635.2184

**AGRICULTURAL PROTECTION AREA  
APPLICATION**

*For Office Use Only:*

File No. 2022-AP-03

Receipt No. \_\_\_\_\_

**APPLICATION & SUBMITTAL CHECKLIST**

Name: Dale W. Johnson Telephone: 435-275-5721  
Address: 1239 S. 700 W. Fax No. \_\_\_\_\_  
Email: dale9168@gmail.com  
Agent (If applicable): \_\_\_\_\_ Agent's Phone: \_\_\_\_\_  
Agent email: \_\_\_\_\_  
Address of Subject Property: 1239 S. 700 West Hurricane, Utah  
Tax ID of Subject Property: H-3-2-3-23193 / H-3-2-3-23180 Zone District: Block 6 Field Sur.  
Proposed Conditional Use: (Describe, use extra sheet if necessary) \_\_\_\_\_  
Raise animal feed and run cattle operation

To be included in an agriculture protection area established within Hurricane City land must consist of at least five (5) contiguous acres.

The application shall include:

1. The land in agriculture production that the proposal sponsors wish to become part of an agriculture protection area.

2. Any limits on the types of agriculture production to be allowed within the agriculture protection area: \_\_\_\_\_

3. For each parcel of land: (a) The owners of the land contained within the parcel; (b) The tax parcel number or account number of each parcel; and (c) The number or account number of acres as listed on the parcel tax records.



Owners Name(s)	Tax Parcel #	# of acres
Dale & Cheri Johnson	H-3-2-3-23192	2.81
	H-3-2-3-2317	1.00
	H-3-2-3-23180	3.74
Total		7.55

In order for this to be a complete application, it shall include:

- (a) A plat from the county recorder's office showing each parcel of land with each outlined in color to identify proposed area.
- (b) Application fee, if any, as outlined on the city fee schedule, available from the city recorder/clerk.

In order to apply for agricultural protection, the area being proposed must be evaluated based upon State Code 17-41-305, Criteria to be applied in evaluating proposals for the creation of agriculture protection areas.

In evaluating a proposal and in determining whether or not to create or recommend the creation of an agriculture protection area the advisory committee, planning commission, and county commission shall apply the following criteria:

1. Whether or not the land is currently being used for agriculture production.
2. Whether or not the land is zoned for agriculture use.
3. Whether or not the land is viable for agriculture production.
4. The extent and nature of existing or proposed farm improvements; and
5. Anticipated trends in agriculture and technological conditions.

\*NOTE: the term agricultural production is defined by state law as follows:

State Code 17-41-101 Definitions

"Agriculture production" means production for commercial purposes of crops, livestock, and livestock products, the processing or retail marketing of any crops, livestock, and livestock products when more than 50% of the processed or merchandised products are produced by the farm operator.

List the type(s) of agricultural production that is currently occurring on the parcel(s) being included:

Alfalfa and cattle

Is the parcel(s) irrigated? yes

Describe the types and number of structures that are located on the parcel(s):

1 Hay Barn, corals

List the extend and nature of existing or proposed farm improvements:

Plan is to continue raising feed and keep the cattle production going.

What do you anticipate being the trends in agriculture and technical conditions for the agriculture production on the parcel(s)?

If and when it happens, we plan on changing from flood irrigation to pressurized. No plans what so ever to develop.

Dale Johnson

Signature of Applicant(s)

6/24/2022

Date

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES ☐ NO ☐

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

<b>Agenda Date:</b>	07/14/2022
<b>Application Number:</b>	2022-AP-03
<b>Type of Application:</b>	Agriculture Protection Overlay
<b>Action Type:</b>	Legislative
<b>Applicant:</b>	Dale Johnson
<b>Agent:</b>	
<b>Request:</b>	A report for the City Council on a proposal to create an Agricultural Protection Area
<b>Location:</b>	1239 S 700 W
<b>Zoning:</b>	RA-1, RA-0.5
<b>General Plan Map:</b>	<a href="#">Single Family</a>

**Discussion:** This request is not to change the zone but protect the land with an Agricultural Protection Area Overlay Zone. The total size is 7.55 acres. State and City codes set the standards for review by the Planning Commission and the County Agricultural Protection Area Advisory Committee. An Agricultural Protection Area grants certain legal protections to the property, including preventing forced rezoning the property, providing a defense against nuisance actions, notice to new subdivisions, and limiting eminent domain actions. These protections are found in the Utah Code, sections of which are included in this report.

The Dixie Conservation District has given a positive recommendation to this application, their letter is included in this packet.

Zoning	Adjacent Land Use
--------	-------------------

<b>North</b>	RA-1, RA-0.5	Agriculture and single family homes
<b>East</b>	RA-0.5, RA-1	Single family homes, some agriculture
<b>South</b>	RA-0.5, PF	Agriculture use, single family homes, Hurricane Intermediate School
<b>West</b>	RA-0.5. PF	Single family homes, some agriculture, Church

The criteria set by State law (17-41-303) for a “written report to the legislative body” is that it:

1. *Analyzes and evaluates the effect of the creation of the proposed area on the planning policies and objectives of the ....municipality.....:*

The 2021 General Plan states that the city should “*Encourage the use of and support applications for agricultural protection overlay zones.*” The General Plan Map has this area as Single Family which is compatible with agricultural uses.

There are no master planned roadways or other planned utilities that run through the property. Any extensions of roadways or utilities to this property will come at development at the owner's expense.

2. *Analyzes and evaluates the proposal by applying the criteria contained in Section 17-41-305 –*

*In evaluating a proposal and in determining whether or not to create or recommend the creation of an agriculture protection area, industrial protection area, or critical infrastructure materials protection area, the advisory committee, planning commission, and applicable legislative body shall apply the following criteria:*

- (1) *whether or not the land is currently being used for agriculture production, industrial use, or critical infrastructure materials operations, as the case may be;*
- (2) *whether or not the land is zoned for agriculture use, industrial use, or critical infrastructure materials operations, as the case may be;*
- (3) *whether or not the land is viable for agriculture production, industrial use, or critical infrastructure materials operations, as the case may be;*
- (4) *the extent and nature of existing or proposed farm improvements, the extent and nature of existing or proposed improvements to or expansion of the industrial use, or the extent and nature of existing or proposed improvements to or expansion of critical infrastructure materials operations, as the case may be; and*
- (5)
  - (a) *in the case of an agriculture protection area, anticipated trends in agricultural and technological conditions;*
  - (b) *in the case of an industrial protection area, anticipated trends in technological conditions applicable to the industrial use of the land in question; or*



*(c) in the case of a critical infrastructure materials protection area, anticipated trends in technological conditions applicable to the critical infrastructure materials operations of the land in question.*

The land is currently being used for alfalfa growing and cattle grazing. The property is zoned RA-0.5 and RA-1. The applicant intends to continue the current use with the exception of future pressurized irrigation to the property..

3. *Recommends any modifications to the land to be included in the proposed agricultural protection area.*

Staff does not recommend any changes to the land under consideration.

4. *Analyzes and evaluates any objections to the proposal.*

No objections have been received at the time of this writing.

5. *Includes a recommendation to the ....legislative body to either accept, accept and modify, or reject the proposal.*

See the attached letter

**Recommendation:** Staff recommends the Planning Commission review the evaluation criteria, discuss the application with the applicants, and recommend approval of the attached letter to the City Council.

## DIXIE Conservation District Board of Supervisors

Stewart Bowler, Chairman

Colten Iverson, Member

Kelly Blake, Member

Sam Larson, Member

Loyd Jessop, Vice Chairman

### AGRICULTURE ADVISORY BOARD TO THE HURRICANE VALLEY CHAMBER OF COMMERCE

#### Recommendation on a proposed Agriculture Protection Area within Hurricane City.

DATE: 6/28/2022

NAME(S), (see attached copy of APA Proposal for land description):

Dale W Johnson

As mandated in Section 17-41-305, Utah Code Annotated 1953, as amended, the following criteria were used to evaluate the suitability of this proposal for an Agriculture Protection Area designation in Washington County:

- 1. Whether or not the land is currently being used for agriculture production;
- 2. Whether or not the land is zoned for agricultural use;
- 3. Whether or not the land is viable for agricultural production;
- 4. The extent and nature of existing or proposed farm improvements; and
- 5. Anticipated trends in agricultural and technological conditions.

#### REPORT OF RECOMMENDATION:

Modifications, (if any):

Limit on types of agriculture in this APA, (if any);

Recommendation:

Accept ✓

Accept & Modify \_\_\_\_\_

(Modifications must be attached)

Reject \_\_\_\_\_

Stewart Bowler  
Dixie CD / APA Ag. Advisory Board

Loyd Jessop  
Kelly Blake



# HURRICANE CITY

## UTAH

*Planning Commission*

**July 14, 2022**

**Subject: Report to City Council on proposed Agricultural Protection for Parcel H-3-2-3-23-193, H-3-2-3-2317, and H-3-2-3-23180.**

Hurricane City Council,

The Planning Commission forwards the following findings regarding Agricultural Protection Overlay 2022-AP-03:

1. The land is currently being used for agricultural production or has plans to be used for immediate agricultural production.
2. The land is zoned for agricultural uses, RA-1 and RA-0.5
3. The land is viable for agricultural use
4. The property is congruent with agriculture protection zones
5. Approving the use of this land for agriculture is consistent with current and expected technological trends in agriculture.

Future Use

1. The General Plan maps have the area listed as Single Family

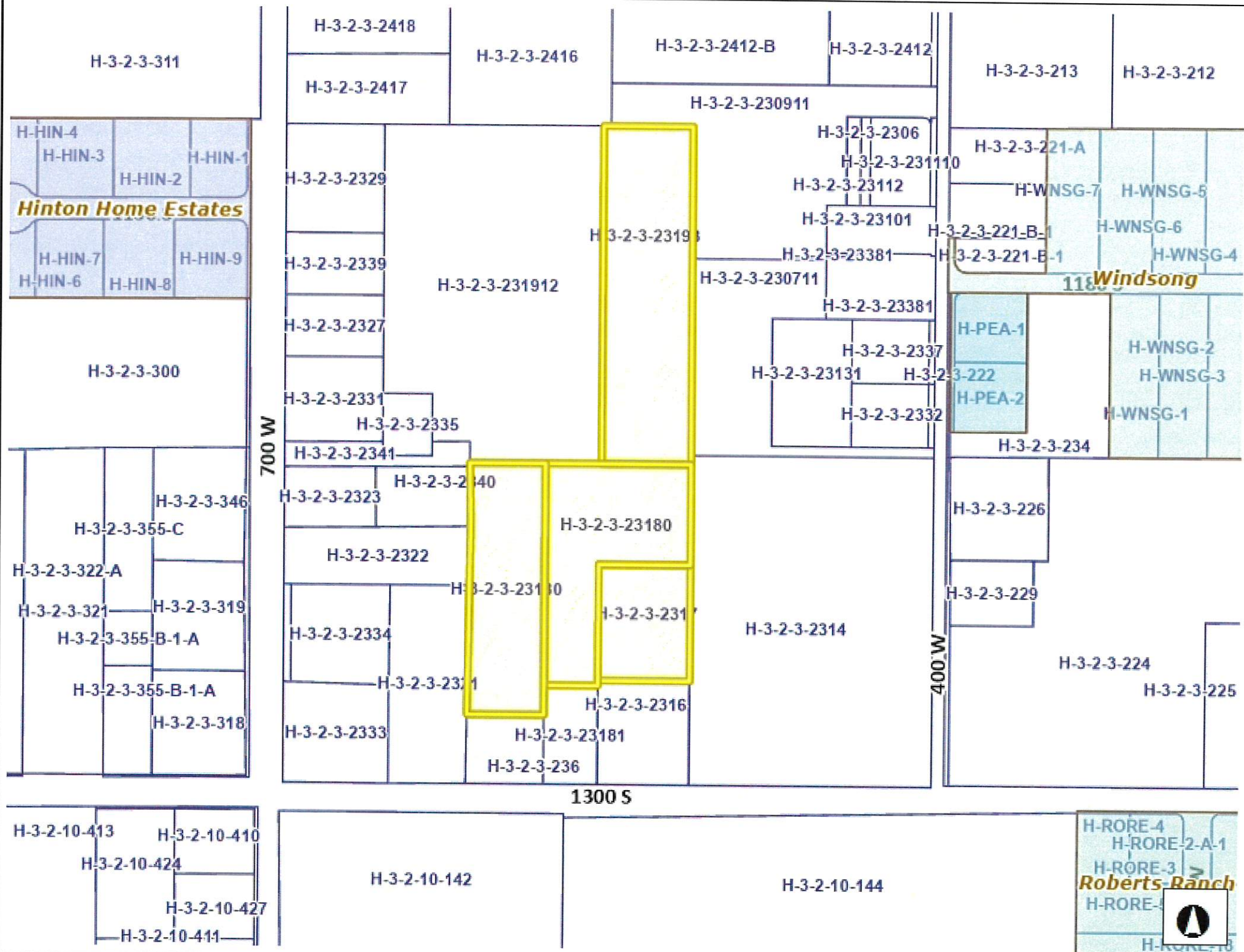
### **Recommendation**

The Planning Commission recommends that the City Council approve the overlay request for parcel H-3-2-3-231912.





# Ag Protection



## Legend

- Subdivision Phases
- Subdivisions
- 251 W HILTON DR PLAZA
  - 3 LITTLE BIRDS
  - 3202 EAST CRIMSON RIDGE DR
  - 350 N INDUSTRIAL COMMERCIAL
  - 3D COMMERCIAL CENTER
  - 476 EAST RIVERSIDE CENTER
  - 700 SOUTH COMMERCIAL
  - 900 SOUTH COMMERCIAL
  - 920 WEST SUBDIVISION
  - ADAMSON
  - ADOBE HILLS
  - AFTERTHOUGHT
  - AL TRUMAN
  - ALBERTSONS CENTER
  - ALBORADA
  - ALMOND HEIGHTS PARK
  - ALPHA 1 TH
  - ALPINE
  - ANASAZI HILLS AT ENTRADA
  - ANASAZI PLATEAU
  - ANASAZI RIDGE AT ENTRADA
  - ANCESTOR EST
  - ANCESTOR SQUARE
  - ANCESTOR SQUARE CONDO

