

ALPINE CITY COUNCIL PUBLIC MEETING AGENDA

NOTICE is hereby given that the **CITY COUNCIL** of Alpine City, Utah will hold a Public Meeting on **Tuesday**, **April 26**, **at 6:00 pm**, 20 North Main Street and can be viewed on the **Alpine City YouTube Channel**. A direct link to the channel can be found on the home page of the Alpine City website: **alpinecity.org** Public Comments will be accepted during the Public Comment portion of the meeting.

I. CALL MEETING TO ORDER

A. Roll Call Mayor Carla Merrill
B. Prayer: Jessica Smuin
C. Pledge: By Invitation

- II. WORK SESSION
 - A. PRESSURIZED IRRIGATION RATE STUDY PRESENTATION
- III. CONSENT CALENDAR
 - A. Approve City Council minutes of April 12, 2022
- IV. PUBLIC COMMENT
- V. REPORTS AND PRESENTATIONS
 - A. Fraud Risk Assessment
- VI. ACTION/ DISCUSSION ITEMS
 - A. Pickleball Courts at Creekside Park
 - B. Conditional Use Guesthouse 2600 N Mountain Springs Road
 - C. Plat Amendment Forest Creek Estates Subdivision Amended
 - D. Site Plan Design Update Montdella Senior Housing
 - E. Site Plan Elway's Doggie Wash at the Alpine Animal Hospital 424 S. Alpine Highway
 - F. Review of LPPSD Budget
 - G. Review of Alpine City Refreshed Logo
- VII. STAFF REPORTS
- VIII. COUNCIL COMMUNICATION
- **IV. EXECUTIVE SESSION:** Discuss litigation, property acquisition, or the professional character, conduct or competency of personnel.

Mayor Carla Merrill April 22, 2022

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY COUNCIL MEETINGS. If you need a special accommodation to participate, please call the City Recorder's Office at (801) 756-6347 x 4.

CERTIFICATE OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was on the bulletin board located inside City Hall at 20 North Main Alpine, UT. This agenda is also available on our website at alpinecity.org and on the Utah Public Meeting Notices website at www.utah.gov/pmn/index.html



PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

Please remember all public meetings and public hearings are now recorded.

- All comments must be recognized by the Chairperson and addressed through the microphone.
- When speaking to the Planning Commission/City Council, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversation with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction of the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, beepers, pagers, or other noise making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length
 and avoiding repetition of what has already been said. Individuals may be limited to two minutes
 and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the lobby area outside the council room to talk as
 it can be very noisy and disruptive. If you must carry on conversation in this area, please be as
 quiet as possible. (The doors must remain open during a public meeting/hearing.)

Public Hearing vs. Public Meeting

If the meeting is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.

ALPINE CITY COUNCIL AGENDA

SUBJECT: Work Session – Pressurized Irrigation Rate Study Presentation

FOR CONSIDERATION ON: 26 April 2022

PETITIONER: City Staff

ACTION REQUESTED BY PETITIONER: Review the Pressurized Irrigation

Rate Study.

BACKGROUND INFORMATION:

City Staff has been working with Fred Philpot from Lewis, Young, Robertson and Burningham to develop a model for the pressurized irrigation rates. Since the inception of the pressurized irrigation system in 2002, users have been billed based on the square footage of their lot. This billing method was chosen since individual meters were not installed on the system and there was no way to determine actual usage. Meters were installed on the system in 2018 and 2019. The City was ahead in this area, since a bill was passed in the 2022 Legislative Session requiring all entities serving pressurized irrigation water to install meters.

Having actual usage data from 2020 and 2021 was key to developing a rate model. The rate model is complicated because of the various rate schedules that were agreed upon in an agreement with the Alpine Irrigation Company in April of 2000. The agreement was that all of the surface water from the Alpine Irrigation Company would be used in the system, but shareholders in the company would be given a reduced rate for two groups of users, residential shareholders and agricultural users. The third group of users, which represents the majority of billed accounts, is the residential non-shareholders.

As developed, the rate model establishes a base rate that would be billed monthly, 12 months of the year, with an allowable quantity of water that is recommended by the State to maintain landscaping. For usage above the allowable rate, a user would be charged on a tiered rate structure. There is a separate billing rate structure for shareholders. Future capital projects outlined in the Pressurized Irrigation Master Plan, are also anticipated in the rate structure. Fred Philpot will participate in the work session via Zoom and will walk the City Council through the methodology of the rate model. City staff will be seeking direction for proceeding with the implementation of a metered use based rate. The rate structure will be brought back to a future city council meeting for approval.

STAFF RECOMMENDATION:

Review the proposed rate structure and provide comments to staff. In addition, staff requests direction on how to move forward with adopting a revision to the pressurized irrigation rate structure.

SAMPLE MOTION TO APPROVE:

Work session item. No motion required.

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Fire Station-

ALPINE CITY COUNCIL MEETING

on Tuesday, April 12, at 6:00 pm

I. CALL MEETING TO ORDER

Mayor Carla Merrill called the meeting to order at 6:05 pm.

A. Roll Call: The following were present and constituted a quorum: Jason Thelin, Greg Gordon Kelli Law, Jessica Smuin, Lon Lott

B. Prayer: Lon Lott C. Pledge: Kelli Law

Staff: Shane Sorensen, Austin Roy, Chief Brian Patten, Chief Brian Gwilliam, Craig Hall, Bonnie Cooper

Others: Will Jones, Breezy Anson, Alan Gillman, Krissy Shull, Wendy Garin, Whitey Anson, Lon Nield, Tracy Nuttall, Amanda Collins, Macie Collins, Cheryl Anson, Kaye Smith, Lonny Layton, Allyson Smith, Spencer Bautista, Ruby Bautista, Emma Smith, Megan Basil, Olivia Snow, Terral Cochran, Nina Cochran, Katy Myers, Bill Lawler, Kim Christensen, Angie Mazeika, Adrienne Williams, Heather Allen, Brenda Edwards, Darin Edwards, Debbie Merrill, Starr Shumway, Chris Thackeray, Rebecca Anderson, Nichole Holmgren, Rebecca covey, Gayle Guercio, Frank, Guercio, Stephanie Conlee, Susie Hansen, Larry VanVactor

II. WORK SESSION

A. FY2022-2023 Budget Discussion

City Administrator, Shane Sorensen said the FY2022-2023 Budget will be affected by some grant opportunities and the largest item will be public safety wage increases. The city will be finalizing the tentative budget in the May then adopt the final budget six weeks later at a City Council meeting in June. He went on to explain the following categories of the budget and get guidance from the council on how they want to proceed.

General Fund -

The priority will be LPPSD (Lone Peak Public Safety District) budget. At the LPPSD board meeting tomorrow they will be going over the tentative budget. Alpine City's portion for police will increase 14.57%, for fire an increase of 8.06% and administrative an increase of 4.64%. There are a few Highland City employees that a portion of their wages are paid from this budget, they provide services for the LPPSD. The budget increase is for salaries only. The total LPPSD increase will be 11.22%.

City Employee –

Inflation is up 8-9% in the last year. Utah reported it is up 1.2% just since March. Utah is higher than any other state in the nation at 10%. Some cities have done a mid-year wage adjustment for their employee. We will bring wage increases back to the next council meeting for approval. Comparing positions and wages with other cities is difficult. Just based on an employee's title you do not know how long the employee has been there or what their duties and responsibles are.

Health Insurance -

The anticipated increase was 8% for medical and 2% for dental but came back lower. Medical insurance will increase 5.8% and 1.0% for dental totaling 6.8%. That was good news for the city.

Projects/City Improvements -

The city staff recommended that the city only do the projects that are necessary. Projects to do with things such as the city's parks, cemetery, trail, beautification projects and some street projects would come from the General Fund. Staff will be looking for grant opportunities for projects that aren't necessities. One grant that we have been looking at would help with a Main Street beautification project. Some grants may take a year to get ready to apply for because they have specific requirements. Mayor Carla Merrill requested to have a meeting with staff to get started on all the grant application processes.

Staff is proposing to have a revenue bond against portions of sales tax to fund the fire station remodel. City Council member Jessica Smuin asked if there could be two scenarios of bonding this project. Shane Sorensen said another way to go about getting funding would be a general obligation bond/property tax bond. A property tax bond would need to go on a ballot at the next election. Going through an election would be a longer process to move forward. City

Attorney Craig Hall said a tax revenue bond is the most common way to go about getting money to do a project of this size. School districts tend to go with general obligation bond when building new schools because it is safer revenue source than sales tax.

Shane Sorensen said whatever excess the city has we put it into our Capital Improvements Fund. That is how the city has built projects throughout the city in the parks or trail etc. The city may still need to raise property tax if the council want to continue to do these projects. Jessica Smuin said the city does the RAP (Recreational, Arts, and Parks Cultural Funding) tax that could be used, just not this year. Shane Sorensen said the RAP tax would generate about \$100K. Mayor Carla Merrill asked what amount the city anticipated paying for the bond. Shane Sorensen said the bond for the fire house would be for 20 years at \$200K per year. Alpine City has not bonded previously for any other projects. If the city wants to continue to make improvements throughout the city there may need to be a property tax increase. Staff needs direction from council on how to move forward in order to present the tentative budget.

Mayor Carla Merrill asked what the councils' options could be. Craig Hall said a general bond could be a possibility during any general election in November. Shane Sorensen said that would be a property tax increase and he suggested the simpler option would be if the city were to do a property tax increase through the city's budget and truth in taxation and not go through an election process. The city has done this before when Cedar Hill left the LPPSD. In that process the council approve the budget, but it is subject to the truth in taxation which takes place in August. Another option is if the council would be willing to do less project and have lesser or maybe no tax increase. Mayor Carla Merrill explained why there has been a significant increase in salaries for our police force and fire department. It is simply to retain the employees we have. Other counties were paying 17-20% higher than Utah County. Alpine and Highland City want to keep those employees with experience, we need to stay competitive with wages. Instead of hiring and training all new employees. Mayor Carla Merrill said she would like the city to continue future projects. She said she knows it is not popular but sees a need for raising taxes.

Water -

City Council member Lon Lott asked if the numbers for the capital improvement projects for water are just projected numbers. Shane Sorensen answered yes between \$400-\$500K. Water is coming from its own fund and would mainly be replacements so that the city does not get behind on its infrastructure. The city does have ageing waterlines.

Streets -

Shane Sorensen said in this current year's budget the city has spent \$700K on street maintenance. In previous years the city spent around \$400-\$500K. Cost have gone up and to get approximately the same work done was a little bit more because the city had the addition of the transit tax on top of the class C road funds. That money is dedicated for roads and sidewalks that is why it is higher in this year's budget. When we do a large project like 800 South, Pioneer Drive or Grove Drive, some of the money would come from the general funds. We can take money from the Class C Road funds for these road projects. He does not recommend delaying any street maintenance such as overlays.

Sewer -

Sewer line do not have many deficiencies just some maintenance.

Pressurized Irrigation (PI) -

The city just adopted our capital improvement plan. As part of the PI study Lewis and Young will have some recommendation to the city's PI system at the next council meeting. The city will need to bond for the of the improvement that will need to happen throughout the city. Shane Sorensen suggested taking some of the city's ARPA (America Rescue Plan Act) funds and putting that towards a new well. There are a lot of grant funds out there dealing with drought resiliency. Some of the grant the city will have to have matching funds. There is one grant the city is applying for to help build the new well or rehab an older well through the water smart program. Jessica Smuin asked what fun the new storage tank would come out of. A new storage tank could come from our water impact fund and could also come from a grant.

Lon Lott said the major difference in this budget then from years past will be wage increases for LPPSD and city employees and fire house remodel. He asked if the council could get a list of what projects are on the city's list to do this year. He would like to wait to see the list so that the council can review and see what projects could wait until later. The last time the city had a tax increase was three years ago and before that was twelve years. Three years ago, was Alpine School District had a big increase at the same time as Utah County. Alpine City had an insignificant portion of that tax increase. These items that the staff have brought to council tonight look like justifiable items for a tax increase. He would still like to see a list of projects before he decides. Shane Sorensen said he would get the council a list of proposed projects. Mayor Carla Merrill said these increases are a sticker shock, but she would rather see an experienced LPPSD personnel out keeping our residents safe and that is most important. City Council member Greg Gordon said the police force are down 20% of their officers. Shane Sorensen said many residents do not realize that there is not a cola built into property tax. So, your tax rate is calculated by the state increase to give the same

revenue the city had the year before plus new growth. So, there is not a three to four percent increase to the city's

revenue. The only way to increase the revenues is through a property tax increase. City Council member Jason Thelin said the city should not raise taxes without thought but there are times to do it and the city has done it before specifically for the cost increase for the LPPSD. He would be in favor of looking into tying the administrative salary costs of the LPPSD to the tax increase as an option.

Shane Sorensen asked council if they had any projects, they had to forward them to him to put into the tentative budget.

B. Access Easement Language for Three Falls Plat Amendment

Shane Sorensen said Craig Hall suggested changing the current language on upcoming plat amendment for Three Falls. In order to have access that goes to the upper water tank. There have been several plat amendments for Three Falls, most have been simple lot line adjustments. The upcoming lot line adjustment has access easement which is a 20-foot-wide road leading to the water tank and shared public open space. The city wants to check the language and make sure all our bases covered and know what the language means. On the original plat the language said 20-foot shared public access easement. Now the most current plats language says 20-foot public access easement in favor of Alpine City. Staff is asking council for direction on what was intended here. So, staff can address any issues with the property owners and bring this back before council for approval.

Mayor Carla Merrill said back in the April 2020 meeting the council was talking about changing border lines. She said Jason Thelin were concerned about having access to the North Mountain. When council approved the plat in June of 2020. At the meeting the developer said we would be allowed to drive up there. She said she feels all residents should have access to the area. Jason Thelin said the city already had the ability to have staff drive up to the area. He said previous City Attorney David Church had changed the wording so that the residents would have access to the North Mountain. Greg Gordon said this would be better option then having the public parking in the circle in front of the Three Falls residents' homes. Jessica Smuin said currently there is a gate up to protect where the private open space starts. Shane Sorensen said he remember from the meetings in 2020 was that the public access by bike or walking has never been in question. The question was if the public would be allowed to drive a motorized vehicle through that area. Greg Gordon said a car could drive up to the gate in the area, but it could be difficult to turn around. This is an area the city may not want open to the public in the winter months.

Lon Lott said his main concern is the ease of access for city staff to be able to get to facilities such as the water tank. Another concern would be having extra public access can lead to unwanted vandalism. Greg Gordon asked when the document says in favor of Alpine City could that be somehow construed to mean only city employees versus public access. Craig Hall answered that legally it would mean that Alpine City would determine how broad the access would be to the public. Mayor Carla Merrill said the word "public" should mean the Alpine City public. Craig Hall said "public" can mean whatever the council determines that it should mean and what access the city will allow the public to have.

Lon Lott said he didn't think there was enough room for a parking lot. If there is a lower area for a parking lot. Greg Gordon said there is parking for 2-3 by the tank but it is very steep. Lon Lott said there isn't a lot a room for more than four cars. Jason Thelin thought there could be maybe 6 parking spaces. Shane Sorensen said the slope of the hill in that area would make it difficult to additional parking. In fire or drought danger the city should not allow residents up in that area. Lon Lott was concerned about allowing the public to park all the way up to the gate.

Shane Sorensen said he needs direction on what language do you want staff to put on the plat. The original plat said it would be a shared access driveway. Mayor Carla Merrill asked the council how each one felt about allowing vehicles up the easement road. Lon Lott said he was not in favor of having any vehicles other than city employees use the access road. City Council member Jessica Smuin said she thinks residents' cars should be allowed up the easement road to have access to North Mountain and the trails. Kelli Law, Jason Thelin and Greg Gordon were all in agreement with Jessica Smuin. Greg Gordon added that the area should be well-regulated in case of fire risk.

III. CONSENT CALENDAR

- A. Approve City Council minutes of March 22, 2022
- B. Award Westfield Road Sidewalk Project
- C. Resolution R2022-17: A Resolution in Support of Ukraine and Condemning Russian President Vladimir Putin
- D. Resolution R2022-19: MAG Pre-Disaster Hazard Mitigation Plan
- E. Resolution R2022-20: A Resolutions Repealing Resolutions R2022-13 and R2022-14 Which Adopted Amendments to the Street Master Plan, Specification and Standards.
- F. Ordinance 2022-10: An Ordinance Repealing Ordinance 2022-14 Which Adopted Amendments to City Code pertaining to the Major Street Plan and Major Arterials

 Shane Sorensen asked if any of the council members had any questions about any of the items on the Consent Calendar.

Motion: Jason Thelin moved to have Action item (A) Final Plat - Old Moyle Mound Plat C and Action Item (C) Resolution R2022-18 to the consent calendar. Lon Lott second the motion. There were 5 yes votes and 0 no votes, as recorded below. The motion passed unanimously.

<u>Yes</u>	<u>No</u>	Absent
Jason Thelin		
Greg Gordon		
Kelli Law		
Jessica Smuin		
Lon Lott		

Motion: Lon Lott moved to approve the consent calendar as proposed with the edit made to the minutes of March 22, 2022, by Lon Lott and Shane Sorensen. Greg Gordon seconded the motion. There were 5 yes votes and 0 no votes, as recorded below. The motion passed unanimously.

Yes	<u>No</u>	<u>Absent</u>
Jason Thelin		
Greg Gordon		
Kelli Law		
Jessica Smuin		
Lon Lott		

IV. PUBLIC COMMENT

David Martin Eagle Scout American Fork

David Marin presented and asked the council's approval for his Eagle Scout Project. David Martin said he was a member of the Lone Peak Mountain Bike Team. He said he had noticed that the Heritage Hills trail is in need of repair. He would like to also add a bike maintenance stand along with one or two benches by the existing kiosk. The benches could be positioned to deter the motorized vehicles from accessing the trail. The bike repair station would cost \$1700. He spoke with Smith Steelworks in Spanish Fork regarding the benches \$1920 for benches would take 4-6 weeks and have a concrete pad or a concrete post copper color. He is requesting assistance from the city \$6000 from the city. Saturday May 21st or June 4th

Carla Merrill asked if he was willing to raise funds on his own. Jason Thelin asked if he has worked with the Trail committee. He said he has spoken to Trail Committee chair Will Jones but could work more with him. Jessica Smuin asked about a 360 view if he has considered. Shane Sorensen said he would have to check and see if that would be on an easement or if was on city property. Will Jones said he had approved all the locations. Jason Thelin asked will if there were a priority the Trail Committee would do. Will Jones said he thinks that one bench and the bike repair would the highest priority. Mayor Carla Merrill said she would like to see matching funds. Bike shops have or donated or sponsored by whoever. Jason Thelin asked how he would be getting his service hours for the project. Picking up and installing and leveling. Jason Thelin agreed to raise some funds and agreed that this would be a great project for the city. Jessica Smuin said she thinks the city should give him a dollar amount. Doing some repairs on the trail. Craig Hall asked him if he has been following the handbook and get the appropriate signatures. Shane Sorensen said we do have money in the budget to cover things like this project. *David Martin said he will work with Shane Sorensen and get a signature from Jason Thelin for his Eagle Scout forms*.

Larry VanVector 379 E Allegany Court

Larry VanVector had concerns with a horse arena located near Healey Boulevard. He said he has observed light poles being installed. He is concerned that commercial lighting will be on the four light poles. He said he knows Alpine City has a code that pertains to lights, but it is only for sports courts or parking lots. He came to the city Council tonight to ask that they help shield the community for these types of commercial lighting in residential neighborhoods.

City Planner Austin Roy said he ran this by Craig Hall, and Craig Hall said he didn't think the code pertained to a

horse arena. Greg Gordon said this was a spirt of the code when it was written. The lights could be considered a nuisance. Austin Roy said we would need to come up with a new ordinance to address this type of lighting, perhaps a dark sky type of ordinance. Jason Thelin asked if staff knew if electricity had been brought to the polls. Austin Roy said he did not know. The council agreed that a new code/ordinance should be written.

V. REPORTS AND PRESENTATIONS

A. Presentation by Unsheltered Utah – Wendy Garvin

Wendy Garvin with Unsheltered Utah gave a presentation. Wendy Garvin explained Utah's issue with homelessness is affecting so many families. The group she represents is called Curbside Compassion. She understands that Alpine does not have an issue with homelessness. But she believes Alpine City can help get ahead of homelessness. Street camping has increased by 125% in Utah. Inflation is affecting everything within the state. The median cost of a home is \$500,000 this also affects the people renting these homes. The pathway to homelessness is they stay with their families or friends until they no longer can. Pre-homelessness is when someone is living with their parents and the parents suffer a financial lose. Then that can affect the adult child/adult child's family. In Lehi, American Fork, and Provo they have extended stay hotel that are by the week.

Wendy Garvin said when Rio Grande closed their shelter that meant there were not enough shelter bed and street camping increased. In a wealthier community many people may think they are helping someone by taking them to a place with resources such a Salt Lake City. But that is not always the case. By moving the homeless person that could mean moving them from a family member that may have been a form of support such a feeding them. Our group would love to have a homeless shelter located in Provo, Utah. We believe Aline, Highland, Lehi, and American Fork can get together and gather their resources. With the resources we could put together a center in Lehi or American Fork for those in need. Another resource is your police force. The police force can carry items such as kits or sleeping bag. The police can be allies for the homeless and be a positive relationship they can count on. Alpine City could provide hotel vouchers for shelter.

Wendy Garvin said they would love for ULCT (Utah League of Cities and Towns) consider a shelter in Utah County. Homeless Shelters can part of the city's infrastructure. Housing is the solution for homelessness. Affordable housing can help by putting in apartment buildings and making ten out of fifty apartments government subsidized so they are at a lower price for the resident. If the state concentrates all affordable housing in one area, then we have the projects. This is something that Alpine City can do to have a positive effect on homelessness.

B. Financial Report

Shane Sorensen said sales tax is up 11.38% from the previous year. The city is in good shape financially. There were some questions in a previous meeting regarding the Doubtful Account. This account is in the budget in cases a renter leaves town or a resident dies and they do not pay their bill.

VI. ACTION/ DISCUSSION ITEMS

A. Final Plat - Olde Moyle Mound Plat C

Final Plat – Olde Moyle Mound Plat C was moved to Consent Calendar and approved.

B. Public Hearing - Creekside Park Proposed Conversion of One or Two Tennis Courts to Pickleball Courts

Mayor Carla Merrill opened the public hearing explaining that she would allow three people in favor of keeping the tennis courts and three people in favor of repurposing the tennis courts into pickleball courts. Each person had three minutes for public comments.

Public Hearing - Public Comments:

Spencer Bautista 1165 E Lone Peak Drive

Spence Bautista said although he loves pickleball he is against converting the existing tennis courts into pickleball courts. Alpine City has more than 10,000 people and only six tennis courts, which are always full. Several the youth in Alpine play on the High School team. Having more tennis courts as a resource for our children is a good idea. The courts in Creekside Park are for the most part full. He said he would be in favor of raising money to have more tennis courts and pickleball courts.

Mayor Carla Merrill said at Timberline Middle School they have four tennis courts for a total of ten.

Kate Byners 793 S 1130 E

Kate Meyers said Creekside Park is a beautiful area for tennis courts, but the nets not maintained well. There are two courts that are not usable in the morning, because of sprinkler spray onto two of the courts. She said she is not against pickleball. She would love to see pickleball courts added, but not at the risk of losing the tennis courts. If the city could build a pickleball court in Healey Park than the city should be able to pay for one at another park. The tennis courts at Burgess Park have fallen apart, that is why they became pickleball courts. She suggested if the council decided to convert the tennis courts that the pickleball that the pickleball players not be allowed to play on the tennis courts. There is also a problem with skateboarders using the courts.

Ben Smith 140 N 600 E

Ben Smith said he plays for Lone Peak High School tennis team. It is hard to get a tennis court in the summer months and at nighttime the tennis courts are filled with pickleball players. He is in favor of pickleball just not a the risk of losing the tennis courts. He said he thinks Creekside Park is a great location for pickleball courts and believes there is enough space.

Mayor Carla Merrill gave background of why the city wanted to convert the two tennis courts into pickleball courts. Originally the bid for four pickleball courts in Healey Park which was \$80K. That bid price has increased to \$160-180K. To convert two tennis courts into eight pickleball courts would be a lot cheaper.

Rebecca Anderson 592 E High Ridge Lane

Rebecca Anderson said she has been running a pickleball group out of the stake center for pickleball just two days a week for the past five years. There are between 25-30 residents participating during the winter. Through the colder months we can play indoor at the stake center but when it gets nice outside, we want to be out. Alpine has a need for pickleball courts. Resident would fill the courts. Residents of Alpine are going to be able to make connections with each other old and young alike. She has an 84-year-old woman playing pickleball and thinks more people would like to learn how to play.

Kelli Law asked how Mrs. Anderson felt about residents using the tennis courts for pickleball courts and dominating those courts. *Mrs. Anderson replied that the pickleball community is willing to share*.

Chris Thackery 215 W Estate Drive

Chris Thackery said he lives right next to the Burgess Park courts. Pickleball rules state that there is a certain duration that someone can play on the courts. He has been an advocate for pickleball courts in Alpine. He has run the tournament for Alpine Days. He regrets that any of this conversation would be about any exclusion between tennis community and pickleball community. In his mind this should have never been a battle about increasing the use of public lands. It is awesome when our community can come together and utilize the facilities. He said he does not think this is about limiting courts but trying to what do we do to support the needs of the community. Everyone here seems to be in favor of pickleball just not having them rededicating the tennis courts.

Whitey Anson 484 W Westfield Road

Whitey Anson said he agrees with the tennis players. The city needs to maintain the tennis courts. The two tennis courts at Burgess Park have nets that have been destroyed. The lights also need to be maintained at Burgess Park tennis courts. The city needs to fix the watering issue at the east side of the courts at Creekside Park. This is not about tennis vs. pickleball. USA tennis is now endorsing pickleball. If Alpine City does not have any more pickleball courts, we are not meeting the demands of the residents.

Mayor Carla Merrill said originally the pickleball community had asked to convert the tennis courts at Burgess Park into pickleball courts. The reason the city decided not to that is because of the lighted tennis courts at Burgess Park. The city felt that it was important to the community have lighted tennis courts as an option to play at night. The

council looked for another location for the pickleball courts and that was not an ideal location and we settled on Creekside Park. The city only has four pickleball courts verses ten tennis courts. She is not for eliminated tennis the city needs to meet the demands of the residents.

Amanda Collins 1593 Rosana Lane

Amanda Collins said she plays organized pickleball and plays weekly. She is also a tennis mom; the Utah Valley Tennis League has grown 30-50% every year. Alpine is on a growing trend. When Alpine plays other cities Alpine has twice as many player compared to other schools. Alpine is having a higher demand for pickleball and tennis courts.

Lon Nield 965 E Quail Ridge

Lon Nield said he agreed with what Amanda Collins said. When the stake center was put in near his home the parking lot was leveled out for soccer fields. He suggested the city should put 16 pickleball courts in instead. That is only one acre out of Lambert Park. The parking would already be there. We could work with the church there. Grandparents can play with their grandchildren.

Jason Thelin said it is not the Lambert Park location or one or two acres. The city has a lot of other locations to put courts. It is a matter of cost at this point. He asked Lon Nield if he had any suggestion for raising funds/sponsoring to help with the costs of the pickleball courts. Lon Nield said the city should try it and open it up to the community and see. Maybe the pickleball community could raise half and the city could cover the other half of the cost.

Mayor Carla Merrill closed the Public Hearing.

Shane Sorensen said the water on the east end of Creekside Park the city cannot control the wind. The city has thought about putting a cement apron to block the water. Mayor Carla Merrill suggest putting in a dry landscape that would not require water. Shane Sorensen said sometimes with rock that is a temptation for children to throw them on to the courts of roofs of the pavilions. The city has signs posted prohibiting skateboarding and scooters on the tennis courts. The city staff needs help from the residents that are using the courts. Burgess Park tennis courts were asphalt, and the city had the cracks repaired. The city will be putting in new nets, resurfacing the courts, and fixing the lights. The city could do a better job maintaining the tennis courts.

Greg Gordon suggested two different options. The first being converting two the tennis courts into eight pickleball courts and add four more tennis courts. The second option put in pickleball courts in the southwest quadrant of Creekside Park near the parking lot. This area would be ideal because it is near the parking, restroom, and drinking fountain. Sound proofing could be put in to help with any noise. Shane Sorensen said the large grass area to the south of the tennis courts and basketball court was set aside for Alpine Days, future recreation center, or a library. The council at the time said that no organized sports could happen at this park. Creekside Park would be a family park. There will probably never be a park of this size in the city again.

Jessica Smuin said she had received an email suggesting the four pickleball courts go on the other side of the tree line to the south of the tennis courts. Benches could go between the pickle ball and tennis courts. Mayor Carla Merrill said she likes the idea of the pickleball courts on the north end. She also likes Greg Gordon's idea because have the parking split up would be a good idea. Shane Sorensen suggested if the city council wants to build more courts that they be pickleball courts, so that the dimensions are correct for a standard pickleball court.

Motion: Jessica Smuin motioned to approve four new pickleball courts as we were going to build in Healey Park and then convert one tennis court into two pickleball courts via flex not a full conversion but flex courts, with signage that says tennis has precedent over pickleball. No Second. Motion failed.

Mayor Carla Merrill was concerned that the lines that would be added for four flex court would be confusing for a tennis player. She has only ever seen two flex courts max per tennis court. Whitey Anson said two pickleball courts typically go on one tennis court. Four pickle ball courts on a tennis court are possible but not ideal.

Mayor Carla Merrill explained with pickleball flex court the players bring their own nets, the city would not provide the nets. Mountainville Junior High has pickleball flex courts on its tennis courts. Greg Gordon asked Shane Sorensen how much space was needed for a future building if that is what the city chooses to do. Shane Sorensen said there was not any kind of building laid out or parking in the area to the south of the tennis courts previously.

Greg Gordon asked if the city does put in pickleball courts to the southwest end by the parking lot would there be enough room for a future building. Jason Thelin voiced concern about having room for Alpine Days activities.

Lon Lott said his perspective from being on the City Council for the past eight years is that this issue has been one of the most difficult. At the meeting all of us have listened to a presentation about homelessness. So, thinking the community and council could look at this with a different perspective. Then to ask ourselves what is important and what is not. He said he finds it interesting that as a community we cannot come to a reasonable solution or location. The council has been discussing this for quite a while now. Creekside Park seems like a better location than some of the other locations that the council has talked about. The city wants to provide for all the community and older people are playing pickleball and our community is becoming an older community and providing a sense of community. We are trying to provide it for everyone, and we thought we had a good solution. The city thought biggest concerns with putting the pickleball courts in Creekside Park would be with the neighbor around the park or using up more open space. The city thought we were compromising with the Creekside Park location. It sounds like the tennis community is growing. The city felt like leaving the tennis courts at Burgess Park was for the tennis community. If the city changed the location of the new pickleball courts to Burgess Park, there would be just as many people here representing that area as there are here representing Creekside Park.

Jason Thelin said the Planning Commission has already reviewed this item and they gave the City Council the recommendation to take the two tennis courts in Creekside Park and make them into eight pickleball courts. Community involvement is important, but it is also a way to never get anything done. Both the tennis community and pickleball community are very passionate about their communities. The city cannot make everyone happy.

Motion: Jason Thelin moved to deny the proposed pickleball considerations that the Planning Commission put forward and re-evaluate location. Greg Gordon seconded the motion. There were 3 yes votes and 2 no votes. The motion passed.

Yes	<u>No</u>	<u>Absent</u>
Jason Thelin	Jessica Smuin	
Greg Gordon	Lon Lott	
Kelli Law		

Mayor Carla Merrill said any delays will cost the city money because prices will only go up for pickleball courts. Greg Gordon suggested when finding an alternative location, the city should do eight pickleball courts or two sight of four. Jessica Smuin suggested that council go back through all the communication that has occurred regarding pickleball locations. City staff has diagrams of recommended locations for pickleball courts to the north of the tennis courts.

Lon Lott explained to the public that the council was making a decision that would need to have four of the council to vote yes in order for the item to pass. A super majority vote would need to happen on any public open space in Alpine City. Mayor Carla Merrill said if the council votes to just modify the existing tennis courts, then the council does not need a super majority because most of the material already exists. Craig Hall said he did not think the council had the votes either way. Greg Gordon said he thinks the council needs more time to look at additional sites for the pickleball courts.

Substitute Motion: Jason Thelin modified his motions and moved to deny restriping a converting two tennis courts as recommended by Planning Commission, but instead instruct the city to see how much and how feasible it would be to put the pickleball courts to the north of the tennis courts in Creekside Park that would be of standard width and length for a total of four to eight units. No second. Motion failed.

Jessica Smuin said if Council member Thelin wants to have eight pickleball courts at the cost of \$360K would he consider her suggestion to do four standalone courts flex and only one tennis court converted to four pickleball courts. She asked what it costs to flex a court. Whitey Anson said it would cost around \$3,000. Jessica Smuin suggested six pickleball courts for \$163K. Potentially having the courts installed this summer.

Substitute Motion: Jessica Smuin moved to put in four new pickleball courts where staff identified to the north of the existing tennis courts and to take the west tennis court that is closest to the basketball court and turn it into a flex court for \$3,000 to get two more pickleball courts for a total of six pickleball courts. No second. Motion failed.

C. Resolution R2022-18: Approval of Timpanogos Special Service District 2022 Amended and Restated Sewer Treatment Services Contract and Collection Maintenance Agreement

Item moved to Consent Calendar and approved.

D. Approval of Bridle Up Hope Trail Easement

Shane Sorensen explained Bridle Up Hope has approached Utah County about accessing Tourism, Recreation, Cultural, Convention and Airport Facilities Tax Act Funds (TRCC Funds) to construct a trail on property they own that is located east of the horse barn and goes up the mountain. We understand that the trail will be a hiking and equestrian trail. As they have worked through the process with Utah County, an issue has come up that the project must meet the definition of "recreation facility" in Article 59-12-602(9) defined as "any publicly owned or operated park, campground, marina, dock, golf course, water park, historic park, monument, planetarium, zoo, bicycle trails and other recreation or tourism." It is our understanding that Bridle Up Hope is requesting that the city accept an easement for the proposed trail and be the operator of the trail. If Alpine City is willing to do this, we recommend that a blanket temporary construction easement be granted to the city to allow the trail to be constructed. Once the trail is complete, the alignment of the as-built trail could be surveyed, and a legal description be written for a permanent easement. The temporary construction easement would go away once the permanent easement is recorded.

Program Director at Bridle Up Hope Nicole Hadlock said they have received a grant from Utah County. Bridle Up Home has worked with the Breezy Anson from the Trail Committee. Nichole Hadlock said that Bridle Up Hope services around 400 students. When the students graduate at the end of the program, they get to go for a trail ride.

Greg Gordon asked about where the public would be parking. Nicole Hadlock said parking would be at the mouth of American Fork Canyon, but foot traffic could come on Bridle Up Hope property. Greg Gordon asked about the trails connections to the Bonneville Shoreline. Jason Thelin said when he was on Planning Commission, he remembered founder of Bridle Up Hope Mr. Covey said that the area would always be open to the public. Will Jones said he is supporting this he did ride this trail. Jason Thelin said when the Pearce's owned, but they don't own it and Bridle Up Hope does not own it. There are no bikes allowed on the Bonneville shoreline. Will Jones suggested looking for an area for a parking lot by Warren Bradshaw's home so that residents have easier access. We need to have signs to have no biker and have they will maintain it. Close the trail when weather is bad, and the trail is too muddy for horses to use. Bridle Up Hope has 21 months to finish the job. Nicole Hadlock said they would be finished sooner than the 21 months.

Motion: Jason Thelin moved to approve the Bridle Up Hope Trail Easement as proposed. Kelli Law seconded the motion. There were 5 yes votes and 0 no votes, as recorded below. The motion passed unanimously.

Yes	<u>Nays</u>	<u>Absent</u>
Jason Thelin		
Greg Gordon		
Kelli Law		
Jessica Smuin		
Lon Lott		

Motion: Jessica Smuin moved to extend the meeting until 9:30 pm. Greg Gordon seconded the motion. There were 4 yes votes and 1 no votes, as recorded below. The motion passed.

<u>No</u>	Absent
Jason Thelin	

E. Consideration for Approval of Farmer's Market at Legacy Park – Carlyn Thompson

Petitioner withdrew

F. Approval for Installation of Trail Signs Restricting Uses on Certain Trails During Certain Times of the Year

Trail Committee member Breezy Anson said the following would be closed to horses, November 1st - May 1st He and Shelly Butterfield are going to come up with a route for horse to take. Mayor Carla Merrill said she is concern with a single track in Lambert Park. Jessica Smuin asked if we can have them come back has been frustrated by

damage caused to trails when horses have been ridden on them when the conditions are wet. Several trails have been repaired multiple times to mitigate damage from horses.

The Trails Committee is recommending preventing damage from occurring that the Forbidden and Three Falls trails be closed to horses and mules from November 1st to May 1st and that the trails be signed accordingly. Jessica Smuin voiced concern about taking a vote before seeing all the trails including the one Breezy Anson and Shelly Butterflied would be coming up with.

Motion: Kelli Law moved to close forbidden and Three Falls trail from November 1st – May 1st. Jason Thelin seconded the motion. There were 5 yes votes and 0 no votes, as recorded below. The motion passed unanimously.

Yes	<u>No</u>	Absent
Jason Thelin	Jessica Smuin	
Greg Gordon		
Kelli Law		
Lon Lott		

G. Poppies Preserve and Restoration Plan

Jessica Smuin explained she had recently applied for grant to build some paths and fencing to protect the poppies and ruins in Lambert Park. The grant opportunity is through the Utah Office of Outdoor Recreation. The anticipated time frame for awarding of the grant is May 5, 2022.

The Lambert Poppy Trails are some of the oldest trails in Lambert Park dating back to the 1960's. The trails, poppy garden and Lambert Homestead are a tremendous asset to Alpine City. Residents have visited the poppy garden and ruins for decades creating family memories over multiple generations.

In recent years its increased notoriety has endangered the area and it is no longer sustainable in its current state. Outdoor enthusiasts, in the thousands, visit the site during the blooming season, from late May to mid-June. The flowers are trampled, and the ruins are climbed upon and damaged. Immediate action must be taken to preserve this historical treasure.

Jessica Smuin said the fencing proposal would be a temporary measures be installed that will protect the poppies and allow them to revegetate and rehabilitate while a permanent solution is put in place to sustain Lambert Ruins for years to come. The temporary measures include temporary fencing that would be placed around designated areas. The proposed temporary fence placement should be installed as soon as possible. Kelli Law asked about are we purchasing the fence. Shane Sorensen said we can get it from Home Depot. Jessica Smuin said the grant \$45K. Lon Lott asked what the final plan will cost. Jessica Smuin said she would send the spread sheet she created to Lon Lott. Kelli Law said he was in favor of preserving the poppies. Shane Sorensen said the city would need approximately 830 feet of fencing at a cost of less than \$5K. Lon Lott suggested getting permeant fencing around the poppies. Jessica Smuin said eventually the city will get posts with cording to designate the paths with areas for photo ops. The fencing being purchased now would block the area for a two seasons in order to restore the poppies. Jason suggested signage.

Motion: Kelli Law moved to approve the poppies preserve and restoration plan as proposed. Greg Gordon seconded the motion. There were 5 yes votes and 0 no votes, as recorded below. The motion passed unanimously.

<u>Absent</u>

VII. STAFF REPORTS

Chief Brian Patten

Chief Brian Patten reminded council and staff about the LPPS meeting Wednesday morning.

Bonnie Cooper

City Recorder Bonnie Cooper reminder the council of two upcoming events. Alpine's Youth Council will be hosting an Easter Egg Hunt this Saturday 9am at Creekside Park. Mayor Carla Merrill said the Youth Council had switched

the time to 10am. Bonnie Cooper reminded the council about Saturday the 23rd 8am at Lambert Park there will be a 123456789 trail cleanup.

Shane Sorensen

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Shane Sorensen said construction on the Lambert Park flow trails is going to start soon. There will be signs posted showing which areas will be closed.

Montdella project on Main Street has been sold. The company that has purchased it are very serious about completing the project. They have some changes that they want to make to the windows and brick. The company will go through Planning Commission with their proposed changes and then come before the City Council. Jason Thelin said Montdella was approved by the Historic Gateway Committee. He asked if the property owner would have to do that again. Shane Sorensen said we don't have an ordinance saying that they can't go through the process again.

Roundabout beautification project is in progress. The Alpine City sign can come later.

Legacy Park sprinklers will start soon, and we are going to do a section at a time. Greg Gordon asked about flowerpots. Mayor Carla Merrill suggested getting the pots ordered soon.

PI lines are being filled this week. All lines will be fully operational by the 15th of April. Some areas in Utah will only be allowed to water one day per week. This year does not look great water wise due to the drought.

VIII. **COUNCIL COMMUNICATION**

Lon Lott

Lon Lott asked if anything can be done with the gofer problem at the bowery by the rodeo grounds. Shane Sorensen said he has check into getting rid of the gofers and unfortunately there are not any good solutions.

IX. **EXECUTIVE SESSION:**

None held

Motion: Lon Lott moved to adjourn. Jessica Smuin seconded the motion. There were 5 yes votes and 0 no votes, as recorded below. The motion passed unanimously.

Yes	<u>No</u>	<u>Absent</u>
Jason Thelin		
Greg Gordon		
Kelli Law		
Jessica Smuin		
Lon Lott		

Adjourned at 9:28 pm

Fraud Risk Assessment

Continued

*Total Points Earned: 330 /395 *Risk Level: | Low | Moderate | 198 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100

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20 1 1 1 14 155 155 15 15 15 15 15 15 15 15 15 15 1	Yes	Fit
1. Does the entity have adequate basic separation of duties or mitigating controls as outlined in the attached Basic Separation of Duties Questionnaire?	200	20
2. Does the entity have governing body adopted written policies in the following areas:		
a. Conflict of interest?	5	5
b. Procurement?	5	5
c. Ethical behavior?	5	5
d. Reporting fraud and abuse?		5
e. Travel?	5	5
f. Credit/Purchasing cards (where applicable)?	5	5
g. Personal use of entity assets?	5	5
h. IT and computer security?	5	5
i. Cash receipting and deposits?	5	5
3. Does the entity have a licensed or certified (CPA, CGFM, CMA, CIA, CFE, CGAP, CPFO) expert as part of its management team?		20
a. Do any members of the management team have at least a bachelor's degree in accounting?	10	10
4. Are employees and elected officials required to annually commit in writing to abide by a statement of ethical behavior?		20
5. Have all governing body members completed entity specific (District Board Member Training for local/special service districts & interlocal entities, Introductory Training for Municipal Officials for cities & towns, etc.) online training (<u>training.auditor.utah.gov</u>) within four years of term appointment/election date?	26	20
6. Regardless of license or formal education, does at least one member of the management team receive at least 40 hours of formal training related to accounting, budgeting, or other financial areas each year?	20	20
7. Does the entity have or promote a fraud hotline?	24	20
8. Does the entity have a formal internal audit function?	20	20
9. Does the entity have a formal audit committee?		20

*Entity Name: ALPINE CITY
*Completed for Fiscal Year Ending: 4/30/22 *Completion Date: 4/24/2022
*CAO Name: SHAWE L. SOREWSEN *CFO Name: DAVID SANDENSON
*CAO Signature: *CFO Signature:
*Required

Basic Separation of Duties

See the following page for instructions and definitions.

