



FARR WEST CITY PLANNING COMMISSION AGENDA

May 26, 2022 at 7:00 p.m.
City Council Chambers
1896 North 1800 West
Farr West, UT 84404

Notice is hereby given that the Planning Commission of Farr West City its regular meeting at 7:00 pm on Thursday, May 26, 2022

1. Call to Order - Chairman Ted Black
2. Opening Ceremony
 - a. Pledge of Allegiance
 - b. Prayer
3. Business Items
 - a. Report from City Council
 - b. Open public hearing to consider changes to the landscaping ordinances to incorporate water-wise requirements
 - c. Close public hearing and proceed with the regular meeting
 - d. Recommendation to the City Council approval or denial of the changes to the landscaping ordinances to incorporate water-wise requirements
 - e. Set a public hearing for May 26, 2022 to consider the request of a conditional use permit for Matt Montano located at 3770 and 3762 North Higley Road
4. Consent Items
 - a. Approval of minutes dated May 12, 2022
5. Chairman/Commission Follow-up
 - a. Report on Assignments
6. Public Comments (*Resident(s) attending this meeting will be allotted 2 minutes to express a concern or ask a question about any issue that IS NOT ON THE AGENDA. No action can or will be taken on any issue presented.*)
7. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was mailed to each member of the Planning Commission, posted in the City Hall, and posted on the Utah Public Meeting Notice Website on May 25, 2022.

Lindsay Afuvai
Recorder

Suggestions following the work session May 12, 2022

Effectivity Date: Beginning July 1, 2022

Landscaping Requirements:

I. COMMERCIAL AND MANUFACTURING ZONES

A. The required setbacks and areas not used for a building, parking or access are required to be landscaped before occupancy of the building or site is allowed. If occupancy is approved after October 1st, then the landscaping must be installed before July 1st of the following year.

B. Turf is not permitted in parking strips, on slopes greater than 25%, or in areas less than eight feet wide. Turf area shall not exceed 15% of the total landscaped area. Turf shall not be installed between June 15th and September 1st. Drought-tolerant landscaping and a reduction of the use of turf is encouraged.

II. RESIDENTIAL ZONES

A. Front yard area is required to be landscaped within 12 months of the approval of occupancy. This requirement may be extended if Water Conservation District rules prohibit installation of landscaping or if other extenuating circumstances are approved by the city.

B. Turf is not permitted in parking strips, on slopes greater than 25%, or in areas less than eight feet wide. Turf area shall not exceed 35% of the front and side yard landscape area.

C. Vegetable garden plots should be irrigated in a manner suitable to the crop being watered while exercising prudence in water conservation and abiding by city and/or Water Conservation District recommendations.

D. Landscaping in backyards (area behind the back plane of the house) is not restricted. Prudence in water conservation is encouraged when planning backyard landscapes.

III. COMMERCIAL/MANUFACTURING AND RESIDENTIAL ZONES

A. All commercial, manufacturing, and residential development and construction approved after July 1, 2022, shall comply with the following landscaping requirements:

1. Drip irrigation must be used outside of turf areas excluding vegetable gardens.
2. Irrigation zones shall be established in order to irrigate landscapes with similar site, slope, and plant materials with similar watering needs and watering times (i.e., lawn and planting beds shall be irrigated in separate zones). Drip irrigation systems and sprinklers shall not be located on the same irrigation zone. Combinations of differing sprinkler heads shall not be located on the same irrigation zone.
3. WaterSense labeled smart irrigation controllers, equipped with rain delay, shall be installed.
4. Mulch or other natural material is encouraged in planting beds.

IV. EXISTING COMMERCIAL/MANUFACTURING AND RESIDENTIAL PROPERTIES.

1. Farr West City encourages all existing properties to:
 - a. Install WaterSense labeled smart irrigation controllers, equipped with rain delay.
 - b. Remove turf from parking strip.
 - c. Only irrigate between the hours of 6:00 PM and 10:00 AM.
 - d. Follow all recommendations for water conservation.

Requirements for HOA's and multifamily development have been purposely left out as we currently do not allow these types of development.



Farr West City

APPLICATION FOR ISSUANCE OF CONDITIONAL USE PERMIT

The Municipal Code 17.48.020 requires that the following be considered to obtain a Conditional Use Permit.

Application Date 04/26/22 Applicant Name Matt Montano

Mailing Address [REDACTED]

Phone Number [REDACTED] Email [REDACTED]

Property address of proposed conditional use 3770 & 3762 North Higley Road Current Zoning: C-2

Please list the requested conditional use as listed within the city zoning ordinance _____

Warehousing, with at least twenty five percent (25%) of floor space for office use.

A) Explain how the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community.

The project is located in an area which deals with shipping, manufacturing, and warehousing already. The addition of this building would match the existing surroundings and provide a necessary warehousing service to the area. This new building will also provide an increase in job availability to the surrounding community allowing more people a chance to work closer to home.

B) Explain how such use will not be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses.

All precautions have been taken to assure that they construction of this building will not in any way affect the health, safety, or general welfare of any person. The property will be improved both aesthetically and functionally and will match the surrounding buildings & property usages already existing in the area.

C) Explain how the proposed use will comply with the regulations and conditions specified in this title for such use.

The building will match the existing requirements for a C-2 commercial zone by providing the required parking, setbacks, landscaping, and storm water detention specifications. Sufficient space will be provided for fire prevention measures, & utilities will be installed per city standards.

D) Explain how the proposed use conforms to the goals, policies and governing principles and land use of the Farr West City General Plan.

This project aligns well with the existing general plan as it is being constructed in an already industrial area and will match well with the surrounding land uses. The first goal of Farr West City, according to the General Plan, is to establish land uses that promote employment. This project/land use would provide more jobs to the surrounding community thus furthering the goals & ambitions of the City.

E) Explain how the proposed use will not lead to the deterioration of the environment, or ecology of the immediate vicinity, the general area, or the community as a whole.

The project has made an effort to leave as much of the existing ecology & environment of the property as is. The entire east bank of the canal, and the canal itself has been preserved in its natural state. The project has completed a geotechnical survey to assure it does not disturb or contaminate any existing ground water in the area. The project will install all utilities, especially sanitary sewer, to city standards to avoid any contamination of the site or community.

Math Montano

Signature of Applicant

Property Owner? ☒ Y ☐ N

Date Application & \$100.00 Processing Fee received mdy 2, 2022

Received by McKinzie

Date of public hearing: _____

Date application was ____ Approved ____ Denied by Planning Commission _____

Conditions/Reasons

Date application was ____ Approved ____ Denied by City Council: _____

Conditions/Reasons

Planning Commission Chair

Mayor

MONTANO
PROJECT NOTES

PROJECT OVERVIEW:

PROJECT CONSISTS OF CONSTRUCTING A 25,200 SQUARE FOOT BUILDING ON A 2.10 ACRE LOT IN A C-2 COMMERCIAL USE ZONE, AND IS LOCATED BETWEEN HIGLEY ROAD AND 2000 WEST STREET (SR-126) JUST SOUTH OF THEIR NORTH INTERSECTION.

ACCESS:

SITE ACCESS IS TO BE LOCATED AT THE NORTHWEST END OF THE PROPERTY WHICH WILL CONNECT TO HIGLEY ROAD.

LANDSCAPING:

SITE LANDSCAPING CONSISTS OF TWO COBBLE-LINED DRAINAGE PONDS, ONE THAT BORDERS THE WEST SIDE OF THE PROPERTY, AND THE OTHER THE EAST SIDE OF THE PROPERTY. INTERIOR GREENSCAPE ISLANDS ARE NOT PRACTICAL ON THIS PROJECT.

FENCING:

LIGHTING:

THE PROJECT WILL UTILIZE LIGHTING ATTACHED TO THE BUILDINGS. THERE ARE NO PROPOSED LIGHT POLES

CONSTRUCTION NOTES:

ALL CONSTRUCTION TO BE TO FARR WEST CITY STANDARDS AND APPLICABLE UTILITY AGENCIES: CULINARY WATER – BONA VISTA WATER IMPROVEMENTS DISTRICT. IN THE EVENT THERE IS NO APPLICABLE STANDARD, CONTACT PROJECT ENGINEER / CITY ENGINEER. CONTRACTOR MUST ATTEND PRE-CONSTRUCTION CONFERENCE WITH CITY PRIOR TO COMMENCING WORK.

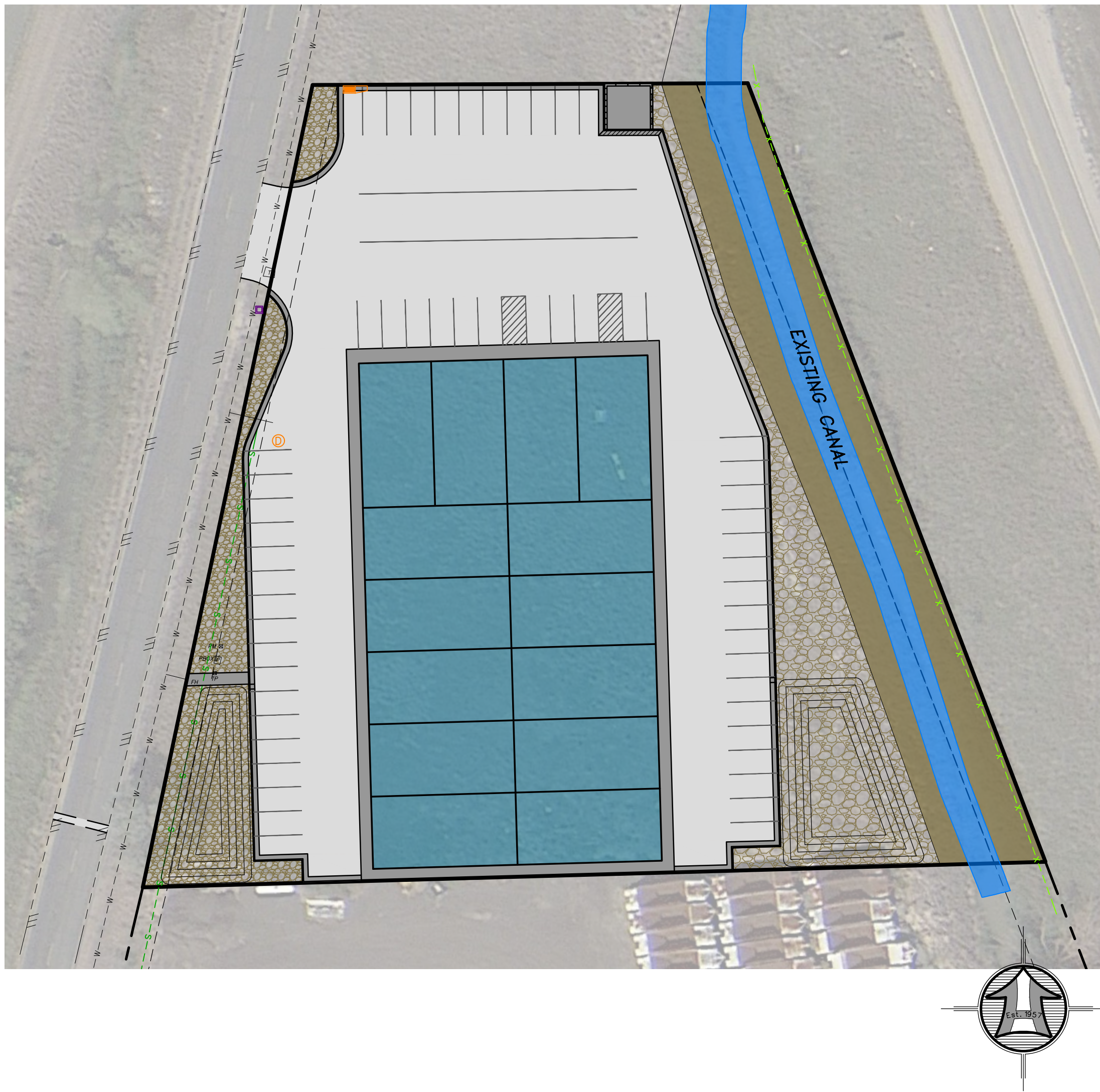
PRIOR TO CONSTRUCTION, CONTRACTOR TO LOCATE ALL EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR UNCOVERING AND VERIFICATION OF ALL EXISTING UTILITIES.

SOILS TESTING TO BE PERFORMED ON PROJECT, ESPECIALLY FOR TRENCH RESTORATION. OWNER FUNDAMENTALLY WILL BE PAYING FOR SOILS TESTING BUT SUCH TO BE NEGOTIATED PRIOR TO START OF CONSTRUCTION (I.E. PERHAPS OWNER PAYS FOR ALL PASSING TESTS, CONTRACTOR FOR FAILING ONES, ETC.).