## Notes

752.3 0 376.17 752.3 Feet

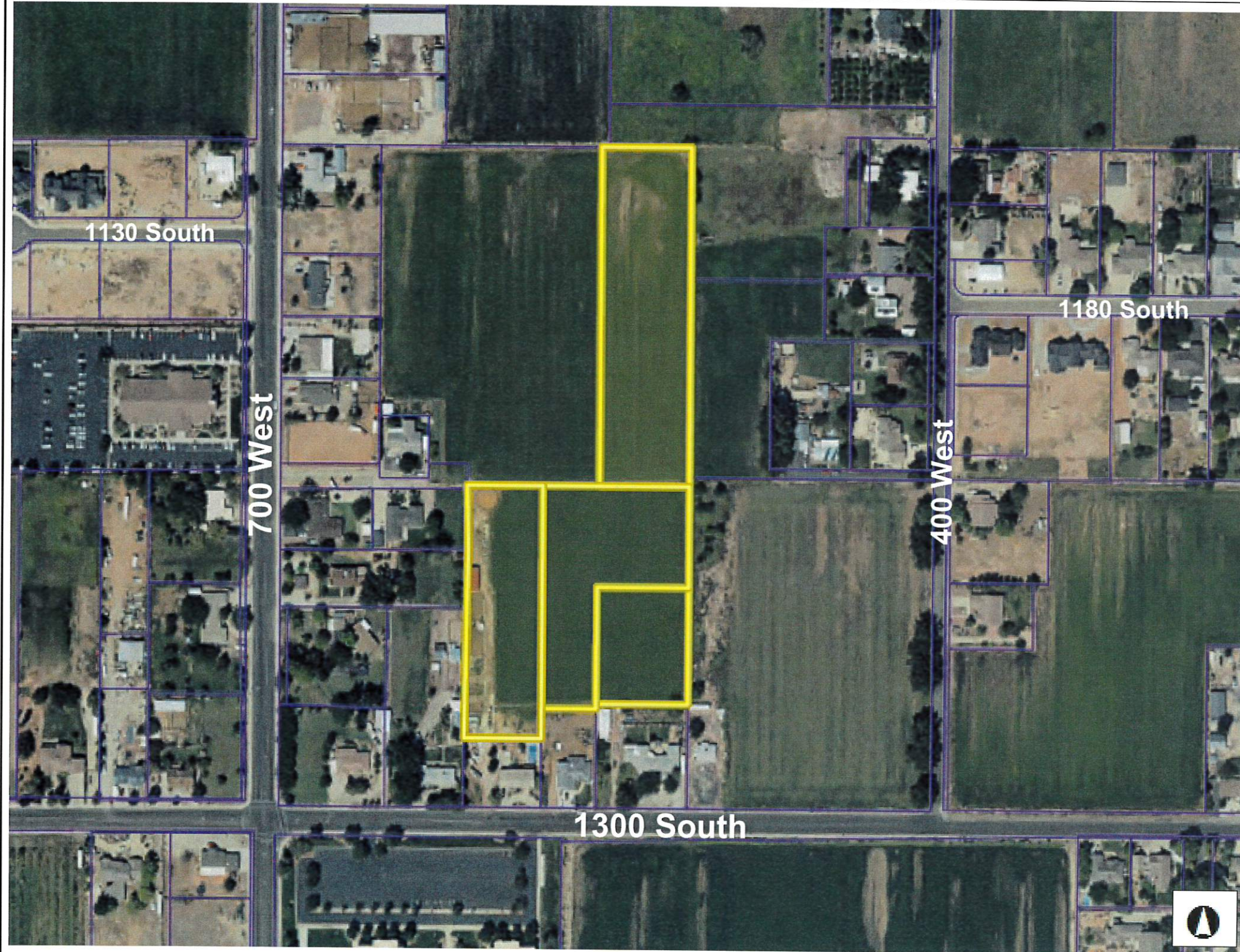
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

DISCLAIMER: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.





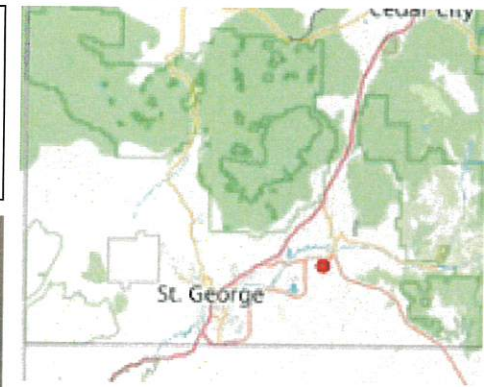
# Ag Protection



752.3 0 376.17 752.3 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

*DISCLAIMER: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.*

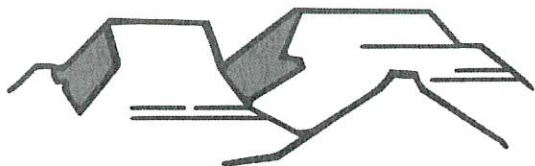


## Legend

 Parcels

## Notes





PLANNING & ZONING  
**HURRICANE CITY**  
UTAH

147 N 870 W Hurricane UT  
PHONE: 435.635.2811 FAX: 435.635.2184

## CONDITIONAL USE PERMIT

For office use only: \$250.00 Fee  
File No. 2022-CUP-14  
Receipt No. 8.159726

### APPLICATION & SUBMITTAL CHECKLIST

Name: JOHN BRAMALL Telephone: 435-632-4234  
Address: 1375 W 3150 S Fax No. \_\_\_\_\_  
Email: johnbramall@gmail.com Agent Email: \_\_\_\_\_  
Agent (If applicable): Cotten Iverson Agent's Phone: 435-215-3847  
Agent email: Cotteniverson@gmail.com  
Address of Subject Property: 1375 W 3150 S  
Tax ID of Subject Property: H-3394-F Zone District: RA-1  
Proposed Conditional Use: (Describe, use extra sheet if necessary) BUILDING ADU that  
is greater SIZE allowed > 2000 sq.ft.  
(greater height + size)

This application shall be accompanied by the following:

— Previously Submitted

- \_\_\_ 1) A plot plan showing the following:
- \_\_\_ Property boundaries, dimensions, and existing streets.
  - \_\_\_ Location of existing and proposed building or livestock facility
  - \_\_\_ Adjoining property lines and uses within one hundred (100) feet of subject property.
- \_\_\_ 2) A reduced copy of all plans (8 1/2 x 11 if readable, or 11 x 17) if original plans are larger.
- \_\_\_ 3) Building floor plans for new construction
- \_\_\_ 4) A statement of how the applicant intends to meet the conditions for the use desired
- \_\_\_ 5) Signed and notarized Affidavit of Property owner showing evidence that the applicant has control of the property or copy of warranty deed

NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application cannot be reviewed until it is complete. Fee is part of the application.

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Received by: \_\_\_\_\_

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

<b>Agenda Date:</b>	07/14/2022
<b>Application Number:</b>	2022-CUP-14
<b>Type of Application:</b>	Conditional Use Permit
<b>Action Type:</b>	Administrative
<b>Applicant:</b>	John Bramall
<b>Agent:</b>	Colten Iverson
<b>Request:</b>	A conditional use permit for a building with a greater height and size
<b>Location:</b>	1375 W 3150 S
<b>Zoning:</b>	RA-1
<b>General Plan Map:</b>	N/A

**Discussion:** The applicant proposes constructing a 5,331 sq. ft. and 25.5' tall accessory dwelling unit. Hurricane City Code (HCC) 10-13-4 allows the maximum square feet and height of an accessory building to be 2,000 sq. ft. and 20' tall. A property owner may apply for a conditional use permit to build a taller and larger building. The standards to obtain a conditional use permit are as follows:

*10-7-9: CONDITIONAL USE PERMIT E. Approval Standards: The following standards shall apply to the issuance of a conditional use permit:*

- 1. A conditional use permit may be issued only when the proposed use is shown as conditional in the zone where the conditional use will be located, or by another provision of this title.*
- 2. Standards for each use must be reviewed. Specific standards are set forth for each use in subsections E2a through E2g of this section: ...*

*e. Standards for greater heights and size than permitted by this Code:*

*(1) The height may not be greater than two (2) stories or 1.5 times the average height of the immediately adjacent buildings, whichever is greater and the building must be of compatible architecture with immediately adjacent buildings.*

*(2) When a greater height accessory building is approved, the building must be set back a minimum of five feet (5') from side and rear property lines when the adjoining property is for single family residential use.*

*f. Standards for greater size than permitted by this Code.*

*(1) The greater size building desired must be of compatible architecture with immediately adjacent buildings.*

- (2) *At least 50 percent of the lot on which the building is located must remain free of buildings.*
- (3) *The building must be for a use permitted in the zone in which it is located.*

The other question at hand is if the proposed building meets the following section of the City Accessory Dwelling Unit Code:

***Sec. 10-41-4. - Development standards; permitted use. (ADUs)***

*G. Secondary use. The accessory dwelling unit shall be clearly incidental and secondary to the primary use of the dwelling for residential purposes.*

The proposed application brings this statement into question because of the size and proposed use of the property. The proposed ADU is smaller than the existing home on the property.

**Two ADUs**

The applicant has proposed to have two ADU as part of the buildings. Hurricane City recently updated its code to allow for up to two ADUs on a larger lot. The approval for two ADUs on a property is an administrative review and will need to be approved by the Zoning Administrator. The standards are as follows:

**10-7-9 Conditional Use Permits (e)(2)**

*l. Standards for multiple accessory dwelling units in a residential, agriculture, or commercial zone.*

- (1) *Multiple accessory dwelling units may be permitted based on the lot area of the property at a rate in the table below assuming all other conditions for an accessory dwelling unit are met.*

**EXPAND**

<i>Lot area</i>	<i>Number of accessory dwelling units</i>
<i>0.79 acres or smaller</i>	<i>1</i>
<i>0.8 acres and greater</i>	<i>2</i>

- (2) *Fifty percent of the land area on the lot must be free of buildings.*
- (3) *A parking plan must be provided that shows adequate off street parking on the lot at a rate of one space per bedroom.*
- (4) *A landscape plan must be provided that shows how buildings will be shielded from other residential lots.*
- (5) *Occupancy plan: no more than ten people can stay in one building.*
- (6) *Only one accessory dwelling unit can be used as a short-term rental. All others must be for long term occupancy or as a guesthouse for non-paying guests.*



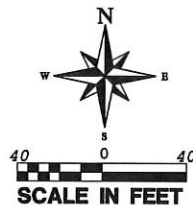
(7) *Separate conditional use permits must be received for every accessory building that does not meet the height or size requirements of [10-13-4](#).*

**Findings:**

1. The proposed building is not greater than two stories.
2. The total building coverage from the two buildings is approximately 10,000 sq ft which is approximately 2.3% of the lot
3. The building is set back a minimum of 5' from the side property lines and 5' off the back.
4. An administrative conditional use permit will be required for the casita shown on these plans. The property is large enough for a second ADU.
5. The proposed building has less square feet and a smaller footprint on the property.

**Recommendation:** Staff recommends approval of the conditional use permit subject to exclusively being used for a secondary use to the primary building and that the applicant obtain a conditional use permit from the Zoning Administrator for the second ADU.





# SITE & SEPTIC PLAN FOR: BRAMALL ADU RESIDENCE

LOCATED IN SECTION 21, T42S, R13W, S.L.B.#M.  
WASHINGTON COUNTY, UTAH

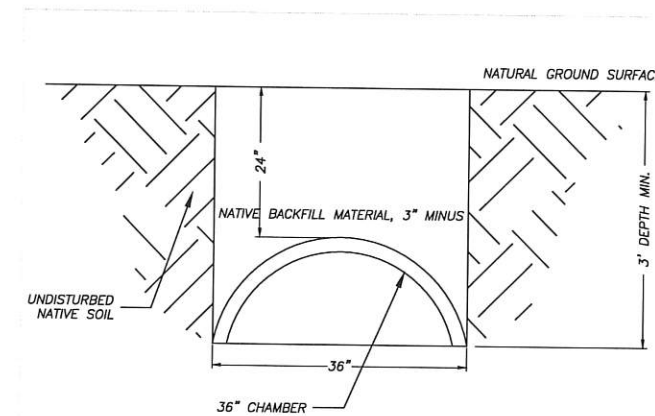
## SEPTIC DESIGN REQUIREMENTS

NO. OF BEDROOMS	= 6
TOTAL DAILY FLOW	= 900 GPD
SYSTEM TYPE	= ABSORPTION SEPTIC
SOIL TYPE	= SANDY LOAM
HYDRAULIC LOADING	= 0.65 GAL/SQFT/DAY
TOTAL REQUIRED AREA	= 970 SQ.FT
W/ 30% REDUCTION	
ABSORPTION WIDTH	= 3 FT
TOTAL ABSORPTION TRENCH LENGTH	= 324 FT
NUMBER OF TRENCHES	= 3
LENGTH OF EACH TRENCH	= 108 FEET
SEPTIC TANK SIZE	= 1,750 GALLONS
TANK MANUFACTURER	= GENEVA PIPE

STANDARD TRENCH		
MINIMUM REQ'D DISTANCES		
FROM	TO	DISTANCE (FT)
TRENCH	FOUNDATION	20
TRENCH	SEPTIC TANK	5
TRENCH	PROPERTY LINE	5
FOUNDATION	SEPTIC TANK	5
TRENCH	TRENCH	7

## LEGEND

	PROPERTY LINE
	OLD PROPERTY LINE
	EXISTING FENCE
	SECTION LINE
	EXISTING EDGE OF PAVEMENT
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	PROPOSED 4" SEWER LATERAL
	EXISTING IRRIGATION
	EXISTING WATER
	PROPOSED WATER SERVICE
	PROPOSED POWER
	EXISTING POWER
	SEWER LINE
	PROPOSED SEWER CLEANOUT
	TEST PIT
	EXISTING WATER METER



CHAMBER TRENCH DETAIL



PROJECT  
LOCATION

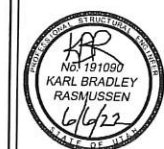
OWNER:  
CONTACT: COLTEN IVERSON  
(435) 215-3847



## NOTICE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

PROVALUE ENGINEERING, INC.  
Engineers - Land Surveyors - Land Planners  
20 South 850 West, Suite 1  
Hurricane City, Utah 84737  
Phone: (435) 666-6867



SITE & SEPTIC PLAN FOR:  
**BRAMALL ADU RESIDENCE**  
1375 W 3150 S  
HURRICANE, UT - 84737  
LOCATED IN SECTION 21, T42S, R13W, S.L.B.#M.

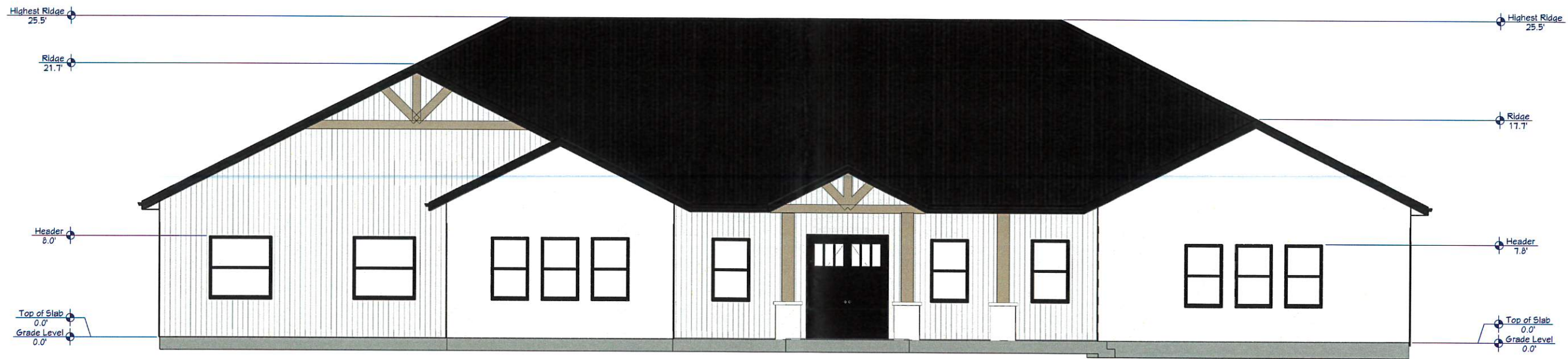
DATE: 06/06/2022  
SCALE: 1"=40'

JOB NO.  
117-007

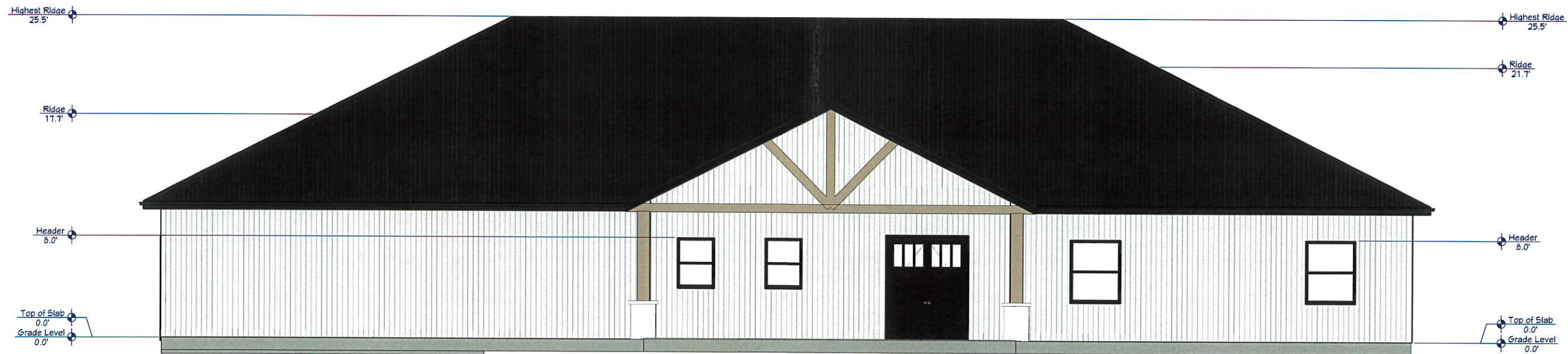
SHEET NO.  
**1**

SITE & SEPTIC PLAN





FRONT ELEVATION  
1/4" = 1'



REAR ELEVATION  
1/4" = 1'

SHEET NUMBER

A3

SCALE: SEE VIEW

JUNE 8, 2022

DRAWING BY: K. R.