	Yes	No	MC*	N/A
Does the entity have a board chair, clerk, and treasurer who are three separate people?	-			
2. Are all the people who are able to receive cash or check payments different from all of the people who are able to make general ledger entries?	-			
 Are all the people who are able to collect cash or check payments different from all the people who are able to adjust customer accounts? If no customer accounts, check "N/A". 	5			
4. Are all the people who have access to blank checks different from those who are authorized signers?				
5. Does someone other than the clerk and treasurer reconcile all bank accounts OR are original bank statements reviewed by a person other than the clerk to detect unauthorized disbursements?	-			
6. Does someone other than the clerk review periodic reports of all general ledger accounts to identify unauthorized payments recorded in those accounts?	6			€ ⊕*
 Are original credit/purchase card statements received directly from the card company by someone other than the card holder? If no credit/purchase cards, check "N/A". 	(
8. Does someone other than the credit/purchase card holder ensure that all card purchases are supported with receipts or other supporting documentation? If no credit/purchase cards, check "N/A".	<			
 Does someone who is not a subordinate of the credit/purchase card holder review all card purchases for appropriateness (including the chief administrative officer and board members if they have a card)? If no credit/purchase cards, check "N/A". 	/			
10. Does the person who authorizes payment for goods or services, who is not the clerk, verify the receipt of goods or services?	6			
11. Does someone authorize payroll payments who is separate from the person who prepares payroll payments? If no W-2 employees, check "N/A".	(
12. Does someone review all payroll payments who is separate from the person who prepares payroll payments? If no W-2 employees, check "N/A".	~			

^{*} MC = Mitigating Control

ALPINE CITY COUNCIL AGENDA

SUBJECT: Pickleball Courts at Creekside Park

FOR CONSIDERATION ON: 26 April 2022

PETITIONER: Staff

ACTION REQUESTED BY PETITIONER: Approve additional pickleball

courts.

BACKGROUND INFORMATION:

In November of 2020 the City Council approved pickleball courts, a pavilion and playground at Healey Park. Since that time, the City Council has considered changing the overall plans for Healey Park and for the City's pickleball courts in general.

The Planning Commission reviewed a proposal to convert two tennis courts at Creekside Park into pickleball courts on March 15, 2022, and made a recommendation of approval to the City Council.

The City Council reviewed the recommendation from the Planning Commission on March 22, 2022. After some discussion the Mayor and City Council felt that additional noticing would be a good idea. The City Council decided to continue the matter to the next meeting to be able to notify residents on the street near the park and hold a public hearing at the next meeting.

On April 12, 2022, the City Council held a public hearing and reviewed the proposal to convert the tennis courts into pickleball courts, and ultimately decided that the tennis courts should not be altered.

On April 19, 2022, the Planning Commission reviewed plans for a 1x4 configuration, for a total of 4 new pickleball courts, to be located north of the tennis courts and south of the splash pad. The Planning Commission expressed concern about reducing the grassy area adjacent to the splash pad and recommended that a 2x2 configuration be placed to the west of the basketball court.

MOTION: Commission Member John MacKay moved to recommend that new pickleball courts at Creekside Park be located next to the basketball court in a two-by-two configuration.

Alan MacDonald seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

Ayes: Nays: Excused:

Alan MacDonald Ethan Allen Jane Griener John MacKay Susan Whittenburg Troy Slade All improvements to public open space require a recommendation from the Planning Commission and a supermajority vote of approval from the City Council (3.16.040).

STAFF RECOMMENDATION:

Staff recommends that a location for new pickleball courts be approved.

SAMPLE MOTION TO APPROVE:

I move to that new pickleball courts at Creekside Park be approved at the following location within the park:

• ***Insert Finding***

SAMPLE MOTION TO TABLE/DENY:

I move to table/deny the proposed pickleball courts at Creekside Park based on the following:

• ***Insert Finding***

PROPOSAL A (not to scale)

PICKLEBALL COURT OPTION CREEKSIDE PARK - 2022

REMARKS

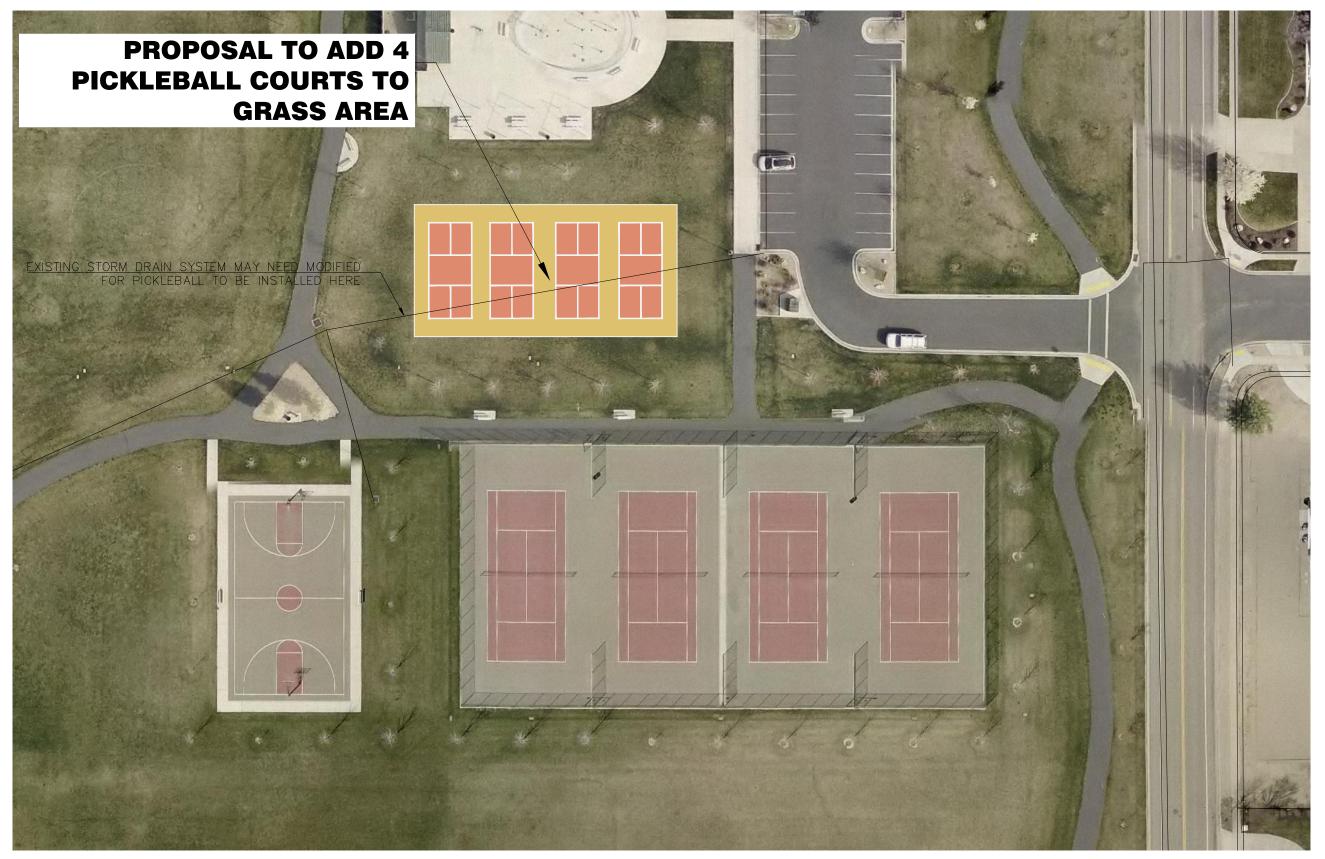
Engineering File Number:

Drawing: ##

(not to scale)

PICKLEBALL COURT OPTION CREEKSIDE PARK - 2022

Drawing: ##



PROPOSAL 1 (not to scale)

PICKLEBALL COURT OPTION CREEKSIDE PARK - 2022

REMARKS

Engineering Fil Number:

Drawing: ##

3.16.040 Special Provisions

- 1. All public parks in the City of Alpine as noted on the attached map, hereby made a portion of this Ordinance, are included in this Zone and are subject to all of the provisions of this Zone.
- 2. Land included in these parks shall not be materially changed, improved, altered, disposed of in any manner or used for any other purpose except after a recommendation of the Planning Commission following a public hearing and by a super majority vote of the City Council (4 positive votes out of 5 City Council members are required). A material change shall include, but is not limited to, a change to the park's present and essential defining characteristics, creation of or improvement of roadways or parking lots within the park.

(Ord. 1998-20, 11/24/98; amended Ord. 2007-12, 08/14/07; Ord. 2016-07, 07/26/16; Ord. 2016-24, 11/09/16)

ALPINE CITY COUNCIL AGENDA

SUBJECT: Conditional Use – Guesthouse – 2600 North Mountain Springs Road

FOR CONSIDERATION ON: 26 April 2022

PETITIONER: Scott Johnson

ACTION REQUESTED BY PETITIONER: Approve the guest house

BACKGROUND INFORMATION:

In November 2021, the City Council approved an amendment to the guest house ordinance to allow a guest house to have a second driveway when it is accessed from a separate driveway than the main house. The petitioner at the time was Scott Johnson. Mr. Johnson is now submitting his plans for his guest house.

Guest houses are a conditional use in the CE-5 zone and subject to the requirements found in 3.23.070.2. The proposed guest house meets all the requirements found in the ordinance. Guest houses are subject to approval by the City Council.

The Planning Commission review this item on April 19, 2022, and found that the proposal meet the requirements outlined in ordinance. The Planning Commission recommends a conditional use permit be granted for the proposed guest house.

MOTION: Commission Member Alan MacDonald moved to recommend a conditional use permit be granted for a guest house at 2600 North Mountain Springs Road as proposed.

Jeff Davis seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

Ayes: <u>Nays:</u> <u>Excused:</u>

Alan MacDonald Ethan Allen Jane Griener John MacKay Susan Whittenburg

Troy Slade Jeff Davis

STAFF RECOMMENDATION:

Approve guest house as proposed.

SAMPLE MOTION TO APPROVE

I move to approve the proposed guest house at 2600 North Mountain Springs Road by granting a conditional use permit.


SAMPLE MOTION TO TABLE/DENY


I move to table/deny the request for a conditional use permit for the guest house at 2600 North Mountain Road based on the following:

INSERT FINDING





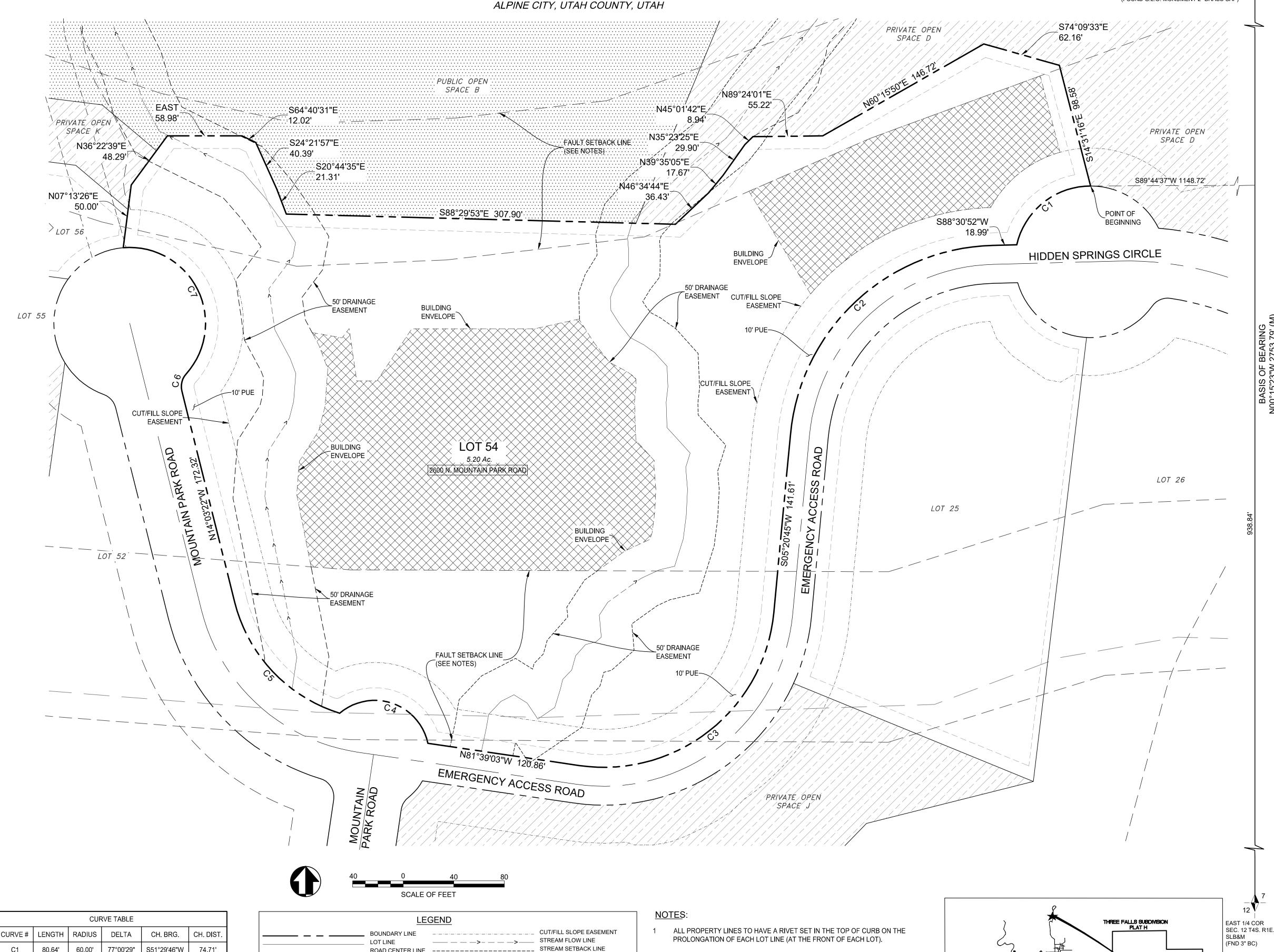




THREE FALLS SUBDIVISION PLAT "I"

AMENDING LOT 54 OF THREE FALLS SUBDIVISION PLAT "H" LOCATED IN THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,

NORTHEAST CORNER SECTION 12 TOWNSHIP 4 SOUTH, RANGE 1 EAST SALT LAKE BASE & MERIDIAN (FOUND G.L.O. MONUMENT 2" BRASS CAP)

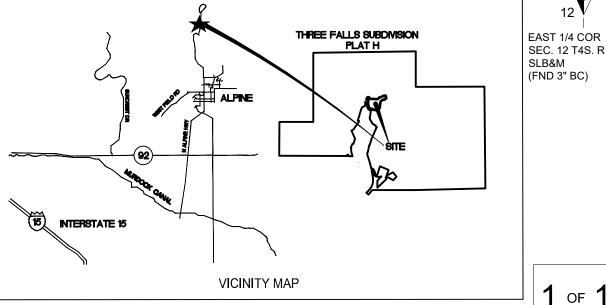


	CURVE TABLE					
CURVE#	LENGTH	RADIUS	DELTA	CH. BRG.	CH. DIST.	
C1	80.64'	60.00'	77°00'29"	S51°29'46"W	74.71'	
C2	239.51'	165.00'	83°10'07"	S46°55'49"W	219.03'	
C3	219.13'	135.00'	93°00'12"	S51°50'51"W	195.86'	
C4	88.67'	43.00'	118°08'47"	N71°08'22"W	73.78'	
C5	126.15'	123.00'	58°45'40"	N43°26'12"W	120.69'	
C6	14.65'	15.00'	55°56'39"	N13°54'58"E	14.07'	
C7	143.21'	60.00'	136°45'22"	N26°29'24"W	111.56'	

ROAD CENTER LINE ----- STREAM SETBACK LINE ROAD RIGHT OF WAY — — — — — — — EASEMENT LINE __ _ _ _ BUILDING ENVELOPE FAULT LINE PORTION OF BUILDING ENVELOPE FAULT OFFSET LINE WHERE SEWER IS NOT AVAILABLE

PUBLIC OPEN SPACE PRIVATE OPEN SPACE BUILDÎNĞ ENVELOPE

- FAULT SETBACK AREA SHOWN IS FROM A GEOLOGICAL HAZARD ASSESSMENT
- PREPARED BY IGES, DATED OCTOBER 5, 2020. IGES PROJECT NO. 03469-001.
- PURPOSE OF THIS PLAT AMENDMENT IS TO DEFINE THE NEW BUILDING ENVELOPE AS SHOWN
- 4 PUE= PUBLIC UTILITY EASEMENT DE= DRAINAGE EASEMENT
- EXCEPT AS MODIFIED BY THIS AMENDMENT, THE THREE FALLS SUBDIVISION PLAT AND CCR'S "DECLARATION" REMAIN IN FULL FORCE AND EFFECT.



SURVEYORS CERTIFICATE:

I. SHAWN R. VERNON DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR. AND THAT I HOLD CERTIFICATE NUMBER 270814 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS. BLOCKS, STREETS AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION:

ALL OF LOT 54, THREE FALLS SUBDIVISION, PLAT "E", AS RECORDED SEPTEMBER 15, 2017 AS ENTRY NO. 2017-90460 IN THE OFFICE OF THE UTAH COUNTY RECORDER AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT BEING ON THE NORTHERLY LINE OF HIDDEN SPRINGS CIRCLE AND THE SOUTHEAST CORNER OF LOT 54, THREE FALLS SUBDIVISION, PLAT "E" RECORDED SEPTEMBER 15, 2017 AS ENTRY NO. 2017-90460 IN THE OFFICE OF THE UTAH COUNTY RECORDER, SAID POINT ALSO BEING 938.84 FEET NORTH 00°15'23" WEST AND 1148.72 FEET SOUTH 89°44'37" WEST FROM THE EAST QUARTER CORNER OF SECTION 12, TOWNSHIP 4 SOUTH, RANGE LAKE BASE AND MERIDIAN AND RUNNING THENCE SOUTHWESTERLY 80.64 FEET ALONG THE ARC OF A 60.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 77°00'29", (CHORD BEARS SOUTH 51°29'46" WEST 74.71 FEET) THENCE SOUTH 88°30'52" WEST 18.99 FEET; THENCE SOUTHWESTERLY 239.51 FEET ALONG THE ARC OF A 165.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 83°10'07", (CHORD BEARS SOUTH 46°55'49" WEST 219.03 FEET); THENCE SOUTH 05°20'45" WEST 141.61 FEET; THENCE SOUTHWESTERLY 219.13 FEET ALONG THE ARC OF A 135.00 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 93°00'12", (CHORD BEARS SOUTH 51°50'51" WEST 195.86 FEET); THENCE NORTH 81°39'03" WEST 120.86 FEET; THENCE NORTHWESTERLY 88.67 FEET ALONG THE ARC OF A 43.00 FOOT NON-TANGENT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 118°08'47, (CHORD BEARS NORTH 71°08'22" WEST 73.78 FEET): THENCE NORTHWESTERLY 126.15 FEET ALONG THE ARC OF A 123.00 FOOT NON-TANGENT RADIUS CURVE TO THE RIGHT. THROUGH A CENTRAL ANGLE OF 58°45'40". (CHORD BEARS NORTH 43°26'12" WEST 120.69 FEET); THENCE NORTH 14°03'22" WEST 172.32 FEET; THENCE NORTHERLY 14.65 FEET ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 55°56'39", (CHORD BEARS NORTH 13°54'58" EAST 14.07 FEET); THENCE NORTHERLY 143.21 FEET ALONG THE ARC OF A 60.00 FOOT REVERSE CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 136°45'22", (CHORD BEARS NORTH 26°29'24" WEST 111.56 FEET); THENCE NORTH 07°13'26" EAST 50.00 FEET: THENCE NORTH 36°22'39" EAST 48.29 FEET: THENCE EAST 58.98 FEET: THENCE SOUTH 64°40'31" EAST 12.02 FEET; THENCE SOUTH 24°21'57" EAST 40.39 FEET; THENCE SOUTH 20°44'35" EAST 21.31 FEET; THENCE SOUTH 88°29'53" EAST 307.90 FEET; THENCE NORTH 46°34'44" EAST 36.43 FEET; THENCE NORTH 39°35'04" EAST 17.67 FEET: THENCE NORTH 35°23'25" EAST 29.90 FEET: THENCE NORTH 45°01'42" EAST 8.94 FEET: THENCE NORTH 89°24'01" EAST 55.22 FEET; THENCE NORTH 60°15'50" EAST 146.72 FEET; THENCE SOUTH 74°09'33" EAST 62.16 FEET; THENCE SOUTH 14°31'16" EAST 98.58 FEET TO THE POINT OF BEGINNING.

OWNER'S DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT I, ONE OF THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS TO BE HEREAFTER KNOWN AS THE

THREE FALLS SUBDIVISION PLAT E

AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICA	ATED HEREON FO	OR PERPETUAL USE OF
THE PUBLIC. IN WITNESS HEREOF WE HAVE HEREUNTO SET OUR HANDS THIS $_$, DAY OF	, A.D. 20

NAME.	TITLE.
NAME:	

ACKNOWLEDGEMENT:

STATE OF UTAH	1
COUNTY OF	} s.s.

NOTARY PUBLIC RESIDING IN

_, 20_____ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COUNTY OF __, IN SAID STATE OF UTAH, THE SIGNER OF THE ABOVE OWNER'S DEDICATION, WHO DULY ACKNOWLEDGED TO ME THAT HE/SHE, FREELY AND VOLUNTARILY AND FOR THE USE AND PURPOSE THEREIN MENTIONED.

MY COMMISSION EXPIRES	

ACCEPTANCE BY LEGISLATIVE BODY:

THE OF		OF			, COUNTY OF	UTAH, APPROVES	THIS
SUBDIVISION AND HE	REBY ACCEPTS THE DE	DICATION OF ALL	STREETS,	EASEMENTS,	AND OTHER F	PARCELS OF LAND	
INTENDED FOR PUBLI	IC PURPOSES FOR THE	PERPETUAL USE (OF THE PU	BLIC THIS	DAY OF	A.D., 20	

CITY MAYOR:		
CITY COUNCIL:		

CITY ENGINEER:

PLANNING COMMISSION APPROVAL: A D 20 BY THE ALPINE CITY PLANNING COMMISSION APPROVED THIS

/ III NOVED IIIIO	 ,	, , ,	THE TELLINE OF THE EXTRACTOR OF COMMISSION.

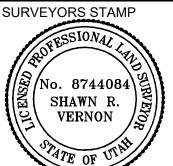
DIRECTOR SECRETARY CHAIRMAN, PLANNING COMMISSION

APPROVAL AS TO FORM:

APPROVED THIS DAY OF

THREE FALLS SUBDIVISION PLAT "I"

AMENDING LOT 54 OF THREE FALLS SUBDIVISION PLAT "H" LOCATED IN THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,



CITY ATTORNEY

ALPINE CITY, UTAH	COUNTY, UTAH	
NOTARY PUBLIC SEAL	CITY ENGINEERS SEAL	CLERK-RECORDER SE

ENGINEER OF RECORD CAD TECH



JOHNSON RESIDENCE GARAGE

LOT 54 THREE FALLS ALPINE UTAH

CONSULTANT SCHEDULE

	DESIGNER/ DRAFTER	STRUCTURAL ENGINEER	SURVEYOR/ CIVIL ENGINEER
CONSULTANT	LANDFORMS DESIGN landforms.com	York Engineering	Entellus
CONTACT INFO.	(801) 298-2240 MIKE.H@landforms.com	(801) 876-3501 JAKE@yorkengr.com	181 North 200 West, Suite #4 Bountiful, Utah 84010 Phone 801-298-2236 Fax 801-298-5983
REP.	BLAIR/ MIKE	JAKE	SCOTT

CODE ANALYSIS

2015 IFGC

UTAH STATE ADOPTED CODES AS OF JULY 1, 2013-BUILDING OCCUPANCY: R-3 2018 IBC TYPE 5 B-CONSTRUCTION 2017 NEC 2015 IPC 2012 UTAH ENERGY 2015 IMC CONSERVATION CODE

SQUARE FOOTAGE

-SQUARE FOOTAGE--LOCATION-MAIN LEVEL FINISHED BASEMENT COLD STORAGE -TOTAL LIVING-GARAGES

DEFERRED SUBMITTAL

ALL DEFERRED SUBMITTALS AND CHANGES TO PLANS MUST BE-A. FIRST APPROVED BY THE DESIGNER OF RECORD PRIOR TO SUBMITTING TO BUILDING OFFICIAL.

B. APPROVED BY THE STRUCTURAL ENGINEER OF RECORD FOR ANY STUCTURAL ITEMS FOR DEFERRED SUBMITTALS

-DEFERRED ITEMS OR PROVIDED BY CONTRACTOR-

1. -FIRE SPRINKLER PLANS (MOD. NFPA 13D) ?. -RADIANT HEAT DESIGN (LAYOUT PLANS, CALCS, & SPECS. 3. -GAS PIPING SCHEMATIC-PROVIDED BY MECH. CONTRACTOR 4. -TRUSS PLANS & CALCS. (IF APPICABLE)

5. -STUCCO SYSTEM. (IF APPLICABLE)

6. -FIREPLACE PRODUCT INFO. (IF APPLICABLE) T. -CONSTRUCTION MITIGATION PLAN. 8. -GEOTCH. SURVEY (IF APPLICABLE AS

DETERMINED BY BUILDING OFFICIAL) 9. -LANDSCAPE PLAN (IF APPLICABLE) 10. -SPECIAL INSPECTIONS FOR WELDING

ON THIS PROJECT (IF APPLICABLE) 11. -CONTRACTOR TO PROVIDE EXTERIOR LIGHTING SPECS. PRIOR TO FOUR-WAY INSPECTION 12. -POOL DESIGN BY OTHERS (IF APPLICABLE)

DRAWING SCHEDULE

COVER SHEET & DRAWING SCHEDULE

BASEMENT FLOOR & FOOTING AND FOUNDATION PLAN

GENERAL NOTES & DETAILS

MAIN FLOOR PLAN

CLERESTORY PLAN EXTERIOR ELEVATIONS

A6 EXTERIOR ELEVATIONS

FRAMING PLANS AND BEAMS

FRAMING SECTIONS

FRAMING SECTIONS

ELECTRICAL, MECHANICAL, & PLUMBING PLAN

ELECTRICAL, MECHANICAL, & PLUMBING PLAN ELECTRICAL, MECHANICAL, & PLUMBING PLAN

STRUCTURAL DETAILS

STRUCTURAL DETAILS

STRUCTURAL DETAILS

ST4 STRUCTURAL DETAILS

LANDFORMS landforms.com

GENERAL NOTES

A. EXCAVATION, BACK FILL, GRADING & DAMPROOFING

1. All excavations for footings shall be to natural undisturbed soil. 2. All back filling shall be done with granular free draining material. Existing site material may be used so long as existing soils are free from clay soils and any construction debris. Compact all back fill material in 10" lifts to 95% of maximum soil density.

3. Finish grading shall be done so as to provide positive drainage away from all building foundations. A minimum slope of 6' per 10'-0" and shall be maintained with a 1% slope thereafter to approved drainage areas.

4. All raingutter downspouts shall be piped away from the home to an approved drainage area. No raingutters shall drain in window wells, or rock light wells.

5. If any ground water is encountered during excavation, a qualified soils Engineer shall be retained to make an on-site assesment of the situation. 6. Footing drains shall be placed around all exterior footings and gravity fed to an approved drainage area.

1. All windows in rooms used for sleeping shall have sills not more than 44" above the floor with an operable opening of not less than 5.7 square feet. The height of the window shall not be less than 24" with a net clearing width of not less than 20".

Exception: grade floor openings shall have a min. net clear opening of 5.0 sq. ft.

2. Habitable rooms require 8% of floor area to be glazing with 1/2 of that glazing to be operable 3. All windows to be double pane insulated glazing of 3/16" double strength "B" grade glass minimun. 4. Wood and vinyl windows are called out differently. Vinyl window sizes are in feet and inches $(3^{0}5^{0})$ while wood windows are in inches only (3660). All doors are in feet and inches.

C. VENTILATION

1. Natural ventilation shall be provided to every habitable room with equal to 4% of floor area with operable windows which will provide (.35) fresh air changes per hour.

2. No gas connections allowed in any rooms used for sleeping or in any corridors leading to or through any sleeping room.

3. Ventilation shall be provided into all crawl spaces by means of screened vents measuring not less than T'x14" spaced

not more than 25' apart and placed so as to provided cross ventilation.
4. Provide (2) combustion air ducts to furnace rooms (1) placed at 18" above floor and (1) placed at 12" below the ceiling

with an area of not less than (1) square inch per 1,000 BTUH input. 5. Provide attic ventilation equal to 1/150 of the area of the space ventilated. 6. Mechanical ventilation may be provided in habitable rooms, where not required for

emergency escape. System will be able to provide (.35) fresh air changes per hour. D. FIRE PROTECTION & WARNING

I. Provide $\frac{5}{8}$ " type "X" gyp. bd. on all supporting walls and ceilings of the garage adjacent to living areas. Nail all 5/8" type "X" gyp. bd. at 6" o.c.. (One hour fire rated) 2. Provide $\frac{1}{2}$ " type "X" gyp. bd. on walls and under side of stairs under any stairway

area used for storage. Fire block walls at all stair stringers. 3. Doors leading from the garage into the house shall be solid core wood or honeycomb metal doors not less than 13/8" thick

 4. Smoke detectors are required in all hallways leading to sleeping rooms, sleeping rooms, unfinished areas, with a minimum of (1) one each story. Wire all smoke detectors to sound simultaneously. Smoke detectors must have battery back-up.

5. A minimum of 30" shall be provided above all ranged, grills, or cook tops to combustibles. E. HANDRAILS & GUARDRAILS

1. Handrails are required at all stairways having (2) or more risers. 2. Handrails shall be placed not less than 2'-10" above stair nosing and not more than

3'-2" above stair nosing. 3. Handrail gap size shall have a circular cross section of 1/4" minimum - $2\frac{5}{8}$ " max. Edges shall have a minimum radius of $\frac{1}{8}$ ". Handrails may project $4\frac{1}{2}$ " into the stairway on both sides. Continuous handrails shall be permitted to be interrupted by a newel post at a turn and the use of a volute turn or starting easing shall be allowed on lowest tread. 4. Guardrails are required at all landings or decks or floor levels more than 30" apart. 5. Balusters for guardrails shall be spaced such that a 4" diameter sphere shall not pass through. 6. When a guardrail is combined with a handrail on all open side of stairs, guardrail

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LOT* 54 SUBDIVISION THREE FALLS

CITY ALPINE
PLEASE NOTIFY LANDFORMS DESIGN OF ANY UNLAWFUL USE



G, FOUNDATION & LOWER LEVEL PLA

CUSTOM DETACHED GARAGE PLAN

CUSTOM DETACHED GARAGE PLAN

CUSTOM DETACHED GARAGE PLAN

REVISIONS date item

No 167/97-2203 ENGINEER

NO 167/97-2203 ENGINEER

VORK

ENGINEER
OF
RECORD

CAD TECH

M.H.H.

RELEASE
DATE

1-21-21

RELEASE DATE 1-21-21

FOOTING AND FOUNDATION GENERAL NOTES

- ALL EXTERIOR FLAT WORK CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH EQUAL
 TO AT LEAST 3000 PSI WITHIN 28 DAYS AFTER PLACING. FOOTINGS AND FOUNDATION
 WALLS SHALL BE AT LEAST 3000 PSI.
- 2. ALL METAL REINFORCEMENT SHALL CONFORM TO A.S.T.M. A615-68 GRADE 60, WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
- 3. ALL REINFORCING BARS SHALL BE DETAILED, BOLSTERED AND SUPPORTED IN ACCORDANCE
- 4. ALL REINFORCEMENT BARS SHALL BE SECURELY ANCHORED TO THE FORMS AND SPACED
- FROM THEM AS FOLLOWS:

 (a) FOR CONCRETE NOT EXPOSED DIRECTLY TO THE GROUND OR WEATHER, 3/4 IN.
- IN SLABS AND WALLS.

 (b) FOR CONCRETE EXPOSED TO THE GROUND OR WEATHER, 2 IN. IN WALLS, 3 IN. ABOVE BOTTOM OF FOOTINGS.
- 5. ALL SPLICES IN CONTINUOUS REINFORCING BARS SHALL LAP 36 BAR DIAMETERS. ALL
- SUCH SPLICES SHALL BE MADE IN A REGION OF COMPRESSION UNLESS SHOWN OTHERWISE.

 6. UNLESS OTHERWISE SHOWN, MAKE ALL CONCRETE SLABS ON EARTH AT LEAST 4 IN. THICK
- 1. PROVIDE 2 IN. X 4 IN. X CONT. KEY IN ALL WALL FOOTINGS WHERE GROUND WATER IS PRESENT.
- 8. LARGE AREAS OF SLAB ON GRADE SHALL BE PLACED IN STRIPS SUBDIVIDED BY CONTRACTION OR CONSTRUCTION JOINTS INTO ROUGHLY SQUARES WHOSE SIDES SHALL NOT EXCEED
- 25 FT. IN EITHER DIRECTION.

 9. FOOTINGS SHALL BE ON UNDISTURBED SOIL OR APPROVED FILL AND PROVIDE 36" MIN. FROST PROTECTION
- 10. CONCRETE FLOOR SLABS, EXCEPT THOSE IN UNHEATED ACCESSORY STRUCTURES, SHALL HAVE A VAPOR RETARDER CONSISTING OF A 6 MIL (2006 inch) POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE BASE COURSE OR THE PREPARED SUB-GRADE WHERE NON BASE COURSE EXISTS. -R5062.3
- II. PROVIDE A U-FER GROUND AS PER E3508.I.I AND NEC 250.50
- STEEL

WITH ACI 315,

- ALL STRUCTURAL STEEL AND STRUCTURAL STEEL WORK SHALL COMPLY WITH "SPECIFICA-TIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILD-INGS OF THE A.I.S.C."
- 2. ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL BE A.S.T.M. GRADE 50
- 3. ALL WELDS AND WELDING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF "THE AMERICAN WELDING SOCIETY," USING ETØXX ELECTRODES.

FC	OT]	ING :	SCE	IED	UL	LE						IGS ON THIS SCHEDULE E USED FOR THIS PLAN
			+. !! ~! 4		R066	BWISE RE	INF.	L	.ENGTH	HWISE RE	EINF.	
MARK	WIDTH	LENGTH	THICK	NO.	SIZE	LENGTH	SPACE	NO.	SIZE	LENGTH	SPACE	REMARKS
F-1	1 -8 "	CONT.	10"	NONE				(2)	#4	CONT.	14"	PERIMETER FTG.
F-2	1'-8"	CONT.	10"	NONE				(2)	#4	CONT.	14"	INTERIOR FOOTING UNDER SLAB
F-3	2'-0"	CONT.	12"	NONE				(3)	#4	CONT.	Ō	PERIMETER FTG.
F-4	2'-6"	CONT.	12"	NONE				(4)	#4	CONT.	8"	PERIMETER FTG.
F-5	3'-Ø"	3'-Ø"	12"	(4)	#4	2'-6"	10"	(3)	#4	2'-6"	15"	SPOT FTG.
F-6	4'-0"	4'-0"	12"	(5)	#4	3'-6"	101/2"	(5)	#4	3'=6"	101/2"	SPOT FTG.
F-7	5'-0"	5'-0"	12"	(5)	#4	4'-6"	131/2"	(5)	#4	4'-6"	131/2"	SPOT FTG.
F-8	4'-0"	CONT.	12"	NONE				(5)	#4	CONT.	101/2"	PERIMETER FTG.

3 <i>,000</i> PSI C	ONCRETE]	FOU	N]	DAT)[NC		SC	H	E	DUI	LE	60,000 PSI STEEL
MAXIMUM WALL HEIGHT FROM T.O. FOOTING	TOP EDGE SUPPORT	MIN, WALL WIDTH	WAL	RTICAL L REINF. SPACING	WAI	RIZONTAL L REINF. SPACING	AB.	ADD FOI OVE SIZE	R 0	PENIN DES	GS BE	_OW	MAX. LINTEL LENGTH	MIN. LINTEL DEPTH	FOUNDATION BOLTS NOTES
2'-Ø" TO 5'-Ø"	NONE	8"	#4	24" O.C.	#4	18" O.C.	2	#4	1	#4	1	#4	2'	6"	5/8" × 10" @ 32" O.C.
5'-1" TO 6'-0"	NONE	8"	#4	18" O.C.	#4	18" O.C.	2	#4	1	#4	1	#4	3'	6"	5/8" × 1Ø" @ 32" O.C.
6'-1" TO 7'-0"	NONE	8"	#4	12" O.C.	#4	18" O.C.	2	#4	1	#4	1	#4	4'	8"	5/8" × 10" @ 32" O.C.
7'-1" TO 8'-0"	FLOOR	8"	#4	24" O.C.	#4	18" O.C.	2	#4	1	#4	1	#4	5'	10"	5/8" × 10" @ 32" O.C.
8'-1" TO 9'-0"	FLOOR	8"	#4	16" O.C.	#4	18" O.C.	2	#4	1	#4	1	#4	6'	12 "	5/8" × 10" @ 32" O.C.
9'-1" TO 10'-0"	FLOOR	8"	#4	12" O.C.	#4	12" O.C.	2	#4	1	#4	1	#4	6'	12 "	5/8" × 10" @ 24" O.C.
10'-1" TO 11'-0"	FLOOR	8"	#4	6" O.C.	#4	12" O.C.	2	#4	1	#4	1	#4	6'	12 "	5/8" × 10" @ 24" O.C.
11'-1" TO 12'-Ø"	FLOOR	8"	#4	4" O.C.	#4	12" O.C.	2	#4	1	#4	1	#4	6'	12 "	5/8" × 10" = 24" O.C.
>12'-Ø"	REQ. ENG.						_								CONTACT YORK ENGINEERING

- 1. REBAR TO BE PLACED IN THE CENTER OF THE WALL (U.N.O.) AND EXTEND FROM THE FOOTING TO WITHIN 3" OF THE TOP OF THE WALL.

 2. *4 FOOTING DOWELS SHALL EXTEND 24" INTO THE FOUNDATION AND MATCH VERTICAL STEEL SIZE AND SPACING. DOWELS SHALL

 HAVE A 90° STANDARD HOOK AT BOTTOM AND SHALL BE PLACED PER DETAILS.

 3. ONE BAR SHALL BE LOCATED IN THE TOP 3" AND ONE BAR IN THE BOTTOM 3" OF THE FOUNDATION WALL.

 (THE REMAINING EQUALLY SPACED BETWEEN)
- 4. BARS SHALL BE PLACED WITHIN 2" OF THE OPENING AND EXTEND 24" BEYOND THE EDGE OF THE OPENING. 5. THIS TABLE ASSUMES A MINIMUM OF 1500 PSF BEARING CAPACITY, 38 PSF EQUIVALENT FLUID PRESSURE AND A
- GLOBALLY STABLE SITE 6. ALL FOUNDATION STEPS SHALL BE 2'-0" MINIMUM.
- 9. ALL FOUNDATION STEPS SHALL BE 2-0 MINIMUM. 1. USE 3" X 3" X 1/4" WASHERS ON J-BOLTS. IF SLOTTED WASHER IS USED, ADD CUT WASHER. 3. J-BOLTS MAY BE REPLACED WITH 5/8"¢ EXPANSION BOLTS INTO SUSPENDED SLAB
- 2. TITEN HD BOLTS OR EPOXY THREADED RODS MAY BE SUBSTITUTED FOR J-BOLTS OF SAME SIZE AND SPACING. USE 6" TITENS FOR SINGLE SILL PLATE, USE 8" TITENS FOR DOUBLE SILL PLATES.

 0. ATTACH SILL PLATE TO FLOOR JOISTS/ BLOCKING WITH A34 CLIP AS PER DETAILS.
 1. PERIODIC SPECIAL INSPECTIONS REQUIRED ON 11'-1" TO 12'-0" FOUNDATION WALLS.

2015 REScheck COMPLIANCE UTAH ENERGY CONSERVATION CODE DESCRIPTION INSULATION R-VALUE | DOOR/WINDOW U-VALUE, SHGC VALUE R-11 W/ EXTERIOR OR FURRED BASEMENT WALLS R-18 TOTAL R-T URETHANE x4 STUDS EXTERIOR STUD WALLS R-13 W/ R-20 TOTAL R-7 URETHANE x6 STUDS PROVIDE INSULATION DEPTH MARKERS BLOWN INSULATION OVER LIVING AREA R-42 EVERY 300 SQ.FT. OF ATTIC AREA NON-VENTED ROOF INSULATION CELL FOAM (R-21) = R-21 TOTAL OVER LIVING AREA INSULATED FLOOR OVER GARAGE R-30 AREA & CANTILEVERS JINDOWS U-*Ø.*32Ø SHGC-0.240 SHGC-0.240 EXTERIOR DOORS SOLID/GLASS U-*0.*250 R-10 RIGID 3'-0" EA WAY (STEM WALL/ UNDER SLAB) CONC. STEM WALL FURNACE EFFICIENCY MAIN AND UPPER FLOOR = 90%

FRAMING GENERAL NOTES 2018 IRC

- 1. ALL BEARING HEADERS, JOISTS AND BEAMS SHALL BE DOUG FIR #2 OR BETTER. ALL BEARING COLUMNS SHALL BE DOUG FIR #2 OR BETTER. ALL BEARING STUDS & TRIMMERS SHALL BE DOUG FIR #2 OR BETTER FOR MAX. HEIGHTS ALLOWED SEE STUD WALL HEIGHT SCHEDULE.
- GLU-LAMINATED TIMBER MEMBERS SHALL HAVE A MINIMUM ALL ALLOWABLE BENDING STRESS OF 2,400 psi (24F-V4) LAMINATED VENEER LUMBER SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 2,600 psi 2. PROVIDE SOLID BLOCKING AT LEAST 2 IN. THICK AND FULL DEPTH OF JOIST @ ENDS AND AT EACH SUPPORT OF JOIST. PROVIDE SOLID BLOCKING @ BEARING ENDS OF TRUSSES.
- 3. LAMINATED BUILT-UP BEAMS OF 2X MEMBERS SHALL BE SPIKED TOGETHER WITH NOT LESS THAN (2) ROWS 16d SPIKES AT SIXTEEN-INCH (16 IN.) CENTERS, STAGGERED. USE (2) ROWS 16d COMMON NAILS AT 3" OFF TOP AND BOTTOM OF BUILT UP BEAM. STAGGER TOP AND BOTTOM ROWS OF NAILS.

