



## PLANNING COMMISSION AGENDA

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April 28, 2022 at 6:30 PM

1020 E. Pioneer Rd. Draper, UT 84020

Council Chambers

### **6:30 PM Business Meeting**

**1. Action Item: Willow Creek Industrial Properties Lot 2 Amended Site Plan Approval Extension (Administrative Action)**

On the request of Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for an extension to the Amended Site Plan approval for Willow Creek Industrial Properties Lot 2 Amended Site Plan located at approximately 432 E. 12300 S., known as application SPR-1026-2020, Staff Contact: Todd Draper, (801) 576-6335, todd.draper@draperutah.gov.

**2. Public Hearing: Springer/Rivermark Plat Amendment (Administrative Action)**

On the request of Ty Ricks, representing Noah and April Springer, a request to relocate the 20 foot wide private storm drain easement from the west property line to the east property line for the Lot 7 of the Rivermark Plat located at 1123 E. Carraway Lane. Application: SUBD-070-2022. Staff contact is Maryann Pickering, 801-576-6391 or maryann.pickering@draperutah.gov.

**3. Public Hearing: Pelion Site Plan (Administrative Action)**

On the request of Liza Hart, representing Gardner Company, for a Site Plan on 6.49 acres of property located at 14761 South Future Way. The Site Plan is for a new office building. Application SPR-65-2022. Staff contact is Jennifer Jastremsky, 801-576-6328, jennifer.jastremsky@draperutah.gov.

**4. Public Hearing: Rockwell Station Subdivision Plat Amendment and Site Plan (Administrative Action)**

On the request of Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens, a Subdivision Plat Amendment and Site Plan request, on approximately 1.23 acres, located at approximately 696 E. 12100 S and 698 E. 12100 S. Known as applications SPR-0194-2021 and SUBD-0198-2021, Staff Contact: Todd A. Draper, (801) 576-6335, todd.draper@draperutah.gov.

**5. Public Hearing: Summerhays Landscaping Office Plat Amendment (Administrative Action)**

On the request of Ryan Summerhays, representing Summerhays Landscaping, for a Plat Amendment to 2.41 acres of property located

at 134 East 12300 South. The application will divide Lot 206 of the Draper Crossing Subdivision into two lots. Application SUBD-12-2022. Staff contact is Jennifer Jastremsky, 801-576-6328, [jennifer.jastremsky@draperutah.gov](mailto:jennifer.jastremsky@draperutah.gov).

**6. Discussion Item: Home Occupation Code**

A discussion on the current home occupation code DCMC Chapter 9-34.

**7. Training: Ethics**

**8. Adjournment**

**SALT LAKE COUNTY AND UTAH COUNTY, STATE OF UTAH**

I, the City Recorder of Draper City, certify that copies of this agenda were posted on the Draper City Electronic Bulletin Board, Draper City website [www.draperutah.gov](http://www.draperutah.gov), the Utah Public Notice website at [www.utah.gov/pmn](http://www.utah.gov/pmn), and sent by email to the *Salt Lake Tribune* and the *Deseret News*.

Date Posted: April 22, 2022



Laura Oscarson, CMC, City Recorder  
Draper City, State of Utah



In compliance with the Americans with Disabilities Act, any individuals needing special accommodations or services during this meeting shall notify Laura Oscarson, City Recorder at (801) 576-6502 or [laura.oscarson@draperutah.gov](mailto:laura.oscarson@draperutah.gov), at least 24 hours prior to the meeting.





# MEMO

To: Planning Commission

From: Todd A. Draper

CC:

Date: April 28, 2022

Re: Willow Creek Industrial Properties Lot 2 Amended Site Plan Extension Request

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## Comments:

On May 13, 2021, the Planning Commission granted site plan approval for the Willow Creek Industrial Properties Lot 2 Amended Site Plan located at approximately 432 West 12300 South. The application number is SPR-1026-2020.

Draper City Municipal Code (DCMC) Section 9-5-090(J) states:

*Expiration: Failure to obtain a land disturbance permit within one year of approval of any site plan shall void the prior site plan approval. Prior to the expiration of the one-year period, an applicant may submit a written request to the community development department for a site plan extension of up to six (6) months. Approval of this extension may only be granted by the zoning administrator or planning commission, whichever is the approval authority outlined in this section, provided the applicant can meet the requirements for extension under section 9-5-030 and demonstrate substantial action toward obtaining a land disturbance permit. If a site plan expires, and an applicant wishes to continue with development of the site a new application shall be required. If there have been no changes to applicable codes which would necessitate updates to the previously approved plans, the applicant will be charged a new application fee of fifty percent (50%) of the current fee outlined in the consolidated fee schedule and the application shall be approved by the zoning administrator or planning commission, whichever is the approval authority outlined in this section, in a public meeting as an action item. If changes to the site plan are made by the applicant or are required due to changes in applicable codes, the site plan shall be processed as a new application and is subject to a new application fee at one hundred percent (100%) of the current fee established in the consolidated fee schedule.*

DCMC Section 9-5-030(J) allows for an extension with good cause shown, as follows:

*Extensions Of Time: Unless otherwise prohibited, upon written request and for good cause shown, any decision making body or official having authority to grant approval of an application may, without any notice or hearing, grant extensions of any time limit imposed by this title on such application, its approval, or the applicant, provided a written request for such extension has been received by the community development department prior to the date of expiration, or provided the city staff or planning commission has initiated an extension prior to the date of expiration. The total period of time granted by any such extension or extensions shall not exceed half the length of the original time period.*

To date, the property owner has not acquired a land disturbance permit or begun improvements to the property. As such, they are seeking a six-month extension of the amended site plan approval. Attached to this memo is the applicant's written request for site plan approval extension, the original approval letter, and Planning Commission staff report. Staff received the request for extension on April 14, 2022, prior to the expiration of the site plan.

If approved, the site plan approval will be valid through November 13, 2022.

Sample Motion for Approval – I move that we approve the site plan extension, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC, for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application SPR-1026-2020, based on the findings listed in the memo dated April 28, 2021.

Sample Motion for Denial – I move that we deny the site plan extension, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC, for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application SPR-979-2020, based on the findings listed in the memo dated April 28, 2021.

The findings are as follows:

For Approval:

1. That the applicant has shown good cause to obtain an extension and that substantial action has occurred towards acquiring a land disturbance permit.

For Denial:

1. That the applicant has not shown good cause to obtain an extension and that substantial action has not occurred towards acquiring a land disturbance permit.

#### ATTACHMENTS:

Description	Upload Date	Type
Extension Request	4/14/2022	Cover Memo
Approval Letter	4/22/2022	Cover Memo
P.C. Staff Report	4/14/2022	Cover Memo

**From:** [Bruce Kenner](#)  
**To:** [Jennifer Jastremsky](#)  
**Cc:** [mkenner@comcast.net](mailto:mkenner@comcast.net); [Todd Draper](#)  
**Subject:** Site Plan Approval Extension  
**Date:** Thursday, April 14, 2022 9:39:41 AM

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Jennifer Jastremsky:

On May 20, 2021 we received notice of Site Plan approval for the third building in our project at 432 West 12300 South based on a May 13, 2021 Planning Commission agenda item. At that time the building was fully leased and funded. During the following several weeks COVID caused material prices and delivery times to dramatically increase and stopped the project from proceeding.

We now are ready to begin the project again but are not sure we can complete the items necessary for issuance of a Land Disturbance Permit by the one year date.

I spoke with Todd Draper about issuing an extension to the approval and he suggested I write a request letter to you.

By copy of this letter we are requesting a one year extension to the Site Plan Approval to give us time to begin this project.

Thank you for your consideration.

Bruce Kenner



## DRAPER CITY HALL

Community Development | 1020 E. Pioneer Rd. Draper, UT 84020

May 20, 2021

Willow Creek Industrial Properties #1 LLC  
Willow Creek Industrial Properties #3 LLC  
ATTN: Bruce Kenner  
432 West 12300 South  
Draper, UT 84020

RE: Notice of Approval for the Willow Creek Industrial Properties Lot 2 Amended Site Plan Request

Dear Mr. Kenner,

On May 13, 2021, the Draper City Planning Commission approved your request for a Site Plan Amendment including requested deviations from design standards from Draper City Municipal Code Sections 9-22-040(C)(2) and 9-2-050(A)(1) on the property at approximately 432 West 12300 South, application SPR-1026-2020, with the following conditions:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. That the building and site be constructed in substantial compliance with the plans submitted and approved as part of this amended site plan review, and in accordance with any approved deviations from standards.
4. That no signage is approved with the site plan. All signage is required to meet the requirements of Chapter 9-26 and obtain applicable sign permits through the appropriate City process.

Please be aware that the approval of an Amended Site Plan by Draper City in no way exempts the property from complying with other requirements that may be in effect on the property such as CC&R's, zoning, subdivision, site plan, land disturbance, and building permit regulations, as applicable. It is the responsibility of the property owner to ensure compliance with these regulations.

With the approval(s) granted under this notice, Section 9-5-090(j) of the Draper City Municipal Code specifies that the approval of an Amended Site Plan expires one year from the date of approval. As such, the approval granted for the subject request will be rendered

null and void on May 13, 2022 if no land disturbance permit has been issued for the project. The expiration of the approval can also be avoided through an extension of the approval. A maximum of one extension for a period of up to six months can be requested in writing prior to the date of expiration from the Community Development Department.

As the applicant, this letter is intended as a courtesy to document the status of your request. If you have further questions, please contact me at [todd.draper@draperutah.gov](mailto:todd.draper@draperutah.gov) or 801-576-6335.

Respectfully,



Todd A. Draper, AICP  
Planner III  
Community Development Department

Cc Karen Burnett, GIS Manager  
Gerika Logan, Planning Coordinator  
Kendra Wong, Building Inspection Coordinator  
Lezlie Wright, Administrative Executive Assistant, Engineering Department  
File: SPR-1026-2020



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**Development Review Committee**

1020 East Pioneer Road

Draper, UT 84020

April 30, 2021

**To:** Draper City Planning Commission  
Business Date: May 13, 2021

**From:** Development Review Committee

**Prepared By:** Todd A. Draper, AICP, Planner III  
Planning Division  
Community Development Department  
801-576-6335, [todd.draper@draperutah.gov](mailto:todd.draper@draperutah.gov)

**Re: Willow Creek Industrial Properties Lot 2 – Amended Site Plan Request**

Application No.: SPR-1026-2020

Applicant: Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC.

Project Location: 432 W. 12300 S.

Current Zoning: CBP (Business/Manufacturing Park) Zone

Acreage: Approximately 2.06 Acres (Approximately 89,734 ft<sup>2</sup>)

Request: Request for approval of an Amended Site Plan including deviations from site and architectural design standards in the CBP zone regarding construction of a new industrial building.

**BACKGROUND AND SUMMARY**

This application is a request for approval of an Amended Site Plan including deviations from site and architectural design standards for approximately 2.06 acres located on the north side of 12300 South, at approximately 432 W. 12300 S. (Exhibit B). The property is currently zoned CBP. The applicant is requesting that an Amended Site Plan be approved to allow for the development of the currently vacant site with an industrial building.

The overall site includes all lots in the Willow Creek Business Park Amended Subdivision recorded March 7, 2013 (Exhibit L). Lots 1-3 are building lots for the construction of industrial buildings, and Lot 4 is a non-buildable lot with conservation and walking trail easements intended to preserve the natural area next to Willow Creek. Buildings have been constructed on Lots 1 and 3 of the property. A previous site plan approval for construction



of an industrial building on Lot 2 was approved in 2008, however a building on Lot 2 was not constructed and the approval expired. Approval for the original site plan and building was reinstated in 2012, only to again expire without construction on Lot 2 occurring. Changes to Draper City Municipal Code (DCMC) since 2012 would not permit the previously proposed site design or building design without deviations from the current DCMC design criteria hence two deviations from the site and architectural design criteria are also being requested as part of this application.

## **ANALYSIS**

*General Plan and Zoning.* The Land Use Map of the General Plan calls for the Business and Light Manufacturing land use designation for the subject property (Exhibit C). This category is characterized as follows:

### *Business and Light Manufacturing*

LAND USE DESCRIPTION		
<b>CHARACTERISTICS</b>	<ul style="list-style-type: none"> <li>• Allows for a mixture of employment uses and services for these employees</li> <li>• Park or campus-like atmosphere</li> <li>• Low traffic generation</li> <li>• Buildings should not exceed three stories</li> <li>• Major entry points and features</li> <li>• Well landscaped perimeter and public places</li> <li>• Limited traffic access to major streets</li> <li>• Uniform design standards and aesthetics</li> <li>• Common off-street traffic circulation and parking areas</li> <li>• Pedestrian-friendly design</li> </ul>	
<b>LAND USE MIX</b>	Primary <ul style="list-style-type: none"> <li>• Office</li> <li>• Light manufacturing</li> </ul>	Secondary <ul style="list-style-type: none"> <li>• Retail</li> <li>• Service Uses</li> </ul>
<b>COMPATIBLE ZONING</b>	<ul style="list-style-type: none"> <li>• Light Manufacturing (M1)</li> <li>• Business Manufacturing Park (CBP)</li> </ul>	
<b>LOCATION</b>	<ul style="list-style-type: none"> <li>• Along collector and arterial streets</li> </ul>	

The property has been assigned the CBP zoning classification (Exhibit D). According to DCMC Section 9-8-020 the purpose of the CBP zone is to *"provide aesthetically attractive planned developments having a mix of office, research and development, light manufacturing, and limited retail uses. Typical uses in this zone include offices, clean indoor manufacturing facilities, service retail, restaurants, athletic clubs, personal service shops, medical offices, office/warehouse buildings, and research facilities."*

The CBP zoning abuts the subject property on the east, and to the South across 12300 S. A

railroad line abuts the property on the west and A5 (Agricultural) and RM1 (Multiple-Family Residential) zoning can be found adjacent to the west side of the rail line. The Lone Peak Commercial Special District (CSD-LP) abuts the property to the north.

Site Plan Layout. The applicant is proposing a new industrial building be constructed on Lot 2 of the Willow Creek Industrial Properties Amended Subdivision (Exhibit E). This building departs from the previous approvals for the site in that front of the building faces north and away from the public street providing access to the property. This layout however places the loading docks towards the South so as to consolidate deliveries and freight traffic between this building and the existing industrial building built on Lot 1. This orientation would require approval of a deviation from DCMC Section 9-22-050(A)(1).

Architecture. The Architectural elevations (Exhibit G) show a tilt up style concrete building with a painted CMU wainscot along the base in compliance with DCMC Section 9-22-040(F)(5). The building is designed to be able to be split into as many as 8 separate tenant spaces. Front entries are located on the north with projecting roof awning overhangs provided over each pair of entry doors. Delivery docks are provided at the rear of the building facing towards the South. The overall dimensions of the proposed building are 295 feet in length and 99 feet 11 inches in depth. Along the southern façade there is no variation from the primary wall plane with a depth at least 5 feet and a length of at least 20 feet. A deviation for the Southern façade along the loading docks from DCMC Section 9-22-040(C)(2) would be required for the building as proposed. The roofline details include an increase in the height of every alternating concrete panels to provide the required height and roofline variation found in DCMC Section 9-22-040(D). The proposed building will be noticeably taller than the other two existing buildings on the overall site. The additional building height accommodates the development of a mezzanine floor (Exhibit H) inside the proposed building which results in an increase in the gross square footage of the building over previous approvals. While the proposed building will be different in design and materials from the other buildings on the overall site, building colors, roof awnings, and accents are designed to match with or be complementary to the design scheme and colors of the other existing buildings that are part of the overall site. Dumpster enclosures are located near the loading docks and will be built of painted CMU block with a painted metal gate to match the building and the other structures on site (Exhibit G). The east, south, and west building facades will consist of 100% primary materials, and the north elevation will be approximately 79% primary materials and 21% secondary materials. Overall the building facades are comprised of approximately 92.3% primary materials and 7.6% secondary materials which exceeds the 75% minimum required percentage of primary materials by more than 10%.

Site and Architectural Design Standards Modification. Chapter 22 of the DCMC makes provisions for the Planning Commission to authorize deviations to strict compliance with the terms of the Code regarding development design standards. DCMC Section 9-22-030 states that the Planning Commission may approve site plans that deviate from the



requirements of the design standards within Chapter 22 of the DCMC based on making certain required findings in whole. Per DCMC Section 9-22-030(B), the Planning Commission shall find an application complies with at least three of the following criteria:

1. The project contains amenities such as pedestrian and bike connectivity in excess of what is required in the development code and site plan review.
2. The overall percentage of dedicated public or private landscape and open space area exceeds the required amount by more than ten percent (10%).
3. The project is a transit oriented development (TOD) and provides connectivity to a transportation facility.
4. Traffic impacts on the neighborhood are lessened through programs, such as creative design, traffic calming measures, companywide carpool or transit pass programs.
5. The project is an accredited LEED development.
6. The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.
7. The project is required to create a consistent and compatible design in cases which involve redeveloped buildings, additions to existing buildings, minor structures added to a site, or new buildings within a previously approved phased project.
8. Additional landscape plant material is provided in an amount at least ten percent (10%) more than the minimum required, including additional planting beds, plants, trees or a combination thereof.
9. The building design is a specific architectural style, such as contemporary or modern, which utilizes facade materials differently than prescribed in subsection 9-22-040(F) of this chapter and is designed by a licensed architect.
10. The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount.

The applicant's request for site design deviations from DCMC Chapter 9-22 is included as Exhibit K in this report. Specifically the applicant mentions criteria 2, 6, 7, and 8 as being applicable to their request. In the staff review it has been determined that additional landscaping and open space in excess of the 30% necessary for compliance with criterion 2 is met, that the requested variations would be consistent with the purpose of the design standards chapter *"to facilitate exceptional design in the built environment and preserve the quality of life within Draper City"* in compliance with criterion 6, and that the project would create a consistent and compatible design for a new building within a previously approved phased project as required for compliance with criterion 7. Staff did not find that additional quantities of landscape plant materials at least 10% above the required quantities as required by criterion 8 were provided. Staff has additionally verified that compliance with criterion 10 is met in that the amount of primary materials utilized on the South, East and West façades exceeds the minimum required amount by more than 10%.

*Circulation.* The proposed building has been designed with the rear docks facing the dock space of the adjacent building to the south. This results in a separation of freight and delivery traffic from the general circulation of passenger vehicles on the site. Pedestrian circulation on-site is provided by walkways immediately adjacent to the parking areas in front of each building. The walkway in front of the proposed building is seven (7) feet wide and the adjacent parking with not require wheel stops in accordance with DCMC Section 9-22-050(F). Cross access easements exist across all Lots in the Subdivision.

*Pedestrian Considerations.* Existing pedestrian walkways and clear access points from the public street onto the existing site across Lots 1 and 3 do not exist as those properties were developed under prior codes and are not subject properties that are part of this application. As the initial site design and layout of the overall site predated changes to the DCMC requiring the pedestrian considerations listed in DCMC Subsections 9-22-050(G)(1) and (2), a deviation request from those subsections is not required. The proposal for the subject property complies with the remaining applicable requirements of DCMC Section 9-22-050(G).

*Landscaping and Lot Coverage.* The landscape plan (Exhibit F) shows the proposed layout of the landscaping for Lot 2. The overall site includes landscaping and native natural areas equal to approximately 41.9% of the overall site, well in excess of the minimum 20%. The specific coverages of Lot 2 includes approximately 29,476 square feet of building footprint (33%), 48,878 square feet (53.6%) of other impervious surfaces including parking, and 10,980 square feet (12.3%) of landscaped area. Comparatively, Lots 1 and 3 provide respectively 22.5 % and 22.9% of each lot as landscaped area, with a significant amount of that landscaping adjacent to 12300 south. Small portions of Lot 4 (approximately 230 square feet) are also included in the proposed landscaping plans for Lot 2, however the majority of Lot 4 remains as native natural open space with the exception of approved vehicular access drives to the building located on Lot 3. Outdoor amenities include a seating area including benches and a bike rack in compliance with requirements of DCMC Section 9-22-050(D)(2).

*Parking.* According to the site plans 54 parking spaces will be provided on Lot 2 with the new building (Exhibit E). Per the subdivision plat (Exhibit L), all parking stalls are to be fully shared among all lots within the subdivision. There would be a total of 161 parking spaces provided for a total of 80,397 square feet of gross building square footage which provides an average of approximately 2.0 parking stalls per 1000 square feet. Existing and allowable uses within the buildings range from office (4 spaces per 1,000 square feet) and retail (2.5 stalls per 100 square feet) to limited manufacturing (1 stall per 1000 square feet) and limited wholesale/warehousing (0.5 space per 1,000 square feet). Required parking counts will vary based on the specific use and compliance with minimum parking requirements will be verified at the time individual building permits and business licenses for each tenant space are processed.

Lighting. The lighting plan calls for wall pack lighting on the building walls near each of the entrances/ exits to the building. Pole lights are planned within the parking lot landscape islands along the north of the new parking area and are limited to a maximum pole height of 20 feet. Lighting intensities (Exhibit J) will be within ordinance standards both on-site and at the site property boundaries.

Fencing. No fencing is proposed with this application.

Previous Conditions of Approval. The Planning Commission placed the following conditions of approval on the commercial site plan on August 10, 2012:

1. That all conditions and codes of the Fire Department are met and adhered to.
2. That all conditions and codes of the Building Department are met and adhered to and that a building permit is obtained prior to construction of each building.
3. That all conditions and standards of the Engineering Department are met and adhered to.
4. That all mechanical equipment is screened from view, whether it is contained within the building or within a mechanical room attached to the building.
5. That a land disturbance permit is not issued until bond and fees are paid and a preconstruction meeting with a city inspector is scheduled.
6. That the building be constructed to look like the elevations and colors submitted to the Planning Department and submitted in this staff report dated July 1, 2008.
7. That prior to building permit approval, the applicant's geotechnical consultant, AGEC, addresses answers Alan Taylor's concern regarding boring depth.
8. That no signage is approved with the site plan. All signage is required to meet the requirements of Chapter 9-26 and obtain applicable sign permits through the appropriate City process.
9. That building exteriors reflect the materials/color rendering exhibited at the Planning Commission meeting of July 10, 2008.

Criteria For Approval. The criteria for review and potential approval of a Site Plan Amendment request is found in Sections 9-5-090(E) of the DCMC. This section depicts the standard of review for such requests as:

1. The entire site shall be developed at one time unless a phased development plan is approved.
2. site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.

5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

## **REVIEWS**

Planning Division Review. The Draper City Planning Division has completed their review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Amended Site Plan submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Geotechnical and Geologic Hazards Review. Taylor Geo-Engineering, LLC and Simon Associates LLC., in working with the Draper City Building and Engineering Divisions, have completed their reviews of the geotechnical and geologic hazards report submitted as a part of the Amended Site Plan submission. Comments from Taylor Geo-Engineering, LLC, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Amended Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

## **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission review the request, receive public comment, and make decisions based on the findings listed below and the criteria for approval, or denial, as listed within the staff report.

If the Planning Commission decides to approve the request, staff recommends they include the following conditions of approval for the subject property, superseding the previous conditions of approval by the Planning Commission:

1. That all requirements of the Draper City Engineering, Public Works, Building,

- Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
  3. That the building and site be constructed in substantial compliance with the plans submitted and approved as part of this amended site plan review, and in accordance with any approved deviations from standards.
  4. That no signage is approved with the site plan. All signage is required to meet the requirements of Chapter 9-26 and obtain applicable sign permits through the appropriate City process.

**Deviation Request from DCMC Section 9-22-050(A)(1) – Building Placement**

The findings for approval of the deviation from DCMC Section 9-22-050(A)(1) site design standards to allow for a building that does not face the street are as follows:

1. The overall percentage of dedicated public or private landscape and open space area exceeds the required amount by more than ten percent (10%).
2. The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.
3. The proposed project creates a consistent and compatible design in this case which involves a new building within a previously approved phased project.
4. The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount.

The findings for denial of the deviation from DCMC Section 9-22-050(A)(1) site design standards to allow for a building that does not face the street are as follows:

1. The variations are not consistent with the purpose of this chapter and any applicable master plan or ordinance.
2. The proposed project does not create a consistent and compatible design within the previously approved phased project.

**Deviation Request from DCMC Section 9-22-040(C)(2) – Facade articulation**

The findings for approval of the deviation from DCMC Section 9-22-040(C)(2) building design standards regarding the lack of articulation along the southern building facade are as follows:

1. The overall percentage of dedicated public or private landscape and open space area exceeds the required amount by more than ten percent (10%).
2. The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.
3. The proposed project creates a consistent and compatible design in this case which involves a new building within a previously approved phased project.

4. The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount.

The findings for denial of the deviation from DCMC Section 9-22-040(C)(2) building design standards regarding the lack of articulation along the southern building facade are as follows:

1. The variations are not consistent with the purpose of this chapter and any applicable master plan or ordinance.
2. The proposed project does not create a consistent and compatible design within the previously approved phased project.

### **Amended Site Plan**

The findings for approval of the amended site plan are as follows:

1. The site plan amendment represents completion of the phased development plan for the overall site.
2. The proposed site plan conforms to all applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the CBP zone.
4. Public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of the DCMC, including traffic, storm water drainage, and utilities concerns.

The findings for denial of the amended site plan are as follows:

1. The proposed site plan does not conform to all applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
2. The proposed development plans do not meet the intent, goals, and objectives of the general plan and the purpose of the CBP zone.

### **MODEL MOTIONS**

#### **Deviation Request from DCMC Section 9-22-050(A)(1) – Building Placement**

Sample Motion for Approval – I move that we approve the deviation from building orientation to the street, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow

Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021.

Sample Motion for Modified Approval – I move that we approve the deviation from building orientation to the street as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

Sample Motion for Denial – I move that we deny the deviation from the building orientation to the street, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021.

#### **Deviation Request from DCMC Section 9-22-040(C)(2) – Facade articulation**

Sample Motion for Approval – I move that we approve the deviation from the building façade articulation, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021.

Sample Motion for Modified Approval – I move that we approve the deviation from the building façade articulation, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

Sample Motion for Denial – I move that we deny the deviation from the building façade articulation, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021.

#### **Amended Site Plan**

Sample Motion for Approval – I move that we approve the Site Plan Amendment, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and



Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021.

Sample Motion for Modified Approval – I move that we approve the Site Plan Amendment, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

Sample Motion for Denial – I move that we deny the Site Plan Amendment, as requested by Bruce Kenner, representing Willow Creek Industrial Properties #1 LLC and Willow Creek Industrial Properties #3 LLC for the Willow Creek Industrial Properties Lot 2 Amended Site Plan, application #SPR-1026-2020, based on the findings and subject to the conditions listed in the Staff Report dated April 30, 2021.



## DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

**Brien Maxfield**

Digitally signed by Brien Maxfield  
DN: cn=Brien Maxfield, o=Draper City, ou=PW - Engineering,  
email=brien.maxfield@draperutah.gov, c=US  
Date: 2021.05.03 17:32:36 -06'00'

Draper City Public Works Department

**Jennifer Jastremsky**

Digitally signed by Jennifer Jastremsky  
DN: C=US, E=jennifer.jastremsky@draperutah.gov,  
O=Planning Division, OU=Draper City, CN=Jennifer Jastremsky  
Date: 2021.05.04 09:22:22 -06'00'

Draper City Planning Division

**Don Buckley**

Digitally signed by Don Buckley  
DN: C=US, E=don.buckley@draper.ut.us,  
O=Draper City Fire Department, OU=Fire Marshal, CN=Don Buckley  
Date: 2021.05.03 17:11:19 -06'00'

Draper City Fire Department

**Mike Barker**

Digitally signed by Mike Barker  
Date: 2021.05.03 16:50:48 -06'00'

Draper City Legal Counsel

**Keith Collier**

Digitally signed by Keith Collier  
DN: C=US,  
E=keith.collier@draperutah.gov,  
O=Draper City, OU=Building Official,  
CN=Keith Collier  
Date: 2021.05.04 07:12:12 -06'00'

Draper City Building Division

## **EXHIBIT A DEPARTMENT REVIEWS**

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

### Planning Division Review.

1. No additional comments.

### Engineering and Public Works Divisions Review.

1. Meets code requirements.

### Building Division Review.

1. No additional comments.

### Geotechnical and Geologic Hazards Review.

1. Based substantially in and on reliance of the technical documentation and assurances provided by AGECE, including their opinions and conclusions, it is TG's opinion that AGECE has adequately addressed geotechnical parameters at the site, consistent with concerns for public health, safety, welfare, reasonable professional standards of practice and the Draper City's Geologic Hazards Ordinance.

### Fire Division Review.

1. Fire Department Access is required. An unobstructed minimum road width of twenty-six (26) feet exclusive of the shoulders and a minimum height of thirteen (13) feet six (6) inches shall be required. The road must be, designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of twenty - eight (28) feet. There shall be a maximum grade of 10%. Grades may be, checked prior to building permits being issued.
2. Hydrants and Site Access. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be, installed and APPROVED by the Fire Department prior to the issuance of any Building Permits. If at any time during the building phase any of the hydrants or temporary Fire Department

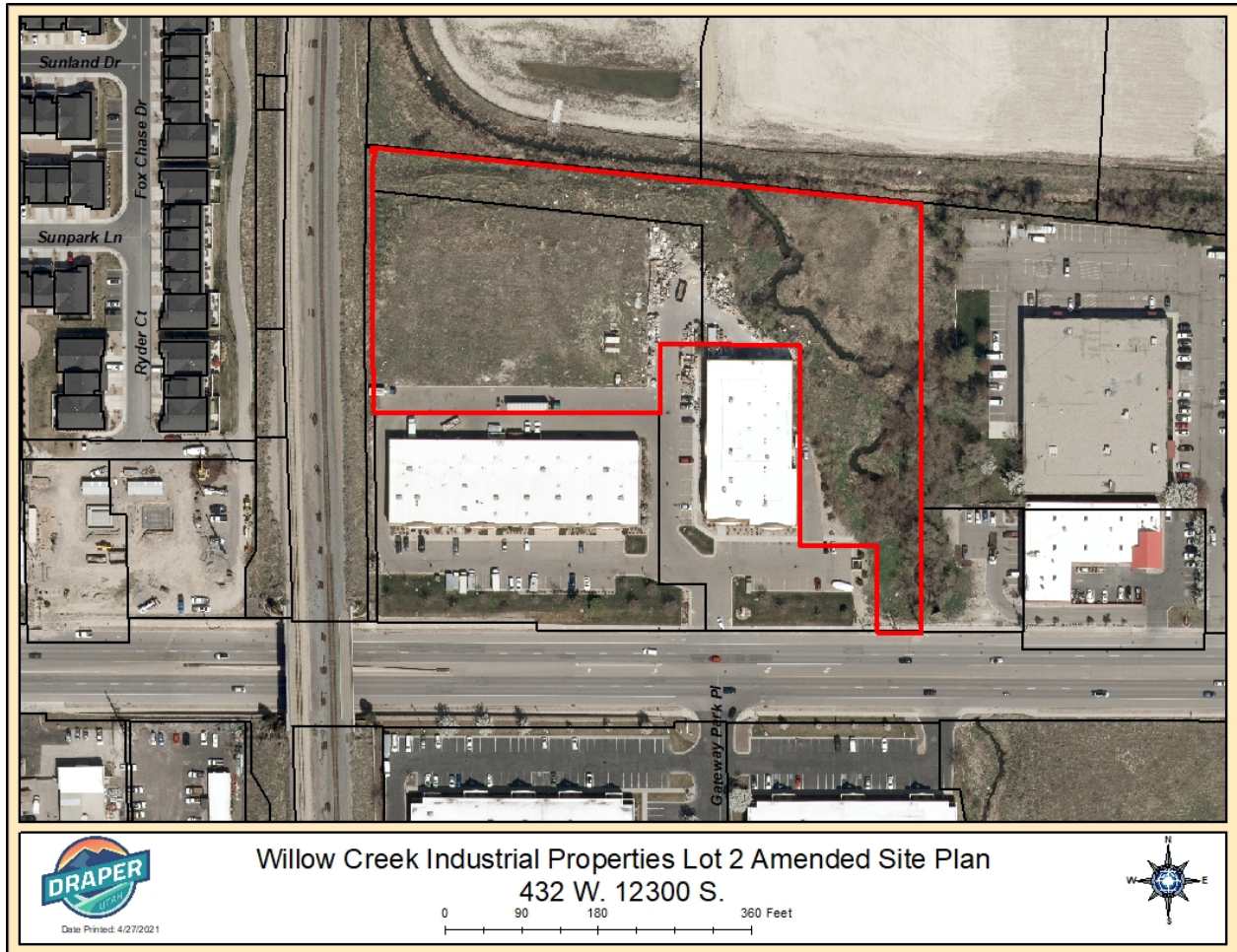
Access becomes non-compliant any and all permits could be revoked.

3. Fire Hydrants are required. This project needs 3 hydrants however it appears that they are already installed with the previous buildings. They are to be protected with bollards if susceptible to vehicle damage. The required fire flow for this project is 4750GPM for full 4 hour duration. A 50% reduction is allowed in fire flow which is 2375gpm for 2 hours, for installation of fire sprinklers.
4. No combustible construction shall be, allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
5. Fire Sprinklers Required. A deferred submittal for a NFPA 13 fire sprinkler shop drawings are to be sent via email to: Don Buckley at don.buckley@draper.ut.us . A complete set of plans, with manufacturer cut sheets, and hydraulic calculations. Plans must be stamped by a NICET level III or better in Auto Sprinkler Layout. (There needs to be a hydrant with-in a 100 feet of the FDC.) FDC is required to have KNOX Locking Caps. ALL FIRE PROTECTION PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT. *The fire sprinkler system shall be designed to accommodate high pile storage.*
6. Post Indicator Valve with Tamper May Be Required. If there is no designated fire riser room with a direct access door from the outside. There shall be either a wall mounted P.I.V (OS&Y) or a typical P.I.V placed a minimum distance of 40 feet from the building with a tamper switch.
7. Fire Alarm Required. A deferred submittal for fire alarm shop drawings are to be sent via email to the following to: Don Buckley at don.buckley@draper.ut.us . A complete set of plans, with manufacturer cut sheets, and battery calculations. Plans must be stamped by a NICET level III or better in Fire Alarm Systems. ALL FIRE ALARM PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.
8. Knox Boxes Required. Fire Department "Knox Brand" lock box to be mounted to exterior walls, near the main entrance and/or nearest the door serving the exterior access to the fire sprinkler riser room. (At a height of 5 feet to the top of the box) Lock box purchase can be arranged by the General Contractor. See attached information form.
9. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the

property. These numbers shall contrast with their background.

10. Street Signs required and are to be posted and legible prior to building permits being, issued. All lots to have lot number or address posted and legible.

**EXHIBIT B**  
**AERIAL MAP**



# EXHIBIT C LAND USE MAP

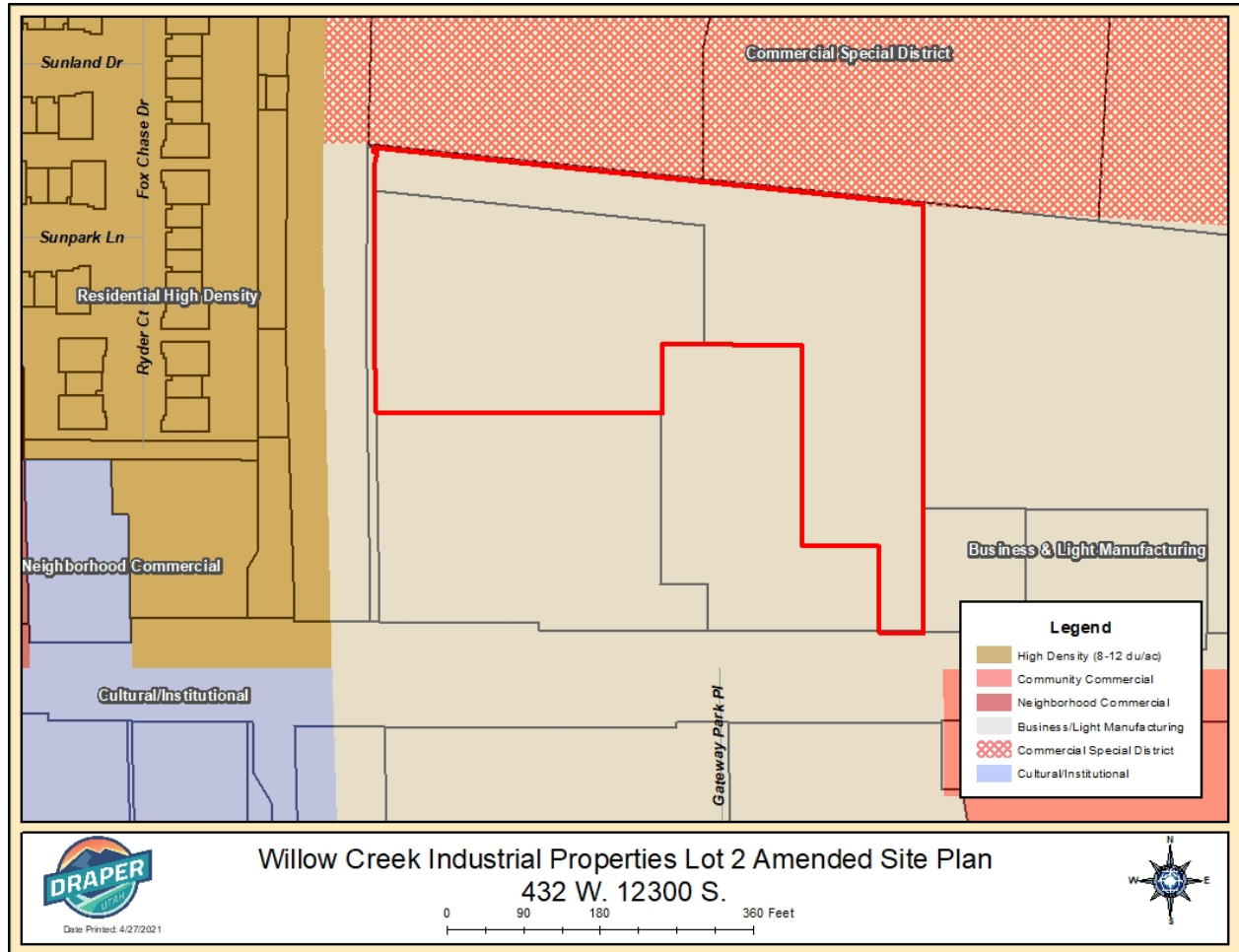
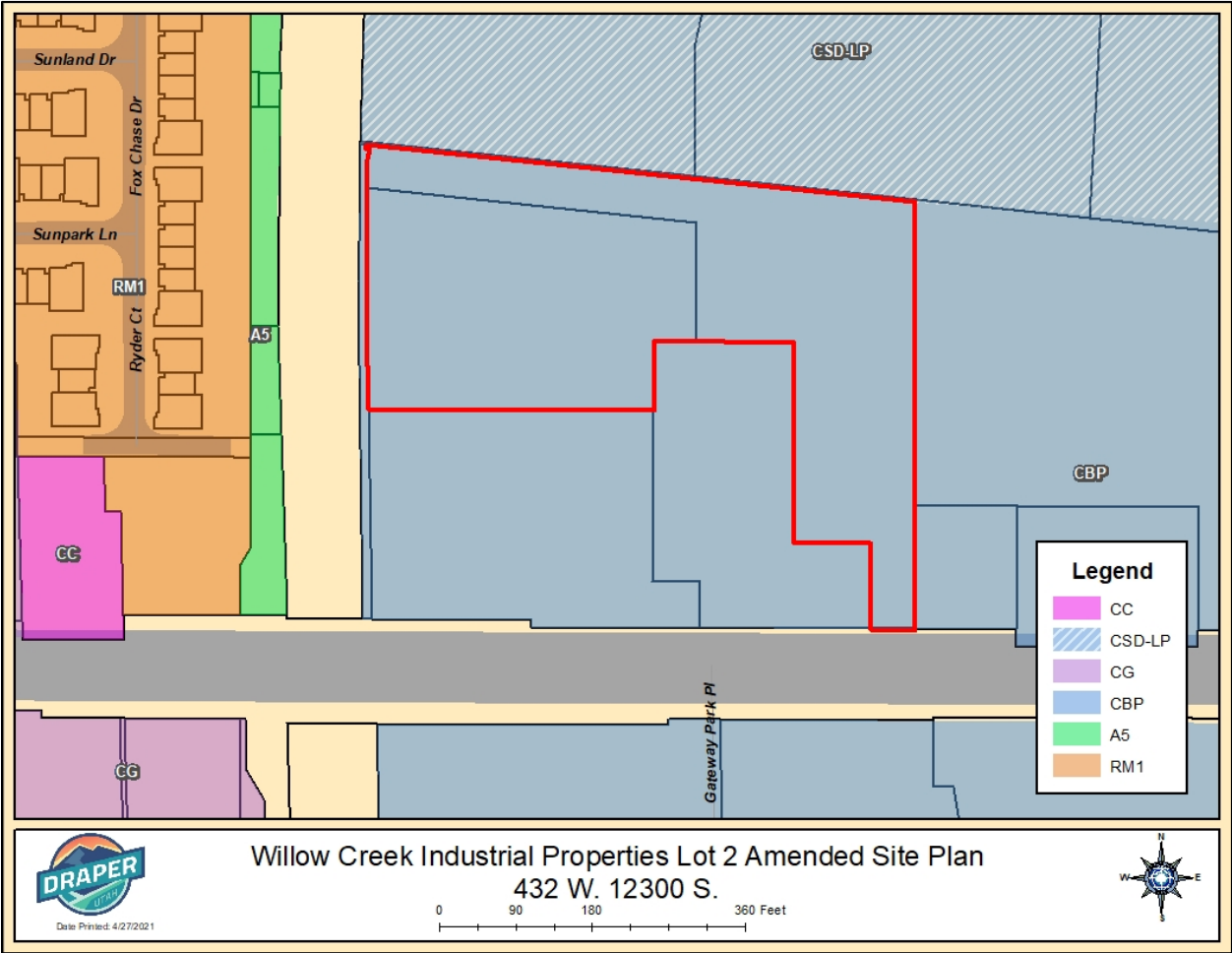


EXHIBIT D  
ZONING MAP



**EXHIBIT E**  
**SITE PLAN**



LOT 2 TABULATION TABLE	
DESCRIPTION	
TOTAL ACRES OF AREA PROPOSED	2.05 ACRES
SQUARE FOOTAGE OF BUILDING	28,476 S.F.
SQUARE FOOTAGE OF MEZZANINE	2,461 S.F.
TOTAL SF OF BUILDING	31,397 S.F.
AREA OF LANDSCAPING	10,980 S.F.
PARKING STALLS/HANDICAP STALLS	14 / 3
IMPERVIOUS SURFACE	48,878 S.F.

TOTAL AREA TABULATION	
TOTAL GROSS ACREAGE	7.858 AC
SQUARE FOOTAGE OF BUILDING FOOTPRINT	78,476 SQ. FT.
SQUARE FOOTAGE OF LANDSCAPING	44,686 SQ. FT.
NUMBER OF PARKING SPACES (HANDICAP)	161 SPACES / (8)
SQUARE FOOTAGE OF IMPERVIOUS SURFACES	152,256 SF / 3.50 AC
SQUARE FOOTAGE LEFT IN HISTORICAL STREAM BED	98,738 SF / 2.27 AC

WEST 1/4 CORNER OF SECTION 25,  
TOWNSHIP 3 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE & MERIDIAN  
(FOUND BRASS MONUMENT)

(QUARTER SECTION LINE) N89°45'13"E 2299.60'

CENTER OF SECTION 25,  
TOWNSHIP 3 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE & MERIDIAN  
(FOUND BRASS MONUMENT)

N89°45'13"E 382.48'



VICINITY MAP

### OVERALL BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 89°45'13" WEST ALONG THE QUARTER SECTION LINE 382.48 FEET AND SOUTH 525.43 FEET FROM THE CENTER OF SECTION 25, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 501.35 FEET; THENCE NORTH 89°58'48" WEST 451.63 FEET; THENCE NORTH 00°01'09" EAST 8.00 FEET; THENCE NORTH 89°58'48" WEST 188.00 FEET TO THE EAST RIGHT OF WAY LINE OF THE D&RG RAILROAD; THENCE NORTH 01°09'00" WEST ALONG SAID RIGHT OF WAY LINE 299.00 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF A 6277.01 FOOT RADIUS CURVE TO THE RIGHT 254.01 FEET THROUGH A CENTRAL ANGLE OF 02°19'07", THE CHORD OF WHICH BEARS NORTH 00°00'33" EAST 253.99 FEET; THENCE NORTH 84°26'00" WEST 2.52 FEET; THENCE NORTH 00°05'49" EAST 5.02 FEET; THENCE SOUTH 84°16'00" EAST 651.36 FEET TO THE POINT OF BEGINNING.

CONTAINS 7.858 ACRES (342,315.95 SQ. FT.)

BASIS OF BEARING: S89°59'09"E ALONG THE MONUMENT LINE FROM THE MONUMENT IN THE INTERSECTION OF 12300 SOUTH AND 700 WEST STREETS, TO THE MONUMENT (TO THE EAST) IN THE CENTER OF 12300 STREET.

### LOT 1 DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 89°45'13" WEST ALONG THE SECTION LINE 690.84 FEET AND SOUTH 769.28 FEET FROM THE CENTER OF SECTION 25, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 201.95 FEET; THENCE EAST 55.86 FEET; THENCE SOUTH 54.14 FEET; THENCE NORTH 89°58'48" WEST 199.15 FEET; THENCE NORTH 00°01'09" EAST 8.00 FEET; THENCE NORTH 89°58'48" WEST 188.00 FEET; THENCE NORTH 00°01'09" EAST 248.00 FEET; THENCE EAST 336.26 FEET TO THE POINT OF BEGINNING.

AREA = 1.996 ACRES (86,948.83 SQ. FT.)

### LOT 2 DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 89°45'13" EAST ALONG THE QUARTER SECTION LINE 640.83 FEET AND SOUTH 548.63 FEET FROM THE CENTER QUARTER CORNER OF SECTION 25, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 140.86 FEET; THENCE WEST 50.00 FEET; THENCE SOUTH 80.00 FEET; THENCE WEST 336.26 FEET TO THE WEST BOUNDARY OF SAID SUBDIVISION LINE; THENCE ALONG SAID LINE THE FOLLOWING TWO (2) COURSES: (1) NORTH 01°09'00" WEST 51.00 FEET; (2) ALONG THE ARC OF A 6277.01 FOOT RADIUS CURVE TO THE RIGHT 208.84 FEET THROUGH A CENTRAL ANGLE OF 01°54'22", THE CHORD BEARS NORTH 00°11'50" WEST 208.83 FEET; THENCE LEAVING SAID LINE SOUTH 84°16'00" EAST 389.96 FEET.

AREA = 2.05 ACRES (89,236 SQ. FT.)

### LOT 3 DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 89°45'13" WEST ALONG THE SECTION LINE 690.84 FEET AND SOUTH 769.28 FEET FROM THE CENTER OF SECTION 25, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE NORTH 80.00 FEET; THENCE EAST 165.21 FEET; THENCE SOUTH 236.52 FEET; THENCE EAST 92.65 FEET; THENCE SOUTH 99.63 FEET; THENCE NORTH 89°58'48" WEST 202.00 FEET; THENCE NORTH 54.14 FEET; THENCE WEST 55.86 FEET; THENCE NORTH 201.95 FEET TO THE POINT OF BEGINNING.

AREA = 1.417 ACRES (61,732 SQ. FT.)

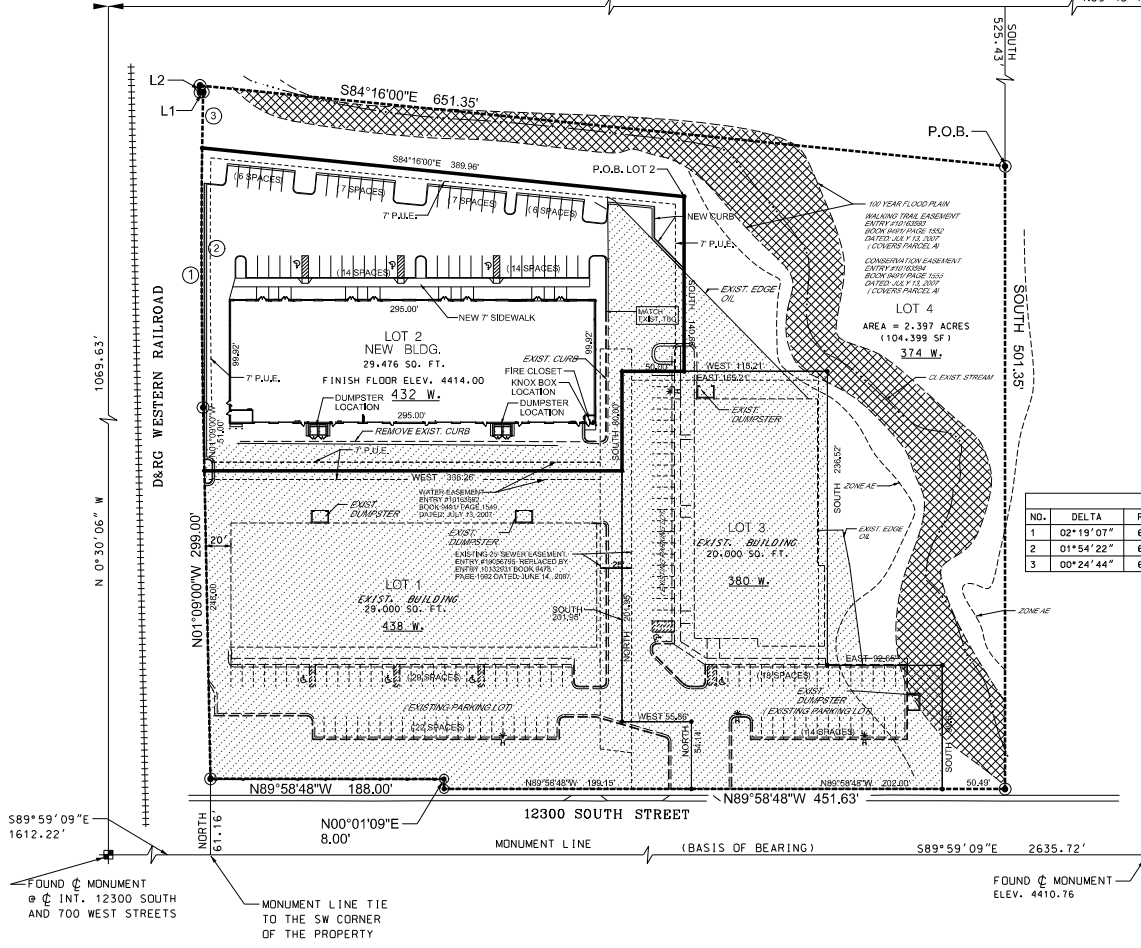
### LOT 4 DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 89°45'13" WEST ALONG THE QUARTER SECTION LINE 382.48 FEET AND SOUTH 525.43 FEET FROM THE CENTER OF SECTION 25, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 501.35 FEET; THENCE NORTH 89°58'48" WEST 50.49 FEET; THENCE NORTH 99.63 FEET; THENCE WEST 92.65 FEET; THENCE NORTH 236.52 FEET; THENCE WEST 115.21 FEET; THENCE NORTH 140.86 FEET; THENCE NORTH 84°16'00" WEST 389.96 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF A 6277.01 FOOT RADIUS CURVE TO THE RIGHT 45.17 FEET THROUGH A CENTRAL ANGLE OF 00°24'44", THE CHORD OF WHICH BEARS NORTH 00°57'47" EAST 45.17 FEET; THENCE NORTH 89°26'00" 2.52 FEET; THENCE NORTH 00°05'49" EAST 5.02 FEET; THENCE SOUTH 84°16'00" EAST 651.36 FEET TO THE POINT OF BEGINNING.

AREA = 2.397 ACRES (104,399 SQ. FT.)

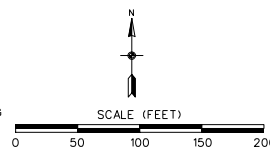
CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1	02°19'07"	6277.01	254.01	253.99	N00°00'33"E
2	01°54'22"	6277.01	208.84	208.83	N00°11'50"W
3	00°24'44"	6277.01	45.17	45.17	N00°57'47"E

LINE TABLE		
NO.	BEARING	LENGTH
L1	N84°26'00"W	2.52'
L2	N00°05'49"E	5.02'



### NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH SALT LAKE COUNTY DISTRICTS DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.
- FIRE FLOW IS 2375 gpm FOR 2 HOURS.



**BROWN**  
ENGINEERING, INC.  
Office: (801) 377-7989 Fax: (801) 377-1789  
578 East 700 North, Orem UT 84057



REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	AS SHOWN
3	AS SHOWN
4	AS SHOWN
5	AS SHOWN
6	AS SHOWN
7	AS SHOWN
8	AS SHOWN
9	AS SHOWN
10	AS SHOWN

WILLOW CREEK INDUSTRIAL PROPERTIES  
KENNER ASSOCIATES  
OVERALL SITE PLAN

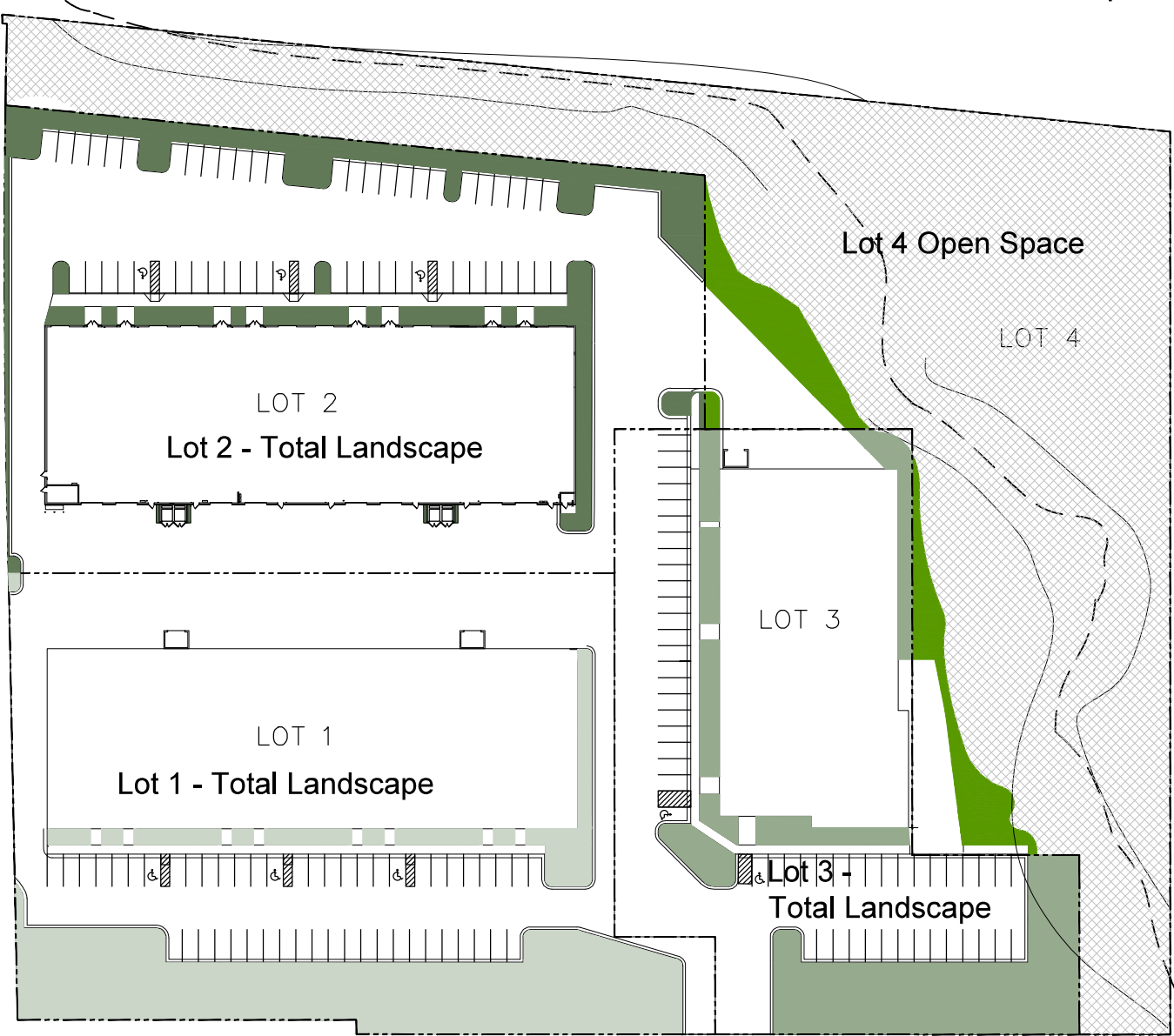
PROJECT NO.	2020.005
SHEET NO.	1.00

1-800-462-4111  
**811**  
Know what's below.  
Call before you dig.