EXTERIOR  
ELEVATIONS

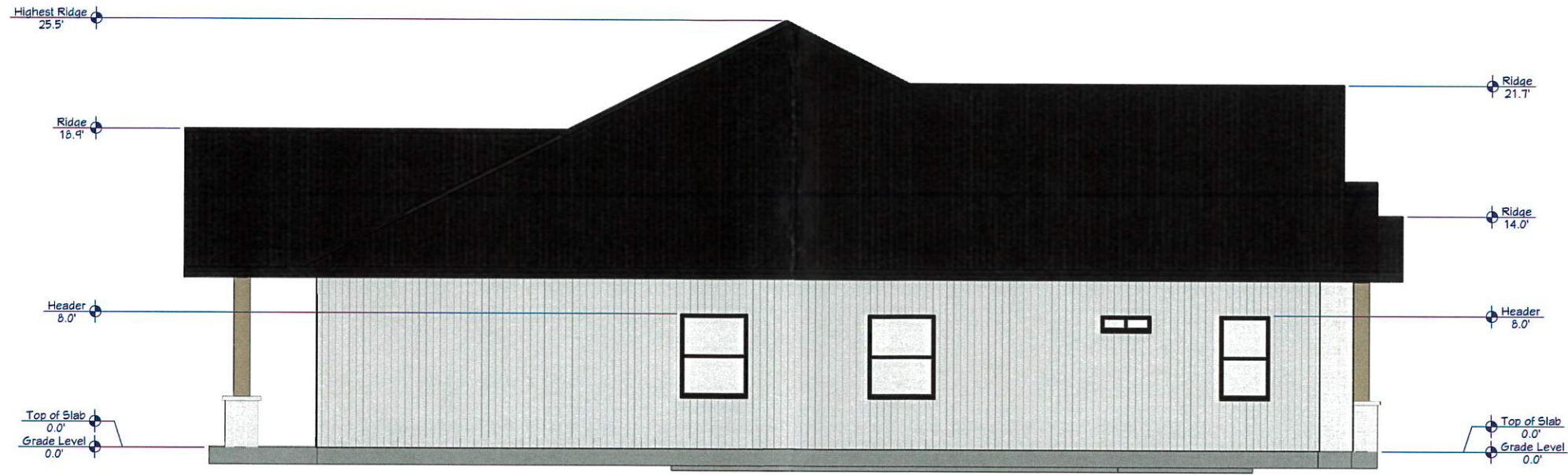
IVERSON RESIDENTS

PROVALUE ENGINEERING, INC.

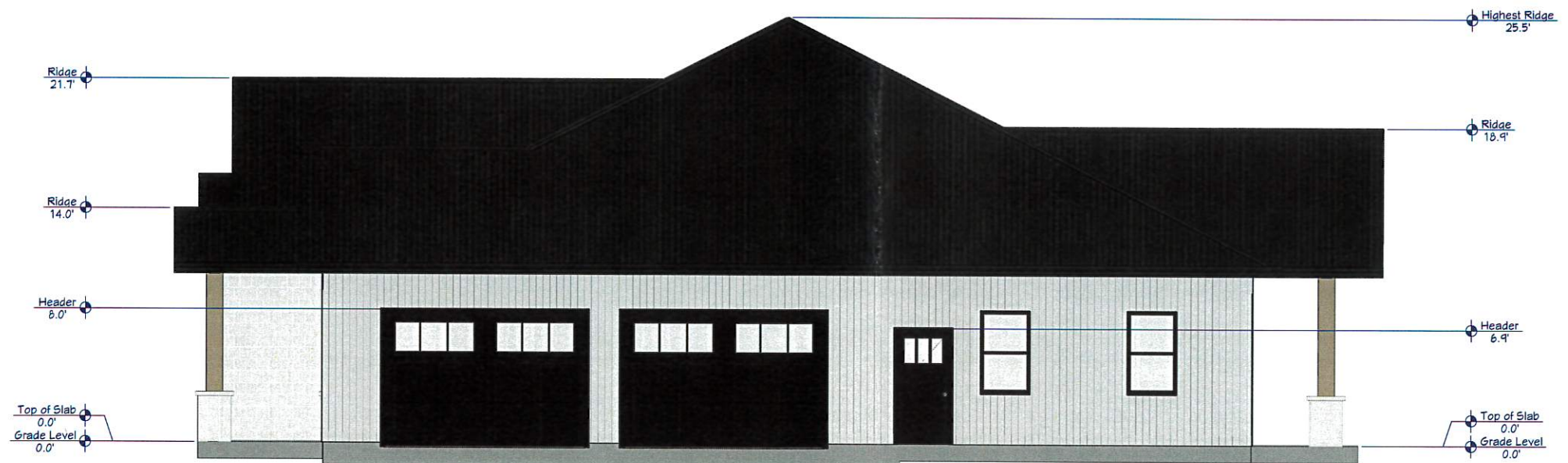


20 South 850 West #1, Hurricane, UT 84131  
435-666-9307  
www.pv-eng.com





LEFT ELEVATION  
1/4" = 1'




RIGHT ELEVATION  
1/4" = 1'

SHEET NUMBER  
**A4**

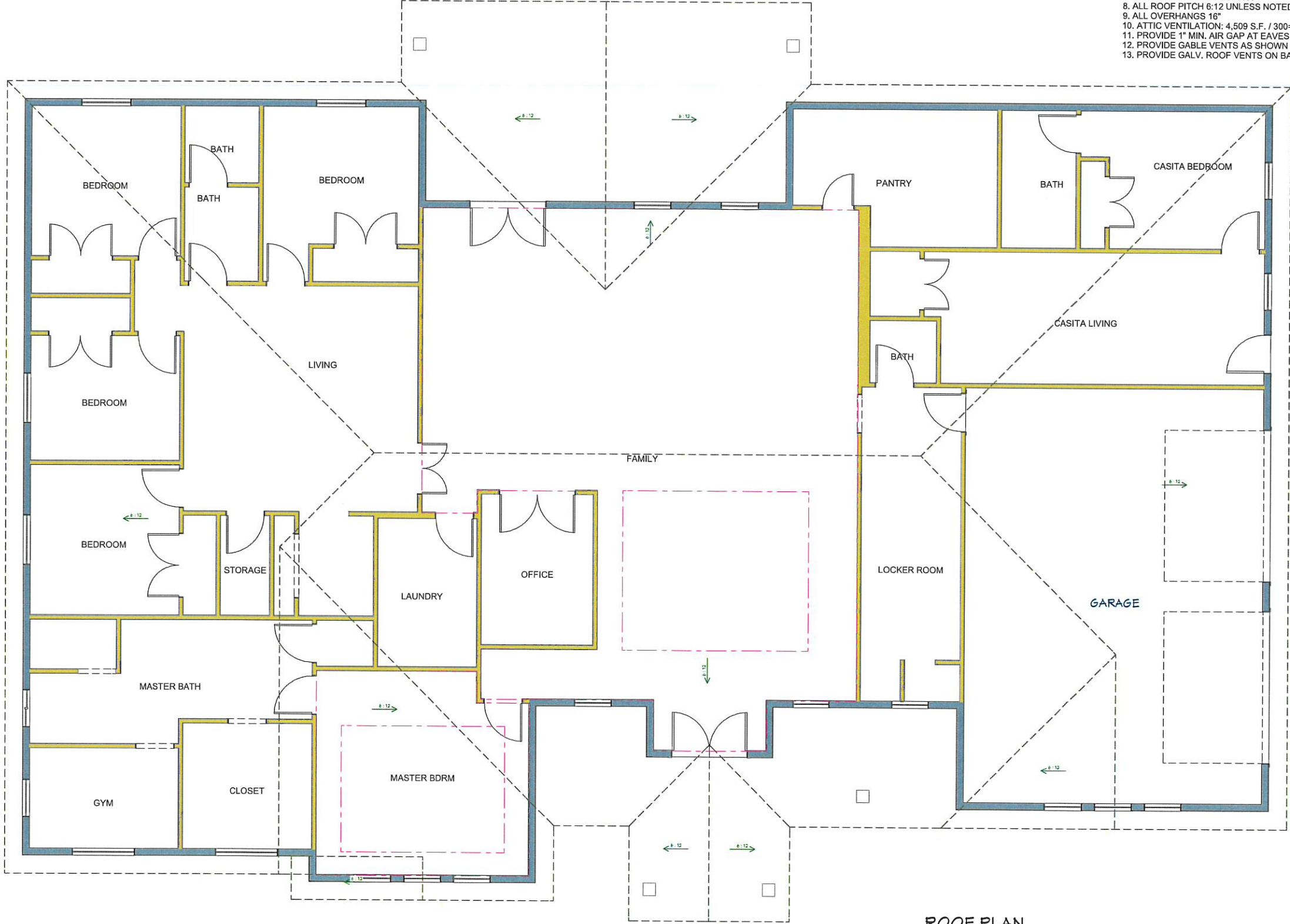
SCALE: SEE VIEW  
JUNE 8, 2022  
DRAWING BY: K.R.

EXTERIOR  
ELEVATIONS

IVERSON RESIDENTS

**PROVALUE ENGINEERING, INC.**  
  
 20 South 850 West #1, Hurricane, UT 84731  
 435-668-9307 www.pv-eng.com





- TRUSS NOTES:
- 1. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.
  - 2. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS.
  - 3. ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.
  - 4. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
  - 5. NON BEARING WALLS SHOULD BE HELD DOWN FROM THE TRUSS BOTTOM CHORD W/ SIMPSON STC TO INSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL.
  - 6. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURE.
  - 7. ALL ROOF FRAMING 24" O.C.
  - 8. ALL ROOF PITCH 6:12 UNLESS NOTED OTHERWISE
  - 9. ALL OVERHANGS 18"
  - 10. ATTIC VENTILATION: 4.509 S.F. / 300=15.03 S.F. REQUIRED ABOVE HOUSE.
  - 11. PROVIDE 1" MIN. AIR GAP AT EAVES WITH INSULATION BAFFLES TYP. AT ALL TRUSS BAYS.
  - 12. PROVIDE GABLE VENTS AS SHOWN ON ELEVATIONS.
  - 13. PROVIDE GALV. ROOF VENTS ON BACKSIDE OF ROOFLINE ABOVE CONDITIONED AREA.

SHEET NUMBER	A5
SCALE: SEE VIEW	JUNE 8, 2022
DRAWING BY: K.R.	

ROOF PLAN

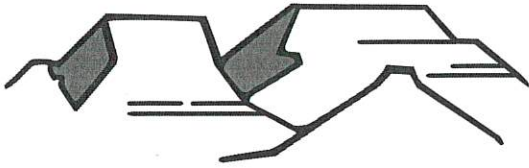
IVERSON RESIDENTS

PROVALUE ENGINEERING, INC.  
20 South 850 West #1, Hurricane, UT 84131  
435-668-8307  
www.pv-eng.com



ROOF PLAN  
1/4"= 1'

MAIN LIVING AREA  
3940 SQ FT



# PLANNING & ZONING HURRICANE CITY UTAH

147 N 870 W Hurricane UT  
PHONE: 435.635.2811 FAX: 435.635.2184

## FINAL SITE PLAN APPLICATION

*For office use only: \$250.00 Fee*

File No. 2022-FSP-07

Receipt No. 7696759

Name: Henry Hill Oil Services LLC Telephone: \_\_\_\_\_

Address: 5500 S Holladay Blvd, Holiday, UT 84117 Fax No. \_\_\_\_\_

Agent (If Applicable): Matt Lowe Telephone: 801-648-8229

Email: matt@lowecompanies.com Agent Email: - same -

Address/Location of Subject Property: Northwest corner of State St & 500 N

Tax ID of Subject Property: H-286-A-1 Zone District: RR

Proposed Use: (Describe, use extra sheet if necessary) Resort (nightly rental) & Restaurant

Submittal Requirements: This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1" = 100'
- Submit one (1) set of plans on 11 x 17-inch paper. Also submit one (1) copy of all plans on larger sheets whenever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

1) Site plan including:

- ☒ a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary.
- ☒ b) Layout, dimensions, and names of existing and future road rights-of-way.
- ☒ c) Project name, North arrow, and tie to a section monument.
- ☒ d) The boundary lines of the project site with bearings and distances.
- ☒ e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas.
- ☒ f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment.
- ☒ g) Location of man-made features including irrigation facilities, bridges, and buildings

<b>Agenda Date:</b>	7/14/2022
<b>Application Number:</b>	2022-FSP-07
<b>Type of Application:</b>	Final Site Plan Application
<b>Action Type:</b>	Administrative
<b>Applicant:</b>	Henry Hill Oil Services LLC
<b>Agent:</b>	Matt Lowe
<b>Request:</b>	Approval of a Final Site Plan
<b>Location:</b>	Northwest corner of State St and 500 N
<b>Zoning:</b>	Recreation Resort
<b>General Plan Map:</b>	General Commercial

**Discussion:** The applicant is seeking a final site plan for 5.002 acres, containing 37 total short-term rental townhomes. The overall density is 7.39 units an acre, the area had been rezoned to Recreation Resort almost a year ago. The proposed site plan largely conforms with the preliminary site plan submitted last year.

### JUC Comments

The Joint Utility Committee has signed off on the construction drawings for this project.

### Staff Comments: Final Site Plan

1. This applicant had submitted a preliminary plat and site plan prior to the update to Hurricane City Recreation Resort Standard Change. The final site plan approval is based on the previous standard.
2. The lot layout and sizes comply with zoning standards and the preliminary approval.
3. **Landscaping:** A landscaping plan has been provided:
  - a. HCC 10-32-5 states:
    - i. *Landscaping adjacent to a public street. Except for approved driveways and pedestrian walkways, a landscaped area of ten-foot minimum shall be provided adjacent and parallel to the frontage of a public street as follows:*
      1. *A ten-foot wide landscaped area on any commercial development.*
    - ii. In the past City staff has interpreted this requirement to apply to any development that sees commercial like traffic, even in other zoning. Their landscape plan does not



show the ten-foot landscape barrier in part of the resort area. Staff would recommend the ten-foot landscape barrier extend across the entirety of this property's boundary with 500 N.

