



Planning & Development Services Division

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Millcreek Township Planning Commission

Public Meeting Agenda

REVISED

Wednesday, December 11, 2013 4:00 P.M.

**THE MEETING WILL BE HELD AT SALT LAKE COUNTY GOVERNMENT CENTER
2001 SOUTH STATE STREET, SOUTH BUILDING, MAIN FLOOR, USU EXTENSION ROOM,
ROOM S1010**

ANY QUESTIONS, CALL (385) 468-6700

*REASONABLE ACCOMMODATIONS FOR QUALIFIED INDIVIDUALS MAY BE PROVIDED
UPON RECEIPT OF A REQUEST WITH 5 WORKING DAYS NOTICE. PLEASE CONTACT
WENDY GURR AT 385-468-6707. TTY USERS SHOULD CALL 711.*

The Planning Commission Public Meeting is a public forum where the Planning Commission receives comment and recommendations from applicants, the public, applicable agencies and County staff regarding land use applications and other items on the Commission's agenda. In addition, it is where the Planning Commission takes action on these items. Action may be taken by the Planning Commission on any item listed on the agenda which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

OTHER BUSINESS ITEMS

PUBLIC HEARINGS

Rezone - (Continued From 11/13/2013)

28637 – Rick Whiting is requesting approval of a Zone Change from the R-2-8 (Residential) zone to the R-M (Residential Multi-Family) zone in order to allow for additional uses on the subject property. **Location:** 3945 South 1300 East. **Community Council:** Millcreek. **Planner:** Lyle Gibson

Conditional Use -

28687 – Elias Haddad is requesting conditional use approval to operate as an agency for the rental of motor vehicles, trailers or campers in addition to the existing gas station. **Location:** 2905 East 4430 South. **Zone:** C-2 (Community Commercial). **Community Council:** East Mill Creek. **Planner:** Lyle Gibson

Exception Request -

28706 – Adam Maher is requesting an exception to the installation of curb, gutter, and sidewalk along 945 E. in relation to application 28351. **Location:** 3225 South 900 East. **Zone:** R-M (Residential Multi Family). **Community Council:** Canyon Rim. **Planner:** Lyle Gibson

Subdivisions -

28673 – Richard Sorensen is requesting approval of a 3-lot subdivision. These proposed lots front a private drive so will each be ½ acre or larger as required by ordinance. **Location:** 3612 South Virginia Way (3450 East). **Zone:** R-1-8 (Residential). **Community Council:** East Mill Creek. **Planner:** Lyle Gibson

28704 – Richard Cook is requesting approval of a 2-lot subdivision. The lots front 2300 East with a standard lot and a flag lot as proposed. **Location:** 3702 South 2300 East. **Zone:** R-2-10 (Residential). **Community Council:** East Mill Creek. **Planner:** Lyle Gibson

PUD Subdivisions -

28695 – Dade Rose is requesting approval of a 17-unit Residential Planned Unit Development (PUD) to be known as the Hamptons PUD. **Location:** 3662 South, 3674 South, 3680 South, and 3690 South on 2300 East. **Zone:** R-2-10 (Residential). **Community Council:** East Mill Creek. **Planner:** Lyle Gibson

28607 – The applicant, Russ Sorenson, is requesting approval of a Residential Planned Unit Development (PUD) consisting of 10 Single Family Dwelling units, to be known as the “The Woods at Rosecrest”. **Location:** 2455 East to 2477 East, 3225 South and 2450 East Lambourne Avenue (3160 South). **Zone:** R-1-8 (Residential). **Community Council:** Canyon Rim. **Planner:** Lyle Gibson

BUSINESS MEETING

Previous Meeting Minutes Review and Approval

- 1) Approval of Minutes from the November 13, 2013 meeting.

Other Business Items (as needed)

ADJOURN



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, December 11, 2013	04:00 PM	File No:	2	8	6	3	7	
Applicant Name:	Rick Whiting	Request:	Zone Change						
Description:	Rezone from R-2-8 to RM								
Location:	3945 S. 1300 E.								
Zone:	R-M Residential Multi-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Planning Commission Rec:	Continue								
Community Council Rec:	Continue								
Staff Recommendation:	Approval								
Planner:	Lyle Gibson								

1.0 BACKGROUND

1.1 Summary

Continued from November's Planning Commission meeting in order to allow time for a recommendation from the Millcreek Community Council before making a recommendation to the County Council.

Rick Whiting is requesting approval of a Zone Change from the R-2-8 (Residential) zone to the R-M (Residential Multi-Family) zone in order to allow for additional uses on the subject property. The intent of the applicant in receiving the zone change would be for the purpose of having a medical office at this location. The site is 0.41 acres in size.

The subject property is zoned R-2-8 (low to medium density residential). The current zoning primarily allows for single and 2 family residential homes and includes nearly no commercial uses. The proximity to St. Mark's Hospital as a medical center is the link to compatible uses in the area. The subject property lies directly west, across the street, from the St. Mark's Parking lot. Immediately adjacent to the subject property are single family R-1-8 residences to the north and east, then the homes zoned R-2-8 that match the existing zoning of the subject property along 1300 E. to the south.

The newly requested R-M zone is mainly conducive of low density residential as that is the extent of the permitted uses allowed in the zone, but it expands on the existing zoning by permitting more commercial uses such as office space and medical which must be permitted through a conditional use approval. The full list of allowed uses are listed below. The current allowed density is 6.0 units per acre as single family units, or 10.0 units per acre in two-family units. The proposed zone change would allow Single-family dwellings 7.0 units per acre / Two-family dwellings 12.0 units per acre / Three-family dwellings 15.0 units per acre / Four-family dwellings 18.0 units per acre / Multi-family dwellings 25.0 units per acre.

1.2 Neighborhood Response

As of the date of this report staff has not received any comments from the neighborhood. During the previous hearing at the Millcreek Township Planning Commission the property owner directly adjacent to this lot on the south side was happy to see the concept for use as office and was in support of the zone change.

1.3 Community Council Response

This item was heard by the Millcreek Community Council on 11/5/2013. The community council was very mixed about whether or not this zone change was appropriate. They had concerns about more intense uses affecting traffic and felt that this property being rezoned to R-M may be setting a precedence for that side of 1300 E. They recommended that the item be continued to allow them more time to receive feedback from residence before making a recommendation for or against the proposal. The item has been rescheduled for the next Millcreek Community Council meeting on 12/3/2013.

2.0 ANALYSIS

2.1 General Plan General Plan Map

Map Designations - The subject property is identified on the Millcreek Township General Plan Map, adopted in 2009, as being located in a "Blue" or "Stable" area. This is an area that would expect to experience very little change over time. However, the subject property is also located along 1300 East, a designated Corridor. Designated corridors in a "Stable" designation are areas where some additional residential density or non-residential uses are anticipated to occur over time. More specifically, stable does not equate with absolutely no change over time, but recognizes that limited change, on small sites and along corridors are likely to occur. This site would seem to meet the intent of the adopted General Plan Map.

Best Practices

Land Use & Mobility - The Land Use & Mobility Best Practice encourages increased density near economic centers and along corridors where transit is available. This helps to provide a land use buffer from more intense uses and traffic areas for the least intense single family uses.

Corridors - The Corridors Best Practice supports some increased residential density and use intensity along corridors in "Stable" areas. This is where opportunities for improved transit, buffering, and in-fill development are anticipated to occur. Developments that follow the County Standards and the Best Practices within the General Plan will likely result in more efficient and sustainable development and improved economic growth and sustainability of a community.

2.2 Existing Zoning and Land Use

Current Zone: R -2-8

19.32.010 Purpose of provisions.

The purpose of the R-2 zones is to establish low to medium density residential neighborhoods which provide persons who reside therein a comfortable, healthy, safe and pleasant environment.

19.32.020 Permitted uses.

Zone Permitted Uses

R-2-6.5, R-2-8, R-2-10 — Accessory uses and buildings customarily incidental to a permitted use provided the total square footage of all accessory buildings does not exceed eight hundred square feet on lots under one-half acre or one thousand two hundred square feet on lots one-half acre or larger;

- Agriculture;
- Home business, subject to [Chapter 19.85](#)
- Home day care/preschool, subject to [Section 19.04.293](#)
- Household pets;
- Residential facility for elderly persons;
- Residential facility for persons with a disability;
- Single-family dwelling;
- Two-family dwelling.

19.32.030 Conditional uses.

R-2-6.5, R-2-8, R-2-10 — Accessory uses and buildings customarily incidental to a conditional use. Any accessory building or buildings where the total square footage exceeds eight hundred square feet on lots under one-half acre or one thousand two hundred square feet on lots one-half acre or larger;

- Cemetery;
- Day care/preschool center, subject to [Section 19.76.260](#)
- Dwelling group.
- Golf course;
- Home day care/preschool, subject to [Section 19.04.293](#)
- Nursery and greenhouse, provided that there is no retail sales;
- Pigeons, subject to health department regulations;
- Planned unit development;
- Private educational institutions having an academic curriculum similar to that ordinarily given in public schools;
- Private nonprofit recreational grounds and facilities;
- Public and quasi-public uses;
- Short-term rental provided:
 - A. The dwelling unit is located in a single-family or two-family dwelling, but not located in a planned unit development or dwelling group; and
 - B. The site has frontage on a street with an existing or proposed right-of-way of at least sixty-six feet, as identified on the map entitled "Road Widening and Improvement Map" on file with the development services division and such map is made by this reference, as such, a part of this title as if fully described and detailed herein;
- Sportsman's kennel with a minimum lot area of one acre;
- Temporary buildings for uses incidental to construction work, which buildings must be removed upon the completion of the construction work. If such buildings are not removed within ninety days upon completion of construction work and thirty days after notice, the building will be removed by the county at the expense of the owner.

2.3 Proposed Zoning

19.44.010 Purpose of provisions.

The purpose of the R-M zone is to provide areas in the county for high-density residential development.

19.44.020 Permitted uses.

Permitted uses in the R-M zone include:

- Agriculture;
- Home business, subject to [Chapter 19.85](#);
- Home day care/preschool, subject to [Section 19.04.293](#);
- Household pets;
- Residential development, with a maximum number of two units per structure per lot;
- Residential facility for elderly persons.

19.44.030 Conditional uses.

Conditional uses in the R-M zone include:

- Airport;
- Apartments;
- Apartments for elderly persons;
- Banks;
- Bed and breakfast homestay (provided it is located on a lot which has a minimum area of ten thousand square feet);
- Bed and breakfast inn, which may include conference meeting rooms;
- Boardinghouse;
- Cemetery, mortuary, etc.;
- Day care/preschool center;
- Dwelling group.

A. The development shall comply with the maximum allowable density for the R-M zone.

B. The distance between the principal buildings shall be equal to the total side yards required in the zone; provided, however, that at the option of the developer the distance between the principal structures may be reduced to ten feet, provided that the difference between ten feet and the required side yards is maintained as permanently landscaped open space elsewhere on the site. The distance between principal buildings and the nearest perimeter lot line shall not be less than fifteen feet unless demonstrated by the development plan that the yard required for a principal building in the district in which it is located is more appropriate. The distance between the building and a public street shall be not less than the front yard required in the zoning district, except for corner lots the side yard which faces on a public street shall be not less than twenty feet.

C. Access shall be provided by a private street or right-of-way from a public street; such private street or right-of-way shall not be less than twenty feet wide for one or two rear dwelling units, and not less than thirty feet wide for three or more dwelling units.

D. A minimum of two parking spaces shall be provided for each dwelling unit. Parking spaces and vehicular maneuvering areas shall be designed to comply with county standards.

E. Every dwelling in the dwelling group shall be within sixty feet of an access roadway or drive.

F. The development plan shall provide landscaping as specified in [Chapter 19.77](#) of this title. Solid visual barrier fences shall be provided along all property lines unless the planning commission approves otherwise by deleting or modifying the fence requirement.

G. The development shall be approved by the development services director and the county fire chief before final approval is given by the planning commission.

- Electrolysis of hair;
- Golf course;
- Gymnastics, dance, dramatic, cosmetic, modeling and art studios for instructional purposes only;
- Home day care/preschool, subject to [Section 19.04.293](#);
- Hospital;
- Hotel;
- Lodginghouse;
- Massage (every massage technician shall be licensed by the state);
- Medical, optical and dental laboratories, but not to include the manufacture of pharmaceutical or other products for general sale or distribution, and also not to include the use of animals;
- Mobile home park;
- Nursery and greenhouse, excluding retail sales;
- Nursing home;
- Office, business and/or professional;
- Parking lot;
- Pigeons, subject to health department regulations;
- Planned unit development;
- Private educational institutions having an academic curriculum similar to that ordinarily given in public schools;

- Private nonprofit recreational grounds and facilities;
- Public and quasi-public uses;
- Rail transit mixed-use, provided it meets the following requirements:
- Reception center and/or wedding chapel;
- Residential development with any number of dwelling units per structure per lot, pursuant to [Section 19.44.040](#);
- Shared parking;
- Short-term rental provided:

A. A full-time manager lives on the property. The full-time manager may be the owner of the property; and

B. Except for the manager's dwelling unit, all of the dwelling units on the property, lot, planned unit development, or dwelling group shall be rental units, short-term or long-term.

- Sportsman's kennel (minimum lot area one acre);
- Tanning studio;
- Temporary buildings for uses incidental to construction work, which buildings must be removed upon the completion or abandonment of the construction work. If such buildings are not removed within ninety days upon completion of construction and thirty days after notice, the buildings will be removed by the county at the expense of the owner;
- Veterinary; provided, that:

A. The operation is completely enclosed within an air-conditioned soundproofed building. The noise from the animals shall not be audible at the property line,

- B. There is no sale of merchandise on the premises, and
- C. There is no overnight boarding of animals.

19.44.060 Front yard.

In the R-M zone, the minimum depth of the front yard for main buildings, and for private garages which have a minimum side yard of eight feet, shall be twenty-five feet or the average of the existing buildings where fifty percent or more of the frontage is developed, but in no case less than fifteen feet. Other private garages and all accessory buildings, other than private garages, shall be located at least six feet in the rear of the main building.

19.44.070 Side yard.

In the R-M zone, the minimum side yard for any dwelling shall be eight feet, and the total width of the two required side yards shall be not less than eighteen feet. Other main buildings shall have a minimum side yard of twenty feet, and the total width of the two yards shall be not less than forty feet. The minimum side yard for a private garage shall be eight feet, except that private garages and other accessory buildings located in the rear and at least six feet away from the main building shall have a minimum side yard of not less than one foot, provided that no private garage or other accessory building shall be located closer than ten feet to a dwelling on an adjacent lot. On corner lots, the side yard which faces on a street, for both main and accessory buildings, shall be not less than twenty feet, or the average of existing buildings where fifty percent or more of the frontage is developed, but in no case less than fifteen feet, or be required to be more than twenty feet. Dwelling structures over thirty-five feet in height shall have one foot of additional side yard on each side of the building for each two feet such structure exceeds thirty-five feet in height.

19.44.080 Rear yard.

In R-M zones, the minimum depth of the rear yard for any building shall be thirty feet, and for accessory buildings one foot; provided that, on corner lots which rear upon the side yard of another lot, accessory buildings shall be located not closer than ten feet to such side yard.

19.44.090 Coverage restrictions.

No building or group of buildings in an R-M zone, with their accessory buildings, shall cover more than sixty percent of the area of the lot.

19.44.100 Building height.

A. No building or structure in an R-M zone shall contain more than six stories or exceed seventy-five feet in height, and no dwelling structure shall contain less than one story.

B. Accessory Buildings.

1. No building which is accessory to a dwelling shall exceed twenty feet in height. For each foot of height over fourteen feet, accessory buildings shall be set back from property lines an additional foot to allow a maximum height of twenty feet.

19.44.110 Density.

The allowable density for planned unit developments, multiple dwellings and dwelling groups shall be determined by the planning commission on a case by case basis, taking into account the following factors: recommendations of county and non-county agencies; site constraints; compatibility with nearby land uses; and the provisions of the applicable general plan. Notwithstanding the above, the planning commission shall

not approve a planned unit development with density higher than the following:

Single-family dwellings 7.0 units per acre
Two-family dwellings 12.0 units per acre
Three-family dwellings 15.0 units per acre
Four-family dwellings 18.0 units per acre
Multi-family dwellings 25.0 units per acre*

2.4 Other Issues

In considering a proposed zone change, the question before the governing body relates to whether or not the change is consistent with the General Plan and appropriate for a given location. If a new zoning designation were to be approved, a different plan or use could be proposed for the site among the range of uses allowed by the new zoning designation.

Specific site and use related issues and mitigation measures are more appropriately addressed during the Site Plan and/or Conditional Use review process that is required to change uses on this site, including the . During that review, Ordinance compliance is verified and specific conditions addressing known impacts can be considered and implemented. In this case, and as stated previously, the future use of this site for truck rentals would be required to follow the Conditional Use process for approval at which time the Planning Commission could consider mitigation measures to deal with anticipated impacts.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Zone Change .

3.2 Reasons for Recommendation

- 1) The proposal is consistent with the corridor designation on the adopted general plan map. The potential uses found in the desired zone appear to be compatible with neighboring properties.

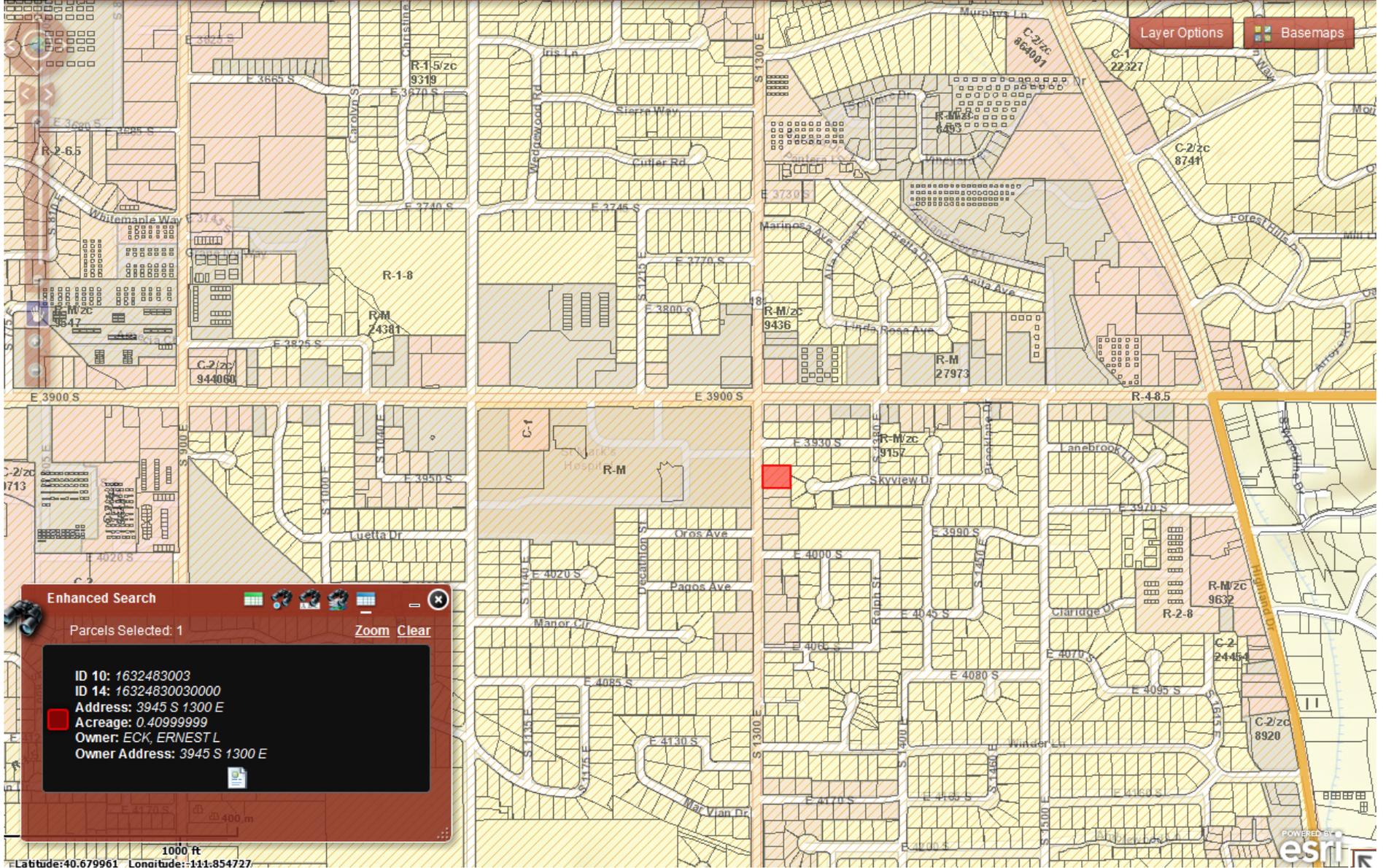
3.3 Other Recommendations

19.90.060 Conditions to zoning map amendment.

A. In order to provide more specific land use designations and land development suitability; to insure that proposed development is compatible with surrounding neighborhoods; and to provide notice to property owners of limitations and requirements for development of property, conditions may be attached to any zoning map amendment which limit or restrict the following:

1. Uses;
2. Dwelling unit density;
3. Building square footage;
4. Height of structures.

B. A zoning map amendment attaching any of the conditions set forth in subsection A shall be designated ZC after the zoning classification on the zoning map and any such conditions shall be placed on record with the planning commission and recorded with the county recorder.



Enhanced Search

Parcels Selected: 1 [Zoom](#) [Clear](#)

ID 10: 1632483003
ID 14: 16324830030000
Address: 3945 S 1300 E
Acreage: 0.40999999
Owner: ECK, ERNEST L
Owner Address: 3945 S 1300 E

3945 S. 1300 E.



Salt Lake County Public Works Department
Planning and Development Services Division
 2001 S. State Street #N-3600, Salt Lake City, UT 84190-4050
 Phone: 801-468-2000 FAX: 801-468-2169
 Visit our web site: <http://www.pwpds.slco.org>

AFFIDAVIT – Property Owner

STATE OF UTAH }
 } ss
 COUNTY OF SALT LAKE }

I (we) LEROY ECK (ERNEST) being duly sworn, depose and say that

I (we) am (are) the owner(s) of the property(s) located at:

3945 SOUTH 1300 EAST

My (our) signature below attests that I (we) have reviewed the proposal by MYSELF

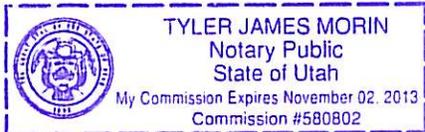
requesting review and approval of ZONE CHANGE

and that I (we) consent to the statements and information provided in the attached plans and exhibits and that all information presented is true and correct to the best of my (our) knowledge.

Property Owner Ernest L Eck

Property Owner _____

Subscribed and sworn to me this 26 day of APRIL, 2013.



[Signature]
 (Notary)

Residing in Salt Lake County, Utah

My commission expires: 11/02/2013



Rezone Request - Eck Rezone - R-2-8 to R-M zone - 3945 S 1300 East

September 30, 2013 - V-1

Legal Description:

COM 344.51 FT S FR NW COR LOT 9, BLK 2, 10 AC PLAT "A", BIG
FIELD SUR, S 114.84 FT; E 154.5 FT; N 114.84 FT; W 154.5 FT
TO BEG. 0.41 AC. BEING IN SW 1/4 SEC 33-1S-1E. 8598-1194
8598-1203 8705-3814 9345-2097 9656-7083 9936-7351













Example of possible architectural style for a proposed new medical/dental office building



Example of possible architectural style for a proposed new medical/dental office building



Example of possible architectural style for a proposed new medical/dental office building



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wed. - December 11, 2013	04:00 PM	File No:	2	8	6	8	7	
Applicant Name:	Elias Haddad	Request:	Conditional Use						
Description:	Agency for the rental of motor vehicles, trailers or campers								
Location:	2905 E. 4430 S.								
Zone:	C-2 Community Commercial	Any Zoning Conditions?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>					
Zoning Condition:	See Section 2.2 of this report								
Planning Commission Rec:	Not Yet Received								
Community Council Rec:	Not yet received								
Staff Recommendation:	Approval with Conditions								
Planner:	Lyle Gibson								

1.0 BACKGROUND

1.1 Summary

Elias Haddad is requesting conditional use approval to operate an agency for the rental of motor vehicles, trailers or campers in addition to the existing gas station. The subject property is developed and contains an existing (currently Sinclair banner) gas station and a small convenience store. The applicant would like to legally establish a neighborhood rental facility for U-Haul type trucks as a supplement to the existing gas station business.

This application came in as a result of a Code Enforcement action relating to the present lessee of the site having U-Haul trucks for rent and displayed on the subject property which is not allowed within the C-1 zoning designation. The site has since received approval of the Salt Lake County Council for the rezone to a C-2 / ZC commercial zone allowing the use. Now that the use is allowed at this location, the applicant is returning to the Millcreek Township Planning Commission with a conditional use application to address the use specifically.

1.2 Hearing Body Action

This item is on the agenda to receive a final decision from the Planning Commission.

1.3 Neighborhood Response

Specific to this conditional use application, staff has not received response from the neighborhood as of the date of this report (11/25/13). Previous comments from neighboring property owners are included here:

Public Comments from the rezone application County Council Staff Report dated 10/22/2013: *Notice of this application was sent to property owners and residents within a 300 foot radius of the subject property. Prior to the date of the Planning Commission hearing on September 11, 2013, staff only received one call from a neighbor about the application. This neighbor was in support of the zoning change.*

A second notice was sent out to the same listing of property owners and residents in advance of the County Council hearing scheduled for October 22, 2013. As of the date of this report, staff has received calls from 2 neighboring property owners expressing some concern about the rezone and the impacts that additional uses could have on the surrounding community.

1.4 Community Council Response

The East Mill Creek Community Council expressed their initial support of the use during the zone change application process, but have yet to specifically address the conditional use application. This item is scheduled to be heard by the East Mill Creek Community Council at their regularly scheduled meeting on 12/5/2013.

The following is the recommendation provided by the community council during the rezone process:

Council Recommendations/Concerns:

The EMCCC voted to limit conditional uses as per the C-2 zoning ordinance to maintain consistency of use of the parcel and support business that are appropriate for a residential area

Final Motion:

EMCCC gives a positive recommendation for Application 28601, rezone C-1 to C-2, located at 2905 East 4430 South, Elias Haddad as applicant, with the following conditions and following use restrictions: Maximum building height of 35 feet. Restricted uses include check cashing; bath and massage; bed and breakfast inn; mini storage units; flea market; swap meet; arcade; indoor fire arms and archery range; resource recycling collection; restaurant liquor; unoccupied model building.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		The existing store and pumps are not being changed under the current proposal, they are in compliance with zoning ordinance height and setback requirements. Particular to the proposed use, the zoning ordinance requires that parking for a retail location

		<p>be available at a ratio of 1 stall per every 250 square feet of retail space. The existing convenient store is 1,350 square feet in size. This requires 6 parking spaces plus an additional ADA accessible space. The site plan as proposed shows some of the existing parking stalls being used for parking the Rental Trucks thus eliminating the availability of the stalls for the retail use.</p> <p>There are however, other parking locations on site at the fuel pumps. The zoning ordinance does not specifically require parking be made available for fuel pumps. This location is unique in retail in that customers park at the pump while filling their vehicles with fuel, and leave their car for a moment at the pump to use the convenient store. This doubles the purpose of the fuel pump stall. In addition, visits to a convenient store tend to be faster in nature when compared to other retail stores so the stalls are occupied for a shorter length of time.</p> <p>Because of the fuel pump parking and the remaining stalls in front of the store, it is the determination of staff that sufficient parking is available so long as the existing handicap stall remain unobstructed from rental vehicles.</p>
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		All technical reviews to date show the ability of the use to comply with all applicable laws and ordinances.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		<p>The clear view requirement from 19.76.160 requires that there be no obstruction over 2 feet in height within a triangle created 40' from where the property lines intersect in the street. Measuring off of the application provided by the applicant, this clear view area falls into one of the parking stalls where the trucks are currently parked closest to the intersection. The stall in question is already in place and is available for use for customer parking of any vehicle. However, based on the size of the trucks that may be parked in this location and the length of time that the vehicles may be present this specific stall may present a hazard.</p> <p>It is the opinion of staff that the proposed use can function at this location, but this particular stall may be restricted to the use of normal customer parking.</p>
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		The use as proposed will comply with this standard so long as repair and maintenance of the vehicles is done off site.

YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<i>Standard `E': The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i>
		The proposed use will not modify any buildings or structures that currently exist on site. As the use has been deemed to be appropriate through the recent rezone process, it is the opinion of staff that the Community and County Council have determined the trucks (knowing their size and scale) are appropriate for this location. The proposed use does not appear to be out of compliance with the standards of the general plan.

2.2 Zoning Requirements

Pursuant to section 19.90.060 of the Salt Lake County Code of Ordinances, 1986, development of said property is subject to the following Zoning Conditions (ZC):

- i. All uses listed as Conditional or Permitted in the C-1 Zone shall be allowed on this property.**
- ii. From the list of uses allowed in the C-2 Zone as Conditional or Permitted, the only additional use allowed is a Conditional Use for an “Agency for the rental of motor vehicles, trailers or campers”; and,**
- iii. The height of any building on the subject property is limited to thirty-five feet, in accordance with the C-1 Zone height limitations which read: “No building or structure in the C-1 zone shall contain more than two and one-half stories, or exceed thirty-five feet in height.”**

19.76.160 Intersecting streets and clear visibility.

In all zones which require a front yard, no obstruction to view in excess of two feet in height shall be placed on any corner lot within a triangular area formed by the street property lines and a line connecting them at points forty feet from the intersection of the street lines, except a reasonable number of trees pruned high enough to permit unobstructed vision to automobile drivers, and pumps at gasoline service stations.

19.80.040 Number of spaces required

Retail stores, shops, etc., except as provided in this subsection, one space for each two hundred fifty square feet of gross floor area;

B. Number of Parking Spaces for Uses Not Specified. For any use of buildings not specified in this section, or for uses of a seasonal or temporary nature, the off-street parking requirement shall be determined by the division director being guided, where appropriate, by comparable ordinances from other jurisdictions, accepted planning industry standards, or the requirements set forth in this section for uses or buildings which, in the opinion of the division director, are similar to the use or building under consideration.

C. Accessible Parking Spaces. For nonresidential parking areas, the accessible parking spaces required to satisfy the Americans with Disabilities Act shall be provided within the total number of stalls required above. For multi-family residential developments, the accessible stalls shall be provided in addition to the number of stalls required above.

2.3 Other Agency Recommendations or Requirements

From the rezone application staff report:

The greatest concerns with the proposed use of the property under a C-2 zoning designation relate to:

- 1) aesthetic concerns and visual impact
- 2) traffic safety and clear view issues.

The aesthetic concerns in this case seem debatable. While any proposed new use may have some additional visual impacts, how much is unclear. If other uses allowed in a C-2 zone would have more impacts has not been analyzed to any degree as those issues are looked at in conjunction with a specific proposal and site plan. The existing gas station and convenience store has existed at this location for several decades along with the associated signs, canopy and other accessories to the use. The subject property is in an area of other commercial properties, so it is staff's opinion that allowing additional uses via a change to C-2 would have little additional impact over that which currently exists.

In terms of traffic safety and clear view issues, staff has concerns about possible impacts and associated hazards with an intensification of uses via a rezone to C-2. At the present time and while this issue is being resolved after a citation, the applicant has several large U-Haul trucks parked along the front of the property nearest to 4500 South and extending toward the corner of 2900 East. These trucks certainly attract attention from passing motorists alerting them to the availability rental units on the property. Given the size and scale of the trucks however, one could argue that the trucks parked in this location present a defacto "illegal or billboard sized sign at ground level" A sign in this location may not be allowed by Ordinance due to safety concerns. The existing signs on the property for the gas station were permitted with some Variances in the past. More importantly, these trucks also violate provisions of Chapter 14 - Clear view of Intersecting Streets of County Code in relation to the intersection and related safety concerns. This is especially worrisome on 4500 South, an identified "corridor" and UDOT road that has significant traffic volumes and associated higher speeds. Adjacent to the site at 2900 East, UDOT has recently installed a traffic control pedestrian cross-walk with lights in order to lessen the safety hazards. Staff believes that mitigation measures including a prohibition on parking trucks in certain locations on the site such as they are now would be appropriate things to look at under a Conditional Use application to allow the truck use should the rezone to C-2 be granted. These are items that would be looked at by the County's Traffic Engineer and other agencies during the review of a specific proposed use on the site via a change of use application.

Conditional Use Review:

The **Salt Lake County Health Department** has waived the need to approve this application, but has expressed a desire to ensure that no repair or maintenance (such as oil changes) of the trucks is performed on site.

Unified Fire Authority has approved the application as proposed.

County Traffic Engineer has approved the application as proposed.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:

- 1) The applicant shall keep 4 parking stalls available for general customer parking and the existing ADA parking stall must remain unoccupied by rental vehicles as shown on site plan.
- 2) The stall on the southwest corner of the property shall remain available for regular customer parking and not for use of the rental vehicles in order to provide an appropriate clear view.
- 3) All maintenance and repair of rental vehicles shall take place off site.

3.2 Reasons for Recommendation

- 1) The use has been determined to be appropriate at this location during the previous rezone process. Complying to the proposed conditions should address anticipated impacts from the proposed use.

3.3 Other Recommendations

- Any signs that may be used in conjunction with this use must be approved by planning staff under a separate application.
- Applicant shall receive approval from all applicable agencies through a technical review process prior to final approval.

4.0 PROJECT PHOTOS



Image 1 : Looking toward 4500 South from near the corner of 2900 East



Image 2 : Existing convenience store on the eastern part of the subject property



Image 3 : View of the canopy, signage and trucks from 4500 South.



Image 4 : A view of the corner of 2900 East and 4500 South - looking north.

