



Planning and Development Services

2001 S. State Street N3-600 • Salt Lake City, UT 84190-4050

Phone: (385) 468-6700 • Fax: (385) 468-6674

<https://msd.utah.gov/msd-home/pds/>

Kearns Planning Commission

Public Meeting Agenda

Monday, April 11, 2022 5:30 P.M.

Pursuant to Utah Code Ann. § 52-4-207(5), Joe Hatch has determined in his capacity as Chair of the Kearns Planning Commission that this meeting and/or public hearing will be held electronically without an anchor location given the ongoing Coronavirus disease 2019 (COVID-19) pandemic, which the Chair has determined to present a substantial risk to the health and safety of those who may be present at an anchor location. To participate in the meeting and to make public comments where indicated in the agenda, please use the below webinar instructions.

Location

Join meeting in WebEx

Meeting number (access code): 961 841 420

<https://slco.webex.com/join/wgurr>

Join meeting in WebEx (download available at <https://www.webex.com/downloads.html> for Windows, Android, and Apple devices)

Tap to join from a mobile device (attendees only)

[+1-213-306-3065](tel:+12133063065), [961841420##](tel:+16026660783) United States Toll (Los Angeles)

[+1-602-666-0783](tel:+16026660783), [961841420##](tel:+16026660783) United States Toll (Phoenix)

Join by phone

+1-213-306-3065 United States Toll (Los Angeles)

+1-602-666-0783 United States Toll (Phoenix)

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[Global call-in numbers](#)

Join from a video conferencing system or application

Dial wgurr@slco.webex.com

You can also dial 173.243.2.68 and enter your meeting number.

Need help? Go to <http://help.webex.com>

UPON REQUEST, WITH 5 WORKING DAYS NOTICE, REASONABLE ACCOMMODATIONS FOR QUALIFIED INDIVIDUALS MAY BE PROVIDED. PLEASE CONTACT WENDY GURR AT 385-468-6707.

TTY USERS SHOULD CALL 711.

The Planning Commission Public Meeting is a public forum where, depending on the agenda item, the Planning Commission may receive comment and recommendations from applicants, the public, applicable agencies and MSD staff regarding land use applications and other items on the Commission's agenda. In addition, it is where the Planning Commission takes action on these items, which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

BUSINESS MEETING

- 1) Welcome and approval of the agenda. (Motion/Voting)
- 2) Approval of the February 14, 2022 Planning Commission Meeting Minutes. (Motion/Voting)
- 3) Discussion on height limits in the M-1 zone at the former Condie's Food site, 4825 Honey Bear Lane. **Presenter:** Melissa Anderson
- 4) Other Business Items. (As Needed)

LAND USE APPLICATION(S)

CUP2021-000479 – Brixton Partners is requesting a Site Plan/Conditional Use approval for an Office Warehouse project. **Acreage:** 3.47. **Location:** 5147 West Liberator Drive. **Zone:** M-2 (Manufacturing). **Planner:** Brian Tucker (Motion/Voting)

The Planning Commission, in its discretion, may request public input on these applications prior to acting on the application. If public input is requested, public comment will be limited to three minutes per person.

ADJOURN

Rules of Conduct for Planning Commission Meetings

PROCEDURE FOR PUBLIC COMMENT

1. Any person or entity may appear in person or be represented by an authorized agent at any meeting of the Commission.
2. Unless altered by the Chair, the order of the procedure on an application shall be:
 - a. The supporting agency staff will introduce the application, including staff's recommendations and a summary of pertinent written comments and reports concerning the application
 - b. The applicant will be allowed up to 15 minutes to make their presentation.
 - c. The Community Council representative can present their comments as applicable.
 - d. Where applicable, persons in favor of, or not opposed to, the application will be invited to speak.
 - e. Where applicable, persons opposing the application, in whole or in part will be invited to speak.
 - f. Where applicable, the applicant will be allowed 5 minutes to provide concluding statements.
 - g. Surrebuttals may be allowed at the discretion of the Chair.

CONDUCT FOR APPLICANTS AND THE PUBLIC

1. Speakers will be called to the podium by the Chair.
2. Each speaker, before talking, shall give his or her name and address.
3. All comments should be directed to the Commissioners, not to the staff or to members of the audience.
4. For items where there are several people wishing to speak, the Chair may impose a time limit, usually 3 minutes per person, or 5 minutes for a group spokesperson. If a time limit is imposed on any member or spokesperson of the public, then the same time limit is imposed on other members or spokespersons of the public, respectively.
5. Unless otherwise allowed by the Chair, no questions shall be asked by the speaker or Commission Members.
6. Only one speaker is permitted before the Commission at a time.
7. The discussion must be confined to essential points stated in the application bearing on the desirability or undesirability of the application.
8. The Chair may cease any presentation or information that has already been presented and acknowledge that it has been noted in the public record.
9. No personal attacks shall be indulged in by either side, and such action shall be sufficient cause for stopping the speaker from proceeding.
10. No applause or public outbursts shall be permitted.
11. The Chair or supporting agency staff may request police support to remove offending individuals who refuse to abide by these rules.
12. After the public comment portion of a meeting or hearing has concluded, the discussion will be limited to the Planning Commission and Staff.

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****Notice of this meeting posted February 3, 2022 to <https://www.utah.gov/pmn/sitemap/notice/733419.html> and notices mailed February 3, 2022****

MEETING MINUTE SUMMARY KEARNS PLANNING COMMISSION MEETING Monday, February 14, 2022 5:30 p.m.

Approximate meeting length: 43 minutes

Number of public in attendance: 4

Summary Prepared by: Wendy Gurr

Meeting Conducted by: Commissioner Hatch

***NOTE:** Staff Reports referenced in this document can be found on the State and County websites, or from Planning & Development Services.

ATTENDANCE

Commissioners	Public Mtg	Business Mtg	Absent
David Taylor (Vice Chair)	x	x	
Joy Nelson	x	x	
Jerry Wellman	x	x	
Joe Hatch (Chair)	x	x	
Laura Koester	x	x	

Planning Staff / DA	Public Mtg	Business Mtg
Wendy Gurr	x	x
Brian Tucker	x	x
Molly Gaughran	x	x
Melissa Anderson	x	x
Nathan Bracken	x	x

BUSINESS MEETING

Meeting began at – 5:31 p.m.

- 1) Welcome and Approval of the Agenda. (Motion/Voting)

Commissioner Hatch read the Chairs Opening Statement.

- 2) Approval of the January 10, 2022 Planning Commission Meeting Minutes. (motion/Voting)

Motion: To Approve the January 10, 2022 Planning Commission Meeting Minutes as presented.

Motion by: Commissioner Wellman

2nd by: Commissioner Taylor

Vote: Commissioners voted unanimous in favor.

- 3) Other Business Items (as needed)

No other business items to discuss.

LAND USE APPLICATION(S)

Hearings began at – 5:35 p.m.

PAM2022-000512 – Liberty Homes is requesting approval of the Montebello at Liberty Village Amended Subdivision plat which amends 20 building pad sites to account for a larger building footprint for the Type A unit. **Acreage:** 5.725 acres. **Location:** 4678 West 6200 South. **Zone:** R-M. **Planner:** Brian Tucker (Motion/Voting)

The Planning Commission, in its discretion, may request public input on these applications prior to acting on the application. If public input is requested, public comment will be limited to three minutes per person.

Greater Salt Lake Municipal Services District Planning and Development Planner Brian Tucker provided an analysis of the staff report.

Commissioner Nelson asked if it reduces the number of units built, or just the open space. Mr. Tucker confirmed just the open space. Commissioner Hatch asked if governing bodies and entities must sign off. Mr. Tucker said Planning Commission is the only approval Per Se, but others need to sign off. Commissioner Wellman asked if the basins reduction. Mr. Tucker said it isn't changing dimensions of retention area but adding 840 square feet of hard scape and hydrology wants to be shown the retention and needs a new calculation. Commissioner Koester asked if any units sold. Mr. Tucker said pending sales, but none sold yet.

Motion: To recommend approval application #PAM2022-000512 of the Montebello at Liberty Village Amended Subdivision plat which amends 20 building pad sites to account for a larger building footprint for the Type A unit to Kearns Metro Council as presented with staff recommendations.

Motion by: Commissioner Wellman

2nd by: Commissioner Nelson

Vote: Commissioners voted unanimous in favor

PUBLIC HEARING(S)

OAM2022-000521 - Amendment to Kearns Code section 19.77, Water Efficient Landscape Design and Development Standards. The proposed amendment replaces the water efficiency standards with the Jordan Valley Water Conservation District water efficiency standards, establishes minimum plant quantity standards for residential and non-residential uses, and amends the buffering standards for non-residential uses when located next to residential uses. **Presenter:** Melissa Anderson (Motion/Voting)

The Planning Commission will act on the proposed Code Amendment after taking comments from the public during their respective public hearings. Public comments will be provided pursuant to the planning commissions' rules of conduct. Public comments will be limited to three minutes per person. The public is also invited to review and inspect the proposed ordinances at <https://www.utah.gov/pmn/index.html> under the respective Planning Commissions' agendas.

Greater Salt Lake Municipal Services District Planning and Development Planning Manager Melissa Anderson provided an analysis of the staff report. Mr. Bracken said recodifying the entire code and keep individual changes to a minimum. KID needs to enter into a new contract with JVWD and best possible rate.

Greg Anderson with KID said grateful the council could do this and currently in the process of a new contract. Would end up having to go to tier 2 and doubling water prices without going through this process to consider.

Commissioner Wellman said he is looking at trees, does this apply to residential trees and get an arborist to remove certain percentage of trees. Ms. Anderson said is in the code now. Commissioner Wellman said concerned about citizens on limited income and can't afford an arborist. Mr. Bracken said this is based on new development and has every intention of coming back and fixing the ordinance, just trying to go with KID to negotiate.

Commissioner Wellman motioned to open the public hearing, Commissioner Nelson seconded that motion.

PUBLIC PORTION OF HEARING OPENED

No one from the public present to speak.

Commissioner Wellman motioned to close the public hearing, Commissioner Nelson seconded that motion.

PUBLIC PORTION OF HEARING CLOSED

Commissioners, Counsel and Staff had a brief discussion regarding amended language of the adopting language.

Motion: To recommend approval of file #OAM2022-000521 an Amendment to Kearns Code section 19.77, Water Efficient Landscape Design and Development Standards. The proposed amendment replaces the water efficiency standards with the Jordan Valley Water Conservation District water efficiency standards, establishes minimum plant quantity standards for residential and non-residential uses, and amends the buffering standards for non-residential uses when located next to residential uses to the Kearns Metro Township Council with language amendment.

Motion by: Commissioner Wellman

2nd by: Commissioner Nelson

Vote: Commissioner Hatch recused himself s voted unanimous in favor

Greg Anderson will send invitations to Planning Commission for a tour. of new????

Discussed training opportunities.

Commissioner Taylor motioned to adjourn, Commissioner Nelson seconded that motion.

MEETING ADJOURNED

Time Adjourned – 6:14 p.m.



GREATER SALT LAKE
**Municipal Services
District**

Planning and Development Services

2001 S. State Street N3-600 • Salt Lake City, UT 84190-4050

Phone: (385) 468-6700 • Fax: (385) 468-6674

msd.utah.gov

File # CUP2021-000479

Conditional Use Permit Review

Public Body: Kearns Metro Township Planning Commission

Meeting Date: April 11, 2022

Parcel ID: 20-12-201-024

Current Zone: M-2 (Manufacturing Zone)

Property Address: 5174 West Liberator Drive

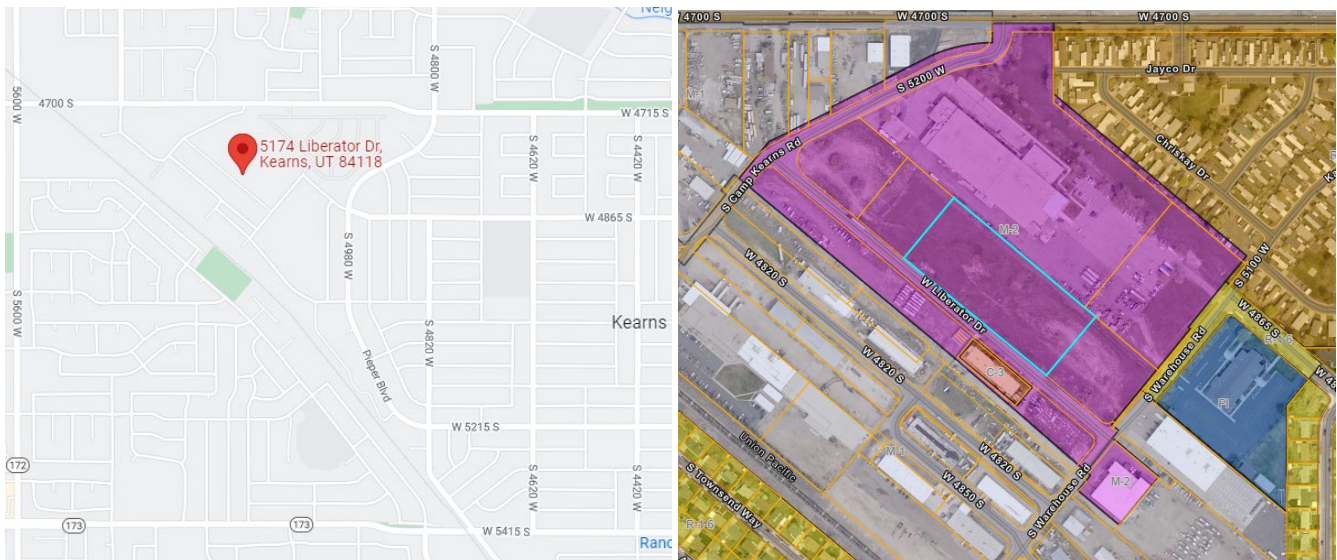
Request: Conditional Use/Site Plan Approval for a Multi-Tenant Industrial Office Building

Planner: Brian Tucker

Planning Staff Recommendation: Approval with Conditions

Applicant Name: Shivam Shah

SITE & VICINITY DESCRIPTION



The property is located at 5174 West Liberator Drive, about halfway between Camp Kearns Road and Warehouse Road, and includes 3.470 acres. Absolute Heating and Air is located across the street and Lucid Technologies is located directly north of the project area. The four proposed multi-tenant industrial buildings and associated parking will use the entire 3.470 acres.

PROJECT BACKGROUND AND DESCRIPTION

The property at 5174 West Liberator Drive is zoned M-2 (Manufacturing Zone). When a property includes more than one acre in a manufacturing zone, a conditional use permit and site plan review is required.