**EXHIBIT F**  
**LANDSCAPE PLAN**

Willow Creek Business Park - Overall Landscape Areas



Lot 1 Landscape

Total Area	Total Landscaped Area	Percentage of Total Landscaped Area
86949.00	19580.77	22.52%

Lot 2 Landscape

Total Area	Total Landscaped Area	Percentage of Total Landscaped Area
89236.00	10980.00	12.30%

Lot 3 Landscape

Total Area	Total Landscaped Area	Percentage of Total Landscaped Area
61732.00	14124.84	22.88%

Lot 4 Open Space

Total Area	Total Landscaped Area/Open Space	Percentage of Total Landscaped Area/Open Space
104399.00	98737.86	94.58%

Overall Total

Total Area	Total Landscaped Area/Open Space	Percentage of Total Landscaped Area/Open Space
342316.00	143423.47	41.90%

Scale: 1" = 60'-0"



blu line designs  
planning | landscape architecture | design  
8719 S. Sandy Parkway  
Sandy, UT 84070  
p 801.415.7994



blu line designs  
planning | landscape architecture | design  
8719 S. Sandy Parkway  
Suite 101, West Valley  
Salt Lake City, UT 84119  
p 801.315.1764  
c 801.315.1764

WILLOW CREEK  
BUSINESS PARK  
DRAPER, UTAH

NO.	REVISIONS
1	ISSUED FOR PERMIT



Designed By: CS  
Drawn By: CS  
Date: 10/07/2020  
Checked By: CS  
Printed By: 20475  
Drawing Title:

LANDSCAPE  
PLAN

Drawing number

LP101

## PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	CELTIS OCCIDENTALS / COMMON HACKBERRY	B&B	2" CAL	6
	GLEITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	B&B	2" CAL	8
	ZELKOVA SERRATA 'MUSASHINO' / SAWLEAF ZELKOVA	B&B	2" CAL	1
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	B&B	6" HT MIN.	6
SHRUBS	BOTANICAL / COMMON NAME	CONT	ZONE	QTY
	BUXUS MICROPHYLLA 'WINTER GEM' / GLOBE WINTER GEM BOXWOOD	5 GAL		12
	CORNUS SERICEA 'KELSEY' / KELSEY DWARF REDTIG DOGWOOD	5 GAL		60
	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	5 GAL		27
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL		57
	RIBES ALPIMUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT	5 GAL		21
	SPIRAEA X BUMALDA 'LIME MOUND' TM / LIME MOUND SPIREA	5 GAL		25
	SYMPHORCARPOS ALBUS / COMMON WHITE SNOWBERRY	5 GAL		10
ANNUAL/SUPERENNUALS	BOTANICAL / COMMON NAME	CONT	ZONE	QTY
	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL		50
	HEUCHERA X 'BLACK BEAUTY' / CORAL BELLS	1 GAL		20
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	CONT	ZONE	QTY
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL		49
	CAREX MORROWII / JAPANESE SEDGE	1 GAL		64
	HAKONECHLOA MACRA 'ALBO-STRATA' / JAPANESE FOREST GRASS	1 GAL		44
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	ZONE	QTY
	NATIVE SEED MIX / APPLY PER SUPPLIERS' RECOMMENDATIONS	SEED		3,684 SF

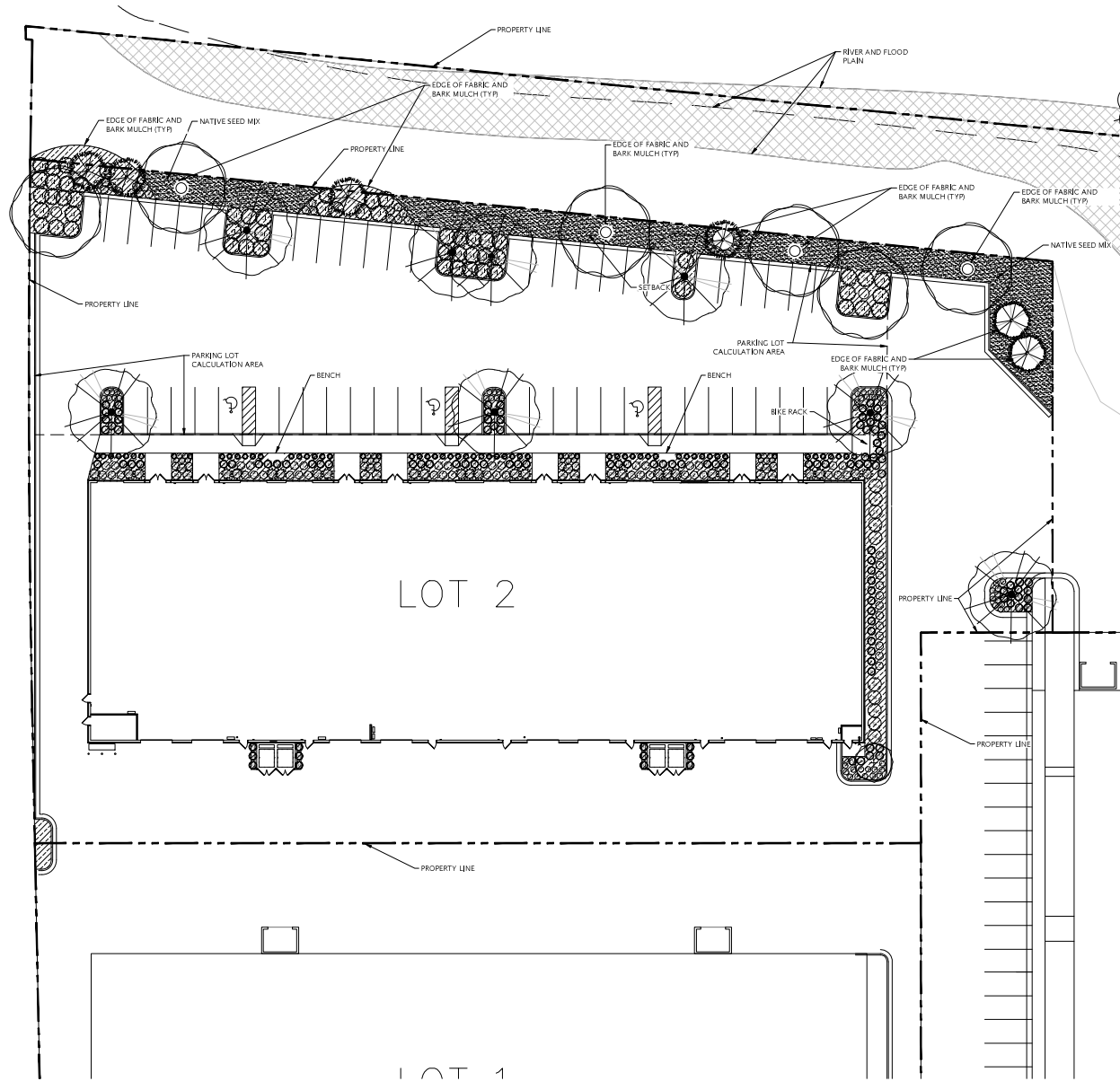
- NOTES:
- ALL PLANTING BEDS TO BE LINED WITH COMMERCIAL GRADE WEED BARRIER FABRIC AND TOPPED WITH 4" DEPTH SHREDDED BARK MULCH.
  - COORDINATE ALL PLANTINGS WITH UTILITY PLAN, ADJUST TREES AS NECESSARY.
  - FOR SHRUB AND TREE PLANTING DETAILS SEE DETAILS.
  - CONTRACTOR TO VERIFY SIZE AND QUANTITIES OF PLANT SCHEDULE.
  - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION REGARDING RECORDED TRAIL AND CONSERVATION EASEMENT.

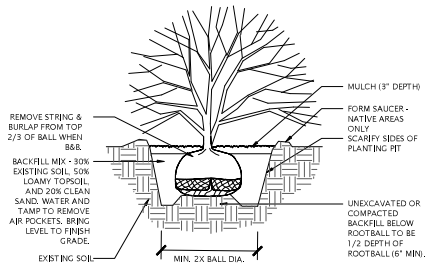
## REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
	PLANTER BED WITH DARK BROWN SHREDDED MULCH	6,709 SF

LOT 2 LANDSCAPE DATA TABLE	
LANDSCAPE AREA REQ.= (SEE OVERALL LANDSCAPE PLAN CALCULATIONS)	PROVIDED: 10,380 SF (12.3%) (SEE OVERALL LANDSCAPE PLAN CALCULATIONS)
PARKING LOT AREA: 25,205 SF	
PARKING LOT LANDSCAPE REQUIRED: 1,260 SF	PARKING LOT LANDSCAPE PROVIDED: 2040 SF (8%)
PERIMETER LANDSCAPE REQUIREMENTS: 4 TREES/ 36 SHRUBS	PERIMETER LANDSCAPE PROVIDED: 10 TREES/ 36 SHRUBS

Scale: 1" = 20'-0"



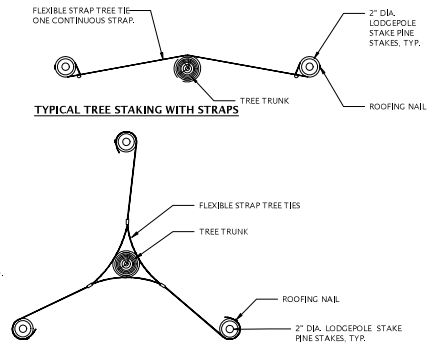


#### NOTES:

1. PLANT SO THAT TOP OF ROOT BALL IS 2" ABOVE FINISHED GRADE

### 1 SHRUB DETAIL

NOT TO SCALE

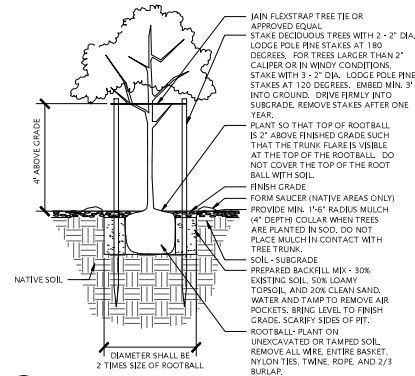


#### TYPICAL TREE STAKING WITH STRAPS

#### TREES IN WINDY CONDITIONS OR LARGER THAN 2" CAL.

### 2 TREE STAKING - FLEX STRAPS

NOT TO SCALE



### 3 TREE PLANTING - FLEX STRAP

NOT TO SCALE



#### NOTE:

ULINE COURTYARD BENCH MODEL H-3018, SIZE TO BE 6 FT BENCH WITH BACK (71X26X32) MOUNTED ON CONCRETE PAD. COLOR SELECTION BY OWNER.

### 4 BENCH

NOT TO SCALE



#### NOTE:

ULINE 3-LOOP WAVE BKE RACK - 5 BKE CAPACITY, MODEL H2543, MOUNTED ON CONCRETE PAD. COLOR SELECTION BY OWNER.

### 5 BIKE RACK

NOT TO SCALE



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planning | landscape architecture | design

8719 S. Sandy Parkway

Sandy, UT 84070

p 801.315.7864

CLB/MT

WILLOW CREEK  
BUSINESS PARK  
DRAPER, UTAH

NO.	REVISIONS
1	ISSUED FOR PERMIT



Designed By	CB
Drawn By	CB
Date	10/27/2020
Checked By	CB
Printed By	20475

Drawing Title

LANDSCAPE  
DETAILS

Drawing number

LP501

**EXHIBIT G  
ELEVATIONS**



MARK	REVISION	DATE

#### SHEET NOTES

1. FINISHED GRADE.
2. PREFINISHED ALUMINUM STOREFRONT DOOR SYSTEM WITH THERMAL BREAKS, COLOR: DARK BRONZE. SEE SHEET A601.
3. PREFINISHED ALUMINUM STOREFRONT WINDOW SYSTEM WITH THERMAL BREAKS, COLOR: DARK BRONZE. SEE SHEET A601.
4. PRE-FINISHED METAL PARAPET WALL CAP. SEE DETAIL A6/A701.
5. EXTERIOR WALL LIGHT. SEE ELECTRICAL.
6. CAST NICKEL BRONZE DOWNSPOUT NOZZLE WITH ANCHOR FLANGE. SEE DETAILS D4/A701 & E4/A701.
7. GAS METER LOCATION. COORDINATE WITH UTILITY COMPANY. SEE PLUMBING.
8. PROPOSED ELECTRICAL METER LOCATION. SEE ELECTRICAL. COORDINATE WITH ROCKY MOUNTAIN POWER.
9. EXTERIOR FIRE RISER CONNECTION. SEE PLUMBING.
10. PRE-FINISHED METAL CAP. SEE DETAIL A6/A701.
11. CONCRETE TILT-UP REVEALS AS SHOWN. SEE DETAILS ON SHEET A701.
12. ENTRY AWNING FEATURE. SEE DETAIL E2/A701. SEE STRUCTURAL FOR CONNECTION REQUIREMENTS.
13. PRE-FINISHED PAINTED STEEL OVERHEAD DOOR. SEE SHEET A601.
14. PAINTED HOLLOW METAL INSULATED MAN DOOR. SEE SHEET A601.
15. FINISHED GRADE OR FINISHED SIDEWALK. SEE CIVIL.
16. SIGNAGE LOCATION PER DRAPER CITY SIGN ORDINANCE REQUIREMENTS. VERIFY WITH OWNER POWER REQUIREMENTS.
17. HEAVY DUTY KEY KNOX BOX WITH HINGED DOOR. TO BE APPROVED PER DRAPER CITY FIRE DEPARTMENT.

**A1 NORTH ELEVATION**  
A201 | SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"  
0' 4' 8' 16' 24' 32' 40'

**C1 SOUTH ELEVATION**  
A201 | SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"  
0' 4' 8' 16' 24' 32' 40'

**E1 WEST ELEVATION**  
A201 | SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"  
0' 4' 8' 16' 24' 32' 40'

**E4 EAST ELEVATION**  
A201 | SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"  
0' 4' 8' 16' 24' 32' 40'

#### EXTERIOR MATERIAL LEGEND

EM1	SMOOTH FACE CONCRETE TILT UP PANEL. COLOR TO MATCH BUEHNER BLOCK. OAK.
EM2	GLAZING. COLOR AND STYLE TO BE PPG. CLEAR GLASS
EM3	4" PRE-FINISHED METAL CAP. COLOR TO BE COPPER
EM4	STANDING METAL SEAM ROOFING WITH VERTICAL SEAMS. COLOR: COPPER.
EM5	ALUMINA FINISH OBSIDIAN WITH AN OBSIDIAN PRIMER.
EM6	WINDOW CASINGS AND DOOR TRIM. COLOR TO BE DARK BRONZE.
EM7	THIN SPLIT FACE CMU BLOCK VENEER WITH PRE-CAST CONCRETE CAP. COLOR TO MATCH BUEHNER BLOCK. OAK.

#### GENERAL NOTES

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED FINISH.
- CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- PROVIDE PRE-FINISHED NUMBERS ON THE FRONT. EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY. MATCH EXISTING ADDRESS NUMBERS ON ADJACENT BUILDING. VERIFY COLOR AND FINISH WITH OWNER.
- SEE PLUMBING SHEETS AND ROOF DRAINAGE PLAN FOR SECONDARY ROOF DRAINAGE BRASS SCUPPER AND ROOF SCUPPER WITH PRE-FINISHED ALUMINUM DOWN SPOUT LOCATIONS ALONG EXTERIOR WALLS.
- SEE PLUMBING SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL.
- SEE ELECTRICAL SHEETS FOR ELECTRICAL FIXTURE LOCATIONS ALONG EXTERIOR WALLS.
- EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.

<b>CURTIS MINER ARCHITECTURE</b> 233 SOUTH PLEASANT CROCKE BLVD. SLATE #105 PLEASANT CROCKE, UTAH 84062 PHONE: (801) 730-3044 cm@curtisminer.com	DATE: AUGUST 24, 2020 PROJECT #: 20-005 PROJ. MAN.: NRB CHECKED BY: GWI
	PROJECT: <b>KENNER ASSOCIATES OFFICE WAREHOUSE</b> 432 WEST 12300 SOUTH DRAPER, UTAH
SHEET DESCRIPTION: <b>EXTERIOR ELEVATIONS</b>	SHEET: <b>A201</b>



UJICMA Jobs2020020-005 Kenner Associates - Office Warehouse CS09 Revit20-005 Kenner Associates - Office Warehouse\_Central - 2020-10-27 - City Changes,vt  
12/4/2020 12:34:16 PM

**E2 DUMPSTER SECTION**  
AS501 | SCALE: 3/4" = 1'-0"

**E3 DUMPSTER ENCLOSURE**  
AS501 | SCALE: 1/4" = 1'-0"



**E4** DUMPSTER ENCLOSURE - FRONT ELEVATION  
AS501 | SCALE: 1/4" = 1'-0"

**D6 BOLLARD DETAIL**  
AS501 SCALE: 3/4" = 1'-0"

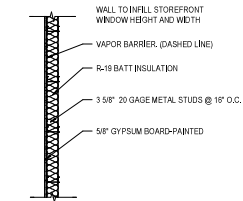
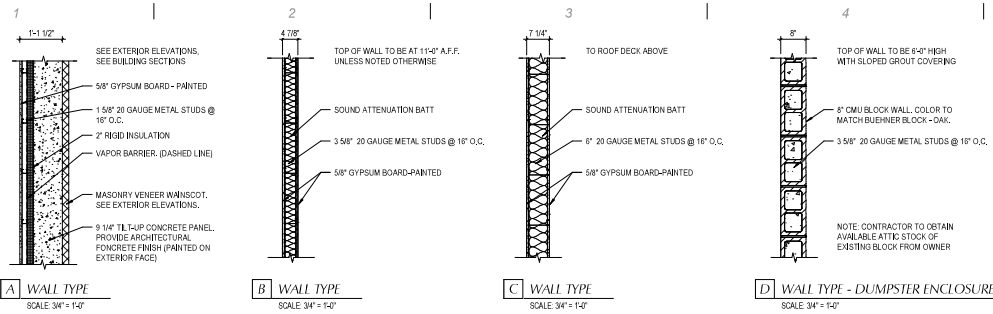
**E6** DUMPSTER ENCLOSER - SIDE ELEVATION  
AS501 | SCALE: 1/4" = 1'-0"

### GENERAL NOTES

- A. CONTRACTOR TO OBTAIN AVAILABLE ATTIC STOCK OF EXISTING BLOCK FROM OWNER.

 <b>CURTIS MINER</b> ARCHITECTURE	DATE: <b>AUGUST 24, 2020</b>
	PROJECT #: <b>20-005</b>
	PROJ. MAN.: <b>NRB</b>
	CHECKED BY: <b>GWT</b>
333 SOUTH PLEASANT CROVE BLVD. SUITE #100 PLEASANT CROVE, UTAH 84062 PHONE: (801) 749-3600 cmr@curtisminer.com	
<small>I, THE UNDERSIGNED, BEING THE PROPRIETOR OF CURTIS MINER ARCHITECTURE, A PROFESSIONAL SERVICE CORPORATION, DO HEREBY CERTIFY THAT I AM AN ELIGIBLE ARCHITECT UNDER THE ARCHITECTURE ACT OF THE STATE OF UTAH.</small>	
	
<b>PROJECT:</b> <b>KENNER ASSOCIATES OFFICE</b> <b>WAREHOUSE</b>  <b>432 WEST 12300 SOUTH</b> <b>DRAPER, UTAH</b>	
<b>SHEET DESCRIPTION:</b> <b>ARCHITECTURAL SITE DETAILS</b>	
<b>SHEET:</b> <b>AS501</b>	

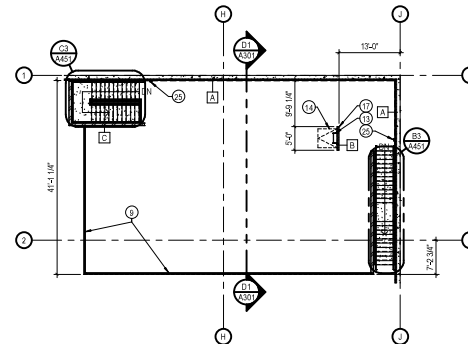
**EXHIBIT H**  
**FLOOR PLAN**



**B3 ADA STAIRWAY SIGN**  
A101 SCALE: 3" = 1'-0"

**B4 ADA EXIT SIGN**  
A101 SCALE: 3" = 1'-0"

**B5 PARTIAL MEZZANINE PLAN**  
A101 SCALE: 3/32" = 1'-0"



MARK	REVISION	DATE

#### SHEET NOTES

1. ADA COMPLIANT BRACKET MOUNTED 2A10BC FIRE EXTINGUISHER.
2. COMMON PATH OF EGRESS TRAVEL.
3. ELECTRIC PANEL. SEE ELECTRICAL.
4. ELECTRIC SWITCH GEAR. SEE ELECTRICAL.
5. INSULATED ROOF DRAIN PIPE. SEE PLUMBING.
6. STRUCTURAL BRACE FRAME. SEE STRUCTURAL.
7. STRUCTURAL COLUMN. SEE STRUCTURAL.
8. DASHED LINES INDICATE ROOF AWNING OVERHANG ABOVE. SEE EXTERIOR ELEVATIONS AND ROOF PLAN.
9. 4" HIGH GUARDRAIL. SEE DETAILS ON SHEET A452.
10. GAS METER LOCATION. SEE MECHANICAL.
11. ELECTRIC METER LOCATION. SEE ELECTRICAL, COORDINATE WITH ROCKY MOUNTAIN POWER.
12. SPRINKLER CONTROL BOX. SEE LANDSCAPE.
13. ROOF ACCESS LADDER. SEE DETAIL B5A101.
14. ROOF ACCESS HATCH ABOVE. SEE DETAIL B5A101.
15. DASHED LINE INDICATES EDGE OF MEZZANINE ABOVE.
16. EXTERIOR FIRE RISER CONNECTION. SEE PLUMBING AND CIVIL.
17. WALL FOR ROOF ACCESS LADDER TO BE FRAMED TO DECK ABOVE. SEE WALL TYPES.
18. EXISTING TRANSFORMER LOCATION. SEE ELECTRICAL.
19. PROVIDE EGRESS SIGNAGE. SEE DETAIL B5A101.
20. CONCRETE SLAB ON GRADE. SEE STRUCTURAL TYPICAL.
21. GREASE TRAP INTERCEPTOR. SEE PLUMBING.
22. 6" WIDE BY 4" DEEP DUMPSTER EQUIPMENT BY OWNER.
23. STEEL COLUMNS. PAINTED. SEE DETAIL A2A501.
24. PROVIDE HANDRAIL. SEE DETAILS ON SHEET A452.
25. PROVIDE STAR SIGNAGE. SEE DETAIL B5A101.
26. PROVIDE PREFABRICATED STEEL GATE DOORS. SEE B5A5501.
27. PROVIDE PREFABRICATED STEEL POST BOLLARD. SEE B5A5501.

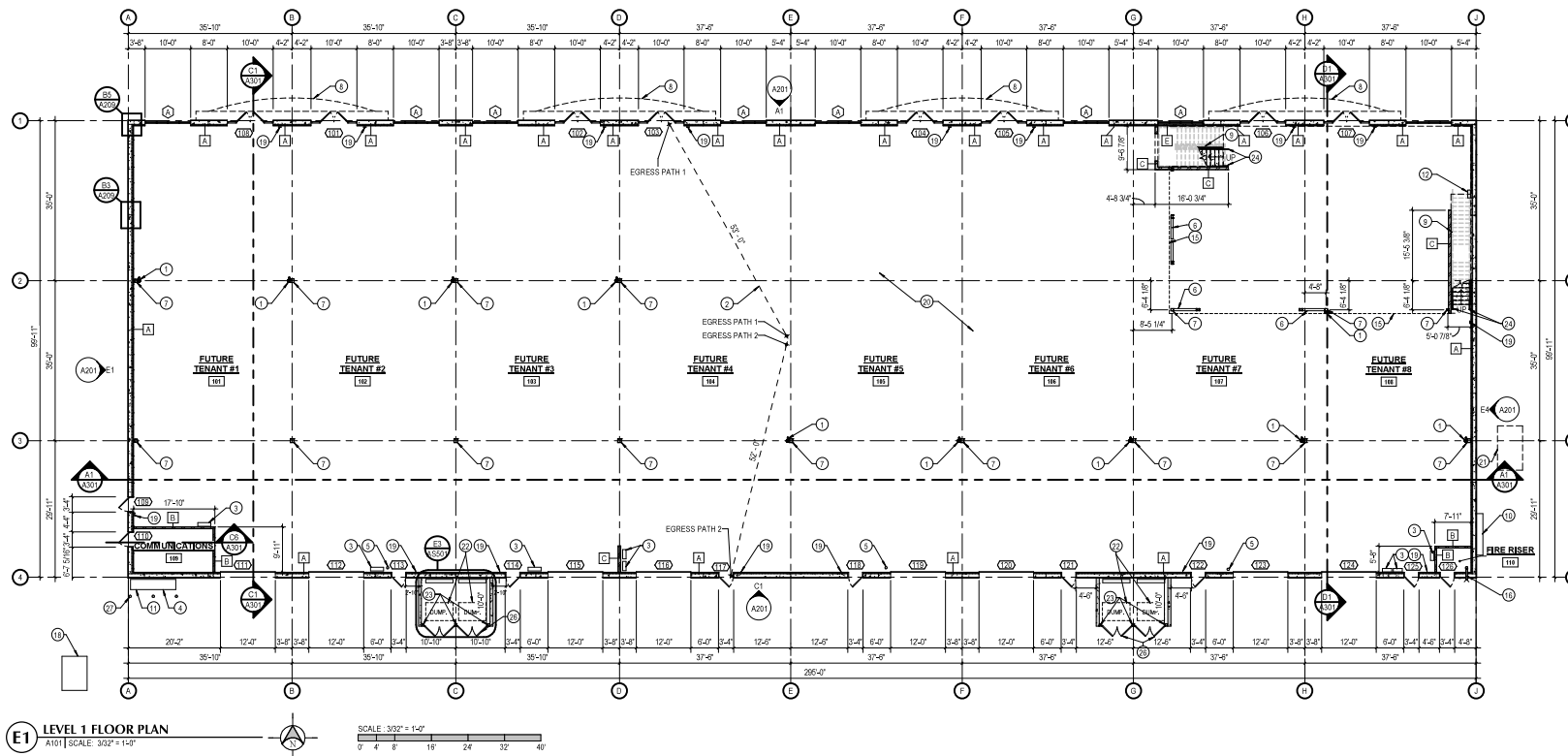
#### TRAVEL PATHS

PATH	EGRESS PATH LENGTH
EGRESS PATH 1	53'-0"
EGRESS PATH 2	52'-0"

#### GENERAL NOTES

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- PROVIDE 18" MINIMUM CLEAR FLOOR SPACE AT FULL SIDE OF ALL DOORS.
- PROVIDE 12" MINIMUM CLEAR FLOOR SPACE AT PUSH SIDE OF ALL DOORS.
- CONCRETE FOUNDATION WALLS RETAINING EARTH TO RECEIVE TWO COATS OF RETAINMENT DAMP PROOFING MATERIAL.
- AN AUTOMATIC FIRE SPRINKLER SYSTEM IS TO BE INSTALLED THROUGHOUT THE ENTIRE BUILDING PER NFPA 13.
- SEE ENGINEERING SHEETS FOR ADDITIONAL INFORMATION.
- ALL COLOR SELECTIONS AND FINISH MATERIALS AND STYLES SHALL BE COORDINATED WITH OWNER.
- TACTILE ADA SENSING LOCATED AT A DOOR ARE TO BE PLACED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR.
- INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- SEE SHEET A101 FOR REFLECTED CEILING PLANS.
- SEE A601 FOR DOOR AND WINDOW INFORMATION.
- SEE G601 FOR LEGENDS, SYMBOLS, ABBREVIATIONS AND OTHER ARCHITECTURAL GENERAL INFORMATION.
- SEE A101 FOR WALL TYPES.
- DO NOT SCALE DRAWINGS.
- RECOMMENDATIONS FOUND IN GEOTECHNICAL STUDY PERFORMED BY DATE.
- ARE TO BE FOLLOWED STRICTLY.
- SEE SHEET G601 FOR ALL RELATED CODE COMPLIANCE INFORMATION.

 <b>CURTIS MINER</b> ARCHITECTURE	233 SOUTH PLEASANT CIRCLE, SUITE 100 PLEASANT CIRCLE, UTAH 84040 PHONE: (801) 336-1000 WWW.CURTISMINER.COM	(DATE: AUGUST 24, 2020) PROJECT # 202001 PROJECT MANAGER: [NAME] CHECKED BY: [NAME] DRAWN BY: [NAME]
	PROJECT: <b>KENNER ASSOCIATES OFFICE WAREHOUSE</b> 432 WEST 12300 SOUTH DRAVER, UTAH	
SHEET DESCRIPTION: <b>LEVEL 1 FLOOR PLAN, WALL TYPES &amp; ACCESSIBILITY</b>		SHEET: <b>A101</b>



**EXHIBIT I**  
**COLOR BOARD**

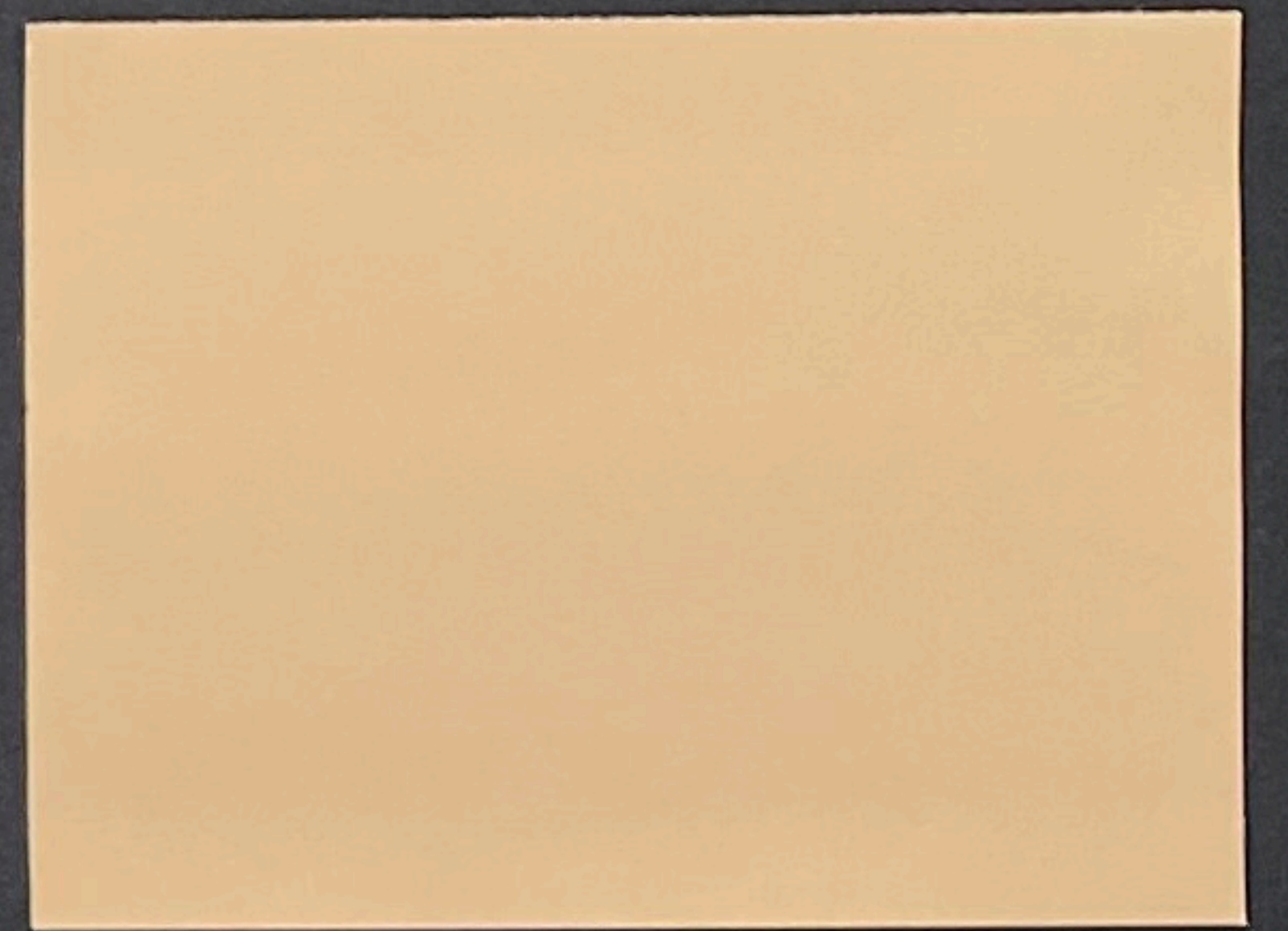




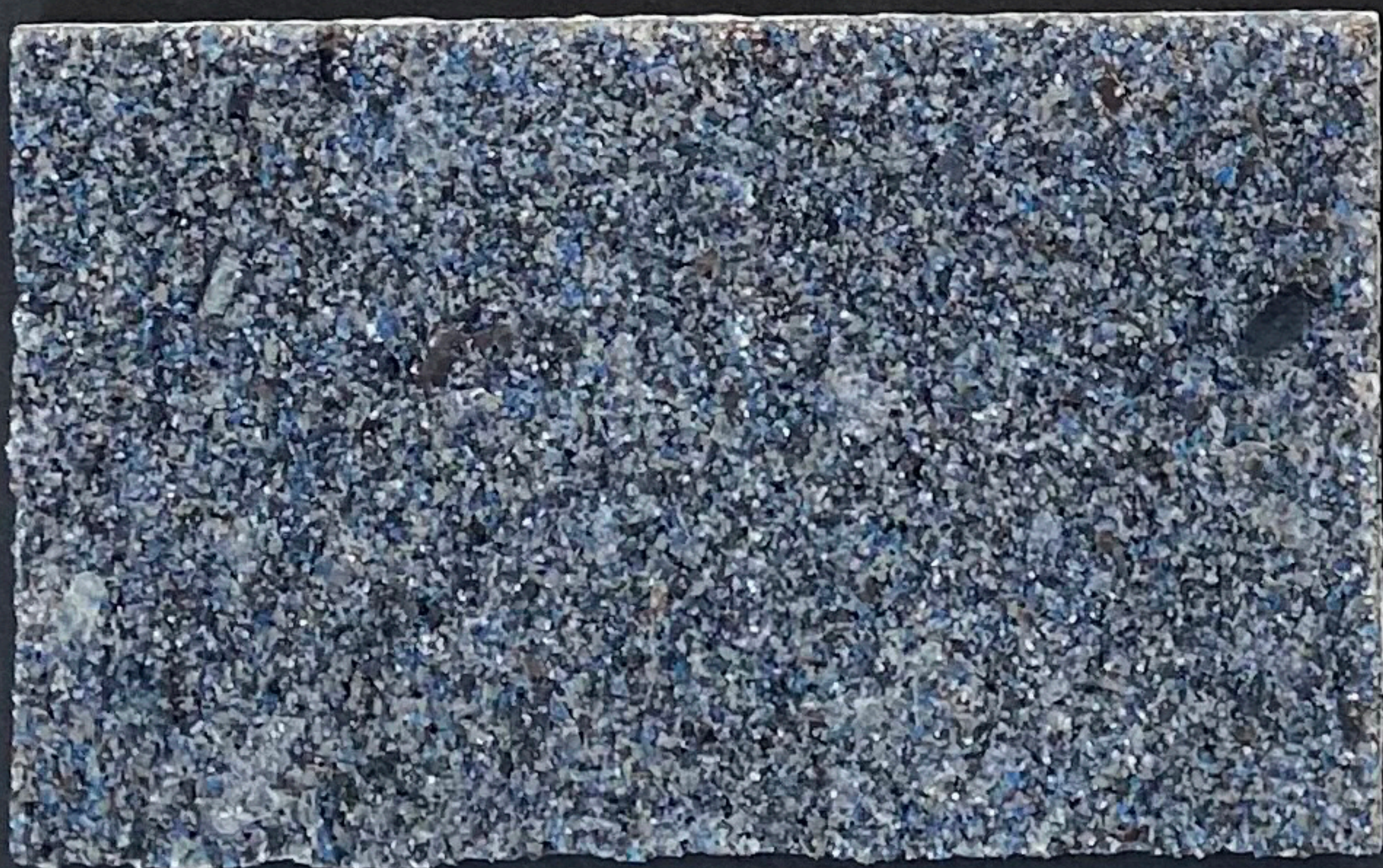
METAL CAP - COPPER PENNY



STOREFRONT - DARK BRONZE



CONCRETE TILT-UP &  
DUMPSTER GATES  
- TOTALLY TAN



ALTERNATE STUCCO - ALUMINA FINISH  
OBSIDIAN WITH A OBSIDIAN PRIMER



CMU - BLOCK OAK

**KENNER ASSOCIATES  
OFFICE WAREHOUSE**

**CURTIS MINER  
ARCHITECTURE**





## ***Kenner Associates Office Warehouse Exterior Finishes Color Board***

***11 March 2021***

***Smooth Face Concrete Tilt Up Panels & Dumpster Enclosure  
Gates - Painted Finish:***

***Color to match Totally Tan SW 6115.***

***Split Face Block Wainscot Finish & Dumpster Enclosure Walls  
(Concrete Masonry Unit):***

***Color to match Buehner Block Oak from existing buildings***

***Stucco:***

***BASF, Alumina Finish Obsidian***

***Standing Seam Metal Panels (Vertical Seams):***

***PAC Steel, Copper Penny***

***Parapet Metal Cap:***

***PAC Steel, Copper Penny***

***Roof:***

***Single-ply Membrane, White***

***Storefront Trim & Casings:***

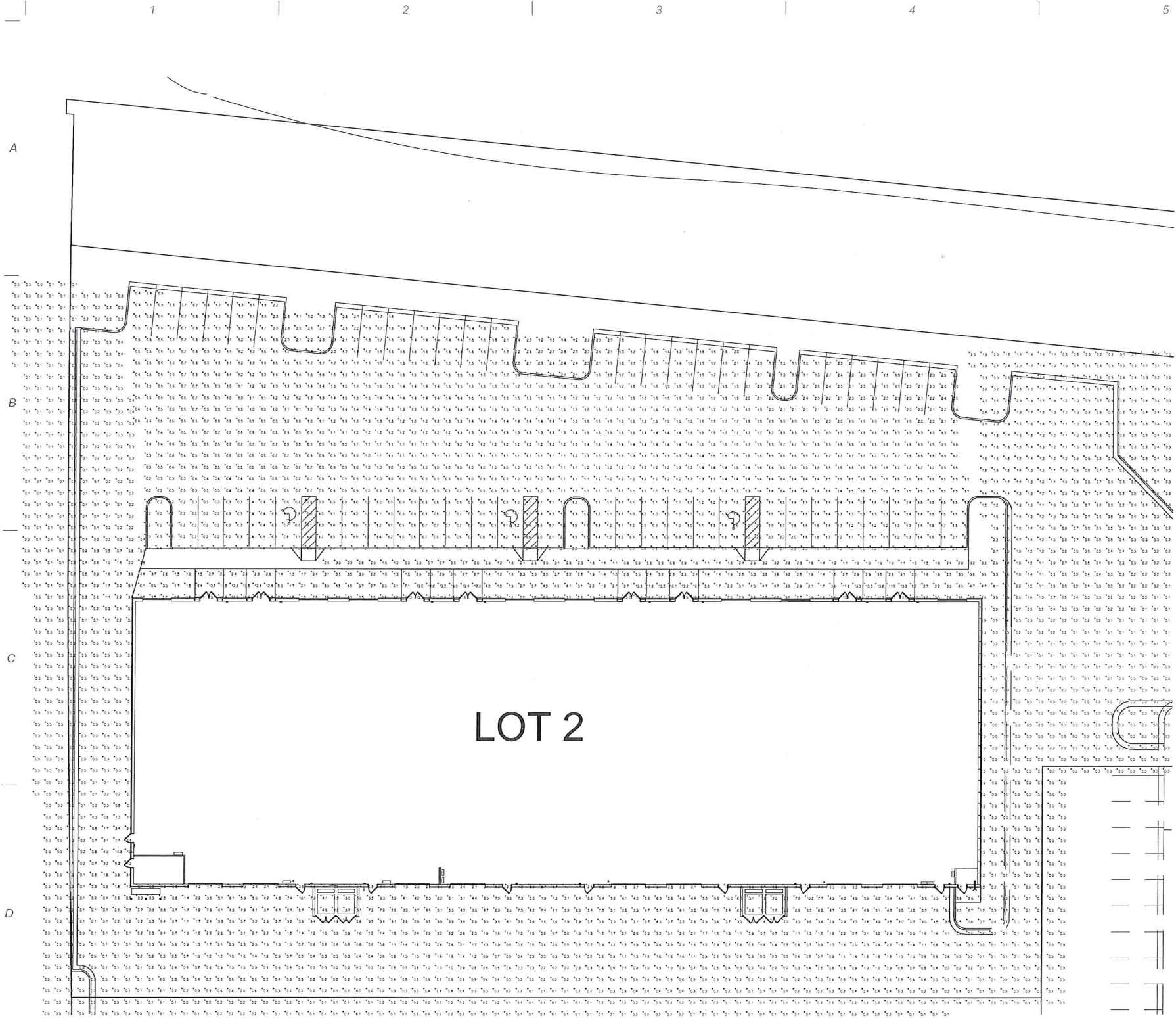
***PAC Steel, Dark Bronze***

***Storefront Glazing:***

***PPG, STARPHIRE Ultra-Clear Glass***

**EXHIBIT J**  
**PHOTOMETRIC PLAN**

MARK	REVISION	DATE



PARKING LOT  
Average FC: 1.4 FC  
Max FC: 3.6 FC  
Max/Average Ratio: 2.6

**SPECTRUM ENGINEERS**  
324 S. State St., Suite 400  
Salt Lake City, UT 84111  
801-328-5151  
Fax: 801-328-5155  
www.spectrum-engineers.com

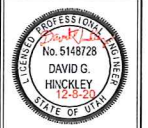
**CURTIS MINER ARCHITECTURE**  
233 SOUTH PLEASANT GROVE BLVD.  
SUITE #100  
PLEASANT GROVE, UTAH 84062  
PHONE: (801) 769-3000  
cm@curtisminer.com

PROJECT:  
**KENNER ASSOCIATES OFFICE WAREHOUSE**  
432 WEST 12300 SOUTH  
DRAPER, UTAH

SHEET DESCRIPTION:  
**SITE PHOTOMETRIC PLAN**

DATE: OCTOBER 26, 2020  
PROJECT #: 20-005  
PROJ. MAN.: DGH  
CHECKED BY: DGH

THE INFORMATION HEREIN IS THE PROPERTY OF CURTIS MINER ARCHITECTURE, P.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM CURTIS MINER ARCHITECTURE, P.C.



SHEET:  
**ES101**



D:\Revit Backup Files\2013\Bldg Central CAS.dgn 12/6/2020 3:47:34 PM

**E1 SITE PHOTOMETRICS**  
SCALE: NTS



**EXHIBIT K**  
**DEVIATION REQUEST LETTER**

From: Bruce Kenner <bbkrabbi@comcast.net>

Sent: Friday, July 10, 2020

To: Jennifer Jastremsky <jennifer.jastremsky@draper.ut.us>

Subject: Deviation from Design Standards for Willow Creek Industrial Properties #3 Site Plan

Jennifer:

Willow Creek Business Park was originally approved for three office warehouse buildings. It was our intent to have each building consistent and compatible in design. Two of the three buildings have been completed and we are ready to construct the third.

Since the first two buildings were completed Draper City architectural requirements have changed. To be consistent with the other buildings and designs in the Willow Creek Business Park we request this new building be accepted for construction as presently designed.

Our request for deviation from your current design standards is in accordance with 9-22-030. Deviation Criteria 2, 6, 7, and 8 would apply to our request. Criteria 2: The site plan shows private landscape and open space of 3.7 acres in a 7.88 business park, or 47%. Criteria 6: The specified purpose of the design standards and guidelines as they apply to this business park do facilitate exceptional design in the built environment and preserve the quality of life within Draper City. Criteria 7: The existing phase 3 design is consistent and compatible with the two existing buildings in the business park, and is designed using the same architectural criteria. Criteria 8: Landscaping plant material on the first two buildings currently exceeds the basic requirement by more than 10%. Including the natural growth in the perpetual conservation easement further expands our compliance. The new building will also have the same utilization of planting material as buildings 1 & 2, in excess of basic requirements.

Thanks for your help.

Bruce

**EXHIBIT L**  
**SUBDIVISION PLAT**

# WILLOW CREEK BUSINESS PARK AMENDED

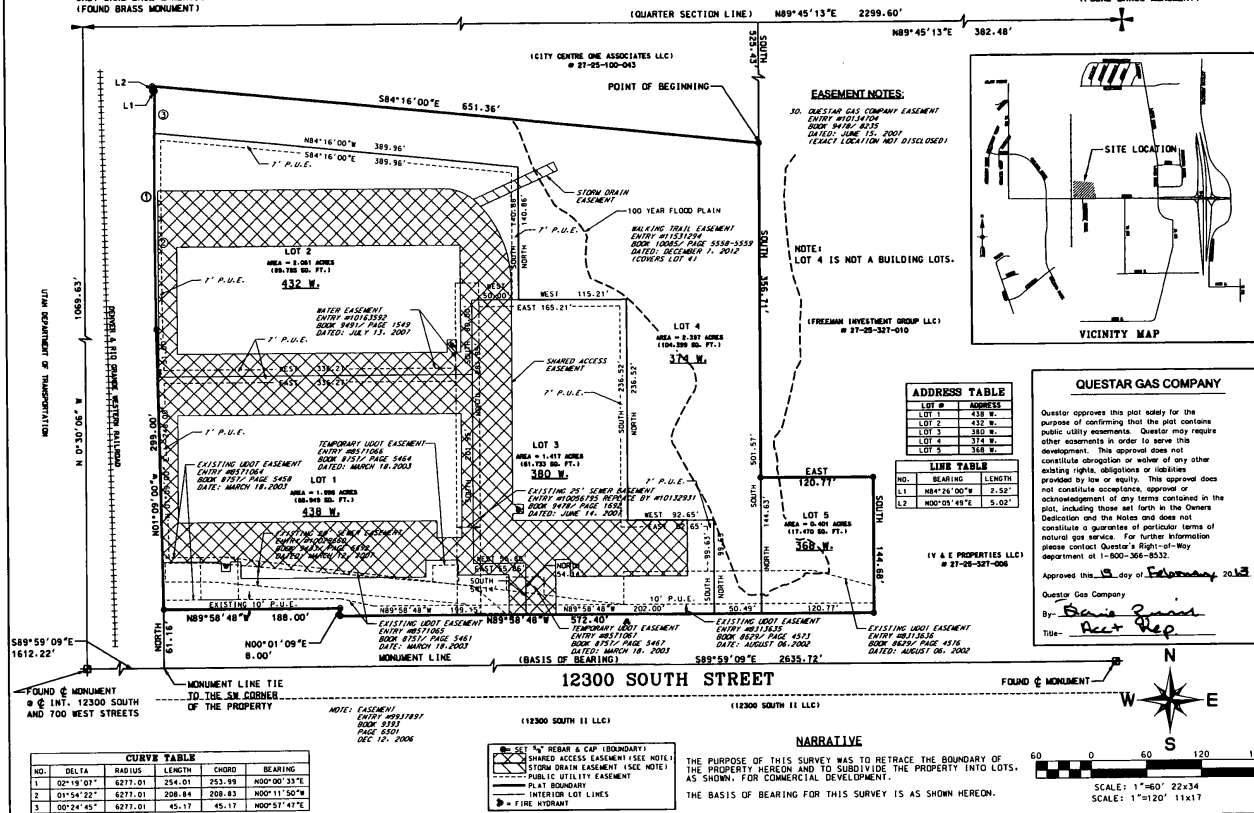
LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 25,  
TOWNSHIP 3 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
DRAPER CITY, SALT LAKE COUNTY, UTAH

"The signature of South Valley Sewer District on this plat does not constitute any guarantee of availability of sanitary sewer service to the property or any approval of sewer lines or facilities. The owner(s) of the property must provide satisfactory plans to the Sewer District for review and approval before connecting to the District's sewer system and will be required to comply with the District's rules and regulations."

NORTH 1/4 CORNER OF SECTION 25,  
TOWNSHIP 3 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE & MERIDIAN  
(FOUND BRASS MONUMENT)

- NOTES:
1. WITH THE EXCEPTION OF LOT 4, ALL PARKING STALLS ARE TO BE FULLY SHARED AMONG ALL LOTS.
  2. HATCHED AREAS REPRESENT AREAS SUBJECT TO CROSS ACCESS AND UTILITY AGREEMENTS AND SHALL BE KEPT OPEN PERPETUALLY FOR THAT PURPOSE.

CENTER OF SECTION 25,  
TOWNSHIP 3 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE & MERIDIAN  
(FOUND BRASS MONUMENT)



## SURVEYOR'S CERTIFICATE

I, BARRY MCKEON, DO HEREBY CERTIFY THAT I AM A REGISTERED CIVIL ENGINEER AND OR LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 166572 AS PRESORBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW AND HAVE SUBMITTED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THAT THE SAME AS SHOWN ON THIS PLAT, FURTHER CERTIFY THAT ALL LOTS HAVE BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND MEET FRONTAGE, WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.

## BOUNDARY DESCRIPTION

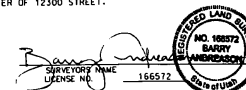
A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH IS SOUTH 89°45'13" WEST ALONG THE QUARTER SECTION LINE 382.48 FEET AND SOUTH 525.43 FEET FROM THE CENTER OF SECTION 25, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 356.71 FEET; THENCE EAST 120.77 FEET; THENCE SOUTH 144.68 FEET; THENCE NORTH 89°58'48" WEST 572.40 FEET; THENCE NORTH 00°01'09" EAST 8.00 FEET; THENCE NORTH 89°58'48" WEST 188.00 FEET TO THE EAST RIGHT OF WAY LINE OF THE DARG RAILROAD; THENCE NORTH 01°09'00" WEST ALONG SAID RIGHT OF WAY LINE 299.00 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF A 6277.01 FOOT RADIUS CURVE TO THE RIGHT 254.01 FEET THROUGH A CENTRAL ANGLE OF 02°19'01", THE CHORD OF WHICH BEARS NORTH 00°00'33" EAST 253.99 FEET; THENCE NORTH 84°26'00" WEST 2.52 FEET; THENCE NORTH 00°05'49" EAST 5.02 FEET; THENCE SOUTH 84°16'00" EAST 651.36 FEET TO THE POINT OF BEGINNING.

CONTAINS 8.260 ACRES

BASIS OF BEARING: S89°59'09"E ALONG THE MONUMENT LINE FROM THE MONUMENT IN THE INTERSECTION OF 12300 SOUTH AND 700 WEST STREETS, TO THE MONUMENT (TO THE EAST) IN THE CENTER OF 12300 STREET.

Jan 31, 2013  
DATE



## OWNER'S DEDICATION

Know all men by these presents that the undersigned owner(s) of the above described tract of land, hereby set apart and dedicate the same into lots and streets as shown on this plat and name said plat **WILLOW CREEK BUSINESS PARK AMENDED** and do hereby dedicate, grant and convey to Draper City, Utah: (1) all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever; (2) those certain public utility and drainage easements as shown hereon, the same to be used for the installation, maintenance, and operation of public utility service lines and drainage; and (3) those parcels designated as public open space, parks, trails or easements, or of similar designation, in witness whereof, we have hereunto set our hands this day of **February 20, 2013**.

*Brian Korman, Manager, Willow Creek Business Park*  
*Brian Korman, Manager, Willow Creek Business Park*

## QUESTAR GAS COMPANY

Questar approves this plat solely for the purpose of confirming that the plat contains public utility easements. Questar may require other easements in order to serve this development. This approval does not constitute a guarantee of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set forth in the Owners' Dedication and the Notes and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Questar's Right-of-Way department at 1-800-366-8532.

Approved this 9 day of February, 2013.

Questar Gas Company  
By: *Brian Korman*  
Title: *Rep*

## ACKNOWLEDGEMENT (CORPORATE)

STATE OF UTAH, County of SALT LAKE, ss:  
On the 20 day of FEBRUARY, A.D. 2013, I, Barry McKeon, appeared before me who being by me duly sworn did say that he is the duly authorized officer and that the within and foregoing instrument was signed in behalf of said Corporation by authority of a resolution of its board of directors duly acknowledged to me that said Corporation executed the same.

*Barry McKeon*  
BY COMMISSION EXPIRES 02/06/2016  
COMMISSION NO. 166572  
RENEWAL DATE 02/06/2016  
RESIDENCE 166572

## WILLOW CREEK BUSINESS PARK AMENDED INCLUDING A REVISION OF PARCEL "A" OF WILLOW CREEK BUSINESS PARK

LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 25,  
TOWNSHIP 3 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
DRAPER CITY, SALT LAKE COUNTY, UTAH

RECORDED NO. 11591483

State of Utah, County of Salt Lake, Recorded and Filed at the Request of BARRY MCKEON  
Date: 3-7-13 Time: 10:58AM Book: 20136 Page: 36  
\$ 35.00  
Fee \$  
Salt Lake County Recorder

## DRAPER CITY MAYOR

Approved this 15 day of February, A.D. 2013  
*David Brown*  
Draper City Mayor

## BOARD OF HEALTH

Approved this 15 day of February, A.D. 2013  
*David Brown*  
Salt Lake Valley Health Department

## SOUTH VALLEY SEWER DISTRICT

Approved this 15 day of February, A.D. 2013  
*David Brown*  
South Valley Sewer District

## CENTURYLINK

Approved this 14 day of February, A.D. 2013  
*David Brown*  
Centurylink

## ROCKY MOUNTAIN POWER

Approved this 14 day of February, A.D. 2013  
*David Brown*  
Rocky Mountain Power

## PLANNING COMMISSION APPROVAL

Approved this 15 day of February, A.D. 2013  
*David Brown*  
Draper City Planning Commission

## DRAPER CITY ENGINEER APPROVAL

I hereby certify that I have had this Plat examined by this office and it is correct and in accordance with the information on file and I hereby approve.  
This 21 day of March, A.D. 2013  
*David Brown*  
City Engineer

## APPROVED AS TO FORM

Approved as to form this 5 day of March, A.D. 2013  
*David Brown*  
DRAPER CITY ATTORNEY

**MW BROWN ENGINEERING, INC.**  
Office: (801) 771-1790 Fax: (801) 771-1799  
378 East 700 North, Orem UT 84057

27-25-32

27-25-327-021, 022, 023, 024

BK 10114 PG 6518A



# MEMO

To: Planning Commission  
From: Maryann Pickering, AICP  
CC:  
Date: April 28, 2022  
Re: Springer/Rivermark Plat Amendment Request

---

## Comments:

This application is a request for approval of a Plat Amendment for approximately 0.52 acres located at approximately 1123 E. Carraway Lane. The property is currently zoned RA2. The applicant is requesting that a Plat Amendment be approved to allow the relocation of the 20 foot private storm drain easement from the west property line to the east property line. Rivermark Phase 1 was recorded on July 23, 2018. This amendment is to Lot 7 of Phase 1.