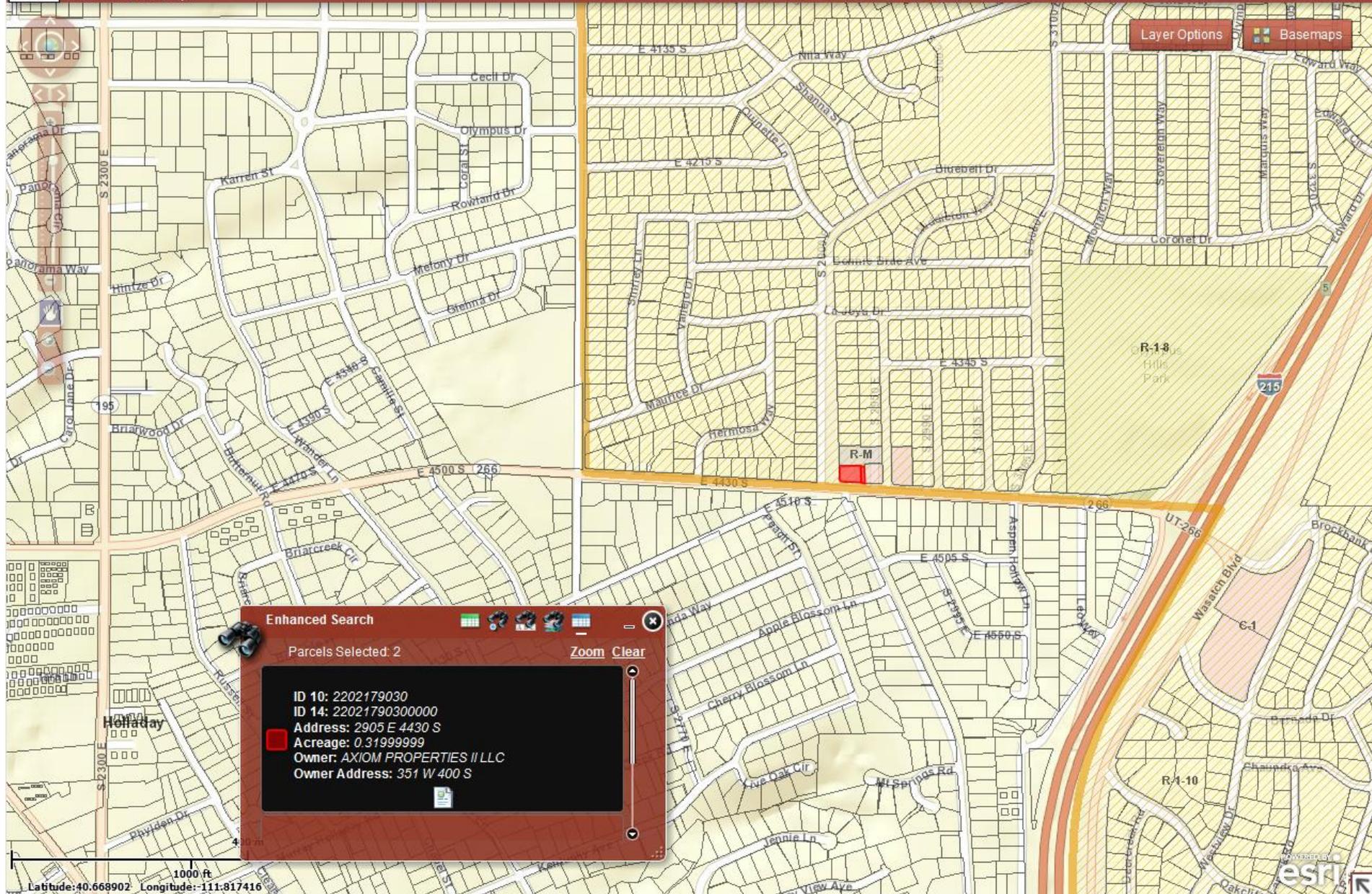


Image 5 : A view of the subject property looking west - taken from street level on 2950 East



Layer Options

Basemaps



Enhanced Search

Parcels Selected: 2 Zoom Clear

ID 10: 2202179030
 ID 14: 22021790300000
 Address: 2905 E 4430 S
■ Acreage: 0.31999999
 Owner: AXIOM PROPERTIES II LLC
 Owner Address: 351 W 400 S

Latitude: 40.668902 Longitude: -111.817416



View showing accessibility to all 8 pumps.



②a On 2900 E - approaching corner.



②b At corner stop sign -
Unobstructed view.



1c At corner.



1a) Going west on 4500 S.
Approaching corner of 2900 E.



1b) approaching corner -
unobstructed view.



Diagrams for Title 19



Clear view of intersecting streets. In all zones which require a front yard, no obstruction to view in excess of two feet in height shall be placed on any corner lot within a triangular area formed by the street property lines on a line connecting them at points forty feet from the intersection of the street lines, except a reasonable number of trees pruned high enough to permit unobstructed vision to automobile drivers, and pumps at gasoline service stations.



PASKER GOULD AMES & WEAVER
ARCHITECTS PLANNERS
 5263 SOUTH 300 WEST
 MURRAY, UTAH (801) 266-4669

DRAWN BY	CHECKED BY	JOB NO.	DATE
		2048	APRIL 1, 1998

SITE PLAN
 A NEW
CHEVRON STATION
 SALT LAKE CITY, UTAH

LEGEND

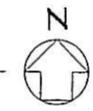
- - - 00 - - -	EXISTING CONTOUR ELEVATION	IB □	INLET BOX
- - - 00 - - -	FINISH CONTOUR ELEVATION	JB □	JUNCTION BOX
○	EXISTING SPOT ELEVATION	MHO	MAN-HOLE
○	FINISH SPOT ELEVATION	COO	CLEANOUT
TA	TOP OF ASPHALT	FH	FIRE HYDRANT
TC	TOP OF CONCRETE	SD	STORM DRAIN LINE
TBC	TOP BACK OF CURB	RD	ROOF DRAIN LINE
SH	TOP OF SIDEWALK	W	WATER LINE
TG	TOP OF GRADE	FL	FIRE LINE
FL	FLOW-LINE	SS	SANITARY SEWER LINE
→	DRAINAGE ARROW	G	GAS LINE
- - -	PROPERTY LINE	P	POWER LINE
- - -		- - -	EXISTING UTILITY LINE
- - -		- - -	NEW UTILITY LINE

GENERAL NOTES:

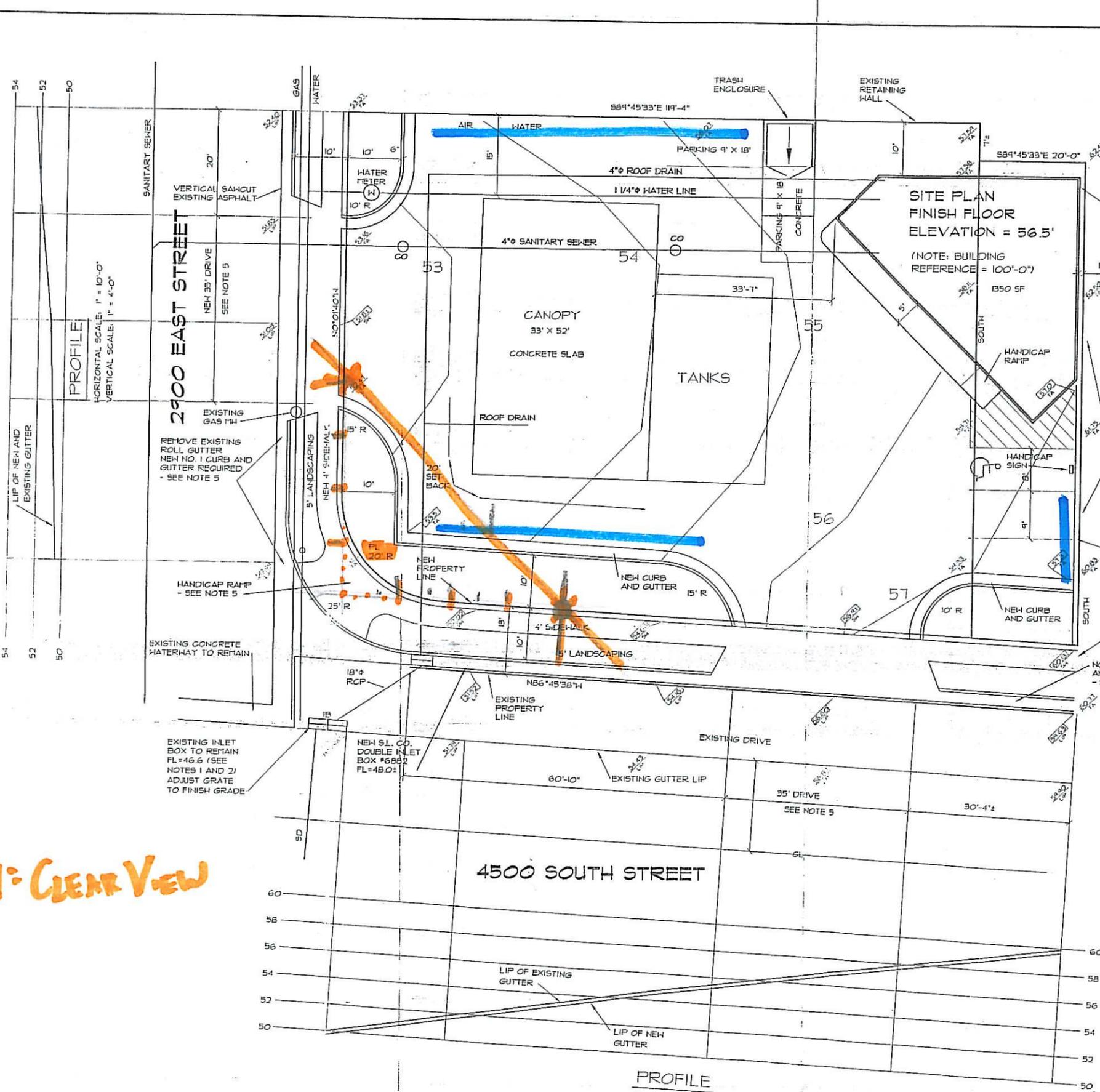
1. CONTRACTOR SHALL VERIFY ALL EXISTING AND FINISH GRADES AND DIMENSIONS BEFORE STARTING CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE STARTING CONSTRUCTION.
3. CONTRACTOR SHALL FOLLOW PIPE MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF ALL PIPES.
4. SLOPE LANDINGS AT DOORWAYS 1/4" PER FOOT.
5. ALL CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PAVING, UTILITIES AND ALL OTHER SITE WORK SHALL CONFORM TO SALT LAKE COUNTY STANDARD DRAWINGS AND SPECIFICATIONS.

SITE PLAN

SCALE: 1"=10'-0"



Indicates where trucks/trailers may be parked.



□ = CLEAR VIEW

PROFILE

HORIZONTAL SCALE: 1"=4'-0"



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, December 11, 2013	04:00 PM	File No:	2	8	7	0	6	
Applicant Name:	Adam Maher	Request:	Exception Request						
Description:	Exception from installation of curb, gutter, and sidewalk								
Location:	3225 S. 900 E.								
Zone:	R-M Residential Multi-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Planning Commission Rec:	Not Yet Received								
Staff Recommendation:	Approval								
Planner:	Lyle Gibson								

1.0 BACKGROUND

1.1 Summary

In conjunction with application #28351, the applicant is requesting an exception to the installation of curb, gutter, and sidewalk along the eastern side of their proposed development (945 East). The existing lots to the north and south of this property do not have curb, gutter, or sidewalk along 945 East. To the north is a single family residence and to the south is a commercial site.

According to the applicant, with no storm drain services currently available in 945 E., collecting storm water runoff and point discharging it to the north and south negatively impacts both lots.

1.2 Hearing Body Action

This item is on the agenda to receive a recommendation from the Millcreek Township Planning Commission to forward to the Salt Lake County Mayor's office.

1.3 Neighborhood Response

As of the date of this report, staff has not received any comment from the neighborhood.

2.0 ANALYSIS

2.1 Applicable Ordinances

County Ordinance 14.12 stipulates that all new development must meet current off-street improvements, including installation of curb, gutter and sidewalk. The applicant has applied for a tear down and rebuild of a new SFD on this property which triggered the requirements.

County Ordinance 14.12.025 (Highways, Sidewalks, and Public Places), states: "all public and private curb ramp, ramp and sidewalk development located within the unincorporated county subject to the jurisdiction of Salt Lake County shall meet the requirements of this chapter. Where specific elements of design and construction are not addressed in this chapter, curb ramp, ramp and sidewalk construction

shall comply with the minimum guidelines for design set forth in the ADAAG, July 26, 1991, and any successor editions. The public works engineer shall utilize the ADAAG in setting appropriate design requirements.”

County Ordinance 14.12.150 (Highways, Sidewalks, and Public Places), states: “In cases where unusual topographical, aesthetic, or other exceptional conditions or circumstances exist, variations or exceptions to the requirements or this chapter may be approved by the mayor after receiving recommendations from the planning commission and the public works engineer; provided, that the variations or exceptions are not detrimental to the public safety or welfare”

County Ordinance 19.76.210.A. Off-Site Improvements Required. The applicant for a building or conditional use permit for all dwellings, commercial or industrial uses, and all other business and public and quasi-public uses shall provide curb, gutter and sidewalk along the entire property line which abuts any public road or street in cases where it does not exist at county standards. Vehicular entrances to the property shall be provided as required in Section 14.12.110. Height, location, structural specifications, maximum and minimum cut radii and minimum roadway approach angles to the centerline of the street are subject to the approval of the agency concerned.

2.2 Other Agency Recommendations or Requirements

Traffic Engineer -

The installation of curb and gutter on 945 east along this property would direct drainage from the street into the parking lot to the south of the property. This property and the street already has difficulty draining and draining the street into the landscaped area as proposed by the applicant is a good solution until curb, gutter, and sidewalk can be installed on the entire street.

Hydrology Engineer -

As of the date of this report, 11/27/2013, planning staff has not received comments from the urban hydrologist.

Planner -

According to the applicable ordinance, 14.12.150, an exception may be approved in a case of unusual topography, aesthetic, or other exceptional conditions.

- As noted by the applicant and verified by the Traffic Engineer, the conditions of the site and the adjacent properties would be worse off with the installation of the sidewalk on this property alone.
- While the properties to the north and south of the proposed development do not have curb, gutter, and sidewalk along 945 East, there is sidewalk along the west side of 945 East only 4 houses north of the development. It would be in harmony with the general plans goals for mobility and pedestrian safety to complete the sidewalk along 945 East over time. The improvement would need to be done as part of a larger project that connects into adjacent properties to avoid drainage issues.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Exception Request .

3.2 Reasons for Recommendation

- 1) The installation of the curb, gutter, and sidewalk improvements along 945 E. would create issues with storm water runoff adversely affecting surrounding properties.

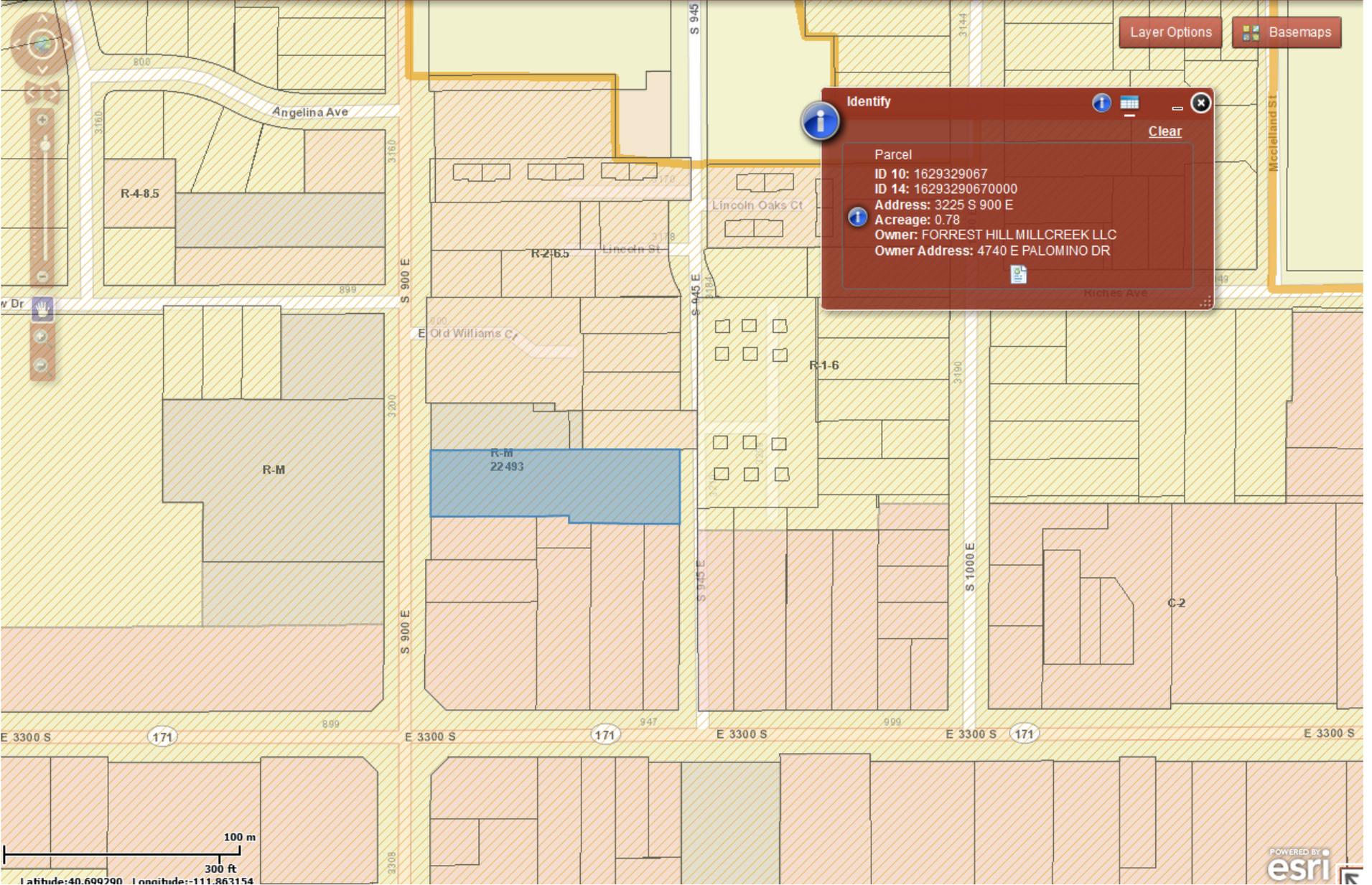


Layer Options

Basemaps

Identify Clear

Parcel
 ID 10: 1629329067
 ID 14: 16293290670000
 Address: 3225 S 900 E
 Acreage: 0.78
 Owner: FORREST HILL MILLCREEK LLC
 Owner Address: 4740 E PALOMINO DR



Latitude: 40.699290 Longitude: -111.863154





Layer Options

Basemaps













ALTA\ACSM LAND TITLE SURVEY

3211 s. 900 e. Salt Lake City, UT

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 29
TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN
ALSO BEING LOT 2, BLOCK 28, 10 ACRE PLAT "A" BIG FIELD SURVEY

SURVEYOR'S CERTIFICATE

TO: FIRST AMERICAN TITLE INSURANCE AGENCY, LLC
ADAM MAHER
ANTHONY DOUGLAS COMPANY, LLC

This is to certify that this map or plat on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA and NSPS in 2005, and includes items 1, 2, 4, 8, 9, 11(a) of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a Professional Land Surveyor registered in the State of Utah, the Relative Positional Accuracy of this survey does not exceed that which is specified within.

TRAVIS J. DALEY, PLS.

DATE

SURVEYORS NARRATIVE:

The Land Title Survey was requested by Adam Maher to aid in the purchase and development of this property. The Documentation obtained as part of this survey includes that certain Commitment for Title Insurance, order No. 071-4807099. Effective date, March 13, 2007 at 7:30 a.m., issued by First American Title Insurance Agency, LLC. The basis of bearing is as shown and referenced on this plat. The Southwest Corner of Lot 2, Block 28, 10 Acre Plat "A" Big Field Survey was established by using the found centerline monuments in 3300s. and 900s., and also in 3300s. and 1100s., and the Record of Survey prepared by Snideman & Associates, Inc. on file and record as S00-09-0551.

EXCEPTIONS:

- An easement for lay, maintain, operate, repair, inspect, protect, remove and replace pipe lines, valves, valve boxes and other gas distribution facilities throughout and across the following land and incidental purposes, recorded March 02, 1961 as Entry No. 1764559 in Book 1784 at Page 422 of Official Records.
- An easement for lay, maintain, operate, repair, inspect, protect, remove and replace pipe lines, valves, valve boxes and other gas distribution facilities through and across the following land and incidental purposes, recorded June 09, 1986 as Entry No. 2159364 in Book 2487 at Page 145 of Official Records.
- Subject to any right to access land adjoining said Parcel 2, owned by vestes herein and that is not included herein.
- A right of way over the East 24.01 feet, of said property as disclosed by various deeds of record including Warranty Deed recorded June 02, 2003 as Entry No. 8671603 in Book 8809 at Page 1828 of Official Records.

REFERENCES:

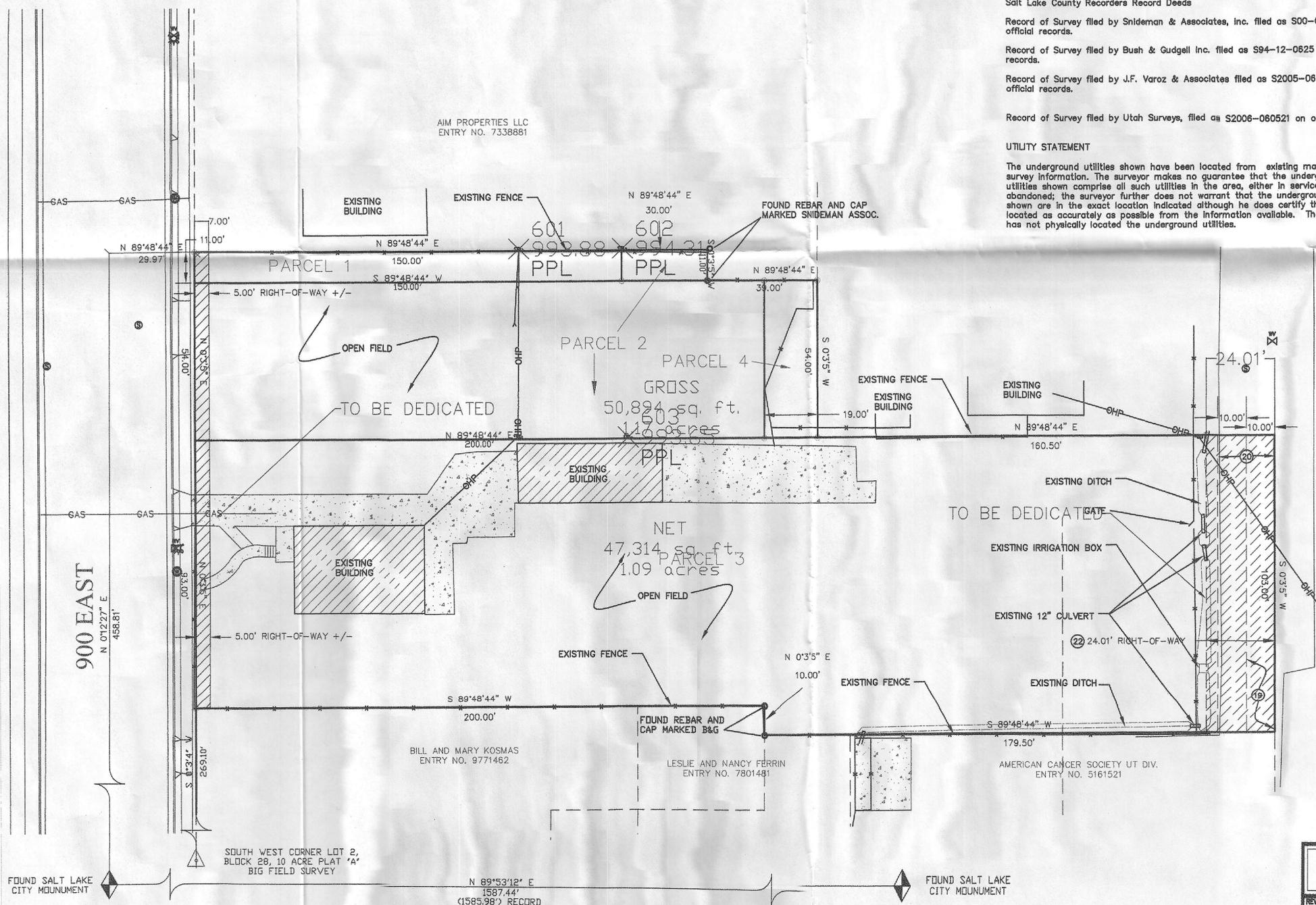
- Commitment for Title Insurance Order No. 071-4807099, effective date, March 13, 2007, at 7:30 a.m., issued by First American Title Insurance Agency, LLC
- Salt Lake County Survey Section Corner tile sheets
- Salt Lake County Survey Area Reference Plat, Blocks 27,28 10-Acre Plat "A"
- Salt Lake County Recorders Record Deeds
- Record of Survey filed by Snideman & Associates, inc. filed as S00-09-0551 on official records.
- Record of Survey filed by Bush & Guggall inc. filed as S94-12-0625 on official records.
- Record of Survey filed by J.F. Varoz & Associates filed as S2005-06-0380 on official records.
- Record of Survey filed by Utah Surveys, filed as S2006-060521 on official records.

UTILITY STATEMENT

The underground utilities shown have been located from existing maps and field survey information. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned; the surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

RECORD LEGAL DESCRIPTION:

- Parcel 1:
Beginning 427.1 feet North and 150 feet east from the Southwest Corner of Lot 2, Block 28, Ten Acre Plat "A", Big Field Survey; and running thence East 30 feet; thence South 11 feet; thence West 30 feet; thence North 11 feet to the point of beginning.
- Parcel 2:
Beginning 362.1 Feet North from the Southwest Corner of Lot 2, Block 28, Ten Acre Plat "A", Big Field Survey; and running thence North 54 feet; thence East 200 feet; thence South 54 feet; thence West 200 feet to the point of beginning.
Also:
Beginning at a point 418.1 feet North of the Southwest Corner of Lot 2, Block 28, Ten Acre Plat "A", Big Field Survey and running thence North 11 feet; thence East 150 feet; thence South 11 feet; thence West 150 feet to the point of beginning.
- Parcel 3:
Commencing 269.1 feet North of the Southwest Corner of Lot 2, Block 28, Ten Acre Plat "A", Big Field Survey and running thence North 93 feet; thence east 379.5 feet; thence South 103.0 feet; thence West 179.5 feet; thence North 10 feet; thence West 200 feet to the place of beginning.
- Parcel 4:
Beginning 362.1 feet North and 200 feet East of the Southwest Corner of Lot 2, Block 28, Ten Acre Plat "A", Big Field Survey; and running thence North 54 feet; thence East 19 feet, more or less; thence south 54 feet; thence West 19 feet, more or less to the place of beginning.
- SURVEYED DESCRIPTION
- Parcel 1:
Beginning at the Southwest Corner of Lot 2, Block 28, Ten Acre Plat "A", Big Field Survey, and running thence North 0°03'05" East 427.10 feet to the true point of beginning; thence North 89°48'44" East 150 feet; thence North 89°48'44" East 30 feet; thence South 0°03'05" West 11 feet; thence South 89°48'44" West 30 feet; thence North 0°03'05" East 11 feet to the point of beginning.
- Parcel 2:
Beginning at the Southwest Corner of Lot 2, Block 28, Ten Acre Plat "A", Big Field Survey, and running thence North 0°03'05" East 362.10 feet to the true point of beginning; thence North 0°03'05" East 54.00 feet; thence North 89°48'44" East 200.00 feet; thence South 0°03'05" East 54.00 feet; thence South 89°48'44" West 200 feet to the point of beginning.
Also beginning at the Southwest Corner of Lot 2, Block 28, Ten Acre Plat "A", Big Field Survey, and running thence North 0°03'05" East 418.10 feet to the true point of beginning; thence North 0°03'05" East 11.00 feet; thence North 89°48'44" East 150.00 feet; thence South 0°03'05" West 11.00 feet; thence South 89°48'44" West 150.00 feet to the point of beginning.
- Parcel 3:
Beginning at the Southwest Corner of Lot 2, Block 28, Ten Acre Plat "A", Big Field Survey, and running thence North 0°03'05" East 269.10 feet to the true point of beginning; thence North 0°03'05" East 93 feet; thence North 89°48'44" East 379.50 feet; thence South 0°03'05" East 103.00 feet; thence South 89°48'44" West 179.50 feet; thence North 0°03'05" East 10.00 feet; thence South 89°48'44" West 200.00 feet to the point of beginning.
- Parcel 4:
Beginning at the Southwest Corner of Lot 2, Block 28, Ten Acre Plat "A", Big Field Survey, and running thence North 0°03'05" East 362.10; thence North 89°48'44" East 200.00 feet to the true point of beginning; thence North 0°03'05" East 54.00 feet; thence North 89°48'44" East 19.00 feet; thence South 0°03'05" West 54.00 feet; thence South 89°48'44" West 54.00 feet to the point of beginning.

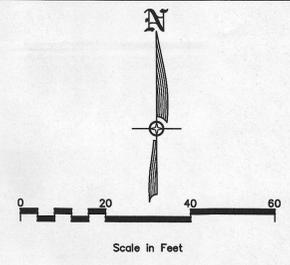
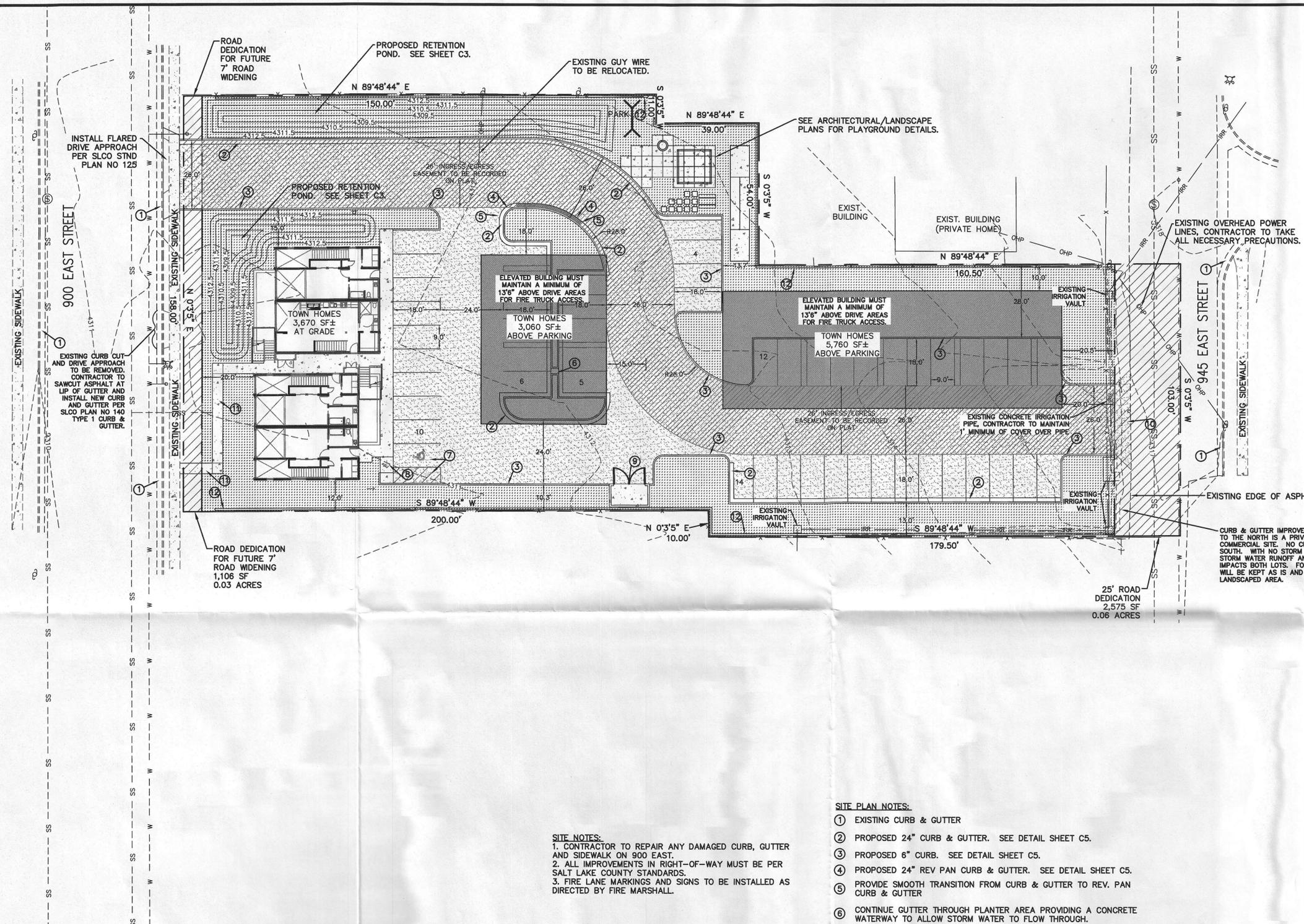


- ### LEGEND
- Scale in Feet
- △ SOUTHWEST CORNER OF BLOCK 28 (NOTHING SET)
 - ◆ SALT LAKE CITY SURVEY MONUMENT
 - ⊙ SET REBAR AND CAP MARKED "LEGEND ENG"
 - ⊕ EXISTING FIRE HYDRANT
 - OHP— EXISTING OVERHEAD LINE AND POLE
 - SS — ⊕ — EXISTING SANITARY SEWER MANHOLE
 - W— ⊕ — EXISTING WATER/IRRIGATION VALVE
 - Ⓜ EXCEPTION NUMBER
 - GAS— EXISTING UNDERGROUND GAS LINE
 - EL— EXISTING UNDERGROUND POWER LINE
 - COMM— EXISTING UNDERGROUND COMMUNICATIONS LINE
 - FOUND REBAR AND CAP

ALTA
8/3/2007

LEGEND ENGINEERING, LLC

 65 WEST 100 NORTH
 TERRY CITY, UT 84605
 PHONE 435-434-4283
 FAX 435-434-4283
 WWW.LEGENDENGINEERING.COM



PROJECT SUMMARY:

SITE AREA:	47,213 SF (1.08 AC)
BLDG'S FOOTPRINT AREA:	12,493 SF
CONCRETE/ASPHALT AREA:	24,731 SF
LANDSCAPED AREA:	17,201 SF
IMPERVIOUS COMMON AREAS:	1,932 SF
ROOF TOP GARDENS:	4,593 SF
TOTAL "OPEN SPACE" AREA:	23,726 SF (50.3% OF SITE)

TOTAL TOWNHOME UNITS:	24
2 BEDROOM UNITS:	18
1 BEDROOM UNITS:	6

USE PARKING COUNT OF (2) PER 2 UNIT BEDROOM AND (1.5) PER 1 UNIT BEDROOM

Ⓢ (18) 2 BEDROOM UNITS / 2 EACH: REQUIRED:	36
Ⓢ (6) 1 BEDROOM UNITS / 1.5 EACH: REQUIRED:	9
BASED ON COUNT, TOTAL REQUIRED:	45
TOTAL PARKING STALLS PROVIDED:	51 (45+6 GUEST)

*THIS SITE IS CLOSE TO 3300 SOUTH AND 900 EAST WHICH BOTH STREETS HAVE TRANSIT SERVICE AVAILABLE AND EACH PROVIDES CONNECTIONS TO MAJOR TRANSIT CORRIDORS AND/OR DESTINATIONS.