- iii. The Planning Commission may approve a deviation from the requirements from the landscaping code:

- 1. *Sec. 10-32-4. Deviation from strict compliance.*

- 2. *A. Deviations authorized. Since site conditions and development constraints may vary greatly among sites, the Planning Commission may approve landscape plans that deviate from strict compliance with the provisions of this chapter. Any proposed deviation from the requirements of this chapter shall be:*

- 3. *1. Clearly identified on the proposed landscape plan; and*

- 4. *2. Accompanied by a written description of the proposed deviation showing how the intent of this chapter will be met by the proposed plan.*

- 5. *B. Findings required. The Planning Commission may authorize a landscape plan deviation only if it finds the deviation:*

- 6. *1. Is consistent with the intent of this chapter;*

- 7. *2. Is justified by site constraints; and*

- 8. *3. Is of comparable quality to what would otherwise be required without a deviation.*

- 9. It is not clear to staff that this applications meets the requirements for an exception

- b. The number and general location of plants shown meets city standards

- 4. All units used as short-term rentals in resort zones do require a business license before renting can begin.

- 5. All outdoor lighting must be less than 3000 K (2800 K preferred) this must be noted on the plan

- 6. Two streets have the name "480 N" on the plan. The City will assign the actual street numbers

- 7. **Parking:** The site has a total of 129 parking stalls for the 37 units. At the time of preliminary approval, the requirement for recreation areas was two parking spaces for each unit. They have provided 2.35 spaces for each unit, not counting the parking stalls indicated for restaurant use

- a. **Restaurants:** The restaurant building, with two restaurant units, is a total of 3,382 sq ft. HCC 10-34-6 1 space per 100 sq ft is required. The site plan indicates 33 parking spaces are required and 42 are provided. City code also requires drive through queue space for at least five cars which is provided

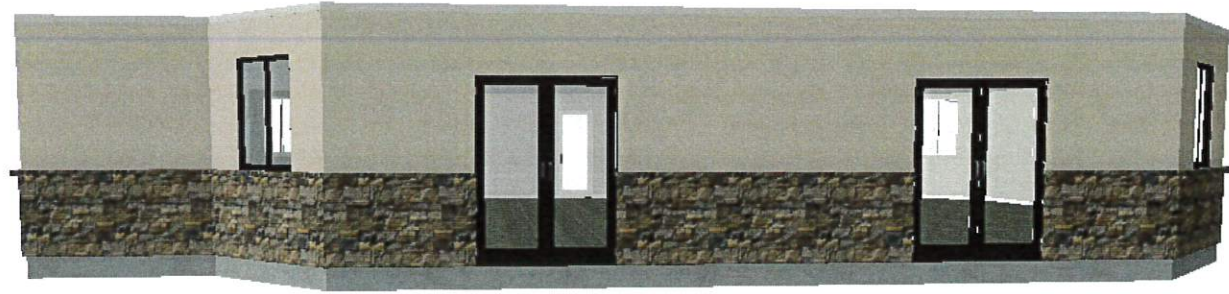
- b. **ADA Parking:** ADA parking will need to be signed off by the Building Official for the restaurant areas. The restaurant area needs two ADA parking places and at least one of those needs to be Van Accessible Parking Space.

- 8. The applicant has provided a building rendering for the restaurant building, but not for the clubhouse or townhome units at this time. This will need to be provided. HCC 10-7-10 requires:

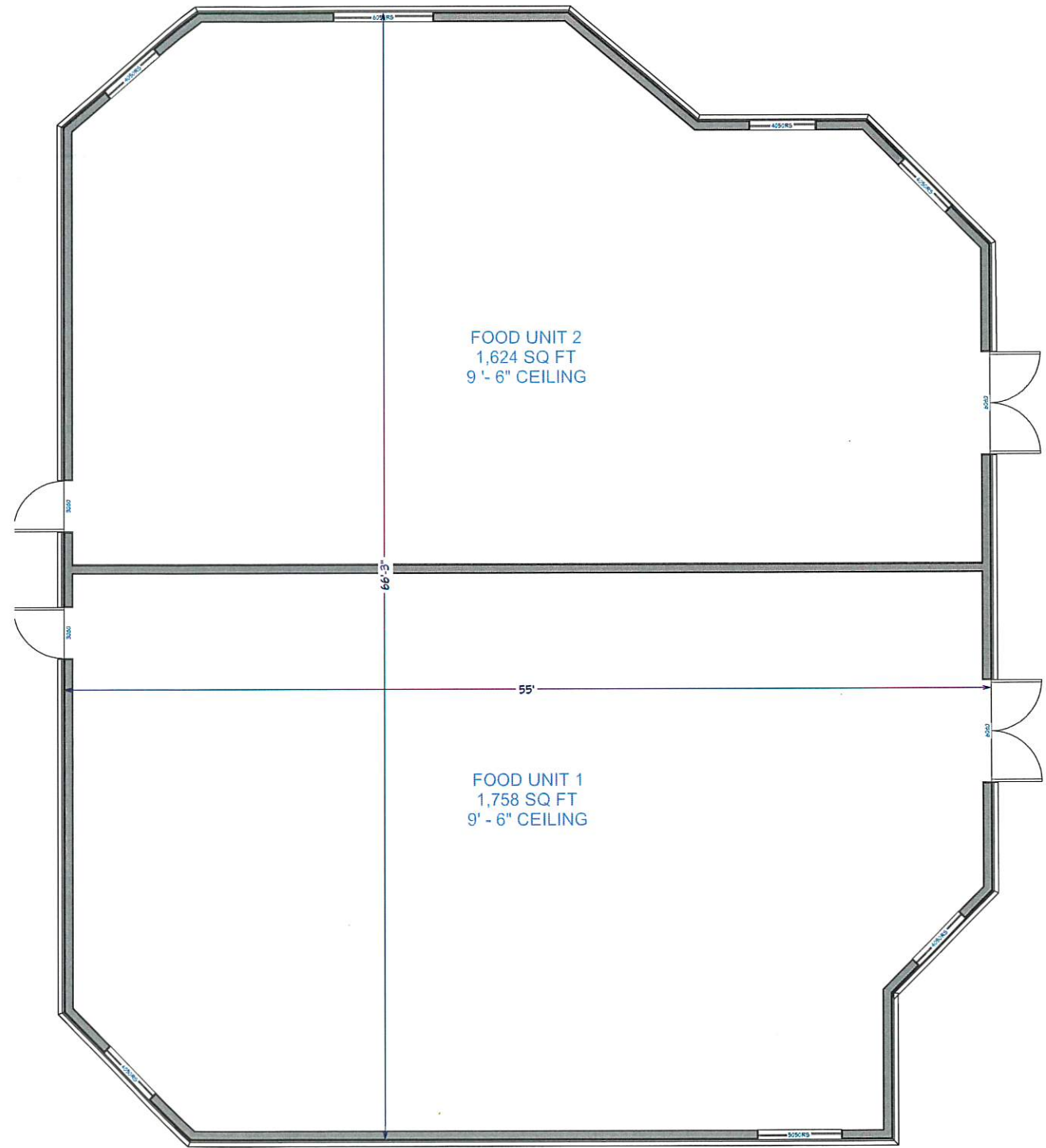


- (5) *Building elevations for all buildings showing the following:*
- (A) *Accurate front, rear, and side elevations drawn to scale;*
  - (B) *Exterior surfacing materials and colors, including roofing material and color;*
  - (C) *Outdoor lighting, furnishings and architectural accents; and*
  - (D) *Location and dimensions of signs proposed to be attached to the building or structure.*

**Staff Recommendation:** Staff recommends that the Planning Commission review this application based on the Hurricane City code and standards. Staff would recommend continuing the item until a final site plan that addresses all the concerns within this report is provided.



**ZION HUB**



**EXTERIOR LAYOUT**



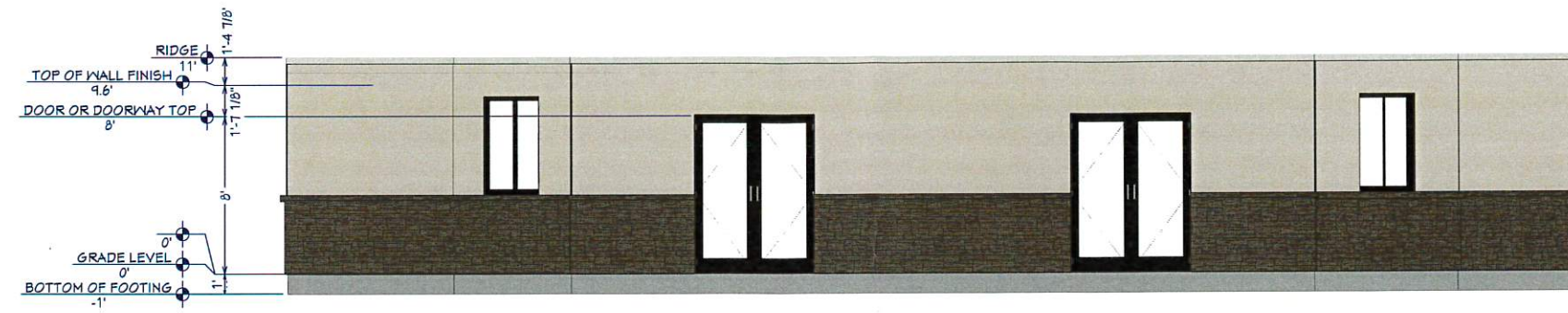
**PROVALUE ENGINEERING, INC.**  
20 South 850 West #1, Hurricane, UT 84737  
435-666-8901  
www.pv-eng.com

**ZION HUB**

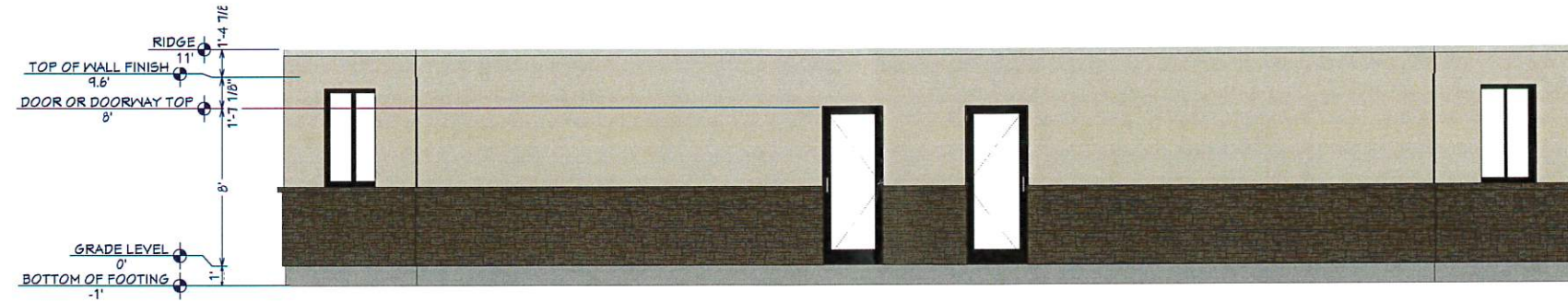
**EXTERIOR LAYOUT**

SCALE: SEE VIEW  
06-23-2022  
DRAWING BY: K.R.

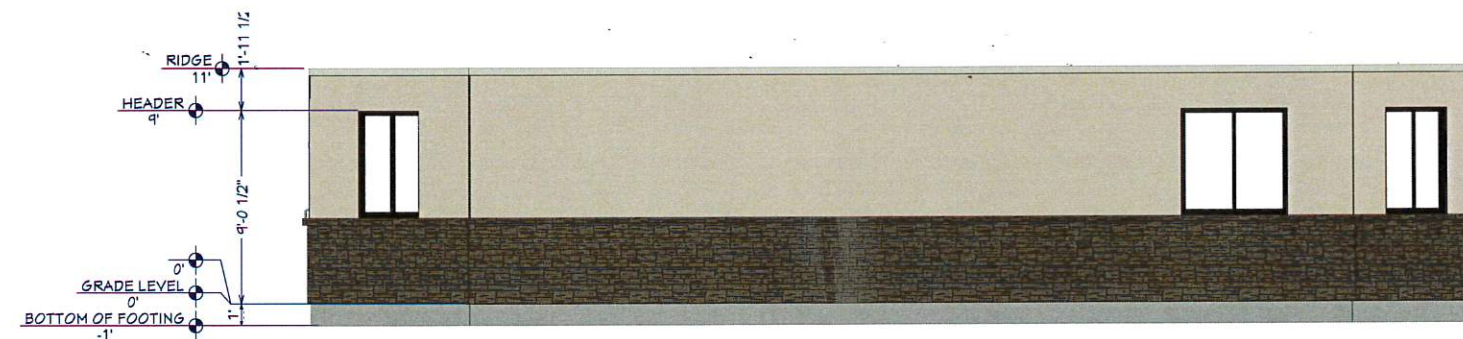
SHEET NUMBER  
**A1**



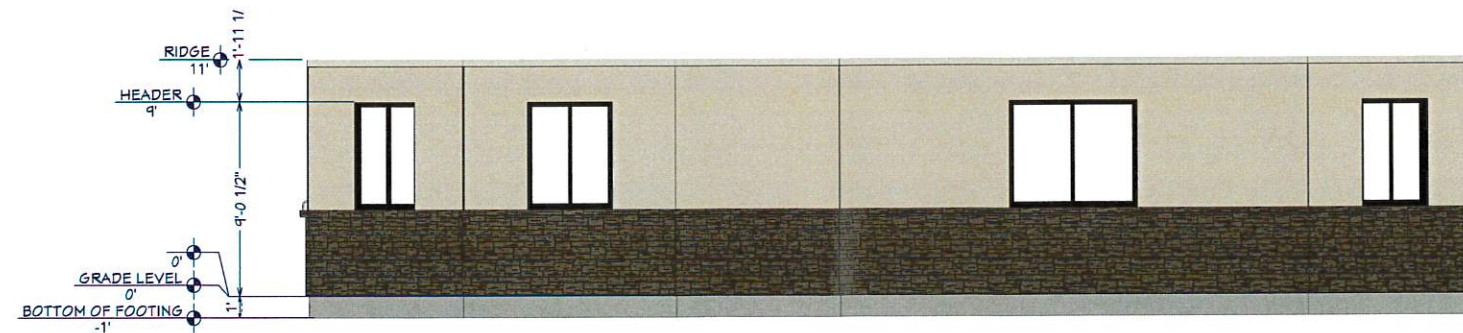
FRONT ELEVATION  
1/4" = 1'



REAR ELEVATION  
1/4" = 1'



LEFT ELEVATION  
1/4" = 1'



RIGHT ELEVATION  
1/4" = 1'

SHEET NUMBER  
**A2**

SCALE: SEE VIEW  
06-23-2022  
DRAWING BY: K.R.

## EXTERIOR ELEVATIONS

ZION HUB

PROVALUE ENGINEERING, INC.  
20 South 850 West #1, Hurricane, UT 84737  
435-666-0501  
www.pv-eng.com





Know what's below.  
Call 811 before you dig.



UTAH STATE DEPT. OF TRANSPORTATION

NOTICE!  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

SITE PLAN NOTES

1. CONSTRUCT ALL FEATURES PER STANDARD DETAILS UNLESS OTHERWISE NOTED.

PARKS DEPARTMENT NOTES:

ANY LANDSCAPING, INCLUDING STREET LANDSCAPE STRIPS AND/OR MEDIANS AND ASSOCIATED IRRIGATION, SHALL BE INSTALLED BY DEVELOPER/OWNER(S) AND IS NOT THE RESPONSIBILITY OF HURRICANE CITY PARKS DEPARTMENT TO MAINTAIN.

