



PLANNING COMMISSION AGENDA

April 28, 2022 at 6:30 PM

1020 E. Pioneer Rd. Draper, UT 84020

Council Chambers

6:30 PM Business Meeting

1. Action Item: Willow Creek Industrial Properties Lot 2 Amended Site Plan Approval Extension (Administrative Action)

On the request of Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for an extension to the Amended Site Plan approval for Willow Creek Industrial Properties Lot 2 Amended Site Plan located at approximately 432 E. 12300 S., known as application SPR-1026-2020, Staff Contact: Todd Draper, (801) 576-6335, todd.draper@draperutah.gov.

2. Public Hearing: Springer/Rivermark Plat Amendment (Administrative Action)

On the request of Ty Ricks, representing Noah and April Springer, a request to relocate the 20 foot wide private storm drain easement from the west property line to the east property line for the Lot 7 of the Rivermark Plat located at 1123 E. Carraway Lane. Application: SUBD-070-2022. Staff contact is Maryann Pickering, 801-576-6391 or maryann.pickering@draperutah.gov.

3. Public Hearing: Pelion Site Plan (Administrative Action)

On the request of Liza Hart, representing Gardner Company, for a Site Plan on 6.49 acres of property located at 14761 South Future Way. The Site Plan is for a new office building. Application SPR-65-2022. Staff contact is Jennifer Jastremsky, 801-576-6328, jennifer.jastremsky@draperutah.gov.

4. Public Hearing: Rockwell Station Subdivision Plat Amendment and Site Plan (Administrative Action)

On the request of Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens, a Subdivision Plat Amendment and Site Plan request, on approximately 1.23 acres, located at approximately 696 E. 12100 S and 698 E. 12100 S. Known as applications SPR-0194-2021 and SUBD-0198-2021, Staff Contact: Todd A. Draper, (801) 576-6335, todd.draper@draperutah.gov.

5. Public Hearing: Summerhays Landscaping Office Plat Amendment (Administrative Action)

On the request of Ryan Summerhays, representing Summerhays Landscaping, for a Plat Amendment to 2.41 acres of property located

at 134 East 12300 South. The application will divide Lot 206 of the Draper Crossing Subdivision into two lots. Application SUBD-12-2022. Staff contact is Jennifer Jastremsky, 801-576-6328, jennifer.jastremsky@draperutah.gov.

6. Discussion Item: Home Occupation Code

A discussion on the current home occupation code DCMC Chapter 9-34.

7. Training: Ethics

8. Adjournment

SALT LAKE COUNTY AND UTAH COUNTY, STATE OF UTAH

I, the City Recorder of Draper City, certify that copies of this agenda were posted on the Draper City Electronic Bulletin Board, Draper City website www.draperutah.gov, the Utah Public Notice website at www.utah.gov/pmn, and sent by email to the *Salt Lake Tribune* and the *Deseret News*.

Date Posted: April 22, 2022

Laura Oscarson

Laura Oscarson, CMC, City Recorder
Draper City, State of Utah



In compliance with the Americans with Disabilities Act, any individuals needing special accommodations or services during this meeting shall notify Laura Oscarson, City Recorder at (801) 576-6502 or laura.oscarson@draperutah.gov, at least 24 hours prior to the meeting.



MEMO

To: Planning Commission

From: Todd A. Draper

CC:

Date: April 28, 2022

Re: Willow Creek Industrial Properties Lot 2 Amended Site Plan Extension Request

Comments:

On May 13, 2021, the Planning Commission granted site plan approval for the Willow Creek Industrial Properties Lot 2 Amended Site Plan located at approximately 432 West 12300 South. The application number is SPR-1026-2020.

Draper City Municipal Code (DCMC) Section 9-5-090(J) states:

Expiration: Failure to obtain a land disturbance permit within one year of approval of any site plan shall void the prior site plan approval. Prior to the expiration of the one-year period, an applicant may submit a written request to the community development department for a site plan extension of up to six (6) months. Approval of this extension may only be granted by the zoning administrator or planning commission, whichever is the approval authority outlined in this section, provided the applicant can meet the requirements for extension under section 9-5-030 and demonstrate substantial action toward obtaining a land disturbance permit. If a site plan expires, and an applicant wishes to continue with development of the site a new application shall be required. If there have been no changes to applicable codes which would necessitate updates to the previously approved plans, the applicant will be charged a new application fee of fifty percent (50%) of the current fee outlined in the consolidated fee schedule and the application shall be approved by the zoning administrator or planning commission, whichever is the approval authority outlined in this section, in a public meeting as an action item. If changes to the site plan are made by the applicant or are required due to changes in applicable codes, the site plan shall be processed as a new application and is subject to a new application fee at one hundred percent (100%) of the current fee established in the consolidated fee schedule.

DCMC Section 9-5-030(J) allows for an extension with good cause shown, as follows:

Extensions Of Time: Unless otherwise prohibited, upon written request and for good cause shown, any decision making body or official having authority to grant approval of an application may, without any notice or hearing, grant extensions of any time limit imposed by this title on such application, its approval, or the applicant, provided a written request for such extension has been received by the community development department prior to the date of expiration, or provided the city staff or planning commission has initiated an extension prior to the date of expiration. The total period of time granted by any such extension or extensions shall not exceed half the length of the original time period.

To date, the property owner has not acquired a land disturbance permit or begun improvements to the property. As such, they are seeking a six-month extension of the amended site plan approval. Attached to this memo is the applicant's written request for site plan approval extension, the original approval letter, and Planning Commission staff report. Staff received the request for extension on April 14, 2022, prior to the expiration of the site plan.

If approved, the site plan approval will be valid through November 13, 2022.

Sample Motion for Approval – I move that we approve the site plan extension, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC, for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application SPR-1026-2020, based on the findings listed in the memo dated April 28, 2021.

Sample Motion for Denial – I move that we deny the site plan extension, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC, for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application SPR-979-2020, based on the findings listed in the memo dated April 28, 2021.

The findings are as follows:

For Approval:

1. That the applicant has shown good cause to obtain an extension and that substantial action has occurred towards acquiring a land disturbance permit.

For Denial:

1. That the applicant has not shown good cause to obtain an extension and that substantial action has not occurred towards acquiring a land disturbance permit.

ATTACHMENTS:

Description	Upload Date	Type
Extension Request	4/14/2022	Cover Memo
Approval Letter	4/22/2022	Cover Memo
P.C. Staff Report	4/14/2022	Cover Memo

From: [Bruce Kenner](#)
To: [Jennifer Jastremsky](#)
Cc: mskenner@comcast.net; [Todd Draper](#)
Subject: Site Plan Approval Extension
Date: Thursday, April 14, 2022 9:39:41 AM

Jennifer Jastremsky:

On May 20, 2021 we received notice of Site Plan approval for the third building in our project at 432 West 12300 South based on a May 13, 2021 Planning Commission agenda item. At that time the building was fully leased and funded. During the following several weeks COVID caused material prices and delivery times to dramatically increase and stopped the project from proceeding.

We now are ready to begin the project again but are not sure we can complete the items necessary for issuance of a Land Disturbance Permit by the one year date.

I spoke with Todd Draper about issuing an extension to the approval and he suggested I write a request letter to you.

By copy of this letter we are requesting a one year extension to the Site Plan Approval to give us time to begin this project.

Thank you for your consideration.

Bruce Kenner



DRAPER CITY HALL

Community Development | 1020 E. Pioneer Rd. Draper, UT 84020

May 20, 2021

Willow Creek Industrial Properties #1 LLC
Willow Creek Industrial Properties #3 LLC
ATTN: Bruce Kenner
432 West 12300 South
Draper, UT 84020

RE: Notice of Approval for the Willow Creek Industrial Properties Lot 2 Amended Site Plan Request

Dear Mr. Kenner,

On May 13, 2021, the Draper City Planning Commission approved your request for a Site Plan Amendment including requested deviations from design standards from Draper City Municipal Code Sections 9-22-040(C)(2) and 9-2-050(A)(1) on the property at approximately 432 West 12300 South, application SPR-1026-2020, with the following conditions:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. That the building and site be constructed in substantial compliance with the plans submitted and approved as part of this amended site plan review, and in accordance with any approved deviations from standards.
4. That no signage is approved with the site plan. All signage is required to meet the requirements of Chapter 9-26 and obtain applicable sign permits through the appropriate City process.

Please be aware that the approval of an Amended Site Plan by Draper City in no way exempts the property from complying with other requirements that may be in effect on the property such as CC&R's, zoning, subdivision, site plan, land disturbance, and building permit regulations, as applicable. It is the responsibility of the property owner to ensure compliance with these regulations.

With the approval(s) granted under this notice, Section 9-5-090(j) of the Draper City Municipal Code specifies that the approval of an Amended Site Plan expires one year from the date of approval. As such, the approval granted for the subject request will be rendered

null and void on May 13, 2022 if no land disturbance permit has been issued for the project. The expiration of the approval can also be avoided through an extension of the approval. A maximum of one extension for a period of up to six months can be requested in writing prior to the date of expiration from the Community Development Department.

As the applicant, this letter is intended as a courtesy to document the status of your request. If you have further questions, please contact me at todd.draper@draperutah.gov or 801-576-6335.

Respectfully,



Todd A. Draper, AICP
Planner III
Community Development Department

Cc Karen Burnett, GIS Manager
 Gerika Logan, Planning Coordinator
 Kendra Wong, Building Inspection Coordinator
 Lezlie Wright, Administrative Executive Assistant, Engineering Department
File: SPR-1026-2020



Development Review Committee

1020 East Pioneer Road
Draper, UT 84020
April 30, 2021

To: Draper City Planning Commission
Business Date: May 13, 2021

From: Development Review Committee

Prepared By: Todd A. Draper, AICP, Planner III
Planning Division
Community Development Department
801-576-6335, todd.draper@draperutah.gov

Re: Willow Creek Industrial Properties Lot 2 – Amended Site Plan Request

Application No.: SPR-1026-2020
Applicant: Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC.
Project Location: 432 W. 12300 S.
Current Zoning: CBP (Business/Manufacturing Park) Zone
Acreage: Approximately 2.06 Acres (Approximately 89,734 ft²)
Request: Request for approval of an Amended Site Plan including deviations from site and architectural design standards in the CBP zone regarding construction of a new industrial building.

BACKGROUND AND SUMMARY

This application is a request for approval of an Amended Site Plan including deviations from site and architectural design standards for approximately 2.06 acres located on the north side of 12300 South, at approximately 432 W. 12300 S. (Exhibit B). The property is currently zoned CBP. The applicant is requesting that an Amended Site Plan be approved to allow for the development of the currently vacant site with an industrial building.

The overall site includes all lots in the Willow Creek Business Park Amended Subdivision recorded March 7, 2013 (Exhibit L). Lots 1-3 are building lots for the construction of industrial buildings, and Lot 4 is a non-buildable lot with conservation and walking trail easements intended to preserve the natural area next to Willow Creek. Buildings have been constructed on Lots 1 and 3 of the property. A previous site plan approval for construction



of an industrial building on Lot 2 was approved in 2008, however a building on Lot 2 was not constructed and the approval expired. Approval for the original site plan and building was reinstated in 2012, only to again expire without construction on Lot 2 occurring. Changes to Draper City Municipal Code (DCMC) since 2012 would not permit the previously proposed site design or building design without deviations from the current DCMC design criteria hence two deviations from the site and architectural design criteria are also being requested as part of this application.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Business and Light Manufacturing land use designation for the subject property (Exhibit C). This category is characterized as follows:

Business and Light Manufacturing

LAND USE DESCRIPTION		
CHARACTERISTICS	LAND USE MIX	
<ul style="list-style-type: none"> Allows for a mixture of employment uses and services for these employees Park or campus-like atmosphere Low traffic generation Buildings should not exceed three stories Major entry points and features Well landscaped perimeter and public places Limited traffic access to major streets Uniform design standards and aesthetics Common off-street traffic circulation and parking areas Pedestrian-friendly design 	Primary <ul style="list-style-type: none"> Office Light manufacturing Secondary <ul style="list-style-type: none"> Retail Service Uses 	
COMPATIBLE ZONING	<ul style="list-style-type: none"> Light Manufacturing (M1) Business Manufacturing Park (CBP) 	
LOCATION	<ul style="list-style-type: none"> Along collector and arterial streets 	

The property has been assigned the CBP zoning classification (Exhibit D). According to DCMC Section 9-8-020 the purpose of the CBP zone is to *"provide aesthetically attractive planned developments having a mix of office, research and development, light manufacturing, and limited retail uses. Typical uses in this zone include offices, clean indoor manufacturing facilities, service retail, restaurants, athletic clubs, personal service shops, medical offices, office/warehouse buildings, and research facilities."*

The CBP zoning abuts the subject property on the east, and to the South across 12300 S. A

railroad line abuts the property on the west and A5 (Agricultural) and RM1 (Multiple-Family Residential) zoning can be found adjacent to the west side of the rail line. The Lone Peak Commercial Special District (CSD-LP) abuts the property to the north.

Site Plan Layout. The applicant is proposing a new industrial building be constructed on Lot 2 of the Willow Creek Industrial Properties Amended Subdivision (Exhibit E). This building departs from the previous approvals for the site in that front of the building faces north and away from the public street providing access to the property. This layout however places the loading docks towards the South so as to consolidate deliveries and freight traffic between this building and the existing industrial building built on Lot 1. This orientation would require approval of a deviation from DCMC Section 9-22-050(A)(1).

Architecture. The Architectural elevations (Exhibit G) show a tilt up style concrete building with a painted CMU wainscot along the base in compliance with DCMC Section 9-22-040(F)(5). The building is designed to be able to be split into as many as 8 separate tenant spaces. Front entries are located on the north with projecting roof awning overhangs provided over each pair of entry doors. Delivery docks are provided at the rear of the building facing towards the South. The overall dimensions of the proposed building are 295 feet in length and 99 feet 11 inches in depth. Along the southern façade there is no variation from the primary wall plane with a depth at least 5 feet and a length of at least 20 feet. A deviation for the Southern façade along the loading docks from DCMC Section 9-22-040(C)(2) would be required for the building as proposed. The roofline details include an increase in the height of every alternating concrete panels to provide the required height and roofline variation found in DCMC Section 9-22-040(D). The proposed building will be noticeably taller than the other two existing buildings on the overall site. The additional building height accommodates the development of a mezzanine floor (Exhibit H) inside the proposed building which results in an increase in the gross square footage of the building over previous approvals. While the proposed building will be different in design and materials from the other buildings on the overall site, building colors, roof awnings, and accents are designed to match with or be complementary to the design scheme and colors of the other existing buildings that are part of the overall site. Dumpster enclosures are located near the loading docks and will be built of painted CMU block with a painted metal gate to match the building and the other structures on site (Exhibit G). The east, south, and west building facades will consist of 100% primary materials, and the north elevation will be approximately 79% primary materials and 21% secondary materials. Overall the building facades are comprised of approximately 92.3% primary materials and 7.6% secondary materials which exceeds the 75% minimum required percentage of primary materials by more than 10%.

Site and Architectural Design Standards Modification. Chapter 22 of the DCMC makes provisions for the Planning Commission to authorize deviations to strict compliance with the terms of the Code regarding development design standards. DCMC Section 9-22-030 states that the Planning Commission may approve site plans that deviate from the

requirements of the design standards within Chapter 22 of the DCMC based on making certain required findings in whole. Per DCMC Section 9-22-030(B), the Planning Commission shall find an application complies with at least three of the following criteria:

1. The project contains amenities such as pedestrian and bike connectivity in excess of what is required in the development code and site plan review.
2. The overall percentage of dedicated public or private landscape and open space area exceeds the required amount by more than ten percent (10%).
3. The project is a transit oriented development (TOD) and provides connectivity to a transportation facility.
4. Traffic impacts on the neighborhood are lessened through programs, such as creative design, traffic calming measures, companywide carpool or transit pass programs.
5. The project is an accredited LEED development.
6. The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.
7. The project is required to create a consistent and compatible design in cases which involve redeveloped buildings, additions to existing buildings, minor structures added to a site, or new buildings within a previously approved phased project.
8. Additional landscape plant material is provided in an amount at least ten percent (10%) more than the minimum required, including additional planting beds, plants, trees or a combination thereof.
9. The building design is a specific architectural style, such as contemporary or modern, which utilizes facade materials differently than prescribed in subsection 9-22-040(F) of this chapter and is designed by a licensed architect.
10. The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount.

The applicant's request for site design deviations from DCMC Chapter 9-22 is included as Exhibit K in this report. Specifically the applicant mentions criteria 2, 6, 7, and 8 as being applicable to their request. In the staff review it has been determined that additional landscaping and open space in excess of the 30% necessary for compliance with criterion 2 is met, that the requested variations would be consistent with the purpose of the design standards chapter *"to facilitate exceptional design in the built environment and preserve the quality of life within Draper City"* in compliance with criterion 6, and that the project would create a consistent and compatible design for a new building within a previously approved phased project as required for compliance with criterion 7. Staff did not find that additional quantities of landscape plant materials at least 10% above the required quantities as required by criterion 8 were provided. Staff has additionally verified that compliance with criterion 10 is met in that the amount of primary materials utilized on the South, East and West façades exceeds the minimum required amount by more than 10%.

Circulation. The proposed building has been designed with the rear docks facing the dock space of the adjacent building to the south. This results in a separation of freight and delivery traffic from the general circulation of passenger vehicles on the site. Pedestrian circulation on-site is provided by walkways immediately adjacent to the parking areas in front of each building. The walkway in front of the proposed building is seven (7) feet wide and the adjacent parking will not require wheel stops in accordance with DCMC Section 9-22-050(F). Cross access easements exist across all Lots in the Subdivision.

Pedestrian Considerations. Existing pedestrian walkways and clear access points from the public street onto the existing site across Lots 1 and 3 do not exist as those properties were developed under prior codes and are not subject properties that are part of this application. As the initial site design and layout of the overall site predated changes to the DCMC requiring the pedestrian considerations listed in DCMC Subsections 9-22-050(G)(1) and (2), a deviation request from those subsections is not required. The proposal for the subject property complies with the remaining applicable requirements of DCMC Section 9-22-050(G).

Landscaping and Lot Coverage. The landscape plan (Exhibit F) shows the proposed layout of the landscaping for Lot 2. The overall site includes landscaping and native natural areas equal to approximately 41.9% of the overall site, well in excess of the minimum 20%. The specific coverages of Lot 2 includes approximately 29,476 square feet of building footprint (33%), 48,878 square feet (53.6%) of other impervious surfaces including parking, and 10,980 square feet (12.3%) of landscaped area. Comparatively, Lots 1 and 3 provide respectively 22.5 % and 22.9% of each lot as landscaped area, with a significant amount of that landscaping adjacent to 12300 south. Small portions of Lot 4 (approximately 230 square feet) are also included in the proposed landscaping plans for Lot 2, however the majority of Lot 4 remains as native natural open space with the exception of approved vehicular access drives to the building located on Lot 3. Outdoor amenities include a seating area including benches and a bike rack in compliance with requirements of DCMC Section 9-22-050(D)(2).

Parking. According to the site plans 54 parking spaces will be provided on Lot 2 with the new building (Exhibit E). Per the subdivision plat (Exhibit L), all parking stalls are to be fully shared among all lots within the subdivision. There would be a total of 161 parking spaces provided for a total of 80,397 square feet of gross building square footage which provides an average of approximately 2.0 parking stalls per 1000 square feet. Existing and allowable uses within the buildings range from office (4 spaces per 1,000 square feet) and retail (2.5 stalls per 100 square feet) to limited manufacturing (1 stall per 1000 square feet) and limited wholesale/warehousing (0.5 space per 1,000 square feet). Required parking counts will vary based on the specific use and compliance with minimum parking requirements will be verified at the time individual building permits and business licenses for each tenant space are processed.

Lighting. The lighting plan calls for wall pack lighting on the building walls near each of the entrances/ exits to the building. Pole lights are planned within the parking lot landscape islands along the north of the new parking area and are limited to a maximum pole height of 20 feet. Lighting intensities (Exhibit J) will be within ordinance standards both on-site and at the site property boundaries.

Fencing. No fencing is proposed with this application.

Previous Conditions of Approval. The Planning Commission placed the following conditions of approval on the commercial site plan on August 10, 2012:

1. That all conditions and codes of the Fire Department are met and adhered to.
2. That all conditions and codes of the Building Department are met and adhered to and that a building permit is obtained prior to construction of each building.
3. That all conditions and standards of the Engineering Department are met and adhered to.
4. That all mechanical equipment is screened from view, whether it is contained within the building or within a mechanical room attached to the building.
5. That a land disturbance permit is not issued until bond and fees are paid and a preconstruction meeting with a city inspector is scheduled.
6. That the building be constructed to look like the elevations and colors submitted to the Planning Department and submitted in this staff report dated July 1, 2008.
7. That prior to building permit approval, the applicant's geotechnical consultant, AGEC, addresses answers Alan Taylor's concern regarding boring depth.
8. That no signage is approved with the site plan. All signage is required to meet the requirements of Chapter 9-26 and obtain applicable sign permits through the appropriate City process.
9. That building exteriors reflect the materials/color rendering exhibited at the Planning Commission meeting of July 10, 2008.

Criteria For Approval. The criteria for review and potential approval of a Site Plan Amendment request is found in Sections 9-5-090(E) of the DCMC. This section depicts the standard of review for such requests as:

1. The entire site shall be developed at one time unless a phased development plan is approved.
2. site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.

5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Amended Site Plan submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Geotechnical and Geologic Hazards Review. Taylor Geo-Engineering, LLC and Simon Associates LLC., in working with the Draper City Building and Engineering Divisions, have completed their reviews of the geotechnical and geologic hazards report submitted as a part of the Amended Site Plan submission. Comments from Taylor Geo-Engineering, LLC, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission review the request, receive public comment, and make decisions based on the findings listed below and the criteria for approval, or denial, as listed within the staff report.

If the Planning Commission decides to approve the request, staff recommends they include the following conditions of approval for the subject property, superseding the previous conditions of approval by the Planning Commission:

1. That all requirements of the Draper City Engineering, Public Works, Building,

Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.

2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. That the building and site be constructed in substantial compliance with the plans submitted and approved as part of this amended site plan review, and in accordance with any approved deviations from standards.
4. That no signage is approved with the site plan. All signage is required to meet the requirements of Chapter 9-26 and obtain applicable sign permits through the appropriate City process.

Deviation Request from DCMC Section 9-22-050(A)(1) – Building Placement

The findings for approval of the deviation from DCMC Section 9-22-050(A)(1) site design standards to allow for a building that does not face the street are as follows:

1. The overall percentage of dedicated public or private landscape and open space area exceeds the required amount by more than ten percent (10%).
2. The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.
3. The proposed project creates a consistent and compatible design in this case which involves a new building within a previously approved phased project.
4. The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount.

The findings for denial of the deviation from DCMC Section 9-22-050(A)(1) site design standards to allow for a building that does not face the street are as follows:

1. The variations are not consistent with the purpose of this chapter and any applicable master plan or ordinance.
2. The proposed project does not create a consistent and compatible design within the previously approved phased project.

Deviation Request from DCMC Section 9-22-040(C)(2) – Facade articulation

The findings for approval of the deviation from DCMC Section 9-22-040(C)(2) building design standards regarding the lack of articulation along the southern building facade are as follows:

1. The overall percentage of dedicated public or private landscape and open space area exceeds the required amount by more than ten percent (10%).
2. The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.
3. The proposed project creates a consistent and compatible design in this case which involves a new building within a previously approved phased project.

4. The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount.

The findings for denial of the deviation from DCMC Section 9-22-040(C)(2) building design standards regarding the lack of articulation along the southern building facade are as follows:

1. The variations are not consistent with the purpose of this chapter and any applicable master plan or ordinance.
2. The proposed project does not create a consistent and compatible design within the previously approved phased project.

Amended Site Plan

The findings for approval of the amended site plan are as follows:

1. The site plan amendment represents completion of the phased development plan for the overall site.
2. The proposed site plan conforms to all applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the CBP zone.
4. Public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of the DCMC, including traffic, storm water drainage, and utilities concerns.

The findings for denial of the amended site plan are as follows:

1. The proposed site plan does not conform to all applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
2. The proposed development plans do not meet the intent, goals, and objectives of the general plan and the purpose of the CBP zone.

MODEL MOTIONS

Deviation Request from DCMC Section 9-22-050(A)(1) – Building Placement

Sample Motion for Approval – I move that we approve the deviation from building orientation to the street, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow

Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021.

Sample Motion for Modified Approval – I move that we approve the deviation from building orientation to the street as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

Sample Motion for Denial – I move that we deny the deviation from the building orientation to the street, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021.

Deviation Request from DCMC Section 9-22-040(C)(2) – Façade articulation

Sample Motion for Approval – I move that we approve the deviation from the building façade articulation, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021.

Sample Motion for Modified Approval – I move that we approve the deviation from the building façade articulation, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

Sample Motion for Denial – I move that we deny the deviation from the building façade articulation, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021.

Amended Site Plan

Sample Motion for Approval – I move that we approve the Site Plan Amendment, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and

Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021.

Sample Motion for Modified Approval – I move that we approve the Site Plan Amendment, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

Sample Motion for Denial – I move that we deny the Site Plan Amendment, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Brien Maxfield

Digitally signed by Brien Maxfield
DN: cn=Brien Maxfield, o=Draper City, ou=PW -
Engineering,
email=brien.maxfield@draperutah.gov, c=US
Date:2021.05.03 17:32:36 -06'00'

Draper City Public Works Department

Don Buckley

Digitally signed by Don Buckley
DN: C=US, E=don.buckley@draper.ut.us,
O=Draper City Fire Department, OU=Fire
Marshal, CN=Don Buckley
Date: 2021.05.03 17:11:19 -06'00'

Draper City Fire Department

Keith Collier

Digitally signed by Keith Collier
DN: C=US,
E=keith.collier@draperutah.gov,
O=Draper City, OU=Building Official,
CN=Keith Collier
Date: 2021.05.04 07:12:12 -06'00'

Draper City Building Division

Jennifer Jastremsky

Digitally signed by Jennifer Jastremsky
DN: C=US, E=jennifer.jastremsky@draperutah.gov,
O=Planning Division, OU=Draper City, CN=Jennifer
Jastremsky
Date: 2021.05.04 09:22:22 -06'00'

Draper City Planning Division

Mike Barker

Digitally signed by Mike Barker
Date: 2021.05.03 16:50:48
-06'00'

Draper City Legal Counsel

EXHIBIT A

DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments.

Engineering and Public Works Divisions Review.

1. Meets code requirements.

Building Division Review.

1. No additional comments.

Geotechnical and Geologic Hazards Review.

1. Based substantially in and on reliance of the technical documentation and assurances provided by AGEC, including their opinions and conclusions, it is TG's opinion that AGEC has adequately addressed geotechnical parameters at the site, consistent with concerns for public health, safety, welfare, reasonable professional standards of practice and the Draper City's Geologic Hazards Ordinance.

Fire Division Review.

1. Fire Department Access is required. An unobstructed minimum road width of twenty-six (26) feet exclusive of the shoulders and a minimum height of thirteen (13) feet six (6) inches shall be required. The road must be, designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of twenty - eight (28) feet. There shall be a maximum grade of 10%. Grades may be, checked prior to building permits being issued.
2. Hydrants and Site Access. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be, installed and APPROVED by the Fire Department prior to the issuance of any Building Permits. If at any time during the building phase any of the hydrants or temporary Fire Department

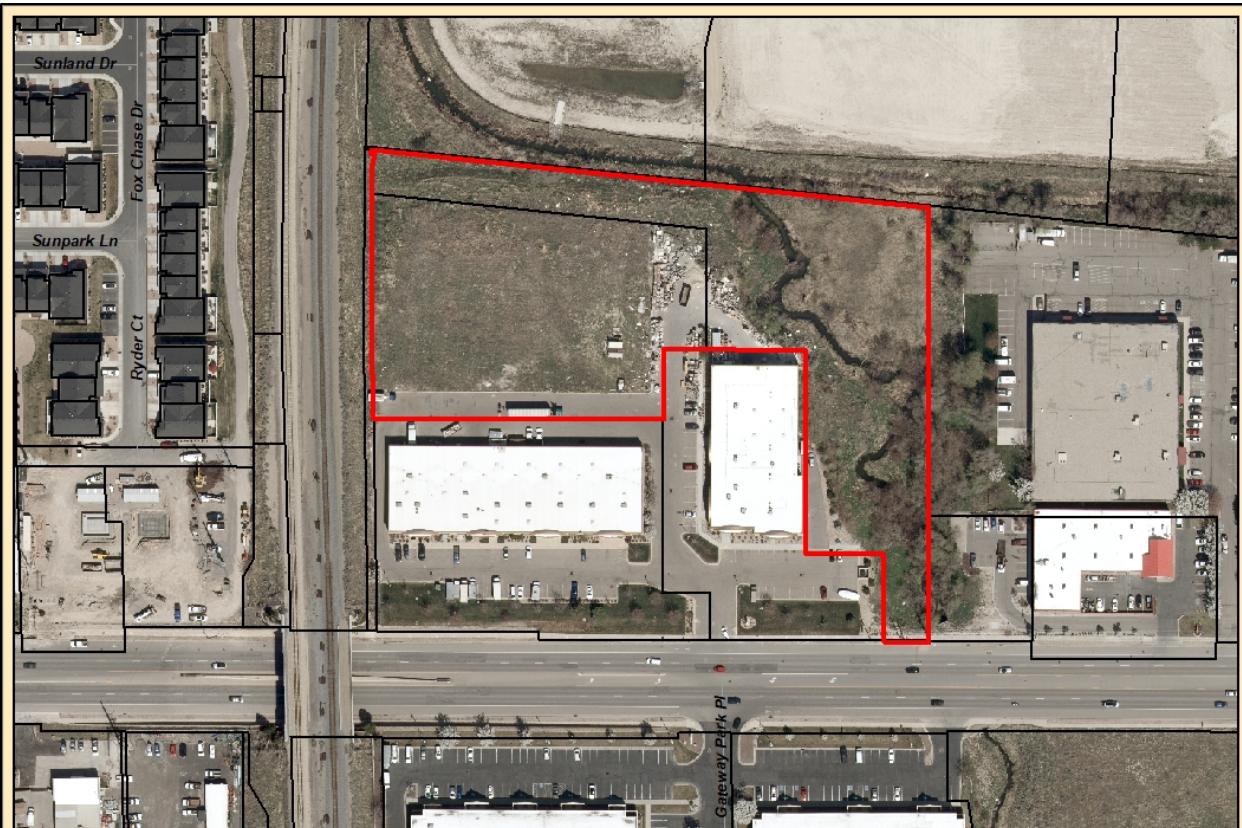
Access becomes non-compliant any and all permits could be revoked.

3. Fire Hydrants are required. This project needs 3 hydrants however it appears that they are already installed with the previous buildings. They are to be protected with bollards if susceptible to vehicle damage. The required fire flow for this project is 4750GPM for full 4 hour duration. A 50% reduction is allowed in fire flow which is 2375gpm for 2 hours, for installation of fire sprinklers.
4. No combustible construction shall be, allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
5. Fire Sprinklers Required. A deferred submittal for a NFPA 13 fire sprinkler shop drawings are to be sent via email to: Don Buckley at don.buckley@draper.ut.us . A complete set of plans, with manufacturer cut sheets, and hydraulic calculations. Plans must be stamped by a NICET level III or better in Auto Sprinkler Layout. (There needs to be a hydrant with-in a 100 feet of the FDC.) FDC is required to have KNOX Locking Caps. **ALL FIRE PROTECTION PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.** *The fire sprinkler system shall be designed to accommodate high pile storage.*
6. Post Indicator Valve with Tamper May Be Required. If there is no designated fire riser room with a direct access door from the outside. There shall be either a wall mounted P.I.V (OS&Y) or a typical P.I.V placed a minimum distance of 40 feet from the building with a tamper switch.
7. Fire Alarm Required. A deferred submittal for fire alarm shop drawings are to be sent via email to the following to: Don Buckley at don.buckley@draper.ut.us . A complete set of plans, with manufacturer cut sheets, and battery calculations. Plans must be stamped by a NICET level III or better in Fire Alarm Systems. **ALL FIRE ALARM PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.**
8. Knox Boxes Required. Fire Department "Knox Brand" lock box to be mounted to exterior walls, near the main entrance and/or nearest the door serving the exterior access to the fire sprinkler riser room. (At a height of 5 feet to the top of the box) Lock box purchase can be arranged by the General Contractor. See attached information form.
9. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the

property. These numbers shall contrast with their background.

10. Street Signs required and are to be posted and legible prior to building permits being issued. All lots to have lot number or address posted and legible.

EXHIBIT B
AERIAL MAP



Willow Creek Industrial Properties Lot 2 Amended Site Plan

432 W. 12300 S.

Date Printed: 4/27/2021

0 90 180 360 Feet



EXHIBIT C LAND USE MAP

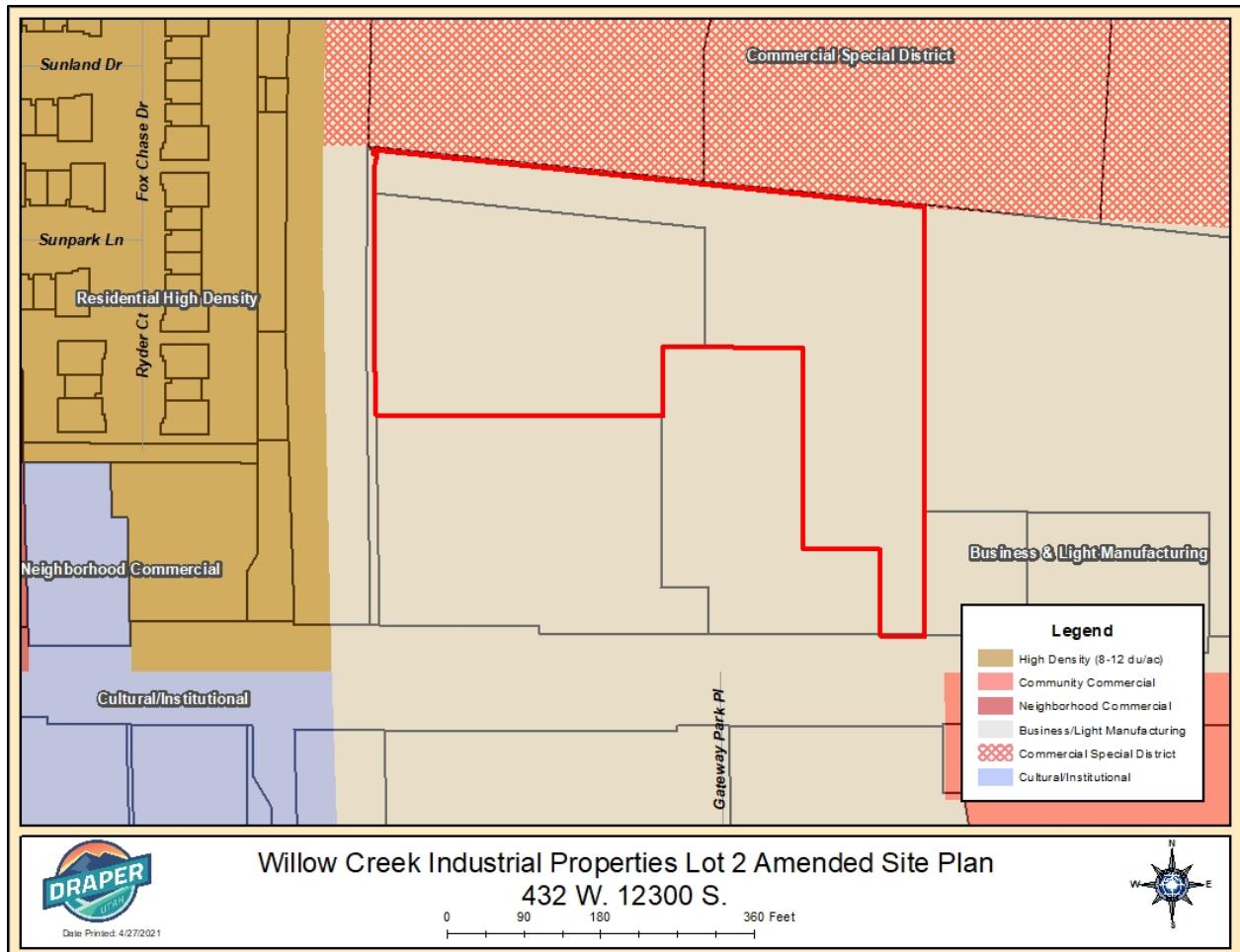


EXHIBIT D ZONING MAP

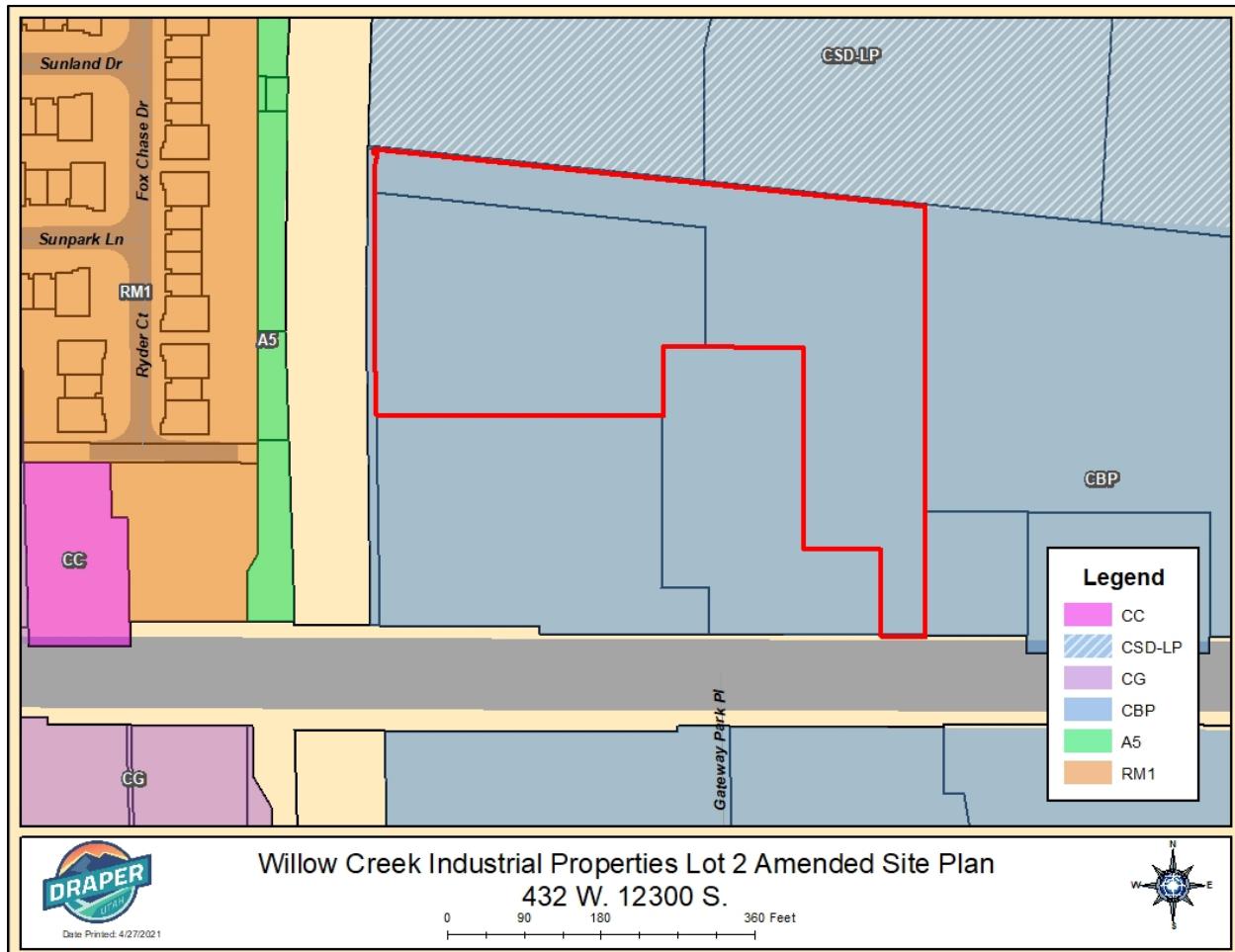


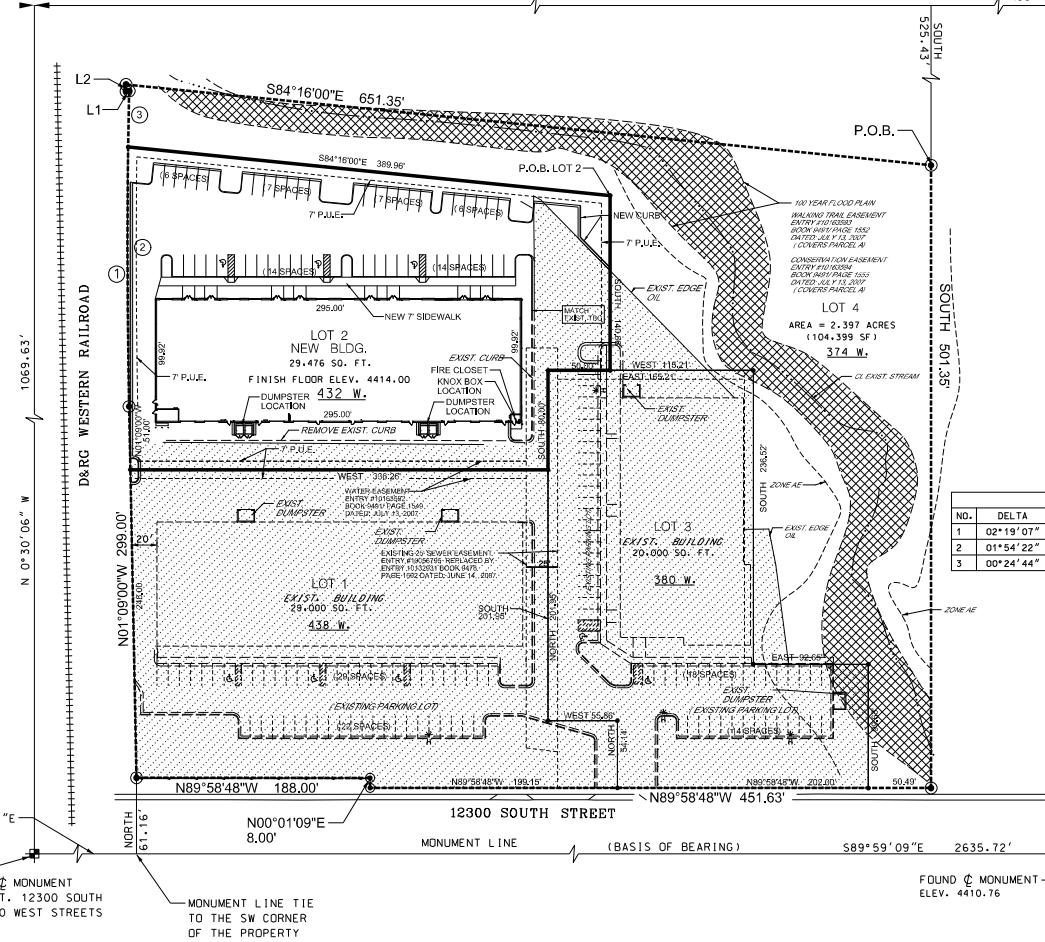
EXHIBIT E
SITE PLAN

WEST 1/4 CORNER OF SECTION 25,
TOWNSHIP 3 SOUTH, RANGE 1 WEST,
SALT LAKE BASE & MERIDIAN
(FOUND BRASS MONUMENT)

LOT 2 TABULATION TABLE	
DESCRIPTION	=
TOTAL ACREAGE OF AREA PROPOSED	2.05 ACRES
SQUARE FOOTAGE OF BUILDING	29,476 S.F.
SQUARE FOOTAGE OF MEZZANINE	2,461 S.F.
TOTAL SF OF BUILDING	31,397 S.F.
AREA OF LANDSCAPING	10,989 S.F.
PARKING STALLS/HANDICAP STALLS	54 / 3
IMPERVIOUS SURFACE	48,878 S.F.