The project consists of 4 buildings, with each of these buildings having multiple office and warehouse spaces. Each space includes at a minimum a roll up door and a man door. The space within the unit can be configured to include an office area in addition to the warehouse/shop area. The future uses for each unit are not known at this time and could include any use allowed as a permitted or conditional use within the M-2 Zone. The expectation is that there will be a mix of smaller commercial, industrial and manufacturing uses. Residential use of the units is not allowed.

The Planning Commission is the decision-making body for conditional use permits and site plans. When and if the approval is granted, the technical planning and engineering reviews will be conducted by the MSD staff and staff at the various agencies for which approval is required. Final approval is based on compliance with the development and other applicable codes.

PLANNING STAFF ANALYSIS

Zoning: M-2 Manufacturing Zone (Chapter 19.68):

The purpose of the M-2 zone is to provide areas for heavy industrial uses. The permitted and conditional uses allowed in the M-2 zone include a wide variety of commercial, industrial, and manufacturing uses. The M-2 zone does not have any height restrictions or minimum lot size. The maximum coverage restriction is that 80% of the lot area can be covered by all the buildings combined. The only setback requirement is a 20-foot setback from the building to the street.

The M-2 zone text is not the only applicable set of standards for this proposed development. Chapters 19.76, 19.80, 19.82, and 19.84 of the Kearns Code include the landscaping, parking, sign and conditional use requirements, respectively.

Off Street Parking (Chapter 19.80):

The project includes 30 units with 980 square feet and 14 units with 1350 square feet. A total of 64 parking spaces are proposed for the 44 units, which averages out to approximately 1.5 parking spaces for each unit. Consequently, the amount of parking provided will be inadequate for land uses that have a high number of employees or customers.

As the future uses are yet unknown, these future tenants will each be approved for business licenses and, where applicable, land use permits as these units are leased. Some of these uses, including cabinet makers, machine shops, contractor storage, warehousing and printers are among the more obvious uses allowed in the M-2 zone and as they tend to have few customer visits and employees. For these uses, parking is not likely to be an issue. Some of the less obvious uses allowed in the M-2 zone include banks, restaurants, animal hospitals, gymnasiums, private schools, and day care centers. This latter group of uses tend to have a greater parking need as they have either higher customer turnover or high numbers of customers that do not turn over quickly. The amount of parking that is proposed to be provided for each unit will be insufficient for these types of uses. Consequently, these uses should not be allowed in this project unless significantly more parking is provided; this is included as a condition of approval.

The applicant has provided the two required handicapped parking spaces (one for every 25 parking spaces) and each of the parking spaces meets the standard nine feet in width and 18 feet in depth. Parking lot screening and lighting requirements will be verified by staff during the technical review process for this application.

Landscaping Design (Chapter 19.76):

The design of parking lot landscaping is the primary issue for a site plan review.

Parking islands are required at each end of a row of parking stalls. Landscaped peninsulas are required for every 6 contiguous parking stalls except that when a landscaped median is present between to parking areas, no peninsulas are required. The current plan meets the parking lot landscaping standards.

Trash dumpsters, service and mechanical equipment must be screened from public view by plants, opaque fencing, berms or a combination thereof. The plans include masonry enclosure around the dumpsters and the technical review will ensure that plantings are sufficient to screen any other equipment.

There are standards for the number of trees, width of turf areas, mulch, plant coverage and irrigation design. These landscape design details are part of the technical review process and administered at the staff level to ensure compliance with the standards of the code.

Signs (Chapter 19.82):

A formal sign package must be submitted for review. The applicant has indicated potential locations for signs on the site plan but has not submitted a sign package to date. The sign ordinance contains standards by which the staff could approve the sign package administratively during the technical review process.

Review Criteria: Conditional Use/Site Plan Approval Process.

Site Plan approval is given through the Conditional Use Approval Process found in Kearns Municipal Code, Chapter 19.84. This chapter includes the review process and standards for review to be used by the Planning Commission. The chapter also and grants the Planning Commission the authority to approve, deny, or approve with conditions, any conditional use permit, consistent with state code and the standards of review. These are shown in attachment #1. The proposed project complies with these standards.

Corrections and additional submittals are still required by the review agencies. The applicant has been provided the comments and redlined plans from the reviewers. See attachment #3. Compliance with current building, construction, engineering, fire, health, landscape and safety standards will be verified prior to final approval through the Technical Review Process.

PLANNING STAFF RECOMMENDATION

Planning Staff recommends that the Kearns Metro Township Planning Commission grant approval to the conditional use permit and preliminary site plan for the multi-tenant industrial project at 5174 West Liberator Drive subject to the following conditions:

1. That the applicant works with staff and outside review agencies to correct the remaining issues with the engineering, construction and site development plans that do not yet meet the policies or ordinances that they administer.
2. Retail uses, restaurants, personal services, assembly uses, financial institutions and any other use for which Kearns Municipal Code requires three or more parking spaces is prohibited.
3. A signage plan must be submitted for technical review that complies with Kearns Municipal Code, Chapter 19.82.
4. Landscaping and irrigation plans must be submitted for technical review that comply with Kearns Municipal Code, Chapter 19.76.

Attachments:

1. Findings for Decision
2. Proposed site development plans
3. Proposed Elevations
4. Reviewing Agency Responses and Comments

Attachment #1		
Conditional Use Permit Approval Findings for Decision		
Code Reference	Findings	
18.84.060.A	The proposed site development plan shall comply with all applicable provisions of the zoning ordinance, including parking, building setbacks, and building height.	✓
18.84.060.B	The proposed use and site development plan shall comply with all other applicable laws and ordinances.	✓
18.84.060.C	The proposed use and site development plan shall not present a serious traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the county transportation master plan.	✓
18.84.060.D	The proposed use and site development plan shall not pose a serious threat to the safety of persons who will work on, reside on, or visit the property nor pose a serious threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands	✓
18.84.060.E	The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.	✓
✓	The proposed use and plans comply with the applicable standard or the conditions of approval will result in compliance with the standard.	

DESIGN TEAM

OWNER:

BRIXTON PARTNERS
PHONE # (801) 687-8000
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ARCHITECT:

GOULD PLUS ARCHITECTS
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DRAPER, UTAH 84020
PHONE # (801) 335 - 9900
CONTACT: ADAM ORME



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PHONE # (801) 532-2196
CONTACT: RICHARD WARDLE



INDEX TO DRAWINGS

TITLE & LIFE SAFETY

T 100 TITLE SHEET & DRAWING INDEX

CIVIL DRAWINGS

SEE CIVIL DRAWING FOR INDEX

LANDSCAPE DRAWINGS

LS01 LANDSCAPE PLAN
LS02 IRRIGATION PLAN
LS03 LANDSCAPE DETAILS
LS04 IRRIGATION DETAILS
LS05 IRRIGATION DETAILS

ELECTRICAL DRAWINGS

E101 ELECTRICAL SITE PLAN
E102 SITE PHOTOMETRIC PLAN

ARCHITECTURAL DRAWINGS

A100a MAIN FLOOR PLAN
A200a EXTERIOR ELEVATIONS
A100b MAIN FLOOR PLAN
A200b EXTERIOR ELEVATIONS
A100c MAIN FLOOR PLAN
A200c EXTERIOR ELEVATIONS
A100d MAIN FLOOR PLAN
A200d EXTERIOR ELEVATIONS
A201 PERSPECTIVE RENDERINGS

NEW WAREHOUSE BUILDING FOR "NEXT STEP WAREHOUSE" 5174 WEST LIBERATOR DRIVE KEARNS METRO TOWNSHIP

VICINITY MAP



PERSPECTIVE ELEVATION



2018 CODE ANALYSIS

CODES:

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FIRE CODE
2017 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2009 ANSI A117.1 STANDARD FOR ACCESSIBLE AND USABLE BUILDING & FACILITIES

A: MUNICIPAL JURISDICTION: KEARNS METRO TOWNSHIP

IBC CHAPTER 3 - OCCUPANCY CLASSIFICATION

- B, BUSINESS GROUP
- S-1, MODERATE - HAZARD STORAGE

IBC CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

TABLE 504.4 - ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLAN

- ALLOWABLE: 2 STORIES (S-1 AUTOMATIC SPRINKLER / TYPE VB)
- PROVIDED: 1 + MEZZANINE

TABLE 506.2 - ALLOWABLE AREA FACTOR

- TYPE B: NS = 9,000 SF; S1 = 36,000 SF
- TYPE S-1: NS = 9,000 SF; S1 = 36,000 SF

ACTUAL BUILDING AREA:

- BUILDING "A" FOOTPRINT: 9,810 SF
- BUILDING "B" FOOTPRINT: 20,300 SF
- BUILDING "C" FOOTPRINT: 10,150 SF
- BUILDING "D" FOOTPRINT: 9,675 SF
- TOTAL BUILDING AREA: 49,935 SF

TABLE 508.4 - REQUIRED SEPARATION OF OCCUPANCIES (HOURS)

- NONE REQUIRED BETWEEN TYPE B, AND S-1 OCCUPANCIES

IBC CHAPTER 6 - TYPES OF CONSTRUCTION

- TABLE 601 - TYPE VB, ANY MATERIALS PERMITTED BY THIS CODE.
- TABLE 602 - CONSTRUCTION CLASSIFICATION

ALL BUILDINGS ARE AT LEAST GREATER THAN 10 FEET FROM PROPERTY LINE OR ADJACENT BUILDING. WITH CONSTRUCTION TYPE VB, NOT REQUIRED TO HAVE FIRE SEPARATION.

IBC CHAPTER 9 - FIRE PROTECTION AND LIFE SAFETY SYSTEMS

- AUTOMATIC SPRINKLER SYSTEM:
 - BUILDING "A" - REQUIRED AND WILL PROVIDE FIRE SPRINKLER SYSTEM
 - BUILDING "B" - REQUIRED AND WILL PROVIDE FIRE SPRINKLER SYSTEM
 - BUILDING "C" - REQUIRED AND WILL PROVIDE FIRE SPRINKLER SYSTEM
 - BUILDING "D" - REQUIRED AND WILL PROVIDE FIRE SPRINKLER SYSTEM

PROJECT INFORMATION

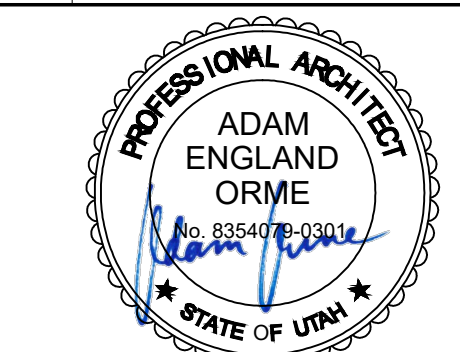
SITE AREA	
TOTAL GROSS SITE AREA (SF)	151,159 SF
TOTAL GROSS ACREAGE (ACRES)	3.47 ACRES
STREET RIGHT OF WAYS (SF)	N/A
BUILDING SUMMARY	
BUILDING "A"	9,810 SF
BUILDING "B"	20,300 SF
BUILDING "C"	10,150 SF
BUILDING "D"	9,675 SF
TOTAL BUILDING FLOOR AREA (SF)	49,935 SF
LANDSCAPING SUMMARY	
ON-SITE LANDSCAPING PROVIDED (SF)	18,095 SF
LANDSCAPING PROVIDED (% OF LOT)	12%
PARKING LOT AREA	
PARKING LANDSCAPING PROVIDED (SF)	2,320 SF
OFF-STREET PARKING SUMMARY	
REQ'D (BASED ON TRAFFIC STUDY)	37 STALLS
TOTAL PROVIDED PARKING	70 STALLS
REQ'D ADA PARKING STALLS	6 STALLS
BICYCLE STALLS (5% OF REQUIRED)	2 STALLS