SITE NOTES:
 1. CONTRACTOR TO REPAIR ANY DAMAGED CURB, GUTTER AND SIDEWALK ON 900 EAST.
 2. ALL IMPROVEMENTS IN RIGHT-OF-WAY MUST BE PER SALT LAKE COUNTY STANDARDS.
 3. FIRE LANE MARKINGS AND SIGNS TO BE INSTALLED AS DIRECTED BY FIRE MARSHALL.

- SITE PLAN NOTES:**
- ① EXISTING CURB & GUTTER
 - ② PROPOSED 24" CURB & GUTTER. SEE DETAIL SHEET C5.
 - ③ PROPOSED 6" CURB. SEE DETAIL SHEET C5.
 - ④ PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL SHEET C5.
 - ⑤ PROVIDE SMOOTH TRANSITION FROM CURB & GUTTER TO REV. PAN CURB & GUTTER
 - ⑥ CONTINUE GUTTER THROUGH PLANTER AREA PROVIDING A CONCRETE WATERWAY TO ALLOW STORM WATER TO FLOW THROUGH.
 - ⑦ ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS.
 - ⑧ ADA RAMPS ARE TO BE INSTALLED PER SALT LAKE COUNTY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL SHEET C5.
 - ⑨ PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
 - ⑩ SAW CUT EXISTING EDGE OF ASPHALT TO PROVIDE A SMOOTH EDGE FOR PROPOSED ASPHALT TO MATCH TO.
 - ⑪ INSTALL SIDEWALK PER SALT LAKE COUNTY STANDARDS AND SPECIFICATIONS.
 - ⑫ PROPOSED FENCE, SEE ARCHITECTURAL DRAWINGS FOR FENCING/WALL DETAILS.

NO.	REVISIONS	BY	DATE

CIR
ENGINEERING, L.L.C.
 3032 SOUTH 1030 WEST, SUITE 202
 SLC, Utah 84119 - 801-949-6296
 PROJECT ENGINEER: SDT

MILLCREEK 9 PROJECT
 3250 SOUTH 900 EAST, MILLCREEK UTAH
SITE PLAN



SHEET NO.	C1
PROJECT ID	M1002-01
DATE	09/09/13
FILE NAME	PRJ-MC9
SCALE	1"=20'





STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wed. - December 11, 2013	04:00 PM	File No:	2	8	6	7	3	
Applicant Name:	Richard Sorensen	Request:	Subdivision						
Description:	3 Lot Standard Subdivision								
Location:	3612 S. Virginia Way								
Zone:	R-1-8 Residential Single-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Planning Commission Rec:	Not Yet Received								
Staff Recommendation:	Approval								
Planner:	Lyle Gibson								

1.0 BACKGROUND

1.1 Summary

Richard Sorensen is requesting approval of a 3-lot subdivision in the an R-1-8 zone. These proposed lots front a private drive so will each be ½ acre or larger as required by ordinance. Currently the site consists of 4 parcels under 1 owner. The parcels total at 1.8 acres all combined. The applicant is proposing to create a 3 parcel subdivision.

The proposed lot sizes are: Lot 1- 30,636 sq. ft., Lot 2- 23,026 sq. ft., and Lot 3- 24,697 sq. ft. Each of these lots exceeds the required 21,780 sq. ft. as indicated in section 19.76.080 of the zoning ordinance.

1.2 Hearing Body Action

This application is on the agenda for a final decision from the Millcreek Planning Commission.

1.3 Neighborhood Response

As of the date of this report, no comments have been received by staff from the neighboring community.

2.0 ANALYSIS

2.1 Applicable Ordinances

19.76.080 Lots and buildings on private rights-of-way.

Except where the requirements of this section are reduced by permit of the land use hearing officer, the minimum area for any lot fronting on a private right-of-way, at least twenty feet wide, shall be one-half acre, and the minimum distance from the center of the right-of-way to the front line of the building shall be fifty feet; except that property that cannot be subdivided as outlined in the subdivision ordinance may be

developed on a private street or right-of-way in any R zone upon approval of the development services division director. Such approval shall be governed by the official policies regulating such development, as adopted by the planning commission and on file at the planning commission office.

2.2 Subdivision Requirements

18.08.010 Procedure generally.

A review procedure, which shall include:

1. An on-site review by the director or director's designee as provided by Utah Code 17-27a-303;
2. Review of the submitted site plan/preliminary plat for compliance with county land use ordinances;
3. Reference of the application and site plan/preliminary plat to any other government agency and/or affected entity which the director or director's designee deems necessary to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;
4. The processing of any exception requests that have been made in conjunction with the subdivision application.

C.

A preliminary plat approval procedure, which shall include:

1. Confirmation that all necessary agencies have responded to the requests for recommendation with a recommendation of approval or approval with conditions;
2. Integration of the recommendations from the other government agencies and affected entities involved above into the preliminary plat;
3. Receipt of a recommendation from the planning staff;
4. Approval of the preliminary plat as outlined in [Section 18.12.030](#), and issuing a preliminary plat approval letter.

D.

A final plat approval procedure, which shall include:

1. An engineering review to ensure that the final plat complies with all conditions of approval of the preliminary plat and to ensure that the final plat complies with the design standards, codes, and ordinances and with minimum engineering/surveying requirements;
2. A check of appropriate background information, such as: lot access, property title, record of survey, field boundary verification, etc.;
3. The collection of the necessary approval signatures (planning commission representative, director or director's designee, health department, district attorney, county mayor or their designees) on the final plat;
4. Payment of final fees and bond;
5. Recordation of the plat.

2.3 Other Agency Recommendations or Requirements

Building:

Building permit(s) will be required for the construction of the new homes or any other structures/items regulated by the building code.

1. At time of building permit application, provide complete building plans showing compliance with current building code.

2. At time of building permit application, provide fire flow verification and/or show how compliance is going to be made with any Unified Fire District Guidelines.

Geology:

No mapped or apparent geologic hazards at this location. Any building at the northeast end of the lot will require grading. Geology will defer to grading comments if required. Geology approved.

Grading:

1- Technical review required.

2- Need to submit site grading and drainage plans for the road construction and turn around.

3- Site is in excess of one acre and will require the development of a SWPPP and N.O.I

4- Development of the access road will need to be completed under the Grading permit process.

5- Each lot for development is subject to the requirement of the N.O.I for common plan of development.

6- Need to show how the site stormwater and Drainage will be developed or maintained on site.

7- Property slopes from east to west towards parking lot of Skyline high school.

Unified Fire and Traffic:

Reviews are still pending and approval shall be required prior to final approvals. However the applicant has shown a proposed private drive with a turnaround fire emergency vehicles that is anticipated to be in compliance or able to be brought into compliance during the technical review process.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Subdivision .

3.2 Reasons for Recommendation

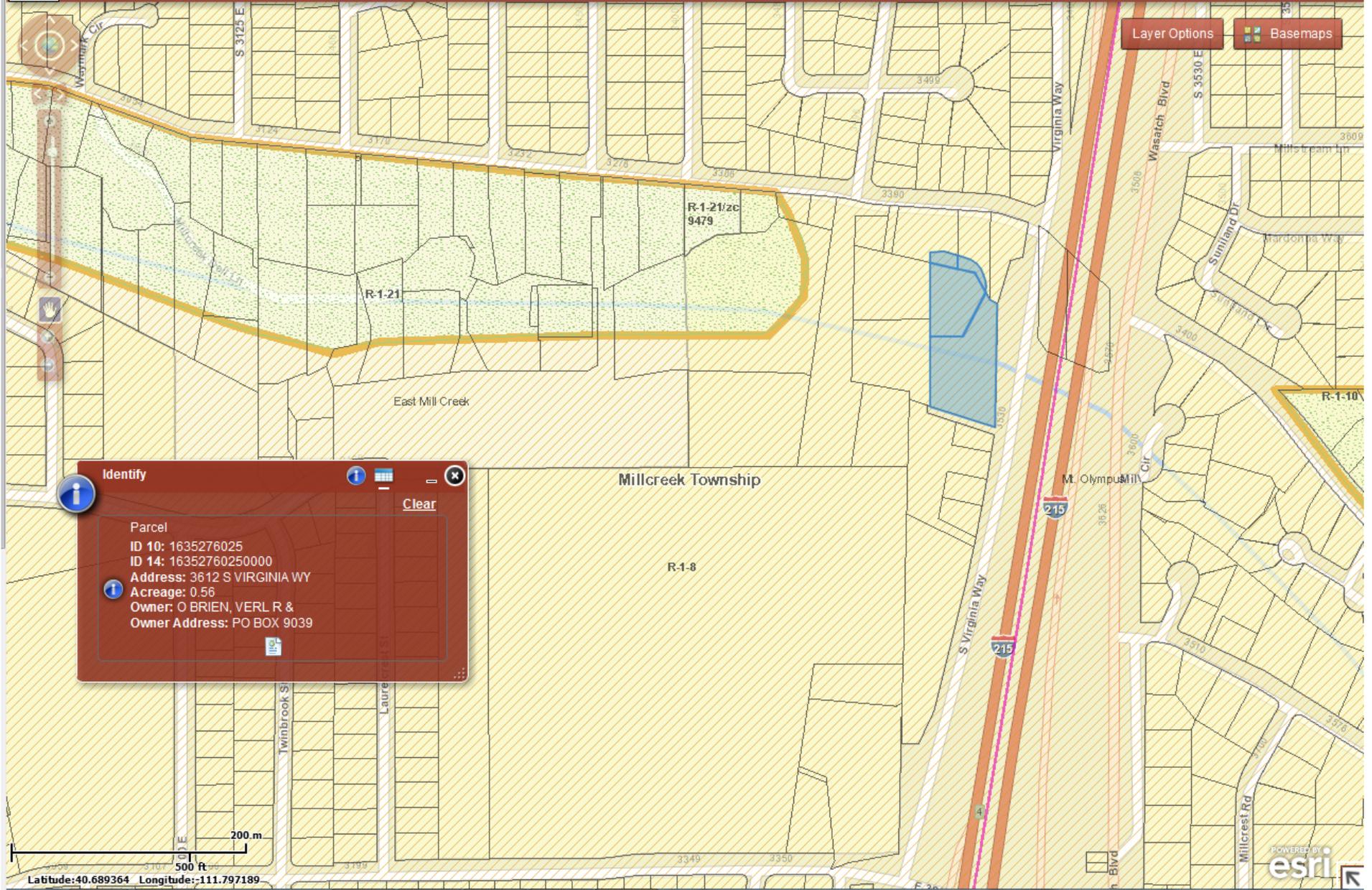
- 1) The site plan as proposed complies with the requirements and regulations of the zoning and subdivision ordinance.

3.3 Other Recommendations

Upon receipt of approval from the Planning Commission, the applicant shall be required to complete the technical review and final plat process with staff prior to recording the subdivision.



Layer Options Basemaps



Identify Clear

Parcel
 ID 10: 1635276025
 ID 14: 16352760250000
 Address: 3612 S VIRGINIA WY
 Acreage: 0.56
 Owner: O BRIEN, VERL R &
 Owner Address: PO BOX 9039

Latitude: 40.689364 Longitude: -111.797189





Layer Options Basemaps

Identify Clear

Parcel
ID 10: 1635276025
ID 14: 16352760250000
Address: 3612 S VIRGINIA WY
Acreage: 0.56
Owner: O BRIEN, VERL R &
Owner Address: PO BOX 9039











AFFIDAVIT – Property Owner

STATE OF UTAH }
COUNTY OF SALT LAKE } ss

I (we) VERL R. O'BRIEN being duly sworn, depose and say that

I (we) am (are) the owner(s) of the property(s) located at:
3612 VIRGINIA WAY

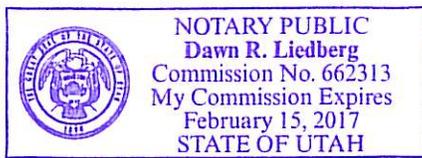
My (our) signature below attests that I (we) have reviewed the proposal by SORPSON ENGINEERING
requesting review and approval of OBRIEN SUBDIVISION

and that I (we) consent to the statements and information provided in the attached plans and exhibits and that
all information presented is true and correct to the best of my (our) knowledge.

Property Owner VERL R. O'BRIEN

Property Owner [Signature]

Subscribed and sworn to me this 21 day of Aug, 2013.



[Signature]
(Notary)

Residing in Salt Lake County, Utah

My commission expires: 2/15/2017

New Look Up

**Date:** 11/15/2013*Location*

Street: 3612 S VIRGINIA WY	Parcel No: 16-35-276-025-0000
City: Unincorporated	Township: Millcreek
Zip: 84109	Comm. Council: East Mill Creek
	Bus. Lic Area: 2

Property Ownership

Owner Name: O BRIEN, VERL R & SEAN M; TRS
Address: PO BOX 9039
City/State: SALT LAKE CITY UT
Zipcode: 84109

Regulations

Zone: R-1-8	FCOZ: N	RCOZ: Y	Over Pressure: N
General Plan: Millcreek			
Fault Area: N			
FEMA Zone:			
Liquefaction: VERY LOW			
Watershed: N			
Ground Water Protection Zone: N			
System Name:			

Property Information

Assessor Property Type: Single Family Res.
Year Built: 1979

Service Districts

Fire Flow District: Requires Fire Dept. review prior to
School District: undefined
Water District: Salt Lake City Water
1530 South West Temple
Contact: Leroy W. Hooton Jr
Phone: 483-6900

Emergency: 483-6700
Sewer District: S. L. City Suburban
1530 South West Temple
Contact: Leroy W. Hooton Jr
Phone: 483-6900
Emergency: 483-6700

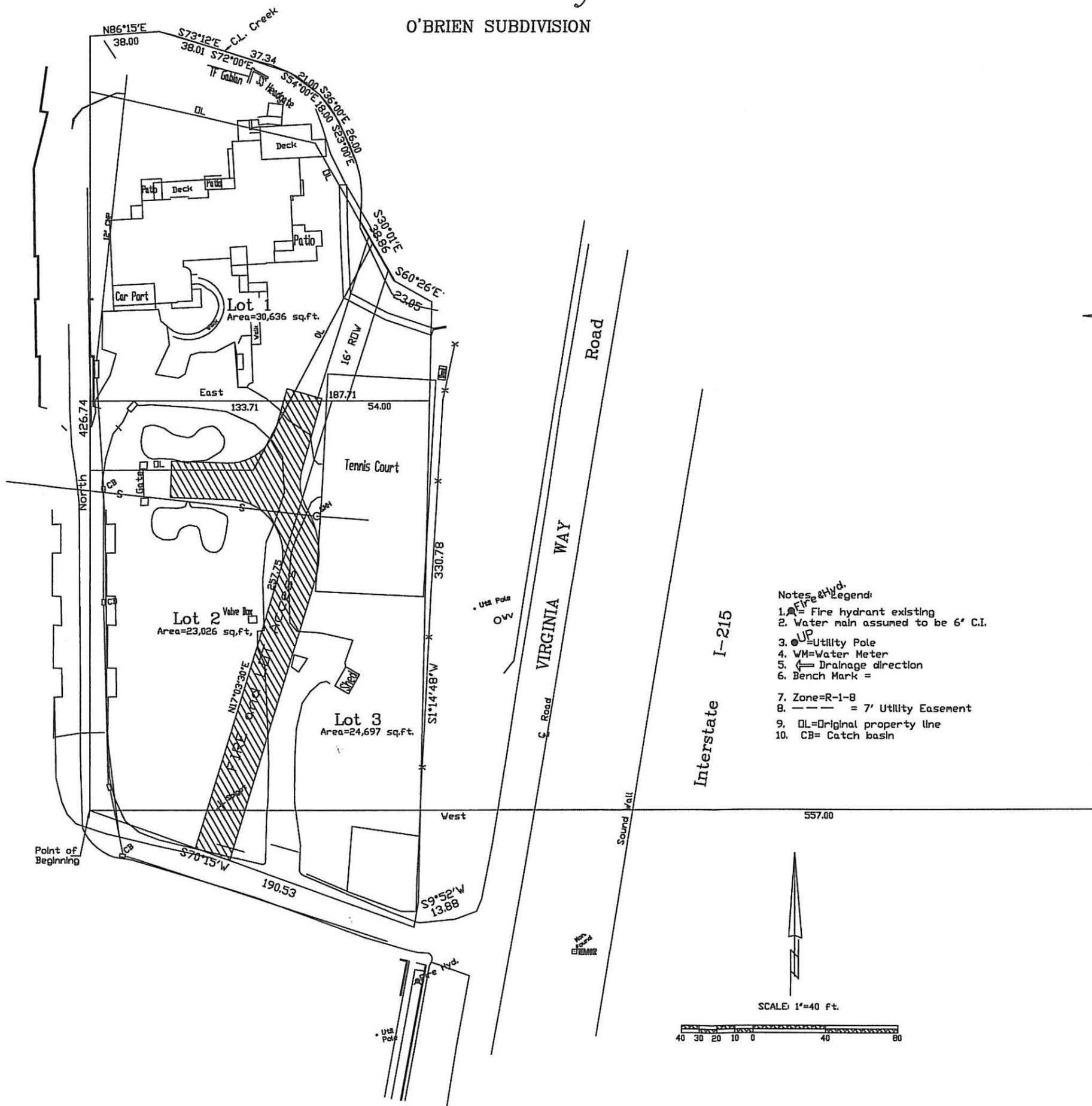
Hansen Status

Active Permit#: **Open Case#:**
Planning Project#: **Business License#:**
Use(Other)Case#:

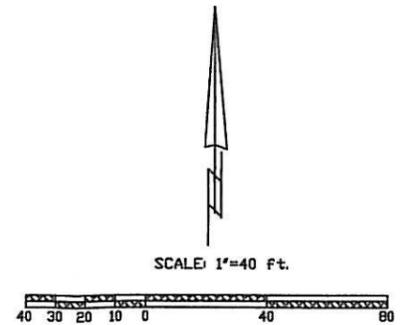
Preliminary Plat

O'BRIEN SUBDIVISION

NE Cor. Section 35,
T1S, R1E, S1B4M



- Notes & Legend:
- Fire hydrant existing
 - Water main assumed to be 6" C.I.
 - Utility Pole
 - Water Meter
 - Drainage direction
 - Bench Mark =
 - Zone=R-1-B
 - 7' Utility Easement
 - Original property line
 - Catch basin



Nelson to O'Brien
Beginning at a point S0°31'14"V 1,085.76 feet and N47°04'50"V 321.22 feet and N71°08'22"V 135.08 feet and N86°00'V 109.68 feet and S0°31'14"V 145.96 feet from the Northeast corner of Section 35, Township 1 South, Range 1 East, Salt Lake Base and Meridian, and running thence N77°06'V 79.37 feet along the South property line of the Nelson tract; thence North 29.18 feet to the centerline of Millcreek Stream; thence N86°15'E along the centerline of said stream 38.0 feet; thence S73°12'E 41.56 feet along said centerline to the Nelson East property line; thence S0°31'14"V 37.37 feet to the point of beginning.

Coon to O'Brien
Beginning at the Southeast corner of Coons property description, said point being S0°31'14"V 1,085.76 feet and N47°04'50"V 321.22 feet and N71°08'22"V 135.08 feet and N86°00'V 201.5 feet and Easterly 0.64 feet and S0°31'14"V 223.93 feet from the Northeast corner of Section 35, Township 1 South, Range 1 East, Salt Lake Base and Meridian, and running thence N30°00'V 84.92 feet; thence N77°06'V 47.99 feet; thence N0°31'14"E 38.06 feet to the centerline of Millcreek Stream; thence along said centerline of Millcreek Stream the following (7) courses: S72°00'E 38.0 feet; S54°00'E 21.0 feet; S36°00'E 18.0 feet; S23°00'E 26.0 feet; Southeasterly on a 62 foot radius curve to the right, chord bears S5°30'07"E 23.84 feet, a distance of 23.99 feet; S3°26'V 12.65 feet; and S30°00'E 27.00 feet to the point of beginning.

O'Brien 026
Beginning at a point 1,342 feet South and 557 feet West from the Northeast corner of Section 35, Township 1 South, Range 1 East, Salt Lake Base and Meridian, and running thence North 187.48 feet; thence East 90 feet; thence N27°57'36"E 141.38 feet; thence S77°06'E 128.0 feet; thence S30°01'E 86.81 feet; thence S60°26'E 23.8 feet; thence S1°14'48"W 330.78 feet; thence Southerly along a curve to the right, chord bears S9°13'V 13.88 feet, a distance of 13.88 feet; thence N70°15'V 191.53 feet to the point of beginning.

O'Brien 025
Beginning at a point 1,153.76 feet South and 557 feet West from the Northeast corner of Section 35, Township 1 South, Range 1 East, Salt Lake Base and Meridian, and running thence East 90 feet; thence N27°57'36"E 141.38 feet more or less to the center of Millcreek; thence N30°01'W 63 feet; thence N77°06'V 128 feet; thence South 208 feet to the point of beginning.

New Subdivision description:
Beginning at a point South 1,342.0 feet and West 557.0 feet from the Northeast corner of Section 35, Township 1 South, Range 1 East, Salt Lake Base and Meridian, and running thence North 426.74 feet; thence along the centerline of the creek the following 7 courses: N86°15'E 38.00 feet; S73°12'E 38.01 feet; S72°00'E 37.34 feet; S54°00'E 21.00 feet; S36°00'E 18.00 feet; S23°00'E 26.00 feet; Southeasterly on a 62 foot radius curve to the right, chord bears S5°30'07"E 23.84 feet, a distance of 23.99 feet; S3°26'W 7.12 feet; and running thence S30°01'E 38.86 feet; thence S60°26'E 23.05 feet; thence S1°14'48"W 330.78 feet; thence S9°52'W 13.88 feet; thence N70°15'W 190.53 feet to the point of beginning.

O'BRIEN SUBDIVISION

Preliminary Plat
VERL O'BRIEN
3612 SOUTH VIRGINIA WAY

RICHARD P. SORENSEN
CIVIL ENGINEER & LAND SURVEYOR
4880 HIGHLAND CIRCLE
Salt Lake city, Utah 84117

DATE
November
2003

Phone 277-7705
FILE
8300

Preliminary Plat

O'BRIEN SUBDIVISION

NE Cor. Section 35,
T1S, R1E, S1B4M

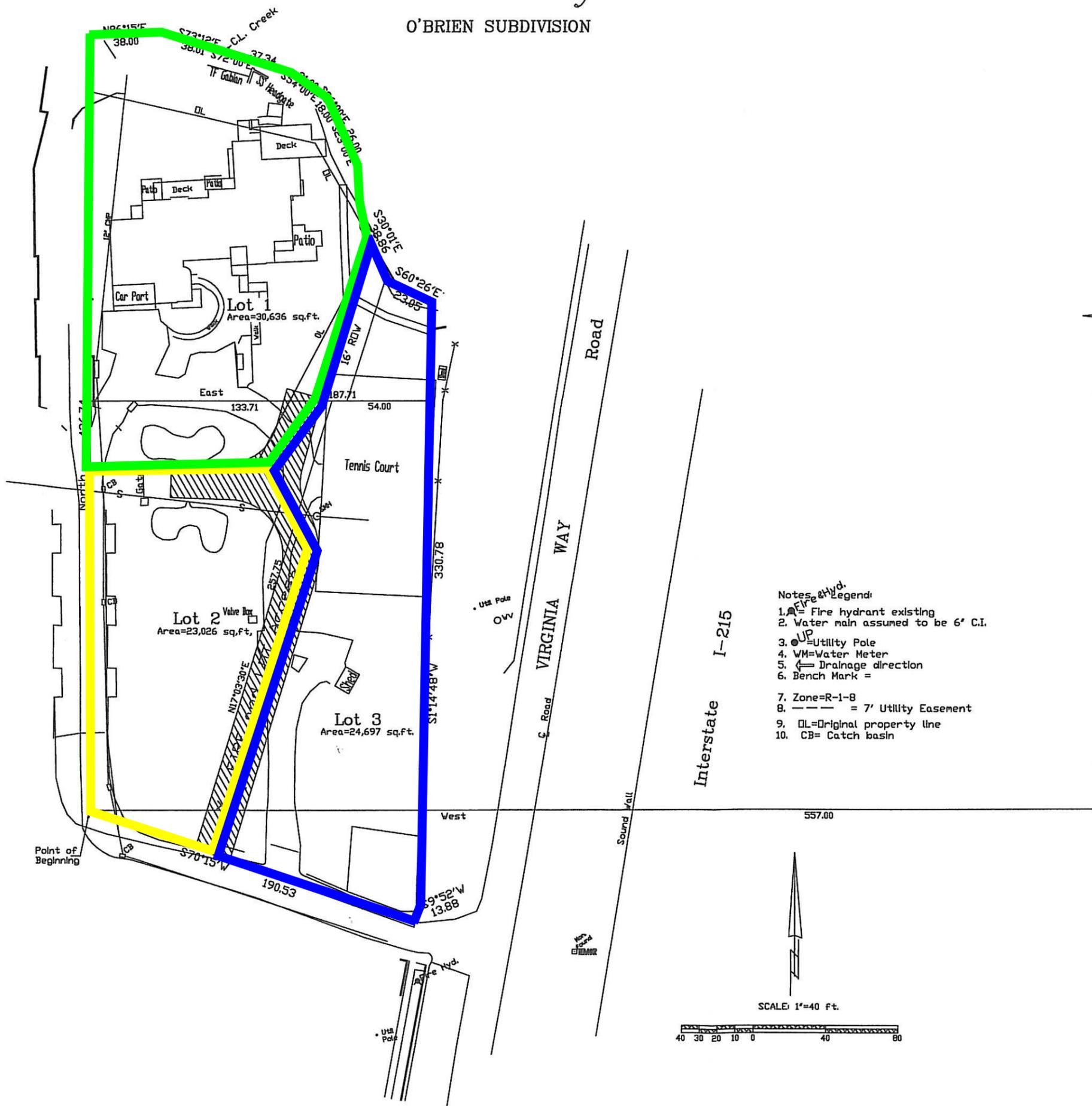
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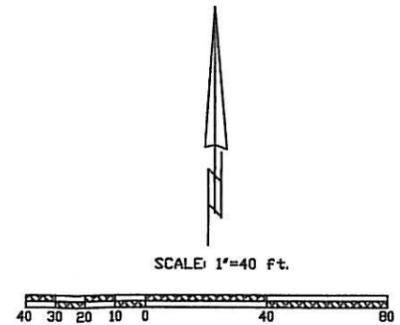
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- Notes & Legend:
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 - Utility Pole
 - Water Meter
 - Drainage direction
 - Bench Mark =
 - Zone=R-1-B
 - 7' Utility Easement
 - Original property line
 - Catch basin



O'BRIEN SUBDIVISION

Preliminary Plat VERL O'BRIEN 3612 SOUTH VIRGINIA WAY		DATE November 2003
RICHARD P. SORENSEN CIVIL ENGINEER & LAND SURVEYOR 4880 HIGHLAND CIRCLE Salt Lake city, Utah 84117		FILE 8300



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wed. - December 11, 2013	04:00 PM	File No:	2	8	7	0	4	
Applicant Name:	Richard Cook	Request:	Subdivision						
Description:	2 Lot Standard Subdivision								
Location:	3702 S. 2300 E.								
Zone:	R-2-10 Residential Two-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input type="checkbox"/>					
Planning Commission Rec:	Not Yet Received								
Staff Recommendation:	Approval with Conditions								
Planner:	Lyle Gibson								

1.0 BACKGROUND

1.1 Summary

Richard Cook is requesting approval of a 2-lot subdivision in the an R-2-10 zone. The lots front 2300 E. with a standard lot and a flag lot as proposed.

Currently the lots as proposed exists as 2 separate parcels. Research performed by staff has found that the properties were created as they are today in 1996 from a single parcel. Because these lots were recorded without going through a formal subdivision process, the new owners intent to build on the rear property has required a formal subdivision approval. It is the intent of the applicant to keep the parcels as they are but to formally approve the parcels with Salt Lake County Planning and Development Services as buildable lots.

BASE LOT

Required:

Lot size of 10,000 sq. ft. with 65' of frontage.

Proposed:

Front lot is 13,550 sq. ft. with 80' of frontage. (exceeds standard)

FLAG LOT

Required:

Lot size of 15,000 sq. ft. with frontage of 20' requiring approval from Unified Fire, or 25'.

Proposed:

Lot size of 16,109 sq. ft. with frontage of 20'. Preliminary approval has been recieved by UFA and the county traffic engineer. (meets standard)

1.2 Hearing Body Action

This application is on the agenda for a final decision from the Millcreek Planning Commission.

1.3 Neighborhood Response

As of the date of this report, no comments have been received by staff from the neighboring community.

2.0 ANALYSIS

2.1 Applicable Ordinances

19.32.040 Lot areas and widths.

Zone: R-2-10

Minimum Lot Size: 5,000 square feet for a lot containing 1 unit of a two-family dwelling 10,000 square feet for any other main building

Minimum Lot Width: 65 feet at a distance 30 feet from the front lot line

Flag Lot Policy:

In order to **subdivide** an existing lot or parcel so as to create two or more separate lots or parcels (the **base lot(s)** adjacent to the street and a **flag lot(s)** to their rear), sufficient land area must be available to maintain;

- a. For the **base lot(s)**, compliance with the required area and width requirements of the zone in which the properties are situated, and
 - b. For **flag lot(s) less than one half acre in size;**
 1. One and one half times the area requirements for the zone in which the properties are situated if ownership of the land providing access to the **flag lot(s)** is retained by or conveyed to the owner of those lots, or
 2. One and one half times the area requirements for the zone in which the properties are situated *minus* the land area included in the access easement across the **base lot(s)**.
5. d. On properties where the length of the access connection from the **flag lot** to the street right-of-way or easement is *more than* one hundred and fifty feet, the width of that connection must be no less than **twenty-five feet** unless a lesser width is authorized for access purposes by the County 's traffic engineer and fire official.

2.2 Subdivision Requirements

18.08.010 Procedure generally.

A review procedure, which shall include:

1. An on-site review by the director or director's designee as provided by Utah Code 17-27a-303;
2. Review of the submitted site plan/preliminary plat for compliance with county land use ordinances;
3. Reference of the application and site plan/preliminary plat to any other government agency and/or affected entity which the director or director's designee deems necessary to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;

4. The processing of any exception requests that have been made in conjunction with the subdivision application.

C.

A preliminary plat approval procedure, which shall include:

1. Confirmation that all necessary agencies have responded to the requests for recommendation with a recommendation of approval or approval with conditions;
2. Integration of the recommendations from the other government agencies and affected entities involved above into the preliminary plat;
3. Receipt of a recommendation from the planning staff;
4. Approval of the preliminary plat as outlined in [Section 18.12.030](#), and issuing a preliminary plat approval letter.

D.

A final plat approval procedure, which shall include:

1. An engineering review to ensure that the final plat complies with all conditions of approval of the preliminary plat and to ensure that the final plat complies with the design standards, codes, and ordinances and with minimum engineering/surveying requirements;
2. A check of appropriate background information, such as: lot access, property title, record of survey, field boundary verification, etc.;
3. The collection of the necessary approval signatures (planning commission representative, director or director's designee, health department, district attorney, county mayor or their designees) on the final plat;
4. Payment of final fees and bond;
5. Recordation of the plat.

2.3 Other Agency Recommendations or Requirements

No geological concerns or issues with the Public Works Operations (Sanitation and Street Lighting)

Building:

No building issues with the two lot subdivision. Building permit(s) will be required for the construction of the new home or any other structures regulated by the building code.

1. At time of building permit application, provide complete building plans showing compliance with current building code.
2. At time of building permit application, provide fire flow verification and/or show how compliance is going to be made with any Unified Fire District Guidelines.

Grading:

- 1- Technical Review required.
- 2- Need to submit exterior building elevations at Tech review.
- 3- Need to complete the Stormwater maintenance agreement and record and return a copy to this office for approval.(provided)
- 4- Retention pond requires agreement.

5- no other grading issues are anticipated at this time.

Urban Hydrology:

- . Details on retention pond, including profiles, landscaping, 1-ft of freeboard.
- 2. Routing property storm water to retention pond. Soil berming is unacceptable. must be piped or natural (historical) routing to pond.
- 3. Notes to be placed on stamped plans.
 - a. The developer shall be required to permanently contain all generated water on his own property or routed to an approved Salt Lake County drainage system.
 - b. The developer shall grade this property in accordance with the approved site grading and lot drainage plan so as not to discharge any additional storm water onto adjacent properties.
 - c. Salt Lake County will not assume any responsibility for the maintenance of the retention pond or private storm drain system.

Unified Fire:

Preliminary approval given: road width of less than 20' and access of over 150' requires the building on back lot be fire sprinklered due to fire apparatus access.

Traffic:

applicant will be required to contribute to the highway fund as the county has plans to install curb, gutter, and sidewalk along 2300 e in the near future.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Subdivision with the following conditions:

- 1) Final approval of a 'Fire Code Modification' be aquired by Unified Fire Authority to verify allowed drive access width.

3.2 Reasons for Recommendation

- 1) Lots as proposed comply with minimum standards of zoning ordinance and the Flag Lot Policy as adopted by the planning commission.

3.3 Other Recommendations

Applicant shall complete the technical review, preliminary plat, and final plat approval process with staff before recording the subdivision.