The findings are as follows:

For approval:

1. There is good cause for the vacation or amendment; and no public street, right-of-way, or easement has been vacated or amended.

## ATTACHMENTS:

Description	Upload Date	Type
PC Staff Report	4/22/2022	Backup Material



---

## Development Review Committee

1020 East Pioneer Road  
Draper, Utah 84020

---

### STAFF REPORT

April 19, 2022

**To:** Draper City Planning Commission  
Business Date: April 28, 2022

**From:** Development Review Committee

**Prepared By:** Maryann Pickering, AICP, Planner III  
Planning Division  
Community Development Department  
(801) 576-6391 or [maryann.pickering@draperutah.gov](mailto:maryann.pickering@draperutah.gov)

**Re: Springer Plat Amendment — Plat Amendment Request**

Application No.: SUBD-070-2022  
Applicant: Ty Ricks on behalf of Noah and April Springer  
Project Location: Approximately 1123 E. Carraway Lane  
Current Zoning: RA2 (Residential Agricultural, 20,000 square foot lot minimum)  
Acreage: 0.52 acres (approximately 22,651 square feet)  
Request: Approval of a Plat Amendment to relocate the 20 foot wide private storm easement from the west property line to the east property line for Lot 7 of the Rivermark Plat. No new lots will be created.

### **BACKGROUND AND SUMMARY**

This application is a request for approval of a Plat Amendment for approximately 0.52 acres located at approximately 1123 E. Carraway Lane (Exhibit B). The property is currently zoned RA2. The applicant is requesting that a Plat Amendment be approved to allow the relocation of the 20 foot private storm drain easement from the west property line to the east property line. Rivermark Phase 1 was recorded on July 23, 2018. This amendment is to Lot 7 of Phase 1.



## ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Residential Low/Medium Density land use designation for the subject property (Exhibit C). This category is characterized as follows:

### *Residential Low-Medium Density*

LAND USE DESCRIPTION		
CHARACTERISTICS	<ul style="list-style-type: none"><li>• Very large lot single-family neighborhoods or ranchettes allows for enhancement of Draper's rural character</li><li>• Environmentally designed clustered housing with the Suncrest and South Mountain projects being the exceptions</li><li>• Some natural features and cultivated vegetation is apparent and special care is required in order to preserve those features and areas</li><li>• Equestrian uses and privileges may exist in certain areas</li></ul>	
LAND USE MIX	Primary <ul style="list-style-type: none"><li>• Single-family detached homes</li></ul>	Secondary <ul style="list-style-type: none"><li>• Parks</li><li>• Open space</li><li>• Churches</li><li>• Schools</li></ul>
DENSITY	<ul style="list-style-type: none"><li>• Density range: up to 2 dwelling units per acre</li><li>• Reduction for non-buildable areas</li></ul>	
COMPATIBLE ZONING	<ul style="list-style-type: none"><li>• Residential Agricultural (RA1)</li><li>• Residential Agricultural (RA2)</li><li>• Single-family Residential Hillside (RH)</li><li>• Master Planned Community (MPC)</li></ul>	
OTHER CRITERIA	<ul style="list-style-type: none"><li>• Increased densities within equestrian areas may be allowed only with compliance to specified performance standards and impact mitigation measures</li><li>• Buffers and transitions around existing low-density single-family residences may consist of open space/ retention areas, lots that are pie-shaped or otherwise larger than standard sized lots or a combination of these and other appropriate design techniques</li></ul>	

The property has been assigned the RA2 zoning classification, supporting approximately two dwelling unit per acre (Exhibit D). According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the RA2 zone is to *"foster low density development with little impact on its surroundings and municipal services; to generally preserve the character of the City's semi-rural areas; and to promote and preserve conditions favorable to large-lot family life, including the keeping of limited numbers of animals and fowl. This zone is intended to promote a combination of retail and service facilities which, in character and scale, meet day to day needs of nearby residents."* The RA1 (Residential Agricultural,

40,000 square foot lot minimum) zoning abuts the subject property on the north and RA2 zone abuts on the east, west and south.

Subdivision Layout. The Rivermark Subdivision included a 20 foot wide storm drain, public utility and detention easement along the rear property line of Lot 7. A 20 foot wide storm drain easement was also granted along the west property line (Exhibit F). The current owner would like to relocate the 20 foot storm drain easement to the east property line. The easement along the rear property line will not be affected by this proposed plat amendment. The new design has been reviewed and approved by the Engineering Division. No other changes to the property or subdivision are proposed.

Criteria for Approval.

The grounds for review and potential approval of a subdivision plat amendment request is found in Section 17-9-040 of the DCMC. This section depicts the standard of review for such requests as:

*The Planning Commission may approve the vacation or amendment of a plat by signing an amended plat showing the vacation or amendment if the Land Use Authority finds that there is good cause for the vacation or amendment; and no public street, right-of-way, or easement has been vacated or amended.*

## **REVIEWS**

Planning Division Review. The Draper City Planning Division has completed their review of the Plat Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Plat Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Plat Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Plat Amendment submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.



### **STAFF RECOMMENDATION**

Staff finds that the application complies with the DCMC and recommends that the Planning Commission review the request, receive public comment, and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Planning Commission decides to approve the request, staff recommends they include the following conditions of approval:

1. The applicant work with the Engineering Division to ensure the improvements comply with the approved plat, including obtaining a Land Disturbance Permit, if applicable.
2. Correct Carraway Lane's street coordinate.
3. Plat name mentioned at Owner's Dedication shall match with the plat amendment title name.
4. Per DCMC Section 17-9-070, if the plat amendment is not recorded within one (1) year from the date of approval or construction of the required landscaping and infrastructure has not commenced, such approval shall be null and void. This time period may be extended by the Planning Commission for up to one additional six (6) month period for good cause shown. The subdivider must petition in writing for an extension prior to the expiration of the original one (1) year.

The findings for approval as are follows:

1. There is good cause for the vacation or amendment; and no public street, right-of-way, or easement has been vacated or amended.

### **MODEL MOTIONS**

*Sample Motion for Approval* – I move that we approve the Plat Amendment, as requested by Ty Ricks representing Noah and April Springer for the Springer Plat Amendment, application SUBD-070-2022, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022.

*Sample Motion for Modified Approval* – I move that we approve the Plat Amendment, as requested by Ty Ricks representing Noah and April Springer for the Springer Plat Amendment, application SUBD-070-2022, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

**DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT**

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

\_\_\_\_\_  
Draper City Public Works Division

\_\_\_\_\_  
Draper City Building Division

\_\_\_\_\_  
Draper City Fire Department

\_\_\_\_\_  
Draper City Planning Division

\_\_\_\_\_  
Draper City Legal Counsel

## **EXHIBIT A DEPARTMENT REVIEWS**

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

*Planning Division Review.*

No additional comments provided.

*Building Division Review.*

No additional comments provided.

*Engineering and Public Works Divisions Review.*

1. Correct Carraway Lane's street coordinate.
2. Plat name mentioned at Owner's Dedication shall match with the plat amendment title name.

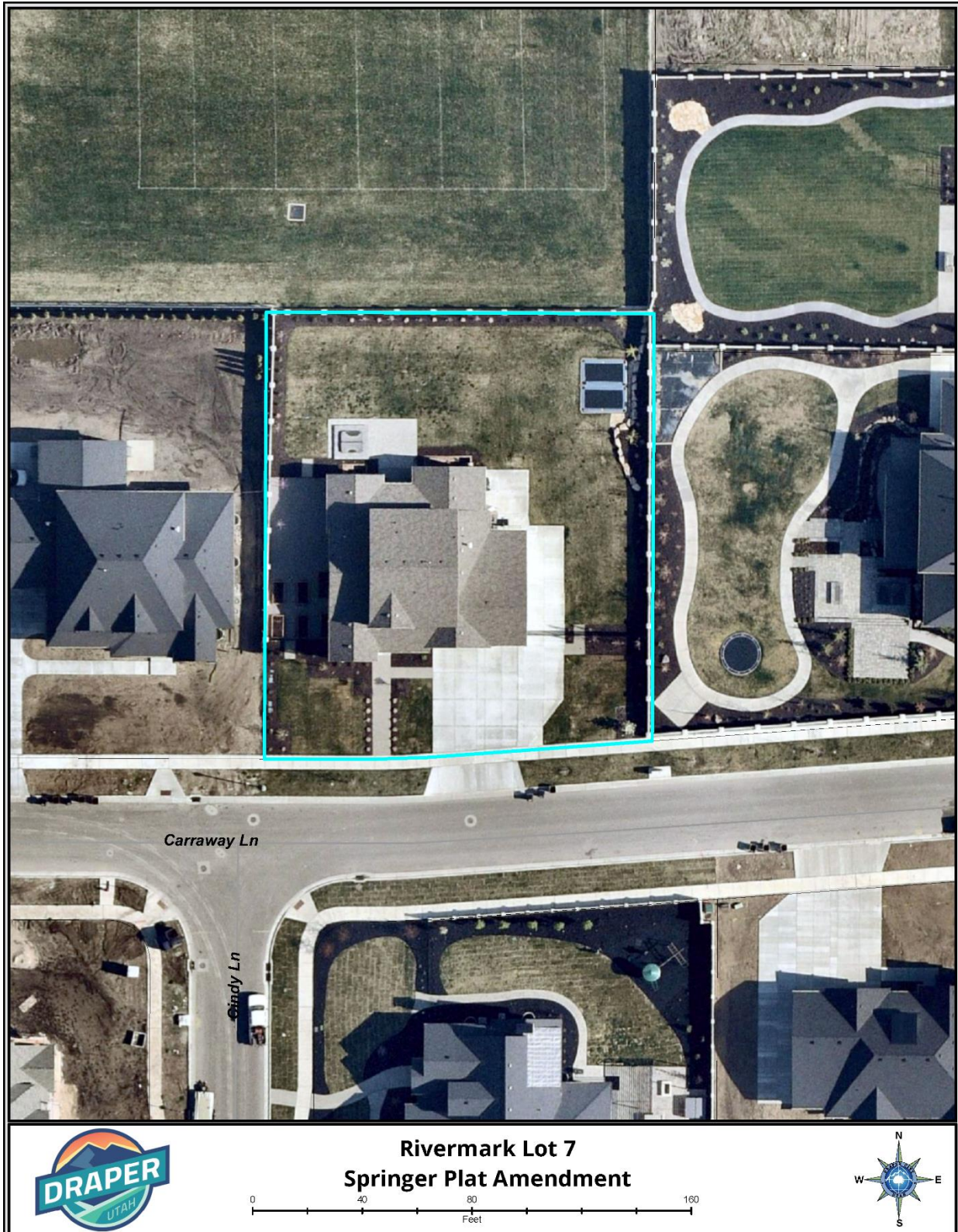
*Fire Division Review.*

No additional comments provided.

*Legal Division Review.*

No additional comments provided.

**EXHIBIT B  
AERIAL MAP**



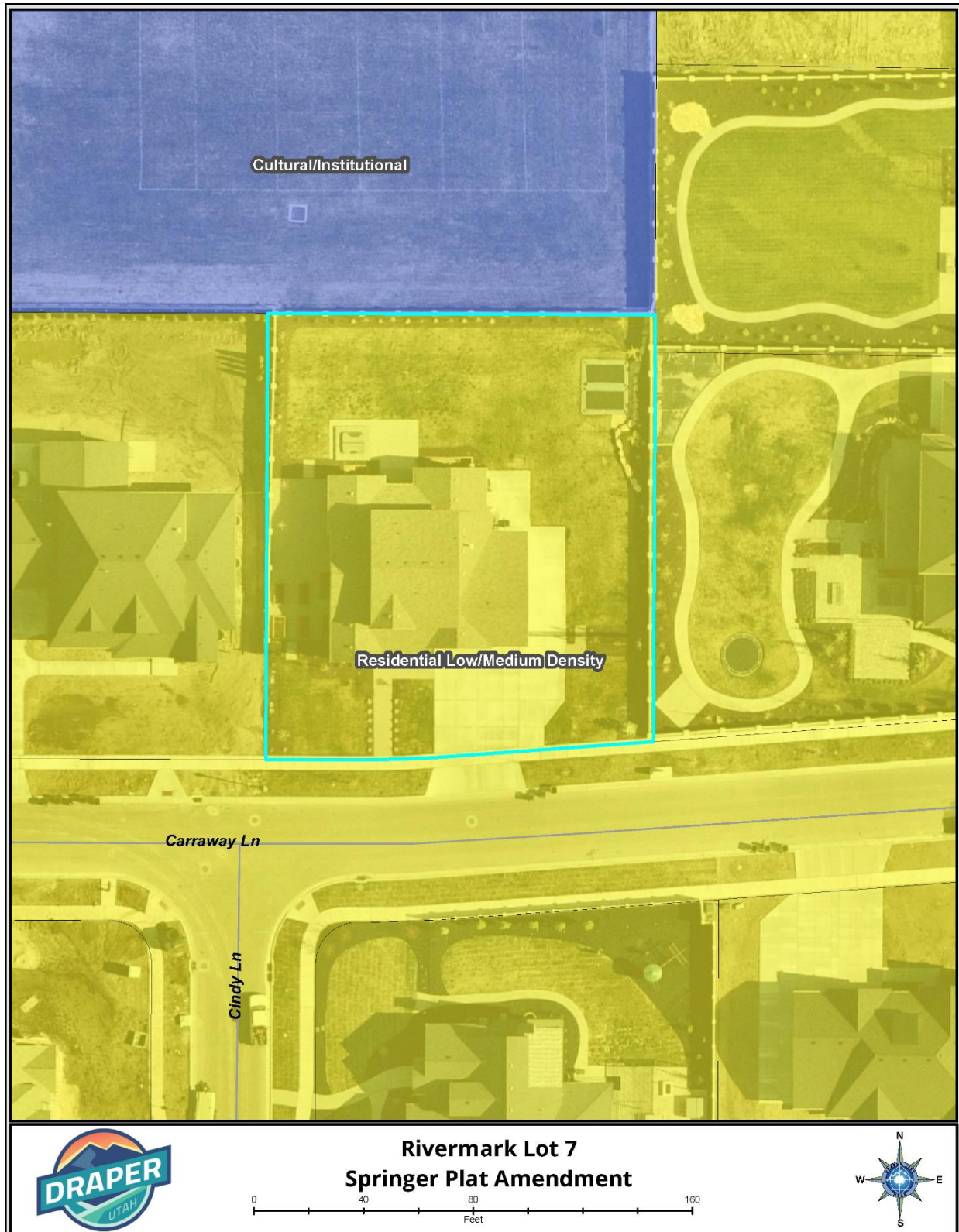
**Rivermark Lot 7  
Springer Plat Amendment**

0 40 80 160  
Feet

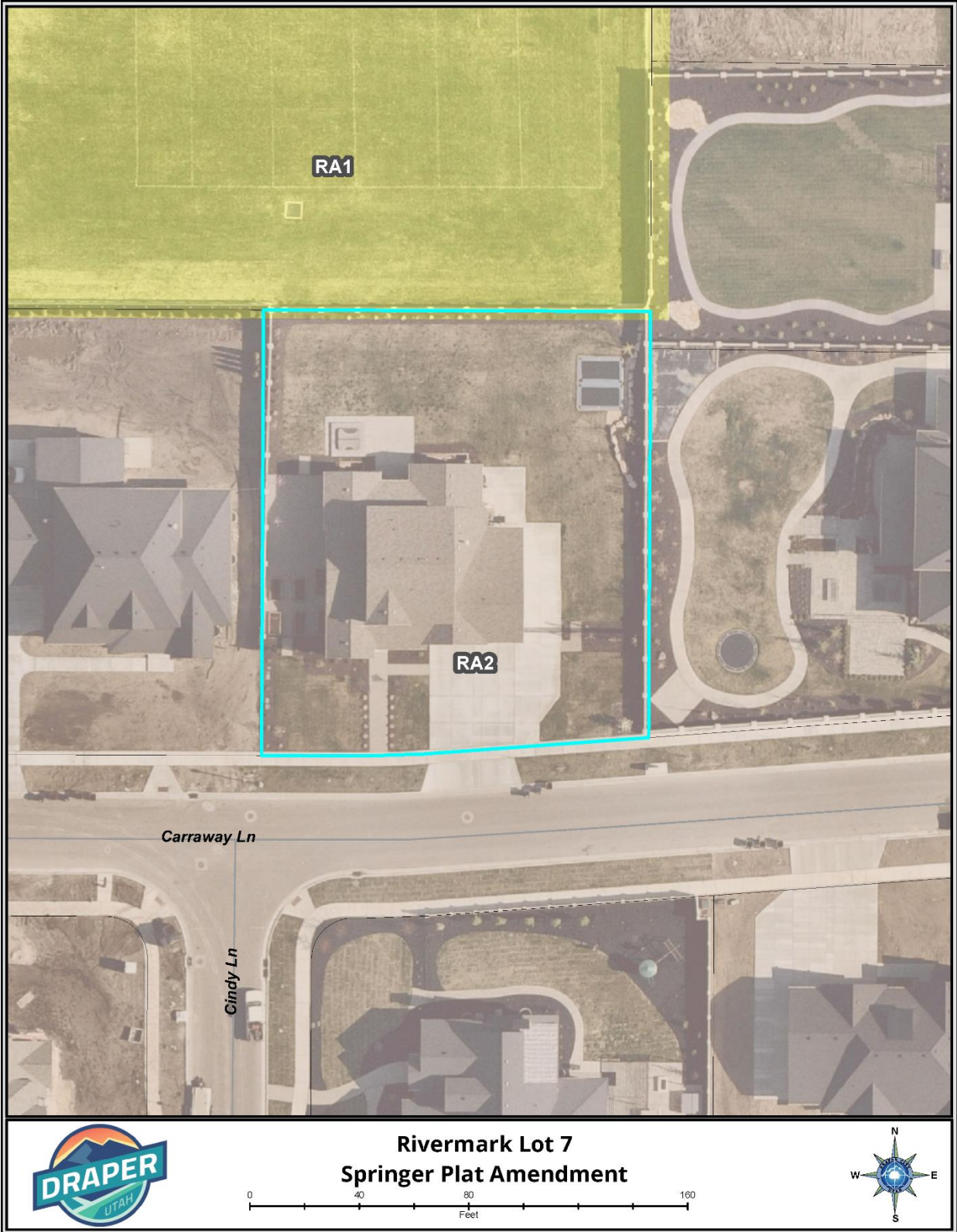




**EXHIBIT C  
LAND USE MAP**



**EXHIBIT D**  
**ZONING MAP**



**EXHIBIT E**  
**PROPOSED PLAT**



AMENDING LOT 7  
RIVERMARK

TAX ID NO. 28-32-202-010  
LYING WITHIN THE NORTHEAST QUARTER (NE 1/4) OF SECTION 32,  
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
FEBRUARY, 2022

SURVEYOR'S CERTIFICATE

I BRYAN YATES DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 8589857 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE DIRECTION OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS SURVEY AND DESCRIBED HEREWITH AND THE MONUMENTS DEPICTED ON THE SURVEY ARE OF THE CHARACTER SHOWN, OCCUPY THE POSITIONS INDICATED, AND ARE OF SUFFICIENT NUMBER AND DURABILITY:



RECORD LEGAL DESCRIPTION

ENTRY NUMBER: 13027139 IN BOOK 10802 AT PAGE 670, ON FILE AT THE SALT LAKE COUNTY, UTAH RECORDER'S OFFICE.

LOT 7, RIVERMARK, ACCORDING TO THE OFFICIAL PLAT THEREOF AS RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER.

BASIS OF BEARING

SOUTH 89°59'40" EAST, BEING THE BEARING OF THE NORTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 1 EAST, S.L.B.&M.

SURVEYOR'S NARRATIVE

- THIS SURVEY WAS COMPLETED AT THE DIRECTION OF TY RICKS, ON BEHALF OF WILLIAM AND APRIL SPRINGER IN ORDER TO AMEND LOT 7 OF THE RIVERMARK SUBDIVISION. LOT 7 IS BEING AMENDED IN ORDER TO RELOCATE THAT 20 FOOT WIDE STORM DRAIN EASEMENT ORIGINALLY PLATTED ALONG THE WEST LINE OF THE LOT TO THE EAST LINE OF THE LOT. THE PURPOSE IS TO ACCOMMODATE MUNICIPAL REQUIREMENTS FOR THE CONSTRUCTION OF A SWIMMING POOL.
- NECESSARY SURFACE EVIDENCE AND CONTOUR INFORMATION WAS COLLECTED TO SATISFY THOSE REQUIREMENTS BY DRAPER CITY AS WELL AS THAT PERTINENT TO THE BOUNDARY OF THE SURVEYED PROPERTY SO THAT ANY LOST OR DESTROYED PROPERTY CORNERS MAY BE MONUMENTED. PUBLIC RECORD INFORMATION INCLUDING PLANS, MAPS, DEEDS, NOTES AND OTHER RELEVANT DOCUMENTS HAS BEEN ANALYZED VERSUS PHYSICAL EVIDENCE.

OWNER'S DEDICATION

(PER DCMG 17-4-030 (N)(2))

KNOW ALL MEN BY THESE PRESENTS THAT I/WE, THE UNDERSIGNED OWNER(S) OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID PLAT "AMENDED LOT 7 RIVERMARK", AND DO HEREBY DEDICATE, GRANT AND CONVEY TO DRAPER CITY, UTAH: GRANT AND CONVEY TO DRAPER CITY, UTAH (1) ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER; (2) THOSE CERTAIN PUBLIC UTILITY AND DRAINAGE EASEMENTS AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE; AND (3) THOSE PARCELS DESIGNATED AS PUBLIC OPEN SPACE, PARKS, TRAIL OR EASEMENTS, OR OF SIMILAR DESIGNATION.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

OWNER: \_\_\_\_\_ OWNER: \_\_\_\_\_  
BY: \_\_\_\_\_ BY: \_\_\_\_\_  
NAME: WILLIAM NOAH SPRINGER (JOINT TENANT) NAME: APRIL J. SPRINGER (JOINT TENANT)  
TITLE: HOMEOWNER TITLE: HOMEOWNER

INDIVIDUAL ACKNOWLEDGEMENT

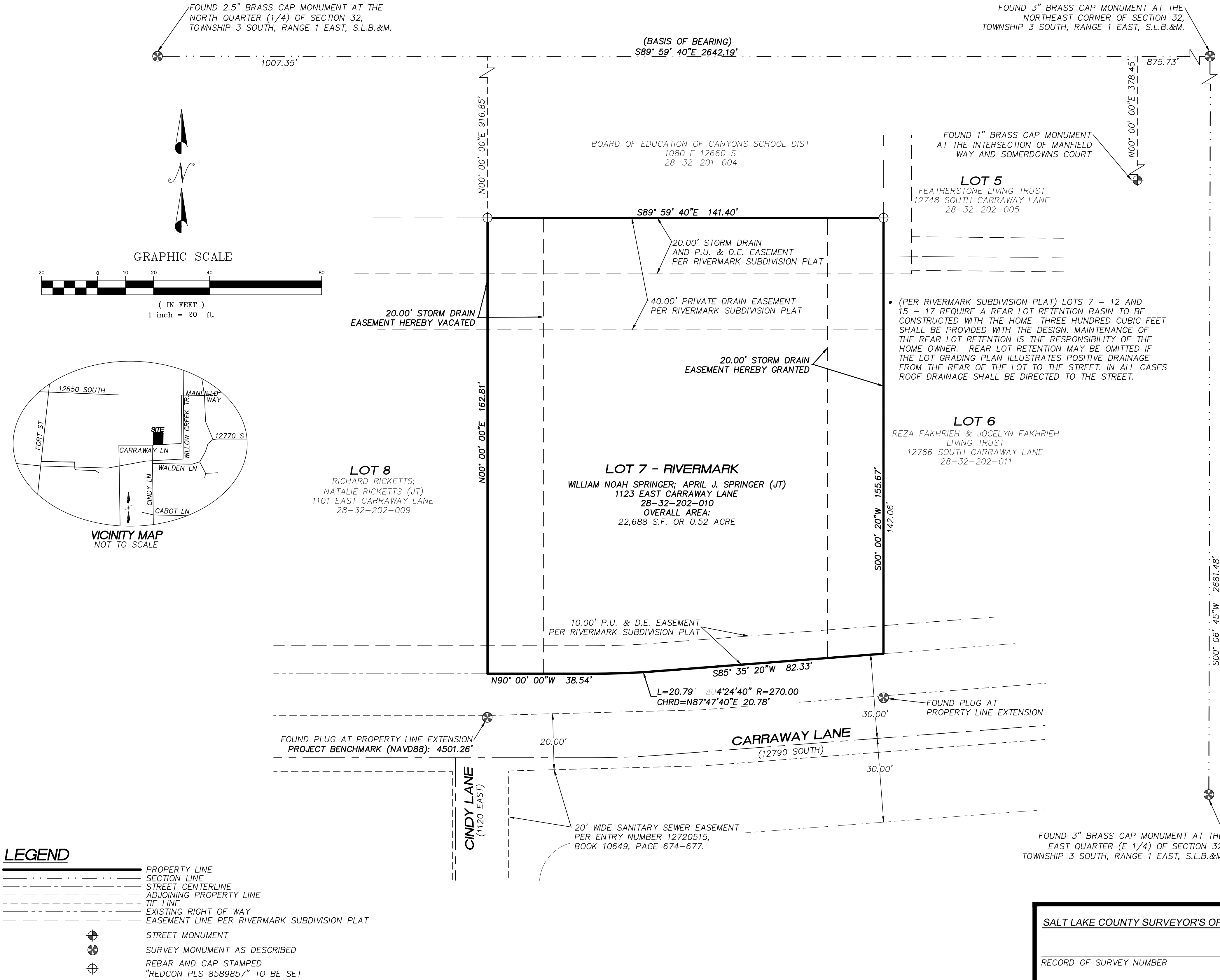
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2022, WILLIAM NOAH SPRINGER AND APRIL J. SPRINGER, JOINT TENANTS, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE IN THE STATE OF UTAH, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT THEY ARE THE OWNERS OF THE PROPERTY DESCRIBED HEREON, AND THAT THEY SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC  
RESIDING IN \_\_\_\_\_ COUNTY

SALT LAKE COUNTY SURVEYOR'S OFFICE

RECORD OF SURVEY NUMBER

SALT LAKE COUNTY SURVEYOR



LEGEND

- PROPERTY LINE
- SECTION LINE
- STREET CENTERLINE
- ADJOINING PROPERTY LINE
- TIE LINE
- EXISTING RIGHT OF WAY
- EASEMENT LINE PER RIVERMARK SUBDIVISION PLAT
- STREET MONUMENT
- SURVEY MONUMENT AS DESCRIBED
- REBAR AND CAP STAMPED
- "REDCON PLS 8589857" TO BE SET

HEALTH DEPARTMENT

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022,  
BY THE SALT LAKE VALLEY HEALTH DEPARTMENT.

DIRECTOR SALT LAKE COUNTY HEALTH DEPT.

COMCAST

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022,  
BY COMCAST.

COMCAST

CENTURYLINK

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022,  
BY CENTURYLINK.

CENTURYLINK

ROCKY MOUNTAIN POWER

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022,  
BY ROCKY MOUNTAIN POWER.

ROCKY MOUNTAIN POWER

SOUTH VALLEY SEWER DISTRICT

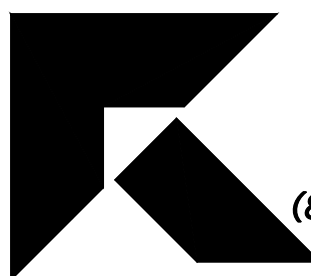
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022,  
BY SOUTH VALLEY SEWER DISTRICT.

SOUTH VALLEY SEWER DISTRICT

DOMINION ENERGY

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022,  
BY DOMINION ENERGY.

DOMINION ENERGY



REDCON, INC.  
LAND SURVEYING  
25 SOUTH MAIN STREET, #200  
CENTERVILLE, UTAH 84014  
(801) 298-2401 FAX (801) 298-2024  
REDCON.COM

JOB NUMBER: 42200-005

DRAWING: AMD LOT 7  
DATE: 02/15/2022

SHEET 1 OF 1

SALT LAKE COUNTY FLOOD CONTROL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022,  
BY DRAPER CITY PLANNING COMMISSION.

CHAIRMAN, DRAPER CITY PLANNING COMMISSION

PLANNING COMMISSION

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022,  
BY DRAPER PLANNING COMMISSION.

CHAIRMAN, DRAPER CITY PLANNING COMMISSION

WATERPRO/DIC

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022,  
BY COMCAST.

WATERPRO/DIC

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS OFFICE HAS  
EXAMINED THIS PLAT AND IT IS CORRECT AND IN  
ACCORDANCE WITH INFORMATION ON FILE IN THIS  
OFFICE AND IS HEREBY APPROVED.

DRAPER CITY ENGINEER DATE

APPROVAL AS TO FORM

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

DRAPER CITY ATTORNEY

DRAPER CITY APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022,  
BY DRAPER CITY

ATTEST: DRAPER CITY CLERK MAYOR: DRAPER CITY

SALT LAKE COUNTY RECORDER

RECORDED NO: \_\_\_\_\_  
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT  
REQUEST OF: \_\_\_\_\_

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_ BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_

FEES SALT LAKE COUNTY RECORDER



**EXHIBIT F**  
**EXISTING PLAT**

# RIVERMARK

A PORTION OF TAX ID NO. 28-32-201-013  
LYING WITHIN THE NORTHEAST QUARTER (NE 1/4) OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
2017

## LEGEND

- MAP BOUNDARY LINE
- LOT LINE
- STREET CENTERLINE
- TIE LINE
- ADJOINING PROPERTY LINE
- RIGHT-OF-WAY
- SECTION LINE

- FOUND SECTION MONUMENT AS SHOWN AND DESCRIBED
- POINT NOT FOUND - CALCULATED POSITION
- SET REBAR AND CAP STAMPED "REDCON"
- UNLESS OTHERWISE NOTED
- EXISTING STREET MONUMENT
- NON-EXCLUSIVE ACCESS AND IMPROVEMENT EASEMENT PER ENTRY NUMBER 8402013, BOOK 8674, PAGE 3196 (PUBLIC RIGHT-OF-WAY HEREBY DEDICATED OVER AND ACROSS EACH STRUCTURE AND PUBLIC UTILITY EASEMENT TO DRAPER CITY)
- 15' WIDE STORM DRAIN EASEMENT PER ENTRY NUMBER 3436402, BOOK 5103, PAGE 734 (HEREBY VACATED)
- 15' WIDE STORM DRAIN EASEMENT PER ENTRY NUMBER 3564107, BOOK 5247, PAGE 740 (HEREBY VACATED)
- A PORTION OF A 20' WIDE SANITARY SEWER EASEMENT PER ENTRY NUMBER 2603712, BOOK 3528, PAGE 167, TO BE ABANDONED BY SEPARATE DOCUMENT AT A LATER DATE.
- STORM DRAIN EASEMENT HEREBY GRANTED TO DRAPER CITY - INCLUDING ACCESS, MAINTENANCE, AND INSPECTION. RESTRICTIONS TO LANDSCAPING WILL BE REQUIRED. OWNER OF LOT 22 TO MAINTAIN LANDSCAPING. NO FENCING PERMITTED TO ALLOW DRIVE-BY INSPECTION OF BASIN. NO STRUCTURES OR ENCROACHMENTS PERMITTED INTO EASEMENT.
- TEMPORARY PUBLIC TURN AROUND EASEMENT
- CONTINUED ACCESS IS TO BE PROVIDED TO SALT LAKE COUNTY FLOOD CONTROL FOR OPERATION AND MAINTENANCE OF CREEK. WIDTH OF ACCESS TO MATCH CURRENT WIDTH AS MEASURED FROM THE PROPERTY BOUNDARY TO EXISTING HEADWALL INSTRUCTIONS. NO PERMANENT STRUCTURES OR OBSTACLES ALLOWED WITHIN THE ACCESS EASEMENT.
- 20' WIDE SANITARY SEWER EASEMENT PER ENTRY NUMBER 12720515, BOOK 10649, PAGE 674-677.
- 30' CLEAR VIEW RESTRICTIONS
- RETENTION BASIN REQUIRED. SEE NOT ON SHEET 1 FOR DETAILS.
- 40' PRIVATE DRAINAGE EASEMENT

## NOTE

- SHALLOW SEWER DEPTHS! CONTRACTOR SHALL VERIFY SEWER LATERAL DEPTH AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.

BOARD OF EDUCATION OF CANYONS SCHOOL DIST  
1080 E 12660 S  
28-32-201-004

FOUND 8"x8" FENCE POST  
ACCEPTED AS PROPERTY CORNER  
PER S2008-02-0132

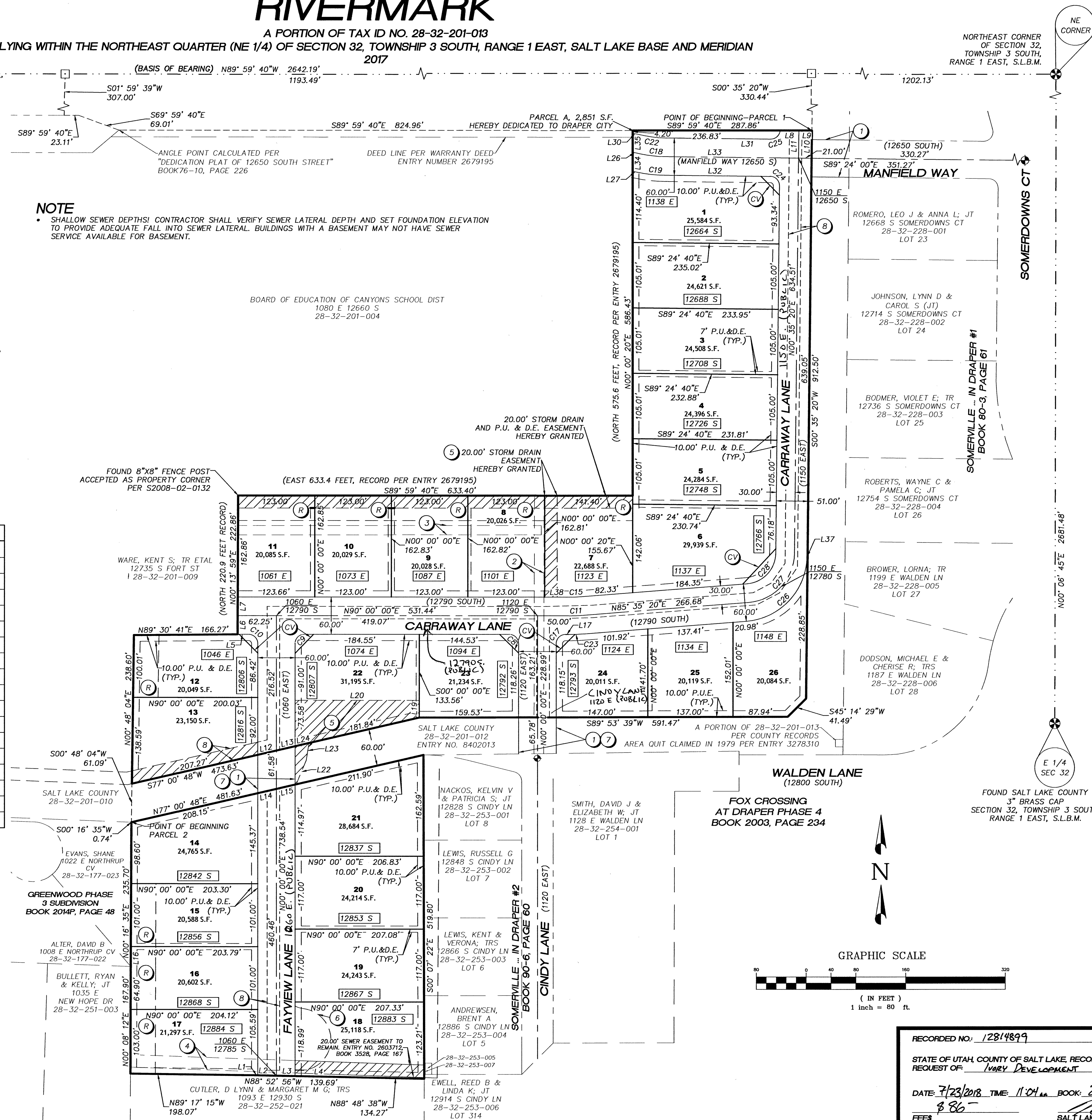
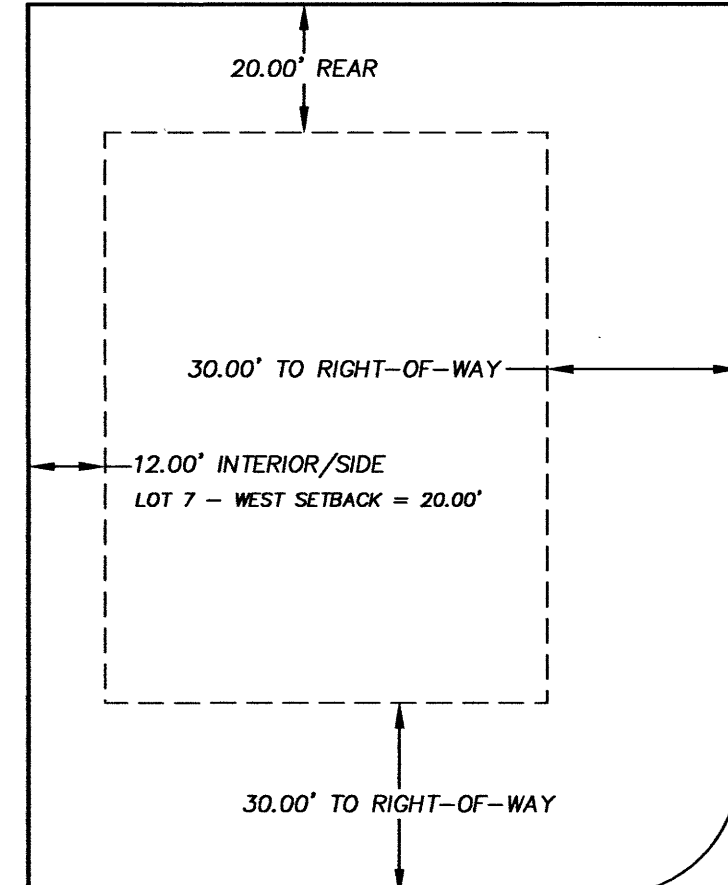
## LINE TABLE

LINE #	LENGTH	DIRECTION
L1	6.31'	S88°52'56"E
L2	30.01'	S88°52'56"E
L3	30.01'	S88°52'56"E
L4	73.37'	S88°52'56"E
L5	17.37'	N90°00'00"E
L6	30.00'	N00°13'59"E
L7	30.00'	N00°13'59"E
L8	30.03'	S89°49'11"E
L9	21.00'	N89°45'20"E
L10	44.60'	S00°35'20"W
L11	44.20'	N00°35'25"E
L12	30.79'	N77°00'48"E
L13	30.79'	N77°00'48"E
L14	30.79'	N77°00'48"E
L15	30.79'	N77°00'48"E
L16	36.10'	N00°16'35"E
L17	5.00'	N90°00'00"E
L19	27.56'	N00°00'00"E
L20	199.55'	N90°00'00"W
L22	41.88'	N22°57'01"E
L23	28.09'	N08°46'25"E
L24	22.95'	N77°00'48"E
L26	12.64'	S77°42'11"E
L27	6.11'	S77°42'11"E
L30	19.18'	S77°42'11"E
L31	168.56'	N89°24'00"W
L32	168.58'	N89°24'00"W
L33	213.57'	N89°24'00"W
L34	30.70'	N00°00'20"E
L35	30.70'	N00°00'20"E
L37	1.00'	S89°24'40"E
L38	38.54'	N90°00'00"E
L39	87.51'	N00°35'20"E
L40	55.11'	N85°35'20"E

## CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD LENGTH
C8	23.56'	15.00'	90°00'00"	N45°00'00"W	21.21'
C9	23.56'	15.00'	90°00'00"	S45°00'00"W	21.21'
C10	23.56'	15.00'	90°00'00"	S45°00'00"E	21.21'
C11	23.10'	300.00'	4°24'40"	N87°47'40"E	23.09'
C15	20.79'	270.00'	4°24'40"	N87°47'40"E	20.78'
C17	23.56'	15.00'	90°00'00"	S45°00'00"W	21.21'
C18	40.83'	200.00'	11°41'49"	S83°33'06"E	40.76'
C19	46.95'	230.00'	11°41'49"	S83°33'06"E	46.87'
C22	34.71'	170.00'	11°41'49"	S83°33'06"E	34.65'
C23	25.41'	330.00'	4°24'40"	N87°47'40"E	25.40'
C24	23.56'	15.00'	89°59'20"	N44°24'20"W	21.21'
C25	22.64'	15.00'	86°27'49"	N47°22'05"E	20.55'
C26	157.25'	106.00'	85°00'00"	N43°05'20"E	143.23'
C27	118.68'	80.00'	85°00'00"	N43°05'20"E	108.09'
C28	74.18'	50.00'	85°00'00"	N43°05'20"E	67.56'
C29	45.22'	106.00'	24°26'33"	N73°22'04"E	44.88'
C30	112.03'	106.00'	60°33'27"	N30°52'04"E	106.89'

## TYPICAL SETBACK DETAIL - SCALE 1/320



RIVERMARK

IVORY DEVELOPMENT

LYING WITHIN THE (NE 1/4)  
SEC. 32, T. 3 S., R. 1 E., S.L.B.M.

REDCON, INC.

LAND SURVEYORS  
25 SOUTH MAIN STREET, SUITE 200  
CENTERTOWN, UTAH 84014  
(801) 298-2401 FAX (801) 298-2024  
REDCON.COM

JOB NUMBER  
416000-82

DWG: 416000-82 PL  
DATE: 6/24/2018

SHEET 2 OF 2

RECORDED NO: 12814899  
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT  
REQUEST OF: IVORY DEVELOPMENT  
DATE: 7/23/2018 TIME: 11:04 AM BOOK: 208P PAGE: 257  
FEE: \$86  
SALT LAKE COUNTY RECORDER



# MEMO

To: Planning Commission  
From: Jennifer Jastremsky, AICP  
CC:  
Date: April 28, 2022  
Re: Pelion – Site Plan Request

---

## Comments:

This application is a request for approval of a Site Plan for approximately 6.49 acres located on the north side of Highland Dr., at approximately 14761 South Future Way. The property is currently zoned CSD-Highline. The applicant is requesting that a Site Plan be approved to allow for the development of the currently vacant site as an office building.

The findings are as follows:

For approval as are follows:

1. The entire site is being developed at one time.
2. The site plan conforms to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

## ATTACHMENTS:

Description  
PC Staff Report

Upload Date  
4/22/2022

Type  
Cover Memo



---

**Development Review Committee**

1020 East Pioneer Road

Draper, UT 84020

April 19, 2022

**To:** Draper City Planning Commission  
Business Date: April 28, 2022

**From:** Development Review Committee

**Prepared By:** Jennifer Jastremsky, AICP, Planning Manager/Zoning Administrator  
Planning Division  
Community Development Department  
801-576-6328, [jennifer.jastremsky@draperutah.gov](mailto:jennifer.jastremsky@draperutah.gov)

**Re: Pelion – Site Plan Request**

Application No.: SPR-65-2022  
Applicant: Liza Hart, representing Gardner Company  
Project Location: 14761 S Future Way  
Current Zoning: CSD- Highline (Highline Commercial Special District) Zone  
Acreage: 6.49 Acres (Approximately 282,704 ft<sup>2</sup>)  
Request: Request for approval of a Site Plan in the CSD-Highline zone regarding the development of a new office building.

**BACKGROUND AND SUMMARY**

This application is a request for approval of a Site Plan for approximately 6.49 acres located on the north side of Highland Dr., at approximately 14761 South Future Way (Exhibit B). The property is currently zoned CSD-Highline. The applicant is requesting that a Site Plan be approved to allow for the development of the currently vacant site as an office building.

In September 2016, the City Council approved Ordinance No. 1215 creating the CSD-Highline zone. The creation of this zoning district was so that a mix of uses could be located on the 70.76 acre site including retail, office and multifamily. So far one office building, Pluralsight, and one multi-family residential development, Point of View Apartments, has been constructed within the zone.

On November 16, 2021 the City Council approved an amendment to the CSD-Highline zone which modified the exhibits in Draper City Municipal Code (DCMC) Section 9-18K-090 to show the subject property as master planned for an office building. Prior to this, the





property was master planned for retail, and residential uses.

## **ANALYSIS**

General Plan and Zoning. The Land Use Map of the General Plan calls for the Commercial Special District land use designation for the subject property (Exhibit C). This category is characterized as follows:

### *Commercial Special District*

LAND USE DESCRIPTION	
<b>CHARACTERISTICS</b>	<ul style="list-style-type: none"><li>• Include a wide range of commercial uses that are destination oriented and draw from a regional customer base</li><li>• Compatible, master planned mix of day and evening uses consisting of office, light manufacturing, retail, residential, recreation and open space components</li><li>• Limited traffic access points</li><li>• Development is intended to consist of well designed, architecturally integrated structures which are appropriately landscaped and buffered from surrounding land uses</li><li>• Uniform design standards and aesthetics</li><li>• Access to individual properties should be provided only from frontage roads or major arterials</li><li>• Common off-street traffic circulation and parking areas</li></ul>
<b>LAND USE MIX</b>	<ul style="list-style-type: none"><li>• Large-scale master-planned commercial centers</li><li>• Big box centers</li><li>• Corporate headquarters</li><li>• Multi-story upscale office buildings</li><li>• Multi-story upscale residential buildings</li></ul>
<b>COMPATIBLE ZONING</b>	<ul style="list-style-type: none"><li>• Adopted Commercial Special District zone</li><li>• Adopted Major Freeway Arterial Frontage Road zone</li></ul>
<b>LOCATION</b>	<ul style="list-style-type: none"><li>• Strategically placed along high-traffic corridors with convenient points of traffic access to and from residential areas</li><li>• Excellent transportation access to major highways</li><li>• High visibility from the I-15 corridor</li><li>• Proximity to both Salt Lake and Utah Counties</li><li>• Provide adequate buffers in the form of setbacks, open space, low impact industrial uses, barriers, etc. adjacent to existing residential areas</li><li>• Major streets serving these areas should accommodate truck traffic</li></ul>

The property has been assigned the CSD-Highline zoning classification (Exhibit D). According to DCMC Section 9-8-020 the purpose of a CSD zone is to “*permit a compatible,*

*master planned mix of day and evening uses consisting of office, light manufacturing, retail, residential, recreation and open space components. Although development size and use mix will vary from location to location, each development is intended to consist of well designed, architecturally integrated structures which are appropriately landscaped and buffered from surrounding land uses."* The property is adjacent to the CSD-Highline zone to the north, east, and west, and it abuts the CR (Regional Commercial) zone to the south.

**Site Plan Layout.** The applicant is proposing to build a single office building (Exhibit E). The building will be located on the west side of the property. Due to the grading on the property, the site will be split into two areas. The west side of the property will have a single ingress/egress point from Future Way, a parking lot, and the office building. The east side of the site will have two ingress/egress points to Highland Dr. and parking. The two areas will be physically divided by retaining walls and will be connected by a pedestrian walkway that leads directly into the building.

**Landscaping and Lot Coverage.** The site will include 26.9% overall landscaping, with 18% of the parking lot containing landscaping (Exhibit F). The office building itself will only occupy 9.1% of the property. The proposed landscaping will feature trees along the public rights-of-way and the properties north boundary line. The areas around the building will be heavily landscaped. The site will feature a large entry plaza, a roof deck, and a connection to the trail system within the Pluralsight property. There will also be an indoor gym within the building.

**Parking.** The applicant is proposing 494 parking stalls for the site (Exhibit E). The CSD-Highline zone requires a min/max range of 4-6 parking stalls per 1,000 square feet of building area. At 123,406 square feet, the applicant is providing exactly the 4 stalls per 1,000 square feet required by code.

**Architecture.** The building is a seven story podium building (Exhibit G). This means that it has five stories of office over a two story parking structure. Due to the grading of the site, depending on what angle you look at the building from, it will appear to be a four to six story building. The CSD-Highline zone requires office buildings to be at least four stories in height and sets the maximum height at 15 stories. The proposed building complies with this standard. Building façade materials will feature EIFS, architectural concrete, wood, and metal panels. The building itself will structurally include Cross Laminated Timber (CLT). This wood material consists of layered wood boards and is a fairly new product to the area. It will be the first such building in Draper.

**Lighting.** The property will include parking lot light poles. The light poles will be 20-feet tall. The CSD-Highline zone allows light poles to be up to 30-feet tall. Lighting will not exceed 0.1 foot candles at the property line.

Criteria For Approval. The criteria for review and potential approval of a Site Plan request is found in Sections 9-5-090(E) of the DCMC. This section depicts the standard of review for such requests as:

- E. Standards For Approval: The following standards shall apply to the approval of a site plan:
1. The entire site shall be developed at one time unless a phased development plan is approved.
  2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
  3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
  4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
  5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

## **REVIEWS**

Planning Division Review. The Draper City Planning Division has completed their review of the Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the Site Plan submission. Comments from these divisions, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Geotechnical and Geologic Hazards Review. Taylor Geo-Engineering, LLC, and Simon Associates, LLC, in working with the Draper City Building and Engineering Divisions, have completed their reviews of the geotechnical and geologic hazards report submitted as a part of the Site Plan. Comments from Taylor Geo-Engineering, LLC and Simon Associates, LLC, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the Site Plan submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

## **STAFF RECOMMENDATION**

Staff finds that the application complies with the DCMC and recommends that the Planning Commission review the request, receive public comment, and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Planning Commission decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. Stormwater Maintenance Plan and Agreement have been received and are under review. The applicant will need to address any comments, and resubmit for review. A final approved physical, original, executed, signed maintenance plan and agreement will be required prior to issuing the Land Disturbance Permit.
4. Provide service letter from South Valley Sewer District (SVSD) per DCMC 9-5-090(D)(1)(d)(3)(E).
5. Provide Traffic Impact Study report. Any corrections to the report resulting from the review will have to be addressed and a final report approved prior to the issuance of a land disturbance permit.
6. Provide a road dedication deed for the required right-of-way dedication along Highland Dr.
7. Any grading adjustment on adjacent lot will require the adjacent lot owner's permission. Submit the original, executed owner's affidavit to Engineering.

The findings for approval as are follows:

1. The entire site is being developed at one time.
2. The site plan conforms to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.



5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

### **MODEL MOTIONS**

Sample Motion for Approval – I move that we approve the Site Plan, as requested by Liza Hart, representing Gardner Company for the Pelion Site Plan, application SPR-65-2022, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022.

Sample Motion for Modified Approval– I move that we approve the Site Plan, as requested by Liza Hart, representing Gardner Company for the Pelion Site Plan, application SPR-65-2022, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022 and as modified by the findings and conditions below:

1. List any additional findings and conditions...

**DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT**

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

\_\_\_\_\_  
Draper City Public Works Department

\_\_\_\_\_  
Draper City Planning Division

\_\_\_\_\_  
Draper City Fire Department

\_\_\_\_\_  
Draper City Legal Counsel

\_\_\_\_\_  
Draper City Building Division



## **EXHIBIT A DEPARTMENT REVIEWS**

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

### Engineering and Public Works Divisions Review.

1. Stormwater Maintenance Plan and Agreement are received. Comments will be provided prior to issuing the Land Disturbance Permit. Submit the physical, original, executed, signed maintenance plan and agreement once comments are addressed.
2. Provide service letter from South Valley Sewer District (SVSD) per DCMC 9-5-090(D)(1)(d)(3)(E).
3. Provide Traffic Impact Study report.
4. Retaining walls are to comply with DCMC 9-27-085. Retaining walls are not reviewed or approved with this review and approval process. *(Informational comment. No action required at this time.)*
5. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance. *(Informational comment. No action required at this time.)*
6. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division. *(Informational comment. No action required at this time.)*
7. Engineering will determine if the electronic signature is allowed for the road dedication deed. A resubmittal of the deed with hand-written ink signature may be required depending on the result.
8. Any grading adjustment on adjacent lot will require the adjacent lot owner's permission. Submit the original, executed owner's affidavit to Engineering.

### Fire Division Review.

1. Fire department access is required. An unobstructed minimum road width of twenty-six (26) feet exclusive of the shoulders and a minimum height of thirteen (13) feet six (6) inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of twenty – eight (28) feet. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.

2. IFC Section 3310 access for fire fighting during construction:

3310.1.1 required access. Approved vehicle access for firefighting shall be, provided to all construction or demolition sites. Vehicle access shall be provided to within 100 feet (30 480 mm) of temporary or permanent fire department connections. Either temporary or permanent roads, capable of supporting vehicle loading under all weather conditions, shall provide vehicle access. Vehicle access shall be, maintained until permanent fire apparatus access roads are available.