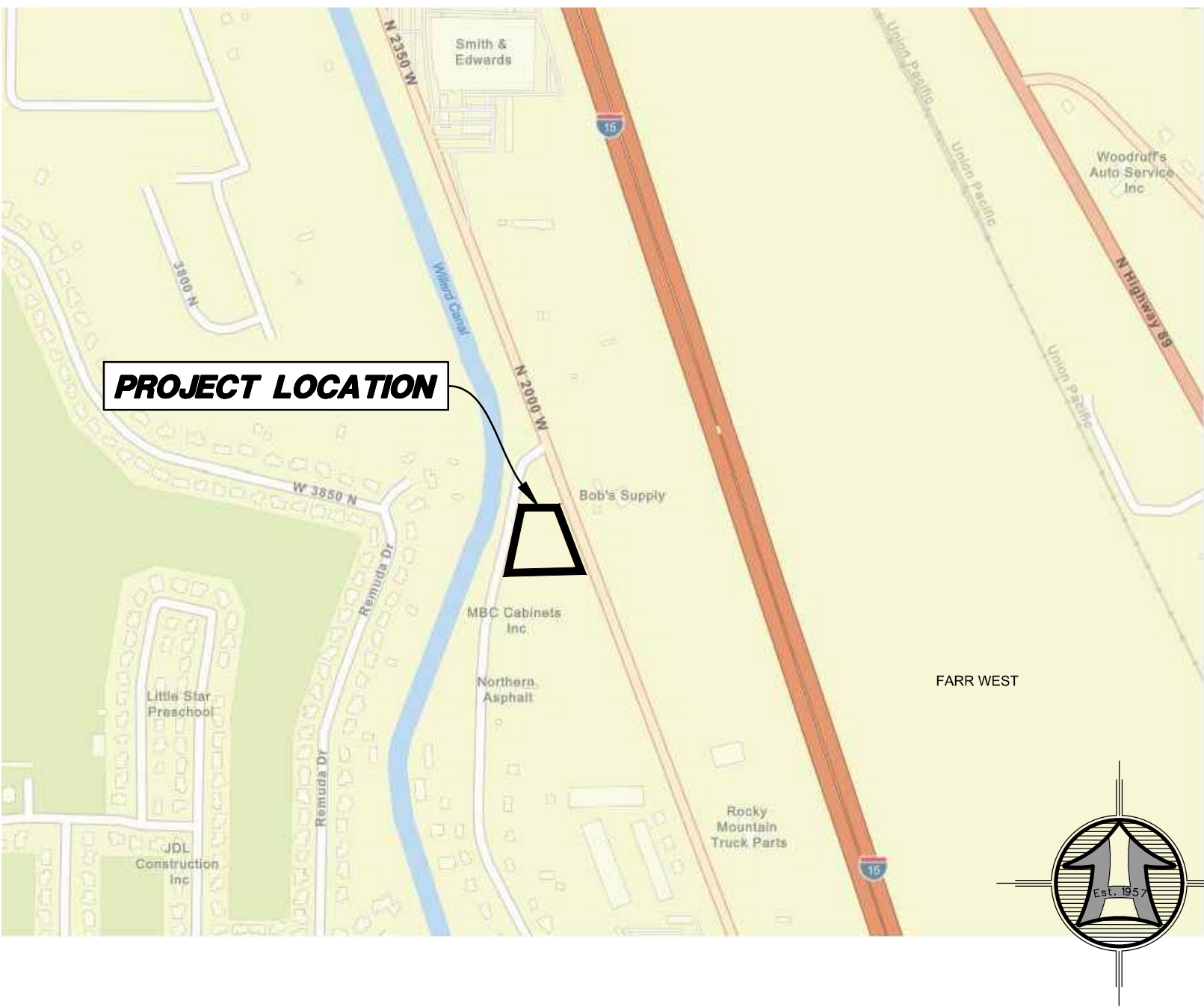
OBTAIN APPROPRIATE SWPPP PERMIT PRIOR TO COMMENCEMENT OF WORK

IMPORTANT:

ALL UTILITY TRENCHES TO BE COMPACTED TO 95%!



VICINITY MAP



WATER / FIRE PROTECTION:

FIRE HYDRANTS ARE LOCATED NEARBY – CONTACT FARR WEST CITY / BONA VISTA WATER IMPROVEMENTS DISTRICT FOR DETAILS/USAGE.

THE PROJECT WILL INSTALL AN 6” WATERLINE WHICH WILL CONNECT THE PROPOSED FIRE HYDRANT TO THE EXISTING 6” WATERLINE ALONG HIGLEY ROAD. A 4” FIRELINE WILL ALSO CONNECT TO THE EXISTING 6” WATERLINE ALONG HIGLEY ROAD & BE RUN TO THE BUILDING FOR FIRE SPRINKLING PURPOSES. THE BUILDING WILL BE EQUIPPED WITH FIRE SPRINKLERS. A 2” SERVICE LINE WILL BE INSTALLED FROM THE EXISTING WATER MANHOLE TO THE BUILDING FOR CULINARY WATER USAGE.

WATER PROVIDER IS BONA VISTA WATER IMPROVEMENT DISTRICT – CONTACT BLAKE CARLIN PRIOR TO COMMENCEMENT OF WORK AT 801-621-0474. CULINARY WATER SERVICE LATERAL TO BE 2” DIAMETER WITH 2” DIAMETER SETTER PER BONA VISTA WATER STANDARDS & SPECIFICATIONS. FIRE HYDRANT LOCATIONS WILL BE PER WEBER FIRE DISTRICT DICTATES – CONTACT DAVID REED AT 801-782-3580.

BONA VISTA WATER NOTES / PARTICULARS:

- (1) ALL WORK ON THE CULINARY WATER SYSTEM IS TO BE TO BONA VISTA WATER IMPROVEMENT DISTRICT STANDARDS.
- (2) DISTRICT STANDARDS REQUIRE THE USE OF CORROSION RESISTANT MATERIALS FOR THE WATER LINE, NAMELY, EITHER ROMAC BLUE BOLTS OR STAINLESS STEEL BOLTS MUST BE USED ON ALL FITTINGS, ALONG WITH POLY WRAP OF METAL FITTINGS.
- (3) CONNECTION FOR IRRIGATION WATER WILL REQUIRE A BACKFLOW PREVENTER AND AN E.T. CONTROLLER FOR THE WATER.

SECONDARY WATER:

NO SECONDARY WATER IS AVAILABLE AT THE SITE. THE PINEVIEW SYSTEM ENDS APPROX. 1,000’ TO THE SOUTH.

DUE TO THIS, THE SITE HAS PROPOSED XERI/ROCKSCAPE AS ITS LANDSCAPING.

SEWER:

THE PROJECT WILL UTILIZE A 4” GRAVITY SEWER UNDER THE BUILDING WHICH WILL FLOW TO AN E-ONE GRINDER PUMP LOCATED NEAR THE EXISTING SEWER CLEANOUT. THE PUMP WILL THEN CONNECT TO THE EXISTING SEWER SYSTEM. FARR WEST CITY CONTACTS ARE BRENT SLATER AT 801-391-1172 AND NATE CARVER AT 801-731-4187 / 801-710-7095.

STORM DRAINAGE:

THE PROJECT WILL INSTALL TWO (2) STORM DRAINAGE BASINS. THE BASINS WILL BE CONNECTED WITH A 15”Ø RCP SD PIPE & WILL OUTLET THROUGH AN OUTLET CONTROL DEVICE LOCATED AT THE WESTERLY EDGE OF POND A (SEE DETAIL SHEET 4).

ELECTRICAL:

UNDERGROUND POWER TO BE PER ROCKY MOUNTAIN POWER’S PLAN. CONTACT PERSON IS ROBERT THORSTEAD AT 801-629-4426.

TELEPHONE / CABLE:

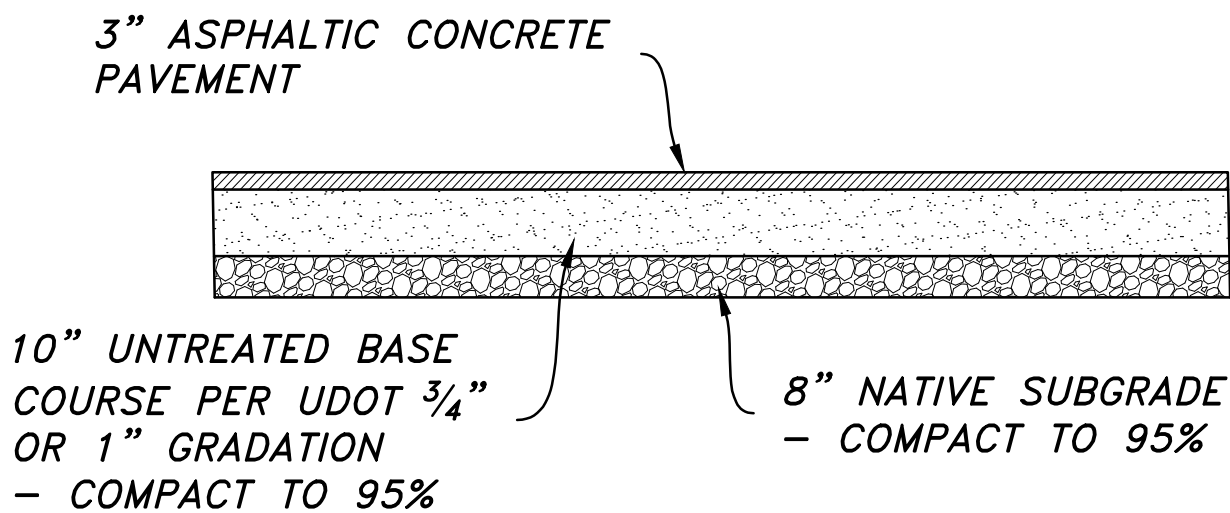
PROJECT TELECOMMUNICATIONS SERVICE TO BE DETERMINED, PRESUMABLY WILL BE INSTALLED IN CONJUNCTION WITH ELECTRICAL INSTALLATION.

GAS:

THE PROJECT WILL UTILIZE PROPANE DUE TO THE UNAVAILABILITY OF GAS AT THE SITE. THIS MATCHES THE TWO EXISTING PROPERTIES TO THE SOUTH.

STRUCTURAL SECTION:

SEE STRUCTURAL SECTION THIS SHEET



TYPICAL ON-SITE PAVEMENT SECTION

Drawn By: BTC
Designed By:
Checked By:
Approved By:
Scale: 1" = **
Drawing File: 21-S-58v19 CP
JOB NUMBER: 21-5-58

Date: 04/26/22

PROJECT NOTES FOR
MONTANO
3770 & 3762 N. HIGLEY ROAD
FARR WEST, UTAH 84404
A Part of the Southeast Quarter of Section 2
Township 10 North, Range 2 West, S.L.B.&M.

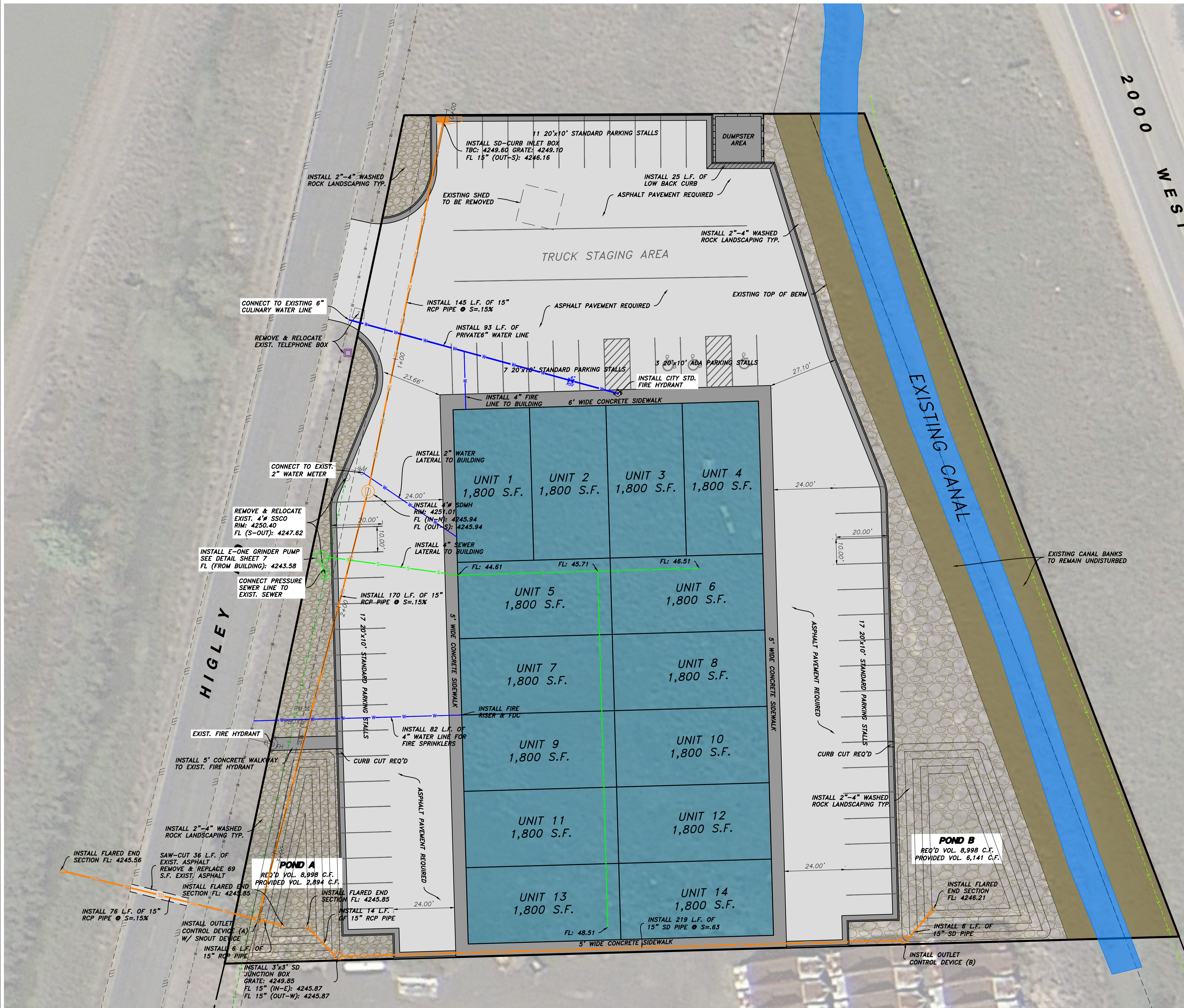
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of
7
Sheets