SITE DATA

AREA	SQ. FT	ACRES
TOTAL AREA	217,890 SF	5.002 AC
RESTAURANT AREA	3,451 SF	0.079 AC
TOTAL LANDSCAPE AREA	41,635 SF	0.956 AC
TOTAL PAD AREA	97,950 SF	2.25 AC

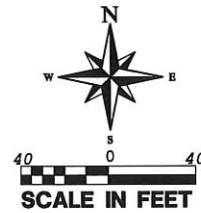
DESCRIPTION	QUANTITY
TOTAL UNITS	37
UNITS PER ACRE	7.39
TOTAL PARKING STALLS	129 (19 VACATION RENTAL PARKING, 42 RESTAURANT PARKING, 68 IN GARAGES)

SITE PLAN FOR:  
ZION HUB

LOCATED IN THE NW 1/4 OF THE NE 1/4 OF SECTION 35, T41S, R13W, S.L.B.&M.  
HURRICANE CITY, WASHINGTON COUNTY, UTAH

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- 25' SEWER & DRAINAGE EASEMENT
- SECTION LINE
- PROPOSED CURB & GUTTER
- CENTER LINE
- SECTION CORNER AS DESCRIBED
- EXISTING CURB, GUTTER AND SIDEWALK
- EDGE OF ASPHALT
- MONUMENT
- PROPOSED PAVEMENT
- STREET/STOP SIGN
- ROAD END SIGN



SUBDIVISION DESCRIPTION: H-286-A-1 & H-3053

COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 35, TOWNSHIP 41 SOUTH, RANGE 13 WEST, S.L.B.&M.; THENCE N88°39'15"W 363.92 FEET TO THE POINT OF BEGINNING; THENCE N00°59'09"E 108.42 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF 800 NORTH STREET; THENCE SOUTHEASTERLY ALONG SAID RIGHT-OF-WAY OF THE FOLLOWING 5 COURSES: ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 467.00 FEET AND A RADIAL BEARING OF S25°29'41"W, A DISTANCE OF 253.49 FEET, THROUGH A CENTRAL ANGLE OF 31°06'03" (LONG CHORD BEARS: S48°57'18"E 250.39 FEET); THENCE S33°23'50"E 137.39 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A 433.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 181.71 FEET, THROUGH A CENTRAL ANGLE OF 24°02'39" (LONG CHORD BEARS: S45°25'09"E 180.38 FEET); THENCE S57°26'29"E 131.88 FEET; THENCE S12°34'04"E 49.61 FEET TO THE WESTERLY BOUNDARY OF STATE ROUTE 9; THENCE S32°36'16"W ALONG SAID LINE 307.29 FEET; THENCE N88°57'20"W 297.91 FEET; THENCE N00°59'09"E 63.25 FEET TO THE POINT OF BEGINNING. AREA CONTAINS 217,890 SQUARE FEET OR 5.002 ACRES.

DRAINAGE PLAN

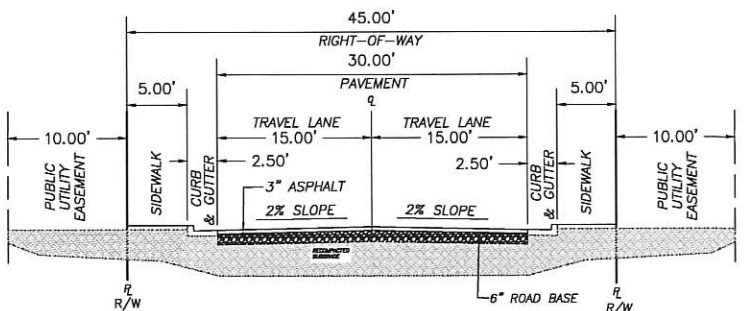
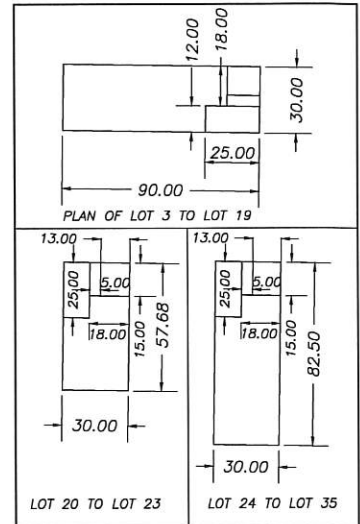
STORM WATER WILL BE RETAINED AT THE SOUTHWEST CORNER OF THE LOT UNDERGROUND. STORM WATER FROM THE RESTAURANT WILL BE DETAINED AT THE SOUTHEAST CORNER OF THE LOT. STORM WATER WILL BE PUMPED FROM THE SOUTHWEST CORNER TO THE DISCHARGE POINT IN THE EXISTING SR-9 ROAD.

PARCEL 2 (PART OF H-3052-A) LEGAL DESCRIPTION:

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 26, TOWNSHIP 41 SOUTH, RANGE 13 WEST, SALT LAKE BASE AND MERIDIAN, THENCE N88°38'58"W, ALONG THE SOUTH SECTION LINE OF SAID SECTION, 27.95 FEET TO THE POINT OF BEGINNING. RUNNING THENCE S00°59'26"W 58.63 FEET; THENCE S87°16'23"W 64.98 FEET; THENCE N00°59'26"E 169.40 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A 695.19 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (LONG CHORD BEARS: S81°31'11"E 73.10 FEET), CENTER POINT LIES S25°28'00"W THROUGH A CENTRAL ANGLE OF 06°01'37" A DISTANCE OF 73.13 FEET; THENCE S00°59'26"W 72.82 FEET TO THE POINT OF BEGINNING. AREA CONTAINS 9801 SQUARE FEET OR 0.225 ACRES.

CONSTRUCTION KEYNOTES

1. INSTALL NEW CURB & GUTTER
2. INSTALL NEW 5' SIDEWALK
3. INSTALL ADA RAMP
4. INSTALL STOP SIGN AND STREET SIGN SEE DETAIL "R" & "S" ON SHEET "DT3"
5. INSTALL 25 MPH SPEED SIGN
6. EXISTING CURB & GUTTER
7. EXISTING SIDEWALK
8. INSTALL ROAD END SIGN



PROPOSED 45' TYPICAL CROSS SECTION  
N.T.S.

NO.	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.  
Engineers: Lead Engineers - Lead Planners  
20 SOUTH 850 WEST SUITE 1  
HURRICANE CITY, UTAH 84701  
Phone: (435) 642-8307 Karl Rasmussen



SITE PLAN FOR:  
**ZION HUB**  
LOCATED IN THE NW 1/4 OF THE NE 1/4 OF SECTION 35, T41S, R13W, S.L.B.&M.  
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE: 03/23/2022  
SCALE: 1"=40'

JOB NO.  
642-002

SHEET NO.

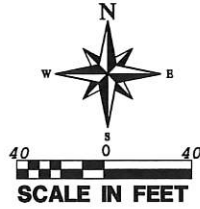
**C2**

Page 192 of 220



LANDSCAPING PLAN FOR:  
**ZION HUB**

LOCATED IN THE NW 1/4 OF THE NE 1/4 OF SECTION 35, T41S, R13W, S.L.B.&M.  
HURRICANE CITY, WASHINGTON COUNTY, UTAH



**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	POWER AND WATER EASEMENT ACCESS LINE
	PROPOSED CURB & GUTTER
	PROPOSED BUILDING
	PROPOSED ASPHALT
	DETENTION BASIN
	TREE
	SHRUBS
	INSTALL ROCK MULEH

**LANDSCAPE NOTES:**

- 1: VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- 2: ALL PLANT MATERIAL SHALL BE HEALTHY STOCK, FREE FROM DISEASE AND DISFIGUREMENT, HAVING FULL NATURAL SHAPES.
- 3: PLANT MATERIAL SHALL BE THE SAME SPECIES AND SIZE (OR LARGER) AS DESCRIBED IN THE PLANT SCHEDULE.
- 4: ALL TREES AND SHRUBS TO BE PLANTED ACCORDING TO DETAILS.
- 5: THE IRRIGATION CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM SHOP DRAWING SUBMITTAL FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT, AND HURRICANE CITY PERSONNEL BEFORE INSTALLATION COMMENCES. THIS DRAWING SHALL ILLUSTRATE THE PIPING CIRCUIT DRIP SYSTEM LAYOUT, AND VALVING FROM THE EXISTING IRRIG. POINT OF CONNECTION. THIS SHOP DRAWING MUST BE PREPARED BY A QUALIFIED PERSON.
- 6: ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATED IRRIGATION SYSTEM THAT MEETS CITY CODES, TREES AND SHRUBS TO BE IRRIGATED WITH A DRIP SYSTEM.
- 7: PROVIDE TOPSOIL FOR ALL TREE AREAS AND SHRUB AREAS AS NEEDED TO PROVIDE PROPER GROWTH CONDITIONS FOR THE PLANT MATERIALS.

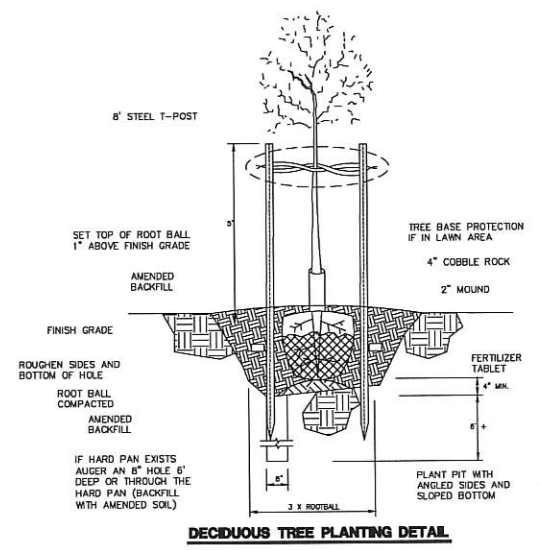
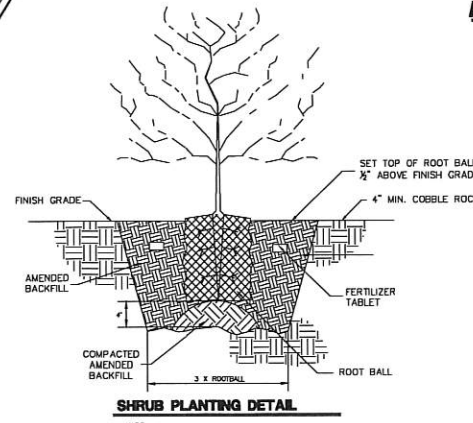
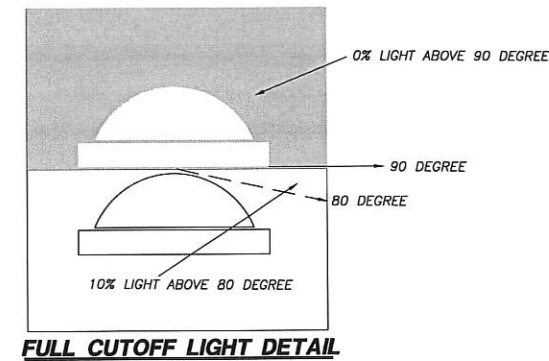
**PLANT LEGEND:**

	TYPE	QUANTITY	SIZE
●	NATIVE TREE TO BE SELECTED BY LANDSCAPER	94	2" CAL MIN
•	NATIVE SHRUB TO BE SELECTED BY LANDSCAPER	192	5 GAL

NOTE: LANDSCAPE CONTRACTOR TO INSTALL WATER-WISE IRRIGATION SYSTEM TO ADEQUATELY AND SUSTAINABLE CARE FOR PLANT MATERIAL

**LANDSCAPE AREA**

DESCRIPTION	AREA
TOTAL BUILDING AREA	61,820 SQ. FT.
HARDSCAPE AREA	63,651 SQ. FT.
LANDSCAPE AREA	10,370 SQ. FT.



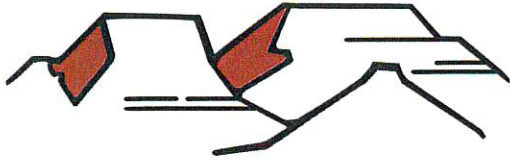
PROVALUE ENGINEERING, INC.  
Landscape Architects - Land Planners  
20 SOUTH 850 WEST, SUITE 1  
HURRICANE CITY, UTAH 84307  
Phone: (435) 866-5501 Karl Rasmussen

LANDSCAPE PLAN  
**ZION HUB**  
LOCATED IN THE NW 1/4 OF THE NE 1/4 OF SECTION 35, T41S, R13W, S.L.B.&M.  
HURRICANE CITY, WASHINGTON COUNTY, UTAH

DATE: 03/03/2022  
SCALE: 1"=40'

JOB NO.  
642-002

SHEET NO:  
**L1**



PLANNING & ZONING  
**HURRICANE CITY**  
**UTAH**

147 N 870 W Hurricane UT  
PHONE: 435.635.2811 FAX: 435.635.2184

## CONDITIONAL USE PERMIT

For office use only: \$250.00 Fee  
File No. 2022-CUP-15  
Receipt No. 8159869

### APPLICATION & SUBMITTAL CHECKLIST

Name: Catholic Diocese of SLC Telephone: 435-673-2604  
Address: 27 C Street SLC 84103 Fax No. Sgmuno7@gmail.com  
Email: lynnolds@hotmail.com - Lynn Olds  
Agent (If applicable): Steve Agent's Phone: \_\_\_\_\_  
Agent email: Sgmuno7@gmail.com  
Address of Subject Property: 65 E 200 S Part of Catholic Church 171 S Main  
Tax ID of Subject Property: \_\_\_\_\_ Zone District: \_\_\_\_\_  
Proposed Conditional Use: (Describe, use extra sheet if necessary) Metal Building for Storage and  
Sorting of items for Thrift Store

This application shall be accompanied by the following:

- \_\_\_ 1) A plot plan showing the following:
  - \_\_\_ Property boundaries, dimensions, and existing streets.
  - \_\_\_ Location of existing and proposed building or livestock facility
  - \_\_\_ Adjoining property lines and uses within one hundred (100) feet of subject property.
- \_\_\_ 2) A reduced copy of all plans (8 1/2 x 11 if readable, or 11 x 17) if original plans are larger.
- \_\_\_ 3) Building floor plans for new construction
- \_\_\_ 4) A statement of how the applicant intends to meet the conditions for the use desired
- \_\_\_ 5) Signed and notarized Affidavit of Property owner showing evidence that the applicant has control of the property or copy of warranty deed

**NOTE:** It is important that all applicable information noted above is submitted with the application. An incomplete application cannot be reviewed until it is complete. Fee is part of the application.