 4. ALL STRUCTURAL SHEATHING SHALL BE A P.A. RATED AND SHALL NOT EXCEED MAXIMUM SPAN RATING. ROOF
- 4. ALL STRUCTURAL SHEATHING SHALL BE A.P.A. RATED AND SHALL NOT EXCEED MAXIMUM SPAN RATING. ROOF SHEATHING SHALL BE **5/8'** STRUC II WITH A SPAN RATING OF 24/16. ROOF SHEATHING SHALL BE FASTENED TO FRAMING WITH 8d @ 6" O.C. @ BOUNDARY AND EDGES, & W/8d @ 12" O.C. @ FIELD. FLOOR SHEATHING SHALL BE **3/4"** STRUCT II T&G WITH A SPAN RATING OF 40/20. FLOOR SHEATHING SHALL BE FASTENED TO FRAMING WITH 8d @ 6" O.C. @ BOUNDARY AND EDGES, & W/8d @ 12" O.C. @ FIELD.
- @ 6" O.C. @ BOUNDARY AND EDGES, & W/8d @ 12" O.C. @ FIELD.
 TRUSSES TO BE DESIGNED & ENGINEERED BY MANUFACTURER AND GUARANTEED TO WITHSTAND LOADS AS SHOWN IN DESIGN BASIS BELOW. TRUSS MANUFACTURER TO DESIGN TRUSSES FOR ALL APPLICABLE SNOW
- LOADING CONDITIONS PER IRC 2018.

 6. PROVIDE FIRE BLOCKING IN ANY STUD CAVITIES GREATER THAN 10'-0".

16. USE A356 AT EACH CANTILEVERED JOIST TO BEARING WALL PLATE.

- 7. PROVIDE SIMPSON HI ANCHORS @ EACH TRUSS ON BEARING ENDS OF ALL TRUSSES & RAFTERS.
- PROVIDE JOIST HANGERS WHERE SHOWN, OR WHERE APPLICABLE.
 PROVIDE TRIMMERS/STUDS UNDER BEARING ENDS OF GIRDER TRUSSES & BEAMS EQUIVALENT TO THE WIDTH OF THE MEMBER SUPPORTED, OR AS SPECIFIED ON FRAMING PLANS.
- 10. PROVIDE GABLE END TRUSSES AS REQUIRED.

DEAD LOAD . .

- ALL NONBEARING INTERIOR FRAMING @ 16" O.C.
 FRAMING TO INCLUDE ALL FURR DOWNS, PLANT SHELVES & CEILING RAFTERS AS PER PLAN.
- 13. ALL WOOD BEAMS AND HEADERS SHALL BEAR ON MINIMUM OF (1) TRIMMER STUD AT EACH END UNLESS SHOWN OTHERWISE.
- 14. PROVIDE SOLID BLOCKING IN FLOORS TO TRANSFER COLUMN POINT LOADS THROUGH FLOOR (1^34 " x $9\frac{1}{2}$ ", $11\frac{1}{6}$ ", AND 14" L.V.L.'s) TO MATCH FLOOR SYSTEM.
- IS. HOT TUBS OR OTHER OWNER INSTALLED ITEMS THAT IMPOSE HEAVY LOADS ON STRUCTURAL MEMBERS WILL REQUIRE ADDITIONAL ENGINEERING IF NOT SHOWN ON ORIGINAL PLANS USED FOR DESIGN. STRUCTURAL MEMBERS MAY NEED TO BE INCREASED FOR THE ADDITIONAL IMPOSED LOADING.

DESIGN BASIS	
GOVERNING BUILDING CODE	I.R.C, I.B.C. 2018
SEISMIC DESIGN	
SECTION	1613.5.6.2 (ASCE 7) CAT. D
WIND DESIGN	
BASIC WIND SPEED	115 M.P.H.
DESIGN SOIL BEARING PRESSURE	1500 P.S.F.
ROOF LIVE LOAD	60 P.S.F.
DEAD LOAD	15 P.S.F.
SUSPENDED FLOOR LIVE LOAD	40 P.S.F.
DEAD LOAD	·- · · ·- · ·
EXTERIOR BALCONY/DECK LIVE LOAD	60 P.S.F.

	MARK	SIMPSON MODEL #	MIN. POST SIZE (FULL HGT. KING POST)	STEM WALL	SLAB ON GRADE	NOTES/ COMMENTS:	
	\	LSDTHD8/8RJ ⁽²⁾	4x4 OR (2) 2x4	N/A EMBED STRAP 8"	N/A EMBED STRAP 8"		
	H2>	STHD10/10RJ ⁽²⁾	4×4 OR (2) 2×4	N/A EMBED STRAP 10"	N/A EMBED STRAP 10"		
~ 5 √ √ √ √ 0 × 0 0 0 0 0 0 0 0 0 0 0 0 0 0	H3>	STHD14/14RJ (2)	4×4 OR (2) 2×4	N/A EMBED STRAP 14"	USE HTT5 OR HDU5 W/ PAB5		
SHEARWALL TO FOUNDATION HOLDOWNS	\ 4	HTT5/ HDU5	4×4 OR (2) 2×4	SB5/8×24	PAB5		
	H5	HDUS	4×4 OR (2) 2×4	SB7/8×24	99TB28		
	(H6)	HDUII/ HDUI4	6×6	SBIX30 OR PAB8 SEE PLAN	SBIX30 OR PAB8 SEE PLAN		
UPPER TO LOWER WALL TIE ANCHORS	MARK	SIMPSON MODEL #	MIN. POST SIZE (FULL HGT, KING POST)		NOTES/ COMMENTS:	э̂:	
		MST48			CENTER STRAP SO EQUAL LENGTHS ARE ON UPPER AND LOWER WALLS		
	(48)	МБТТ2			CENTER STRAP SC ON UPPER AND LC	PEQUAL LENGTHS ARE DWER WALLS	
	(PH)	HDU8				OD BETWEEN FLOORS	

- 2. 'RJ' AFTER MODEL INDICATES STHD'S FOR RIM JOIST APPLICATIONS. USE RJ MODELS

 @ ALL RIM JOIST APPLICATIONS
- 3. USE STANDARD WASHERS WHEN BOLTING HD'S TO THE STUDS OPPOSITE THE "HOLDOWN". HD'S MUST BE LOCATED ON THE STUDS TO PROVIDE A MINIMUM OF I BOLT DIAMETERS BETWEEN THE HOLE AND THE
- 4. FOUNDATION CONCRETE STRENGTH SHALL BE 3,000 PSI, INSTALL A MINIMUM OF (1) *4 HORIZONTAL REBAR IN SHEAR CONE ON ALL FOUNDATION "HOLDOWNS".
- 5. 16d SINKERS MAY BE REPLACED w/ 10d COMMON NAILS w/ NO REDUCTIONS (16d SINKERS = 0.148" + \times 3 1/4" LONG, 10d COMMON = 0.148" + \times 3"). 'GUN NAILS' MAY NOT BE USED UNLESS SPECIFICALLY NOTED.
- 6. REFER TO ATTACHED CONCRETE SECTIONS AND DETAILS SHEET OR TO SIMPSON CATALOG C-2018 FOR APPLICABLE DETAILS AND ADDITIONAL INSTALLATION INSTRUCTIONS.

 1. ALL HOLDOWNS ON THIS SCHEDULE MAY NOT BE APPLICABLE TO THIS PLAN.

SHEARWAL	RWALL SCHEDULE ALL SHEARWALLS NOTED MAY NOT BE USED IN THIS PLAN		
	NAIL SPACING		

				NAIL S	PACING			
	TYPE	SHEATHING	NAIL SIZE	EDGE	FIELD	STAPLE EQ.	BOTT. PL TO RIM ATTACHMENT	M/BLOCK TO PL ATTACHMENT BEL Double Sided Shear Walls
	TYPICAL4	1/16" ONE SIDE ²	8d	6" O.C.	12" O.C.	16G @ 3" O.C.	16d @ 6" O.C.	LTP4 OR A35 @ 16" O.C.
	∫ 5W-1⁴	7/16" ONE SIDE ²	8d	4" O.C. ²	12" O.C.	16G @ 2" O.C.	16d @ 6" O.C.	LTP4 OR A35 @ 16" O.C.
_	2 SW-23	7/16" ONE SIDE ²	8d	3" O.C. ²	12" O.C.	NOT ALLOWED	4" SDS SCREWS @ 8" O.C. ¹⁸	LTP4 OR A35 @ 12" O.C.
	3 SW-33	7/16" ONE SIDE ²	8d	2" O.C. ²	12" O.C.	NOT ALLOWED	4" SDS SCREWS @ 8" O.C. ⁷⁸	LTP4 OR A35 @ 9" O.C.
6		I I NOTES		•				

ALL EXTERIOR WALLS AND VERTICAL SURFACES SHALL BE SHEATHED PER TYPICAL SHEAR WALL REQUIREMENTS MIN. UN.O., WITH SHEATHING MANUFACTURED WITH EXTERIOR GLUE. SHEATHING SHALL BE APA RATED 24/16 MIN., NAILS SHALL BE SPACED 1/2" MIN. FROM PANEL EDGE AND DRIVEN FLUSH BUT SHALL NOT FRACTURE THE SURFACE OF THE SHEATHING. BLOCK AND EDGE NAIL ALL HORIZONTAL SHEATHING JOINTS.

1. 16 GAGE X 1-1/2" STAPLES MAY BE SUBSTITUTED FOR 8d NAILS AT 1/2 SPACING ON TYPICAL AND SW-1 WALLS.

WALL (DBL SIDED SHEAR WALL) AND STAGGER EDGE NAILS.

3. PROVIDE 3X OR DBL 2X MEMBERS AT ADJOINING PANEL EDGES AT SW-2 AND SW-3 AND LAP SHEATHING 1 1/4" MIN ONTO FRAMING MEMBERS AT PANEL EDGES.

4. AT TYPICAL AND SW-1 WALLS, LAP SHEATHING 3/4" ONTO FRAMING MEMBERS AT PANEL EDGES.

5. LAP SHEATHING 1 1/4" MIN. ONTO SILL PLATES ON FOUNDATIONS.

2. WHERE SHEAR WALLS ARE INDICATED ON PLANS AT BOTH SIDES OF WALL, PROVIDE SHEATHING BOTH SIDES OF

6. NAILS TO BE COMMON OR GALVANIZED BOX.

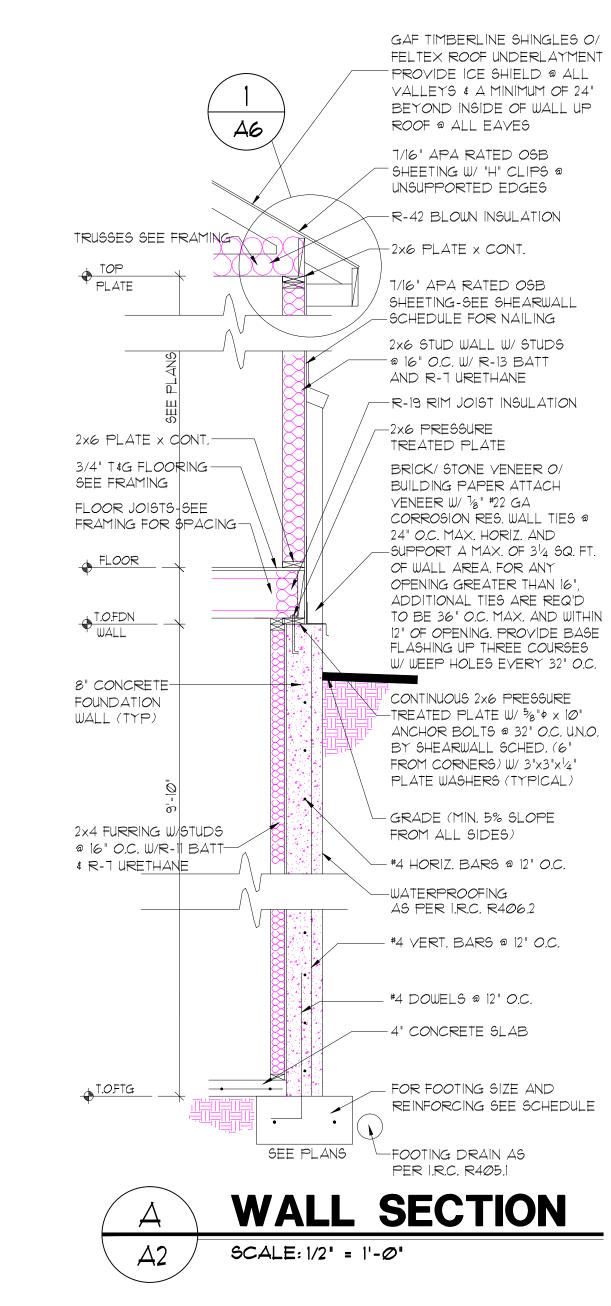
1. AT SINGLE SIDED SHEAR WALLS WHERE SHEATHING IS LAPPED TO CENTER OF RIM, WALL TOP PL OR TO SILL PLATE BELOW, IGO @ 6" O.C. MAY BE USED FOR WALL BOTTOM PLATE TO RIM ATTACHMENT.

8. USE 5" SCREWS FOR WALL PLATE TO RIM ATTACHMENT IF FLOOR SHEATHING IS GREATER THAN 3/4" THICK.

9. EDGE NAIL SHEATHING TO POSTS AT HOLDOWNS WITH (2) ROWS EDGE NAILING.

WALL TYPE	STUD SPAC'G	LUMBER TYPE	TRUSSES/RAFTERS PERP. TO WALL	TRUSSES/RAFTERS PAR, TO WALL
2 4	16"	DOUG FIR	10'-0" MAX STUD HEIGHT	11'-0" MAX STUD HEIGHT
2×4		HEM FIR	8'-6" MAX STUD HEIGHT	9'-9" MAX STUD HEIGHT
0 1	12"	DOUG FIR	11'-6" MAX STUD HEIGHT	12'-Ø" MAX STUD HEIGHT
2×4		HEM FIR	10'-0" MAX STUD HEIGHT	11'-6" MAX STUD HEIGHT
2.1	16"	DOUG FIR	16'-0" MAX STUD HEIGHT	17'-0" MAX STUD HEIGHT
2×6		HEM FIR	11'-6" MAX STUD HEIGHT	15'-0" MAX STUD HEIGHT
0.1	12"	DOUG FIR	18'-6" MAX STUD HEIGHT	19'-0" MAX STUD HEIGHT
2x6		HEM FIR	13'-6" MAX STUD HEIGHT	16'-0" MAX STUD HEIGHT
1 ³ /4 "x5 ¹ /2" LVL STUDS	16"	2800 psi	19'-0" MAX STUD HEIGHT	21'-0" MAX STUD HEIGHT
1 ³ / ₄ "x5 ¹ / ₂ " LVL STUDS	12"	2800 psi	21'-Ø" MAX STUD HEIGHT	21'-Ø" MAX STUD HEIGHT

- 1. 115 mph exposure "C" 55 psf roof load
- 2. Number 2 or better lumber must be used Doug fir E=1,600,000 psi Hem fir E=1,300,000 psi
- 3. 17'-0" max truss/rafter bearing
- 4. Schedule reflects un-braced wall heights.
- 5. Full height stud walls which are braced laterally (trusses or rafters) wall heights may be reduced to the point at which the first lateral brace occurs. Special stud spacing conditions will be noted on floor plans and sections as designated by structural engineer.



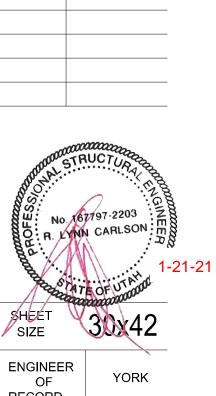




CONSTRUCTION NOTES AND DETA

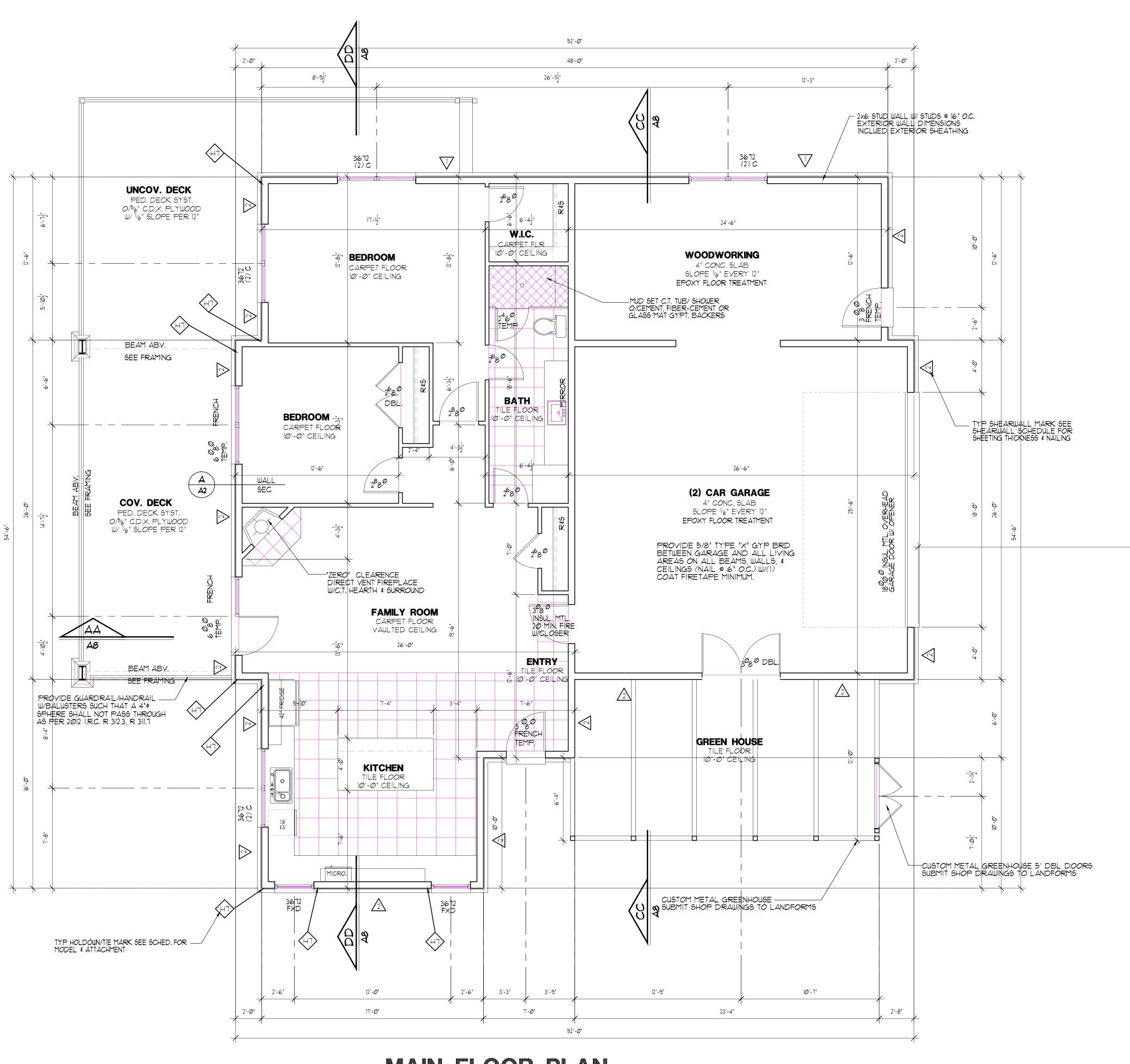
CUSTOM DETACHED GARAGE PLAN

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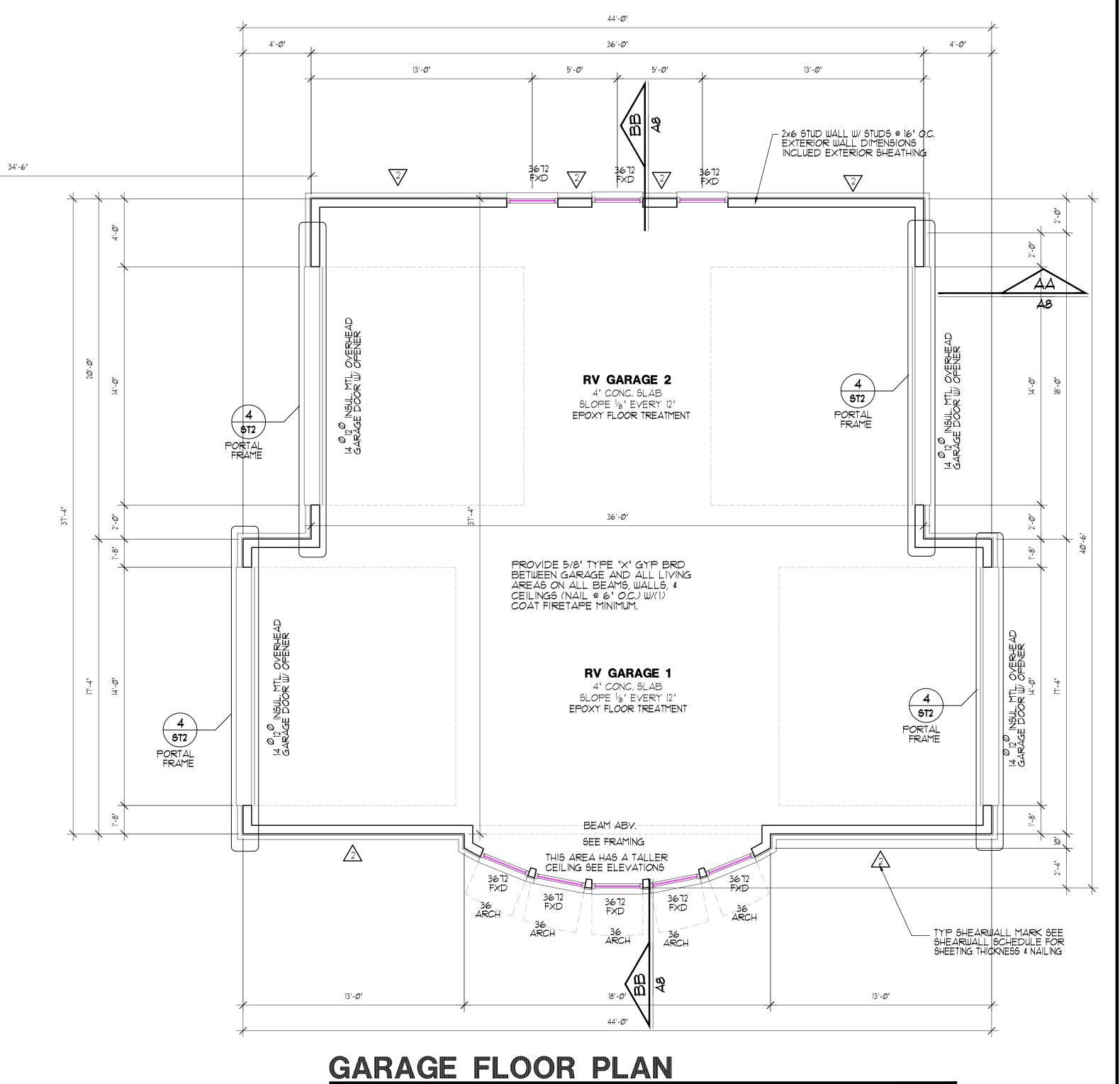
REVISIONS

RELEASE 1-21-21



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"	
SQUARE FOOTAGE: MAIN FLOOR FINISHED GARAGES/ WOODWORKING GREEN HOUSE	1290 S.F. 931 S.F. 1790 S.F.



SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE:

GARAGES -

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DATE 8-26-19

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MAIN FLOOR PLAN

UMBIN FLOOR PLAN

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No. 167797-2203

R. LYNN CARLSON

STELL

SIZE

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ENGINEER
OF
RECORD

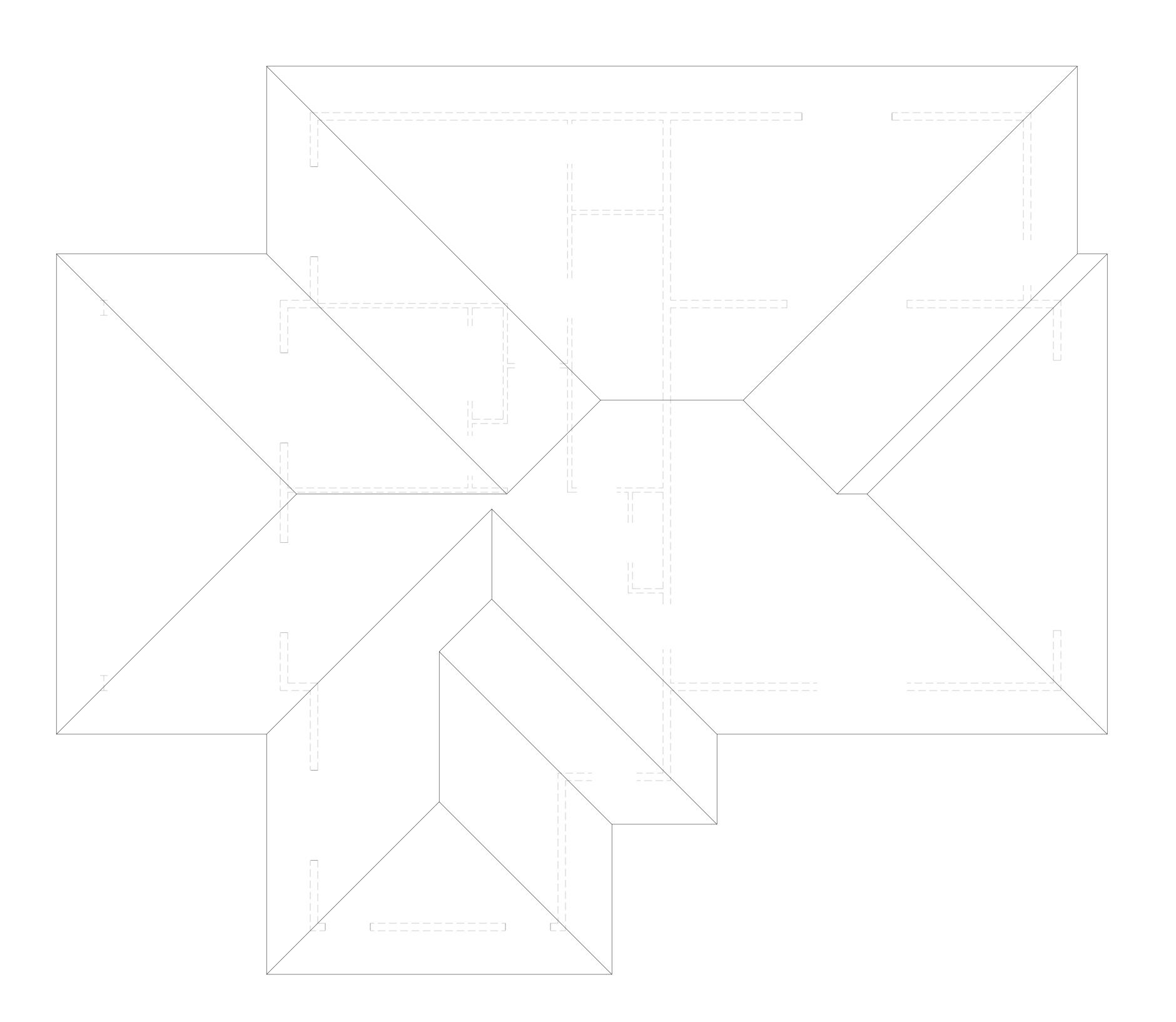
CAD TECH

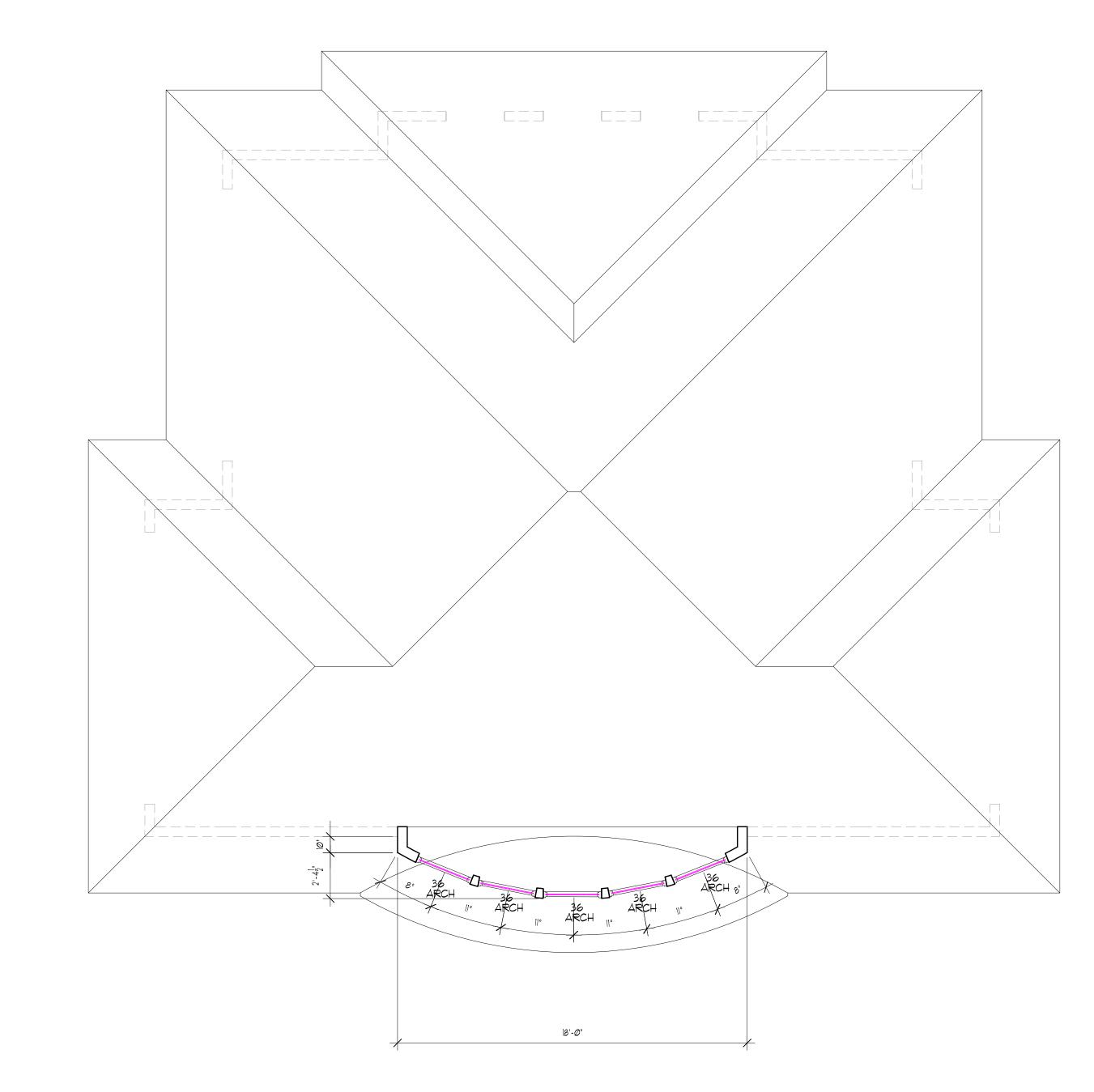
M.H.H.

RELEASE
DATE

1-21-21

A3





CLERESTORY PLAN

SCALE: 1/4" = 1'-0"

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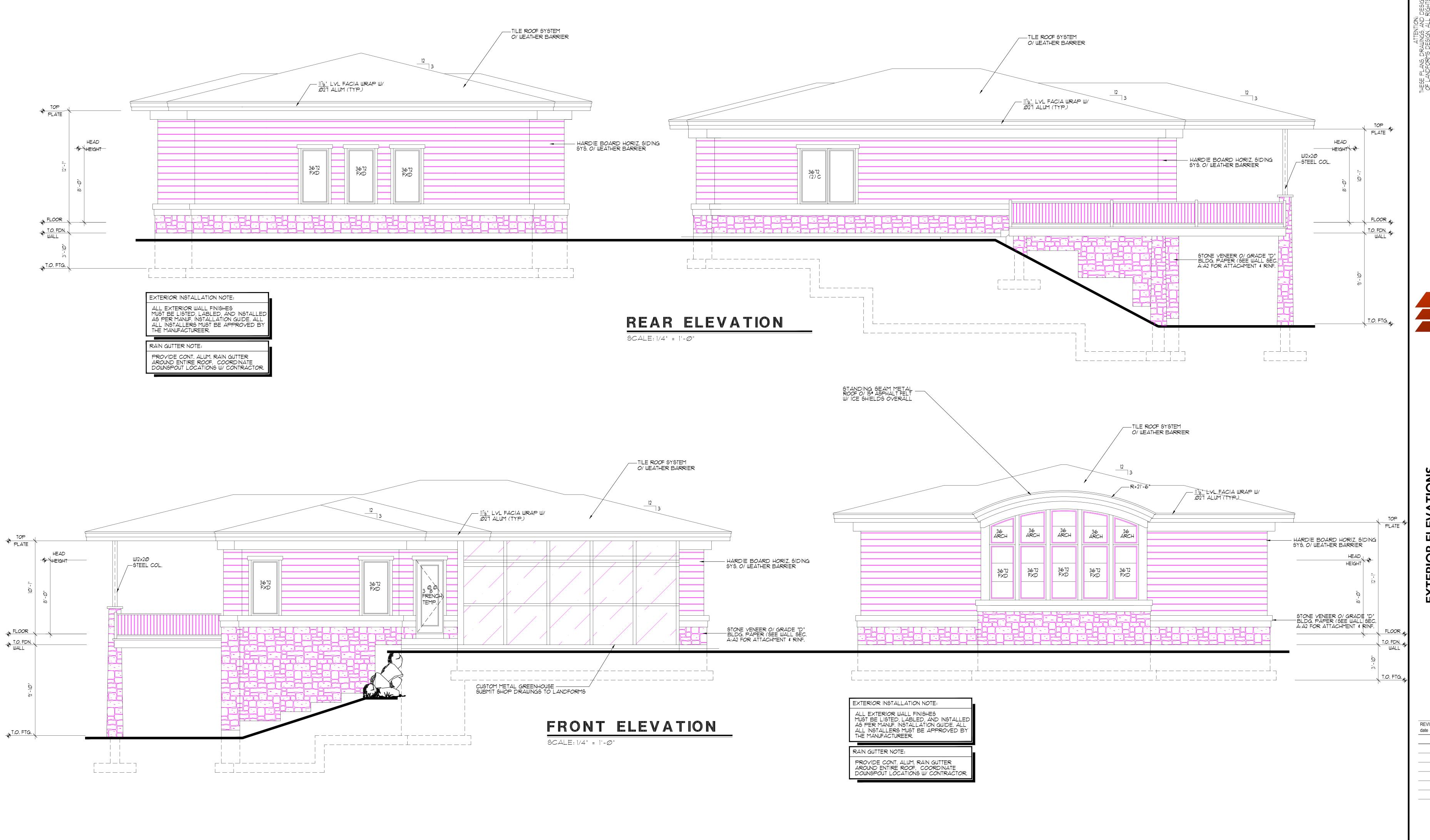
CUSTOM DETACHED GARAGE PLAN

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ENGINEER OF RECORD	YORK
CAD TECH	M.H.H.
RELEASE DATE	1-21-21
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EXTERIOR ELEVATIONS

CUSTOM DETACHED GARAGE PLAN

CUSTOM DETACHED GARAGE PLAN

REVISIONS date item

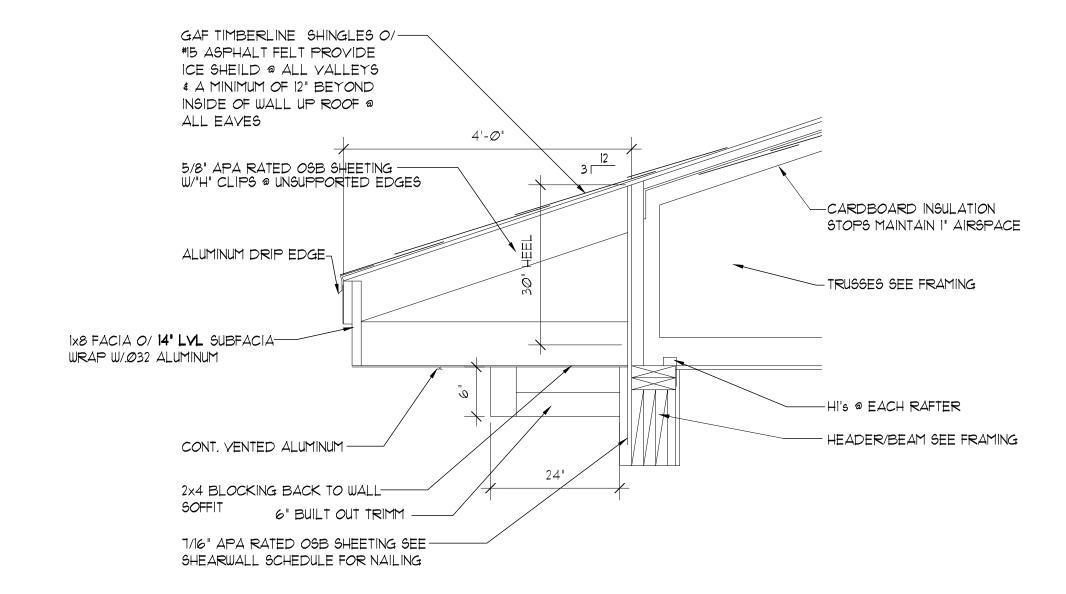
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ENGINEER OF RECORD

CAD TECH M.H.H.

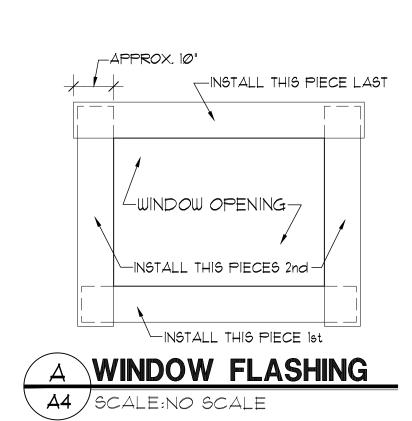
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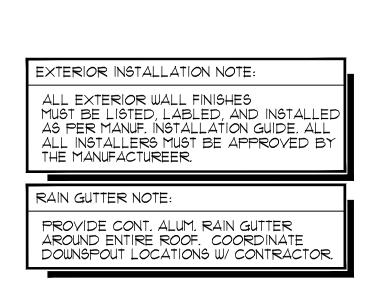


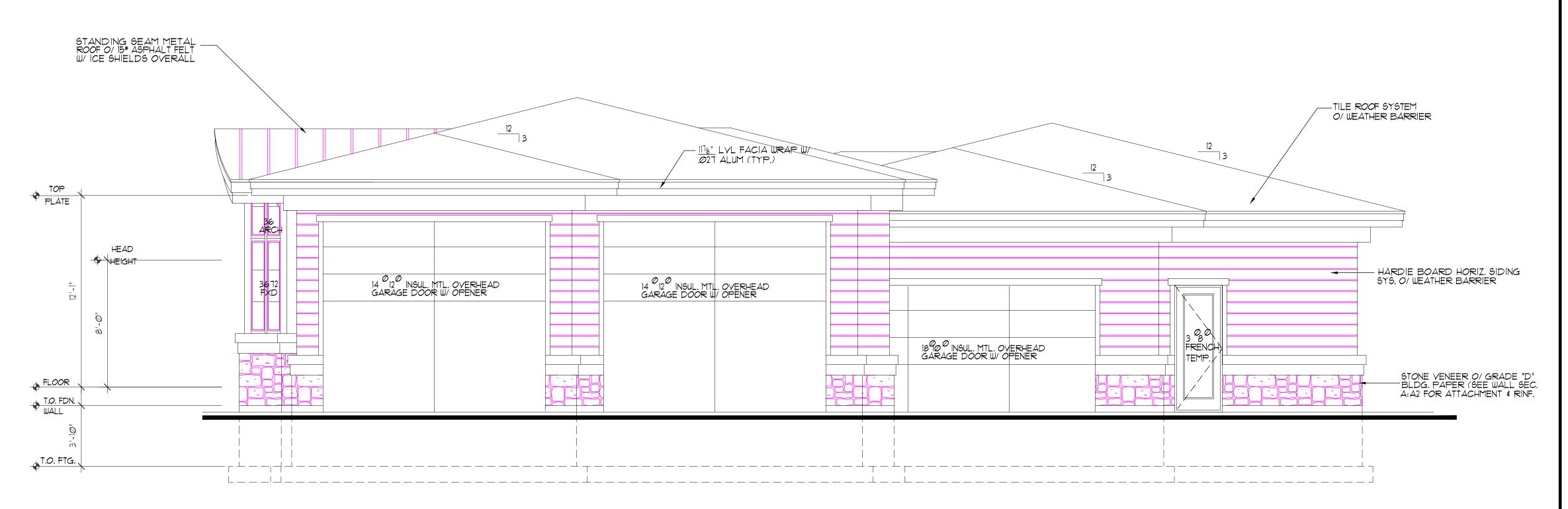




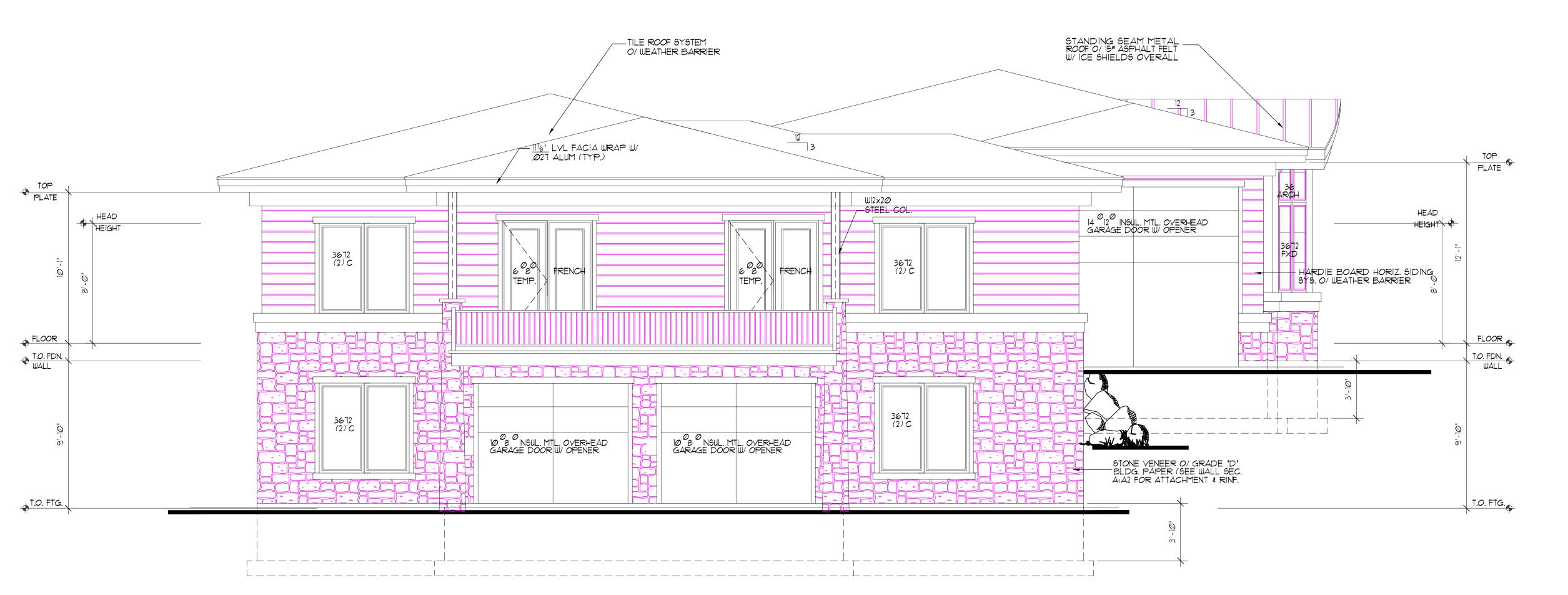
FLASHING GENERAL NOTES FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING A WALL, ROOF OR FLOOR AND REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTED FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTED TRIM. A FLASHING SHALL BE INSTALLED AT THE INTERSECTION OF THE FOUNDATION TO STUCCO, MASONRY, SIDING OR BRICK VENEER. THE FLASHING SHALL BE AN APPROVED CORROSION-RESISTANT FLASHING. RT03.1.5, RT03.8, R903.2, R905







RIGHT ELEVATION SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

CUSTOM DETACHED GARAGE PLAN

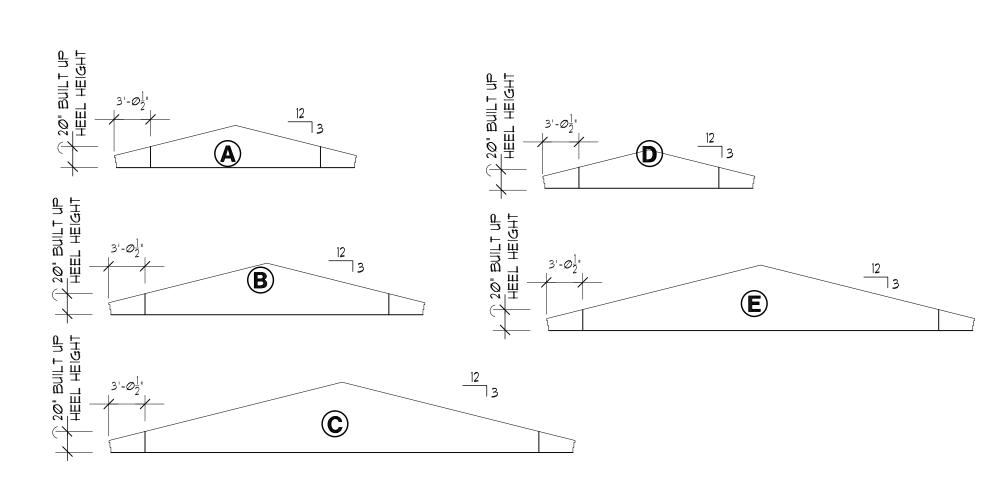
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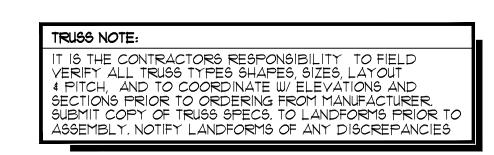
SHEET SIZE 30x42

ENGINEER OF RECORD YORK

CAD TECH M.H.H.