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HAI

Revision

OVERALL SITE & UTILITY PLAN



PROJECT DATA

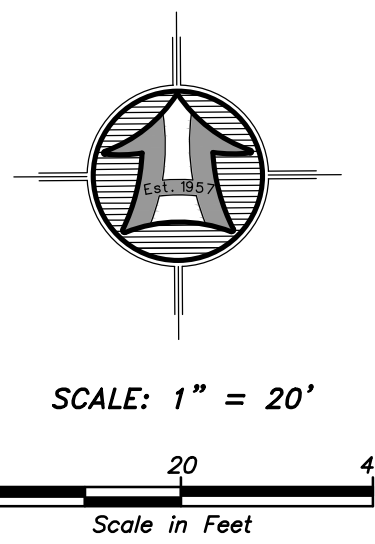
PARCEL ID #:	191550005 & 06
PARCEL AREA:	2.10 ACRES 91,384 S.F.
PROJECT AREAS:	
BUILDING UNITS (14):	25,200 S.F.
LANDSCAPE AREA 10% MIN:	26,568 S.F.
ASPHALT PAVEMENT:	34,454 S.F.
CONCRETE SIDEWALK:	3,530 S.F.
STD. CURB & GUTTER:	882 L.F.
DRAINAGE PONDS:	
REQUIRED VOLUME:	8,998 C.F.
PROVIDED VOLUME:	9,035 C.F.
LID REQUIRED VOLUME:	2,285 C.F.
LID PROVIDED VOLUME:	2,327 C.F.

PARKING STALL TABLE

UNITS:	14
TOTAL PARKING PROVIDED:	55 Stalls
REQUIRED PARKING:	
WAREHOUSE (75% OF BUILDING):	
1 SPACE/1000 S.F.:	19
RETAIL (25% OF BUILDING)	
5 SPACES/1000 S.F.:	35
TOTAL REQUIRED:	54 STALLS

C-2 GENERAL COMMERCIAL ZONE

FRONT SETBACK FROM DEDICATED ROW..... 20'
SIDE YARD SETBACK ADJACENT TO C-2 PROPERTY..... NA
(EXCEPT AS REQUIRED IN BUILDING CODE.)
REAR YARD SETBACK ADJACENT TO C-2 PROPERTY..... NA
(EXCEPT AS REQUIRED IN BUILDING CODE.)
SIDE YARD SETBACK, ADJACENT TO RESIDENTIAL ZONE..... 10'
REAR YARD SETBACK, ADJACENT TO RESIDENTIAL ZONE.... 10'
LOT AREA AND WIDTH..... NA



LEGEND:

	SUBDIVISION BOUNDARY
	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	PROPOSED SEWER LINE
	EXISTING SEWER LINE
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED STORM DRAIN PIPE
	EXISTING STORM DRAIN PIPE
	PROPOSED GAS LINE
	PROPOSED POWER LINE
	PROPOSED TELEPHONE LINE
	PROPOSED SECONDARY WATER LINE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED CATCH CURB & GUTTER
	PROPOSED LOW-BACK CURB & GUTTER
	PROPOSED TRANSITION CURB & GUTTER
	PROPOSED SIDEWALK
	PROPOSED ASPHALT PAVEMENT
	PROPOSED LANDSCAPING AREA (2"-4" WASHED ROCK)
	EXISTING STORM DRAIN MANHOLE
	EXISTING STORM DRAIN INLET
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING LIGHT POLE
	PROPOSED SEWER MANHOLE
	PROPOSED STORM DRAIN INLET
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	PROPOSED CATCH CURB & GUTTER
	PROPOSED LOW-BACK CURB & GUTTER
	PROPOSED TRANSITION CURB & GUTTER
	PROPOSED SIDEWALK
	PROPOSED ASPHALT PAVEMENT
	PROPOSED LANDSCAPING AREA (2"-4" WASHED ROCK)

Engineer's Notice To Contractors

The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed improvement. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

NOTICE!

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Drawn By: BTC Date: 04/26/22
Designed By: _____
Checked By: _____
Approved By: _____
Scale: 1" = 20'
Drawing File: 21-5-58/19 CP
JOB NUMBER: 21-5-58

OVERALL SITE & UTILITY PLAN FOR
MONTANO
3770 & 3762 N. HIGLEY ROAD
FARR WEST, UTAH 84404
A Part of the Southeast Quarter of Section 2
Township 10 North, Range 2 West, S.L.B.&M.

Sheet

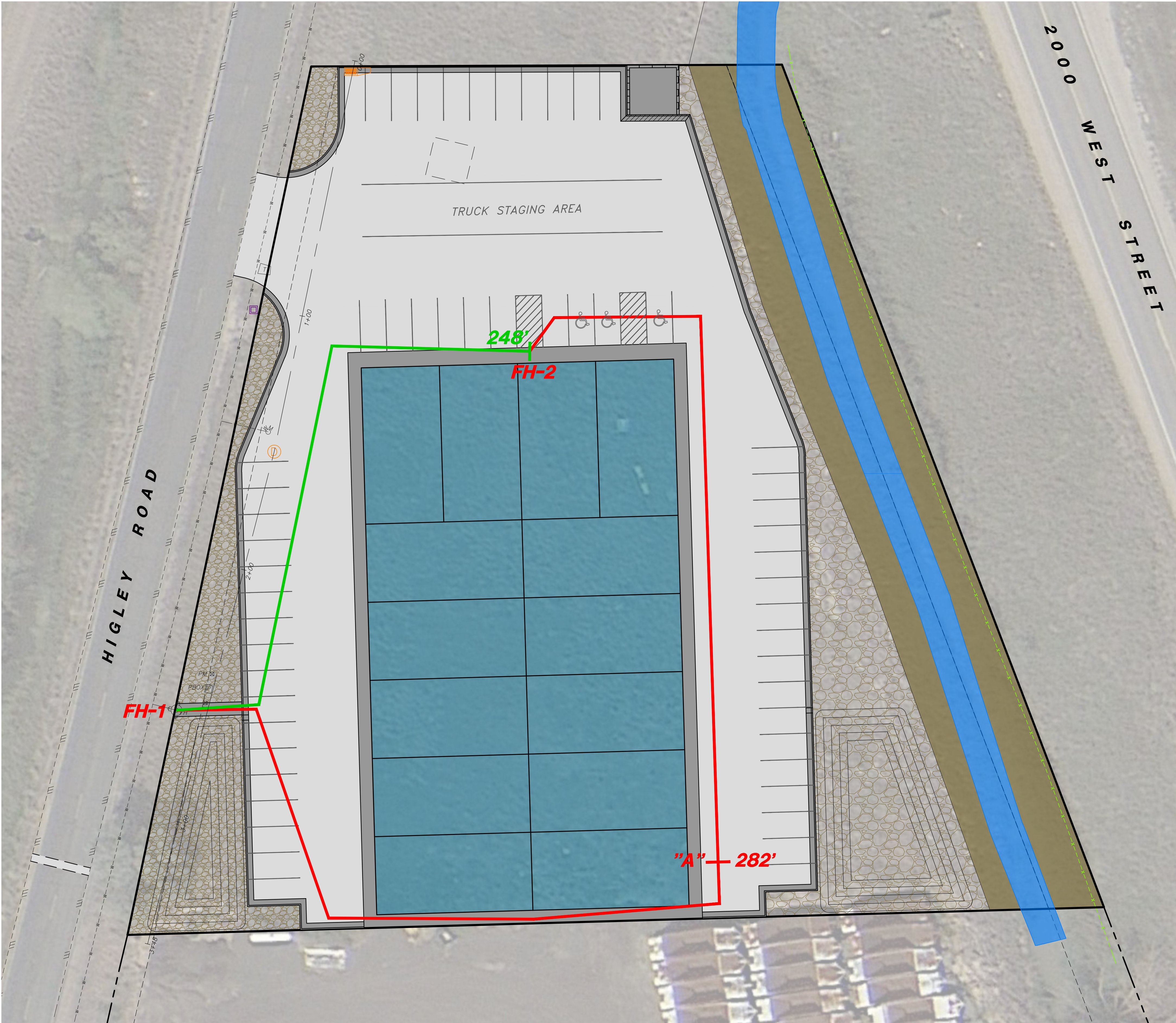
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Sheets

FIRE MARSHAL PLAN



FIRE HYDRANT TO LOCATION DISTANCE:
FH-1 TO FH-2: 248'
FH-1 TO "A": 282'
FH-2 TO "A": 282'

LEGEND:

- | | |
|---|---|
| <ul style="list-style-type: none">SUBDIVISION BOUNDARYPROPOSED PROPERTY LINEEXISTING PROPERTY LINEEXISTING SEWER LINEEXISTING WATER LINEEXISTING SECONDARY WATER LINEEXISTING STORM DRAIN PIPEPROPOSED SEWER LINEPROPOSED WATER LINEPROPOSED GAS LINEPROPOSED POWER LINEPROPOSED TELEPHONE LINEPROPOSED SECONDARY WATER LINEPROPOSED STORM DRAIN PIPESAW-CUT REQ'D.EXISTING FENCEEXISTING 5' CONTOUREXISTING 1' CONTOUREXISTING SEWER MANHOLE | <ul style="list-style-type: none">EXISTING STORM DRAIN MANHOLEEXISTING STORM DRAIN INLETEXISTING WATER METEREXISTING FIRE HYDRANTEXISTING LIGHT POLEPROPOSED SEWER MANHOLEPROPOSED STORM DRAIN MANHOLEPROPOSED STORM DRAIN INLETPROPOSED WATER METERPROPOSED FIRE HYDRANTEXISTING CURB & GUTTEREXISTING SIDEWALKPROPOSED CATCH CURB & GUTTERPROPOSED SPILL CURB & GUTTERPROPOSED TRANSITION CURB & GUTTERPROPOSED SIDEWALKPROPOSED ASPHALT PAVEMENTPROPOSED LANDSCAPING AREA |
|---|---|

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Call BEFORE YOU Dig

1-800-662-4111 UNDERGROUND SERVICE

Drawn By: BTC

Designed By:

Checked By:

Approved By:

Scale: 1" = **

Drawing File: 21-S-58v19 CP

JOB NUMBER: 21-5-58

Date: 04/26/22

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FIRE MARSHAL PLAN FOR

MONTANO

3770 & 3762 N. HIGLEY ROAD

FARR WEST, UTAH 84404

A Part of the Southeast Quarter of Section 2

Township 10 North, Range 2 West, S.L.B.&M.