\*\*\*\*\*

(Office Use Only)

Date Received: 6/30/22

Received by: Brienna Spencer

Date application deemed to be complete: \_\_\_\_\_

Completion determination made by: \_\_\_\_\_

<b>Agenda Date:</b>	7/14/2022
<b>Application Number:</b>	2022-CUP-15
<b>Type of Application:</b>	Conditional Use Permit
<b>Action Type:</b>	Administrative
<b>Applicant:</b>	Catholic Diocese of SLC
<b>Agent:</b>	Lynn Olds and Steve Muno
<b>Request:</b>	A conditional use permit for a metal building
<b>Location:</b>	171 S Main St/ 65 E 200 S
<b>Zoning:</b>	GC
<b>General Plan Map:</b>	N/A

**Discussion:** The applicant proposes constructing a metal accessory building 1500 sq. ft. and 11' tall at the St. Paul's Catholic Center Thrift Store to replace the existing system of storage containers that exists on the property. Despite being on its own lot, because it is replacing an existing use, staff has decided to treat this as an accessory building to the main church building on Main St and not require curb, gutter, and utility upgrades on 200 S at this time. Hurricane City Code (HCC) 10-15-4 allows the maximum height of an accessory building to be 20' tall. A property owner may apply for a conditional use permit to be able to build a metal building. The standards to obtain a conditional use permit are as follows:

*10-7-9: CONDITIONAL USE PERMIT E. Approval Standards: The following standards shall apply to the issuance of a conditional use permit:*

- 1. A conditional use permit may be issued only when the proposed use is shown as conditional in the zone where the conditional use will be located, or by another provision of this title.*
- 2. Standards for each use must be reviewed. Specific standards are set forth for each use in subsections E2a through E2g of this section: ...*

*h. Standards for metal buildings:*

- (1) In residential (R-1) zones the height and size may not be greater than permitted in the zone.*
- (2) The building must meet the following design standards:*
  - (A) Exterior building materials shall be durable, require low maintenance, and be of the same or higher quality as surrounding developments.*
  - (B) Details of proposed colors and materials, including color chips, samples, and colored building elevations, shall be shown on building plans when a development project application is submitted. Colors shall be compatible with surrounding structures.*

*(C) Reflective surfaces or colors which may produce excessive reflections or glare that may create a potential safety problem are prohibited.*

*(D) In a commercial zone the faces of the building visible from nearby streets must include architectural relief items of non-metal materials including wood, stone, or stucco. (Ord. 2017-14, 8-17-2017; amd. Ord. 2018-04, 4-5-2018)*

**Findings:**

1. The proposed building is 11' tall, a metal building is not allowed to exceed 20', and therefore this building complies.
2. The submitted plans do not show any architectural relief items for the faces of the building that are visible from nearby streets, however this would only be required for the section of building that faces 200 S
3. The building will meet the required setbacks within this zoning.

**Recommendation:** Based on the above findings, staff recommends the conditional use permit for the proposed accessory building be approved subject to architectural relief items being added to the building face that faces 200 S.



**Karri Richardson**

---

**From:** Lynn C Olds <lynnolds@hotmail.com>  
**Sent:** Wednesday, June 15, 2022 1:51 PM  
**To:** Karri Richardson  
**Subject:** Catholic Church storage building

## Catholic Church storage building

1. The building will replace most of the containers at the back of the parking lot on South Main.
2. Thrift store material will be sorted in this new building.
3. Electrical service will be bored under 200 S to a meter pedestal at Southwest area of property.
4. Electricity will be brought from the meter pedestal near property line on 200 S.
5. Electricity will run to a breaker panel in the building to supply lights and a plug under panel.
6. Water will be brought to the Southwest corner of building.



# QUALITY STEEL BUILDINGS

BEATING OUR COMPETITION, MAKING HIGH QUALITY BUILDINGS IS OUR MISSION

Quality Carports Inc

441 E 1750 N Suite A

Vineyard, Utah 84042

[info@highqualitycarports.com](mailto:info@highqualitycarports.com)

801-406-1926

UTAH LICENSE 10441146-5501

Engineered by A & A Engineering

## SPECIFICATION SHEET

Saint Paul Catholic Center

171 South Main Street Hurricane, Utah 84737

30' x 50' x 8'

GROUND SNOW LOAD

40 Lbs per Sq. Ft

WIND LOAD

Exposure C - 115 MPH

ANCHORS

1/2" x 7" LG Strong Bolt Expansion Anchor

FRAME

STRUCTURAL 14 GA. Tubing 2 1/4 x 2 1/4

SHEET METAL

29 GA Corrugated Galvanized or Painted Steel

ROOF PITCH

3/12 Pitch Peak approx 12'

WALL ENCLOSURES

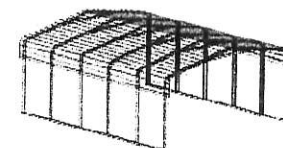
Fully Enclosed

DOOR OPTIONS

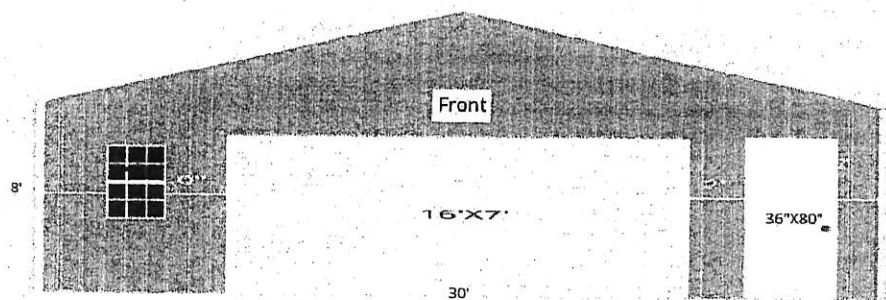
(1) 16' x 7' Overhead Door (1) 24" x 36" Windows

Walk in Door

(2)



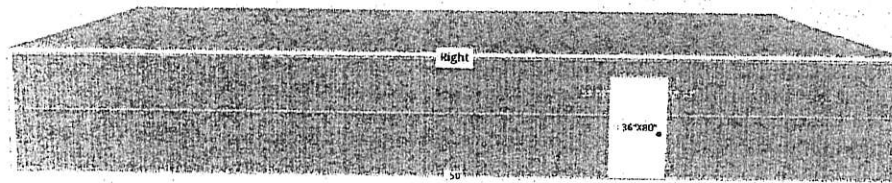
SALES: Megan - 1469 Sunset Blvd St George Utah 84770 - 435-708-1926



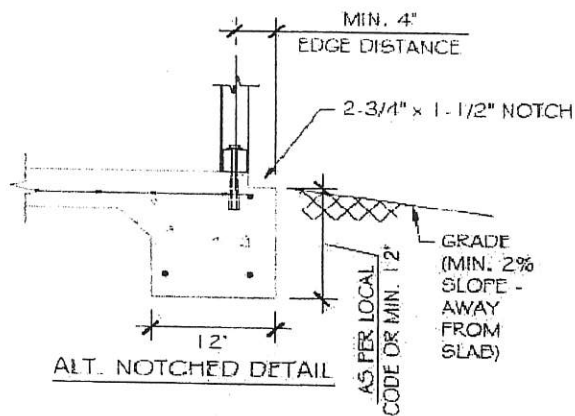
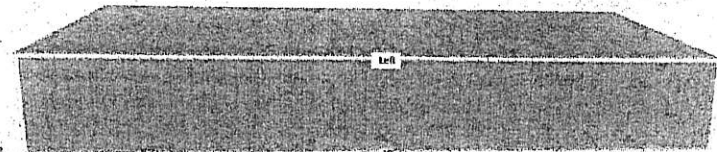
11'  
Approx

Base Rail	Roof Member	Column Post
2 1/2" sq. x 14 GA Tube		
Peak Brace	Knee Brace	
2 1/2" sq. x 14 GA Channel		
Connector Sleeve		
2 1/4" sq. x 12 GA Tube		
Purlin		
4" x 14 GA Hat Channel		

Fastener Type: #12x1" Self-Drill Screws  
ESR-2196 W/ Neoprene Steel Washer

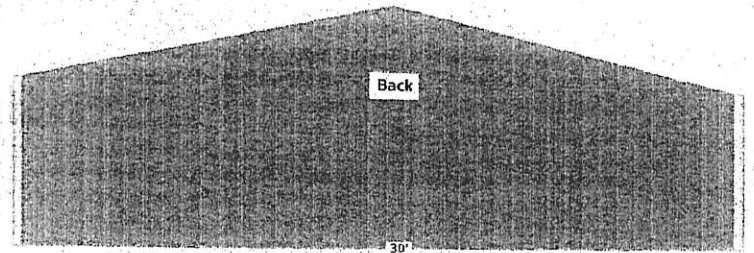


Corner Post	Roof Member	Base Rail
Header	Door Post	End Wall Post
2 1/2" sq. x 14 GA Tube		

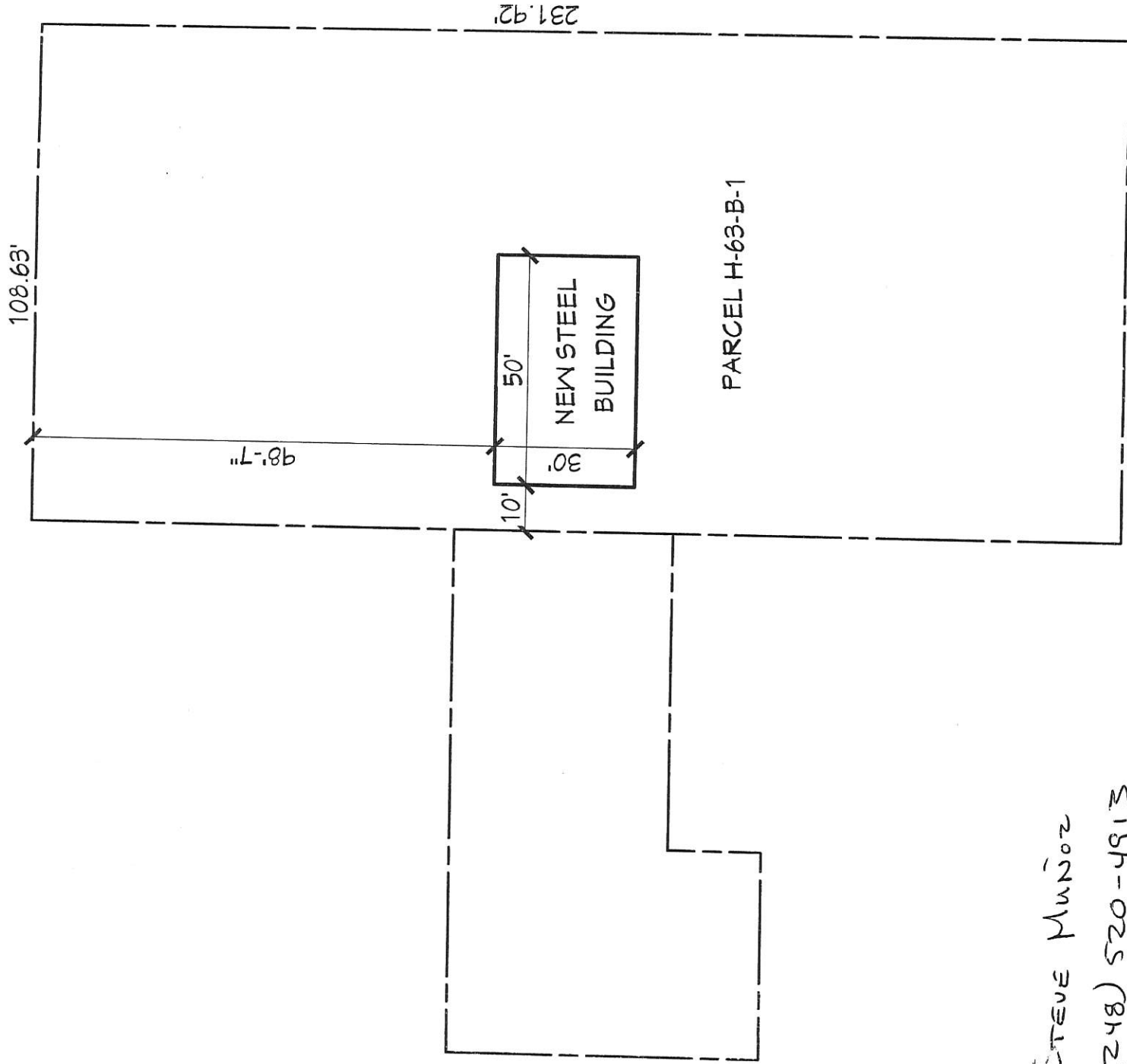



**QUALITY**  
STEEL BUILDINGS

11'  
Approx







**PLOT PLAN**   
 SCALE: 1"=30'

STEVE MUÑOZ  
 (248) 520-4913  
 Sgmuno7@gmail.com

**Hurricane Planning Commission**  
**Meeting Minutes**  
June 9, 2022

---

**Call to Order - 6:00 P.M.**

ON JUNE 9, 2022, AT 6:00 P.M., THE HURRICANE CITY PLANNING COMMISSION MET IN THE CITY COUNCIL CHAMBERS LOCATED AT 147 N. 870 WEST HURRICANE UT, 84737

Chairman Mark Sampson called the meeting to order at 6:00 P.M. Roll call was taken.

Pledge: Chris Christensen

Prayer: Rand Lemmon

**Members Present:** Mark Sampson, Shelley Goodfellow, Michelle Cloud, Brad Winder, and Kelby Iverson

**Members Excused:** Paul Farthing, Rebecca Bronemann, and Ralph Ballard

**Staff Present:** Planning Director Stephen Nelson, City Attorney Dayton Hall, Planning Technician Brienna Spencer, and City Engineer Representative Jeremy Pickering

Michelle Cloud motioned to approve the agenda as presented. Shelley Goodfellow seconded the motion. Unanimous.

**Public Hearing:**

**1. A Zone Change amendment request for the existing Dixie Heights subdivision, to contain a PDO, planned development overlay, to allow for reduced setbacks.**

Chris Christensen lives south of the proposed PDO. He voiced his opposition. Reduced setbacks are the first step to increasing density. The developer is already building a very high-density development in Elim Valley, and he is assuming that this will result in the same type of housing. This would be a drastic variance to the overall neighborhood. He expressed concern about potential vacation rentals and the negative impact they already have in Dixie Springs.

Jim Clark abuts the far Southeast corner of the development. He is also speaking on behalf of his brother. When they purchased their property, they believed it was school district property, and they were okay with that because it would have minimal impact and be quiet in the evenings and weekends. They feel that reduced setbacks and smaller lots will increase the density and ruin the overall character of the Dixie Springs development.

Dwayne Gwen lives on the west side of this proposal; his backyard faces the homes that will be built. They were under the impression that this was school property, and this seems like someone is trying to make more money by making smaller lots with larger structures.

Lance Garner lives west of the proposed job site. He agrees with the previous comments. Dixie Springs is a harmonious development; all the homes are similar in appearance, size, and height.

**2. A Zone Change amendment request located at 650 S and 1100 W from RA-1, residential agriculture one unit per acre, to R1-15, residential one unit per 15,000 square feet**

Dale lives directly south of the proposed zone change. They drove through this area thirteen years ago, and it felt like home. They moved here from California after Dale retired. They love their community, and although it is growing fast, they accept everyone's lifestyle. This does not fit the area and what they picture Hurricane South Fields as. Especially when all the surrounding homes are at least  $\frac{3}{4}$  acre lots, he assumes that those who purchased the lots knew about the agriculture one-acre zoning. He asked the Planning Commission to protect the rural area of the community.

Margaret Harris lives directly across the street. When they moved here twenty years ago, their property was surrounded by vacant lots. Now this area is being consumed by housing. This is not the atmosphere they moved here for. There comes the point in time when enough is enough. She asked the Planning Commission to deny this zone change and protect the rural atmosphere.

Melinda Ronemaker lives adjacent to this property. The landowners knew that they were buying one-acre lots. Multifamily housing should be built in multifamily zoning. Homeowners don't want to live in crowded areas and are willing to pay a higher price to have their quality of life. Please don't take that from us. We are happy with how things are.