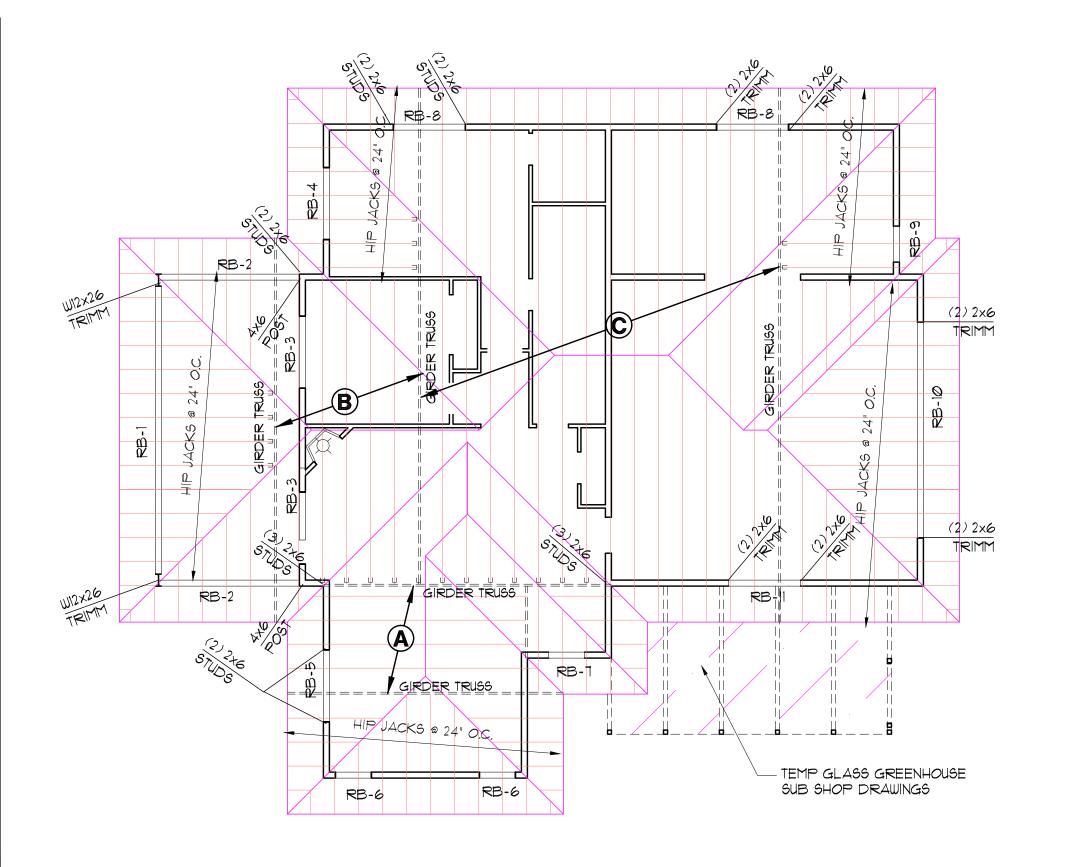
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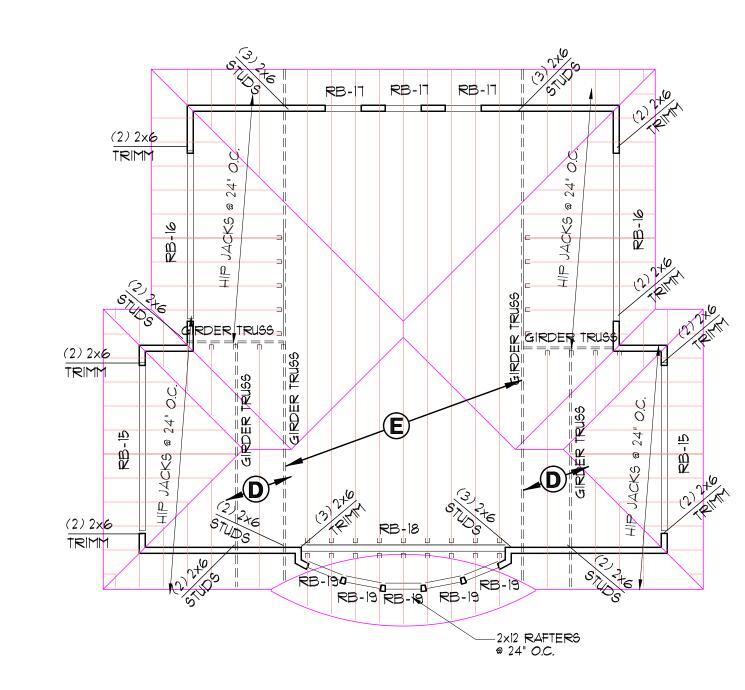
TRUSS TYPES SCALE: 1/8" = 1'-0"

RO	OF B	EAM SC	HEDULE
MARK	TYPE.	SIZE	NOTES
RB-1	STEEL	W12×3Ø	TOP OF BEAM = $1\frac{1}{2}$ " BELOW BOTTOM OF JOISTS
RB-2	STEEL	W12×3Ø	TOP OF BEAM = $1\frac{1}{2}$ " BELOW BOTTOM OF JOISTS
RB-3	DIM.	(2) 2x1Ø's	HEADER
RB-4	DIM.	(2) 2x1Ø's	HEADER
RB-5	LVL	(2) 1 ³ / ₄ "x91/ ₂ "	HEADER
RB-6	DIM.	(2) 2x1Ø's	HEADER
RB-7	DIM.	(2) 2x1Ø's	HEADER
RB-8	LYL	(2) 1 ³ / ₄ "x91/ ₂ "	HEADER
RB-9	LVL	(3) ³ 4"x 4"	HEADER
RB-10	LVL	(3) ³ 4"x 6"	HEADER
RB-11	LVL	(2) l ³ / ₄ "x9l/ ₂ "	HEADER
RB-12			
RB-13			
RB-14			
RB-15	LVL	(2) 1 ³ / ₄ "x14"	HEADER
RB-16	LYL	(2) 1 ³ 4"×11 ⁷ 8"	HEADER
RB-17	DIM.	(2) 2xlØ's	HEADER
RB-18	LVL	(3) ³ 4"x 8"	BOTTOM OF BEAM = BOTTOM OF TRUSSES
RB-19	DIM.	(2) 2x1Ø's	TOP OF BEAM = BOTTOM OF TRUSSES
RB-20			
RB-21			
RB-22			
RB-23			
RB-24			
RB-25			
RB-26			
RB-27			
RB-28			
RB-29			

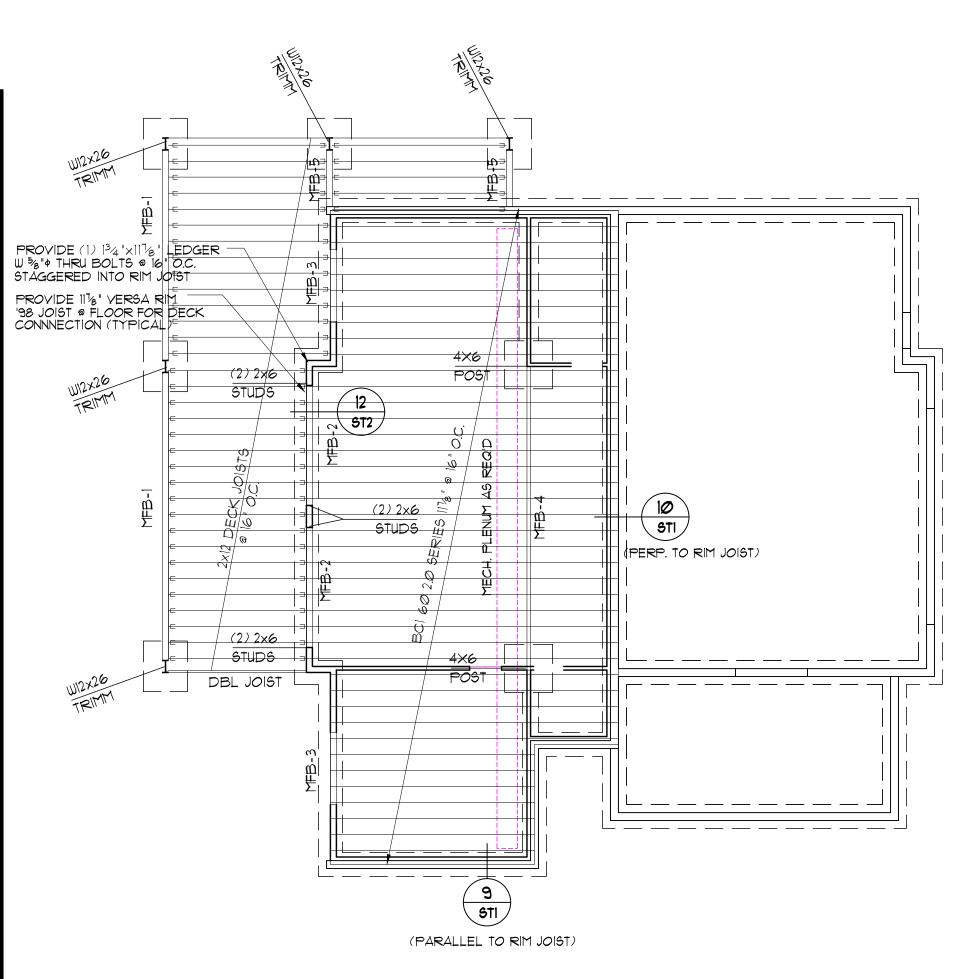


ROOF FRAMING PLAN 60 lb





MARK	TYPE.	SIZE	NOTES
MFB-1	G.L.B.	5½" × 18"	TOP OF BEAM = TOP OF DECK JOISTS EXT. GRADE
MFB-2	LYL	(2) 1 ³ / ₄ "×11 ⁷ / ₈ "	HEADER
MFB-3	DIM.	(2) 2×1Ø's	HEADER
MFB-4	STEEL	WI2×3Ø	TOP OF BEAM = 11/2" BELOW BOTTOM OF JO
MFB-5	G.L.B.	5½" × 18"	TOP OF BEAM = TOP OF DECK JOISTS EXT. GRADE
MFB-6			
MFB-7			
MFB-8			
MFB-9			
MFB-10			
MFB-11			
MFB-12			
MFB-13			
MFB-14			
MFB-15			
MFB-16			
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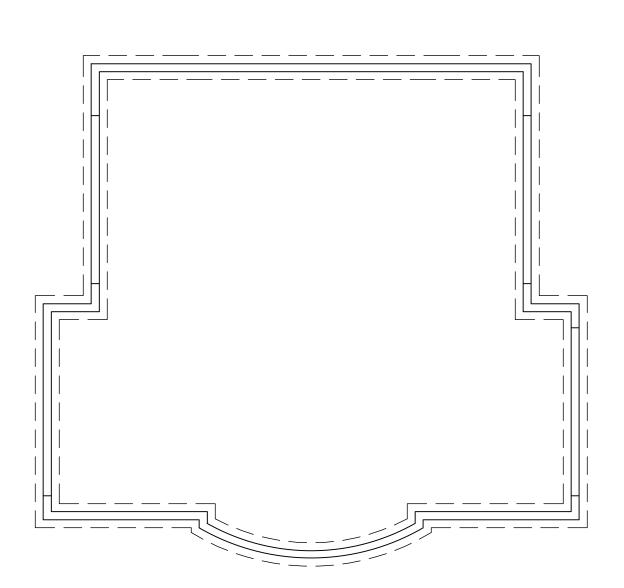
MAIN FLOOR FRAMING PLAN

FLOOR DIAPHRAGM:

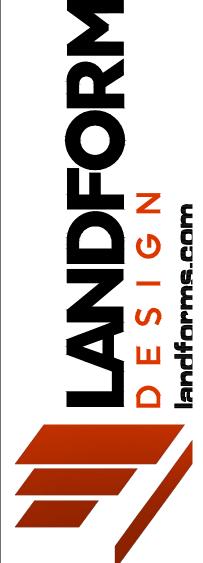
3/4" A.P.A. RATED T&G O.S.B. SHEETING
GLUED & NAILED W/8d @ 6" O.C. @
DIAPHRAGM BOUNDARIES & SUPPORTED
EDGES & W/8d @ 12" O.C. @ FIELD.

HEADER NOTE:

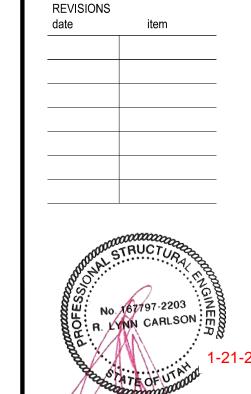
ALL EXTERIOR BEARING HEADERS TO
BE (2) 2x10's UNLESS NOTED OTHERWISE.
BE (2) 2x10's UNLESS NOTED OTHERWISE.

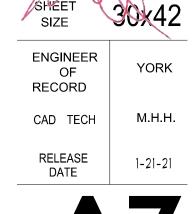




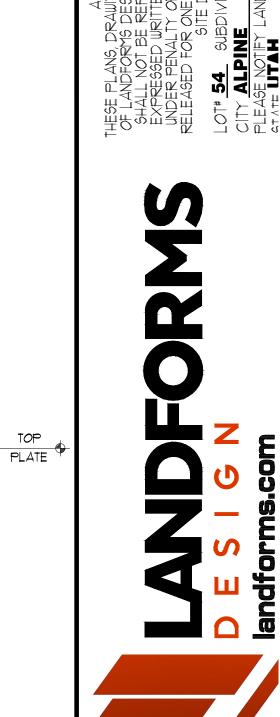


FRAMING PLANS, TRUSSES & BM. SCH





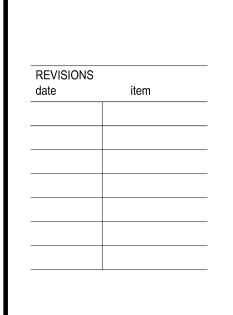




FRAMING SECTIONS

CUSTOM DETACHED GARAGE PLAN

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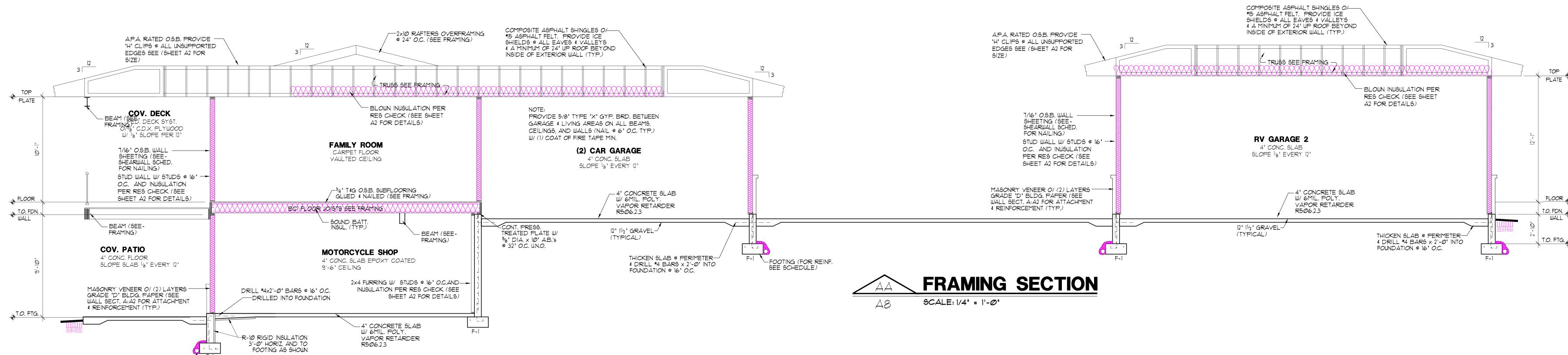


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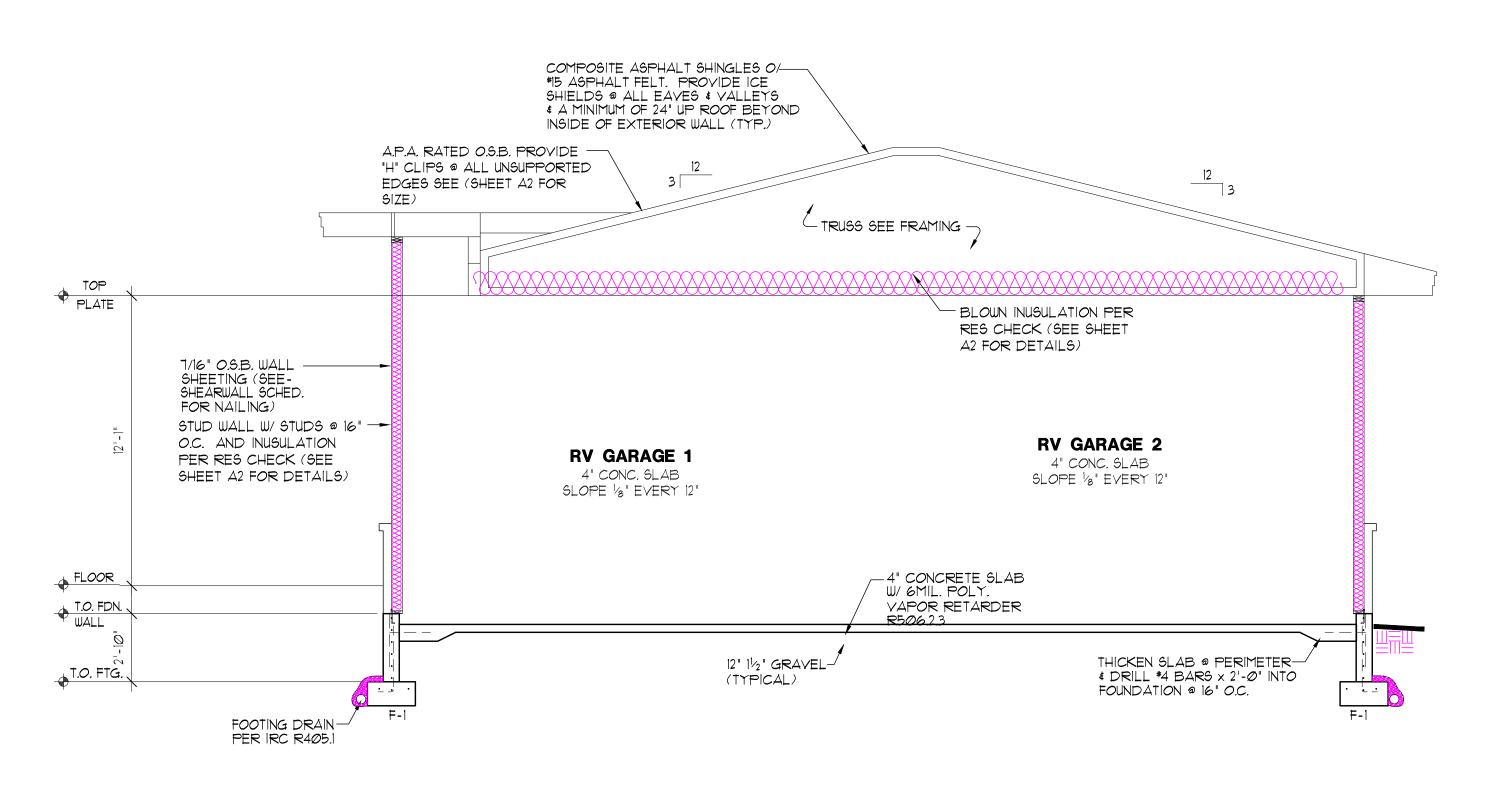
ENGINEER OF RECORD YORK

CAD TECH M.H.H.

RELEASE DATE 1-21-21

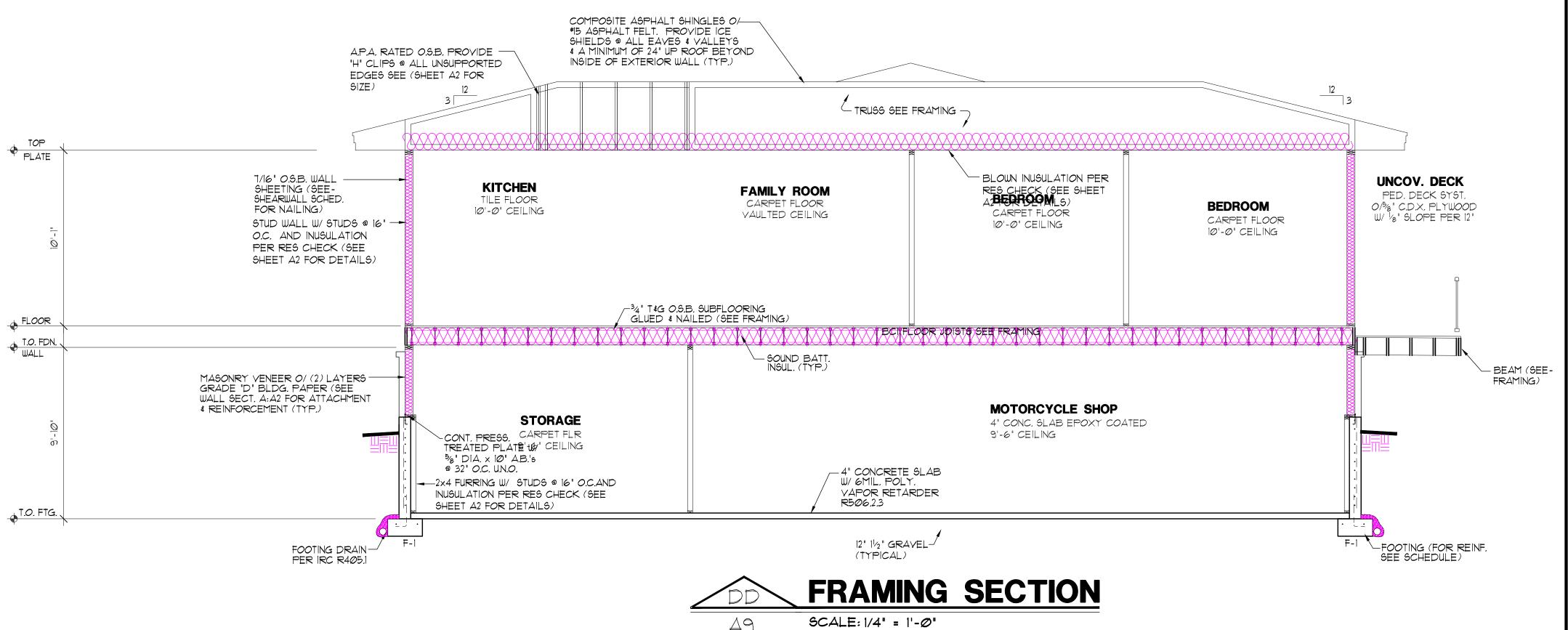


FOOTING DRAIN— PER IRC R405.1









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CUSTOM DETACHED GARAGE PLAN

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RELEASE DATE 1-21-21

SEALING OF BUILDING THERMAL ENVELOPE REQUIREMENT: (PICK ONE)

BLOWER DOOR TEST FOR BUILDING ENVELOPE AT FINAL WITH A MAXIMUM AIR LEAKAGE OF 3.5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED BY A<u>N APPROVE</u>D THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL.

MEET ALL THE CRITIERIA REQUIREMENTS BELOW (THE BUILDER MAY CERTIFY COMPLIANCE TO THE CRITERIA WITH A 3rd PARTY CERTIFICATION FOR ITEMS NOT INSPECTED DURING REGULARLY SCHEDULED INSPECTIONS)

- 1- A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE.
- 2- EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. 3- BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.
- 4- AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. 5- THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH
- THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. 6- ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.
- 1- CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE
- FOUNDATION AND SILL PLATE SHALL BE SEALED.
- 8- THE JUNCTION OF THE TOP PLATE OF EXTERIOR WALLS SHALLE BE SEALED. 9- EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE
- AIR BARRIER, 10- KNEE WALLS SHALL BE SEALED.
- 11- THE SPACE BETWEEN WINDOW/ DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.
- 12- RIM JOISTS SHALL BE INSULATED AND INCLUDE THE AIR BARRIER. 13- INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE
- SUBFLOOR DECKING. 14- THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
- 15- WHERE PROVIDED IN LIEU OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
- 16- EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
- 17- DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED. 18- INSULATION BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES
- SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE. 19- AIR SEALING SHALL BE PROVIDED BETWEEN GARAGE AND CONDITIONED SPACES.
- 20-RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRYWALL
- 21- BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
- 22-EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS AND TUBS.
- 23-THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
- 24-HVAC REGISTER BOOTS THAT BENETRATE THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.
- 25-AN AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS. 26-FIREPLACES SHALL HAVE GASKETED DOORS.

DUCT WORK OUTSIDE BUILDING ENVELOPE REQUIREMENT: (PICK ONE)

POST CONSTRUCTION TEST: TOTAL AIR LEAKAGE SHALL BE LESS THAN OR EQUAL TO 10 CFM PER 100 SQUARE FEET OF THE CONDITIONED FLOOR AREA.

ROUGH-IN TEST: TOTAL AIR LEAKAGE SHALL BE NOT LESS THAN OR EQUAL TO 10 CFM PER 100 SQUARE FEET OF CONDITIONED FLOOR AREA. IF THE FURNACE OR AIR HANDLER IS NOT INSTALLED THE TOTAL LEAKAGE SHALL BE NOT LESS THAN OR EQUAL TO 1.5 CFM PER 100 SQUARE FEET OF CONDITIONED FLOOR EXCEPTION: THE TOTAL LEAKAGE TEST IS NOT REQUIRED FOR DUCTS AND AIR HANDLERS AND AT LEAST 50% OF ALL DUCTS (MEASURED BY LENGTH) ARE LOCATED ENTIRELY WITHIN THE BUILDING ENVELOPE.

ELECTRICAL SYMB.

- CEILING 45 WATT INCANDESCENT RECESSED FIXTURE (DOES NOT INCLUDE TRIM KIT)
- -(S) CEILING MOUNT FAN
- -(9T)- STAIR TREAD LIGHT

-()- CEILING FIXTURE (COORD W/OWNER)

- PORCELAIN FIXTURE W/PULL CHAIN
- -(PE)- PHOTO ELECTRIC SWITCH
- THERMOSTAT (SETBACK MODEL)
- JUNCTION BOX MOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- J FLUORESCENT FIXTURE (X) TUBES
- DUPLEX OUTLET
- SWITCHED DUPLEX OUTLET
- RANGE/DRYER OUTLET
- GEI GROUND FAULT CIRCUIT INTERRUPT
- DUPLEX OUTLET WITH (2) USB PORTS GROUND FAULT CIRCUIT INTERRUPT (WATERPROOF W/ BUBBLE COVER)
- SWITCH
- 3-WAY SWITCH VARIABLE SPEED SWITCH
- DIMMER SWITCH
- PUSH BUTTON ▲ TELEPHONE OUTLET
- TV TELEVISION OUTLET FOR SATELLITE/CABLE
- ELECTRICAL DISCONNECT
- SPEAKER WIRE (COORD. W/OWNER) FLOOR DUPLEX OUTLET

ALL ELECTRICAL FIXTURES MARKED

A.F.P. TO BE ARC FAULT PROTECTED

UNDERCOUNTER LIGHTING

(COORD, W/OWNER)

MECHANICAL GENERAL NOTES

7. FOR CONDENSER LOCATIONS SEE MECHANICAL PLANS.

ROCK OR 34" STRAND BOARD OR PLYWOOD.

8. VERIFY "FIT" OF DUCTS AND PIPING PRIOR TO FABRICATION.

- ALL WORK PERFORMED SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BULDING CODES.
- MECHANICAL CONTRACTOR TO OBTAIN CITY/STATE BUSINESS LICENSE BEFORE STARTING WORK.
- MECHANICAL CONTRACTOR TO PROVIDE COMBUSTION AIR TO FURNACE AREA IN ACCORDANCE WITH CURRENT NATURAL GAS COMPANY SPECIFICATIONS, COMBUSTION AIR TO BE PLACED PER LOCATION SHOWN ON MECHANICAL PLAN, PROVIDE WHITE METAL EXTERIOR GRILLE.
- ALL MECHANICAL SYSTEMS SHALL BE SIZED LARGE ENOUGH TO HEAT/COOL BASEMENTS WHEN FINISHED.

OFFSET FLU STACKS IN ATTIC SPACE TO REAR OF ROOF WHERE POSSIBLE, PAINT ALL FLU STACKS TO MATCH SHINGLE COLOR.

MECHANICAL CONTRACTOR TO PROVIDE 4" DIA. METAL DUCTING FROM DRYER LOCATION TO EXTERIOR WITH WHITE TERMINATION CAP. DUCTS TO BE METAL WITH SMOOTH INTERIOR SURFACES EQUIPPED W/BACK DRAFT DAMPERS, TERMINATE AT TH EEXTERIOR OF THE BUILDING, AND NOT BE INSTALLED WITH SHEET METAL SCREWS. MAXIMUM DRYER DUCT LENGTH DETERMINED BY IRC MIS02.4

ALL GAS LINES MUST BE PRESSURE TESTED AT ROUGH INSPECTION. QUESTAR GAS NO LONGER PROVIDES THIS SERVICE AND IS THEREFORE REQUIRED BY THE HYAC CONTRACTOR AT ROUGH INSPECTION.

GAS LOG APPLIANCES WITHOUT A FLAME SAFEGUARD DEVICE (AUTO LIGHTING DEVICE OR PILOT) SHALL NOT BE PERMITTED. GAS LOGS AND GAS APPLIANCES SHALL HAVE A SHUT-OFF VALVE WITHIN 6 FEET OF THE APPLIANCE. -IRC G2420

FIREPLACE FLUES SHALL BE SEPARATED FROM ATTIC SPACES BY A SHAFT OF "SHEET

CSST STAINLESS STEEL GAS LINE MAY BE USED BUT MUST BE SIZED AND APPROVED BEFORE INSTALLATION. ANY CSST INSTALLED MUST BE VISUALLY INSPECTED AND PRESSURE TESTED BEFORE BEING CONCEALED WITHIN CONSTRUCTION.

15. NO CLOTH TYPE DUCT TAPE IS ALLOWED. METALLIC OR FOIL TAPE MUST BE USED.

17. GAS LINES SHALL NOT PASS THROUGH OR PENETRATE ANY DUCT OR PLENUM

18. GAS PIPING SHALL NOT PENETRATE A BUILDING FOUNDATION BELOW GRADE.

ALL JOINTS, TRANSVERSE AND LONGITUDINAL SEAMS AND CONNECTIONS MUST BE PROPERLY SEALED WITH TAPE OR MASTIC.

20. IF FORCED AIR UNIT IS LOCATED WHERE CONDENSATION MAY DAMAGE BUILDING COMPONENTS, A WATER DETECTION DEVICE MUST BE INSTALLED OR RUN SECONDARY LINE TO OBSERVABLE LOCATION

RANGE HOODS THAT ARE CAPABLE OF EXHAUSTING AIR TO THE OUTSIDE IN EXCESS OF 400 CFM REQUIRE MAKEUP AIR.

DRYERS IN CLOSETS THAT ARE CAPABLE OF EXHAUSTING AIR TO THE OUTSIDE IN EXCESS OF 400 CFM REQUIRE MAKEUP AIR.

- 9. PROVIDE C.P. ESCUTCHEONS AT PIPE SLEEVES FOR EXPOSED BARE PIPE.
 PACK ANNULUS AT 1 HOUR FIRE WALLS. PLUMBING LINES through GARAGE FIRE WALLS MUST BE
 METAL PIPING. THIS INCLUDES WASTE LINES, VACUUM LINES, AND SUPPLY LINES. AN APPROVED ALL SUPPLY AND RETURN AIR PLENUMS ARE SHOWN IN APPROXIMATE LOCATIONS. MECHANICAL CONTRACTOR TO PROVIDE EXPERTISE IN ACTUAL LOCATIONS OF PLENUMS TO MINIMIZE FURR-DOWNS IN FUTURE BASEMENT AREA.
- FIRE STOP MATERIAL MUST BE USED. 10. PROVIDE A PRESSURE REGULATOR AND SHUTOFF VALVE, FOR LOCATION SEE PLUMBING PLAN. MECHANICAL CONTRACTOR TO PROVIDE 4' METAL DUCTING FROM REST ROOM FANS TEXTERIOR WITH WHITE METAL TERMINATION CAP. SEE MECHANICAL PLAN FOR

HAS BEEN SHOWN TO PREVENT FREEZING PROBLEMS.

5. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF ALL FIXTURES.

I. INTERIOR COPPER TO BE TYPE "M" INSTALLED WITH PLASTIC ISOLATORS.

6. INTERIOR WASTE AND VENT LINES TO BE A.B.S.

II. OFFSET ALL VENT STACKS IN ATTIC SPACE TO REAR OF ROOF WHERE POSSIBLE.

PLUMBING GENERAL NOTES

ALL WORK PERFORMED SHALL COMPLY WITH ALL CURRENT NATIONAL AND LOCAL BUILDING CODES

2. PLUMBING CONTRACTOR TO OBTAIN CITY/STATE BUSINESS LICENSE BEFORE STARTING WORK.

3. PLUMBING CONTRACTOR SHALL PROVIDE 11/4" COPPER SUPPLY LINE FROM WATER METER TO FURNACE ROOM. WATER LINE TO BE PLACED UNDER SLAB WHERE APPLICABLE.

. PLUMBING CONTRACTOR SHALL VERIFY SIZE & LOCATIONS OF UNDERGROUND UTILITIES. COORDINATE WITH ALL OTHER TRADES PRIOR TO MAKING FINAL CONNECTIONS.

8. NO SUBSTITUTIONS FROM FIXTURE SCHEDULE ARE ALLOWED, EXCEPT BY OWNERS APPROVAL

- 12. PROVIDE 1.6 GALLON PER FLUSH TOILETS & 2.5 GALLON PER MINUTE SHOWER HEADS.
- 13. PROVIDE EXPANSION TANKS FOR WATER HEATERS AS PER LOCAL JURISDICTION.
- 14. NO SLIP JOINT PLUMBING CONNECTIONS IN CONCEALED CONSTRUCTION AREAS (BATH TUBS). 5. INDIVIDUALLY INSULATE ALL PLUMBING, SUPPLY AND DRAIN LINES IN AREAS SUBJECT TO FREEZING (EXTERIOR WALLS, ATTICS, CRAWL SPACES, GARAGES AND EXTERIOR WALLS). SPRAY IN URETHANE
- 16. PLUMBING PENETRATIONS THROUGH GARAGE FIRE WALLS MUST BE METAL PIPING OR HAYE AN
- APPROVED THROUGH PENETRATION FIRE STOP INSTALLED
- PROVIDE ANTI-SCALD SHOWER VALVES ON ALL SHOWER AND TUB COMBINATION INSTALLATIONS. 18. PROVIDE 21" CLEARENCE IN FRONT OF SINKS, WATER CLOSETS, AND TUBS. PROVIDE 24" CLEARANCE
- IN FRONT OF SHOWER DOORS. SHOWER DOORS TO BE A MIN. OF 22" WIDE. 19. IF PLUMBING MANIFOLD SYSTEM IS BEING USED, SYSTEM MUST BE ACCESSIBLE BYH LOCAL OFFICALS 20. BATHTUBS & WHIRLPOOL TUB VALVES SHALL LIMIT THE TEMP. TO A MAX. OF 120° F.
- 21. ALL BASEMENT FIXTURES MUST PASS THROUGH A BACKWATER VALVE UNLESS IT IS EST. THAT A FIXTURE IN THE BASEMENT OR LOWEST LEVEL OF THE HOME IS NOT BELOW THE ELEVATION OF THE UPSTREAM MANHOLE COVER. THIS WILL REQIRE BASEMENTS TO BE PLUMBED INDEPENDANTLY FOM UPPER FLOORS. BACKWATER VALVES MUST BE ACCESSIBLE.