Sheet

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of

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GRADING PLAN

2000 WEST

HIGLEY ROAD

TRUCK STAGING AREA

FF: 4251.51

POND B

TOP: 4250.21

BTM: 4246.21

INSTALL FLARED

END SECTION

FL: 4246.21

INSTALL 6 L.F. OF

15" SD PIPE

S=6.3

INSTALL OUTLET

CONTROL DEVICE (B)

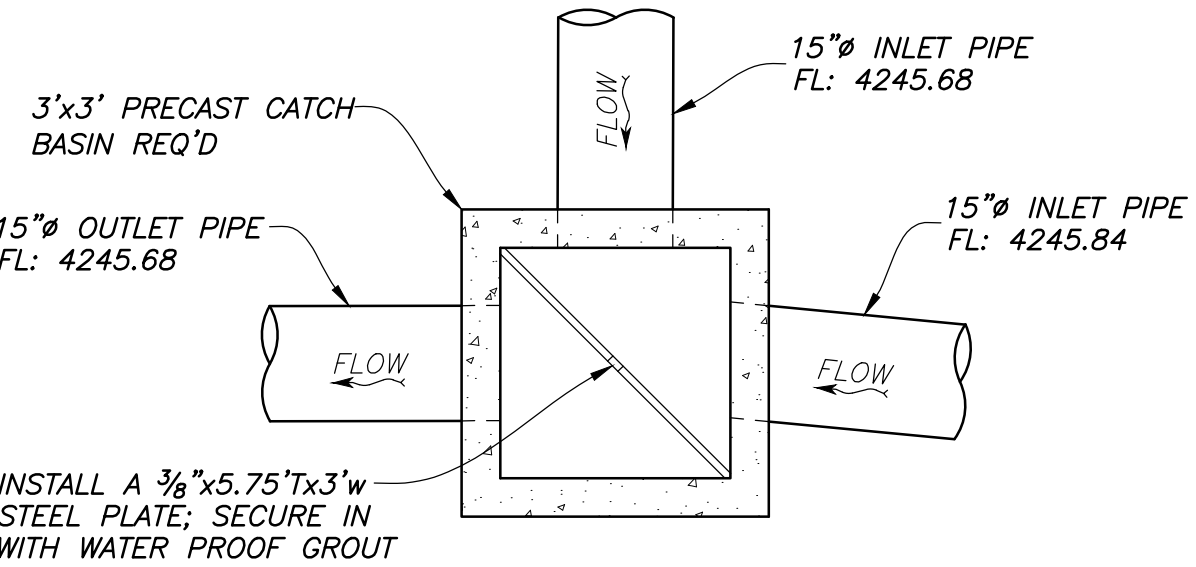
LEGEND:

- SUBDIVISION BOUNDARY
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED GAS LINE
- PROPOSED POWER LINE
- PROPOSED TELEPHONE LINE
- PROPOSED SECONDARY WATER LINE
- PROPOSED STORM DRAIN PIPE
- SAW-CUT REQ'D
- EXISTING FENCE
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING SEWER MANHOLE

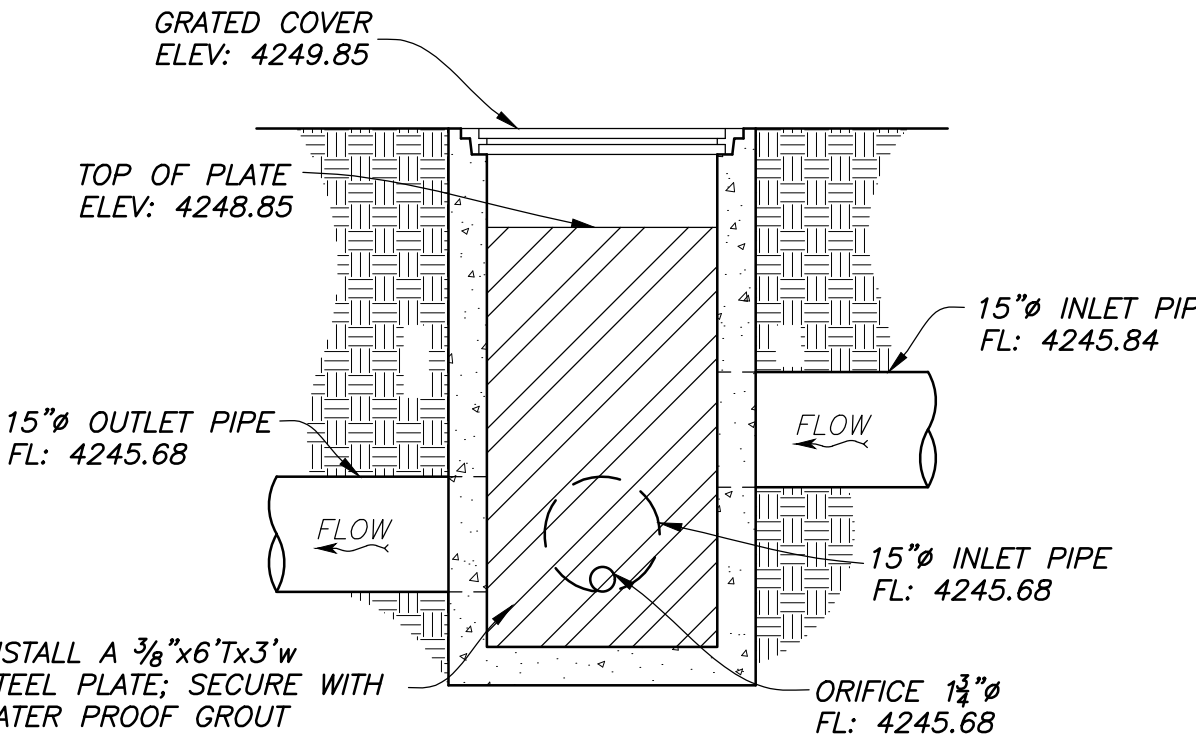
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- PROPOSED SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED CATCH CURB & GUTTER
- PROPOSED SPILL CURB & GUTTER
- PROPOSED TRANSITION CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED LANDSCAPING AREA

GRADING LEGEND

- EO = EDGE OF OIL
- TA = TOP OF ASPHALT
- TG = TOP OF GRAVEL
- NG = NATURAL GROUND
- FL = FLOWLINE
- (EG = EXISTING ELEVATION)



PLAN VIEW

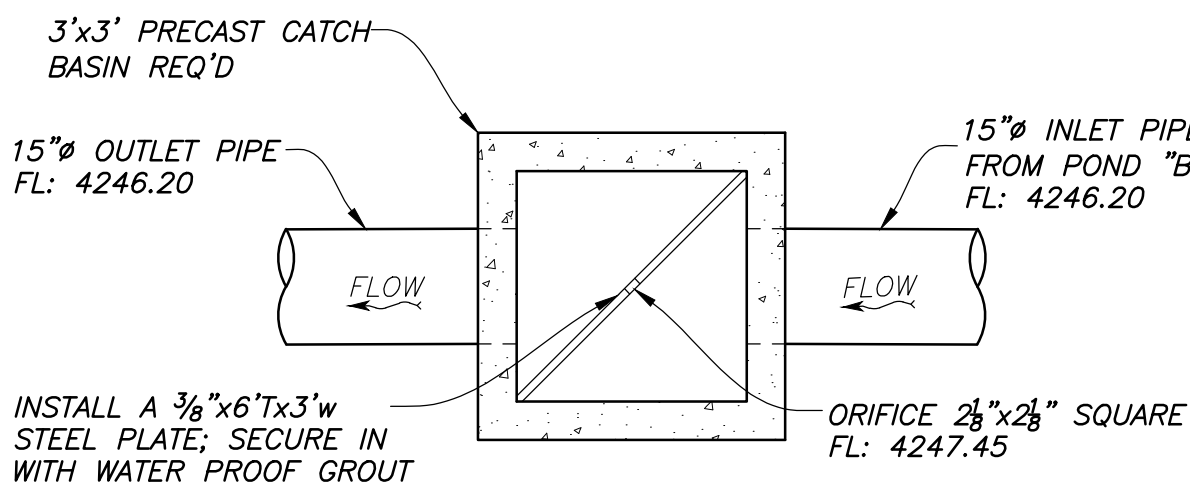


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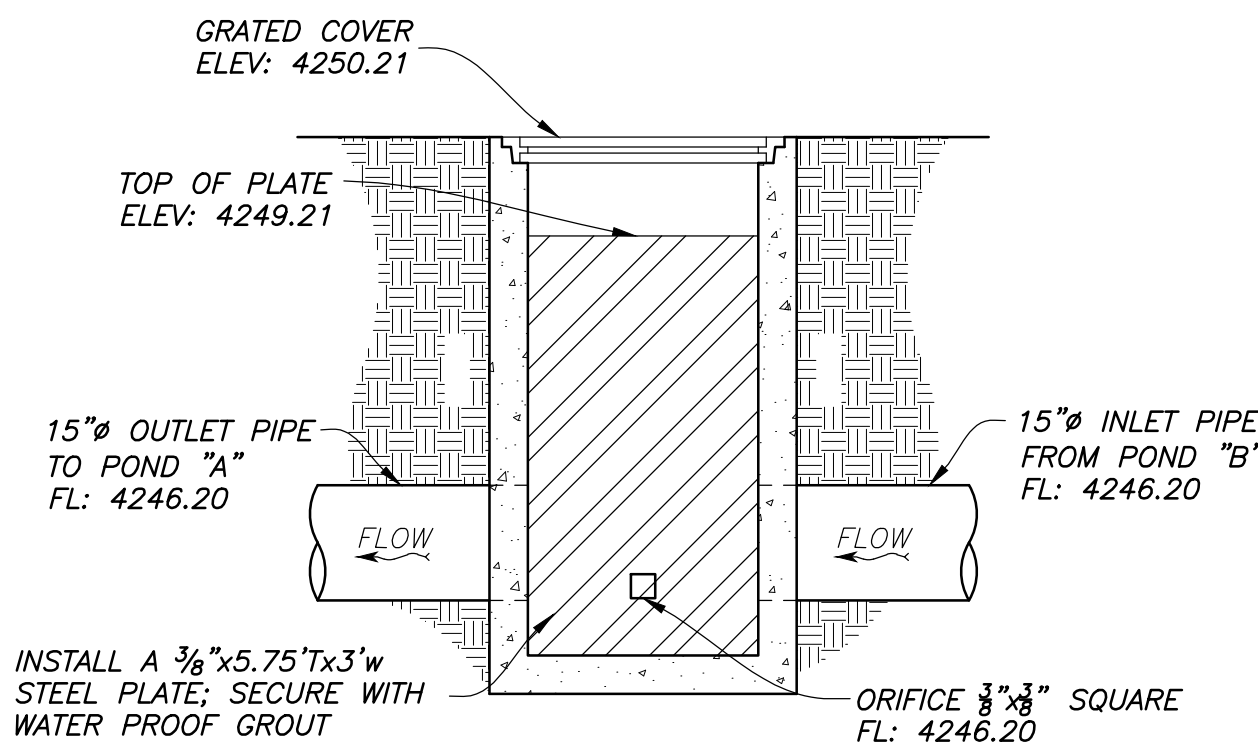
1. ALL PIPE CONNECTIONS TO BOX TO BE WATER TIGHT.
2. ALL CATCH BASINS TO HAVE A MIN. OF 12" FROM FL. TO BOTTOM OF BOX.

3'x3' OUTLET CONTROL DEVICE (A)

NOT TO SCALE



PLAN VIEW



NOTES:

1. ALL PIPE CONNECTIONS TO BOX TO BE WATER TIGHT.
2. ALL CATCH BASINS TO HAVE A MIN. OF 12" FROM FL. TO BOTTOM OF BOX.

3'x3' OUTLET CONTROL DEVICE (B)