VTDI 16-34-180-038-0000	DIST 17	TOTAL ACRES	0.37
TAYLOR, WENDELL W &	TAX CLASS	UPDATE	REAL ESTATE 182400
CECELIA S; TRS		LEGAL	BUILDINGS 0
% KEITH D TAYLOR		PRINT P	TOTAL VALUE 182400
3343 S HONEYCUT RD	NO:		
SALT LAKE CITY UT	84106396643	EDIT 1	FACTOR BYPASS
LOC: 3702 S 2300 E	EDIT 0	BOOK 07421	PAGE 1527 DATE 08/20/2013
SUB: UNKNOWN			TYPE UNKN PLAT

11/12/2013 PROPERTY DESCRIPTION FOR TAXATION PURPOSES ONLY
 BEG N 0-04'56" E 407.6 FT & N 89-52'38" W 201 FT FR SE COR
 OF NW 1/4 SEC 34, T 1S, R 1E, SLM; N 89-52'38" W 127.63 FT;
 N 0-04'56" E 100.67 FT; E 295.63 FT; S 0-04' 56" W 20.01 FT;
 N 89-52'38" W 168 FT; S 0-04'56" W 80.66 FT TO BEG. 0.37 AC
 M OR L. 2755-412 6096-2028

PFKEYS: 1=RXPH 4=VTAU 6=NEXT 7=RTRN VTAS 8=RXMU 10=RXBK 11=RXPN 12=PREV

VTDI 16-34-180-039-0000	DIST 17	TOTAL ACRES	0.31
TAYLOR, PAUL S &	TAX CLASS	UPDATE	REAL ESTATE 134300
SARA M; JT		LEGAL	BUILDINGS 59200
		PRINT P	TOTAL VALUE 193500

705 AZURE DR NO:
CAMP VERDE AZ 86322 EDIT 1 FACTOR BYPASS
LOC: 3706 S 2300 E EDIT 0 BOOK 07421 PAGE 1527 DATE 08/20/2013
SUB: UNKNOWN TYPE UNKN PLAT

11/12/2013 PROPERTY DESCRIPTION FOR TAXATION PURPOSES ONLY
BEG N 0-04'56" E 407.6 FT & N 89-52'38" W 33 FT FR SE COR OF
NW 1/4 SEC 34, T 1S, R 1E, SLM; N 89-52'38" W 168 FT; N
0-04'56" E 80.66 FT; S 89-52'38" E 168 FT; S 0-04'56" W
80.66 FT TO BEG. 0.31 AC. 6096-2028

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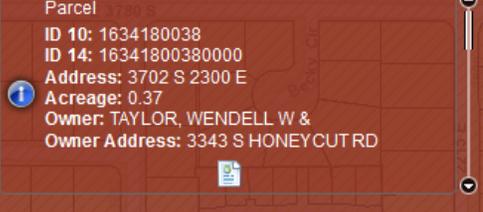
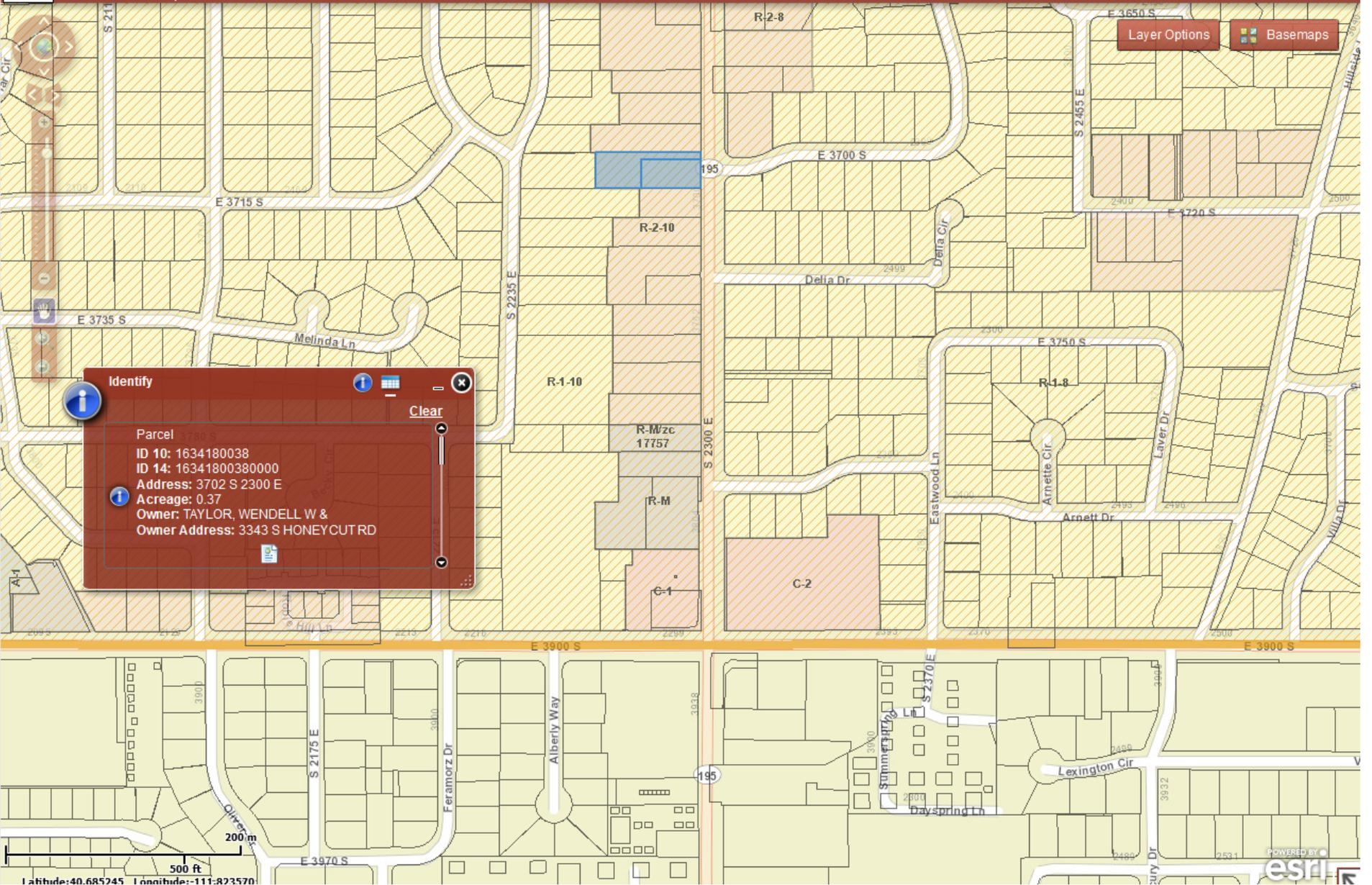


Layer Options Basemaps

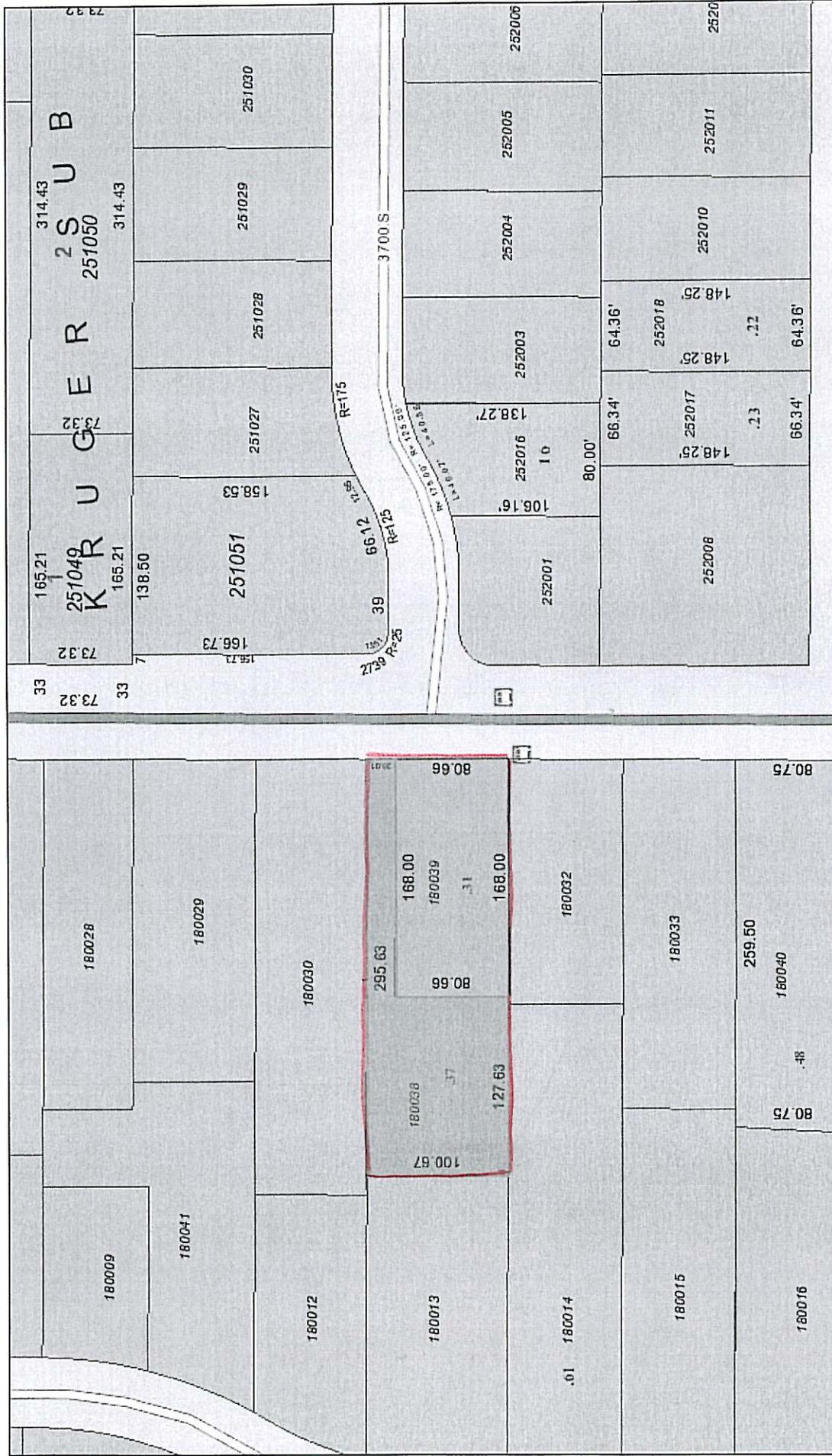
Identify Clear

Parcel

ID 10: 1634180038
 ID 14: 16341800380000
 Address: 3702 S 2300 E
 Acreage: 0.37
 Owner: TAYLOR, WENDELL W &
 Owner Address: 3343 S HONEYCUT RD

Salt Lake County Recorder's Office



November 8, 2013

- Override 1
- Parcels



The information depicted on this map is for general reference only, and is not intended to determine final ownership, jurisdictional boundaries or to replace a survey or any other legal document. In conjunction with the Offices of Salt Lake County Assessor, Salt Lake County Clerk, Salt Lake County Mayor, Salt Lake County Surveyor.



223 2300 East Holladay Blvd











Procedures and Standards For the Establishment and Development Of FLAG LOTS

1. Division of a property with frontage on a street so as to create one or more **flag lots** requires **subdivision approval** in accordance with Title 18 of the Code of County Ordinances for Salt Lake County.
2. Access to a **flag lot or lots** shall be provided in the following manner;
 - a. Ownership of the land area connecting the **flag lot(s)** to the street by the person(s) or entities that own the balance of the land area included in the **flag lot(s)**, or
 - b. Retention of ownership of the land area connecting the **flag lot(s)** to the street by the owner of the **base lot(s)** fronting on the street, but only if conveyance of that land area would render the **base lot(s)** substandard with regards to lot width or lot area requirements applicable to the zone in which the properties are situated. If so retained, access to the **flag lot(s)** shall be provided through conveyance and recordation of a perpetual access easement for each lot, together with cross maintenance and liability agreements addressing the rights and responsibilities of the owners of the **base lot(s)** and the **flag lot(s)**.
3. In order to **subdivide** an existing lot or parcel so as to create two or more separate lots or parcels (the **base lot(s)** adjacent to the street and a **flag lot(s)** to their rear), sufficient land area must be available to maintain;
 - a. For the **base lot(s)**, compliance with the required area and width requirements of the zone in which the properties are situated, and

- b. For **flag lot(s) less than one half acre in size;**
 - 1. One and one half times the area requirements for the zone in which the properties are situated if ownership of the land providing access to the **flag lot(s)** is retained by or conveyed to the owner of those lots, or
 - 2. One and one half times the area requirements for the zone in which the properties are situated *minus* the land area included in the access easement across the **base lot(s)**.

- c. For **flag lot(s) one half acre in size or larger;**
 - 1. Compliance with the required area and width requirements of the zone in which the properties are situated, *exclusive of* the land area encumbered for access purposes to the **flag lot(s)**, whether by ownership or perpetual easement.

- 4. In addition to maintaining compliance with the area and width requirements of the zone in which the **base lot(s)** are located, normally-applicable yard or setback requirements for the **base lot(s)** must be maintained, particularly if said lots are already developed or improved. Where access to a **flag lot** is provided via recordation of a perpetual easement across the **base lot**, the yard or setback for the base lot shall be measured from the **interior edge of the easement** closest to any existing or proposed improvements on the **base lot**.

- 5. Access to a **flag lot(s)**, whether by ownership of the land area across which such access is provided or through recordation of a perpetual access easement across the **base lot(s)**, must be of uniform width from the **flag lot** to the intersection with the street right-of-way or easement upon which the **base lot** fronts in accordance with the following;
 - c. On properties where the length of the access connection from the **flag lot(s)** to the street right-of-way or easement is *less than* one hundred and fifty feet, the width of that connection must be no less than **twenty feet** unless a lesser width is authorized for access purposes by the County=s traffic engineer and fire official.

- d. On properties where the length of the access connection from the **flag lot** to the street right-of-way or easement is *more than* one hundred and fifty feet, the width of that connection must be no less than **twenty-five feet** unless a lesser width is authorized for access purposes by the County=s traffic engineer and fire official.
6. **Improvements to the travel way** within the access connection from the **flag lot(s)** to the street right-of-way or easement shall be in accordance with the following standards:
- f. On properties where the length of the access connection is *less than* one hundred and fifty feet, the **improved surface** of the travel way must be;
 - 1. At least **twelve feet** in width its entire length unless a lesser width is authorized for access purposes by the County=s traffic engineer and fire official; and
 - 2. No closer than;
 - a. **Five feet** to a neighboring property line at the intersection with the street right of way or easement line so as to provide adequate area for satisfaction of county driveway radius requirements, and
 - b. **Four feet** to a neighboring property line for the remaining length of the improved travel way from the street right-of-way or easement line to the **flag lot(s)**.
 - 3. Incompliance with county standards at its intersection with the street right-of-way or easement.
 - b. On properties where the length of the access connection is *more than* one hundred and fifty feet, the **improved surface** of the travel way must be;
 - 1. At least **eighteen feet** in width its entire length so as to allow the passage of vehicles in opposite directions unless a lesser width is authorized for access purposes by the County=s traffic engineer and fire official; and

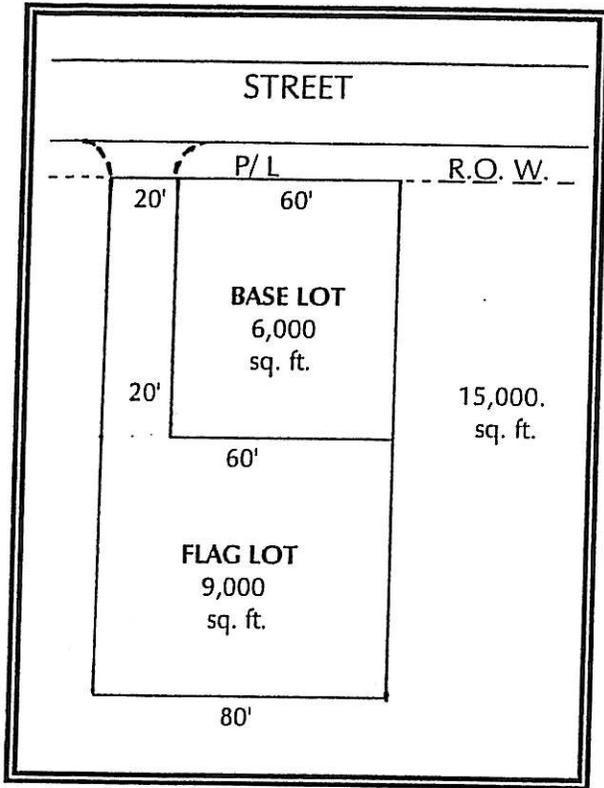
2. Provided with a vehicle turnaround on the **flag lot(s)** to the satisfaction of County Fire officials; and
3. No closer than;
 - a. **Five feet** to a neighboring property line at the intersection with the street right of way or easement line so as to provide adequate area for satisfaction of county driveway radius requirements, and
 - b. **Four feet** to a neighboring property line for the entire length of the improved travel way on private property; and
4. In compliance with county standards at its intersection with the street right-of-way or easement; and
7. The land area that is not encumbered by required travel way surface improvements within the access connection from the **flag lot(s)** to the street right-of-way or easement shall be planted in its entirety and maintained as landscaped buffers on each side of the travel way in accordance with plans reviewed and approved as part of the flag lot approval process.
8. Site plan review for the development of a single family residence on a **flag lot** shall be on a permitted use basis and subject to the same ordinance requirements and development standards as those applicable to other single family residential properties in the same zone except with regards to yard or setback requirements which, for a **main dwelling**, shall be as follows;
 - a. For properties in the R-1-6, R-1-7, R-1-8, and R-1-10 zones, a uniform yard or setback requirement of **twenty feet** shall be maintained from all property lines of the flag portion of the lot.
 - b. For properties in the R-1-15 and R-1-21 Zones, a uniform yard or setback requirement of **twenty-five feet** shall be maintained from all property lines of the flag portion of the lot.

- c. For properties in the R-1-43 Zone, a uniform yard or setback requirement of **thirty feet** shall be maintained from all property lines of the flag portion of the lot.
9. The yard or setback requirements for a detached accessory structure on a **flag lot** shall be as follows:
- a. For properties in the R-1-6, R-1-7, R-1-8, R-1-10, and R-1-15 Zones, a detached accessory structure **must** be to the rear of and at least 6 feet from the main dwelling on the **flag lot**, and must maintain the following separation from adjacent property lines;
 1. Ten feet if adjacent to the side yard of a dwelling on an adjacent lot;
 2. One foot if not adjacent to the side yard of a dwelling on an adjacent lot, so long as the height of the accessory structure does not exceed fourteen feet. Accessory structures taller than fourteen feet (a maximum height of twenty feet is permitted) must maintain one additional foot of yard or setback separation for each additional foot of detached accessory structure height.
 3. Twenty feet adjacent to any street.
 - b. For properties in the R-1-21 and R-1-43 Zones, a detached accessory structure must maintain the following separation from adjacent property lines;
 1. Twenty-five feet if located to the side or front of the main dwelling on the flag lot.
 2. Twenty feet adjacent to any street;
 3. Ten feet if located to the rear of and at least six feet from the main dwelling on the flag lot but adjacent to the side yard of a dwelling on an adjacent lot;
 4. One foot if not adjacent to the side yard of a dwelling on an adjacent lot, so long as the height of the accessory structure does

not exceed fourteen feet. Accessory structures taller than fourteen feet (a maximum height of twenty feet is permitted) must maintain one additional foot of yard or setback separation for each additional foot of detached accessory structure height.

10. Lots of record that were created in accordance with the procedures for the establishment of Deep Lots as set forth in the Salt Lake County Planning Commission's 1965 policy by that name shall continue to be subject to the site development and improvement standards associated with that policy.

FLAG LOT in the R-1-6 Zone



Base Lot Requirements

Minimum Lot Area = 6,000 sq. ft.

Minimum Lot Width = 60 ft.

Minimum Lot Depth = varies (100 ft. w/ 60 ft width)

Flag Lot in R-1-6 Zone

Minimum Lot Area = 1.5 X base = 1.5 X 6,000 sq.ft. = 9,000 sq. ft.

Minimum Access Area Width = 20 ft.

Minimum Lot Width = base + access = 60 ft. + 20 ft. = 80 ft.

Minimum Lot Depth = varies (87.5 ft. w/80 ft. width)

Total land area required for a Flag Lot in R-1-6 Zone

Base Lot = 6,000 sq. ft.

Flag Lot = 9,000 sq. ft.

= 15,000 sq. ft.

minimum land area required

Yard Requirements

Main Dwelling

(w/garage)

Base Lot

Front = 25 ft.

Side = 8 ft.

Rear = 15 ft.

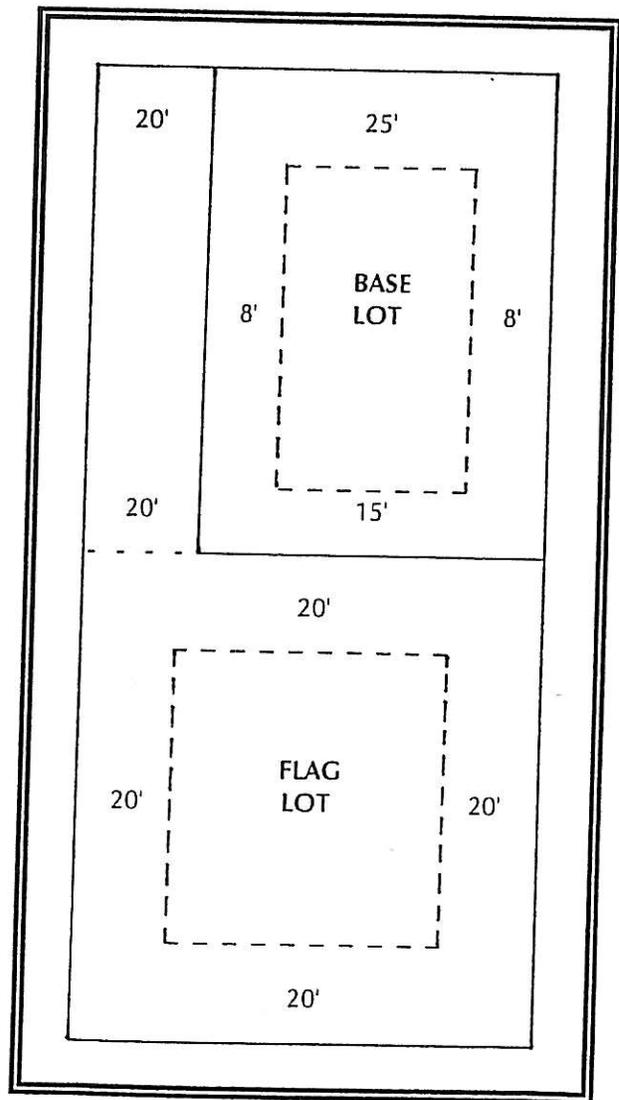
Flag Lot

20 ft. from property lines
of "flag" portion of lot

Detached Accessory Structures

Must be to the rear of and at least 6 ft. from main dwelling = 1 ft., unless adjacent to the side yard of a dwelling on an adjacent lot, in which case = 10 ft. from that property line .

Adjacent to any street
= 20 ft.

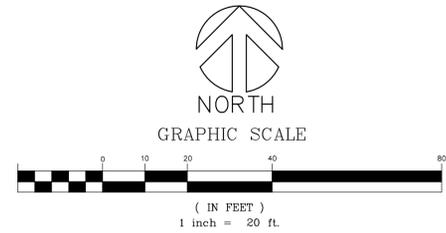


GRADING NOTES:

- CONTRACTOR SHALL HAVE OBTAINED AND REVIEWED THE GEOTECHNICAL STUDY, AND SHALL BE FAMILIAR WITH THE RECOMMENDATIONS MADE IN THAT REPORT.
- STRIP AND REMOVE EXISTING TOPSOIL; ORGANIC SOILS; UNDOCUMENTED FILL; SOFT, LOOSE OR DISTURBED NATIVE SOILS; AND ANY OTHER DELETERIOUS MATERIALS FROM BELOW FOUNDATION, FLOOR SLAB, EXTERIOR CONCRETE FLATWORK, AND PAVEMENT AREAS. THE ASPHALT, FILL, AND TOPSOIL (INCLUDING SOIL WITH ROOTS LARGER THAN 1/4 INCH IN DIAMETER) SHALL BE COMPLETELY REMOVED, EVEN IF FOUND TO EXTEND DEEPER THAN DEFINED, ALONG WITH ANY OTHER UNSUITABLE SOILS THAT MAY BE ENCOUNTERED. ALL EXPOSED SURFACES SHALL BE FREE OF MOUNDS AND DEPRESSIONS WHICH COULD PREVENT UNIFORM COMPACTION.
- NEAR SURFACE CLAY SOILS ARE NOT SUITABLE FOR USE AS STRUCTURAL FILL. EXCAVATED NATIVE SOILS, INCLUDING CLAYS, MAY BE STOCKPILED FOR USE AS FILL IN LANDSCAPE AREAS. REGULAR STRUCTURAL FILL SHALL CONSIST OF IMPROVED MATERIAL OR EXCAVATED SOILS MEETING THE FOLLOWING REQUIREMENTS:
 MAXIMUM PARTICLE SIZE: 4 INCHES
 PERCENT RETAINED ON THE 3/4 INCH SIEVE: 30 MAX
 PERCENT PASSING THE NO 200 SIEVE: 15 MAXIMUM
 LIQUID LIMIT OF FINES: 35 MAXIMUM
 PLASTICITY INDEX OF FINES: 15 MAXIMUM
- UTILITY TRENCHES BELOW THE BUILDING AND PAVEMENT SHALL BE BACKFILLED WITH STRUCTURAL FILL. ALL BACKFILL SOIL SHALL MEET THE FOLLOWING REQUIREMENTS:
 MAXIMUM PARTICLE SIZE: 4 INCHES

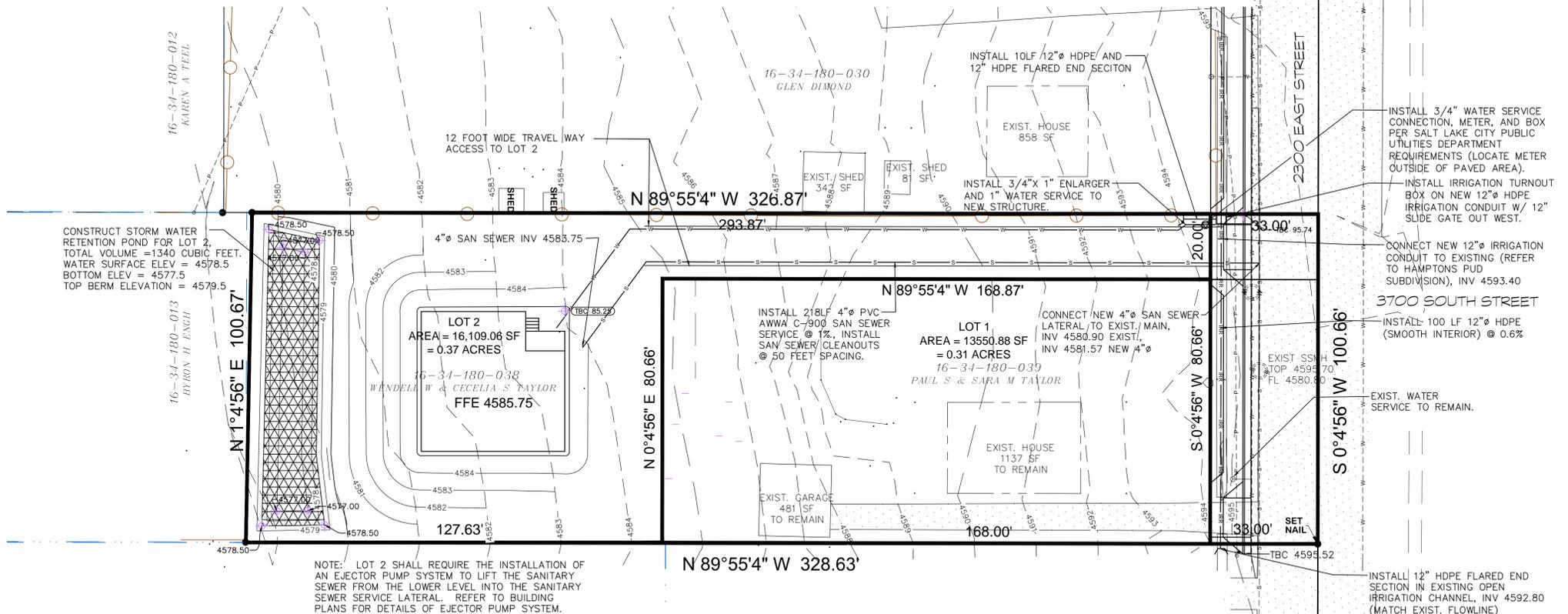
LIQUID LIMIT OF FINES: 35 MAXIMUM
 PLASTICITY INDEX OF FINES: 15 MAXIMUM

- PLACE AND COMPACT FILL MATERIALS IN HORIZONTAL LIFTS NOT EXCEEDING 4 INCHES FOR HAND OPERATED EQUIPMENT; 6 INCHES FOR MOST TRENCH COMPACTORS; AND 8 INCHES FOR LARGER ROLLERS. THE FULL THICKNESS OF EACH LIFT OF STRUCTURAL FILL SHALL BE COMPACTED TO AT LEAST THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 3-1557:
 LANDSCAPE AREAS NOT SUPPORTING STRUCTURAL LOADS: 90%
 LESS THAN 5 FEET OF FILL BELOW FOUNDATIONS, FLATWORK AND PAVEMENTS: 95%
 FIVE OR MORE FEET OF FILL BELOW FOUNDATIONS, FLATWORK AND PAVEMENTS: 98%
- DURING GRADING, THE SOIL IN ANY OBVIOUS SOFT SPOTS SHALL BE REMOVED AND REPLACED WITH GRANULAR MATERIAL TO A MINIMUM DEPTH OF 18 INCHES.
- NO GRADE CHANGES WILL BE PERMITTED FROM THAT SHOWN AND APPROVED ON THIS PLAN WITHOUT RESUBMITTING THE PROPOSED CHANGES TO THE OWNER, AND HIS REPRESENTATIVE.
- ASPHALT PAVEMENT STRUCTURAL SECTION FOR PARKING AREAS SHALL CONSIST OF 3 INCHES ASPHALT SURFACE COURSE OVER 8 INCHES COMPACTED ROADBASE, OVER A PREPARED SUBGRADE. ASPHALT CONCRETE SHALL MEET UTAH COUNTY REQUIREMENTS AND AGGREGATE BASE AND SUBBASE MATERIAL SHALL MEET UDOT SPECIFICATION REQUIREMENTS. AGGREGATE BASE AND SUBBASE SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY (ASTM D-1557). ASPHALTIC CONCRETE IS COMPACTED TO AT LEAST 96% MARSHAL MIX DESIGN DENSITY (ASTM D 1559).



UTILITY NOTES:

- NO CHANGE IN DESIGN OF UTILITY LOCATIONS OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE SALT LAKE CITY CITY PUBLIC UTILITIES DEPARTMENT (WATER), MOUNT OLYMPUS IMPROVEMENT DISTRICT (SANITARY SEWER), SALT LAKE COUNTY (STORM DRAIN SYSTEM), OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES AND SERVICE LATERALS (WHETHER SHOWN OR NOT SHOWN ON THE PLANS), AND FOR REPAIRING ALL DAMAGE THAT OCCURS TO THE UTILITIES DURING CONSTRUCTION.
- ALL WATER LINE THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AS PER THE SPECIFICATIONS. ALL VALVES, FITTINGS AND APPURTENANCES SHALL BE BLOCKED.
- ALL EXPOSED NUTS AND BOLTS ON WATER LINE FITTINGS SHALL BE COATED WITH A NON-OXIDE WAX AND WRAPPED IN 8-MIL POLYETHYLENE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO THE GOVERNING AGENCIES STANDARDS. CONTRACTOR SHALL WET DOWN ALL DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO ADJACENT SURFACE IMPROVEMENTS DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
- ALL EXISTING ASPHALT AND CONCRETE PAVEMENT TO BE CUT SHALL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO EXCAVATION.
- NO SUBSTITUTES IN PIPE DIAMETER DIFFERENT FROM THOSE SHOWN ON THIS PLAN WILL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE OWNER AND/OR HIS REPRESENTATIVE, AND THE APPROPRIATE UTILITY AUTHORITY.
- THE BOTTOM OF ALL UTILITY TRENCHES SHALL BE COMPACTED THOROUGHLY PRIOR TO PLACING PIPE. IF ROCK IS ENCOUNTERED AT DESIGN GRADE, OR A SOFT OR SOGGY BOTTOM IS ENCOUNTERED, THE TRENCH BOTTOM SHALL BE OVEREXCAVATED AND SUITABLE MATERIAL PLACED AND COMPACTED TO BOTTOM OF TRENCH GRADE.
- ALL STORM DRAIN BOXES SHALL BE SIZED LARGE ENOUGH TO ACCEPT THE STORM DRAIN CONDUIT PROPOSED TO BE CONNECTED. ALL STORM DRAIN CONDUIT CONNECTIONS TO BOXES SHALL BE WATERTIGHT. ALL STORM DRAIN GRATES SHALL BE BICYCLE SAFE.