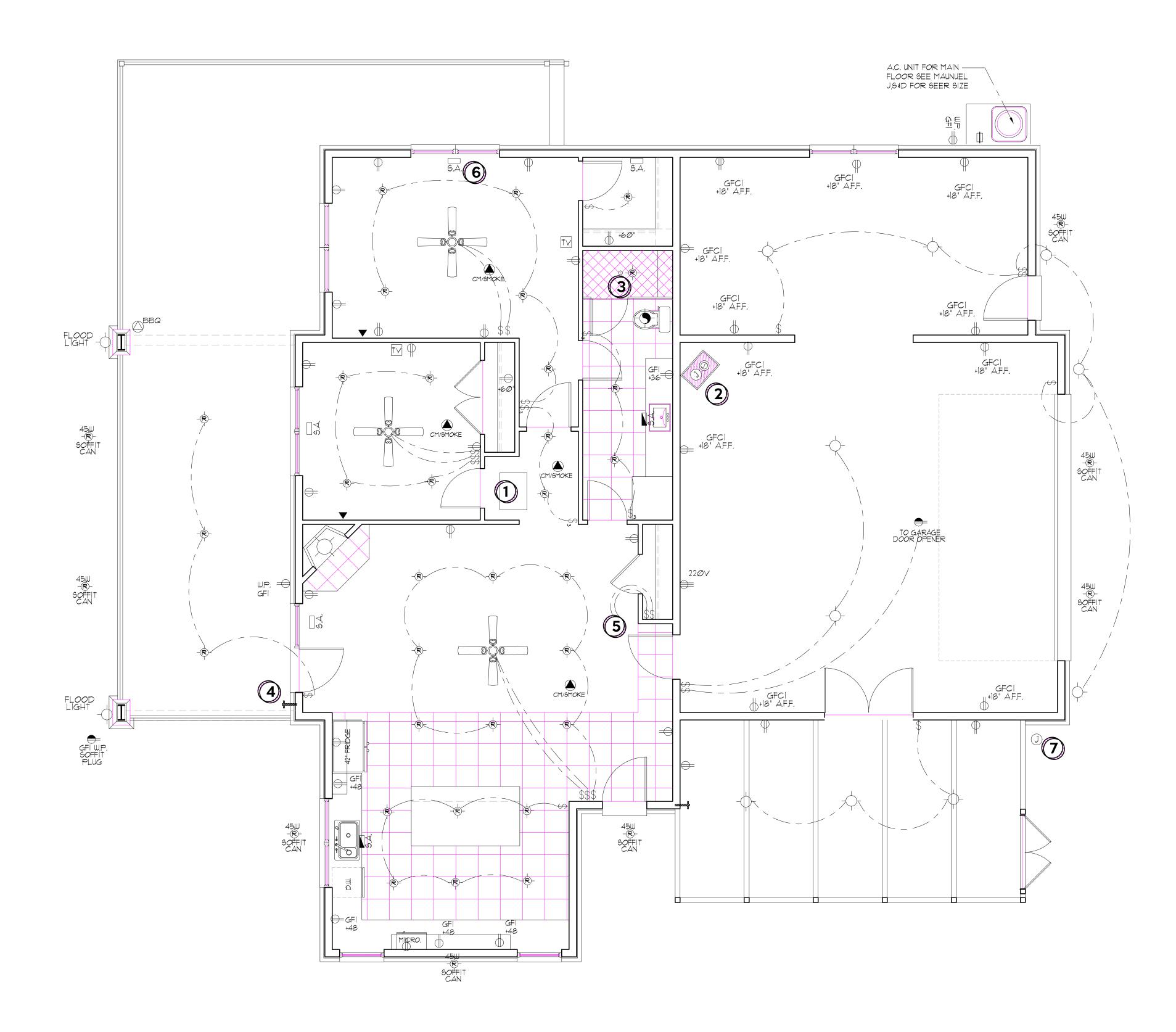
ELECTRICAL GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH ALL NATIONAL AND LOCAL BUILDING CODES.
- 2. ELECTRICAL CONTRACTOR TO OBTAIN CITY/STATE BUSINESS LICENSE BEFORE STARTING WORK.
- 3. ALL TELEVISION OUTLETS ARE TO BE INSTALLED WITH A SEPARATE COAXIAL CABLE TO MECHANICAL ROOM. PROVIDE ANTENNA IN ATTIC WITH SINGLE COAXIAL CABLE TO MECHANICAL ROOM. PROVIDE COAXIAL CABLE FROM MECHANICAL ROOM TO EXTERIOR FOR FUTURE CABLE TELEVISION HOOKUP. HOOK UP TELEVISION CABLES IN MECHANICAL ROOM TO DESIRED (ANTENNA, CABLE) CHOICE. PROVIDE T.Y. CONNECTION PANEL ON WALL IN MECHANICAL ROOM.
- 4. ELECTRICAL CONTRACTOR TO PROVIDE A MINIMUM OF 200 AMP SERVICE TO HOME.
- ALL EXHAUST FANS SHALL BE VENTED TO EXTERIOR WITH METAL DUCT W/ BACK DRAFT DAMPER. PROVIDE WHITE METAL EXTERIOR TERMINATION CAP. EXHAUST FANS NOT TO BE DISCHARGED INTO VENTED SOFFITS.
- ALL SMOKE DETECTORS SHALL BE WIRED TOGETHER FOR SIMULTANEOUS ALERT SOUNDING. DETECTORS SHALL ALSO BE WIRED TO BUILDING PRIMARY POWER WITH BATTERY BACKUP. ALL SLEEPING ROOMS AT ALL LEVELS TO HAVE SMOKE DETECTORS.
- 1. SIZE ELECTRICAL PANEL SUFFICIENTLY LARGE ENOUGH TO HANDLE FUTURE BREAKERS WHEN BASEMENT IS FINISHED.
- 8. PROVIDE (4) PAIR CABLE TO ALL TELEPHONE OUTLETS, HOME RUN ALL TELEPHONE LINES TO MECHANICAL ROOM, PROVIDE 66 STYLE PUNCH DOWN BLOCK WALL MOUNTED FOR FINAL CONNECTIONS.
- 9. ALL BATHROOM OUTLETS TO BE ON SEPARATE 20 AMP BREAKERS NOT TO EXCEED 2011
- 10. CEILING FANS REQUIRE SPECIAL APPROVED BOXES AND ADDITIONAL FRAMING SUPPORT.
- 11. GARAGE ELECTRICAL OUTLETS TO BE 18" ABOVE FLOOR
- 12. PROVIDE A CONCRETE ENCASED ELECTRODE (UFER GROUND) AT FIRST POINT OF DISCONNECT (METER) FOR USE AS A GROUNDING ELECTRODE FOR THE HOUSE WHICH MEETS REQUIREMENTS OF 2014 N.E.C. SECTION 250-50 (C). USE *4 REBAR WIRE TIED TO FOOTING STEEL.
- 13. ALL 125-VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED INSIDE OR OUTSIDE OF A DWELLING SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. I.R.C. E4002.14
- 14. A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS. -NII04.
- 15. ALL 15- AND 20- AMPERE RECEPTACLES IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUN ROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. -E4002.14 -E3901.1
- 16. ALL 125-VOLT, SINGLE PHASE, 15- OR 20- AMPERE RECEPTACLES INSTALLED IN GARAGES SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL. -E3902.2
- 17. IN KITCHEN, A MINIMUM OF (2) 20 AMP SMALL-APPLICANCE BRANCH CIRCUITS SHALL SERVE ALL WALL & FLOOR RECEPTACLE OUTLETS
- 18. RECESSED LIGHTS MAY BE INSTALLED IN THE CEILINGS (BUILDING ENVELOPE) OF ANY ATTIC TRUSS ONLY IF THE REQUIRED INSULATION DEPTH OR THICKNESS CAN BE INSTALLED OVER SUCH RECESSED LIGHTS. ALL SUCH RECESSED LIGHTS MUST BE IC RATED.
- 19. ALL RECEPTACLES SERVING KITCHEN COUTNERTOPS, IN GARAGES, BATHS, UNFINISHED BASEMENTS AND OUTSIDE RECEPTACLES SHALL BE GFCI PROTECTED. - IRC E3902
- 20. PROVIDE AT LESAT TWO OUTSIDE GRADE LEVEL RECEPTACLES- ONE IN THE FRONT YARD AND ONE IN THE REAR YARD. - IRC E3901.7
- 21. ALL BRACH CIRCUITS THAT SUPPLY ELECTRICAL IN BEDROOMS NEED TO BE PROVIDED WITH ARC-FAULT PROTECTION. - IRC E3902.1.1

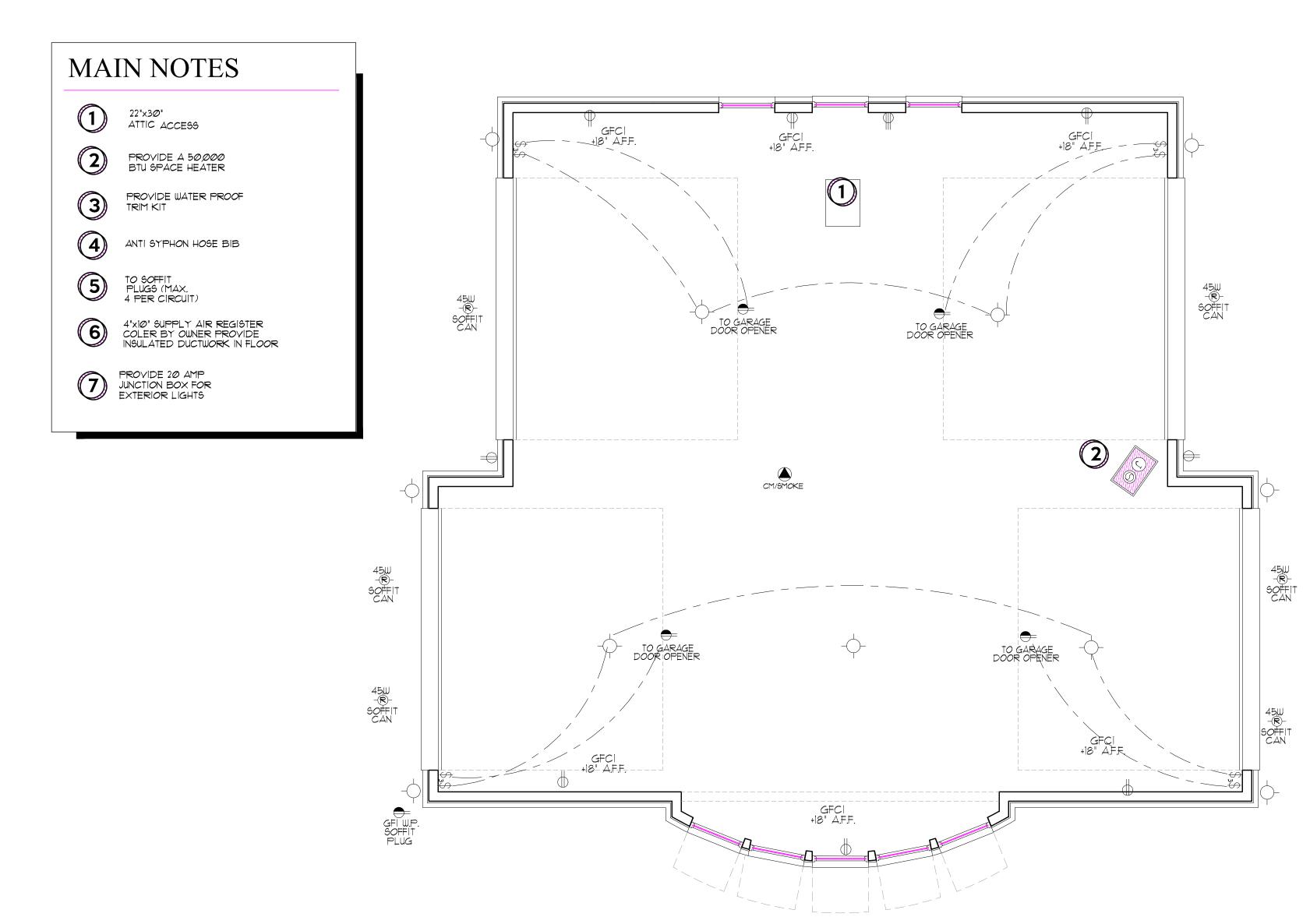


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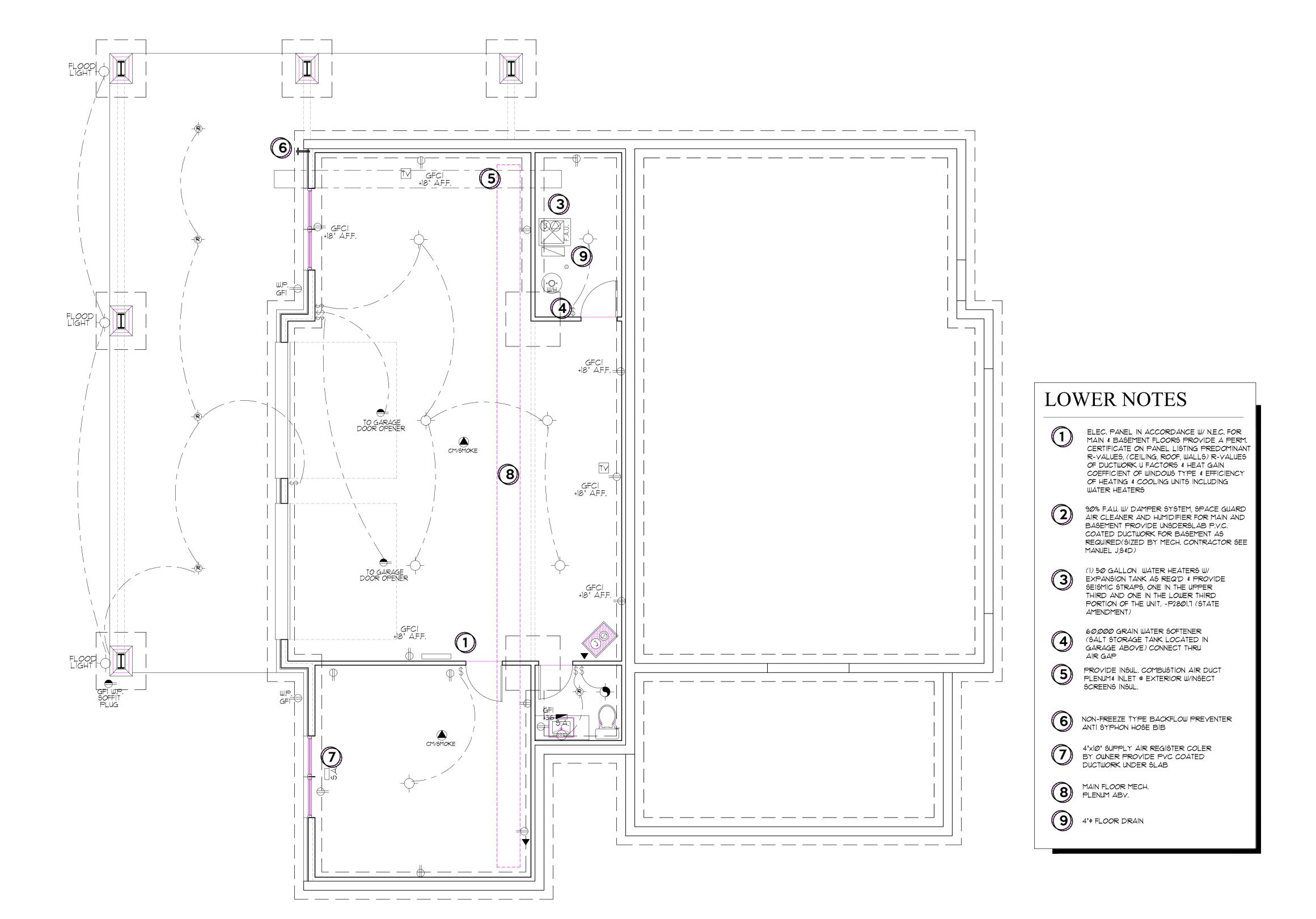
REVISIONS



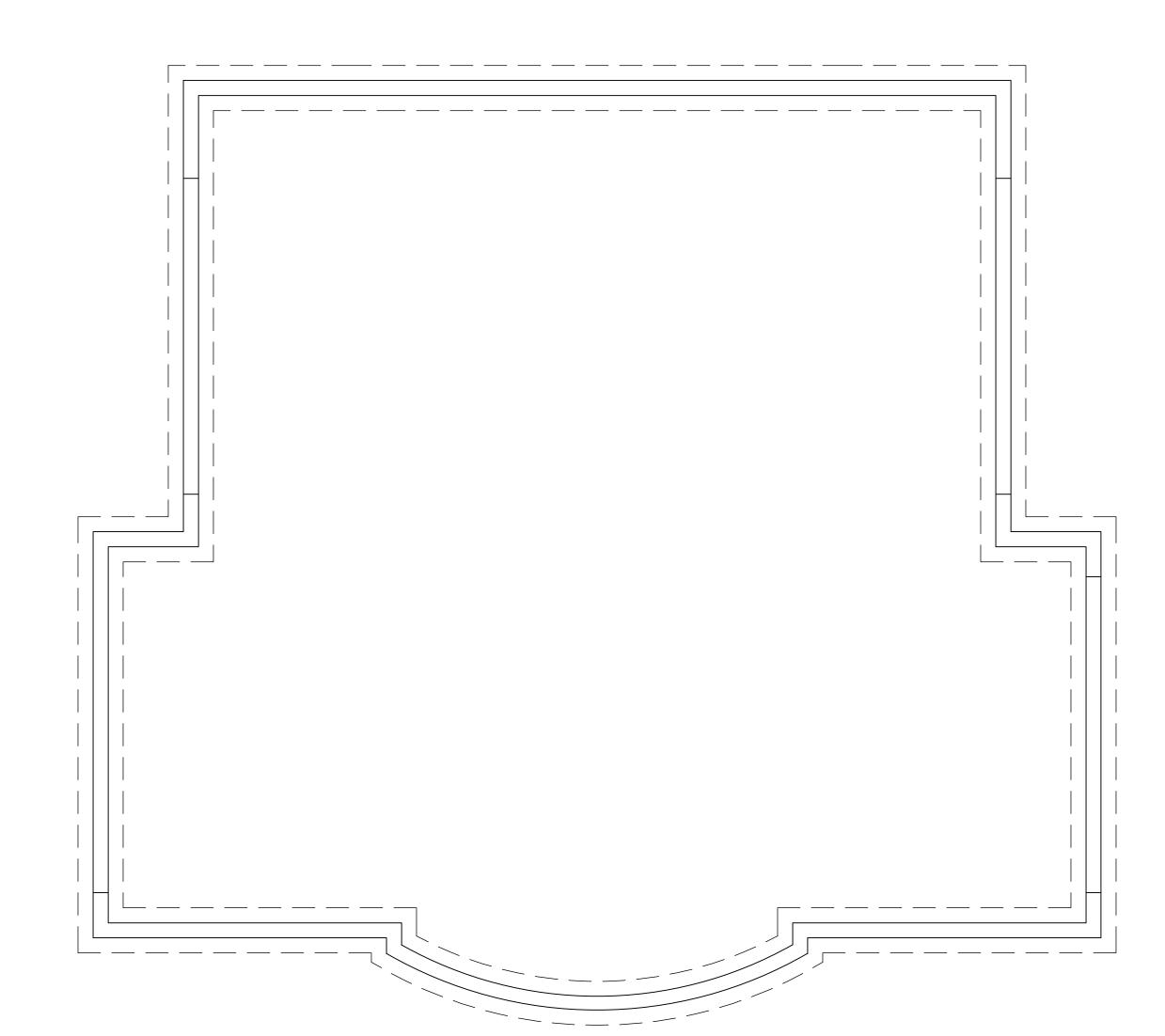
MAIN FLOOR ELECTRICAL, MECHANICAL, AND PLUMBING PLAN

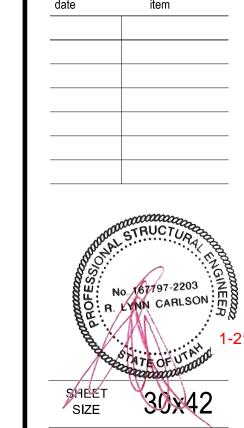


GARAGE ELECTRICAL, PLAN

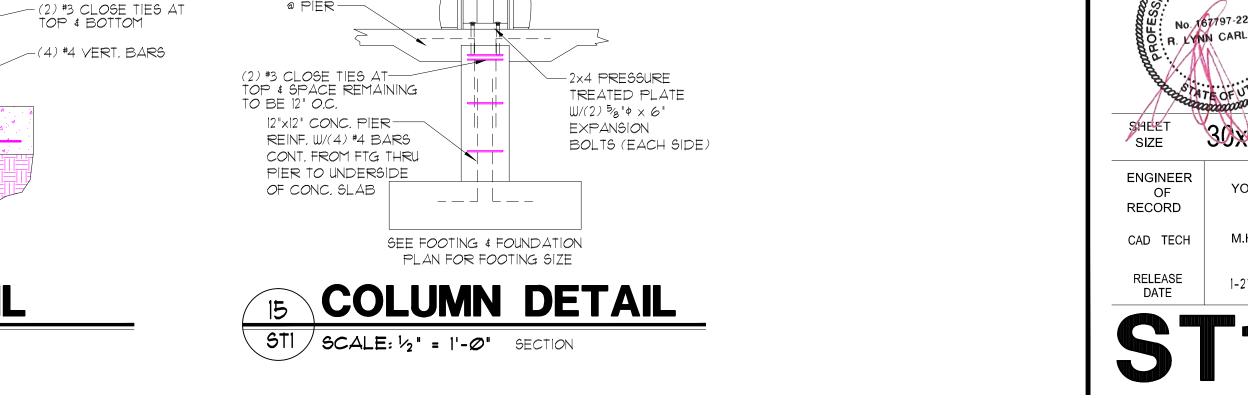


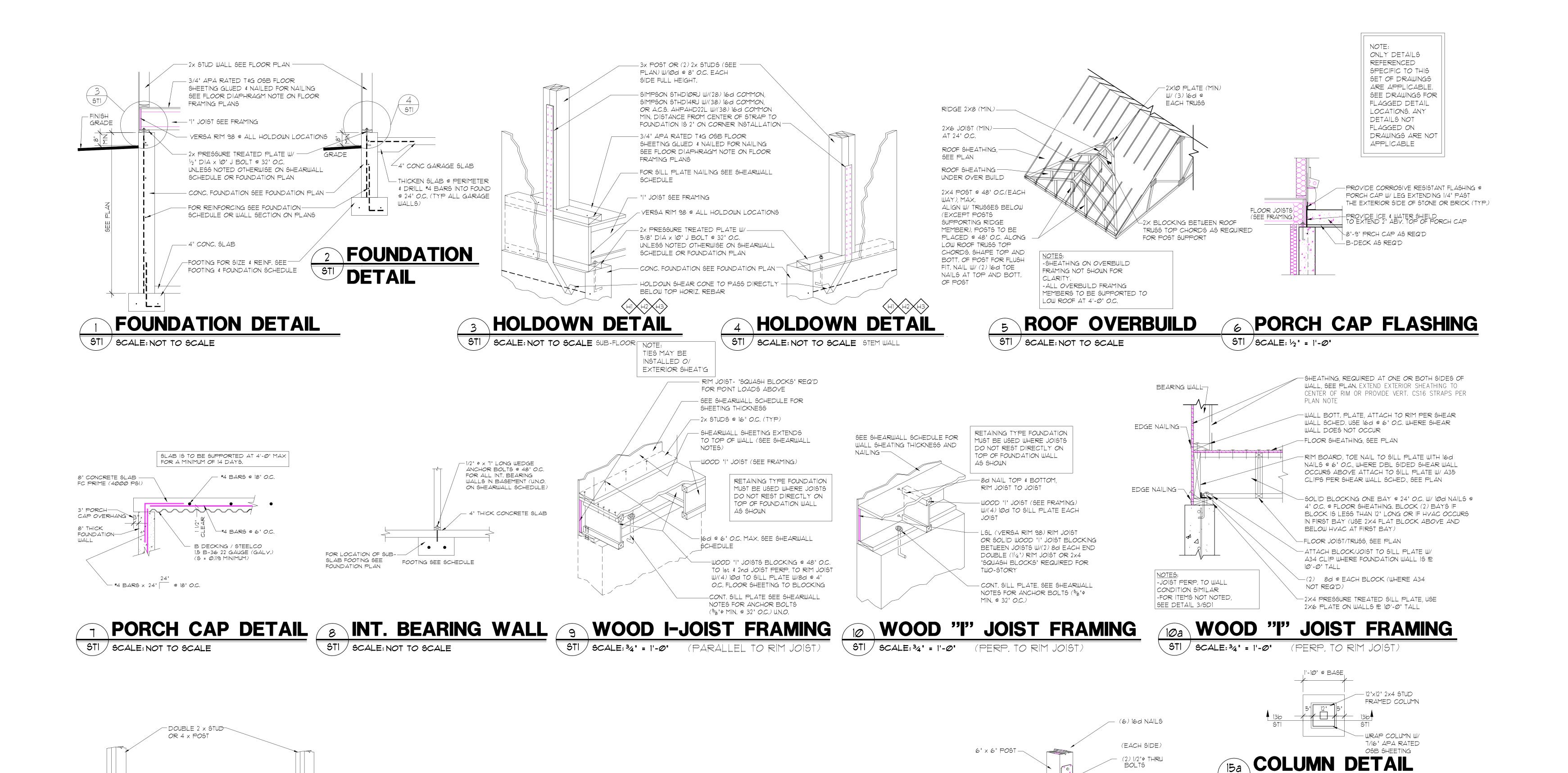
BASEMENT ELECTRICAL, MECHANICAL, AND PLUMBING PLAN





REVISIONS







— 8" FND WALL

SIMPSON HTT5 TENSION THE

W/(26) 16d SINKER NAILS

-5/8" ¢ THREADED ROD

IN 3/4" + HOLE 12" DEEP

4" SLAB ATOP INT. FTG

OR 8" FND WALL

EPOXY INSTALLED



-THREADED ROD, EPOXY INSTALLED \sim IN A 1 1/8" ϕ HOLE. EMBEDMENT DEPTH:

-6 × 6 POST (MIN).

RIM JOIST

FOUNDATION WALL

18" FOR HDUII, 24" FOR HDUI4



---- 16" (±) END LENGTH

DOUBLE 2x STUD-

PROVIDE 1/8" END-DISTANCE (MIN)

NAIL W/ (46) 16d-((23) EACH END)

USE EVERY OTHER NAIL HOLE IN A ROW TO PROVIDE THE CODE REQUIRED MINIMUM CENTER-TO-CENTER SPACING



2" MINIMUM -SIDECOVER

BACKFILLED SOIL

ASPHALT
WATERPROOF
2FROSMINEPTH JO GRADE
"+ SONO TI

"\$ SONO TUBE TO 6" ABOVE GRADE

CONC. FOOTING PER-FOUNDATION PLAN

UNDISTURBED SOIL-UNDER FOOTING

6(MIN) GRADE

BOLTS

SIMPSON ABU66

STI / SCALE: 1" = 1'-0"

STONE/BRICK BASE -

AS SHOWN ON PLAN

REINF. AS PER WALL

SLAB THICKENED

SECTION

PLAN YIEW

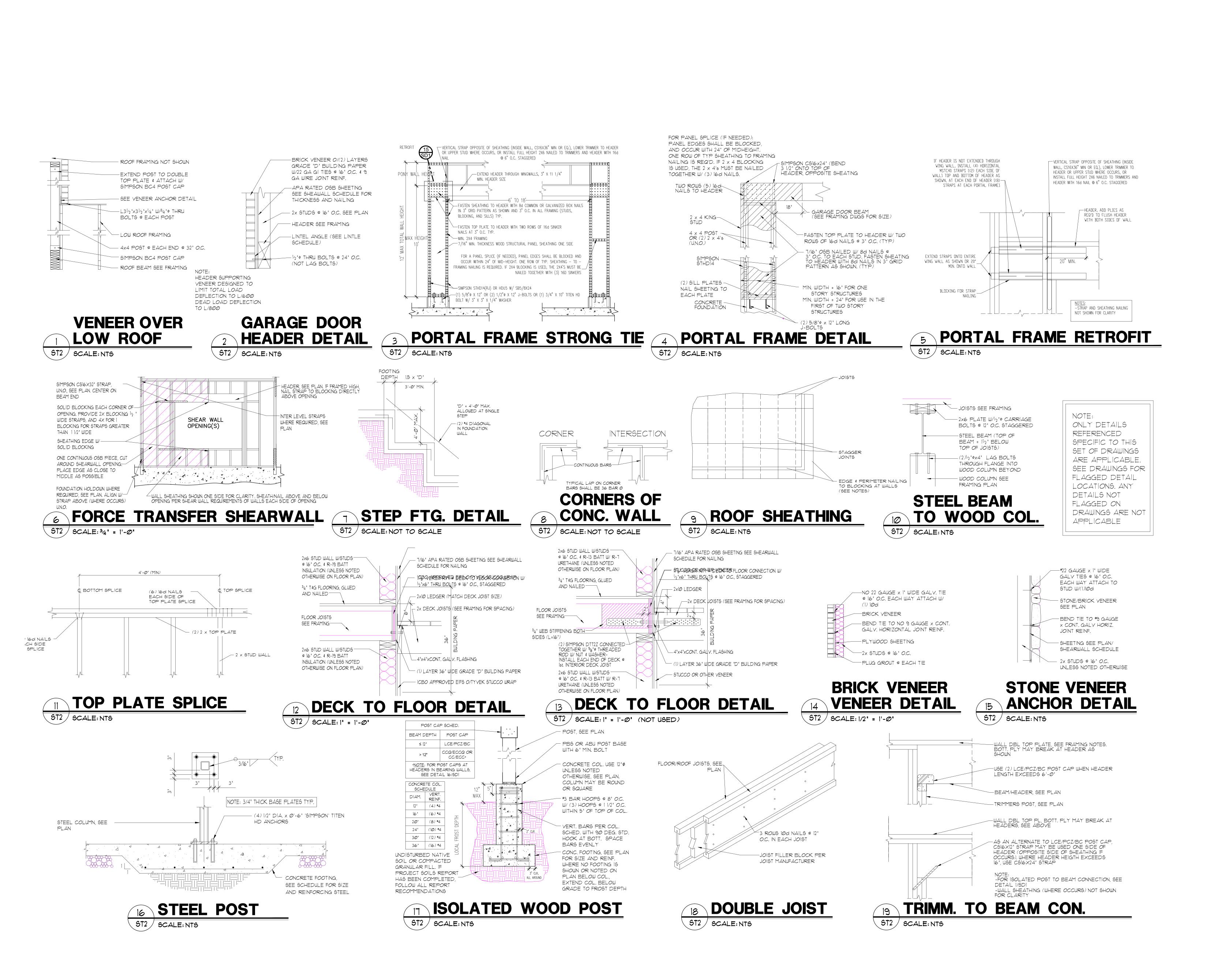
-WRAP COLUMN W/

7/16" APA RATED

FRAMED COLUMN

OSB SHEETING

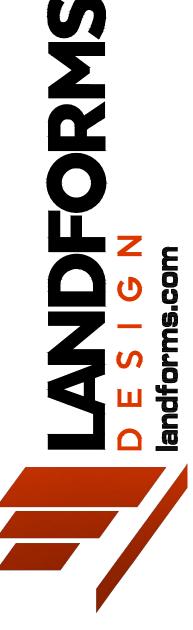
12"x12" 2x4 STUD



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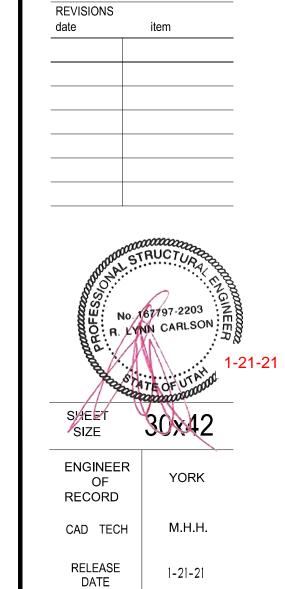
LOT* WEBER COUNTY

PLEASE NOTIFY LANDFORMS DESIGN OF AN STATE UTAH DATE 1-10-20



GENERAL NOTES & DETAILS

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ST2

REVISIONS

0.167197-2203 R. KIN CARLSON ;

ENGINEER

SIZE

RECORD

FOOTING, FOUNDATION AND CONCRETE

FOOTING DESIGN IS BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF U.N.O., SEE PLAN. IF A PROJECT SOILS REPORT HAS BEEN COMPLETED, FOLLOW ALL REPORT RECOMMENDATIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR GRANULAR FILL COMPACTED TO 95% OF MAXIMUM DENSITY. NO FOOTINGS SHALL BE PLACED IN WATER OR ON FROZEN GROUND. ALL FOOTINGS TO BE PLACE AT MIN. BELOW LOCAL FROST DEPTH, AND BE CONTINUOUS AND MONOLITHIC POUR.

2. CHANGES IN ELEV. SHALL BE STEPPED WITH STEP HEIGHT NOT HIGHER THAN 1/2 THE STEP LENGTH AND NOT GREATER THAN 5'. NOTIFY ENGINEER IF GRADE DROPS OVER 8' IN 24' (GREATER THAN 1/3 SLOPE) SO THAT APPROPRIATE DESIGN CHANGES MAY BE MADE TO FOUNDATION AND FOOTINGS.

3. ALL FOOTINGS, FOUNDATIONS, AND INTERIOR SLABS SHALL BE NORMAL WT. CONCRETE WITH A COMPRESSIVE STRENGTH OF 2,500 PSI MIN. U.N.O. TO MEET STRENGTH REQUIREMENTS (SEE CALCS., NO SPECIAL INSPECTIONS REQUIRED U.N.O., SEE PLAN) HOWEVER, PER IRC 402.2 USE 3000 PSI CONCRETE FOR DURABILITY PURPOSES, THE WATER/CEMENT RATIO SHALL BE NO GREATER THAN ,50 WITH A MINIMUM CEMENT CONTENT OF 504 LBS. PER CUBIC YARD.

4. ALL CONC. WORK SHALL BE PLACED, CURED, STRIPPED, AND PROTECTED AS REQUIRED BY ACI STANDARDS AND PRACTICES.

5. ALL REINFORCING SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI STANDARD 318. REINFORCEMENT SHALL BE FREE FROM MUD AND OIL AND OTHER NON-METALLIC COATINGS THAT HAMPER BONDING CAPACITY.

6. OWNER 1/2 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS LISTED ON THE DRAWING. VERIFICATION OF ALL SITE CONDITIONS INCLUDING SITE STABILITY IS THE RESPONSIBILITY OF OTHERS

1. ALLOW 14 DAYS FOR CONCRETE TO CURE PRIOR TO BACKFILL. 8. STRUCTURAL CONCRETE EXPOSED TO FREEZE THAW CYCLES SHALL HAVE 5% AIR ENTRAINMENT, MIN.

9. RUN FOOTINGS CONTINUOUS UNDER ALL DOOR OPENINGS, SEE PLAN. 10. SILL PLATE J-BOLTS SHALL BE A307 WITH 7? MIN. EMBEDMENT IN CONCRETE UN.O., SEE PLAN. 11. TITEN HD BOLTS OR EPOXY THREADED RODS MAY BE USED AS SUBSTITUTION FOR SILL PLATE

12. ALL FOUNDATION HOLDOWN STRAPS/ANCHORS SHALL BE ALIGNED WITH END OF SHEAR WALL ABOVE AND SHALL ATTACH TO FULL HEIGHT KING STUDS U.N.O., SEE PLAN. PROVIDE WOOD POST AT EACH HOLDOWN PER THE HOLDOWN SCHEDULE. DIMENSIONS TO HOLDOWN LOCATIONS MUST BE FIELD

J-BOLTS AT SAME SIZE AND SPACING AS J-BOLTS. USE 6? TITEN HD FOR SINGLE SILL PLATE AND 8"

13. FOOTINGS TO BE CENTERED ON WALLS AND COLUMNS/POSTS U.N.O., SEE PLAN.

14. USE SIMPSON SET-XP EPOXY FOR CONCRETE ANCHORS U.N.O., SEE PLAN. CONTINUOUS SPECIAL INSPECTIONS REQUIRED ON ALL EPOXY OPERATIONS UNLESS WAIVED BY ENGINEER AND THE BUILDING

15. LAP REBAR 48 BAR DIAMETERS U.N.O., SEE PLAN. REINFORCING IN SLABS ON GRADE MAY BE _APPED 24?. SPLICES IN BOTTOM STEEL IN CONCRETE BEAMS AND CAST IN PLACE SUSPENDED SLABS SHALL BE STAGGERED 48 BAR DIAMETERS.

16. LINTELS IN CONCRETE WALLS MAY BE AS FOLLOWS U.N.O., SEE PLAN± FOR 3'-0? MAX SPAN, 8? DEEP WITH (2) #4 BOTT. BARS, FOR 6'-0? MAX SPAN, 12? DEEP WITH (2) #4 BOTT. BARS.

17. PROVIDE (2) EDGE BARS ABOVE CONCRETE WALL OPENINGS AND (1) BAR EACH SIDE AND BELOW OPENINGS UN.O., SEE PLAN. MATCH SIZE OF EDGE BARS WITH TYPICAL WALL REINFORCING AND PLACE WITHIN 4? OF OPENING EDGE. EXTEND BARS 48 BAR DIAMETERS PAST EDGE OF OPENING OR EXTEND AS FAR AS POSSIBLE AND PROVIDE 90? STANDARD HOOK AT END.

18. PROVIDE HORIZONTAL BAR WITHIN 3? OF TOP AND BOTT, OF WALL AND PROVIDE VERTICAL BAR AT ALL WALL CORNERS AND ENDS.

NOTE: THIS ENGINEERING ASSUMES THAT THE CLEARANCE & SETBACK REQUIREMENTS LISTED IN IRC SECTION R403.1.7 ARE MET. IF THESE PROVISIONS ARE NOT MET, CONTACT THE

NOTE: THIS ENGINEERING ASSUMES THAT THE SITE IS STABLE HAVING NO GLOBAL STABILITY

ENGINEER FOR FURTHER DESIGN.

CONCERNS OR HAZARDS. IF THIS IS NOT TRUE, CONTACT SOILS ENGINEER AND PROVIDE

SOILS/SLOPE STABILITY REPORT TO YORK ENGINEERING FOR REVIEW AND FURTHER DESIGN

SHEATHING NOTES

1. STAGGER ROOF AND FLOOR SHEATHING JOINTS, SEE ROOF SHEATHING LAYOUT DETAIL 2. INSTALL ROOF AND FLOOR SHEATHING WITH LONG DIMENSION PERPENDICULAR TO TRUSSES/JOISTS UN.O., SEE PLAN. SHEATHING INSTALLED WITH LONG DIMENSION PARALLEL TO JOISTS/TRUSSES SHALL BE 5 PLY PLYWOOD CONFORMING TO APA STANDARD PS-1.

3NAILS SHALL BE ? ? MIN FROM SHEATHING EDGE.

4.ALL FLOOR AND ROOF SHEATHING PIECES SHALL BE 48 $^{?}$ imes 48 $^{?}$ MIN. 5.PROVIDE EDGE NAILING AT ALL SUPPORTED AND BLOCKED PANEL EDGES AND PER DETAILS.

WALL SHEATHING: 7/16? APA RATED 24/16 MIN. U.N.O., SEE PLAN. ALL EXTERIOR WALLS AND VERTICAL SURFACES SHALL BE SHEATHED WITH SHEATHING MANUFACTURED WITH EXTERIOR GLUE. SEE PLANS AND SHEAR WALL SCHEDULE FOR NAILING REQUIREMENTS. ROOF SHEATHING: 1/16? APA RATED 24/16 MIN. WITH 8d NAILS AT 6? O.C. EDGE NAILING AND 12? O.C. FIELD NAILING FOR ROOF SNOW LOAD LESS THAN OR EQUAL TO 40 PSF. FOR ROOF SNOW LOAD GREATER THAN 40 PSF USE 5/8? APA RATED 40/20 MIN. WITH 10d NAILS AT 6? O.C. EDGE NAILING AND

12? O.C. FIELD NAILING UN.O. SEE PLAN. FLOOR SHEATHING: 3/4? T&G APA RATED 40/20 MIN. (48/24 WHEN FLOOR TRUSSES/JOISTS ARE AT 24? O.C.) WITH 8d NAILS AT 6? O.C. EDGE NAILING AND 12? O.C. FIELD NAILING U.N.O., SEE PLAN. GLUE SHEATHING TO JOISTS/TRUSSES WITH ADHESIVE CONFORMING TO APA SPECIFICATIONS.

FRAMING NOTES

1. SILL PLATE J-BOLTS SHALL HAVE A $3^{?\times3?\times1/4?}$ WASHER AT EACH BOLT. IF SLOTTED WASHER IS 2. ALL FOUNDATION HOLDOWN STRAPS/ANCHORS SHALL BE ALIGNED WITH END *O*F SHEAR WALL AND/OR INTER LEVEL STRAP ABOVE (WHERE OCCURS) AND SHALL ATTACH TO FULL HEIGHT KING STUDS U.N.O., SEE PLAN. PROVIDE WOOD POST AT EACH HOLDOWN PER THE HOLDOWN SCHEDULE. 3.STRAPS CALLED OUT ON FLOOR AND FLOOR FRAMING PLANS ARE VERTICAL INTER LEVEL STRAPS AND SHALL BE CENTERED ON RIM BOARD AND ALIGNED WITH END OF SHEAR WALL ABOVE AND ATTACHED TO FULL HEIGHT KING STUDS UNLESS NOTED OR SHOWN OTHERWISE, SEE PLANS. 4.WALL DBL TOP PLATES SHALL BE 2X MIN. AND SHALL LAP 36? AT ALL SPLICES WITH (12) 16d NAILS STAGGERED EACH SIDE OF SPLICE U.N.O., SEE PLAN. WHERE PLATES DO NOT LAP, PROVIDE CS16×32" STRAP TO SPLICE PLATES. ALIGN WALL STUD WITH PLATE JOINTS.

5.PROVIDE DBL CANTILEVER FLOOR JOISTS BELOW (2) PLY (OR MORE) TRIMMERS/POSTS AND WHERE SHEAR WALL HOLDOWN STRAPS ARE INDICATED. 6.ATTACH (2) PLY HEADERS TOGETHER WITH (3) 16d AT 12^{9} O.C. $^{3}4(2)$ 16d OK FOR 2X6 HEADERS $^{1}8$, USE (3) 16d AT 12? O.C. EACH SIDE FOR (3) PLY HEADERS, USE (4) 16d AT (2) AND (3) PLY HEADERS WHEN HEADER HEIGHT IS GREATER THAN 11?. ATTACH (4) PLY HEADERS TOGETHER WITH (2) ?? THROUGH BOLTS AT 16? O.C. OR (2) SDS 1/4? \times 6? SCREWS AT 16? O.C. EACH SIDE OF HEADER U.N.O.,

1. SEE BEARING WALL CONSTRUCTION TABLE FOR WALL FRAMING REQUIREMENTS. 8.EDGE NAIL SHEATHING TO ALL DRAG MEMBERS.

10. ATTACH STEEL BEAMS TO WOOD POSTS PER BEAM POCKET IN WOOD WALL DETAIL.

9.WHEN CHIMNEY IS SUPPORTED BY ROOF/FLOOR FRAMING, TRUSS/JOIST MFR TO DESIGN TRUSSES/JOISTS TO SUPPORT CHIMNEY WEIGHT INCLUDING VENEER WHERE OCCURS. CHIMNEYS CANTILEVERING MORE THAN 4' ABOVE ROOF SHALL BE FRAMED WITH 2X6 @12? O.C., USE LSL 2X6 @ 12? O.C. FOR CHIMNEYS EXTENDING MORE THAN 8' ABOVE THE ROOF. CHIMNEYS EXTENDING MORE THAN 10' ABOVE THE ROOF SHALL BE LATERALLY BRACED (WITHIN 4' OF CHIMNEY TOP) TO THE ROOF FRAMING WITH CABLES OR RODS ANCHORED TO RESIST SEISMIC AND WIND LOADS. CHIMNEYS THAT EXTEND MORE THAN 6' ABOVE THE ROOF AND ARE SUPPORTED BY ROOF FRAMING (FRAMING DOES NOT EXTEND CONTINUOUS THROUGH ROOF) SHALL HAVE A MSTC48B3 ANCHOR AT EACH CORNER (HOOKED UNDER ROOF JOIST OR TRUSS TOP CHORD).

NAILING SCHEDULE (TABLE 204.9.1 IBC) CONNECTION NAILING JOIST TO SILL OR GIRDER, TOENAIL 3-8d BRIDGING TO JOIST, TOENAIL EACH END 2-8d 1"x 6"(25mm x 152mm) SUBFLOOR OR LESS TO EACH JOIST 2-80 FACE NAIL WIDER THAN 1"x 6" (25mm x 152mm) SUBFLOOR TO EACH JOIST FACE NAIL 2" (51mm) SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL 16d AT 16" (406mm) O.C. SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS 3-16d PER 16" (406mm) TOP PLATE TO STUD, END NAIL 2-16d STUD TO SOLE PLATE 4-8d TOENAIL OR 2-16d, DOUBLE STUDS, FACE NAIL 16d @ 24" (610mm) O.C. D. DOUBLED TOP PLATES, TYPICAL FACE NAIL 16d @ 16" (406mm) O.C. DOUBLE TOP PLATES, LAP SPLICE 8-16d BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL RIM JOIST TO TOP PLATE, TOENAIL 8d @ 6" (152mm) O.C. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL CONTINUOUS HEADER, TWO PIECES 16d a 16" (406mm) O.C. ALONG EACH EDGE CEILING JOISTS TO PLATE, TOENAIL CONTINUOUS HEADER TO STUD, TOENAIL 4-8d CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL 3-16d CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL 3-16d RAFTER TO PLATE, TOENAIL 7. | 1"(25mm) BRACE TO EACH STUD AND PLATE, FACE NAIL 2-8d $1" \times 8" (25mm \times 203mm)$ SHEATHING OR LESS TO EACH BEARING, WIDER THAN 1"x 8" (25mm x 203mm) SHEATHING TO EACH BEARING, FACE NAIL BUILT-UP CORNER STUDS 16d a 24" (610mm) O.C. BUILT UP GIRDER AND BEAMS 20d @ 32" (813mm) O.C. @ TOP & BOTTOM & STAGGERE 2-200 @ ENDS AND @ EACH SPLICE . 2"(51mm) PLANKS 2-16d @ EACH BEARING WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF & WALL SHEATHING (TO FRAMING): 1/2" (12.7 mm) AND LESS 80⁴ OR 60⁵ 19/32" - 3/4" (15mm -19mm) 7/8" - 1" (22mm - 25mm) 100 40R 80⁵ 11/8" - 11/4 (29mm - 32mm COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING): 3/4" (19mm) AND LESS 7/8" - 1" (22mm - 25mm) 10040R 80⁵ 11/8" - 11/4 (29mm - 32mm PANEL SIDING (TO FRAMING)2: 1/2" (12.7mm) OR LESS 5/8" (16mm) FIBERBOARD SHEATHING : No. 11 Ga. ^E 1/2" (12.7mm) No. 16 Ga. 25/32" (2*Ø*mm) No.,11 Ga. No. 16 Ga.⁹

COMMON OR BOX NAILS MAY BE USED EXCEPT WHERE OTHERWISE STATED NAILS SPACED AT 6" INCHES (152mm) ON CENTER AT EDGES, 12" (305mm) AT INTERMEDIATE SUPPORTS EXCEPT 6" (152mm) AT ALL SUPPORTS WHERE SPANS ARE 48" (1219mm) OR MORE, for NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2315.3.3 AND 2315.4 NAILS FOR WALL SHEATHING MAY BE COMMON, BOX OR CASING.