NOT TO SCALE

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A Part of the Southeast Quarter of Section 2
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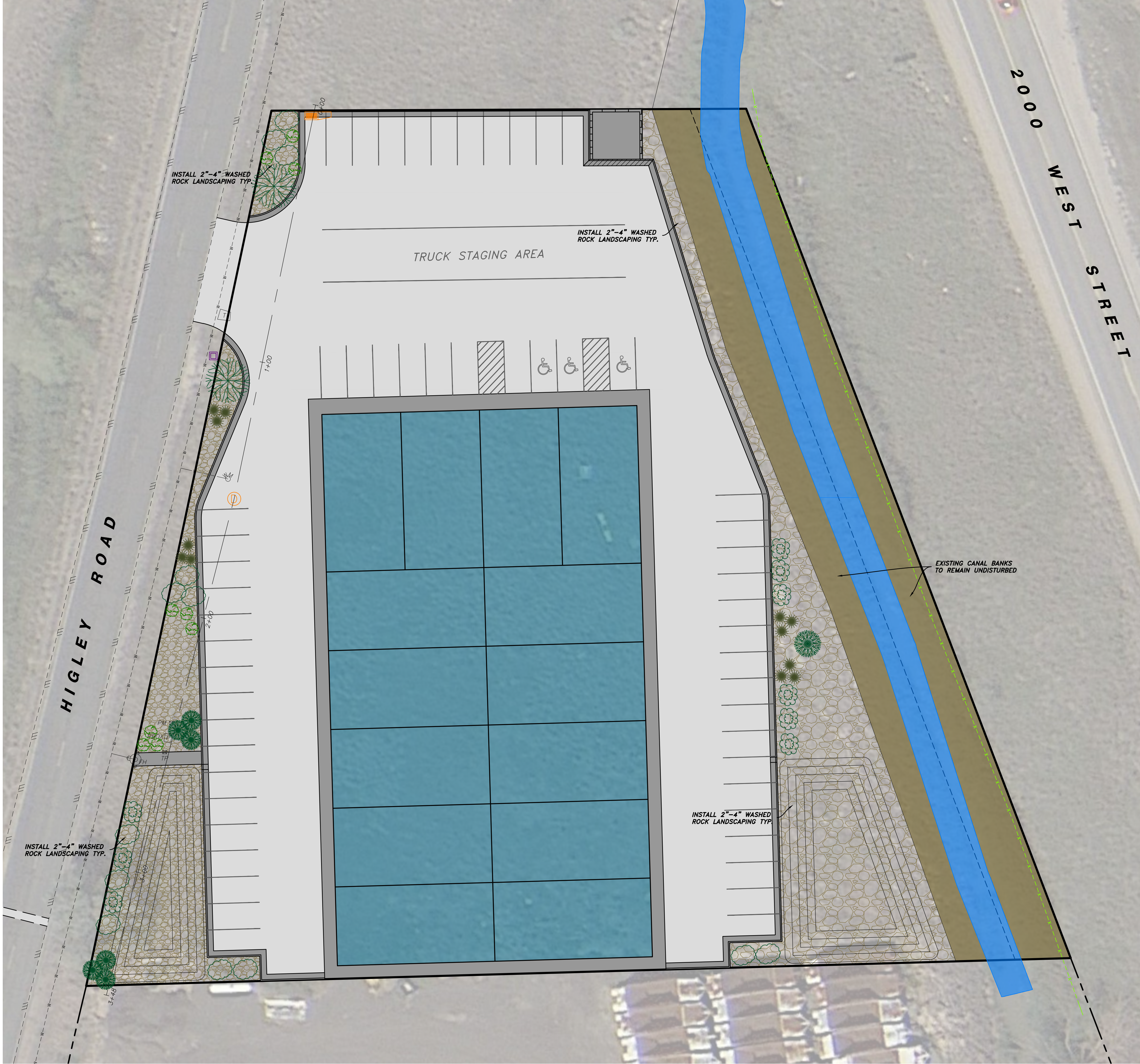
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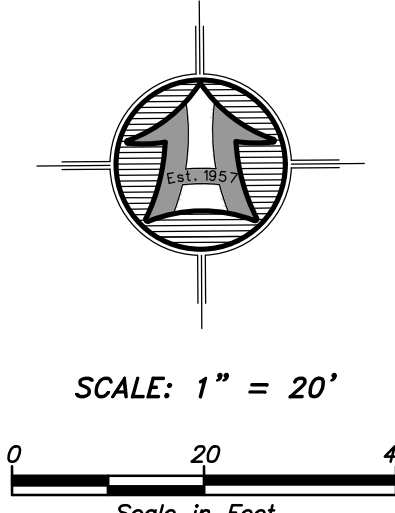
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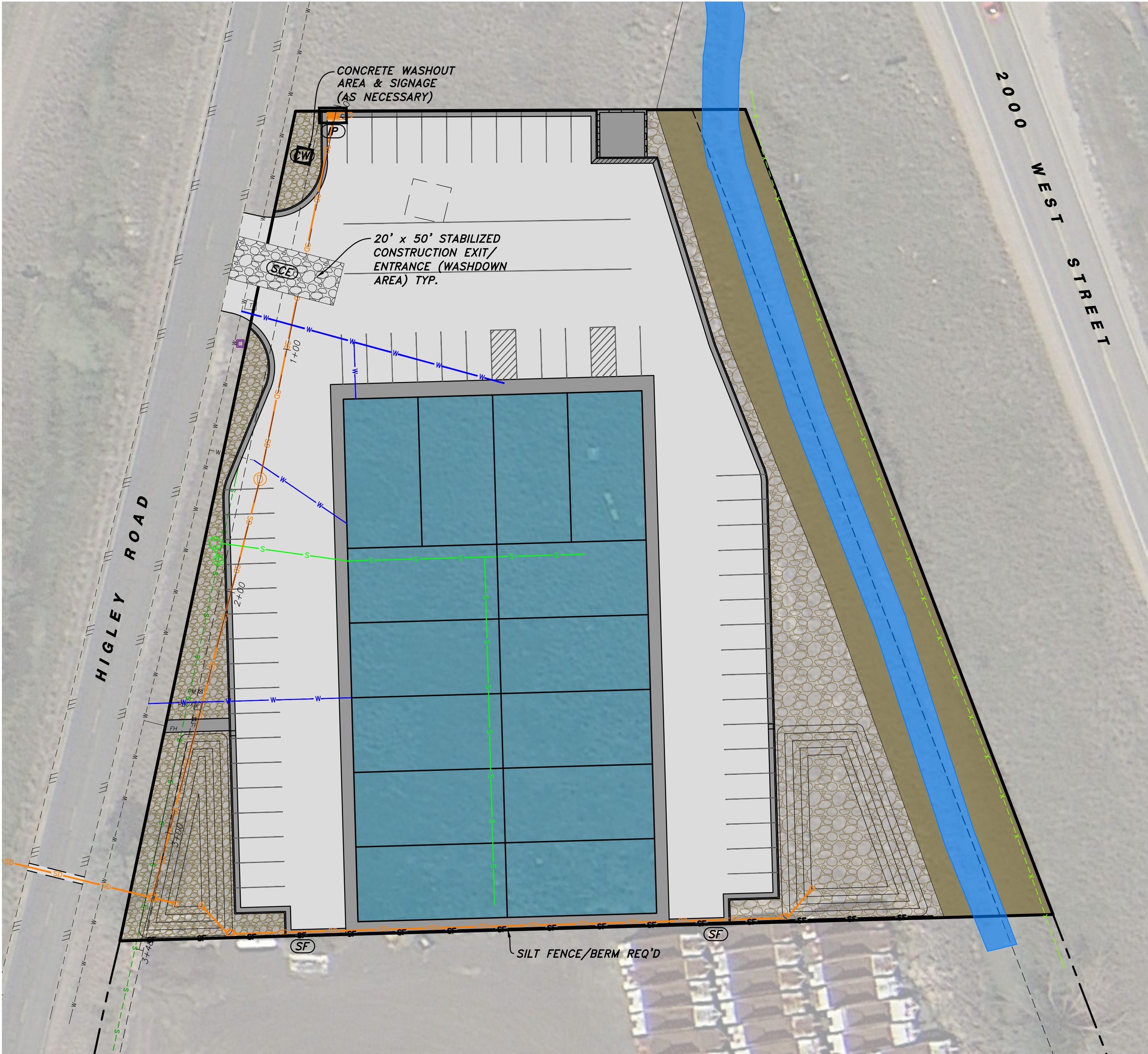
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LANDSCAPING PLAN



- 
- DECORATIVE GRASS MAIDEN GRASS (9)*
- KARL FORERSTER GRASS (12)*
- RUSSIAN SAGE BUSH (9)*
- SPIREA (13)*
- BLUE POINT JUNIPER EVERGREEN (7)*
- CRIMSON KING NORWAY MAPLE (2)*



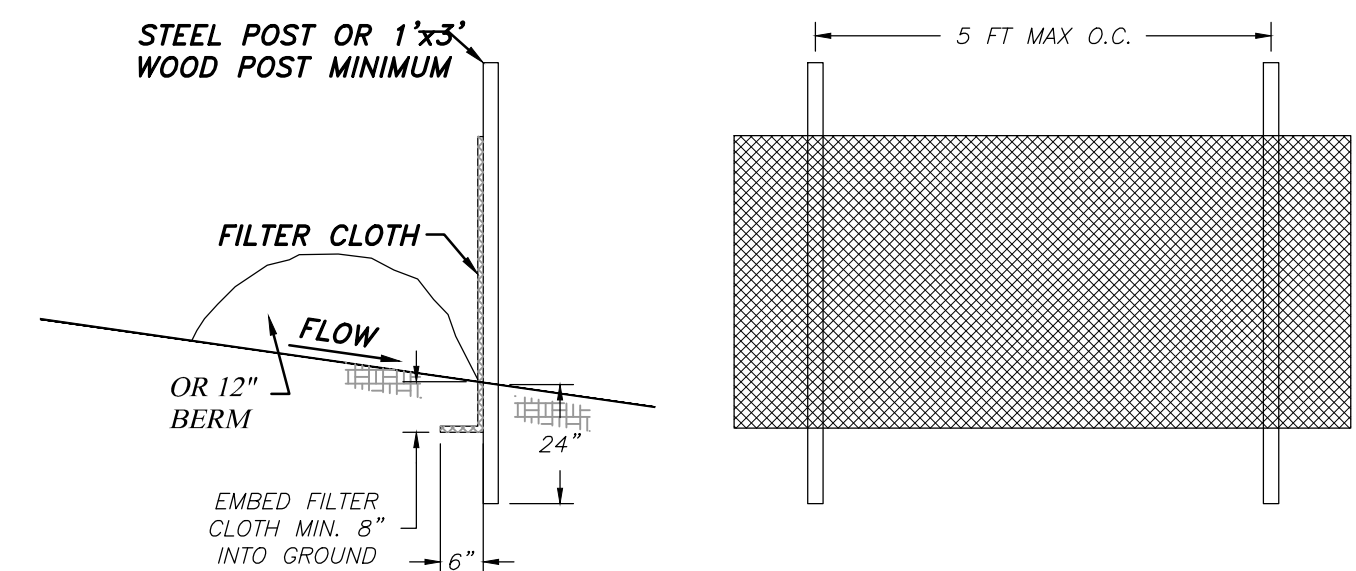


LABELS

- (SF) - SILT FENCE OR BERM
(SCE) - STABILIZATION CONSTRUCTION ENTRANCE
(IP) - INLET PROTECTION
(CW) - CONCRETE WASHOUT

QUANTITIES

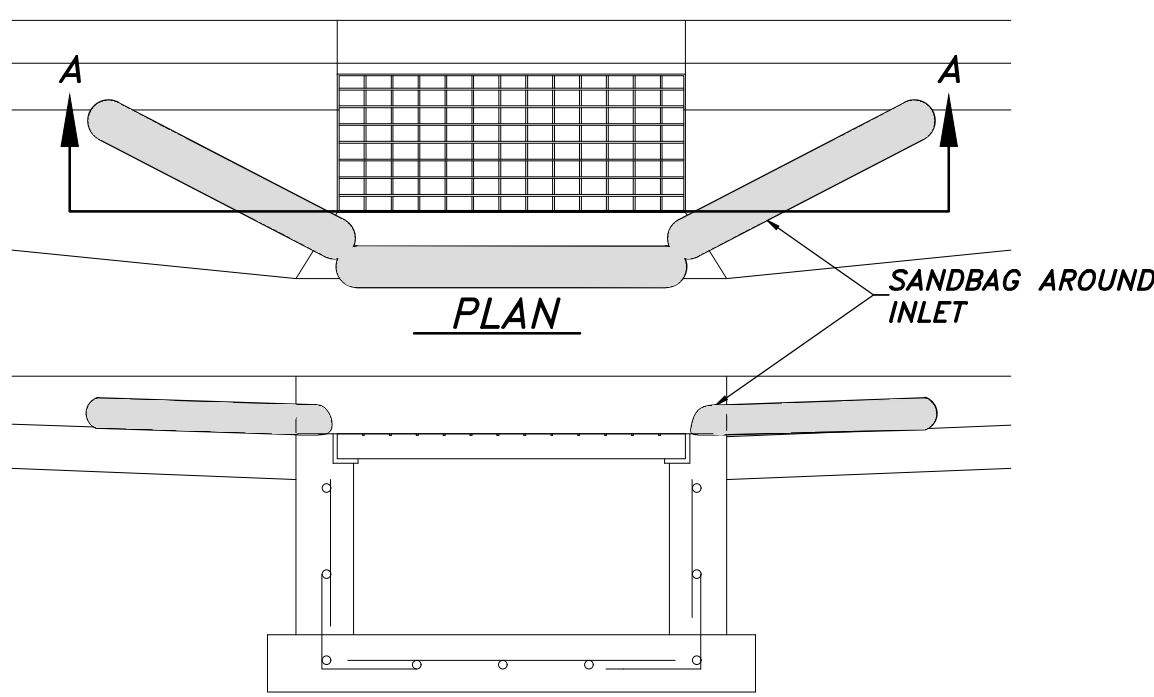
- SILT FENCE/BERM - 330 LF
STABILIZED CONSTRUCTION ENTRANCE - 1
INLET PROTECTION - 1
CONCRETE WASHOUT - 1



SILT FENCE DETAIL
NOT TO SCALE

LEGEND

- SF — SF — PROPERTY BOUNDARY LINE
— SF — SF — SILT FENCE OR BERM REQ'D
[Pattern] TRACKING PAD
[Pattern] CONCRETE WASHOUT AREA
[Pattern] INLET PROTECTION



SECTION A
CURB INLET PROTECTION DETAIL
NOT TO SCALE

SWPPP PLAN

LOCATION:

LOCATION: FARR WEST, WEBER COUNTY, UTAH
SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 WEST, SLB&M
LATITUDE: 41°19'42" N LONGITUDE: 112°02'04" W
APPROXIMATE ELEVATION: 4252'

PROJECT DATA:

TAX ID #: 191550005 & 06
PARCEL ACREAGE: 2.10 ACRES

BRENT BAILEY
2738 NORTH RULON WHITE BLVD
FARR WEST, UTAH

OVERVIEW:

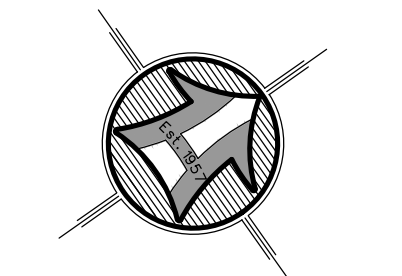
THE PROJECT CONSISTS OF THE CONSTRUCTION OF 1 BUILDING AND A PARKING LOT. CONSTRUCTION WILL ALSO CONSIST OF UTILITY CONNECTIONS AND INSTALLATION, STORM DRAIN DETENTION AND SITE GRADING. DRAINAGE FROM ON-SITE ACTIVITY IS TO BE INTERCEPTED BY THE SILT FENCE/BERM AT THE SOUTH BOUNDARY OF THE PROJECT. CONCRETE WASHOUT AREA IS LOCATED NEAR THE ENTRANCE/EXIT.