LEGEND

NEW	EXISTING	DESCRIPTION
---	---	SECTION LINE
---	---	CENTER LINE
---	---	SUBJECT PROPERTY LINE
---R/W---	---	RIGHT OF WAY LINE
---	---	EASEMENT LINE
---	---	DITCH FLOWLINE
---	---	FENCE LINE
---	---	CABLE TV LINE
---	---	FIBER-OPTIC CABLE
---	---	NATURAL GAS LINE
---	---	IRRIGATION LINE
---	---	OVERHEAD POWER LINE
---	---	POWER LINE
---	---	TELEPHONE LINE
---	---	SANITARY SEWER LINE
---	---	STORM DRAIN LINE
---	---	WATER LINE

16-34-180-014
 GREGORY B & AMILI A NEFF

16-34-180-032
 STEPHEN E & KAREN A MARTINDALE

STORM DRAIN CALCULATIONS
 OLYMPUS TWO LOT SUBDIVISION
 3702 & 3706 SOUTH 2300 EAST
 SALT LAKE COUNTY, UTAH

- GENERAL INFORMATION
 - LOT 1 CURRENTLY HAS A DWELLING ON THE LOT AND WILL NOT BE ALTERED. THE STORM WATER DISCHARGE PATTERN WILL NOT BE CHANGED. LOT 2 WILL HAVE A NEW DWELLING CONSTRUCTED ON THE LOT.
 - STORM WATER SHALL BE RETAINED ON SITE FOR AN A 100 YEAR FREQUENCY 24 HOUR DURATION STORM OCCURRENCE.
- RAINFALL INFORMATION 100 YEAR FREQUENCY STORM SOURCE: NOAA ATLAS 14 RAINFALL INTENSITY DATA
 - 15 MINUTE PRECIPITATION = 1.06 INCHES
 - 30 MINUTE PRECIPITATION = 1.43 INCHES
 - 60 MINUTE PRECIPITATION = 1.77 INCHES
 - 2 HOUR PRECIPITATION = 1.94 INCHES
 - 3 HOUR PRECIPITATION = 1.98 INCHES
 - 6 HOUR PRECIPITATION = 2.14 INCHES
 - 12 HOUR PRECIPITATION = 2.58 INCHES
 - 24 HOUR PRECIPITATION = 2.85 INCHES

- LOT 1 IS NOT BEING CHANGED IN ANY WAY. THE STORM WATER PRODUCED ON THIS LOT HAS BEEN CONTAINED ON THE LOT AND THE STORM WATER WILL NOT BE CHANGED IN ANY WAY.
- DRAINAGE AREA CALCULATIONS LOT 2
 - A AREA = 16,109 SF = 0.37 ACRES
 - B SUBDIVISION RATIONAL C COEFFICIENT = 0.35
 - C REQUIRED RETENTION VOLUME = (16109)(0.35)(2.85)(1/12) = 1339 CUBIC FEET
 - D RETENTION VOLUME CALCULATIONS
- STORM WATER RETENTION SHALL BE PROVIDED IN A RETENTION POND LOCATED ALONG THE WEST SIDE OF THE LOT 2.
- TOP BERM = 4579.5
 WATER SURFACE ELEVATION = 4578.5 AREA = 1446 SF
 BOTTOM ELEVATION = 4577.0 AREA = 573 SF
 VOLUME = 1465 CF > 1339 CF REQUIRED

EAST MILLCREEK WATER COMPANY
 APPROVED _____
 NAME: _____
 DATE: _____

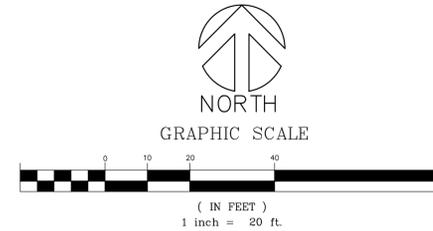


BUSH & GUDGELL, INC.
 Engineers - Planners - Surveyors
 655 East 4500 South, Suite 100
 Salt Lake City, UT 84107
 Phone (801) 685-6194 / Fax (801) 685-6195
 www.bushandgudgell.com



DATE: 11/09/13
 DRAWN: GMB
 APPROVED: GMB
 SCALE: 1" = 20'
 JOB NO. 132101

UTILITY & GRADING PLAN
 OLYMPUS TWO LOT SUBDIVISION
 LOCATED IN SALT LAKE COUNTY, UT



OLYMPUS TWO LOT SUBDIVISION

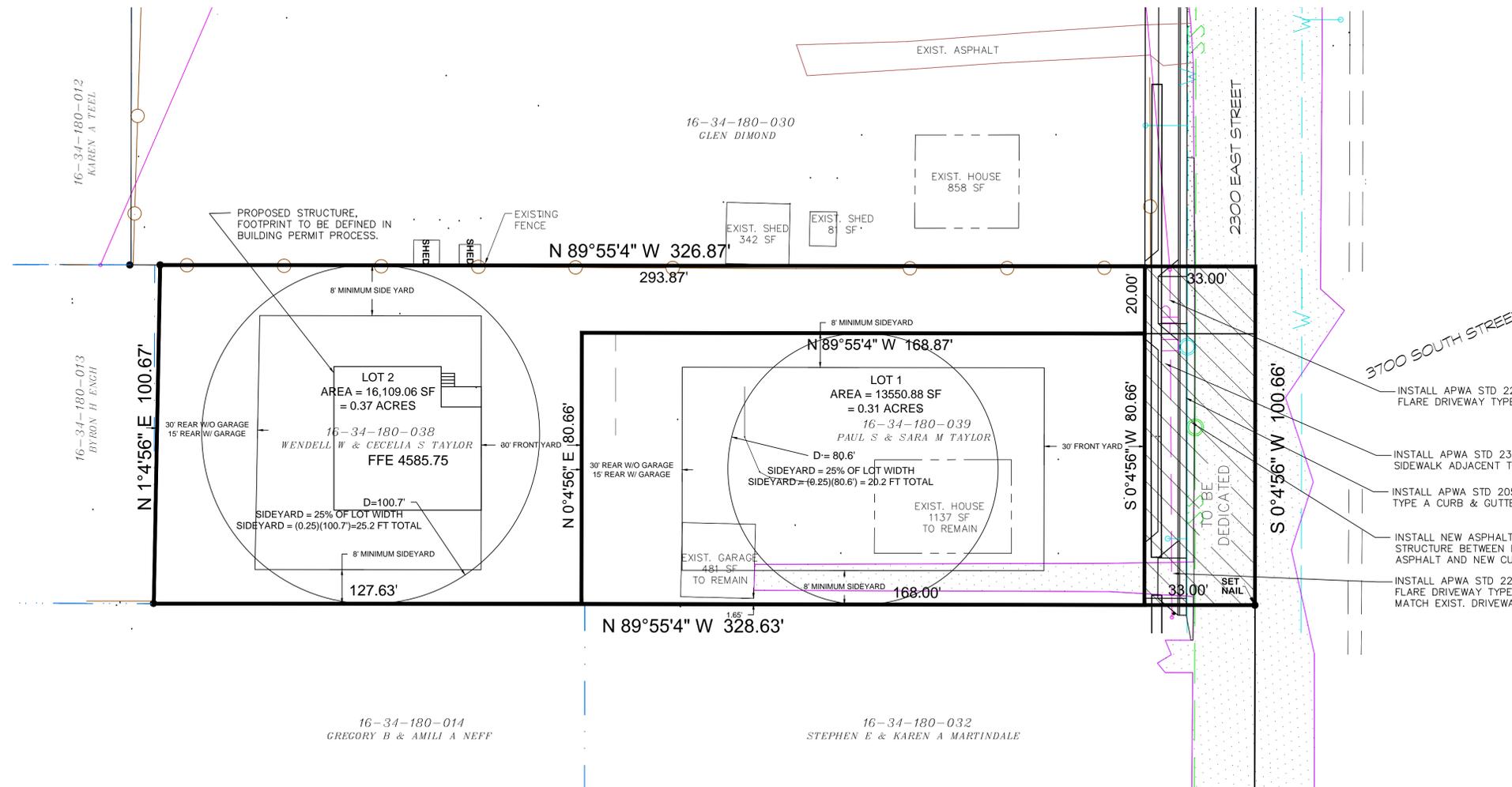
LOCATION: NW 1/4 SEC 34, T1S, R1E, S.L.B.&M
3702 & 3706 SOUTH 2300 EAST
SALT LAKE COUNTY, UTAH

APPLICANT: RICHARD COOK
8280 ETIENNE WAY
SANDY, UTAH 84093
TELEPHONE: 801-232-1898

PROJECT DATA:

ZONING: R-2-10
W/ RESIDENTIAL COMPATIBILITY OVERLAY

TOTAL AREA = 32,989.57 SQUARE FEET = 0.76 ACRES
NET AREA AFTER DEDICATION = 29,667.79 SQUARE FEET
= 0.68 ACRES



2300 EAST STREET
3700 SOUTH STREET

- INSTALL APWA STD 221 FLARE DRIVEWAY TYPE B.
- INSTALL APWA STD 231 6 FOOT WIDE SIDEWALK ADJACENT TO NEW CURB & GUTTER
- INSTALL APWA STD 205 TYPE A CURB & GUTTER
- INSTALL NEW ASPHALT PAVEMENT STRUCTURE BETWEEN EXIST EDGE OF ASPHALT AND NEW CURB AND GUTTER.
- INSTALL APWA STD 221 FLARE DRIVEWAY TYPE B. MATCH EXIST. DRIVEWAY

LEGEND

NEW	EXISTING	
---	---	SECTION LINE
---	---	CENTER LINE
---	---	SUBJECT PROPERTY LINE
---R/W---	---R/W---	RIGHT OF WAY LINE
---	---	EASEMENT LINE
---	---	DITCH FLOWLINE
---X---	---X---	FENCE LINE
---TV---	---TV---	CABLE TV LINE
---FO---	---EX FO---	FIBER-OPTIC CABLE
---G---	---G---	NATURAL GAS LINE
---IRR---	---IRR---	IRRIGATION LINE
---OHP---	---OHP---	OVERHEAD POWER LINE
---P---	---P---	POWER LINE
---T---	---T---	TELEPHONE LINE
---S---	---S---	SANITARY SEWER LINE
---	---	STORM DRAIN LINE
---W---	---W---	WATER LINE

16-34-180-014 GREGORY B & AMILI A NEFF
16-34-180-032 STEPHEN E & KAREN A MARTINDALE

No.	Date	By	Revision

BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors
655 East 4500 South, Suite 100
Salt Lake City, UT 84107
Phone (801) 685-6194 / Fax (801) 685-6195
www.bushandgudgell.com

DATE: 11/09/13
DRAWN: GMB
APPROVED: GMB
SCALE: 1" = 20'
JOB NO.: 132101

SITE PLAN
OLYMPUS TWO LOT SUBDIVISION
LOCATED IN SALT LAKE COUNTY, UT

OLYMPUS TWO LOT SUBDIVISION

LOCATED IN
NW 1/4 OF SECTION 34, TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

SURVEYOR'S CERTIFICATE

I, XXXXXXXXXXXX, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD LICENSE NO. XXXXXX AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNER, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND THAT RECORD OF SURVEY NO. S2013-01-0039 HAS BEEN FILED IN THE OFFICE OF THE COUNTY SURVEYOR AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, HEREAFTER TO BE KNOWN AS THE

OLYMPUS TWO LOT SUBDIVISION

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

Beginning at a point located North 0°4'56" East 407.6 feet North from the Center of Section 23, Township 1 South, Range 1 East, Salt Lake Meridian, running thence North 89°55'04" West 328.63 feet; thence North 1°04'56" East, 100.67 feet; thence South 89°55'04" East 326.87 feet to the quarter section line; thence South 0°04'56" West 100.66 feet to the point of beginning.

Area = 0.757 Acres (0.081 Acres in 2300 East Street)

DATE:

XXXXXXXXXXXXXXXXXX
REGISTERED LAND SURVEYOR
UTAH LICENSE NUMBER XXXXXXX

OWNER'S DEDICATION

DO HEREBY DEDICATE TO THE COMMON USE OF THE JAMES & JILLEN ALLEN, BUT NOT TO THE USE OF THE GENERAL PUBLIC, ALL COMMON AND LIMITED COMMON AREAS (INCLUDING PRIVATE STREETS) SHOWN ON THIS PLAT, IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF DEDICATION OF SAID COMMON AND LIMITED COMMON AREAS AS MORE FULLY PROVIDED IN THE "DEDICATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS" APPLICABLE TO ENTRY NO. _____ BOOK _____ PAGES _____ DATED _____ SAID DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS ARE HEREBY INCORPORATED AND MADE PART OF THIS PLAT. REFERENCE IS MADE TO SAID DECLARATION FOR DETAILS CONCERNING THE RIGHT AND OBLIGATIONS OF PARTIES HAVING OR ACQUIRING AN INTEREST IN THIS DEVELOPMENT. FOR GOOD AND VALUABLE CONSIDERATION RECEIVED, THE UNDERSIGNED OWNERS HEREBY DEDICATE AND COVEY TO _____ PUBLIC STREETS AND EASEMENTS OVER, ON UNDER AND ACROSS ALL COMMON AND LIMITED COMMON AREAS AND PRIVATE ROADWAYS FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE. THE UNDERSIGNED OWNERS DO HEREBY WARRANT TO _____ AND ITS SUCCESSORS AND ASSIGNS, THE RIGHT TO USE ALL DEDICATIONS AND CONVEYANCES GRANTED HEREIN AGAINST THE CLAIMS OF ALL PERSONS.

SONORA RANCH, L.L.C.
(A UTAH LIMITED LIABILITY COMPANY)

BY:

BY:

LIMITED LIABILITY ACKNOWLEDGMENT

ON THE ____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, JAMES ALLEN AND JILLEN ALLEN WHO BEING BY ME DULY SWORN, DID SAY THAT THEY ARE THE MANAGER/MEMBER OF ROBERT ALLEN FAMILY, LLC, AND THAT THEY EXECUTED THE FOREGOING OWNER'S DEDICATION IN BEHALF OF SAID LIMITED LIABILITY COMPANY BEING AUTHORIZED AND EMPOWERED TO DO SO BY THE OPERATING AGREEMENT OF ROBERT ALLEN FAMILY, LLC, AND THEY DID DULY ACKNOWLEDGE TO ME THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME FOR THE USES AND PURPOSES STATED THEREIN.

MY COMMISSION EXPIRES:

NOTARY PUBLIC
RESIDING IN:

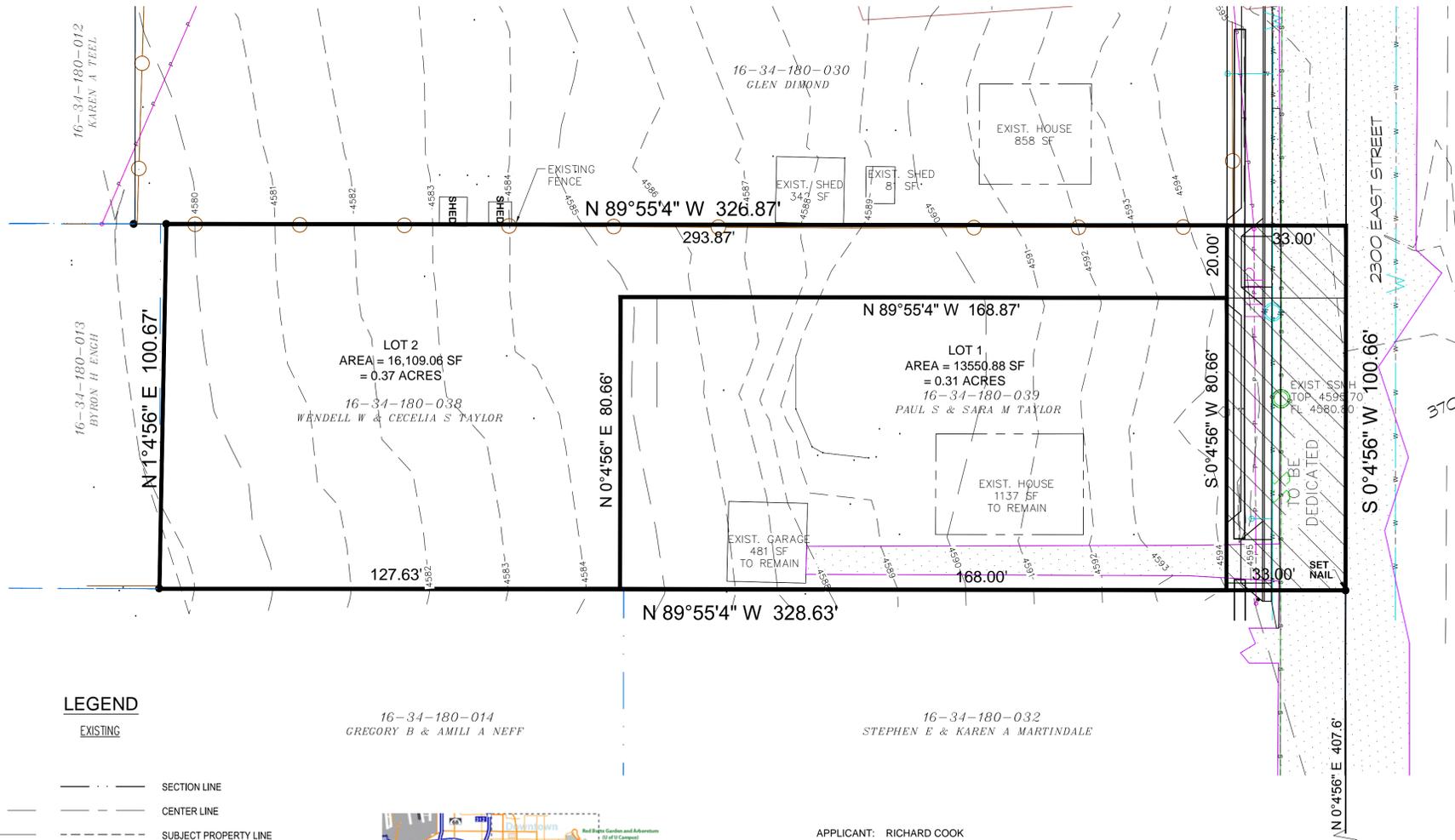
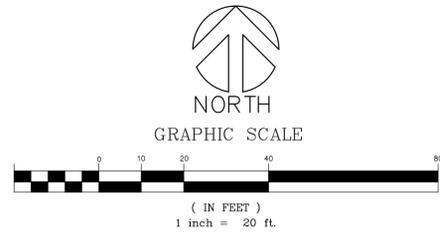
NOTES

1. THE SURVEYED PROPERTY IS LOCATED WITHIN ZONE "X". "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"; ACCORDING TO THE FLOOD INSURANCE RATE MAP WITH COMMUNITY PANEL NO. 49035C0304G,

OLYMPUS TWO LOT SUBDIVISION

LOCATED IN
NW 1/4, SECTION 34, TOWNSHIP 1 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

PRELIMINARY PLAT



LEGEND

NEW	EXISTING	
---	---	SECTION LINE
---	---	CENTER LINE
---	---	SUBJECT PROPERTY LINE
R/W	R/W	RIGHT OF WAY LINE
---	---	EASEMENT LINE
---	---	DITCH FLOWLINE
X	X	FENCE LINE
TV	TV	CABLE TV LINE
FO	EX FO	FIBER-OPTIC CABLE
G	G	NATURAL GAS LINE
IRR	IRR	IRRIGATION LINE
P	OHP	OVERHEAD POWER LINE
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T	T	TELEPHONE LINE
S	S	SANITARY SEWER LINE
W	W	STORM DRAIN LINE
W	W	WATER LINE

16-34-180-014
GREGORY B & AMILIA A NEFF

16-34-180-032
STEPHEN E & KAREN A MARTINDALE



VICINITY MAP

APPLICANT: RICHARD COOK
8280 ETIENNE WAY
SANDY, UTAH 84093
TELEPHONE: 801-232-1898

PROJECT DATA:

ZONING: R-2-10
W/ RESIDENTIAL COMPATIBILITY OVERLAY

TOTAL AREA = 32,989.57 SQUARE FEET = 0.76 ACRES
NET AREA AFTER DEDICATION = 29,667.79 SQUARE FEET
= 0.68 ACRES

CENTER SECTION 34
T1S R1E S18M
FOUND MONUMENT
ELEV. = 4592.96

PROPERTY ADDRESS:
3702 & 3706 SOUTH 2300 EAST
SALT LAKE COUNTY, UTAH

UNIFIED FIRE AUTHORITY APPROVAL

ADDRESS FRONTAGE APPROVED

HEALTH

APPROVED THIS _____ DAY
OF _____ A.D., 20____

SALT LAKE VALLEY HEALTH DEPT.

PLAN CHECK

I HEREBY CERTIFY THAT THIS OFFICE HAS
EXAMINED THIS PLAT AND IT IS CORRECT IN
ACCORDANCE WITH INFORMATION ON FILE
IN THIS OFFICE.

DATE _____ PLAN REVIEW SECTION MANAGER

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 20____

SALT LAKE COUNTY DISTRICT ATTORNEY

MAYOR

PRESENTED TO THE SALT LAKE COUNTY MAYOR
THIS _____ DAY OF _____
A.D., 20____, AT WHICH TIME THIS SUBDIVISION WAS
APPROVED AND ACCEPTED.

MAYOR, OR DESIGNEE

Record of Survey

RSC NO. _____

Date

Signature

CHECKED FOR ZONING COMPLIANCE

Zone: _____ Lot Area: _____

Lot Width: _____ Front Yard: _____

Side Yard: _____ Rear Yard: _____

Date

Signature

RECORDED

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF

DATE _____ TIME _____ BOOK _____ PAGE _____

FEE \$

SALT LAKE COUNTY RECORDER

BUSH & GUDGELL, INC
655 East 4500 South, Ste 100
Salt Lake City, Utah 84107
Phone (801) 685-6194

132072 BASE.dwg



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wed. December 11, 2013	04:00 PM	File No:	2	8	6	9	5	
Applicant Name:	David Rose	Request:	Conditional Use						
Description:	Planned Unit Development								
Location:	3662 S. 2300 E.								
Zone:	R-2-10 Residential Two-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Planning Commission Rec:	Not Yet Received								
Community Council Rec:	Not yet received								
Staff Recommendation:	Approval with Conditions								
Planner:	Lyle Gibson								

1.0 BACKGROUND

1.1 Summary

The applicant's are requesting Conditional Use and Preliminary Plat approval of a 17 unit PUD subdivision. Details of the proposal are outlined in the Zoning Analysis Table in this report. The proposal includes 46% Open Space which includes a playground and picnic areas. 14 of the units in the development are twin home units while the other 3 units are single family homes.

Type of PUD - Single-Family and Two-Family PUD Subdivision

Number of Units/Lots & Density - 17 Units on 2.57 acres = 6.6 dwelling units per acre

Lot Sizes - Range approximately 2,100 to 2,800 square feet for twin homes; 0.05 to 0.65 acres

Range approximately 2,400 to 3,700 square feet for single family homes; 0.05 to 0.85 acres

The 17 lots averaged over the developed acreage has an average lot size of 6,585 sq. ft.

Minimum Setbacks -

Development Boundary

From 2300 East - 20 feet

Remaining Perimeter on North, West, and South - 15'

Interior

Front - 18feet from back of curb to front of garage

Sides - 8 feet on one side, minimum 16' between structures.

Rear - Between lots 3 & 4 and Lots 5 & 6 there is a 25' separation

Relational Facilities

There are 2 locations within the development dedicated to common area amenities and recreation facilities.

Playground (1,000 square feet/0.023 acres) - Play Structure details provided

Picnic Areas (2,000 square feet /0.045 acres) - Example of structures provided.

Open Space - Total of 51,838 sq. ft. or 1.2 acres in dedicated open space

Typical Architecture - See attached elevations. Essentially 2 story craftsman style housing units with basements as proposed. The elevations proposed range in height up to 31'.

Private Street - (Proposed Name - Hampton Court)

The development is not proposed to be a gated community, however at the request of staff to address the concern of the potential of a future gate, details have been provided.

Internal 25-foot wide Private Right-of-way owned in common (not part of the lots).

Public Street - 2300 East

Dedication proposed to correct property alignment with right of way along souther portion of the project.

Cross Section/Improvements - Applicant proposes to add Sidewalk, Curb, Gutter and park-strip in the public right-of-way in front of the subject property. Engineering staff has asked that the applicant contribute to the Highway Fund in lieu of the improvements with the anticipation of the County installing the improvements along the west side of 2300 East in the near future.

Parking

2 spaces in the garage of each home minimum (34 spaces);

2 spaces in each units driveway (34 spaces);

2 spaces at the end of the turn-around on the south east part of project (2 spaces)

Total 70 spaces = 4.1 parking spaces per dwelling. (not counting 3 car garages)

1.1.2. Property Info

Zoning - Subject property and surrounding area is zoned R-2-10, Residential, Two-Family, 10,000 square foot minimum lot size for a standard subdivision.

Surrounding Land Use - The properties that front 2300 East on both sides are zoned for two-family residential use and include a mix of single family and two family residents. Across the street is a senior care facility, and to the rear and west of the proposed development are R-1-10 single family homes.

Property Size - The subject property is 2.57 acres. After the required dedication to the public right of way the PUD will include 2.44 acres.

Existing Improvements

The properties involved currently have 3 single family dwellings. The largest parcel included in the proposal is currently vacant.

1.2 Hearing Body Action

The application is on the Commission's agenda for final action

1.3 Neighborhood Response

As of the date of this report, 11/27/2013, staff has not received a response from the neighborhood.

1.4 Community Council Response

This item is scheduled to be heard at the East Mill Creek Community Council's regularly scheduled meeting to be held on 12/5/2103.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		As proposed, with the approval of the planning commission as stated in 19.78.090 of the zoning ordinance, the setbacks, and height may be approved per the proposed site plan. The amount of parking meets and exceeds the usual standard of 2.25 stalls per unit. The development appears to be able to meet and shall apply with all other applicable provisions of the zoning ordinance prior to final approval including landscaping requirements.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		As proposed the plan appears to comply with all other applicable laws and ordinance. The technical review process by staff will require verification of compliance with these items prior to final approval.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		The preliminary review conducted by the County Traffic Engineer concludes that this project does not present a traffic hazard as proposed.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Preliminary reviews by Geology indicate that there are no mapped geologic hazards at this location. However due to the projects size, a geotechnical report will be required and compliance with the findings must be demonstrated for final approvals from staff. The final storm drain details will require approval through the technical review, but preliminary reviews indicate that the systems proposed for storm water will function.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E`:</u> <i>The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i>

	The applicant has demonstrated that the size and scale of the buildings as proposed are in harmony with the Residential Compatibility Overlay Zone that exists in the Millcreek Township. Height and setbacks are compatible with surrounding properties, and the proposed single and two-family residential structures are compatible with the homes and structures found in the proximity.
--	--

2.2 Zoning Requirements

The following is a summary comparing the zoning requirements and the proposal from the applicant. The table also indicates whether or not the provision meets, exceeds, doesn't comply, or would need approval under this PUD Conditional Use application. Some items in the zoning regulations can be modified through PUD approval, others cannot. For example, the Commission cannot approve density higher than the maximum allowed in the underlying zone; approves land uses not listed in the underlying zone; or approved exceptions from County Roadway Standards on public streets. Setbacks, Architecture, layout, minim lot size, recreational facilities and open space can be modified under a PUD. A maximum density can also be set as long as it does not exceed the maximum allowed in the zone.

* = Needs PUD Approval	Base Standard	Proposed	PUD Modification
Minimum PUD Project Area	R-2 zones: No minimum	2.57 acres	<u>Exceeds Standard</u>
R-2-10 Maximum Density	5 dwelling units per acre (single-family) 8 units per acre (two-family)	17 proposed dwelling units / 2.57 acres = 6.615 dwelling units per acre	<u>Meets Standard</u>
Lot Dimensions			
*Minimum Area	10,000 square feet single-family 5,000 square feet per side two-family structure	2,061 to 3,900 square feet Average lot size units per acres including common areas = 6,585 square feet.	Needs PUD Approval (proposed sizes are reflective of proposed building footprints)
*Minimum Width	65 feet at 30-foot setback	<u>Estimated:</u> 36 to 50 feet	Needs PUD Approval
Recreational Facilities			
Quantity	3	5	<u>Meets Standard</u>
Type	Playground 1,000 sq. ft. w/play equipment, PLUS Two other per policy standards	Playground 1,000 sq. ft. Picnic Areas 2,000 sq. ft. – this equates to 4 units per the recreation and open space standards.	<u>Meets Standard</u> (allows for 4% reduction in open space)
Open Space			
Types of Open Space	Landscape, Natural Areas, Recreational Areas, Yards, Patios	Playground, Picnic Areas, Common and limited common areas.	<u>Meets Standard</u>
Percent of Site	50% (may be reduced to 42%)	46%	<u>Meets Standard</u>
*Maximum Building Height	30 feet to ridge line per RCOZ (option B allows up to 35')	Measured as much as 31'	Needs PUD Approval
MINIMUM BUILDING SETBACK			
Project Perimeter			
East (2300)	20-30 feet - front or side.	20 feet side yards (no homes front 2300 E.)	<u>Meets Standard</u>
North	15 feet	15 foot minimum	<u>Meets Standard</u>
South	15 feet	15 foot minimum	<u>Meets Standard</u>
West	15 feet	15 foot minimum	<u>Meets Standard</u>
Individual Lots			

* = Needs PUD Approval	Base Standard	Proposed	PUD Modification
*Front	30 feet	Estimated: 18 feet to front of garage. Building setback from back of curb varies at around 10 feet.	Needs PUD Approval
Interior Side	8 feet (both 25% of lot width)	Estimated: 8 foot minimum	<u>Meets Standard</u>
*Street Side	20 feet	Estimated: 10 feet	Needs PUD Approval
*Rear	15 feet with Garage	Estimated: 12 - 15 feet	Needs PUD Approval
Parking			
*Total	2 per dwelling + guest space (Qty. approved by PC)	2 per dwelling 2 guest 2 additional on lots	Needs PUD Approval
Per Unit	2 per dwelling	2 per dwelling in garage	<u>Meets Standard</u>
*In Driveway	None, but can count towards guest parking	2 per driveway	Needs PUD Approval
*Guest (Not on the lots)	Determined by Planning Commission	2 off lot	Needs PUD Approval

2.3 Other Agency Recommendations or Requirements

Building Inspector:

- Demo permits are required for the removal of the existing homes and structures on the property.
- Building permits are required for the construction of the new homes as well as any other structures regulated by the building code as requiring permits (for example but not limited to fences over 7' tall, electric gates, pavilions, outbuildings, etc).
 1. At time of building permit application, provide complete building plans showing compliance with current building code.
 2. At time of building permit application, provide fire flow verification and/or show how compliance is going to be made with any Unified Fire District Guidelines.

Geology:

- No apparent or mapped geologic hazards at this location. no tech review necessary.

Grading:

- 1- Need to submit a copy of the Geotechnical Engineering report.
- 2- Grade changes in the area of lot 10 may require the use of retaining walls.
- 3- The use of the Stormtech system in the area of the homes may have affect on the lower living spaces.
- 4- A stormwater maintenance agreement and stormwater management plan will need to be submitted for review and recorded against the property prior to approvals.
- 5- The project is in excess of one acre and will require the development of a SWPPP and NOI prior to approval of any permits.
- 6- On grading plans need to show the site surface drainage will be maintained on the property or directed to an approved outlet.
- 7- Concern is raised with the installation of the playground equipment over the top of the Stormtech system and the maintenance of the same.

Traffic:

- Driveways must be at least 18' deep. This is shown on site plan... lots on preliminary plat unclear. May work depending on the way ownership works.
- Money into highway fund for the improvements along 2300 E. ... Will be about \$11,700 for curb gutter sidewalk and ADA ramps.
- Wall along 2300 E. needs to be 2' tall or less within clear view site triangle (40') on approach to street.
- No gate to be installed for gated community, if this changes detail to be provided and must be internal to development to allow cars to be off of 2300 E. while waiting for gate to open.

Unified Fire Authority:

1. Verification of fire flow on hydrants... must be 2000 GMP
2. Hydrant placement is fine
3. Verification of radius on all corners. Wider road may be installed in lieu of 28' turn radius.
4. Consider nor parking signs in turnaround areas if guest parking may be used in those areas.

Urban Hydrology:

1. Hydrology almost complete. Minor revisions to plans for final approval.
2. Irrigation questions and irrigation approval from weir master. Will need to sign off on hydrology plans before getting to final plat.
3. Show a box where the irrigation is currently listed and provide the details of box and pipe.
4. Show compliance with CFS and internal boxes
5. include notes that must be on hydrology plans (hard copy given by hydrologist)
6. HDP requires 2' of cover, otherwise needs to be RCP

Planner:

SITE PLAN

R-2-10 - Density = 8 units per acre two family / 5 units per acre 2 single actual density 6.6 units per acre.
-perimeter setback = 15' / no dimension on front yard setback... appears to be 18' .. neighboring properties have 25' or 30' setback from street. / minimum setback between buildings on site plan 16' / homes have 18' to front of garage from curb, no internal sidewalk proposed. should demonstrate some internal pedestrian connection at least for access to amenities, also parking near amenities for residents and/or guests.
-parking handles with 2 stalls per unit plus driveway.

LANDSCAPE and AMENITIES

46% Open space provided ... 3 required amenities (tot lot + 2) 5 provided allows for 4 % reduction from 50%
Re-vegetation plan shows trees being planted account for trees being removed

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:

- 1) Applicant shall demonstrate pedestrian connectivity from units to amenities provided.

3.2 Reasons for Recommendation

- 1) Apart from the tot lot being away from guest parking spaces, the amenities as proposed are not connected to the proposed units via a dedicated pedestrian access.

3.3 Other Recommendations

Applicant shall complete the technical review, preliminary plat, and final plat process with staff prior to recording.

New Look Up

**Date:** 11/1/2013*Location*

Street: 3662 S 2300 E **Parcel No:** [16-34-180-027-0000](#)
City: Unincorporated **Township:** Millcreek
Zip: 84109 **Comm. Council:** [East Mill Creek](#)
Bus. Lic Area: 2

Property Ownership

Owner Name: DNA ASSISTED LIVING LLC
Address: 3681 S 2300 E
City/State: SALT LAKE CITY UT
Zipcode: 84109

Regulations

Zone: [R-2-10](#) **FCOZ:** N **RCOZ:** Y **Over Pressure:** N
General Plan: Millcreek
Fault Area: N
FEMA Zone:
Liquefaction: VERY LOW
Watershed: N
Ground Water Protection Zone: N
System Name:

Property Information

Assessor Property Type: Vacant Lot - Res
Year Built:

Service Districts

Fire Flow District: Requires Fire Dept. review prior to
School District: undefined
Water District: Salt Lake City Water
 1530 South West Temple
 Contact: Leroy W. Hooton Jr
 Phone: 483-6900
 Emergency: 483-6700

Sewer District: S. L. City Suburban
1530 South West Temple
Contact: Leroy W. Hooton Jr
Phone: 483-6900
Emergency: 483-6700

Hansen Status

Active Permit#: **Open Case#:**
Planning Project#: **Business License#:**
Use(Other)Case#:



UTA BUS
RIDE-UTA
(712-5822)
LOCATION 1

223 2300 East Holladay Blvd





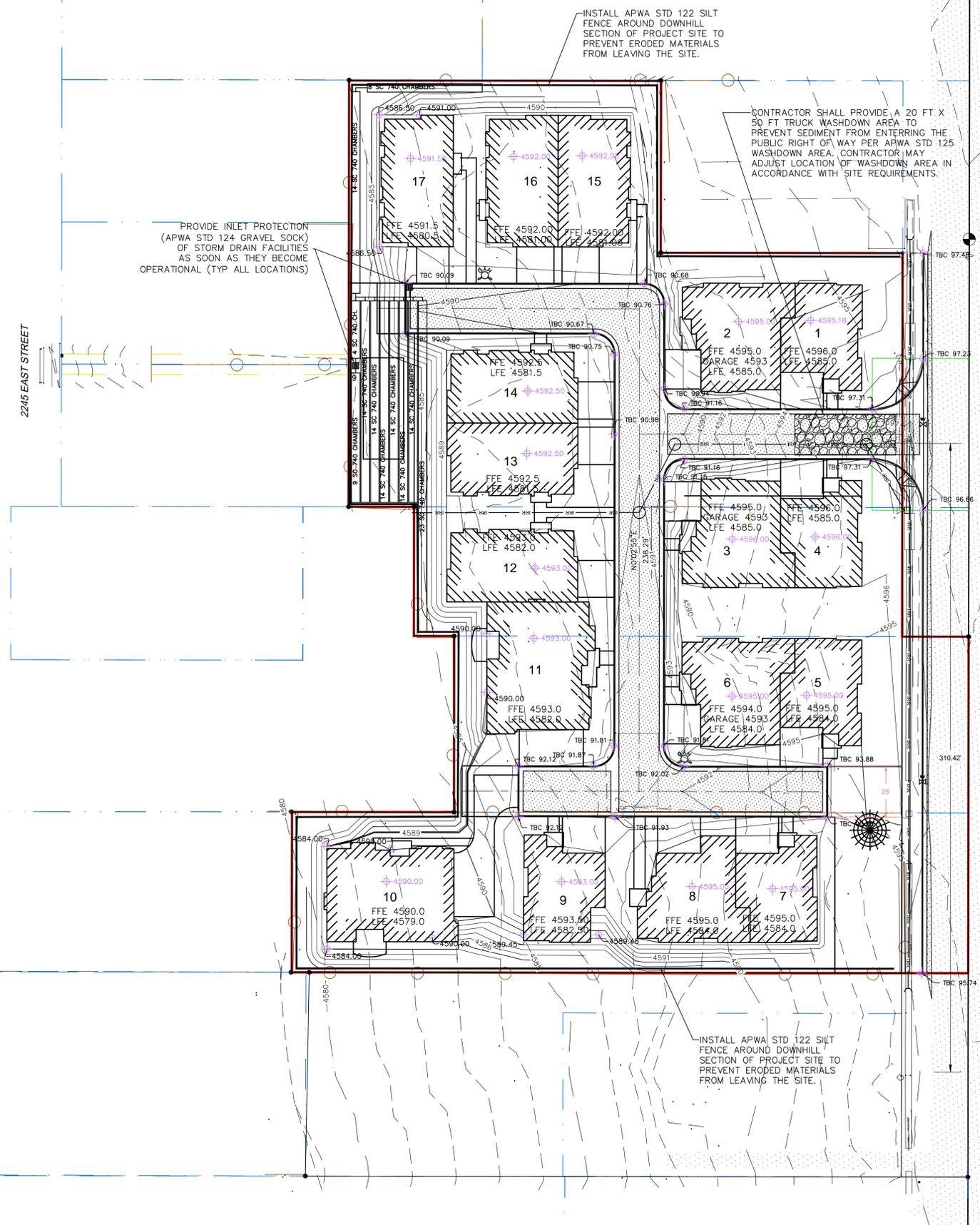








NORTH
GRAPHIC SCALE



UPDES INFORMATION:

- DESCRIPTION OF THE NATURE OF THE CONSTRUCTION ACTIVITY: THIS CONSTRUCTION WILL CONSIST OF INSTALLATION OF UTILITIES, PAVEMENT, AND GRADING FOR THE DEVELOPMENT OF NEW PLANNED UNIT DEVELOPMENT LOCATED ON 2.71 ACRES OF LAND LOCATED AT 2300 EAST AND 3690 SOUTH IN SALT LAKE COUNTY.
- DESCRIPTION OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOILS FOR MAJOR PORTIONS OF THE SITE: THE SEQUENCE OF ACTIVITIES WILL BE:
 - DEMOLITION OF EXISTING STRUCTURES AND IMPROVEMENTS
 - GRUBBING OF SITE
 - EXCAVATION
 - GRADING
 - INSTALLATION OF UTILITIES
 - INSTALLATION OF PAVEMENT IMPROVEMENTS
 - INSTALLATION OF NEW STRUCTURES
- ESTIMATE OF THE TOTAL AREA OF THE SITE AND THE TOTAL AREA OF THE SITE THAT IS EXPECTED TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES:
TOTAL AREA = 2.57 ACRES
AREA OF SITE TO BE DISTURBED = 2.44 ACRES
- ESTIMATE OF RUNOFF COEFFICIENT OF THE SITE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE, AND THE EXISTING DATA DESCRIBING THE SOIL. THE WORK TO BE COMPLETED WILL INCLUDE REMOVING EXISTING ASPHALT PAVEMENT STRUCTURE AND BUILDINGS AND REPLACING WITH NEW LANDSCAPE AREAS, ASPHALT PAVEMENT STRUCTURE AND NEW BUILDINGS. STORM WATER FROM THE SITE WILL BE RETAINED ON SITE FOR A 100 YEAR 24 HOUR STORM OCCURRENCE.