COMMON OR DEFORMED SHANK 4COMMON

9. INTERIOR PANELING

DEFORMED SHANK CORROSION-RESISTANT SIDING OR CASING NAILS CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3 FASTENERS SPACED 3" (76mm) ON CENTER AT EXTERIOR EDGES AND 6" (152mm) ON CENTER AT INTERMEDIATE SUPPORTS OCORROSION-RESISTANT ROOFING NAILS WITH 1/16" DIAMETER (11mm) HEAD AND 1 1/2" (38mm) LENGTH FOR

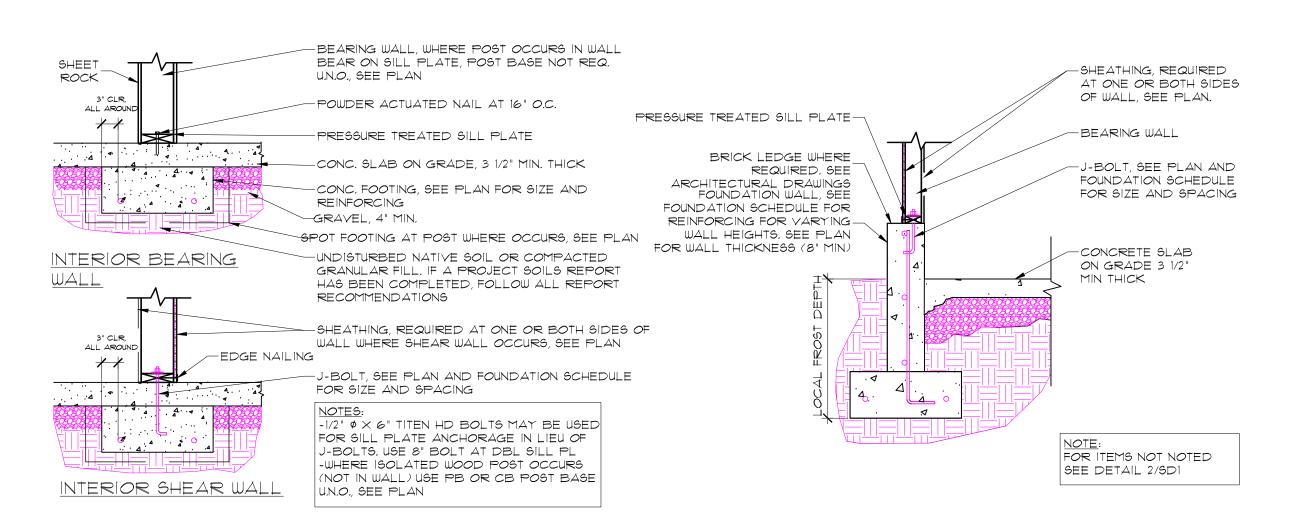
1/2" (12.7mm) SHEATHING AND 1 3/4" (44mm) LENGTH FOR 25/32" (20mm) SHEATHING CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3 ORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" (11mm) CROWN AND 1 1/8" (29mm) LENGTH FOR 1/2"

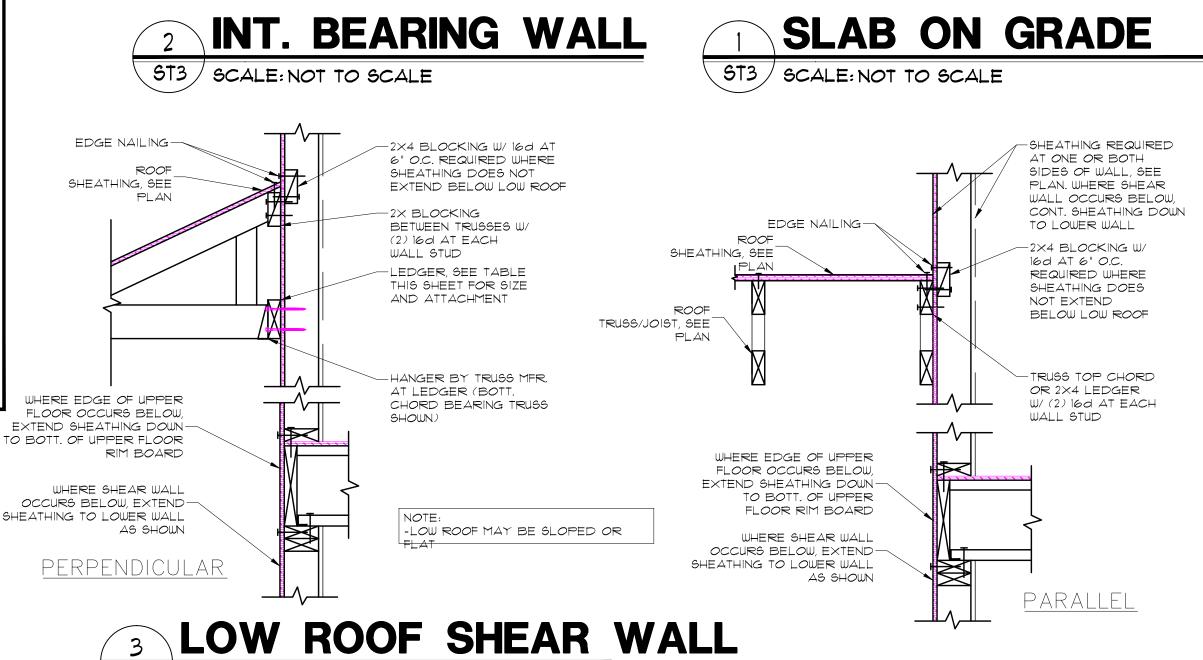
(12.7mm) SHEATHING AND 1 1/2" (38mm) LENGTH FOR 25/32" (20mm) SHEATHING CONFORMING TO THE REQUIREMENTS OF SECTION 2304.3 $^{m{arphi}}$ PANEL SUPPORTS AT 16" (406mm)(20" (508mm) IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL,

UNLESS OTHERWISE MARKED). CASING OR FINISH NAILS SPACED 6" (152mm) ON PANEL EDGES, 12" (305mm. AT INTERMEDIATE SUPPORTS. ^I PANEL SUPPORTS AT 24" (610mm). CASING OR FINISH NAILS SPACED 6" (152mm) ON PANEL EDGES, 12" (305mm AT INTERMEDIATE SUPPORTS.

		KING STUDS (K)/ TRIMMERS (T) BASED ON WALL OPENING WIDTH (U.N.O., SEE PLAN)							
WALL HEIGHT	STUD FRAMING	≤2"-6"	2'-7"-5'-Ø"	5'-1" - 8'-0"	8'-1" - 10"-0"	10'-1" - 12'-0"	12'-1" - 14'-0"	14'-1" - 16'-0"	16'-1" - 18'-0
Ø'-1Ø'	2×4's @ 16" O.C. ²	1 K/1 T	1 K/2 T	1 K/3 T	2 K/3 T	2 K/4 T	2 K/4 T	2 K/5 T	3 K/5 †
10'-1" - 12'	2×4's @ 12" O.C.2	1 K/2 T	1 K/ 3 T	2 K/ 4 T	2 K/ 4 Ť	3 K/ 5 T	3K/3½"×5¼" PSL T	4K/3½"×7" PSL T	4K/3½"×7" PSL
ع-12¹	2×6's @ 24" O.C.	1 K/1 T	1 K/ 2 T	2 K/ 2 ⊤	2 K/ 2 T	2 K/ 2 T	2 K/ 3 T	3K / 3Ť	3K / 4T
12'-1" - 14'	2×6's @ 16" O.C.	1 K/1 T	1 K/ 2 T	2 K/ 2 T	2 K/ 2 T	2 K/ 3 T	3 K/ 4 T	3K / 4T	3K / 5T
14-1" '- 16'	2×6's @ 2" O.C.	1 K/ 2 T	1 K/ 2 T	2 K/ 3 Ť	2 K/ 4 Ť	3 K/ 4 T	3 K/ 5 T	4K / 5T	4K/5¼"×5¼" PS
16'-1" - 20'	2×6 L9L's @ 12" O.C.	2 K/ 2 T	2 K/ 2 T	2 K/ 4 T	2 K/ 5 T	3K/5¼"×5¼" PSL T	4K/5¼"×7" PSL T	4K/5¼"×7" PSL T	4K/5¼"X7" PSL

LDOWN RETROFIT TABLE					
HOLDOWN	RETROFIT OPTIONS				
L9THD8/L9THD8RJ	THREADED ROD EMBEDDED 10" INTO CONCRETE ØHTT5 WITH 5/8" WITH SIMPSON SET EPOXY OR MST48 WITH (3) 1/2" X 4" TITEN HD BOLTS (CENTER STRAP ON RIM OR TOP OF FND WALL WHERE NO RIM OCCURS, 1/2" BEND MAX.)				
STHDIØ/STHDIØRJ	THREADED ROD EMBEDDED 10' INTO CONCRETE ØHTT5 WITH 5/8' WITH SIMPSON SET EPOXY OR MST48 WITH (3) 1/2" X 4" TITEN HD BOLTS (CENTER STRAP ON RIM OR TOP OF FND WALL WHERE NO RIM OCCURS, 1/2" BEND MAX.)				
STHD14/STHD14RJ	THREADED ROD EMBEDDED 15" INTO CONCRETE ØHDUS WITH 1/8" WITH SIMPSON SET EPOXY (IN 8" THICK STEM WALL) OR MST60 WITH OR TOP OF (4) 1/2" X 4" TITE HD BOLTS (CENTER STRAP ON RIM , 1/2" BEND MAX.) FND WALL WHERE NO RIM OCCURS				
HTT5 AND HDU5	THREADED ROD EMBEDDED 15' INTO CONCRETE HDUS WITH 1/8' WITH SIMPSON SET EPOXY (IN 8' THICK STEM WALL) OR MST60 WITH OR TOP OF (4) 1/2' X 4" TITEN HD BOLTS (CENTER STRAP ON RIM , 1/2" BEND MAX.) FND WALL WHERE NO RIM OCCURS				
HDU8	(2) MST48 STRAPS WITH (3) 1/2" X 4" TITEN HD BOLTS IN EACH STRAP, SPACE STRAPS 1' APART (CENTER STRAP ON RIM OR TOP OF FND WALL WHERE NO RIM OCCURS, 1/2" BEND MAX.).				
HDUII	(2) MST60 STRAPS WITH (4) 1/2" × 4" TITEN HD BOLTS IN EACH STRAP, SPACE STRAPS 1" APART (CENTER STRAP ON RIM OR TOP OF FND WALL WHERE NO RIM OCCURS, 1/2" BEND MAX.).				
HDU14	YORK ENGINEERING TO PROVIDE DETAIL.				

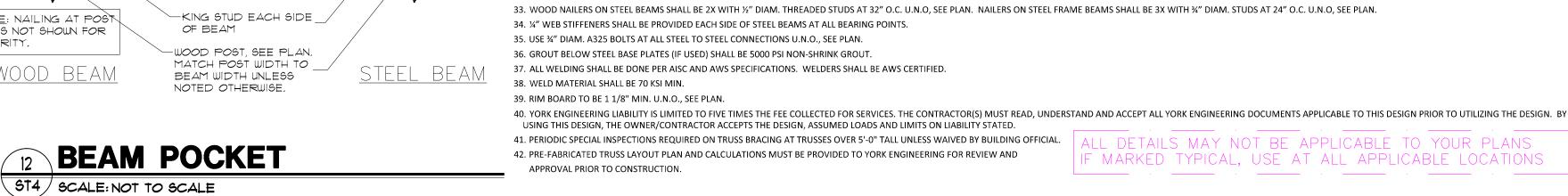


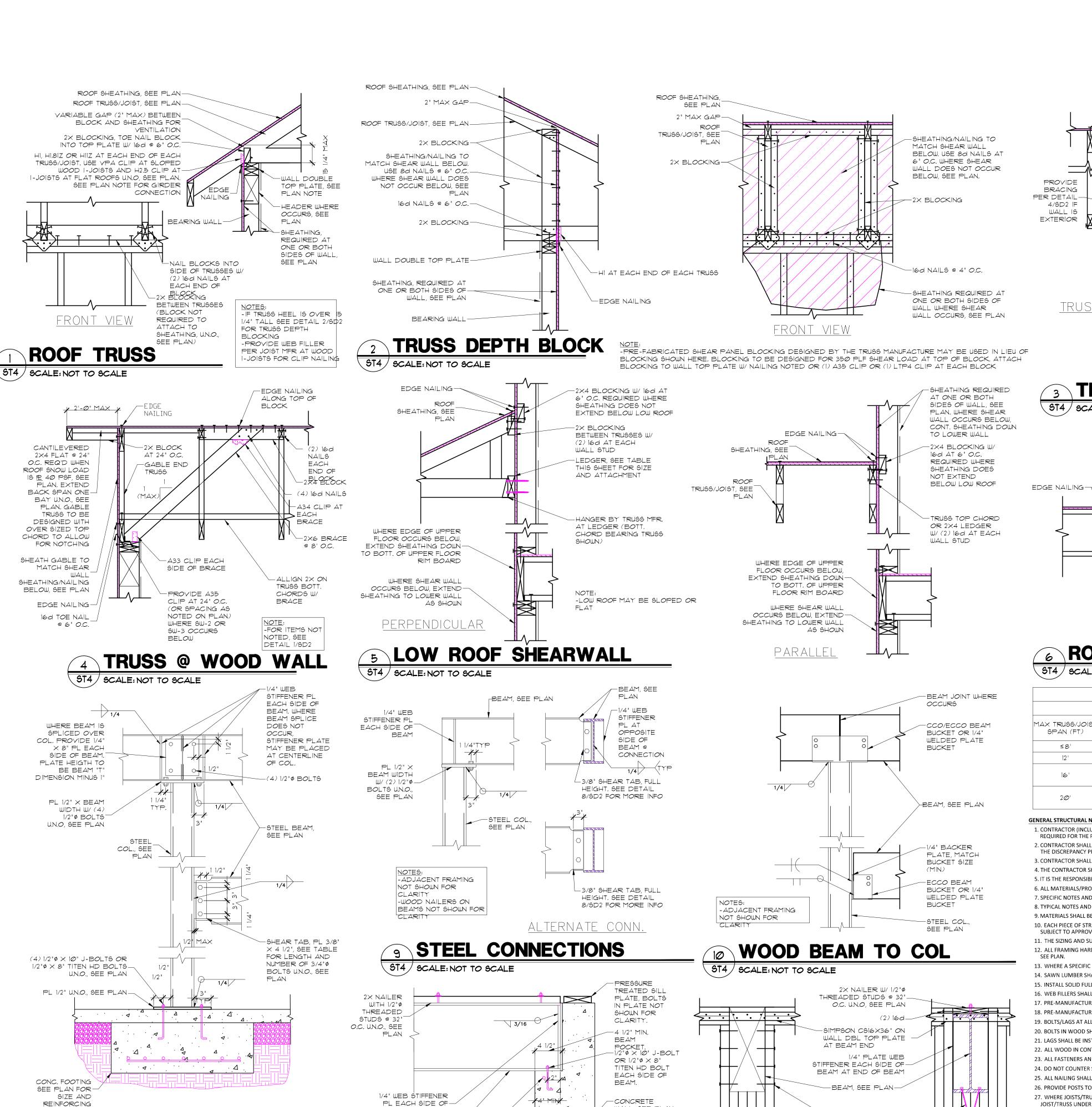


ST3 / SCALE: NOT TO SCALE

REVISIONS

RELEASE





BEAM

ST4 SCALE: NOT TO SCALE

STEEL BEAM, SEE-

 *4 imes 6'-0" REBAR $_-$

OF 3/4" SHEAR TAB CAPACITY

8 1/2"

3 8 1/2" 28.8K

5 | 14 1/2" | 54.1K

-BOLTS TO BE A325 U.N.O., SEE PLAN

-CONN. CAPACITY BASED ON AISC

TABLE 10-10A

STEEL BEAM TO COL.

BEAM SIZE DIAM. BOLTS LENGTH

WALL, SEE PLAN.

NOT SHOWN FOR

NOTE: NAILING AT POST

WOOD BEAM

PLYS NOT SHOWN FOR

CLARITY.

REINFORCING

CLARITY

-NAILER ON STEEL BEAM MAY BE ELIMINATED BY

MOVED UP TO BE FLUSH W/ TOP OF SILL PLATE.

-FLOOR FRAMING NOT SHOWN FOR CLARITY.

STEEL BEAM TO CONC.

WELDING JOIST HANGERS TO STEEL BEAM. BEAM MAY BE

—16d @ 3" O.C. EACH

SIDE, STAGGERED

1/2 " $\phi imes$ 5" LAG EACH

SIDE OF BEAM, INSTALL-

ON ANGLE AS SHOWN

REINFORCING

-FOR COL, ON FOUNDATION

-SHEAR TAB CONN. MAY BE

-ADJACENT FRAMING NOT

NOT SHOWN FOR CLARITY

-WOOD NAILERS ON BEAMS

-FOR ITEMS NOT NOTED, SEE

ST4 / SCALE: NOT TO SCALE

SHOWN FOR CLARITY

USED AT TOP OF COL. IN LIEU

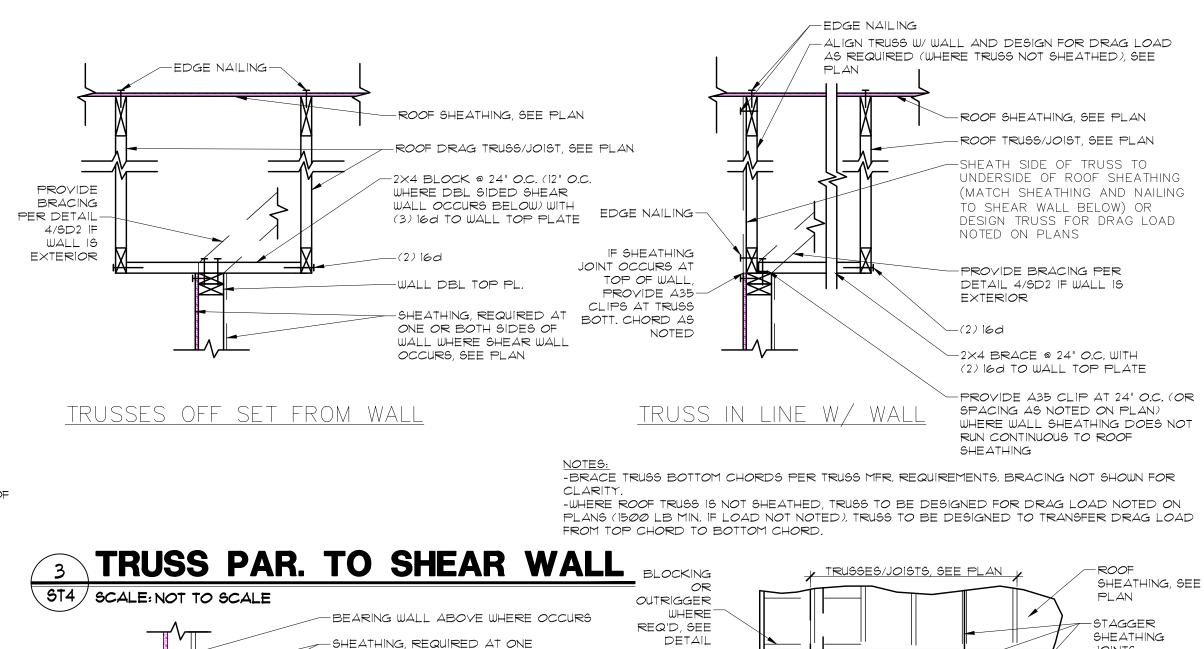
WALL, USE 8" WIDE BASE

PLATE, SPACE BOLTS 3"

APART U.N.O., SEE PLAN

OF CAP PLATE

DETAIL 2/SDI



4/SD2

GABLE TRUSS-

SD2

-WALL TOP PLATE

BELOW

WALL, ALIGN JOIST BELOW BEARING -EDGE NAILING REQUIRED AT ALL SUPPORTED AND BLOCKED SHEATHING EDGES. ALSO PROVIDE EDGE NAILING PER DETAILS WALL, ALIGN DBL JOISTS BELOW DBL 3/SD2, 4/SD2 AND PER PLAN NOTES. SIDED SHEAR WALL -BRACING REQUIRED PER DETAIL 4/6D2 NOT SHOWN FOR -FOR ITEMS NOT NOTED, SEE DETAIL **ROOF SHEATHING** ROOF SHEATHING ST4 / SCALE: NOT TO SCALE ST4/SCALE: NOT TO SCALE

OR BOTH SIDES OF WALL WHERE

SHEAR WALL OCCURS, SEE PLAN

PROVIDE DBL BLOCK WHERE DBL

WITH LTP4 CLIPS PER SHEAR WALL

BLOCKING BETWEEN JOISTS, NAIL TO

O.C., WHERE SW-2 OR SW-3 OCCURS

OR LTP4 CLIPS PER SHEAR WALL

-WHERE JOISTS RUN PARALLEL TO

SCHED., SEE PLAN

WALL TOP PLATE WITH 16d NAILS @ 6"

ABOVE ATTACH TO TOP PLATE W/ A35

SIDED SHEAR WALL OCCURS

ABOVE, ATTACH TO TOP PLATE

SCHED. (16d @ 6" O.C. FOR DBL

	MIN. LEDGER SIZE A	TABLE NOTES				
		1. LEDGER NAILS TO BE 16d148"\$ × 3 1/2", MIN.				
MAX TRUSS/JOIST SPAN (FT)	40-50 PSF	5Ø-55 PSF	60-65 PSF	70-75 PSF	2. SDS SCREWS TO BE SPACED 3" O.C., 1/2" FROM LEDGER EDGE 3. WHERE LEDGER IS INSTALLED	
≤8'	2×6, (3) l6d	2×8, (4) 16d	2×8, (4) 16d	2×8, (2) SDS 1/4" × 4 1/2"	DIRECTLY ON WALL STUDS (NOT ON WALL SHEATHING) 3 1/2" SCREWS MAY E USED 4. CENTER LEDGER SCREWS/NAILS IN	
121	2×8, (4) 16d	2×10, (3) SDS 1/4" × 4 1/2"	2×10, (3) SDS 1/4" × 4 1/2"	2×10, (3) SDS 1/4" × 4 1/2"		
16'	2×10, (3) SDS 1/4" × 4 1/2"	2×10, (3) SDS 1/4" × 4 1/2"	1 3/4" × 11 7/8" LVL, (4) SDS 1/4" × 4 1/2"	3/4" × 7/8" LVL, (4) SDS 1/4" × 4 1/2"	WALL STUDS	
20'	1 3/4" × 11 7/8" LVL, (4) SDS 1/4" × 4 1/2"	1 3/4" × 11 7/8" LVL, (4) SDS 1/4" × 4 1/2"	1 3/4" × 16" LVL, (5) SDS 1/4" × 4 1/2"	1 3/4" × 16" LVL, (5) SDS 1/4" × 4 1/2"		

GENERAL STRUCTURAL NOTES

- 1. CONTRACTOR (INCLUDING SUB-CONTRACTORS) SHALL FOLLOW ALL REQUIREMENTS STATED IN THESE DOCUMENTS AND ALL APPLICABLE BUILDING CODES AND STANDARDS AND SHALL BE QUALIFIED TO PERFORM AND EXPERIENCED IN PERFORMING THE WORK REQUIRED FOR THE PROJECT. 2. CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS STATED IN ALL OTHER DOCUMENTS APPLICABLE TO THE PROJECT. IF ANY DISCREPANCIES OCCUR BETWEEN THE STRUCTURAL DOCUMENTS AND OTHER PROJECT DOCUMENTS, NOTIFY YORK ENGINEERING OF THE DISCREPANCY PRIOR TO CONSTRUCTION
- 3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, ETC., PRIOR TO CONSTRUCTION 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND SHALL PROVIDE SHORING AND BRACING AS REQUIRED TO PROVIDE STRUCTURAL STABILITY AT ALL TIMES DURING CONSTRUCTION.
- 6. ALL MATERIALS/PRODUCTS SHALL BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS
- 7. SPECIFIC NOTES AND DETAILS SHALL GOVERN OVER TYPICAL NOTES AND DETAILS
- 9. MATERIALS SHALL BE PLACED ON THE STRUCTURE SUCH THAT THE DESIGN LOADS STATED IN THE DESIGN CRITERIA TABLE ARE NOT EXCEEDED AND THE LOAD BEARING CAPACITY OF TEMPORARY SHORING AND BRACING IS NOT EXCEEDED SUBJECT TO APPROVAL BY THE ENGINEER
- 12. ALL FRAMING HARDWARE SHALL BE SIMPSON STRONG-TIE OR APPROVED EQUAL U.N.O. AND SHALL BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS. USE THE MAXIMUM NUMBER AND SIZE OF FASTENERS SPECIFIED BY THE MANUFACTURER U.N.O.,
- 14. SAWN LUMBER SHALL BE DOUG FIR #2 OR BETTER U.N.O., SEE PLAN. POSTS AND TIMBERS SHALL BE DOUG FIR #1 OR BETTER 15. INSTALL SOLID FULL HEIGHT BLOCKING BETWEEN TRUSSES/JOISTS AT ALL BEARING POINTS U.N.O. SEE PLAN
- 16. WEB FILLERS SHALL BE PROVIDED ON WEBS OF WOOD I-JOISTS PER THE JOIST MANUFACTURER'S REQUIREMENTS AND PER THE HARDWARE MANUFACTURER'S REQUIREMENTS WHERE HARDWARE ATTACHES TO THE I-JOIST 17. PRE-MANUFACTURED TRUSSES AND JOISTS SHALL BE BRACED PER THE MANUFACTURER'S REQUIREMENTS. MULTI-PLY MEMBERS SHALL BE ATTACHED TOGETHER PER THE MANUFACTURER'S REQUIREMENTS.
- 18. PRE-MANUFACTURED PRODUCTS SUCH AS WOOD TRUSSES AND I-JOISTS SHALL ONLY BE ALTERED WITH THE APPROVAL OF THE MANUFACTURER AND SHALL BE REPAIRED (WHEN REQUIRED) PER THE MANUFACTURER'S REQUIREMENTS. 19. BOLTS/LAGS AT ALL WOOD TO WOOD, WOOD TO STEEL AND WOOD TO CONCRETE CONNECTIONS SHALL BE A307 U.N.O., SEE PLAN.
- 20. BOLTS IN WOOD SHALL BE INSTALLED IN HOLES 1/16" IN DIAMETER LARGER THAN THE BOLT DIAMETER AND SHALL HAVE WASHERS BETWEEN HEAD/NUT AND WOOD MEMBER. 21. LAGS SHALL BE INSTALLED IN HOLES PRE-DRILLED AT SAME DIAMETER AS LAG SHAFT FOR UNTHREADED SHAFT PORTION OF HOLE AND 40%-70% OF SHAFT DIAMETER FOR THREADED PORTION.
- 22. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED U.N.O, SEE PLAN.
- 23. ALL FASTENERS AND CONNECTORS (NAILS, SCREWS, BOLTS, NUTS, WASHERS, ETC.) IN CONTACT WITH PRESERVATIVE TREATED AND FIRE RETARDANT TREATED WOOD SHALL MEET THE REQUIREMENTS OF IBC 2304.10.5. 24. DO NOT COUNTER SINK BOLT/LAG HEADS INTO WOOD MEMBERS UNLESS SPECIFICALLY NOTED ON PLANS OR APPROVED BY THE ENGINEER.
- 25. ALL NAILING SHALL BE PER IBC TABLE 2304.10.1 U.N.O., SEE PLAN. ATTACH 2X4 STUDS TO WALL TOP AND BOTT. PLATES WITH (2) 16d NAILS, USE (3) 16d NAILS FOR 2X6 STUDS. BUILT-UP 2X POSTS SHALL BE FACE NAILED TOGETHER WITH (2) 16d AT 9" O.C. 26. PROVIDE POSTS TO MATCH WIDTH OF SUPPORTED BEAMS/HEADERS U.N.O., SEE PLAN. CONTINUE POSTS TO FOUNDATION INCLUDING SQUASH BLOCKING IN FLOORS. MATCH SQUASH BLOCKING SIZE TO POST SIZE.
- 27. WHERE JOISTS/TRUSSES RUN PARALLEL TO INTERIOR BEARING WALLS, ALIGN JOIST/TRUSS UNDER WALL BOTT. PLATE OR PROVIDE FULL HEIGHT BLOCKING AT 16" O.C. IN FLOOR PERPENDICULAR TO WALL AND BLOCKING ALIGNED UNDER WALL. PROVIDE DBL JOIST/TRUSS UNDER DBL SIDED SHEAR WALLS, SEE INTERIOR SHEAR WALL AT WOOD FLOOR DETAIL.
- 28. WOOD WALLS SHALL BE BALLOON FRAMED FROM FOUNDATION TO ROOF EXCEPT WHERE FLOORS BREAK WALL STUDS PER FLOOR JOIST AT WOOD WALL DETAIL.
- 29. SHEATHING SHALL BE PROVIDED ON RIM BOARDS AND NAILED PER REQUIREMENTS OF SHEAR WALL ABOVE. 30. EXCEPT WHERE NOTED OTHERWISE, PROVIDE METAL FRAMING CONNECTOR (HANGER, CLIP, CAP, ETC.) AT ALL WOOD TO CONCRETE, WOOD TO STEEL AND WOOD TO WOOD CONNECTIONS.
- 31. ATTACH BRICK VENEERS TO FRAMING PER IRC R703.8. 32. PROVIDE 6" X 3 1/2" X 5/16" STEEL ANGLE TO SUPPORT BRICK VENEERS. ATTACH ANGLE WITH (2) 7/16" X 4" LAGS AT 16" O.C., USE (1) ½" X 4 ½" TITEN HD BOLT AT 16" O.C. FOR ATTACHMENT TO CONCRETE OR MASONRY.

ALPINE CITY COUNCIL AGENDA

SUBJECT: Plat Amendment – Forest Creek Estates Subdivision Amended

FOR CONSIDERATION ON: 26 April 2022

PETITIONER: Ken Berg representing Reed Swenson

ACTION REQUESTED BY PETITIONER: Approve the Plat Amendment

BACKGROUND INFORMATION:

The Forest Creek Estates Subdivision Amended Plat consists of 4 lot on 7.84 acres. The property is located at 952 North Fort Canyon Road in the CR-40,000 zone. The proposed plat amendment would clean up and revise lot lines on the existing plat and would convert the development from a Planned Residential Development (PRD) to a standard subdivision. The plat amendment would convert the subdivision from 5 lots to 4 lots and would dissolve the private open space. The private open space would be absorbed into the remaining 4 lots.

The Planning Commission reviewed this item and recommended that it be approved:

MOTION: Commission Member Ethan Allen moved to recommend approval of Forest Creek Estates Subdivision Amended with the following conditions:

- *An exception be granted:*
 - o To modify lot lines to reduce angles, corners, and odd configurations, and
 - o To allow lots with more than 5 sides.

John MacKay seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

STAFF RECOMMENDATION:

Review staff report and findings and approve or table the proposed plat amendment.

SAMPLE MOTION TO APPROVE

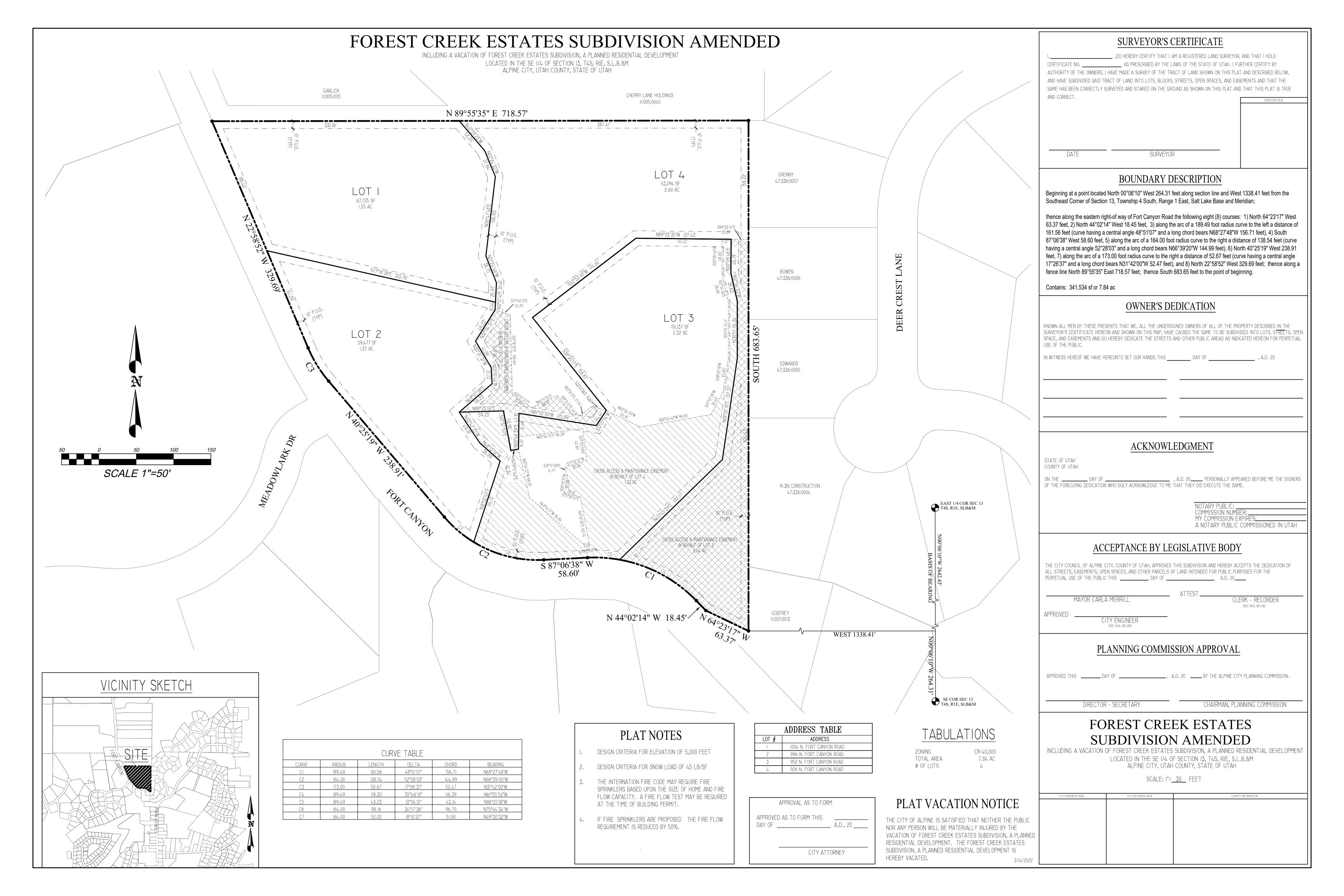
I move to approve Forest Creek Estates Subdivision Amended with the following conditions:

- An exception be granted:
 - To modify lot lines to reduce angles, corners, and odd configurations, and
 - To allow lots with more than 5 sides.

SAMPLE MOTION TO TABLE

I move to table/deny Forest Creek Estates Subdivision Amended based on the following:

INSERT FINDING





ALPINE CITY STAFF REPORT

April 19, 2022

To: Alpine City Planning Commission & City Council

From: Staff

Prepared By: Austin Roy, City Planner

Planning & Zoning Department

Jed Muhlestein, City Engineer

Engineering & Public Works Department

RE: PLAT AMENDMENT – FOREST CREEK ESTATES SUBDIVISION AMENDED

Applicant: Ken Berg representing Reed Swenson

Project Location: 952 North Fort Canyon Road

Zoning: CR-40,000 Acreage: 7.84 Acres

Number of Lots: 4

Request: Recommend and approve the amended plat

SUMMARY

The Forest Creek Estates Subdivision Amended Plat consists of 4 lot on 7.84 acres. The property is located at 952 North Fort Canyon Road in the CR-40,000 zone. The proposed plat amendment would clean up and revise lot lines on the existing plat and would convert the development from a Planned Residential Development (PRD) to a standard subdivision. The plat amendment would convert the subdivision from 5 lots to 4 lots and would dissolve the private open space. The private open space would be absorbed into the remaining 4 lots.

BACKGROUND

The original plat was recorded in 2000 as PRD, which allowed them to record a 5th lot that was approximately 18,000 square feet in size. However, a home was never built on the 5th lot. The owners have no intention of building on the lot and would instead have it be vacated and become part of their other existing lot.

ANALYSIS

Lot Width and Area

The proposed plat amendment does not meet the minimum width requirements, as more frontage is required for lots with greater percentage of slope. Thus, the applicant is seeking an exception as outlined in 3.04.040.3 of the Development Code, which states:

The City Council may, with a recommendation from the Planning Commission and with input from the applicant, modify lot lines to reduce angles, corners, and odd configurations when:

- 1. A concept plan has been provided which meets the criteria set forth in Part 1 of this Section;
- 2. The modified concept plan does not have any more or less lots than were shown in the concept plan;
- 3. The modified concept plan does not contain any lots which have less than 110 feet of frontage or 40,000 square feet in total area;

The lots on the modified plan each meet the 110 feet of frontage and 40,000 square foot area requirements as outlined above. However, the modified lot lines require a recommendation from the Planning Commission to be approved as proposed.

Use

The use of the lot is not changing with the plat amendment. Single family dwellings are a permitted use in the zone

Sensitive Lands (Wildland Urban Interface)

The property is in sensitive lands. Wildland Urban Interface requirements will apply to all structures to be built on the property.

Trails

There are no City trails on the property.

General Plan

The proposed plat appears to be compatible with the General Plan.

Other

None.

REVIEWS

PLANNING AND ZONING DEPARTMENT REVIEW

The analysis section in the body of this report serves as the Planning and Zoning Department review.

ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW

This section constitutes the engineering review.

Natural Hazards

The flood plain runs through the property and standard restrictions apply to the floodplain area and stream.

<u>Other</u>

The proposed lots have more than 5 sides and will require an exception.

NOTICING

Notice has been properly issued in the manner outlined in City and State Code

STAFF RECOMMENDATION

Review staff report and findings and make a motion to <u>approve or table</u> the proposed plat amendment. Findings are outlined below.

Findings for a Positive Motion:

A. The proposed plat meets ordinance.

Findings for a Motion to Table:

A. None.

MODEL MOTIONS

SAMPLE MOTION TO APPROVE

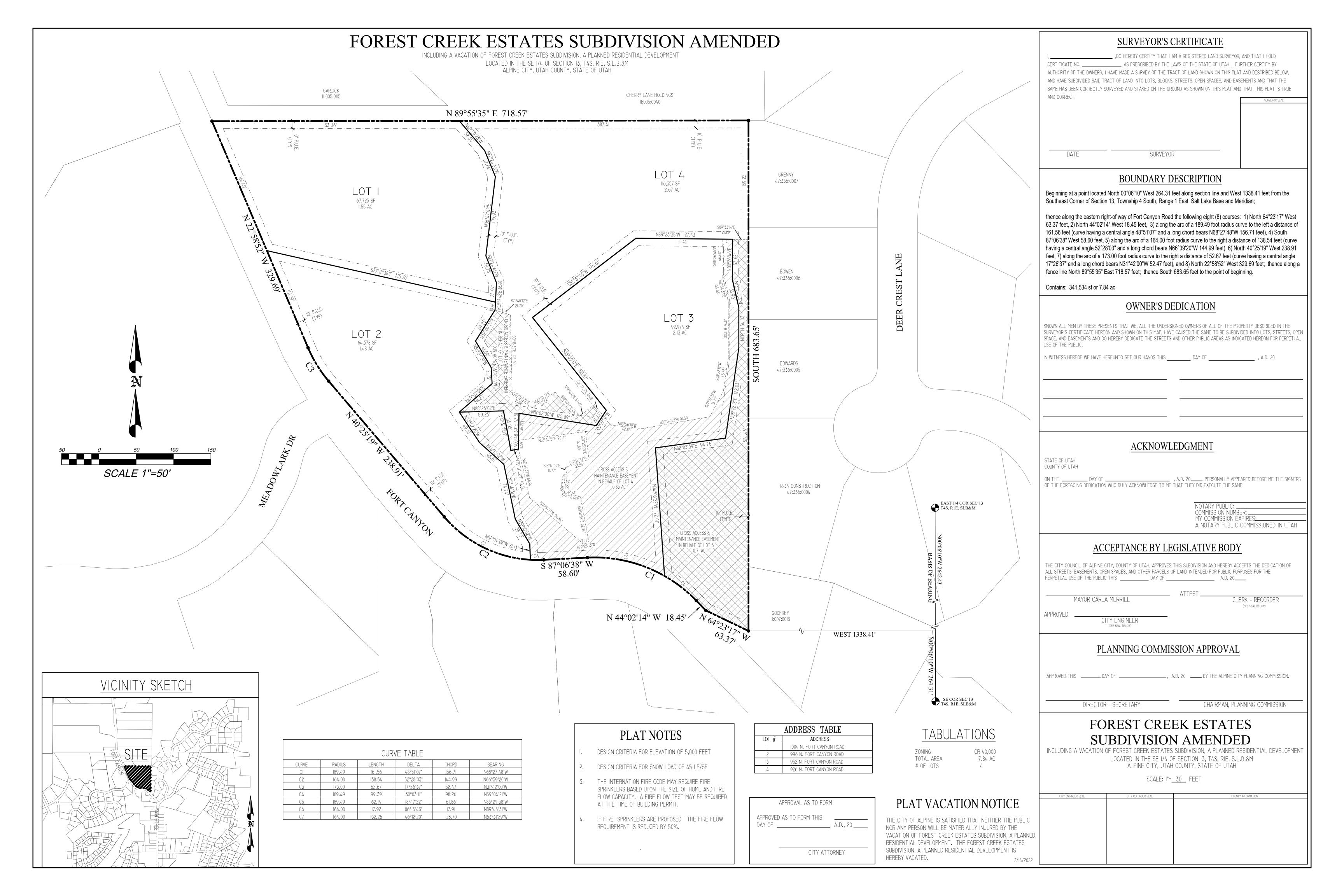
I move to recommend approval of Forest Creek Estates Subdivision Amended with the following conditions:

- An exception be granted:
 - o To modify lot lines to reduce angles, corners, and odd configurations, and
 - o To allow lots with more than 5 sides.

SAMPLE MOTION TO TABLE/DENY

I move to table/deny Forest Creek Estates Subdivision Amended based on the following:

• **INSERT FINDING**



ALPINE CITY COUNCIL AGENDA

SUBJECT: Site Plan – Design Update – Montdella Townhomes

FOR CONSIDERATION ON: 26 April 2022

PETITIONER: Henry Walker Homes

ACTION REQUESTED BY PETITIONER: Approve Design Changes for the

Montdella Project.

BACKGROUND INFORMATION:

In 2019, the City Council approved the Montdella Townhomes project. The design of the townhomes was also approved at that time. Since the original approval the project has changed ownership from Cottle Capital to David Wilkes to Henry Walker Homes.