MAINTENANCE/RECORD-KEEPING:

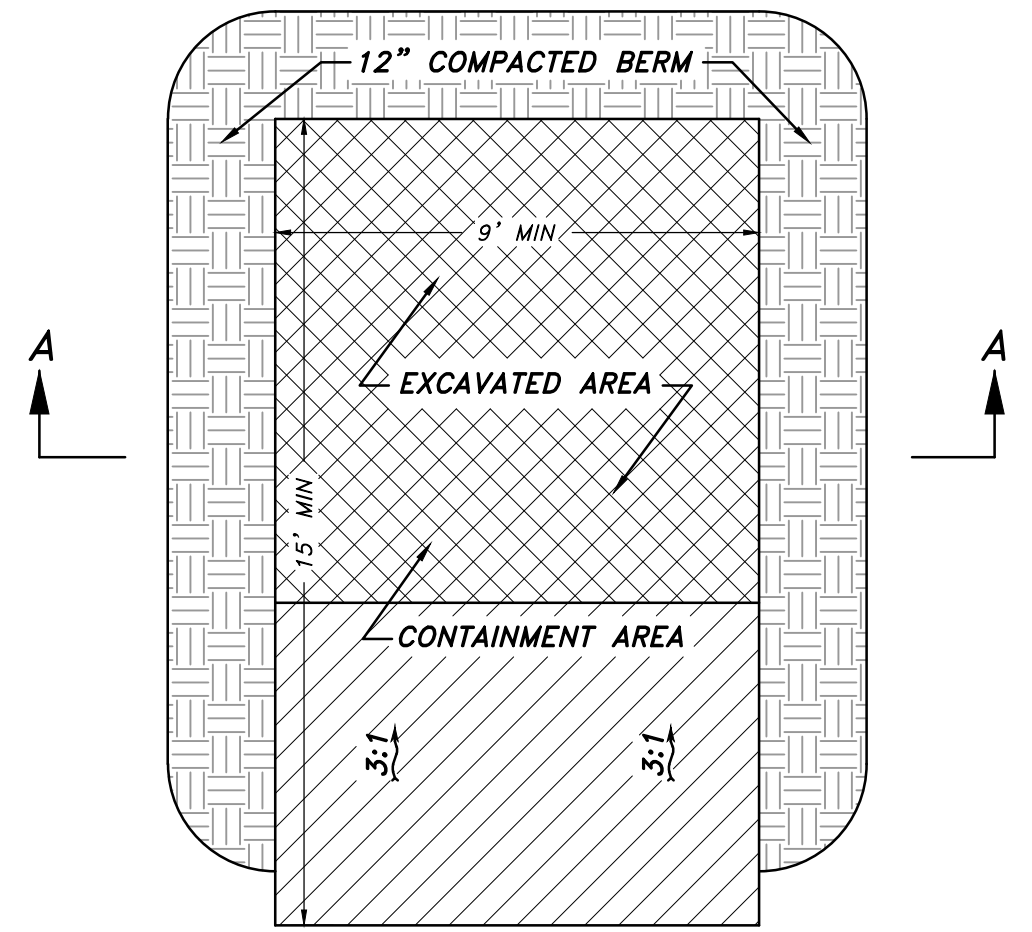
STRICT RECORD KEEPING IS IMPERATIVE. THE PROJECT WILL BE STATE-PERMITTED BUT PARTICULARLY UNDER THE AUSPICES OF FARR WEST CITY. KEEP INSPECTION REPORTS FORMS/FORMAT AS MANDATED BY FARR WEST. A THOROUGH INSPECTION OF THE SWPPP MUST BE CONDUCTED AT LEAST EVERY 14 DAYS AND AFTER ANY PRECIPITATION OR SNOWMELT THAT CAUSES SURFACE EROSION. MAINTENANCE AND/OR MODIFICATIONS TO EROSION MEASURES MUST BE COMPLETED IN A TIMELY MANNER, BUT IN NO CASE MORE THAN 7 CALENDAR DAYS AFTER THE INSPECTION. THE ENFORCEMENT AGENCY IS FARR WEST CITY, WHO ADMINISTERS AND ENFORCES STORMWATER POLLUTION PREVENTION PLANS LOCALLY. STORMWATER MANAGEMENT ASPECTS AND PROCEDURES MAY BE MODIFIED BY PERMITTEE (AND/OR OFFICIAL REPRESENTATIVE) UPON OBTAINING FARR WEST CITY APPROVAL.

SWPPP PHASING - ORDER OF WORK:

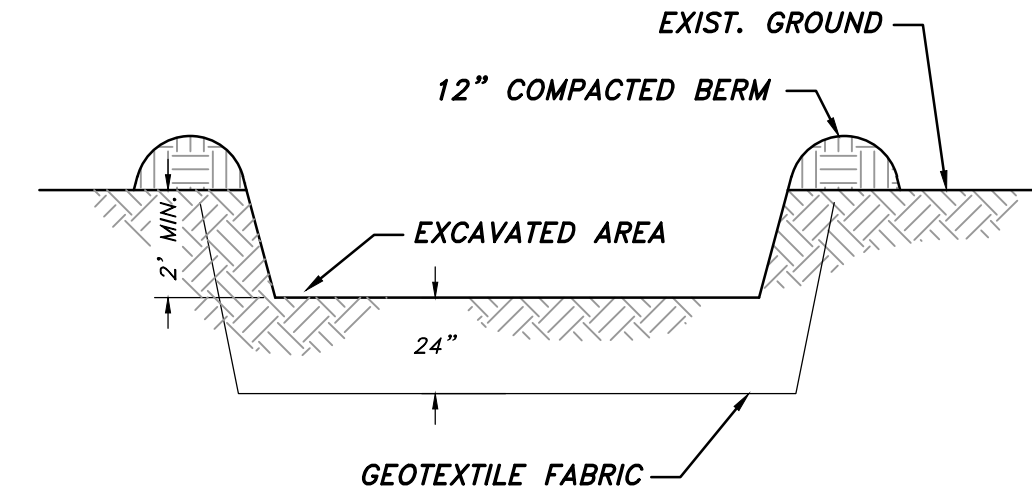
- PHASE 1: CONSTRUCTION OF STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA AND SIGNAGE, SILT FENCES & BERMS, AND INLET PROTECTION.
- PHASE 2: MAINTAIN STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA, SILT FENCES & BERMS, AND WATTLES DURING CONSTRUCTION AND SITE IMPROVEMENTS.
- PHASE 3: UPON ASPHALTING, REMOVE CONSTRUCTION ENTRANCE, WATTLES, INLET PROTECTION, AND TEMPORARY SILT FENCES & BERMS.



SCALE: 1" = 30'
0 30 60
Scale in Feet



PLAN VIEW



CROSS SECTION A-A

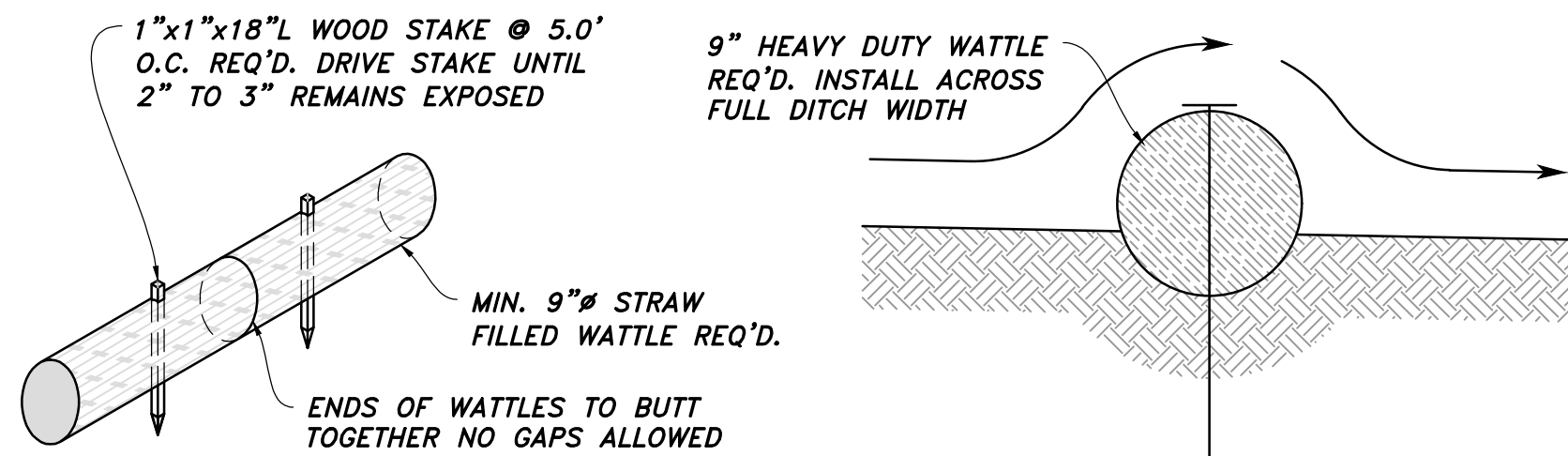
CONCRETE WASHOUT AREA
NOT TO SCALE

CONCRETE WASHOUT AREA NOTES:

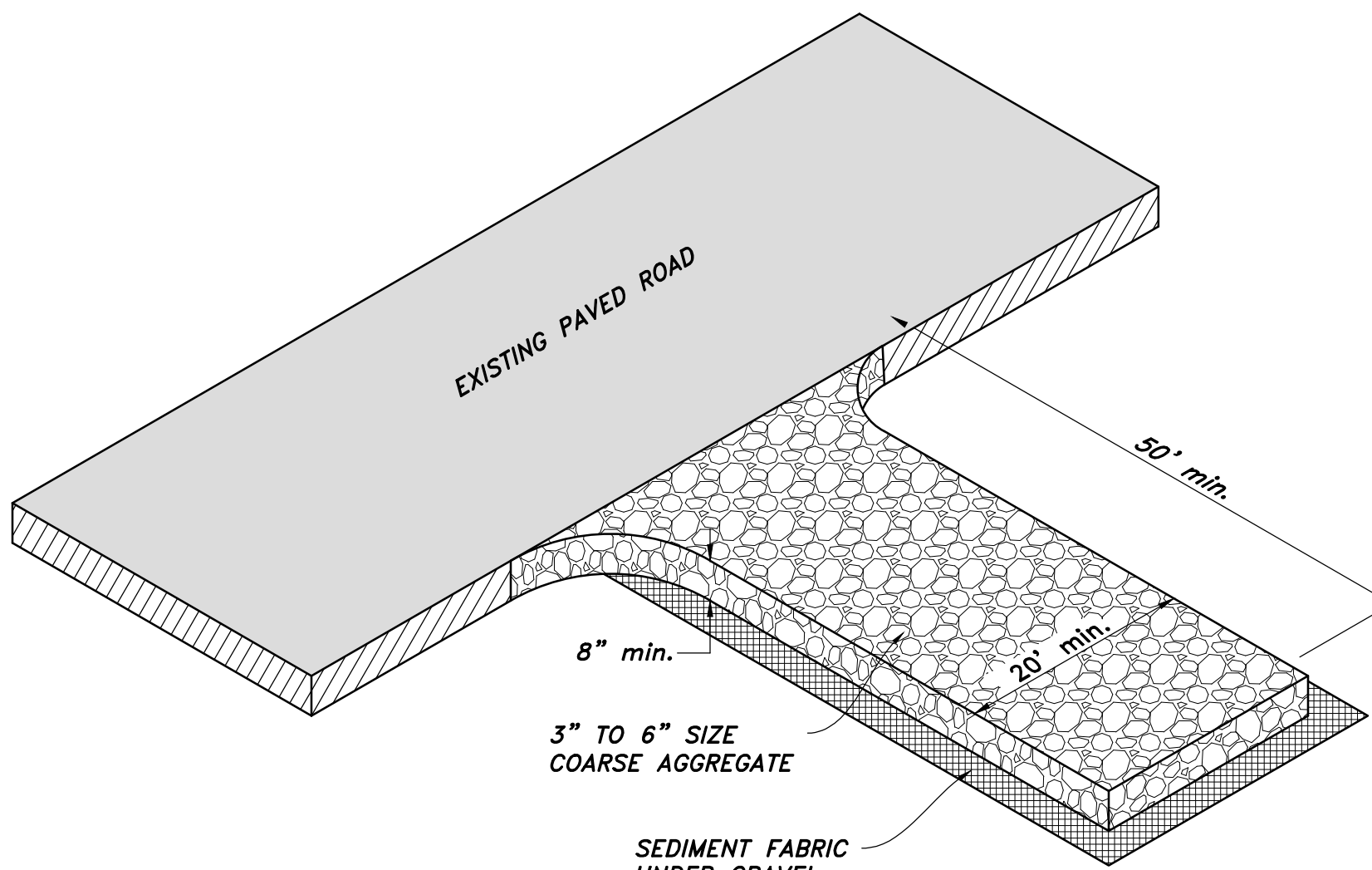
INSTALLATION: PROPER SIGNAGE SUCH AS "CONCRETE WASHOUT" SHALL BE PLACED NEAR CONCRETE WASHOUT FACILITIES. A CONTINUOUS ONE-FOOT TALL COMPACTED EARTH BERM SHALL BE PLACED ON THREE SIDES OF THE EXCAVATED PIT. THE BOTTOM OF THE EXCAVATED PIT MUST BE PROVEN TO BE AT LEAST 5 VERTICAL FEET ABOVE GROUNDWATER OR THE PIT MUST BE LINED WITH A CLAY OR SYNTHETIC LINER DESIGNED TO CONTROL SEEPAGE.