- Until permanent fire apparatus access roads are constructed, fire-fighting vehicle access is the means by which fire fighters gain access to the construction or demolition site and building for fire suppression and rescue operations. Such access is an integral component of the fire prevention program. The site superintendent or other person responsible for construction and demolition operations is responsible for maintaining and policing fire-fighter access routes, as pro-vided in section 3308. Fire apparatus must be able to get within 100 feet (30 480 mm) of any installed fire department connection supplying water to temporary or permanent fire protection systems. Access roads must support the weight of the heaviest vehicle that might respond. The weight requirements are avail-able from the local fire department. All-weather sur-faces are required because the responding fire department should not waste time moving snow or trying to get out of mud.
3. IFC Chapter 33 fire safety during construction and demolition. This section of fire will be enforced. Please make sure the project is maintaining all aspects of this chapter during construction.
  4. Fire hydrants are required. Hydrants are required for this project. They shall be, protected with bollards if susceptible to vehicle damage. Fire flow for each of the buildings shall be a minimum of 8,000 gpm @ 20 p.s.i. Residual pressure, and this will require a minimum of four (4) fire hydrants for each building within this project to deliver the calculated fire flow. With a full NFPA 13 fire sprinkler system the fire flow could be reduced by 50 percent which would be 4000gpm @ 20p.s.i. Residual pressure which would allow a reduction of hydrants to require a minimum of three (3) hydrants per building spaced at 350ft spacing.
  5. Hydrants and site access. All hydrants and a form of acceptable temporary fire department access to the site shall be installed and approved by the fire department prior to the issuance of any building permits. If at any time during the building phase any of the hydrants or temporary fire department access becomes non-compliant any and all permits could be revoked.
  6. No combustible construction shall be allowed prior to hydrant installation

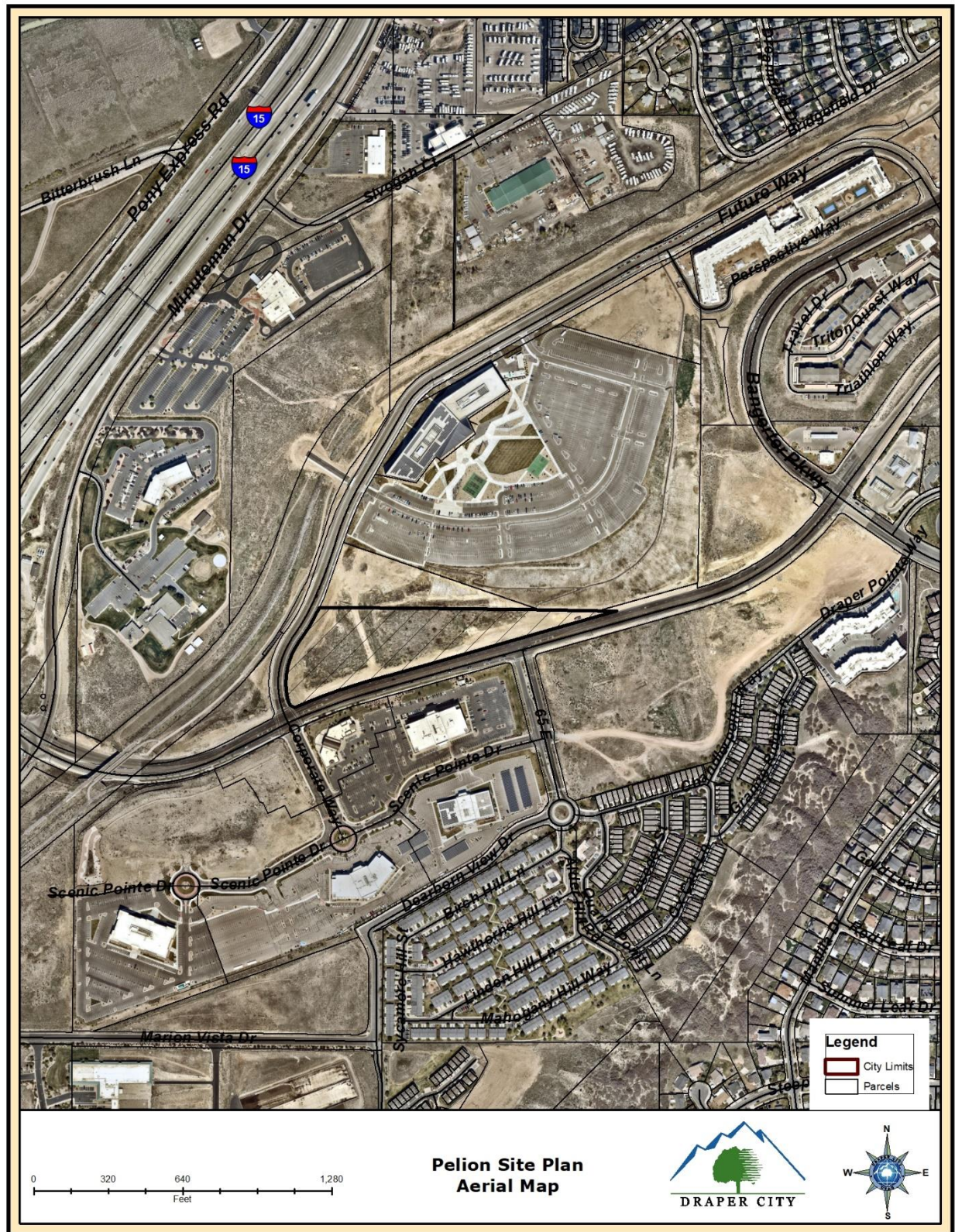
and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.

7. Fire sprinklers required. A deferred submittal for a NFPA 13 fire sprinkler shop drawings are to be sent via email to: Don Buckley at [fire.permits@draperutah.gov](mailto:fire.permits@draperutah.gov). A complete set of plans, with manufacturer cut sheets, and hydraulic calculations. Plans must be stamped by a NICET level iii or better in auto sprinkler layout. (there needs to be a hydrant with-in a 100 feet of the FDC.) FDC is required to have knox locking caps. All fire protection plans require 3rd party review prior to be submitted to the draper fire department. This requirement will affect the office building and retail units d and e. It may apply to retail units a, b and c depending on tenants.
8. Fire department connection (FDC): the FDC is required as part of a water-based suppression system as the auxiliary water supply. The FDC will give the fire department the capability to supply additional pressure necessary to the automatic fire sprinkler system and the standpipe system. The FDC will be located at the entrance to the building and will be within 100-feet of the fire hydrant. The FDC will be located to ensure connected hoses which supply the system will not obstruct access to the buildings for other fire apparatus. The final location of FDC will be approved by the fire marshal.
9. Standpipes may be required. These buildings will be required to have standpipes. This standpipe will be required to be pressure tested and a contractor certificate of completion will be required to be filled out.
10. Fire alarm required. A deferred submittal for fire alarm shop drawings are to be sent via email to the following to: Don Buckley at [fire.permits@draperutah.gov](mailto:fire.permits@draperutah.gov). A complete set of plans, with manufacturer cut sheets, and battery calculations. Plans must be stamped by a NICET level iii or better in fire alarm systems. All fire alarm plans require 3rd party review prior to be submitted to the draper fire department.
11. Emergency responder radio coverage required. Emergency responder radio coverage shall be provided in accordance with the IFC 510. Before a fire safety codes release (certificate of occupancy) is issued, compliance with international fire code section 510 is required by means of an emergency responder radio coverage system (ERRCS) installed, tested, and accepted or through field testing by a FCC licensed radio contractor to verify that an ERRCS is not warranted. A critical element to compliance with this standard is preliminary testing once the building is dried-in.
12. Two-way communication will be required. As per section 1009.8 in the 2018 IFC.
13. Knox boxes required. Fire department "knox brand" lock box to be mounted to exterior walls, near the main entrance and/or nearest the door serving the exterior access to the fire sprinkler riser room. (at a height of 5 feet to the top of the box) lock box purchase can be arranged by the general contractor. See attached information form.

14. 2a-10bc fire extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed every 75 feet of travel. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five (5) feet above the floor.
15. Visible addressing required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.



# EXHIBIT B AERIAL MAP





# EXHIBIT C LAND USE MAP

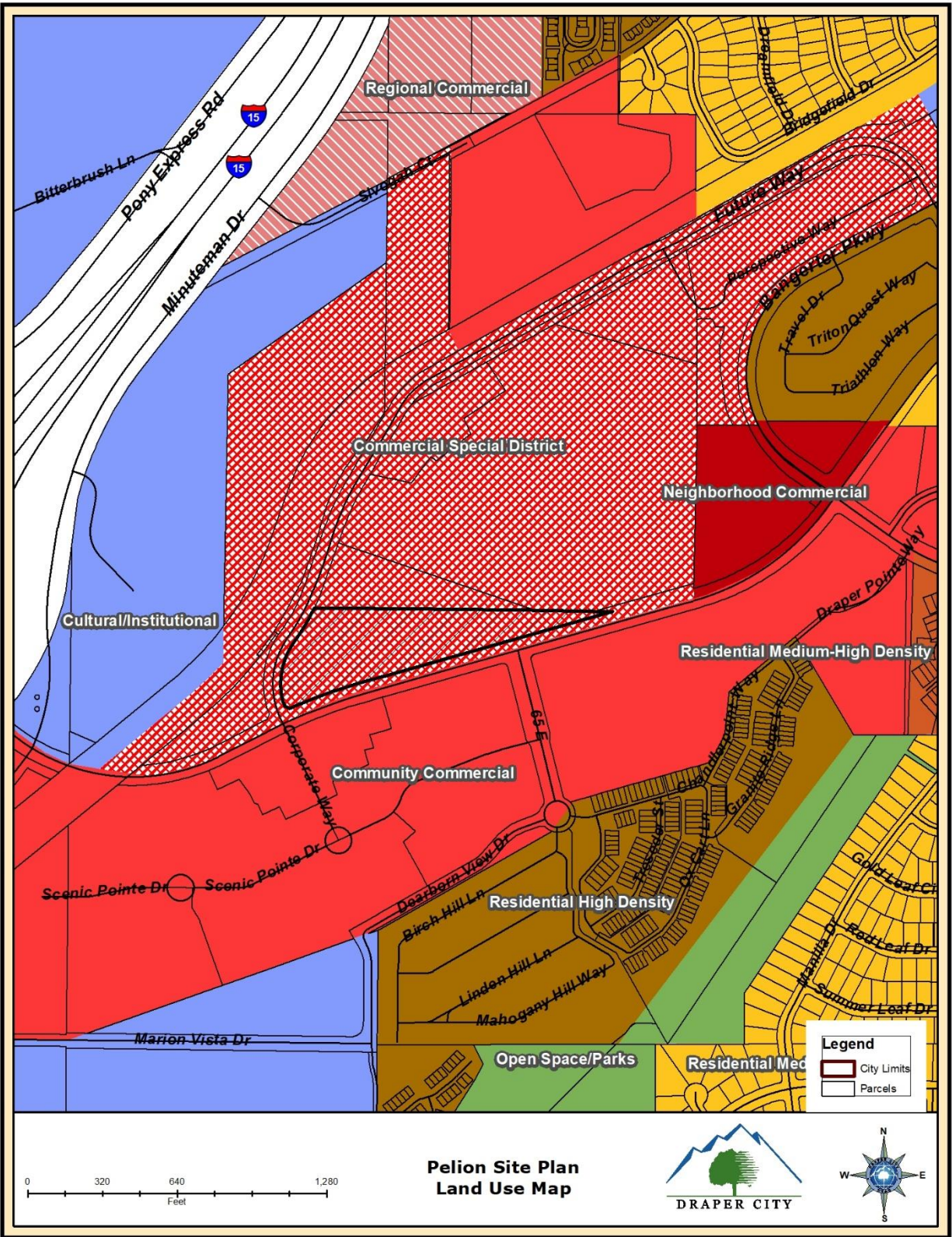
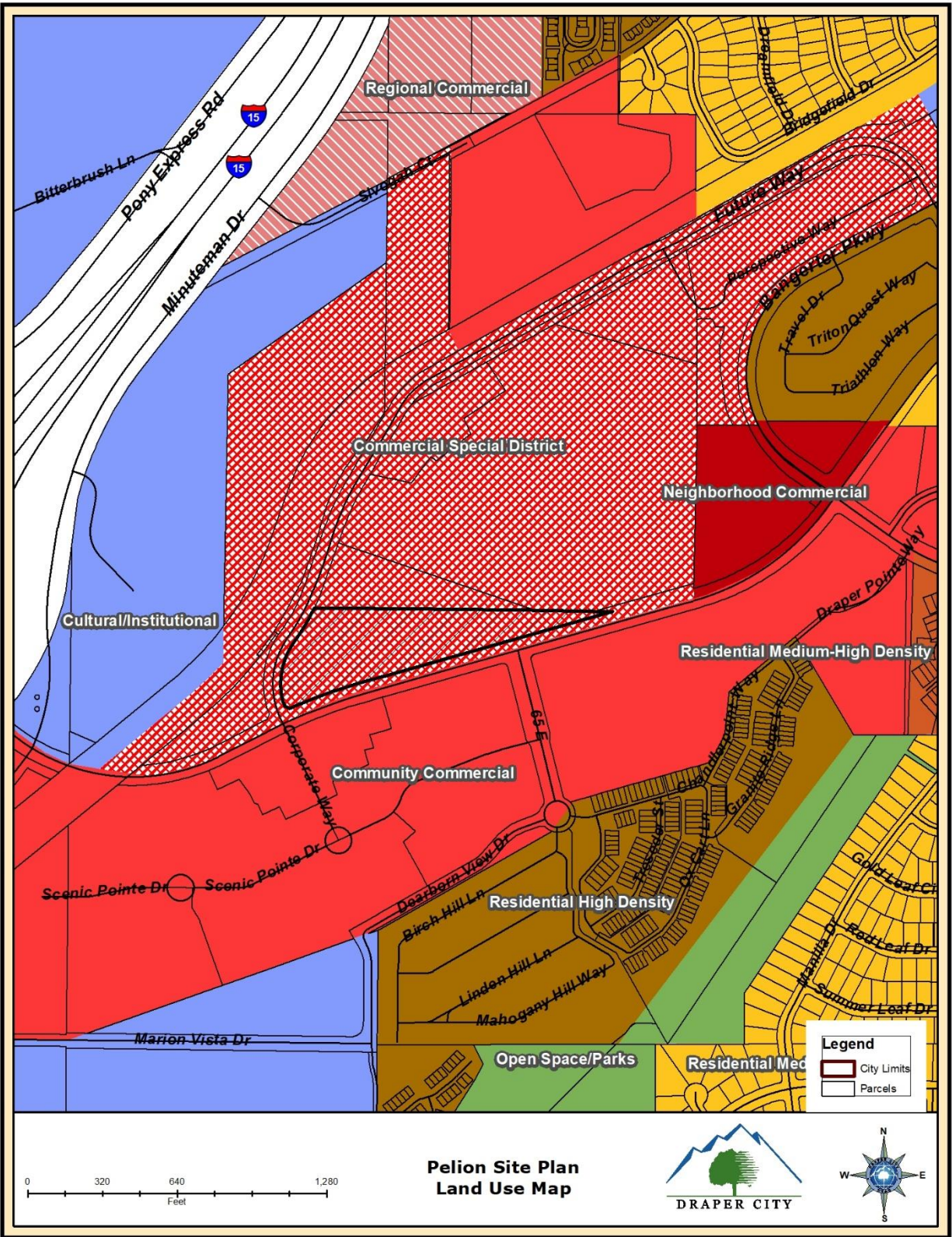





EXHIBIT D  
ZONING MAP



**EXHIBIT E**  
**SITE PLAN**





CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.  
Know what's below.  
Call before you dig.

**BENCHMARK**

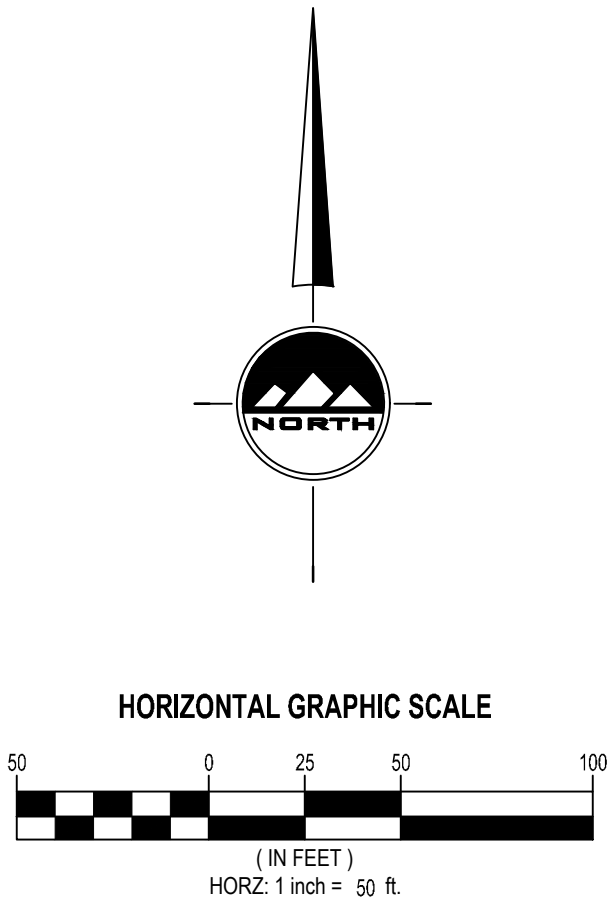
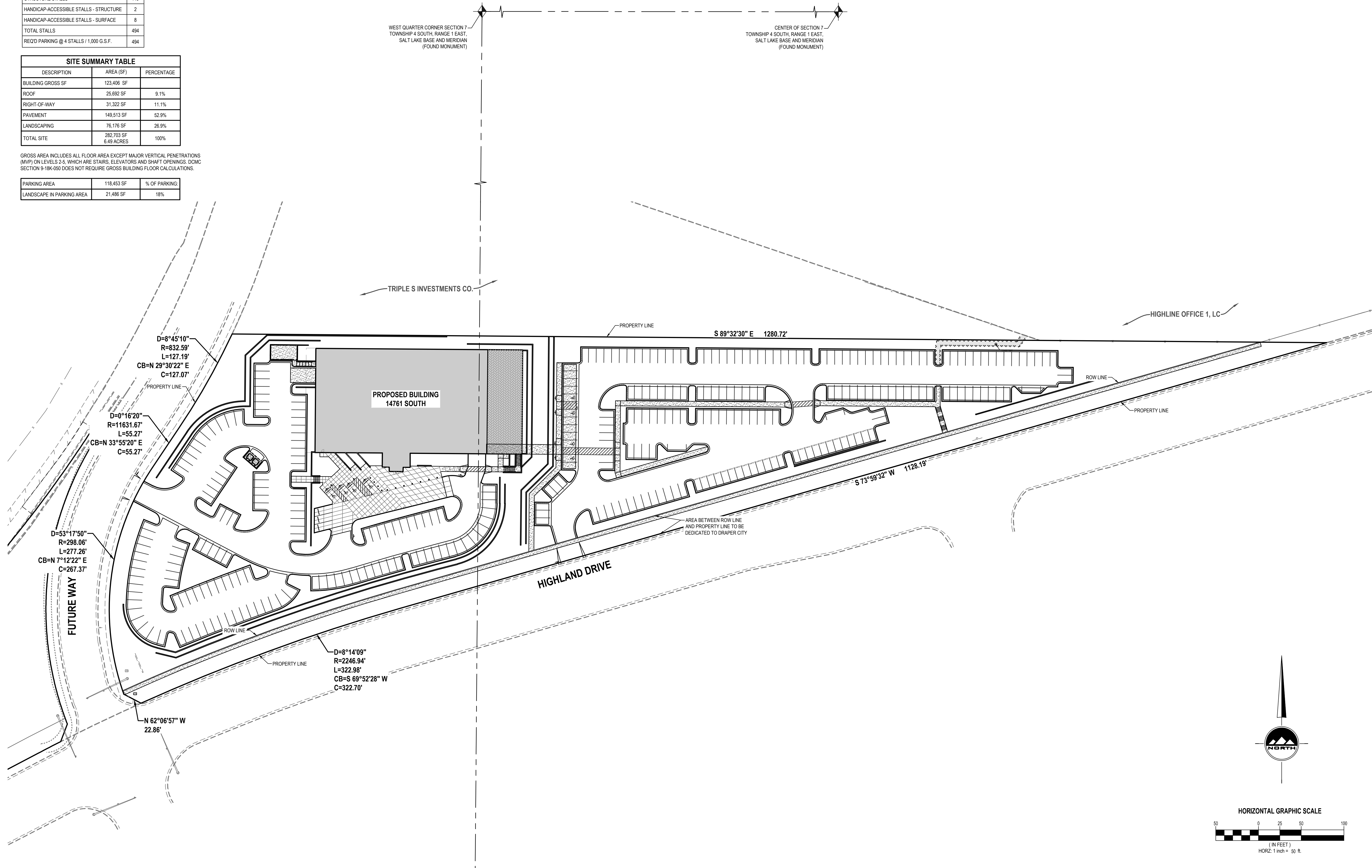
WEST QUARTER CORNER OF SECTION 7,  
TOWNSHIP 4 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
ELEVATION = 4684.48


PARKING DATA TABLE	
STANDARD STALLS	335
STRUCTURE STALLS	149
HANDICAP-ACCESSIBLE STALLS - STRUCTURE	2
HANDICAP-ACCESSIBLE STALLS - SURFACE	8
TOTAL STALLS	494
REQ'D PARKING @ 4 STALLS / 1,000 G.S.F.	494

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
BUILDING GROSS SF	123,406 SF	
ROOF	25,692 SF	9.1%
RIGHT-OF-WAY	31,322 SF	11.1%
PAVEMENT	149,513 SF	52.9%
LANDSCAPING	76,176 SF	26.9%
TOTAL SITE	282,703 SF 6.49 ACRES	100%

GROSS AREA INCLUDES ALL FLOOR AREA EXCEPT MAJOR VERTICAL PENETRATIONS (MVP) ON LEVELS 2-5, WHICH ARE STAIRS, ELEVATORS AND SHAFT OPENINGS. DCMC SECTION 9-18K-650 DOES NOT REQUIRE GROSS BUILDING FLOOR CALCULATIONS.

PARKING AREA	118,453 SF	% OF PARKING
LANDSCAPE IN PARKING AREA	21,486 SF	18%





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Phone: 435.865.1453


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Phone: 435.896.2983

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FOR:  
GARDNER COMPANY  
201 SOUTH MAIN STREET, #2000  
SALT LAKE CITY, UTAH 84111

CONTACT:  
MARK MURDOCK  
PHONE: (801) 915-1822

**GARDNER-PELION CORE & SHELL**  
**OFFICE BUILDING**  
14761 SOUTH FUTURE WAY  
DRAPER CITY, UTAH



NO.	DATE	REVISION	BY
1	3/4/22	100% DD SET	EF
2			
3			
4			
5			
6			
7			
8			

**OVERALL  
SITE PLAN**

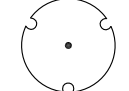
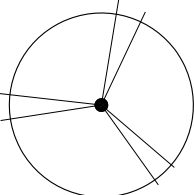
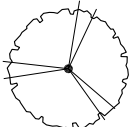






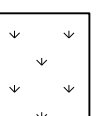
PROJECT NUMBER: 406SS  
PRINT DATE: 4/14/22  
DRAWN BY: BCA  
CHECKED BY: JKF  
PROJECT MANAGER: JKF

**C-100**

**EXHIBIT F**  
**LANDSCAPE PLAN**



PLANT SCHEDULE

	COLUMNAR TREES <i>Acer platanoides</i> 'Columnare' / Columnar Norway Maple <i>Carpinus betulus</i> 'Fastigiata' / Pyramidal European Hornbeam <i>Fagus sylvatica</i> 'Red Obelisk' / Fastigiata Purple Beech <i>Quercus robur</i> 'Fastigiata' / Pyramidal English Oak <i>Zelkova serrata</i> 'Missouri' / Columnar Zelkova	2 INCH CALIPER	31
	LARGE DECIDUOUS TREES <i>Acer Freemanii</i> 'Jefferson' TM / Autumn Blaze Maple <i>Fagus sylvatica</i> / European Beech <i>Fraxinus pennsylvanica</i> 'Cimarron' / Green Ash <i>Platanus x acerifolia</i> 'Bloodgood' / London Plane Tree <i>Ulmus x hollandica</i> 'Pioneer' / Pioneer Elm <i>Zelkova serrata</i> 'Green Vase' / Green Vase Zelkova	3 INCH CALIPER	53
	SMALL ACCENT TREES <i>Acer ginnala</i> 'Flame-multi' / Amur Maple Multi-trunk <i>Acer griseum</i> / Paperbark Maple <i>Malus hybrid</i> 'Spring Snow' / Spring Snow Crab <i>Malus x 'Red Barron'</i> / Red Barron Crab Apple <i>Koeleruteria paniculata</i> / Golden Rain Tree	2 INCH CALIPER	58
	EVERGREEN TREES <i>Cedrus atlantica</i> / Atlas Cedar <i>Picea pungens</i> / Colorado Spruce <i>Pinus leucodermis</i> / Bosnian Pine <i>Sequoiadendron giganteum</i> / Giant Sequoia	6 HEIGHT	27
	EVERGREEN SHRUBS <i>Buxus microphylla</i> koronae 'Green Velvet' / Korean Boxwood <i>Cercocarpus ledifolius</i> / Curl-Leaf Mountain Mahogany <i>Chamaebatiaria millefolium</i> 'Fernbush' / Fernbush <i>Juniperus virginiana</i> 'Taylor' / Taylor Eastern Redcedar <i>Halesia aquilium</i> 'Compacta' / Compact Oregon Grape <i>Taxus x media</i> 'Hicksii' / Hicks Yew <i>Viburnum x rhytidophyloides</i> 'Alleghany' / Alleghany Viburnum	5 CONT.	170
	GRASS <i>Calamagrostis acutifolia</i> 'Karl Foerster' / Foerster's Reed Grass <i>Miscanthus sinensis</i> 'Gracillimus' / Maiden Grass <i>Pennisetum alopecuroides</i> 'Hamelin' / Hamlin Dwarf Fountain Grass	5 CONT.	338
	LARGE DECIDUOUS SHRUBS <i>Cornus sericea</i> 'Baileyi' / Red Twig Dogwood <i>Cornus sericea</i> 'Isanti' / Isanti Redosier Dogwood <i>Rhamnus frangula</i> 'Columnaris' / Tall-hedge Buckthorn <i>Physocarpus opulifolius</i> 'Monlo' TM / Diabolo Purple Ninebark <i>Rhus typhina</i> 'Tiger Eyes' / Tiger Eyes Sumac	5 CONT.	185
	LOW SHRUBS <i>Juniperus horizontalis</i> 'Willoni' / Willon Blue Rug Juniper <i>Juniperus sabina</i> 'Arcadia' / Arcadia Juniper <i>Prunus besseyi</i> 'Paunee Buttes' / Sand Cherry <i>Pinus sylvestris</i> 'Hillside Creeper' / Hillside Creeper Scotch Pine <i>Rhus aromatica</i> 'Gro-Low' / Gro-Low Fragrant Sumac	5 CONT.	244
	SMALL DECIDUOUS SHRUBS <i>Buddleja x 'SHINEBOL'</i> TM / Pugster Amethyst Butterfly Bush <i>Coryopteris x clandonensis</i> 'Blue Mist' / Blue Mist Shrub <i>Chrysothamnus nauseosus</i> / Dwarf Blue Rabbitbrush <i>Cornus sanguinea</i> 'Arctic Fire' TM / Arctic Fire Dogwood <i>Forsythia x intermedia</i> 'Mindor' TM / Show Off Forsythia <i>Hesperaloe parviflora</i> / Red Yucca <i>Ribes alpinum</i> / Alpine Currant <i>Rhus typhina</i> 'Tiger Eyes' / Tiger Eyes Sumac	5 CONT.	568
	NATIVE SEED MIX	SEED	54,897 sf

\* QUANTITY INFORMATION PROVIDED FOR REFERENCE ONLY. CONTRACTOR RESPONSIBLE TO VERIFY ALL QUANTITIES.

NATIVE SEED MIX

BOTANICAL NAME	COMMON NAME	RATE PLS/AC
ACHILLEA MILLEFOLIUM	WESTERN YARROW	0.10
BROMUS MARGINATUS	MOUNTAIN BROME	0.70
ELYIUS TRACHYCAULUS SSP.	SLENDER WHEATGRASS	9.00
ERICAMERIA NAUSEOSA	RUBBER RABBITBRUSH	0.25
FESTUCA SAXIMONTANA	ROCKY MOUNTAIN FESCUE	1.00
LINUM PERENNE	BLUE FLAX	1.00
PASCOPYRUM SMITHII	WESTERN WHEATGRASS	4.00
PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	0.50
POA SECUNDA SSP. AMPLA	SANDBERG BLUEGRASS	1.00
POA SECUNDA SSP. SANDBERGII	SANDBERG BLUEGRASS	1.00
RATIBIDA COLUMNIFERA	PRAIRIE CONEFLOWER	0.40
PSEUDOROGENARIA SPICATA	BLUEBUNCH WHEATGRASS	2.00
STERILE TRITICALE	QUICKGUARD	10.00
TOTAL		27.75



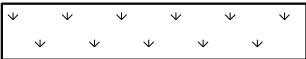
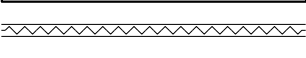





LIST OF AMMENITIES

- ROOF DECK - SEE REFERENCE NOTE 17
- CONNECTION TO PORTER TO EXISTING TRAIL SYSTEM SEE REFERENCE NOTE 15
- SEATING WALL AT FRONT ENTRY PLAZA - SEE REFERENCE NOTE 10
- ENTRY PLAZA WITH ZERO CURB - SEE REFERENCE NOTE 18
- INDOOR GYM - REFER TO ARCHITECTS PLANS

LANDSCAPE NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COSTS INCURRED DUE TO DAMAGE OF SAID UTILITIES.
2. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH THE LANDSCAPE CONSTRUCTION FOR THIS PROJECT.
5. ALL PLANT MATERIAL SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE UPON DELIVERY TO THE SITE, AND PRIOR TO INSTALLATION.
6. IF DISCREPANCIES ARISE BETWEEN ACTUAL PLANTING AREA SIZES IN THE FIELD AND THOSE SHOWN ON THE PLANS, CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN CONTRACTOR'S LIABILITY FOR MATERIALS RELOCATION.
7. FINAL LOCATIONS OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL OF THE OWNER'S REPRESENTATIVE.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPING THAT IS DESIGNATED TO REMAIN. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING OR OTHER APPROVED GUARDS OUTSIDE DRIP LINE (OUTER PERIMETER OF BRANCHES) OF TREES TO PROTECT FROM DAMAGE. DO NOT STORE CONSTRUCTION MATERIALS, PERMIT VEHICULAR TRAFFIC OR PEDESTRIAN ACCESS WITHIN DRIP LINE TO AVOID SOIL COMPACTION.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
10. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE DEPTHS DESCRIBED IN THE SPECIFICATIONS - SECTION 309800. IF NECESSARY DIG SUBGRADE IN SHRUB BEDS AND SODDED AREAS DOWN AS SPECIFIED BEFORE PLACING AMENDED TOPSOIL. REFER TO GRADING PLAN FOR FINISH GRADE AND DRAINAGE.
11. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE ONLY AS APPROVED BY THE OWNER'S REPRESENTATIVE.
12. A SOILS REPORT SHALL BE PROVIDED BY THE CONTRACTOR, AND SHALL DESCRIBE THE DEPTH, COMPOSITION, AND BULK DENSITY OF THE TOPSOIL AND SUBSOIL AT THE SITE AND SHALL INCLUDE RECOMMENDATIONS FOR SOIL AMENDMENTS, REFER TO SPECS. EXISTING SOILS MAYBE USED IF THEY MEET THE SPECIFICATIONS STANDARDS AND/OR AMENDED TO MEET THE SPECIFICATIONS STANDARDS.

REFERENCE SCHEDULE NOTES

SYMBOL	DESCRIPTION	QTY.
	4" DEPTH OF 1" TO 3" DIA. ROCK MULCH - TAN COLOR - FRACTURED OVER WEED BARRIER FABRIC AND 12" OF AMENDED TOPSOIL MIX, TYP. - SEE SHT. L-LS01 DTL. H	32,636 sf
	PROTECT IN PLACE EXISTING PARK STRIP ROCK MULCH, TYP.	
	SEED MIX AREA WITH 4" AMENDED TOPSOIL MIX, TYP.	
	CONCRETE MOW CURB, TYP. - REFER TO ARCHS. PLANS	487 lf
	BOLLARDS, TYP.	13
	FIRE HYDRANT, TYP., REFER TO ARCHS. AND CIVIL PLANS	
	4" DEPTH OF GORILLA BARK MULCH OVER WEED BARRIER FABRIC AND 12" OF AMENDED TOPSOIL MIX, TYP. - SEE SHT. L-LS01 DTL. H	16,714 sf
	SITE WALL - REFER TO ARCHS. AND CIVIL PLANS	
	6" HIGH X 12" WIDE MOW CURB, TYP.	46 lf
	18" HIGH CONCRETE SEATING WALL	49 lf
	SIGN, TYP., REFER TO ARCHS. AND CIVIL PLANS	
	CURB STOP, TYP. - REFER TO CIVIL PLANS	
	4" DEPTH OF 1" TO 3" DIA. ROCK MULCH - TAN COLOR - FRACTURED OVER WEED BARRIER FABRIC AND SUBGRADE, TYP.	163 sf
	CONNECT TO EXISTING TRAIL	
	EXISTING MONUMENT	
	OUTDOOR DECK - REFER TO ARCHS. PLANS	
	ENTRY PLAZA WITH ZERO CURB	

\* QUANTITY INFORMATION PROVIDED FOR REFERENCE ONLY. CONTRACTOR RESPONSIBLE TO VERIFY ALL QUANTITIES.

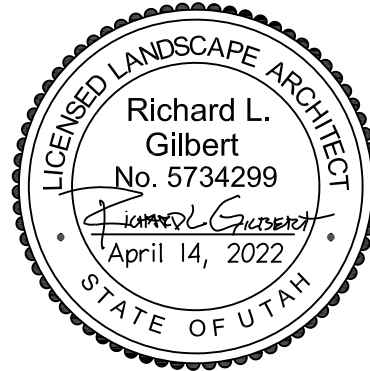


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801 532 4422

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**Arc S itio**  
**Design, Inc**  
Landscape Architecture &  
Architectural Site Design

1058 east 2100 south  
Salt Lake City, Utah 84106  
office 801.487.4923 fax 801.486.3048  
www.arcsitiodesign.com



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project:

**Gardner-Pelion**  
**Core & Shell**  
**Office Bldg.**

Draper, UT 84020

project#: 21.0690

date: 03-04-2022

revisions :

City Resubmittal

04-14-2022

title:

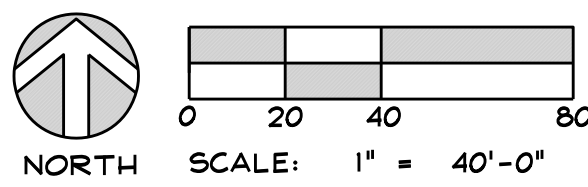
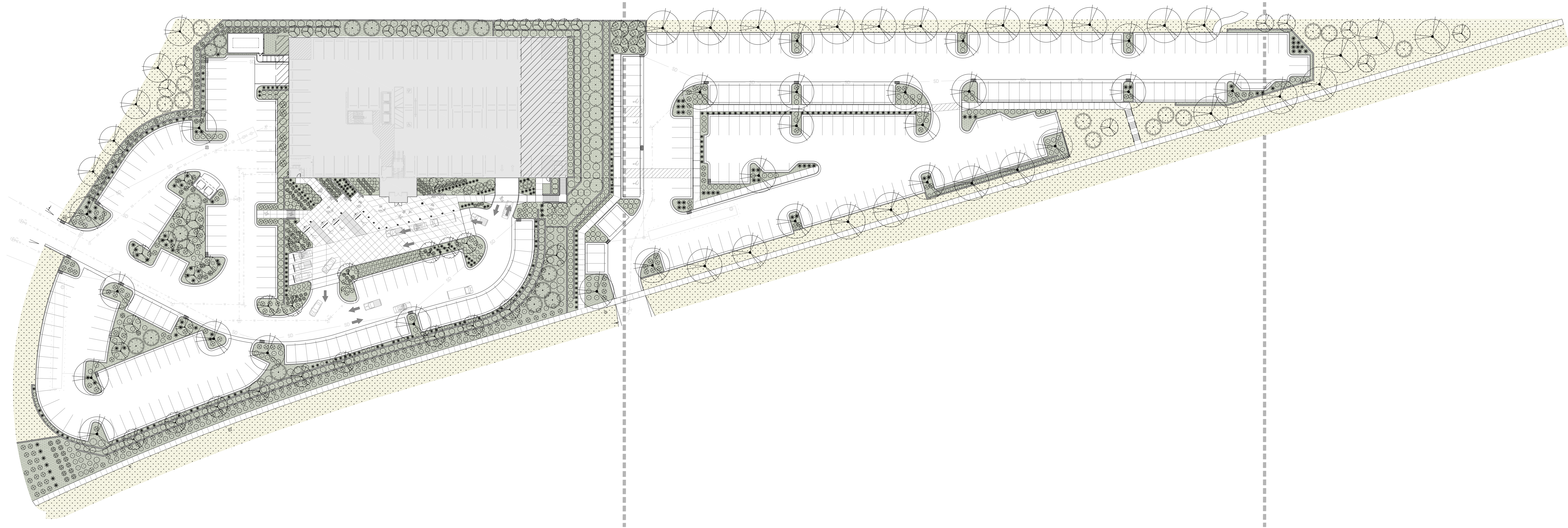
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**NOTES AND**  
**SCHEDULES**

sheet:

**L-L001**  
DD SET



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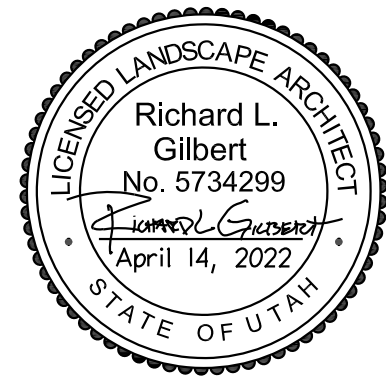


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Draper, UT 84020

project#: 21.0690  
date: 03-04-2022  
revisions :  
City Resubmittal 04-14-2022

title:  
**OVERALL  
LANDSCAPE  
PLAN**

sheet:  
**L-L100**  
DD SET



**EXHIBIT G  
ELEVATIONS**





GENERAL NOTES - EXTERIOR ELEVATIONS

- 1 ALL EXPOSED STRUCTURAL EXTERIOR STEEL SHALL BE GALVANIZED WITHOUT CHROMATE COATING, SHOP PRIMED WITH HIGH PERFORMANCE COATING, RE: SPECIFICATIONS
- 2 SEE SHEET SERIES A000's FOR WALL AND ASSEMBLY TYPES
- 3 SEE SHEET SERIES A000's FOR DOOR AND WINDOW TYPES

MATERIAL LEGEND

PATTERN	MATERIAL	SQ. FT.	TOTAL %
07.06	EIFS, WHITE W/ SMOOTH FINISH	20,990	71.2%
07.07	EIFS, GRAY W/ SMOOTH FINISH		
03.01	ARCHITECTURAL CONCRETE	5,016	17.0%
08.05	WOOD SLAT SOFFIT	800	2.7%
05.09	METAL PANEL SCREEN WALL	1,024	3.5%
05.09	PRE-FINISHED METAL FASCIA	1,659	5.6%

KEYED NOTES

- 03.01 ARCHITECTURAL EXPOSED CONCRETE  
03.02 CONCRETE COLUMN, RE: STRUCTURAL  
05.01 EXPOSED STEEL COLUMN, FIRE PROTECTED WITH INTUMESCENT PAINT, RE: SPECIFICATIONS  
05.04 PARKING BARRIER CABLE SYSTEM, RE: SPECIFICATIONS  
05.07 PRE-FINISHED METAL PANEL MECHANICAL SCREEN WALL  
05.08 CABLE RAILING SYSTEM, 42" HIGH MIN., RE: SPECIFICATIONS  
05.09 PRE-FINISHED METAL FASCIA  
05.10 PRE-FINISHED METAL PARAPET CAP  
06.02 EXPOSED WOOD COLUMN @ EXTERIOR, RE: STRUCTURAL  
06.05 EXTERIOR WOOD SLAT SOFFIT, RE: RCP  
07.06 EIFS PANEL, SEE LEGEND FOR COLOR AND FINISH  
08.01 HOLLOW METAL DOOR & FRAME, RE: SCHEDULE  
08.04 ALUMINUM CURTAIN WALL GLAZING SYSTEM, RE: DW SCHEDULE  
08.05 ALUMINUM STOREFRONT GLAZING SYSTEM, RE: SF SCHEDULE  
08.06 ALUMINUM FRAMED GLASS DOOR, RE: DOOR SCHEDULE  
10.21 EXTERIOR BUILDING SIGNAGE - UNDER SEPARATE PERMIT, RE: ELECTRICAL



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project:  
**Gardner-Pelion  
Core & Shell  
Office Bldg.**

Draper, UT 84020

project#: 21.0690  
date: 03-29-2022

revisions :

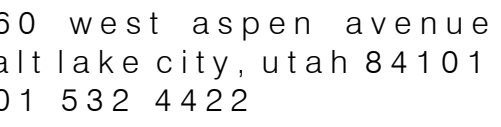
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**COLORIZED  
EXTERIOR  
ELEVATIONS**

sheet:

**A201**







SITE PLAN REVIEW





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1	ALL EXPOSED STRUCTURAL EXTERIOR STEEL SHALL BE GALVANIZED WITHOUT CHROMATE COATING, SHOP PRIMED WITH HIGH PERFORMANCE COATING. RE: SPECIFICATIONS
2	SEE SHEET SERIES A500's FOR WALL AND ASSEMBLY TYPES
3	SEE SHEET SERIES A600's FOR DOOR AND WINDOW TYPES

MATERIAL LEGEND			
PATTERN	MATERIAL	SQ. FT.	TOTAL %
	EIFS, WHITE W/ SMOOTH FINISH	20,990	71.2%
	EIFS, GRAY W/ SMOOTH FINISH		
	ARCHITECTURAL CONCRETE	5,016	17.0%
	WOOD SLAT SOFFIT	800	2.7%
	METAL PANEL SCREEN WALL	1,024	3.5%
	PRE-FINISHED METAL FASCIA	1,659	5.6%

03.01	ARCHITECTURAL EXPOSED CONCRETE
03.08	CONCRETE COLUMN, RE: STRUCTURAL
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05.09	PRE-FINISHED METAL FASCIA
05.10	PRE-FINISHED METAL PARAPET CAP
06.02	EXPOSED WOOD COLUMN & EXTERIOR, RE: STRUCTURAL
06.05	EXTERIOR WOOD SLAT SOFFIT, RE: RCP
07.06	EFS PANEL, SEE LEGEND FOR COLOR AND FINISH
08.01	HOLLOW METAL DOOR & FRAME, RE: SCHEDULE
08.04	ALUMINUM CURTAIN WALL GLAZING SYSTEM, RE: CW SCHEDULE
08.05	ALUMINUM STOREFRONT GLAZING SYSTEM, RE: SF SCHEDULE

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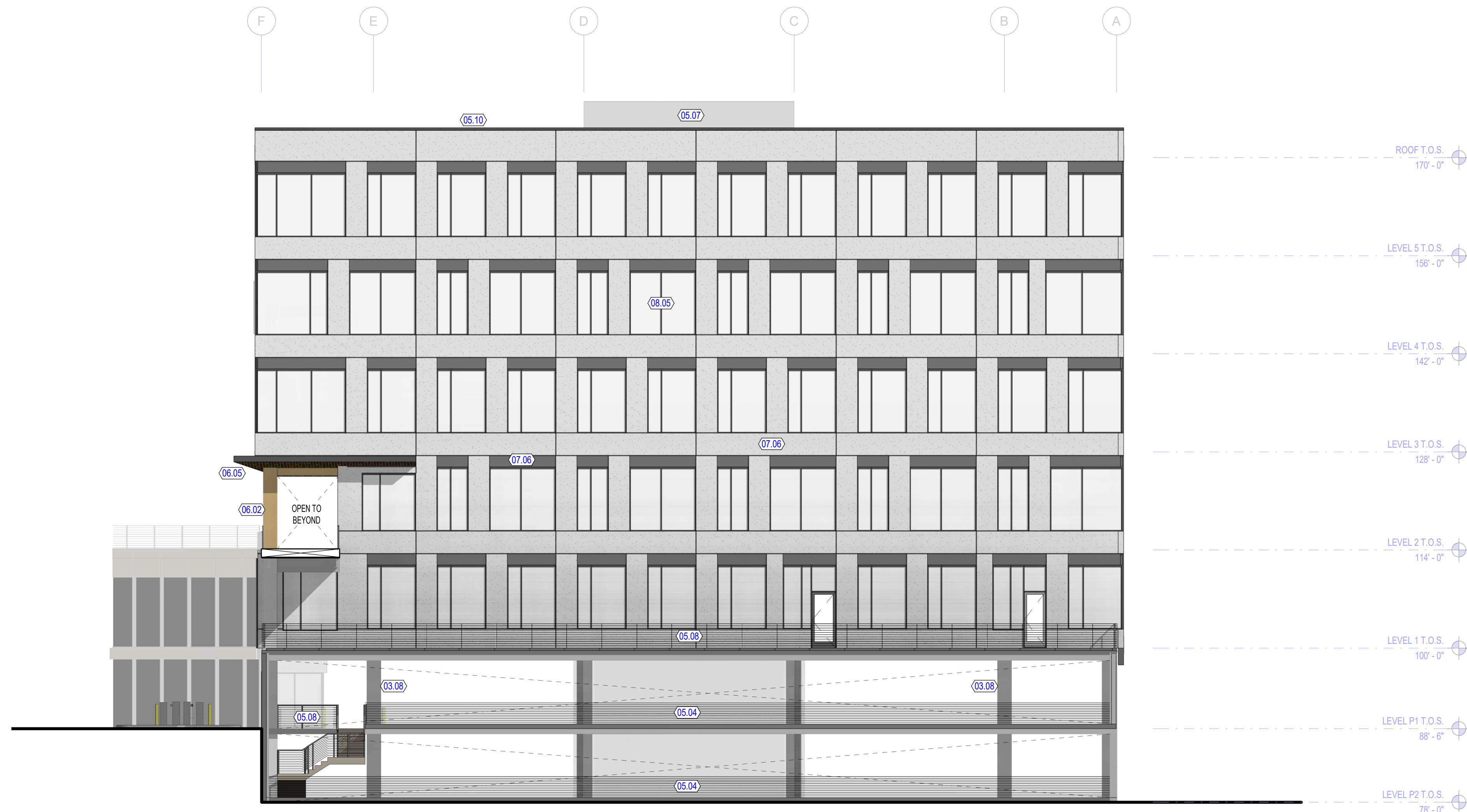
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Revisions :

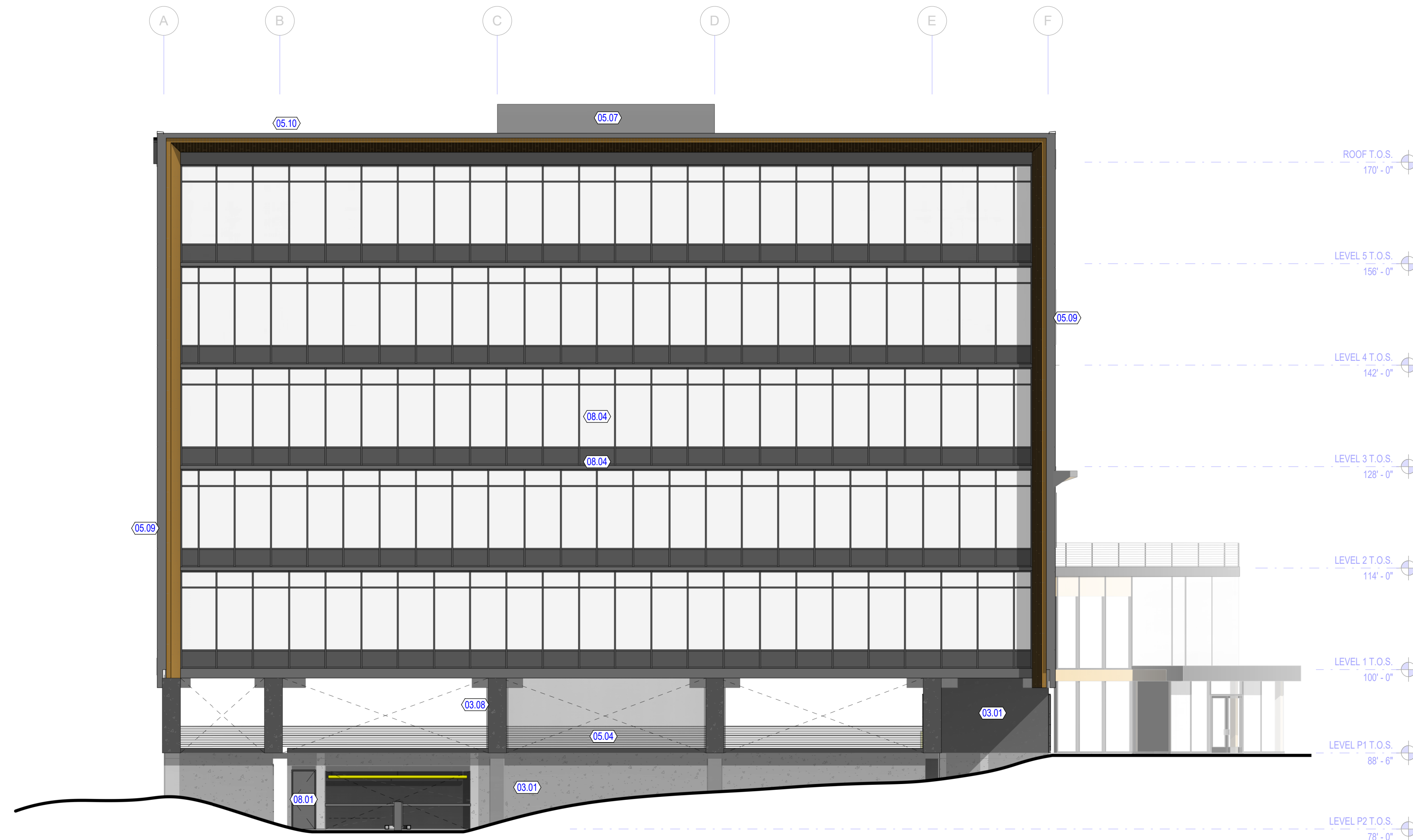
## COLORIZED EXTERIOR ELEVATIONS

# A202

TE PLAN REVIEW



**C2** EXTERIOR ELEVATION - EAST  
3/32" = 1'-0" A020



**A2** EXTERIOR ELEVATION - WEST  
3/32" = 1'-0" A078



# MEMO

To: Planning Commission

From: Todd A. Draper

CC:

Date: April 28, 2022

Re: Rockwell Station Subdivision Plat Amendment and Site Plan Request

---

## Comments:

This application is a request for approval of a Subdivision Plat Amendment and Site Plan, including Deviations from Design Standards, for approximately 1.23 acres located on the east side of 700 East, at approximately 696 E. 12100 S & 698 E. 12100 S. The property is currently zoned CN. The applicant is requesting that a Subdivision Plat Amendment, Site Plan, and Deviation from Design Standards be approved to allow for the development of the property to create two (2) lots and to construct a commercial office building on each lot.

The findings are as follows:

### **Deviation Requests:**

For Approval:

1. The deviation is in the benefit of the health, safety and welfare of the city and the project.
2. The minimum three (3) criteria required for approval of a deviation have been met.

For Denial:

1. The deviation is not in the benefit of the health, safety and welfare of the city and the project.
2. The minimum three (3) criteria required for approval of a deviation have not been met.

### **Site Plan:**

For Approval:

1. The applicant acknowledges it has not met the specific conditions of approval.

2. The application will meet the requirements and provisions of the Draper City Municipal Code, including Section 9-5-090(E), once the specific conditions of approval have been met.
3. The Planning Commission has agreed to approve the application with conditions (as outlined above) subject to the applicant complying with the specific conditions of approval.
4. The final effective date of the Planning Commission's Site Plan approval will be when the Zoning Administrator confirms the applicant has complied with the specific conditions of approval.
5. The applicant will comply with the general conditions of approval throughout the construction of the project.
6. The proposal represents development of the entire site at one time.
7. Once the specific conditions of approval have been met the site plan will conform to applicable standards set forth in ordinance including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
8. Once the specific conditions of approval have been met the proposed development plans will meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
9. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
10. The proposed development plans will comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

For Denial:

1. The site plan application does not conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
2. The proposed development plans do not meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
3. Public facilities and services in the area do not adequately support the subject development, as required by engineering standards and specifications.
4. The proposed development plans do not comply with all required engineering standards as found in Titles 7, 8, 11, 12, 16, and 18 of this code.

**Subdivision Plat Amendment:**

For Approval:

1. The applicant acknowledges it has not met the specific conditions of approval.
2. The application will meet the requirements and provisions of the Draper City Municipal Code, including Sections 17-9-030, 17-9-040 & 17-9-050, once the specific conditions of approval have been met.
3. The Planning Commission has agreed to approve the application with conditions (as outlined above) subject to the applicant complying with the specific conditions of approval.
4. The final effective date of the Planning Commission's Subdivision Plat Amendment approval will be when the Zoning Administrator confirms the applicant has complied with the specific conditions of approval.

5. The applicant will comply with the general conditions of approval throughout the construction of the project.
6. There is good cause to amend the subdivision plat.

**For Denial:**

1. The application does not meet the requirements and provisions of Draper City Municipal Code, including Sections 17-9-030, 17-9-040 & 17-9-050.
2. There is not good cause to amend the subdivision plat.

**ATTACHMENTS:**

Description	Upload Date	Type
P.C. Staff Report	4/22/2022	Cover Memo



---

**Development Review Committee**

1020 East Pioneer Road

Draper, UT 84020

April 19, 2022

**To:** Draper City Planning Commission  
Business Date: April 28, 2022

**From:** Development Review Committee

**Prepared By:** Todd A. Draper, AICP, Planner III  
Planning Division  
Community Development Department  
801-576-6335, [Todd.Draper@draperutah.gov](mailto:Todd.Draper@draperutah.gov)

**Re: Rockwell Station – Subdivision Amendment and Site Plan Request**

Application No.: SUBD-0198-2021 & SPR-0194-2021

Applicant: Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens.

Project Location: Approximately 696 E. 12100 S. & 698 E. 12100 S.

Current Zoning: CN (Neighborhood Commercial) Zone

Acreage: Approximately 1.23 Acres (Approximately 53,579 ft<sup>2</sup>)

Request: Request for approval of a Subdivision Plat Amendment and Site Plan, inclusive of Deviations from Design Standards, in the CN zone regarding an amendment the Draperville Subdivision Plat to create two (2) lots and the construction of a commercial office building on each lot. The requested deviations from design standards are in respect to facing the main building entrances to the parking rather than the street.

**BACKGROUND AND SUMMARY**

This application is a request for approval of a Subdivision Plat Amendment and Site Plan, including Deviations from Design Standards, for approximately 1.23 acres located on the east side of 700 East, at approximately 696 E. 12100 S & 698 E. 12100 S. (Exhibit B). The property is currently zoned CN. The applicant is requesting that a Subdivision Plat Amendment, Site Plan, and Deviation from Design Standards be approved to allow for the development of the property to create two (2) lots and to construct a commercial office building on each lot.





The subject property currently is comprised of three (3) separate properties that are each part of various lots within the Draperville Subdivision Plat (Exhibit I). The northernmost and southernmost pieces of property are essentially vacant and the center property contains an existing residential home constructed in 1949 that will be removed as part of this development application.

## **ANALYSIS**

General Plan and Zoning. The Land Use Map of the General Plan calls for the Neighborhood Commercial land use designation for the subject property (Exhibit C). This category is characterized as follows:

### *Neighborhood Commercial*

LAND USE DESCRIPTION	
<b>CHARACTERISTICS</b>	<ul style="list-style-type: none"> <li>• Small-scale commercial land uses that serve local residents in adjacent neighborhoods</li> <li>• Minimal impact in predominantly residential areas</li> <li>• Well-landscaped street frontages</li> <li>• Limited traffic access points and pedestrian access from surrounding residential areas</li> <li>• Don't overcrowd commercial lots; i.e., require adequate setback and landscape buffers</li> <li>• Screened parking and adequate ingress and egress to parking areas</li> <li>• Adequate drainage</li> <li>• Low noise standards</li> </ul>
<b>LAND USE MIX</b>	<ul style="list-style-type: none"> <li>• Small-scale commercial</li> <li>• Planned retail</li> <li>• Office</li> </ul>
<b>COMPATIBLE ZONING</b>	<ul style="list-style-type: none"> <li>• Neighborhood Commercial (CN)</li> <li>• Institutional Care (IC)</li> <li>• Commercial Services (CS)</li> </ul>
<b>LOCATION</b>	<ul style="list-style-type: none"> <li>• Adjacent to neighborhood</li> <li>• Along local roads</li> </ul>

The property has been assigned the CN zoning classification (Exhibit D), supporting neighborhood commercial development. According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CN zone is to *"provide areas where convenience buying outlets, having small trade areas, may be established to serve surrounding residential neighborhoods. This zone is intended to promote a combination of retail and service facilities which, in character and scale, meet day to day needs of nearby residents."* The CN zoning abuts the subject property on the south, and RA1 (Residential Agricultural, 40,000 ft<sup>2</sup> min. lot size) zoning abuts to the west and across 12100 S. Street to the north. Across 700 E. Street to the east is RA2 (Residential Agricultural, 20,000 ft<sup>2</sup> min. lot size) zoning.