The current owner of the project, Henry Walker Homes, is seeking approval of changes to the originally approved designs. The new design eliminates certain design and building elements and introduce others. Changes include new building materials and color palette.

The petitioner has prepared a design board, perspectives, and elevations of the new design, as well as 3D renderings of the project for Planning Commission and City Council review.

The Planning Commission reviewed the proposed design changes on April 19, 2022. The Planning Commission recommended that a few modifications be made to the proposed design.

MOTION: Commission Member Alan MacDonald moved to recommend that the new design of the Montdella Townhomes be approved with the following conditions:

- 1. The builder include more brick, brick wainscoting and more of a traditional character that may include: shutters on the windows, metal roof, and other similar design elements.
- 2. The color palette be the dark red brick, white painted bricks with wainscoting, and that the project be much more brick intensive and limit siding or alternative materials.

Nays:

John MacKay

Excused:

Jeff Davis seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

Ayes:
Alan MacDonald
Ethan Allen
Jane Griener
Susan Whittenburg
Troy Slade
Jeff Davis

STAFF RECOMMENDATION:

Review the revised design and approve changes.

SAMPLE MOTION TO APPROVE:

I move to approve design changes for the Montdella Townhomes as proposed.

SAMPLE MOTION TO APPROVE WITH CONDITIONS:

I move to approve the proposed design changes to the Montdella Townhomes with the following conditions:

• ***Insert Finding***

SAMPLE MOTION TO TABLE/DENY:

I move to table (or deny) the proposed design changes to the Montdella Townhomes based on the following:

• ***Insert Finding***









Painted Brick and Siding: SW Alabaster Front Doors: SW Caviar

Brick Color: Beehive Sand Hills

Soldier Course

Above

Windows +

Brick Sills



Carriage House Garage Door











Black Metal Roof Accents



Black Amsco Windows



Masonite Vista Grande Front Door Painted SW Caviar



Black Lantern Wall Sconces

ALPINE CITY COUNCIL AGENDA

SUBJECT: Site Plan – Elway's Doggie Wash at the Alpine Animal Hospital – 424

South Alpine Highway

FOR CONSIDERATION ON: 26 April 2022

PETITIONER: Neil Smart

ACTION REQUESTED BY PETITIONER: Approve the proposed site plan.

BACKGROUND INFORMATION:

The applicant is seeking to build a dog wash station in front of the Alpine Animal Hospital. The site is located within the Business Commercial Zone and the Gateway Historic District. The proposed structure has a footprint of approximately 8'x13' for a single unit or 8'x21' for a double unit. The overall size of the property is 1.01 acres. The applicant is seeking approval of the proposed site plan.

On April 21, 2022, the Planning Commission reviewed the item. The Planning Commission felt like the structure should have to match the existing sign on the property, as far as color and design is concerned, to better blend in and be compatible with adjacent structures in the area. The Planning Commission made the following recommendation:

MOTION: Commission Member Jeff Davis moved to recommend that the site plan for Elway's Doggie Wash be approved with these changes.

- 1. Match the color scheme of the animal hospital sign.
- 2. Move the solid wall towards the street and add some sort of design element, brick, stone, or wainscoting that matches the color of the sign.
- 3. Approve a single unit station.

Alan MacDonald seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

Ayes: Nays: Excused:

Jeff Davis Troy Slade
Ethan Allen Alan MacDonald
Jane Griener

John MacKay

Susan Whittenburg

MODEL MOTIONS

SAMPLE MOTION TO APPROVE:

I move to approve the site plan for Elway's Doggie Wash as proposed.

SAMPLE MOTION TO APPROVE WITH CONDITIONS:

I move to approve the site plan for Elway's Doggie Wash based on the following conditions/changes:

Insert Finding

SAMPLE MOTION TO TABLE/DENY:

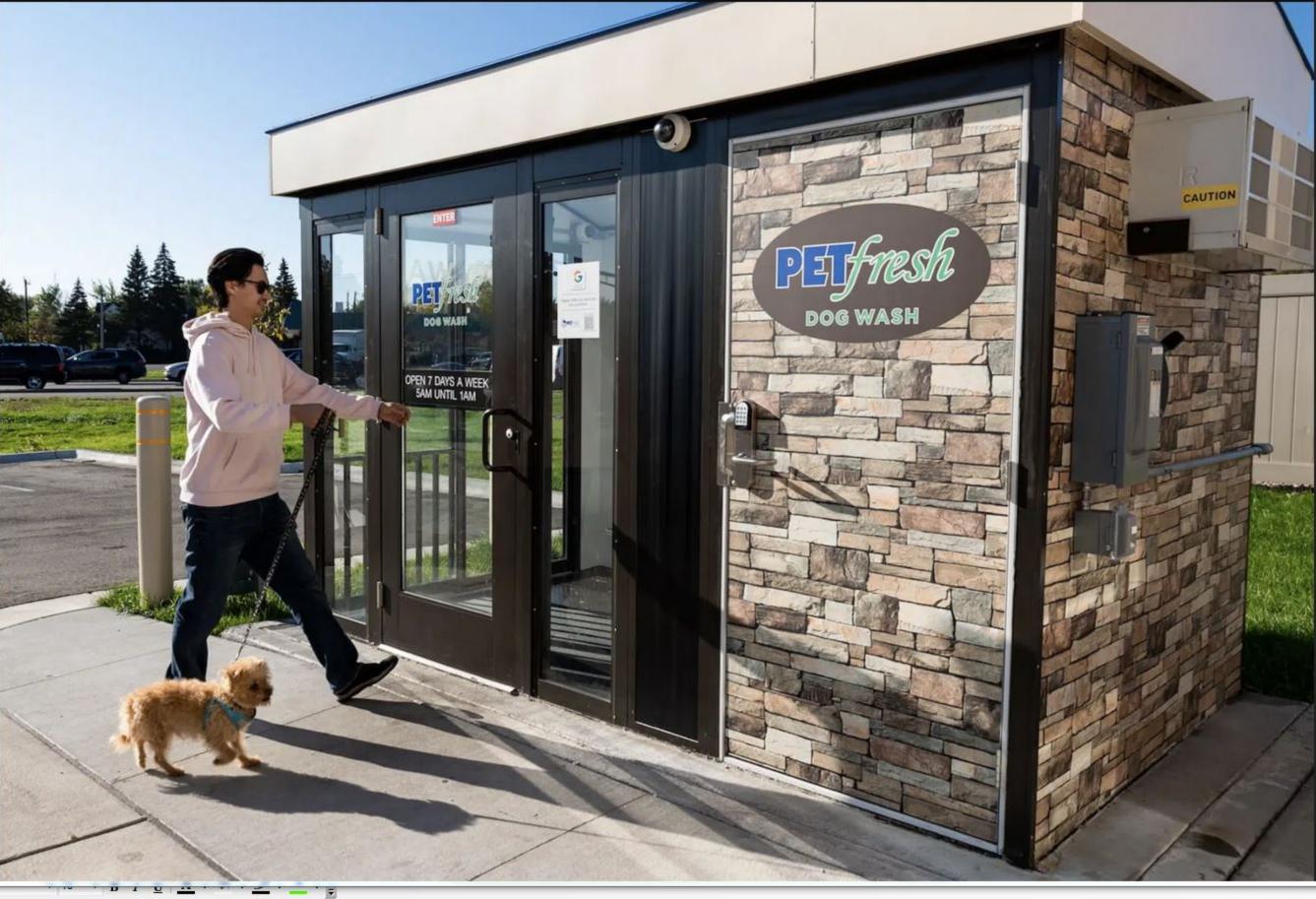
I move to table/deny the site plan for Elway's Doggie Wash based on the following:

• ***Insert Finding***









Elway's Doggie Wash

Alpine City Planning and Zoning Submittal

- 1. Address: 424 Alpine Hwy, Alpine, UT 84004
- 2. Vicinity Map: included
- 3. Property boundaries: the current cement pad on Alpine Animal Hospitals property
- 4. Location of all existing and proposed easements: already in place and no new proposed.
- 5. Lot dimensions: the cement pad will accommodate an 8'X13' or 8'X21' dog wash.
- 6. Location and orientation of all structures on lot: included
- 7. Setbacks of all Structures on lot: already in place
- 8. Location on garbage dumpster: trash bin kept inside wash bay and mechanical room.
- 9. Location of all proposed utilities: included
- 10. Parking: enough parking exists as the busy periods are on weekends and the animal hospital is closed.
- 11. Lighting: lighting is already on site, but if more is needed, we will install a downward facing light on the existing pole or put a pole with lighting in.
- 12. Full color, 3-D renderings: included
- 13. Other info: will provide as needed.

Froposed Sever ELECTRICITY WATER CLEAN OUT 424 ALPINE hwy ALPINE, UT 84004' Legend Sewer Manholes Grease Trap Sewer Lateral Sewer Main Line Culinary Valve Water Meter Fire Hydrant CW Air Vac Culinary Line Pi Meter Box 🖷 📟 Main Pl Line SDP_JB SDP_CB SDP_SUMP SDP_LINE Storm Manhole × sd pipe end Storm junction box Curb Inlet Storm Line Property Line

Property Boundaries and Utilities are shown for reference only. Though shown generally close, a survey and Blue Stake should be done to locate both accurately.



ALPINE UTILITY MAP 0

1 inch = 50 feet

90



0 15 30

60

120





1edium Bronze

*Artist rendering. Actual unit design may vary slightly.



ALPINE CITY STAFF REPORT

April 15, 2022

To: Alpine City Planning Commission & City Council

From: Staff

Prepared By: Austin Roy, City Planner

Planning & Zoning Department

Jed Muhlestein, City Engineer

Engineering & Public Works Department

Re: Site Plan Review – Elway's Doggie Wash

Applicant: Neil Smart

Project Location: 424 South Alpine Highway (Alpine Animal Clinic)

Zoning: Business Commercial Zone Acreage: Approximately 1.01 Acres

Building Area: 0.0009 Acres

Request: Approval of the site plan

SUMMARY

The applicant is seeking to build a dog wash station in front of the Alpine Animal Hospital. The site is located within the Business Commercial Zone and the Gateway Historic District. The proposed structure has a footprint of approximately 8'x13' for a single unit or 8'x21' for a double unit. The overall size of the property is 1.01 acres. The developer is seeking approval of the proposed site plan.

BACKGROUND

The applicant has built other dog washing stations in other communities. He would like to bring the service to Alpine City. The applicant plans to use the same building design that was used in the other communities. The design does require connections to the City's sewer and water services.

ANALYSIS

Location

The structure is proposed to be in approximately the same location as the former Snoasis building. The minimum side and rear setback (3.07.050) for a building in the Business Commercial zone adjacent to another Business Commercial property is 10 feet and the minimum

front setback is 15 feet. The proposed setbacks meet requirements (approximately 63-foot northeast side setback, 113-foot southwest side setback, and 17-foot front setback). The structure would be approximately located 35 feet from the front back of curb.

Off-Street Parking

The off-street parking code does not have a defined use which closely aligns with the intended use of the dog wash. However, with either a single unit or double unit dog wash design available, it is reasonable to assume that there would be a maximum of one to two vehicle owners using the station at any given time. However, it is possible other vehicles could be waiting to use the dog wash, which may require additional parking.

Alpine City code requires (3.24.030) less intensive commercial business to have three and a half (3.5) stalls for every 1,000 square feet. The Alpine Animal Hospital, which is located on the same property, will have a total square footage (5,849 square feet) after the proposed addition. Based on this, the animal hospital requires 20 off-street parking spaces. The animal hospital has 30 total parking stalls (28 standard stalls and 2 ADA accessible stalls), which exceeds requirements. Also, the Alpine Animal Hospital is closed on weekends, which would free up the parking on those days.

Screening

"The sides and rear of any off-street parking area that adjoins a residence or residential zone shall be required to be screened by a masonry wall or solid visual barrier fence" (3.24.020). The off-street parking area does not adjoin a residence or the residential zone.

Landscaping

All areas of a site which are not devoted to buildings or off-street parking are required to be landscaped, with a minimum of twenty (20) percent of the total area to be landscaped (3.07.080). The Alpine Animal Hospital is set to have 23,196 square feet of the property landscaped following construction of additional office space, which is 53 percent of the total lot. The dog wash would be built where there is an existing concrete pad, and thus the landscaping will not be reduced.

Trash Storage

The Alpine Animal Hospital has a dumpster on site. The dog wash would also have a trach bin which would be kept inside the wash bay and mechanical room.

Height of Building

The height of the proposed building meets the requirements of the Business Commercial zone, measuring 9 feet to the highest point of the building. Maximum height for the zone is 34 feet.

<u>Design</u>

The proposed building will use a combination of metal, glass and vinyl materials. The primary colors would be bronze and white.

NOTICING

Notice has been properly issued in the manner outlined in City and State Code.

REVIEWS

PLANNING AND ZONING DEPARTMENT REVIEW

The analysis section in the body of this report serves as the Planning and Zoning Department review.

ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW Streets

The application is for a new building on an existing site. The proposed building is shown to either be 8'x13' or 8'x21'. All site plans must adhere to the Off-Street Parking Ordinance (Article 3.24). The existing parking area consists of a paved parking lot as required by ordinance. Parking is discussed in the Planner's Review. No modifications to the parking are proposed.

A lighting plan for the new building was not submitted as the application states the existing parking lot has lighting and the building itself will also be illuminated.

Utilities

Sewer and water services for the new building will tie into services that already exist on the lot. Timpanogos Special Service District (TSSD) was contacted for comment and informed the City that no special provisions would be required from their perspective for a dog wash, only that the City and owner need to be aware that **the facility shall not be modified to dispose pet waste in the sewer system**.

Stormwater facilities currently exist in the existing parking area. No new improvements to the stormwater system will be required.

Other

The water policy has been previously met for the site.

STAFF RECOMMENDATION

Review staff report and findings and make a recommendation of approval of the proposed site plan.

MODEL MOTIONS

SAMPLE MOTION TO APPROVE

I move to recommend that the site plan for Elway's Doggie Wash be approved as proposed.

SAMPLE MOTION TO APPROVE WITH CONDITIONS:

I move to recommend that the site plan for Elway's Doggie Wash be approved with the following conditions/changes:

• ***Insert Finding***

SAMPLE MOTION TO TABLE/DENY

I move to recommend that the site plan for Elway's Doggie Wash be tabled/denied based on the following:

• ***Insert Finding***

CAD FILE: 210400 DRAWN BY: CG CHECKED BY: ALG DESIGNED BY: ALG

SHEET TITLE: CODE BLOCK WORK LOCATION

SHEET NUMBER: SITEPLAN



THIS WORK SHALL CONFORM TO THE FOLLOWING CODES IN EFFECT BUT NOT LIMITED TO THE FOLLOWING:

2018 edition of the International Building Code
2015 edition of the International Residential Code
2018 edition of the International Mechanical Code
2018 edition of the International Plumbing Code
2018 edition of the International Fuel Gas Code
2018 edition of the International Energy Conservation Code
2018 edition of the International Fire Code
2017 edition of the National Electrical Code

THIS NOTE APPLIES TO ALL SHEETS

THE PROFESSIONAL ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE

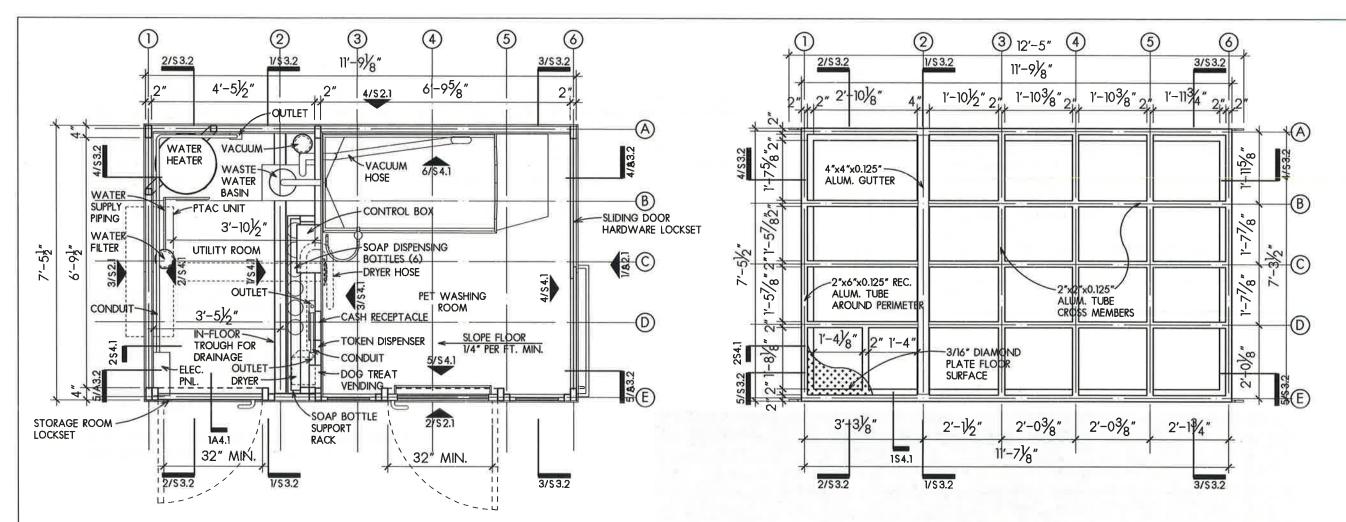
FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND OR/ FOLLOW THE PROFESSIONAL ENGINEER GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED. BUILDINGS TO BE CONSTRUCTED IN FULL CONFORMANCE WITH ALL APPLICABLE CODES AND RESTRICTIONS. PROFESSIONAL ENGINEER TO BE NOTIFIED PRIOR TO CONSTRUCTION IN THE EVENT OF CODE REVISION OR CHANGES.





AERIAL VIEW

DRAWING
SITE S-1 S-2 S-3.1 S-3.2 S-4.1 E-1.1 E-2.1 E-3.1 P-1.1 P-1.2 P-1.3



FLOOR PLAN

SCALE: 3/8" = 1'-0"

GENERAL NOTES

PET WASH FRAMING

BASE PERIMETER IS COMPRISED OF 2"x6"x0.125" WALL RECTANGULAR ALUMINUM TUBE WITH A 2"x4"x0.125" RECTANGULAR TUBING CROSS MEMBERS BASE. THIS INCORPORATES A 4"x4"x0.125" ALUMINUM GUTTER AND A 3/16" ALUMINUM DIAMOND PLATE FLOOR SURFACE. CROSS MEMBERS AND GUTTER ARE WELDED INTO A ONE PIECE GRID. THE DIAMOND PLATE FLOOR IS WELDED TO THE ONE PIECE ALUMINUM TUBE GRID.

WALL AND ROOF FRAMING

ROOF RAFTER/COLUMN IS A 2"x4"x0.125" RECTANGULAR TUBE WELDED AT THE EVE AND RIDGE FORMING A COLUMN RAFTER FRAME. THESE FRAMES ARE WELDED TO A BASE. THE PURLINS IN THE ROOF AND WALLS ARE 2"x2"x0.125" SQUARE TUBES. ALL TUBES ARE WELDED TO THE RAFTER/COLUMN FRAMES. THE INTERIOR WALLS ARE 2"x2"x0.125" SQUARE TUBES AND INCLUDE WELDED BRACKETS AND TABS TO FACILITATE MOUNTING MECHANICAL EQUIPMENT. ENTIRE PET WASH IS WELDED INTO A SINGLE STRUCTURE.

STANDARD ALUMINUM EXTRUSIONS ARE 6063-T52 - TENSILE STRENGTH 27,000 PSI

ALL EXPOSED STRUCTURAL ALUMINUM IS POWDER COATED. 2" CLOSE CELL FOAM INSULATION IS USED IN THE ROOF WALLS AND FLOOR. THE EXTERIOR WALLS AND ROOF ARE 10MM PVC PANELS. THE INTERIOR CEILING AND WASH BAYS ARE 10 MM PVC PANELS. THE INTERIOR SIDE OF THE EXTERIOR WALL IS 10 MM PVC PANELS. THE EQUIPMENT DOOR IS A STEEL DOOR. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRAPPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE – MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED. THE BALANCE OF THE WALL GLAZING IN THE WASH BAY IS TEMPERED SAFETY GLASS.

STRUCTURAL DESIGN BASED ON ASCE 7-10 FOR 50 PSF GROUND SNOW LOAD AND 105 MPH WIND LOAD, EXPOSURE C, RISK CATEGORY I

FLOOR FRAMING PLAN
SCALE: 3/8" = Y-0"



PROFESSIONAL SEAL



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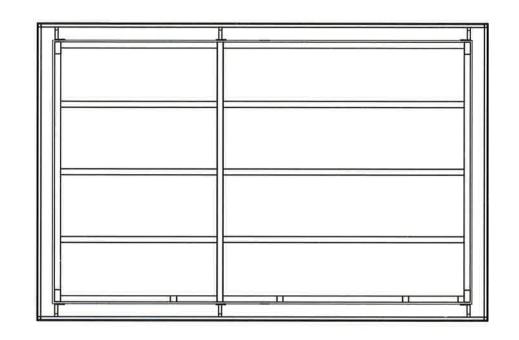
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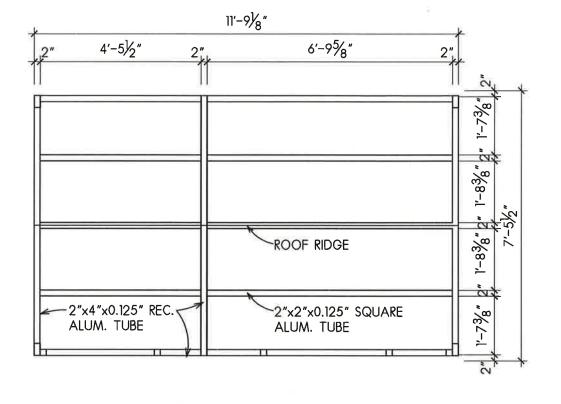
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CAD FILE: 2104021

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CHECKED BY: ALG
DESIGNED BY: ALG
SHEET TITLE:
FLUOR PLANS AND

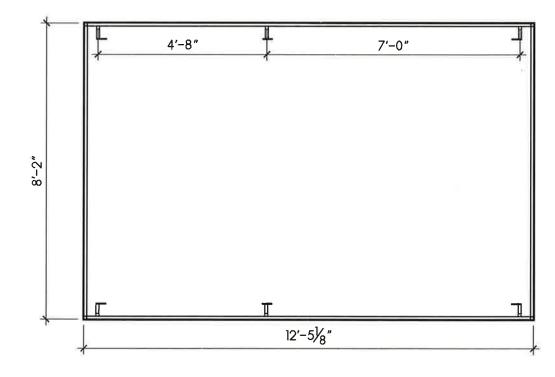
FLOOR PLANS AND GENERAL NOTES

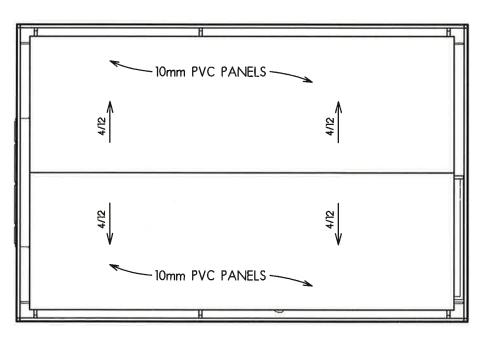












OPTIONAL FASCIA FRAMING





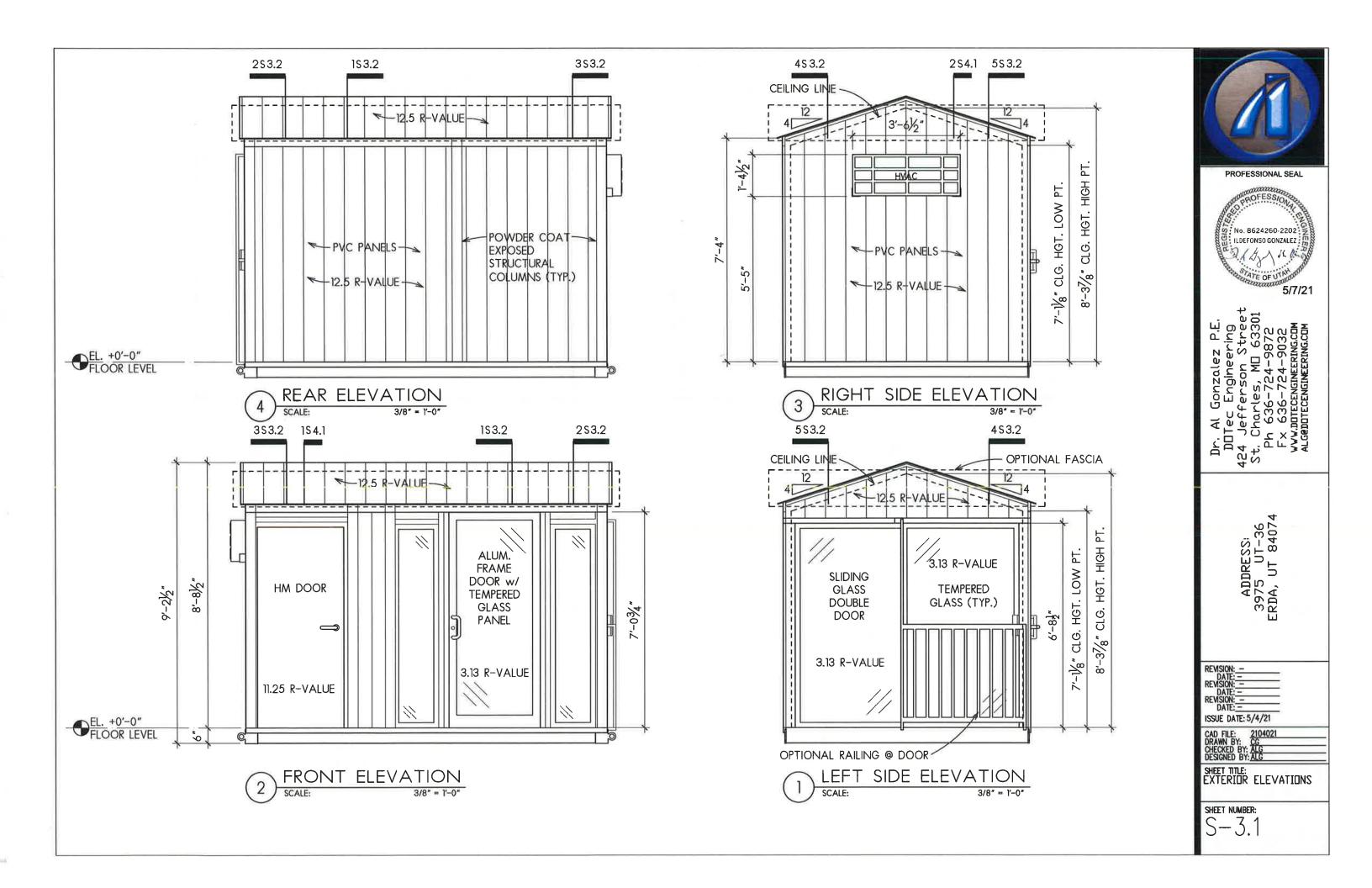
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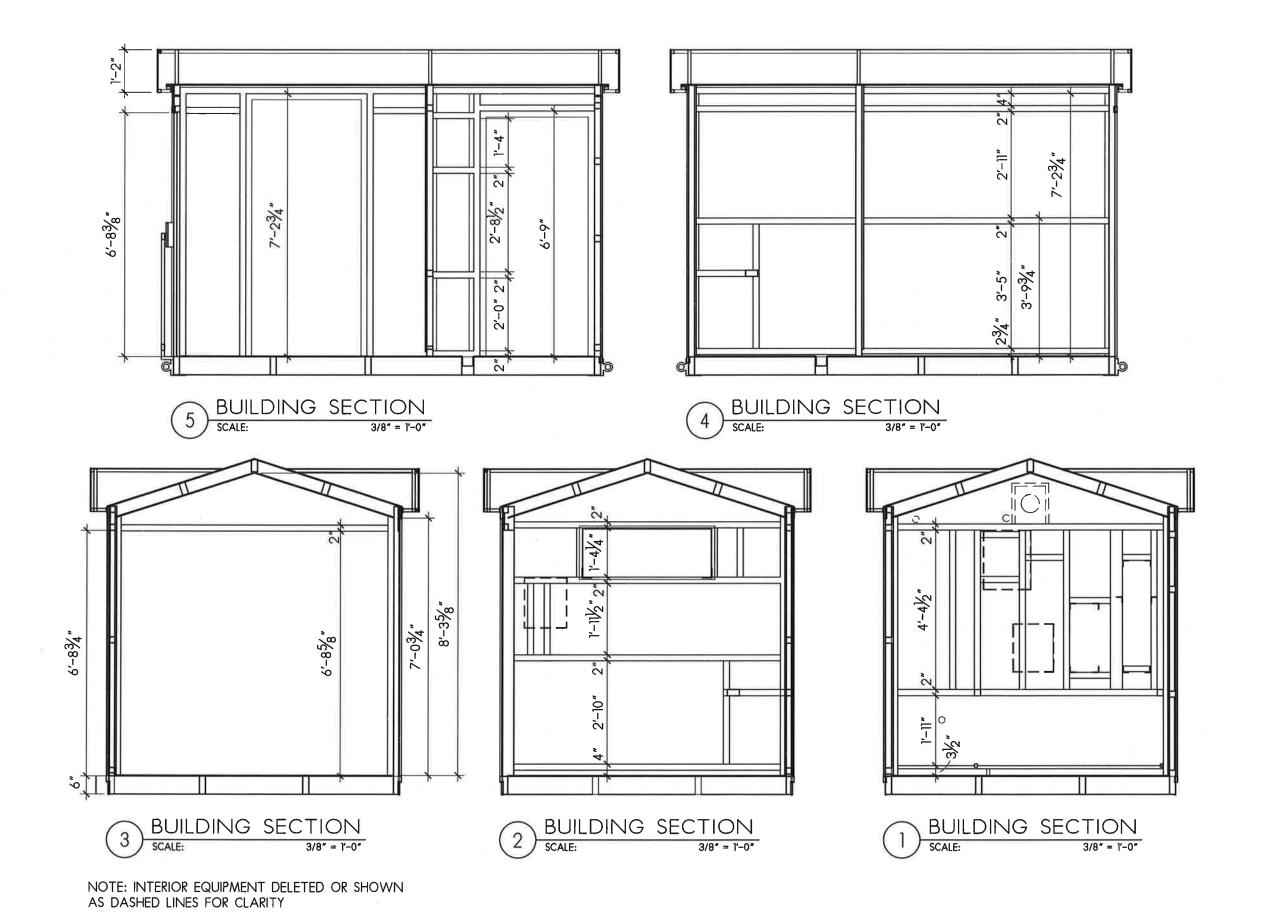
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ALGEDDTECENGINEERING.COM

ADDRESS: 3975 UT-36 ERDA, UT 84074

REVISION: -DATE: -REVISION: -DATE: -REVISION: -DATE: -ISSUE DATE: 5/4/21

SHEET TITLE: ROOF PLANS







PROFESSIONAL SEAL



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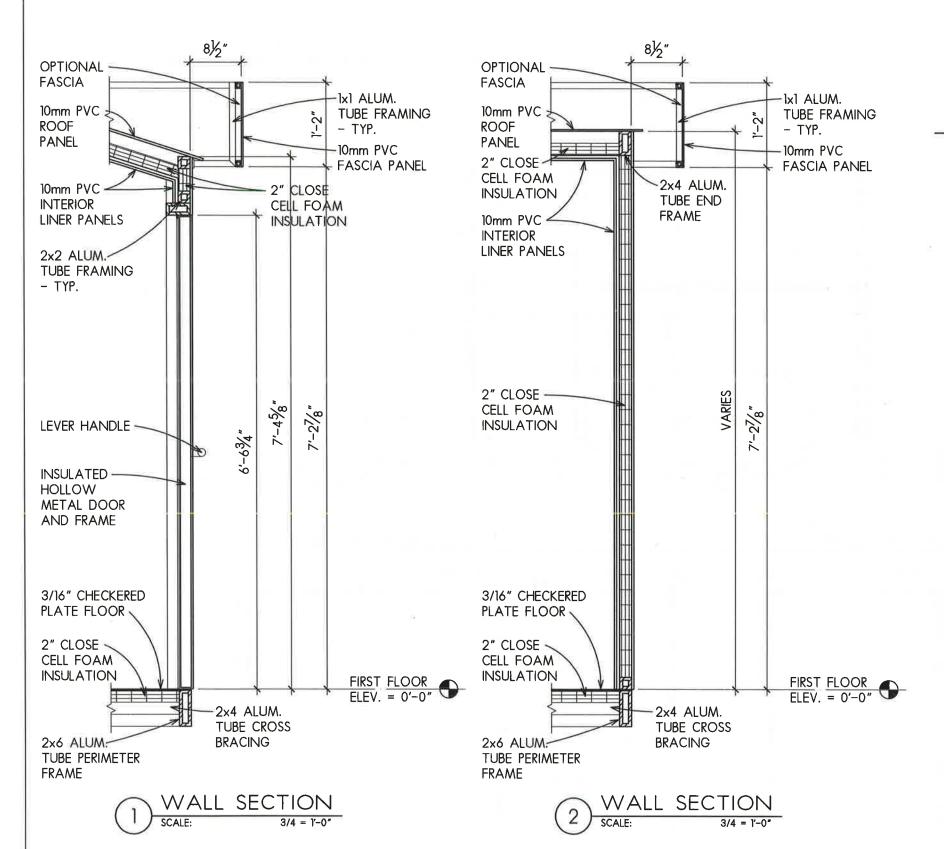
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SHEET TITLE: BUILDING SECTIONS

SHEET NUMBER: S-3.2



GENERAL NOTES

PET WASH FRAMING
BASE PERIMETER IS COMPRISED OF 2"x6"x0.125" WALL
RECTANGULAR ALUMINUM TUBE WITH A 2"x4"x0.125"
RECTANGULAR TUBING CROSS MEMBERS BASE. THIS
INCORPORATES A 4"x4"x0.125" ALUMINUM GUTTER AND A 3/16"
ALUMINUM DIAMOND PLATE FLOOR SURFACE. CROSS MEMBERS
AND GUTTER ARE WELDED INTO A ONE PIECE GRID. THE
DIAMOND PLATE FLOOR IS WELDED TO THE ONE PIECE
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STANDARD ALUMINUM EXTRUSIONS ARE 6063-T52 - TENSILE STRENGTH 27,000 PSI

ALL EXPOSED STRUCTURAL ALUMINUM IS POWDER COATED. 2" CLOSE CELL FOAM INSULATION IS USED IN THE ROOF WALLS AND FLOOR. THE EXTERIOR WALLS AND ROOF ARE 10MM PVC PANELS. THE INTERIOR CEILING AND WASH BAYS ARE 10 MM PVC PANELS. THE INTERIOR SIDE OF THE EXTERIOR WALL IS 10 MM PVC PANELS. THE EQUIPMENT DOOR IS A STEEL DOOR. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE – MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED. THE BALANCE OF THE WALL GLAZING IN THE WASH BAY IS TEMPERED SAFETY GLASS.

STRUCTURAL DESIGN BASED ON ASCE 7-10 FOR 50 PSF GROUND SNOW LOAD AND 105 MPH WIND LOAD, EXPOSURE C, RISK CATEGORY I



PROFESSIONAL SEAL



5/7/21

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DRAWN BY: CG
CHECKED BY: ALG
DESIGNED BY: ALG

SHEET TITLE: WALL SECTIONS

SHEET NUMBER: S-4.1

CORD & PLUG SELF PRIMING PUMP 120V,-1/2HP, 7.3A, CCT. 7 CORD & PLUG SHOP +/- 52" A.F.F. VACUUM #QPSH300, 3.5GAL. 120V, 8.5A, CCT. 9 ELECTRIC HOT WATER HEATER CCT. 5, 120V, 2KW PROVIDE 2 #10 & 1 #10G WIRES +/- 84" A.F.F. FAN COIL UNIT, -USER CONTROL UNIT WITH FAN-NEMA 6-20P RECEPTACLE MONEY CHANGE MACHINE FOR FAN COIL UNIT. +/- 72" A.F.F., CCT. 1/3 +/- 84" A.F.F. PP1

DOG TREAT VENDING

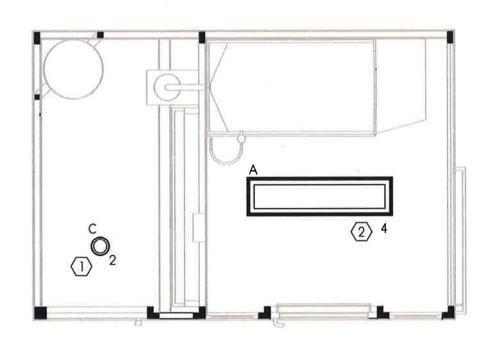
MACHINE

AIR FORCE BLASTER #B-3, DRYER BLOWER 120V, 9.5A

CORD AND PLUG

KEYED NOTES:

- 1) PORCELAIN SOCKET WITH PULL CHAIN.
- 2 LITHONIA DMW 232 MVOLT GEB10 IS WITH DUST AND MOISTURE RESISTANT.
- (3) POWER TO PANEL TO BE PROVIDED PER LOCAL CODE AND PROJECT CONDITION.





PROFESSIONAL SEAL



5/7/21

ADDRESS: 3975 UT-36 ERDA, UT 84074

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	ELECTRICAL PLAN	

SHEET NUMBER:

SCALE: 3/8" = 1'-0"

KEYED NOTES:

1) PANEL SHALL HAVE MAXIMUM OF 20 POLES

	PANEL NAME / NUMBER:	VOLTAGE VOLTAGE						PHASE:	_	-		IER (AMPS): 10kA	
	PP1	MAIN BRE			AMPS			WIRE:	3			BUS RATING (AMPS): 50 ENCLOSURE: NEMA 1	
		MAIN LUG			AMPS							MOUNTING: Surface	
CKT		WATER EGG		CRITERIA	BKR	-		BKR		LOAD	CRITERIA		СК
NO.	LOAD DESCRI	PTION	DEM	VA	AMPS	P	0	AMPS	P	VA		LOAD DESCRIPTION	NO
1			C	1,600		2		20	1	50		Equipment Room Lights	2
3	Fan Coil	Jnit	C	1,600	20/2	2	-	20	1	60		Wash Bay Lights	4
5	Hot Water Heater		c	2,000	30	-	Li	180	1	20		Receptacles	6
7	Self Priming Pump		M	900	20	-	L2	180	1	20		Receptacles	8
9	Shop Vaccuum			1,020	20	1	-	180	1	20	R	Receptacles	1
11	Air Force Blster			1,140	20	1	L2	180	1	30	R	Receptacles	1:
13	Spare						L1						14
15	Spare						L2		П				16
17	Spare						L1						18
19	Spare						L2		П				2
		PHASE L1 CONNE	CTED:	4,710	VA			PHASE	L1:		39 AMPS	NOTES	
		PHASE L2 CONNE	CTED:	3,750	VA			PHASE I	L2:		31 AMPS	1.	
DEM		TOTAL CONNE	CTED:	8,460	VA		AT:	240	=		35 AMPS		
С	ONTINUOUS LOADS (+25%) (PER NEC 210	20a):	2,600	VA								
M	RGEST MOTOR LOAD (+25	6%) (PER NEC 430	24):	225	VA								
R	RECEPTACLE LOA	DS (PER NEC 220	-13):	0	VA								
K	KITCHEN LOA	NDS (PER NEC 220	-20):	0	VA								
		7074		055				0.40					
		TOTAL DE	MAND:	11,285	VA		AL:	240	٠.		47 AMPS		

ELECTRICAL SYMBOLS

WALL FLOOR POKE **ABOVE** THROUGH BOX COUNTER ₩ ₩ QUADPLEX RECEPTACLE Ф DUPLEX RECEPTACLE ADJACENT LETTERS IN THE SYMBOLS ABOVE INDICATE THE FOLLOWING: "GF" RECEPTACLE HAS GROUND FAULT CIRCUIT INTERRUPTER "WP" RECEPTACLE HAS WATERPROOF COVER RECEPTACLE CIRCUIT NUMBER "XX" \$^{XX} MANUAL MOTOR CONTROL CIRCUIT NUMBER FLUORESCENT LIGHTING FIXTURE. SIZE AND TYPE AS INDICATED ON SCHEDULE. A O la INCANDESCENT, FLUORESCENT OR HID LIGHTING FIXTURE. SIZE AND TYPE AS INDICATED ON SCHEDULE. MOTOR - SEE SCHEDULE, 'XX' INDICATES TAG SURFACE MOUNTED NORMAL BRANCH CIRCUIT PANELBOARD SPECIAL RECEPTACLE



PROFESSIONAL SEAL



5/7/21

ADDRESS: 3975 UT-36 ERDA, UT 84074

REVISION:	_
DATE:	-
REVISION:	
DATE:	_
REVISION:	-
DATE:	_
ISSUE DA	TE: 5/4/21

SHEET TITLE: PANEL SCHEDULE AND

SYMBOL LEGEND

ELECTRICAL SPECIFICATIONS

- THESE DRAWINGS ARE DIAGRAMMATIC AND SHOW GENERAL ARRANGEMENTS, SIZES, AND LOCATIONS OF EQUIPMENT. ALL EQUIPMENT SHALL BE INSTALLED COMPLETE WITH FURNISHING ALL REQUIRED COMPONENTS.
- ALL WORK INDICATED IS BASED UPON CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE AND IS SUBJECT TO LOCAL CODE INTERPRETATION AND IS CONFINED TO WITH—IN THE FOOTPRINT OF THE UNIT.

CONFORMANCE TO LOCAL CODE, AND ANY OTHER REQUIREMENTS APPLICABLE TO THIS PRODUCT SHALL BE THE RESPONSIBILITY OF THE END USER. THE END USER SHALL SUBMIT ALL REQUIRED DRAWINGS FOR APPROVAL TO ANY AGENCIES REQUIRING THEM AND OBTAIN NECESSARY PERMITS.

- ALL EQUIPMENT FURNISHED SHALL BE NEMA STANDARD, NEW, AND UL LISTED.
- UNLESS OTHERWISE SPECIFIED, THE MANUFACTURER SHALL FURNISH AND INSTALL CONDUIT, WIRING, AND DISCONNECTS FOR ALL ELECTRICALLY OPERATED EQUIPMENT, INCLUDING FINAL CONNECTIONS TO SAME WITH-IN THE FOOTPRINT OF THE UNIT. DICCONNECT IS NOT REQUIRED FOR PLUG IN EQUIPMENT
- ALL EMT CONDUIT FITTINGS SHALL BE COMPRESSION TYPE AS MANUFACTURED BY APPLETON, CROUSE- HINDS OR RACO.
- ALL CONDUCTORS SHALL BE COPPER TYPE THHN/THWN. MINIMUM SIZE #12 AWG. AS MANUFACTURED BY HATFIELD, COLLIER OR ANACONDA.
- LIGHT FIXTURE OUTLET BOXES SHALL BE A 4" OCTAGON BOX NOT LESS THAN 1-1/2" DEEP. TOGGLE SWITCH, RECEPTACLE OUTLET BOXES SHALL BE 4" SQUARE, NOT LESS THAN 1-1/2" DEEP. GARVIN DEVICE COVERS SHALL BE USED FOR EXPOSED JUNCTION BOX INSTALLATIONS. JUNCTION BOXES SHALL BE AS MANUFACTURED BY APPLETON, RACO OR STEEL CITY.
- CAST SWITCH, OUTLET AND JUNCTION BOXES OR CONDUIT FITTINGS SHALL BE USED IN ALL DAMP OR WET LOCATIONS. THEY SHALL HAVE THREADED HUBS AND GASKETED COVERS. THEY SHALL BE AS MANUFACTURED BY HOFFMAN, ADALET OR APPLETON.
- ALL LOCAL SWITCHES FOR CONTROL OF LIGHTING SHALL BE RATED 20
 AMPERE, 277 VOLT A.C. TUMBLER TYPE AS FOLLOWS (COLOR AS SELECTED BY MANUFACTURER): SINGLE POLE HUBBELL #1221.