MAINTENANCE: THE FACILITIES SHALL BE MAINTAINED IN GOOD CONDITION TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY OPERATIONS AT THE PROJECT SITE. HARDENED CONCRETE SHALL BE REMOVED AND PROPERLY DISPOSED OF ONCE THE PIT IS 75 PERCENT FULL AND AS NEEDED. WASTE SHALL BE DISPOSED OF PROPERLY IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.

NOTE: ADDING SOLVENTS, FLOCCULENTS, OR ACID TO THE WASHWATER IS PROHIBITED.



TYPICAL WATTLE/FILTER SOCK
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE NOTES:

INSTALLATION/APPLICATION CRITERIA:

1. CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.
2. COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS)
3. PLACE COARSE AGGREGATE, 3" TO 6" IN SIZE, TO A MINIMUM DEPTH OF 8".

LIMITATIONS:

1. REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.
2. SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.

MAINTENANCE:

1. INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.
2. INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.
3. REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.
4. EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.

HANSEN & ASSOCIATES, INC.
Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
Visit us at www.hansen.net
Brigham City Ogden
(435) 723-3491 (801) 399-4905 (435) 792-8272
Celebrating over 60 Years of Business



Drawn By: BTC Date: 04/26/22
Designed By: _____
Checked By: _____
Approved By: _____
Scale: 1" = **
Drawing File: 21-S-58/19 CP
JOB NUMBER: 21-5-58

SWPPP FOR
MONTANO
3770 & 3762 N. HIGLEY ROAD
FARR WEST, UTAH 84404
A Part of the Southeast Quarter of Section 2
Township 10 North, Range 2 West, S.L.B.&M.



DH152/DR152

General Features

The model DH152 or DR152 grinder pump station is a complete unit that includes: two grinder pumps, check valve, HDPE (high density polyethylene) tank, controls, and alarm panel. A single DH152 or DR152 is ideal for up to four, average single-family homes and can also be used for up to 12 average single-family homes where codes allow and with consent of the factory.

- Rated for flows of 3000 gpd (11,356 lpd)
- 150 gallons (568 liters) of capacity
- Indoor or outdoor installation
- Standard outdoor heights range from 93 inches to 160 inches

The DH152 is the "hardwired," or "wired," model where a cable connects the motor controls to the level controls through watertight penetrations.

The DR152 is the "radio frequency identification" (RFID), or "wireless," model that uses wireless technology to communicate between the level controls and the motor controls.

Operational Information

Motor

1 hp, 1,725 rpm, high torque, capacitor start, thermally protected, 120/240V, 60 Hz, 1 phase

Inlet Connections

4-inch inlet grommet standard for DWV pipe. Other inlet configurations available from the factory.

Discharge Connections

Pump discharge terminates in 1.25-inch NPT female thread. Can easily be adapted to 1.25-inch PVC pipe or any other material required by local codes.

Discharge

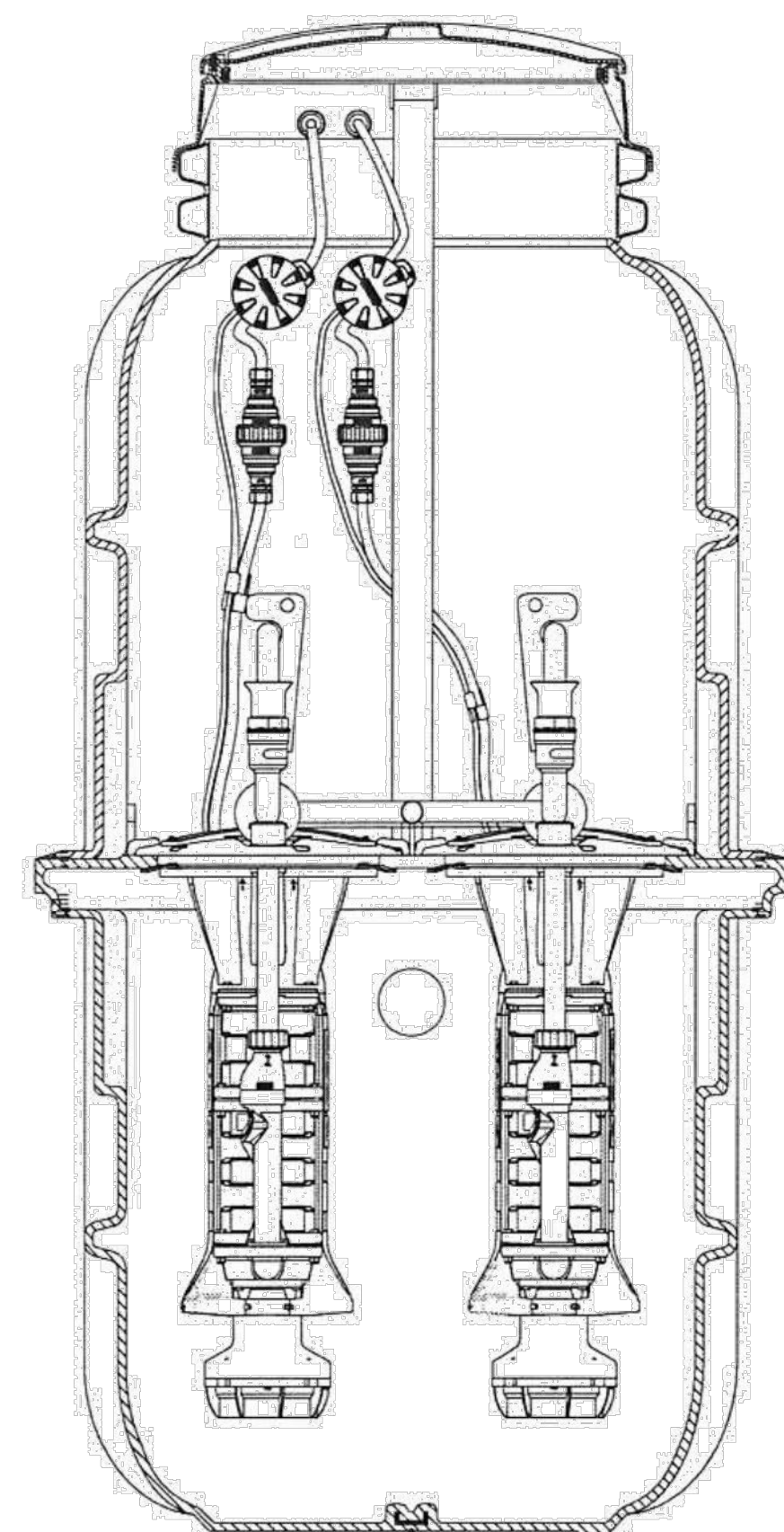
15 gpm at 0 psig (0.95 lps at 0 m)
11 gpm at 40 psig (0.69 lps at 28 m)
7.8 gpm at 80 psig (0.49 lps at 56 m)

Accessories

E/One requires that the Uni-Lateral, E/One's own stainless steel check valve, be installed between the grinder pump station and the street main for added protection against backflow.

Alarm panels are available with a variety of options, from basic monitoring to advanced notice of service requirements.

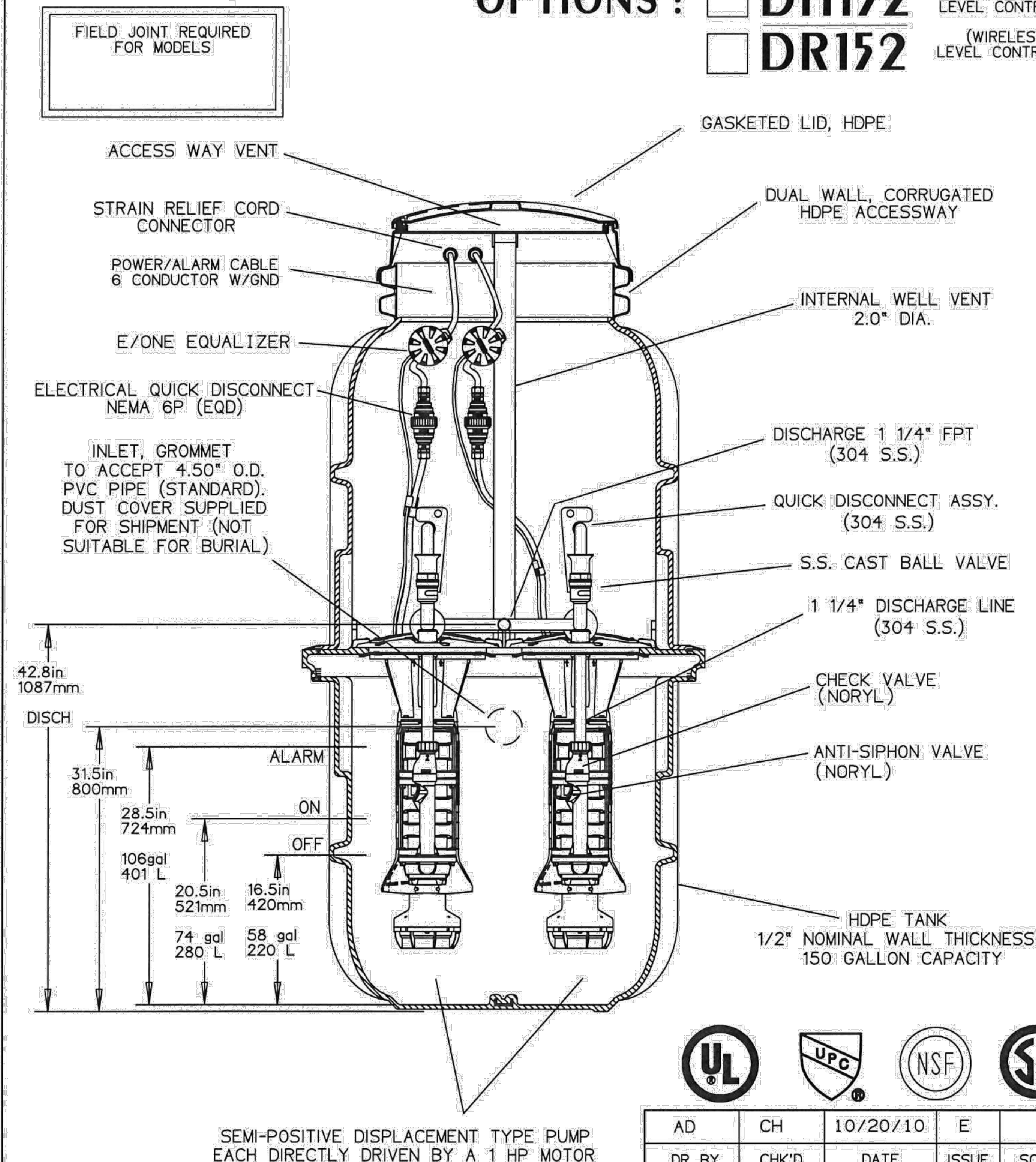
The Remote Sentry is ideal for installations where the alarm panel may be hidden from view.



Patent Numbers: 5,752,315
5,562,254 5,439,180

NA0052P01 Rev C

OPTIONS : ☐ DH152 (HARD WIRED LEVEL CONTROLS)
☐ DR152 (WIRELESS LEVEL CONTROLS)



AD	CH	10/20/10	E	
DR BY	CHK'D	DATE	ISSUE	SCALE
eone SEWER SYSTEMS				
MODEL DH152 / DR152 DETAIL SHEET				
NA0052P02				

Drawn By: BTC

Designed By:

Checked By:

Approved By:

Scale: 1" = 1'

Drawing File: 21-5-58/19 CP

JOB NUMBER: 21-5-58

DATE: 04/26/22

DATE: 04/26/22

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DATE: 04/26/22

DATE: 04/26/22

Revision

By

Date

No.

HANSEN & ASSOCIATES, INC.

Consulting Engineers and Land Surveyors

538 North Main Street, Brigham, Utah 84302

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Celebrating over 60 Years of Business

DETAILS FOR

MONTANO

3770 & 3762 N. HIGLEY ROAD

FARR WEST, UTAH 84404

A Part of the Southeast Quarter of Section 2

Township 10 North, Range 2 West, S.L.B.&M.