427 WEST 11950 SOUTH, SUITE 201
DRAPER, UTAH 84020

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NO. DESCRIPTION



PROJECT NUMBER 21033

NEW BUILDING FOR
NEXT STEP WAREHOUSE

KEARNS METRO

5174 WEST LIBERATOR DRIVE, KEARNS METRO AREA

TITLE SHEET
AND
DRAWING INDEX

SITE APPLICATION
03.02.2022

T100

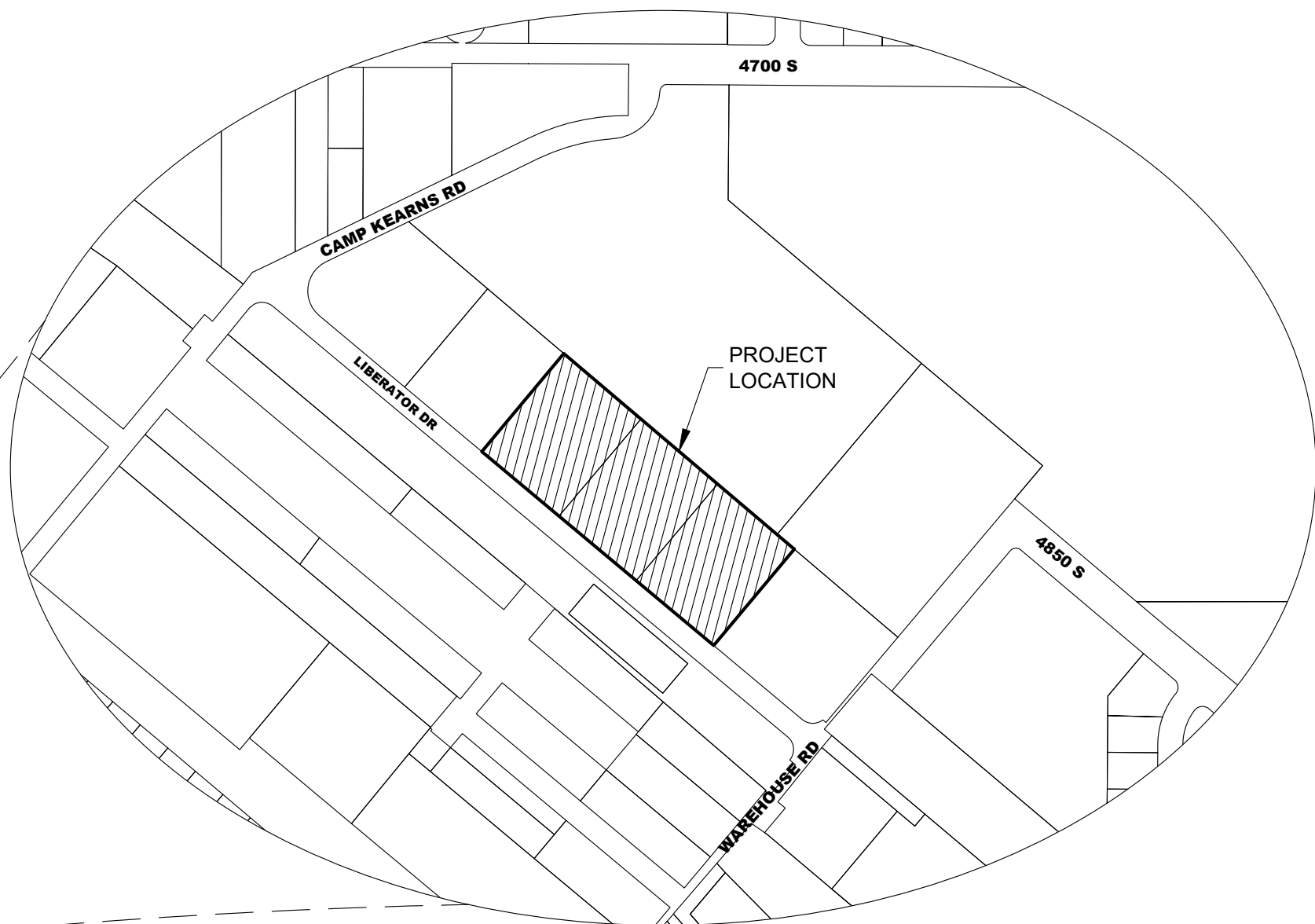


Final Land Use Review

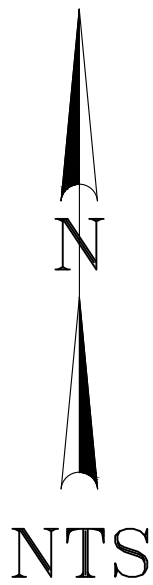
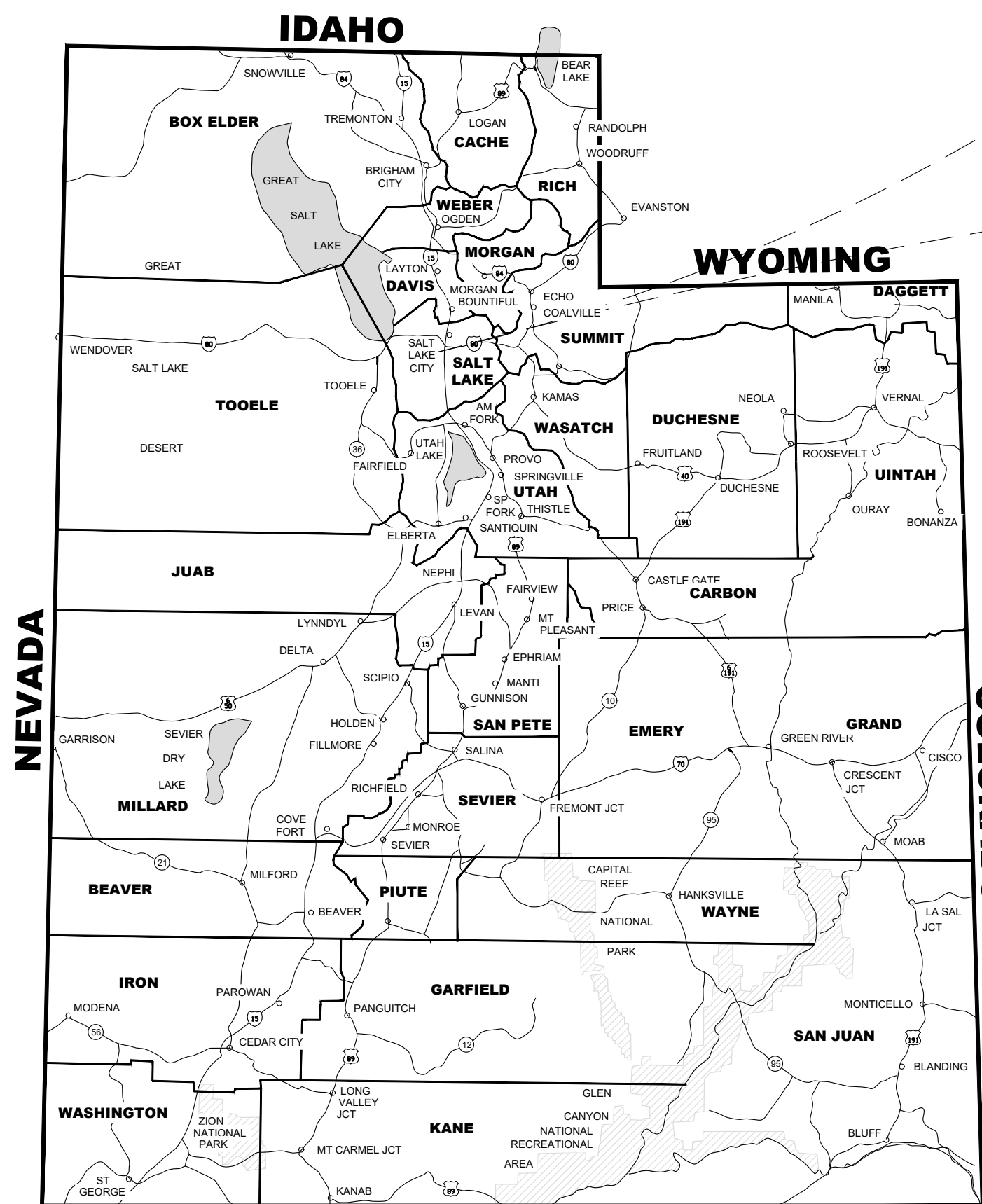
Planning	Revisions Required - See Comments Sheet BTucker: CUP2021-000479_NSW Kearns Preliminary Plan
Grading	Revisions Required - See Comments Sheet GBaptist: CUP2021-000479_NSW Kearns Preliminary Plan
Geology	Approved- See Comments Sheet JeThomson: CUP2021-000479_NSW Kearns Preliminary Plan
Hydrology	Revisions Required - See Comments Sheet JeThomson: CUP2021-000479_NSW Kearns Preliminary Plan
Surveyor	Approved BTucker: CUP2021-000479_NSW Kearns Preliminary Plan
Traffic	Approved- See Comments Sheet JeThomson: CUP2021-000479_NSW Kearns Preliminary Plan
UFA	Approved- See Comments Sheet TSmolka: CUP2021-000479_NSW Kearns Preliminary Plan Set_03.04.22
Health	Approved jowolf: CUP2021-000479_NSW Kearns Preliminary Plan Set_03.04.22
Building	Approved - See Comments Sheet tsorensen: CUP2021-000479_NSW Kearns Preliminary Plan
Operations	
Addressing	Approved - See Comments Sheet JBurton: CUP2021-000479_NSW Kearns Preliminary Plan Set_03.04.22

NEXT STEP WAREHOUSE KEARNS

LOCATED IN THE NORTH HALF OF SECTION 12,
TOWNSHIP 2 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN
KINIKINI SUBDIVISION LOTS 5, 6, & 7
KEARNS, UTAH



01 PLAN VIEW
SCALE - 1" = 300'



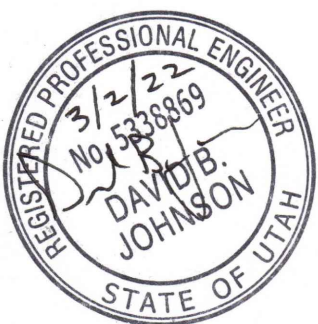
Sheet List Table	
Sheet Number	Sheet Title
G-100	COVER SHEET
G-101	NOTES & SPECIFICATIONS
G-102	NOTES & SPECIFICATIONS
G-103	LEGEND & ABBREVIATIONS
VD-100	DEMO PLAN
VP-100	RECORD OF SURVEY
VP-101	FINAL PLAT
VP-102	FINAL PLAT SIGNATURE PAGE
CE-100	EROSION CONTROL PLAN
CED-100	SILT FENCE DETAILS
CED-101	EROSION CONTROL DETAILS
CED-102	INLET PROTECTION DETAILS
CS-100	SITE PLAN OVERVIEW
CS-101	SIGNAGE PLAN
CS-102	FIRE TRUCK ANALYSIS
CSD-100	SIDEWALK ADA RAMP DETAILS
CSD-101	CONCRETE DETAILS
CSD-102	CORNER ADA RAMP DETAILS
CSD-103	CROSS SECTION ROCK WALL
CSD-104	DRIVE APPROACH DETAIL
CG-100	GRADING PLAN
CD-100	DRAINAGE PLAN
CU-100	UTILITY PLAN
CU-101	UTILITY PLAN WEST HALF
CU-102	UTILITY PLAN EAST HALF
CU-103	UTILITY STRUCTURE TABLES
CU-104	PLAN AND PROFILE 01
CU-105	PLAN AND PROFILE 02
CU-106	PLAN AND PROFILE 03
CU-107	PLAN AND PROFILE 04
CU-108	PLAN AND PROFILE 05
CU-109	PLAN AND PROFILE 06
CU-110	PLAN AND PROFILE 07
CU-111	CHAMBER 1 COVER
CU-112	CHAMBER 1 LAYOUT
CU-113	CHAMBER 1 PROFILE
CU-114	CHAMBER 1 ISOLATOR ROW
CU-115	CHAMBER 1 DETAILS
CU-116	CHAMBER 2 COVER
CU-117	CHAMBER 2 LAYOUT
CU-118	CHAMBER 2 PROFILE
CU-119	CHAMBER 2 ISOLATOR ROW
CU-120	CHAMBER 2 DETAILS
CU-121	CHAMBER 3 COVER
CU-122	CHAMBER 3 LAYOUT
CU-123	CHAMBER 3 PROFILE
CU-124	CHAMBER 3 ISOLATOR ROW
CU-125	CHAMBER 3 DETAILS
CU-126	CHAMBER 4 COVER
CU-127	CHAMBER 4 LAYOUT
CU-128	CHAMBER 4 PROFILE
CU-129	CHAMBER 4 ISOLATOR ROW
CU-130	CHAMBER 4 DETAILS
CU-131	CHAMBER 5 COVER
CU-132	CHAMBER 5 LAYOUT
CU-133	CHAMBER 5 PROFILE
CU-134	CHAMBER 5 ISOLATOR ROW
CU-135	CHAMBER 5 DETAILS
CU-136	CHAMBER 6 COVER
CU-137	CHAMBER 6 LAYOUT
CU-138	CHAMBER 6 PROFILE
CU-139	CHAMBER 6 ISOLATOR ROW
CU-140	CHAMBER 6 DETAILS
CUD-100	SEWER DETAILS
CUD-101	WATER DETAILS
CUD-102	STORM DRAIN DETAILS
CUD-103	OWS DETAIL
CUD-104	INLINE DRAIN DETAIL
CUD-105	WATER DETAILS 2
CUD-106	SEWER DETAILS 2
CUD-107	SNOUT DETAIL

BENCHMARK INFORMATION
THE BENCHMARK ELEVATION FOR THIS SURVEY IS THE
NORTHEAST CORNER OF SECTION 12, TOWNSHIP 2 SOUTH,
RANGE 2 WEST, S. L. B. & M., WITH AN ELEVATION OF 4510.62
FEET.

KNOW WHAT'S BELOW. CALL 811 BEFORE YOU DIG.
DRAWING IS NOT TO SCALE IF LESS THAN 24"x36". DIMENSIONS AND NOTES SUPERCEDE SCALE.

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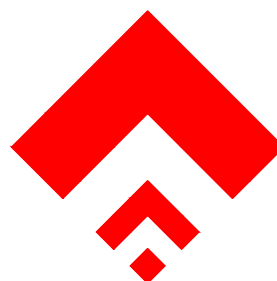
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5	01/04/22	PRELIMINARY
4	11/30/21	PRELIMINARY
3	11/24/21	PRELIMINARY
2	10/12/21	PRELIMINARY
NO.	DATE	REVISION



CLIENT / OWNER INFORMATION:

NEXT STEP WAREHOUSE
SHIVAM SHAH
831 E PIONEER RD SUITE 100
DRAPER, UT 84020
(813) 298-8240

ENGINEER / SURVEYOR INFORMATION:



JOHNSON ENGINEERING
4436 SOUTH 1025 EAST • SALT LAKE CITY, UTAH 84124
www.johnsonengineeringinc.com
Phone: 801-787-4569

SHEET INFORMATION:

COVER SHEET
NEXT STEP WAREHOUSE KEARNS
KEARNS, SALT LAKE COUNTY, UTAH

DRAWN BY:	CHECKED BY:	APPROVED BY:	SHEET:
DBJ	DBJ	DBJ	
PROJECT NO:	21-018		
DATE:	03/02/22		
SCALE:	AS SHOWN		

NOTES:

1. INSTALL CONCRETE PAD 12,076 SF
2. INSTALL CONCRETE PAD 7,987 SF
3. INSTALL ROCK RETAINING WALL, 635 LF, WALL IS 13" TALL, 6.5" WIDE, AND HAS 13" WIDE KEYS ON BOTH ENDS.
4. EXISTING CHAIN LINK FENCE TO REMAIN
5. INSTALL 24" SHEDDING CURB AND GUTTER PER DETAIL 02 ON SHEET CSD-101. 1,219 LF TOTAL
6. INSTALL 5 FOOT WIDE CONCRETE SIDEWALK PER DETAIL 08 ON SHEET CSD-101. 600 LF TOTAL
7. INSTALL 4 FOOT WIDE WATERWAY PER DETAIL 03 ON SHEET CSD-101. 906 LF TOTAL
 - 7.1. WATERWAY A = 172 LF
 - 7.2. WATERWAY B = 281 LF
 - 7.3. WATERWAY C = 172 LF
 - 7.4. WATERWAY D = 281 LF
8. INSTALL ADA RAMP PER DETAIL 01 ON SHEET CSD-102.
9. 3.0 INCH ASPHALT = 42,491 SF
10. PROPOSED BUILDING A = 9,810 SF
11. PROPOSED BUILDING B = 20,300 SF

12. PROPOSED BUILDING C = 10,150 SF
13. PROPOSED BUILDING D = 9,675 SF
14. PARKING STALL COUNT
 - 14.1. TOTAL REGULAR PARKING STALLS = 64
 - 14.2. TOTAL HANDICAP PARKING STALLS = 6
 - 14.3. TOTAL PARKING STALLS = 70
15. INSTALL TRASH ENCLOSURE PER ARCHITECTURAL DETAIL A000 BY GOULD PLUS ARCHITECTS
16. INSTALL 4" WIDE SIDEWALK ON SITE. 1,331 LF TOTAL
17. INSTALL 6" TALL CHAIN LINK FENCE (TYP); TOTAL = 1,233 LF
18. ROCK WALL SHALL EXTEND PAST PROPERTY LINE PER AGREEMENT WITH ADJACENT PROPERTY OWNERS.
19. INSTALL DRIVE APPROACH PER DETAIL CSD-104.
20. INSTALL 4" WIDE ADA RAMP PER DETAILS 2 AND 3 ON SHEET CSD-100
21. ALL ROADWAY IMPROVEMENTS, PUBLIC OR PRIVATE, MUST COMPLY WITH SALT LAKE COUNTY STANDARDS (SEE SLCO ORDINANCE 14.12 AND SLCO STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION). A PERFORMANCE BOND IS REQUIRED FOR ALL IMPROVEMENTS. A RIGHT-OF-WAY EXCAVATION PERMIT IS REQUIRED FOR ALL CUTS INTO ROADWAY FOR UTILITY CONNECTIONS OR FOR ANY OTHER PURPOSE.