TOTAL AREA TABULATION	
TOTAL GROSS ACREAGE	7.858 AC
SQUARE FOOTAGE OF BUILDING FOOTPRINT	78,476 SQ. FT.
SQUARE FOOTAGE OF LANDSCAPING	44,686 SQ. FT.
NUMBER OF PARKING SPACES (HANDICAP)	161 SPACES / (8)
SQUARE FOOTAGE OF IMPERVIOUS SURFACES	152,256 SF / 3.50 AC
SQUARE FOOTAGE LEFT IN HISTORICAL STREAM BED	98,738 SF / 2.27 AC

(QUARTER SECTION LINE) N89°45'13"E 2299.60'



CENTER OF SECTION 25.
TOWNSHIP 3 SOUTH, RANGE 1 WEST,
SALT LAKE BASE & MERIDIAN
(FOUND BRASS MONUMENT)

N89°45'13"E 382.48'



BROWN
ENGINEERING, INC.

Office (801) 571-1390 FAX (801) 571-3747
555 East 100 North, Suite 100, Salt Lake City, UT 84111



Design	Drawn	Revised
By	D.B.	
Checked		
Date	AUG. 10, 2020	

OVERALL BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 89°45'13" WEST ALONG THE QUARTER SECTION LINE 382.48 FEET AND SOUTH 525.43 FEET FROM THE CENTER OF SECTION 25, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 501.35 FEET; THENCE NORTH 89°58'48" WEST 451.63 FEET; THENCE NORTH 00°01'09" EAST 8.00 FEET; THENCE NORTH 89°58'48" WEST 188.00 FEET TO THE EAST RIGHT OF WAY LINE 299.00 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF A 6277.01 FOOT RADIUS CURVE TO THE RIGHT 254.01 FEET THROUGH A CENTRAL ANGLE OF 02°19'07", THE CHORD OF WHICH BEARS NORTH 00°03'33" EAST 253.99 FEET; THENCE NORTH 84°26'00" WEST 2.52 FEET; THENCE NORTH 00°05'49" EAST 5.02 FEET; THENCE SOUTH 84°16'00" EAST 651.36 FEET TO THE POINT OF BEGINNING.

CONTAINS 7.858 ACRES (342,315.95 SQ. FT.)

BASIS OF BEARING: S89°59'09"E ALONG THE MONUMENT LINE FROM THE MONUMENT IN THE INTERSECTION OF 12300 SOUTH AND 700 WEST STREETS, TO THE MONUMENT (TO THE EAST) IN THE CENTER OF 12300 STREET.

LOT 1 DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 89°45'13" WEST ALONG THE SECTION LINE 690.84 FEET AND SOUTH 769.28 FEET FROM THE CENTER OF SECTION 25, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 201.95 FEET; THENCE EAST 165.21 FEET; THENCE WEST 50.46 FEET; THENCE NORTH 89°58'48" WEST 195.15 FEET; THENCE NORTH 00°01'09" EAST 8.00 FEET; THENCE NORTH 89°58'48" WEST 188.00 FEET; THENCE NORTH 00°01'09" EAST 248.00 FEET; THENCE EAST 336.26 TO THE POINT OF BEGINNING.

AREA = 1.996 ACRES (86,948.83 SQ. FT.)

LOT 2 DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 89°45'13" EAST ALONG THE QUARTER SECTION LINE 640.83 FEET AND SOUTH 548.63 FEET FROM THE CENTER QUARTER CORNER OF SECTION 25, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 140.86 FEET; THENCE WEST 50.50 FEET; THENCE SOUTH 80.00 FEET; THENCE WEST 336.26 FEET TO THE WEST BOUNDARY OF SAID SUBDIVISION LINE; THENCE ALONG SAID LINE THE FOLLOWING TWO (2) COURSES: (1) NORTH 01°09'00" WEST 51.00 FEET; (2) ALONG THE ARC OF A 6277.01 FOOT RADIUS CURVE TO THE RIGHT 208.84 FEET THROUGH A CENTRAL ANGLE OF 01°54'22", THE CHORD BEARS NORTH 00°11'50" WEST 208.83 FEET; THENCE LEAVING SAID LINE SOUTH 84°16'00" EAST 389.96 FEET.

AREA = 2.05 ACRES (89,236 SQ. FT.)

LOT 3 DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 89°45'13" WEST ALONG THE SECTION LINE 690.84 FEET AND SOUTH 769.28 FEET FROM THE CENTER OF SECTION 25, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE NORTH 80.00 FEET; THENCE EAST 165.21 FEET; THENCE SOUTH 236.52 FEET; THENCE EAST 92.65 FEET; THENCE SOUTH 99.63 FEET; THENCE NORTH 89°58'48" WEST 202.00 FEET; THENCE NORTH 54.14 FEET; THENCE WEST 55.86 FEET; THENCE NORTH 201.95 FEET TO THE POINT OF BEGINNING.

AREA = 1.417 ACRES (61,732 SQ. FT.)

LOT 4 DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 89°45'13" WEST ALONG THE QUARTER SECTION LINE 382.48 FEET AND SOUTH 525.43 FEET FROM THE CENTER OF SECTION 25, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 501.35 FEET; THENCE NORTH 89°58'48" WEST 451.63 FEET; THENCE NORTH 00°01'09" EAST 8.00 FEET; THENCE NORTH 89°58'48" WEST 188.00 FEET TO THE EAST RIGHT OF WAY LINE 299.00 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF A 6277.01 FOOT RADIUS CURVE TO THE RIGHT 45.17 FEET THROUGH A CENTRAL ANGLE OF 00°24'44", THE CHORD OF WHICH BEARS NORTH 00°57'47" EAST 5.02 FEET; THENCE NORTH 84°16'00" EAST 651.36 FEET TO THE POINT OF BEGINNING.

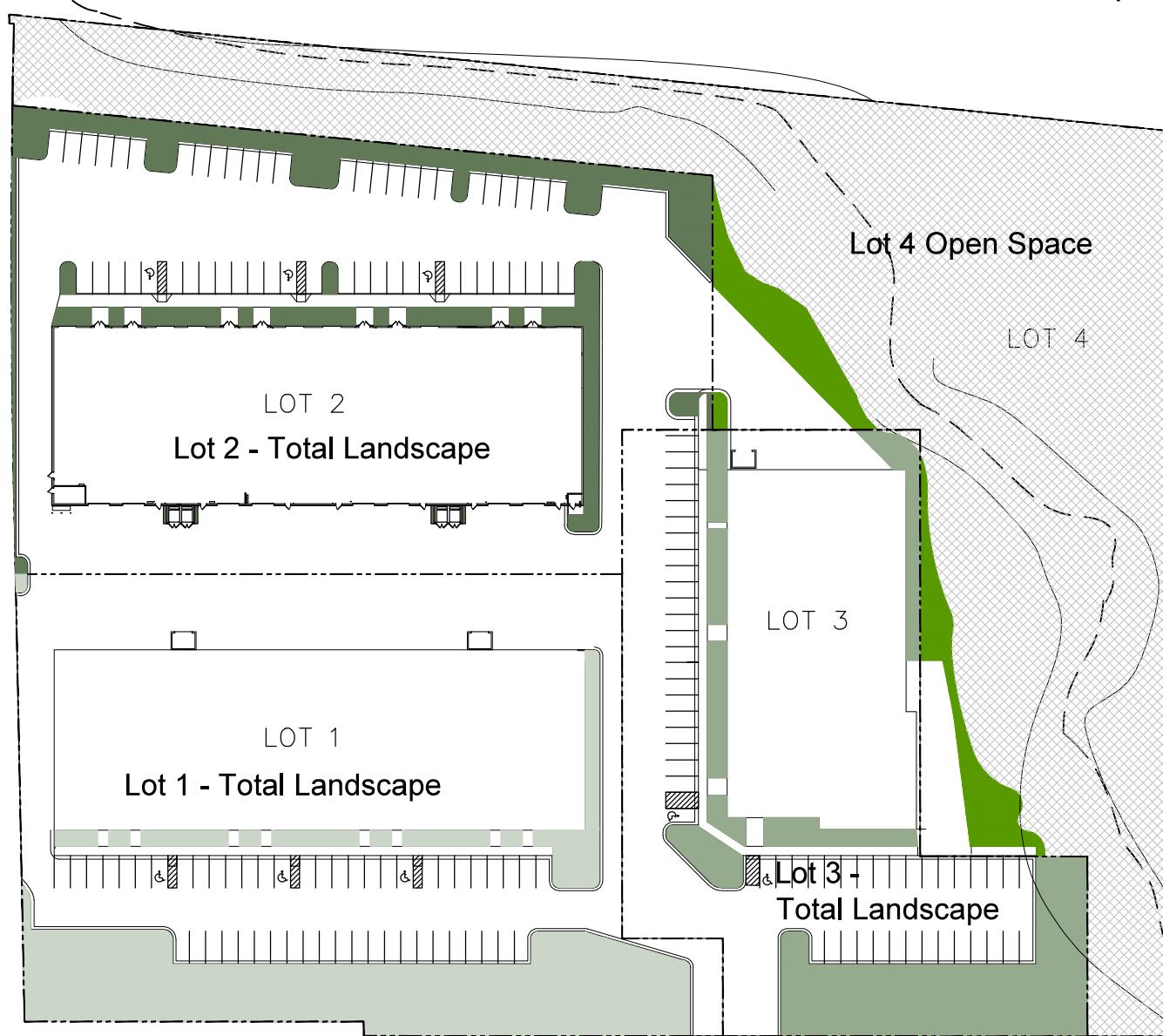
AREA = 2.397 ACRES (104,399 SQ. FT.)

WILLOW GREEK INDUSTRIAL PROPERTIES
KENNER ASSOCIATES
OVERALL SITE PLAN

Client: Drawing Name: Drawing Date: 2020-08-10
Project No. 2020-005
Sheet No. 1.00

EXHIBIT F
LANDSCAPE PLAN

Willow Creek Business Park - Overall Landscape Areas



Lot 1 Landscape

Total Area	Total Landscaped Area	Percentage of Total Landscaped Area
86949.00	19580.77	22.52%

Lot 2 Landscape

Total Area	Total Landscaped Area	Percentage of Total Landscaped Area
89236.00	10980.00	12.30%

Lot 3 Landscape

Total Area	Total Landscaped Area	Percentage of Total Landscaped Area
61732.00	14124.84	22.88%

Lot 4 Open Space

Total Area	Total Landscaped Area/Open Space	Percentage of Total Landscaped Area/Open Space
104399.00	98737.86	94.58%

Overall Total

Total Area	Total Landscaped Area/Open Space	Percentage of Total Landscaped Area/Open Space
342316.00	143423.47	41.90%

Scale: 1" = 60'-0"



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8710 S. Sandy Parkway
Suite 200
p. 801.313.2994



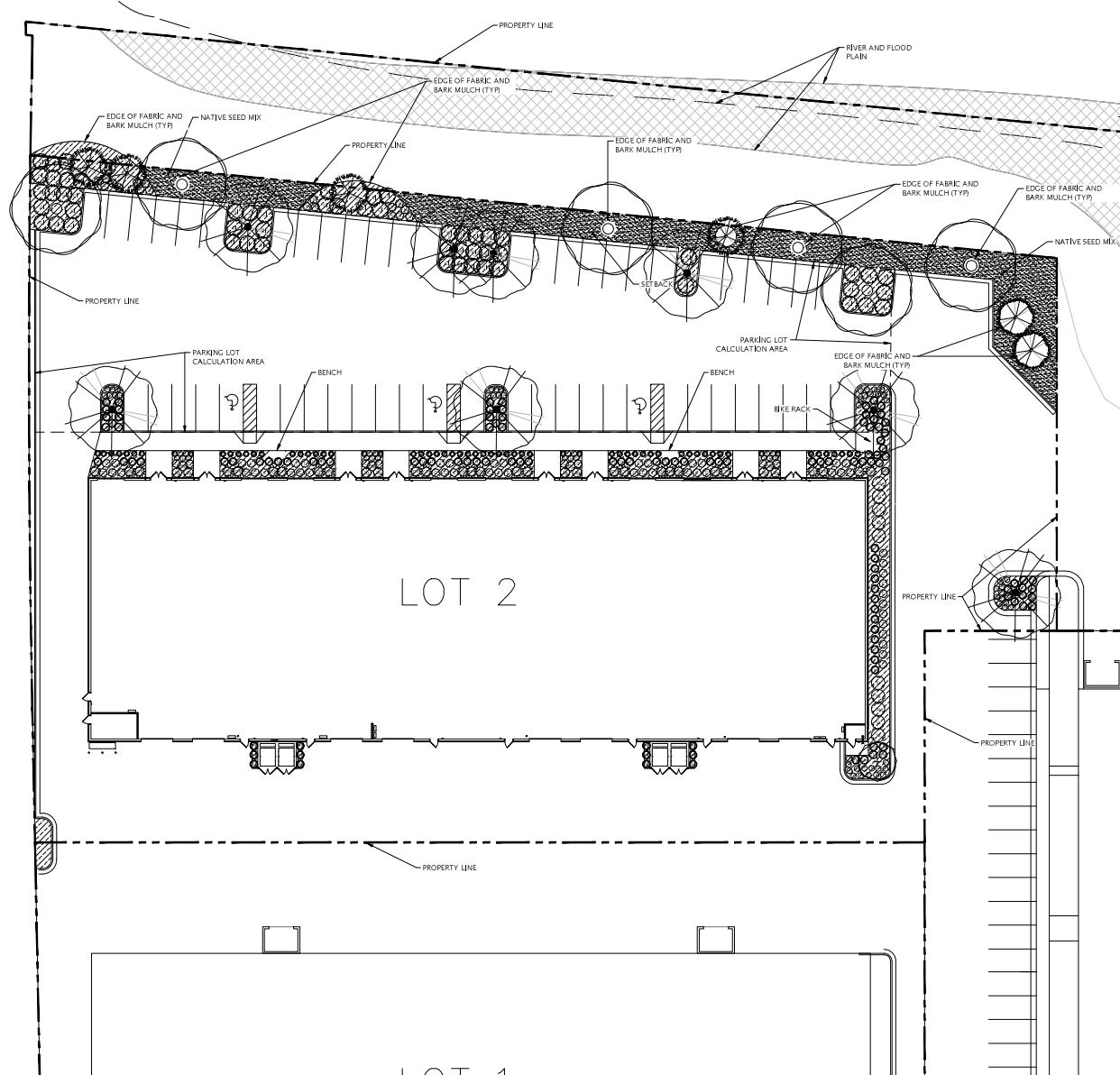
blu line designs
planning | landscape architecture | design

8719 S. Sandy Parkway
Sandy, UT 84070
(800) 343-7844

CLIENT

WILLOW CREEK BUSINESS PARK

DRAPER, UTAH



PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	CELITIS OCCIDENTALIS / COMMON HACKBERRY	B&B	2" CAL	6
	GLEIDITIA TRICANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	B&B	2" CAL	8
	ZELKOVA SERRATA 'MUSASHINO' / SAWLEAF ZELKOVA	B&B	2" CAL	1
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	B&B	6" HT MIN.	6
SHRUBS	BOTANICAL / COMMON NAME	CONT	ZONE	QTY
	BUXUS MICROPHYLLA 'WINTER GEM' / GLOBE WINTER GEM BOXWOOD	5 GAL		12
	CORNUS SERICEA 'KELSEYI' / KELSEYI / WARP REDTWIG DOGWOOD	5 GAL		60
	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	5 GAL		27
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL		57
	RIBES ALPINUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT	5 GAL		21
	SPRAEA X BUNALDA 'LIMEOUND' TM / LIMEOUND SPREA	5 GAL		25
	SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY	5 GAL		10
ANNUALS/PERENNIALS	BOTANICAL / COMMON NAME	CONT	ZONE	QTY
	HEMEROCALLIS X PARDON ME / PARDON ME DAYLILY	1 GAL		50
	HEUCHERA X 'BLACK BEAUTY' / CORAL BELLS	1 GAL		20
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	CONT	ZONE	QTY
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL		49
	CAREX MORROWII / JAPANESE SEDGE	1 GAL		64
	HAKONECHLOA MACRA 'ALBO-STRIGATA' / JAPANESE FOREST GRASS	1 GAL		44
GROUND COVERS	BOTANICAL / COMMON NAME	CONT		QTY
	NATIVE SEED MIX / APPLY PER SUPPLIERS' RECOMMENDATIONS	SEED		3,684 SF

NOTES

- PLANTING BEDS TO BE LINED WITH COMMERCIAL GRADE WEED BARRIER FABRIC AND TOPPED WITH 1" DEPTH SHREDDED BARK MULCH.
- COORDINATE ALL PLANTINGS WITH UTILITY PLAN. ADJUST TREES AS NECESSARY.
- FOR SHRUB AND TREE PLANTING DETAILS SEE DETAILS.
- CONTACT TO VERIFY SIZE AND QUANTITIES OF PLANT SCHEDULE.
- SEE CIV. PLANS FOR ADDITIONAL INFORMATION REGARDING RECORDED TRAIL AND CONSERVATION BASELINE.

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
████████	PLANTER BED WITH DARK BROWN SHREDDED MULCH	6,709 SF

LOT 2 LANDSCAPE DATA TABLE

LANDSCAPE AREA REQ'D (SEE OVERALL LANDSCAPE PLAN CALCULATIONS)	PROVIDED: 10,980 SF (12.3%) (SEE OVERALL LANDSCAPE PLAN CALCULATIONS)
PARKING LOT AREA: 25,205 SF	
PARKING LOT LANDSCAPE REQUIRED: 1,260 SF	PARKING LOT LANDSCAPE PROVIDED: 2040 SF (8%)
PERIMETER LANDSCAPE REQUIREMENTS: 4 TREES/ 36 SHRUBS	PERIMETER LANDSCAPE PROVIDED: 10 TREES/ 36 SHRUBS

Scale: 1" = 20'-0"
0 10 20 30 40 50



LP101



Stamp
Designed By: CB
Drawn By: CB
Date: 10/27/2020
Checked By: CB
Project No: 20418

Drawing Title: LANDSCAPE PLAN

Drawing number: LP101

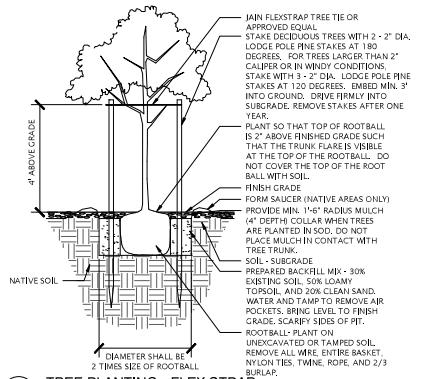


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(800) 313-7864

CLIENT

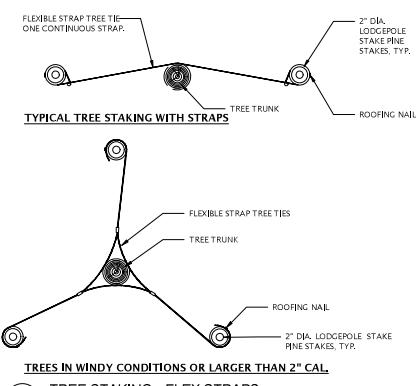


NOTE:
ULINE COURTYARD BENCH MODEL H-3018, SIZE TO BE 6 FT BENCH WITH BACK (71X26X32) MOUNTED ON CONCRETE PAD, COLOR SELECTION BY OWNER.



4 BENCH
NOT TO SCALE

3 TREE PLANTING - FLEX STRAP
NOT TO SCALE



2 TREE STAKING - FLEX STRAPS
NOT TO SCALE

1 SHRUB DETAIL
NOT TO SCALE



NOTE:
ULINE SLOPPED WAVE BIKE RACK - 5 BIKE CAPACITY, MODEL H-2543, MOUNTED ON CONCRETE PAD, COLOR SELECTION BY OWNER.

5 BIKE RACK
NOT TO SCALE

WILLOW CREEK BUSINESS PARK

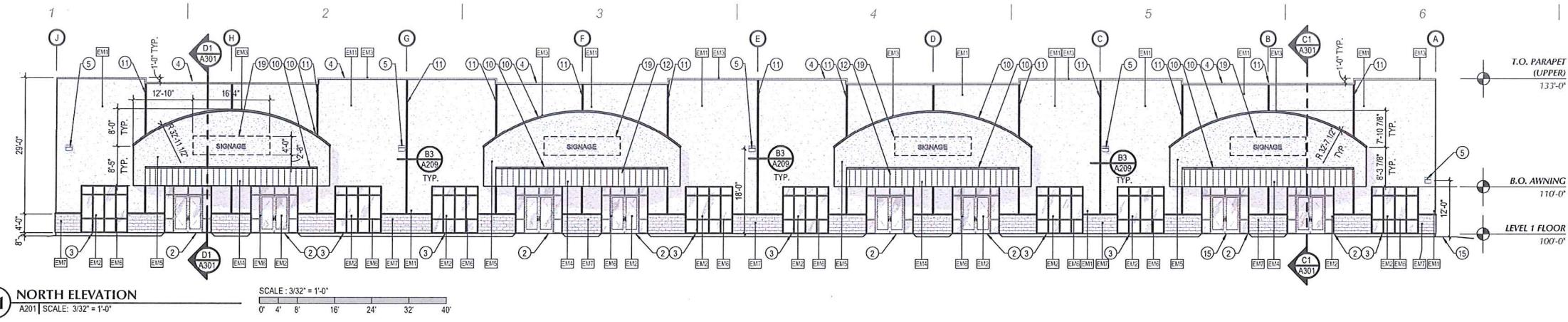
DRAPER, UTAH



Designed By: CB
Drawn By: CB
Date: 10/27/2020
Checked By: CB
Project No: 25418
Drawing Title: LANDSCAPE DETAILS

Drawing number: LP501

EXHIBIT G
ELEVATIONS



MARK	REVISION	DATE

SHEET NOTES

- FINISHED GRADE.
- PREFINISHED ALUMINUM STOREFRONT DOOR SYSTEM WITH THERMAL BREAKS. COLOR: DARK BRONZE. SEE SHEET A601.
- PREFINISHED ALUMINUM STOREFRONT WINDOW SYSTEM WITH THERMAL BREAKS. COLOR: DARK BRONZE. SEE SHEET A601.
- PREFINISHED METAL PARAPET WALL CAP. SEE DETAIL A6/A701.
- EXTERIOR WALL LIGHT. SEE ELECTRICAL.
- CAST NICKEL BRONZE DOWNSPOUT NOZZLE WITH ANCHOR FLANGE. SEE DETAILS A4/A701 & E4/A701.
- GAS METER LOCATION. COORDINATE WITH UTILITY COMPANY. SEE PLUMBING.
- PROPOSED ELECTRICAL METER LOCATION. SEE ELECTRICAL. COORDINATE WITH ROCKY MOUNTAIN POWER.
- EXTERIOR FIRE RISER CONNECTION. SEE PLUMBING.
- PRE-FINISHED METAL CAP. SEE DETAIL A6/A701.
- CONCRETE TILT-UP REVEALS AS SHOWN. SEE DETAILS ON SHEET A701.
- ENTRY AWNING FEATURE. SEE DETAIL E2/A701. SEE STRUCTURAL FOR CONNECTION REQUIREMENTS.
- PRE-FINISHED PAINTED STEEL OVERHEAD DOOR. SEE SHEET A601.
- PAINTED HOLLOW METAL INSULATED MAN DOOR. SEE SHEET A601.
- FINISHED GRADE OR FINISHED SIDEWALK. SEE CIVIL.
- SIGNAGE LOCATION PER DRAPER CITY SIGN ORDINANCE REQUIREMENTS. VERIFY WITH OWNER POWER REQUIREMENTS.
- HEAVY DUTY KEY KNOX BOX WITH HINGED DOOR. TO BE APPROVED PER DRAPER CITY FIRE DEPARTMENT.

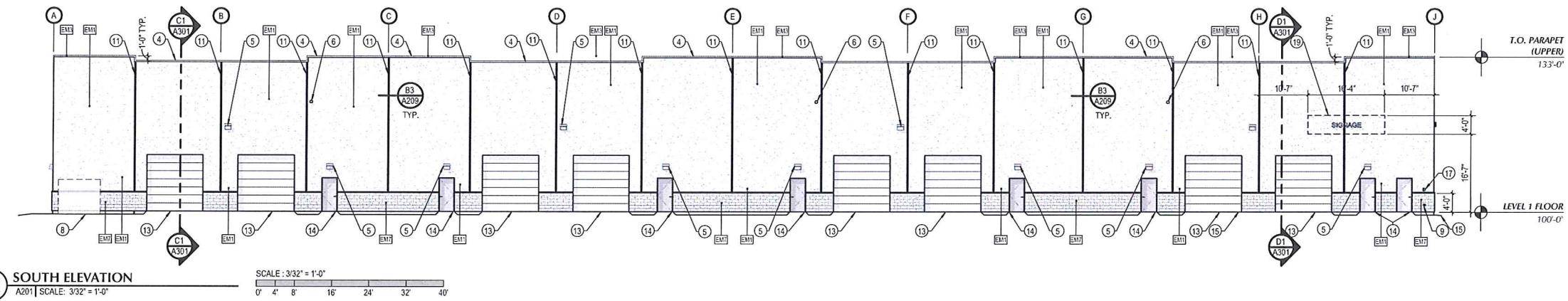
A

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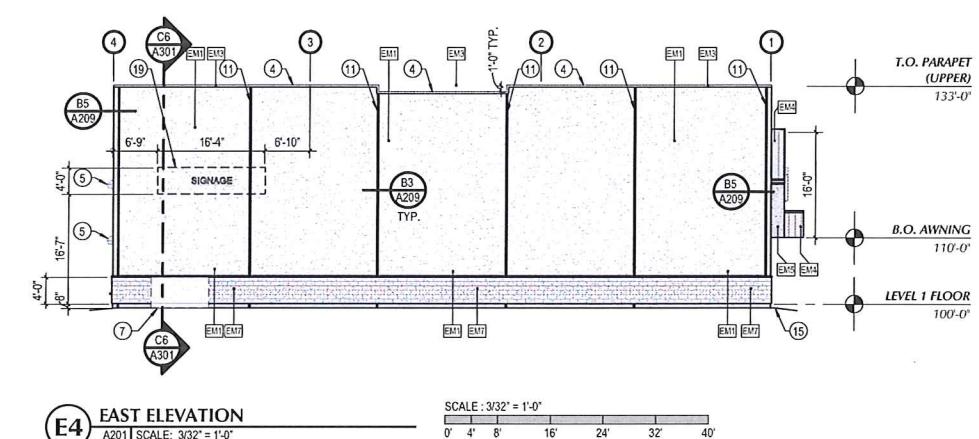
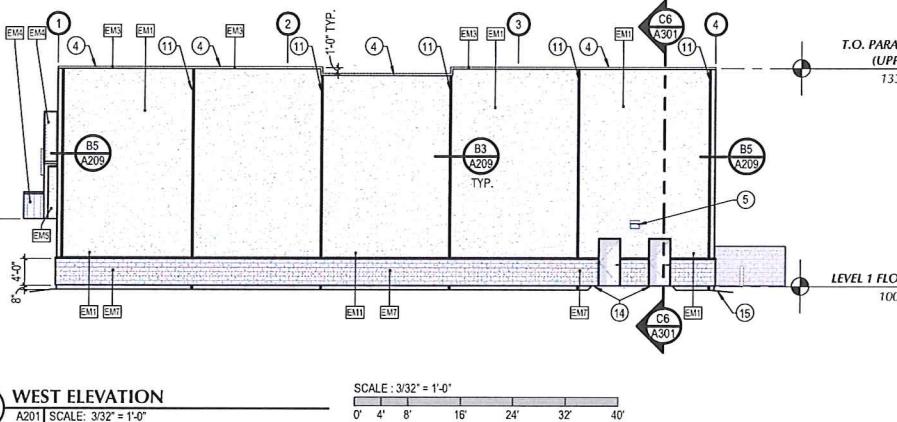


EXTERIOR MATERIAL LEGEND

EM1		SMOOTH FACE CONCRETE TILT UP PANEL, COLOR TO MATCH BUEHNER BLOCK, OAK.
EM2		GLAZING, COLOR AND STYLE TO BE PPG, CLEAR GLASS
EM3		4' PRE-FINISHED METAL CAP, COLOR TO BE COPPER
EM4		STANDING METAL SEAM ROOFING WITH VERTICAL SEAMS, COLOR: COPPER.
EM5		ALUMINA-FINISH OBSIDIAN WITH AN OBSIDIAN PRIMER.
EM6		WINDOW CASINGS AND DOOR TRIM, COLOR TO BE DARK BROWN.
EM7		THIN SPLIT FACE CMU BLOCK VENEER WITH PRE-CAST CONCRETE CAP, COLOR TO MATCH BUEHNER BLOCK, OAK.

GENERAL NOTES

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED FINISH.
- CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BIRKIN'S EARTH PROOFING MATERIAL.
- PROVIDE PRE-FINISHED NUMBERS ON THE FRONT EXTERIOR OF THE BUILDING IN ACCORDANCE WITH BUILDING ADDRESS NUMBER ASIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY. MATCH EXISTING ADDRESS NUMBERS ON ADJACENT BUILDING. VERIFY COLOR AND FINISH WITH OWNER.
- SEE PLUMBING SHEETS AND ROOF DRAINAGE PLAN FOR SECONDARY ROOF DRAINAGE BRASS SCUPPER AND ROOF SCUPPER WITH PRE-FINISHED ALUMINUM DOWNSPOUT LOCATIONS ALONG EXTERIOR WALLS.
- SEE PLUMBING SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL.
- SEE ELECTRICAL SHEETS FOR ELECTRICAL FIXTURE LOCATIONS ALONG EXTERIOR WALLS.
- EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.



	233 SOUTH PLEASANT CROVE E1/2 SUITE #105 PLEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cmu@msnbc.com	DATE: AUGUST 24, 2020 PROJECT #: 20-005 PROJ. MAN.: NRB CHECKED BY: GWT
PROJECT: KENNER ASSOCIATES OFFICE WAREHOUSE 432 WEST 12300 SOUTH DRAPER, UTAH	STATE OF UTAH LICENSE NUMBER: 5751285-2001 EXPIRATION DATE: 08/24/2023 DRAFTER: CURTIS MINER	THE INFORMATION CONTAINED IN THIS SHEET IS THE PROPERTY OF CURTIS MINER ARCHITECTURE, INC. IT IS PROVIDED FOR THE USE OF THE CONTRACTOR AND IS NOT TO BE COPIED, REPRODUCED, OR DISCLOSED TO ANY OTHER PERSON, EXCEPT AS PROVIDED IN THE CONTRACT DOCUMENTS.
SHEET DESCRIPTION: EXTERIOR ELEVATIONS		SHEET: A201

1

2

3

4

5

6

MARK	REVISION	DATE

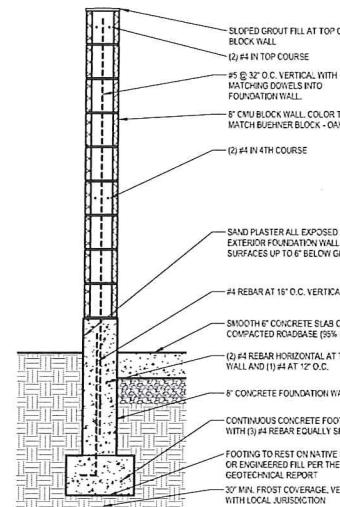
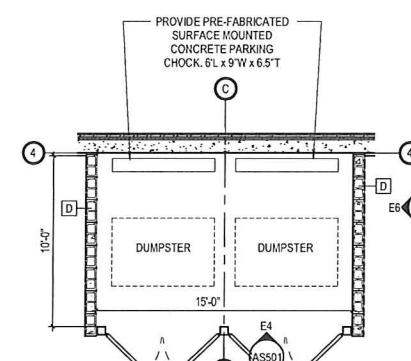
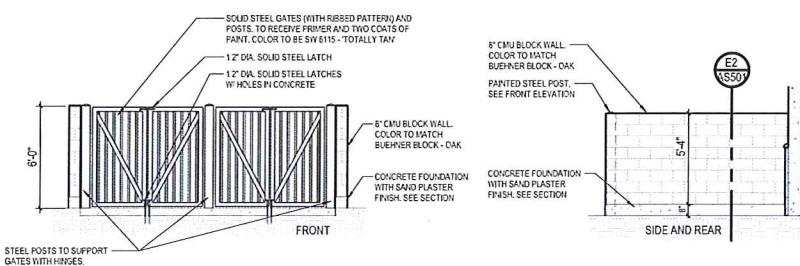
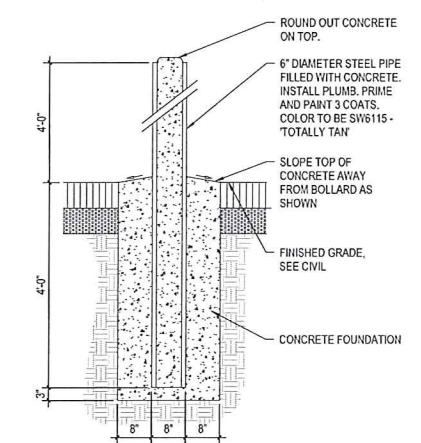
A

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E

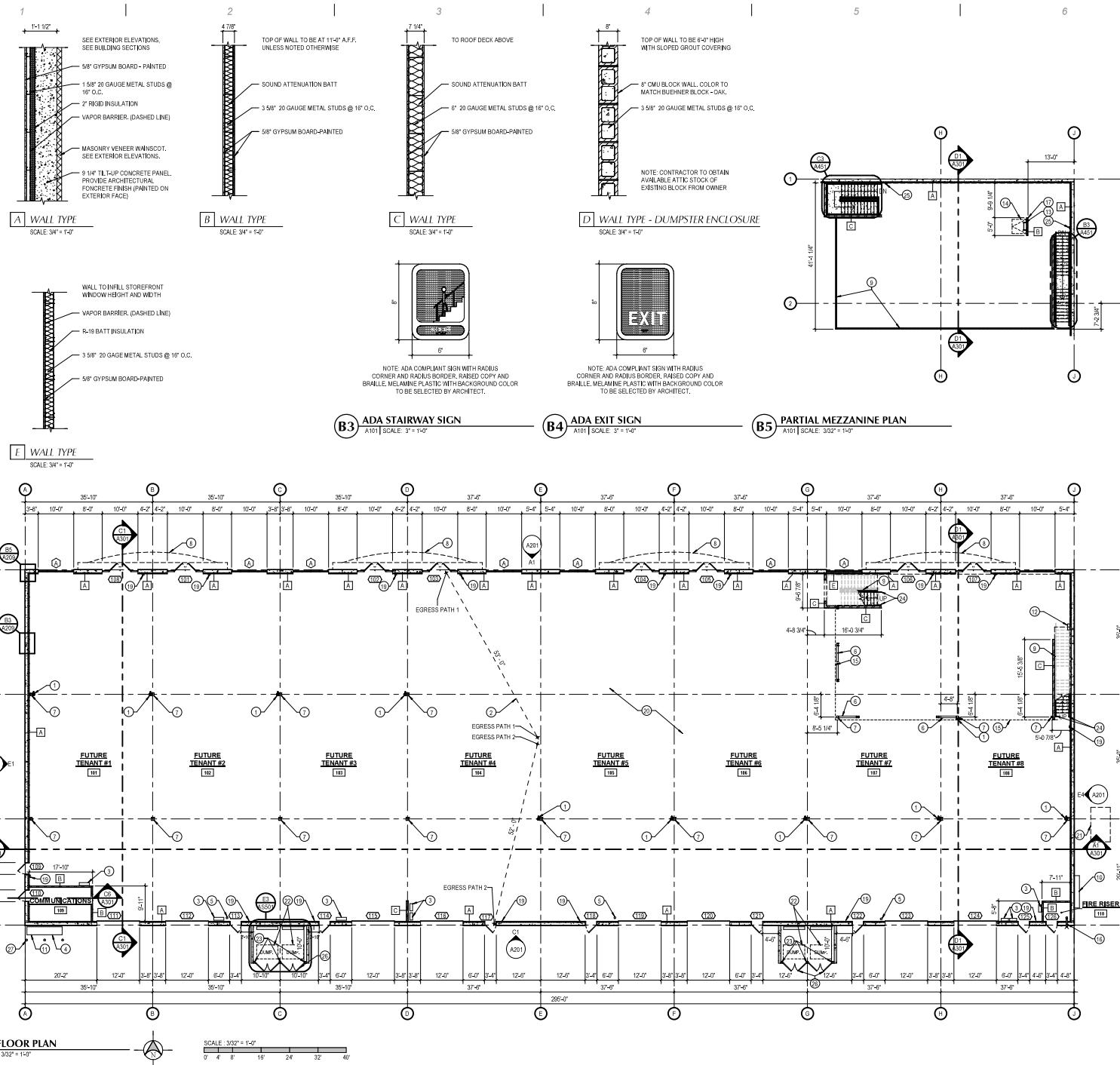
E2 DUMPSTER SECTION
AS501 | SCALE: 3/4" = 1'-0"E3 DUMPSTER ENCLOSURE
AS501 | SCALE: 1/4" = 1'-0"E4 DUMPSTER ENCLOSURE - FRONT ELEVATION
AS501 | SCALE: 1/4" = 1'-0"D6 BOLLARD DETAIL
AS501 | SCALE: 3/4" = 1'-0"

GENERAL NOTES

A. CONTRACTOR TO OBTAIN AVAILABLE ATTIC STOCK OF EXISTING BLOCK FROM OWNER.

<p>233 SOUTH PLEASANT GROVE BLVD PEASANT GROVE, UTAH 84062 PHONE: (801) 769-3000 cmu@cmuarch.com</p>	<p>DATE: AUGUST 24, 2020 PROJECT #: 20-005 PROJ. MAN.: NRB CHECKED BY: GWT</p>	<p>STATE OF UTAH LICENSE #24-2020 GENERAL CONTRACTOR 432 WEST 12300 SOUTH DRAPER, UTAH NO. 5751264-0001</p>	<p>GENERAL CONTRACTOR: CURTIS MINER ARCHITECTURE PROJECT: KENNER ASSOCIATES OFFICE WAREHOUSE 432 WEST 12300 SOUTH DRAPER, UTAH SHEET DESCRIPTION: ARCHITECTURAL SITE DETAILS SHEET: AS501</p>

EXHIBIT H
FLOOR PLAN



△	MARK	REVISION	DATE

SHEET NOTES

1. ADA COMPLIANT BRACKET MOUNTED 2A/10BC FIRE EXTINGUISHER, COMMON PATH OF EGRESS TRAVEL
2. ROOF ACCESS LADDER, SEE DETAIL E4501
3. ELECTRIC SWITCH GEAR, SEE ELECTRICAL
4. INSULATED RADAR PIPE, SEE PLUMBING
5. STRUCTURAL BRACE FRAME, SEE STRUCTURAL
6. ROOF ACCESS LADDER, SEE DETAIL E4501
7. DASHED LINES INDICATE ROOF AWNING OVERHANG ABOVE, SEE EXTERIOR ELEVATIONS AND ROOF PLANS
8. HATCHES, PROVIDE HATCH DETAILS ON SHEET H4501
9. GASMETER LOCATION, SEE MECHANICAL
10. ELECTRICAL METER LOCATION, SEE ELECTRICAL, COORDINATE WITH ROCKY MOUNTAIN POWER
11. PROVIDE ROOF ACCESS LADDER, SEE LANDSCAPE
12. ROOF ACCESS LADDER, SEE DETAIL E4501
13. ROOF ACCESS LADDER, SEE DETAIL E4501
14. ROOF ACCESS LADDER, SEE DETAIL E4501
15. ROOF ACCESS LADDER, SEE DETAIL E4501
16. EXTERIOR FIRE RISER CONNECTION, SEE PLUMBING AND CIVIL
17. WALL FOR ROOF ACCESS LADDER TO BE FRAMED TO DECK ABOVE, SEE WALL TYPES
18. PROVIDE TRANSFORMER LOCATION, SEE ELECTRICAL
19. PROVIDE ERGONOMIC SIGNAGE, SEE DETAILS S840101
20. CONCRETE IS TO GRADE ON STRUCTURE, SEE STRUCTURAL, TYPICAL
21. PROVIDE ROOF ACCESS LADDER, SEE DETAIL E4501
22. F/W/D-EY 4' DEEP DUMPSTER EQUIPMENT, BY OWNER
23. STEEL COLUMNS, PAINTED, SEE DETAIL A24501
24. PROVIDE HANDRAIL, SEE DETAILS ON SHEET H4501
25. PROVIDE ROOF ACCESS LADDER, SEE DETAIL E4501
26. PROVIDE PREFABRICATED STEEL GATE DOORS, SEE E450501
27. PROVIDE PREFABRICATED STEEL POST BOLSTERS, SEE D450101

TRAVEL PATH

PATH	EGRESS PATH LENGTH
EGRESS PATH 1	53'-0"
EGRESS PATH 2	52'-0"

GENERAL NOTES

GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION, REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.