Site Plan Layout. The site plan (Exhibit F) shows two (2) commercial office buildings on the subject property, one on the north and one on the south, connected together as a single site by a shared parking area and access drive from 12100 South. Each building is 2 stories tall and the total combined building square footage calculation of 19,380 ft<sup>2</sup> is indicated in the site calculations table. As individual building calculations and complete dimensions of the buildings are not available, compliance with applicable requirements will also be evaluated at the time of the building permit. The buildings are set towards the streets and the northern building has an angled wall on the northeast to prevent it from intruding into the Clearview area of the adjacent roadway intersection.

The main facades and entrances for each building will face the central parking area rather than the abutting public streets. A request to deviate from the provisions of DCMC Section 9-22-050(A) has been made by the applicant and is included in this report as Exhibit L.

Curb, gutter, and sidewalks will be installed along public roadways where they do not currently exist and pedestrian access from 12100 South and 700 East to each building will be provided. On-site pedestrian walkways will be a minimum of five feet (5') and when parking stalls are adjacent to the walkway, wheel stops will be installed.

The main drive aisle for vehicular traffic is twenty-six feet (26') in width and will include cross access easements on the subdivision plat between the two proposed lots as well as to the abutting property to the South. A turn around for emergency vehicles as well as an easement for the same has been designed within the layout of the drive aisles. Other drive aisles on and across the proposed site will be a minimum of twenty-four feet (24') in width.

Site Design Standards Modification. Chapter 22 of the DCMC makes provisions for the Planning Commission to authorize deviations to strict compliance with the terms of the Code regarding development design standards. DCMC Section 9-22-030 states that the Planning Commission may approve site plans that deviate from the requirements of the design standards within Chapter 22 of the DCMC based on making certain required findings in whole. Per DCMC Section 9-22-030(b), the Planning Commission shall find an application complies with at least three of the following criteria:

1. The project contains amenities such as pedestrian and bike connectivity in excess of what is required in the development code and site plan review.
2. The overall percentage of dedicated public or private landscape and open space area exceeds the required amount by more than ten percent (10%).
3. The project is a transit oriented development (TOD) and provides connectivity to a transportation facility.

4. Traffic impacts on the neighborhood are lessened through programs, such as creative design, traffic calming measures, companywide carpool or transit pass programs.
5. The project is an accredited LEED development.
6. The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.
7. The project is required to create a consistent and compatible design in cases which involve redeveloped buildings, additions to existing buildings, minor structures added to a site, or new buildings within a previously approved phased project.
8. Additional landscape plant material is provided in an amount at least ten percent (10%) more than the minimum required, including additional planting beds, plants, trees or a combination thereof.
9. The building design is a specific architectural style, such as contemporary or modern, which utilizes facade materials differently than prescribed in subsection 9-22-040F of this chapter and is designed by a licensed architect.
10. The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount.

The applicant has requested deviations from DCMC Sections 9-22-050(A)(1) and 9-22-050(A)(5), to allow for the main façade and entry for each building to face the parking area rather than the public street. The applicant is responsible for providing a description and analysis of the specific development standards to be lessened including the benefit of amending the standards and analysis of the minimum 3 criteria for consideration of the deviations prepared by a licensed Architect. The response from their Architect Chris Huntsman with Five Degrees Design is attached (Exhibit L). According to the written analysis provided they assert that the project complies with criteria 6, 9, and 10 of DCMC section 9-22-030(B).

Staff has reviewed the response and has provided the following analysis of the responses to the deviation criteria:

1. Criterion #6 *"The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance."*

The justifications provided for consideration in the letter from the Architect are sufficient to consider the criterion as being met.

2. Criterion #9 “ *The building design is a specific architectural style, such as contemporary or modern, which utilizes facade materials differently than prescribed in subsection 9-22-040F of this chapter and is designed by a licensed architect.*”

The facades of both buildings are designed by a licensed architect, but the architect has not specified a specific architectural style for each building or provided additional explanation as to how each particular style utilizes facade materials differently than prescribed in DCMC subsection 9-22-040(F). While some identical primary materials are used in both building facades, there are markedly different architectural styling and features in the northern building design when compared to the southern building design. The architect’s assertion in response to this criterion that the building facades are comprised of 100% primary materials is inaccurate. Metal and Metal Siding are utilized on the proposed elevation drawings and are listed as secondary materials in ordinance. The Planning Commission will need to determine if they consider the intent of this criterion as being met.

3. Criterion #10, “*The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount*”.

This criterion is met with respects to the proposed elevation drawings for both buildings, the primary materials on the southern building façade make up approximately 97.5% of the overall façade materials, and the primary materials on the northern building make up 90.4% of the overall façade as described in further detail in the architectural analysis.

Subdivision Layout. The Subdivision Plat (Exhibit E) proposes to reconfigure the three (3) existing properties into two (2) lots. Lot 1 on the North and Lot 2 on the south. Cross access and parking easements for both properties to access and utilize the on-site parking will be included on the plats. As a specific condition of approval the notes on the Plat granting these particular easements will need to be updated, including an easement for the provision of cross access for the property to the south to be enacted at such time as that property redevelops and provides the required reciprocal cross access to the subject properties. As a point of clarification the City Engineer has permitted a small reduction in the width of the public utility easements on the plat that run across the front of the property to match with the five feet (5') that the buildings are set back from the property lines/right-of-way.

Landscaping and Lot Coverage. The Site Plan (Exhibit F) calculates an overall site landscape area percentage of 25% and an interior parking area landscaped percentage of 12%. These both exceed the minimum 20% and 7% requirements within ordinance respectively. The Landscape Plan (Exhibit G) includes the plant layout and screening required by ordinance, with two minor exceptions. Ground mounted utility Boxes, specifically the electrical transformers are required to be screened from off-site view. On the proposed landscape

plans the electrical transformers are screened from off-site view, but the interior side of the equipment has been left without landscaping. The area without landscaping is also a parking lot landscape island located at the end of a row of parking, and is required to be landscaped. Per details provided by Rocky Mountain Power the areas around transformers can be landscaped with plants that are less than six inches (6") tall. As a specific condition of approval staff has included the requirement to revise the landscape plan to include landscaping within the landscape island.

Outdoor amenities include a picnic area that is located within a landscaped lawn area and green space in the center of the parking lot. Two of the required landscape planter islands on the north of the center parking and amenity area do not meet the minimum width requirements and as a specific condition of approval staff suggests that the two (2) adjacent parking spaces be reduced in size and be marked as compact spaces so that the width of each of the landscape planter islands can be increased to meet the minimum width requirement.

The applicant has also requested a reduction in the width of the land use buffer between this commercial property and the residential property to the west. The reduced buffer will be a minimum of ten feet (10') wide and a eight feet (8') tall solid fence will also be installed along the property boundary in compliance with the requirements for such a reduction listed under DCMC Subsection 9-23-110(C)(1).

*Parking and Circulation.* According to the site plan (Exhibit F) the site will have a main access drive coming from 12100 South on the north that is twenty-six feet (26') wide and includes an emergency vehicle turn around built into the design. The remaining drive aisles will be twenty-four feet (24') wide and connect back to the main access drive. There are 82 parking spaces provided which is within the natural adjustment range allowed by ordinance and provides sufficient parking for the proposed 19,380 ft<sup>2</sup> of floor area for general office use. As noted in the landscaping analysis, two (2) of these parking spaces may be readjusted to become compact parking spaces to accommodate the required width of adjacent landscape planter islands.

*Architecture.* The elevation drawings (Exhibit H) show proposed design of the two buildings proposed to be built upon the property, one on the north and one on the south. Staff has reviewed each building and provides the following responses:

**North Building:**

This building is designed in a modern style with a large overhanging canopy extending out from the roofline on the northwest corner of the building, and an angled wall on the northeast. The main entry is on the south of the building and faces the parking area rather than the street, a deviation from design standards has been requested by the applicant to allow for this. The design of the entry area complies with DCMC Subsection 9-22-040(B) in that it contains a prominent architectural feature that is unique to the overall building

design, has complementary yet differing building materials and colors, and has an increased use of windows or glass surrounding it. The façade materials include primary materials consisting of brick, wood plank composite siding, and architectural precast concrete listed as “board faced concrete” on the elevation drawings provided by the applicant and a secondary material consisting of metal siding. Primary materials cover approximately 90.43% of the façade. As the applicant is proposing the use of board faced concrete it is an important to note that the concrete façade material must actually be architectural precast concrete and may not be constructed of plain exposed concrete (which is a secondary material) or as a tilt-up concrete wall which is not an allowed material or construction type in the CN zone. The building design complies with the design standards of DCMC Subsections 9-22-040(C), (D), and (F) related to façade articulation, height and roofline variation, and materials.

#### South Building:

This building design evokes a more neoclassical feel to its style with the use of columnar separations of the facade. The main entry is on the north and also faces the parking lot. The design of the entry area contains a prominent architectural feature, created by the use of complementary yet differing building materials and colors that is unique to the northern façade, but is nearly identical in design to the southern façade. The entry door includes windows and glass surrounding it, however it is debatable as to whether or not this represents and increase as required by DCMC Subsection 9-22-040(B). The Planning Commission should determine if the entryway requirements DCMC Subsection 9-22-040(B) have been met for this building, and if not add as a specific condition of approval that revised plans be submitted to staff. Primary materials cover 97.5% of the building and the building design complies with the design standards of DCMC Subsections 9-22-040(C),(D), and (F) related to façade articulation, height and roofline variation, and materials.

Lighting. The exterior lighting plan (Exhibit K) shows the photometric analysis of the exterior lighting proposed for the site including parking lot lighting and exterior lighting mounted to the building facade. The plans show lighting generally in compliance with ordinance requirements. As a specific condition of approval necessary to bring the site into compliance with ordinance requirements an amended lighting plan showing the relocation of the parking lot light currently located in the center of the walkway for the internal picnic amenity must be relocated out of the walkway and into one of the nearby landscape island areas.

Fencing. The Site Plan (Exhibit F) shows fencing along the western and southern property boundaries. The fence along the western boundary will be eight feet (8') tall as they are proposing the reduction in the landscape buffer requirements per DCMC 9-23-110(C)(1). The fence along their southern property boundary will be similar in design to the fence on the west, but will only be six feet (6') in height. Fencing details regarding the construction of the fence are included as Exhibit J.



Criteria For Approval.

Subdivision Plat Amendment

The grounds for review and potential approval of a subdivision plat amendment request is found in Section 17-9-040 of the DCMC. This section depicts the standard of review for such requests as:

*The Planning Commission may approve the vacation or amendment of a plat by signing an amended plat showing the vacation or amendment if the Land Use Authority finds that there is good cause for the vacation or amendment; and no public street, right-of-way, or easement has been vacated or amended.*

Site Plan 9-5-090

The criteria for review and potential approval of a Site Plan request is found in Sections 9-5-090(E) of the DCMC. This section depicts the standard of review for such requests as:

- E. Standards For Approval: The following standards shall apply to the approval of a site plan:
1. The entire site shall be developed at one time unless a phased development plan is approved.
  2. A site plan shall conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
  3. The proposed development plans meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
  4. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
  5. The proposed development plans comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

Deviations from Design Standards 9-22-030:

The criterial for review and approval of a Deviation from Design Standards of DCMC Sections 9-22-040 and 9-22-050 are found in DCMC Section 9-22-030. This section requires that the Planning Commission must find that the application meets at least three of the following conditions for consideration of a Deviation from Design Standards:

1. The project contains amenities such as pedestrian and bike connectivity in excess of what is required in the development code and site plan review.
2. The overall percentage of dedicated public or private landscape and open space area exceeds the required amount by more than ten percent (10%).
3. The project is a transit oriented development (TOD) and provides connectivity to a transportation facility.

4. Traffic impacts on the neighborhood are lessened through programs, such as creative design, traffic calming measures, companywide carpool or transit pass programs.
5. The project is an accredited LEED development.
6. The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.
7. The project is required to create a consistent and compatible design in cases which involve redeveloped buildings, additions to existing buildings, minor structures added to a site, or new buildings within a previously approved phased project.
8. Additional landscape plant material is provided in an amount at least ten percent (10%) more than the minimum required, including additional planting beds, plants, trees or a combination thereof.
9. The building design is a specific architectural style, such as contemporary or modern, which utilizes facade materials differently than prescribed in subsection 9-22-040F of this chapter and is designed by a licensed architect.
10. The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount.

## **REVIEWS**

*Planning Division Review.* The Draper City Planning Division has completed their review of the Subdivision Plat Amendment, Site Plan, and Deviations from Design Standards submission. Comments from this division, if any, can be found in Exhibit A.

*Engineering and Public Works Divisions Review.* The Draper City Engineering and Public Works Divisions have completed their reviews of the Subdivision Plat Amendment, Site Plan, and Deviations from Design Standards submission. Comments from these divisions, if any, can be found in Exhibit A.

*Building Division Review.* The Draper City Building Division has completed their review of the Subdivision Plat Amendment, Site Plan, and Deviations from Design Standards submission. Comments from this division, if any, can be found in Exhibit A.

*Geotechnical and Geologic Hazards Review.* Taylor Geo-Engineering, LLC and Simon Associates LLC., in working with the Draper City Building and Engineering Divisions, have completed their reviews of the geotechnical and geologic hazards report submitted as a part of the Subdivision Plat Amendment, Site Plan, and Deviations from Design Standards submission. Comments from Taylor Geo-Engineering, LLC, if any, can be found in Exhibit A.

*Fire Division Review.* The Draper City Fire Marshal has completed his review of the Subdivision Plat Amendment, Site Plan, and Deviations from Design Standards submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

### **STAFF RECOMMENDATION**

Staff finds that the Deviation request complies with the DCMC and recommends that the Planning Commission review the request, receive public comment, and approve the deviations based on the findings listed below and the criteria for approval, as listed within the staff report.

The findings for approval are as follows:

1. The deviation is in the benefit of the health, safety and welfare of the city and the project.
2. The minimum three (3) criteria required for approval of a deviation have been met.

The findings for denial are as follows:

1. The deviation is not in the benefit of the health, safety and welfare of the city and the project.
2. The minimum three (3) criteria required for approval of a deviation have not been met.

Staff finds the Site Plan application will comply with the DCMC if the Deviations from Design Standards are approved and once the specific conditions of approval listed below have been met. Staff recommends the Planning Commission review the request, receive public comment, and conditionally approve the application subject to the applicant complying with the specific and general conditions of approval. Approval is based on the findings listed below and the criteria for approval as listed within the staff report. Staff further recommends requiring the completion of the Specific Conditions of Approval (listed as items 1 through 6 below) before the Site Plan approval becomes effective. The Site Plan shall not be considered approved until these 6 conditions are met and the Zoning Administrator has issued a notice of Site Plan approval. The effective date of the Site Plan approval shall be the date on the Zoning Administrator's notice of Site Plan approval.

#### **A. Specific Conditions of Approval**

1. The Site Plan not be considered approved until the specific conditions of approval are met and the Zoning Administrator has issued a notice of Site Plan approval.
2. That revised plans be submitted that comply with all requirements of DCMC

Sections 9-22-040 and 9-22-050 with the exception of those standards for which a Deviation has been approved by the Planning Commission.

3. That revised plans be submitted that expand the width of the two required landscape planter islands on the north of the center parking and amenity area to meet the minimum width five feet (5') requirement of ordinance.
4. Submit a revised landscape plan that complies with all other aspects of ordinance and includes landscaping as required by ordinance within the landscape planter islands that are adjacent to the electrical transformers.
5. Submit an amended lighting plan relocating the parking lot light currently located in the center of the internal picnic amenity walkway out of the walkway and into one of the nearby landscape island areas.
6. Submit a Storm Water Maintenance Plan and Agreement as per the City Engineering request.

#### B. General Conditions of Approval

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geologic hazard and geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. That the light poles on site be painted black.

The findings for approval as are follows:

1. The applicant acknowledges it has not met the specific conditions of approval.
2. The application will meet the requirements and provisions of the Draper City Municipal Code, including Section 9-5-090(E), once the specific conditions of approval have been met.
3. The Planning Commission has agreed to approve the application with conditions (as outlined above) subject to the applicant complying with the specific conditions of approval.
4. The final effective date of the Planning Commission's Site Plan approval will be when the Zoning Administrator confirms the applicant has complied with the specific conditions of approval.
5. The applicant will comply with the general conditions of approval throughout the construction of the project.
6. The proposal represents development of the entire site at one time.
7. Once the specific conditions of approval have been met the site plan will conform to applicable standards set forth in ordinance including but not

- limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
8. Once the specific conditions of approval have been met the proposed development plans will meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
  9. The public facilities and services in the area are adequate to support the subject development, as required by engineering standards and specifications.
  10. The proposed development plans will comply with the engineering standards found in Titles 7, 8, 11, 12, 16, and 18 of this code, including traffic, storm water drainage, and utilities concerns.

The findings for denial as are follows:

1. The site plan application does not conform to applicable standards set forth in this title, including but not limited to, building heights, setbacks, access points, parking, landscaping, and building materials.
2. The proposed development plans do not meet the intent, goals, and objectives of the general plan and the purpose of the zone district in which the site is located.
3. Public facilities and services in the area do not adequately support the subject development, as required by engineering standards and specifications.
4. The proposed development plans do not comply with all required engineering standards as found in Titles 7, 8, 11, 12, 16, and 18 of this code.

Staff finds the Subdivision Plat Amendment application will comply with the DCMC once the specific conditions of approval listed below have been met. Staff recommends the Planning Commission review the request, receive public comment, and conditionally approve the application subject to the applicant complying with the specific and general conditions of approval. Approval is based on the findings listed below and the criteria for approval as listed within the staff report. Staff further recommends requiring the completion of the Specific Conditions of Approval (listed as items 1 through 3 below) before the Subdivision Plat Amendment approval becomes effective. The Subdivision Plat Amendment shall not be considered approved until these 3 conditions are met and the Zoning Administrator has issued a notice of Subdivision Plat Amendment approval. The effective date of the Subdivision Plat Amendment approval shall be the date on the Zoning Administrator's notice of Subdivision Plat Amendment approval.

#### C. Specific Conditions of Approval

1. The Subdivision Plat Amendment not be considered approved until the specific conditions of approval are met and the Zoning Administrator has

- issued a notice of Subdivision Plat Amendment approval.
2. That a revised plat be submitted with cross access and shared parking easements noted on the plat for Lots 1 and 2 of the Rockwell Station Subdivision.
  3. That the revised plat include a separate reciprocal easement for cross access across the main access drive for use of the property located to the south of the Rockwell Station Subdivision, effective at such time that the property to the south connect to the access drive and grant a similar reciprocal easement to the owners of Lots 1 and 2 in the Rockwell Station Subdivision.

#### D. General Conditions of Approval

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geologic hazard and geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.

The findings for approval as are follows:

1. The applicant acknowledges it has not met the specific conditions of approval.
2. The application will meet the requirements and provisions of the Draper City Municipal Code, including Sections 17-9-030, 17-9-040 & 17-9-050, once the specific conditions of approval have been met.
3. The Planning Commission has agreed to approve the application with conditions (as outlined above) subject to the applicant complying with the specific conditions of approval.
4. The final effective date of the Planning Commission's Subdivision Plat Amendment approval will be when the Zoning Administrator confirms the applicant has complied with the specific conditions of approval.
5. The applicant will comply with the general conditions of approval throughout the construction of the project.
6. There is good cause to amend the subdivision plat.

The findings for denial are as follows:

1. The application does not meet the requirements and provisions of Draper City Municipal Code, including Sections 17-9-030, 17-9-040 & 17-9-050.
2. There is not good cause to amend the subdivision plat.



## **MODEL MOTIONS**

### **Deviation Requests:**

Sample Motion for Approval – I move that we approve the request for Deviations from the Design Standards of Section 9-22-050(A), as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for orienting the main façade and main entry of both buildings towards the parking and away from the public street, application SPR-0194-2021, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022.

Sample Motion for Modified Approval– I move that we approve the request for Deviations from the Design Standards of Section 9-22-050(A), as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for orienting the main façade and main entry of both buildings towards the parking and away from the public street, application SPR-0194-2021, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022, and as modified by the findings and conditions below:

1. List any additional findings and conditions...

Sample Motion for Denial –I move that we deny the request for Deviations from the Design Standards of Sections 9-22-050(A), as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for orienting the main façade and main entry of both buildings towards the parking and away from the public street, application SPR-0194-2021, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022.

### **Site Plan:**

Sample Motion for Approval –

I move that we conditionally approve the Site Plan based on the findings and subject to the specific and general conditions listed within the Staff Report dated April 19, 2022, as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for the development of two (2) commercial office buildings, application SPR-0194-2021. The Site Plan approval shall become effective upon a written notice from the Zoning Administrator that the specific conditions of approval have been met. The Zoning Administrator shall have the authority to determine if the specific conditions of approval have been met and issue final notice of approval. If the conditions are not met, the Site Plan shall not be deemed approved and any changes to the Site Plan must be brought back to the Planning Commission for additional review and approval.

Sample Motion for Modified Approval–

I move that we conditionally approve the Site Plan based on the findings and subject to the specific and general conditions listed within the Staff Report dated April 19, 2022, and as

modified by the findings and conditions below, as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for the development of two (2) commercial office buildings, application SPR-0194-2021. The Site Plan approval shall become effective upon a written notice from the Zoning Administrator that the specific conditions of approval have been met. The Zoning Administrator shall have the authority to determine if the specific conditions of approval have been met and issue final notice of approval. If the conditions are not met, the Site Plan shall not be deemed approved and any changes to the Site Plan must be brought back to the Planning Commission for additional review and approval

1. List any additional findings and specific conditions...
2. List any additional findings and general conditions...

#### Sample Motion for Denial-

I move that we deny the Site Plan based on the findings and subject to the specific and general conditions listed within the Staff Report dated April 19, 2022, as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for the development of two (2) commercial office buildings, application SPR-0194-2021.

#### **Subdivision Plat Amendment:**

##### Sample Motion for Approval -

I move that we conditionally approve the Subdivision Plat Amendment based on the findings and subject to the specific and general conditions listed within the Staff Report dated April 19, 2022, as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for subdividing the property into two (2) lots, application SUBD-0198-2021. The Subdivision Plat Amendment approval shall become effective upon a written notice from the Zoning Administrator that the specific conditions of approval have been met. The Zoning Administrator shall have the authority to determine if the specific conditions of approval have been met and issue final notice of approval. If the conditions are not met, the Subdivision Plat Amendment shall not be deemed approved and any changes to the Subdivision Plat Amendment must be brought back to the Planning Commission for additional review and approval.

##### Sample Motion for Modified Approval-

I move that we conditionally approve the Subdivision Plat Amendment based on the findings and subject to the specific and general conditions listed within the Staff Report dated April 19, 2022, and as modified by the findings and conditions below, as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for subdividing the property into two (2) lots, application SUBD-0198-2021. The Subdivision Plat Amendment approval shall become effective upon a written notice from the Zoning Administrator that the specific conditions of approval have been met. The Zoning Administrator shall have the authority to determine if the specific

conditions of approval have been met and issue final notice of approval. If the conditions are not met, the Subdivision Plat Amendment shall not be deemed approved and any changes to the Subdivision Plat Amendment must be brought back to the Planning Commission for additional review and approval.

3. List any additional findings and specific conditions...
4. List any additional findings and general conditions...

Sample Motion for Denial–

I move that we deny the Subdivision Plat Amendment based on the findings and subject to the specific and general conditions listed within the Staff Report dated April 19, 2022, as requested by Kaia Ragnhildstveit and Adam Watts, representing Northstar Builders, Gary Sturdevant, Brad Stevens, and Lisa Stevens for subdividing the property into two (2) lots, application SUBD-0198-2021.

## DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

 Digitally signed by Christopher Diep  
DN: C=US,  
E=christopher.diep@draperutah.gov,  
O=Draper City, CN=Christopher Diep  
Date: 2022.04.21 14:51:52-06'00'


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Draper City Public Works Department

 Digitally signed by Jennifer Jastremsky  
DN: C=US, E=jennifer.jastremsky@draperutah.gov,  
O=Planning Division, OU=Draper City, CN=Jennifer  
Jastremsky  
Date: 2022.04.21 12:09:55-06'00'

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Draper City Planning Division

 Digitally signed by Don Buckley  
DN: C=US, E=don.buckley@draper.ut.us,  
O=Draper City Fire Department, OU=Fire  
Marshal, CN=Don Buckley  
Date: 2022.04.20 16:39:20-06'00'

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Draper City Fire Department

 Digitally signed by Mike Barker  
Date: 2022.04.20 16:18:41  
-06'00'

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Draper City Legal Counsel

 Digitally signed by Keith Collier  
DN: C=US,  
E=keith.collier@draperutah.gov, O=Draper  
City, OU=Building Official, CN=Keith Collier  
Date: 2022.04.21 10:14:00-06'00'

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Draper City Building Division

## **EXHIBIT A DEPARTMENT REVIEWS**

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

### *Planning Division Review.*

1. No additional comments.

### *Engineering and Public Works Divisions Review.*

#### RESUBMITTAL REQUIRED

1. Third party approval is required of the geotechnical report prior to site plan approval, per DCMC 9-5-090(D)(1)(g). Have not received third party geotech approval, as of this third review.
2. Stormwater Maintenance Plan and Agreement are now required for every private storm drainage system, per DCMC 16-2-170. Submission of the maintenance plan is now required prior to site approval. The maintenance agreement is a condition of approval; it is required to be recorded and returned to the city prior to issuance of the Land Disturbance Permit for construction of the site.
3. Retaining walls are to comply with DCMC 9-27-085. Retaining walls are not reviewed or approved with this review and approval process. (Informational comment.)
4. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance. (Informational comment. No action required at this time.)
5. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division. (Informational comment. No action required at this time.)
6. All roof drains shall discharge onto site and into private SD system. (Informational comment.)

Building Division Review.

1. No comments.

Geotechnical and Geologic Hazards Review.

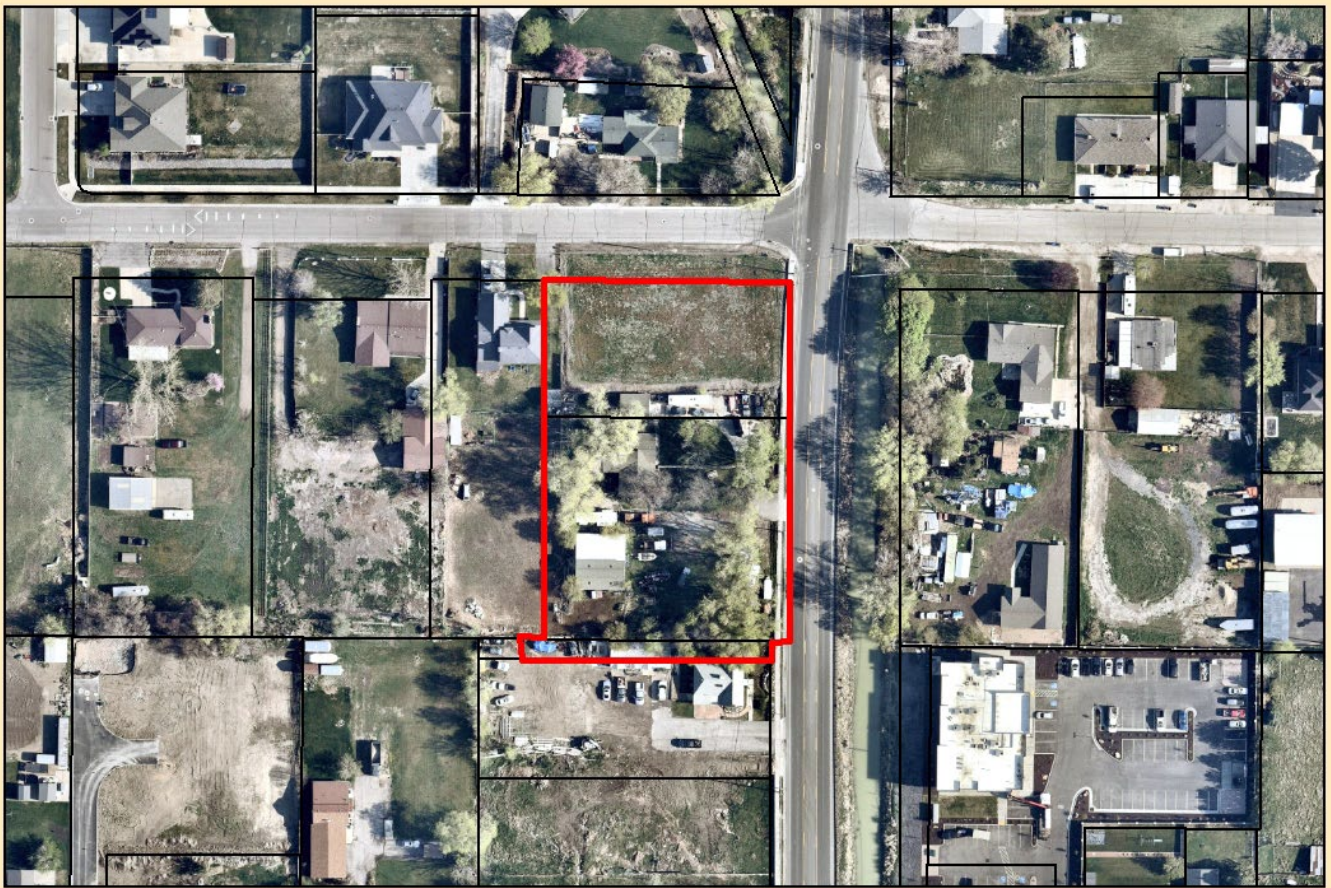
1. Geotechnical engineering submittal complete.

Fire Division Review.

1. Fire Department Access is required.
2. Fire Hydrants are required.
3. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be installed and APPROVED by the Fire Department prior to the issuance of any Building Permits.
4. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
5. The FDC shall be on the street side of the building and shall be located and arranged so that hose lines can be readily and conveniently attached to the inlets without interference from any nearby objects including but not limited to buildings, fences, posts, and landscaping.
6. Fire Sprinklers Required. FDC is required to have KNOX Locking Caps. ALL FIRE PROTECTION PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.
7. Fire Alarm Required. ALL FIRE ALARM PLANS REQUIRE 3rd PARTY REVIEW PRIOR TO BE SUBMITTED TO THE DRAPER FIRE DEPARTMENT.
8. Knox Boxes Required.
9. 2A-10BC Fire Extinguishers required.
10. Visible Addressing Required.



**EXHIBIT B  
AERIAL MAP**



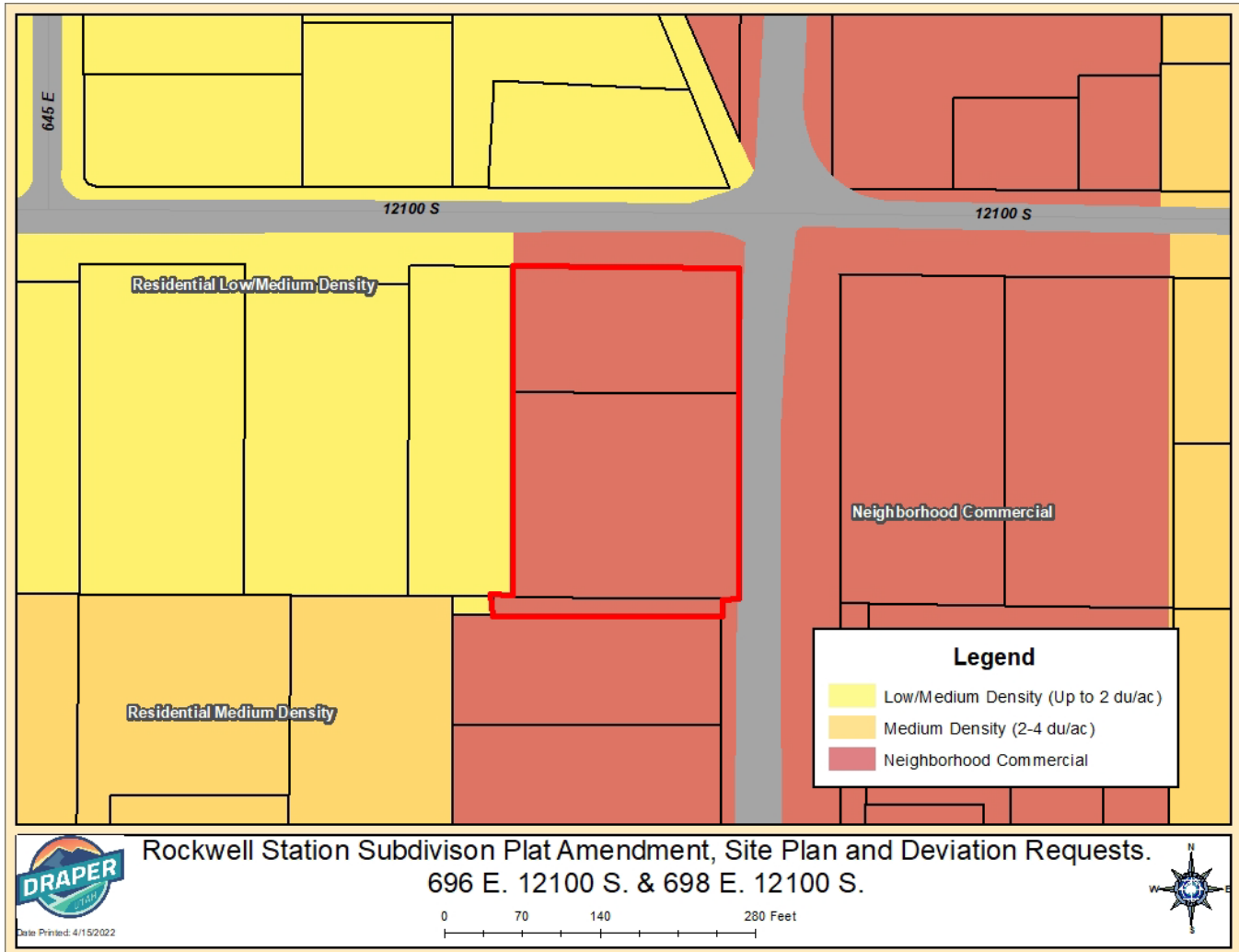
Rockwell Station Subdivision Plat Amendment, Site Plan and Deviation Requests.  
696 E. 12100 S. & 698 E. 12100 S.

0 70 140 280 Feet

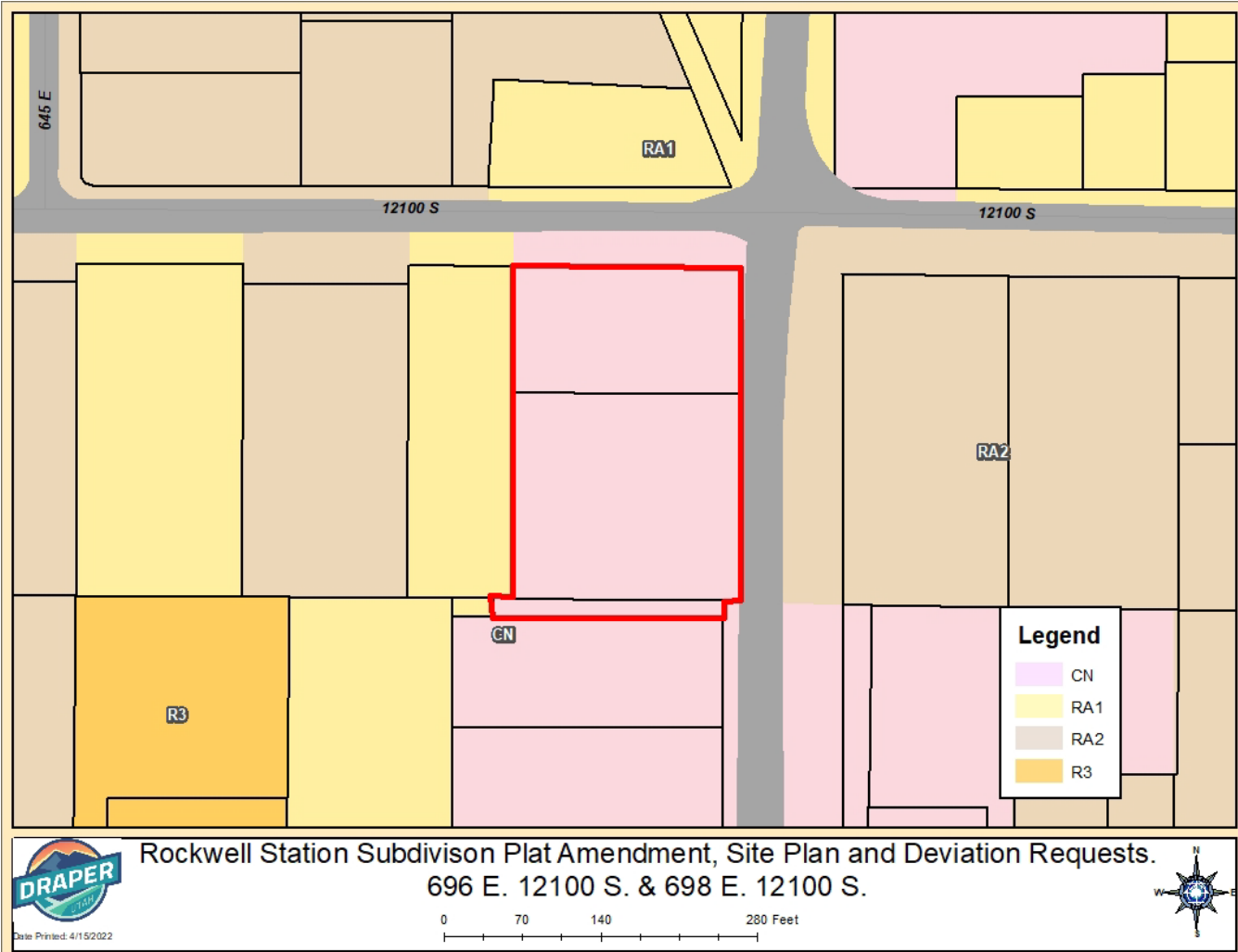


Date Printed: 4/15/2022

# EXHIBIT C LAND USE MAP

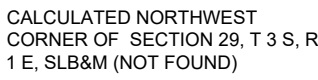


**EXHIBIT D  
ZONING MAP**



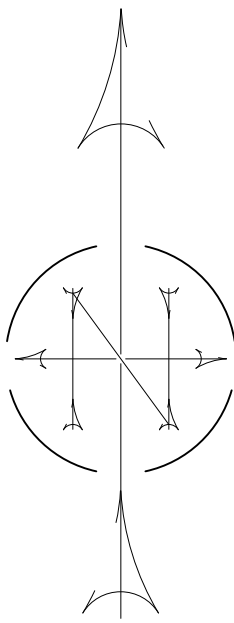
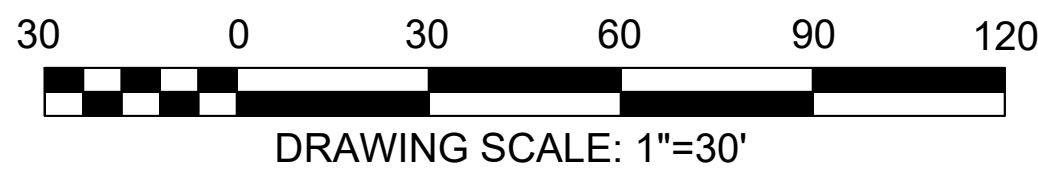


**EXHIBIT E**  
**PROPOSED SUBDIVISION PLAT**



AMENDING A PORTION OF LOTS 1, 2 AND 7 AND ALL OF LOT 8 OF BLOCK 24, DRAPERVILLE TOWNSITE  
LOCATED THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
FEBRUARY 2022

OVERALL BOUNDARY: \_\_\_\_\_  
 LOT LINE BOUNDARY: \_\_\_\_\_  
 RIGHT OF WAY LINE: \_\_\_\_\_  
 EASEMENT LINE: \_\_\_\_\_  
 DRAPERVILLE LOT LINE: \_\_\_\_\_  
 SECTION LINE: \_\_\_\_\_



SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2022  
BY DRAPER CITY PLANNING COMMISSION.  
\_\_\_\_\_  
PLANNING COMMISSION

RECORD OF SURVEY NUMBER: \_\_\_\_\_

COUNTY SURVEYOR REVIEWER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2022

\_\_\_\_\_  
SIGNED DATE

APPROVED AS TO COMPLIANCE WITH DRAPER CITY  
ORDINANCE.

DRAPER CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D.  
20\_\_\_\_ BY SOUTH VALLEY SEWER DISTRICT.

\_\_\_\_\_  
SIGNED

\_\_\_\_\_  
DATE

PRESENTED TO THE DRAPER CITY MAYOR THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_ AD, 2022,  
AT WHICH TIME THIS PLAT WAS APPROVED AND  
ACCEPTED.

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2022

\_\_\_\_\_  
DRAPER CITY ATTORNEY

I, MATTHEW C STONES, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD LICENSE NUMBER 7176711 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED THE SAME INTO LOTS AND/OR UNITS TOGETHER WITH EASEMENTS HEREAFTER TO BE KNOWN AS:

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

AMENDING A PORTION OF LOTS 7 AND 8 OF BLOCK 24, DRAPEDEVILLE, AND A PORTION OF THE NORTHERLY 1 ROD OF LOTS 1 AND 2 OF BLOCK 24, DRAPEDEVILLE, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT 36.25 FEET SOUTH 89°54'15" EAST FROM THE WEST QUARTER CORNER OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE SOUTH 89°54'15" EAST 209.81 FEET, MORE OR LESS, TO THE WESTERLY RAY OF WAY LINE OF 700 EAST STREET; THENCE NORTHERLY ALONG SAID RIGHT-OF-WAY LINE AND A 5762.85 FOOT RADIAL CURVE TO THE RIGHT, A DISTANCE OF 297.40 FEET, BEARING N 01°15'54" E, A DISTANCE OF 297.40 FEET, MORE OR LESS, TO THE SOUTHERLY RAY OF WAY LINE OF 12100 SOUTH STREET; THENCE ALONG SAID RIGHT-OF-WAY LINE WEST 182.91 FEET; THENCE SOUTH 00°05'45" WEST 280.50 FEET, MORE OR LESS TO THE NORTH LINE OF SAID LOT 1 OF BLOCK 24, DRAPEDEVILLE; THENCE ALONG SAID LOT LINE NORTH 89°54'15" WEST 32.96 FEET; THENCE SOUTH 00°05'45" WEST 16.50 FEET TO THE POINT OF BEGINNING.

CONTAINING: 53,615 SQFT OR 1.231 ACRES, MORE OR LESS, IN TWO (2) COMMERCIAL LOTS.

KNOWN ALL MEN BY THESE PRESENTS THAT I/WE THE UNDERSIGNED OWNER(S) OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS/UNITS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID PLAT:

A COMMERCIAL SUBDIVISION AMENDING PORTIONS OF LOTS 1, 2 AND 7 AND ALL OF LOT 8,  
DRAPERVILLE TOWNSITE

AND DO HEREBY DEDICATE, GRANT AND CONVEY TO DRAPER CITY, UTAH: ALL THOSE PARTS OF SAID TRACT OF LAND DESIGNATED AS PUBLIC STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES; THOSE CERTAIN PUBLIC UTILITY EASEMENTS AS SHOWN HEREON, THE SAME TO BE USED IN THE INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE; AND THOSE PARCELS DESIGNATED AS PUBLIC OPEN SPACE, PARKS, OR EASEMENTS OR SIMILAR DESIGNATION.

IN WITNESS WHEREOF I/WE HAVE HEREUNTO SET OUR HAND(S) THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD, 20\_\_\_\_\_

OWNER(S)

PRINT NAME: \_\_\_\_\_ SIGNED: \_\_\_\_\_  
MANAGER, DRAPER ROCKWELL STATION, LLC.

I, ADAM WATTS, BEING DULY SWORN, DEPOSE AND SAY THAT I AM THE MANAGER OF DRAPER ROCKWELL  
CONSTRUCTION, LLC AND AM HEREBY AUTHORIZED TO EXECUTE THE SAME, SIGN THE ATTACHED APPLICATION AND  
THAT THE STATEMENTS HEREIN CONTAINED AND THE INFORMATION PROVIDED IN THE ATTACHED PLANS AND  
OTHER EXHIBITS ARE IN ALL RESPECTS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE. WE ALSO  
ACKNOWLEDGE THAT WE HAVE RECEIVED WRITTEN INSTRUCTIONS REGARDING THE PROCESS FOR WHICH WE  
ARE APPLYING. WE FURTHER DECLARE:

- WHILE CITY STAFF MAY OFFER SUGGESTIONS REGARDING MY APPLICATION, I (WE) UNDERSTAND I (WE) AM (ARE) RESPONSIBLE TO ENSURE THE APPLICATION COMPLIES WITH THE DRAPER CITY MUNICIPAL CODE AND ALL OTHER APPLICABLE STATE AND FEDERAL LAWS;

- I (WE) ACKNOWLEDGE CITY STAFF CANNOT BIND THE CITY AND THE DECISION-MAKING BODY WITH JURISDICTION HAS THE SOLE AUTHORITY TO REVIEW AND APPROVE MY (OUR) APPLICATION; AND
- I (WE) AM (ARE) FREE TO RETAIN ADVISORS OF MY (OUR) OWN CHOOSING TO ASSIST ME (US) WITH ALL ASPECTS OF MY (OUR) APPLICATION.

STATE OF UTAH  
COUNTY OF SALT LAKE } S.S.

ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, ADAM WATTS, SIGNER OF THE HEREON OWNER'S DEDICATION AND CONSENT TO RECORD, WHO BEING DULY SWORN DID SAY THAT HE/SHE IS THE MANAGER OF DRAPER ROCKWELL STATION, LLC, AND THAT THEY SIGNED THIS PLAT ENTITLED "ROCKWELL STATION SUBDIVISION" ON BEHALF OF SAID DRAPER ROCKWELL STATION, LLC AND HAVE ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_  
RESIDING IN: \_\_\_\_\_

## RECORDER INFORMATION

RECORD # \_\_\_\_\_

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE  
REQUEST OF: \_\_\_\_\_

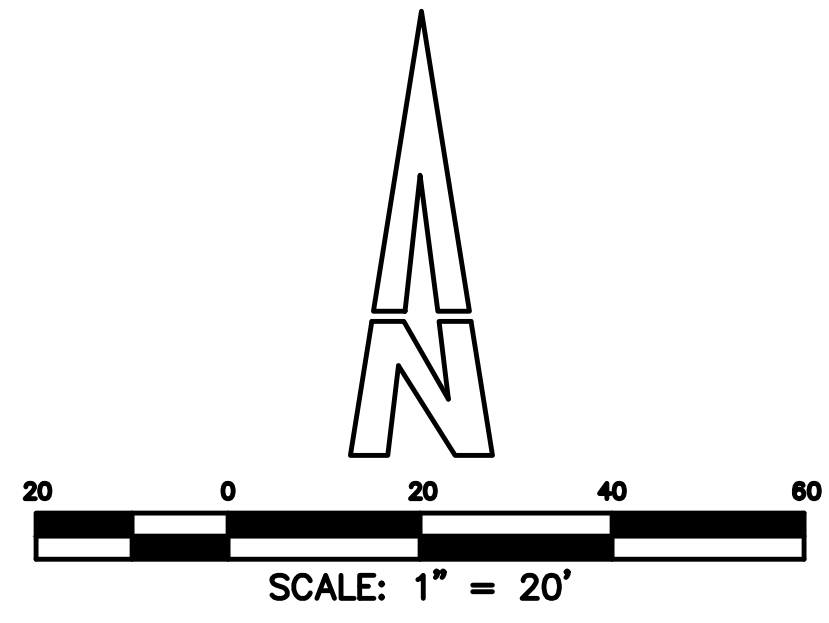
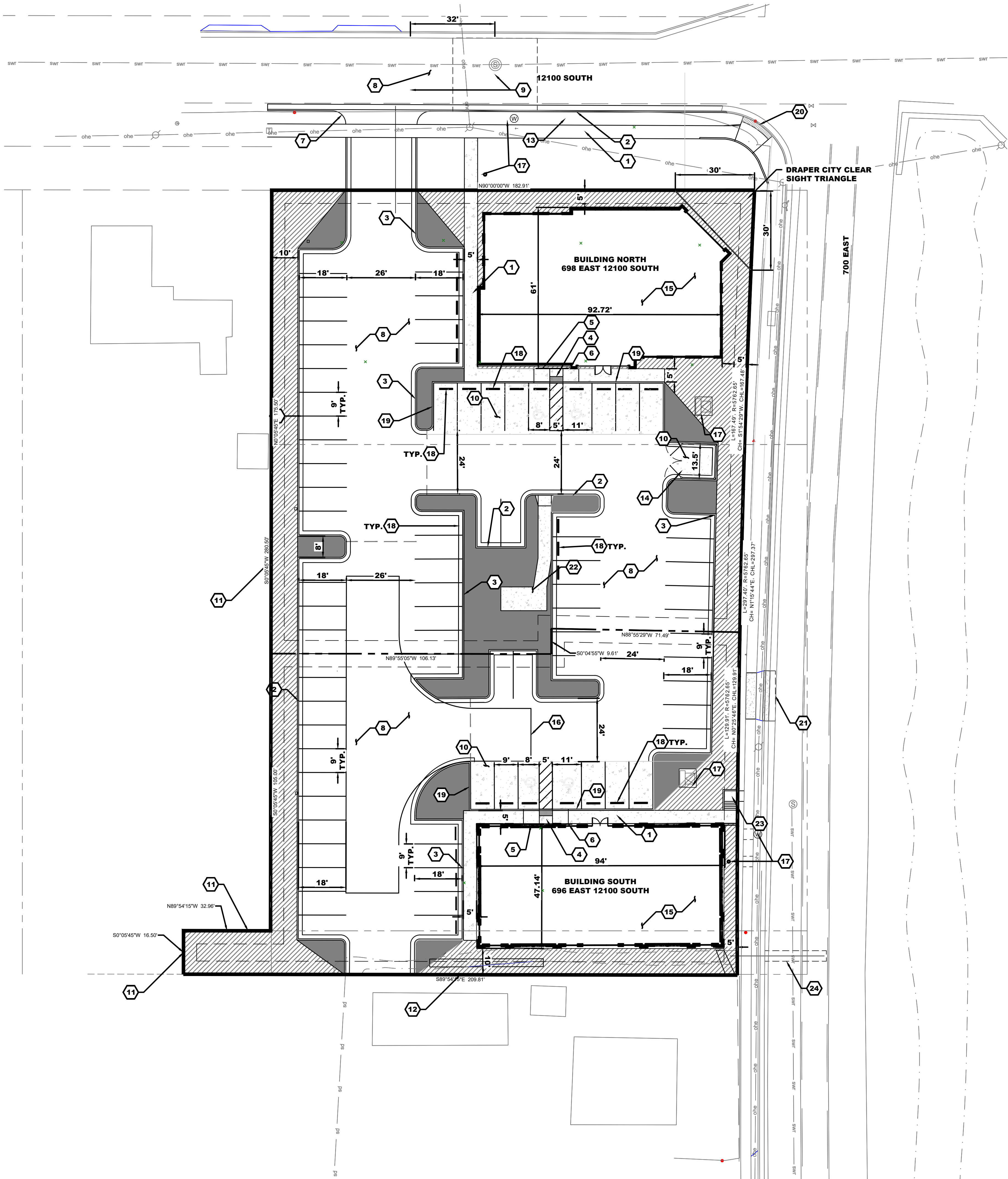
DATE \_\_\_\_\_ TIME \_\_\_\_\_  
BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
FEE \$ \_\_\_\_\_

SALT LAKE COUNTY RECORDER

**EXHIBIT F**  
**SITE PLAN**



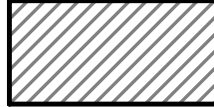


R:\Projects\2021\12-010 Northstar Draper\100\_CAD\4\_Site Design\21-010\_C1-0\_Site Plan.dwg 3/24/2022 10:15 AM



**SITE PLAN KEY NOTES**

- 1 FURNISH AND INSTALL SIDEWALK PER DRAPER CITY STANDARD PLAN ST-12. SEE SHEET C1-1.
- 2 FURNISH AND INSTALL CURB AND GUTTER PER DRAPER CITY STANDARD PLAN ST-10. SEE SHEET C1-1.
- 3 FURNISH AND INSTALL CURB AND GUTTER (SPILL). SEE SHEET C1-1.
- 4 FURNISH AND INSTALL ADA RAMP PER APWA STANDARD PLAN 236.3. SEE SHEET C1-1
- 5 FURNISH AND INSTALL ADA PARKING SIGN PER A1. SEE SHEET C1-1
- 6 FURNISH AND INSTALL ADA VAN PARKING SIGN PER A1. SEE SHEET C1-1
- 7 FURNISH AND INSTALL RADIUS DRIVE APPROACH PER DRAPER CITY STANDARD PLAN ST-09, NO CENTER CURB BARRIER NEEDED. SEE SHEET C1-1.
- 8 FURNISH AND INSTALL ASPHALT PAVEMENT & BASE PER DRAPER CITY STANDARDS, SEE C1-1 FOR CROSS SECTION.
- 9 SAWCUT EXISTING ASPHALT PER DRAPER CITY STANDARD DETAIL ST-19.
- 10 FURNISH AND INSTALL CONCRETE PAVEMENT & BASE PER DRAPER CITY STANDARDS.
- 11 FURNISH AND INSTALL 8' PRECAST CONCRETE FENCE, SEE SHEET C1-2 FOR DETAILS.
- 12 FURNISH AND INSTALL 6' FENCE, SEE SHEET C1-3 FOR DETAILS.
- 13 FURNISH AND INSTALL PARKSTRIP PER DRAPER CITY STANDARDS AND SPECIFICATIONS. REFERENCE LANDSCAPE PLAN.
- 14 FURNISH AND INSTALL DUMPSTER ENCLOSURE, REFERENCE ARCHITECTURAL PLANS PG AS501 FOR DETAILS.
- 15 PROPOSED BUILDING LOCATION, REFERENCE ARCHITECTURE PLANS FOR DETAILS.
- 16 FIRE TRUCK TURN AROUND PER IFC.
- 17 SERVICE UTILITY, SEE SHEET C4-0 FOR DETAILS
- 18 PARKING WHEEL STOP.
- 19 6"x12" CURB WALL PER DETAIL C3 SEE SHEET C1-2
- 20 PEDESTRIAN RAMP PER UDOT STANDARD DRAWING PA-5 SINGLE DIAGONAL CORNER APEX RAMP OPTION. MUST BE INSTALLED BY UDOT CERTIFIED CONTRACTOR.
- 21 EXISTING DRIVEWAY TO BE REMOVED. REFERENCE SHEET U1-0 FOR DETAILS.
- 22 AMENITIES AREA, REFERENCE LANDSCAPE PLANS FOR DETAILS.
- 23 FURNISH AND INSTALL STAIRS, REFERENCE GRADING PLAN FOR DETAILS.
- 24 FULL DEPTH ASPHALT/CONCRETE SAWCUT AND PATCH PER UDOT STANDARDS AND SPECIFICATIONS.