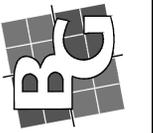
GENERAL NOTES:

- AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL FACILITIES SHOWN.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED UPON INSPECTION OF PROPOSED FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE FROM DEBRIS FROM TRAFFIC FROM THE SITE.
- ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR LANDSCAPED. REFER TO LANDSCAPE PLANS FOR SEED MIX AND PLANTING SPECIFICATIONS.
- EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING ARE IN PLACE. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE.
- CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY AND REMOVED WHEN THE SITE IS PAVED.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.
- BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.
- ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
- ALL MEASURES CONTAINED IN THIS PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT. ANY NEEDED CLEANING AND REPAIRS NEED TO BE DONE IMMEDIATELY UPON DISCOVERY. ALL UTILITY LINES SHALL BE CLEANED OF DIRT AND DEBRIS PRIOR TO BEING PUT INTO SERVICE DOWN-GRADE LINES MUST BE PROTECTED FROM WASH-WATER DURING THE CLEANING TO AVOID CONTAMINATION AND COMPROMISING OUTFALL CLEANLINESS.

LEGEND

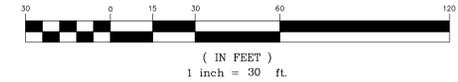
NEW	EXISTING	
---	---	SECTION LINE
---	---	CENTER LINE
---	---	SUBJECT PROPERTY LINE
R/W	R/W	RIGHT OF WAY LINE
---	---	EASEMENT LINE
---	---	DITCH FLOWLINE
X	X	FENCE LINE
TV	TV	CABLE TV LINE
FO	EX FO	FIBER-OPTIC CABLE
G	G	NATURAL GAS LINE
IRR	IRR	IRRIGATION LINE
---	---	OVERHEAD POWER LINE
P	P	POWER LINE
T	T	TELEPHONE LINE
S	S	SANITARY SEWER LINE
---	---	STORM DRAIN LINE
W	W	WATER LINE

BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors



DATE: 9/11/13
DRAWN: GMB
APPROVED: GMB
SCALE: 1" = 30'
JOB NO. 132072

EROSION CONTROL PLAN
HAMPTONS PUD SUBDIVISION
LOCATED IN SALT LAKE COUNTY, UT



GENERAL NOTES:

- CONTRACTOR SHALL HAVE OBTAINED AND REVIEWED THE GEOTECHNICAL STUDY, AND SHALL BE FAMILIAR WITH THE RECOMMENDATIONS MADE IN THAT REPORT.
- STRIP AND REMOVE EXISTING TOPSOIL; ORGANIC SOILS; UNDOCUMENTED FILL; SOFT, LOOSE OR DISTURBED NATIVE SOILS; AND ANY OTHER DELETERIOUS MATERIALS FROM BELOW FOUNDATION, FLOOR SLAB, EXTERIOR CONCRETE FLATWORK, AND PAVEMENT AREAS. THE ASPHALT, FILL, AND TOPSOIL (INCLUDING SOIL WITH ROOTS LARGER THAN 3/4 INCH IN DIAMETER) SHALL BE COMPLETELY REMOVED, EVEN IF FOUND TO EXTEND DEEPER THAN DEFINED, ALONG WITH ANY OTHER UNSUITABLE SOILS THAT MAY BE ENCOUNTERED. ALL EXPOSED SURFACES SHALL BE FREE OF MOUNDS AND DEPRESSIONS WHICH COULD PREVENT UNIFORM COMPACTION.
- NEAR SURFACE CLAY SOILS ARE NOT SUITABLE FOR USE AS STRUCTURAL FILL. EXCAVATED NATIVE SOILS, INCLUDING CLAYS, MAY BE STOCKPILED FOR USE AS FILL IN LANDSCAPE AREAS. REGULAR STRUCTURAL FILL SHALL CONSIST OF IMPROVED MATERIAL OR EXCAVATED SOILS MEETING THE FOLLOWING REQUIREMENTS:
MAXIMUM PARTICLE SIZE: 4 INCHES
PERCENT RETAINED ON THE 3/4 INCH SIEVE: 30 MAX
PERCENT PASSING THE NO 200 SIEVE: 15 MAXIMUM
LIQUID LIMIT OF FINES: 35 MAXIMUM
PLASTICITY INDEX OF FINES: 15 MAXIMUM
- UTILITY TRENCHES BELOW THE BUILDING AND PAVEMENT SHALL BE BACKFILLED WITH STRUCTURAL FILL. ALL BACKFILL SOIL SHALL MEET THE FOLLOWING REQUIREMENTS:
MAXIMUM PARTICLE SIZE: 4 INCHES
LIQUID LIMIT OF FINES: 35 MAXIMUM
PLASTICITY INDEX OF FINES: 15 MAXIMUM
- PLACE AND COMPACT FILL MATERIALS IN HORIZONTAL LIFTS NOT EXCEEDING 4 INCHES FOR HAND OPERATED EQUIPMENT; 6 INCHES FOR MOST TRENCH COMPACTORS; AND 8 INCHES FOR LARGER ROLLERS. THE FULL THICKNESS OF EACH LIFT OF STRUCTURAL FILL SHALL BE COMPACTED TO AT LEAST THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 3-1557:
LANDSCAPE AREAS NOT SUPPORTING STRUCTURAL LOADS: 90%
LESS THAN 5 FEET OF FILL BELOW FOUNDATIONS, FLATWORK AND PAVEMENTS: 95%
FIVE OR MORE FEET OF FILL BELOW FOUNDATIONS, FLATWORK AND PAVEMENTS: 98%
- DURING GRADING, THE SOIL IN ANY OBVIOUS SOFT SPOTS SHALL BE REMOVED AND REPLACED WITH GRANULAR MATERIAL TO A MINIMUM DEPTH OF 18 INCHES.
- NO GRADE CHANGES WILL BE PERMITTED FROM THAT SHOWN AND APPROVED ON THIS PLAN WITHOUT RESUBMITTING THE PROPOSED CHANGES TO THE OWNER, AND HIS REPRESENTATIVE.
- ASPHALT PAVEMENT STRUCTURAL SECTION FOR PARKING AREAS SHALL CONSIST OF 3 INCHES ASPHALT SURFACE COURSE OVER 8 INCHES COMPACTED ROADBASE, OVER A PREPARED SUBGRADE. ASPHALT CONCRETE SHALL MEET UTAH COUNTY REQUIREMENTS AND AGGREGATE BASE AND SUBBASE MATERIAL SHALL MEET UDOT SPECIFICATION REQUIREMENTS. AGGREGATE BASE AND SUBBASE SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY (ASTM D-1557). ASPHALTIC CONCRETE IS COMPACTED TO AT LEAST 96% MARSHAL MIX DESIGN DENSITY (ASTM D 1559).

STORM DRAIN CALCULATIONS
HAMPTONS PUD SUBDIVISION
3700 SOUTH 2300 EAST
SALT LAKE COUNTY, UTAH

I GENERAL INFORMATION
STORM WATER SHALL BE RETAINED ON SITE FOR AN A 100 YEAR FREQUENCY 24 HOUR DURATION STORM OCCURRENCE.

II RAINFALL INFORMATION 100 YEAR FREQUENCY STORM
SOURCE: NOAA ATLAS 14 RAINFALL INTENSITY DATA
15 MINUTE PRECIPITATION = 1.06 INCHES
30 MINUTE PRECIPITATION = 1.43 INCHES
60 MINUTE PRECIPITATION = 1.77 INCHES
2 HOUR PRECIPITATION = 1.94 INCHES
3 HOUR PRECIPITATION = 1.98 INCHES
6 HOUR PRECIPITATION = 2.14 INCHES
12 HOUR PRECIPITATION = 2.58 INCHES
24 HOUR PRECIPITATION = 2.85 INCHES

III DRAINAGE AREA CALCULATIONS
SUBDIVISION NET AREA = 106719.75 SF = 2.45 ACRES
ROOF AREA = 35502 SF C = 0.8
IMPERVIOUS AREA = 16514.89 SF C = 0.9
LANDSCAPE AREA = 54702.84 SF C = 0.1
ADJUSTED 'C' VALUE:
 $C = [(35502)(0.8) + (16514)(0.9) + (54703)(0.1)] / 106720 = 0.46$

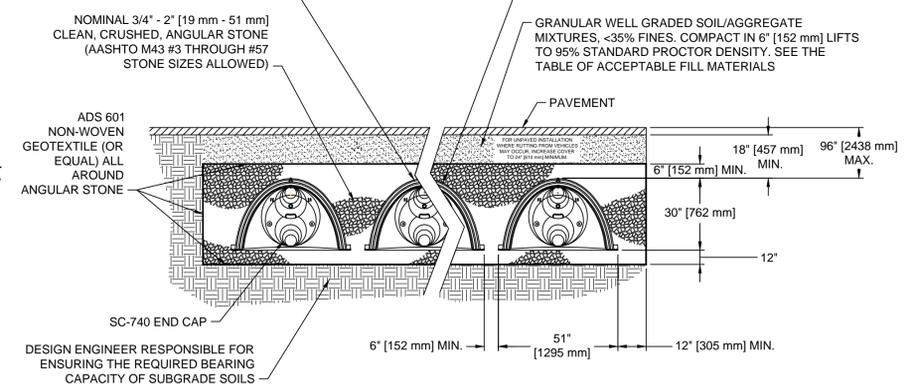
TIME(MIN)	RAIN(IN)	INT(IN/HR)	AREA(AC)	'C'	RUNOFF(CF)	OUTFALL(CF)	RET (CF)
15	1.06	4.24	2.45	0.46	4305	0	4305
30	1.43	2.86	2.45	0.46	5808	0	5808
60	1.77	1.77	2.45	0.46	7188	0	7188
120	1.94	0.97	2.45	0.46	7879	0	7879
360	2.14	0.36	2.45	0.46	8691	0	8691
720	2.58	0.22	2.45	0.46	10478	0	10478
1440	2.85	0.12	2.45	0.46	11575	0	11575

REQUIRED RETENTION VOLUME = 11575 CUBIC FEET

IV RETENTION VOLUME CALCULATIONS
USING STORM TECH SC 740 CHAMBERS WITH 12 INCH GRAVEL FOUNDATION WHICH WILL PROVIDE 81.7 CUBIC FEET PER CHAMBER, THE TOTAL RETENTION VOLUME CAN BE PROVIDED IN 142 CHAMBERS.
 $11575 \text{ CF} / 81.7 \text{ CF PER CHAMBER} = 141.67 \text{ SC740 CHAMBERS}$

CHAMBERS SHALL MEET ASTM F2822 'STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'

NOMINAL 3/4" - 2" [19 mm - 51 mm] CLEAN, CRUSHED, ANGULAR STONE (ASHTO M43 #3 THROUGH #57 STONE SIZES ALLOWED)



THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.

STORM TECH SC 740 DETAIL

INSTALL BELOW GRADE STORM WATER RETENTION AREA INCLUDING 142 STORM TECH SC740 CHAMBERS CONSTRUCTED ON 12 INCH GRAVEL FOUNDATION, COMPLETE INCLUDING GAP GRADED DRAINAGE GRAVEL BACKFILL AND MIRIFI 140N FILTER FABRIC ENCASING ENTIRE SYSTEM, COMPLETE. STORM TECH SC740 INVERT 4578.00

INSTALL 12" HDPE MANIFOLD CONNECTING STORM TECH SC740 CHAMBERS, COMPLETE INCLUDING ALL NECESSARY FITTINGS.

INSTALL CATCH BASIN IN NEW CURB & GUTTER, INSTALL SNOOTH MODEL 15F ON 12" LINE OUT. TBC 4590.09 INV 4587.09

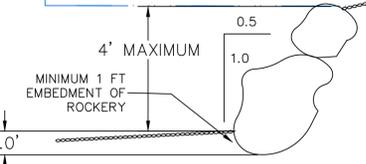
INSTALL 12" HDPE MANIFOLD CONNECTING STORM TECH SC740 CHAMBERS, COMPLETE INCLUDING ALL NECESSARY FITTINGS.

INSTALL CATCH BASIN TOP GRATE 4583.50 INV 4578.0

OVERFLOW FROM GREATER THAN 100 YEAR 24 HOUR STORM TO 2245 EAST STREET.

INSTALL BELOW GRADE STORM WATER RETENTION AREA INCLUDING 142 STORM TECH SC740 CHAMBERS CONSTRUCTED ON 12 INCH GRAVEL FOUNDATION, COMPLETE INCLUDING GAP GRADED DRAINAGE GRAVEL BACKFILL AND MIRIFI 140N FILTER FABRIC ENCASING ENTIRE SYSTEM, COMPLETE. STORM TECH SC740 INVERT 4578.00

NOTE: REFER TO RETAINING WALL DESIGN BY GEOTECHNICAL ENGINEER.

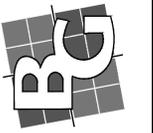


ROCK RETAINING WALL NOT TO SCALE

LEGEND

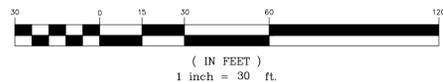
NEW	EXISTING	DESCRIPTION
---	---	SECTION LINE
---	---	CENTER LINE
---	---	SUBJECT PROPERTY LINE
R/W	R/W	RIGHT OF WAY LINE
---	---	EASEMENT LINE
---	---	DITCH FLOWLINE
X	X	FENCE LINE
TV	TV	CABLE TV LINE
FO	EX FO	FIBER-OPTIC CABLE
G	G	NATURAL GAS LINE
IRR	IRR	IRRIGATION LINE
OHP	OHP	OVERHEAD POWER LINE
P	P	POWER LINE
T	T	TELEPHONE LINE
S	S	SANITARY SEWER LINE
---	---	STORM DRAIN LINE
W	W	WATER LINE

BUSH & GUDGELL, INC.
Engineers - Planners - Surveyors



655 East 4500 South, Suite 100
Salt Lake City, UT 84107
Phone (801) 685-6194 / Fax (801) 685-6195
www.bushandguggell.com

GRADING & DRAINAGE PLAN
HAMPTONS PUD SUBDIVISION
LOCATED IN SALT LAKE COUNTY, UT



GENERAL NOTES:

- NO CHANGE IN DESIGN OF UTILITY LOCATIONS OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE SALT LAKE CITY CITY PUBLIC UTILITIES DEPARTMENT (WATER), MOUNT OLYMPUS IMPROVEMENT DISTRICT (SANITARY SEWER), SALT LAKE COUNTY (STORM DRAIN SYSTEM), OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES AND SERVICE LATERALS (WHETHER SHOWN OR NOT SHOWN ON THE PLANS), AND FOR REPAIRING ALL DAMAGE THAT OCCURS TO THE UTILITIES DURING CONSTRUCTION.
- ALL WATER LINE THRUST BLOCKS SHALL BE POURED IN PLACE AGAINST UNDISTURBED SOIL AS PER THE SPECIFICATIONS. ALL VALVES, FITTINGS AND APPURTENANCES SHALL BE BLOCKED.
- ALL EXPOSED NUTS AND BOLTS ON WATER LINE FITTINGS SHALL BE COATED WITH A NON-OXIDE WAX AND WRAPPED IN 8-MIL POLYETHYLENE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO THE GOVERNING AGENTS STANDARDS. CONTRACTOR SHALL WET DOWN ALL DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO ADJACENT SURFACE IMPROVEMENTS DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
- ALL EXISTING ASPHALT AND CONCRETE PAVEMENT TO BE CUT SHALL BE SAW CUT IN NEAT STRAIGHT LINES BY THE CONTRACTOR PRIOR TO EXCAVATION.
- NO SUBSTITUTES IN PIPE DIAMETER DIFFERENT FROM THOSE SHOWN ON THIS PLAN WILL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE OWNER AND/OR HIS REPRESENTATIVE, AND THE APPROPRIATE UTILITY AUTHORITY.
- THE BOTTOM OF ALL UTILITY TRENCHES SHALL BE COMPACTED THOROUGHLY PRIOR TO PLACING PIPE. IF ROCK IS ENCOUNTERED AT DESIGN GRADE, OR A SOFT OR SOGGY BOTTOM IS ENCOUNTERED, THE TRENCH BOTTOM SHALL BE OVEREXCAVATED AND SUITABLE MATERIAL PLACED AND COMPACTED TO BOTTOM OF TRENCH GRADE.
- ALL STORM DRAIN BOXES SHALL BE SIZED LARGE ENOUGH TO ACCEPT THE STORM DRAIN CONDUIT PROPOSED TO BE CONNECTED. ALL STORM DRAIN CONDUIT CONNECTIONS TO BOXES SHALL BE WATERTIGHT. ALL STORM DRAIN GRATES SHALL BE BICYCLE SAFE.

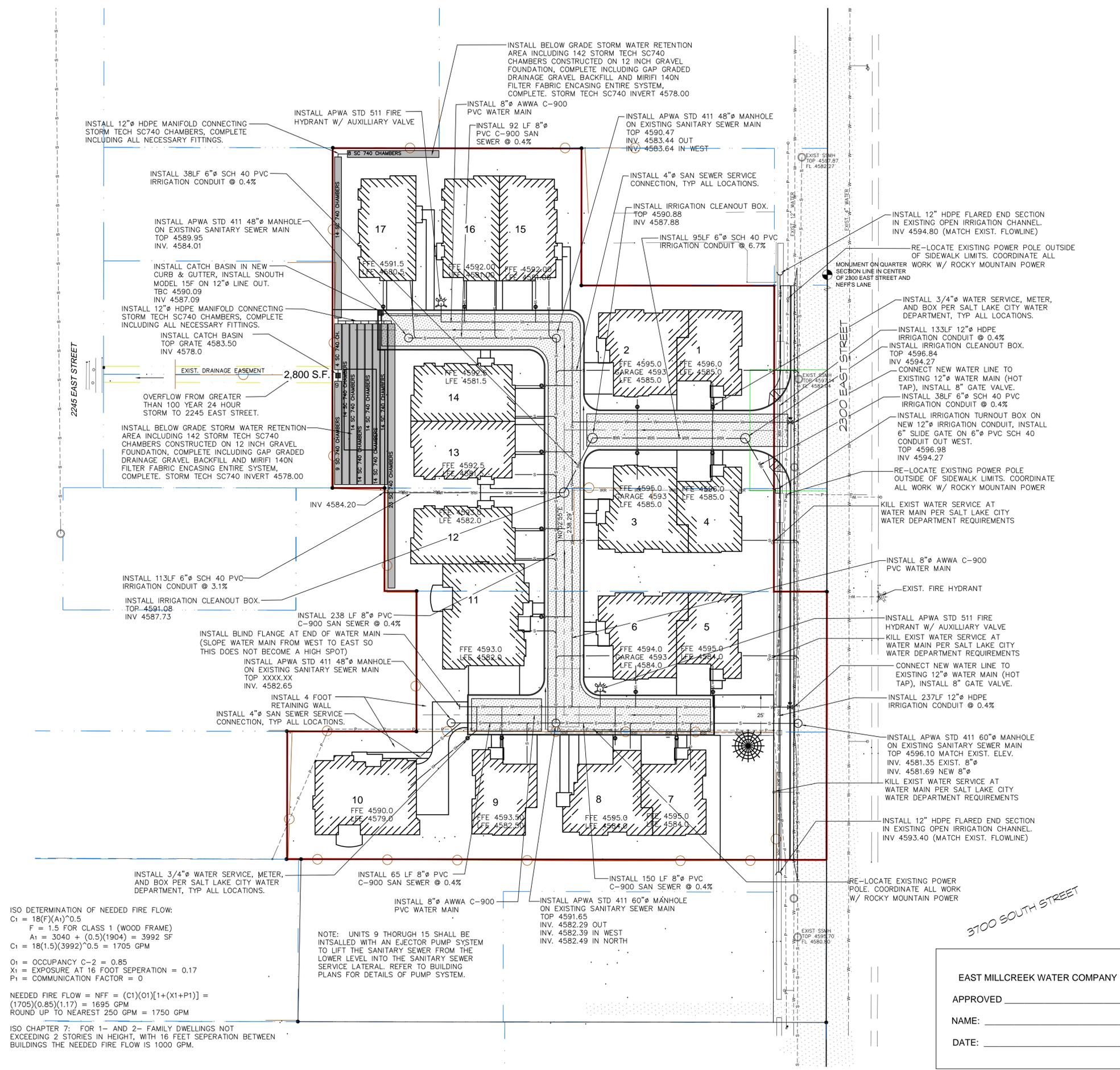
BUSH & GUDGELL, INC.
 Engineers - Planners - Surveyors
 655 East 4500 South, Suite 100
 Salt Lake City, UT 84107
 Phone (801) 685-6194 / Fax (801) 685-6195
 www.bushandgudgell.com



DATE: 9/11/13
 DRAWN: GMB
 APPROVED: GMB
 SCALE: 1" = 30'
 JOB NO. 132072

UTILITY PLAN
 HAMPTONS PUD SUBDIVISION
 LOCATED IN SALT LAKE COUNTY, UT

SHEET **C3** OF **5** SHEETS
 FILE: 132072BASE



ISO DETERMINATION OF NEEDED FIRE FLOW:
 $C_1 = 18(F)(A_1)^{0.5}$
 $F = 1.5$ FOR CLASS 1 (WOOD FRAME)
 $A_1 = 3040 + (0.5)(1904) = 3992$ SF
 $C_1 = 18(1.5)(3992)^{0.5} = 1705$ GPM
 $O_1 =$ OCCUPANCY C-2 = 0.85
 $X_1 =$ EXPOSURE AT 16 FOOT SEPERATION = 0.17
 $P_1 =$ COMMUNICATION FACTOR = 0

NEEDED FIRE FLOW = $NFF = (C_1)(O_1)[1+(X_1+P_1)] = (1705)(0.85)(1.17) = 1695$ GPM
 ROUND UP TO NEAREST 250 GPM = 1750 GPM

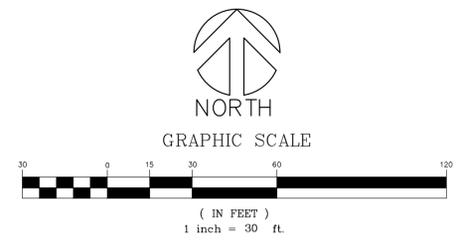
ISO CHAPTER 7: FOR 1- AND 2- FAMILY DWELLINGS NOT EXCEEDING 2 STORIES IN HEIGHT, WITH 16 FEET SEPERATION BETWEEN BUILDINGS THE NEEDED FIRE FLOW IS 1000 GPM.

NOTE: UNITS 9 THORUGH 15 SHALL BE INTSALLED WITH AN EJECTOR PUMP SYSTEM TO LIFT THE SANITARY SEWER FROM THE LOWER LEVEL INTO THE SANITARY SEWER SERVICE LATERAL. REFER TO BUILDING PLANS FOR DETAILS OF PUMP SYSTEM.

EAST MILLCREEK WATER COMPANY
 APPROVED _____
 NAME: _____
 DATE: _____

LEGEND

NEW	EXISTING	
---	---	SECTION LINE
---	---	CENTER LINE
---	---	SUBJECT PROPERTY LINE
-R/W-	-R/W-	RIGHT OF WAY LINE
---	---	EASEMENT LINE
---	---	DITCH FLOWLINE
---	---	FENCE LINE
---	---	CABLE TV LINE
---	---	FIBER-OPTIC CABLE
---	---	NATURAL GAS LINE
---	---	IRRIGATION LINE
---	---	OVERHEAD POWER LINE
---	---	POWER LINE
---	---	TELEPHONE LINE
---	---	SANITARY SEWER LINE
---	---	STORM DRAIN LINE
---	---	WATER LINE



HAMPTONS PUD SUBDIVISION
 LOCATION: NW 1/4 SEC 34, T1S, R1E, S.L.B.&M
 3674 - 3706 SOUTH 2300 EAST
 SALT LAKE COUNTY, UTAH

APPLICANT: SONORA RANCH, LLC
 ATTN: RICHARD COOK
 8280 ETIENNE WAY
 SANDY, UTAH 84093
 TELEPHONE: 801-232-1898

PROJECT DATA:
 ZONING: R-2-10
 W/ RESIDENTIAL COMPATIBILITY OVERLAY
 TOTAL AREA = 111,824 SQUARE FEET = 2.57 ACRES
 NET AREA AFTER DEDICATION = 106,343 SQUARE FEET
 = 2.44 ACRES
 MAXIMUM NUMBER OF STRUCTURES =
 106,343 SF/10,000 SF = 10 STRUCTURES
 TOTAL UNITS = 17 UNITS

LOT COVERAGE CALCULATIONS (MAXIMUM ALLOWED LOT COVERAGE IN R-2-10 ZONE = 35%):

UNITS 1 & 2 BUILDING AREA = 4156 SF	UNITS 11 & 12 BUILDING AREA = 5371 SF
UNITS 3 & 4 BUILDING AREA = 4156 SF	UNITS 13 & 14 BUILDING AREA = 4430 SF LOT COVERAGE = 39%
UNITS 5 & 6 BUILDING AREA = 4156 SF	UNITS 15 BUILDING AREA = 2215 SF
UNITS 7 & 8 BUILDING AREA = 3924 SF	UNITS 16 & 17 BUILDING AREA = 4430 SF
UNIT 9 BUILDING AREA = 1740 SF	TOTAL BUILDING AREA = 37418 SQUARE FEET
UNIT 10 BUILDING AREA = 2850 SF	TOTAL SITE AREA = 111,824 SQUARE FEET
	PERCENT LOT COVERAGE = 37418/111824 = 33.5%

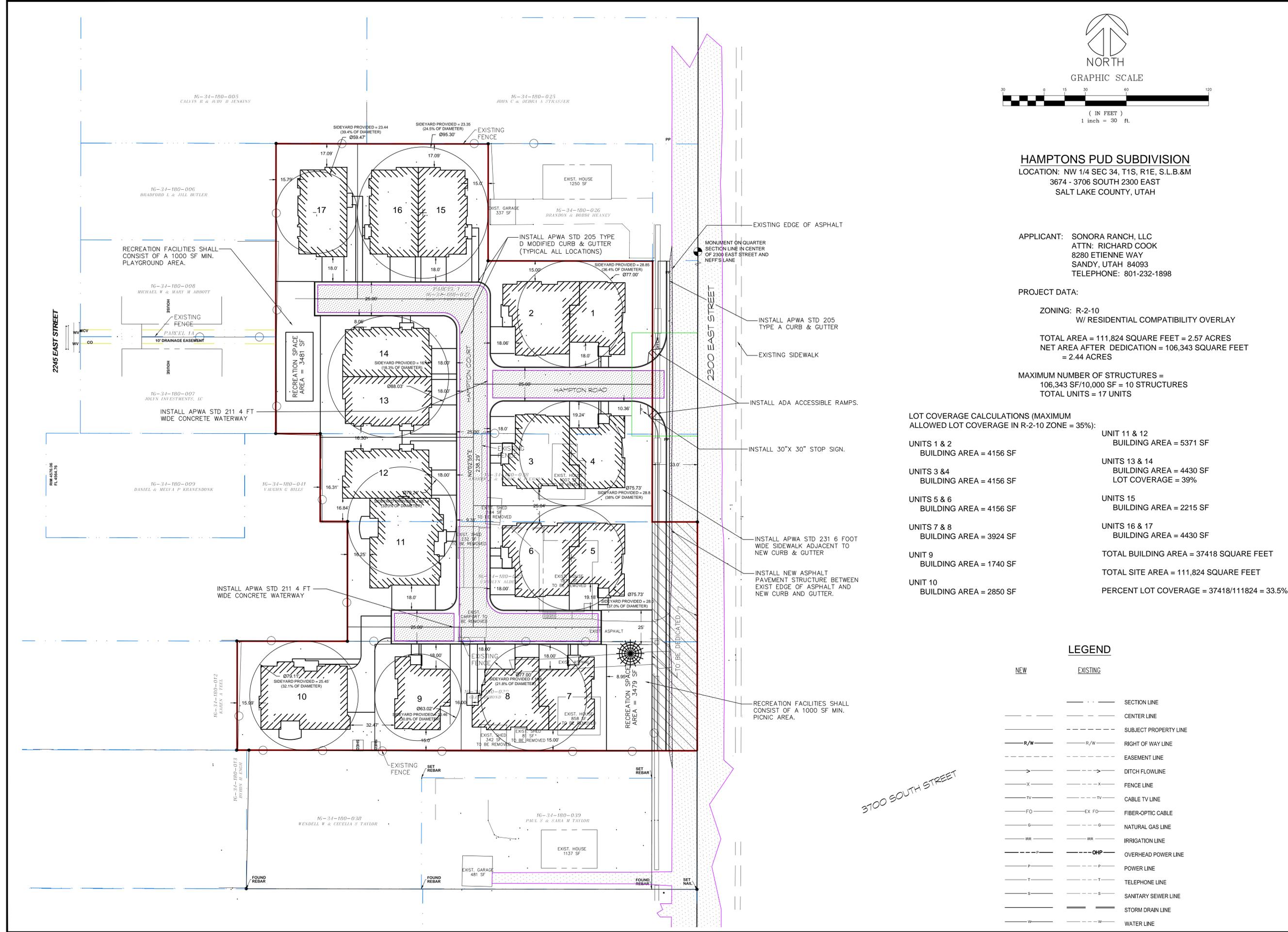
LEGEND

NEW	EXISTING	
---	---	SECTION LINE
---	---	CENTER LINE
---	---	SUBJECT PROPERTY LINE
R/W	R/W	RIGHT OF WAY LINE
---	---	EASEMENT LINE
---	---	DITCH FLOWLINE
X	X	FENCE LINE
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FO	EX FO	FIBER-OPTIC CABLE
G	G	NATURAL GAS LINE
IRR	IRR	IRRIGATION LINE
---	---OHP	OVERHEAD POWER LINE
P	P	POWER LINE
T	T	TELEPHONE LINE
S	S	SANITARY SEWER LINE
---	---	STORM DRAIN LINE
W	W	WATER LINE

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DATE: 9/11/13
 DRAWN: GMB
 APPROVED: GMB
 SCALE: 1" = 30'
 JOB NO. 132072

SITE PLAN
 HAMPTONS PUD SUBDIVISION
 LOCATED IN SALT LAKE COUNTY, UT



NOTES

1. THE SURVEYED PROPERTY IS LOCATED WITHIN ZONE "X", "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"; ACCORDING TO THE FLOOD INSURANCE RATE MAP WITH COMMUNITY PANEL NO. 49035C0304G,

HAMPTONS PUD SUBDIVISION

LOCATED IN
NW 1/4 OF SECTION 34, TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

SURVEYOR'S CERTIFICATE

I, DAVE MORTENSEN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD LICENSE NO. XXXXXX AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNER, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND THAT RECORD OF SURVEY NO. S2013-01-0039 HAS BEEN FILED IN THE OFFICE OF THE COUNTY SURVEYOR AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, HEREAFTER TO BE KNOWN AS THE

HAMPTONS PUD SUBDIVISION

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

Beginning at a point located North 0°04'56" East along quarter section line 508.26 feet from the Center of Section 34, Township 1 South, Range 1 East, Salt Lake Base and Meridian; thence North 89°55'04" West 335.56 feet; thence North 0°04'56" East 79.11 feet; thence South 89°55'04" East 80.36 feet; thence North 0°04'56" East 87.00 feet; thence North 89°55'04" West 20.00 feet; thence North 0°04'56" East 63.72 feet; thence North 89°55'00" West 32.51 feet; thence North 0°05'00" East 210.63 feet; thence South 89°55'04" East 154.71 feet; thence South 0°04'56" West 85.00 feet; thence South 89°55'04" East 120.00 feet; thence South 0°04'56" West 189.35 feet; thence South 89°55'04" East 33.00 feet; thence South 0°04'56" West along quarter section line 166.11 feet to the point of beginning.
Area = 2.57 Acres or 111,824 sq ft
Less that portion lying within the bounds of 2300 East Street.

DATE:
BUSH AND GUDGELL INC.