COORDINATE INSTALLATIONS OF ALL POST-CONTRACT ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OR ADJUSTING OR RELATED STRUCTURES.

PROVIDE 18" MINIMUM CLEAR FLOOR SPACE AT FULL SIDE OF ALL DOORS, PROVIDED MINIMUM CLEAR FLOOR SPACE AT PUSH SIDE OF ALL DOORS, CONCRETE FOUNDATION WALLS SETTING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAM PROOFING MATERIAL.

AN ELEVATOR SHALL BE PROVIDED AND PROPERLY INSTALLED THROUGHOUT THE ENTIRE BUILDING PER NFPA 15.

SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION, ALL ENGINEERING SHEETS AND FINISH MATERIALS AND STYLES SHALL BE COORDINATED WITH OWNER.

TACTILE ADA SIGNS LOCATED AT A DOOR ARE TO BE PLACED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR.

NOTICE OF EXISTING CONDITIONS AND OWNER'S RECOMMENDATIONS, SEE SHEET A15 FOR REFLECTED CEILING PLANS.

SEE A01 FOR DOOR AND WINDOW INFORMATION.

SEE A01 FOR ROOF, ROOFING, ROOF VENTS, ROOF VENTILATORS AND OTHER ARCHITECTURAL GENERAL INFORMATION.

SEE A01 FOR WALL TYPES.

DO NOT SCALE DRAWINGS.

RECOMMENDATIONS FOUND IN GEOTECHNICAL STUDY PERFORMED BY DATE

ARE TO BE FOLLOWED STRICTLY.

NOTICE OF EXISTING CONDITIONS AND OWNER'S RECOMMENDATION INFORMATION

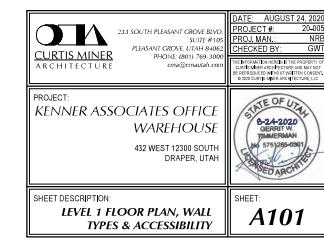


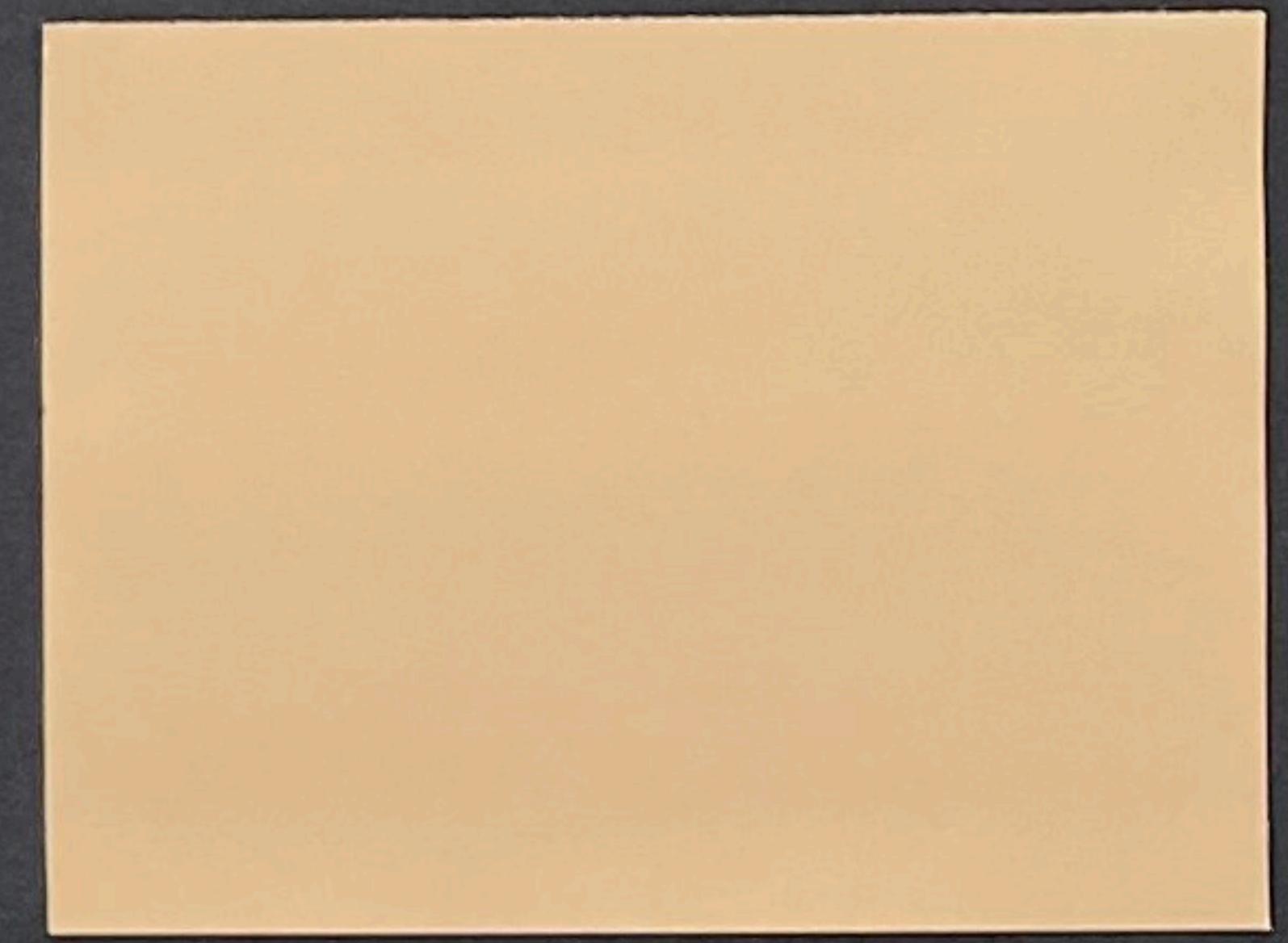
EXHIBIT I
COLOR BOARD



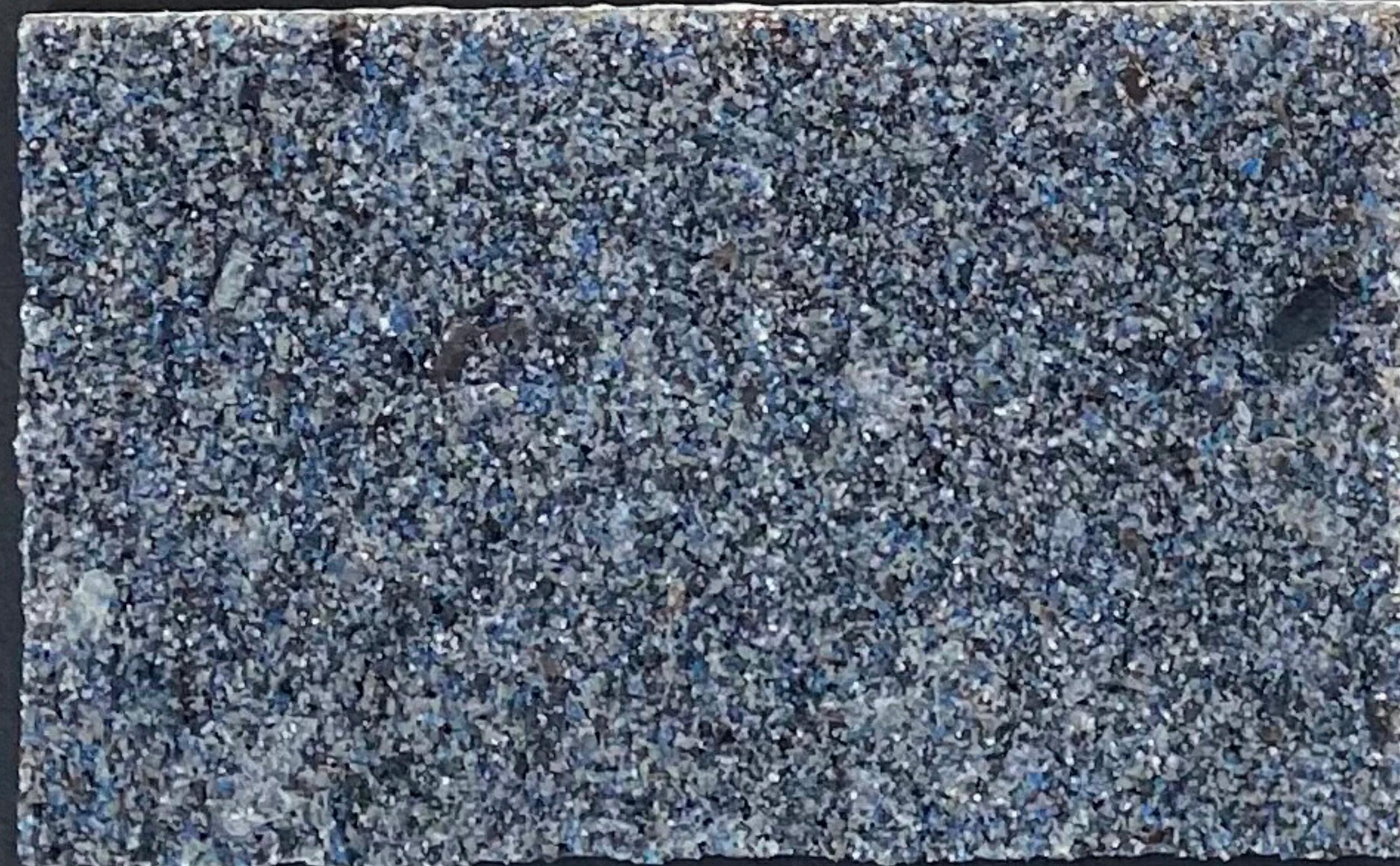
METAL CAP - COPPER PENNY



STOREFRONT - DARK BRONZE



CONCRETE TILT-UP &
DUMPSTER GATES
- TOTALLY TAN



ALTERNATE STUCCO - ALUMINA FINISH
OBSIDIAN WITH A OBSIDIAN PRIMER



CMU - BLOCK OAK

**KENNER ASSOCIATES
OFFICE WAREHOUSE**

OMA
CURTIS MINER
ARCHITECTURE



Kenner Associates Office Warehouse Exterior Finishes Color Board

11 March 2021

Smooth Face Concrete Tilt Up Panels & Dumpster Enclosure

Gates - Painted Finish:

Color to match Totally Tan SW 6115.

Split Face Block Wainscot Finish & Dumpster Enclosure Walls

(Concrete Masonry Unit):

Color to match Buehner Block Oak from existing buildings

Stucco:

BASF, Alumina Finish Obsidian

Standing Seam Metal Panels (Vertical Seams):

PAC Steel, Copper Penny

Parapet Metal Cap:

PAC Steel, Copper Penny

Roof:

Single-ply Membrane, White

Storefront Trim & Casings:

PAC Steel, Dark Bronze

Storefront Glazing:

PPG, STARPHIRE Ultra-Clear Glass

EXHIBIT J
PHOTOMETRIC PLAN

△	MARK	REVISION	DATE

A

B

C

D

F

LOT 2

PARKING LOT
Average FC: 1.4 FC
Max FC: 3.6 FC
Max/Average Ratio: 2.6

		PROJECT: KENNER ASSOCIATES OFFICE WAREHOUSE 432 WEST 12300 SOUTH DRAPER, UTAH	
		No. 5148728 DAVID G. HINCKLEY 12-8-20 STATE OF UTAH	
SHEET DESCRIPTION: SITE PHOTOMETRIC PLAN		SHEET: ES101	



E1 SITE PHOTOMETRICS
SCALE: NTS

D:\Revit Backup Files\200133-Elec Central C&S_dgh@spectrum-engineers.com.mt
12/6/2020 3:47:34 PM

EXHIBIT K
DEVIATION REQUEST LETTER

From: Bruce Kenner <bbkrabbi@comcast.net>
Sent: Friday, July 10, 2020
To: Jennifer Jastremsky <jennifer.jastremsky@draper.ut.us>
Subject: Deviation from Design Standards for Willow Creek Industrial Properties #3 Site Plan

Jennifer:

Willow Creek Business Park was originally approved for three office warehouse buildings. It was our intent to have each building consistent and compatible in design. Two of the three buildings have been completed and we are ready to construct the third.

Since the first two buildings were completed Draper City architectural requirements have changed. To be consistent with the other buildings and designs in the Willow Creek Business Park we request this new building be accepted for construction as presently designed.

Our request for deviation from your current design standards is in accordance with 9-22-030. Deviation Criteria 2, 6, 7, and 8 would apply to our request. Criteria 2: The site plan shows private landscape and open space of 3.7 acres in a 7.88 business park, or 47%. Criteria 6: The specified purpose of the design standards and guidelines as they apply to this business park do facilitate exceptional design in the built environment and preserve the quality of life within Draper City. Criteria 7: The existing phase 3 design is consistent and compatible with the two existing buildings in the business park, and is designed using the same architectural criteria. Criteria 8: Landscaping plant material on the first two buildings currently exceeds the basic requirement by more than 10%. Including the natural growth in the perpetual conservation easement further expands our compliance. The new building will also have the same utilization of planting material as buildings 1 & 2, in excess of basic requirements.

Thanks for your help.

Bruce

EXHIBIT L
SUBDIVISION PLAT

WILLOW CREEK BUSINESS PARK AMENDED

"The signature of South Valley Sewer District on this plat does not constitute any guarantee of availability of sanitary sewer service to the property or any approval of sewer lines or facilities. The owner(s) of the property must provide satisfactory plans to the Sewer District for review and approval before connecting to the District's sewer system and will be required to comply with the District's rules and regulations."

WEST $\frac{1}{4}$ CORNER OF SECTION 25,
TOWNSHIP 3 SOUTH, RANGE 1 WEST.
SALT LAKE BASE & MERIDIAN
(FOUND BRASS MONUMENT)

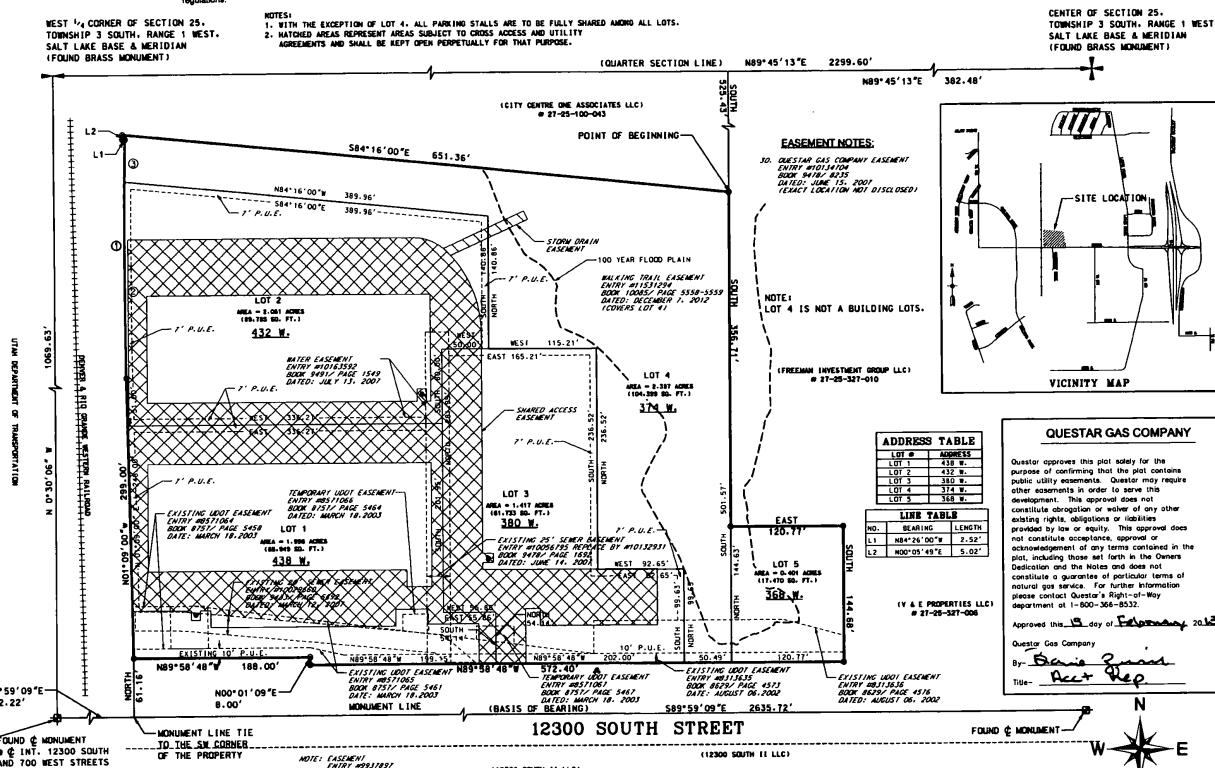
NOTES:
1. WITH THE EXCEPTION OF LOT 4, ALL PARKING STALLS ARE TO BE FULLY SHARED AMONG ALL LOT
2. HATCHED AREAS REPRESENT AREAS SUBJECT TO CROSS ACCESS AND UTILITY
APPROPRIATION AND SHALL BE LEFT OPEN PERPETUALLY FOR THAT PURPOSE.

LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 25,
TOWNSHIP 3 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
DRAPER CITY, SALT LAKE COUNTY, UTAH

SURVEYOR'S CERTIFICATE

BARRY ANDRESON, DO HEREBY CERTIFY THAT I AM A REGISTERED CIVIL ENGINEER, AND OR LAND SURVEYOR, THAT I HOLD CERTIFICATE NO 164572 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AS DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AS SHOWN ON THE SAME AS SHOWN ON THIS PLAT. FURTHER CERTIFY THAT ALL LOTS HAVE BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND MEET FRONTAGE WITHIN AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.

BOUNDARY DESCRIPTION



JAN 31 2013

BARRY ANDERSON
SURVEYOR'S NAME
LICENSE NO. 166572

OWNER'S DEDICATION

Know all men by these presents that the undersigned owner(s) of the above described tract of land, hereby set apart and subdivide the same into lots and streets as shown on this plat and name said lots **WILLY CREEK BUSINESS PARK AMENDED** by heretofore dedicated, grant and convey to Draper City, Utah: (1) all those portions of said tract of land, designated as streets, the same to be used for the public convenience, (2) certain parcels of land, or easements, therein, the same to be used for the installation, maintenance, and operation of public utility service lines and drainage, and (3) those parcels designated as public open space, parks, trails or easements, or of similar designation, in witness whereof, we have hereunto set our hands this day of **February 20, 2010**.

Buccoferus, Menga, "Vilcabamba Buccoferus, Menga, Vilcabamba
Buccoferus, Menga, Vilcabamba Buccoferus, Menga, Vilcabamba

ACKNOWLEDGEMENT (CORPORATE)

STATE OF UTAH
County of Utah Lake S.S.
On the 20th day of December A.D. 1912 personally appeared before me who being by me duly sworn did say that he is the President of Utah Ranger and that the within and foregoing instrument was signed in behalf of said Corporation by authority of a resolution of its board of directors duly acknowledged to me that said Corporation executed the same.

Andrea J. Oren
NOTE: PUBLIC
DRUGS, Inc.
RESIDENCE

**WILLOW CREEK BUSINESS PARK AMENDED
INCLUDING A REVISION OF PARCEL "A" OF**

LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 25,
TOWNSHIP 3 SOUTH, RANGE 1 WEST.
SALT LAKE BASE AND MERIDIAN
DRAPER CITY, SALT LAKE COUNTY, UTAH

BOARD OF HEALTH

SOUTH VALLEY SEWER DISTRICT

CENTURYLINK
owed this 14 day of
February A.D. 2013
McNamee

The logo for MW Brown Engineering, Inc. It features the company name in a bold, sans-serif font. 'MW' is at the top in a smaller font, with a horizontal line extending from the right side of 'M' to the left side of 'B'. 'BROWN' is in a large, bold font below 'MW'. 'ENGINEERING, INC.' is in a smaller font at the bottom, flanked by horizontal lines extending from the left and right sides of the word 'ENGINEERING' to the left and right ends of the word 'BROWN' respectively.

PLANNING COMMISSION APPROVAL

DRAPER CITY ENGINEER APPROVAL

I hereby certify that I have had this Plot examined by my office and it is correct and in accordance with the information on file and is hereby approved.

At day of March A.D. 2018

City Engineer

APPROVED AS TO FROM
to form this 5th day of March,
by the City Attorney.
John A. Johnson
ATTORNEY

RECORDED NO. 11591483
of Utah, County of Salt Lake, Recorded and Filed at the Request of
DRAPER CITY
-7-13 Time: 10:59AM Book: 2015P Page: 36
Bob Lewis - DEPUTY
Salt Lake County Recorder



MEMO

To: Planning Commission
From: Maryann Pickering, AICP
CC:
Date: April 28, 2022
Re: Springer/Rivermark Plat Amendment Request

Comments:

This application is a request for approval of a Plat Amendment for approximately 0.52 acres located at approximately 1123 E. Carraway Lane. The property is currently zoned RA2. The applicant is requesting that a Plat Amendment be approved to allow the relocation of the 20 foot private storm drain easement from the west property line to the east property line. Rivermark Phase 1 was recorded on July 23, 2018. This amendment is to Lot 7 of Phase 1.

The findings are as follows:

For approval:

1. There is good cause for the vacation or amendment; and no public street, right-of-way, or easement has been vacated or amended.

ATTACHMENTS:

Description	Upload Date	Type
PC Staff Report	4/22/2022	Backup Material



Development Review Committee

1020 East Pioneer Road
Draper, Utah 84020

STAFF REPORT

April 19, 2022

To: Draper City Planning Commission
Business Date: April 28, 2022

From: Development Review Committee

Prepared By: Maryann Pickering, AICP, Planner III
Planning Division
Community Development Department
(801) 576-6391 or maryann.pickering@draperutah.gov

Re: Springer Plat Amendment — Plat Amendment Request

Application No.: SUBD-070-2022
Applicant: Ty Ricks on behalf of Noah and April Springer
Project Location: Approximately 1123 E. Carraway Lane
Current Zoning: RA2 (Residential Agricultural, 20,000 square foot lot minimum)
Acreage: 0.52 acres (approximately 22,651 square feet)
Request: Approval of a Plat Amendment to relocate the 20 foot wide
private storm drain easement from the west property line to the east
property line for Lot 7 of the Rivermark Plat. No new lots will
be created.

BACKGROUND AND SUMMARY

This application is a request for approval of a Plat Amendment for approximately 0.52 acres located at approximately 1123 E. Carraway Lane (Exhibit B). The property is currently zoned RA2. The applicant is requesting that a Plat Amendment be approved to allow the relocation of the 20 foot private storm drain easement from the west property line to the east property line. Rivermark Phase 1 was recorded on July 23, 2018. This amendment is to Lot 7 of Phase 1.



ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Residential Low/Medium Density land use designation for the subject property (Exhibit C). This category is characterized as follows:

Residential Low-Medium Density

LAND USE DESCRIPTION		
CHARACTERISTICS		<ul style="list-style-type: none"> Very large lot single-family neighborhoods or ranchettes allows for enhancement of Draper's rural character Environmentally designed clustered housing with the Suncrest and South Mountain projects being the exceptions Some natural features and cultivated vegetation is apparent and special care is required in order to preserve those features and areas Equestrian uses and privileges may exist in certain areas
LAND USE MIX	Primary <ul style="list-style-type: none"> Single-family detached homes 	Secondary <ul style="list-style-type: none"> Parks Open space Churches Schools
DENSITY		<ul style="list-style-type: none"> Density range: up to 2 dwelling units per acre Reduction for non-buildable areas
COMPATIBLE ZONING		<ul style="list-style-type: none"> Residential Agricultural (RA1) Residential Agricultural (RA2) Single-family Residential Hillside (RH) Master Planned Community (MPC)
OTHER CRITERIA		<ul style="list-style-type: none"> Increased densities within equestrian areas may be allowed only with compliance to specified performance standards and impact mitigation measures Buffers and transitions around existing low-density single-family residences may consist of open space/retention areas, lots that are pie-shaped or otherwise larger than standard sized lots or a combination of these and other appropriate design techniques

The property has been assigned the RA2 zoning classification, supporting approximately two dwelling unit per acre (Exhibit D). According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the RA2 zone is to *"foster low density development with little impact on its surroundings and municipal services; to generally preserve the character of the City's semi-rural areas; and to promote and preserve conditions favorable to large-lot family life, including the keeping of limited numbers of animals and fowl. This zone is intended to promote a combination of retail and service facilities which, in character and scale, meet day to day needs of nearby residents."* The RA1 (Residential Agricultural,

40,000 square foot lot minimum) zoning abuts the subject property on the north and RA2 zone abuts on the east, west and south.

Subdivision Layout. The Rivermark Subdivision included a 20 foot wide storm drain, public utility and detention easement along the rear property line of Lot 7. A 20 foot wide storm drain easement was also granted along the west property line (Exhibit F). The current owner would like to relocate the 20 foot storm drain easement to the east property line. The easement along the rear property line will not be affected by this proposed plat amendment. The new design has been reviewed and approved by the Engineering Division. No other changes to the property or subdivision are proposed.

Criteria for Approval.

The grounds for review and potential approval of a subdivision plat amendment request is found in Section 17-9-040 of the DCMC. This section depicts the standard of review for such requests as:

The Planning Commission may approve the vacation or amendment of a plat by signing an amended plat showing the vacation or amendment if the Land Use Authority finds that there is good cause for the vacation or amendment; and no public street, right-of-way, or easement has been vacated or amended.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Plat Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Plat Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Plat Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Plat Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Planning Commission review the request, receive public comment, and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Planning Commission decides to approve the request, staff recommends they include the following conditions of approval:

1. The applicant work with the Engineering Division to ensure the improvements comply with the approved plat, including obtaining a Land Disturbance Permit, if applicable.
2. Correct Carraway Lane's street coordinate.
3. Plat name mentioned at Owner's Dedication shall match with the plat amendment title name.
4. Per DCMC Section 17-9-070, if the plat amendment is not recorded within one (1) year from the date of approval or construction of the required landscaping and infrastructure has not commenced, such approval shall be null and void. This time period may be extended by the Planning Commission for up to one additional six (6) month period for good cause shown. The subdivider must petition in writing for an extension prior to the expiration of the original one (1) year.

The findings for approval as are follows:

1. There is good cause for the vacation or amendment; and no public street, right-of-way, or easement has been vacated or amended.

MODEL MOTIONS

Sample Motion for Approval – I move that we approve the Plat Amendment, as requested by Ty Ricks representing Noah and April Springer for the Springer Plat Amendment, application SUBD-070-2022, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022.

Sample Motion for Modified Approval – I move that we approve the Plat Amendment, as requested by Ty Ricks representing Noah and April Springer for the Springer Plat Amendment, application SUBD-070-2022, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Draper City Public Works Division

Draper City Building Division

Draper City Fire Department

Draper City Planning Division

Draper City Legal Counsel

EXHIBIT A

DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

No additional comments provided.

Building Division Review.

No additional comments provided.

Engineering and Public Works Divisions Review.

1. Correct Carraway Lane's street coordinate.
2. Plat name mentioned at Owner's Dedication shall match with the plat amendment title name.

Fire Division Review.

No additional comments provided.

Legal Division Review.

No additional comments provided.

EXHIBIT B
AERIAL MAP

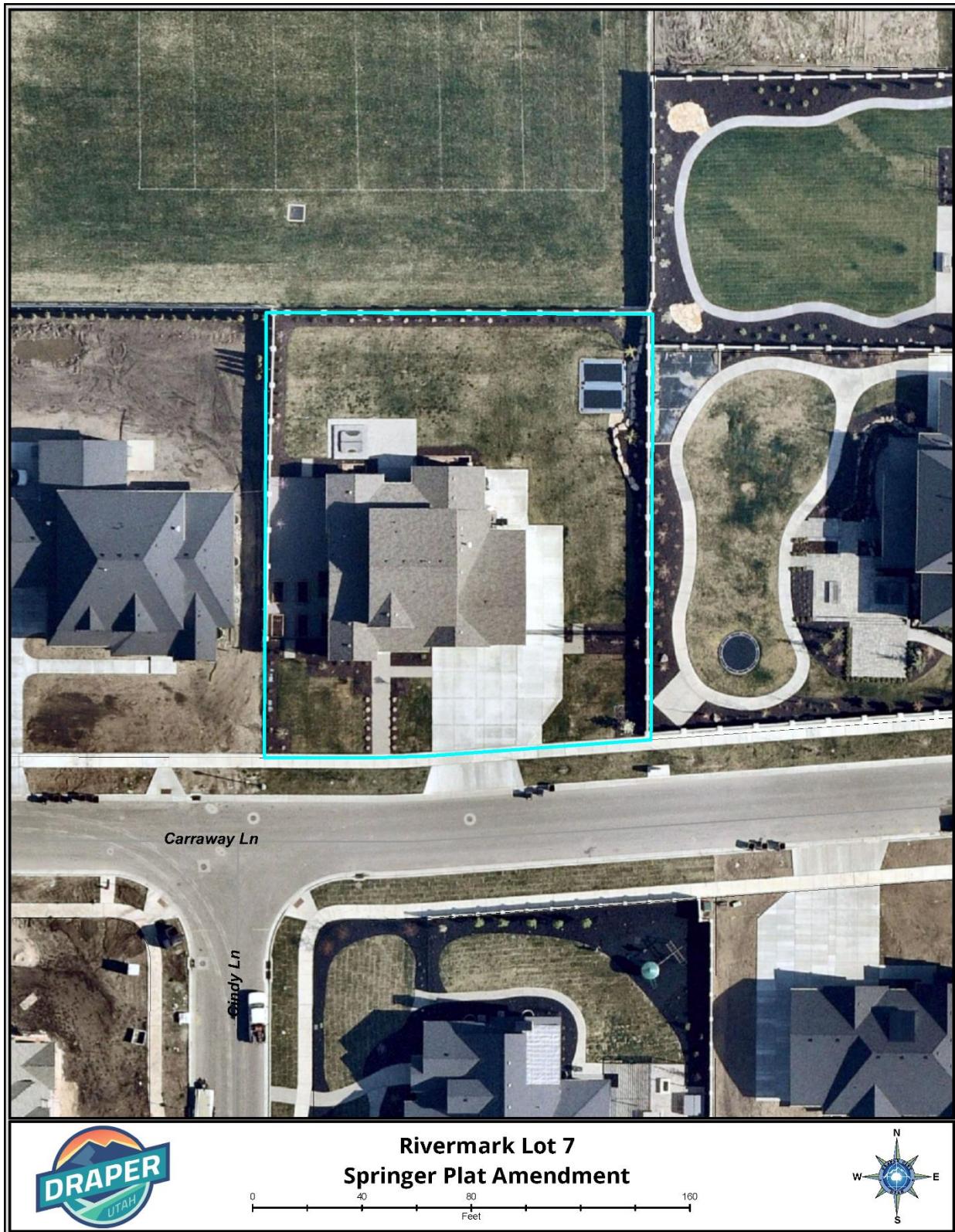


EXHIBIT C
LAND USE MAP

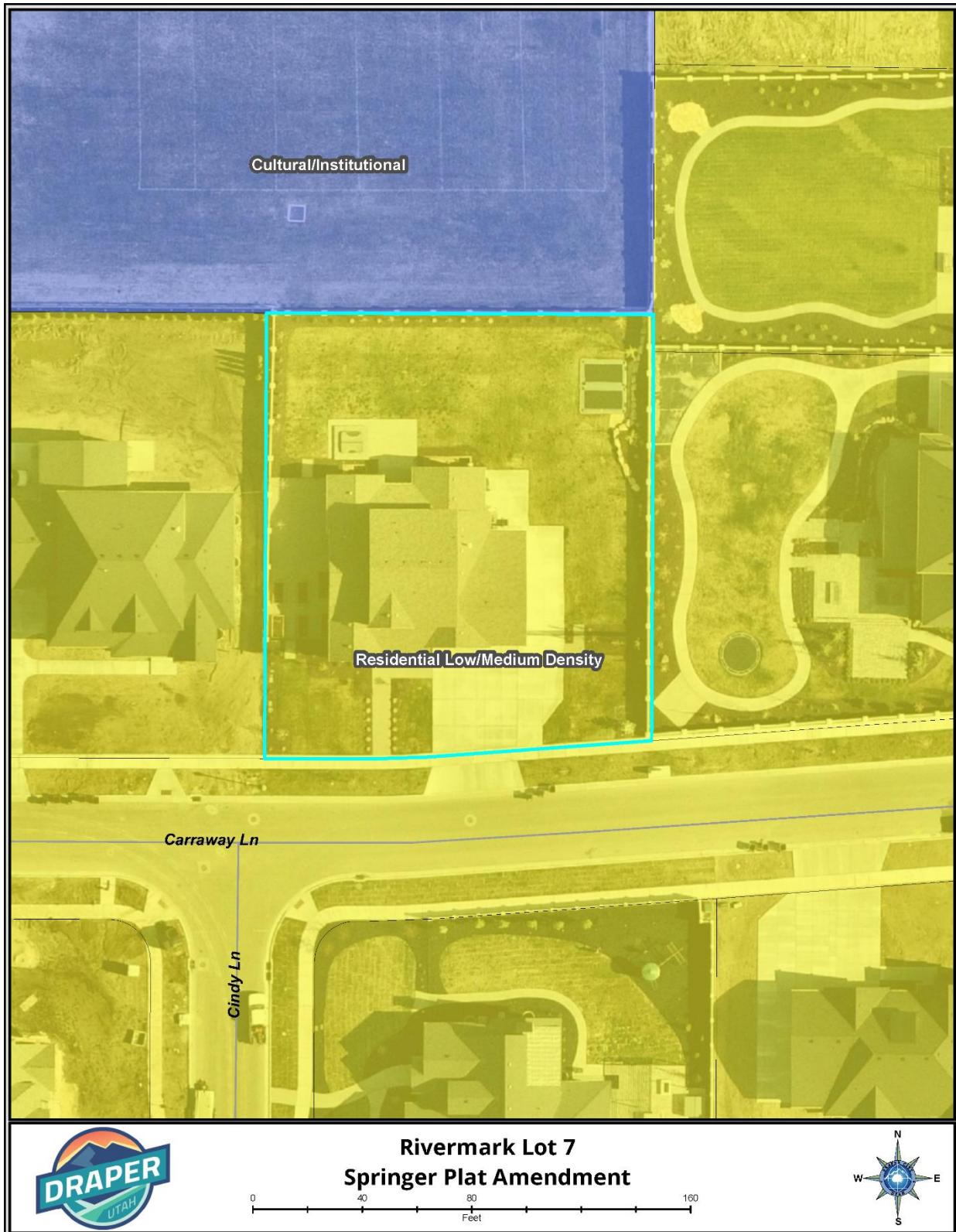


EXHIBIT D
ZONING MAP

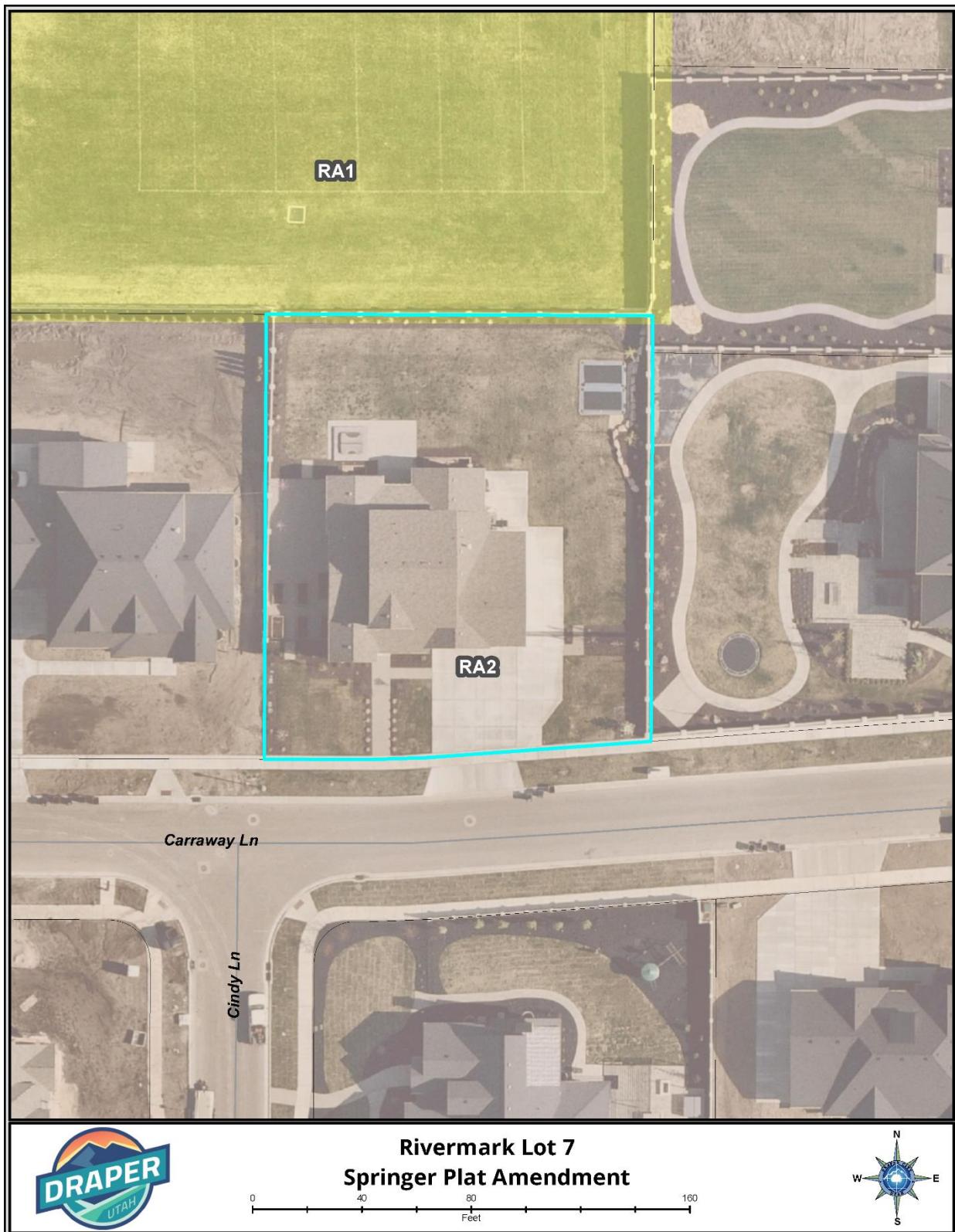


EXHIBIT E
PROPOSED PLAT

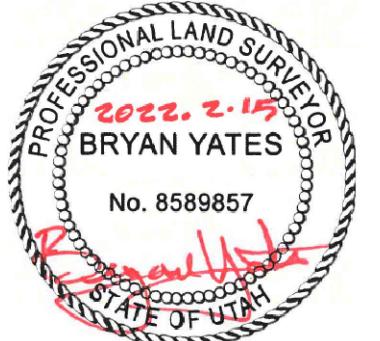
AMENDING LOT 7 RIVERMARK

TAX ID NO. 28-32-202-010

LYING WITHIN THE NORTHEAST QUARTER (NE 1/4) OF SECTION 32,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
FEBRUARY, 2022

SURVEYOR'S CERTIFICATE

I BRYAN YATES DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 8589857 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE DIRECTION OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS SURVEY AND DESCRIBED HEREWITHE AND THE MONUMENTS DEPICTED ON THE SURVEY ARE OF THE CHARACTER SHOWN, OCCUPY THE POSITIONS INDICATED, AND ARE OF SUFFICIENT NUMBER AND DURABILITY:



RECORD LEGAL DESCRIPTION

ENTRY NUMBER: 13027139 IN BOOK 10802 AT PAGE 670, ON FILE AT THE SALT LAKE COUNTY, UTAH RECORDER'S OFFICE.
LOT 7, RIVERMARK, ACCORDING TO THE OFFICIAL PLAT THEREOF AS RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER.