**HATCH LEGEND**

-  LANDSCAPING
-  INTERIOR PARKING LANDSCAPING
-  CONCRETE

SITE STATISTICS TABLE			
TOTAL BUILDING SQ. FT.	19380		
REQUIRED PARKING	78	(4 PER 1,000 SQ. FT.)	
10% + PER DRAPER CODE	7		
MIN. REQUIRED PARKING	71		
PROVIDED PARKING	82		
REQUIRED ADA	4 (2 VAN STALLS)		
PROVIDED ADA	4 (2 VAN STALLS)		
AREAS			
AREAS	SQ. FT.	ACRES	%
BUILDING	9533.00	0.219	18%
LANDSCAPE	13222.88	0.304	25%
HARDSCAPE	30831.12	0.708	58%
TOTAL AREA	53587.00	1.23	100%
INTERIOR PARKING AREAS			
INTRIOR PARKING AREA	32306.76	0.742	100%
INTERIOR LANDSCAPE AREA	3854.69	0.088	12%

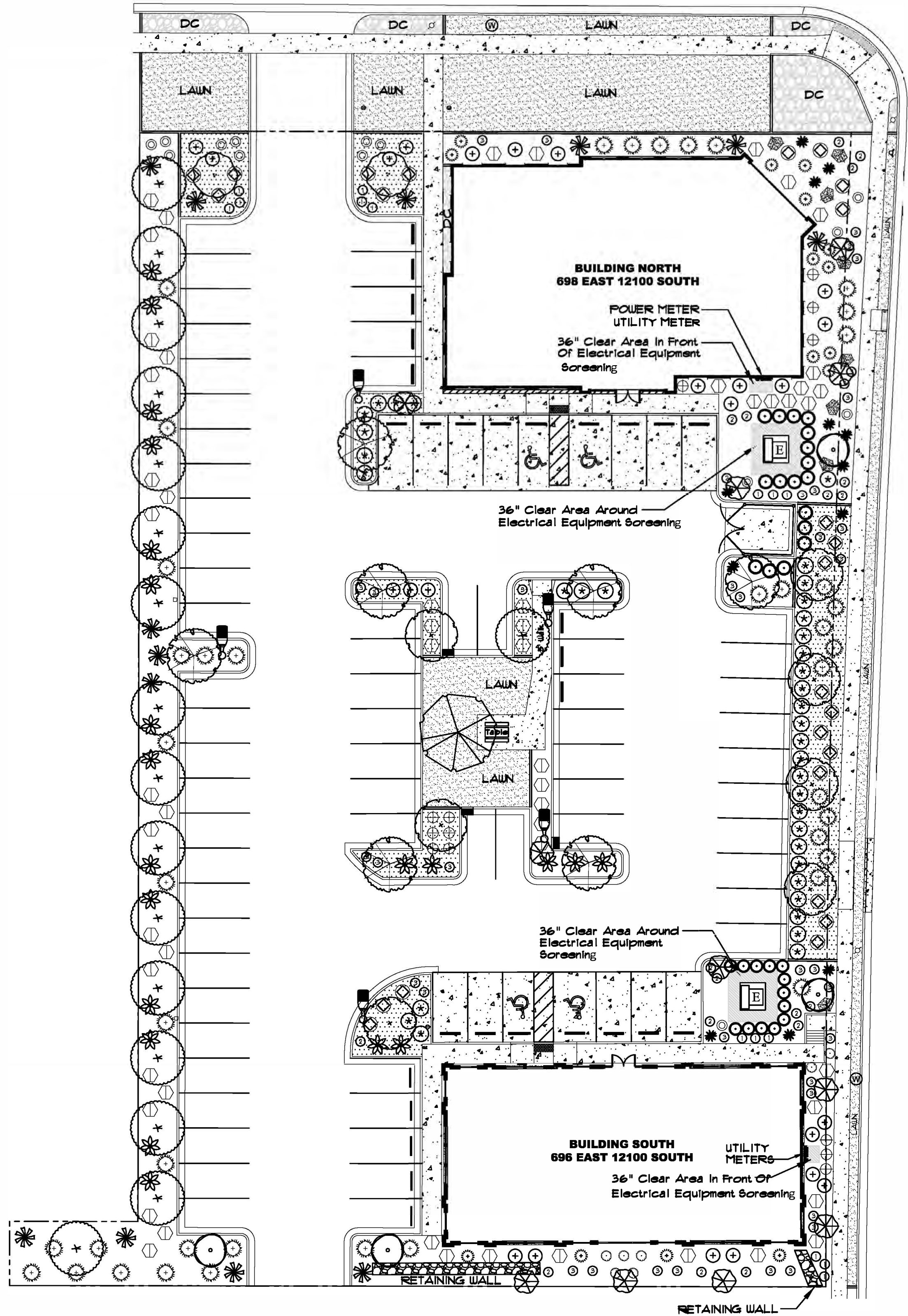
**GENERAL SITE NOTES:**

1. MECHANICAL EQUIPMENT TO BE ROOF MOUNTED.

**EXHIBIT G**  
**LANDSCAPE PLAN**



12100 South Street



Plant List (Trees)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
2		Cercis canadensis	Eastern Redbud	1 1/2" Caliper 8'-10' Height	Matched Full Heads
6		Crataegus crus-galli	Cockspur Hawthorn	2" Caliper 8'-10' Height	Matched Full Heads
1		Gleditsia t. 'Skyline'	Skyline Honeylocust	2" Caliper 8'-10' Height	Matched Full Heads
11		Koelreuteria p. 'Golden Candle'	Columnar Goldenrain Tree	1 1/2" Caliper 8'-10' Height	Matched Full Heads
4		Quercus robur 'Fastigiata'	Columnar English Oak	2" Caliper 10'-12' Height	Matched Full Heads
6		Syringa reticulata 'Ivory Silk'	Ivory Silk Flowering Lilac	1 1/2" Caliper 8'-10' Height	Matched Full Heads
17		Zelcova serrata 'Musashino'	Musashino Zelcova	2" Caliper	Matched Full

Plant List (Shrubs)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
7		Buxus japonica 'Julia Jane'	Julia Jane Boxwood	5 Gallon	18"-24" Ht.
13		Cotinus coggygria	Purple Smoke Bush	5 Gallon	24"-30" Ht.
21		Physocarpus o. 'Summer Wine'	Summer Wine Ninebark	5 Gallon	18"-24" Ht.
14		Pinus mugo m. 'Slowmound'	Slowmound Dw. Mugo Pine	5 Gallon	15"-18" Ht.
37		Prunus besseyi	Western Sand Cherry	5 Gallon	18"-24" Ht.
41		Rhus aromatica 'Gro-Low'	Gro-Low Sumac	5 Gallon	18"-24" Spr.
24		Rosa 'Radrazz' Knock-Out	Radrazz Knock-Out Rose	5 Gallon	18"-24" Ht.
24		Spiraea japonica 'Neon Flash'	Neon Flash Spiraea	5 Gallon	15"-18" Ht.
30		Thuja occidentalis 'Smaragard'	Emerald Green Arborvitae	5 Gallon	36"-42" Ht.
12		Yucca filamen. 'Golden Sword'	Golden Sword Yucca	5 Gallon	15"-18" Ht.

Plant List (Ornamental Grasses/Perennials)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
13		Calamagrostis a. 'Avalanche'	Avalanche Feather Grass	5 Gallon	24"-30" Ht.
53		Calamagrostis a. 'Karl Foerster'	Karl Foerster Feather Grass	5 Gallon	24"-30" Ht.
14		Pennisetum apol. 'Hamein'	Dwarf Fountain Grass	5 Gallon	15"-18" Ht.
15		Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily	1 Gallon	Full Can
21		Lavandula 'Hidcote Blue'	Hidcote Blue Lavender	1 Gallon	Full Can
37		Salvia 'May Night'	May Night Salvia	1 Gallon	Full Can

Planting Notes

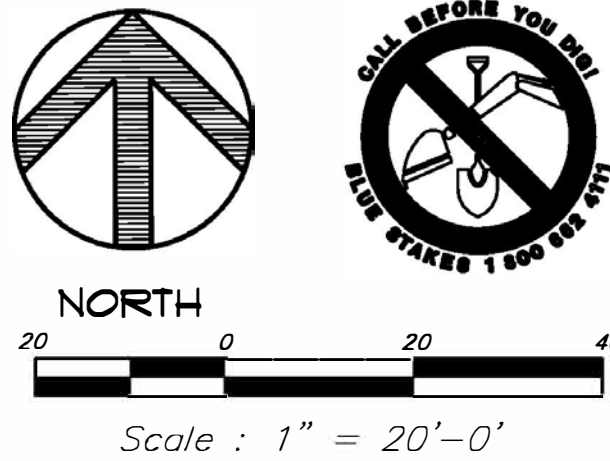
- All lawn areas shall receive a 4 inch depth of topsoil, all shrub planting areas shall receive a 4 inch depth of topsoil. Topsoil material is not available at the site and must be imported from an approved local source. All topsoil for landscape operations shall be of a sandy loam consistency.
- All new lawn areas shall be sodded using high grade material of a water conservative mixture, and shall be composed of multiple drought tolerant bluegrass varieties.
- All plant material holes shall be dug twice the diameter of the rootball and 3 inches deeper. Excavated material shall be removed from the site or re-used in the planting backfill mixture.
- Plant backfill mixture shall be composed of 2 parts topsoil to 1 part native soil to 1 part humus additive (Soil Pep) and be mechanically mixed on-site in stockpiles prior to installation.
- All trees (if any) located in lawn areas shall receive an 'Arbor Guard' trunk protector, or equal, and have a 36 inch diameter sod-free ring. All trees shall be staked for wind protection, unless otherwise indicated.
- Upon completion of planting operations, all shrub pits and tree wells shall receive a four inch depth of fine ground bark mulch mixture as a cover. The overall shrub beds themselves shall receive a 4" depth of decorative stone, the exact product(s) as specified per the legend and notes.
- The contractor shall install "DeWitt" Pro-5 weed barrier fabric in all planting areas, secured to the ground surface with provided staples, with a 6" overlap at seams. Fabric shall be cut at plant locations to edge of rootball, where bark mulch is installed. Provide (2) applications of pre-emergent herbicide. One on the topsoil surface prior to fabric installation, the other on top of decorative stone following installation.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

Sub-Grade Requirements

- LAWN AREAS : Six (6) inches below finish grade. This will allow for the installation of a 4 inch depth of import topsoil along with the sodding material, leaving it slightly below finish grade and concrete curbs, walks and other hardscape surfaces.
- SHRUB AREAS : Eight (8) inches below finish grade. This will allow for the installation of a 4 inch depth of import topsoil along with a four inch depth of lightly compacted bark mulch or decorative stone mulch, leaving it slightly below finish grade and concrete areas.
- ROCK ONLY COBBLE AREAS : Seven (7) inches below finish grade. This will allow for the installation of a 6 inch depth of decorative stone over the weed barrier fabric, leaving it slightly below finish grade and concrete areas.
- COORDINATION : The landscape contractor, early on in the construction process, shall meet with the earth-work/grading contractor in order to ensure that all required sub-grades (prior to topsoil placement) shall be provided. The landscape contractor shall not proceed on the project until they have reviewed and approved all sub-grade elevations in coordination with the earthwork and general contractor.

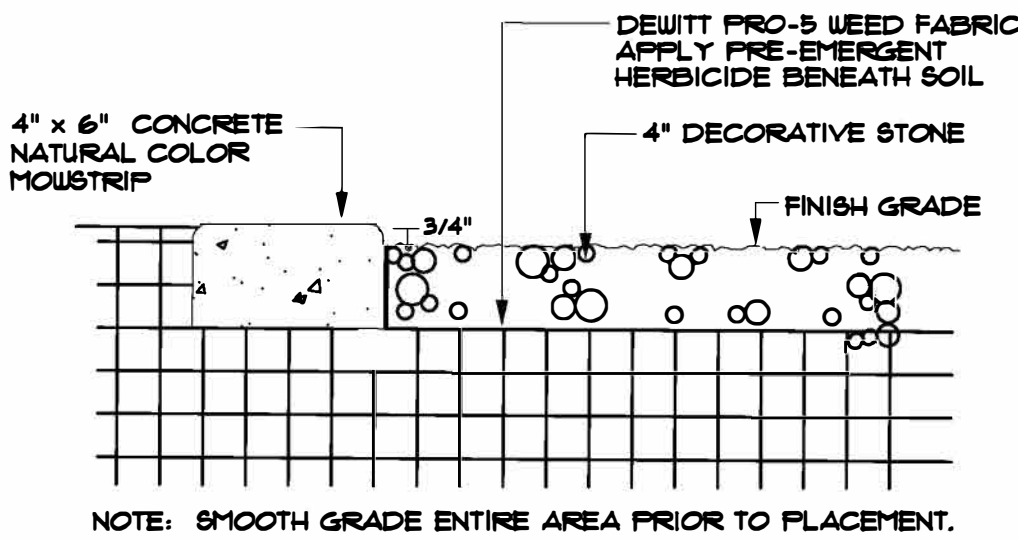
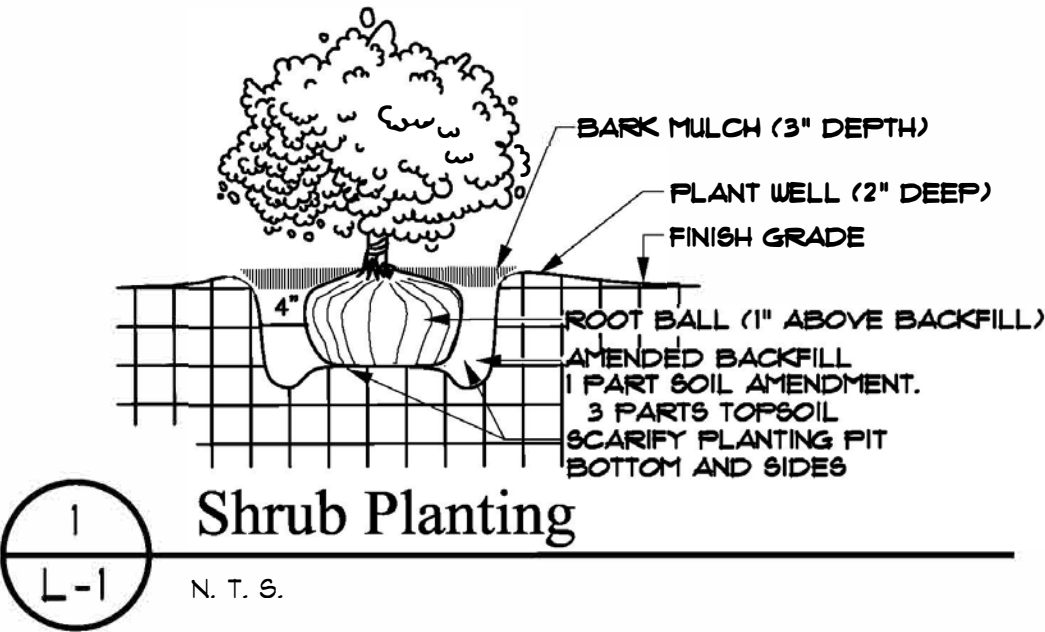
Submittal Requirements

- The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as boulders, decorative stone, bark mulches, weed barrier fabric, soil amendments & import topsoil in order to obtain approval to be used on the project, and prior to any shipment to the site. Failure to provide this in a timely manner will in no way affect the construction schedule and time for project completion.
- All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of the project. No substitutions will be considered following this time period.

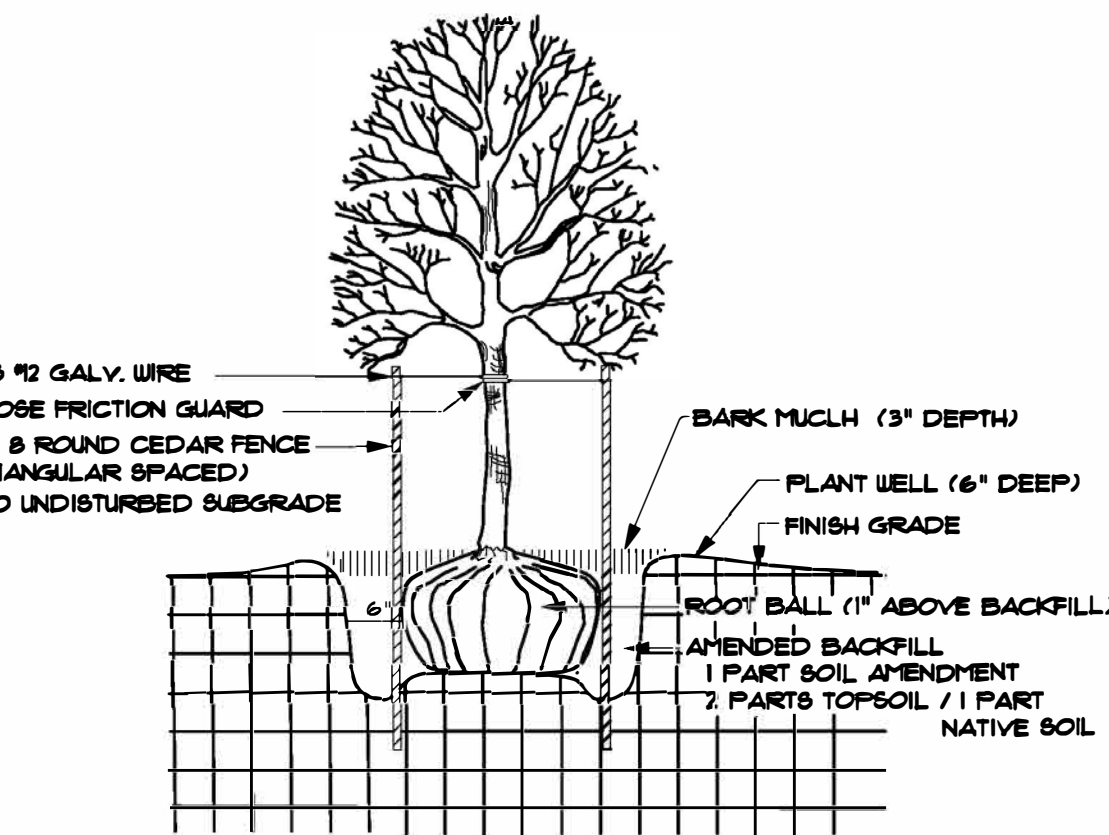


Legend

Symbol	Description
	Landscape Boulder / Brown's Canyon "Blonde" Install Partially Into Soil Surface. Product To Be Blockish Shape, 4' Minimum Size.
	4"x6" Concrete Mowstrip Installed Where Shown, In True, Straight True Lines, Flust To All Edges. Compact Sub-Grade Prior To Installation.
	New Lawn Area / Water Conservative Mixture Install Sodding Material Over 4" Topsoil Depth Provide Spec. Sheet Of Proposed Material.
	New Rock/Cobble Area. Install Product To A Depth Of 6" Over Weed Barrier. Product To Be "Nepht Cobble" (2"-4" Size).
	New Rock/Cobble Area. Install Product To A Depth Of 4" Over Weed Barrier. Product To Be "Crushed Construction Rock" (1 1/2" Minus).
	New Rock/Cobble Area. Install Product To A Depth Of 4" Over Weed Barrier. Product To Be "South Town" (1 1/2" Size).
NOTE:	Rock & Cobble Products Available From Staker-Parson Landscape Centers, Or Equal.



2 Mowstrip / Stone Mulch  
N. T. S.

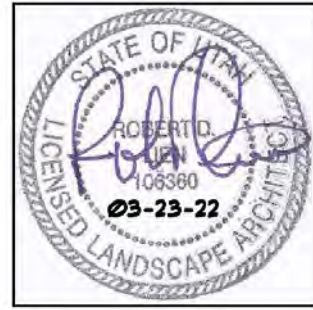


3 Tree Planting  
N. T. S.

General Notes

- All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscape and irrigation projects, and be able to supply the necessary staff to perform all tasks associated with these drawings, and in a professional and timely manner.
- The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly, and accurately measure the design layout using the specified scale.
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below all walks, curbs, etc.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications.
- The contractor shall plant all plants per the planting details, stake/guy as shown. The top of the rootballs shall be planted flush with the finish grade.

RDL Design Company, Inc.  
1020 East Yale Avenue  
Salt Lake City, Utah 84105  
Phone : 801-647-314  
Email : rdl@designcomcast.net



STAMP

Rockwell Station North & South

698 E. 12100 S. (North) 696 E. 12100 S. (South)

Draper, Utah 84020

PROJECT:  
DRAWN BY: RDL  
CHECK BY: RDL  
ISSUE DATE: 12-01-21  
REVISIONS: 02-22-22  
03-23-22

SHEET TITLE

Landscape  
Planting  
Plan

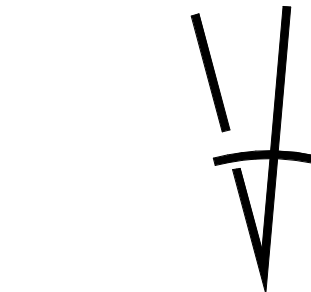
SHEET NUMBER

L-1



**EXHIBIT H**  
**ARCHITECTURAL ELEVATIONS**





FIVE DEGREES DESIGN

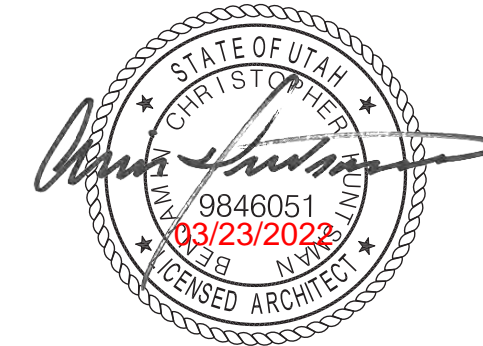
3651 NORTH 100 EAST, STE 225  
PROVO, UTAH 84604  
801.960.9381  
architect@fivedegreesdesign.com

DATE: 23 MARCH 2022  
PROJECT #: 21-080  
DRAWN BY: RDW  
CHECKED BY: BCH

REVISIONS

BUILDING MATERIAL	COLOR	
BRICK	CHARCOAL	
WOOD PLANK COMPOSITE SIDING	WALNUT	
BOARD FORM	LIGHT GRAY	
METAL SIDING	DARK GRAY	

\*\*MECHANICAL EQUIPMENT TO BE LOCATED ON THE ROOF AND SCREENED BY THE ROOF PARAPET\*\*



PROJECT

ROCKWELL  
STATION  
NORTH  
BUILDING

ADDRESS:  
698 EAST 12100 SOUTH  
DRAPER, UT 84020

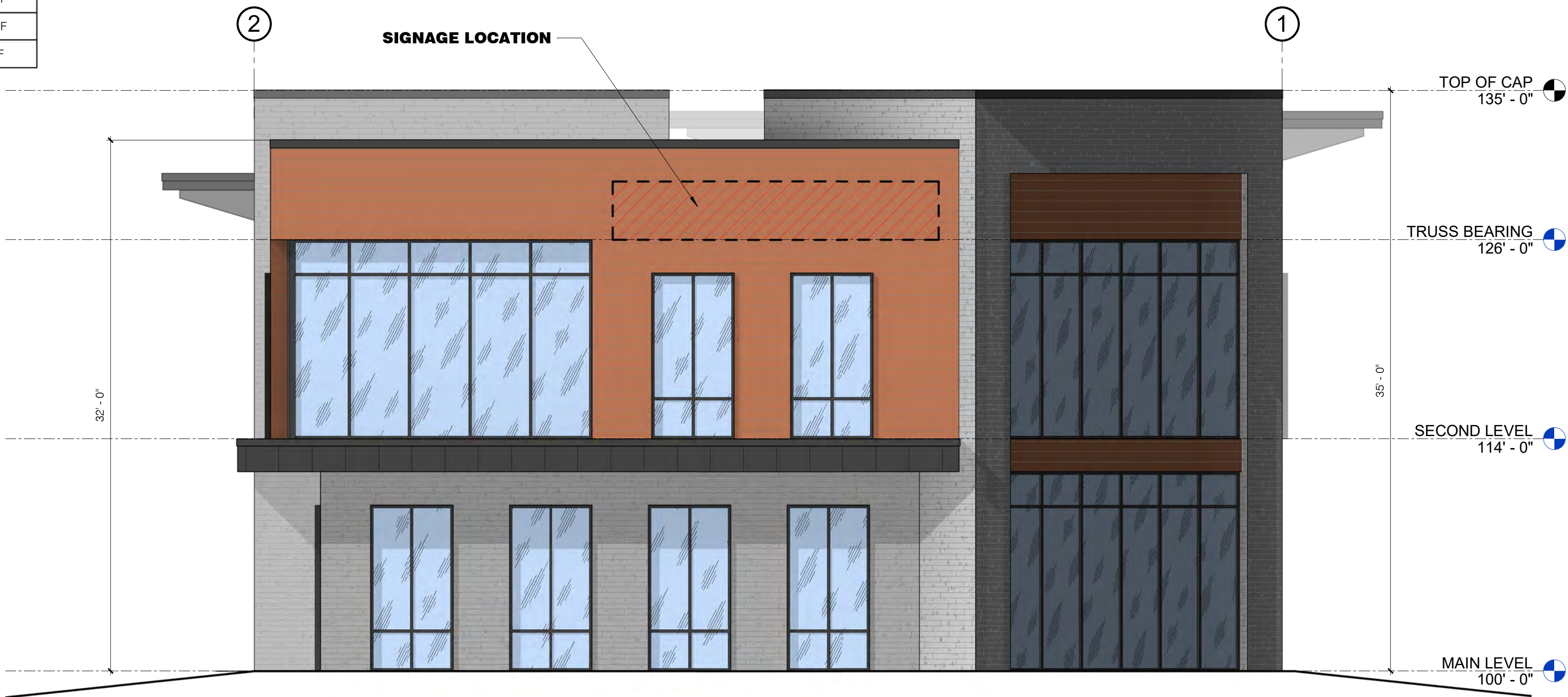
ARCHITECTURAL

EXTERIOR ELEVATIONS

AE201



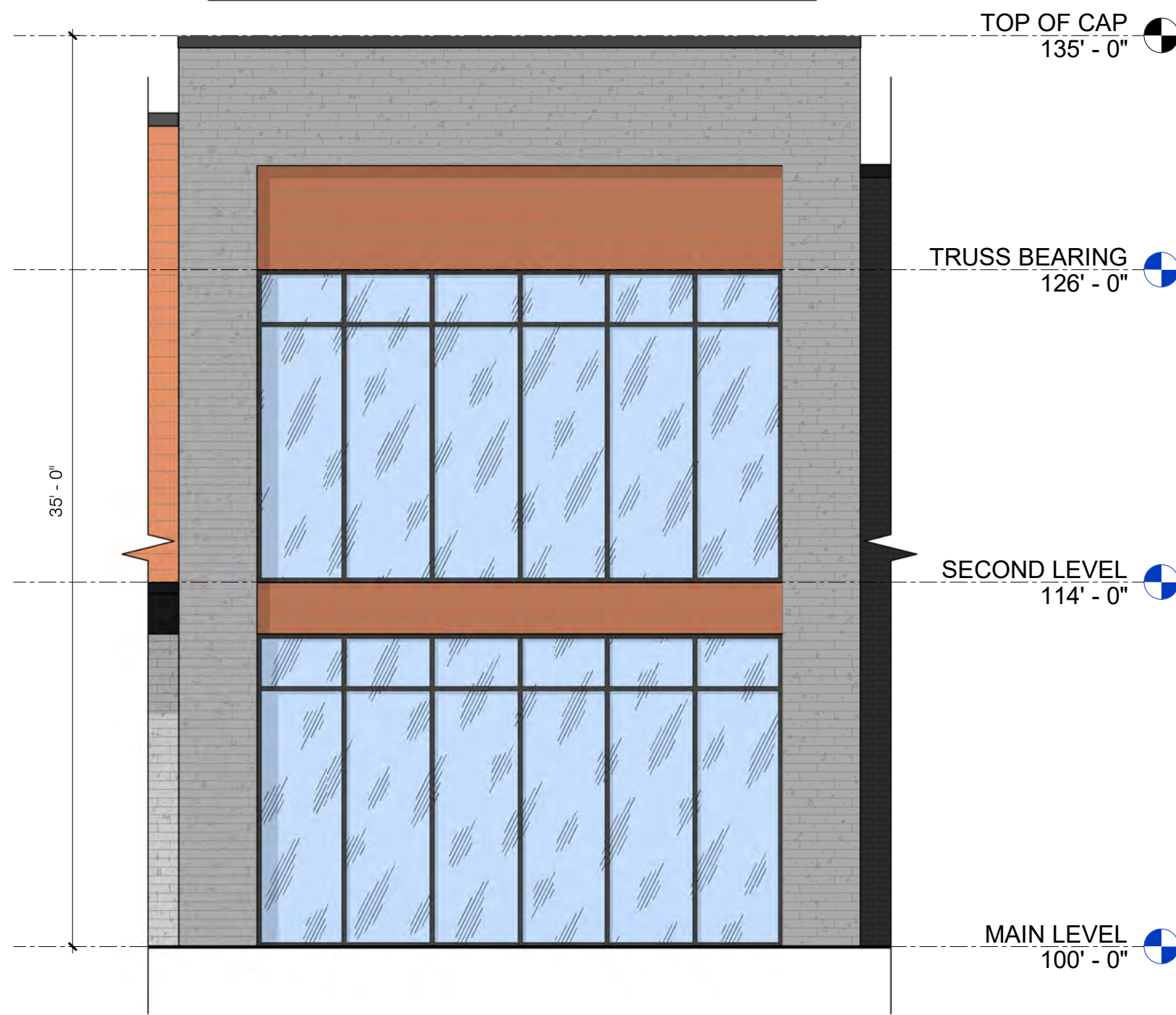
BUILDING MATERIAL		TOTALS
OVERALL BUILDING FACADE AREA	100%	848.79 SF
PRIMARY MATERIALS		
WOOD PLANK COMPOSITE SIDING	62.2%	528.23 SF
BOARD FORM CONC.	27.5%	233.56 SF
METAL SIDING	10.3%	87.00 SF



B2  
AE202

**EAST ELEVATION**  
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL		TOTALS
OVERALL BUILDING FACADE AREA	100%	432.79 SF
PRIMARY MATERIALS		
WOOD PLANK COMPOSITE SIDING	27.9%	121.00 SF
BOARD FORM CONC.	72.1%	311.79 SF



B5  
AE202

**NORTHEAST CORNER ELEVATION**  
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL		TOTALS
OVERALL BUILDING FACADE AREA	100%	1,181.90 SF
PRIMARY MATERIALS		
BRICK	39.7%	469.25 SF
WOOD PLANK COMPOSITE SIDING	30.2%	356.54 SF
BOARD FORM CONC.	15.7%	186.00 SF
METAL SIDING	14.4%	170.11 SF



D2  
AE202

**WEST ELEVATION**  
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL	COLOR	
BRICK	CHARCOAL	
WOOD PLANK COMPOSITE SIDING	WALNUT	
BOARD FORM	LIGHT GRAY	
METAL SIDING	DARK GRAY	

\*\*MECHANICAL EQUIPMENT TO BE LOCATED ON THE ROOF AND SCREENED BY THE ROOF PARAPET\*\*

### GENERAL NOTES

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- ROOFING TO BE CLASS 'C' MINIMUM.
- DO NOT SCALE DRAWINGS FOR CONSTRUCTION.
- PROVIDE METAL FLASHING AND COUNTER FLASHING AS REQUIRED TO PROVIDE WATERPROOF BUILDING. NO PLASTIC FLASHING ALLOWED.
- EXPOSED CONCRETE FOUNDATION WALLS TO RECEIVE RUBBED FINISH. ALL ROOF PENETRATIONS MAY NOT BE SHOWN. REFER TO ENGINEERING SHEETS FOR ALL REQUIRED PENETRATIONS AND DETAILING.
- SEE MECHANICAL SHEETS FOR BATHROOM EXHAUST, CLOTHES DRYER VENTS, AND OTHER PENETRATIONS IN EXTERIOR WALLS AND ROOF.
- SEE PLUMBING SHEETS FOR GAS METER AND SECONDARY ROOF DRAINAGE BRASS SCUPPER LOCATIONS ALONG EXTERIOR WALLS.
- SEE ELECTRICAL SHEETS FOR ELECTRICAL METER, GEAR, AND EXTERIOR LIGHT FIXTURE LOCATIONS.
- SEE AE601 FOR DOOR AND WINDOW INFORMATION.
- PROVIDE PRE-FINISHED CUT ALUMINUM NUMBERS AND LETTERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF NUMBERS AND LETTERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THE ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH THE CURRENT CITY SIGN ORDINANCE.
- PER DCMC SECTION 9-22-040(I) WINDOWS NEXT TO PEDESTRIAN WALKWAYS SHALL BE TRANSPARENT.
- PER DCMC SECTION 9-22-040(D) ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.



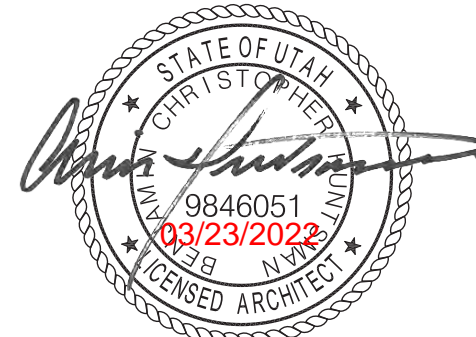
**FIVE DEGREES DESIGN**

3651 NORTH 100 EAST, STE 225  
PROVO, UTAH 84604  
801.960.9381

architect@fivedegreesdesign.com

DATE: 23 MARCH 2022  
PROJECT #: 21-080  
DRAWN BY: RDW  
CHECKED BY: BCH

REVISIONS



PROJECT

**ROCKWELL  
STATION  
NORTH  
BUILDING**

ADDRESS:  
698 EAST 12100 SOUTH  
DRAPER, UT 84020

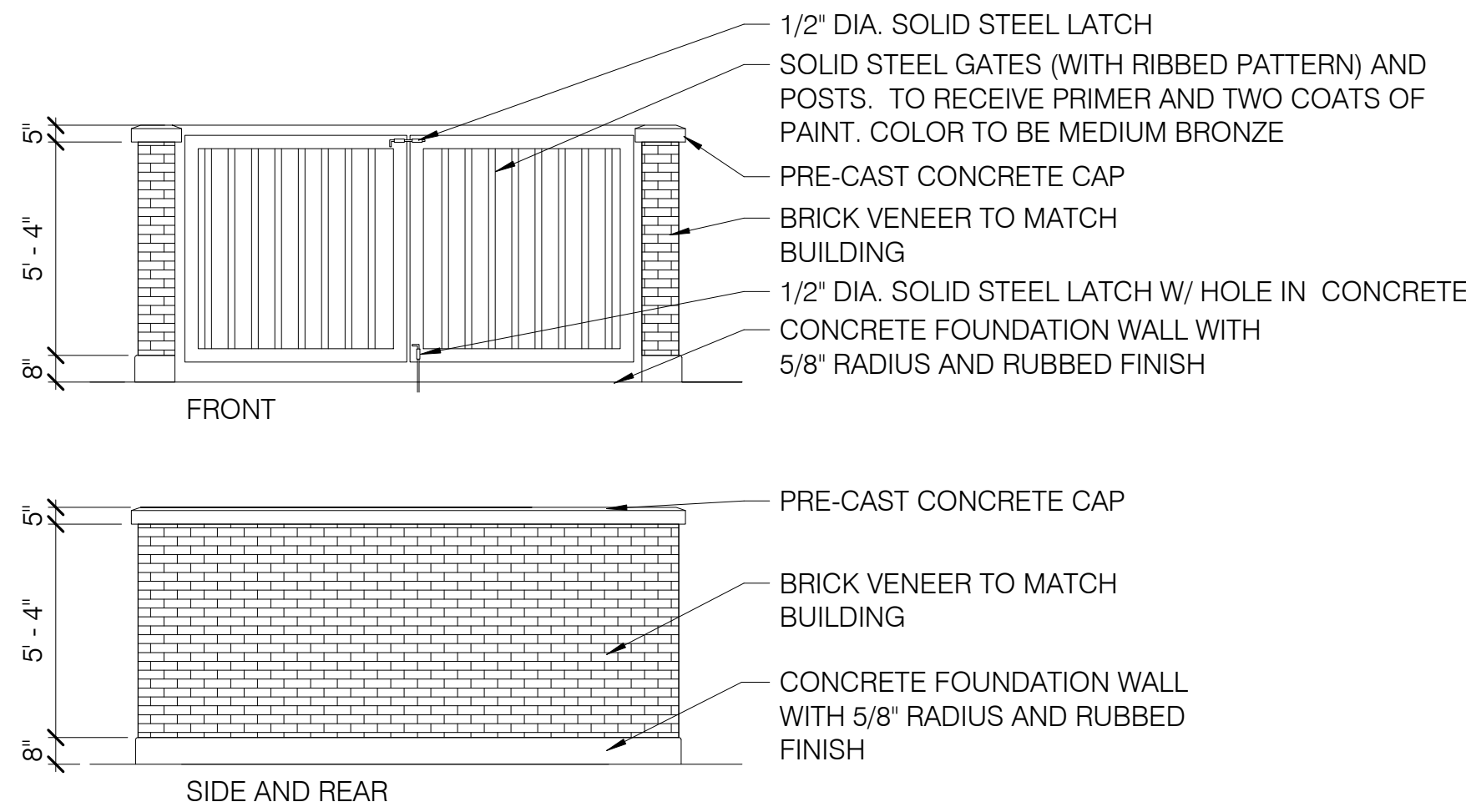
**ARCHITECTURAL**

EXTERIOR ELEVATIONS

**AE202**



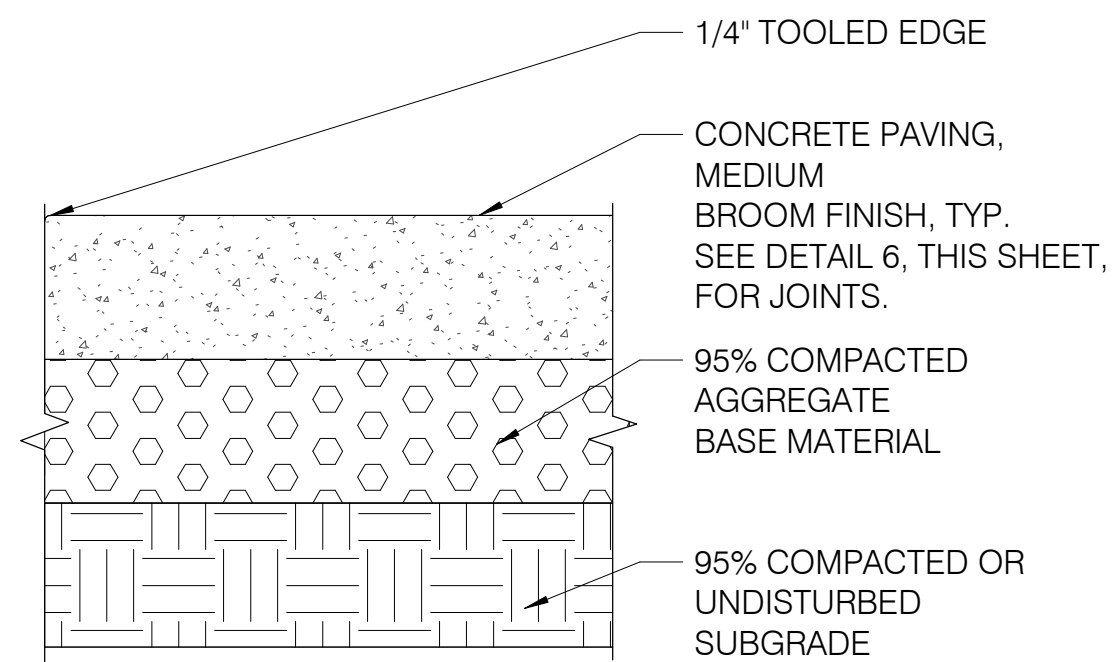
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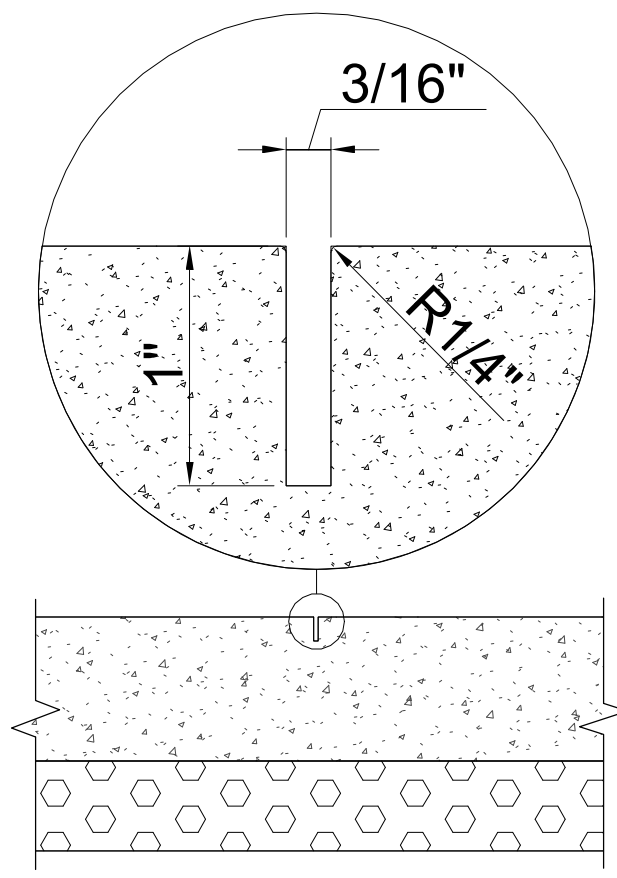
### CONCRETE PAVEMENT

### CEMENT CONCRETE PAVEMENT - DETAILS

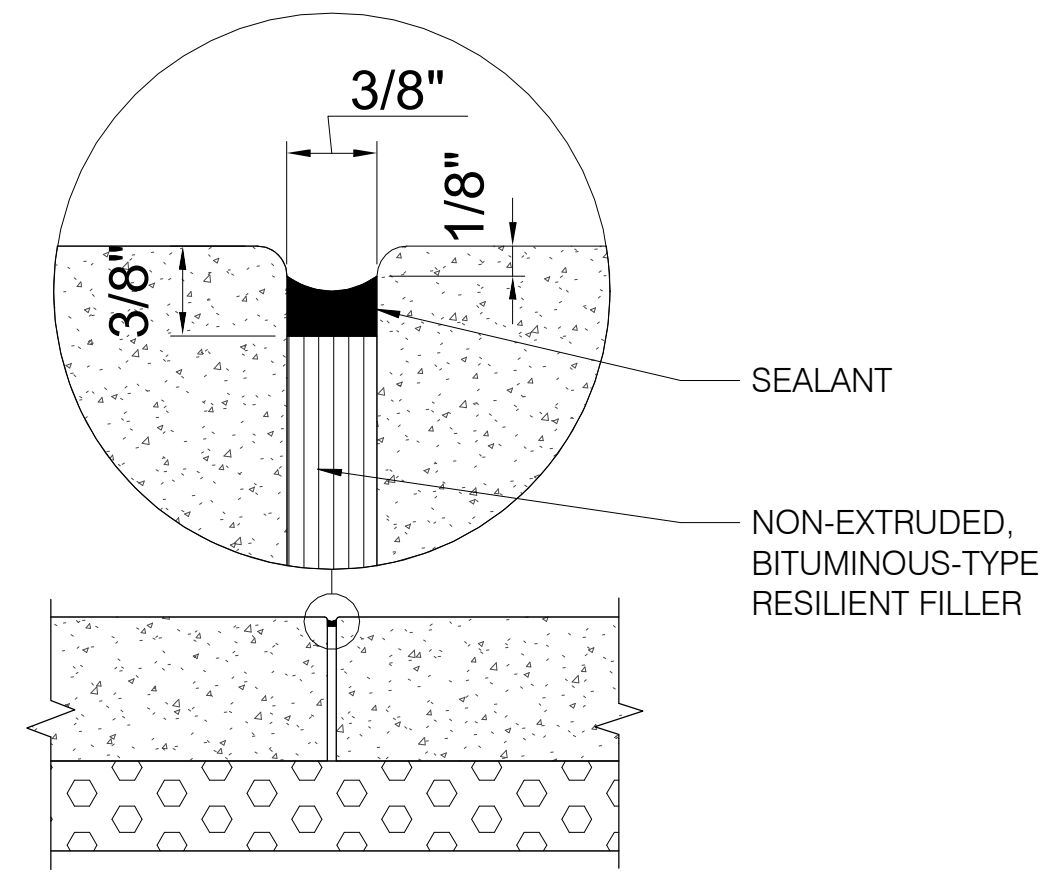
B3  
AS501  
SCALE: 1 1/2" = 1'-0"



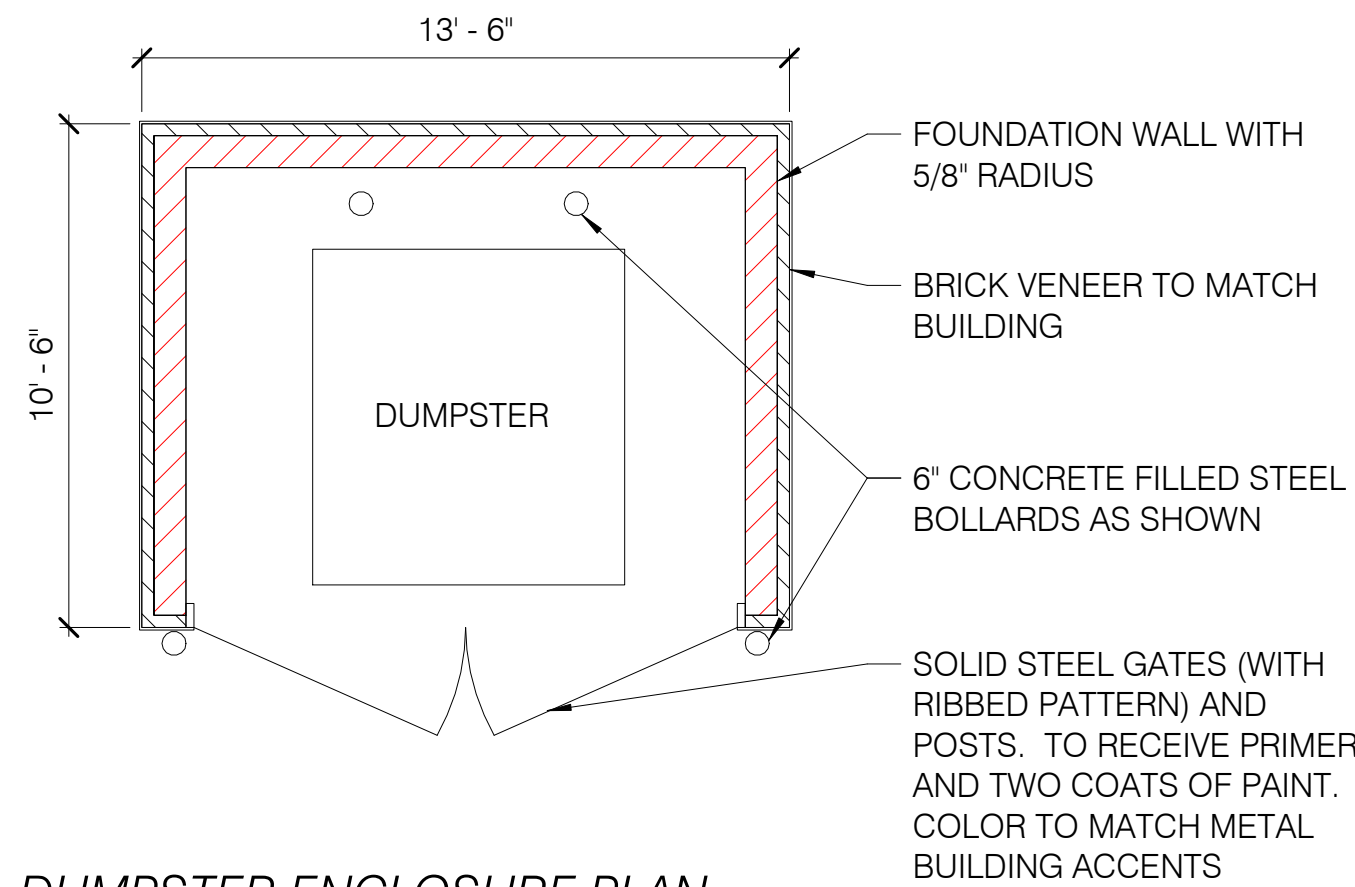
### TOOLED JOINT W/ ENLARGED DETAIL



### EXPANSION JOINT W/ ENLARGED DETAIL

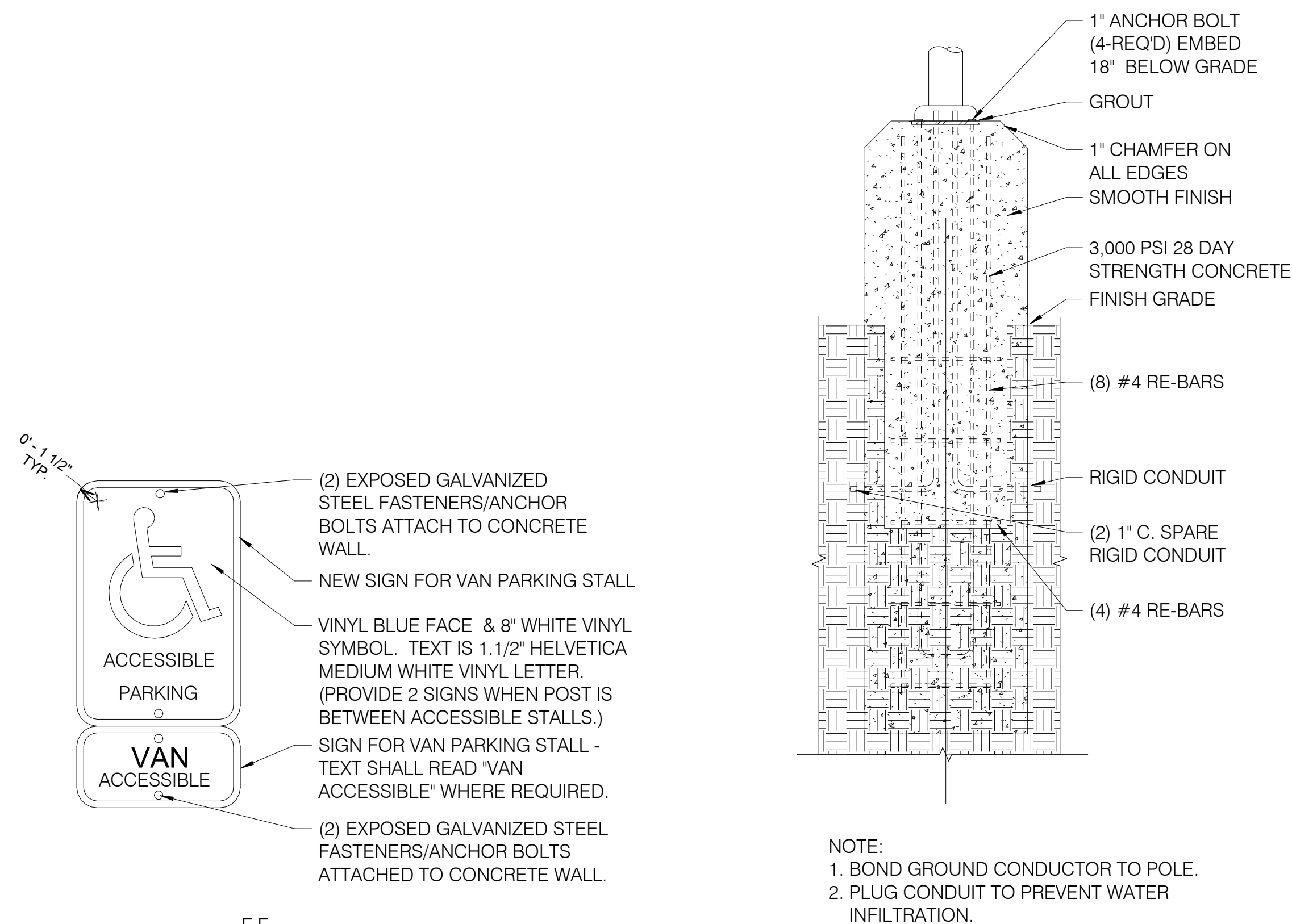


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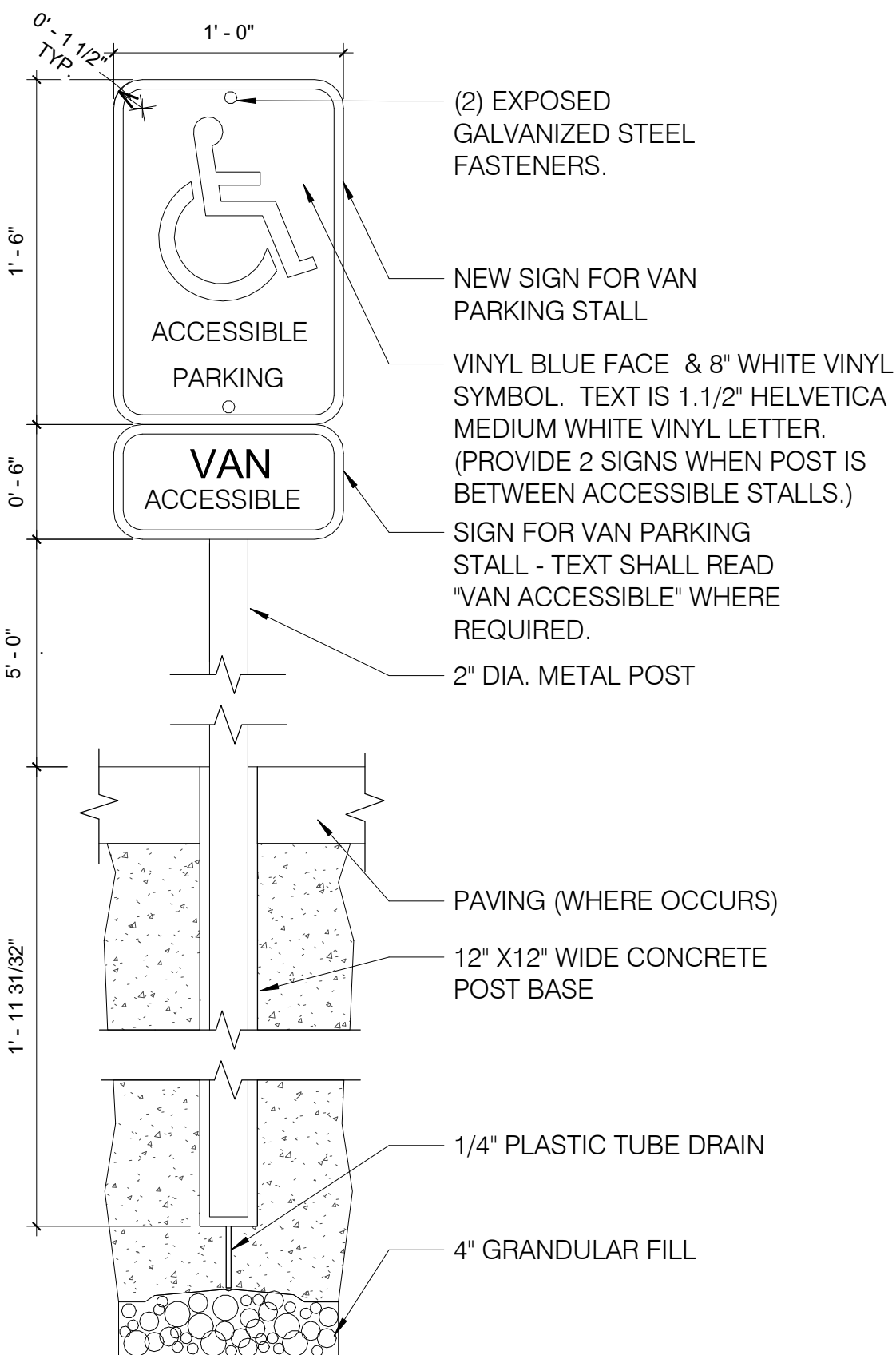


B1  
AS501  
DUMPSTER ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"