Shawn Bowen lives east of this property. They just bought their home two years ago because they love the neighborhood's feel. He is not opposed to one home on the lot, but he is opposed to multiple homes on the lot. More houses require more water and power, and we are already in a water crisis. He asked if these four homes would eventually become short-term rentals. We don't want that in our neighborhood. This is a close-knit neighborhood. Let's keep our community gorgeous.

**3. A Land Use Code Amendment request to Title 10, Chapter 3, Chapter 13, Chapter 33, and Chapter 34 and Title 4 Chapter 2- with regards to site plan design, open space and amenities, outdoor lighting, and parking in new developments.**

No Comment

**4. A Land Use Code Amendment request to Title 10, Chapter 7 and Chapter 39 to consider adding water acknowledgment waiver requirements to land use applications.**

No Comment

**NEW BUSINESS**

**1. 2022-PSP-19: Discussion and consideration of a possible approval of a preliminary site plan for Bryson Young, a commercial project consisting of one commercial building and seven vacation rentals, located at 470 E 800 N. R+B Young Applicant. Bryson Young Agent.**

Bryson Young reported that this is a 20,000 square foot warehouse. Mr. Young reviewed the proposal. The warehouse space would be used for his business, a storefront, and vacation rentals. Stephen Nelson reviewed the previously approved preliminary site plan. The changes to the site plan include reduced building size, removal of the drive-through, and the addition of short-term rental units. Kelby Iverson stated that the vacation rentals in this project are unusual, although the commercial use fits. He supports private property rights. This project does not deviate from the general plan or zoning. Mark Sampson asked if a hotel could be built on this property. Mr. Nelson confirmed that the applicant could have a hotel. However, code requires

onsite management at all times during the occupancy of the units. Shelley Goodfellow asked if the applicant has an issue with onsite management if it is required. Mr. Young stated that he has no problems with this requirement. Mrs. Goodfellow agrees with Mr. Iverson. The design is unusual but is compliant, and the market will determine if it is successful or not. Brad Winder is concerned that the noise from the automotive garages and paint shops will disrupt the vacation rental guests. He is not sure this is the best use of the property. Michelle Cloud asked if the applicant was aware of staff concerns regarding the Welcome to Hurricane sign. Mr. Young stated that he is aware of the Staff's concern but does not feel his project will obstruct the sign.

*Shelley Goodfellow motioned to approve 2022-PSP-19. Michelle Cloud seconded the motion. Unanimous.*

**2. 2022-ZC-27: Discussion and consideration of a recommendation to the City Council on a zone change request located at approximately 2470 S 3870 W, from R1-10, residential one unit per 10,000 sq ft to R1-10 PDO, planned development overlay, to reduce the setbacks for the already approved Dixie Heights subdivision. Enhanced Home Builders Applicant. Brent Moser Agent.**

Brent Moser explained that the applicant is requesting setbacks of five feet and ten feet to accommodate RV parking along the narrow lots. The setbacks will not increase density or reduce the lot size. Stephen Nelson noted that when the application was brought to JUC, the Fire Department did not raise any concerns. However, during staff meeting this week, a concern regarding the reduced setbacks within the city was raised. Denying PDO zone changes was not discussed during the staff meeting. Mr. Nelson explained setbacks within PDOs. Several other developments are building to the current setback requirements. Jeremy Pickering noted that the Fire Department is concerned that reduced setbacks will interfere with property access. Kelby Iverson noted that the applicant is applying for more than the nine lots at the top of this property. Mr. Moser stated that the applicant is willing to amend the application to only the top nine lots. Mrs. Goodfellow is pleased that this application is not requesting increased density. Michelle Cloud has no opposition to the application.

Shelley Goodfellow motioned a recommendation of approval for 2022-ZC-27. Regarding the nine lots in phase one. Subject to Staff and JUC comments, fire recommendations, and a twenty-foot distance between houses, Brad Winder seconded the motion. Shelley Goodfellow, Michelle Cloud, Brad Winder, Mark Sampson, and Kelby Iverson – aye. Unanimous.

**3. 2022-ZC-26: Discussion and consideration of a recommendation to the City Council on a Zone Change amendment request located at 650 S and 1100 W from RA-1, residential agriculture one unit per acre, to R1-15, residential one unit per 15,000 sq ft to facilitate a lot split. Jaymie Wetzel Applicant. Jeffrey Hatcher Agent.**

Rand Lemmon reported that he discussed the application with some of the neighbors before the public hearing. Mr. Lemmon explained that the applicant only intends to have two lots. They are requesting this zoning due to roadway dedications on three sides of the property. Mr. Nelson reported that the buildable property may be slightly over one acre after the dedications. If the lot size is one acre after roadway dedications, the applicant would have a maximum of three lots. However, it is unlikely. Mr. Lemmon stated that the developable land will be less than one acre after roadway dedications. Kelby Iverson stated he has no problem with two homes on this property. He is concerned that granting R1-15 will set a precedence for the neighborhood. He asked if it was possible to create two RA-05 zones after the roadway dedications. Mr. Lemmon explained that RA-05 was the initial intent. However, Staff recommended the change to RA-15 because of the roadway dedication. Mr. Nelson reported that when the city takes property for roadways, the code provides an exception allowing the property to be developed as if it meets the criteria. The code does not allow the dedicated area to count towards the overall project size if the dedications are required as part of the



subdivision process. Shelley Goodfellow disclosed that she has a close relationship with the applicant but does not have a conflict of interest. Brad Winder shared that this lot has steep hills, which is more compatible with one home on the lot. He would like to continue the application to get more clarification from the applicant. Michelle Cloud thinks that the application meets the four criteria. R1-15 zoning requires an average lot size of 15,000 square feet. With road dedication, it is not possible to have a third lot.

Michelle Cloud motioned a recommendation of approval for 2022-ZC-26. Based on the findings that it meets the standards of the general plan, it is harmonious and will have minimal impact on with surrounding area, and there are adequate services. Shelley Goodfellow seconded the motion. Michelle Cloud, Mark Sampson, and Shelley Goodfellow – aye. Brad Winder and Kelby Iverson – nay. Motion carries.

**4. Discussion and consideration of allowing reapplying for 2021-ZC-26: Dratter Zone Change within a year from denial of the original application- Applicant Interstate Rock**

Stephen Nelson explained that the Planning Commission made no recommendation during the previous meeting because this was not a decision item. Mr. Nelson reported that the applicant applied for a zone change to R1-15 in July 2021 and was denied. The application was approved for RA-05. The applicant feels that the recent zone change on 400 West is a substantial change, prompting them to request approval to apply for a zone change before the one year wait period. Mr. Nelson noted the Planning Commission can determine whether a substantial change has occurred that merits consideration of the application. Brad Winder asked what defines a true neighborhood and what distance defines a neighboring project. He asked if the Planning Commission could tie the applicant to an agreement with a limit of nine lots, and would that satisfy Interstate Rock? Mr. Stratton reported that the applicant would prefer ten lots. Shelley Goodfellow does not think the zone change on 400 West is substantial. Kelby Iverson stated that he is not in favor of R1-15.

Mark Sampson motioned to deny the request to bring forward the reapplication because it does not meet the threshold of a substantial change. Shelley Goodfellow seconded the motion. Kelby Iverson, Shelley Goodfellow, Mark Sampson, Brad Winder, and Michelle Cloud – aye. Unanimous.

Mark Sampson motioned to move agenda item 8 to the next item and agenda items 5 and 6 to the end of the meeting. Kelby Iverson seconded the motion. Unanimous.

**8. 2022-CUP-13: Discussion and consideration of a possible approval of a conditional use permit for a building of greater height located at 3349 W 2900 S. American Heritage Applicant.**

Abbey Dick opposes this conditional use. She spoke with American Heritage, who explained that these are spec homes. The dirt level has risen by five feet in the past two months, and she has had to stop them from pushing the dirt against her fence. She shared that she authors children's books for cancer patients between the ages of 2-8. Children who survive treatment come to her house to see the wizard behind her property. Her neighbor built a home with an RV garage and a two-car garage. The approval of this conditional use permit will completely block her view. She asked if the applicant could reduce the peak of the roof. She explained that she wants a view for the children to see the wizard.

Klen Brooks with American Heritage represents their client who desires to have a detached garage with a height of twenty-two feet. They have met the development standards per code for a conditional use permit of greater height. Stephen Nelson stated that per state code, if a conditional use permit meets the standards, there are no grounds for denial. Mr. Nelson cited the greater height code. This building's height is twenty-two feet ten inches with setbacks of five feet. Based on the code standards, the Staff recommends approval. Dayton Hall reported that the Commission's job is to decide whether or not this meets the conditional use criteria. If the Planning Commission does not agree that the conditions are met, they can discuss the reason and deny the application. Shelley Goodfellow asked why the lot was raised five feet. The applicant explained

1 that the roadway is higher than the Abbeys property, and the lot had to be raised for drainage. Mr. Hall  
2 explained that a CCNR creates an Architectural Control Committee. CCNRs restrictions are not set by the  
3 Planning Commission and should not be considered by the Planning Commission.

4 Kelby Iverson motioned to approve 2022-CUP-13 because it meets the standards of the conditional use  
5 permit. Michelle Cloud seconded the motion. Unanimous.

6 The homeowner thanked the Commission for their time and stated that she is excited to be part of the  
7 community.

8 **7. 2022-ZC-25: Discussion and consideration of a recommendation to the City Council on a Zone**  
9 **Change Amendment request and Development Agreement Modification located at 2346 S 1500**  
10 **W from RA-1, residential agriculture one unit per acre, and M-1, light industrial, to RA-1,**  
11 **residential agriculture one unit per acre, with a PDO, planned development overlay. Parcel**  
12 **numbers H-3350-A, H-3350-B-1, H-3501-A, H-3357-A-1. Ron Lee and Monterey Jones, LaRae**  
13 **Ellsworth Stout Trust Applicant. Adam Stout Agent.**

14 Stephen Nelson reported that the application was previously continued because the site plan was submitted  
15 too late for Staff and JUC to review. The application has not changed, and the applicant has no major  
16 concerns about the development agreement. JUC is concerned about how this will be developed in the future  
17 and the spacing between access points. Jeremy Pickering stated that the code allows for one hundred and  
18 fifty feet at an intersection. Kelby Iverson stated that he is in favor of the project. This area is dedicated to  
19 agriculture, and he fully supports allowing no curb gutter and sidewalk. It is a good way to preserve  
20 agriculture. Shelley Goodfellow asked why the Sewer District and JUC comments report that the applicant  
21 must have an advanced septic system with four acres. The Sewer District typically requires two and a quarter  
22 acres with an advanced septic system. Mr. Iverson reported that it is likely that an advanced septic tank  
23 cannot reduce the nitrates on two and a quarter acres in Hurricane City.

24 Kelby Iverson motioned a recommendation of approval of 2022-ZC-25 subject to the development agreement.  
25 Brad Winder seconded the motion. Michelle Cloud, Brad Winder, Mark Sampson, Kelby Iverson– aye. Shelley  
26 Goodfellow abstained because she uses the land. Motion carried.

27 **9. 2022-PP-16: Discussion and consideration of a recommendation to the City Council on a**  
28 **preliminary plat for Cordero Phase 3, a 214-lot residential subdivision, located at 2100 W 3900**  
29 **S. Brant Tuttle Applicant.**

30 Brant Tuttle stated that they have made the recommended changes. Stephen Nelson reported that Staff has  
31 not completed a full application review. He explained that Ash Creek provided a will serve letter, but the Water  
32 Department did not. The Water Department is hesitant to issue a will serve letter until the water model is  
33 sufficient. Mr. Tuttle has submitted the water model, but the Water Department has not issued an official  
34 approval. Mr. Tuttle reported that in phase one, they were required to complete water line improvements  
35 which cost three million dollars. He is confident that the water model can meet the demands of the  
36 development. He noted that if there is an issue with the water model in the last phase, final approval of the  
37 construction drawings cannot be given.

38 Michelle Cloud motioned to table 2022-PP-16 pending a will serve letter from the Water Department. Shelley  
39 Goodfellow seconded the motion. Unanimous.

40 **10. 2022-ZC-17: Discussion and consideration of a recommendation to the City Council on a Zone**  
41 **Change Amendment request located at approx.. 5300 West 2600 South from A-5, agricultural**  
42 **one unit per 5 acres, to RR, recreational resort to expand the existing resort zoning. Parcel**

1           **numbers H-4138-L and H-4138-E. Chris Wyler Applicant. Civil Science-Brandee Walker Agent.**

2       Stephen Nelson reported that the applicant requested several continuations in the past and is now requesting  
3       to withdraw the application.

4           **11. 2022-PP-10: Discussion and consideration of a recommendation to the City Council on a**  
5           **preliminary plat for Black Ridge Phase 1A-1C, a 93-lot residential subdivision, located at 1760**  
6           **W and Weeping Rock Road in the Black Ridge development. Josh Lyon/Wasatch Group**  
7           **Applicant. Rosenberg Engineering Agent.**

8       Stephen Nelson reported that the applicant has requested to table the application.

9       Shelley Goodfellow motioned to table 2022-PP-10 until the signed development agreement and will serve  
10       letters are received, and the applicant has submitted a new site plan. Brad Winder seconded the motion.  
11       Unanimous

12           **5. 2022-LUCA-05: Discussion and consideration of a recommendation to the City Council on a**  
13           **Land Use Code Amendment request to Title 10, Chapter 3, Chapter 13, Chapter 33, and Chapter**  
14           **34 and Title 4 Chapter 2- with regards to site plan design, open space and amenities, outdoor**  
15           **lighting, and parking in new developments. Hurricane City Planning Applicant.**

16       Stephen Nelson shared that the legal review made some last-minute changes, but he has no issues with the  
17       recommendations. He stated that the off-street parking concerns from the Engineering Department are not yet  
18       implemented into code. Shelley Goodfellow asked if this code pertains specifically to multifamily and not to  
19       single-family housing. Mr. Nelson explained that a single-family development is not required to present a site  
20       plan, so this only applies to multifamily.

21       Shelley Goodfellow motioned to continue 2022-LUCA-05 until the parking recommendations are received from  
22       the JUC. Michelle Cloud seconded the motion. Unanimous.

23           **6. 2022-LUCA-06: Discussion and consideration of a recommendation to the City Council on a**  
24           **Land Use Code Amendment request to Title 10, Chapter 7 and Chapter 39 to consider adding**  
25           **water acknowledgment waiver requirements to land use applications. Hurricane City Applicant**

26       Dayton Hall explained that the Water Conservancy District has recently completed a usable water study within  
27       the county. There are serious concerns regarding the amount of approved platted lots and the remaining  
28       water. The district is asking the cities to decide how the remaining water will be allocated. The county has  
29       situations where approved developments do not have water. The water acknowledgment waiver clarifies the  
30       city's obligation. Surrounding cities have adopted waivers stating that the city is not responsible for  
31       guaranteeing water unless they provide a will serve letter guaranteeing water. Mr. Hall discussed an  
32       acceptance and acknowledgment waiver stating that the developer understands that water is not guaranteed  
33       unless they have received a will serve letter guaranteeing water. Developers will be required to sign the  
34       acknowledgment. Kelby Iverson asked if a developer could provide their own guarantee of water. Stephen  
35       Nelson explained that most cities in the state require developers to turn in their shares of the water tied to the  
36       property. However, Hurricane City is in a pooling agreement and requires an impact fee paid to the  
37       Conservancy District to secure and develop water. Mr. Nelson explained that chapter seven includes a new  
38       subsection, "Acknowledgment and Water Supply Waiver." He reported that changes were made to the final  
39       plat sections and these changes echo this acknowledgment.