GEOTECHNICAL RECOMMENDATIONS:

FOOTING AND FOUNDATION EXCAVATIONS SHALL BE INSPECTED AND APPROVED IN WRITING BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE FORMS OR REBAR.

ACCORDING TO THE GSH REPORT JOB NUMBER: 2941-001-19
PARKING AREAS (PAGE 13)
FLEXIBLE PAVEMENTS - 2.5" ASPHALT CONCRETE AND 7" AGGREGATE BASE
RIGID PAVEMENTS - 5" PORTLAND CEMENT CONCRETE (NON-REINFORCED) AND 5" AGGREGATE BASE

DRIVE LANES (PAGE 14)
FLEXIBLE PAVEMENTS - 3" ASPHALT CONCRETE AND 9" AGGREGATE BASE
RIGID PAVEMENTS - 6" PORTLAND CEMENT CONCRETE (NON-REINFORCED) AND 5" AGGREGATE BASE

BENCHMARK INFORMATION

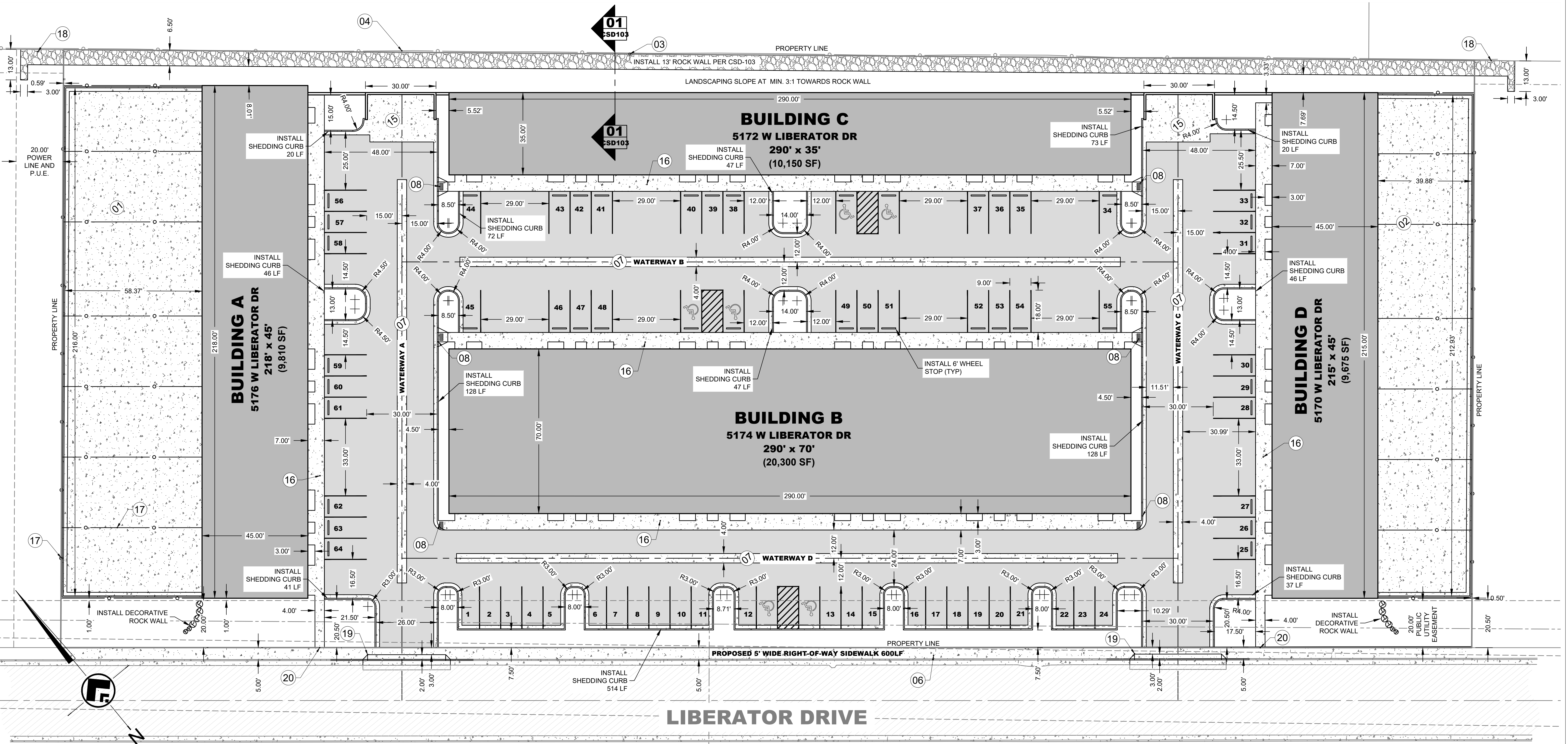
THE BENCHMARK ELEVATION FOR THIS SURVEY IS THE NORTHEAST CORNER OF SECTION 12, TOWNSHIP 2 SOUTH, RANGE 2 WEST, S. L. B. & M., WITH AN ELEVATION OF 4510.62 FEET.

LAND USE:

CONCRETE: 36,678 SF (24.4%)
ASPHALT: 42,491 SF (28.1%)
ROCK WALL: 3,900 SF (2.6%)
LANDSCAPING: 18,095 SF (12.0%)
BUILDINGS: 49,935 SF (33.0%)

TOTAL AREA: 151,159 SF (3.47 AC.)

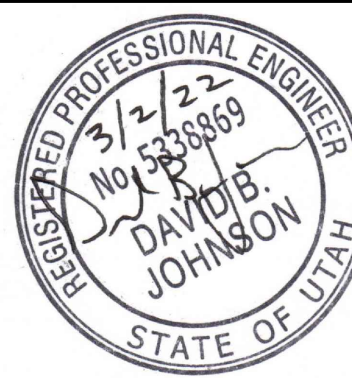
CONCRETE (RIGHT OF WAY): 3195 SF



SCALE IN FEET
0 20 40

KNOW WHAT'S BELOW. CALL 811 BEFORE YOU DIG.
DRAWING IS NOT TO SCALE IF LESS THAN 24"x36". DIMENSIONS AND NOTES SUPERCEDE SCALE.

NO.	DATE	REVISION
6	03/02/22	PRELIMINARY
5	01/04/22	PRELIMINARY
4	11/30/21	PRELIMINARY
3	11/24/21	PRELIMINARY
2	10/12/21	PRELIMINARY



CLIENT / OWNER INFORMATION:

NEXT STEP WAREHOUSE
SHIVAM SHAH
831 E PIONEER RD SUITE 100
DRAPER, UT 84020
(813) 298-8240

ENGINEER / SURVEYOR INFORMATION:

JOHNSON ENGINEERING
4436 SOUTH 1025 EAST • SALT LAKE CITY, UTAH 84124
www.johnsonengineeringinc.com
Phone: 801-787-4569

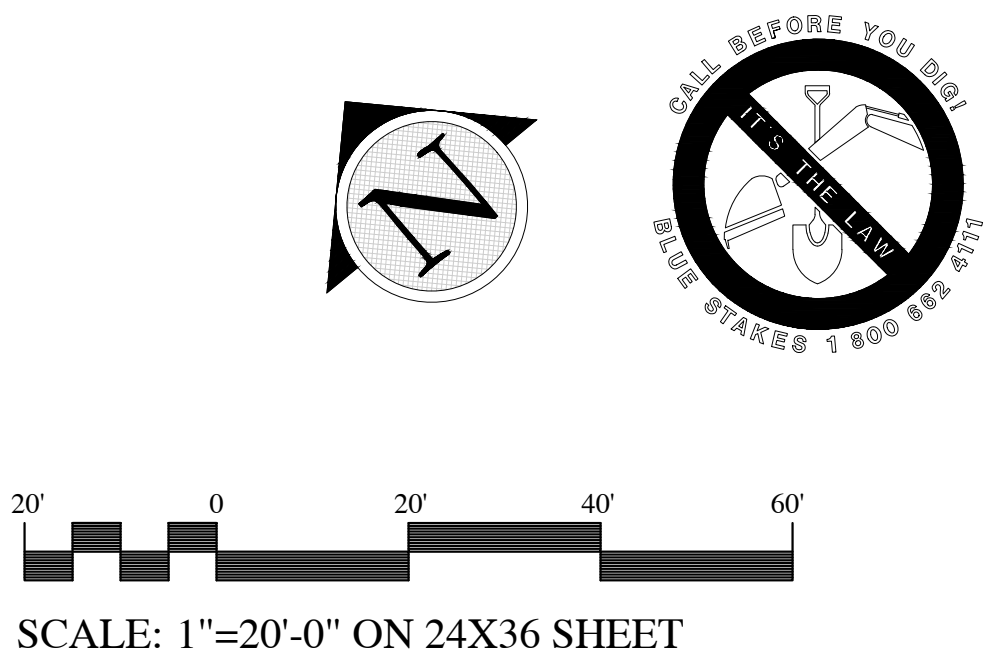
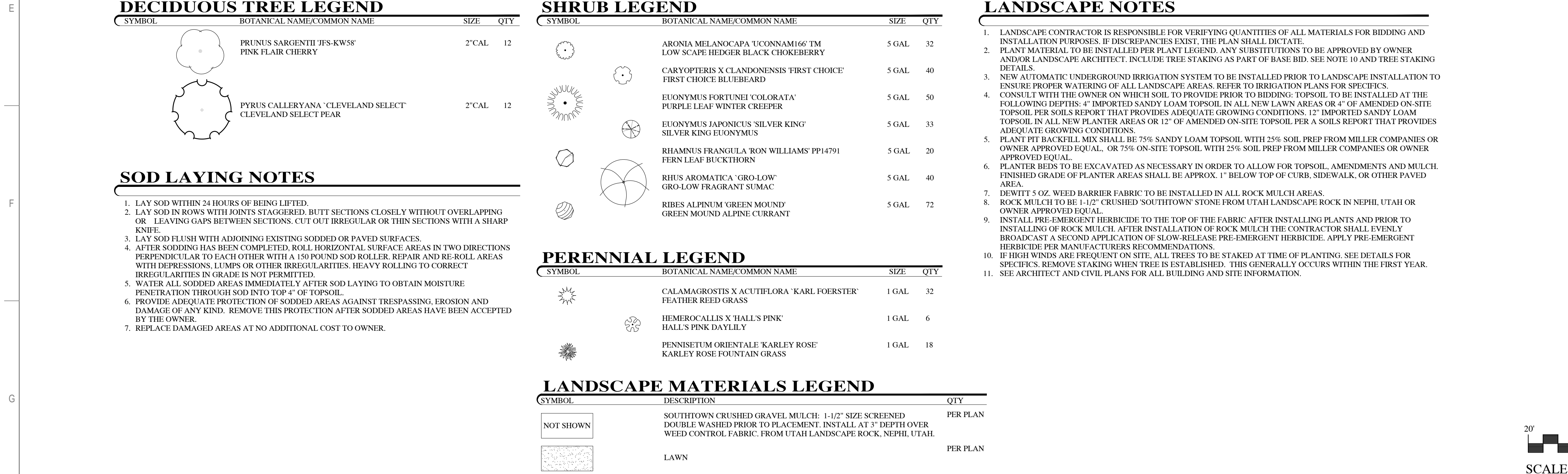
SHEET INFORMATION:

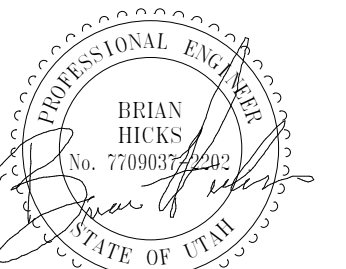
SITE PLAN OVERVIEW
NEXT STEP WAREHOUSE KEARNS
KEARNS, SALT LAKE COUNTY, UTAH

DRAWN BY:	CHECKED BY:	APPROVED BY:	SHEET:
DBJ	DBJ	DBJ	
PROJECT NO:	21-018		
DATE:	03/02/22		
SCALE:	1":20'		

CS-100

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PROJECT NUMBER	21033
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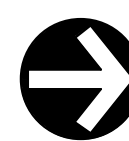
NEW BUILDING
"B" FOR "NEXT
STEP
WAREHOUSE"
KEARNS
METRO

74 WEST LIBERATOR DRIVE
EARNES METRO TOWNSHIP

PHOTOMETRIC SITE PLAN

SITE APPLICATION
11.24.21

E102

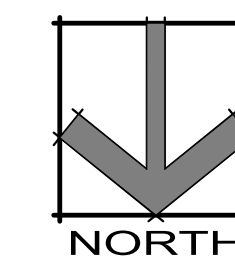
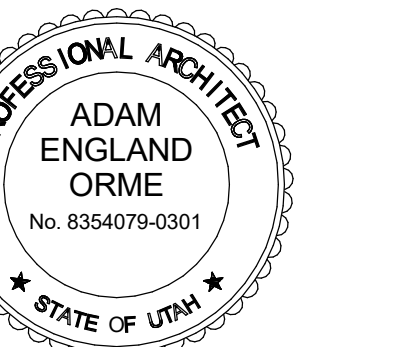


PHOTOMETRIC SITE PLAN

SCALE = 1" = 20'-0"