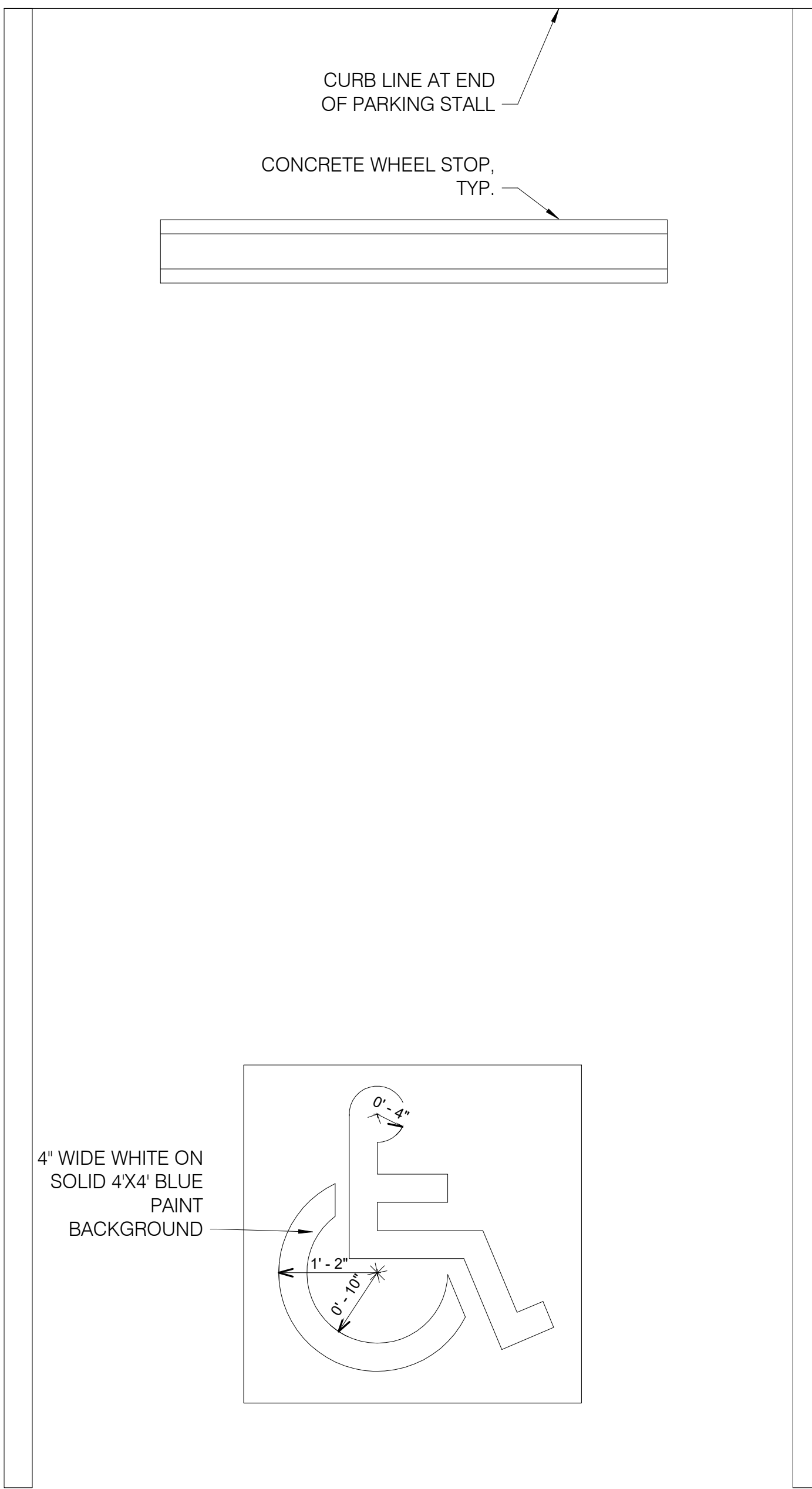
C



D2  
AS501  
POLE BASE DETAIL - 2  
SCALE: 3/4" = 1'-0"



D3  
AS501  
ACCESSIBLE PARKING SIGN  
SCALE: 1 1/2" = 1'-0"



D4  
AS501  
UNIVERSAL SYMBOL - FOR PARKING STALLS  
SCALE: 3/4" = 1'-0"

D

D1  
AS501  
ACCESSIBLE PARKING SIGN  
SCALE: 1 1/2" = 1'-0"

Y:\3D Projects\2022\22-013 Coll Law Draper\03 Drawings\02 Revit\COLL LAW DRAPER.rvt

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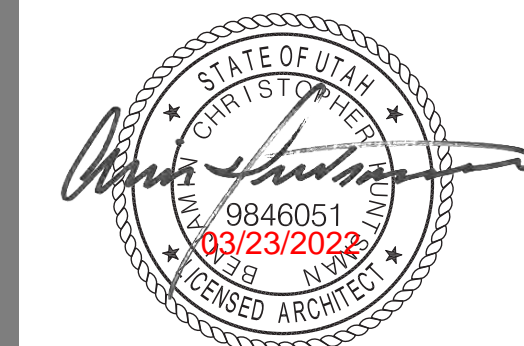


FIVE DEGREES DESIGN

3651 NORTH 100 EAST, STE 225  
PROVO, UTAH 84604  
801.960.9381  
architect@fivedegreesdesign.com

DATE: 23 MARCH 2022  
PROJECT #: 21-080  
DRAWN BY: RDW  
CHECKED BY: BCH

REVISIONS



PROJECT

ROCKWELL  
STATION  
NORTH  
BUILDING

ADDRESS:  
698 EAST 12100 SOUTH  
DRAPER, UT 84020

ARCHITECTURAL

TYPICAL  
ARCHITECTURAL SITE  
DETAILS

AS501



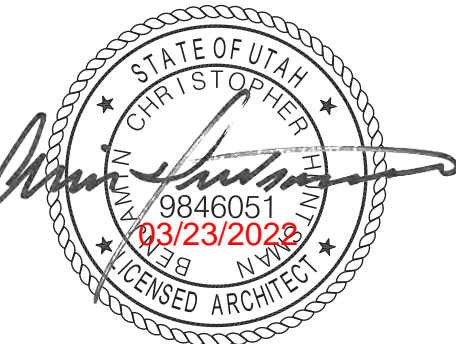


FIVE DEGREES DESIGN

3651 NORTH 100 EAST, STE 225  
PROVO, UTAH 84604  
801.960.9381  
architect@fivedegreesdesign.com

DATE: 23 MARCH 2022  
PROJECT #: 21-081  
DRAWN BY: TDG  
CHECKED BY: BCH

REVISIONS



PROJECT

ROCKWELL  
STATION  
SOUTH  
BUILDING

PRELIMINARY DRAWINGS

ADDRESS:  
696 EAST 12100 SOUTH  
DRAPER, UTAH 84020

ARCHITECTURAL

EXTERIOR ELEVATIONS

AE201

BUILDING MATERIAL		TOTALS
OVERALL BUILDING FACADE AREA	100%	2,153.40 SF
PRIMARY MATERIALS		
BRICK	70.5%	1,517.93 SF
WOOD PLANK COMPOSITE SIDING	18.4%	395.64 SF
METAL	2.7%	57.17 SF
PRE-CAST STONE	8.4%	182.66 SF



B1 NORTH ELEVATION  
AE201 SCALE: 3/16" = 1'-0"

BUILDING MATERIAL		TOTALS
OVERALL BUILDING FACADE AREA	100%	2,135.41 SF
PRIMARY MATERIALS		
BRICK	71.1%	1,517.93 SF
WOOD PLANK COMPOSITE SIDING	17.0%	363.70 SF
METAL	2.1%	44.12 SF
PRE-CAST STONE	9.8%	209.66 SF



D1 SOUTH ELEVATION  
AE201 SCALE: 3/16" = 1'-0"

\*\*MECHANICAL EQUIPMENT TO BE LOCATED ON THE ROOF AND SCREENED BY THE ROOF PARAPET\*\*

GENERAL NOTES

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- COORDINATE INSTALLATIONS OF ALL "AFTER CONTRACT" ASSEMBLIES WITH OWNER PRIOR TO CONSTRUCTION OF ADJOINING OR RELATED STRUCTURES.
- ROOFING TO BE CLASS 'C' MINIMUM.
- DO NOT SCALE DRAWINGS FOR CONSTRUCTION.
- PROVIDE METAL FLASHING AND COUNTER FLASHING AS REQUIRED TO PROVIDE WATERPROOF BUILDING. NO PLASTIC FLASHING ALLOWED.
- EXPOSED CONCRETE FOUNDATION WALLS TO RECEIVE RUBBED FINISH. ALL ROOF PENETRATIONS MAY NOT BE SHOWN. REFER TO ENGINEERING SHEETS FOR ALL REQUIRED PENETRATIONS AND DETAILING.
- SEE MECHANICAL SHEETS FOR BATHROOM EXHAUST, CLOTHES DRYER VENTS, AND OTHER PENETRATIONS IN EXTERIOR WALLS AND ROOF.
- SEE PLUMBING SHEETS FOR GAS METER AND SECONDARY ROOF DRAINAGE BRASS SCUPPER LOCATIONS ALONG EXTERIOR WALLS.
- SEE ELECTRICAL SHEETS FOR ELECTRICAL METER, GEAR, AND EXTERIOR LIGHT FIXTURE LOCATIONS.
- SEE AE601 FOR DOOR AND WINDOW INFORMATION.
- PROVIDE PRE-FINISHED CUT ALUMINUM NUMBERS AND LETTERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF NUMBERS AND LETTERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THE ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
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- PER DCMC SECTION 9-22-040(I) WINDOWS NEXT TO PEDESTRIAN WALKWAYS SHALL BE TRANSPARENT.
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A

B



B1  
AE202  
**EAST ELEVATION**  
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL	TOTALS	
OVERALL BUILDING FACADE AREA	100%	946.05 SF
PRIMARY MATERIALS		
BRICK	53.8%	509.25 SF
WOOD PLANK COMPOSITE SIDING	39.5%	373.12 SF
METAL	1.9%	18.00 SF
PRE-CAST STONE	4.8%	45.68 SF

BUILDING MATERIAL	COLOR	SWATCH
BRICK	WHITE	
WOOD PLANK COMPOSITE SIDING	WALNUT	
PRE-CAST STONE	DARK GRAY	
METAL	DARK GRAY	

\*\*MECHANICAL EQUIPMENT TO BE LOCATED ON THE ROOF AND SCREENED BY THE ROOF PARAPET\*\*

**GENERAL NOTES**

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
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- ROOFING TO BE CLASS 'C' MINIMUM.
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- PER DCMC SECTION 9-22-040(D) ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.

BUILDING MATERIAL	TOTALS	
OVERALL BUILDING FACADE AREA	100%	919.00 SF
PRIMARY MATERIALS		
BRICK	92.4%	521.00 SF
WOOD PLANK COMPOSITE SIDING	00%	375.75 SF
METAL	1.9%	18.00 SF
PRE-CAST STONE	5.7%	82.15 SF

Y:\3D Projects\2021\21-081 Rockwell Station South Office Building\03 Drawings\02 Revit\ROCKWELL STATION SOUTH\_V3.rvt

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D2  
AE202  
**WEST ELEVATION**  
SCALE: 3/16" = 1'-0"

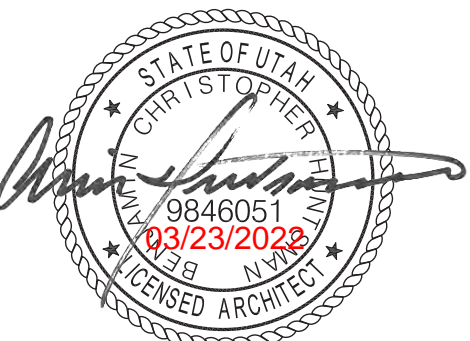


**FIVE DEGREES DESIGN**

3651 NORTH 100 EAST, STE 225  
PROVO, UTAH 84604  
801.960.9381  
architect@fivedegreesdesign.com

DATE: 23 MARCH 2022  
PROJECT #: 21-081  
DRAWN BY: TDG  
CHECKED BY: BCH

REVISIONS



PROJECT

**ROCKWELL  
STATION  
SOUTH  
BUILDING**

PRELIMINARY DRAWINGS

ADDRESS:  
696 EAST 12100 SOUTH  
DRAPER, UTAH 84020

**ARCHITECTURAL**

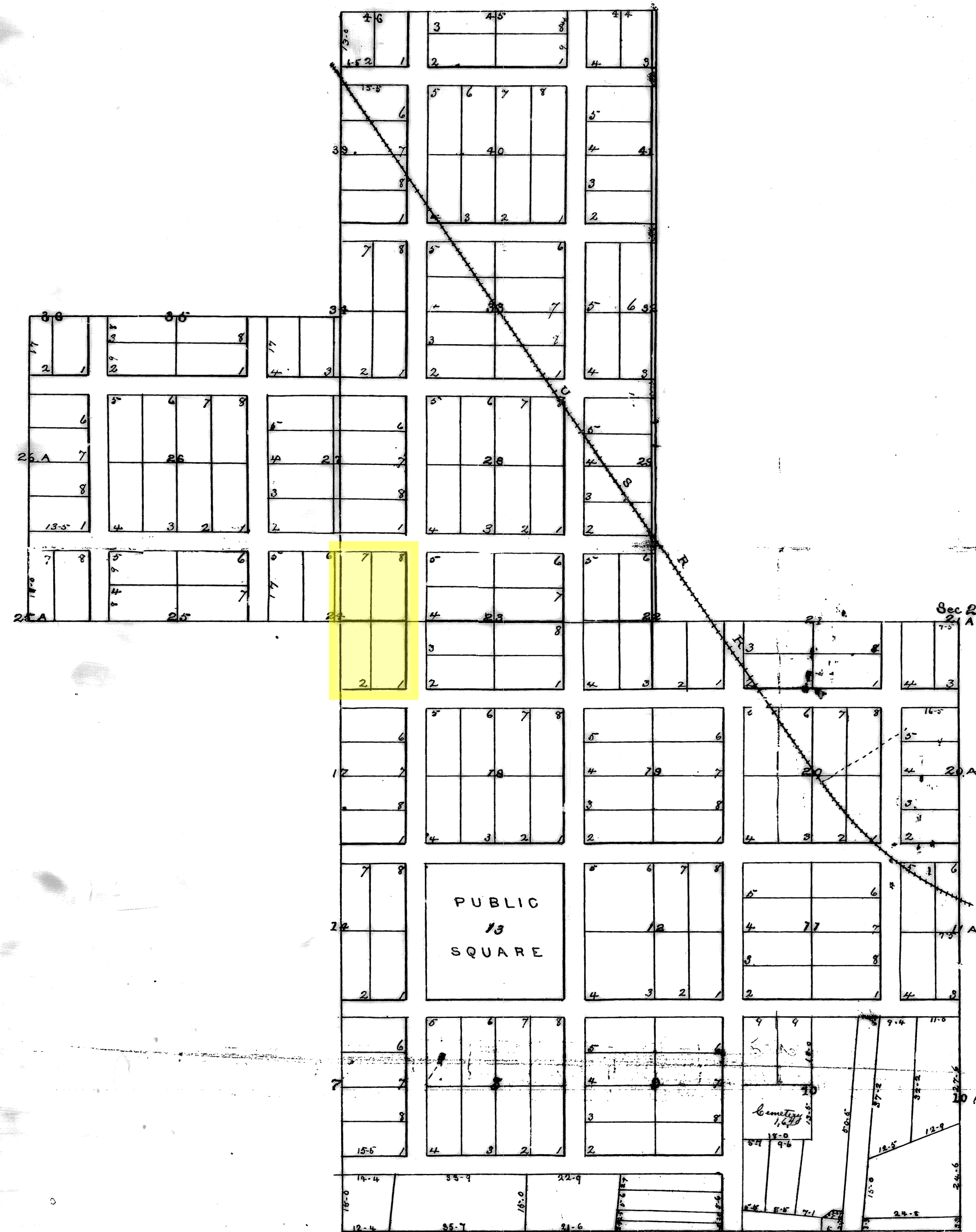
EXTERIOR ELEVATIONS

**AE202**



**EXHIBIT I**  
**EXISTING SUBDIVISION PLAT**

# MAP OF DRAPERVILLE T 3 S - R 1 E



Lots 9 by 18 Rods  
Streets 5 Rods Wide

This is To Certify That on the Month  
of June 1873 the original plat  
of Blocks 1 & 2 was laid out  
as indicated on this plat

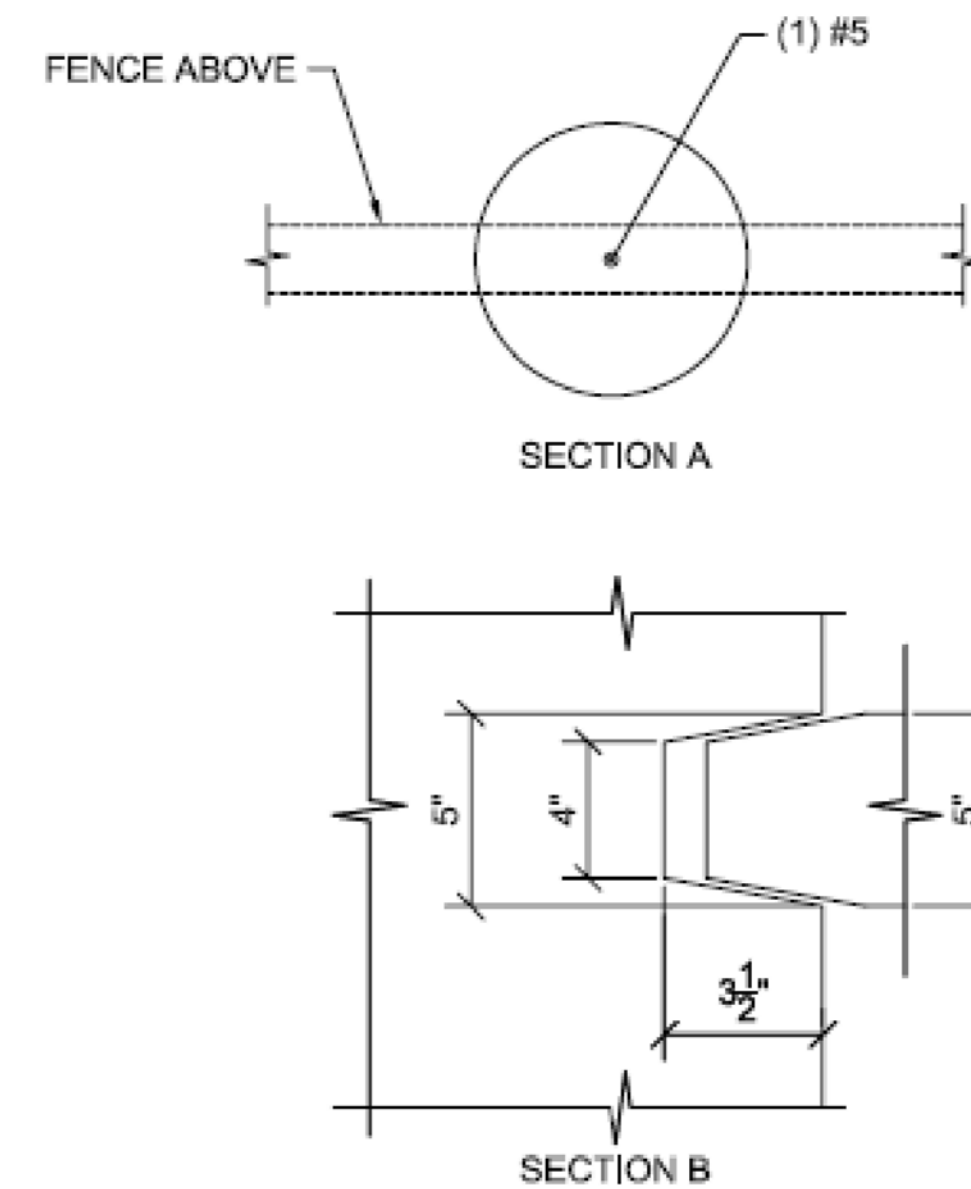
Scale 20


A-69

RECORDS NOTE: THE ORIGINAL RECORDED VERSION OF THIS PLAT IS STORED IN THE CLOSET LOCATED IN UNIT IN SLOT B7.

**EXHIBIT J**  
**FENCING**

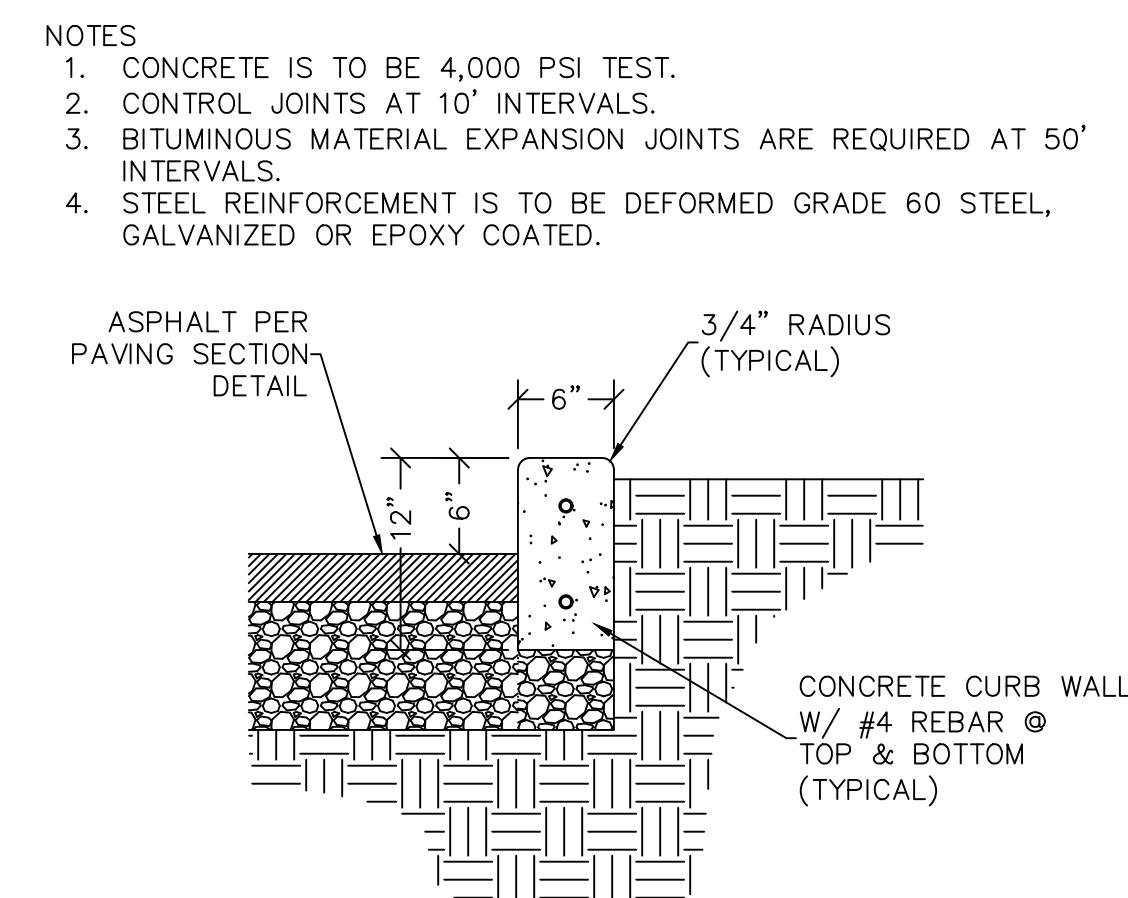




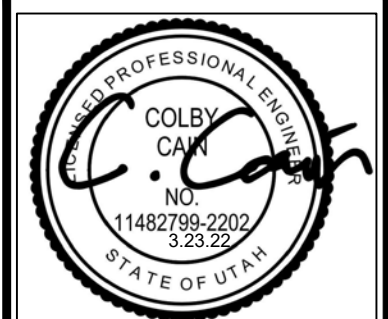
<h1 style="text-align: center;">TYP. 8' PANEL, PIER &amp; POST</h1>	
<h2 style="text-decoration: underline;">CONCRETE</h2>	
f'c = 5,000 PSI	f'cl = 2,500 PSI
SLUMP: 4"-9"	FPU: N/A
FINISH: PATTERN	MIX: TBD
WEIGHT: 150 LBS. PCF.	AIR: 5%
VOLUME: TBD	SHIPPING WT: TBD
 <h1 style="margin: 0;">WELL</h1> <h2 style="margin: 0;">PRECAST</h2> <p style="margin: 0;">16500 SOUTH 500 WEST BLUFFDALE, UTAH 84065 PHONE: (801) 571-5041 FAX: (801) 876-0115</p>	
SHEET TITLE:	CHECKED BY:
SOUND WALL	R.B.
DRAWN BY:	SHEET #
J.A.	<h1 style="font-size: 4em; margin: 0;">F-4.2</h1>
DATE:	
3-1-10	

NOTES:

1. POST AND PANEL CONCRETE TO BE 5000 PSI.
2. FOOTING CONCRETE TO BE 3000 PSI.
3. MINIMUM SOIL LATERAL BEARING ALLOWABLE: 150 PSF/FT. OF DEPTH BELOW GRADE
4. MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2000 PSF.
5. DIMENSIONS MAY BE REDUCED TO FIT PROJECT REQUIREMENTS.
6. GROUT BETWEEN POST AND FOOTING TO BE 2500 PSI.



**C3 6"X12" CONCRETE CURB WALL**  
TYPICAL  
N.T.S.



NORTHSTAR DRAPER

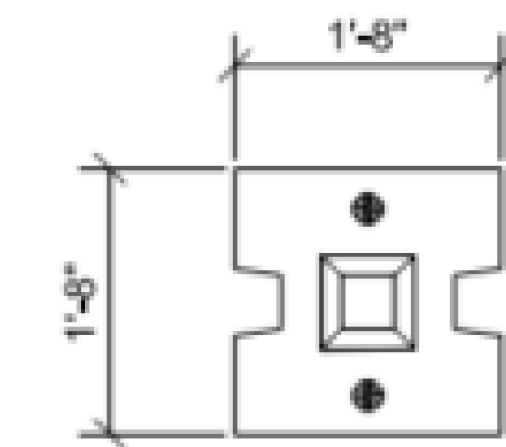
DRAPER, UTAH

REV	DATE	DESCRIPTION
1	2.17.2022	DRAPER CITY REDLINES
2	3.23.2022	DRAPER CITY REDLINES

## ITE DETAILS

C1-2





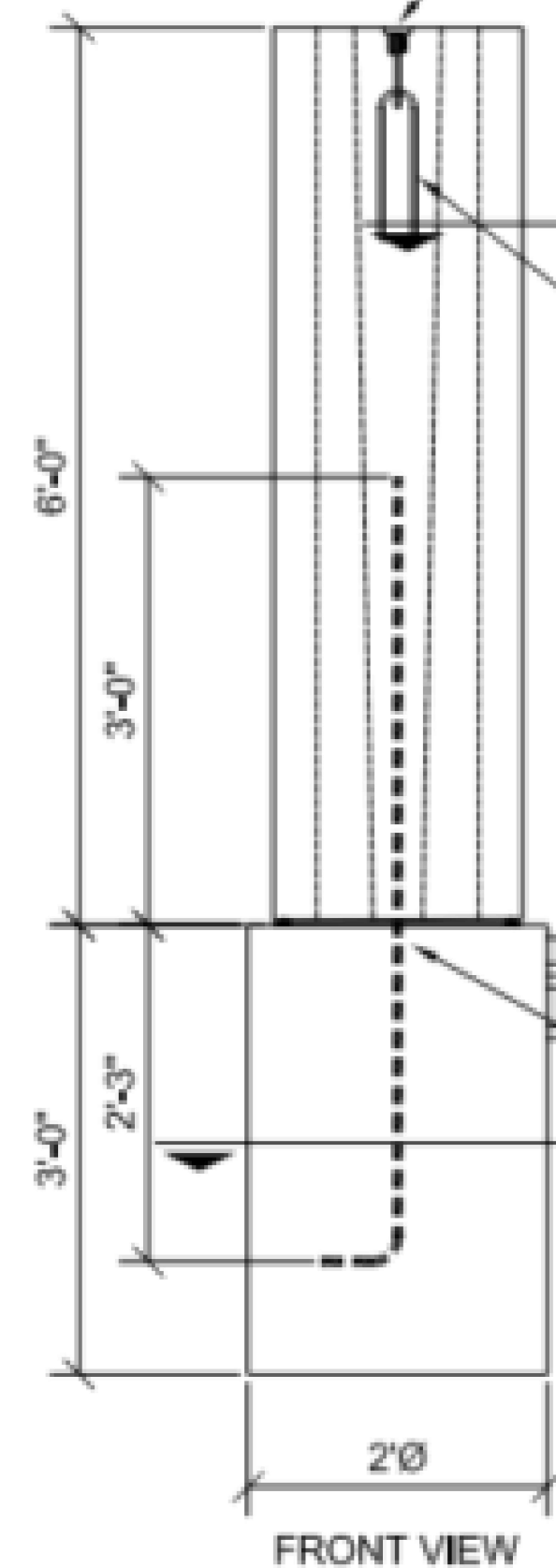
COLUMN  
TOP VIEW

(2) 3/4"Øx6" B-16 COIL LOOP  
INSERTS W/ 1/2" RECESS

(2) 3/4"Øx6" B-16  
COIL LOOP INSERTS  
W/ 1/2" RECESS

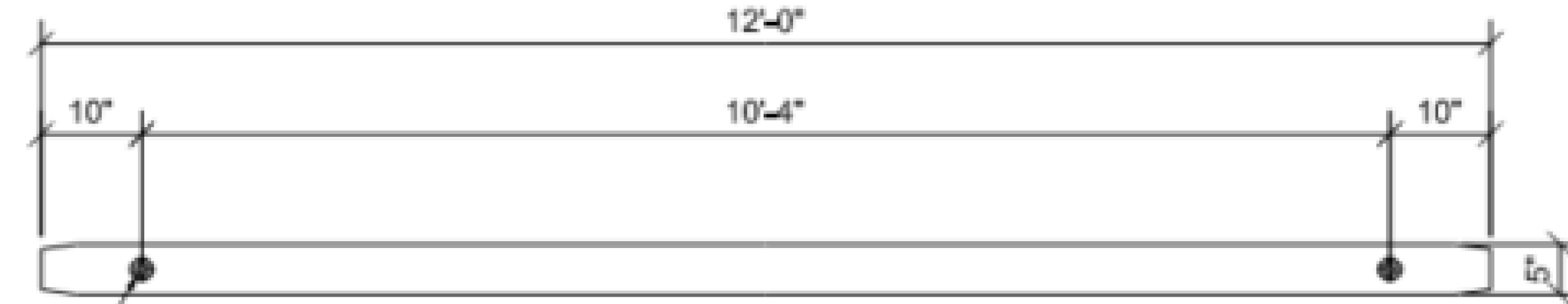
#4 REBAR @ PERIMETER  
CENTER OF PANEL THICKNESS  
1 1/2" MIN. CLEAR ALL AROUND

B  
#3 HAIR PIN  
THRU INSERT

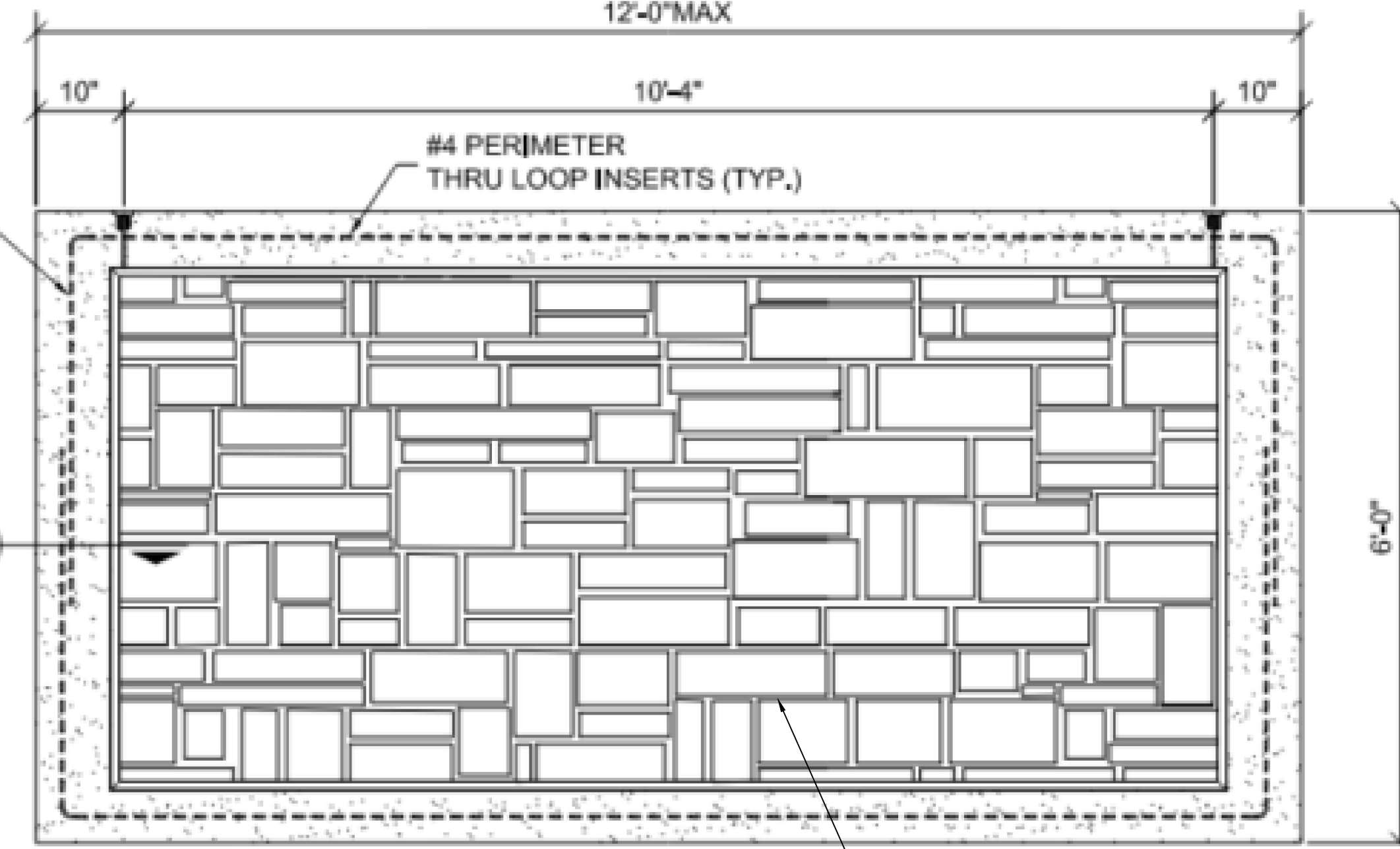


FRONT VIEW

A  
UNDISTURBED  
NATIVE SOIL  
(1) #4 REBAR DOWEL  
W/ STD. HOOK TO POST



WALL TOP VIEW

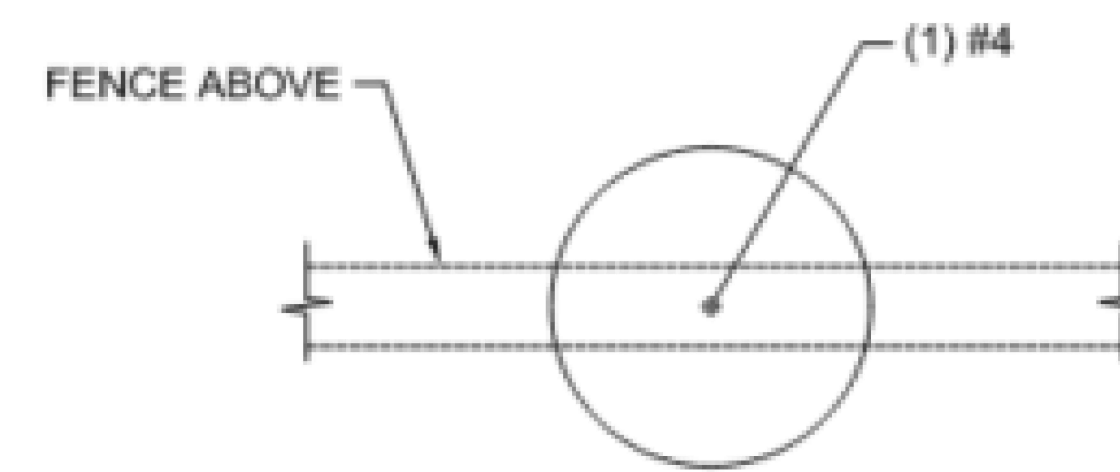


WALL FRONT VIEW

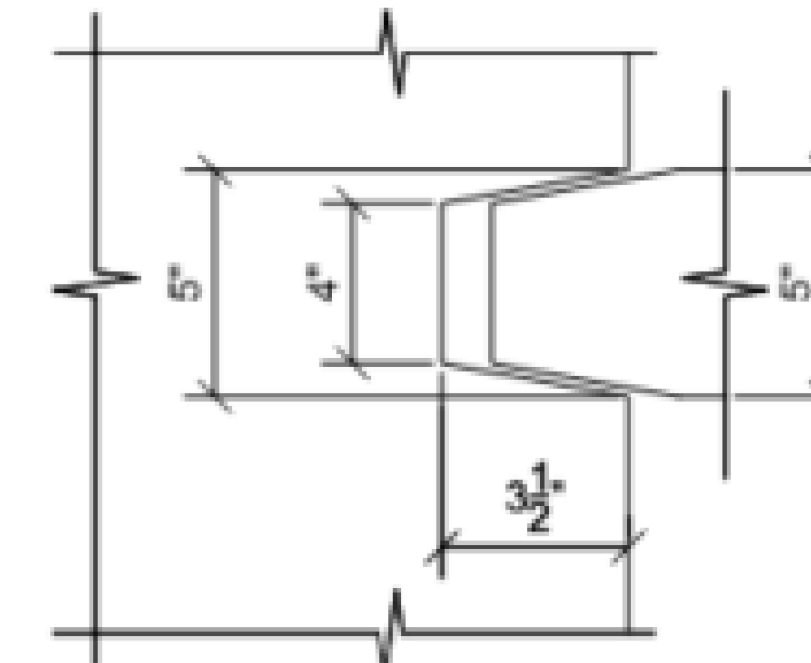
NOTES:

1. POST AND PANEL CONCRETE TO BE 5000 PSI.
2. FOOTING CONCRETE TO BE 3000 PSI.
3. MINIMUM SOIL LATERAL BEARING ALLOWABLE: 150 PSF/FT. OF DEPTH BELOW GRADE
4. MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2000 PSF.
5. DIMENSIONS MAY BE REDUCED TO FIT PROJECT REQUIREMENTS.
6. GROUT BETWEEN POST AND FOOTING TO BE 2500 PSI.

COLOR TO BE BEIGE



SECTION A



SECTION B

TYP. 6' PANEL, PIER & POST

CONCRETE	
$f_c = 5,000 \text{ PSI}$	$f_d = 2,500 \text{ PSI}$
SLUMP: 4"-9"	FPU: N/A
FINISH: PATTERN	MX: TBD
WEIGHT: 150 LBS. PCF.	AIR: 5%
VOLUME: TBD	SHIPPING WT: TBD
<b>OWELL</b> PRECAST 16500 SOUTH 500 WEST BLUFFDALE, UTAH 84065 PHONE: (801) 571-5041 FAX: (801) 676-0115	
SHEET TITLE:	CHECKED BY:
SOUND WALL	R.B.
DRAWN BY:	SHEET #
J.A.	F-4.1
DATE:	
3-1-10	

PRECAST CONCRETE FENCE

(DESIGNED/ ENGINEERED BY OTHERS, DETAIL FOR REFERENCE ONLY)

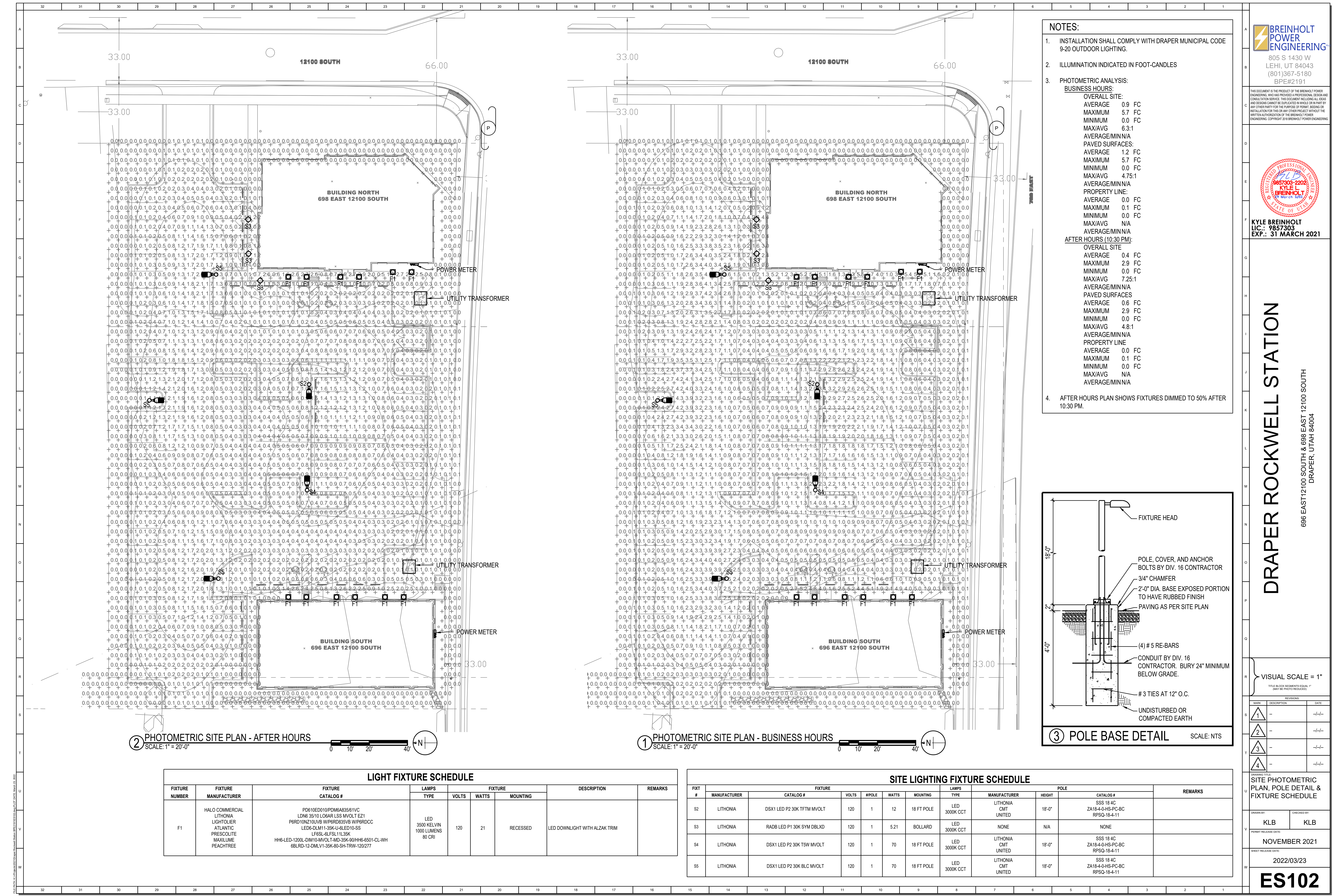
REV	DATE	DESCRIPTION
1	2/17/2022	DRAPER CITY REDLINES
2	3/23/2022	DRAPER CITY REDLINES

SITE DETAILS

C1-3

**EXHIBIT K**  
**LIGHTING PLAN**





**NOTES:**

1. INSTALLATION SHALL COMPLY WITH DRAPER MUNICIPAL CODE 9-20 OUTDOOR LIGHTING.

2. ILLUMINATION INDICATED IN FOOT-CANDLES

3. PHOTOMETRIC ANALYSIS:

**BUSINESS HOURS:**

OVERALL SITE:

AVERAGE 0.9 FC

MAXIMUM 5.7 FC

MINIMUM 0.0 FC

MAX/AVG 6.3:1

AVERAGE/MIN/N/A

PAVED SURFACES:

AVERAGE 1.2 FC

MAXIMUM 5.7 FC

MINIMUM 0.0 FC

MAX/AVG 4.75:1

AVERAGE/MIN/N/A

PROPERTY LINE:

AVERAGE 0.0 FC

MAXIMUM 0.1 FC

MINIMUM 0.0 FC

MAX/AVG N/A

AVERAGE/MIN/N/A

**AFTER HOURS (10:30 PM):**

OVERALL SITE:

AVERAGE 0.4 FC

MAXIMUM 2.9 FC

MINIMUM 0.0 FC

MAX/AVG 7.25:1

AVERAGE/MIN/N/A

PAVED SURFACES:

AVERAGE 0.6 FC

MAXIMUM 2.9 FC

MINIMUM 0.0 FC

MAX/AVG 4.8:1

AVERAGE/MIN/N/A

PROPERTY LINE:

AVERAGE 0.0 FC

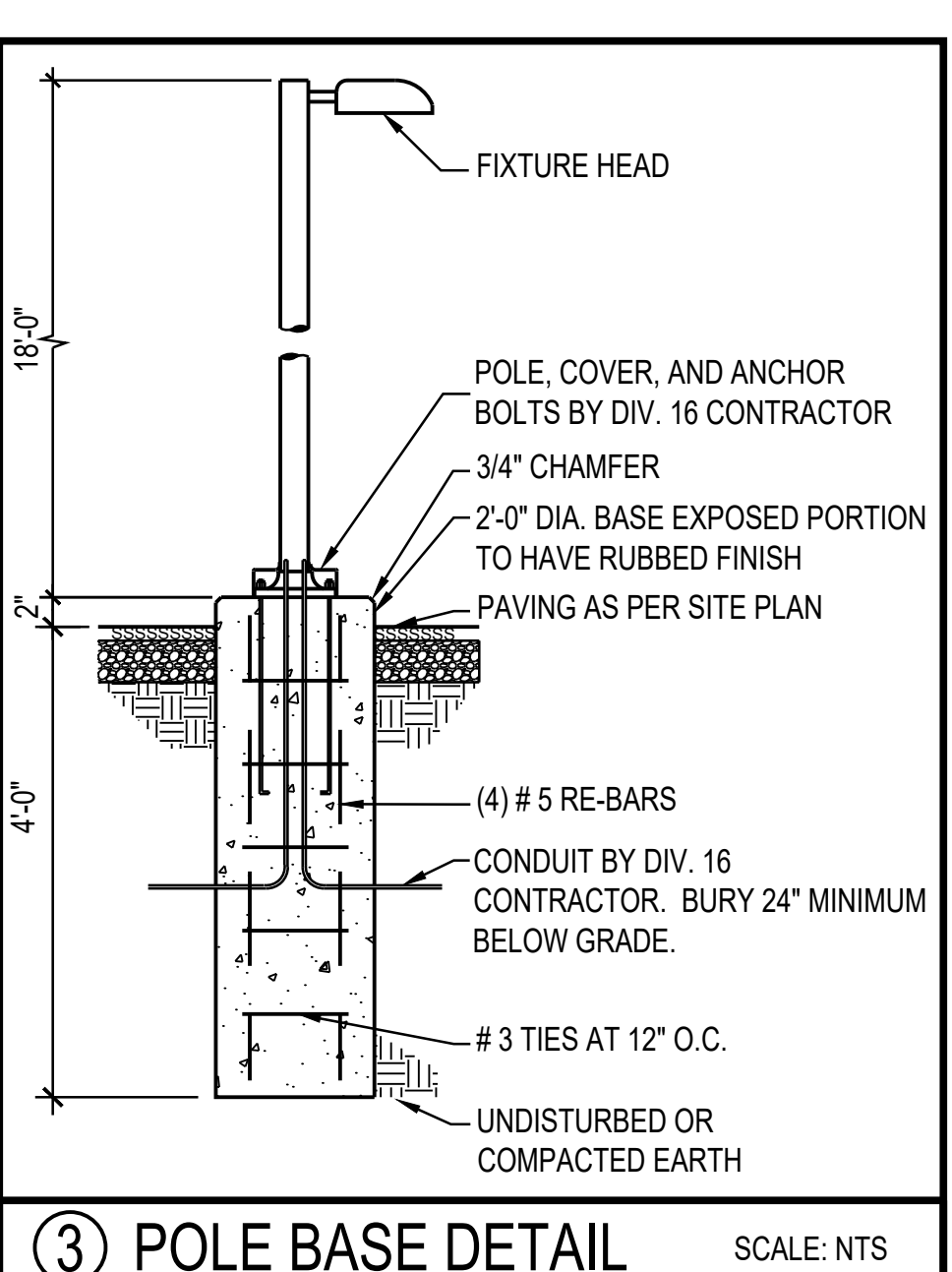
MAXIMUM 0.1 FC

MINIMUM 0.0 FC

MAX/AVG N/A

AVERAGE/MIN/N/A

4. AFTER HOURS PLAN SHOWS FIXTURES DIMMED TO 50% AFTER 10:30 PM.



② PHOTOMETRIC SITE PLAN - AFTER HOURS

SCALE: 1" = 20'-0"

① PHOTOMETRIC SITE PLAN - BUSINESS HOURS

SCALE: 1" = 20'-0"

LIGHT FIXTURE SCHEDULE					
FIXTURE NUMBER	FIXTURE MANUFACTURER	FIXTURE CATALOG #	LAMPS		REMARKS
			TYPE	VOLTS	
F1	HALO COMMERCIAL LITHONIA ATLANTIC PRESQUITE MAXILUME PEACHTREE	PD610ED10/PDM6A835/1VC LDN6 35/10 LOGAR LSS MVOLT EZ1 PRDR10N210UVB W/PDR835VB W/PDRCC LED-DLM11-35K-U-LED10-SS LF6SL-BLFL11-35K HH6-LED-1200L-DIM10-MVOLT-MD-35K-90HH6-6501-CL-WH 6BLRD-12-DMLV1-35K-80-SH-TRW-120/277	LED 3500 KELVIN 1000 LUMENS 80 CRI	120	RECESSED LED DOWNLIGHT WITH ALZAK TRIM

SITE LIGHTING FIXTURE SCHEDULE											
FIXT #	FIXTURE						LAMPS	POLE			REMARKS
	MANUFACTURER	CATALOG #	VOLTS	#POLE	WATTS	MOUNTING		TYPE	MANUFACTURER	HEIGHT	
S2	LITHONIA	DSX1 LED P2 30K TFTM MVOLT	120	1	12	18 FT POLE	LED 3000K CCT	LITHONIA CMT UNITED	18'-0"	SSS 18 4C ZA18-4-0-HS-PC-BC RPSQ-18-4-11	
S3	LITHONIA	RADB LED P1 30K SYM DBLXD	120	1	5.21	BOLLARD	LED 3000K CCT	NONE	N/A	NONE	
S4	LITHONIA	DSX1 LED P2 30K TSW MVOLT	120	1	70	18 FT POLE	LED 3000K CCT	LITHONIA CMT UNITED	18'-0"	SSS 18 4C ZA18-4-0-HS-PC-BC RPSQ-18-4-11	
S5	LITHONIA	DSX1 LED P2 30K BLC MVOLT	120	1	70	18 FT POLE	LED 3000K CCT	LITHONIA CMT UNITED	18'-0"	SSS 18 4C ZA18-4-0-HS-PC-BC RPSQ-18-4-11	

805 S 1430 W  
LEHI, UT 84043  
(801)367-5180  
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**KYLE BREINHOLT**  
LIC.: 9857303  
EXP.: 31 MARCH 2021

DRAPER ROCKWELL STATION

696 EAST 12100 SOUTH & 698 EAST 12100 SOUTH  
DRAPER, UTAH 84004

VISUAL SCALE = 1"		
MARK	DESCRIPTION	DATE
①	---	---
②	---	---
③	---	---
④	---	---

DRAWING TITLE  
SITE PHOTOMETRIC PLAN, POLE DETAIL & FIXTURE SCHEDULE

DRAWN BY: KLB CHECKED BY: KLB

PERMIT RELEASE DATE:  
NOVEMBER 2021

SHEET RELEASE DATE:  
2022/03/23

**ES102**

**EXHIBIT L**  
**APPLICANT'S DEVIATION REQUEST LETTER**





## FIVE DEGREES DESIGN

March 24, 2022,

Draper City Planning Division

RE: Rockwell Station Site Plan – Address 696 E 12100 S and 698 E 12100 S

Planning Commission,

This letter will seek to articulate how we meet at least three (3) of the below criteria for a deviation of design standards as detailed in both Sections 9-22-050(A)(1) and 9-22-050(A)(5) to allow us to proceed with our buildings located with their main facades and entrance locations oriented to towards the parking lot rather than the principal street to which they have frontage.

**Deviation Criteria:** The Planning Commission shall take into consideration at least three (3) of the ten (10) criteria in considering a deviation of the design standards. Below we list the criteria that we believe we meet to have a deviation approval:

***1. The building design is a specific architectural style, such as contemporary or modern, which utilizes facade materials differently than prescribed in subsection 9-22-040F of this chapter and is designed by a licensed architect.***

a. The building utilizes façade materials differently in that the building is dedicated to utilizing materials that are 100% primary materials including brick and metal. In addition, the building has been designed by Five Degrees Design, a well-respected licensed architectural firm in the State of Utah whose designs and layouts can be found on Draper City's very own website.

***2. The amount of primary materials used for a facade is at least ten percent (10%) greater than the minimum required amount.***

a. The minimum required primary material is 75%, we are utilizing 100% primary material and thus exceeding the 75% requirement and not requiring the use of any secondary material. We meet this requirement on all four sides of both buildings.

***3. The variations are consistent with the purpose of this chapter and any applicable master plan or ordinance.***

a. The variation that we are requesting is consistent with the purpose of Chapter 9-22 and other ordinances found throughout the code in that: (1) the higher quality design presented will bring further value to the commercial community and attract businesses which positively contribute to the quality of life for Draper citizens; (2) this deviation will ensure a quality development by allowing Draper citizens to easily navigate the building given the site constraints for a narrow lot; (3) the code encourages building presence in the streetscape and this design accomplishes this directive; and (4) the building demonstrates imaginative design, increased landscaping and reflects the character of surrounding development through similar positive and desirable features.

Five Degrees Design, LLC

A handwritten signature in black ink, appearing to read "Chris Huntsman", with a stylized, flowing script.

Chris Huntsman

Architect

Five Degrees Design





# MEMO

To: Planning Commission

From: Jennifer Jastremsky, AICP

CC:

Date: April 28, 2022

Re: Summerhays Landscaping Office – Plat Amendment Request

---

## Comments:

This application is a request for approval of a Plat Amendment for approximately 2.41 acres located on the south side of 12300 South, at approximately 143 East 12300 South. The property is currently zoned CSD-DP. The applicant is requesting that a Plat Amendment be approved to allow for division of the lot into two.

The findings are as follows:

For approval as are follows:

1. There is good cause for the amendment; and no public street, right-of-way, or easement has been vacated or amended.

## ATTACHMENTS:

Description

PC Staff Report

Upload Date

4/22/2022

Type

Cover Memo



---

**Development Review Committee**

1020 East Pioneer Road

Draper, UT 84020

April 19, 2022

**To:** Draper City Planning Commission  
Business Date: April 28, 2022

**From:** Development Review Committee

**Prepared By:** Jennifer Jastremsky, AICP, Planning Manager/Zoning Administrator  
Planning Division  
Community Development Department  
801-576-6328, [jennifer.jastremsky@draperutah.gov](mailto:jennifer.jastremsky@draperutah.gov)

**Re: Summerhays Landscaping Office – Plat Amendment Request**

Application No.: SUBD-12-2022  
Applicant: Ryan Summerhays, representing Summerhays Landscaping  
Project Location: 134 East 12300 South  
Current Zoning: CSD-DP (Draper Peaks Commercial Special District) Zone  
Acreage: 2.41 Acres (Approximately 105,210 ft<sup>2</sup>)  
Request: Request for approval of a Plat Amendment in the CSD-DP zone regarding the division of land into two lots.