 ARROW HART AND P&S APPROVED EQUAL.
- SPECIFICATION GRADE DUPLEX RECEPTACLES SHALL BE 20 AMPERE, 125 VOLT 3 WIRE GROUNDING TYPE EQUAL TO HUBBELL 5362, A-H OR P&S APPROVED EQUAL. DEVICE COLOR AS SELECTED BY MANUFACTURER. G.F.I. RECEPTACLES SHALL BE EQUAL TO HUBBELL #GF5352. SPECIAL RECEPTACLES SHALL BE AS NOTED ON THE DRAWINGS.
- ALL PANELBOARD'S SHALL HAVE COPPER BUSSBARS AND SHALL BE AS MANUFACTURED BY
 I.T.E., SQUARE D OR WESTINGHOUSE. ALL CIRCUIT BREAKERS SHALL BE BOLT-ON. 15 AND 20 AMP SINGLE POLE BREAKERS SHALL BE RATED FOR SWITCHING DUTY.

MINIMUM U.L. LISTED INTERRUPTING RATINGS (RMS SYM. AMPS) SHALL BE AS FOLLOWS:

240 VOLT MAXIMUM BREAKERS

15-100 AMP = 10,000 AIC110-225 AMP = 22,000 AIC

- LIGHT FIXTURES SHALL BE FURNISHED COMPLETE WITH LAMPS, LENSES, END CAPS, MOUNTING HARDWARE, ETC. TO PROVIDE A COMPLETE AND WORKING SYSTEM.
- THESE DRAWINGS ARE NOT SITE SPECIFIC NOR ARE THEY DESIGNED TO LOCAL CODE REQUIREMENTS BUT ENTAIL THE GENERAL DESIGN CONCEPT, COMPONENTS, INTENT AND SHALL BE MODIFIED FOR A SPECIFIC ORDER AND LOCAL CODE REQUIREMENTS.



PROFESSIONAL SEAL



5/7/21

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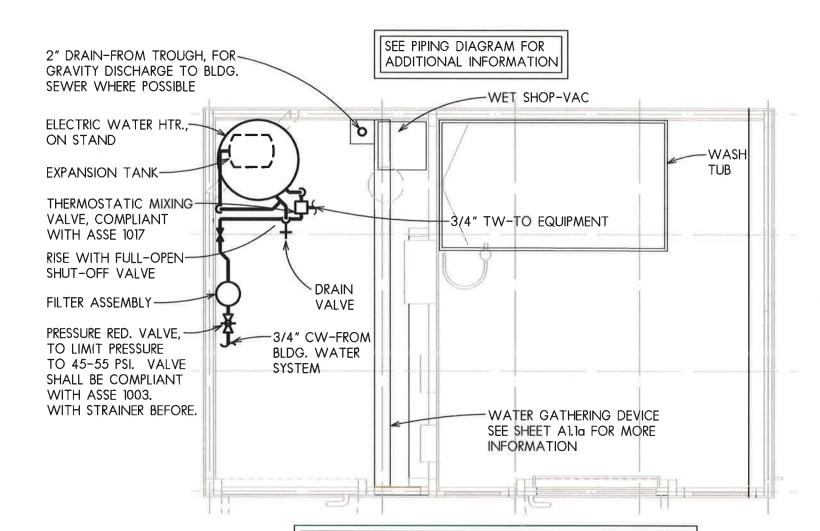
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DRAWN BY: CG
CHECKED BY: ALG
DESIGNED BY: ALG

SHEET TITLE: ELECTRICAL NOTES

F-3

PLU	mbing symbols
SYMBOL	DESCRIPTION
~	PIPE TURNED UP
—	PIPE TURNED DOWN
M	SHUT-OFF VALVE
⋈	PRESSURE REDUCING VALVE

plumbing abbreviations				
MARK	DESCRIPTION			
CW	COLD WATER			
HW	HOT WATER			
TW	TEMPERED WATER			



NOTES:

- 1. END USER SHALL BE RESPONSIBLE FOR CONNECTING SYSTEM WATER SUPPLY AND SANITARY SEWER TO BUILDING WATER AND SANITARY SEWER SYSTEMS.
- ALL WATER PIPING SHALL BE PEX MATERIAL COMPLIANT WITH STANDARDS OF ASTM F 876; ASTM F 877; CSA B 137.5.
- 3. ALL WASTE AND VENT PIPING SHALL BE SCH. 40 PVC COMPLIANT WITH STANDARDS OF ASTM D 2665; ASTM F 891; ASTM F 1488; CSA B 181.2.



PROFESSIONAL SEAL



5/7/21

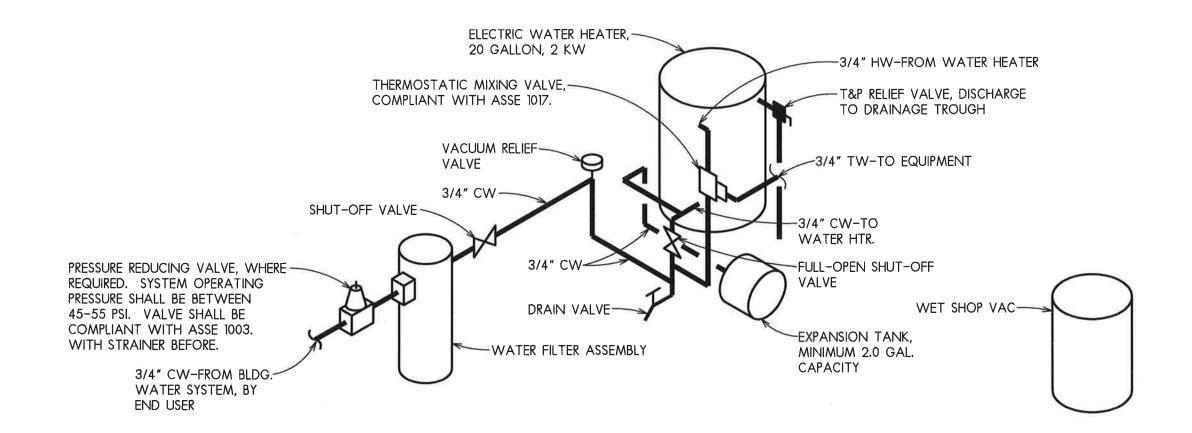
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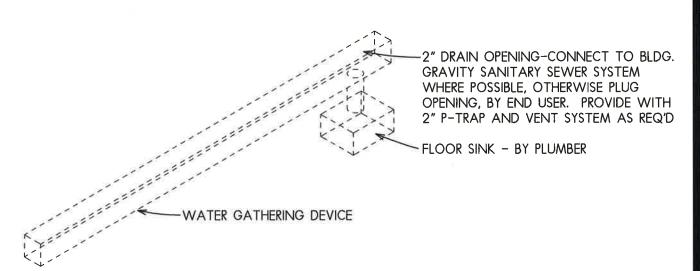
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DESIGNED BY: ALG

SHEET TITLE: PLUMBING PLAN



NOTES:

- 1. END USER SHALL BE RESPONSIBLE FOR CONNECTING SYSTEM WATER SUPPLY AND SANITARY SEWER TO BUILDING WATER AND SANITARY SEWER SYSTEMS.
- ALL WATER PIPING SHALL BE PEX MATERIAL COMPLIANT WITH STANDARDS OF ASTM F 876; ASTM F 877; CSA B 137.5.
- 3. ALL WASTE AND VENT PIPING SHALL BE SCH. 40 PVC COMPLIANT WITH STANDARDS OF ASTM D 2665; ASTM F 891; ASTM F 1488; CSA B 181.2.





PROFESSIONAL SEAL



5/7/21

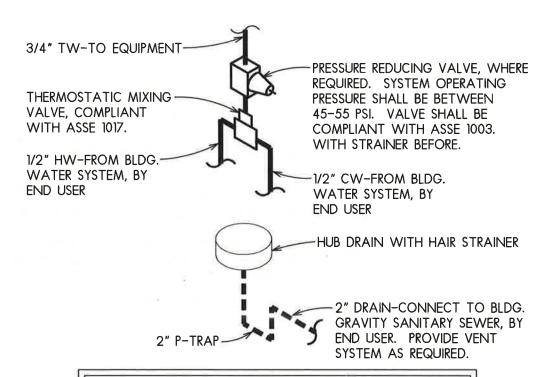
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REVISION: -	_
DATE: -	
ISSUE DATE: 5/4/21	

CAD FILE: 2104
DRAWN BY: CG
CHECKED BY: ALG
DESIGNED BY: ALG

SHEET TITLE:
PIPING DIAGRAM



NOTES:

- END USER SHALL BE RESPONSIBLE FOR CONNECTING SYSTEM WATER SUPPLY AND SANITARY SEWER TO BUILDING WATER AND SANITARY SEWER SYSTEMS.
- 2. ALL WATER PIPING SHALL BE PEX MATERIAL COMPLIANT WITH STANDARDS OF ASTM F 876; ASTM F 877; CSA B 137.5.
- 3. ALL WASTE AND VENT PIPING SHALL BE SCH. 40 PVC COMPLIANT WITH STANDARDS OF ASTM D 2665; ASTM F 891; ASTM F 1488; CSA B 181.2.

PIPING DIAGRAM-FLIP TUB STYLE

NO SCALE



PROFESSIONAL SEAL



5/7/21

Dr. Al Gonzalez P.E. D∐Tec Engineering 424 Jefferson Stree St. Charles, M□ 6330 Ph 636-724-9872

> ADDRESS: 3975 UT-36 ERDA, UT 84074

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DATE: -
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DATE: -
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DATE:
ISSUE DATE: 5/4/21

ı	ISSUE DATE: 5/4/21
Ť	CAD FILE: 2104021
ı	DRAWN BY: CG CHECKED BY: ALG
ž	DESIGNED BY: ALG
	SHEET TITLE:

SHEET TITLE: PIPING DIAGRAM FLIP TUB STYLE

ALPINE CITY COUNCIL AGENDA

SUBJECT: Approval of the FY2022-2023 Lone Peak Public Safety District

Budget

FOR CONSIDERATION ON: 26 April 2022

PETITIONER: City Staff

ACTION REQUESTED BY PETITIONER: Review and approve the FY2023

Lone Peak Public Safety District

Budget.

BACKGROUND INFORMATION:

The Lone Peak Public Safety District (LPPSD) Interlocal Agreement includes the following provision related to the budget:

"The annual budget increase or decrease for the District shall not exceed the average property tax revenue increase or decrease for both cities budgets of the previous fiscal year, excluding any new revenue increases, without the majority vote of each City Council. Said vote of each City Council shall occur prior to the adoption of the final budget."

The intent of the interlocal agreement amendment was to prevent either city from forcing, through a majority vote, a large increase on the other city. The Lone Peak Public Safety District tentative budget accepted by the board at their April 13 board meeting. The final budget will be considered at their May 11 board meeting. Since the average property tax revenue increase of the two cities for the last fiscal is less than the increase in the proposed assessments to fund the district, approval of both city councils is required prior to the district adopting their final budget on May 11.

Included in the packet is a PowerPoint presentation outlining the highlights of the proposed FY2022-2023 budget. The main focus of the proposed budget is employee retention and recruitment. Wage adjustments have been proposed to be competitive with other local agencies.

STAFF RECOMMENDATION:

Review and approve the LPPSD budget for FY2022-2023.

SAMPLE MOTION TO APPROVE:

I move to approve the Lone Peak Public Safety District as proposed for FY2022-2023.

SAMPLE MOTION TO APPROVE WITH CONDITIONS:

I move to approve the Lone Peak Public Safety District as proposed for FY2022-2023 with the following conditions:

• (insert finding)

SAMPLE MOTION TO TABLE/DENY:

I move to table/deny the approval of the Lone Peak Public Safety District as proposed for FY2022-2023 based on the following:

• (insert finding)

					Periods: 0	07/22-06/23			Apr 04, 2022 04:35P
Account Number	Account Title	2018-19 Prior year 3 Actual	2019-20 Prior year 2 Actual	2020-21 Prior year1 Actual	2021-22 Current year Actual YTD	2021-22 Current year Budget	2022-23 Future year Budget	% Budget Increase/ Decrease	Budget Notes
GENERAL	FUND								
ADMINIST	RATION REVENUE								
10-33-01	ALPINE	73,435.80	77,649.48	72,761.70	69,866.50	84,370.00	93,252.54	11%	
10-33-02	HIGHLAND	143,013.96	148,665.48	156,070.44	126,144.00	168,194.00	191,201.46	14%	
10-33-03	CEDAR HILLS	27,031.20	.00	.00	.00	.00	.00		
10-33-15	INTEREST EARNINGS	776.21	477.15	64.94	40.86	450.00	75.00	-83%	
10-33-18	MISCELLANEOUS INCOM	200.00	242,161.56	3,389.33	4,821.03	.00	.00		
10-33-20	FICA Refunds	.00	.00	.00	.00	.00	.00		
10-33-21	IRS Interest on Refund	.00	.00	.00	.00	.00	.00		
10-33-30	BUDGETED SURPLUS	.00	.00	.00	.00	.00	.00		
Total	ADMINISTRATION REVENUE:								
		244,457.17	468,953.67	232,286.41	200,872.39	253,014.00	284,529.00	12%	
POLICE RI	EVENUE								
10-35-01	ALPINE	1,105,582.80	1,192,727.40	1,114,044.11	1,007,976.59	1,220,168.00	1,397,968.88	15%	
10-35-02	HIGHLAND	2,026,780.20	1,799,588.72	2,228,780.28	1,698,588.00	2,264,780.00	2,699,333.34	19%	
10-35-04	ALPINE SCHOOL DISTRI	71,890.00	78,480.00	70,340.00	3,480.00	72,000.00	72,000.00	.00	
10-35-09	COURT REVENUE	222.50	224.48	18.50	163.47	500.00	500.00	.00	
10-35-10	POLICE REPORT CHARG	5,525.00	4,809.75	5,900.85	3,131.00	3,500.00	3,500.00	.00	
10-35-11	Finger Printing	2,780.00	1,700.00	684.50	397.00	2,000.00	1,800.00	-10%	
10-35-12	Dog License Revenue	35.00	20.00-	133.75	8.75	.00	.00	.00	
10-35-13	Security Services	960.00	780.00	3,885.25	2,074.07	.00	1,000.00	.00	
10-35-17	Credit Card Cash Back	.00	827.57	1,200.58	896.12	.00	.00	.00	
10-35-18	MISCELLANEOUS INCOM	1,629.85	21,599.26	63,602.58	16,352.05	3,000.00	6,000.00	100%	
10-35-19	K-9 Donations	.00	.00	27.00	.00	.00	.00	.00	
10-35-20	GRANTS	24,743.60	417,447.90	12,939.14	5,202.71	8,000.00	8,000.00	.00	
10-35-25	Proceeds From Lease	.00	51,742.00	.00	.00	.00	.00	.00	
10-35-30	BUDGETED SURPLUS	.00	.00	.00	.00	.00	.00	.00	
10-35-40	Proceeds from Sale or Ass	12,190.50	18,335.00	21,857.50	1,238.00	10,000.00	10,000.00	.00	
Total	POLICE REVENUE:	3,252,339.45	3,588,242.08	3,523,414.04	2,739,507.76	3,583,948.00	4,200,102.22	17%	
FIRE / EMS	S REVENUE								
10-37-01	ALPINE	801,152.28	1,133,427.84	1,005,259.37	932,481.35	1,108,175.00	1,197,484.99	8%	
10-37-02	HIGHLAND	1,316,276.88	1,424,922.20	1,813,536.49	1,373,517.00	1,831,361.00	2,064,976.90	13%	
10-37-03	CEDAR HILLS	756,329.76	.00	.00	.00	.00	.00		
10-37-05	UTAH COUNTY	9,684.95	5,779.96	7,145.01	4,952.88	5,300.00	5,300.00	.00	Pending new contract

Account Number	Account Title	2018-19 Prior year 3 Actual	2019-20 Prior year 2 Actual	2020-21 Prior year1 Actual	2021-22 Current year Actual YTD	2021-22 Current year Budget	2022-23 Future year Budget	% Budget Increase/ Decrease	Budget Notes
10-37-11	CHARGES FOR SERVICE	501,918.54	343,076.41	411,206.44	371,177.22	325,000.00	400,000.00	23%	FY2021 actual was \$410K
10-37-12	Charge offs and misc write-	.00	.00	.00	.00	.00	.00	.00	
10-37-14	First Aid Kit Sales	136.11	.00	.00	.00	.00	.00	.00	
10-37-15	Burn Permits	.00	3,580.00	1,229.96	.00	.00	.00	.00	
10-37-17	Credit Card Cash Back	.00	653.87	1,540.79	707.70	.00	.00	.00	
10-37-18	MISCELLANEOUS INCOM	762.99	7,143.98	124,873.48	18,110.41	.00	.00	.00	
10-37-19	Trauma Kits for Schools	15,400.17	4,115.00	.00	.00	.00	.00	.00	
10-37-20	GRANTS	15,175.00	434,132.00	35,395.00	4,324.00	4,800.00	4,800.00	.00	
10-37-25	Proceeds From Lease	.00	.00	.00	.00	.00	.00	.00	
10-37-30	Budgeted Surplus	.00	.00	.00	.00	39,343.00	.00	-100%	
10-37-40	Proceeds from Sale or Ass	25,969.58	20,332.75	.00	.00	.00	.00	.00	
10-37-41	Aid Provided to Other Agen	182,644.44	154,527.00	547,443.33	241,097.87	16,500.00	.00	-100%	
Total	FIRE / EMS REVENUE:	3,625,450.70	3,531,691.01	3,947,629.87	2,946,368.43	3,330,479.00	3,672,561.89	10%	
ADMINIST	RATION DEPARTMENT								
10-43-10	WAGES - PERMANENT E	48,214.72	48,118.72	50,149.52	26,700.94	52,000.00	53,560.00	3%	Merit increases
10-43-33	PUBLIC INFORMATION	171.94	231.00	97.02	475.83	150.00	500.00	233%	Website
10-43-36	Membership in UASD	.00	.00	.00	.00	.00	.00	.00	
10-43-38	Build up District Reserves	.00	.00	.00	.00	.00	.00	.00	
10-43-39	Emergency Preparation	.00	.00	.00	.00	.00	.00	.00	
10-43-40	POSTAGE - MISC SUPPLI	669.42	508.14	853.02	679.35	1,200.00	1,300.00	8%	
10-43-50	FICA Refund	.00	.00	16.17-	6.04	.00	.00	.00	
10-43-61	LEGAL FEES	352.80	300.00	.00	3,400.00	5,500.00	6,875.00	25%	Increase based on FY22 trend
10-43-62	AUDIT FEES	6,375.00	6,200.00	4,183.00	6,300.00	6,200.00	7,000.00	13%	Anticipate cost increase
10-43-68	TRAINING	.00	.00	.00	.00	.00	.00	.00	
10-43-69	RENT	.00	.00	.00	.00	.00	.00	.00	
10-43-79	INSURANCE	187.75	142.74	104.78	76.57	200.00	200.00	.00	
10-43-80	Alpine Dispatch	39,275.98	40,876.30	43,586.67	.00	60,194.00	66,747.00	11%	As per CU911 tentative budget
10-43-81	Highland Dispatch	81,037.66	80,336.76	87,812.12	92,445.38	123,320.00	140,022.00	14%	As per CU911 tentative budget
10-43-82	Cedar Hills Dispatch	.00	.00	.00	.00	.00	.00	.00	
10-43-88	Board Expenses	262.82	250.59	173.12	38.61	250.00	250.00	.00	
10-43-89	Employee Relations	.00	.00	.00	.00	.00	.00	.00	
10-43-90	MISCELLANEOUS EXPEN	10,484.16	9,346.21	6,322.32	29,895.19	4,000.00	8,000.00	100%	Prior years ' average (excluding FY22)=\$8K
Total	ADMINISTRATION DEPARTME	:NT:							
		187,032.25	186,310.46	193,265.40	160,017.91	253,014.00	284,454.00	12%	

Account Number	Account Title	2018-19 Prior year 3 Actual	2019-20 Prior year 2 Actual	2020-21 Prior year1 Actual	2021-22 Current year Actual YTD	2021-22 Current year Budget	2022-23 Future year Budget	% Budget Increase/ Decrease	Budget Notes
OLICE DE	PARTMENT								
0-45-10	WAGES - PERMANENT E	1,369,243.58	1,492,391.39	1,528,860.68	1,174,450.98	1,509,509.00	1,821,857.00	21%	Proposed Wage Adjustment, 1.5% merit increase for sworn
0-45-11	HOLIDAY PAY	9,188.64	14,066.14	11,313.40	20,903.30	53,825.00	66,205.00	23%	Increase to match 10-45-10
0-45-12	OVERTIME	81,166.13	59,876.74	40,321.26	27,571.07	70,000.00	70,000.00	.00	
0-45-13	WAGES-CROSSING GUA	99,140.66	92,432.20	83,084.95	59,943.00	96,000.00	96,000.00	.00	
0-45-14	WAGES-PART-TIME	22,199.20	33,413.57	22,285.33	9,513.44	36,850.00	36,850.00	.00	
0-45-16	CALL PAY - POLICE	20,435.70	22,884.75	16,892.70	12,432.45	20,000.00	20,000.00	.00	
0-45-18	Specialty Pay	6,000.02	6,000.02	3,873.09	.00	6,000.00	6,000.00	.00	
0-45-20	MEDICAL BENEFITS	377,921.88	377,024.59	381,134.88	293,431.20	395,701.00	512,680.00	30%	Estimated 10% increase in medical/dental benefits
0-45-21	RETIREMENT	446,911.70	473,473.16	462,771.91	359,786.68	505,977.00	612,743.00	21%	Increase to match 10-45-10
0-45-22	FICA/MEDICARE	23,946.87	25,958.80	25,181.01	18,999.87	23,280.00	30,695.22	32%	1.45% of all wages; Increase to match 10-45-10
0-45-23	401K	.00	60,103.94	53,451.16	36,455.14	74,231.00	94,098.00	27%	Increase to match 10-45-10
0-45-25	UNIFORM EXPENSE	41,378.13	37,343.38	42,912.77	26,162.12	43,090.00	43,090.00	.00	
0-45-31	DUES, SUBSCRIPTIONS,	2,609.24	1,413.15	2,873.84	2,017.73	1,750.00	1,750.00	.00	
0-45-33	PUBLIC EDUCATION	297.54	6,294.90	3,910.44	2,812.25	4,000.00	4,000.00	.00	
0-45-34	NOVA & School Lunch	2,084.38	1,981.98	917.30	1,734.48	2,200.00	2,200.00	.00	
0-45-38	TRAVEL EXPENSE	2,074.38	7,790.52	8,347.49	5,743.62	8,500.00	8,500.00	.00	
0-45-40	POSTAGE, PRINTING, MI	11,394.52	10,736.27	10,989.31	9,608.22	10,300.00	10,300.00	.00	
0-45-50	K-9 Expenses	2,488.30	4,138.73	3,786.27	458.32	3,000.00	3,000.00	.00	
0-45-52	Utilities Expense	29,326.11	12,762.63	26,834.26	32,053.17	39,100.00	39,100.00	.00	
0-45-57	Drug Screens	1,655.00	1,685.00	2,580.00	1,408.15	1,800.00	1,800.00	.00	
0-45-58	Professional Services/Cont	99,695.53	203,198.17	128,442.66	56,524.04	100,100.00	100,100.00	.00	
0-45-59	Building Maintenance	19,444.85	31,139.27	21,728.37	12,021.59	20,000.00	20,000.00	.00	
0-45-61	Chief's Admin	9,058.33	12,856.80	10,145.97	7,972.10	8,000.00	8,000.00	.00	
0-45-63	BILLING AND COLLECTIO	.00	.00	.00	.00	.00	.00	.00	
0-45-68	TRAINING	15,686.47	9,721.12	15,492.57	6,927.40	18,550.00	18,550.00	.00	
0-45-69	RENT	132,110.40	132,110.41	132,110.40	66,055.20	132,110.00	132,110.00	.00	
0-45-71	FUEL	52,142.40	44,595.30	47,887.69	46,670.77	52,000.00	52,000.00	.00	
0-45-72	VEHICLE REPAIRS	.00	.00	.00	.00	.00	.00	.00	
0-45-73	VEHICLE SUPPLIES/MAI	44,435.52	45,078.90	71,147.66	17,347.08	37,000.00	37,000.00	.00	
0-45-74	VEHICLE LEASE	57,519.11	118,937.18	161,520.50	101,221.73	131,054.00	171,454.00	31%	4 Replacement Vehicles
0-45-76	VEHICLE REPLACEMENT	.00	.00	.00	.00	.00	.00	.00	
0-45-77	Equipment Replacement	28,954.57	58,422.53	56,293.20	55,474.73	62,975.00	62,975.00	.00	
0-45-78	CAPITAL	9,222.51	62,972.80	8,865.62	3,545.66	9,295.00	9,295.00	.00	
0-45-79	INSURANCE	78,917.51	71,764.41	69,661.05	58,760.46	93,000.00	93,000.00	.00	
0-45-80	Bankcard Fees	1,552.19	1,155.13	1,934.10	3,198.91	1,200.00	1,200.00	.00	
0-45-89	Animal Control	3,523.11	3,475.10	3,845.00	1,564.57	4,000.00	4,000.00	.00	
0-45-90	POLICE SUPPLIES	4,847.36	22,050.66	20,695.74	15,913.63	9,550.00	9,550.00	.00	
0-45-91	One Time Refund to Cities	.00	.00	.00	.00	.00	.00	.00	

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Account Number	Account Title	2018-19 Prior year 3 Actual	2019-20 Prior year 2 Actual	2020-21 Prior year1 Actual	2021-22 Current year Actual YTD	2021-22 Current year Budget	2022-23 Future year Budget	% Budget Increase/ Decrease	Budget Notes
Total	POLICE DEPARTMENT:	3,106,571.84	3,559,249.64	3,482,092.58	2,548,683.06	3,583,947.00	4,200,102.22	17%	
FIRE / EMS	S DEPARTMENT								
10-47-10	WAGES - PERMANENT E	1,036,495.29	1,168,485.19	1,265,341.83	768,630.59	1,136,700.00	1,449,276.00	27%	Wage scale
10-47-11	Overtime Wages/Standby	69,451.91	108,285.32	127,864.93	101,053.24	120,565.00	120,565.00	.00	
10-47-12	PART TIME EMPLOYEES	501,091.59	427,743.24	550,009.30	375,794.03	458,480.00	315,360.00	-31%	
10-47-13	Holiday Pay	1,950.09	.00	.00	1,395.24	.00	53,775.28	.00	Holiday payout potential 15 FTE
10-47-17	Interns	.00	30.00-	.00	.00	.00	.00	.00	
10-47-18	Special Payouts	.00	.00	5.00-	.00	.00	.00	.00	
10-47-20	MEDICAL BENEFITS	282,966.51	300,249.62	303,728.18	222,068.33	340,282.00	413,186.00	21%	10% estimated increase in medical/dental benefits cost
10-47-21	RETIREMENT	238,944.90	256,756.35	258,469.37	203,599.14	312,644.00	387,731.00	24%	Increase due to wage increases
10-47-22	FICA/MEDICARE	23,483.77	24,858.83	28,343.00	20,066.60	23,108.00	28,115.16	22%	1.45% of all wages
10-47-23	Wildland Deployment Wag	.00	.00	9,471.13	124,379.41	.00	.00	.00	
10-47-24	Wildland Deployment Back	.00	.00	.00	.00	.00	.00	.00	
10-47-25	UNIFORM EXPENSE	30,496.97	23,732.88	18,904.52	24,909.85	20,566.00	24,566.00	19%	6 FTE uniform replacement and class A
10-47-29	State Medicaid Fund	19,303.63	14,344.37	9,694.91	10,664.68	16,400.00	16,400.00	.00	
10-47-30	Charge Offs Ambulance Se	.00	.00	.00	.00	.00	.00	.00	
10-47-31	DUES, SUBSCRIPTIONS,	1,637.97	3,536.72	1,012.41	1,580.62	4,132.00	3,132.00	-24%	Training related
10-47-32	Equipment Repairs	1,567.17	1,057.95	2,610.38	1,582.69-	5,609.00	5,500.00	-2%	
10-47-33	PUBLIC EDUCATION	5,392.10	2,698.88	1,704.68	.00	2,244.00	2,000.00	-11%	Didn't spend in 2020 due to COVID
10-47-34	Equipment Maintenance	9,984.86	8,692.14	8,968.05	1,163.41	13,054.00	13,054.00	.00	Air compressor testing, fire equipment & gas detection SCBA co
10-47-35	Station Supplies-Consuma	2,546.94	3,979.13	3,898.67	680.97	4,693.00	4,000.00	-15%	
10-47-36	EMERGENCY PREPARAT	.00	.00	.00	.00	.00	.00	.00	
10-47-37	Cell Phones & Devices	7,935.48	9,660.67	8,808.60	6,536.56	10,464.00	10,464.00	.00	
10-47-38	TRAVEL EXPENSE	.00	.00	.00	.00	.00	.00	.00	
10-47-39	IT Services & Computers	14,843.83	9,617.73	11,125.00	5,508.05	14,148.00	14,148.00	.00	
10-47-40	POSTAGE, PRINTING, MI	2,963.71	3,564.58	3,855.26	2,498.40	5,856.00	5,000.00	-15%	
10-47-41	Employee Recognition	.00	145.36	3,667.42	3,857.15	4,487.00	4,487.00	.00	
10-47-42	Professional & Technical S	31,725.87	27,095.12	32,224.28	10,493.93	37,586.00	33,878.00	-10%	• • •
10-47-43	Medical Equipment	4,903.91	2,410.42	31,621.51	1,124.59	6,544.00	6,500.00	-1%	battery replacemnt
10-47-44	Protective Clothing	27,913.50	25,819.45	5,774.89	30,791.77	67,641.00	28,298.00	-58%	8 sets TO 2 water 500 misc
10-47-45	Food & Beverage	2,684.79	1,600.18	2,471.98	3,096.82	3,845.00	3,845.00	.00	
10-47-46	Grants	15,347.92	19,919.25	5,420.00	.00	.00	.00	.00	
10-47-47	Trauma Kits for Schools	8,287.63	5,401.23	.00	.00	.00	.00	.00	
10-47-48	PHYSICALS	370.00	.00	.00	63.96	.00	.00.	.00	
10-47-49	MEDICAL SUPPLIES	35,282.56	32,589.59	37,506.81	59,815.45	33,420.00	33,420.00	.00	D. II
10-47-50	Capital Projects	270,818.41	32,445.00	353,786.30	1,558.94	60,113.00	60,000.00	.00	Radios, SCBA match
10-47-52	Utilities	28,669.91	26,734.92	26,636.43	23,240.59	27,413.00	27,413.00	.00	

Account Number	Account Title	2018-19 Prior year 3 Actual	2019-20 Prior year 2 Actual	2020-21 Prior year1 Actual	2021-22 Current year Actual YTD	2021-22 Current year Budget	2022-23 Future year Budget	% Budget Increase/ Decrease	Budget Notes
10-47-58	Exp Aid Provided Oth. Age	85,489.98	39,516.43	38,610.60	54,355.07	.00	.00	.00	
10-47-59	Building Maintenance	17,579.73	8,607.76	17,342.36	14,076.14	17,388.00	17,388.00	.00	
10-47-60	RADIO SERVICE	2,261.05	1,295.00	1,200.00	900.00	.00	.00	.00	
10-47-63	BILLING AND COLLECTIO	31,380.61	24,665.62	22,391.67	16,833.37	24,650.00	24,650.00	.00	
10-47-68	TRAINING	11,365.68	12,391.88	23,890.24	24,858.01	20,370.00	20,370.00	.00	
10-47-69	RENT	185,111.20	126,859.59	126,859.80	63,430.00	126,860.00	126,860.00	.00	
10-47-71	FUEL	30,060.39	22,906.43	21,754.48	30,476.92	31,643.00	31,643.00	.00	
10-47-73	VEHICLE SUPPLIES/MAI	79,166.29	53,958.32	45,235.89	26,156.42	39,282.00	42,282.00	8%	
10-47-74	VEHICLE LEASE	252,415.22	255,274.60	209,311.98	210,310.59	216,205.00	216,205.00	.00	
10-47-75	EARLY PAY OFF OF LEAS	.00	.00	.00	.00	.00	.00	.00	
10-47-76	CAPITAL EXPENSE	.00	.00	.00	.00	.00	.00	.00	
10-47-78	EQUIPMENT	161,386.17	49,390.81	44,640.99	17,590.59	26,643.00	26,643.00	.00	Hose, nozel, & tool replacement
10-47-79	INSURANCE	94,257.06	83,576.83	82,769.39	66,307.90	92,769.00	97,407.45	5%	Estimating 5% increase
10-47-90	MISCELLANEOUS EXPEN	1,653.17	41,036.70	140,252.89	145.87	4,674.00	5,000.00	7%	
10-47-91	Equipment Lease	12,894.49	12,894.49	6,937.00	6,961.06	.00	.00	.00	
Total	FIRE / EMS DEPARTMENT:	3,642,082.26	3,273,768.58	3,894,112.13	2,535,391.57	3,330,478.00	3,672,561.89	10%	
GENE	ERAL FUND Revenue Total:	7,122,247.32	7,588,886.76	7,703,330.32	5,886,748.58	7,167,441.00	8,157,193.11	14%	
GENE	ERAL FUND Expenditure Total:	6,935,686.35	7,019,328.68	7,569,470.11	5,244,092.54	7,167,439.00	8,157,118.11	14%	
Net To	otal GENERAL FUND:	186,560.97	569,558.08	133,860.21	642,656.04	2.00	75.00	3650%	

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Periods: 07/22-06/23	

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Depreciation Expense Source: 30 91-30-10 Disposition Fixed Assets 21,846.32 .00 21,236.76 .00 .0
Number Title Actual Actual Actual YTD Budget Budget Decrease Depreciation Expense Source: 30 91-30-10 Disposition Fixed Assets 21,846.32 .00 21,236.76 .00 .00 .00 .00 .00 Total Source: 30: 21,846.32 .00 21,236.76 .00 .00 .00 .00 .00 Depreciation Expense 91-40-10 Police Depr. Expense 137,247.64 .00 11,863.75 .00 116,756.00 360,000.00 208% 91-40-20 Fire Depr. Expense 203,363.41 .00 .00 .00 .00 207,253.00 260,000.00 25% Total Depreciation Expense: 340,611.05 .00 11,863.75 .00 324,009.00 620,000.00 91%
Depreciation Expense Source: 30 91-30-10 Disposition Fixed Assets 21,846.32 .00 21,236.76 .00 .00 .00 .00 .00 Total Source: 30: 21,846.32 .00 21,236.76 .00 .00 .00 .00 .00 Depreciation Expense 91-40-10 Police Depr. Expense 137,247.64 .00 11,863.75 .00 116,756.00 360,000.00 208% 91-40-20 Fire Depr. Expense 203,363.41 .00 .00 .00 207,253.00 260,000.00 25% Total Depreciation Expense: 340,611.05 .00 11,863.75 .00 324,009.00 620,000.00 91%
Source: 30 91-30-10 Disposition Fixed Assets 21,846.32 .00 21,236.76 .00
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Total Source: 30: 21,846.32 .00 21,236.76 .00 .00 .00 .00 .00 .00 Depreciation Expense 137,247.64 .00 11,863.75 .00 116,756.00 360,000.00 208% 91-40-20 Fire Depr. Expense 203,363.41 .00 .00 .00 .00 207,253.00 260,000.00 25%
Depreciation Expense 91-40-10 Police Depr. Expense 137,247.64 .00 11,863.75 .00 116,756.00 360,000.00 208% 91-40-20 Fire Depr. Expense 203,363.41 .00 .00 .00 .00 207,253.00 260,000.00 25%
91-40-10 Police Depr. Expense 137,247.64 .00 11,863.75 .00 116,756.00 360,000.00 208% 91-40-20 Fire Depr. Expense 203,363.41 .00 .00 .00 .00 207,253.00 260,000.00 25% Total Depreciation Expense: 340,611.05 .00 11,863.75 .00 324,009.00 620,000.00 91% Depreciation Expense Revenue Total:
91-40-20 Fire Depr. Expense 203,363.41 .00 .00 .00 207,253.00 260,000.00 25% Total Depreciation Expense: 340,611.05 .00 11,863.75 .00 324,009.00 620,000.00 91% Depreciation Expense Revenue Total:
Total Depreciation Expense: 340,611.05 .00 11,863.75 .00 324,009.00 620,000.00 91% Depreciation Expense Revenue Total:
Depreciation Expense Revenue Total:
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<u>21,846.32</u> <u>.00</u> <u>21,236.76</u> <u>.00</u> <u>.00</u> <u>.00</u> <u>.00</u> <u>.00</u>
Depreciation Expense Expenditure Total:
340,611.05 .00 11,863.75 .00 324,009.00 620,000.00 91%
Net Total Depreciation Expense: 318,764.73- .00 9,373.01 .00 324,009.00- 620,000.00- 91%
Net Grand Totals: 132,203.76- 569,558.08 143,233.22 642,656.04 324,007.00- 619,925.00- 91%

Overview

FY2023 Tentative Budget includes expenditures totaling \$8,157,118:

 Administration – \$284,454 (\$207K dispatch)



• Police – \$4,200,102

• Fire – \$3,672,562

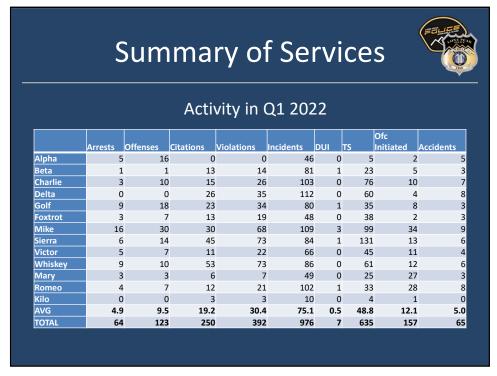


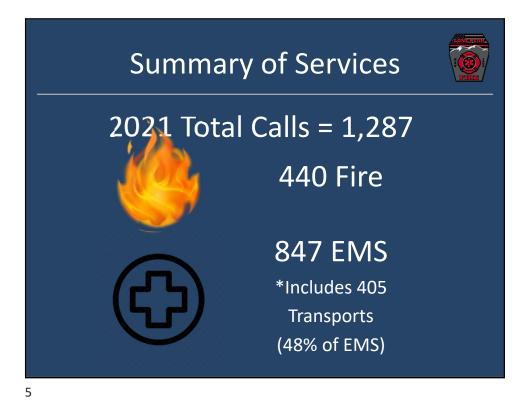
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Areas of Focus

- Retain & recruit
 - Wage increases
 - Benefit costs
- Administration
 - Dispatch (assessed directly to each City)
 - Budget reflects 3% increase in Admin wages now 6%
- Police
 - Purchase 4 vehicles
- Fire
 - Uniforms
 - Vehicle maintenance
 - Insurance







Summary of Services



2021 Total Characteristics:

- Total calls increased 17.6%
- Transports increased 4.1%
- Stacked calls = 206 (16% of total)
- AF Canyon calls = 73 (6% of total)

Funding Sources

Ongoing

Alpine School District Contract (Police) – \$72K

Charges for Services (EMS) – \$400K

Utah County Contract – \$5,300 (renegotiating)

Other – \$22,875

Assessments ...

One-time

Wildland deployment – varies significantly, depends on occurrence of fires out of state

Grants (Fire/Police) - \$12,800

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Assessments											
	Basis	City	Calcula	ation	Assessi	% Total					
	Dasis	5	FY22	FY23	FY22	FY23	FY23				
Admin	Population (Dispatch - direct to cities)	А	11,044	10,752	84,370	93,253 (dispatch 66,747)	34.1% excludes dispatch				
		н	20,499	20,761	168,194	191,201 (140,022 dispatch)	65.9% excludes dispatch				
Police	Population	Α	11,044	10,752	1,220,168	1,397,969	34.1%				
	Population	Н	20,499	20,761	2,264,780	2,699,333	65.9%				
Fire & EMS	Population (45%) ERUs (45%) 50/50 Split (10%)	А	11,044 (pop) 3,037 (ERU)	10,752 (pop) 3,009 (ERU)	1,108,175	1,197,485	36.7%				
		Н	20,499 (pop) 5,029 (ERU)	20,761 (pop) 5,272 (ERU)	1,831,361	2,064,977	63.3%				

Assessments

Alpine's combined assessment was \$2,412,713 in FY2022

Proposed combined assessment of \$2,668,706 in FY2023

Represents an increase of \$255,993, 11% over prior year

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Savings & Additional Revenue

- Savings
 - Part-time wages
 - Dues, subscriptions
 - Station supplies
 - Postage, printing
 - Professional & technical services
 - Protective clothing
- Charges for Services (revenue) increased from \$325K to \$400K

Timeline

- April 13 District approved its tentative budget
- By April 30 Cities approve District's tentative budget
- May 11 District adopts its final budget
- June 28 City adopts its final budget

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Recommendation & Proposed Motion

Staff recommends that the Council approve Lone Peak Public Safety District's FY2022-2023 tentative budget.

Proposed Motion:

"I move that City Council approve Lone Peak Public Safety District's FY2022-2023 tentative budget."

ALPINE CITY COUNCIL AGENDA

SUBJECT: Approval of Refreshed City Logo for Website

FOR CONSIDERATION ON: 26 April 2022

PETITIONER: City Staff

ACTION REQUESTED BY PETITIONER: Consider approval of the refreshed

city logo to be used on the new

website.

BACKGROUND INFORMATION:

The City Council previously approved a contract with CivicPlus to create a new website. As part of the discussion regarding content for the website, the idea of refreshing the logo used for the website was brought forward. Included in the packet is the refreshed logo that came from the discussion. The intent was to have a more simplified version of the logo currently in use. Elements of the current logo and the city flag were used to create the new logo.

STAFF RECOMMENDATION:

Consider approval of the refreshed city log to be used on the city website.

SAMPLE MOTION TO APPROVE:

I move to approve the refreshed City logo to be used on the new City website.

SAMPLE MOTION TO APPROVE WITH CONDITIONS:

I move to approve the refreshed City logo to be used on the new City website with the following conditions:

• (insert finding)

SAMPLE MOTION TO TABLE/DENY:

I move to table/deny the approval of the refreshed City logo based on the following:

• (insert finding)