427 WEST 11950 SOUTH, SUITE #201
DRAPER, UTAH 84020
801.335.9900

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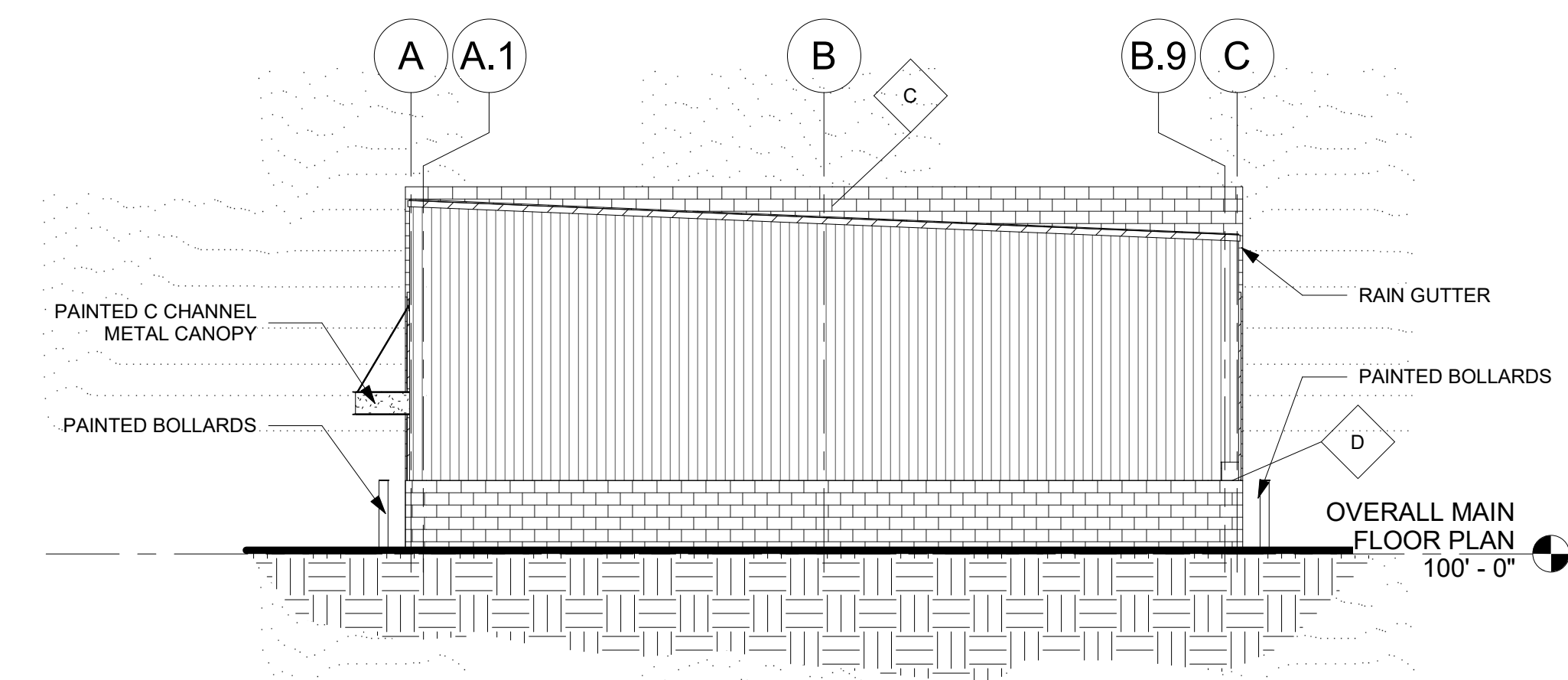
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PROJECT NUMBER	21033
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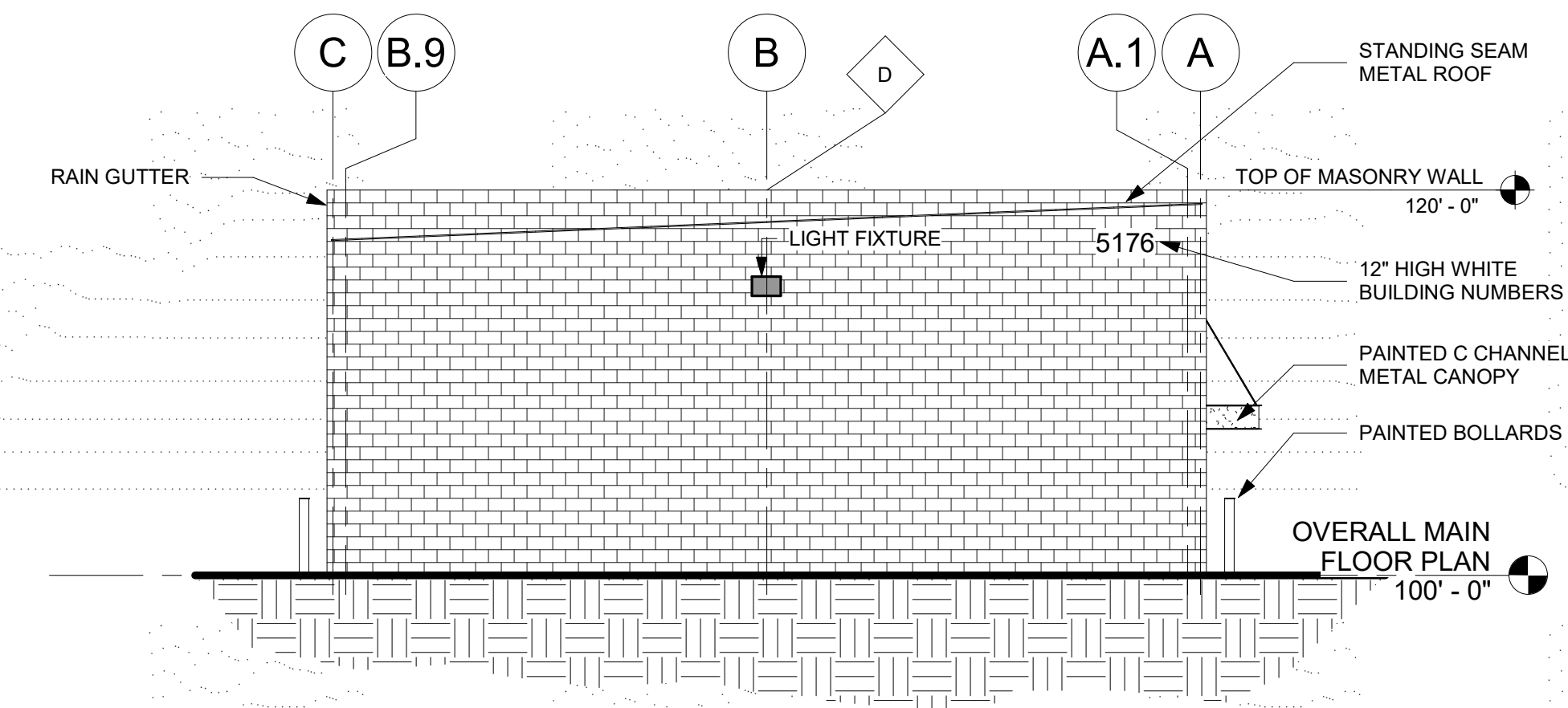
WEST LIBERATOR DRIVE
RMS METRO TOWNSHIP

BUILDING PERMIT
03.01.2022

A100a



7 EAST ELEVATION
SCALE: 1/8" = 1'-0"



8 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR BUILDING MATERIAL SCHEDULE	
A	METAL SALES - TLC-1 METAL PANEL 12" WIDE / COLOR = OLD ZINC GREY (W29)
B	METAL SALES - IC72 METAL PANEL 18" WIDE / COLOR = REGAL BLUE (W35)
C	AMERICAN ARCHITECTURAL IIII PANEL METAL PANEL - 36" WIDE / COLOR = PEARL GRAY IR. 47 S
D	8" CONCRETE MASONRY UNIT - SPLIT FACE / INTERSTATE BLOCK - LONE WOLF 204460

METAL ROOF SCHEDULE

STANDING SEAM METAL ROOF - AMERICAN BUILDING / POLAR WHITE IR .67 SRI 81

METAL SALES COLOR: SLATE GRAY FOR ALL ROOF TRIMS, GUTTER, DOWNSPOUTS, JAMB WRAP TRIM, J-TRIM, BASE TRIM, AND CANOPIES

DOOR AND WINDOW SCHEDULE

ALL WINDOWS WINODWS ABOVE MAN DOOR TO BE AMSCO WINDOWS - STUDIO SERIES WINDOWS - WHITE

INSULATED METAL DOOR AND HOLLOW METAL FRAME TO BE PAINTED WHITE COLOR TO MATCH WINDOW FRAME

ALL OVERHEAD DOOR ARE TO BE WAYNE DALTON DOOR 12'X14' WITH R VALUE OF 14.16 - WHITE COLOR.

EXTERIOR ELEVATION NOTES

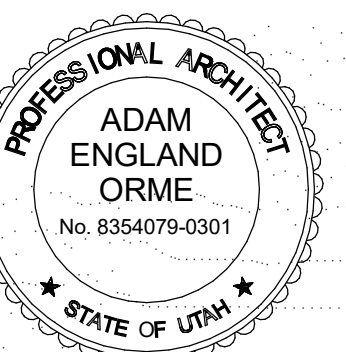
1. CONTRACTOR IS TO INSTALL (2) 6" METAL BOLLARD FOR EACH OVERHEAD DOOR. BOLLARDS ARE TO BE INSTALLED ON ON EACH SIDE OF THE DOOR OPENING - PAINT COLOR = SAFETY YELLOW.
2. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHT FIXTURE INFORMATION.
3. EXTERIOR WALLS ARE TO RECIEVE A 4' HIGH SPLIT FACE BOTTOM WAINSCOT WITH METAL PANEL FROM SPLIT FACE TO ROOF.
4. THE NORTH AND SOUTH FACE OF THE BUILDING ARE TO RECIEVE A 20' HIGH SPLIT FACE WALL.
5. STEEL C-CHANNEL CANOPY ABOVE MAIN DORS ARE TO BE PAINTED



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[illegible]

PROJECT NUMBER.....21033.

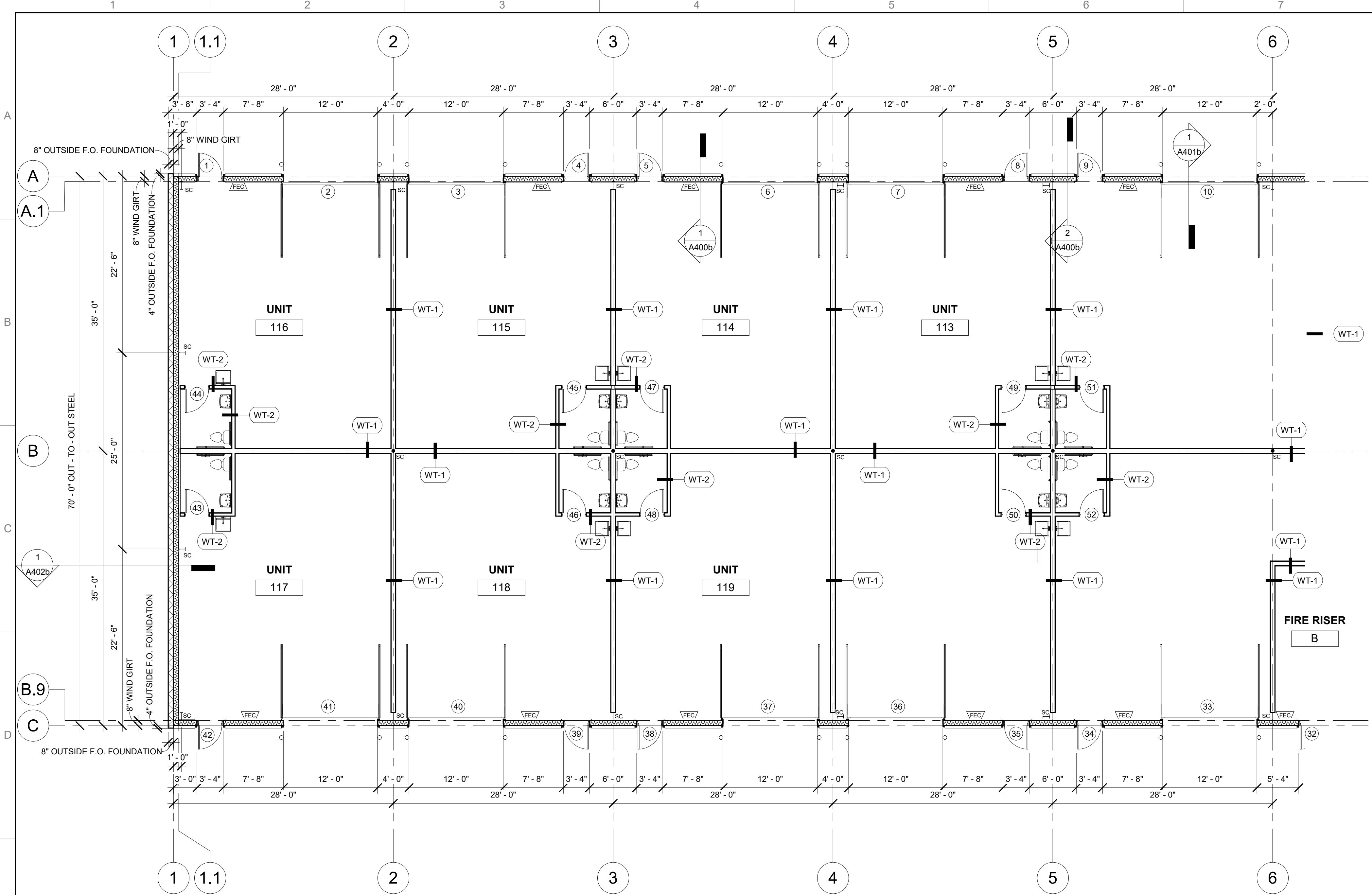
NEW BUILDING
"A" FOR "NEXT
STEP
WAREHOUSE"
KEARNS
METRO