**BACKGROUND AND SUMMARY**

This application is a request for approval of a Plat Amendment for approximately 2.41 acres located on the south side of 12300 South, at approximately 143 East 12300 South (Exhibit B). The property is currently zoned CSD-DP. The applicant is requesting that a Plat Amendment be approved to allow for division of the lot into two.

The subject property is within the Draper Crossing development, which was approved with a development agreement in June 1997. The development agreement established the development requirements for the area including elements such as site uses, setbacks, parking requirements, lighting, and architectural design standards. The property was later incorporated into the CSD-DP zone in 2004.

The property has seen some changes over the years. It was originally part of a larger 4.13 acre property, Lot 2 of the Draper Crossing Subdivision, recorded in 1997. Lot 2 was later divided into three lots in 2007, Lots 2-A, 2-B, and 2-C. Lot 2-A was developed with the old





Fazoli's fast food restaurant, and more recently the Terra Mia restaurant. Lot 2-B was developed as the Discount Tire shop. Lot 2-C was developed with a small office and storage building for Summerhays Landscaping, with the majority of the property left vacant. In 2020 the property owner obtained a site plan approval to redevelop the Fazoli's lot and the vacant land on Lot 2-C into a hotel. With that application, the applicant amended the subdivision plat to consolidate Lots 2-A and 2-C into one. The current applicant would like to amend the lot in order to create a separate properties for the Summerhays Landscaping business and the hotel.

## **ANALYSIS**

General Plan and Zoning. The Land Use Map of the General Plan calls for the Commercial Special District land use designation for the subject property (Exhibit C). This category is characterized as follows:

## Commercial Special District

LAND USE DESCRIPTION	
<b>CHARACTERISTICS</b>	<ul style="list-style-type: none"> <li>• Include a wide range of commercial uses that are destination oriented and draw from a regional customer base</li> <li>• Compatible, master planned mix of day and evening uses consisting of office, light manufacturing, retail, residential, recreation and open space components</li> <li>• Limited traffic access points</li> <li>• Development is intended to consist of well designed, architecturally integrated structures which are appropriately landscaped and buffered from surrounding land uses</li> <li>• Uniform design standards and aesthetics</li> <li>• Access to individual properties should be provided only from frontage roads or major arterials</li> <li>• Common off-street traffic circulation and parking areas</li> </ul>
<b>LAND USE MIX</b>	<ul style="list-style-type: none"> <li>• Large-scale master-planned commercial centers</li> <li>• Big box centers</li> <li>• Corporate headquarters</li> <li>• Multi-story upscale office buildings</li> <li>• Multi-story upscale residential buildings</li> </ul>
<b>COMPATIBLE ZONING</b>	<ul style="list-style-type: none"> <li>• Adopted Commercial Special District zone</li> <li>• Adopted Major Freeway Arterial Frontage Road zone</li> </ul>
<b>LOCATION</b>	<ul style="list-style-type: none"> <li>• Strategically placed along high-traffic corridors with convenient points of traffic access to and from residential areas</li> <li>• Excellent transportation access to major highways</li> <li>• High visibility from the I-15 corridor</li> <li>• Proximity to both Salt Lake and Utah Counties</li> <li>• Provide adequate buffers in the form of setbacks, open space, low impact industrial uses, barriers, etc. adjacent to existing residential areas</li> <li>• Major streets serving these areas should accommodate truck traffic</li> </ul>

The property has been assigned the CSD-DP zoning classification (Exhibit D). According to Draper City Municipal Code (DCMC) Section 9-8-020 the purpose of the CSD zone is to *"permit a compatible, master planned mix of day and evening uses consisting of office, light manufacturing, retail, residential, recreation and open space components. Although development size and use mix will vary from location to location, each development is intended to consist of well designed, architecturally integrated structures which are appropriately landscaped and buffered from surrounding land uses."* The property abuts the CSD-DP zone on the north, west, and east sides and the CC (Community Commercial) zone to the south.

**Subdivision Layout.** The existing property is currently one lot with frontage on both Minuteman Dr. and Pioneer Rd (Exhibit E). The proposed plat will divide the property into two lots (Exhibit F). The new Lot 207 will be 2.31 acres in size. That lot will house the



approved but unbuilt hotel. The second lot will be Lot 208 and be 0.10 acres in size. That lot will house the existing Summerhays Landscaping office. The plat will allow for the two buildings, and the separate businesses they house, to be located on different lots. This will allow for the properties to be sold separately from each other.

The original Draper Crossing Subdivision provided for cross access between this property and the other lots within the development. These cross access points were not modified with any of the plat amendments and are not proposed to be modified now. Cross access will be provided to serve both the proposed lots and the existing lots within the overall Draper Crossing development.

**Criteria For Approval.** The grounds for review and potential approval of a subdivision plat amendment request is found in Section 17-9-040 of the DCMC. This section depicts the standard of review for such requests as:

*The Planning Commission may approve the vacation or amendment of a plat by signing an amended plat showing the vacation or amendment if the Land Use Authority finds that there is good cause for the vacation or amendment; and no public street, right-of-way, or easement has been vacated or amended.*

## **REVIEWS**

**Planning Division Review.** The Draper City Planning Division has completed their review of the Plat Amendment submission. Comments from this division, if any, can be found in Exhibit A.

**Engineering and Public Works Divisions Review.** The Draper City Engineering and Public Works Divisions have completed their reviews of the Plat Amendment submission. Comments from these divisions, if any, can be found in Exhibit A.

**Building Division Review.** The Draper City Building Division has completed their review of the Plat Amendment submission. Comments from this division, if any, can be found in Exhibit A.

**Fire Division Review.** The Draper City Fire Marshal has completed his review of the Plat Amendment submission. Comments from this division, if any, can be found in Exhibit A.

**Noticing.** Notice has been properly issued in the manner outlined in the City and State Codes.

## **STAFF RECOMMENDATION**

Staff finds that the application complies with the DCMC and recommends that the Planning Commission review the request, receive public comment, and approve the application based on the findings listed below and the criteria for approval, as listed within the staff report.

If the Planning Commission decides to approve the request, staff recommends they include the following conditions of approval:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. If the final plat is not recorded within one (1) year from the date of Planning Commission approval or construction of the required landscaping and infrastructure has not commenced, such approval shall be null and void. This time period may be extended by the Planning Commission for up to one additional six (6) month period for good cause shown. The subdivider must petition in writing for an extension prior to the expiration of the original one (1) year.

The findings for approval as are follows:

1. There is good cause for the amendment; and no public street, right-of-way, or easement has been vacated or amended.

## **MODEL MOTIONS**

Sample Motion for Approval – I move that we approve the Plat Amendment, as requested by Ryan Summerhays, representing Summerhays Landscaping for Summerhays Landscaping Office Plat Amendment, application SUBD-12-2022, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022.

Sample Motion for Modified Approval– I move that we approve the Plat Amendment, as requested by Ryan Summerhays, representing Summerhays Landscaping for Summerhays Landscaping Office Plat Amendment, application SUBD-12-2022, based on the findings and subject to the conditions listed in the Staff Report dated April 19, 2022 and as modified by the findings and conditions below:

1. List any additional findings and conditions...



**DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT**

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.

\_\_\_\_\_  
Draper City Public Works Department

\_\_\_\_\_  
Draper City Planning Division

\_\_\_\_\_  
Draper City Fire Department

\_\_\_\_\_  
Draper City Legal Counsel

\_\_\_\_\_  
Draper City Building Division



## **EXHIBIT A**

### **DEPARTMENT REVIEWS**

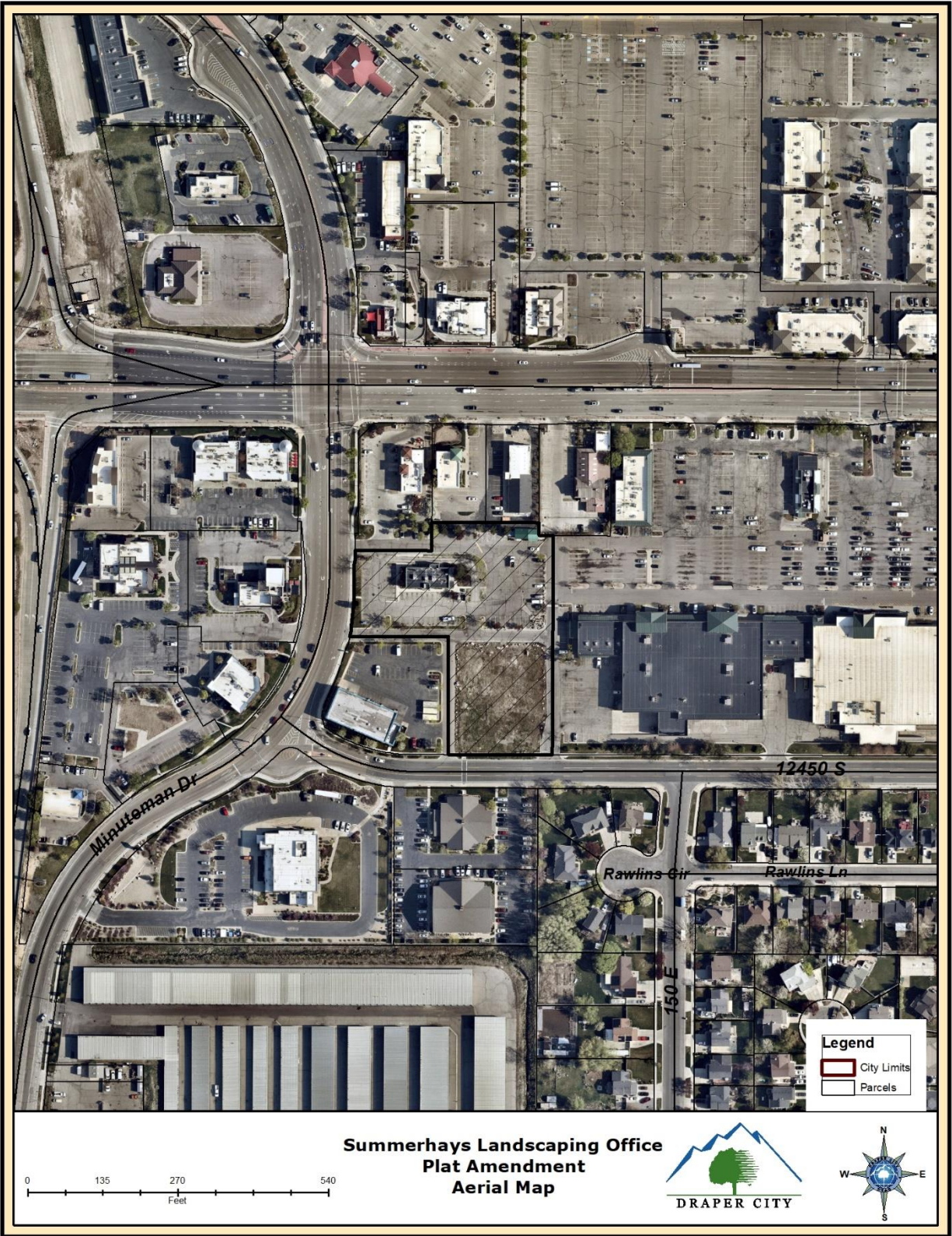
REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

#### *Fire Division Review.*

1. 2A-10BC Fire Extinguishers required. The extinguisher needs to be a serviceable type meaning metal head and metal neck. Extinguishers need to be located in a conspicuous location where they will be readily accessible and immediately available for use. Placed every 75 feet of travel. If in cabinet or not the extinguisher or cabinet needs to be mounted so that the top is not more than five (5) feet above the floor.



**EXHIBIT B  
AERIAL MAP**





# EXHIBIT C LAND USE MAP

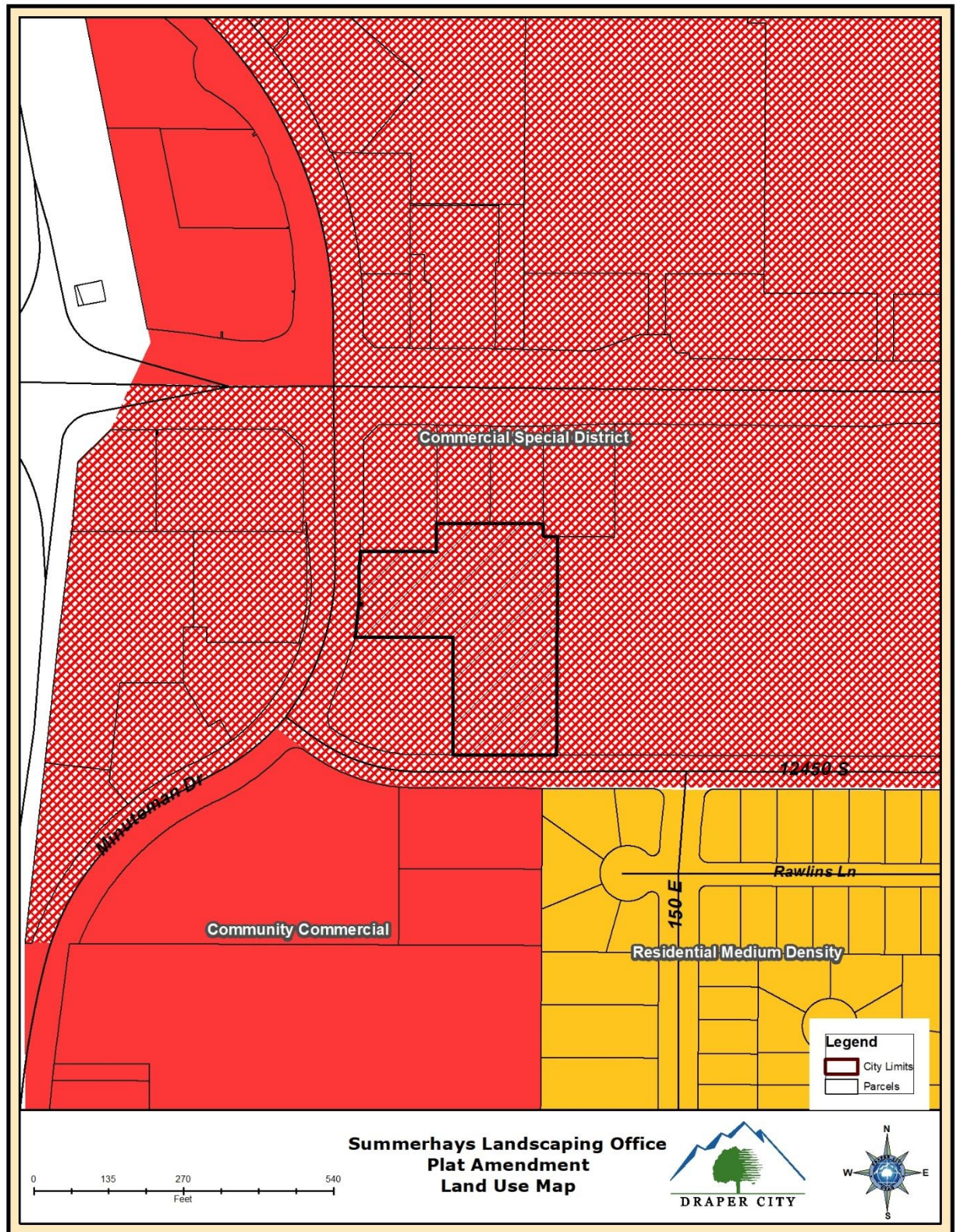
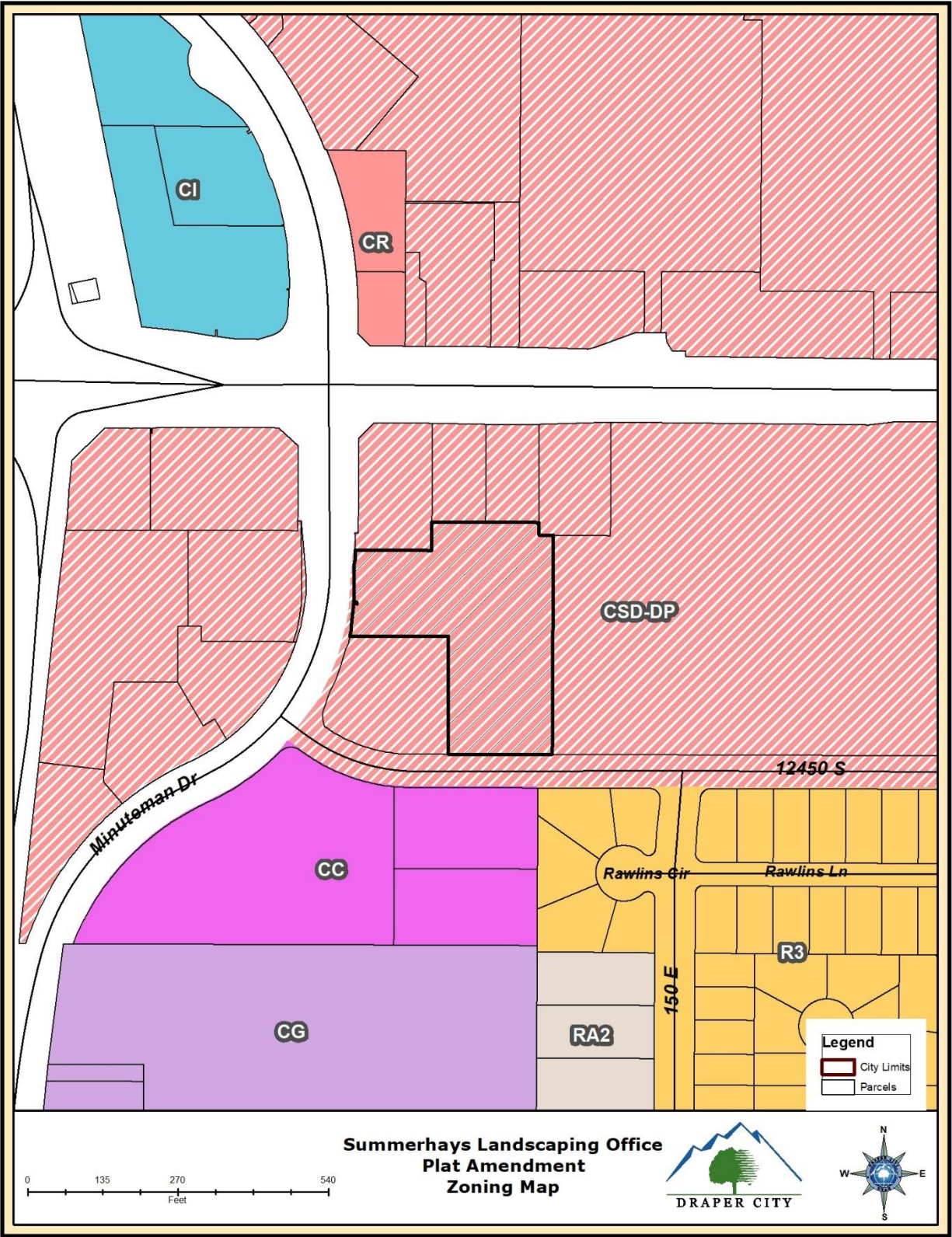




EXHIBIT D  
ZONING MAP

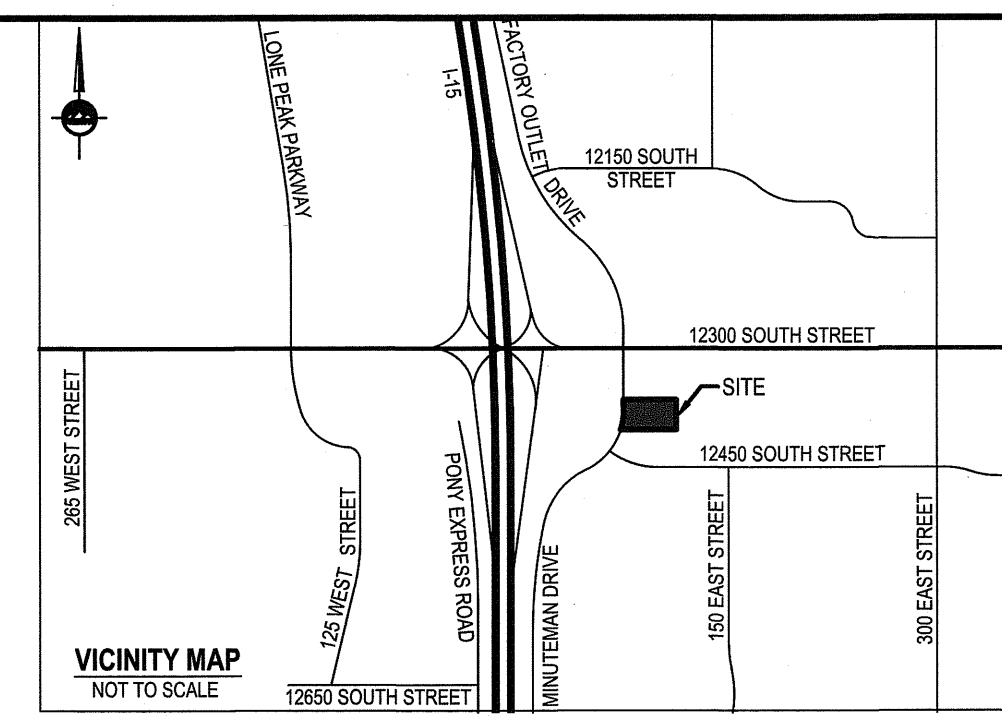
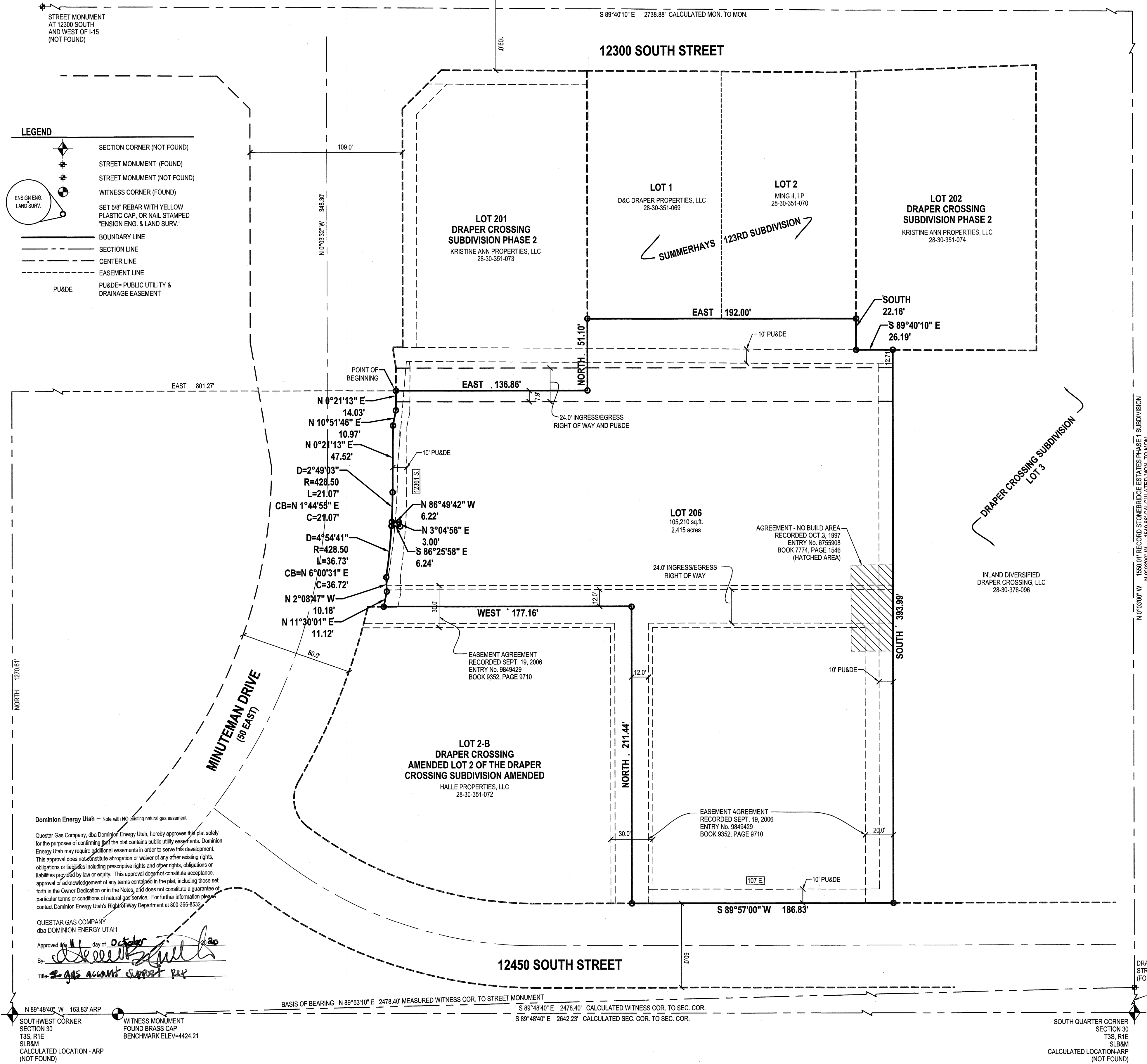


**EXHIBIT E**  
**EXISTING SUBDIVISION PLAT**



# DRAPER CROSSING SUBDIVISION PHASE 2 AMENDED

AMENDING LOTS 203 THRU 205 OF DRAPER CROSSING SUBDIVISION PHASE 2  
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 30,  
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN  
DRAPER CITY, SALT LAKE COUNTY, UTAH  
OCTOBER 2020



## GENERAL NOTES:

- PROPERTY IS ZONED CSD-PD, (COMMERCIAL SPECIAL DISTRICT-DRAPER PEAKS).
- ALL PUBLIC UTILITY AND DRAINAGE EASEMENTS (P.U.D.E.) ARE 10' FRONT, 10' SIDE AND 10' REAR UNLESS OTHERWISE NOTED HEREON. OTHER EASEMENTS ARE NOTED AND DESCRIBED HEREON.
- EXISTING BUILDINGS AND / OR EXISTING SITE IMPROVEMENTS ARE CONSTRUCTED ON ALL OF THE LOTS.
- STORM DRAIN TO BE MAINTAINED BY EACH LOT OWNER. STORM DRAINS IN COMMON DRIVES TO BE MAINTAINED BY LOT OWNER.
- EACH TENANT/PROPERTY OWNER IS REQUIRED TO MAINTAIN THE ADJACENT PUBLIC PARK STRIP.
- ALL COMMON LOT LINES MUST HAVE EXPECTABLE CROSS-ACCESS EASEMENT.
- EACH LOT SHALL HAVE A PERPETUAL, NON-EXCLUSIVE RIGHT-OF-WAY AND EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS AND VEHICULAR PARKING (WITHOUT CHARGE) ON, OVER AND ACROSS THOSE AREAS DESIGNED FOR SUCH USE.

## EASEMENT NOTES:

- Any easement and/or rights of way for the water distribution system and appurtenances of the Draper Irrigation Company, a corporation and for the State of Utah Board of Water Resources, as the same may be found to intersect the herein described property, as disclosed by means instruments of record, including that certain Easement To Use Distribution System recorded March 25, 1988, as Entry No. 4601931, in Book 6014, at Page 550, of Official Records.
- Restrictions and Easements Agreement, dated March 6, 1997, by and between Smith's Food & Drug Centers, Inc., West Bench Plaza, L.C., and Boyer - 3300 South Shopping Center Associates, LTD., and engineer by Guadalupe, and Alan Summerhays and Kristine Summerhays, recorded April 5, 1997, as Entry No. 6610999, in Book 7635, at Page 2307.
- Covenants, Conditions, Restrictions and/or Easements, except color, creed, national origin, religion, sex, handicap or familial status, unless and only to the extent that said Covenants (a) is exempt under Chapter 42, Section 3607 of the United States Code or (b) relates to handicap but does not discriminate against handicap persons contained in instrument: Amendment to said Covenants, Recorded September 14, 2000, Entry No. 7718719, Book/Page 8387/8384.
- Easement for installation and maintenance of utilities and drainage facilities, and incidental purposes are reserved, as shown on the recorded plat of the Draper Crossing Subdivision, recorded August 5, 1997 as Entry No. 6708850 in Book 9749 at Page 240 and also the recorded plat Amended Lot 2 Draper Crossing Subdivision Amended January 18, 2007 as Entry No. 9975404 in Book 2007P at Page 24 of Official Records and as shown on the PROPOSED Dedication Plat.
- NOTES as set forth on the recorded plat of the Draper Crossing Subdivision, recorded August 5, 1997 as Entry No. 6708850 in Book 9749 at Page 240 and also the recorded plat Amended Lot 2 Draper Crossing Subdivision Amended January 18, 2007 as Entry No. 9975404 in Book 2007P at Page 24 of Official Records and the terms, conditions and limitations contained therein, and as shown on the PROPOSED Dedication Plat.
- AGREEMENT and the terms, condition and limitations contained therein:  
Recorded: February 18, 1999, Entry No. 7260397, Book/Page 8250/8251
- EASEMENT AGREEMENT and the terms, conditions and limitations contained therein:  
Recorded: February 18, 1999, Entry No. 7260397, Book/Page 8250/8251

Shallow Sewer depths! "Contractor shall verify sewer lateral depth and set foundation elevation to provide adequate fall into sewer lateral. Buildings with a basement may not have sewer service available for basement."

## SOUTH VALLEY SEWER DISTRICT NOTE:

"THE SIGNATURE OF SOUTH VALLEY SEWER DISTRICT ON THIS PLAT DOES NOT CONSTITUTE ANY GUARANTEE OF AVAILABILITY OF SANITARY SEWER SERVICE TO THE PROPERTY OR ANY APPROVAL OF SEWER LINES OR FACILITIES. THE OWNER(S) OF THE PROPERTY MUST PROVIDE SATISFACTORY PLANS TO THE DISTRICT FOR REVIEW AND APPROVAL BEFORE CONNECTING TO THE DISTRICT'S SEWER SYSTEM AND WILL BE REQUIRED TO COMPLY WITH THE DISTRICT'S RULES AND REGULATIONS."

## ROCKY MOUNTAIN POWER NOTES:

- PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- PURSUANT TO UTAH CODE ANN. § 12-27A-603(V)(II) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE P.U.D.E. AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
  - A RECORDED EASEMENT OR RIGHT-OF-WAY
  - THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
  - TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
  - ANY OTHER PROVISION OF LAW.

## Dominion Energy Utah - Note:

Questar Gas Company dba Dominion Energy Utah, approves this plat for the purpose of approving the location, boundaries, course and extent of the Right-of-Way and Easement Grants and existing underground facilities. Nothing herein shall be construed to warrant or verify the precise location of such items. The Rights-of-Way and easements are subject to numerous restrictions appearing on the recorded right-of-way and easement grant(s). Dominion Energy Utah also approves this plat for the purpose of confirming that the plat contains public utility easements; however, Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set in the Owners Dedication or the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department at 800-366-8532.



## RECORD SURVEY DATA

ROS NO.: Not Filed  
NAME: Kent Settelberg  
SHEET 1 OF 1  
PROJECT NUMBER: 51936  
MANAGER: DAJ  
DRAWN BY: KFW  
CHECKED BY: PMH  
DATE: 10/26/20



<b>EASEMENT APPROVAL</b> DATE: 11-10-2020 DATE: 11-11-2020 DATE: 11-10-2020	<b>SOUTH VALLEY SEWER DISTRICT APPROVAL</b> APPROVED THIS 4 DAY OF November, 2020 BY THE SOUTH VALLEY SEWER DISTRICT SOUTH VALLEY SEWER DISTRICT MANAGER	<b>PLANNING COMMISSION APPROVAL</b> APPROVED THIS 17th DAY OF November, 2020 BY THE DRAPER CITY PLANNING COMMISSION CHAIR, DRAPER CITY PLANNING COMMISSION	<b>SALT LAKE COUNTY HEALTH DEPARTMENT APPROVAL</b> APPROVED THIS 12 DAY OF November, 2020 BY THE SALT LAKE VALLEY HEALTH DEPARTMENT SALT LAKE VALLEY HEALTH DEPARTMENT	<b>CITY ENGINEER APPROVAL</b> APPROVED THIS 3 DAY OF December, 2020 BY THE DRAPER CITY ENGINEER DRAPER CITY ENGINEER	<b>CITY MAYOR APPROVAL</b> PRESENTED TO THE MAYOR AND DRAPER CITY COUNCIL THIS 14 DAY OF December, 2020, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED. ATTEST: CLERK MAYOR	<b>CITY ATTORNEY'S APPROVAL</b> APPROVED THIS 14 DAY OF December, 2020 BY THE DRAPER CITY ATTORNEY DRAPER CITY ATTORNEY
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**SURVEYOR'S CERTIFICATE**  
I, PATRICK M. HARRIS, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold Certificate No. 286882 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyor's Act. I further certify that by authority of the Owners, I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to accurately establish the lateral boundaries of the herein described tract of real property; and has been drawn correctly to the designated scale and in accordance with the provisions of the Surveying Act, and based upon data compiled from records of the Salt Lake County Recorder's Office. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

**BOUNDARY DESCRIPTION**  
A parcel of land being all of Lots 203, 204 and 205 of Draper Crossing Subdivision Phase 2, recorded September 6, 2012 as Entry No. 11465899, in Book 2012P, at Page 136 in the Office of the Salt Lake County Recorder, said parcel being more particularly described as follows:  
  
Beginning at a point on the east line of Minuteman Drive, said point being North 1,270.61 feet and East 801.27 feet from the Southwest Corner of Section 30, Township 3 South, Range 1 East, Salt Lake Base and Meridian, said Southwest Corner of Section 30 being North 89°48'40" West 163.83 feet along the section line from a Witness Corner for said Southwest Corner of Section 30, with the Basis of Bearing being North 89°53'10" East 2478.40 feet from the said Witness Corner at a Sandy City Street Monument in 300 East Street, said Street Monument being North 0°03'00" West 13.10 feet along the quarter section line from the South Quarter Corner of said Section 30; and running  
  
thence East 136.86 feet;  
thence North 51.10 feet;  
thence East 192.00 feet;  
thence South 22.16 feet;  
thence South 89°40'10" East 26.19 feet;  
thence South 383.99 feet to the Northern Right-of-Way Line of 12450 South Street;  
thence South 89°57'00" West 186.83 feet along said Northern Right-of-Way Line;  
thence North 211.44 feet;  
thence West 177.16 feet to the Eastern Right-of-Way Line of Minuteman Drive;  
thence along said Eastern Right-of-Way Line the following ten (10) courses:  
(1) North 11°30'01" East 11.12 feet;  
(2) North 02°08'47" West 10.18 feet;  
(3) Northeastly 36.73 feet along the arc of a 428.50 foot radius curve to the left (center bears North 81°32'09" West and the chord bears North 06°03'11" East 36.72 feet with a central angle of 04°54'41");  
(4) South 86°25'58" East 6.24 feet;  
(5) North 03°04'56" East 3.00 feet;  
(6) North 89°48'42" West 6.22 feet;  
(7) Northeastly 21.07 feet along the arc of a 428.50 foot radius curve to the left (center bears North 86°50'33" West and the chord bears North 01°44'55" East 21.07 feet with a central angle of 02°49'03");  
(8) North 00°21'13" East 47.52 feet;  
(9) North 10°51'46" East 10.97 feet;  
(10) North 00°21'13" East 14.03 feet to the point of beginning.

Contains 105,210 Square Feet or 2.415 Acres and 1 Lot

**OWNER'S DEDICATION**  
Known all men by these presents that I/we, the undersigned owner(s) of the herein described tract of land, hereby set apart and subdivide the same into lots and street as shown on this plat and said plat  
**DRAPER CROSSING SUBDIVISION PHASE 2 AMENDED**  
and do hereby dedicate, grant and convey to Draper City, Utah: (1) all those parts or portions of said tract of land designated as streets, the same to be used as public utility and drainage easements as shown hereon, the same to be used for the installation, maintenance, and operation of public utility service lines and drainage; and (3) those parcels designated as public open space, parks, trails or easements, or of similar designation.  
In witness whereof I/we have hereunto set our hand (s) this 13 day of November A.D., 2020  
By: Alan Melchior  
By: \_\_\_\_\_  
**LIMITED LIABILITY COMPANY ACKNOWLEDGMENT**  
STATE OF UTAH } S.S.  
COUNTY OF Salt Lake }  
ON THE 13 DAY OF November A.D. 2020, Alan Melchior PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF Salt Lake, IN SAID STATE OF UTAH, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE manager OF Draper Crossing Development LLC, A LIMITED LIABILITY COMPANY AND THAT HE/SHE HAS FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED AND ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.  
MY COMMISSION EXPIRES: 3-25-2022  
NAME: Cheryl Vincent  
NO. \_\_\_\_\_  
A NOTARY PUBLIC COMMISSION IN UTAH  
RESIDING IN Salt Lake COUNTY

**CORPORATE ACKNOWLEDGMENT**  
STATE OF \_\_\_\_\_ } S.S.  
COUNTY OF \_\_\_\_\_ }  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, \_\_\_\_\_ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF \_\_\_\_\_, IN SAID STATE OF \_\_\_\_\_, WHO BEING DULY SWORN, DID SAY TO ME THAT \_\_\_\_\_ IS THE \_\_\_\_\_ AND THAT THE FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS ORGANIZATIONAL DOCUMENTS, AND SAID \_\_\_\_\_ DULY ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.  
MY COMMISSION EXPIRES: \_\_\_\_\_  
NAME: \_\_\_\_\_  
NO. \_\_\_\_\_  
A NOTARY PUBLIC COMMISSION IN UTAH  
RESIDING IN \_\_\_\_\_ COUNTY

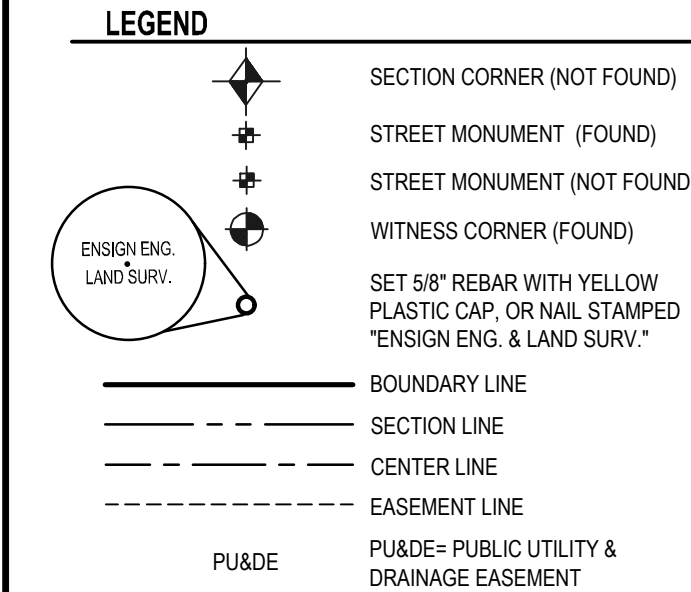
**DRAPER CROSSING SUBDIVISION PHASE 2 AMENDED**  
AMENDING LOTS 203 THRU 205 OF DRAPER CROSSING SUBDIVISION PHASE 2  
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 30,  
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN  
DRAPER CITY, SALT LAKE COUNTY, UTAH  
RECORDED # 13516058  
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: ALAN MELCHIOR  
DATE: 12/29/2020 TIME: 4:52PM BOOK: 2020P PAGE: 319  
FEES: \$52.66  
DEPUTY SALT LAKE COUNTY RECORDER

28-30-31 28-30-351-078

**EXHIBIT F**  
**PROPOSED SUBDIVISION PLAT**



AMENDING LOT 206 OF DRAPER CROSSING SUBDIVISION PHASE 2 AMENDED  
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 30,  
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN  
DRAPER CITY, SALT LAKE COUNTY, UTAH  
MARCH 2022



- EASEMENT NOTES:**

- SOUTH VALLEY SEWER DISTRICT NOTE:**  
 "THE SIGNATURE OF SOUTH VALLEY SEWER DISTRICT ON THIS PLAT DOES NOT CONSTITUTE ANY GUARANTEE OF AVAILABILITY OF SANITARY SEWER SERVICE TO THE PROPERTY OR ANY APPROVAL OF SEWER LINES OR FACILITIES. THE OWNER(S) OF THE PROPERTY MUST PROVIDE SATISFACTORY PLANS TO THE SEWER DISTRICT FOR REVIEW AND APPROVAL BEFORE CONNECTING TO THE DISTRICT'S SEWER SYSTEM AND WILL BE REQUIRED TO COMPLY WITH THE DISTRICT'S RULES AND REGULATIONS."

- Dominion Energy Upland - Note:**
- Questa Gas Company dba Dominion Energy Upland, approves this plat for the purpose of approximating the location, boundaries, course and dimensions of the Rights-of-Way and Easements and Existing Intersecting Highways shown on the plat herein as constructed to warrant or verify the precise location of such items. The Rights-of-Way and easements are subject to numerous restrictions appearing on the recorded right-of-way and easement grant(s). Dominion Energy Upland also approves this plat for the purpose of confirming that the plot contains public utility easements; however, Dominion Energy Upland does not assume additional easements in order to serve its development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat and/or the plat instrument. Dominion Energy Upland reserves the right to require guarantees of particular terms or conditions of natural gas service, for further information please contact Dominion Energy's Right-of-Way Department at 800-366-8532.

RECORD SURVEY DAT

ROS NO.:

SHEET 1 OF 1

PROJECT NUMBER : 5193E  
MANAGER : DAJ  
DRAWN BY : KFW  
CHECKED BY : PMH  
DATE : 3/8/22

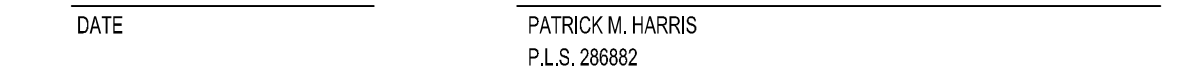
I, **PATRICK M. HARRIS**, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold Certificate No. 266882 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Act. I further certify that by authority of the Owners, I have completed a survey of the property described on this subdivision plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to accurately establish the lateral boundaries of the herein described tract of real property, and has been drawn correctly to the designated scale and is a true and correct representation of the herein described lands included in said subdivision, based upon data compiled from records of the Salt Lake County Records Office. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

A parcel of land being all of Lot 206 of Draper Crossing Subdivision Phase 2 Amended, recorded December 29, 2020 in Book 2020P at Page 319 in the Office of the Salt Lake County Recorder, said parcel being more particularly described as follows:

Beginning at a point on the east line of Minuteman Drive, said point being North 1,270.61 feet and East 801.27 feet from the Southwest Corner of Section 30, Township 3 South, Range 1 East, Salt Lake Base and Meridian, said Southwest Corner of Section 30 being North 89°49'40" West 163.83 feet along the section line from a Witness Corner for said Southwest Corner of Section 30, with the Basis of Bearing being North 89°53'10" East 2478.40 feet from the said Witness Corner to a Sandy City Street Monument in 300 East Street, said Street Monument being North 0°03'00" West 13.10 feet along the quarter section line from the South Quarter Corner of said Section 30, and running

thence East 136.86 feet;  
 thence North 51.10 feet;  
 thence East 192.00 feet;  
 thence South 22.16 feet;  
 thence South 89°40'10" East 26.19 feet;  
 thence South 393.99 feet to the Northernly Right-of-Way Line of 12450 South Street;  
 thence South 89°57'00" West 186.63 feet along said Northernly Right-of-Way Line;  
 thence North 211.44 feet;  
 thence West 177.16 feet to the Easterly Right-of-Way Line of Minuteman Drive;  
 thence along said Easterly Right-of-Way Line the following ten (10) courses:  
 (1) North 11°30'01" East 11.12 feet;  
 (2) North 02°08'47" West 10.18 feet;  
 (3) Northeasterly 36.73 feet along the arc of a 428.50 foot radius curve to the left (center bears North 81°32'09" West and the chord bears North 06°00'31" East 36.72 feet with a central angle of 04°54'14");  
 (4) South 86°29'36" East 6.24 feet;  
 (5) North 03°04'56" East 3.04 feet;  
 (6) North 86°49'42" West 6.22 feet;  
 (7) Northeasterly 21.07 feet along the arc of a 428.50 foot radius curve to the left (center bears North 86°50'33" West and the chord bears North 01°44'55" East 21.07 feet with a central angle of 02°49'03");  
 (8) North 00°21'13" East 47.52 feet;  
 (9) North 10°51'46" East 10.97 feet;  
 (10) North 00°21'13" East 14.03 feet to the point of beginning.

Contains 105,210 Square Feet or 2.415 Acres and 2 Lots.



Know all men by these presents that I/we, the undersigned owner (s) of the hereon described tract of land, hereby set apart and subdivide the same into lots and street as shown on this plat and said plat

and do hereby dedicate, grant and convey to Draper City, Utah: (1) all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever; (2) those certain public utility and drainage easements as shown hereon, the same to be used for the installation, maintenance, and operation of public utility service lines and drainage; and (3) those parcels designated as public open space, parks, trails or easements, or of similar designation.

In witness whereof I / we have hereunto set our hand (s) this \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_\_.

By: \_\_\_\_\_

By: \_\_\_\_\_

STATE OF UTAH } s.s.  
COUNTY OF \_\_\_\_\_

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, \_\_\_\_\_ PERSONALLY APPEARED BEFORE ME, \_\_\_\_\_ THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF \_\_\_\_\_, IN SAID STATE OF UTAH, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE \_\_\_\_\_ OF \_\_\_\_\_, \_\_\_\_\_, A LIMITED LIABILITY COMPANY AND THAT \_\_\_\_\_ SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED AND ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.

MY COMMISSION EXPIRES: \_\_\_\_\_  
NAME: \_\_\_\_\_  
NO: \_\_\_\_\_  
A NOTARY PUBLIC COMMISSION IN UTAH

\_\_\_\_\_  
NOTARY PUBLIC  
RESIDING IN \_\_\_\_\_ COUNTY

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } s.s.

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_\_, \_\_\_\_\_ PERSONALLY APPEARED  
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF \_\_\_\_\_, IN SAID STATE OF \_\_\_\_\_, WHO  
BEING DULY SWORN, DID SAY TO ME THAT \_\_\_\_\_ IS THE \_\_\_\_\_ OF \_\_\_\_\_  
\_\_\_\_\_ AND THAT THE FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID  
CORPORATION BY AUTHORITY OF ITS ORGANIZATIONAL DOCUMENTS; AND SAID \_\_\_\_\_ DULY ACKNOWLEDGED TO  
ME THAT SAID CORPORATION EXECUTED THE SAME.

MY COMMISSION EXPIRES: \_\_\_\_\_  
NAME: \_\_\_\_\_  
NO: \_\_\_\_\_  
A NOTARY PUBLIC COMMISSION IN UTAH

NOTARY PUBLIC  
RESIDING IN \_\_\_\_\_ COUNTY

AMENDING LOT 206 OF DRAPER CROSSING SUBDIVISION PHASE 2 AMENDED  
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RECORDED # \_\_\_\_\_

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE  
REQUEST OF : \_\_\_\_\_

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_ BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_

\_\_\_\_\_ DEPUTY SALT LAKE COUNTY RECORDER

FEES \_\_\_\_\_

<b>EASEMENT APPROVAL</b>		<b>SOUTH VALLEY SEWER DISTRICT APPROVAL</b>		<b>PLANNING COMMISSION APPROVAL</b>		<b>SALT LAKE COUNTY HEALTH DEPARTMENT APPROVAL</b>		<b>CITY ENGINEER APPROVAL</b>		<b>CITY MAYOR APPROVAL</b>		<b>CITY ATTORNEY'S APPROVAL</b>	
CENTURYLINK	DATE	APPROVED THIS _____ DAY OF _____, 20____		APPROVED THIS _____ DAY OF _____, 20____		APPROVED THIS _____ DAY OF _____, 20____		APPROVED THIS _____ DAY OF _____, 20____		PRESENTED TO THE MAYOR AND DRAPER CITY COUNCIL THIS _____ DAY OF _____, A.D. 20____		APPROVED THIS _____ DAY OF _____, 20____	
ROCKY MOUNTAIN POWER	DATE	BY THE SOUTH VALLEY SEWER DISTRICT.		BY THE DRAPER CITY PLANNING COMMISSION		BY THE SALT LAKE VALLEY HEALTH DEPARTMENT.		BY THE DRAPER CITY ENGINEER.		AT WHICH TIME THIS SUBDIVISION WAS		BY THE DRAPER CITY ATTORNEY	
DOMINION ENERGY UTAH	DATE									APPROVED AND ACCEPTED:			
COMCAST	DATE	SOUTH VALLEY SEWER DISTRICT MANAGER		CHAIR, DRAPER CITY PLANNING COMMISSION		SALT LAKE VALLEY HEALTH DEPARTMENT		DRAPER CITY ENGINEER		ATTEST: CLERK _____ MAYOR _____		DRAPER CITY ATTORNEY _____	



# MEMO

To: Planning Commission  
From: Jennifer Jastremsky, AICP  
CC:  
Date: April 28, 2022  
Re: Home Occupation Code

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## Comments:

A discussion on the current home occupation code DCMC Chapter 9-34. The intent of the discussion is to identify changes that may need to be made to the current code. Staff can then formulate possible code changes to be reviewed at a future date through the public hearing process.

Attached is the existing code.

## ATTACHMENTS:

Description	Upload Date	Type
Existing Home Occupation Code	4/22/2022	Cover Memo



## CHAPTER 34 HOME OCCUPATIONS

SECTION:

[9-34-010](#): Purpose

[9-34-020](#): Scope

[9-34-030](#): Permitted Use

[9-34-040](#): Development Standards; Permitted Use

[9-34-050](#): Conditional Use Home Occupations

[9-34-060](#): Alteration To Standards

[9-34-070](#): Enforcement

### **9-34-010: PURPOSE:**

The purpose of this chapter is to establish use and development regulations for home occupations. These regulations are intended to ensure that limited business activities allowed in a residential zone do not disturb the residential character of a neighborhood. (Ord. 909, 7-21-2009)

### **9-34-020: SCOPE:**

The requirements of this chapter shall apply to all home occupations within the city. Such requirements shall not be construed to prohibit or limit other applicable provisions of this title, this code, and other laws. (Ord. 909, 7-21-2009)

### **9-34-030: PERMITTED USE:**

The home occupation use set forth below shall be allowed as a permitted use in any agricultural or residential zone, within the main dwelling unit, subject to the development standards of section [9-34-040](#) of this chapter. The definition of this use is set forth in chapter 3 of this title.

Office, general. (Ord. 909, 7-21-2009)

### **9-34-040: DEVELOPMENT STANDARDS; PERMITTED USE:**

The development standards set forth in this section shall apply to any home occupation allowed as a permitted use:

- A. Ownership: The home occupation shall be owned and operated by a person who resides in the dwelling where the home occupation is located. Such person shall be the primary provider of the labor, work, or service provided in the home occupation.
- B. Business License: A business license for the home occupation shall be obtained from and continually maintained with the city pursuant to title 6, chapter 11 of this code.
- C. Employees: Members of the family of the owner who reside in the dwelling may be employed in the home occupation. Nonfamily or nonresident employees shall be limited to one person.
- D. Inspection: All facilities shall comply with fire, building, plumbing, electrical and all other city, county, state and federal codes. Inspections during reasonable hours by city officials may occur as necessary to assure compliance with regulations.
- E. Inventory: No stock in trade, inventory, or other merchandise to exceed two hundred fifty (250) square feet shall be kept on the premises. No outside storage is allowed. (Ord. 909, 7-21-2009)
- F. Modification Of Structures Or Yards: There shall be no visible evidence from the exterior of a dwelling that it is being used for any other purpose than that of a dwelling. No activities shall be carried on outside the dwelling in the yard for the benefit of or incidental to the home occupation. No front yard area shall be altered to provide parking required for a home occupation. (Ord. 1132, 2-17-2015)
- G. Nuisance: Tools, items, equipment, or activities conducted within the dwelling which is offensive or noxious by reason of the emission of odor, smoke, gas, vibration, magnetic interference, or noise shall be prohibited.
- H. Secondary Use: The home occupation shall be clearly incidental and secondary to the primary use of the dwelling for residential purposes. The home occupation shall not disrupt the normal residential character of the neighborhood in which the residence is located. Not more than twenty five percent (25%) of the dwelling unit shall be used for the home occupation.
- I. Signs: All signage in a residential area must comply with chapter 26, "Signs", of this title.
- J. Traffic, Parking, And Access: No home occupation use shall generate pedestrian, parking, or vehicular traffic in excess of that customarily associated with the zone in which the use is located. All parking shall be provided and maintained on site with adequate provision for drop off traffic.
- K. Vehicles: Other than the business owner's personal transportation, there shall be no vehicles or equipment on the property associated with the home occupation which would not normally be found at a residence. No signage for the home occupation shall be allowed on vehicles.



L. Yards: Yards surrounding the dwelling and accessory buildings shall not be used for any activities or storage of any materials associated with the home occupation.

M. Customers: No customers allowed. Children accessing a limited daycare or limited preschool facility shall not be considered customers.

N. Utility Demand: The home occupation shall not cause a demand for public utilities in excess of that necessarily and customarily provided for residential uses.

O. Main Structure: The home occupations shall be conducted, located, and contained within the primary structure on the property. (Ord. 909, 7-21-2009)

P. Single-Family And Multiple-Family Dwellings: Home occupations listed as permitted or conditional within this title may be permitted in a single-family or a multiple-family dwelling, subject to the standards found within this section and section [9-34-060](#) of this chapter. Businesses within multiple-family dwellings shall provide an approval letter from the respective homeowners' association, or management company in the case of apartments, if the business proposes any employees, customers or business vehicles. (Ord. 1132, 2-17-2015)

Q. Licensure: Any home occupation involving childcare shall comply with all applicable state and local laws and regulations regarding residential childcare, including, but not limited to, provisions of the Utah child care licensing act, as set forth in Utah Code Annotated section 26-39-101 et seq., as amended, and the residential certificate childcare standards as set forth in the Utah administrative code section R430-50-1 et seq., as amended. In addition, cottage food production operations are regulated and inspected by the Utah department of agriculture. Any food related home occupation under their jurisdiction must comply with these regulations. (Ord. 909, 7-21-2009)

#### **9-34-050: CONDITIONAL USE HOME OCCUPATIONS:**

The following home occupations may also be established in any agricultural, residential, commercial zone subject to the use table regulations of applicable zones, subject to the development standards listed in section [9-34-040](#) of this chapter, and subject to the issuance of a conditional use permit pursuant to the requirements of section [9-5-080](#) of this title. Uses listed in this section may also necessitate an additional conditional use permit subject to section [9-34-060](#) of this chapter:

Assembly and repair, limited.

Cottage business.

Daycare, limited.

Daycare, limited.

Grooming service. Conditions:

- A. Animal being groomed must be current on the following vaccinations: rabies, parvovirus, distemper, and kennel cough.
- B. Facility shall be subject to periodic inspection by city staff.
- C. Animal being groomed shall be kept indoors the whole time in a controlled environment.
- D. Up to two (2) animals shall be allowed on the premises at a time for grooming purposes.

Personal care service.

Personal instruction service.

Preschool, limited. (Ord. 1004, 4-3-2012; amd. Ord. 1437, 5-19-2020)

#### **9-34-060: ALTERATION TO STANDARDS:**

A home occupation listed in section [9-34-030](#) or [9-34-050](#) of this chapter that does not conform to any of the development standards in section [9-34-040](#) of this chapter may nonetheless be established through the issuance of a conditional use permit specifically for the desired alteration to those development standards. (Ord. 1132, 2-17-2015)

#### **9-34-070: ENFORCEMENT:**

Refer to chapter 7 of this title to read about the remedies, penalties, procedures, and other matters that apply to any violation of the provisions in this chapter. (Ord. 909, 7-21-2009)