BASIS OF BEARING

SOUTH 89°59'40" EAST, BEING THE BEARING OF THE NORTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 1 EAST, S.L.B.&M.

SURVEYOR'S NARRATIVE

• THIS SURVEY WAS COMPLETED AT THE DIRECTION OF TY RICKS, ON BEHALF OF WILLIAM AND APRIL SPRINGER IN ORDER TO AMEND LOT 7 OF THE RIVERMARK SUBDIVISION. LOT 7 IS BEING AMENDED IN ORDER TO RELOCATE THAT 20 FOOT WIDE STORM DRAIN EASEMENT ORIGINALLY PLATTED ALONG THE WEST LINE OF THE LOT TO THE EAST LINE OF THE LOT. THE PURPOSE IS TO ACCOMMODATE MUNICIPAL REQUIREMENTS FOR THE CONSTRUCTION OF A SWIMMING POOL.

• NECESSARY SURFACE EVIDENCE AND CONTOUR INFORMATION WAS COLLECTED TO SATISFY THOSE REQUIREMENTS BY DRAPER CITY AS WELL AS THAT PERTINENT TO THE BOUNDARY OF THE SURVEYED PROPERTY SO THAT ANY LOST OR DESTROYED PROPERTY CORNERS MAY BE MONUMENTED. PUBLIC RECORD INFORMATION INCLUDING PLANS, MAPS, DEEDS, NOTES AND OTHER RELEVANT DOCUMENTS HAS BEEN ANALYZED VERSUS PHYSICAL EVIDENCE.

OWNER'S DEDICATION (PER DMC 17-4-030 (N)(2))

KNOW ALL MEN BY THESE PRESENTS THAT I/WE, THE UNDERSIGNED OWNER(S) OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID PLAT "AMENDED LOT 7 RIVERMARK", AND DO HEREBY DEDICATE, GRANT AND CONVEY TO DRAPER CITY, UTAH: GRANT AND CONVEY TO DRAPER CITY, UTAH (1) ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER; (2) THOSE CERTAIN PUBLIC UTILITY AND DRAINAGE EASEMENTS AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE; AND (3) THOSE PARCELS DESIGNATED AS PUBLIC OPEN SPACE, PARKS, TRAIL OR EASEMENTS, OR OF SIMILAR DESIGNATION.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF ____ 2022.

OWNER:

OWNER:

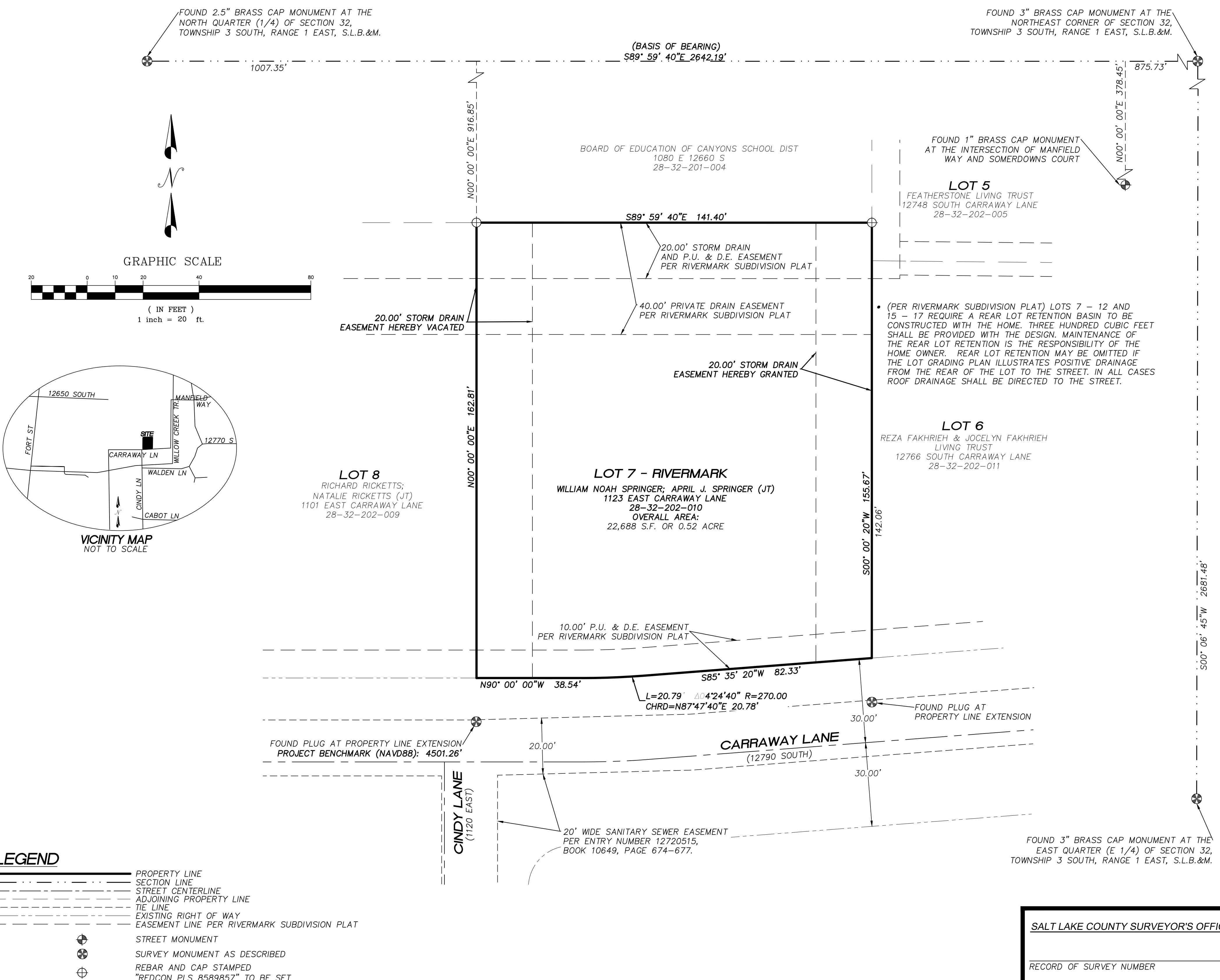
BY: _____
NAME: WILLIAM NOAH SPRINGER (JOINT TENANT)
TITLE: HOMEOWNER

BY: _____
NAME: APRIL J. SPRINGER (JOINT TENANT)
TITLE: HOMEOWNER

INDIVIDUAL ACKNOWLEDGEMENT

ON THE ____ DAY OF ____ A.D., 2022, WILLIAM NOAH SPRINGER AND APRIL J. SPRINGER, JOINT TENANTS, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE IN THE STATE OF UTAH, WHO AFTER BEING DULY SWEORN, ACKNOWLEDGED TO ME THAT THEY ARE THE OWNERS OF THE PROPERTY DESCRIBED HEREON, AND THAT THEY SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES _____
RESIDING IN _____
NOTARY PUBLIC
COUNTY



HEALTH DEPARTMENT	COMCAST	CENTURYLINK	ROCKY MOUNTAIN POWER	SOUTH VALLEY SEWER DISTRICT	DOMINION ENERGY	REDCON, INC. LAND SURVEYING	JOB NUMBER: 42200-005
APPROVED THIS ____ DAY OF ____ 2022, BY THE SALT LAKE VALLEY HEALTH DEPT.	APPROVED THIS ____ DAY OF ____ 2022, BY COMCAST.	APPROVED THIS ____ DAY OF ____ 2022, BY CENTURYLINK.	APPROVED THIS ____ DAY OF ____ 2022, BY ROCKY MOUNTAIN POWER.	APPROVED THIS ____ DAY OF ____ 2022, BY SOUTH VALLEY SEWER DISTRICT.	APPROVED THIS ____ DAY OF ____ 2022, BY DOMINION ENERGY.	DRAWING: AMD LOT 7 DATE: 02/15/2022	
DIRECTOR SALT LAKE COUNTY HEALTH DEPT.	COMCAST	CENTURYLINK	ROCKY MOUNTAIN POWER	SOUTH VALLEY SEWER DISTRICT	DOMINION ENERGY	(801) 298-2401 FAX (801) 298-2024 REDCON.COM	SHEET 1 OF 1
SALT LAKE COUNTY FLOOD CONTROL	PLANNING COMMISSION	WATERPRO/DIC	ENGINEER'S CERTIFICATE	APPROVAL AS TO FORM	DRAPER CITY APPROVAL	SALT LAKE COUNTY RECORDER	
APPROVED THIS ____ DAY OF ____ 2022, BY DRAPER CITY PLANNING COMMISSION.	APPROVED THIS ____ DAY OF ____ 2022, BY DRAPER PLANNING COMMISSION.	APPROVED THIS ____ DAY OF ____ 2022, BY COMCAST.	I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT AND IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE AND IS HEREBY APPROVED.	APPROVED THIS ____ DAY OF ____ 2022, BY DRAPER CITY ENGINEER	APPROVED THIS ____ DAY OF ____ 2022, BY DRAPER CITY ATTORNEY	RECORDED NO.: STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT REQUEST OF: _____	
CHAIRMAN, DRAPER CITY PLANNING COMMISSION	CHAIRMAN, DRAPER CITY PLANNING COMMISSION	WATERPRO/DIC	DRAPER CITY ENGINEER	DRAPER CITY ATTORNEY	ATTEST: DRAPER CITY CLERK	MAYOR: DRAPER CITY	DATE: ____ TIME: ____ BOOK: ____ PAGE: ____ FEE\$: _____ SALT LAKE COUNTY RECORDER

EXHIBIT F
EXISTING PLAT



MEMO

To: Planning Commission
From: Jennifer Jastremsky, AICP
CC:
Date: April 28, 2022
Re: Pelion – Site Plan Request

Comments:

This application is a request for approval of a Site Plan for approximately 6.49 acres located on the north side of Highland Dr., at approximately 14761 South Future Way. The property is currently zoned CSD-Highline. The applicant is requesting that a Site Plan be approved to allow for the development of the currently vacant site as an office building.

The findings are as follows:

For approval as follows:

1. The entire site is being developed at one time.
2. The site plan conforms to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

ATTACHMENTS:

Description	Upload Date	Type
PC Staff Report	4/22/2022	Cover Memo



Development Review Committee

1020 East Pioneer Road
Draper, UT 84020
April 19, 2022

To: Draper City Planning Commission
Business Date: April 28, 2022

From: Development Review Committee

Prepared By: Jennifer Jastremsky, AICP, Planning Manager/Zoning Administrator
Planning Division
Community Development Department
801-576-6328, jennifer.jastremsky@draperutah.gov

Re: Pelion – Site Plan Request

Application No.: SPR-65-2022
Applicant: Liza Hart, representing Gardner Company
Project Location: 14761 S Future Way
Current Zoning: CSD- Highline (Highline Commercial Special District) Zone
Acreage: 6.49 Acres (Approximately 282,704 ft²)
Request: Request for approval of a Site Plan in the CSD-Highline zone
regarding the development of a new office building.

BACKGROUND AND SUMMARY

This application is a request for approval of a Site Plan for approximately 6.49 acres located on the north side of Highland Dr., at approximately 14761 South Future Way (Exhibit B). The property is currently zoned CSD-Highline. The applicant is requesting that a Site Plan be approved to allow for the development of the currently vacant site as an office building.

In September 2016, the City Council approved Ordinance No. 1215 creating the CSD-Highline zone. The creation of this zoning district was so that a mix of uses could be located on the 70.76 acre site including retail, office and multifamily. So far one office building, Pluralsight, and one multi-family residential development, Point of View Apartments, has been constructed within the zone.

On November 16, 2021 the City Council approved an amendment to the CSD-Highline zone which modified the exhibits in Draper City Municipal Code (DCMC) Section 9-18K-090 to show the subject property as master planned for an office building. Prior to this, the

property was master planned for retail, and residential uses.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Commercial Special District land use designation for the subject property (Exhibit C). This category is characterized as follows:

Commercial Special District

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none">• Include a wide range of commercial uses that are destination oriented and draw from a regional customer base• Compatible, master planned mix of day and evening uses consisting of office, light manufacturing, retail, residential, recreation and open space components• Limited traffic access points• Development is intended to consist of well designed, architecturally integrated structures which are appropriately landscaped and buffered from surrounding land uses• Uniform design standards and aesthetics• Access to individual properties should be provided only from frontage roads or major arterials• Common off-street traffic circulation and parking areas
LAND USE MIX	<ul style="list-style-type: none">• Large-scale master-planned commercial centers• Big box centers• Corporate headquarters• Multi-story upscale office buildings• Multi-story upscale residential buildings
COMPATIBLE ZONING	<ul style="list-style-type: none">• Adopted Commercial Special District zone• Adopted Major Freeway Arterial Frontage Road zone
LOCATION	<ul style="list-style-type: none">• Strategically placed along high-traffic corridors with convenient points of traffic access to and from residential areas• Excellent transportation access to major highways• High visibility from the I-15 corridor• Proximity to both Salt Lake and Utah Counties• Provide adequate buffers in the form of setbacks, open space, low impact industrial uses, barriers, etc. adjacent to existing residential areas• Major streets serving these areas should accommodate truck traffic

The property has been assigned the CSD-Highline zoning classification (Exhibit D). According to DCMC Section 9-8-020 the purpose of a CSD zone is to "permit a compatible,

master planned mix of day and evening uses consisting of office, light manufacturing, retail, residential, recreation and open space components. Although development size and use mix will vary from location to location, each development is intended to consist of well designed, architecturally integrated structures which are appropriately landscaped and buffered from surrounding land uses.” The property is adjacent to the CSD-Highline zone to the north, east, and west, and it abuts the CR (Regional Commercial) zone to the south.

Site Plan Layout. The applicant is proposing to build a single office building (Exhibit E). The building will be located on the west side of the property. Due to the grading on the property, the site will be split into two areas. The west side of the property will have a single ingress/egress point from Future Way, a parking lot, and the office building. The east side of the site will have two ingress/egress points to Highland Dr. and parking. The two areas will be physically divided by retaining walls and will be connected by a pedestrian walkway that leads directly into the building.

Landscaping and Lot Coverage. The site will include 26.9% overall landscaping, with 18% of the parking lot containing landscaping (Exhibit F). The office building itself will only occupy 9.1% of the property. The proposed landscaping will feature trees along the public rights-of-way and the properties north boundary line. The areas around the building will be heavily landscaped. The site will feature a large entry plaza, a roof deck, and a connection to the trail system within the Pluralsight property. There will also be an indoor gym within the building.

Parking. The applicant is proposing 494 parking stalls for the site (Exhibit E). The CSD-Highline zone requires a min/max range of 4-6 parking stalls per 1,000 square feet of building area. At 123,406 square feet, the applicant is providing exactly the 4 stalls per 1,000 square feet required by code.

Architecture. The building is a seven story podium building (Exhibit G). This means that it has five stories of office over a two story parking structure. Due to the grading of the site, depending on what angle you look at the building from, it will appear to be a four to six story building. The CSD-Highline zone requires office buildings to be at least four stories in height and sets the maximum height at 15 stories. The proposed building complies with this standard. Building façade materials will feature EIFS, architectural concrete, wood, and metal panels. The building itself will structurally include Cross Laminated Timber (CLT). This wood material consists of layered wood boards and is a fairly new product to the area. It will be the first such building in Draper.

Lighting. The property will include parking lot light poles. The light poles will be 20-feet tall. The CSD-Highline zone allows light poles to be up to 30-feet tall. Lighting will not exceed 0.1 foot candles at the property line.

Criteria For Approval. The criteria for review and potential approval of a Site Plan request is found in Sections 9-5-090(E) of the DCMC. This section depicts the standard of review for such requests as:

E. Standards For Approval: The following standards shall apply to the approval of a site plan:

1. The entire site shall be developed at one time unless a phased development plan is approved.
2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Geotechnical and Geologic Hazards Review. Taylor Geo-Engineering, LLC, and Simon Associates, LLC, in working with the Draper City Building and Engineering Divisions, have completed their reviews of the geotechnical and geologic hazards report submitted as a part of the Site Plan. Comments from Taylor Geo-Engineering, LLC and Simon Associates, LLC, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Planning Commission review the request, receive public comment, and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Planning Commission decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. Stormwater Maintenance Plan and Agreement have been received and are under review. The applicant will need to address any comments, and resubmit for review. A final approved physical, original, executed, signed maintenance plan and agreement will be required prior to issuing the Land Disturbance Permit.
4. Provide service letter from South Valley Sewer District (SVSD) per DCMC 9-5-090(D)(1)(d)(3)(E).
5. Provide Traffic Impact Study report. Any corrections to the report resulting from the review will have to be addressed and a final report approved prior to the issuance of a land disturbance permit.
6. Provide a road dedication deed for the required right-of-way dedication along Highland Dr.
7. Any grading adjustment on adjacent lot will require the adjacent lot owner's permission. Submit the original, executed owner's affidavit to Engineering.

The findings for approval as are follows:

1. The entire site is being developed at one time.
2. The site plan conforms to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.

5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

MODEL MOTIONS

Sample Motion for Approval – I move that we approve the Site Plan, as requested by Liza Hart, representing Gardner Company for the Pelion Site Plan, application SPR-65-2022, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022.

Sample Motion for Modified Approval– I move that we approve the Site Plan, as requested by Liza Hart, representing Gardner Company for the Pelion Site Plan, application SPR-65-2022, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Draper City Public Works Department

Draper City Planning Division

Draper City Fire Department

Draper City Legal Counsel

Draper City Building Division

EXHIBIT A

DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Engineering and Public Works Divisions Review.

1. Stormwater Maintenance Plan and Agreement are received. Comments will be provided prior to issuing the Land Disturbance Permit. Submit the physical, original, executed, signed maintenance plan and agreement once comments are addressed.
2. Provide service letter from South Valley Sewer District (SVSD) per DCMC 9-5-090(D)(1)(d)(3)(E).
3. Provide Traffic Impact Study report.
4. Retaining walls are to comply with DCMC 9-27-085. Retaining walls are not reviewed or approved with this review and approval process. *(Informational comment. No action required at this time.)*
5. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance. *(Informational comment. No action required at this time.)*
6. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division. *(Informational comment. No action required at this time.)*
7. Engineering will determine if the electronic signature is allowed for the road dedication deed. A resubmittal of the deed with hand-written ink signature may be required depending on the result.
8. Any grading adjustment on adjacent lot will require the adjacent lot owner's permission. Submit the original, executed owner's affidavit to Engineering.

Fire Division Review.

1. Fire department access is required. An unobstructed minimum road width of twenty-six (26) feet exclusive of the shoulders and a minimum height of thirteen (13) feet six (6) inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of twenty - eight (28) feet. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.

2. IFC Section 3310 access for fire fighting during construction:

3310.1.1 required access. Approved vehicle access for firefighting shall be, provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet (30 480 mm) of temporary or permanent fire department connections. Either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions, shall provide vehicle access. Vehicle access shall be, maintained until permanent fire apparatus access roads are available.

- Until permanent fire apparatus access roads are constructed, fire-fighting vehicle access is the means by which fire fighters gain access to the construction or demolition site and building for fire suppression and rescue operations. Such access is an integral component of the fire prevention program. The site superintendent or other person responsible for construction and demolition operations is responsible for maintaining and policing fire-fighter access routes, as provided in section 3308. Fire apparatus must be able to get within 100 feet (30 480 mm) of any installed fire department connection supplying water to temporary or permanent fire protection systems. Access roads must support the weight of the heaviest vehicle that might respond. The weight requirements are available from the local fire department. All-weather surfaces are required because the responding fire department should not waste time moving snow or trying to get out of mud.

3. IFC Chapter 33 fire safety during construction and demolition. This section of fire will be enforced. Please make sure the project is maintaining all aspects of this chapter during construction.
4. Fire hydrants are required. Hydrants are required for this project. They shall be, protected with bollards if susceptible to vehicle damage. Fire flow for each of the buildings shall be a minimum of 8,000 gpm @ 20 p.s.i. Residual pressure, and this will require a minimum of four (4) fire hydrants for each building within this project to deliver the calculated fire flow. With a full NFPA 13 fire sprinkler system the fire flow could be reduced by 50 percent which would be 4000gpm @ 20p.s.i. Residual pressure which would allow a reduction of hydrants to require a minimum of three (3) hydrants per building spaced at 350ft spacing.
5. Hydrants and site access. All hydrants and a form of acceptable temporary fire department access to the site shall be installed and approved by the fire department prior to the issuance of any building permits. If at any time during the building phase any of the hydrants or temporary fire department access becomes non-compliant any and all permits could be revoked.
6. No combustible construction shall be allowed prior to hydrant installation

and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.

7. Fire sprinklers required. A deferred submittal for a NFPA 13 fire sprinkler shop drawings are to be sent via email to: Don Buckley at fire.permits@draperutah.gov. A complete set of plans, with manufacturer cut sheets, and hydraulic calculations. Plans must be stamped by a NICET level iii or better in auto sprinkler layout. (there needs to be a hydrant with-in a 100 feet of the FDC.) FDC is required to have knox locking caps. All fire protection plans require 3rd party review prior to be submitted to the draper fire department. This requirement will affect the office building and retail units d and e. It may apply to retail units a, b and c depending on tenants.
8. Fire department connection (FDC): the FDC is required as part of a water-based suppression system as the auxiliary water supply. The FDC will give the fire department the capability to supply additional pressure necessary to the automatic fire sprinkler system and the standpipe system. The FDC will be located at the entrance to the building and will be within 100-feet of the fire hydrant. The FDC will be located to ensure connected hoses which supply the system will not obstruct access to the buildings for other fire apparatus. The final location of FDC will be approved by the fire marshal.
9. Standpipes may be required. These buildings will be required to have standpipes. This standpipe will be required to be pressure tested and a contractor certificate of completion will be required to be filled out.
10. Fire alarm required. A deferred submittal for fire alarm shop drawings are to be sent via email to the following to: Don Buckley at fire.permits@draperutah.gov. A complete set of plans, with manufacturer cut sheets, and battery calculations. Plans must be stamped by a NICET level iii or better in fire alarm systems. All fire alarm plans require 3rd party review prior to be submitted to the draper fire department.
11. Emergency responder radio coverage required. Emergency responder radio coverage shall be provided in accordance with the IFC 510. Before a fire safety codes release (certificate of occupancy) is issued, compliance with international fire code section 510 is required by means of an emergency responder radio coverage system (ERRCS) installed, tested, and accepted or through field testing by a FCC licensed radio contractor to verify that an ERRCS is not warranted. A critical element to compliance with this standard is preliminary testing once the building is dried-in.
12. Two-way communication will be required. As per section 1009.8 in the 2018 IFC.
13. Knox boxes required. Fire department "knox brand" lock box to be mounted to exterior walls, near the main entrance and/or nearest the door serving the exterior access to the fire sprinkler riser room. (at a height of 5 feet to the top of the box) lock box purchase can be arranged by the general contractor. See attached information form.

14. 2a-10bc fire extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed every 75 feet of travel. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five (5) feet above the floor.
15. Visible addressing required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.

EXHIBIT B
AERIAL MAP



EXHIBIT C
LAND USE MAP

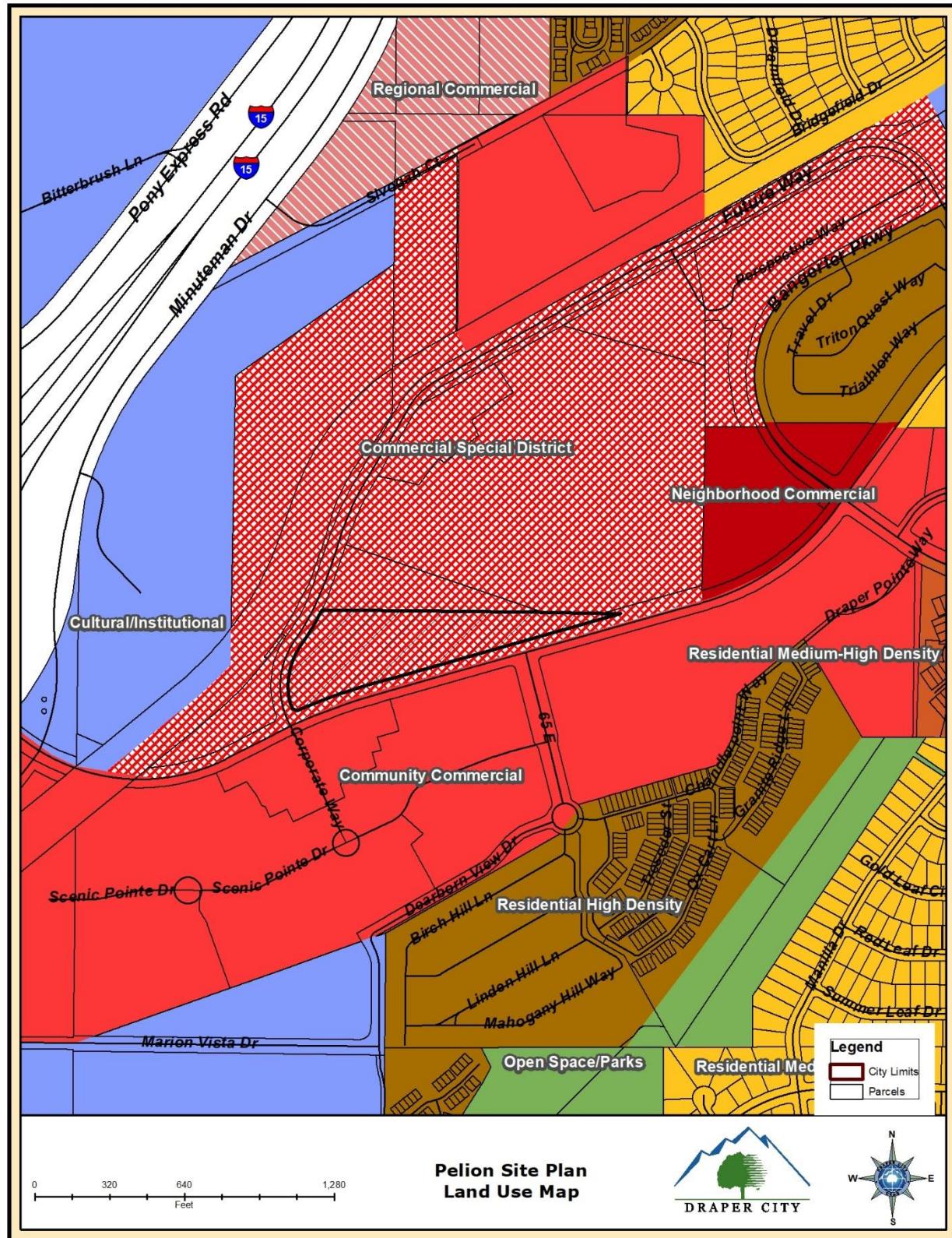


EXHIBIT D
ZONING MAP

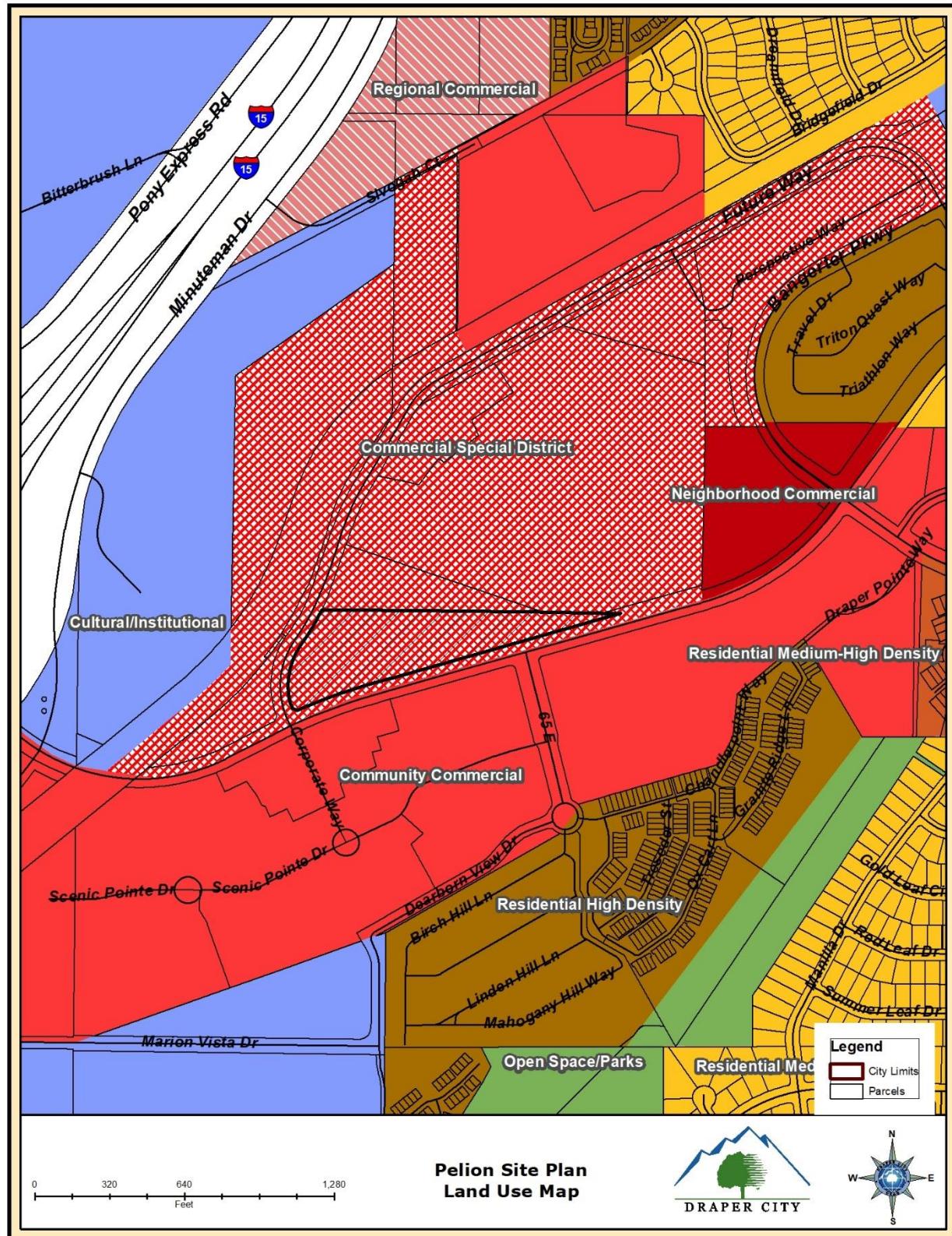


EXHIBIT E
SITE PLAN



BENCHMARK

WEST QUARTER CORNER OF SECTION 7
TOWNSHIP 4 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

ELEVATION = 4684.48

Know what's below.
Call before you dig.

PARKING DATA TABLE

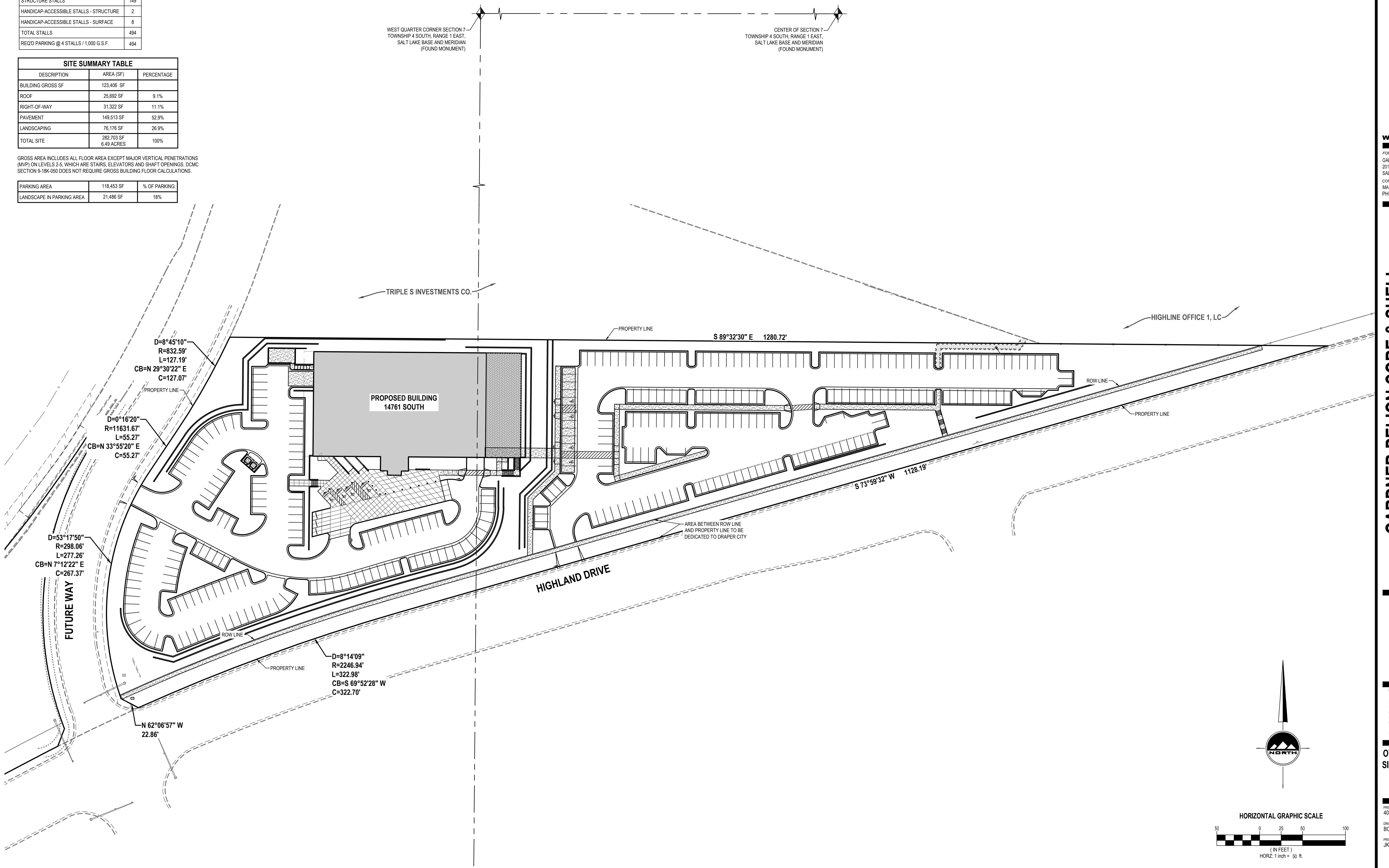
STANDARD STALLS	335
STRUCTURE STALLS	149
HANDICAP-ACCESSIBLE STALLS - STRUCTURE	2
HANDICAP-ACCESSIBLE STALLS - SURFACE	8
TOTAL STALLS	494
REQ'D PARKING @ 4 STALLS / 1,000 G.S.F.	494

SITE SUMMARY TABLE

DESCRIPTION	AREA (SF)	PERCENTAGE
BUILDING GROSS SF	123,406 SF	
ROOF	25,692 SF	9.1%
RIGHT-OF-WAY	31,322 SF	11.1%
PAVEMENT	149,513 SF	52.9%
LANDSCAPING	76,176 SF	26.9%
TOTAL SITE	282,703 SF 6.49 ACRES	100%

GROSS AREA INCLUDES ALL FLOOR AREA EXCEPT MAJOR VERTICAL PENETRATIONS (MVP) ON LEVELS 2-5, WHICH ARE STAIRS, ELEVATORS AND SHAFT OPENINGS. DCMC SECTION 9-18K-050 DOES NOT REQUIRE GROSS BUILDING FLOOR CALCULATIONS.

PARKING AREA	118,453 SF	% OF PARKING:
LANDSCAPE IN PARKING AREA	21,486 SF	18%



OVERALL STRATEGY

A horizontal graphic scale with markings at 0, 25, and 50 feet. The scale is marked with a black and white checkered pattern. The text "(IN FEET)" is centered below the scale, and the text "HORZ: 1 inch = 50 ft." is centered below that.