5176 WEST LIBERATOR DRIVE

BUILDING ELEVATIONS

BUILDING PERMIT
03.01.2022

A200a



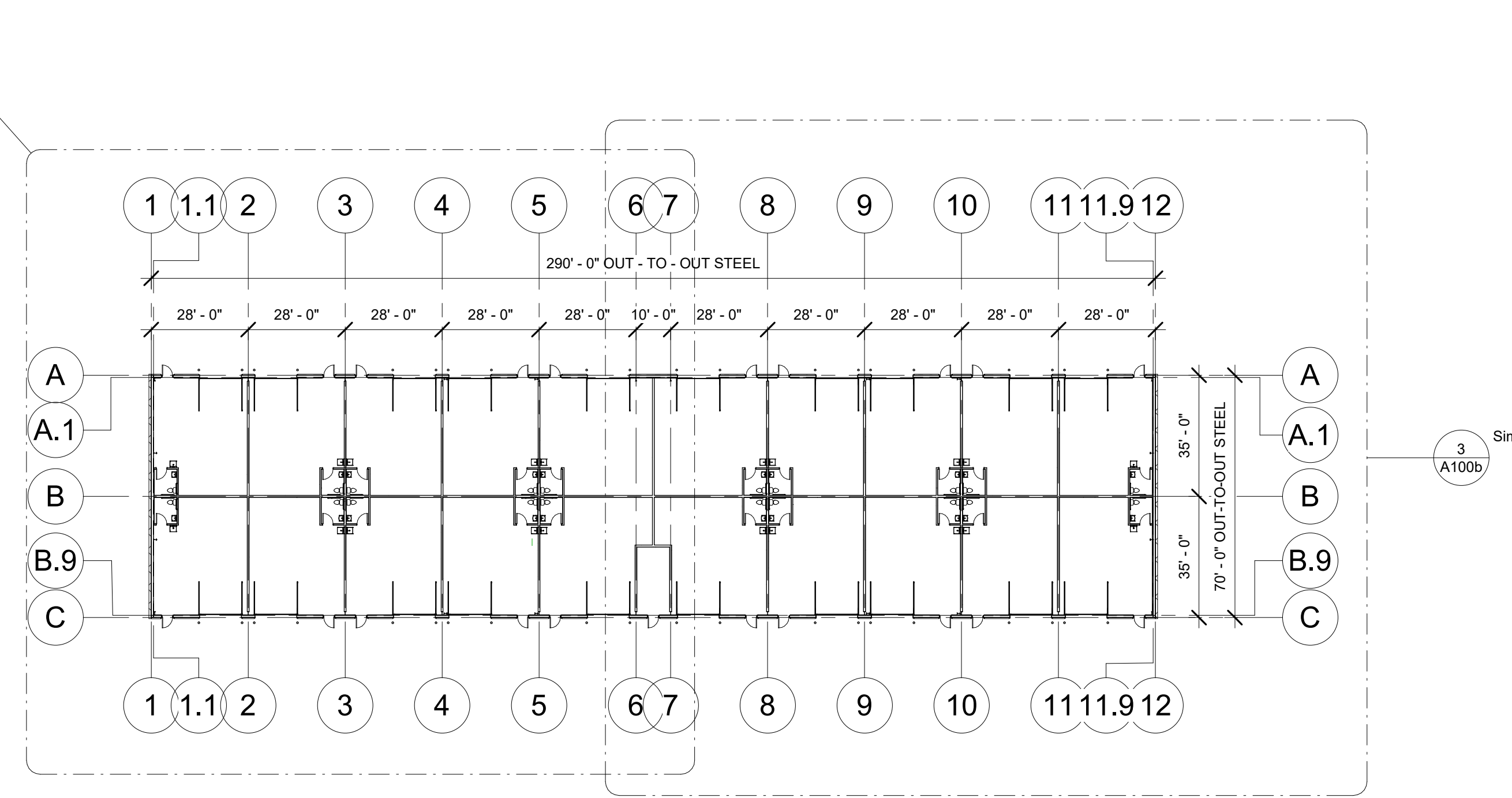
2 FLOOR PLAN - SOUTH SIDE
SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND		FINISH SCHEDULE	
UNIT XXX	INDICATES UNIT NUMBER	1.	ALL CONCRETE SLABS ARE TO RECEIVE A PENETRATING CONCRETE SEALER.
X	INDICATES DOOR NUMBER SEE SCHEDULE ON SHEET A600	2.	ALL TOILET ROOMS ARE TO RECEIVE 4" HIGH R.F.P. PANEL - SEE SHEET A600.
WT-1	INDICATES WALL TYPES SEE SHEET A100	3.	PROVIDE 4" WIDE BY 4" HIGH (TYP.) R.F.P. PANEL BEHIND LAUNDRY SINK.
WT-2	INDICATES WINDOW TYPES SEE SHEET A600	4.	CONTRACTOR IS TO PAINT THE GYPSUM BOARD WALLS AND CEILING - WHITE GYPSUM BOARD WITHIN EACH UNIT EXCEPT TOILET ROOM IS TO BE HUNG AND FIRE TAPED.
FEC	INDICATES A SEMI-RECESSED TYPE FIRE EXTINGUISHER	5.	
FD	INDICATES FLOOR DRAIN SEE PLUMBING	6.	
WC	INDICATES WOOD COLUMN		
SC	INDICATES STEEL COLUMN		

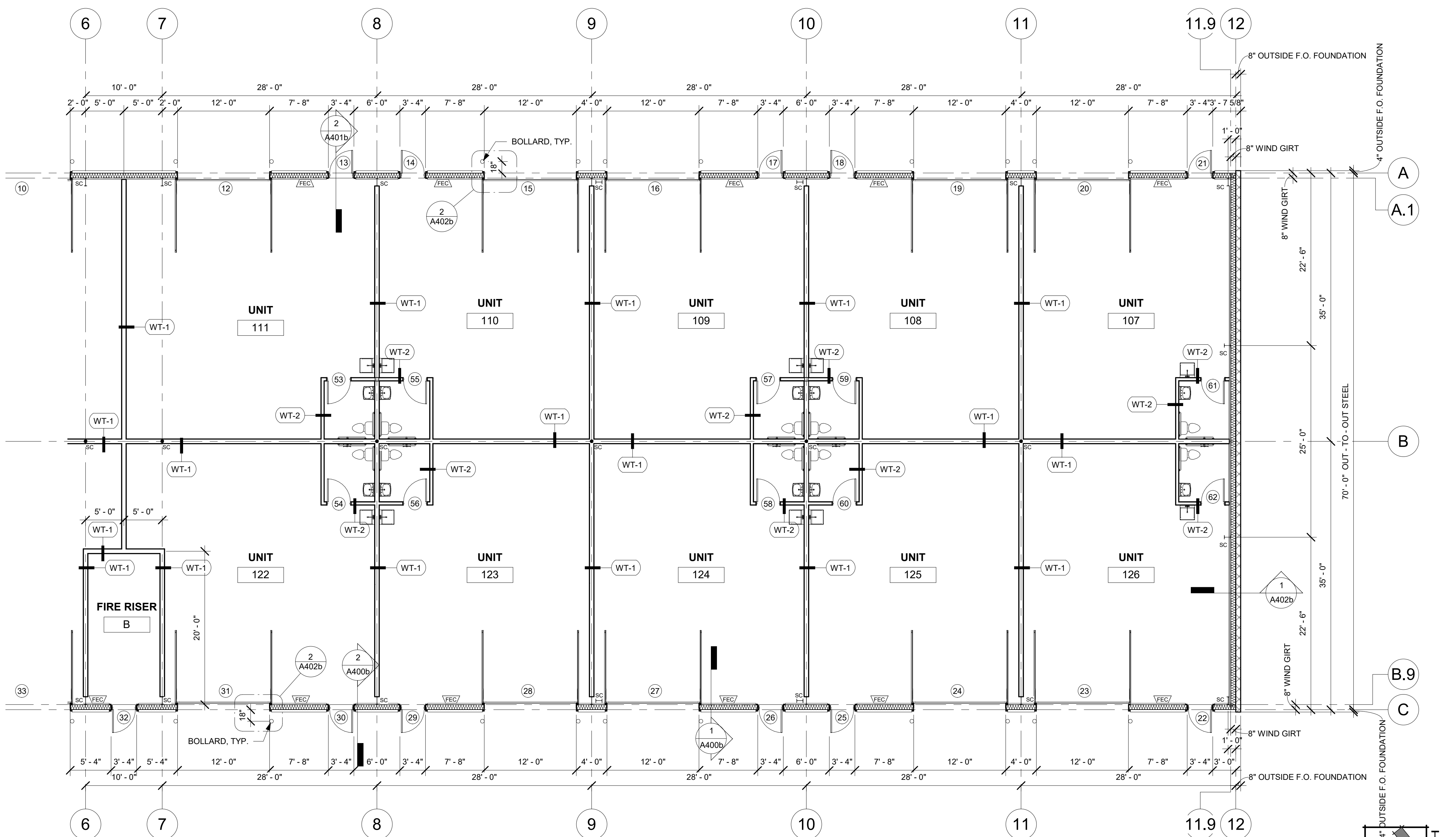
GENERAL PLAN NOTES	
1.	THIS PROJECT IS A METAL BUILDING STRUCTURE CREATED BY AMERICAN BUILDINGS. SEE DRAWINGS.
2.	CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
3.	SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
4.	ALL INTERIOR DEMISING WALLS TO BE 6" METAL STUDS WITH 5/8" GYPSUM BOARD, NO INSULATION.
5.	ALL TOILET WALLS TO BE 2X4 WOOD STUDS WITH 5/8" GYPSUM BOARD, NO INSULATION.
6.	ALL GYPSUM BOARD TO BE FIRE TAPED ONLY. PROVIDE SMOOTH TAPED SECTIONS.
7.	ALL UNITS ARE REQUIRED TO HAVE A FIRE EXTINGUISHER.
8.	SEE SHEET T200 FOR ADA STANDARDS AND CLEARANCE REQUIREMENTS

WALL TYPE: 6" METAL STUD	
WT-1	SCALE: 1" = 1'-0"

WALL TYPE: 2X4 TO MEZZANINE	
WT-2	SCALE: 1" = 1'-0"



1 OVERALL FLOOR PLAN
SCALE: 1/32" = 1'-0"



3 FLOOR PLAN - NORTH SIDE
SCALE: 1/8" = 1'-0"

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PROJECT NUMBER 21033

NEW BUILDING "B" FOR "NEXT STEP WAREHOUSE" KEARNS METRO

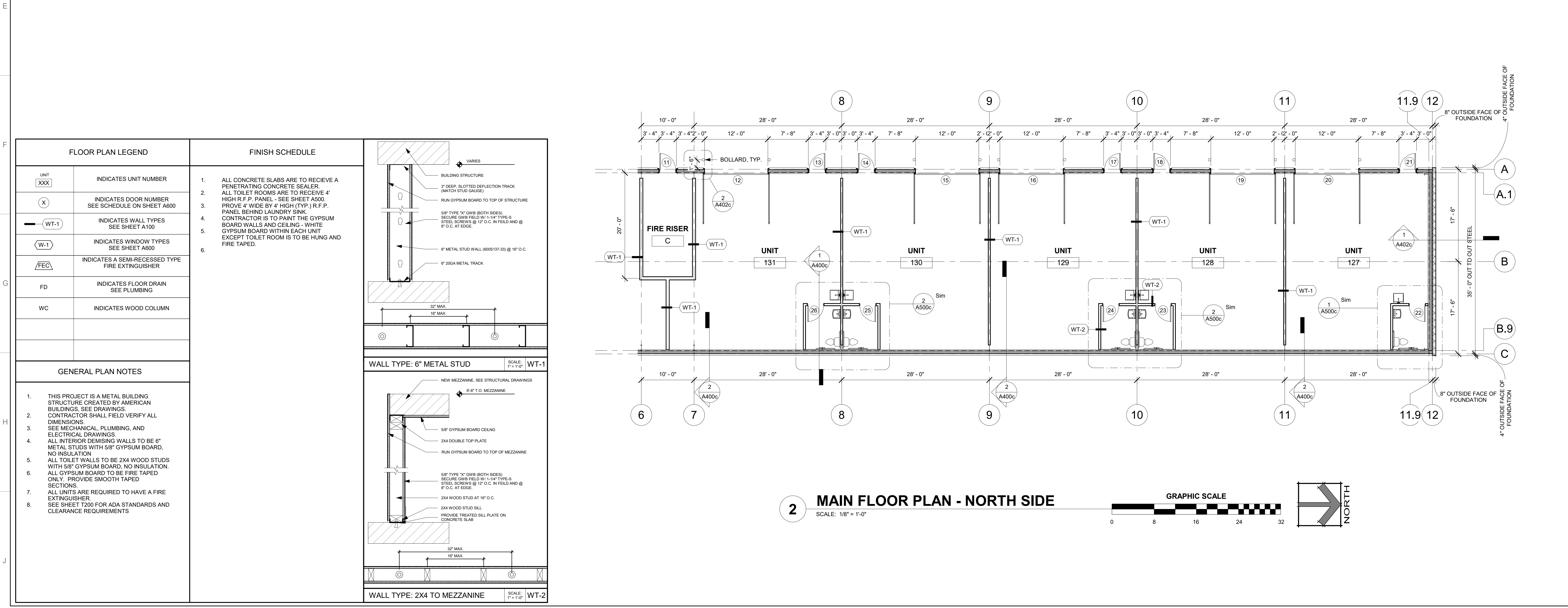
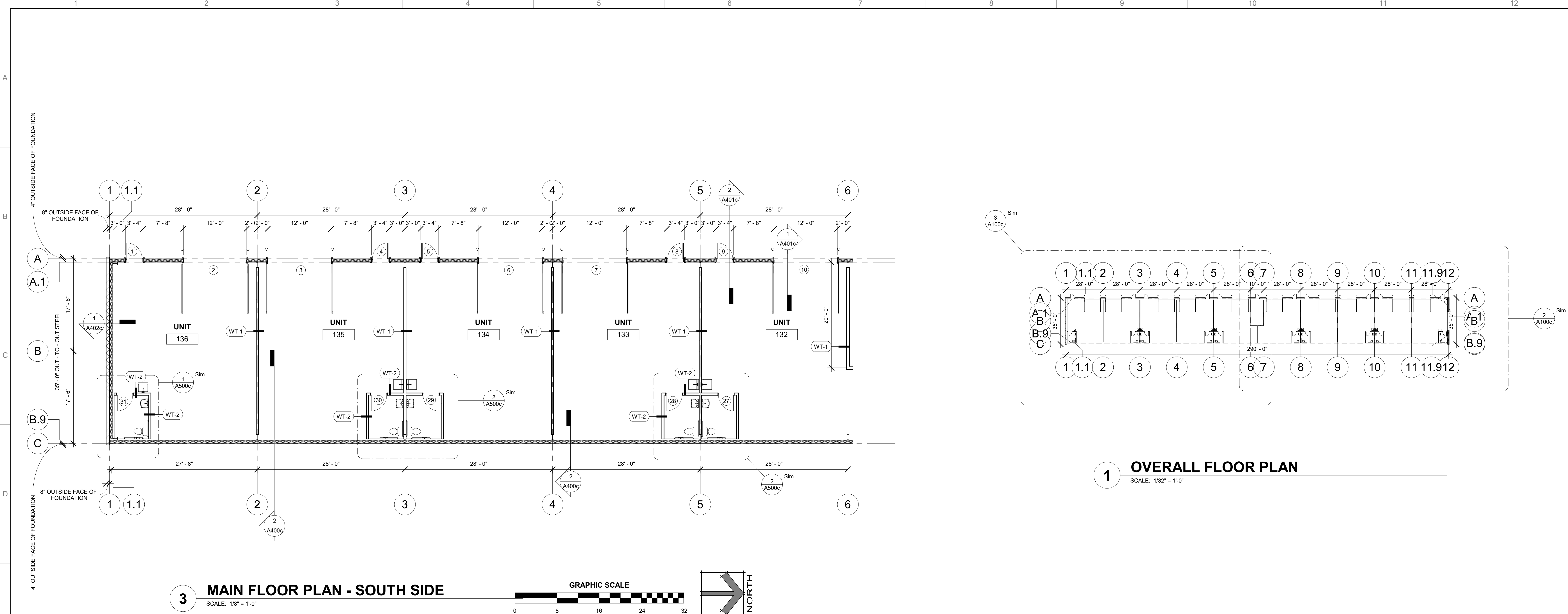
5174 WEST LIBERTADOR DRIVE
KEARNS METRO TOWNSHIP

FLOOR PLAN

BUILDING PERMIT 03.01.2022

A100b

A200b




FLOOR PLAN LEGEND	
UNIT XXX	INDICATES UNIT NUMBER
X	INDICATES DOOR NUMBER SEE SCHEDULE ON SHEET A600
WT-1	INDICATES WALL TYPES SEE SHEET A100
W-1	INDICATES WINDOW TYPES SEE SHEET A600
FEC	INDICATES A SEMI-RECESSED TYPE FIRE EXTINGUISHER
FD	INDICATES FLOOR DRAIN SEE PLUMBING
WC	INDICATES WOOD COLUMN

FINISH SCHEDULE	
1.	ALL CONCRETE SLABS ARE TO RECEIVE A PENETRATING CONCRETE SEALER.
2.	ALL TOILET ROOMS ARE TO RECEIVE 4' HIGH R.F.P. PANEL - SEE SHEET A500.
3.	PROVIDE 4' WIDE BY 4' HIGH (TYP.) R.F.P. PANEL BEHIND LAUNDRY SINK.
4.	CONTRACTOR IS TO PAINT THE GYPSUM BOARD WALLS AND CEILING - WHITE.
5.	GYPSUM BOARD WITHIN EACH UNIT EXCEPT TOILET ROOM IS TO BE HUNG AND FIRE TAPED.
6.	