DAVE MORTENSEN
REGISTERED LAND SURVEYOR
UTAH LICENSE NUMBER XXXXXXX

OWNER'S DEDICATION

DO HEREBY DEDICATE TO THE COMMON USE OF THE JAMES & JILLEN ALLEN, BUT NOT TO THE USE OF THE GENERAL PUBLIC, ALL COMMON AND LIMITED COMMON AREAS (INCLUDING PRIVATE STREETS) SHOWN ON THIS PLAT, IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF DEDICATION OF SAID COMMON AND LIMITED COMMON AREAS AS MORE FULLY PROVIDED IN THE "DEDICATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS" APPLICABLE TO ENTRY NO. _____ BOOK _____ PAGES _____ DATED _____ SAID DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS ARE HEREBY INCORPORATED AND MADE PART OF THIS PLAT. REFERENCE IS MADE TO SAID DECLARATION FOR DETAILS CONCERNING THE RIGHT AND OBLIGATIONS OF PARTIES HAVING OR ACQUIRING AN INTEREST IN THIS DEVELOPMENT. FOR GOOD AND VALUABLE CONSIDERATION RECEIVED, THE UNDERSIGNED OWNERS HEREBY DEDICATE AND CONVEY TO _____ PUBLIC STREETS AND EASEMENTS OVER, ON UNDER AND ACROSS ALL COMMON AND LIMITED COMMON AREAS AND PRIVATE ROADWAYS FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE. THE UNDERSIGNED OWNERS DO HEREBY WARRANT TO _____ AND ITS SUCCESSORS AND ASSIGNS, THE RIGHT TO USE ALL DEDICATIONS AND CONVEYANCES GRANTED HEREIN AGAINST THE CLAIMS OF ALL PERSONS.

SONORA RANCH, L.L.C.
(A UTAH LIMITED LIABILITY COMPANY)

BY: _____ BY: _____

LIMITED LIABILITY ACKNOWLEDGMENT

ON THE ____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, JAMES ALLEN AND JILLEN ALLEN WHO BEING BY ME DULY SWORN, DID SAY THAT THEY ARE THE MANAGER/MEMBER OF ROBERT ALLEN FAMILY, LLC, AND THAT THEY EXECUTED THE FOREGOING OWNER'S DEDICATION IN BEHALF OF SAID LIMITED LIABILITY COMPANY BEING AUTHORIZED AND EMPOWERED TO DO SO BY THE OPERATING AGREEMENT OF ROBERT ALLEN FAMILY, LLC, AND THEY DID DULY ACKNOWLEDGE TO ME THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME FOR THE USES AND PURPOSES STATED THEREIN.

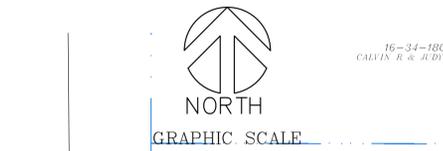
MY COMMISSION EXPIRES: _____

NOTARY PUBLIC
RESIDING IN: _____

HAMPTONS PUD SUBDIVISION

LOCATED IN
NW 1/4, SECTION 34, TOWNSHIP 1 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

PRELIMINARY PLAT



GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

16-34-180-006
BRADFORD L & JILL BUTLER

16-34-180-008
MICHAEL W & MARY H ABBOTT

16-34-180-007
JOLYN INVESTMENTS, LC

16-34-180-009
DANIEL & MELVA P KRANENDONK

16-34-180-041
VAUGHN C HILLS

16-34-180-030
WENDELL W & CECILIA S TAYLOR

16-34-180-025
JOHN C & DEBRA A STRASSER

16-34-180-026
BRANDON & ROBERT HEANEY

16-34-180-039
PAUL S & SARAH M TAYLOR

16-34-180-012
ANDREA A HELL

16-34-180-013
BRYAN H ENGH

16-34-180-014
ANDREA A HELL

16-34-180-015
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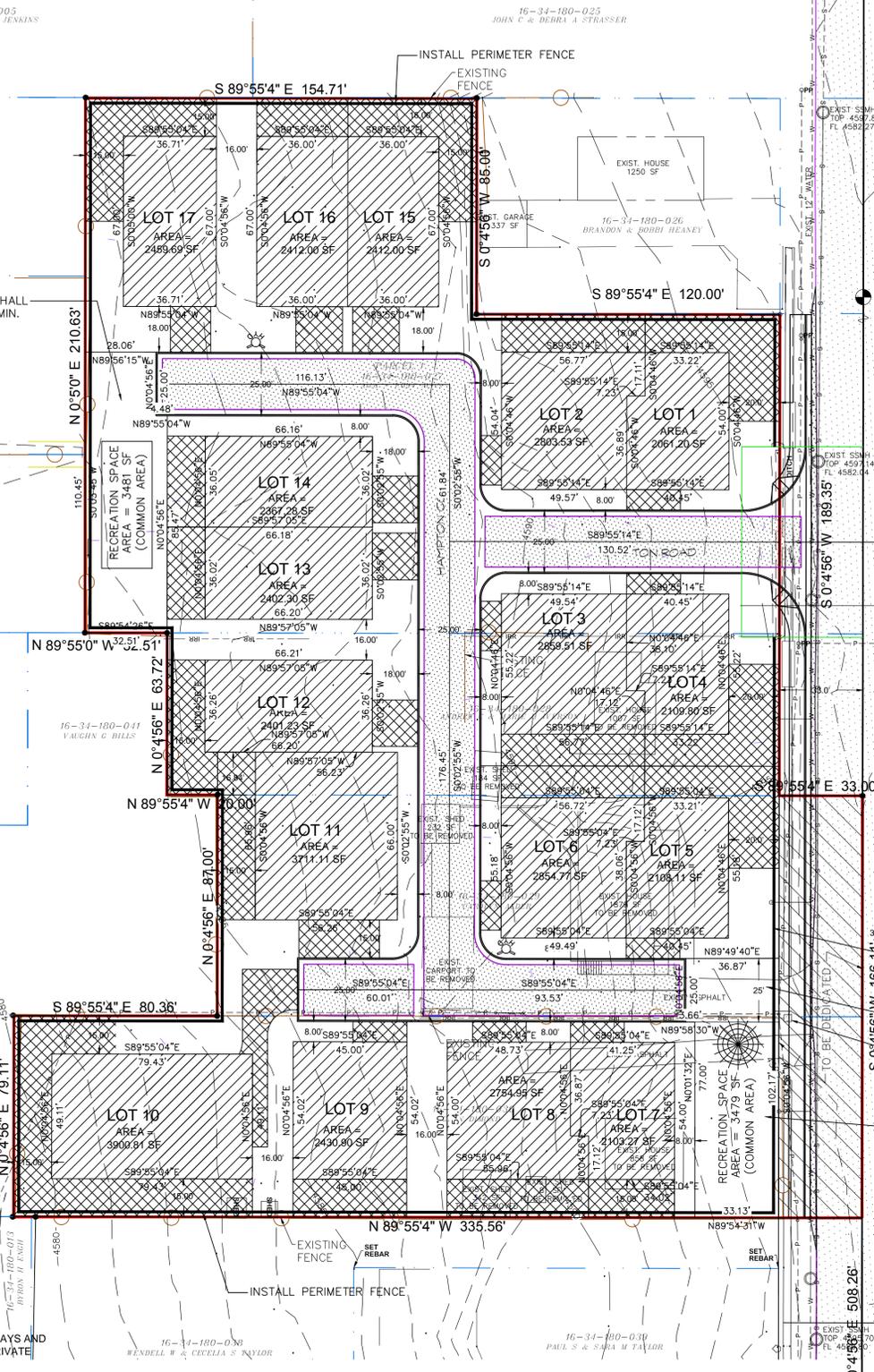
16-34-180-080
ANDREA A HELL

16-34-180-081
ANDREA A HELL

16-34-180-082
ANDREA A HELL

BUSH & GUDGELL, INC
655 East 4500 South, Ste 100
Salt Lake City, Utah 84107
Phone (801) 685-6194

132072 BASE.dwg



VICINITY MAP

APPLICANT: SONORA RANCH, LLC
ATTN: RICHARD COOK
8280 ETIENNE WAY
SANDY, UTAH 84093
TELEPHONE: 801-232-1898

PROJECT DATA:
ZONING: R-2-10
W/ RESIDENTIAL COMPATIBILITY OVERLAY
TOTAL AREA = 111,824 SQUARE FEET = 2.57 ACRES
NET AREA AFTER DEDICATION = 106,349 SQUARE FEET
= 2.44 ACRES
MAXIMUM NUMBER OF STRUCTURES =
106,349 SF/10,000 SF = 10 STRUCTURES
TOTAL UNITS = 17 UNITS
DENSITY = 6.6 UNITS/ACRE
GUEST PARKING SPACES PROVIDED = 34 SPACES
(TWO PARKING SPACES PROVIDED PER DRIVEWAY)

LOT 1	AREA = 2061.20 SQUARE FEET
LOT 2	AREA = 2803.53 SQUARE FEET
LOT 3	AREA = 2859.51 SQUARE FEET
LOT 4	AREA = 2109.80 SQUARE FEET
LOT 5	AREA = 2108.11 SQUARE FEET
LOT 6	AREA = 2854.77 SQUARE FEET
LOT 7	AREA = 2103.27 SQUARE FEET
LOT 8	AREA = 2754.95 SQUARE FEET
LOT 9	AREA = 2430.90 SQUARE FEET
LOT 10	AREA = 3900.81 SQUARE FEET
LOT 11	AREA = 3711.11 SQUARE FEET
LOT 12	AREA = 2401.23 SQUARE FEET
LOT 13	AREA = 2402.30 SQUARE FEET
LOT 14	AREA = 2367.28 SQUARE FEET
LOT 15	AREA = 2412.00 SQUARE FEET
LOT 16	AREA = 2412.00 SQUARE FEET
LOT 17	AREA = 2459.69 SQUARE FEET

INSTALL WROUGHT IRON & MASONRY DECORATIVE FENCE ALONG 2300 EAST FRONTAGE
25 FOOT UTILITY EASEMENT
EXISTING IRRIGATION TURNOUT BOX (TO BE DISCONTINUED)
RECREATION FACILITIES SHALL CONSIST OF 1000 SQUARE FEET MINIMUM PICNIC AREA (2 PICNIC AREAS).
NOTE: ALL PRIVATE ROADWAYS WITHIN THE HAMPTONS PUD SUBDIVISION SHALL BE PUBLIC UTILITY EASEMENTS IN THEIR ENTIRETY.

PROPERTY ADDRESS:
3674- 3706 SOUTH 2300 EAST
SALT LAKE COUNTY, UTAH

UNIFIED FIRE AUTHORITY APPROVAL

ADDRESS FRONTAGE APPROVED

DATE _____ SIGNED _____

DATE _____ SIGNED _____

HEALTH

APPROVED THIS _____ DAY OF _____ A.D., 20____

SALT LAKE VALLEY HEALTH DEPT.

DATE _____ PLAN REVIEW SECTION MANAGER _____

DATE _____

DATE _____

DATE _____

DATE _____

DATE _____

DATE _____

PLAN CHECK

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

DATE _____ PLAN REVIEW SECTION MANAGER _____

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 20____

SALT LAKE COUNTY DISTRICT ATTORNEY

MAYOR

PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS _____ DAY OF _____ A.D., 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

MAYOR, OR DESIGNEE

Record of Survey

RSC NO. _____

Date _____ Signature _____

CHECKED FOR ZONING COMPLIANCE

Zone: _____ Lot Area: _____

Lot Width: _____ Front Yard: _____

Side Yard: _____ Rear Yard: _____

Date _____ Signature _____

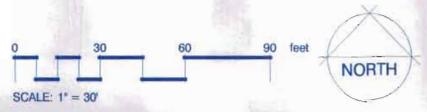
RECORDED # _____

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF

DATE _____ TIME _____ BOOK _____ PAGE _____

FEE \$ _____

SALT LAKE COUNTY RECORDER



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT.	QTY
AG2		ACER RUBRUM 'OCTOBER GLORY' TM / OCTOBER GLORY MAPLE	1.5' GAL	32
CEB		CERIS CANADENSIS 'FOREST PANSY' / FOREST PANSY REDBUD	1.5' GAL	14
PN1FL		PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID LAMBER PINE	4' MIN	11
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT.	QTY
BN		BERBERIS THUNBERGII 'NANA' / CRIMSON PIGMY BARBERY	1 GAL	60
COB AL2		CORNUS SERICEA 'ALLEMAN'S COMPACT' / DWARF RED TWIG DOGWOOD	5 GAL	95
BB		EUONYMUS ALATIS 'COMPACTUS' / COMPACT BURNING BUSH/DWARF BURNING BUSH	5 GAL	48
SOD		HIMEROCALIS HYBRID 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL	110
PRD OTT		FRAXINUS LAUROCERASUS 'OTTO LUTKEN' / LUTKEN'S LAUREL	5 GAL	92
YB		YUCCA FILAMENTOSA 'BRIGHT EDGE' / ABRAHAM'S NEEDLE	5 GAL	84

REFERENCE NOTES SCHEDULE

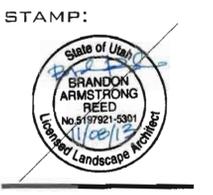
SYMBOL	DESCRIPTION	QTY	DETAIL
①	PLANTING AREA (TYP)		
②	NATURAL EDGE BETWEEN ALL PLANTERS AND TURF AREAS		
③	TURF AREA (TYP)		

GENERAL LANDSCAPE NOTES:

1. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH LANDSCAPE REGULATIONS, 2004 EDITION, ORDINANCE NO. 3133, SERIES OF 2004 AND THE AIA (AMERICAN ASSOCIATION OF NURSERYMEN) SPECIFICATIONS FOR NUMBER ONE GRADE.
2. ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HARDY FRAMES WITH ALL UNDERGROUND UTILITIES, PITS AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COSTS INCURRED DUE TO DAMAGE OF SAID UTILITIES.
4. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMMODATE THE LANDSCAPE CONTRACTOR FOR THE PROJECT. PLANT QUANTITIES TO BE BASED ON CONTRACTOR'S ESTIMATE ACCORDING TO PLANS, SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT. GRAPHIC SYMBOLS PREcede OVER WRITTEN PLANT QUANTITIES.
6. ALL TURF AREAS TO BE SPRAY IRRIGATED. ALL SHRUB BEDS TO BE DRIP IRRIGATED. SHRUBS AND PERENNIALS MUST BE IRRIGATED BY A SEPARATE ZONE THAN SOD/GRASS. THIS SYSTEM IS AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
7. ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.
8. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL BY LANDSCAPE ARCHITECT AND DEVELOPER.
9. ALL SHRUB BEDS TO BE BLACK ORGANIC MULCH TO DEPTH OF 3" PER PLEASANT GROVE CITY CODE.
10. ALL PERENNIAL BEDS AND TREE BRINGS TO BE MULCHED WITH BLACK ORGANIC MULCH TO A DEPTH OF 4" MIN. WITH NO LANDSCAPE FABRIC.
11. ALL RATS OF GROUND CORNERS AND PERENNIALS SHALL BE PLANTED ON A TRAP FORMATION TO ALLOW FOR MAXIMUM GROWTH PATTERN. NOTE D.C. PLANNING.
12. FOR TREES IN SOD, ALLOW A 2" DIAMETER BED WITHOUT SOD AROUND ROOT COLLAR. APPLY 4" DEPTH OF BLACK ORGANIC MULCH OVER 2" DIAMETER.
13. SOD TO BE 100% FROM SINGLE GROWER. USE 'BLUE RIBBON' SEED BLEND FROM GRANITE SEED. 'TROUGH TOLERANT SOD' / SEED FROM CHANGHARE FARMS. 'TROUGH SOD' / SEED FROM BIGGRASS SOD FARMS OR APPROVED EQUAL.
14. METAL EDGES WILL OCCUR BETWEEN ALL PLANTING BEDS ADJACENT TO SOD AND WILL BE SET LEVEL WITH THE TOP OF SOD. METAL EDGES TO OCCUR BETWEEN BLACK ORGANIC MULCH AND TURF AREAS IF APPLICABLE.
15. PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HELED IN AND WATERED TO PREVENT DETHYDRATION.
16. PLANTING PITS SHALL BE EXCAVATED TO A MINIMUM OF TWICE THE WIDTH OF THE ROOTBALL. DO NOT DISTURB SOIL AT THE BOTTOM OF PIT BUT SCARIFY SIDES TO PREVENT GLAZING.
17. AFTER PLANT INSTALLATION, ALL PLANT MATERIAL SHALL BE PLACED WITH THEIR ROOT COLLARS SLIGHTLY HIGHER THAN FINISH GRADE. (2" HIGHER FOR TREES)
18. LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
19. ALL LANDSCAPE SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES SHALL INCLUDE BUT NOT BE LIMITED TO: MOWING OF LAWNS, TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED, OR UNDESIRABLE LANDSCAPING, REMOVAL OF WEEDS FROM PLANTING AREAS, AND APPROPRIATE TRIMMING OF PLANT MATERIALS.
20. SEE SHEET LP-501 FOR PLANTING DETAILS.
21. SEE CIVIL AND ARCHITECTURAL DRAWINGS FOR ALL STRUCTURES, HARDWARE, GRADING, AND DRAINAGE INFO.

The designs shown and described herein including all technical drawings, graphic representation and models thereof, are proprietary and can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Loft Six Four.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



HAMPTONS PUD
 3674-3706 SOUTH AND 2300 EAST
 SLC, UTAH

DATA:
 DATE: 11.08.13
 PROJECT NO: 1350
 DRAWN BY: BAR
 CHECKED BY: BAR

REVISIONS:

TITLE
 LANDSCAPE PLAN

SHEET

LP101

Tree Survey

11/1/2013

Prepared by Rory O'Hara, Project Engineer, TruCo Enterprises

Hamptons PUD
Giverny Residential Development
2300 E. 3700 S.
Salt Lake City, UT 84109

Tree *in situ* are primarily waste trees (Chinese Elm and Common Hackberry) and have not been maintained. The majority of these trees are in poor condition, with little or no aesthetic appeal.

1. Proposed to remove 33 trees total to make possible site grading for new development: roads, residential structures.
 - a. Trees of 4"+ caliper: 4 (24 caliper debits)
 - b. Trees of 4" caliper: 29 (60 caliper debits)
 - i. Total caliper debit: 84
2. Trees that are in extremely poor condition beyond rehabilitation (carelessly pruned, unthrifty crown, mostly dead, haphazard multi-stemmed) shall be removed.
3. Proposed to preserve 6 trees, presuming that they can be suitably pruned and rejuvenated.
 - a. Trees of 4"+ caliper: 6 (36 caliper credits)
 - i. Total caliper credit: 36
4. Replacement trees: 48 trees of 2" caliper shall be planted on site to replace the trees to be removed.
 - a. Total caliper debits to be replaced: 84
 - b. Total caliper credits provided by tree preservation: 36
 - c. Total caliper credits provided at a one 2" tree per 2" of caliper removed: 48
 - i. Landscape Plan shall be adjusted to provide (5) 2" caliper ornamental trees

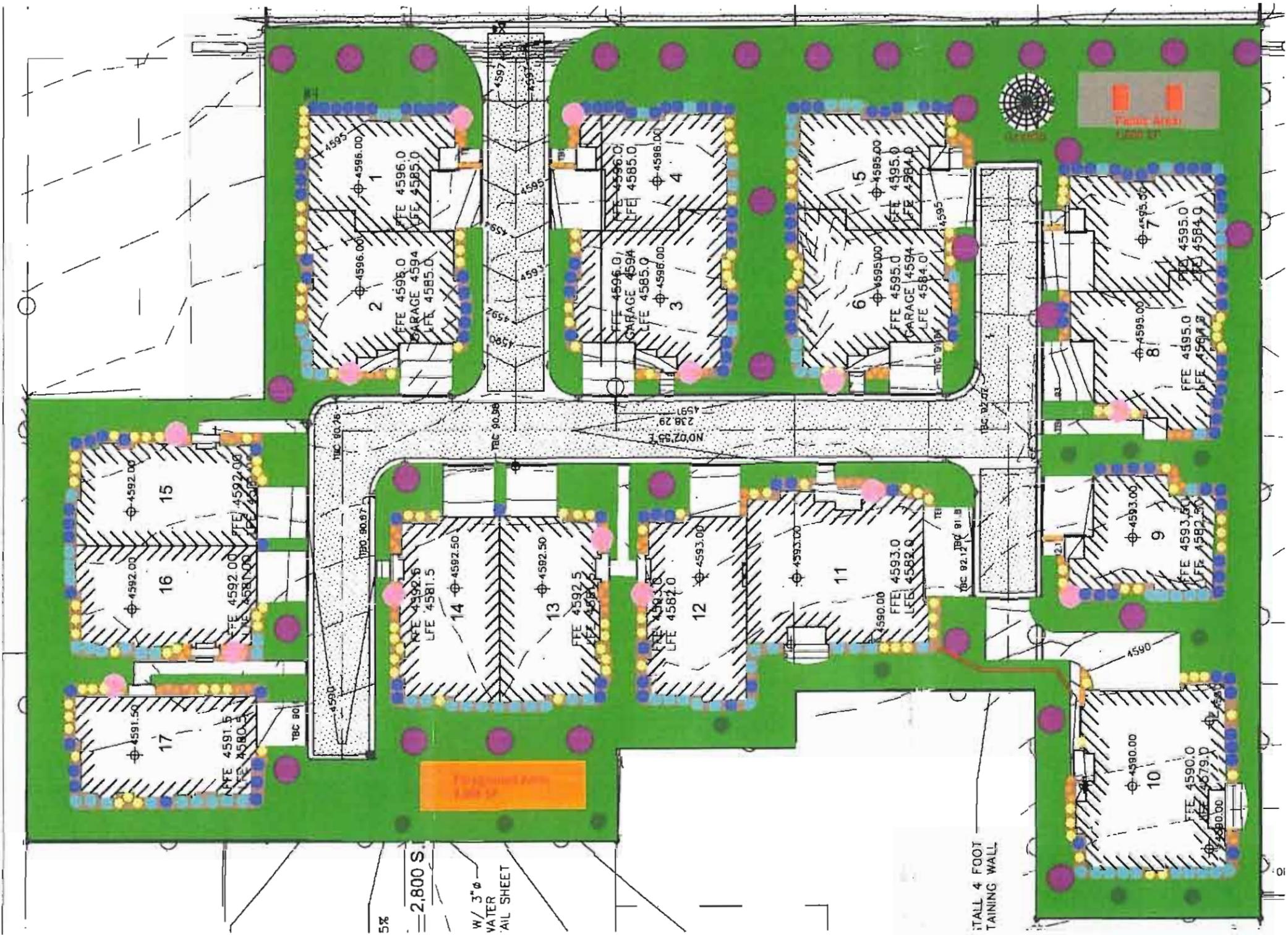
On site photos demonstrating tree condition: 1-3







No.	Name	Qty	1
Typical Groups			
Conditions			
(unassigned)			
1	1 gallon perennial	111	EA
2	1 5" Ornamental Tree	14	EA
3	2" Deciduous tree	32	EA
4	3 gallon Ornamental Grass	148	EA
5	5 gallon evergreen shrub	92	EA
6	5 gallon shrub	143	EA
7	6 Conifer Tree	11	EA
8	Picnic Area	1,000	SF
9	Picnic Tables	2	EA
10	Playground Area	1,000	SF
11	Rock Wall	53	LF
0002 Mulch			
1	Wood Mulch	5,122	SF
0005 Turf			
1	Lawn	44,681	SF



Hampton PUD Subdivision
Landscaping





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- Outdoor Portable Sinks
- Outdoor Storage
- Outdoor Tables & Chairs
- Outdoor Trash Cans
- Picnic Tables
- Playground Basketball Hoops, Goals & Backboards
- Playground Climbing Equipment
- **Playground Sets**
- Playground Slides
- Playground Swings
- Portable Bleachers
- Riding Toys

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Playground & Park Equipment

Portable Stages & Risers

Pre-school Furniture & Equipment

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Room Dividers & Partitions

Science Furniture & Lab

...

1) Choose a quantity
1

Special conditions

[Click to Enlarge](#)

Miss Abby Value Series Play Center

Material: Galvanized steel tubing and posts, punched steel decks w/ thermoplastic coating and molded polyethylene plastic components

Finish: All material components have a baked-on, polyester, dry powder coating

Recommended Ages: 5 - 12 years old

Total Number of Events: 8

Elevated Events: 6

Ground-Level Events: 2

Assembly: Assembly required

Other Info: ADA compliant

Width: 10 1/2'

Length: 25 1/2'

Use Zone: 22 1/2' W x 37 1/2' L

Weight: 2086.0 lbs.

Shipping Method: Freight



[Richard Mega Series Play Center](#)
Sports Play Equipment Inc
\$13,333.99



[Lauren Mega Series Play Center](#)
Sports Play Equipment Inc
\$10,180.99



[Miss Marie Value Series Play Center](#)
Sports Play Equipment Inc
\$8,632.99

Add to Cart

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ADA Accessible Tables

(ADA - 2 Chair) Rectangular Thermoplastic Picnic Table



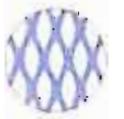
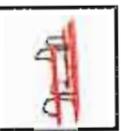
Benefits

- Convenient walk-thru design in easy assembly styles
- No maintenance – will not peel, crack, or fade
- Food-contact safe
- Convenient 2-wheelchair access (1 chair fits on each table end); meets ADA accessibility guidelines

Features

- Tabletop & Seals: Thermal-fused plastic-coated metal
- Tabletop Length: 8 ft.
- Frame: 2-3/8" OD black powder-coated recycled steel
- Mounting Option: Surface mount

(ADA - 2 Chair) Rectangular Thermoplastic Picnic Table



Click on thumbnails to pause slideshow



Add item to cart for shipping quote or use the shipping calculator below

Usually Ships in 3 weeks

Model # 1ZZ5615 Model Name 8 ADA picnic table

Model Dimensions 96" l x 30" w x 30.5" h table; top 72" l x 10" w x 18.75" h seats

Weight 190 lbs

Quantity	Price
1 - 5	\$661.35
6 - 12	\$961.06
13 - 24	\$961.06
25 +	\$653.52

Prices Based on Quantity



(ADA - 1 Chair) Rectangular Thermoplastic Picnic Table \$653.52 - \$768.85



(ADA - 2 Chair) Kaden Punched Steel Picnic Table \$653.52 - \$769.85



Rectangular Thermoplastic Picnic Tables \$653.52 - \$768.85

- Estimate Shipping Cost
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- Email Product Information to a Friend
- Ask a Question about this Product
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- Write a Review about this Product

Privacy Guarantee

Secure Transactions

Major Credit Cards Accepted

History of the American Picnic

Trusted Commerce

Plastic-Coated Metal Tables

Rectangular Thermoplastic Picnic Tables



- Benefits**
- Convenient walk-thru design in easy assembly styles
 - No maintenance -- will not peel, crack or fade
 - Food-contact safe

- Features**
- Tabletop & Seats - Thermal-fused plastic-coated metal
 - Tabletop Length Options: 6 & 8 ft.
 - Frame: 2-3/8" OD black powder-coated recycled steel
 - Mounting Option: Surface mount



Click on thumbnails to pause slideshow



Add item to cart for shipping quote or use the shipping calculator below.

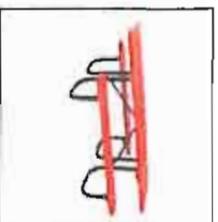
US & Canada Shipping

Usually Ships in 3 weeks

Model #	Model Name	Model Dimensions	Weight	Prices Based on Quantity			
1ZZ5613	6' picnic table	72" l x 30" w x 30.5" h tabletop 72" l x 10" w x 18.75" h seats	176 lbs	1 - 5 \$664.05 \$688.85	6 - 12 \$864.05 \$862.18	13 - 24 \$864.05 \$619.00	25 + \$864.05 \$585.52
1ZZ5614	8' picnic table	96" l x 30" w x 30.5" h tabletop 96" l x 10" w x 18.75" h seats	196 lbs	\$948.56 \$758.85	\$948.56 \$738.08	\$948.56 \$682.90	\$948.56 \$649.02



BarcoBoard™ Rectangular Tables
\$585.52 - \$758.85



(ADA - 2 Chair) Rectangular Thermoplastic
\$585.52 - \$758.85



Perforated Picnic Table
\$585.52 - \$758.95

- Estimate Shipping Cost
- Save Product to Favorites (Wish List)
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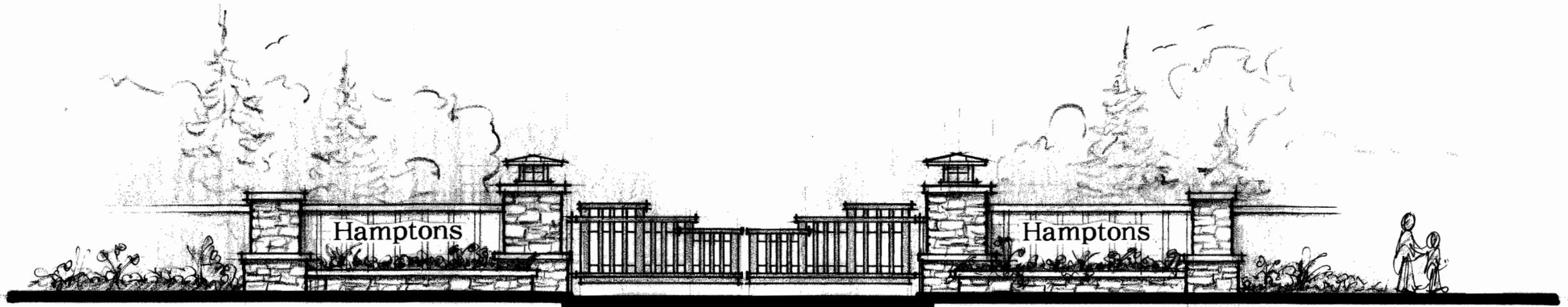
Privacy Guarantee

Secure Transactions

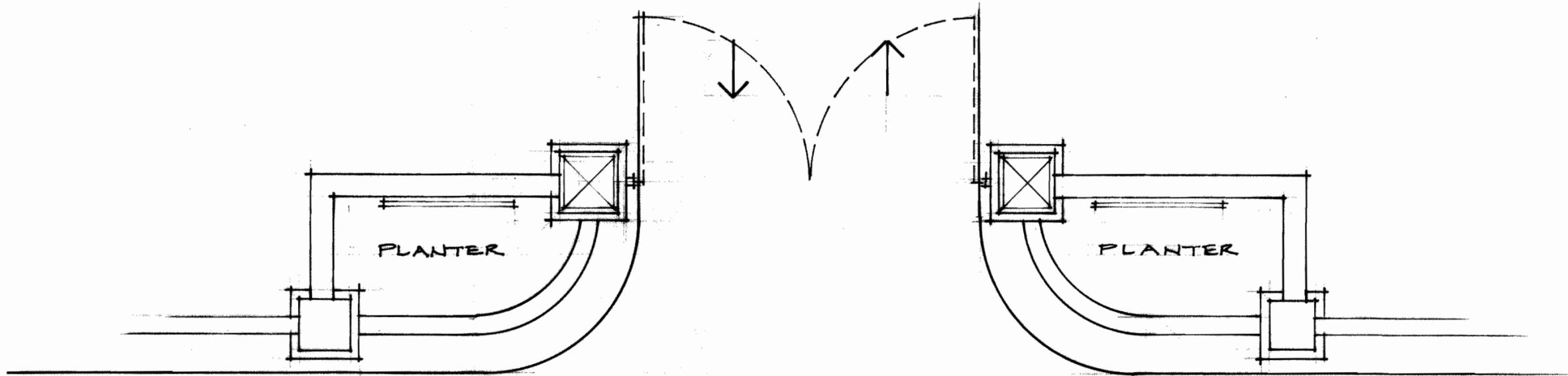
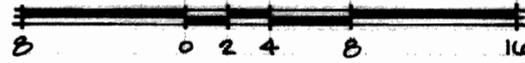
Major Credit Cards Accepted

History of the American Picnic

Trusted Commerce



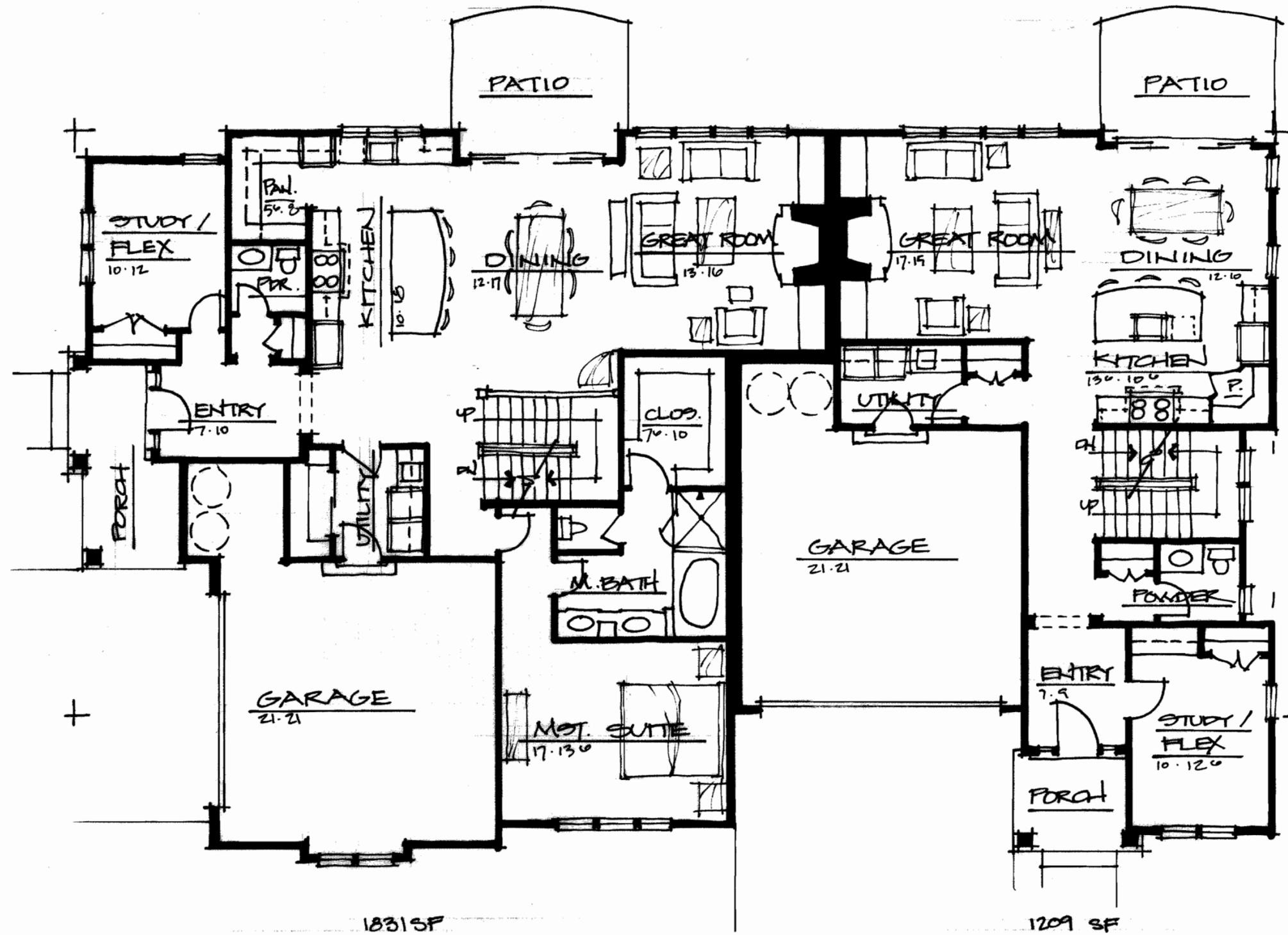
ENTRY GATE CONCEPT





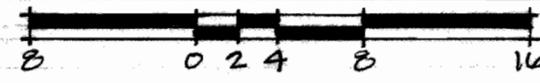
FRONT ELEVATION A





MAIN FLOOR PLAN A

3040 SF (M+U 4944)

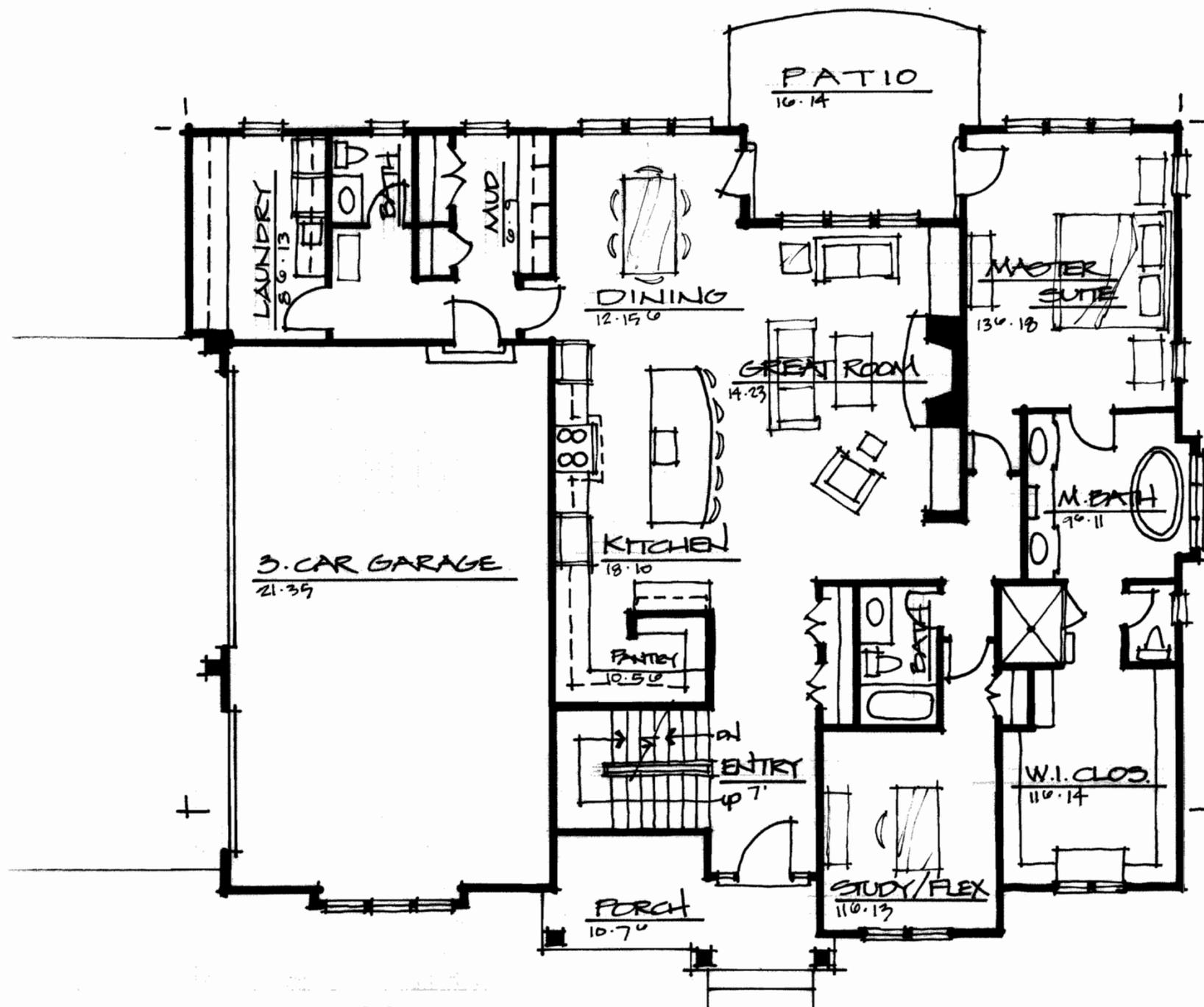


HAMPTON PLAN A



FRONT ELEVATION B

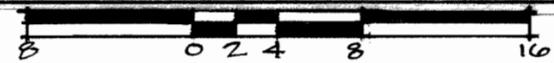




MAIN FLOOR PLAN B

2287 SF.

M+U = 3135 S.F.