C-100

EXHIBIT F
LANDSCAPE PLAN

E

D

C

B

A

PLANT SCHEDULE

3

4

5

A

C

LANDSCAPE NOTES

E

5

LANDSCAPE NOTES

B

6

LANDSCAPE NOTES

D

7

LANDSCAPE NOTES

C

8

LANDSCAPE NOTES

B

9

LANDSCAPE NOTES

A

10

LANDSCAPE NOTES

E

11

LANDSCAPE NOTES

D

12

LANDSCAPE NOTES

C

13

LANDSCAPE NOTES

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14

LANDSCAPE NOTES

A

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LANDSCAPE NOTES

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16

LANDSCAPE NOTES

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17

LANDSCAPE NOTES

C

18

LANDSCAPE NOTES

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19

LANDSCAPE NOTES

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LANDSCAPE NOTES

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LANDSCAPE NOTES

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LANDSCAPE NOTES

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LANDSCAPE NOTES

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LANDSCAPE NOTES

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LANDSCAPE NOTES

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LANDSCAPE NOTES

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48

LANDSCAPE NOTES

B

49

LANDSCAPE NOTES

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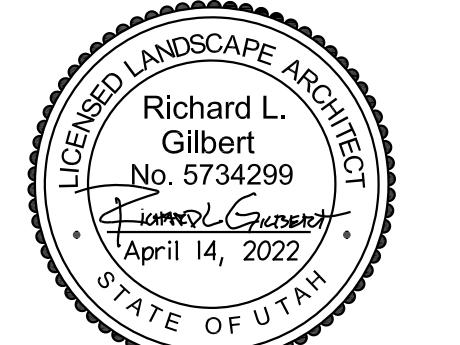
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**Arc Siti o
Design, Inc**
Landscape Architecture &
Architectural Site Design

1058 east 2100 south
Salt Lake City, Utah 84106
office 801.487.4923 fax 801.466.3046
www.arcositidesign.com



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project:
**Gardner-Pelion
Core & Shell
Office Bldg.**

Draper, UT 84020

project#: 210690

date: 03-04-2022

revisions :

City Resubmittal

04-14-2022

title:
**OVERALL
LANDSCAPE
PLAN**

sheet:

L-L100

DD SET

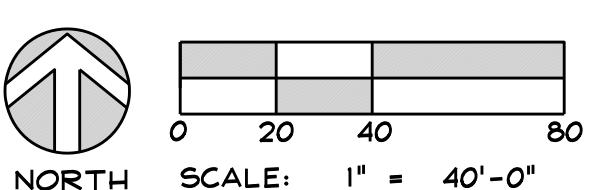
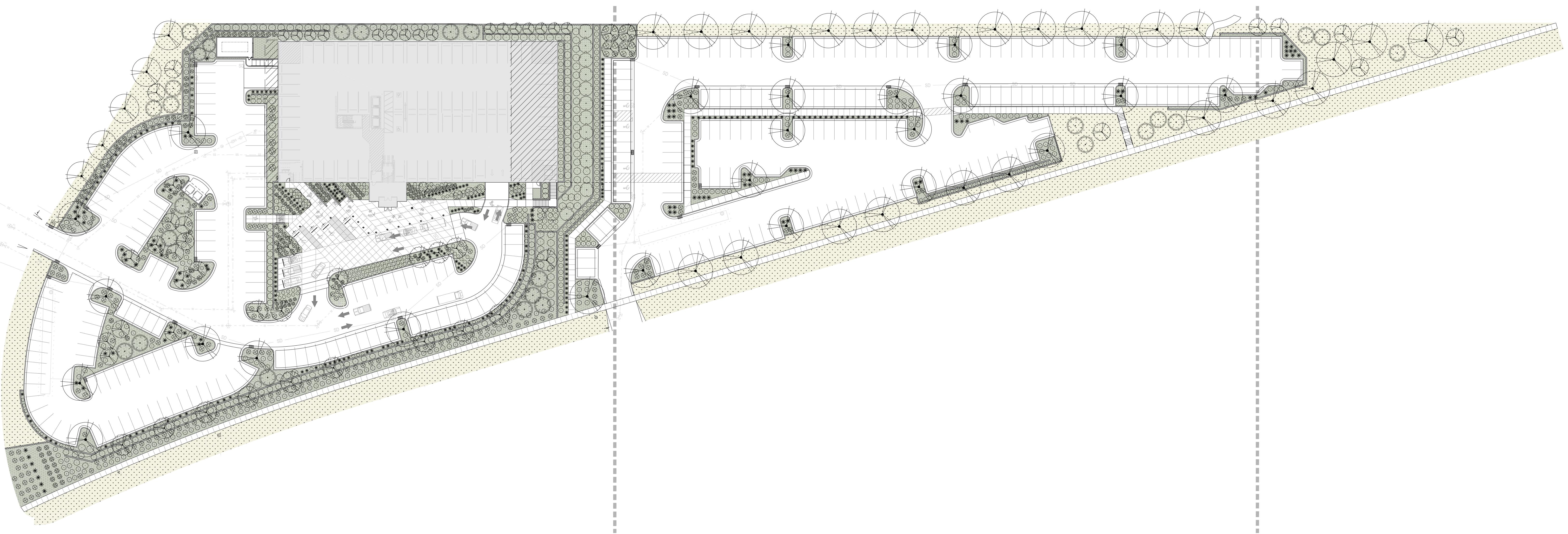


EXHIBIT G
ELEVATIONS



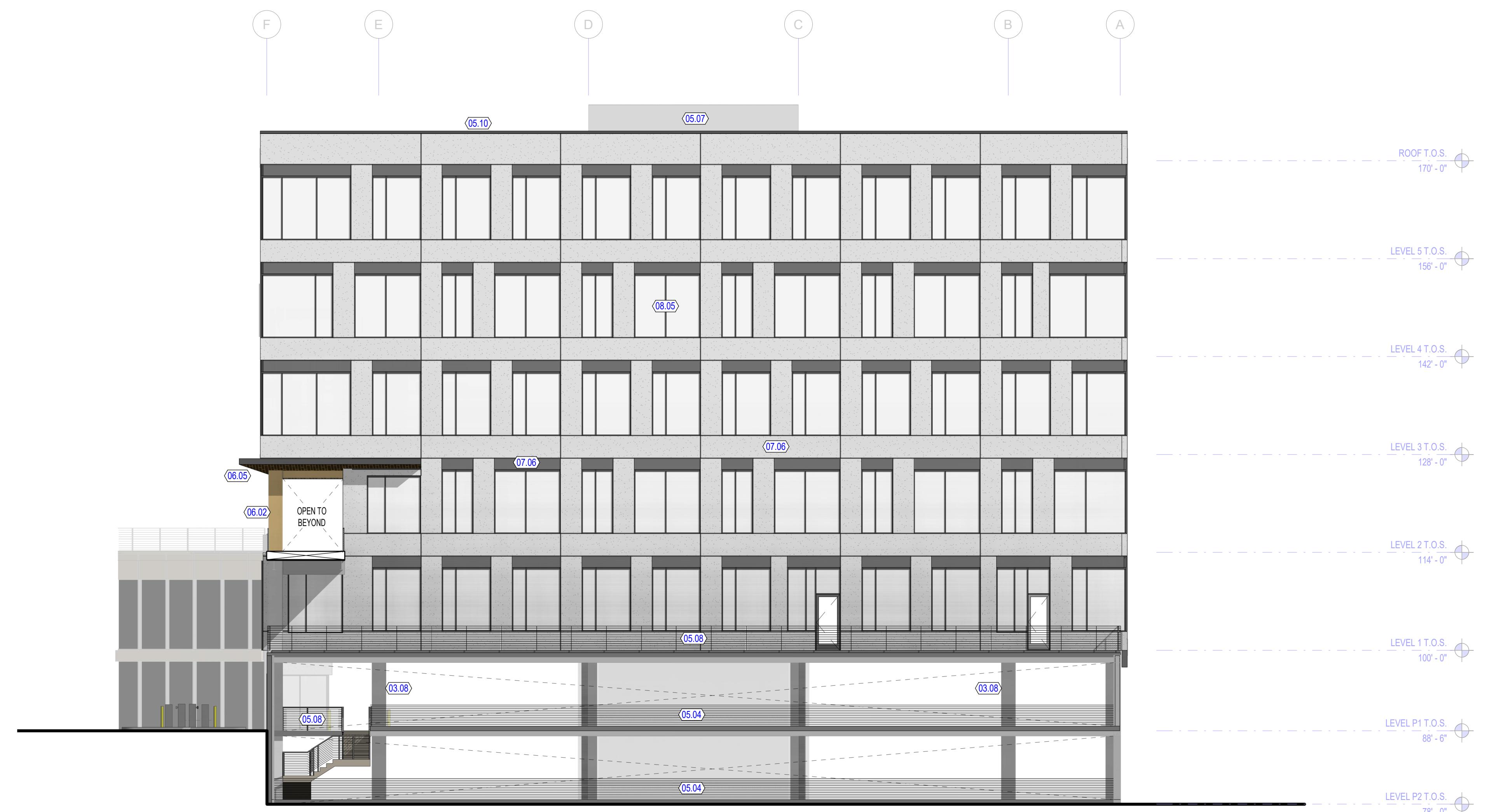
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GENERAL NOTES - EXTERIOR ELEVATIONS

- 1 ALL EXPOSED STRUCTURAL EXTERIOR STEEL SHALL BE GALVANIZED WITHOUT CHROMATE COATING, SHOP PRIMED WITH HIGH PERFORMANCE COATING RE: SPECIFICATIONS
- 2 SEE SHEET SERIES A500's FOR WALL AND ASSEMBLY TYPES
- 3 SEE SHEET SERIES A600's FOR DOOR AND WINDOW TYPES

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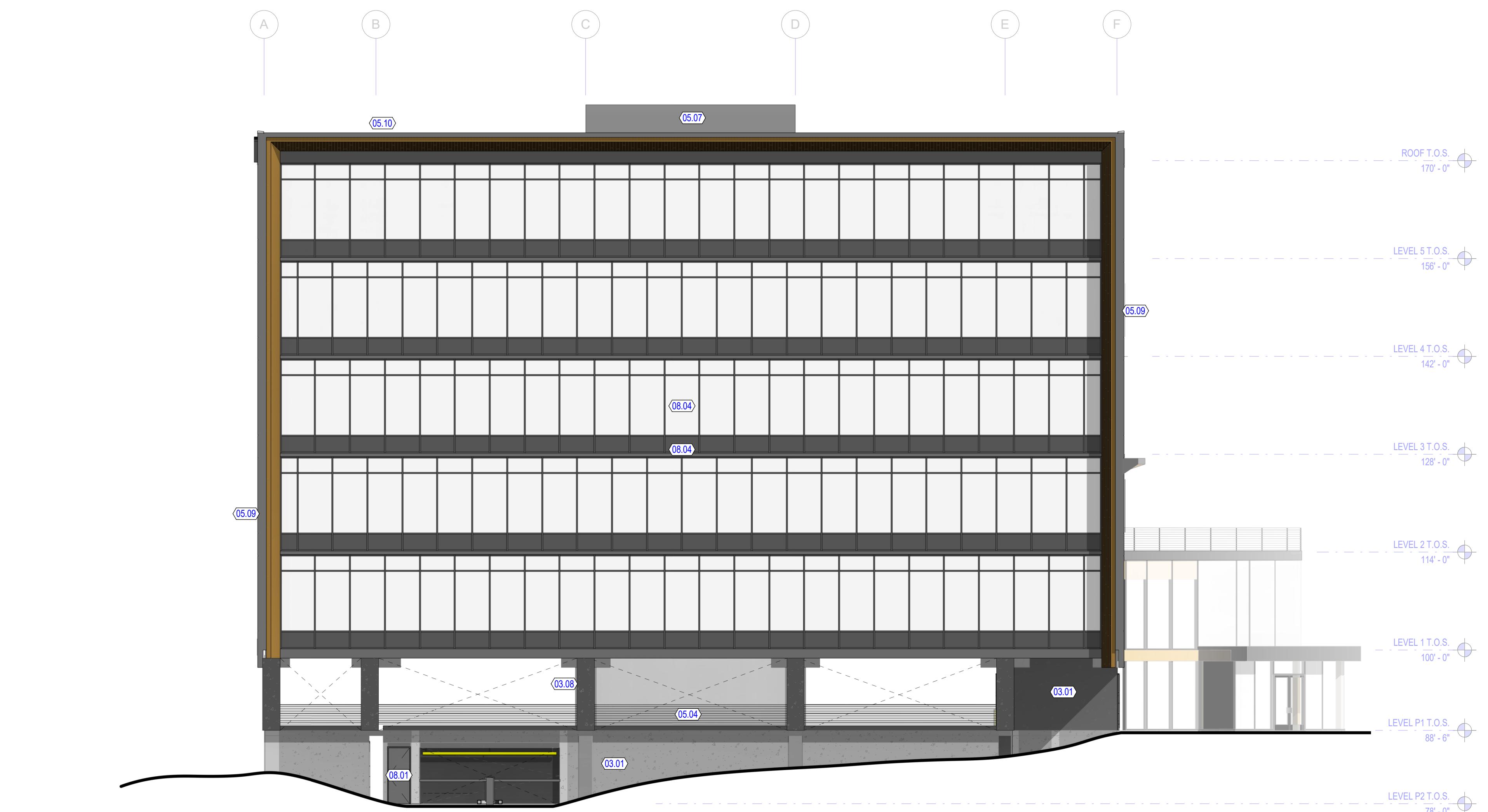
C2 EXTERIOR ELEVATION - EAST

3/32" = 1'-0" A020

A2 EXTERIOR ELEVATION - WEST

3/32" = 1'-0" A078

1 2 3 4 5 6



A2 EXTERIOR ELEVATION - WEST

3/32" = 1'-0" A078

MATERIAL LEGEND			
PATTERN	MATERIAL	SQ. FT.	TOTAL %
(07.05)	EIFS, WHITE W/ SMOOTH FINISH	20,990	71.2%
(07.05)	EIFS, GRAY W/ SMOOTH FINISH		
(03.01)	ARCHITECTURAL CONCRETE	5,016	17.0%
(06.05)	WOOD SLAT SOFFIT	800	2.7%
(05.09)	METAL PANEL SCREEN WALL	1,024	3.5%
(05.09)	PRE-FINISHED METAL FASCIA	1,659	5.8%

KEYED NOTES

(03.01) ARCHITECTURAL EXPOSED CONCRETE
(03.03) CONCRETE COLUMN, RE: STRUCTURAL
(05.04) PARKING BARRIER CABLE SYSTEM, RE: SPECIFICATIONS
(05.07) PRE-FINISHED METAL PANEL MECHANICAL SCREEN WALL
(05.08) CABLE RAILING SYSTEM, 42" HIGH MIN. - RE: SPECIFICATIONS
(05.09) PRE-FINISHED METAL FASCIA
(05.10) PRE-FINISHED METAL CAP
(06.02) EXPOSED WOOD COLUMN & EXTERIOR, RE: STRUCTURAL
(06.03) EXPOSED WOOD COLUMN & EXTERIOR, RE: STRUCTURAL
(06.05) EXPOSED WOOD SLAT SOFFIT, RE: RCP
(07.05) EIFS PANEL, SEE LEGEND FOR COLOR AND FINISH
(08.01) HOLLOW METAL DOOR & FRAME, RE: SCHEDULE
(08.04) ALUMINUM CURTAIN WALL GLAZING SYSTEM, RE: CW SCHEDULE
(08.05) ALUMINUM STOREFRONT GLAZING SYSTEM, RE: SF SCHEDULE

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project:
**Gardner-Pelion
Core & Shell
Office Bldg.**

Draper, UT 84020

B
project #: 21-0690
date: 03-29-2022
revisions :

A
title:
**COLORIZED
EXTERIOR
ELEVATIONS**

A
sheet:
A202
SITE PLAN REVIEW



MEMO

To: Planning Commission

From: Todd A. Draper

CC:

Date: April 28, 2022

Re: Rockwell Station Subdivision Plat Amendment and Site Plan Request

Comments:

This application is a request for approval of a Subdivision Plat Amendment and Site Plan, including Deviations from Design Standards, for approximately 1.23 acres located on the east side of 700 East, at approximately 696 E. 12100 S & 698 E. 12100 S. The property is currently zoned CN. The applicant is requesting that a Subdivision Plat Amendment, Site Plan, and Deviation from Design Standards be approved to allow for the development of the property to create two (2) lots and to construct a commercial office building on each lot.

The findings are as follows:

Deviation Requests:

For Approval:

1. The deviation is in the benefit of the health, safety and welfare of the city and the project.
2. The minimum three (3) criteria required for approval of a deviation have been met.

For Denial:

1. The deviation is not in the benefit of the health, safety and welfare of the city and the project.
2. The minimum three (3) criteria required for approval of a deviation have not been met.

Site Plan:

For Approval:

1. The applicant acknowledges it has not met the specific conditions of approval.

2. The application will meet the requirements and provisions of the Draper City Municipal Code, including Section 9-5-090(E), once the specific conditions of approval have been met.
3. The Planning Commission has agreed to approve the application with conditions (as outlined above) subject to the applicant complying with the specific conditions of approval.
4. The final effective date of the Planning Commission's Site Plan approval will be when the Zoning Administrator confirms the applicant has complied with the specific conditions of approval.
5. The applicant will comply with the general conditions of approval throughout the construction of the project.
6. The proposal represents development of the entire site at one time.
7. Once the specific conditions of approval have been met the site plan will conform to applicable standards set forth in ordinance including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
8. Once the specific conditions of approval have been met the proposed development plans will meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
9. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
10. The proposed development plans will comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

For Denial:

1. The site plan application does not conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
2. The proposed development plans do not meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
3. Public facilities and services in the area do not adequately support the subject development, as required by engineering standards and specifications.
4. The proposed development plans do not comply with all required engineering standards as found in Titles 7, 8, 11, 12, 16, and 18 of this code.

Subdivision Plat Amendment:

For Approval:

1. The applicant acknowledges it has not met the specific conditions of approval.
2. The application will meet the requirements and provisions of the Draper City Municipal Code, including Sections 17-9-030, 17-9-040 &17-9-050, once the specific conditions of approval have been met.
3. The Planning Commission has agreed to approve the application with conditions (as outlined above) subject to the applicant complying with the specific conditions of approval.
4. The final effective date of the Planning Commission's Subdivision Plat Amendment approval will be when the Zoning Administrator confirms the applicant has complied with the specific conditions of approval.

5. The applicant will comply with the general conditions of approval throughout the construction of the project.
6. There is good cause to amend the subdivision plat.

For Denial:

1. The application does not meet the requirements and provisions of Draper City Municipal Code, including Sections 17-9-030, 17-9-040 &17-9-050.
2. There is not good cause to amend the subdivision plat.

ATTACHMENTS:

Description	Upload Date	Type
P.C. Staff Report	4/22/2022	Cover Memo



Development Review Committee

1020 East Pioneer Road
Draper, UT 84020
April 19, 2022

To: Draper City Planning Commission
Business Date: April 28, 2022

From: Development Review Committee

Prepared By: Todd A. Draper, AICP, Planner III
Planning Division
Community Development Department
801-576-6335, Todd.Draper@draperutah.gov

Re: Rockwell Station - Subdivision Amendment and Site Plan Request

Application No.: SUBD-0198-2021 & SPR-0194-2021
Applicant: Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens.
Project Location: Approximately 696 E. 12100 S. & 698 E. 12100 S.
Current Zoning: CN (Neighborhood Commercial) Zone
Acreage: Approximately 1.23 Acres (Approximately 53,579 ft²)
Request: Request for approval of a Subdivision Plat Amendment and Site Plan, inclusive of Deviations from Design Standards, in the CN zone regarding an amendment to the Draperville Subdivision Plat to create two (2) lots and the construction of a commercial office building on each lot. The requested deviations from design standards are in respect to facing the main building entrances to the parking rather than the street.

BACKGROUND AND SUMMARY

This application is a request for approval of a Subdivision Plat Amendment and Site Plan, including Deviations from Design Standards, for approximately 1.23 acres located on the east side of 700 East, at approximately 696 E. 12100 S & 698 E. 12100 S. (Exhibit B). The property is currently zoned CN. The applicant is requesting that a Subdivision Plat Amendment, Site Plan, and Deviation from Design Standards be approved to allow for the development of the property to create two (2) lots and to construct a commercial office building on each lot.



The subject property currently is comprised of three (3) separate properties that are each part of various lots within the Draperville Subdivision Plat (Exhibit I). The northernmost and southernmost pieces of property are essentially vacant and the center property contains an existing residential home constructed in 1949 that will be removed as part of this development application.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Neighborhood Commercial land use designation for the subject property (Exhibit C). This category is characterized as follows:

Neighborhood Commercial

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> • Small-scale commercial land uses that serve local residents in adjacent neighborhoods • Minimal impact in predominantly residential areas • Well-landscaped street frontages • Limited traffic access points and pedestrian access from surrounding residential areas • Don't overcrowd commercial lots; i.e., require adequate setback and landscape buffers • Screened parking and adequate ingress and egress to parking areas • Adequate drainage • Low noise standards
LAND USE MIX	<ul style="list-style-type: none"> • Small-scale commercial • Planned retail • Office
COMPATIBLE ZONING	<ul style="list-style-type: none"> • Neighborhood Commercial (CN) • Institutional Care (IC) • Commercial Services (CS)
LOCATION	<ul style="list-style-type: none"> • Adjacent to neighborhood • Along local roads

The property has been assigned the CN zoning classification (Exhibit D), supporting neighborhood commercial development. According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CN zone is to *"provide areas where convenience buying outlets, having small trade areas, may be established to serve surrounding residential neighborhoods. This zone is intended to promote a combination of retail and service facilities which, in character and scale, meet day to day needs of nearby residents."* The CN zoning abuts the subject property on the south, and RA1 (Residential Agricultural, 40,000 ft² min. lot size) zoning abuts to the west and across 12100 S. Street to the north. Across 700 E. Street to the east is RA2 (Residential Agricultural, 20,000 ft² min. lot size) zoning.

Site Plan Layout. The site plan (Exhibit F) shows two (2) commercial office buildings on the subject property, one on the north and one on the south, connected together as a single site by a shared parking area and access drive from 12100 South. Each building is 2 stories tall and the total combined building square footage calculation of 19,380 ft² is indicated in the site calculations table. As individual building calculations and complete dimensions of the buildings are not available, compliance with applicable requirements will also be evaluated at the time of the building permit. The buildings are set towards the streets and the northern building has an angled wall on the northeast to prevent it from intruding into the Clearview area of the adjacent roadway intersection.

The main facades and entrances for each building will face the central parking area rather than the abutting public streets. A request to deviate from the provisions of DCMC Section 9-22-050(A) has been made by the applicant and is included in this report as Exhibit L.

Curb, gutter, and sidewalks will be installed along public roadways where they do not currently exist and pedestrian access from 12100 South and 700 East to each building will be provided. On-site pedestrian walkways will be a minimum of five feet (5') and when parking stalls are adjacent to the walkway, wheel stops will be installed.

The main drive aisle for vehicular traffic is twenty-six feet (26') in width and will include cross access easements on the subdivision plat between the two proposed lots as well as to the abutting property to the South. A turn around for emergency vehicles as well as an easement for the same has been designed within the layout of the drive aisles. Other drive aisles on and across the proposed site will be a minimum of twenty-four feet (24') in width.

Site Design Standards Modification. Chapter 22 of the DCMC makes provisions for the Planning Commission to authorize deviations to strict compliance with the terms of the Code regarding development design standards. DCMC Section 9-22-030 states that the Planning Commission may approve site plans that deviate from the requirements of the design standards within Chapter 22 of the DCMC based on making certain required findings in whole. Per DCMC Section 9-22-030(b), the Planning Commission shall find an application complies with at least three of the following criteria:

1. The project contains amenities such as pedestrian and bike connectivity in excess of what is required in the development code and site plan review.
2. The overall percentage of dedicated public or private landscape and open space area exceeds the required amount by more than ten percent (10%).
3. The project is a transit oriented development (TOD) and provides connectivity to a transportation facility.

4. Traffic impacts on the neighborhood are lessened through programs, such as creative design, traffic calming measures, companywide carpool or transit pass programs.
5. The project is an accredited LEED development.
6. The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.
7. The project is required to create a consistent and compatible design in cases which involve redeveloped buildings, additions to existing buildings, minor structures added to a site, or new buildings within a previously approved phased project.
8. Additional landscape plant material is provided in an amount at least ten percent (10%) more than the minimum required, including additional planting beds, plants, trees or a combination thereof.
9. The building design is a specific architectural style, such as contemporary or modern, which utilizes facade materials differently than prescribed in subsection 9-22-040F of this chapter and is designed by a licensed architect.
10. The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount.

The applicant has requested deviations from DCMC Sections 9-22-050(A)(1) and 9-22-050(A)(5), to allow for the main façade and entry for each building to face the parking area rather than the public street. The applicant is responsible for providing a description and analysis of the specific development standards to be lessened including the benefit of amending the standards and analysis of the minimum 3 criteria for consideration of the deviations prepared by a licensed Architect. The response from their Architect Chris Huntsman with Five Degrees Design is attached (Exhibit L). According to the written analysis provided they assert that the project complies with criteria 6, 9, and 10 of DCMC section 9-22-030(B).

Staff has reviewed the response and has provided the following analysis of the responses to the deviation criteria:

1. Criterion #6 "*The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.*"

The justifications provided for consideration in the letter from the Architect are sufficient to consider the criterion as being met.

2. Criterion #9 "*The building design is a specific architectural style, such as contemporary or modern, which utilizes facade materials differently than prescribed in subsection 9-22-040F of this chapter and is designed by a licensed architect.*"

The facades of both buildings are designed by a licensed architect, but the architect has not specified a specific architectural style for each building or provided additional explanation as to how each particular style utilizes facade materials differently than prescribed in DCMC subsection 9-22-040(F). While some identical primary materials are used in both building facades, there are markedly different architectural styling and features in the northern building design when compared to the southern building design. The architect's assertion in response to this criterion that the building facades are comprised of 100% primary materials is inaccurate. Metal and Metal Siding are utilized on the proposed elevation drawings and are listed as secondary materials in ordinance. The Planning Commission will need to determine if they consider the intent of this criterion as being met.

3. Criterion #10, "*The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount*".

This criterion is met with respects to the proposed elevation drawings for both buildings, the primary materials on the southern building façade make up approximately 97.5% of the overall façade materials, and the primary materials on the northern building make up 90.4% of the overall façade as described in further detail in the architectural analysis.

Subdivision Layout. The Subdivision Plat (Exhibit E) proposes to reconfigure the three (3) existing properties into two (2) lots. Lot 1 on the North and Lot 2 on the south. Cross access and parking easements for both properties to access and utilize the on-site parking will be included on the plats. As a specific condition of approval the notes on the Plat granting these particular easements will need to be updated, including an easement for the provision of cross access for the property to the south to be enacted at such time as that property redevelops and provides the required reciprocal cross access to the subject properties. As a point of clarification the City Engineer has permitted a small reduction in the width of the public utility easements on the plat that run across the front of the property to match with the five feet (5') that the buildings are set back from the property lines/right-of-way.

Landscaping and Lot Coverage. The Site Plan (Exhibit F) calculates an overall site landscape area percentage of 25% and an interior parking area landscaped percentage of 12%. These both exceed the minimum 20% and 7% requirements within ordinance respectively. The Landscape Plan (Exhibit G) includes the plant layout and screening required by ordinance, with two minor exceptions. Ground mounted utility Boxes, specifically the electrical transformers are required to be screened from off-site view. On the proposed landscape

plans the electrical transformers are screened from off-site view, but the interior side of the equipment has been left without landscaping. The area without landscaping is also a parking lot landscape island located at the end of a row of parking, and is required to be landscaped. Per details provided by Rocky Mountain Power the areas around transformers can be landscaped with plants that are less than six inches (6") tall. As a specific condition of approval staff has included the requirement to revise the landscape plan to include landscaping within the landscape island.

Outdoor amenities include a picnic area that is located within a landscaped lawn area and green space in the center of the parking lot. Two of the required landscape planter islands on the north of the center parking and amenity area do not meet the minimum width requirements and as a specific condition of approval staff suggests that the two (2) adjacent parking spaces be reduced in size and be marked as compact spaces so that the width of each of the landscape planter islands can be increased to meet the minimum width requirement.

The applicant has also requested a reduction in the width of the land use buffer between this commercial property and the residential property to the west. The reduced buffer will be a minimum of ten feet (10') wide and a eight feet (8') tall solid fence will also be installed along the property boundary in compliance with the requirements for such a reduction listed under DCMC Subsection 9-23-110(C)(1).

Parking and Circulation. According to the site plan (Exhibit F) the site will have a main access drive coming from 12100 South on the north that is twenty-six feet (26') wide and includes an emergency vehicle turn around built into the design. The remaining drive aisles will be twenty-four feet (24') wide and connect back to the main access drive. There are 82 parking spaces provided which is within the natural adjustment range allowed by ordinance and provides sufficient parking for the proposed 19,380 ft² of floor area for general office use. As noted in the landscaping analysis, two (2) of these parking spaces may be readjusted to become compact parking spaces to accommodate the required width of adjacent landscape planter islands.

Architecture. The elevation drawings (Exhibit H) show proposed design of the two buildings proposed to be built upon the property, one on the north and one on the south. Staff has reviewed each building and provides the following responses:

North Building:

This building is designed in a modern style with a large overhanging canopy extending out from the roofline on the northwest corner of the building, and an angled wall on the northeast. The main entry is on the south of the building and faces the parking area rather than the street, a deviation from design standards has been requested by the applicant to allow for this. The design of the entry area complies with DCMC Subsection 9-22-040(B) in that it contains a prominent architectural feature that is unique to the overall building

design, has complementary yet differing building materials and colors, and has an increased use of windows or glass surrounding it. The façade materials include primary materials consisting of brick, wood plank composite siding, and architectural precast concrete listed as "board faced concrete" on the elevation drawings provided by the applicant and a secondary material consisting of metal siding. Primary materials cover approximately 90.43% of the façade. As the applicant is proposing the use of board faced concrete it is an important to note that the concrete façade material must actually be architectural precast concrete and may not be constructed of plain exposed concrete (which is a secondary material) or as a tilt-up concrete wall which is not an allowed material or construction type in the CN zone. The building design complies with the design standards of DCMC Subsections 9-22-040(C), (D), and (F) related to façade articulation, height and roofline variation, and materials.

South Building:

This building design evokes a more neoclassical feel to its style with the use of columnar separations of the facade. The main entry is on the north and also faces the parking lot. The design of the entry area contains a prominent architectural feature, created by the use of complementary yet differing building materials and colors that is unique to the northern façade, but is nearly identical in design to the southern façade. The entry door includes windows and glass surrounding it, however it is debatable as to whether or not this represents an increase as required by DCMC Subsection 9-22-040(B). The Planning Commission should determine if the entryway requirements DCMC Subsection 9-22-040(B) have been met for this building, and if not add as a specific condition of approval that revised plans be submitted to staff. Primary materials cover 97.5% of the building and the building design complies with the design standards of DCMC Subsections 9-22-040(C),(D), and (F) related to façade articulation, height and roofline variation, and materials.

Lighting. The exterior lighting plan (Exhibit K) shows the photometric analysis of the exterior lighting proposed for the site including parking lot lighting and exterior lighting mounted to the building facade. The plans show lighting generally in compliance with ordinance requirements. As a specific condition of approval necessary to bring the site into compliance with ordinance requirements an amended lighting plan showing the relocation of the parking lot light currently located in the center of the walkway for the internal picnic amenity must be relocated out of the walkway and into one of the nearby landscape island areas.

Fencing. The Site Plan (Exhibit F) shows fencing along the western and southern property boundaries. The fence along the western boundary will be eight feet (8') tall as they are proposing the reduction in the landscape buffer requirements per DCMC 9-23-110(C)(1). The fence along their southern property boundary will be similar in design to the fence on the west, but will only be six feet (6') in height. Fencing details regarding the construction of the fence are included as Exhibit J.

Criteria For Approval.

Subdivision Plat Amendment

The grounds for review and potential approval of a subdivision plat amendment request is found in Section 17-9-040 of the DCMC. This section depicts the standard of review for such requests as:

The Planning Commission may approve the vacation or amendment of a plat by signing an amended plat showing the vacation or amendment if the Land Use Authority finds that there is good cause for the vacation or amendment; and no public street, right-of-way, or easement has been vacated or amended.

Site Plan 9-5-090

The criteria for review and potential approval of a Site Plan request is found in Sections 9-5-090(E) of the DCMC. This section depicts the standard of review for such requests as:

E. Standards For Approval: The following standards shall apply to the approval of a site plan:

1. The entire site shall be developed at one time unless a phased development plan is approved.
2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

Deviations from Design Standards 9-22-030:

The criterial for review and approval of a Deviation from Design Standards of DCMC Sections 9-22-040 and 9-22-050 are found in DCMC Section 9-22-030. This section requires that the Planning Commission must find that the application meets at least three of the following conditions for consideration of a Deviation from Design Standards:

1. The project contains amenities such as pedestrian and bike connectivity in excess of what is required in the development code and site plan review.
2. The overall percentage of dedicated public or private landscape and open space area exceeds the required amount by more than ten percent (10%).
3. The project is a transit oriented development (TOD) and provides connectivity to a transportation facility.

4. Traffic impacts on the neighborhood are lessened through programs, such as creative design, traffic calming measures, companywide carpool or transit pass programs.
5. The project is an accredited LEED development.
6. The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.
7. The project is required to create a consistent and compatible design in cases which involve redeveloped buildings, additions to existing buildings, minor structures added to a site, or new buildings within a previously approved phased project.
8. Additional landscape plant material is provided in an amount at least ten percent (10%) more than the minimum required, including additional planting beds, plants, trees or a combination thereof.
9. The building design is a specific architectural style, such as contemporary or modern, which utilizes facade materials differently than prescribed in subsection 9-22-040F of this chapter and is designed by a licensed architect.
10. The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Subdivision Plat Amendment, Site Plan, and Deviations from Design Standards submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Subdivision Plat Amendment, Site Plan, and Deviations from Design Standards submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Subdivision Plat Amendment, Site Plan, and Deviations from Design Standards submission. Comments from this division, if any, can be found in Exhibit A.

Geotechnical and Geologic Hazards Review. Taylor Geo-Engineering, LLC and Simon Associates LLC., in working with the Draper City Building and Engineering Divisions, have completed their reviews of the geotechnical and geologic hazards report submitted as a part of the Subdivision Plat Amendment, Site Plan, and Deviations from Design Standards submission. Comments from Taylor Geo-Engineering, LLC, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Subdivision Plat Amendment, Site Plan, and Deviations from Design Standards submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff finds that the Deviation request complies with the DCMC and recommends that the Planning Commission review the request, receive public comment, and approve the deviations based on the findings listed below and the criteria for approval, as listed within the staff report.

The findings for approval are as follows:

1. The deviation is in the benefit of the health, safety and welfare of the city and the project.
2. The minimum three (3) criteria required for approval of a deviation have been met.

The findings for denial are as follows:

1. The deviation is not in the benefit of the health, safety and welfare of the city and the project.
2. The minimum three (3) criteria required for approval of a deviation have not been met.

Staff finds the Site Plan application will comply with the DCMC if the Deviations from Design Standards are approved and once the specific conditions of approval listed below have been met. Staff recommends the Planning Commission review the request, receive public comment, and conditionally approve the application subject to the applicant complying with the specific and general conditions of approval. Approval is based on the findings listed below and the criteria for approval as listed within the staff report. Staff further recommends requiring the completion of the Specific Conditions of Approval (listed as items 1 through 6 below) before the Site Plan approval becomes effective. The Site Plan shall not be considered approved until these 6 conditions are met and the Zoning Administrator has issued a notice of Site Plan approval. The effective date of the Site Plan approval shall be the date on the Zoning Administrator's notice of Site Plan approval.

A. Specific Conditions of Approval

1. The Site Plan not be considered approved until the specific conditions of approval are met and the Zoning Administrator has issued a notice of Site Plan approval.
2. That revised plans be submitted that comply with all requirements of DCMC

Sections 9-22-040 and 9-22-050 with the exception of those standards for which a Deviation has been approved by the Planning Commission.

3. That revised plans be submitted that expand the width of the two required landscape planter islands on the north of the center parking and amenity area to meet the minimum width five feet (5') requirement of ordinance.
4. Submit a revised landscape plan that complies with all other aspects of ordinance and includes landscaping as required by ordinance within the landscape planter islands that are adjacent to the electrical transformers.
5. Submit an amended lighting plan relocating the parking lot light currently located in the center of the internal picnic amenity walkway out of the walkway and into one of the nearby landscape island areas.
6. Submit a Storm Water Maintenance Plan and Agreement as per the City Engineering request.

B. General Conditions of Approval

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geologic hazard and geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. That the light poles on site be painted black.

The findings for approval as are follows:

1. The applicant acknowledges it has not met the specific conditions of approval.
2. The application will meet the requirements and provisions of the Draper City Municipal Code, including Section 9-5-090(E), once the specific conditions of approval have been met.
3. The Planning Commission has agreed to approve the application with conditions (as outlined above) subject to the applicant complying with the specific conditions of approval.
4. The final effective date of the Planning Commission's Site Plan approval will be when the Zoning Administrator confirms the applicant has complied with the specific conditions of approval.
5. The applicant will comply with the general conditions of approval throughout the construction of the project.
6. The proposal represents development of the entire site at one time.
7. Once the specific conditions of approval have been met the site plan will conform to applicable standards set forth in ordinance including but not

limited to, building heights, setbacks, access points, parking, landscaping, and building materials.

8. Once the specific conditions of approval have been met the proposed development plans will meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
9. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
10. The proposed development plans will comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

The findings for denial as are follows:

1. The site plan application does not conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
2. The proposed development plans do not meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
3. Public facilities and services in the area do not adequately support the subject development, as required by engineering standards and specifications.
4. The proposed development plans do not comply with all required engineering standards as found in Titles 7, 8, 11, 12, 16, and 18 of this code.

Staff finds the Subdivision Plat Amendment application will comply with the DCMC once the specific conditions of approval listed below have been met. Staff recommends the Planning Commission review the request, receive public comment, and conditionally approve the application subject to the applicant complying with the specific and general conditions of approval. Approval is based on the findings listed below and the criteria for approval as listed within the staff report. Staff further recommends requiring the completion of the Specific Conditions of Approval (listed as items 1 through 3 below) before the Subdivision Plat Amendment approval becomes effective. The Subdivision Plat Amendment shall not be considered approved until these 3 conditions are met and the Zoning Administrator has issued a notice of Subdivision Plat Amendment approval. The effective date of the Subdivision Plat Amendment approval shall be the date on the Zoning Administrator's notice of Subdivision Plat Amendment approval.

C. Specific Conditions of Approval

1. The Subdivision Plat Amendment not be considered approved until the specific conditions of approval are met and the Zoning Administrator has

issued a notice of Subdivision Plat Amendment approval.

2. That a revised plat be submitted with cross access and shared parking easements noted on the plat for Lots 1 and 2 of the Rockwell Station Subdivision.
3. That the revised plat include a separate reciprocal easement for cross access across the main access drive for use of the property located to the south of the Rockwell Station Subdivision, effective at such time that the property to the south connect to the access drive and grant a similar reciprocal easement to the owners of Lots 1 and 2 in the Rockwell Station Subdivision.

D. General Conditions of Approval

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geologic hazard and geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.

The findings for approval as are follows:

1. The applicant acknowledges it has not met the specific conditions of approval.
2. The application will meet the requirements and provisions of the Draper City Municipal Code, including Sections 17-9-030, 17-9-040 &17-9-050, once the specific conditions of approval have been met.
3. The Planning Commission has agreed to approve the application with conditions (as outlined above) subject to the applicant complying with the specific conditions of approval.
4. The final effective date of the Planning Commission's Subdivision Plat Amendment approval will be when the Zoning Administrator confirms the applicant has complied with the specific conditions of approval.
5. The applicant will comply with the general conditions of approval throughout the construction of the project.
6. There is good cause to amend the subdivision plat.

The findings for denial are as follows:

1. The application does not meet the requirements and provisions of Draper City Municipal Code, including Sections 17-9-030, 17-9-040 &17-9-050.
2. There is not good cause to amend the subdivision plat.

MODEL MOTIONS

Deviation Requests:

Sample Motion for Approval – I move that we approve the request for Deviations from the Design Standards of Section 9-22-050(A), as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for orienting the main façade and main entry of both buildings towards the parking and away from the public street, application SPR-0194-2021, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022.

Sample Motion for Modified Approval- I move that we approve the request for Deviations from the Design Standards of Section 9-22-050(A), as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for orienting the main façade and main entry of both buildings towards the parking and away from the public street, application SPR-0194-2021, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022, and as modified by the findings and conditions below:

1. List any additional findings and conditions...

Sample Motion for Denial – I move that we deny the request for Deviations from the Design Standards of Sections 9-22-050(A), as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for orienting the main façade and main entry of both buildings towards the parking and away from the public street, application SPR-0194-2021, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022.

Site Plan:

Sample Motion for Approval –

I move that we conditionally approve the Site Plan based on the findings and subject to the specific and general conditions listed within the Staff Report dated April 19, 2022, as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for the development of two (2) commercial office buildings, application SPR-0194-2021. The Site Plan approval shall become effective upon a written notice from the Zoning Administrator that the specific conditions of approval have been met. The Zoning Administrator shall have the authority to determine if the specific conditions of approval have been met and issue final notice of approval. If the conditions are not met, the Site Plan shall not be deemed approved and any changes to the Site Plan must be brought back to the Planning Commission for additional review and approval.

Sample Motion for Modified Approval–

I move that we conditionally approve the Site Plan based on the findings and subject to the specific and general conditions listed within the Staff Report dated April 19, 2022, and as

modified by the findings and conditions below, as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for the development of two (2) commercial office buildings, application SPR-0194-2021. The Site Plan approval shall become effective upon a written notice from the Zoning Administrator that the specific conditions of approval have been met. The Zoning Administrator shall have the authority to determine if the specific conditions of approval have been met and issue final notice of approval. If the conditions are not met, the Site Plan shall not be deemed approved and any changes to the Site Plan must be brought back to the Planning Commission for additional review and approval

1. List any additional findings and specific conditions...
2. List any additional findings and general conditions...

Sample Motion for Denial-

I move that we deny the Site Plan based on the findings and subject to the specific and general conditions listed within the Staff Report dated April 19, 2022, as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for the development of two (2) commercial office buildings, application SPR-0194-2021.