GENERAL PLAN NOTES	
1.	THIS PROJECT IS A METAL BUILDING STRUCTURE CREATED BY AMERICAN BUILDINGS. SEE DRAWINGS.
2.	CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
3.	SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
4.	ALL INTERIOR DEMISING WALLS TO BE 6" METAL STUDS WITH 5/8" GYPSUM BOARD, NO INSULATION.
5.	ALL TOILET WALLS TO BE 2X4 WOOD STUDS WITH 5/8" GYPSUM BOARD, NO INSULATION.
6.	ALL GYPSUM BOARD TO BE FIRE TAPED ONLY. PROVIDE SMOOTH TAPED SECTIONS.
7.	ALL UNITS ARE REQUIRED TO HAVE A FIRE EXTINGUISHER.
8.	SEE SHEET T200 FOR ADA STANDARDS AND CLEARANCE REQUIREMENTS.

WALL TYPE: 6" METAL STUD	
SCALE: 1" = 1'-0"	WT-1
1.	BUILDING STRUCTURE
2.	3" DEEP BOTTLED DEFLECTION TRACK (MATCH STUD GAUGE)
3.	RUN GYPSUM BOARD TO TOP OF STRUCTURE
4.	5/8" TYPE "X" GWB (BOTH SIDES)
5.	SECURE GWB FIELD W/ 1-1/4" TYPE S STEEL SCREWS @ 12" O.C. IN FIELD AND @ 8" O.C. AT EDGE
6.	6" METAL STUD WALL (6005137-33) @ 16" O.C.
7.	6" 200A METAL TRACK
8.	32" MAX. 16" MAX.

WALL TYPE: 2X4 TO MEZZANINE	
SCALE: 1" = 1'-0"	WT-2
1.	NEW MEZZANINE, SEE STRUCTURAL DRAWINGS
2.	8-4" T.O. MEZZANINE
3.	5/8" GYPSUM BOARD CEILING
4.	2X4 DOUBLE TOP PLATE
5.	RUN GYPSUM BOARD TO TOP OF MEZZANINE
6.	5/8" TYPE "X" GWB (BOTH SIDES)
7.	SECURE GWB FIELD W/ 1-1/4" TYPE S STEEL SCREWS @ 12" O.C. IN FIELD AND @ 8" O.C. AT EDGE
8.	2X4 WOOD STUD AT 16" O.C.
9.	2X4 WOOD STUD SILL
10.	PROVIDE TREATED SILL PLATE ON CONCRETE SLAB
11.	32" MAX. 16" MAX.



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PROJECT NUMBER 21033

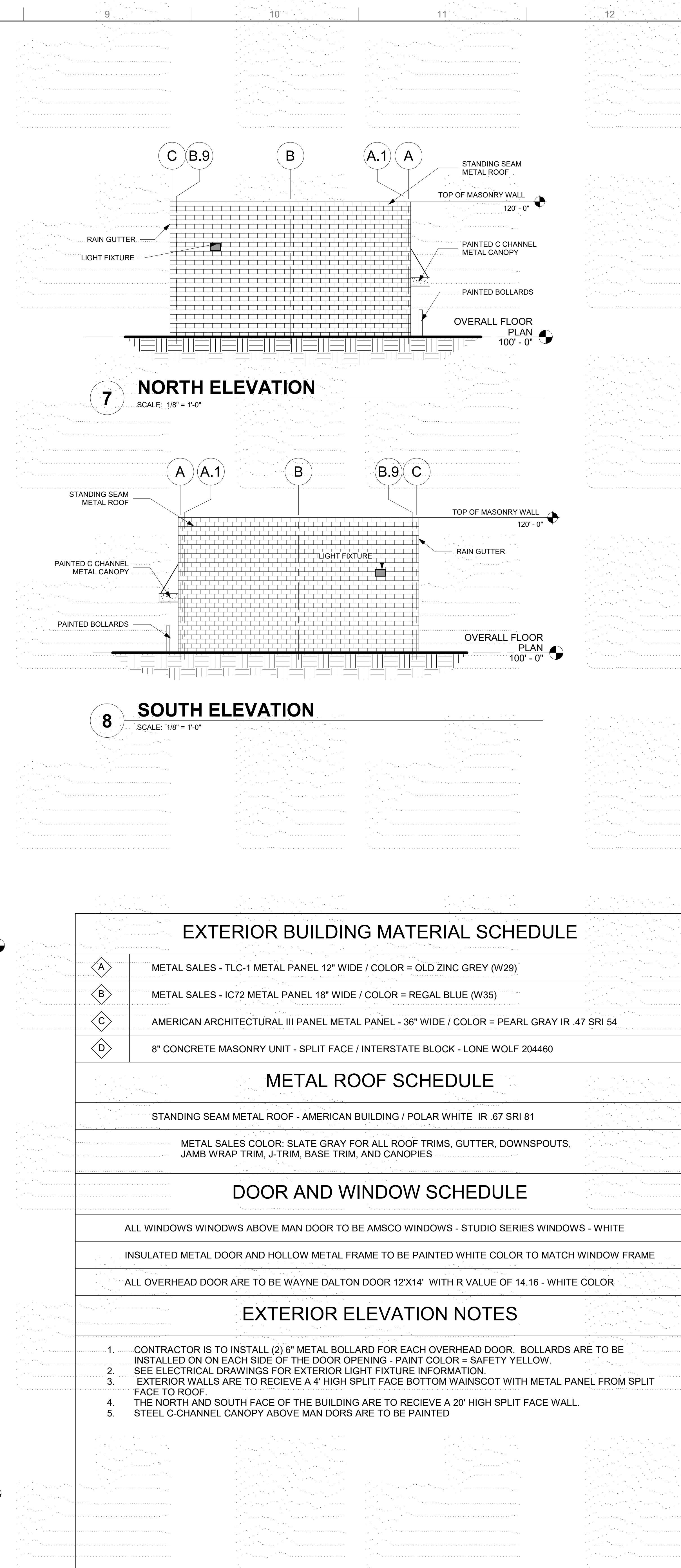
**NEW BUILDING
"C" FOR "NEXT
STEP
WAREHOUSE"
KEARNS
METRO**

5172 WEST LIBERTADOR DRIVE
KEARNS METRO TOWNSHIP

FLOOR PLAN

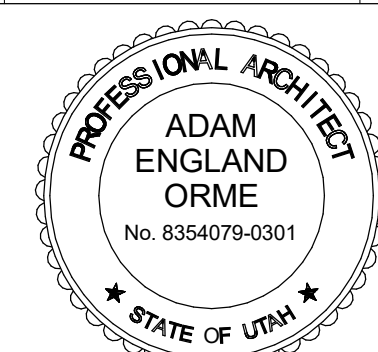
BUILDING PERMIT
03.01.2022

A100c





427 WEST 11950 SOUTH, SUITE #201
DRAPER, UTAH 84020
801 335 9900

[illegible]

PROJECT NUMBER	21
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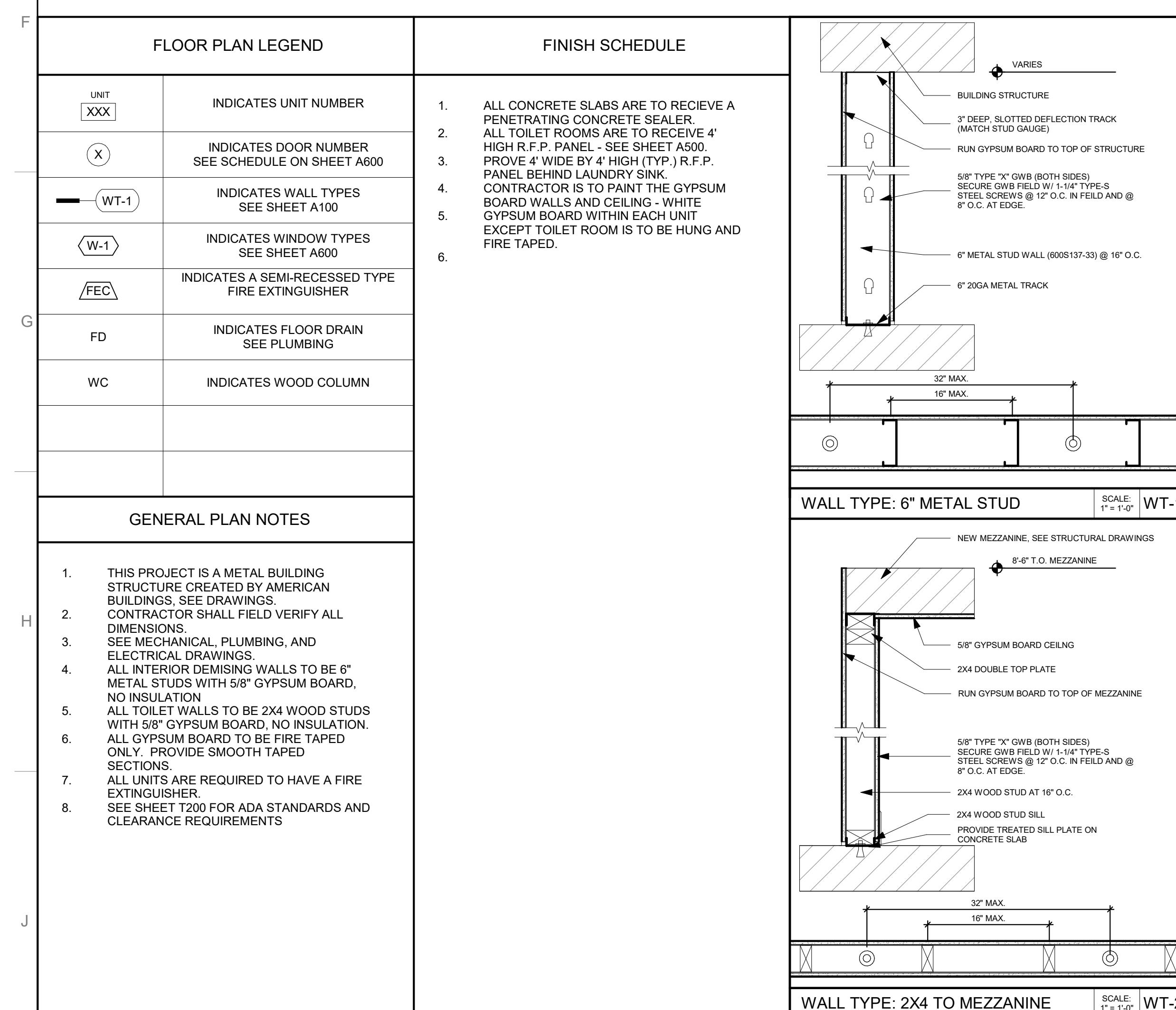
NEW BUILDING
"D" FOR "NEXT
STEP
WAREHOUSE"
KEARNS
METRO