Sheet

7

of

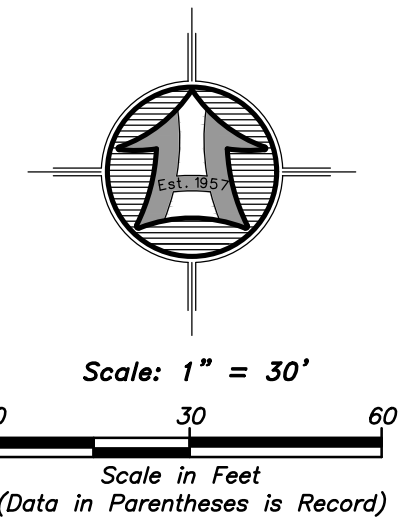
7

Sheets

Willard Bay Phase Two Subdivision First Amendment

Amending Lots C17R and C18R, Willard Bay Phase Two Subdivision

Farr West, Weber County, Utah
A Part of the Southeast Quarter of Section 23,
Township 7 North, Range 2 West, Salt Lake Base & Meridian
March 2022

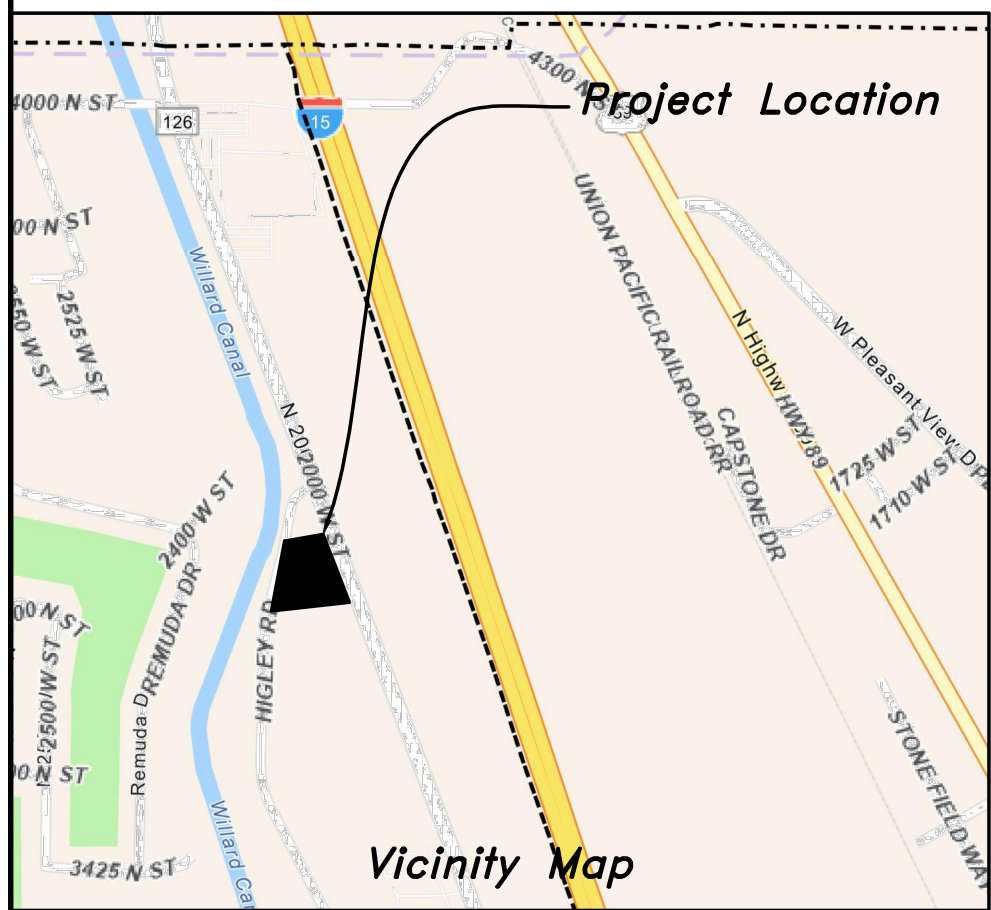


LEGEND

- Subject Property Line
- Interior Lot Lines
- Adjoining Property Line
- Previous Property Line
- Centerline
- Public Utility Easement (PUE)
- Existing Top on Bank
- Existing Water Line
- Existing Sewer Line
- Existing 5.0' Contour
- Existing 1.0' Contour
- Fence Line
- Found NEFF Rebar
- Set 5/8"x24" Rebar With Cap
- Section Corner

NOTE:

- All public utility easements (P.U.E.) are 10.0 foot wide unless otherwise noted.
- Rebar and cap set on all lot corners.
- R-Lot = All lots are restricted to no basements, finish floor = to or higher than edge of asphalt height.



Developer:
MATT M. MONTANO
3196 North 1251 West
Pleasant View, Utah 84414
(801) 823-9493



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21-5-58 21-5-58v19 SUB.dwg 03/25/2022

STATE ROAD COMMISSION OF UTAH
19-011-0079

N 89°46'09" E

180.76'

S 20°54'59" E

PREVIOUS LOT C18R
COLDWATER HOLDINGS LLC
19-155-0006

LOT C19R
2.098 ACRES
[3762 N]

PREVIOUS LOT C17R
COLDWATER HOLDINGS LLC
19-155-0005

WILLARD BAY PHASE TWO SUBDIVISION
LOT C16R
NORTHERN ASPHALT
19-155-0004

N 90°00'00" E
2408.91'
N 00°00'00" E
N 87°44'21" E
SOUTH QUARTER CORNER OF SEC. 23,
T. 7 N., R. 2 W., SLB&M
FOUND WEBER CO. BRASS CAP
MONUMENT

SECTION LINE - BASIS OF BEARING

SOUTHEAST CORNER OF SEC. 23,
T. 7 N., R. 2 W., SLB&M
FOUND WEBER CO. BRASS CAP
MONUMENT

FARR WEST CITY ENGINEER

THIS PLAT WAS APPROVED BY THE FARR WEST CITY ENGINEER
THIS _____ DAY OF _____, 2022.

CITY ENGINEER

FARR WEST CITY PLANNING COMMISSION

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED
BY THE FARR WEST CITY PLANNING COMMISSION ON THE _____ DAY
OF _____, 2022.

FARR WEST CITY PLANNING COMMISSION CHAIRMAN

FARR WEST ATTORNEY

I CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES
AND ORDINANCES PREREQUISITE BY THE STATE OF UTAH AND THE
ORDINANCES OF FARR WEST CITY OF THE FOREGOING PLAT AND
DEDICATIONS HAVE BEEN COMPLIED WITH. DATED
THIS _____ DAY OF _____, 2022.

SIGNATURE

FARR WEST CITY COUNCIL ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF
STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC
IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION THEREON ARE HEREBY
APPROVED AND ACCEPTED BY THE CITY COUNCIL OF FARR WEST CITY, UTAH,
THIS _____ DAY OF _____, 2022.

BY:

MAYOR

ATTEST:

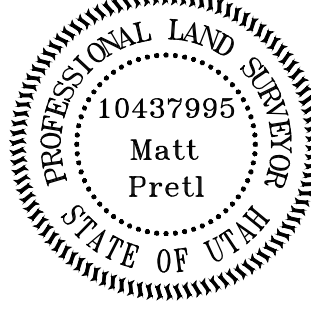
RECORDER

SURVEYOR'S CERTIFICATE

I, MATT PRETL, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND
SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22,
PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS ACT; AND I HAVE
COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN
ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS,
AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT, AND HAVE
HEREBY AMENDED AND SUBDIVIDED SAID TRACT INTO ONE (1) LOT, KNOWN
HEREAFTER AS WILLARD BAY PHASE TWO SUBDIVISION FIRST AMENDMENT IN FARR
WEST, WEBER COUNTY, UTAH, AND HAS BEEN CORRECTLY DRAWN TO THE
DESIGNATED SCALE AND IS TRUE AND CORRECT REPRESENTATION OF THE HEREIN
DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED
FROM RECORDS IN THE WEBER COUNTY RECORDER'S OFFICE AND FROM SAID
SURVEY MADE BY ME OR UNDER MY SUPERVISION ON THE GROUND, I FURTHER
HEREBY CERTIFY THAT THE REQUIREMENTS OF ALL APPLICABLE STATUTES AND
ORDINANCES OF WEBER COUNTY CONCERNING ZONING REQUIREMENTS REGARDING
LOT MEASUREMENTS HAVE BEEN COMPLIED WITH.

SIGNED THIS _____ DAY OF _____, 2022.

MATT PRETL P.L.S.
UTAH LAND SURVEYOR LICENSE NO. 10437995



BOUNDARY DESCRIPTION

ALL OF LOTS C17R AND C18R WILLARD BAY PHASE TWO SUBDIVISION SITUATED
IN THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 2
WEST OF THE SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED
AS FOLLOWS

BEGINNING AT A POINT ON THE EAST RIGHT-OF-WAY LINE OF HIGLEY ROAD,
POINT ALSO BEING THE NORTHWEST CORNER OF LOT C16R, WILLARD BAY PHASE
TWO SUBDIVISION, ENTRY NO. 1734129 LOCATED 2408.91 FEET NORTH
00°00'00" EAST AND 175.34 FEET NORTH 90°00'00" EAST FROM THE SOUTH
QUARTER CORNER OF SAID SECTION 23;

RUNNING THENCE NORTH 11°56'50" EAST 340.70 FEET ALONG SAID EAST
RIGHT-OF-WAY LINE TO THE SOUTH LINE OF THE STATE ROAD COMMISSION OF
UTAH PROPERTY, TAX ID. NO. 19-011-0079; THENCE NORTH 89°46'09" EAST
180.76 FEET ALONG SAID SOUTH LINE TO THE WESTERLY RIGHT-OF-WAY LINE
OF STATE HIGHWAY SR-126; THENCE SOUTH 20°54'59" EAST 346.25 FEET
ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO THE NORTHEAST CORNER OF
SAID LOT C16R; THENCE SOUTH 88°22'42" WEST 375.05 FEET (375.11 FEET BY
RECORD) ALONG THE NORTH LINE OF SAID LOT C16R TO THE POINT OF
BEGINNING. CONTAINING 2.098 ACRES.

OWNER'S DEDICATION AND CERTIFICATION

WE THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED TRACT OF LAND, DO
HEREBY SET AMEND AND SUBDIVIDE THE SAME INTO A LOT AS SHOWN ON THE
PLAT AND NAME SAID TRACT WILLARD BAY PHASE TWO SUBDIVISION FIRST
AMENDMENT, AND DO HEREBY DEDICATE, GRANT AND CONVEY TO FARR WEST CITY
THOSE CERTAIN STRIPS SHOWN AS PUBLIC UTILITY EASEMENTS FOR PUBLIC UTILITY
AND DRAINAGE PURPOSES AS SHOWN HEREON. THE SAME TO BE USED FOR THE
INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES
AND DRAINAGE AS MAY BE AUTHORIZED BY FARR WEST CITY. WE HEREBY DECLARE
THE PLAT NOTES SHOWN HEREON TO BE EFFECTIVE AND BINDING.

IN WITNESS WE HAVE HERE UNTO SET OUR SIGNATURE

THIS _____ DAY OF _____, 2022.

MATT M. MONTANO
REGISTERED AGENT OF COLDWATER HOLDINGS LLC

DATE

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF WEBER) §

ON THIS _____ DAY OF _____, 2022, PERSONALLY APPEARED
BEFORE ME, MATT M. MONTANO, WHO BEING BY ME DULY SWORN DID SAY AND
ACKNOWLEDGE THAT HE IS A REGISTERED AGENT OF COLDWATER HOLDINGS LLC, A
UTAH LIMITED LIABILITY COMPANY ("LLC"), WHICH LLC IS THE OWNER OF THE REAL
PROPERTY LISTED HEREIN, AND EXECUTED THE FOREGOING INSTRUMENT AS THE
AUTHORIZED AGENT OF THE LLC, AND THAT SAID AUTHORIZATION TO SIGN ON
BEHALF OF THE LLC CAME PURSUANT TO A RESOLUTION OF THE MANAGERS, THE
CERTIFICATE OF ORGANIZATION, AND/OR THE OPERATING AGREEMENT OF THE LLC.

NOTARY PUBLIC

NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO AMEND, ESTABLISH, AND SET THE
PROPERTY CORNERS OF THE ONE LOT SUBDIVISION AS SHOWN AND DESCRIBED
HEREON. THIS SURVEY WAS ORDERED BY MATT M. MONTANO FOR COLDWATER
HOLDINGS LLC. THE CONTROL USED TO ESTABLISH THE PROPERTY CORNERS WAS
THE WILLARD BAY PHASE TWO SUBDIVISION, ENTRY NO. 1734129, RECORDED IN
THE WEBER COUNTY RECORDERS OFFICE AND THE EXISTING WEBER COUNTY
SURVEYOR MONUMENTATION SURROUNDING SECTION 23, TOWNSHIP 7 NORTH, RANGE
2 WEST, S.L.B.&M.

THE BASIS OF BEARING IS THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID
SECTION WHICH BEARS NORTH 87°44'21" EAST, UTAH NORTH, STATE PLANE,
CALCULATED N.A.D.83 BEARING.

WEBER COUNTY RECORDER

ENTRY NO. _____ FEE PAID
_____ FILED FOR RECORD AND

RECORDED _____
_____ IN BOOK _____ OF OFFICIAL
RECORDS, PAGE _____. RECORDED
FOR _____

COUNTY RECORDER

BY: _____
DEPUTY