Subdivision Plat Amendment:

Sample Motion for Approval –

I move that we conditionally approve the Subdivision Plat Amendment based on the findings and subject to the specific and general conditions listed within the Staff Report dated April 19, 2022, as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for subdividing the property into two (2) lots, application SUBD-0198-2021. The Subdivision Plat Amendment approval shall become effective upon a written notice from the Zoning Administrator that the specific conditions of approval have been met. The Zoning Administrator shall have the authority to determine if the specific conditions of approval have been met and issue final notice of approval. If the conditions are not met, the Subdivision Plat Amendment shall not be deemed approved and any changes to the Subdivision Plat Amendment must be brought back to the Planning Commission for additional review and approval.

Sample Motion for Modified Approval–

I move that we conditionally approve the Subdivision Plat Amendment based on the findings and subject to the specific and general conditions listed within the Staff Report dated April 19, 2022, and as modified by the findings and conditions below, as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for subdividing the property into two (2) lots, application SUBD-0198-2021. The Subdivision Plat Amendment approval shall become effective upon a written notice from the Zoning Administrator that the specific conditions of approval have been met. The Zoning Administrator shall have the authority to determine if the specific

conditions of approval have been met and issue final notice of approval. If the conditions are not met, the Subdivision Plat Amendment shall not be deemed approved and any changes to the Subdivision Plat Amendment must be brought back to the Planning Commission for additional review and approval.

3. List any additional findings and specific conditions...
4. List any additional findings and general conditions...

Sample Motion for Denial-

I move that we deny the Subdivision Plat Amendment based on the findings and subject to the specific and general conditions listed within the Staff Report dated April 19, 2022, as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for subdividing the property into two (2) lots, application SUBD-0198-2021.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Christopher Diep

Digitally signed by Christopher Diep
DN: C-US,
E=christopher.diep@draperutah.gov,
O=Draper City, CN=Christopher Diep
Date: 2022.04.21 14:51:52-06'00'

Draper City Public Works Department

Don Buckley

Digitally signed by Don Buckley
DN: C-US, E=don.buckley@draper.ut.us,
O=Draper City Fire Department, OU=Fire
Marshal, CN=Don Buckley
Date: 2022.04.20 16:39:20-06'00'

Draper City Fire Department

Keith Collier

Digitally signed by Keith Collier
DN: C-US,
E=keith.collier@draperutah.gov, O=Draper
City, OU=Building Official, CN=Keith Collier
Date: 2022.04.21 10:14:00-06'00'

Draper City Building Division

Jennifer Jastremsky

Digitally signed by Jennifer Jastremsky
DN: C-US, E=jennifer.jastremsky@draperutah.gov,
O=Planning Division, OU=Draper City, CN=Jennifer
Jastremsky
Date: 2022.04.21 12:09:55-06'00'

Draper City Planning Division

Mike Barker

Digitally signed by Mike Barker
Date: 2022.04.20 16:18:41
-06'00'

Draper City Legal Counsel

EXHIBIT A

DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Planning Division Review.

1. No additional comments.

Engineering and Public Works Divisions Review.

RESUBMITTAL REQUIRED

1. Third party approval is required of the geotechnical report prior to site plan approval, per DCMC 9-5-090(D)(1)(g). Have not received third party geotech approval, as of this third review.
2. Stormwater Maintenance Plan and Agreement are now required for every private storm drainage system, per DCMC 16-2-170. Submission of the maintenance plan is now required prior to site approval. The maintenance agreement is a condition of approval; it is required to be recorded and returned to the city prior to issuance of the Land Disturbance Permit for construction of the site.
3. Retaining walls are to comply with DCMC 9-27-085. Retaining walls are not reviewed or approved with this review and approval process. (Informational comment.)
4. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance. (Informational comment. No action required at this time.)
5. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division. (Informational comment. No action required at this time.)
6. All roof drains shall discharge onto site and into private SD system. (Informational comment.)

Building Division Review.

1. No comments.

Geotechnical and Geologic Hazards Review.

1. Geotechnical engineering submittal complete.

Fire Division Review.

1. Fire Department Access is required.
2. Fire Hydrants are required.
3. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be installed and APPROVED by the Fire Department prior to the issuance of any Building Permits.
4. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
5. The FDC shall be on the street side of the building and shall be located and arranged so that hose lines can be readily and conveniently attached to the inlets without interference from any nearby objects including but not limited to buildings, fences, posts, and landscaping.
6. Fire Sprinklers Required. FDC is required to have KNOX Locking Caps. ALL FIRE PROTECTION PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.
7. Fire Alarm Required. ALL FIRE ALARM PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.
8. Knox Boxes Required.
9. 2A-10BC Fire Extinguishers required.
10. Visible Addressing Required.

EXHIBIT B
AERIAL MAP



EXHIBIT C
LAND USE MAP

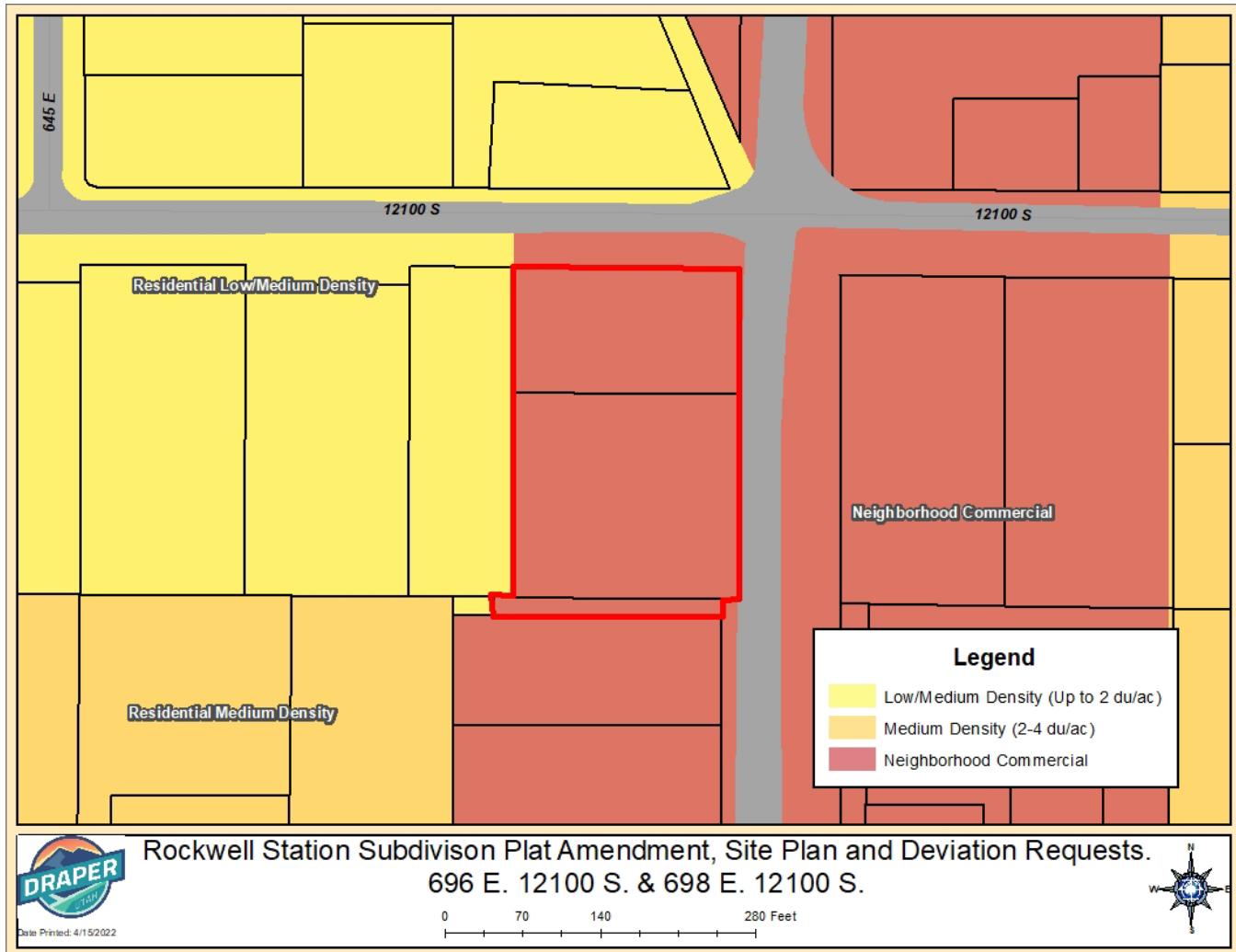


EXHIBIT D
ZONING MAP

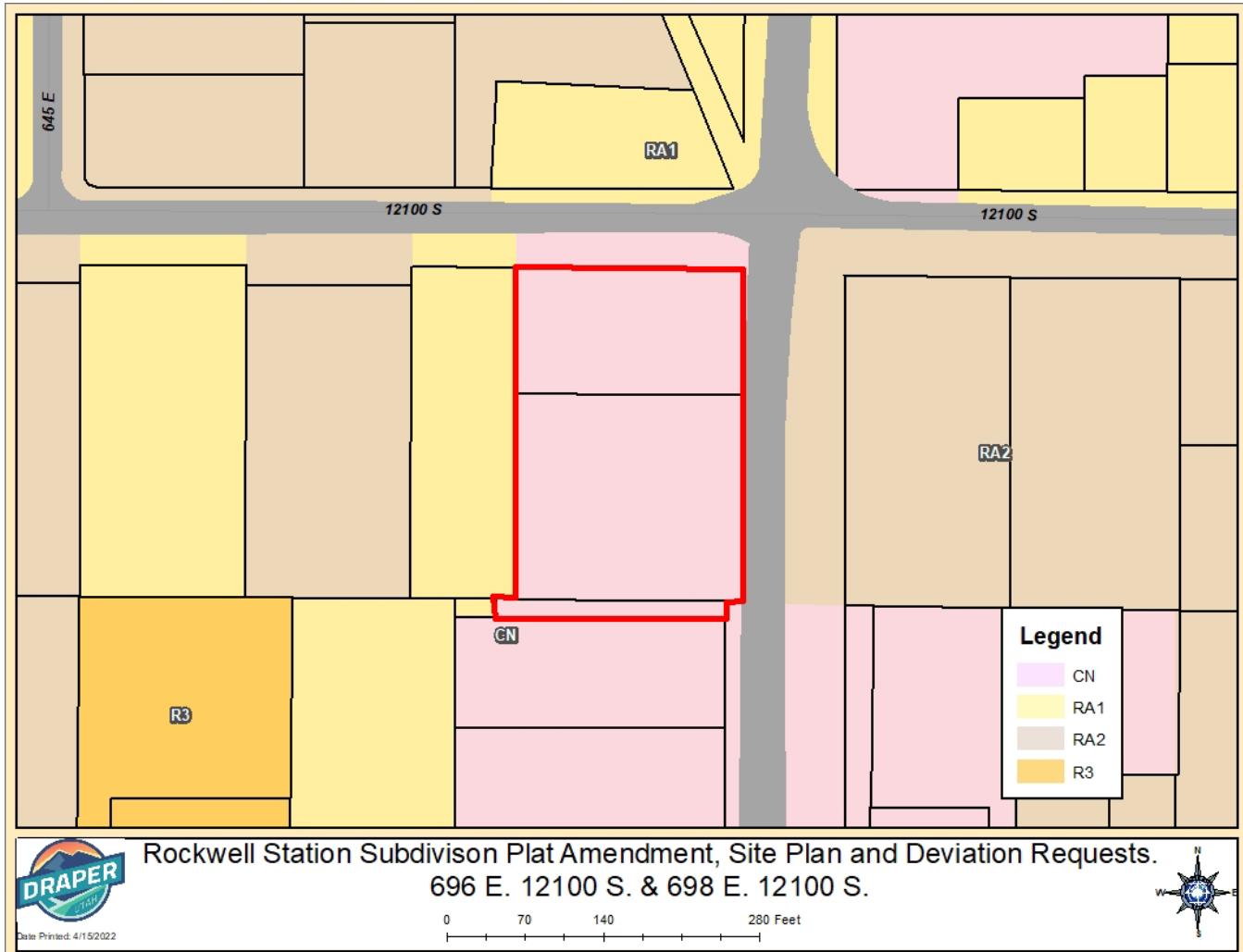
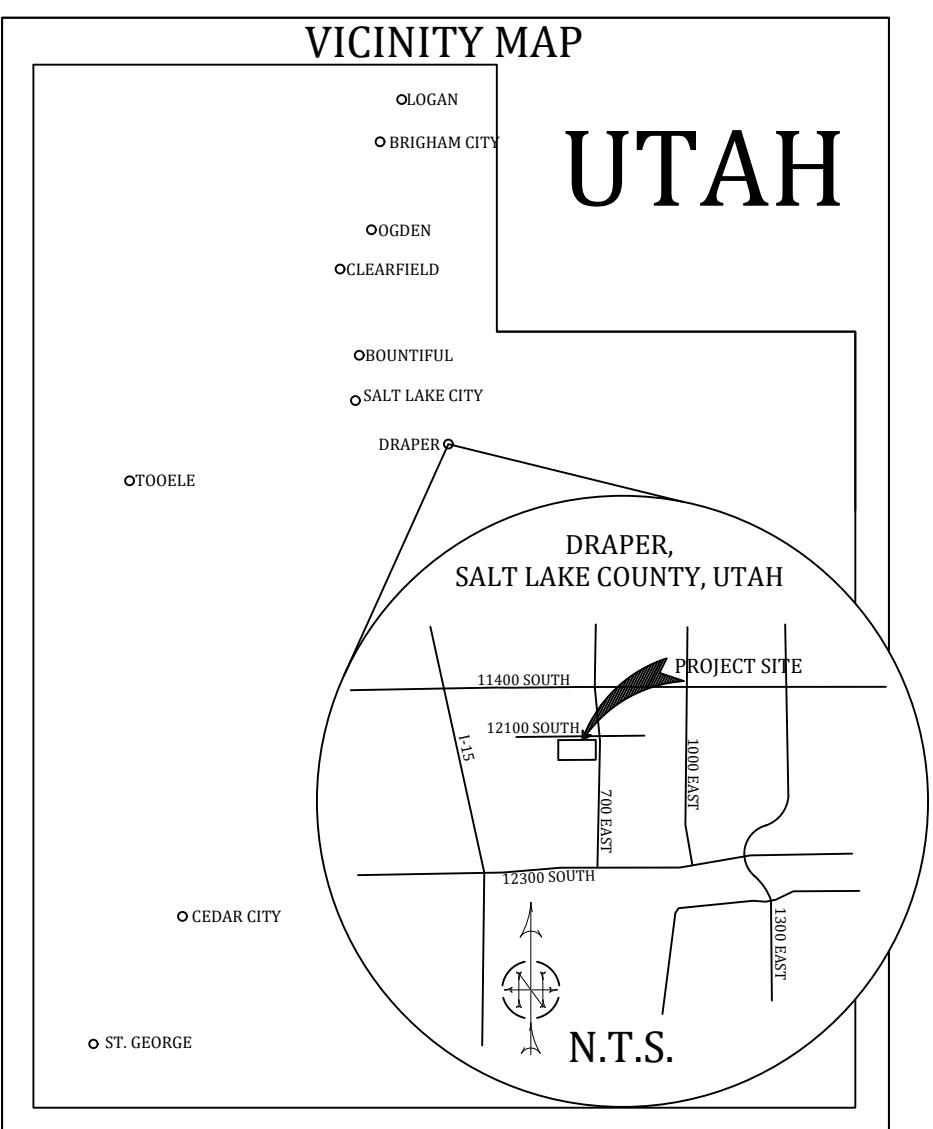


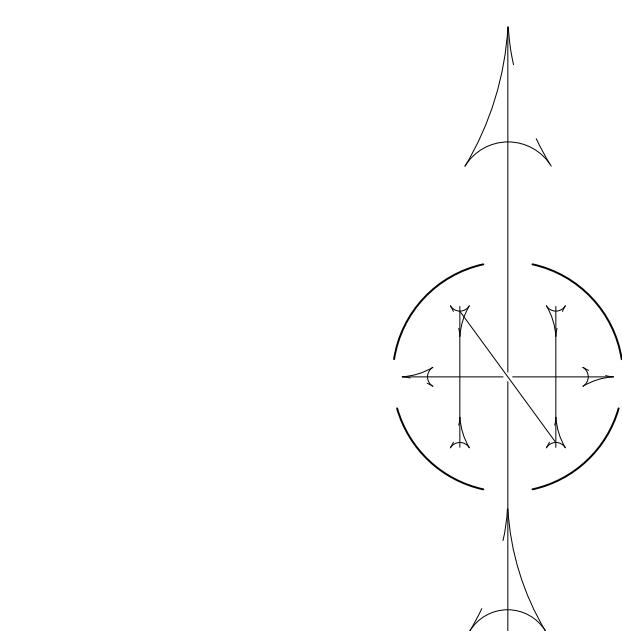
EXHIBIT E
PROPOSED SUBDIVISION PLAT



LEGEND:

- OVERALL BOUNDARY: ———
- LOT LINE BOUNDARY: ———
- RIGHT OF WAY LINE: ———
- EASEMENT LINE: ———
- DRAPERVILLE LOT LINE: ———
- SECTION LINE: ———
- SECTION CORNER: ▲
- STREET MONUMENT: ■

30 0 30 60 90 120
DRAWING SCALE: 1"=30'

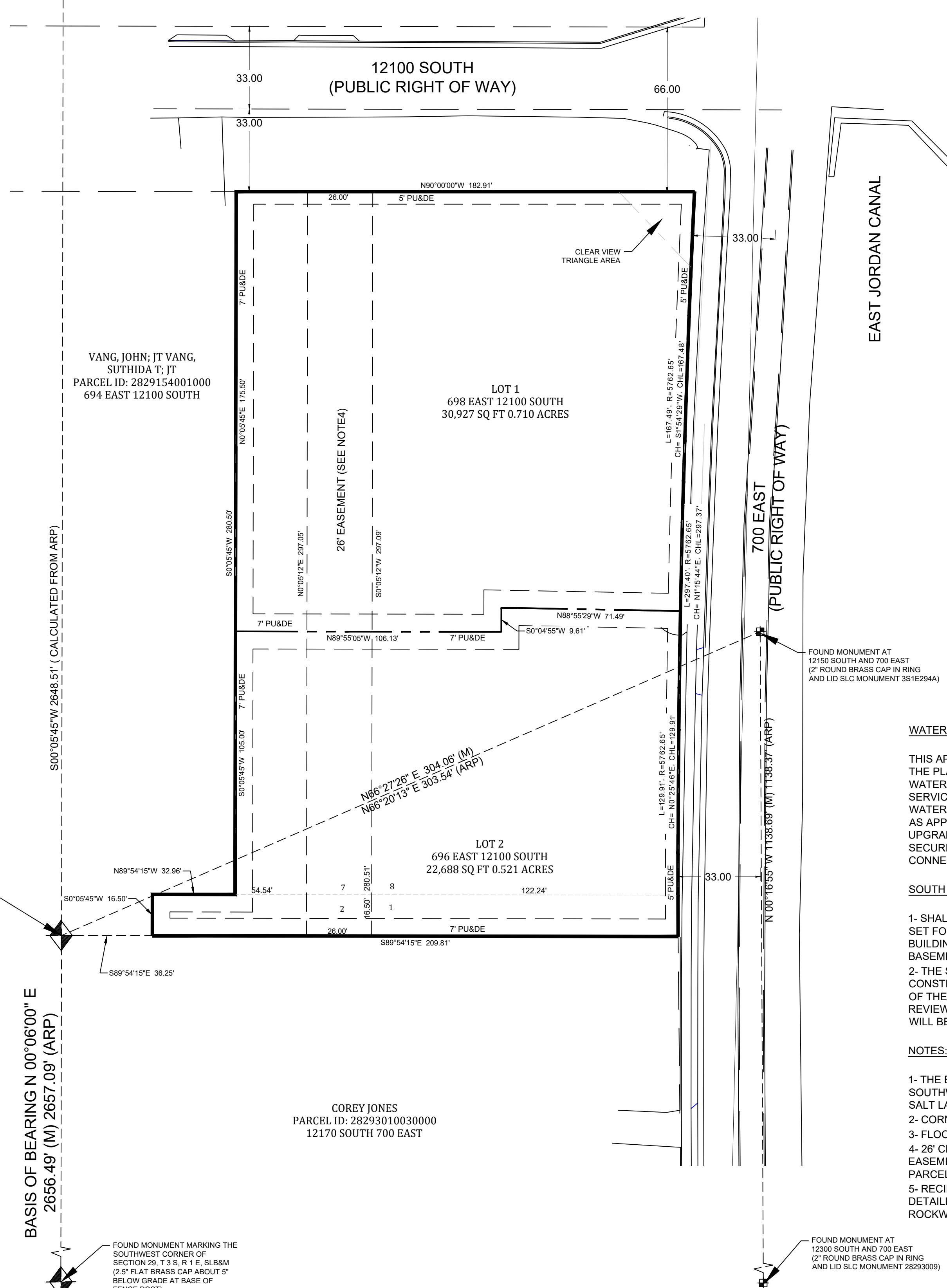


DEVELOPER: NORTHSTAR BUILDERS
1059 EAST 900 SOUTH STE 201
SALT LAKE CITY, UTAH 84105
SURVEYOR: MATT STONES, PLS
842 SOUTH 1150 WEST
CLEARFIELD, UT, 84015
801-201-5966
DESIGNER: AVAIL ENGINEERS
573 EAST 2700 SOUTH
SALT LAKE CITY, UT, 84106

CALCULATED NORTHWEST CORNER OF SECTION 29, T 3 S, R 1 E, SLBM (NOT FOUND)

ROCKWELL STATION SUBDIVISION

AMENDING A PORTION OF LOTS 1, 2, AND 7 AND ALL OF LOT 8 OF BLOCK 24, DRAPERVILLE TOWNSITE
LOCATED THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.
FEBRUARY 2022



SURVEYOR'S CERTIFICATE

I, MATTHEW C STONES, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD LICENSE NUMBER 7176711 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED THE SAME INTO LOTS AND OR UNITS TOGETHER WITH EASEMENTS HEREAFTER TO BE KNOWN AS:

ROCKWELL STATION
AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

[Signature]
MATT STONES
UT PLS #7176711



SUBDIVISION DESCRIPTION:

AMENDING A PORTION OF LOTS 7 AND 8 OF BLOCK 24, DRAPERVILLE, AND A PORTION OF THE NORTHERLY 1 ROD OF LOTS 1 AND 2 OF BLOCK 24, DRAPERVILLE, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT 36.25 FEET SOUTH 89°54'15" EAST FROM THE WEST QUARTER CORNER OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE SOUTH 89°54'15" EAST 209.81 FEET, MORE OR LESS, TO THE WESTERLY RIGHT OF WAY LINE OF 700 EAST STREET; THENCE NORTHERLY ALONG SAID RIGHT OF WAY LINE AND A 676.65 FOOT RADIUS CURVE TO THE RIGHT, A DISTANCE OF 297.40 FEET (CHORD BEARS N 01°15'44" E A DISTANCE OF 297.37 FEET), MORE OR LESS TO THE SOUTHERLY RIGHT OF WAY LINE OF 12100 SOUTH STREET; THENCE ALONG SAID RIGHT OF WAY LINE WEST 182.91 FEET; THENCE SOUTH 00°05'45" WEST 280.50 FEET, MORE OR LESS TO THE NORTH LINE OF SAID LOT 1 OF BLOCK 24, DRAPERVILLE; THENCE ALONG SAID LOT LINE NORTH 89°54'15" WEST 32.96 FEET; THENCE SOUTH 00°05'45" WEST 16.50 FEET TO THE POINT OF BEGINNING.

CONTAINING: 53,615 SQFT OR 1.231 ACRES, MORE OR LESS, IN TWO (2) COMMERCIAL LOTS.

OWNERS DEDICATION AND CONSENT TO RECORD:

KNOWN ALL MEN BY THESE PRESENTS THAT IWE THE UNDERSIGNED OWNER(S) OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS/UNITS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID PLAT:

ROCKWELL STATION SUBDIVISION

A COMMERCIAL SUBDIVISION AMENDING PORTIONS OF LOTS 1, 2 AND 7 AND ALL OF LOT 8,
DRAPERVILLE TOWNSITE

AND DO HEREBY DEDICATE, GRANT AND CONVEY TO DRAPER CITY, UTAH: ALL THOSE PARTS OF SAID TRACT OF LAND DESIGNATED AS PUBLIC STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES; THOSE CERTAIN PUBLIC UTILITY EASEMENTS AS SHOWN HEREON, THE SAME TO BE USED IN THE INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE; AND THOSE PARCELS DESIGNATED AS PUBLIC OPEN SPACE, PARKS, OR EASEMENTS OR SIMILAR DESIGNATION.

IN WITNESS WHEREOF IWE HAVE HEREUNTO SET OUR HAND(S) THIS ____ DAY OF ____ AD, 20____

OWNER(S)

PRINT NAME: _____ SIGNED: _____
MANAGER, DRAPER ROCKWELL STATION, LLC.

CORPORATE ACKNOWLEDGEMENT:

I, ADAM WATTS, BEING DULY SWORN, DEPOSE AND SAY THAT I AM THE MANAGER OF DRAPER ROCKWELL STATION, LLC, AND AM HEREBY AUTHORIZED TO EXECUTE THE SAME, SIGN THE ATTACHED APPLICATION AND THAT THE STATEMENTS HEREIN CONTAINED AND THE INFORMATION PROVIDED IN THE ATTACHED PLANS AND OTHER EXHIBITS ARE IN ALL RESPECTS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE. WE ALSO ACKNOWLEDGE THAT WE HAVE RECEIVED WRITTEN INSTRUCTIONS REGARDING THE PROCESS FOR WHICH WE ARE APPLYING. WE FURTHER DECLARE:

- WHILE CITY STAFF MAY OFFER SUGGESTIONS REGARDING MY APPLICATION, I (WE) UNDERSTAND I (WE) AM (ARE) RESPONSIBLE TO ENSURE THE APPLICATION COMPLIES WITH THE DRAPER CITY MUNICIPAL CODE AND ALL OTHER APPLICABLE STATE AND FEDERAL LAWS;
- I (WE) ACKNOWLEDGE CITY STAFF CANNOT BIND THE CITY AND THE DECISION-MAKING BODY WITH JURISDICTION HAS THE SOLE AUTHORITY TO REVIEW AND APPROVE MY (OUR) APPLICATION; AND
- I (WE) AM (ARE) FREE TO RETAIN ADVISORS OF MY (OUR) OWN CHOOSING TO ASSIST ME (US) WITH ALL ASPECTS OF MY (OUR) APPLICATION.

STATE OF UTAH
COUNTY OF SALT LAKE } S.S.

ON THIS ____ DAY OF ____ 20____, PERSONALLY APPEARED BEFORE ME ADAM WATTS, SIGNER OF THE HEREON OWNER'S DEDICATION AND CONSENT TO RECORD, WHO BEING DULY SWORN DID SAY THAT HE/SHE IS THE MANAGER OF DRAPER ROCKWELL STATION, LLC, AND THAT THEY SIGNED THIS PLAT ENTITLED "ROCKWELL STATION SUBDIVISION" ON BEHALF OF SAID DRAPER ROCKWELL STATION, LLC AND HAVE ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

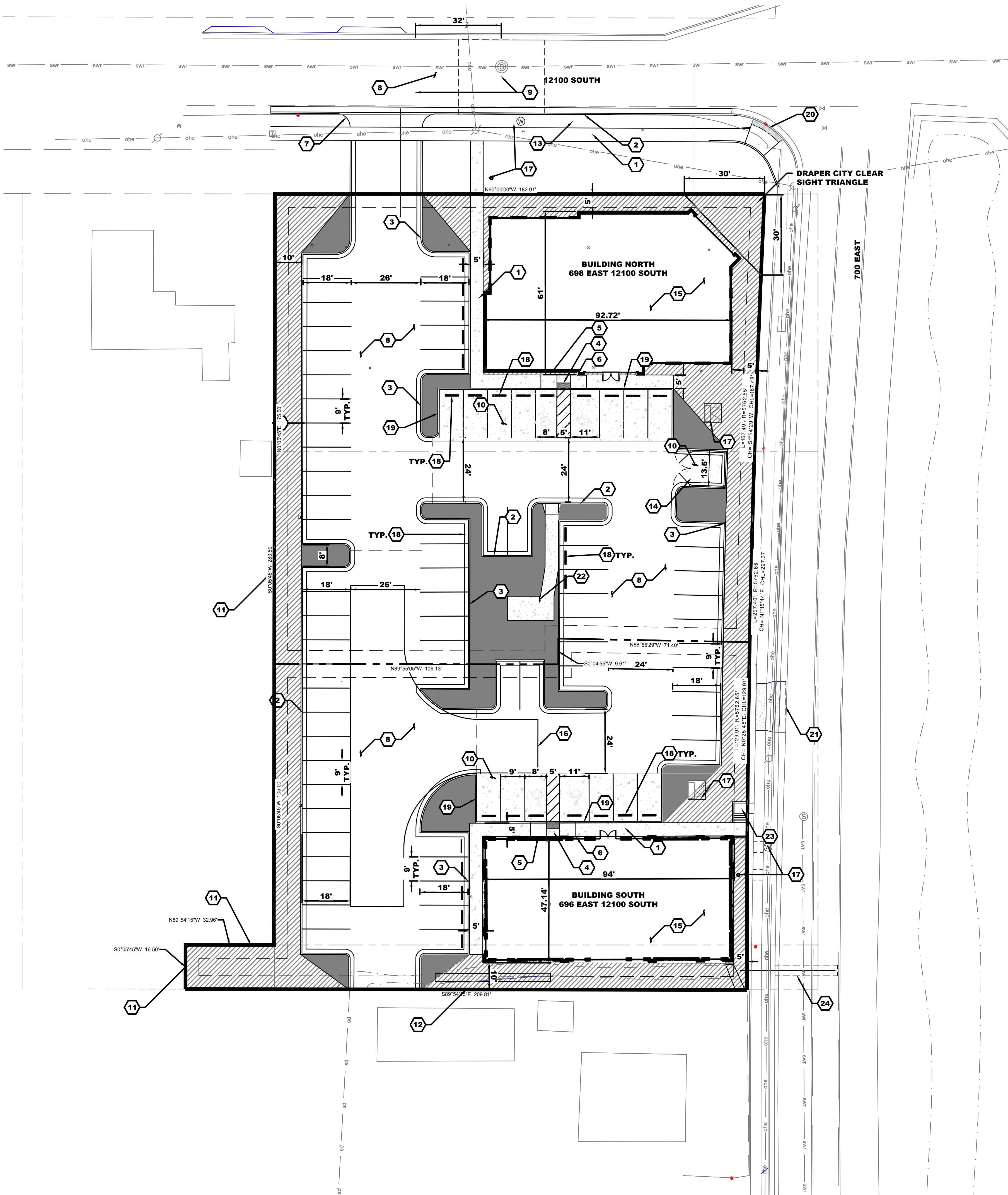
NOTARY PUBLIC
MY COMMISSION EXPIRES: _____
RESIDING IN: _____

RECORDER INFORMATION

RECORD # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF: _____
DATE: _____ TIME: _____
BOOK: _____ PAGE: _____
FEE \$: _____
SALT LAKE COUNTY RECORDER

WATERPRO APPROVAL SIGNED _____ DATE _____	CENTURY LINK APPROVAL SIGNED _____ DATE _____	DOMINION ENERGY APPROVAL SIGNED _____ DATE _____	SALT LAKE COUNTY SURVEYOR: RECORD OF SURVEY NUMBER: _____ COUNTY SURVEYOR REVIEWER: _____ DATE: _____	DRAPER CITY ENGINEERING: APPROVED AS TO COMPLIANCE WITH DRAPER CITY ORDINANCE. DRAPER CITY ENGINEER: _____ DATE: _____	DRAPER CITY MAYOR: PRESENTED TO THE DRAPER CITY MAYOR THIS _____ DAY OF _____ AD, 2022, AT WHICH TIME THIS PLAT WAS APPROVED AND ACCEPTED. MAYOR: _____ ATTEST: CITY RECORDER
COMCAST APPROVAL SIGNED _____ DATE _____	ROCKY MOUNTAIN POWER APPROVAL SIGNED _____ DATE _____	PLANNING COMMISSION: APPROVED THIS ____ DAY OF ____ A.D. 2022 BY DRAPER CITY PLANNING COMMISSION. PLANNING COMMISSION	SALT LAKE COUNTY HEALTH DEPARTMENT: APPROVED THIS ____ DAY OF ____ A.D. 2022 SIGNED _____ DATE: _____	SOUTH VALLEY SEWER DISTRICT: APPROVED THIS ____ DAY OF ____ A.D. 2022 BY SOUTH VALLEY SEWER DISTRICT. SIGNED _____ DATE: _____	APPROVAL AS TO FORM: APPROVED THIS ____ DAY OF ____ A.D., 2022. DRAPER CITY ATTORNEY

EXHIBIT F
SITE PLAN



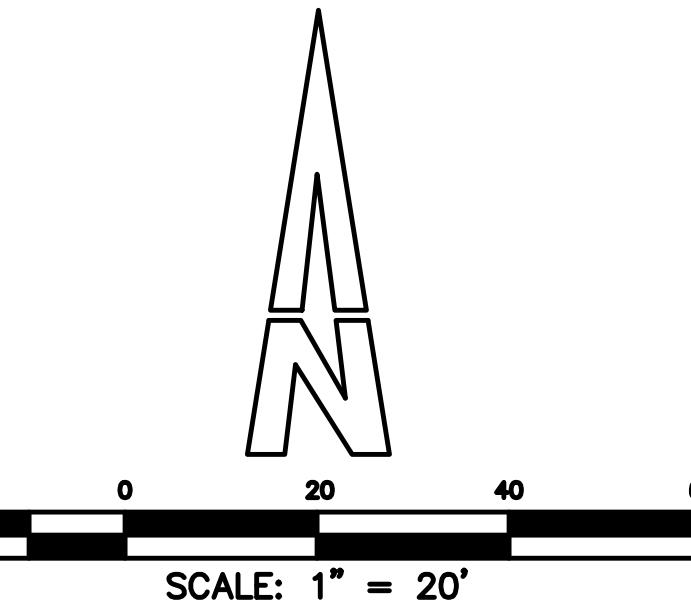
GENERAL SITE NOTES:
1. MECHANICAL EQUIPMENT TO BE ROOF MOUNTED.

HATCH LEGEND

- LANDSCAPING
- INTERIOR PARKING LANDSCAPING
- CONCRETE

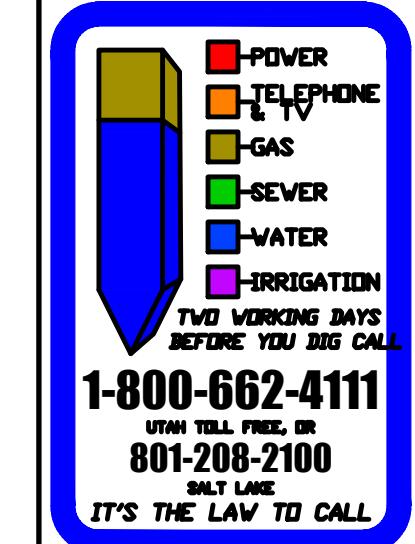
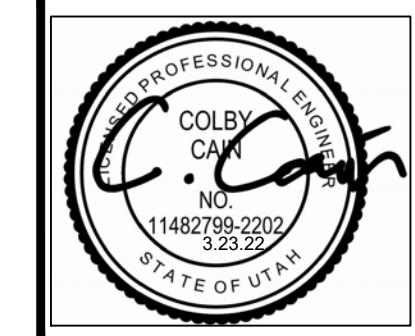
SITE STATISTICS TABLE		
TOTAL BUILDING SQ FT	19380	
REQUIRED PARKING	78	(4 PER 1,000 SQ FT)
10% ++ PER DRAPER CODE	7	
MIN. REQUIRED PARKING	71	
PROVIDED PARKING	82	
REQUIRED ADA	4 (2 VAN STALLS)	
PROVIDED ADA	4 (2 VAN STALLS)	
AREAS		
AREAS	SO FT	ACRES %
BUILDING	9533.00	0.219 18%
LANDSCAPE	1322.88	0.304 25%
HARDSCAPE	30831.12	0.708 58%
TOTAL AREA	53587.00	1.23 100%
INTERIOR PARKING AREAS		
INTERIOR PARKING AREA	32306.76	0.742 100%
INTERIOR LANDSCAPE AREA	3854.69	0.088 12%

DETAILED BY: TJB 3.23.2022 DETAILED BY: TJB 3.23.2022 CHECKED BY: CC 3.23.2022 PROJECT #: 21-010



SITE PLAN KEY NOTES

- ① FURNISH AND INSTALL SIDEWALK PER DRAPER CITY STANDARD PLAN ST-12. SEE SHEET C1-1.
- ② FURNISH AND INSTALL CURB AND GUTTER PER DRAPER CITY STANDARD PLAN ST-10. SEE SHEET C1-1.
- ③ FURNISH AND INSTALL CURB AND GUTTER (SPILL). SEE SHEET C1-1.
- ④ FURNISH AND INSTALL ADA RAMP PER APWA STANDARD PLAN 236.3. SEE SHEET C1-1
- ⑤ FURNISH AND INSTALL ADA PARKING SIGN PER A1. SEE SHEET C1-1
- ⑥ FURNISH AND INSTALL ADA VAN PARKING SIGN PER A1. SEE SHEET C1-1
- ⑦ FURNISH AND INSTALL RADIUS DRIVE APPROACH PER DRAPER CITY STANDARD PLAN ST-09, NO CENTER CURB BARRIER NEEDED. SEE SHEET C1-1.
- ⑧ FURNISH AND INSTALL ASPHALT PAVEMENT & BASE PER DRAPER CITY STANDARDS, SEE C1-1 FOR CROSS SECTION.
- ⑨ SAWCUT EXISTING ASPHALT PER DRAPER CITY STANDARD DETAIL ST-19.
- ⑩ FURNISH AND INSTALL CONCRETE PAVEMENT & BASE PER DRAPER CITY STANDARDS.
- ⑪ FURNISH AND INSTALL 8' PRECAST CONCRETE FENCE, SEE SHEET C1-2 FOR DETAILS.
- ⑫ FURNISH AND INSTALL 6' FENCE, SEE SHEET C1-3 FOR DETAILS.
- ⑬ FURNISH AND INSTALL PARKSTRIP PER DRAPER CITY STANDARDS AND SPECIFICATIONS. REFERENCE LANDSCAPE PLAN.
- ⑭ FURNISH AND INSTALL DUMPSTER ENCLOSURE, REFERENCE ARCHITECTURAL PLANS PG AS501 FOR DETAILS.
- ⑮ PROPOSED BUILDING LOCATION, REFERENCE ARCHITECTURE PLANS FOR DETAILS.
- ⑯ FIRE TRUCK TURN AROUND PER IFC.
- ⑰ SERVICE UTILITY, SEE SHEET C4-0 FOR DETAILS.
- ⑱ PARKING WHEEL STOP.
- ⑲ 6"X12" CURB WALL PER DETAIL C3 SEE SHEET C1-2
- ⑳ PEDESTRIAN RAMP PER UDOT STANDARD DRAWING PA-5 SINGLE DIAGONAL CORNER APEX RAMP OPTION. MUST BE INSTALLED BY UDOT CERTIFIED CONTRACTOR.
- ㉑ EXISTING DRIVEWAY TO BE REMOVED. REFERENCE SHEET U1-0 FOR DETAILS.
- ㉒ AMENITIES AREA, REFERENCE LANDSCAPE PLANS FOR DETAILS.
- ㉓ FURNISH AND INSTALL STAIRS, REFERENCE GRADING PLAN FOR DETAILS.
- ㉔ FULL DEPTH ASPHALT/CONCRETE SAWCUT AND PATCH PER UDOT STANDARDS AND SPECIFICATIONS.