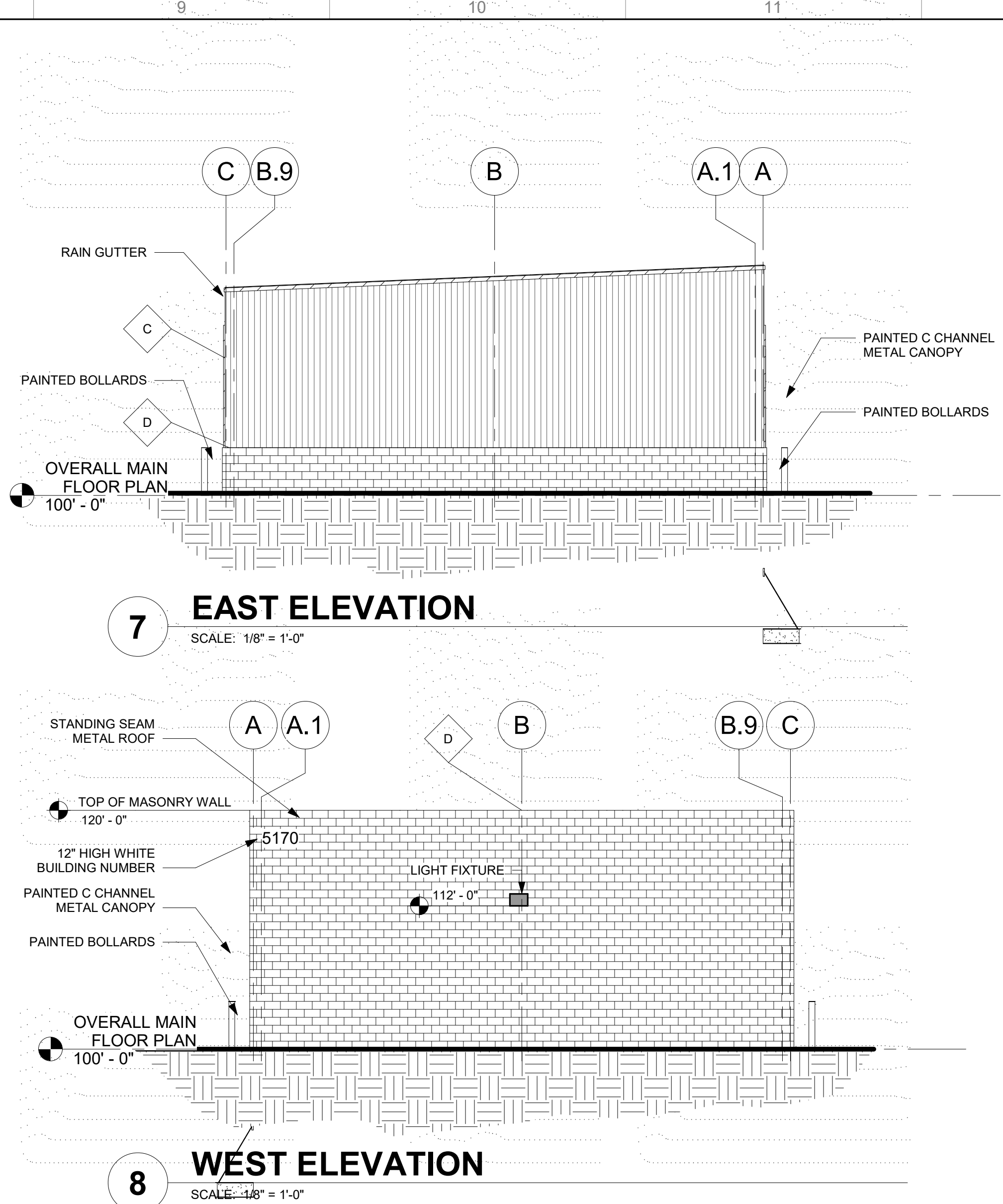
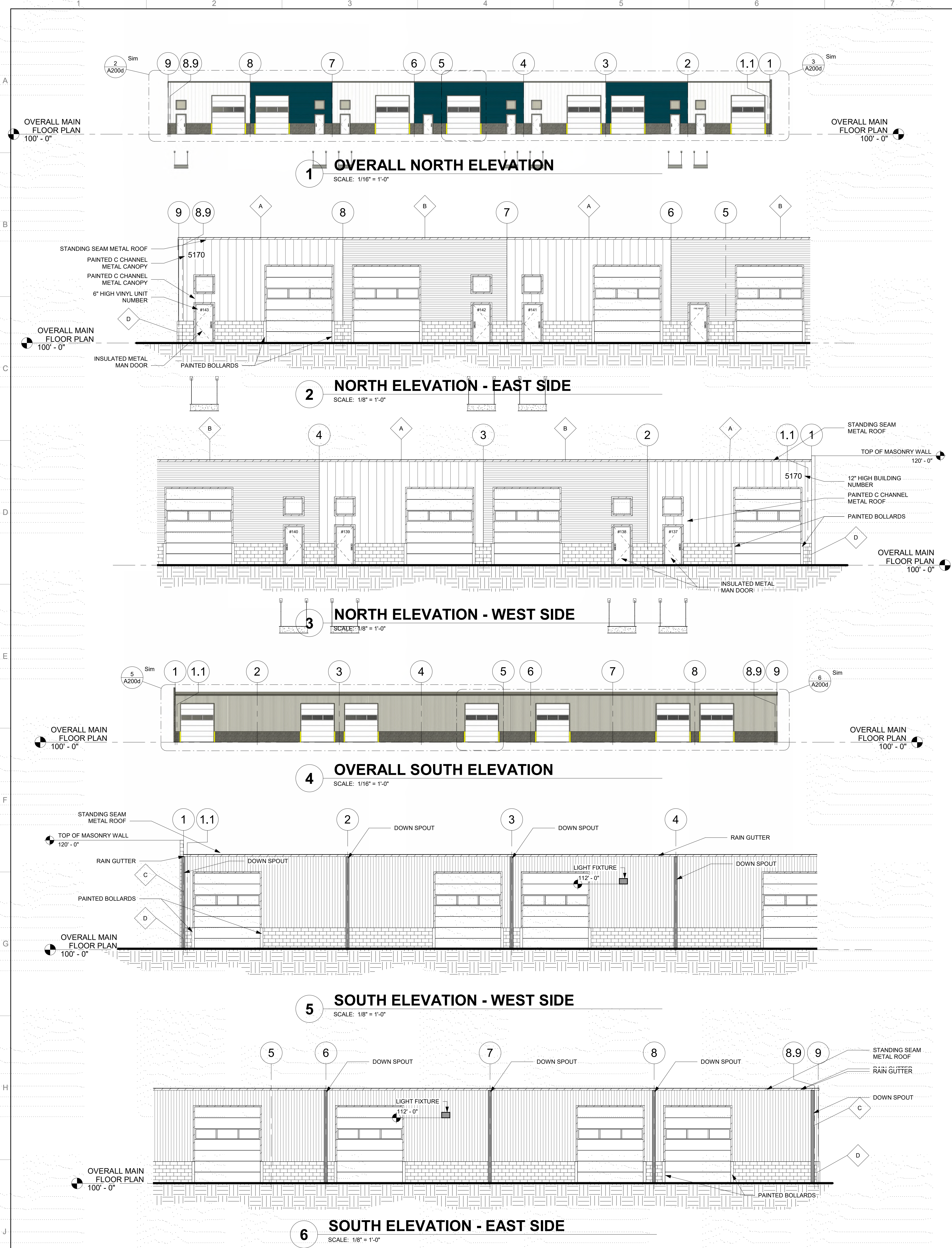
5170 WEST LIBERATOR DR.

FLOOR PLAN


PERMIT SET
02.01.2022

A100c





EXTERIOR BUILDING MATERIAL SCHEDULE		No.	Description	Date
A	METAL SALES - TLC-1 METAL PANEL 12" WIDE / COLOR = OLD ZINC GREY (W29)			
B	METAL SALES - IC72 METAL PANEL 18" WIDE / COLOR = REGAL BLUE (W35)			
C	AMERICAN ARCHITECTURAL III PANEL METAL PANEL - 36" WIDE / COLOR = PEARL GRAY IR .47 SRI 54			
D	8" CONCRETE MASONRY UNIT / 4" HIGH - SPLIT FACE / INTERSTATE BLOCK - LONE WOLF 204460			
METAL ROOF SCHEDULE				
STANDING SEAM METAL ROOF - AMERICAN BUILDING / POLAR WHITE IR .67 SRI 81				
METAL SALES COLOR: SLATE GRAY FOR ALL ROOF TRIMS, GUTTER, DOWNSPOUTS, JAMB WRAP TRIM, J-TRIM, BASE TRIM, AND CANOPIES				
DOOR AND WINDOW SCHEDULE				
ALL WINDOWS WINDOWS ABOVE MAN DOOR TO BE AMSCO WINDOWS - STUDIO SERIES WINDOWS - WHITE				
INSULATED METAL DOOR AND HOLLOW METAL FRAME TO BE PAINTED WHITE COLOR TO MATCH WINDOW FRAME				
ALL OVERHEAD DOOR ARE TO BE WAYNE DALTON DOOR 12'X14' WITH R VALUE OF 14.16 - WHITE COLOR				
EXTERIOR ELEVATION NOTES				
1. CONTRACTOR IS TO INSTALL (2) 6" METAL BOLLARD FOR EACH OVERHEAD DOOR. BOLLARDS ARE TO BE INSTALLED ON ON EACH SIDE OF THE DOOR OPENING - PAINT COLOR = SAFETY YELLOW.				
2. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHT FIXTURE INFORMATION.				
3. EXTERIOR WALLS ARE TO RECIEVE A 4' HIGH SPLIT FACE BOTTOM WAINSCOT WITH METAL PANEL FROM SPLIT FACE TO ROOF.				
4. THE NORTH AND SOUTH FACE OF THE BUILDING ARE TO RECIEVE A 20' HIGH SPLIT FACE WALL.				
5. STEEL C-CHANNEL CANOPY ABOVE MAN DORS ARE TO BE PAINTED				



GOULD PLUS ARCHITECTS

427 WEST 11950 SOUTH, SUITE #201
DRAPER, UTAH 84020
801.335.9900

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PROJECT NUMBER 21033

NEW BUILDING "D" FOR "NEXT STEP WAREHOUSE" KEARNS METRO


5170 WEST LIBERATOR DRIVE
KEARNS METRO TOWNSHIP

BUILDING ELEVATIONS

PERMIT SET
02.01.2022

A200d






**GOULD PLUS
ARCHITECTS**

427 WEST 11950 SOUTH, SUITE #201
DRAPER, UTAH 84020
801.335.9900

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No.	Description	Date



PROFESSIONAL ARCHITECT
ADAM
ENGLAND
ORME
No. 8354079-0301
STATE OF UTAH

PROJECT NUMBER 21033

**NEW BUILDING
"D" FOR "NEXT
STEP
WAREHOUSE"
KEARNS
METRO**

5170 WEST LIBERTADOR DRIVE
KEARNS METRO TOWNSHIP

**PERSPECTIVE
RENDERINGS**

PERMIT SET
02.01.2022

A210

ATTACHMENT #4
REVIEWING AGENCIES RESPONSE

AGENCY: Planning

DATE: 3.21.2022

RECOMMENDATION: Revisions Required

1. Landscaped peninsulas must be 9' wide, curb face to curb face. The peninsulas between spaces 1-24 are only 8' wide.
2. Parking spaces must be 9' wide x 18' deep. Provide at least one parking space with dimensions to demonstrate compliance.
3. A comprehensive signage package must be submitted for technical review.
4. One shade tree and four shrubs must be located within each landscape planter island and peninsula. Many of the islands/peninsulas meet this but not all.
4. 40% of the trees and shrubs must be coniferous/evergreen. Please include a calculation demonstrating compliance on the revised plan.
5. Lawn area can't exceed 20% of the landscaped area. Please include a calculation demonstrating compliance.
6. Mulch areas must be 3-4 inches deep. Please include a note on the revised plan indicating this.
7. Landscaped areas shall be provided with a WaterSense labeled smart irrigation controller which automatically adjusts the frequency and/or duration of irrigation events in response to changing weather conditions. All controllers shall be equipped with automatic rain delay or rain shut-off capabilities. The specs for the controller on the irrigation plan don't seem to include an automatic rain delay/shutoff capability.
8. Please indicate the location of service and mechanical equipment. If these are located on the ground, in the public view, they need to be adequately screened.
9. Indicate the location of trash dumpsters and the enclosure/screening plans for them.

AGENCY: Geology

DATE: 3.21.2022

RECOMMENDATION: Conceptual Approval – Additional Items Required

1. Footing and foundation excavations shall be inspected and approved in writing by a Qualified Geotechnical Engineer prior to the placement of concrete forms or rebar.

AGENCY: Grading Review

DATE: 3.10.2022

RECOMMENDATION: Revisions Required

- 1- Received an updated copy of the Geotechnical Engineering report prepared by GSH Engineering on the proposed slope stability along the north property line.
- 2- The recommendation and plan is to use a reinforced soil face, with a chimney drain behind a Rock protected slope. This will need to be reviewed by the Structural engineer and potentially by the third party Geotechnical engineer. No option was recommended for the deep foundation possibility.
- 3- The proposed rock slope extends beyond the property line along the East and West boundary of lot 100, which will require a permanent easement or temporary construction easement from the property owner. which may include Rocky Mountain Power due to the power line easement.
- 4- How will the proposed grading and retaining be maintained within the property boundaries at the property lines.
- 5- The Stormwater Management Plan is found to be acceptable at this time.
- 6- Need to complete the provided (see planner) Stormwater Maintenance Agreement (SWMA), approved to form by the Kearns attorney and Mayor. Attach the SWMA and SWMP and record both documents over the subject property and provide a copy of the recorded document to this office for our records and future required inspections.
- 7- Special inspection will be required during the grading of the engineered slope and rock slopes.
- 8- Special inspection agreement will be provided at the time of the Grading permit And SWPPP review process.
- 9- All site grading is to be completed under the grading permit process administered through planning and development services.
- 10- Footing excavations shall be inspected and approved in writing by a qualified Geotechnical engineer prior to the placement of concrete forms and rebar.

AGENCY: Urban Hydrology

DATE: 03.21.2022

RECOMMENDATION: Revisions Required

1. Follow final drainage and grading plan approved during building review process.
2. The callout for storm drain catch basin 10 on sheet CU-106 appears to be missing from the profile view.
3. Many of the invert elevations of the storm drain pipes at junctions are not at the same elevation, is there a reason for this? See Sheets CU-104 through CU-110 for details.

ATTACHMENT #4

4. Geographic Information Systems (GIS) data is due prior to final approval. After drawings are approved please submit GIS data for review and approval (Section 17.20.150.A.2 & 17.20.540.A.2). Contact Jefferson Thomson at JeThomson@slco.org or 385-468-6614 regarding data type and format.

5. Provide Engineer's estimate of storm drain and transportation improvements for bond estimate after plans are finalized.

AGENCY: Traffic

DATE: 03.21.2022

RECOMMENDATION: Conceptual Approval – Additional Items Required

1. See CSD-101 for a comment.

AGENCY: Surveyor

DATE: 03.18.2022

RECOMMENDATION: Conceptual Approval

AGENCY: Unified Fire Authority

DATE: 03.09.2022

RECOMMENDATION: Conceptual Approval

1. Submit fire sprinkler and alarm plans after 3rd party review to ufaplanreviews@unifiedfire.org

AGENCY: Health Department

DATE: 03.08.2022

RECOMMENDATION: Conceptual Approval

Project is not located in SLCo Protected Watershed. Project is not located in Drinking Water Source Protection Zone. Water and sewer letters have been uploaded.

AGENCY: Building

DATE: 03.07.2022

RECOMMENDATION: Conceptual Approval

Plan review for code compliance of the building will not be done at this stage. It will be done under the building permit process. That being said, please note the following, separate building permits are required for the construction of each new building. At time of building permit application, provide complete building plans showing compliance with current building code.

Please note that a separate building permit is required for the construction of the rock retaining wall.

AGENCY: Addressing

DATE: 03.07.2022

RECOMMENDATION: Conceptual Approval

Addressing looks good. I was able to find the unit numbering by reviewing the floor plans. Please include a table of the following numbering schema.

UNIT ADDRESSING (44 Total)

-Bldg. A, 5176 W, Units 100-106

-Bldg. B, 5174 W, Units 107-126

-Bldg. C, 5172 W, Units 127-136

-Bldg. D, 5170 W, Units 137-143