40       Kelby Iverson motioned a recommendation of approval of 2022-LUCA-06. Shelley Goodfellow seconded the  
41       motion. Unanimous.

1 **Planning Commission Business:**

2 1. City Council Recap

Approved	Denied	Continued	Tabled
Item 3 – Power Department zone change		Agricultural overlay – Pending a recommendation from the County Agricultural Advisory Board or the 45-day notification period expires.	
Strawberry Fields preliminary plat			
Off-Highway Vehicle ordinance			

3 Mr. Nelson reported that the city council discussed building a park space along the Falcon Ridge Overlook.  
4 The City Council's annual budget meeting is next week.

5 2. Discussion of amending the Planning Commission's schedule.

6 Mark Sampson proposed holding a staff report meeting at 5:00 p.m. to allow staff time to discuss items.  
7 Stephen Nelson stated that he favors having dedicated time to meet with the Planning Commission before the  
8 meeting. The staff meeting will be an open public meeting. Kelby Iverson discussed the potential difficulties of  
9 the commissioners arriving at 5:00 pm.

10 *The Planning Commissioners agreed to attempt having a staff report meeting at 5:00 p.m.*

11 **Approval of Minutes:**

12 1. May 26, 2021

13 *Kelby Iverson motioned to approve minutes from May 25, 2021, with changes as stated. Michelle Cloud*  
14 *second the motion. Unanimous.*

15 2. February 23, 2022

16 *Brad Winder motioned to approve minutes from February 23, 2022, with the corrections made. Shelley*  
17 *Goodfellow seconded the motion. Unanimous.*

18 3. May 12, 2022

19 Change councilman to commissioner throughout the minutes.

20 *Michelle Cloud motioned to approve minutes from May 12, 2022, as adjusted. Shelley Goodfellow seconded*  
21 *the motion. Unanimous*

22 Mr. Iverson reported that the state has recently changed the green belt law to allow a tax exemption for a  
23 property less than five acres if the property owner owns five acres elsewhere. Mr. Iverson is requesting to



- 1 adopt an ordinance to match the state law.
- 2 **Adjournment.**

DRAFT

**Hurricane Planning Commission**  
**Meeting Minutes**  
June 23, 2022

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Minutes of the Hurricane City Planning Commission meeting held on Thursday, June 23, 2022, at 5:00 p.m. in the City Council Chambers located at 147 N. 870 West Hurricane UT, 84737

**Members Present:** Mark Sampson, Shelley Goodfellow, Ralph Ballard, Michelle Cloud, Rebecca Bronemann, Brad Winder, and Kelby Iverson

**Members Excused:** Paul Farthing

**Staff Present:** Planning Director Stephen Nelson, Assistant Planner Fred Resch, City Attorney Dayton Hall, Building and Planning Clerk Karri Richardson, and City Engineer Representative Jeremy Pickering

**5:00 p.m. - Planning Commission Business:**

1. Growth Workshop Review

Discussed potential policies to address the growth concerns. Looking at reasons why we are growing and what can we do to control growth and plan for it. We can do those things through zoning, planning and the general plan, codes and standards, limited control of financial options such as a PID, control which services are provided, as well as annexation. Spoke of in-fill and wanting to protect rural feel of the town and how things should be protected and not changed vs. what should be changed. Different areas of town are handled differently with how we want to see the infill. There was a suggestion about keeping tabs on vacation rentals/ tourism, which the city is already doing. Talked about minor subdivisions and requirements for those types of subdivisions. Some cities have standards for subdivisions that have less than 5 lots that don't require city approval. The city does not currently have an ordinance to address these types of developments. The commission and staff talked about traffic through town and tourism travel through town. One of the concerns discussed was sprawl- rapid expansion and not having enough resources or services and discourages commercial spread. It puts a lot of pressure on resources and services and it's expensive. This type of development puts communities more spread out. For the miles of line you put in for services, you have to put in more line and more roadway per unit when you have spread out low density compared to compact density, you have less line and it's more effective. We have limited resources in some areas but we have plans for the growth to happen. Concerns about developed water vs development of units. Roadway/utility choke points. Policy ideas were mentioned. Making new policies to help keep master planned development, variety of housing, mix use area, density bonuses, industrial areas, PIDs, economic development plan, downtown masterplan, and conservation easements. We should encourage ag use, create more subdivision options, work with BLM and other public partners, update parks and open space plans, update park impact fees, update PDO and zoning code for variety, allow denser in-fill, reduce zoning requirements, review impact and other fees to ensure equity, update housing plan, staying up to date with impact fees and so forth.

2. Discussion of updates to city ordinances

Minimum acreage for ag protection area is one of the ordinances the commission wanted to look at. It would allow a way for the minimum acreage requirement be waived with conditions. Commissioners discussed and recommended changes to conditions. RA standards concerning minimum and average

lot area was discussed as well as density and roadway dedications in those areas.

**6:06 p.m. - Call to Order**

Chairman Mark Sampson called the meeting to order at 6:00 P.M. Roll call was taken.

Pledge: Michelle Cloud

Prayer: Kelby Iverson

Stephen Nelson addressed the agenda changes from the original agenda provided to the commission.

*Shelley Goodfellow motioned to approve the agenda as amended. Michelle Cloud seconded the motion. Unanimous.*

**Public Hearings**

**1. A Zone Change Amendment request located on the northwest corner of SR-7 & SR-9 intersection from R1-8, one unit per 8,000 square feet, to PC, planned commercial. Parcel numbers H-3-1-31-1101 and H-3-1-31-2101**

No comment

~~**2. A Zone Change Amendment request located at approx. 88 N 1690 W from R1-10, residential one unit per 10,000 square feet, and HC, highway commercial, to add 0.127 acres to the existing highway commercial area and the rest as R1-8, residential one unit per 8,000 square feet. Parcel numbers H-3-1-33-3141 and H-3-1-33-4221.**~~

Public Hearing has been moved to July 14, 2022

**OLD BUSINESS**

**1. 2022-LUCA-05: Discussion and consideration of a recommendation to the City Council on a Land Use Code Amendment request to Title 10, Chapter 3, Chapter 13, Chapter 33, and Chapter 34 and Title 4 Chapter 2- with regards to site plan design, open space and amenities, outdoor lighting, and parking in new developments. Hurricane City Planning Applicant.**

Stephen Nelson addressed changes from the last meeting. Concerns were needing more discussion with engineering. The only changes that have been added are item #10: no on street parking areas shall interfere with other standards and specifications within this chapter in Hurricane City design standards, and item #5: parking areas shall be located at least fifty feet away from any intersections of public roadways measured at the lip of curb. Jeremy Pickering addressed the questions he had with the changes; he believes item #1 needs to be addressed further. He has concerns of safety of backing out of perpendicular on-street parking and diagonal on-street parking. Mr. Nelson used examples of other cities that have relaxed parking rules and some that do not. He wanted to clarify with the commission if they want it more defined or if they want to keep it more relaxed; how many restrictions do we want to create with how roads have to be changed? Kelby Iverson says less is more but also wants to make it clear so that elected officials can make the decision over the engineering department. Ralph Ballard wants to know if it can go through the engineer department and have a right to appeal. Sampson says to push it on as it can be appealed. Attorney Dayton Hall stated that they need to decide which version should be sent to City Council. They agreed that what is currently in the packet is fine. Mr. Nelson clarified why the issue was coming up; because of parks and multifamily overflow parking where they had no allowance for overflow parking. This would give them overflow on-street

1 parking to fix the issue. Mr. Iverson asked for clarification on item #9 addressing commercial parking.  
2 Mr. Nelson addressed it. Shelley Goodfellow asked about master plan of trails. Mr. Nelson clarified  
3 that if it is a masterplan trail it would be a certain size and if it was other types of trails it would be  
4 different sizes, creating a hierarchy of trails. Mrs. Goodfellow wanted to clarify if they would have to  
5 put trails and curb, gutter, sidewalk in. Mr. Nelson confirmed that unless it is a rural cross-section, they  
6 would be required per code to put those improvements in. Mr. Iverson spoke on how much  
7 landowners have to dedicate for these types of things including roads and easements.  
8

9 *Ralph Ballard motioned to send a recommendation of approval of 2022-LUCA-05 as amended noting*  
10 *that there are some concerns from engineering about parking and safety. Michelle Cloud seconded*  
11 *the motion. Rebecca Broneman, Ralph Ballard, Shelley Goodfellow, Michelle Cloud, Mark Sampson,*  
12 *Brad Winder – aye. Kelby Iverson - abstained.*  
13

## 14 NEW BUSINESS

15  
16 1. 2022-ZC-28 2022-PSP-24: Discussion and consideration of a recommendation to the City  
17 Council on a Zone Change Amendment request located on the northwest corner of SR-7 & SR-9 intersection  
18 from R1-8, one unit per 8,000 square feet, to PC, planned commercial. Parcel numbers H-3-1-31-1101 and H-  
19 3-1-31-2101. Silverado Development LLC Applicant  
20

21 Dave Hunter, with partner Joe Brown and Julian Stemmer. Dave Hunter says it is still very malleable,  
22 nothing is in cement and can be discussed. He clarified the acreage of the property as well as  
23 presented the project to the commission. They are proposing a hotel that will drive traffic to it with pull-  
24 through parking for RVs. They will have retail (restaurant with a drive-thru) and a convenient store  
25 against the highway. North of that would be “man-caves” which are studios with large shop space as  
26 well as multi-family units. Stephen Nelson clarified that the shop/storage space would not be  
27 commercial, it would be a townhome with a large garage, only personal use. Mr. Hunter stated that  
28 this will be included in the CCN&Rs to keep it that way. He talked about the apartments on the  
29 northern side of the property, saying we are at 4% vacancy and that there are not enough apartments.  
30 Mr. Nelson stated that recent study shows apartments in Washington County is at 1% vacancy. Mr.  
31 Hunter wants to know if it is something the planning commission wants to see. Rebecca Bronemann  
32 stated that she thinks it's a great location, but she wants to see something that conforms to the city  
33 codes more. Mr. Nelson stated that the general plan map does not currently say mixed use but he is  
34 generally for the change. However, the property to the north is going to be single family homes, so he  
35 is wanting to rearrange the layout to have the apartments closer to the hotel and townhomes to the  
36 north closer to the single-family lots. He recommends we continue the item to confirm the amount of  
37 acreage prior to making a recommendation for approval. For mixed use it has to be 20% of  
38 commercial so we have to make sure what the layout and use will be. Mr. Hunter says he would like  
39 feedback on what the city wants from this. Shelley Goodfellow asked if they had issues to move  
40 around apartments and townhomes? Mr. Hunter said it's not a problem but they wanted the  
41 apartments to have the great view being three stories and said the man-caves will be short. They just  
42 want to know if they are going in the right direction. Ralph Ballard stated that he is concerned about  
43 the mixed use and thinking we need more commercial on a major intersection like that. He thinks we  
44 need more availability of restaurants and convenient stores. He thinks it is a great intersection for  
45 more commercial use. Mark Sampson clarified with Mr. Nelson on the timeline of the single-family  
46 homes north of this location. Mr. Nelson confirmed that they are working on sewer issues and  
47 connections. Mr. Sampson and Mr. Nelson discussed where that highway (SR-7) will end and where  
48 city will maintain area. North of the main highway intersection will be City maintained. Mr. Nelson said  
49 the concern with it would be the entrance into the commercial area and making a through street or  
50 rotating the layout. He also has concerns about visibility of commercial off of the highway. The  
51 roadway is being worked on and will connect at 600 N and Peregrine Pointe East will continue it to the



1 river and the State will pick it up from the river up in about 20 years. Mr. Ballard asked about where  
2 the Toquerville road will connect? It was shared that it won't connect to us. Kelby Iverson thinks the  
3 project is cool and had questions on man-caves. He wanted clarification on if they would be single  
4 residence or secondary residence. Mr. Hunter clarified that there will be an HOA to control it and  
5 clarified that you could do hobbies such as working on their cars and welding. Mr. Iverson likes that it  
6 is more residential and commercial, but he says maybe they cut out the man-caves and add another  
7 restaurant or something that is more needed in the community. Michelle Cloud brought up the 4  
8 questions of zone changes and stated that it answers all but number one. However, number one –  
9 being consistent with the general plan, had previously been discussed about possibly changing the  
10 general plan use for this specific parcel so keeping that in mind, it all answers in the affirmative. She  
11 confirmed that the man-caves would not be vacation rentals. Mr. Nelson clarified that the code says if  
12 it is residential it cannot be short term rentals. Brad Winder brought up a concern of how people are  
13 going to drive past it and miss it. He thinks that motels/ hotels are less needed and that different  
14 commercial could be put there instead. Mr. Hunter says it would be a destination hotel, not another  
15 chain. Mr. Ballard would like to see it more heavy on the commercial side with more restaurants. Mr.  
16 Nelson stated that the site plan is tied to the zone change so it should still be taken into consideration  
17 with the zone change. He says the general concept should be mostly tied down before the zone  
18 change is approved. Mr. Hunter's last comment was that they will look more into how the entrances  
19 and roads will layout. Councilman Kevin Thomas made a comment of how the commercial could be  
20 moved to a more accessible spot and have more commercial instead of the man-caves or move them  
21 to the back of the property.

22  
23 *Kelby Iverson motioned to continue 2022-ZC-28 / 2022-PSP-24 to get the acreage discrepancy*  
24 *resolved. Shelley Goodfellow seconded the motion. Unanimous.*

25  
26 2. 2022-PSP-23: Discussion and consideration of a possible approval of a preliminary site plan  
27 for Zions Gateway Phase 3, a commercial development consisting of retail space and restaurants, located at  
28 the northwest corner of SR-9 and 2000 W. SR-9 Retail Center LLC (Rick Adams) Applicant. Bush & Gudgell,  
29 Inc (Rick Meyer) Agent.

30  
31 Rick Meyer shared what is currently there and talked about future phases. Attorney Dayton Hall spoke  
32 of the CCN&Rs for the development and about the access agreements being included. Mr. Meyer  
33 shared that the idea is to add two restaurants, a drink shop, and a couple retail stores. He explained  
34 that there is a lot of parking because it will be used for phase 4 as well. Their intention is to maintain  
35 ownership and lease out locations. Mark Sampson clarified with Stephen Nelson about whether or not  
36 this was included in the beginning. Mr. Nelson stated that he was not here but that his general  
37 knowledge is that this was anticipated to be built out fully for commercial purposes. Mr. Meyer shared  
38 that he is not sure if there was master plan for the project or not. There were no concerns voiced by  
39 the commission.

40  
41 *Kelby Iverson motion to approve 2022-PSP-23 subject to staff and JUC comments. Rebecca*  
42 *Bronemann seconded the motion. Unanimous.*

#### 43 44 **Approval of Minutes**

45  
46 1. May 25, 2022

47  
48 *Rebecca Bronemann motioned to approve the minutes from May 25, 2022 with the discussed*  
49 *amendments. Brad Winder seconded the motion. Unanimous.*

1. City Council Recap

Approved	Denied	Continued	Tabled
Golf Cart Ordinance		Wetzel Zone Change	
Peregrine Pointe East and Sky Mountain West Preliminary Plat and Sensitive Lands			
Dixie Height PDO Zone Change – Allowing Reduced Side Setbacks on Lots 1-9 Only. Rest of lots must meet setback requirements per R1-10 standards			
Acknowledgement Waiver Ordinance			
Stout PDO Zone Change and Development Agreement Modification			
2022-2023 Fiscal Year Budget – including grants for 600 North Trial and Sand Hollow Road Trail.			

*Rebecca Bronemann motioned to adjourn. Michelle Cloud seconded the motion. Unanimous.*

**Adjournment**