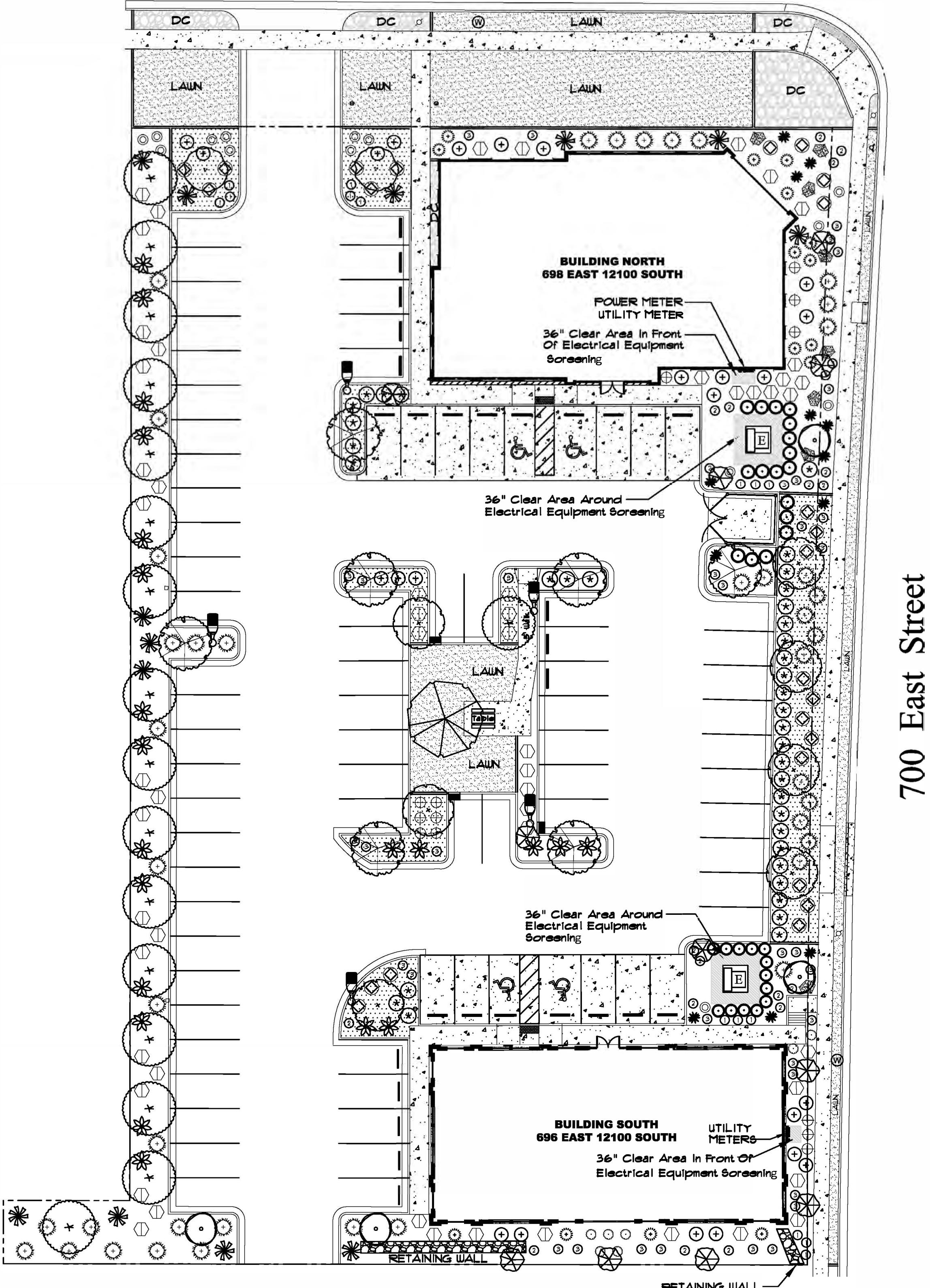


NORTHSTAR DRAPER

696 E. 12100 SOUTH & 698 E. 12100 SOUTH

EXHIBIT G
LANDSCAPE PLAN

12100 South Street



Plant List (Trees)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
2		<i>Cercis canadensis</i>	Eastern Redbud	1 1/2" Caliper 8'-10' Height	Matched Full Heads
6		<i>Crataegus crus-galli</i>	Cockspur Hawthorn	2" Caliper 8'-10' Height	Matched Full Heads
1		<i>Gleditsia t. 'Skyline'</i>	Skyline Honeylocust	2" Caliper 8'-10' Height	Matched Full Heads
11		<i>Koelreuteria p. 'Golden Candle'</i>	Columnar Goldenrain Tree	1 1/2" Caliper 8'-10' Height	Matched Full Heads
4		<i>Quercus robur 'Fastigiata'</i>	Columnar English Oak	2" Caliper 10'-12' Height	Matched Full Heads
6		<i>Syringa reticulata 'Ivory Silk'</i>	Ivory Silk Flowering Lilac	1 1/2" Caliper 8'-10' Height	Matched Full Heads
17	*	<i>Zelkova serrata 'Musashino'</i>	Musashino Zelkova	2" Caliper	Matched Full Heads

Plant List (Shrubs)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
1	○	<i>Buxus Japonica 'Julia Jane'</i>	Julia Jane Boxwood	5 Gallon	18"-24" Ht.
13	*	<i>Cotinus coggygria</i>	Purple Smoke Bush	5 Gallon	24"-30" Ht.
21	*	<i>Physocarpus o. 'Summer Wine'</i>	Summer Wine Ninebark	5 Gallon	18"-24" Ht.
14	○	<i>Pinus mugo m. 'Slowmound'</i>	Slowmound Dw. Mugo Pine	5 Gallon	15"-18" Ht.
31	⊕	<i>Prunus besseyi</i>	Western Sand Cherry	5 Gallon	18"-24" Ht.
41	○	<i>Rhus aromatica 'Gro-Low'</i>	Gro-Low Sumac	5 Gallon	18"-24" Sp.
24	○	<i>Rosa 'Radrazz'</i> Knock-Out	Radrazz Knock-Out Rose	5 Gallon	18"-24" Ht.
24	○	<i>Spiraea japonica 'Neon Flash'</i>	Neon Flash Spiraea	5 Gallon	15"-18" Ht.
30	○	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Arborvitae	5 Gallon	36"-42" Ht.
12	*	<i>Yucca filamentosa 'Golden Sword'</i>	Golden Sword Yucca	5 Gallon	15"-18" Ht.

Plant List (Ornamental Grasses/Perennials)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
13	⊕	<i>Calamagrostis a. 'Avalanche'</i>	Avalanche Feather Grass	5 Gallon	24"-30" Ht.
53	⊖	<i>Calamagrostis a. 'Karl Foerster'</i>	Karl Foerster Feather Grass	5 Gallon	24"-30" Ht.
14	○	<i>Pennisetum apol. 'Hameln'</i>	Dwarf Fountain Grass	5 Gallon	15"-18" Ht.
15	○	<i>Hemerocallis 'Stella d'Oro'</i>	Stella d'Oro Daylily	1 Gallon	Full Can
21	○	<i>Lavandula 'Hidcote Blue'</i>	Hidcote Blue Lavender	1 Gallon	Full Can
31	○	<i>Salvia 'May Night'</i>	May Night Salvia	1 Gallon	Full Can

Planting Notes

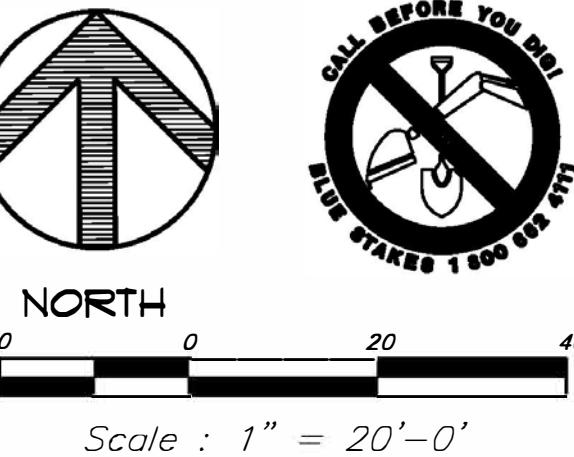
- All lawn areas shall receive a 4 inch depth of topsoil, all shrub planting areas shall receive a 4 inch depth of topsoil. Topsoil material is not available at the site and must be imported from an approved local source. All topsoil for landscape operations shall be of a sandy loam consistency.
- All new lawn areas shall be sodded using high grade material of a water conservative mixture, and shall be composed of multiple drought tolerant bluegrass varieties.
- All plant material holes shall be dug twice the diameter of the rootball and 3 inches deeper. Excavated material shall be removed from the site or re-used in the planting backfill mixture.
- Plant backfill mixture shall be composed of 2 parts topsoil to 1 part native soil to 1 part humus additive (Soil Pep) and be mechanically mixed on-site in stockpiles prior to installation.
- All trees (if any) located in lawn areas shall receive an 'Arbor Guard' trunk protector, or equal, and have a 36 inch diameter sod-free ring. All trees shall be staked for wind protection, unless otherwise indicated.
- Upon completion of planting operations, all shrub pits and tree wells shall receive a four inch depth of fine ground bark mulch mixture as a cover. The overall shrub beds themselves shall receive a 4" depth of decorative stone, the exact product(s) as specified per the legend and notes.
- The contractor shall install "DeWitt" Pro-5 weed barrier fabric in all planting areas, secured to the ground surface with provided staples, with a 6" overlap at seams. Fabric shall be cut at plant locations to edge of rootball, where bark mulch is installed. Provide (2) applications of pre-emergent herbicide, one on the topsoil surface prior to fabric installation, the other on top of decorative stone following installation.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

Sub-Grade Requirements

- LAWN AREAS : Six (6) inches below finish grade. This will allow for the installation of a 4 inch depth of import topsoil along with the sodding material, leaving it slightly below finish grade and concrete curbs, walks and other hardscape surfaces.
- SHRUB AREAS : Eight (8) inches below finish grade. This will allow for the installation of a 4 inch depth of import topsoil along with a four inch depth of lightly compacted bark mulch or decorative stone mulch, leaving it slightly below finish grade and concrete areas.
- ROCK ONLY COBBLE AREAS : Seven (7) inches below finish grade. This will allow for the installation of a 6 inch depth of decorative stone over the weed barrier fabric, leaving it slightly below finish grade and concrete areas.
- COORDINATION : The landscape contractor, early on in the construction process, shall meet with the earthwork/grading contractor in order to ensure that all required sub-grades (prior to topsoil placement) shall be provided. The landscape contractor shall not proceed on the project until they have reviewed and approved all sub-grade elevations in coordination with the earthwork and general contractor.

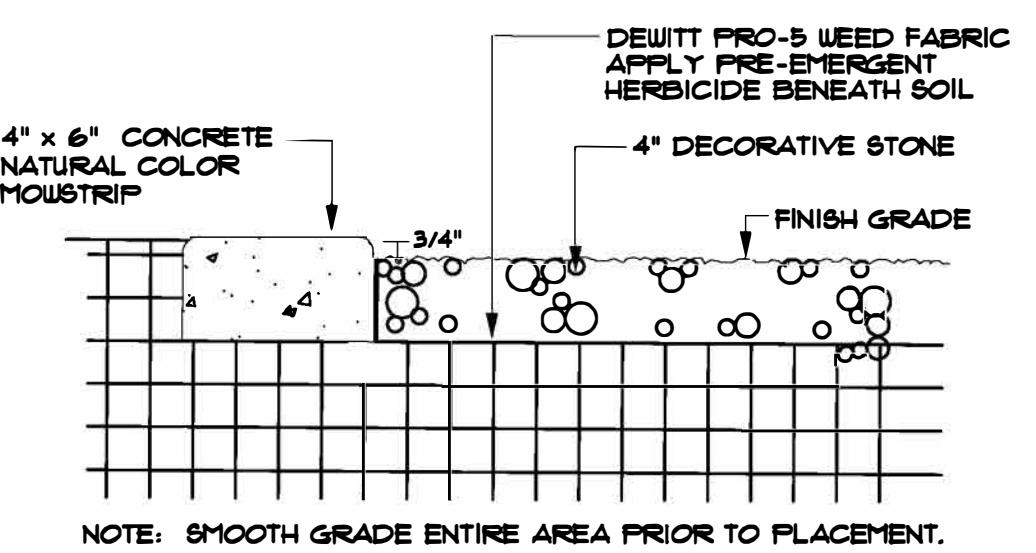
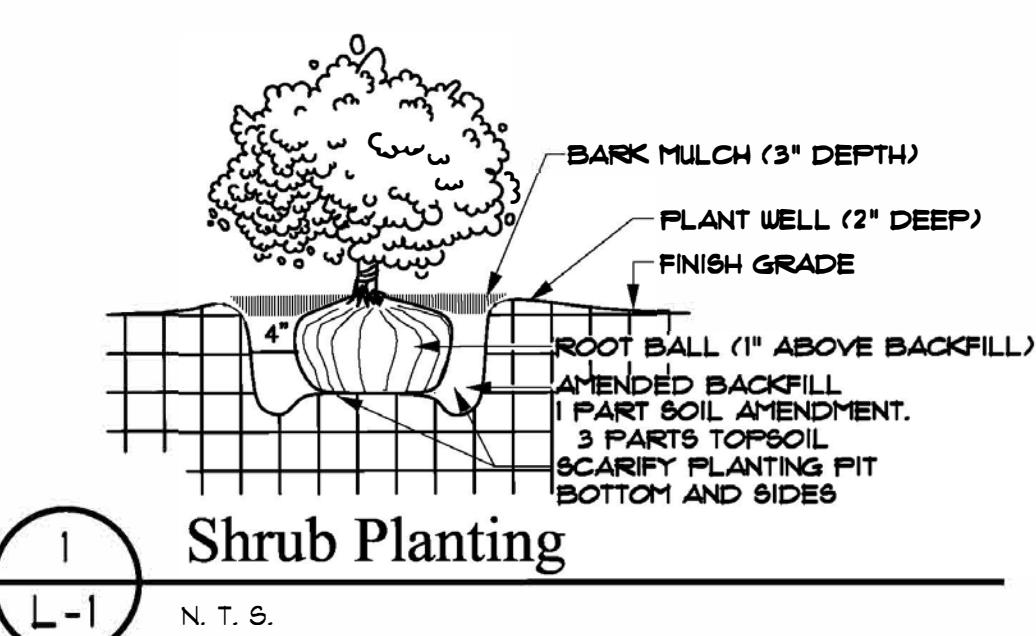
Submittal Requirements

- The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as boulders, decorative stone, bark mulches, weed barrier fabric, soil amendments & import topsoil in order to obtain approval to be used on the project, and prior to any shipment to the site. Failure to provide this in a timely manner will in no way affect the construction schedule and time for project completion.
- All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of the project. No substitutions will be considered following this time period.

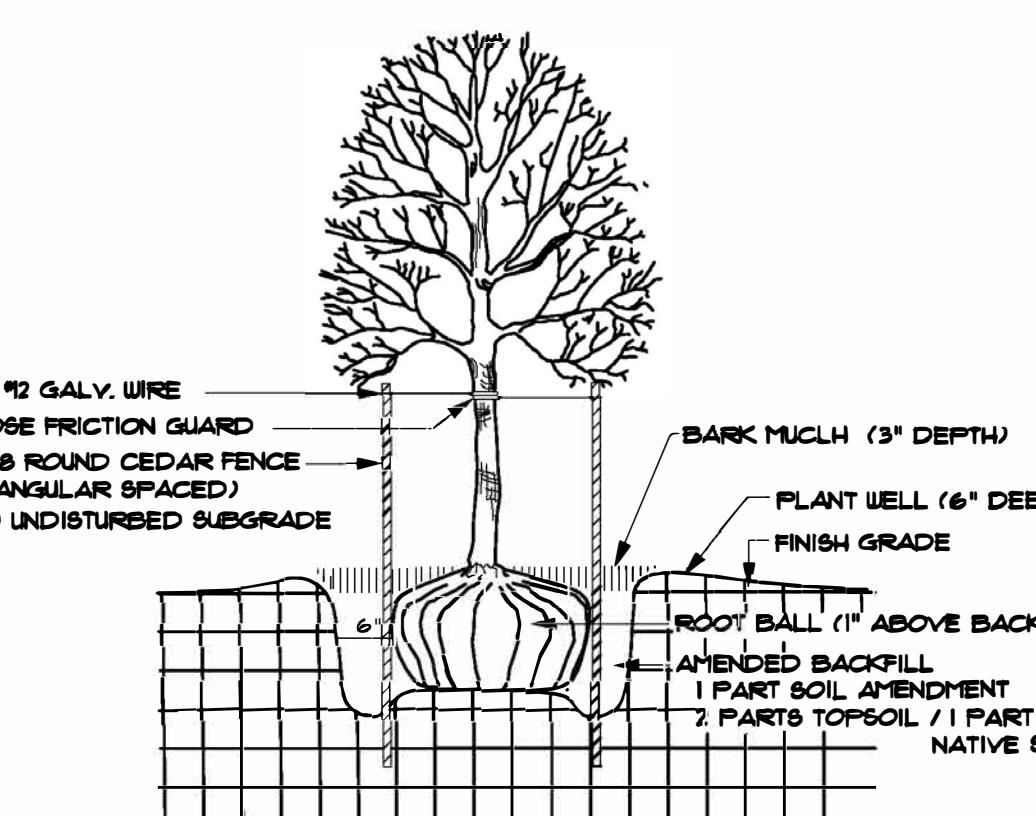


Legend

Symbol	Description
DC	Landscape Boulder / Brown's Canyon "Blonde" Install Partially Into Soil Surface. Product To Be Blockish Shape, 4' Minimum Size.
—	4"x6" Concrete Mowstrip Installed Where Shown, In True, Straight True Lines, Flue To All Edges. Compact Sub-Grade Prior To Installation.
LAWN	New Lawn Area / Water Conservative Mixture Install Sodding Material Over 4" Topsoil Depth Provide Spec. Sheet Of Proposed Material.
DC	New Rock/Cobble Area. Install Product To A Depth Of 6" Over Weed Barrier. Product To Be "Nephi Cobble" (2"-4" Size).
—	New Rock/Cobble Area. Install Product To A Depth Of 4" Over Weed Barrier. Product To Be "Crushed Construction Rock" (1 1/2" Minus).
NO HATCH	New Rock/Cobble Area. Install Product To A Depth Of 4" Over Weed Barrier. Product To Be "South Town" (1 1/2" Size).
NOTE:	Rock & Cobble Products Available From Staker-Parson Landscape Centers, Or Equal.

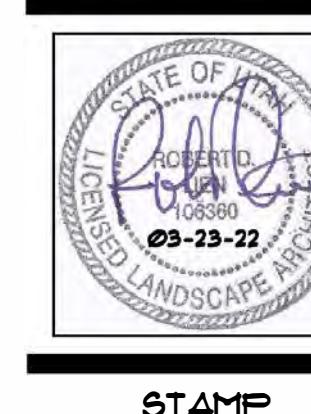


2
L-1
N. T. S.



3
L-1
N. T. S.

RDL Design Company, Inc.
1220 East 4th Avenue, Salt Lake City, Utah 84105
Phone: 801-641-3144
Email: rdlodesign@castnet.net



Rockwell Station North & South
698 E. 12100 S. (North) 696 E. 12100 S. (South)
Draper, Utah 84020

PROJECT:
DRAWN BY: RDL
CHECK BY: RDL
ISSUE DATE: 02-01-21
REVISIONS: 02-22-22
03-23-22

Landscaping
Planting
Plan
SHEET TITLE
SHEET NUMBER

L-1

EXHIBIT H
ARCHITECTURAL ELEVATIONS

**FIVE DEGREES DESIGN**

3651 NORTH 100 EAST, STE 225
PROVO, UTAH 84604
801.960.9381
architect@fivedegreesdesign.com

DATE: 23 MARCH 2022
PROJECT #: 21-080
DRAWN BY: RDW
CHECKED BY: BCH

REVISIONS

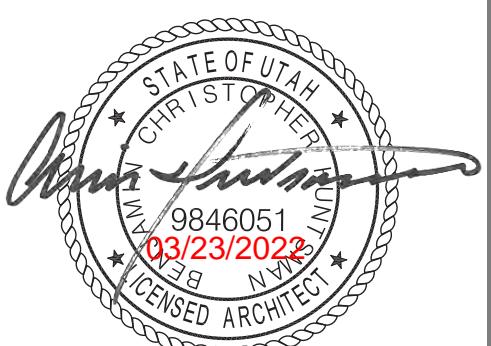


BUILDING MATERIAL	COLOR
BRICK	CHARCOAL
WOOD PLANK COMPOSITE SIDING	WALNUT
BOARD FORM	LIGHT GRAY
METAL SIDING	DARK GRAY

MECHANICAL EQUIPMENT TO BE LOCATED ON THE ROOF AND SCREENED BY THE ROOF PARAPET

GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- C. ROOFING TO BE CLASS 'C' MINIMUM.
- D. DO NOT SCALE DRAWINGS FOR CONSTRUCTION.
- E. PROVIDE METAL FLASHING AND COUNTER FLASHING AS REQUIRED TO PROVIDE WATERPROOF BUILDING. NO PLASTIC FLASHING ALLOWED.
- F. EXPOSED CONCRETE FOUNDATION WALLS TO RECEIVE RUBBED FINISH. ALL ROOF PENETRATIONS MAY NOT BE SHOWN. REFER TO ENGINEERING SHEETS FOR ALL REQUIRED PENETRATIONS AND DETAILING.
- G. SEE MECHANICAL SHEETS FOR BATHROOM EXHAUST, CLOTHES DRYER VENTS, AND OTHER PENETRATIONS IN EXTERIOR WALLS AND ROOF.
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- N. PER DCMC SECTION 9-22-040(D) ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.



PROJECT

ROCKWELL STATION NORTH BUILDING

ADDRESS:
698 EAST 12100 SOUTH
DRAPER, UT 84020

ARCHITECTURAL**EXTERIOR ELEVATIONS****AE201****AE201**

1

2

3

4

5

BUILDING MATERIAL	TOTALS
OVERALL BUILDING FAÇADE AREA	100% 848.79 SF
PRIMARY MATERIALS	
WOOD PLANK COMPOSITE SIDING	62.2% 528.23 SF
BOARD FORM CONC.	27.5% 233.56 SF
METAL SIDING	10.3% 87.00 SF

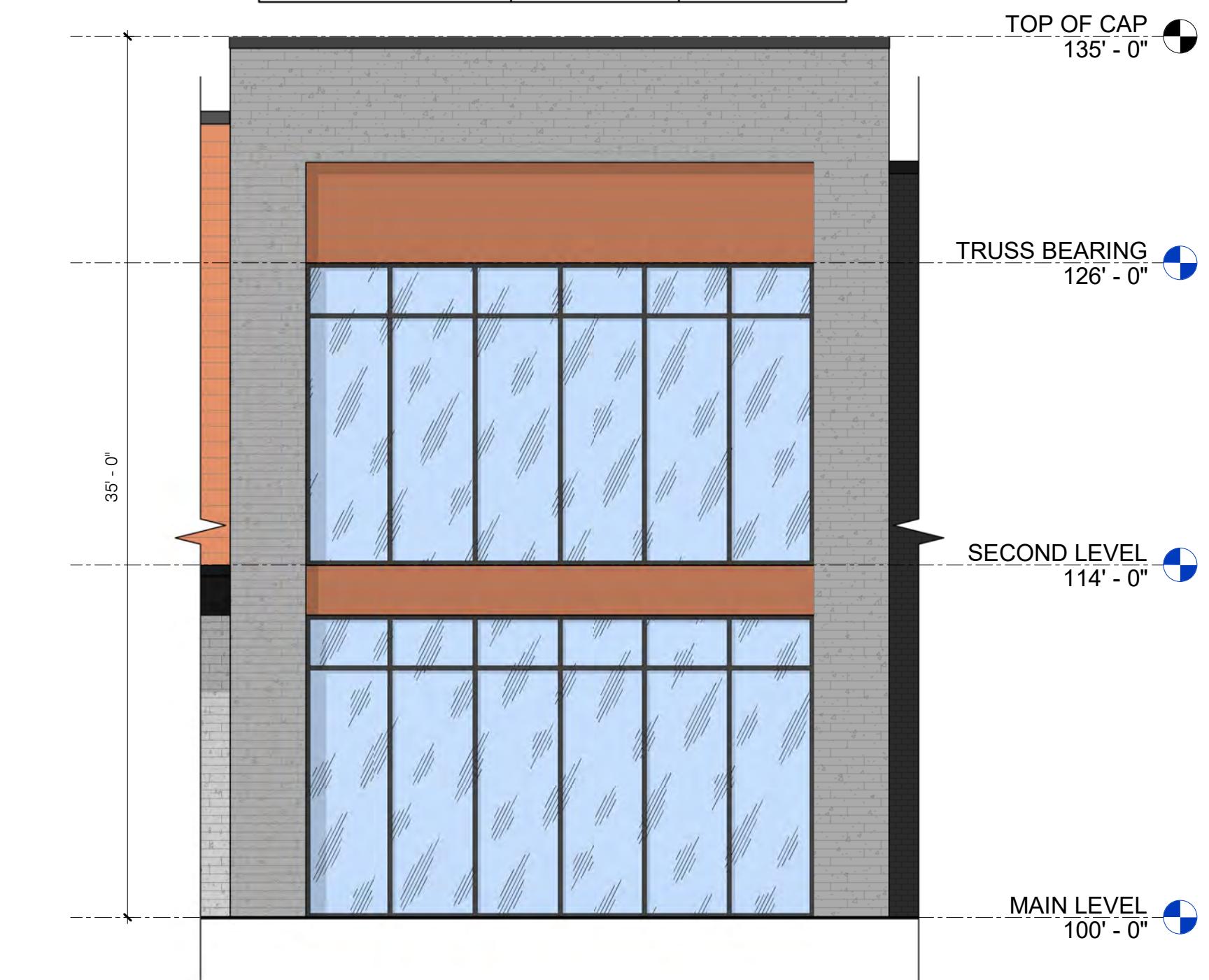


B2 EAST ELEVATION

AE202

SCALE: 3/16" = 1'-0"

BUILDING MATERIAL	TOTALS
OVERALL BUILDING FAÇADE AREA	100% 432.79 SF
PRIMARY MATERIALS	
WOOD PLANK COMPOSITE SIDING	27.9% 121.00 SF
BOARD FORM CONC.	72.1% 311.79 SF



B5 NORTHEAST CORNER ELEVATION

AE202

SCALE: 3/16" = 1'-0"

BUILDING MATERIAL	TOTALS
OVERALL BUILDING FAÇADE AREA	100% 1,181.90 SF
PRIMARY MATERIALS	
BRICK	39.7% 469.25 SF
WOOD PLANK COMPOSITE SIDING	30.2% 356.54 SF
BOARD FORM CONC.	15.7% 186.00 SF
METAL SIDING	14.4% 170.11 SF



D2 WEST ELEVATION

AE202

SCALE: 3/16" = 1'-0"

BUILDING MATERIAL	COLOR
BRICK	CHARCOAL
WOOD PLANK COMPOSITE SIDING	WALNUT
BOARD FORM	LIGHT GRAY
METAL SIDING	DARK GRAY

MECHANICAL EQUIPMENT TO BE LOCATED ON THE ROOF AND SCREENED BY THE ROOF PARAPET

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FIVE DEGREES DESIGN
3651 NORTH 100 EAST, STE 225
PROVO, UTAH 84604
801.960.9381
architect@fivedegreesdesign.com

DATE: 23 MARCH 2022
PROJECT #: 21-080
DRAWN BY: RDW
CHECKED BY: BCH

REVISIONS

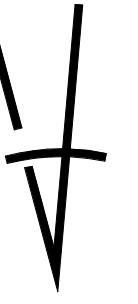
STATE OF UTAH
CHRISTOPHER
9846051
03/23/2022
LICENSED ARCHITECT

PROJECT

**ROCKWELL
STATION
NORTH
BUILDING**ADDRESS:
698 EAST 12100 SOUTH
DRAPER, UT 84020**ARCHITECTURAL**

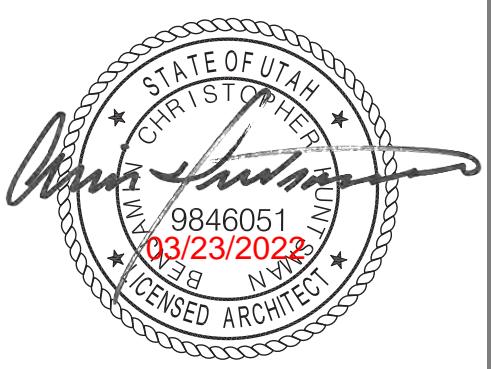
EXTERIOR ELEVATIONS

AE202

**FIVE DEGREES DESIGN**

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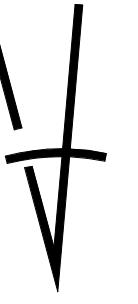
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REVISIONS



9846051

03/23/2022

LJW

**FIVE DEGREES DESIGN**

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PROVO, UTAH 84604
801.960.9381
architect@fivedegreesdesign.com

DATE: 23 MARCH 2022
PROJECT #: 21-081
DRAWN BY: TDG
CHECKED BY: BCH

REVISIONS**B1** NORTH ELEVATION

AE201

SCALE: 3/16" = 1'-0"

BUILDING MATERIAL	TOTALS	
OVERALL BUILDING FAÇADE AREA	100%	2,153.40 SF
PRIMARY MATERIALS		
BRICK	70.5%	1,517.93 SF
WOOD PLANK COMPOSITE SIDING	18.4%	395.64 SF
METAL	2.7%	57.17 SF
PRE-CAST STONE	8.4%	182.66 SF

BUILDING MATERIAL	COLOR	SWATCH
BRICK	WHITE	
WOOD PLANK COMPOSITE SIDING	WALNUT	
PRE-CAST STONE	DARK GRAY	
METAL	DARK GRAY	

**D1** SOUTH ELEVATION

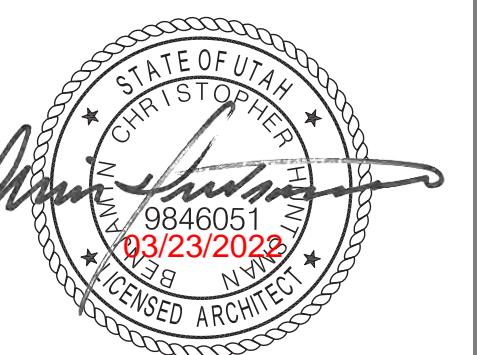
AE201

SCALE: 3/16" = 1'-0"

**MECHANICAL EQUIPMENT TO BE LOCATED ON THE
ROOF AND SCREENED BY THE ROOF PARAPET**

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**PROJECT****ROCKWELL
STATION
SOUTH
BUILDING****PRELIMINARY DRAWINGS**

ADDRESS:
696 EAST 12100 SOUTH
DRAPER, UTAH 84020

ARCHITECTURAL**EXTERIOR ELEVATIONS****AE201**



B1 EAST ELEVATION

AE202

SCALE: 3/16" = 1'-0"

BUILDING MATERIAL	TOTALS
OVERALL BUILDING FAÇADE AREA	100% 946.05 SF
PRIMARY MATERIALS	
BRICK	53.8% 509.25 SF
WOOD PLANK COMPOSITE SIDING	39.5% 373.12 SF
METAL	1.9% 18.00 SF
PRE-CAST STONE	4.8% 45.68 SF

BUILDING MATERIAL	COLOR	SWATCH
BRICK	WHITE	
WOOD PLANK COMPOSITE SIDING	WALNUT	
PRE-CAST STONE	DARK GRAY	
METAL	DARK GRAY	



FIVE DEGREES DESIGN

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PROJECT #: 21-081
DRAWN BY: TDG
CHECKED BY: BCH

REVISIONS



D2 WEST ELEVATION

AE202

SCALE: 3/16" = 1'-0"

**MECHANICAL EQUIPMENT TO BE LOCATED ON THE
ROOF AND SCREENED BY THE ROOF PARAPET**

GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- C. ROOFING TO BE CLASS 'C' MINIMUM.
- D. DO NOT SCALE DRAWINGS FOR CONSTRUCTION.
- E. PROVIDE METAL FLASHING AND COUNTER FLASHING AS REQUIRED TO PROVIDE WATERPROOF BUILDING. NO PLASTIC FLASHING ALLOWED.
- F. EXPOSED CONCRETE FOUNDATION WALLS TO RECEIVE RUBBED FINISH. ALL ROOF PENETRATIONS MAY NOT BE SHOWN. REFER TO ENGINEERING SHEETS FOR ALL REQUIRED PENETRATIONS AND DETAILING.
- G. SEE MECHANICAL SHEETS FOR BATHROOM EXHAUST, CLOTHES DRYER VENTS, AND OTHER PENETRATIONS IN EXTERIOR WALLS AND ROOF. SEE PLUMBING SHEETS FOR GAS METER AND SECONDARY ROOF DRAINAGE BRASS SCUPPER LOCATIONS ALONG EXTERIOR WALLS.
- H. SEE ELECTRICAL SHEETS FOR ELECTRICAL METER, GEAR, AND EXTERIOR LIGHT FIXTURE LOCATIONS.
- I. SEE AE601 FOR DOOR AND WINDOW INFORMATION.
- J. PROVIDE PRE-FINISHED CUT ALUMINUM NUMBERS AND LETTERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF NUMBERS AND LETTERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THE ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- K. THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH THE CURRENT CITY SIGN ORDINANCE.
- L. PER DCMC SECTION 9-22-040(I) WINDOWS NEXT TO PEDESTRIAN WALKWAYS SHALL BE TRANSPARENT.
- M. PER DCMC SECTION 9-22-040(D) ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.



PROJECT

ROCKWELL STATION SOUTH BUILDING

PRELIMINARY DRAWINGS

ADDRESS:
696 EAST 12100 SOUTH
DRAPE, UTAH 84020

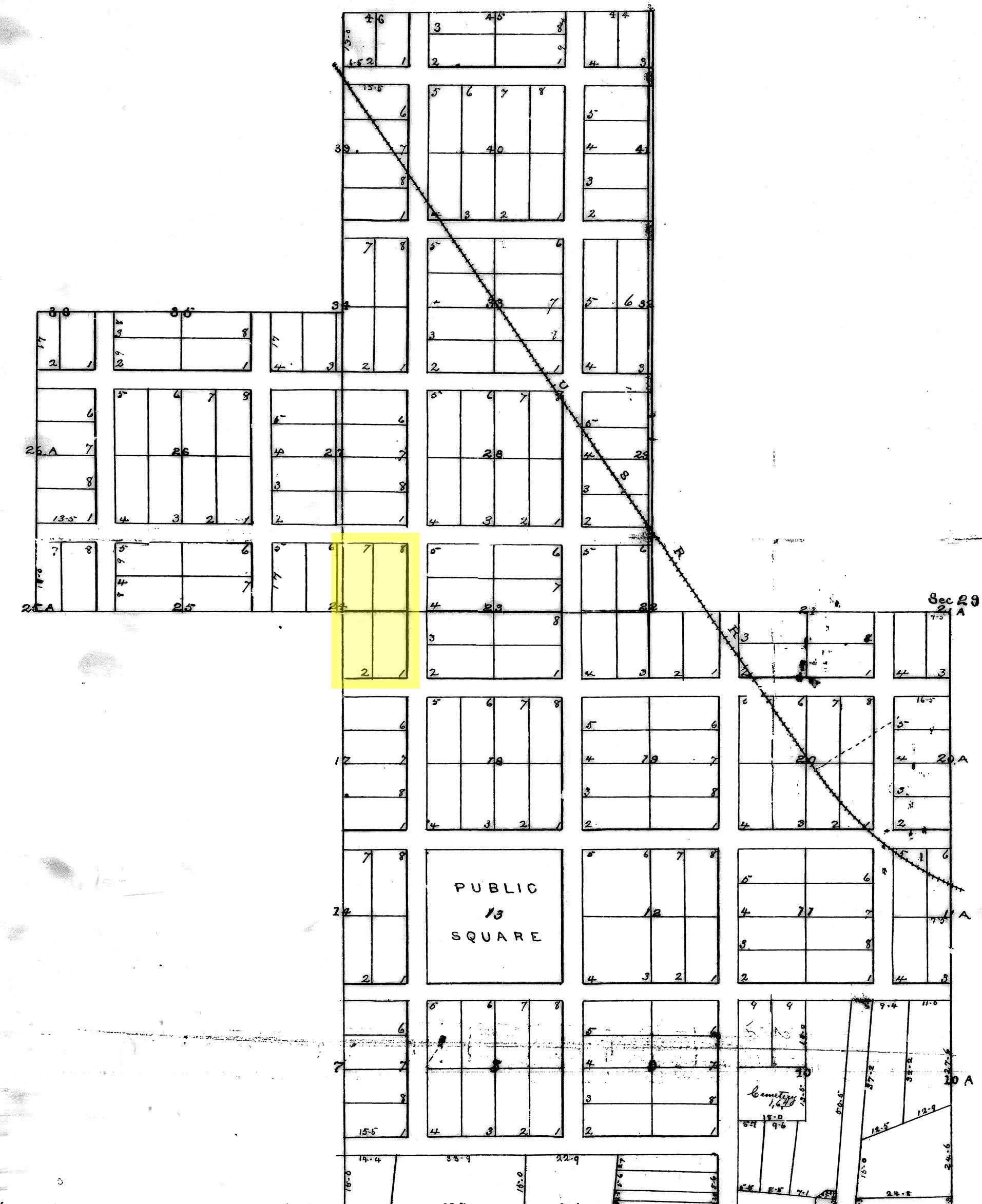
ARCHITECTURAL

EXTERIOR ELEVATIONS

AE202

EXHIBIT I
EXISTING SUBDIVISION PLAT

MAP
OF
DRAPERVILLE
T 3 S - R 1 E



Lots 9 by 18 Rods
Streets 5 Rods wide

This is to certify that on the month
of June 1873, I do hereby make and let to
4 Blocks of land in the town of Draperville, in the
state of Ohio, to be used for the purpose of a
public square, and for the erection of buildings
as indicated on the plan.

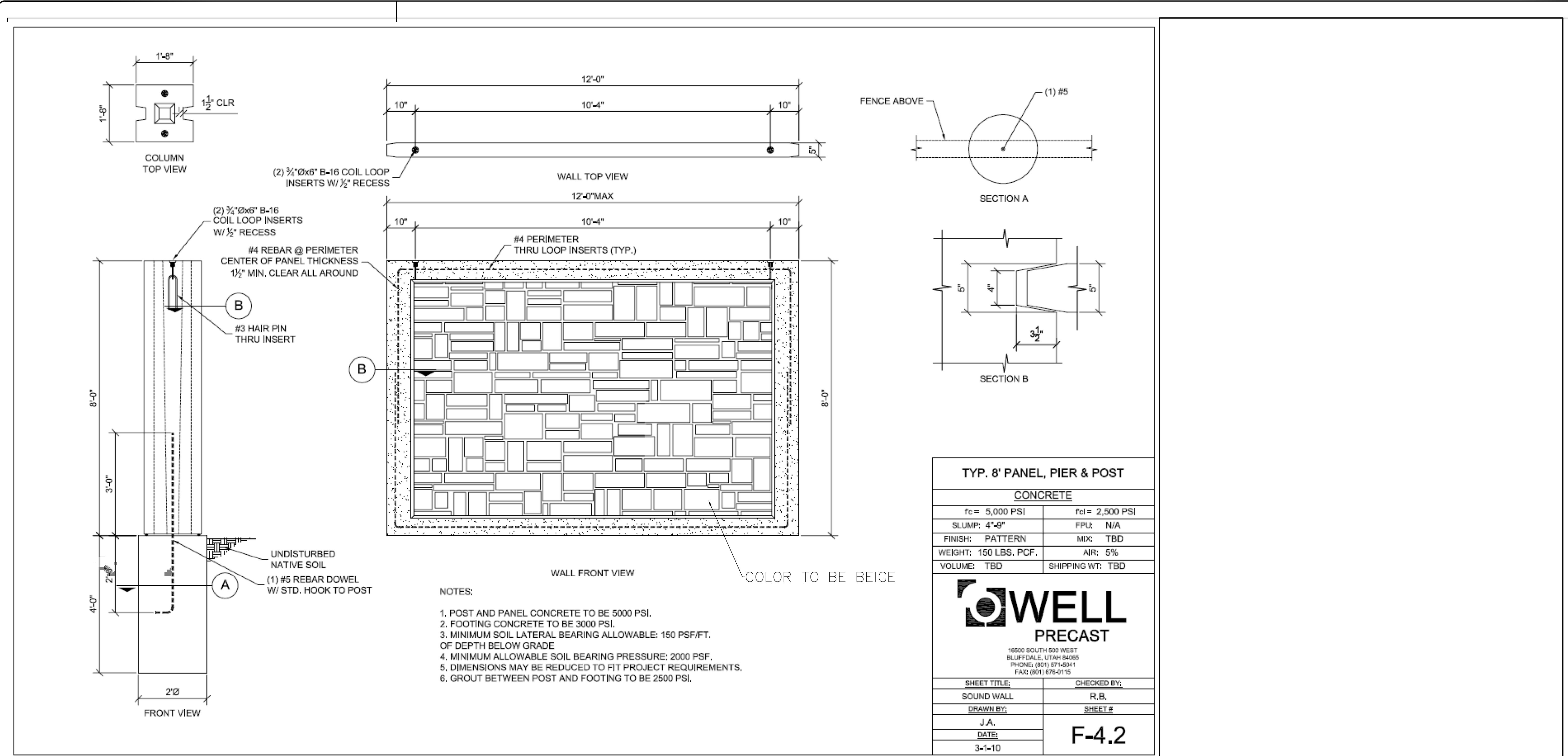
Scale 20

A-69
J. C. G.

17-69

RECORDERS NOTE: THE ORIGINAL RECORDED VERSION OF THIS PLAN IS STORED IN THE CLOSER LOCATED IN VAULT IN ROOM B7.

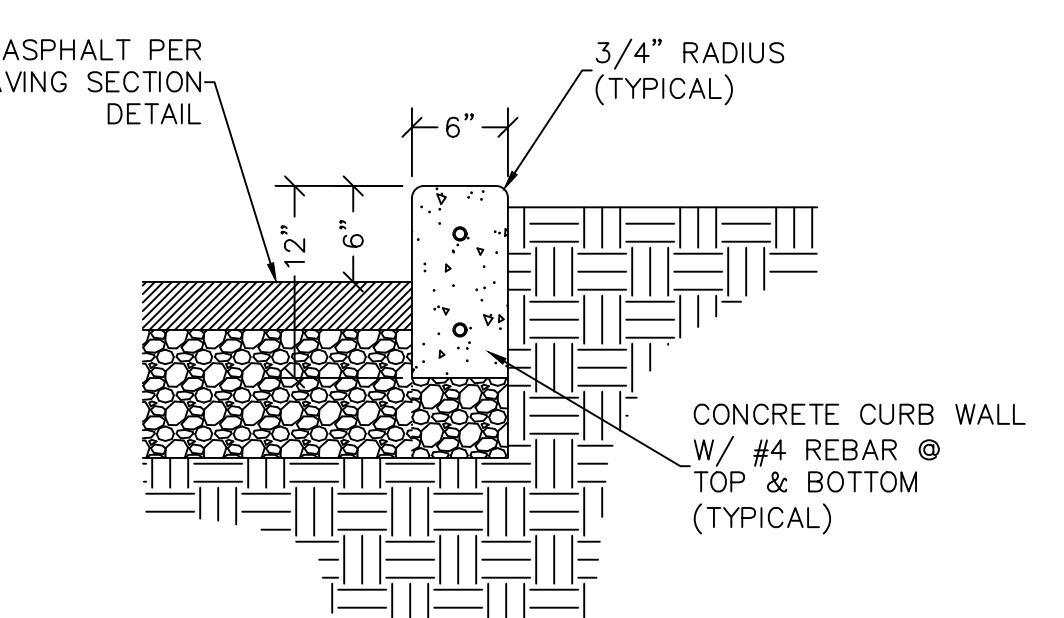
EXHIBIT J
FENCING


 696 E. 12100 SOUTH & 698 E. 12100 SOUTH
DRAPER, UTAH


PRECAST CONCRETE FENCE
(DESIGNED/ ENGINEERED BY OTHERS, DETAIL FOR REFERENCE ONLY)

NOTES

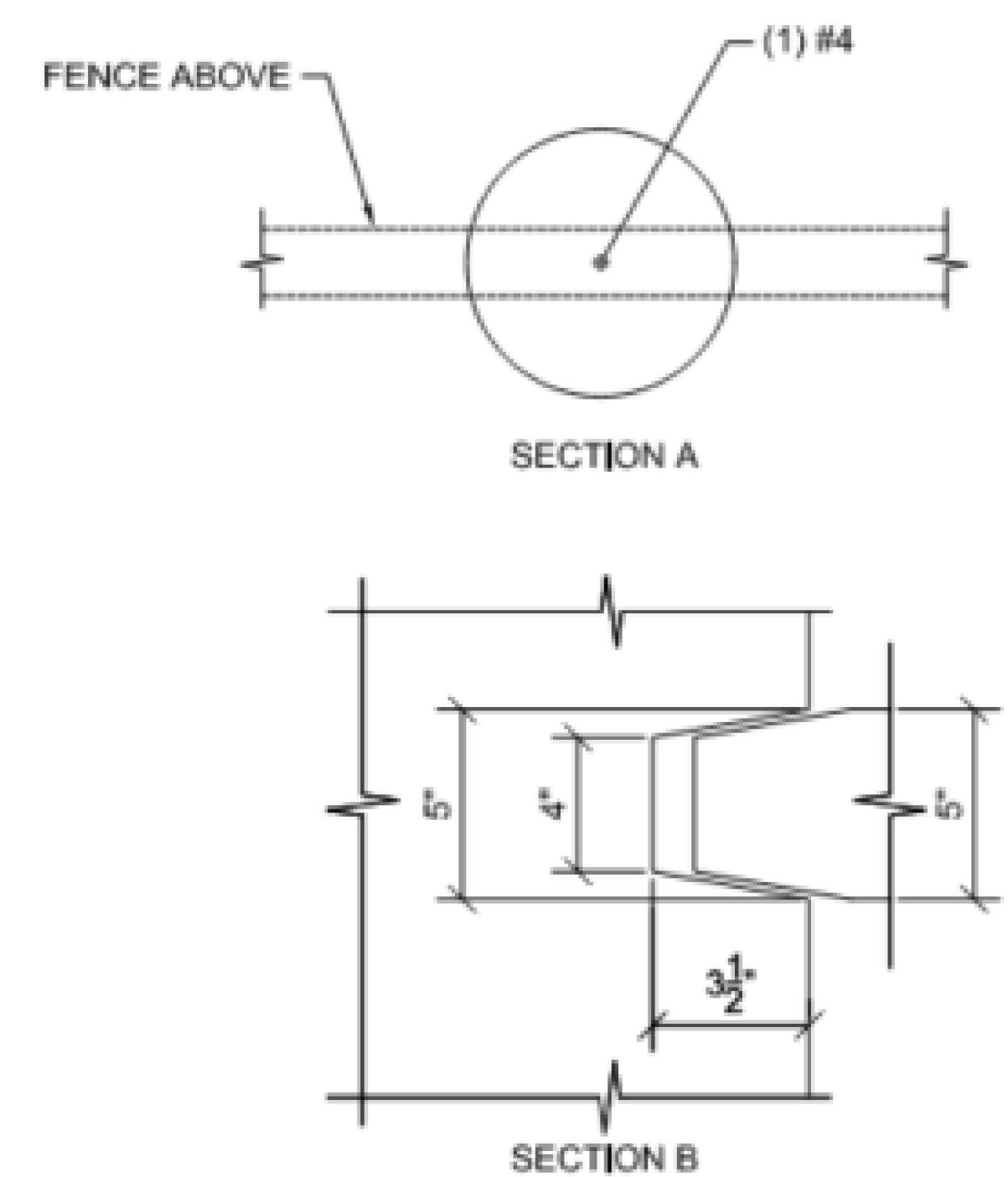
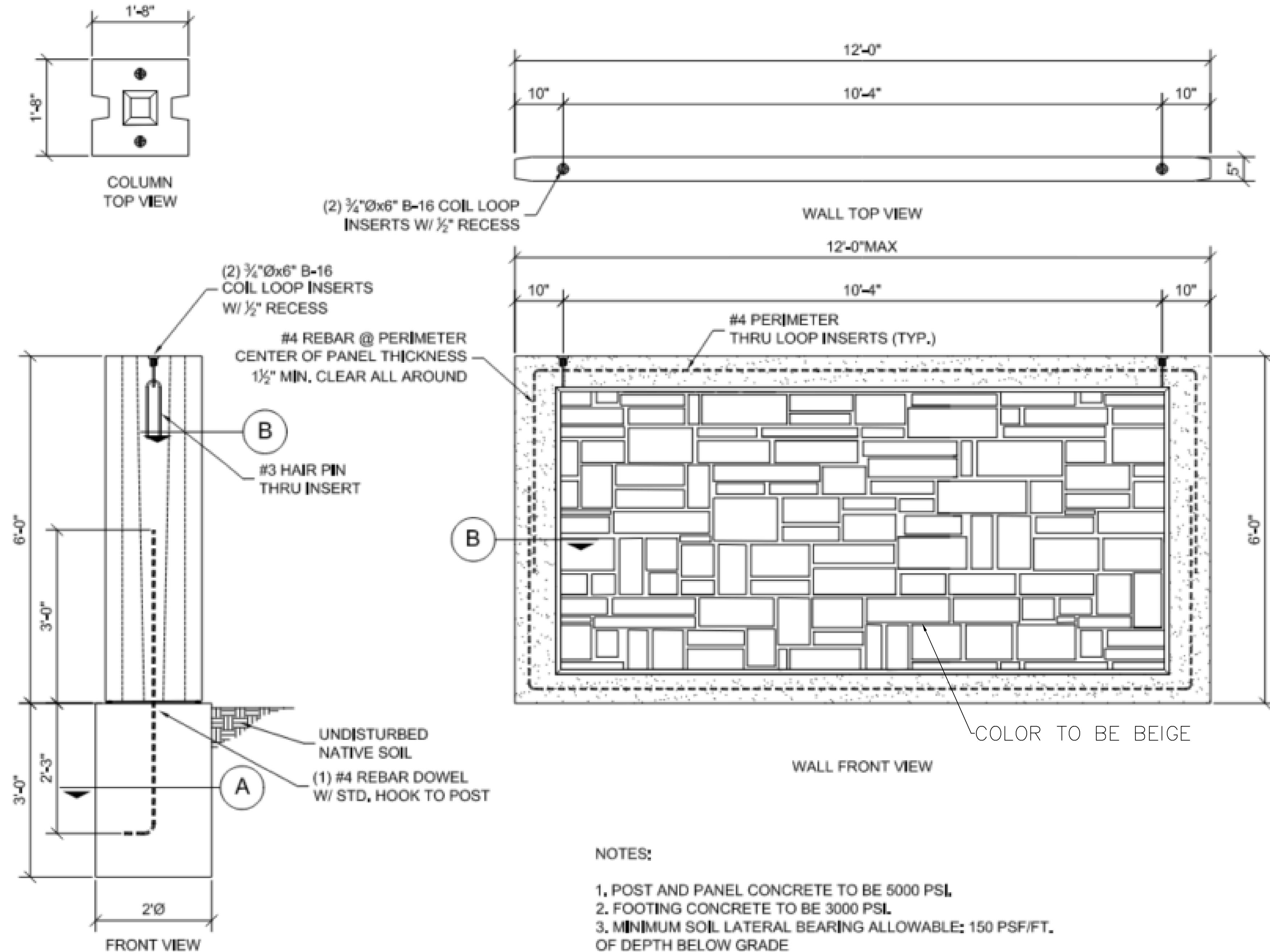
1. CONCRETE IS TO BE 4,000 PSI TEST.
2. CONTROL JOINTS AT 10' INTERVALS.
3. BITUMINOUS MATERIAL EXPANSION JOINTS ARE REQUIRED AT 50' INTERVALS.
4. STEEL REINFORCEMENT IS TO BE DEFORMED GRADE 60 STEEL, GALVANIZED OR EPOXY COATED.



c3 6"X12" CONCRETE CURBWALL
TYPICAL
N.T.S.

DETAILED BY: TJB DATED: 3.23.2022 DETAILED BY: TJB DATED: 3.23.2022 CHECKED BY: CC PROJECT #: 21-010

C1-2



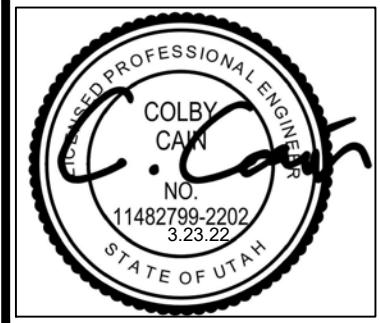
TYP. 6' PANEL, PIER & POST

CONCRETE	
$f_c = 5,000 \text{ PSI}$	$f_d = 2,500 \text{ PSI}$
SLUMP: 4"-6"	FPU: N/A
FINISH: PATTERN	MIX: TBD
WEIGHT: 150 LBS. PCF.	AIR: 5%
VOLUME: TBD	SHIPPING WT: TBD

WELL
PRECAST

16500 SOUTH 500 WEST
BLUFFDALE, UTAH 84065
PHONE: (801) 571-6041
FAX: (801) 676-0115

SHEET TITLE:	CHECKED BY:
SOUND WALL	R.B.
DRAWN BY:	SHEET #
J.A.	
DATE:	
3-1-10	F-4.1



NORTHSTAR DRAPER

696 E. 12100 SOUTH & 698 E. 12100 SOUTH

REV	DATE	DESCRIPTION
1	2/17/2022	DRAPER CITY REDLINES
2	3/23/2022	DRAPER CITY REDLINES

SITE DETAILS

C1-3

EXHIBIT K
LIGHTING PLAN

EXHIBIT L
APPLICANT'S DEVIATION REQUEST LETTER



FIVE DEGREES DESIGN

March 24, 2022,

Draper City Planning Division

RE: Rockwell Station Site Plan – Address 696 E 12100 S and 698 E 12100 S

Planning Commission,

This letter will seek to articulate how we meet at least three (3) of the below criteria for a deviation of design standards as detailed in both Sections 9-22-050(A)(1) and 9-22-050(A)(5) to allow us to proceed with our buildings located with their main facades and entrance locations oriented to towards the parking lot rather than the principal street to which they have frontage.

Deviation Criteria: The Planning Commission shall take into consideration at least three (3) of the ten (10) criteria in considering a deviation of the design standards. Below we list the criteria that we believe we meet to have a deviation approval:

1. The building design is a specific architectural style, such as contemporary or modern, which utilizes facade materials differently than prescribed in subsection 9-22-040F of this chapter and is designed by a licensed architect.

a. The building utilizes façade materials differently in that the building is dedicated to utilizing materials that are 100% primary materials including brick and metal. In addition, the building has been designed by Five Degrees Design, a well-respected licensed architectural firm in the State of Utah whose designs and layouts can be found on Draper City's very own website.

2. The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount.

a. The minimum required primary material is 75%, we are utilizing 100% primary material and thus exceeding the 75% requirement and not requiring the use of any secondary material. We meet this requirement on all four sides of both buildings.

3. The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.

a. The variation that we are requesting is consistent with the purpose of Chapter 9-22 and other ordinances found throughout the code in that: (1) the higher quality design presented will bring further value to the commercial community and attract businesses which positively contribute to the quality of life for Draper citizens; (2) this deviation will ensure a quality development by allowing Draper citizens to easily navigate the building given the site constraints for a narrow lot; (3) the code encourages building presence in the streetscape and this design accomplishes this directive; and (4) the building demonstrates imaginative design, increased landscaping and reflects the character of surrounding development through similar positive and desirable features.

Five Degrees Design, LLC

A handwritten signature in black ink, appearing to read "Chris Huntsman".

Chris Huntsman

Architect

Five Degrees Design



MEMO

To: Planning Commission
From: Jennifer Jastremsky, AICP
CC:
Date: April 28, 2022
Re: Summerhays Landscaping Office – Plat Amendment Request

Comments:

This application is a request for approval of a Plat Amendment for approximately 2.41 acres located on the south side of 12300 South, at approximately 143 East 12300 South. The property is currently zoned CSD-DP. The applicant is requesting that a Plat Amendment be approved to allow for division of the lot into two.

The findings are as follows:

For approval as are follows:

1. There is good cause for the amendment; and no public street, right-of-way, or easement has been vacated or amended.

ATTACHMENTS:

Description	Upload Date	Type
PC Staff Report	4/22/2022	Cover Memo



Development Review Committee

1020 East Pioneer Road
Draper, UT 84020
April 19, 2022

To: Draper City Planning Commission
Business Date: April 28, 2022

From: Development Review Committee

Prepared By: Jennifer Jastremsky, AICP, Planning Manager/Zoning Administrator
Planning Division
Community Development Department
801-576-6328, jennifer.jastremsky@draperutah.gov

Re: Summerhays Landscaping Office - Plat Amendment Request

Application No.: SUBD-12-2022
Applicant: Ryan Summerhays, representing Summerhays Landscaping
Project Location: 134 East 12300 South
Current Zoning: CSD-DP (Draper Peaks Commercial Special District) Zone
Acreage: 2.41 Acres (Approximately 105,210 ft²)
Request: Request for approval of a Plat Amendment in the CSD-DP zone
regarding the division of land into two lots.

BACKGROUND AND SUMMARY

This application is a request for approval of a Plat Amendment for approximately 2.41 acres located on the south side of 12300 South, at approximately 143 East 12300 South (Exhibit B). The property is currently zoned CSD-DP. The applicant is requesting that a Plat Amendment be approved to allow for division of the lot into two.

The subject property is within the Draper Crossing development, which was approved with a development agreement in June 1997. The development agreement established the development requirements for the area including elements such as site uses, setbacks, parking requirements, lighting, and architectural design standards. The property was later incorporated into the CSD-DP zone in 2004.

The property has seen some changes over the years. It was originally part of a larger 4.13 acre property, Lot 2 of the Draper Crossing Subdivision, recorded in 1997. Lot 2 was later divided into three lots in 2007, Lots 2-A, 2-B, and 2-C. Lot 2-A was developed with the old



Fazoli's fast food restaurant, and more recently the Terra Mia restaurant. Lot 2-B was developed as the Discount Tire shop. Lot 2-C was developed with a small office and storage building for Summerhays Landscaping, with the majority of the property left vacant. In 2020 the property owner obtained a site plan approval to redevelop the Fazoli's lot and the vacant land on Lot 2-C into a hotel. With that application, the applicant amended the subdivision plat to consolidate Lots 2-A and 2-C into one. The current applicant would like to amend the lot in order to create a separate properties for the Summerhays Landscaping business and the hotel.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Commercial Special District land use designation for the subject property (Exhibit C). This category is characterized as follows:

Commercial Special District

LAND USE DESCRIPTION	
CHARACTERISTICS	<ul style="list-style-type: none"> Include a wide range of commercial uses that are destination oriented and draw from a regional customer base Compatible, master planned mix of day and evening uses consisting of office, light manufacturing, retail, residential, recreation and open space components Limited traffic access points Development is intended to consist of well designed, architecturally integrated structures which are appropriately landscaped and buffered from surrounding land uses Uniform design standards and aesthetics Access to individual properties should be provided only from frontage roads or major arterials Common off-street traffic circulation and parking areas
LAND USE MIX	<ul style="list-style-type: none"> Large-scale master-planned commercial centers Big box centers Corporate headquarters Multi-story upscale office buildings Multi-story upscale residential buildings
COMPATIBLE ZONING	<ul style="list-style-type: none"> Adopted Commercial Special District zone Adopted Major Freeway Arterial Frontage Road zone
LOCATION	<ul style="list-style-type: none"> Strategically placed along high-traffic corridors with convenient points of traffic access to and from residential areas Excellent transportation access to major highways High visibility from the I-15 corridor Proximity to both Salt Lake and Utah Counties Provide adequate buffers in the form of setbacks, open space, low impact industrial uses, barriers, etc. adjacent to existing residential areas Major streets serving these areas should accommodate truck traffic

The property has been assigned the CSD-DP zoning classification (Exhibit D). According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CSD zone is to *"permit a compatible, master planned mix of day and evening uses consisting of office, light manufacturing, retail, residential, recreation and open space components. Although development size and use mix will vary from location to location, each development is intended to consist of well designed, architecturally integrated structures which are appropriately landscaped and buffered from surrounding land uses."* The property abuts the CSD-DP zone on the north, west, and east sides and the CC (Community Commercial) zone to the south.

Subdivision Layout. The existing property is currently one lot with frontage on both Minuteman Dr. and Pioneer Rd (Exhibit E). The proposed plat will divide the property into two lots (Exhibit F). The new Lot 207 will be 2.31 acres in size. That lot will house the

approved but unbuilt hotel. The second lot will be Lot 208 and be 0.10 acres in size. That lot will house the existing Summerhays Landscaping office. The plat will allow for the two buildings, and the separate businesses they house, to be located on different lots. This will allow for the properties to be sold separately from each other.

The original Draper Crossing Subdivision provided for cross access between this property and the other lots within the development. These cross access points were not modified with any of the plat amendments and are not proposed to be modified now. Cross access will be provided to serve both the proposed lots and the existing lots within the overall Draper Crossing development.

Criteria For Approval. The grounds for review and potential approval of a subdivision plat amendment request is found in Section 17-9-040 of the DCMC. This section depicts the standard of review for such requests as:

The Planning Commission may approve the vacation or amendment of a plat by signing an amended plat showing the vacation or amendment if the Land Use Authority finds that there is good cause for the vacation or amendment; and no public street, right-of-way, or easement has been vacated or amended.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the Plat Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Plat Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Plat Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Plat Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff finds that the application complies with the DCMC and recommends that the Planning Commission review the request, receive public comment, and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Planning Commission decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. If the final plat is not recorded within one (1) year from the date of Planning Commission approval or construction of the required landscaping and infrastructure has not commenced, such approval shall be null and void. This time period may be extended by the Planning Commission for up to one additional six (6) month period for good cause shown. The subdivider must petition in writing for an extension prior to the expiration of the original one (1) year.

The findings for approval as are follows:

1. There is good cause for the amendment; and no public street, right-of-way, or easement has been vacated or amended.

MODEL MOTIONS

Sample Motion for Approval – I move that we approve the Plat Amendment, as requested by Ryan Summerhays, representing Summerhays Landscaping for Summerhays Landscaping Office Plat Amendment, application SUBD-12-2022, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022.

Sample Motion for Modified Approval– I move that we approve the Plat Amendment, as requested by Ryan Summerhays, representing Summerhays Landscaping for Summerhays Landscaping Office Plat Amendment, application SUBD-12-2022, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

Draper City Public Works Department

Draper City Planning Division

Draper City Fire Department

Draper City Legal Counsel

Draper City Building Division

EXHIBIT A
DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Fire Division Review.

1. 2A-10BC Fire Extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed every 75 feet of travel. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five (5) feet above the floor.

EXHIBIT B
AERIAL MAP

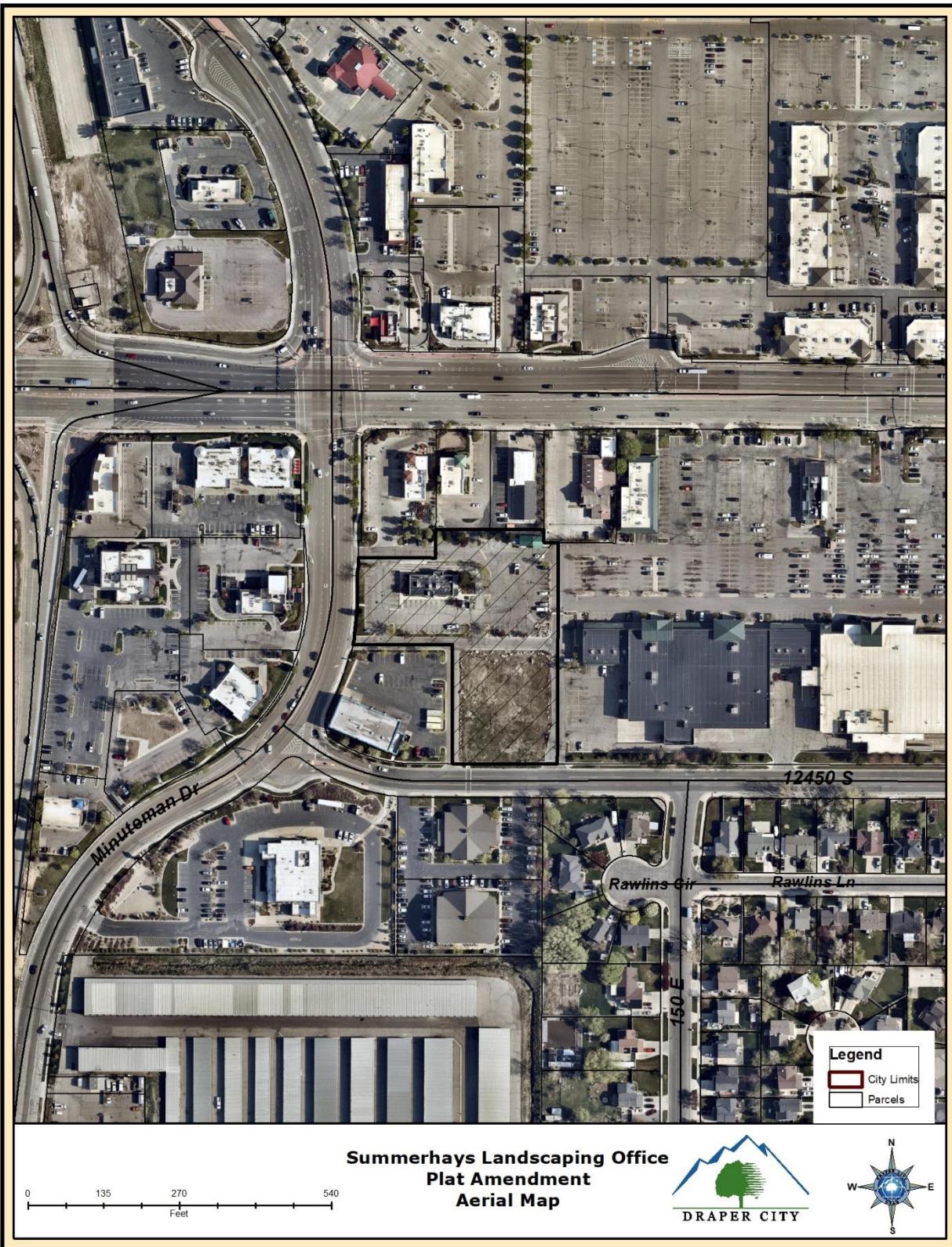


EXHIBIT C
LAND USE MAP

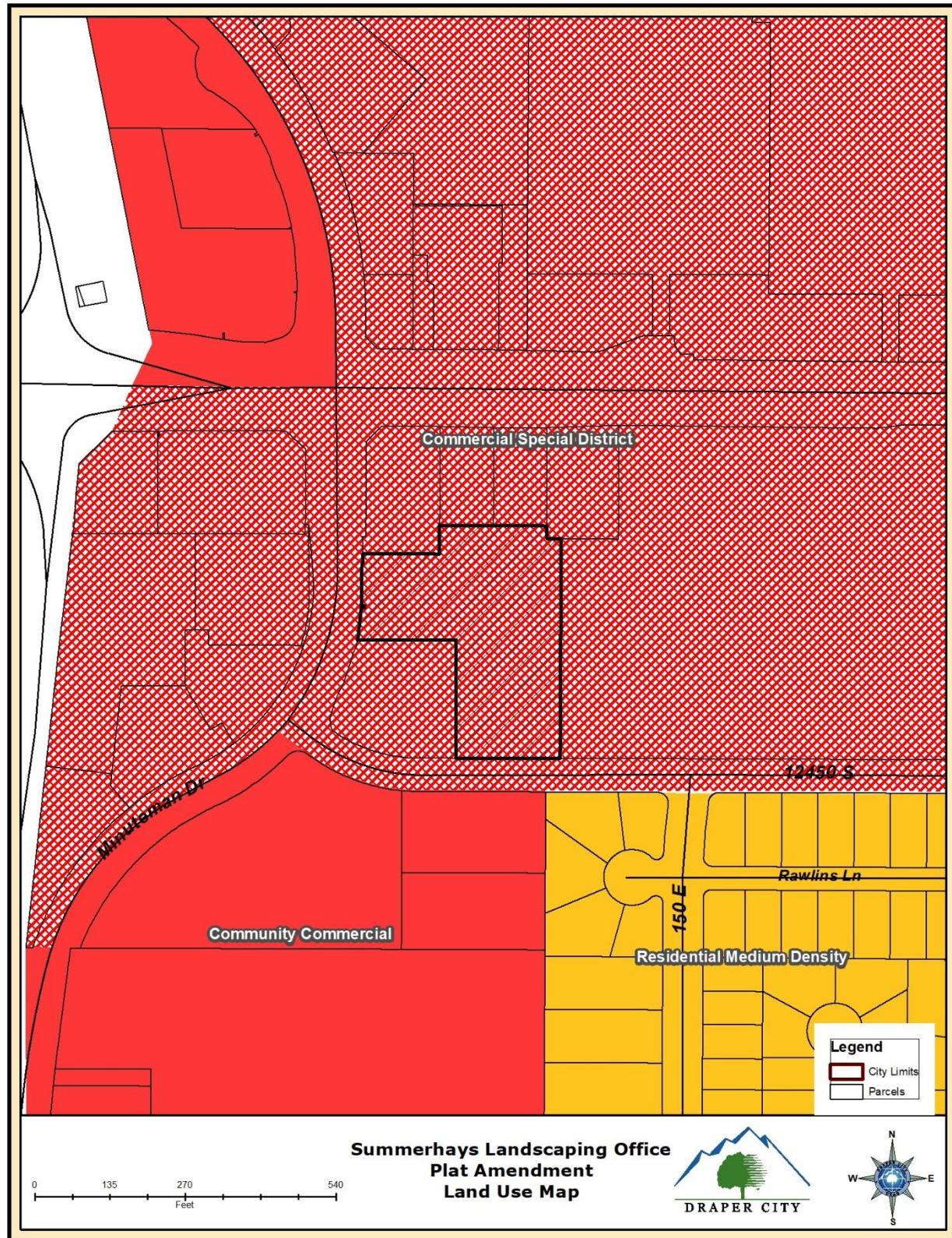


EXHIBIT D
ZONING MAP

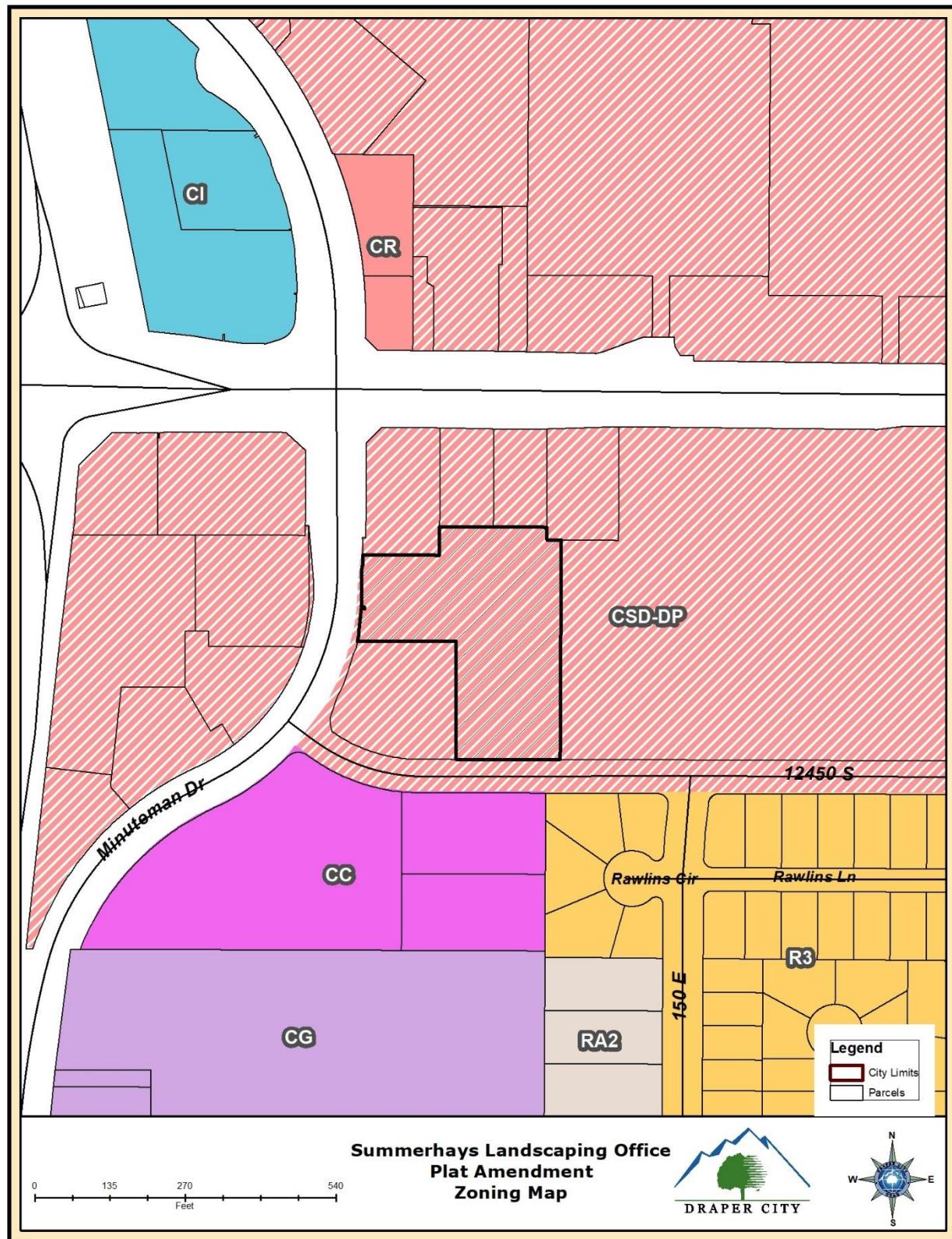


EXHIBIT E
EXISTING SUBDIVISION PLAT

EXHIBIT F
PROPOSED SUBDIVISION PLAT



MEMO

To: Planning Commission
From: Jennifer Jastremsky, AICP
CC:
Date: April 28, 2022
Re: Home Occupation Code

Comments:

A discussion on the current home occupation code DCMC Chapter 9-34. The intent of the discussion is to identify changes that may need to be made to the current code. Staff can then formulate possible code changes to be reviewed at a future date through the public hearing process.

Attached is the existing code.

ATTACHMENTS:

Description	Upload Date	Type
Existing Home Occupation Code	4/22/2022	Cover Memo

CHAPTER 34 **HOME OCCUPATIONS**

SECTION:

9-34-010: Purpose

9-34-020: Scope

9-34-030: Permitted Use

9-34-040: Development Standards; Permitted Use

9-34-050: Conditional Use Home Occupations

9-34-060: Alteration To Standards

9-34-070: Enforcement

9-34-010: PURPOSE:

The purpose of this chapter is to establish use and development regulations for home occupations. These regulations are intended to ensure that limited business activities allowed in a residential zone do not disturb the residential character of a neighborhood. (Ord. 909, 7-21-2009)

9-34-020: SCOPE:

The requirements of this chapter shall apply to all home occupations within the city. Such requirements shall not be construed to prohibit or limit other applicable provisions of this title, this code, and other laws. (Ord. 909, 7-21-2009)

9-34-030: PERMITTED USE:

The home occupation use set forth below shall be allowed as a permitted use in any agricultural or residential zone, within the main dwelling unit, subject to the development standards of section [9-34-040](#) of this chapter. The definition of this use is set forth in chapter 3 of this title.

Office, general. (Ord. 909, 7-21-2009)

9-34-040: DEVELOPMENT STANDARDS; PERMITTED USE:

The development standards set forth in this section shall apply to any home occupation allowed as a permitted use:

- A. Ownership: The home occupation shall be owned and operated by a person who resides in the dwelling where the home occupation is located. Such person shall be the primary provider of the labor, work, or service provided in the home occupation.
- B. Business License: A business license for the home occupation shall be obtained from and continually maintained with the city pursuant to title 6, chapter 11 of this code.
- C. Employees: Members of the family of the owner who reside in the dwelling may be employed in the home occupation. Nonfamily or nonresident employees shall be limited to one person.
- D. Inspection: All facilities shall comply with fire, building, plumbing, electrical and all other city, county, state and federal codes. Inspections during reasonable hours by city officials may occur as necessary to assure compliance with regulations.
- E. Inventory: No stock in trade, inventory, or other merchandise to exceed two hundred fifty (250) square feet shall be kept on the premises. No outside storage is allowed. (Ord. 909, 7-21-2009)
- F. Modification Of Structures Or Yards: There shall be no visible evidence from the exterior of a dwelling that it is being used for any other purpose than that of a dwelling. No activities shall be carried on outside the dwelling in the yard for the benefit of or incidental to the home occupation. No front yard area shall be altered to provide parking required for a home occupation. (Ord. 1132, 2-17-2015)
- G. Nuisance: Tools, items, equipment, or activities conducted within the dwelling which is offensive or noxious by reason of the emission of odor, smoke, gas, vibration, magnetic interference, or noise shall be prohibited.
- H. Secondary Use: The home occupation shall be clearly incidental and secondary to the primary use of the dwelling for residential purposes. The home occupation shall not disrupt the normal residential character of the neighborhood in which the residence is located. Not more than twenty five percent (25%) of the dwelling unit shall be used for the home occupation.
- I. Signs: All signage in a residential area must comply with chapter 26, "Signs", of this title.
- J. Traffic, Parking, And Access: No home occupation use shall generate pedestrian, parking, or vehicular traffic in excess of that customarily associated with the zone in which the use is located. All parking shall be provided and maintained on site with adequate provision for drop off traffic.
- K. Vehicles: Other than the business owner's personal transportation, there shall be no vehicles or equipment on the property associated with the home occupation which would not normally be found at a residence. No signage for the home occupation shall be allowed on vehicles.

L. Yards: Yards surrounding the dwelling and accessory buildings shall not be used for any activities or storage of any materials associated with the home occupation.

M. Customers: No customers allowed. Children accessing a limited daycare or limited preschool facility shall not be considered customers.

N. Utility Demand: The home occupation shall not cause a demand for public utilities in excess of that necessarily and customarily provided for residential uses.

O. Main Structure: The home occupations shall be conducted, located, and contained within the primary structure on the property. (Ord. 909, 7-21-2009)

P. Single-Family And Multiple-Family Dwellings: Home occupations listed as permitted or conditional within this title may be permitted in a single-family or a multiple-family dwelling, subject to the standards found within this section and section [9-34-060](#) of this chapter. Businesses within multiple-family dwellings shall provide an approval letter from the respective homeowners' association, or management company in the case of apartments, if the business proposes any employees, customers or business vehicles. (Ord. 1132, 2-17-2015)

Q. Licensure: Any home occupation involving childcare shall comply with all applicable state and local laws and regulations regarding residential childcare, including, but not limited to, provisions of the Utah child care licensing act, as set forth in Utah Code Annotated section 26-39-101 et seq., as amended, and the residential certificate childcare standards as set forth in the Utah administrative code section R430-50-1 et seq., as amended. In addition, cottage food production operations are regulated and inspected by the Utah department of agriculture. Any food related home occupation under their jurisdiction must comply with these regulations. (Ord. 909, 7-21-2009)

9-34-050: CONDITIONAL USE HOME OCCUPATIONS:

The following home occupations may also be established in any agricultural, residential, commercial zone subject to the use table regulations of applicable zones, subject to the development standards listed in section [9-34-040](#) of this chapter, and subject to the issuance of a conditional use permit pursuant to the requirements of section [9-5-080](#) of this title. Uses listed in this section may also necessitate an additional conditional use permit subject to section [9-34-060](#) of this chapter:

Assembly and repair, limited.

Cottage business.

Daycare, limited.

Daycare, limited.

Grooming service. Conditions:

- A. Animal being groomed must be current on the following vaccinations: rabies, parvovirus, distemper, and kennel cough.
- B. Facility shall be subject to periodic inspection by city staff.
- C. Animal being groomed shall be kept indoors the whole time in a controlled environment.
- D. Up to two (2) animals shall be allowed on the premises at a time for grooming purposes.

Personal care service.

Personal instruction service.

Preschool, limited. (Ord. 1004, 4-3-2012; amd. Ord. 1437, 5-19-2020)

9-34-060: ALTERATION TO STANDARDS:

A home occupation listed in section [9-34-030](#) or [9-34-050](#) of this chapter that does not conform to any of the development standards in section [9-34-040](#) of this chapter may nonetheless be established through the issuance of a conditional use permit specifically for the desired alteration to those development standards. (Ord. 1132, 2-17-2015)

9-34-070: ENFORCEMENT:

Refer to chapter 7 of this title to read about the remedies, penalties, procedures, and other matters that apply to any violation of the provisions in this chapter. (Ord. 909, 7-21-2009)