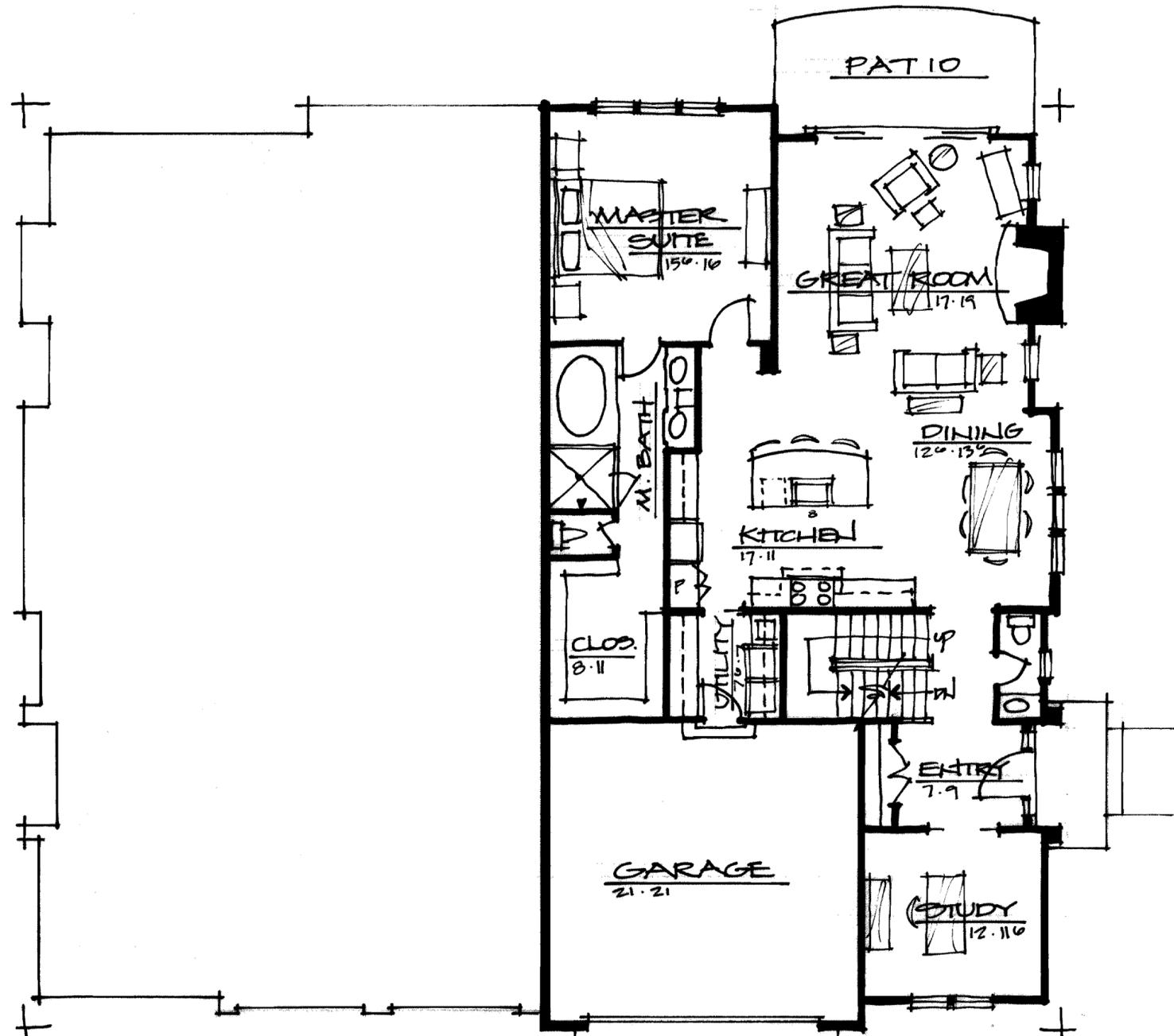


HAMPTON PLAN B



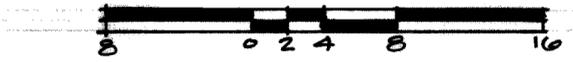
FRONT ELEVATION C





MAIN FLOOR PLAN C

1710 SF



HAMPTON PLAN C



STAFF REPORT

Executive Summary					
Hearing Body:	Millcreek Township Planning Commission				
Meeting Date and Time:	Wed. December 11, 2013	04:00 PM	File No:	2	8 6 0 7
Applicant Name:	Russ Sorensen	Request:	Conditional Use		
Description:	Planned Unit Development				
Location:	2455 East 3225 South				
Zone:	R-1-8 Residential Single-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Planning Commission Rec:	Not Yet Received				
Community Council Rec:	Continue				
Staff Recommendation:	Approval with Conditions				
Planner:	Lyle Gibson				

1.0 BACKGROUND

1.1 Summary

The applicant is requesting Conditional Use and Preliminary Plat approval of a 10 lot PUD subdivision. Details of the proposal are outlined in the Zoning Analysis Table in this report. The proposal includes 50% Open Space which includes a playground and picnic area. Currently the property which occupies 2.27 acres has 4 single family homes. 3 of the 4 homes will remain and the additional 7 units are proposed as 7 new single family units.

Type of PUD - Single-Family PUD Subdivision

Number of Units/Lots & Density - 10 Units on 2.27 acres = 4.4 dwelling units per acre

Lot Sizes - Range approximately 7,000 to 15,500 square feet / 0.16 to 0.36 acres

Minimum Setbacks -

Development Boundary

Right of way: From 3225 East - 25 feet / From Lambourne Ave. - 30 feet. (measured on plans, existing setback)

Remaining Perimeter - All new structures set back a minimum of 15 feet from project perimeter.

Internal Setbacks

From back of curb - Buildings are very close to the proposed Walnut Park Cove along the west side of the development. Dimensions provided indicate that the homes are as close as 2 feet to the edge of the sidewalk or 6 feet from the back of curb with a 4 foot integrated sidewalk.

Between buildings - buildings are setback a minimum of 8' from the property line shared by another structure. Where there is a shared drive the range from 10 to 15 feet to the property line between buildings.

Recreational Facilities

The amenities are all located towards the center of the development, north of the new homes and are proposed on the south side of lot 10. The play structure and picnic pavilion are location in a dedicated common space area that is approximately 2,500 square feet.

Playground - Play Structure details provided

Picnic Areas - Example of structures provided.

Open Space - Total of 48,271 sq. ft. or 1.13 acres of open space -49% of development

Typical Architecture - See attached elevations. Essentially brick ramblers.

The elevations proposed are all under 28' in height.

Private Street - (Proposed Name - Walnut Park Cove)

Internal 25-foot wide Private Right-of-way owned in common (not part of the lots). With 5' integrated sidewalk along east side. The street then become a 20' paved surface with 5' of integrated sidewalk along each side as it turns heading east.

Public Street -

Dedication proposed to correct property alignment with right of way along both Lambourne Ave and 3225 S.

Cross Section/Improvements - Applicant proposes to add Sidewalk, Curb, Gutter and park-strip in the public right-of-way in front of the subject property. Engineering staff has initial concerns with the installation of the curb, gutter, and sidewalk along 3225 S. and will be working with the applicant through the technical review process to determine if the right of way improvements are appropriate or if they will require the applicant to pay into the highway fund in lieu of the improvements.

Parking

2 spaces in the garage of each home minimum (20 spaces);

Spaces provided in a few driveways (5 spaces);

2 spaces at end of drives near amenities dedicated to guest parking (4 spaces)

Total 29 spaces = 2.9 parking spaces per dwelling.

Property Info

Zoning - Subject property and surrounding area is zoned R-1-8, Single Family Residential, 8,000 square foot lots. Directly adjacent to the proposed development on the west are 7 homes that are zone R-2-8, Residential Two-Family 8,000 square foot minimum lot size.

Surrounding Land Use - The property is surrounded by single family homes with the exception of some duplex units that lie directly west of the property at the end of a cul-de-sac.

Property Size - The subject property is 2.276 acres.

Existing Improvements

The properties involved currently have 4 single family dwellings. Lambourne Avenue has curb and gutter, but no sidewalk along the south side of the street up until the project area. 3225 S. does not have curb, gutter, or sidewalk along the north side of the street. The south side of the street and the cul-de-sac to the east have curb gutter and sidewalk.

1.2 Hearing Body Action

This item is on the agenda for a final decision from the Millcreek Township Planning Commission.

1.3 Neighborhood Response

As of the date of this report, 11/27/2013, staff has not received any response from the neighborhood.

1.4 Community Council Response

The Canyon Rim Community Council heard this item at their meeting on November 19, 2013. Staff and the applicant were in attendance at the meeting. Concerns were raised during the discussion about the sidewalk and internal setbacks between the new homes. The Community Council approved a motion to approve the PUD as proposed and recommend that curb gutter and sidewalk be installed along 3225 S.

The applicant and staff left the meeting shortly after this item was discussed and an original motion had been passed. Before the meeting was adjourned, the motion previously passed was amended seeking a continuance to allow for more feedback from the community.

The following e-mail was received by staff from the Canyon Rim Community Council Chair describing the request:

...'My council had further discussions on the "Woods as Rosecrest" PUD and since our council is off in December CRCA voted to ask for a continuance from the planning and zoning commission so the citizens surrounding the area have a chance to voice their opinion on the matter before P&Z makes their ruling.

From what I remember the flyers were going to go out to residents around the 11th of December. That flyer will need to have January 21st, 2014 as the date of the next CRCA council meeting on it. P&Z's vote will need to be after Jan 21st in order to let the citizens approach CRCA on the conditional use.'

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		As proposed, with the approval of the planning commission as stated in 19.78.090 of the zoning ordinance, the setbacks, and height may be approved per the proposed site plan. The amount of parking meets and exceeds the usual standard of 2.25 stalls per unit. The development appears to be able to meet and shall apply with all other applicable provisions of the zoning ordinance prior to final approval including landscaping requirements.

YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		As proposed the plan appears to comply with all other applicable laws and ordinance. The technical review process by staff will require verification of compliance with these items prior to final approval. Summary:
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		Lots 1, 4, 5, 6, 8, and 9 have side load garages that show a very tight turn radius. There are initial concerns that as proposed there may be issues turning into the garages proposed, however it is not impossible and the applicant may provide documentation to demonstrate that the current layout is appropriate.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Preliminary reviews by Geology indicate that there are no mapped geologic hazards at this location. However due to the projects size, a geotechnical report will be required and compliance with the findings must be demonstrated for final approvals from staff. The final storm drain details will require approval through the technical review, this issue has been considered but the actual design is in discussion with engineering and shall be required to meet their standards prior to final approval.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E`:</u> <i>The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i>
		The proposed use and plan creates homes that fit within the Residential compatibility overlay zone building envelope that will help create home similar in size and scale to the existing single family homes in the area. The use consisting of single family homes is compatible with the single and two-family homes in the area.

2.2 Zoning Requirements

The following is a summary comparing the zoning requirements and the proposal from the applicant. The table also indicates whether or not the provision meets, exceeds, doesn't comply, or would need approval under this PUD Conditional Use application. Some items in the zoning regulations can be modified through PUD approval, others cannot. For example, the Commission cannot approve density higher than the maximum allowed in the underlying zone; approves land uses not listed in the underlying zone; or approved exceptions from County Roadway Standards on public streets. Setbacks, Architecture, layout, minim lot size, recreational facilities and open space can be modified under a PUD. A maximum density can also be set as long as it does not exceed the maximum allowed in the zone.

* = Needs PUD Approval	Base Standard	Proposed	PUD Modification
Minimum PUD Project Area	R-1-8 zones: 1- Acre	2.27 acres	<u>Exceeds Standard</u>
R-1-8 Maximum Density	4.5 units per acre	4.4 units per acre	<u>Meets Standard</u>
Lot Dimensions			
*Minimum Area	8,000 square feet	Lots range between approximately 7,000 to 15,500 sq. ft.	Needs PUD Approval (proposed sizes are reflective of proposed building footprints)
*Minimum Width	65 feet at 25-foot setback	<u>Estimated:</u> 45 to 65 feet	Needs PUD Approval
Recreational Facilities			
Quantity	2	2	<u>Meets Standard</u>
Type	Playground 1,000 sq. ft. w/play equipment, PLUS Two other per policy standards	Playground 1,000 sq. ft. Picnic Areas 500 sq. ft. –	<u>Meets Standard</u> (allows for 2% reduction in open space)
Open Space			
Types of Open Space	Landscape, Natural Areas, Recreational Areas, Yards, Patios	Playground, Picnic Area	<u>Meets Standard</u>
Percent of Site	50% (may be reduced to 42%)	50% (landscape plan indicates 49%... this does not count internal sidewalk as open space)	<u>Meets Standard</u>
Maximum Building Height	28 feet to ridge line per RCOZ (option B allows up to 33')	No elevations exceed 28 feet in height	<u>Meets Standard</u>
MINIMUM BUILDING SETBACK			
Project Perimeter			
East	15 feet - perimeter	15 feet. (existing detached garage within a couple feet. Would meet standards allowed for accessory structures).	<u>Meets Standard</u>
North	25 feet from Lambourne Ave. 15 feet from project perimeter	30 foot estimated setback from Lambourne Ave. (Existing) Perimeter - 15 foot minimum	<u>Meets Standard</u>

* = Needs PUD Approval	Base Standard	Proposed	PUD Modification
South	25 feet from 3225 South. Lot 1 has side yard facing 3225 South, side yard facing public street may have 20 foot setback.	25 foot minimum	<u>Meets Standard</u>
West	15 feet	35 foot minimum per private drive on west side	<u>Meets Standard</u>
Individual Lots			
*Front	25 feet	-Lots 4, 5, 8, and 9 have 20 foot front yard setbacks -Lots have an estimated 3 foot setback from closest point of structure to private drive. -Existing lots have 25 and 30 foot front yard setbacks.	Needs PUD Approval
Interior Side	8 feet (both 25% of lot width)	8 foot minimum, where homes share drive access sideyards range from 10 to 15 feetd	<u>Meets Standard</u>
Street Side	Side yard facing public street – 20 feet	This development does not include sideyards facing a public street except for lot 1 which has a 25' setback.	<u>Meets Standard</u>
Rear	15 feet with Garage	Estimated: 15 minimum	<u>Meets Standard</u>
Parking			
*Total	2 per dwelling + guest space (Qty. approved by PC)	2 per dwelling 4 guest 5 additional on lots	Needs PUD Approval
Per Unit	2 per dwelling	2 per dwelling in garage	<u>Meets Standard</u>
In Driveway	None, but can count towards guest parking	5 spaces which keeps shared access drives free from cars blocking access.	<u>Meets Standard</u>
*Guest (Not on the lots)	Determined by Planning Commission	4 off lot	Needs PUD Approval

2.3 Other Agency Recommendations or Requirements

Building Inspector:

Prior to building approval for the new subdivision planning file, will need to obtain permits to do one of the following options for buildings or structures that will have exterior walls or roof overhangs within 5' of the new property line locations.

Option 1 - obtain a building permit to demo the existing structure

Option 2 - obtain a building permit to address fire rated protection for the walls/openings/overhangs that are within this 5' protection area.

Once this issue has been resolved, conditional approval will be based on the following:

1. Building permits are required for the removal of existing structures.
2. Building permits are required for the construction of the new homes. Building permit is required for the homes. At time of building permit application, provide complete building plans showing compliance with current building code. At time of building permit application, provide fire flow verification and show how compliance is going to be made with any Unified Fire District Guidelines.

Geology:

Approved, no apparent or mapped geologic hazards at this site.

Grading:

- 1- Need to submit a copy of the Geotechnical Engineering report
- 2- Need to submit site grading and drainage plans
- 3- Need to show how the lot surface drainage will be maintained on the property or directed to an approved outlet.
- 4- Due to the size of the lot and disturbance to develop a SWPPP and NOI are required.
- 5- Need to submit a Stormwater maintenance agreement and stormwater management plan for review and recording against the property prior to final approval.
- 6- All site grading shall be completed under the Grading permit process administered through planning and development services.

Traffic:

1. Need to see plan and profile for curb, gutter, and sidewalk.
2. Driveways need to have clear dimensions site plan showing garage to driveway to indicate enough turn radius.
3. Deposit funds into highway fund for 3225 S.

Unified Fire Authority:

1. Site plan as shown works for UFA.

Urban Hydrology:

1. Need to route storm drain to approved Salt Lake County storm drain facility. 3300 S. or Lambourne if applicable
2. Please note that all irrigation, whether abandon of active must be shown on the plans. All Active

irrigation must be piped with 15-inch (minimum) RCP per SLC_o. ordinance #18.24.130.

3. Over 2 CFS must be piped.

4. Irrigation master to sign off on utility / drainage plan.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:

- 1) Applicant to verify safe and appropriate turn radius for side load garages on shared drive. Must receive approval from traffic engineer for final drive access to all homes.
- 2) Setbacks as per preliminary plat shall remain as minimum required setbacks.
- 3) To comply with section 19.71.030 of RCOZ, final home designs shall demonstrate compliance with item 7: Mass and Scale. To avoid a large, continuous building mass of uniform height; no portion of any building shall continue more than forty feet horizontally without a minimum of an eighteen-inch break in the roofline or an architectural element such as an overhang, projection, inset, material and textural change to create shadow patterns along the elevation of the building. The elements required by this section are in addition to all other requirements under this Part.

3.2 Reasons for Recommendation

- 1) Proposal meets the majority of standards from the underlying zone, the remaining standards may be approved as proposed by the planning commission.
- 2) The development meets the criteria for a conditional use or appears to be able to comply with all the criteria before final approval.

3.3 Other Recommendations

- Applicant shall complete the technical review, preliminary plat, and final plat process with staff prior to recording.
- CC&Rs should reflect the inclusion of all homes, including existing homes to remain as part of PUD.

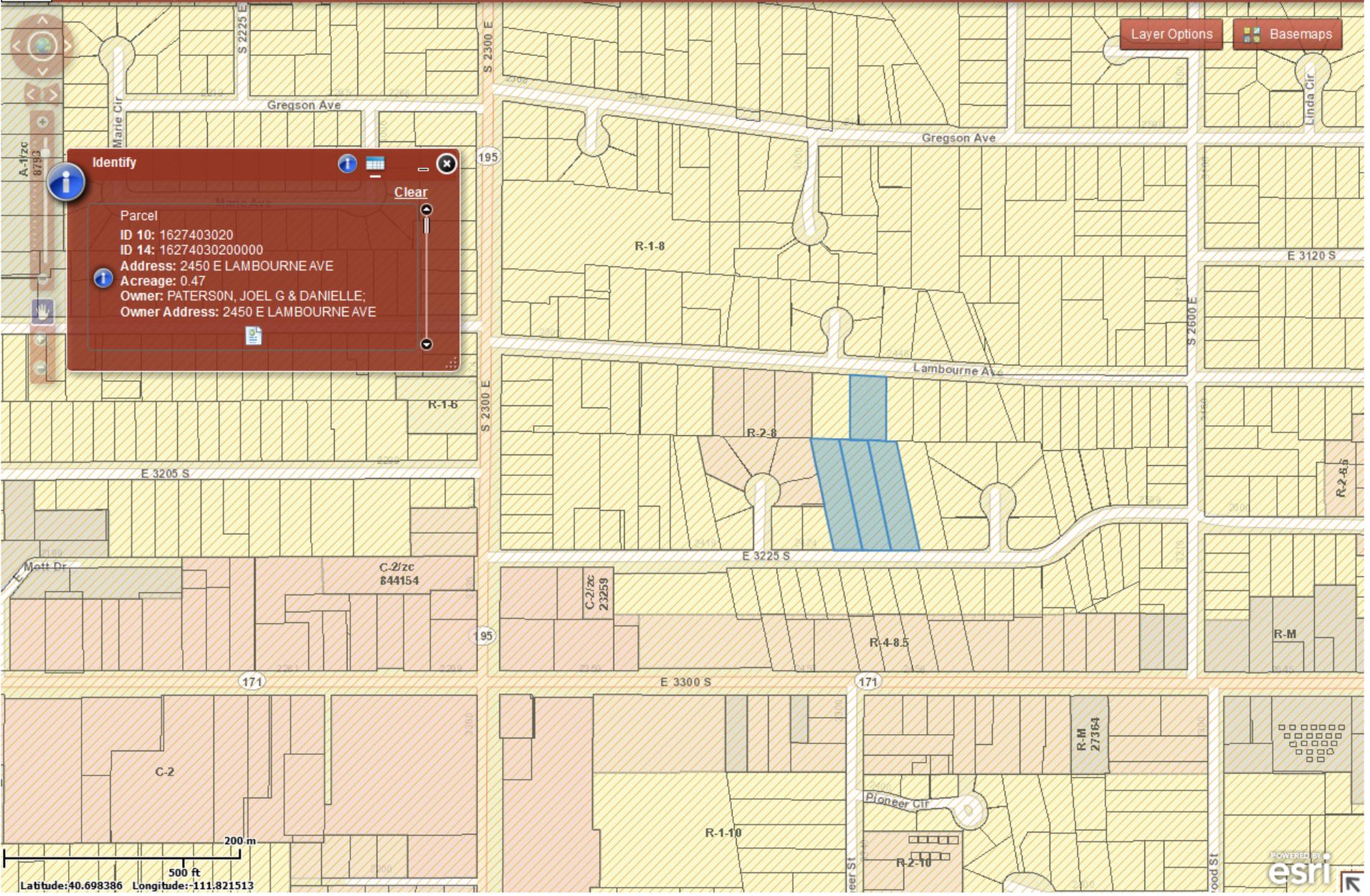


Layer Options Basemaps

Identify

Parcel
 ID 10: 1627403020
 ID 14: 16274030200000
 Address: 2450 E LAMBOURNE AVE
 Acreage: 0.47
 Owner: PATERSON, JOEL G & DANIELLE;
 Owner Address: 2450 E LAMBOURNE AVE

Clear





Layer Options

Basemaps

Identify

Clear

Parcel

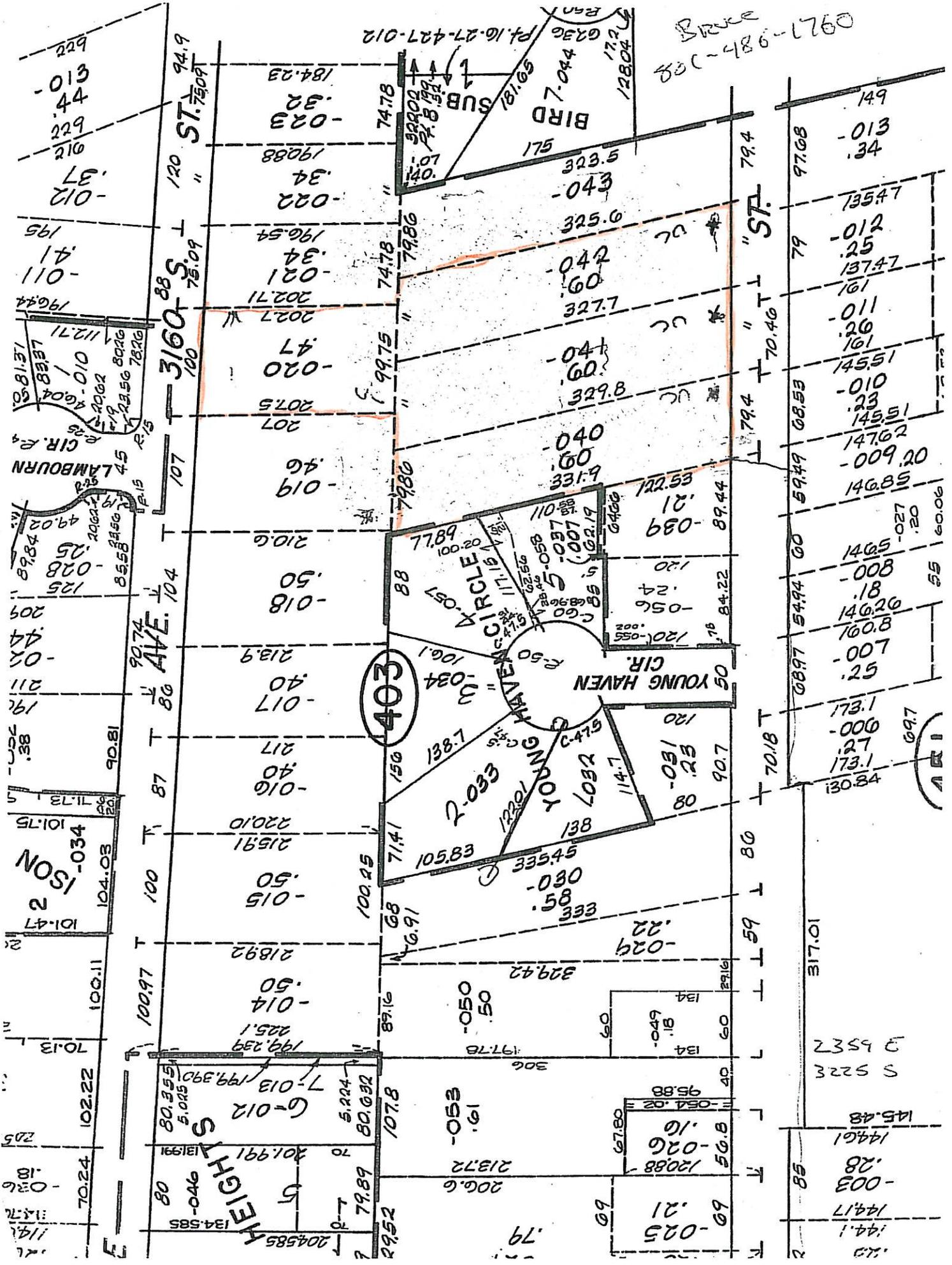
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ID 14: 16274030200000
Address: 2450 E LAMBOURNE AVE

Acreage: 0.47
Owner: PATERSON, JOEL G & DANIELLE;
Owner Address: 2450 E LAMBOURNE AVE



Latitude: 40.700725 Longitude: -111.819899

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80-486-100



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YOUNG HAVEN C.R.

YOUNG HAVEN CIRCLE

BIRD
SUB

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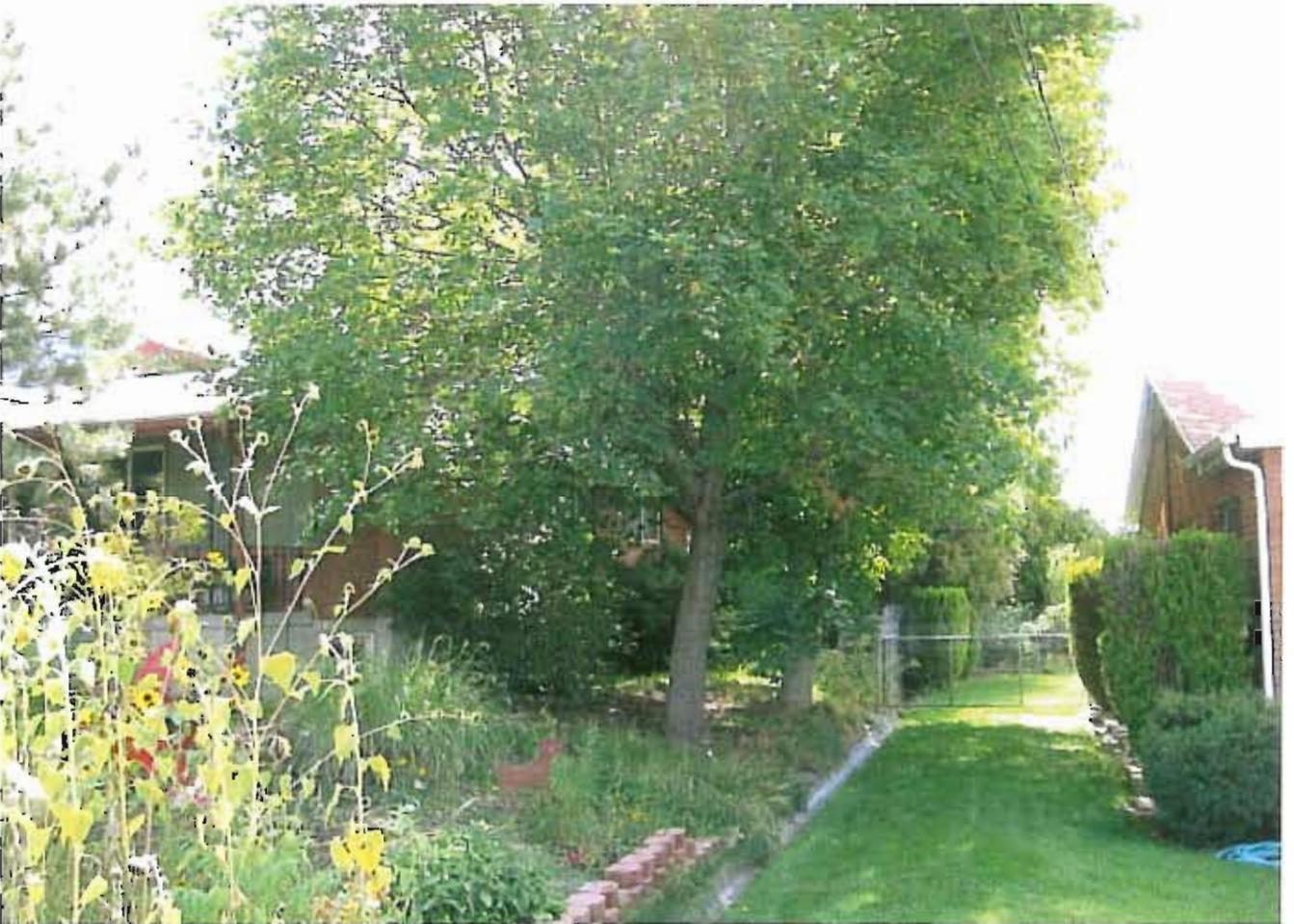


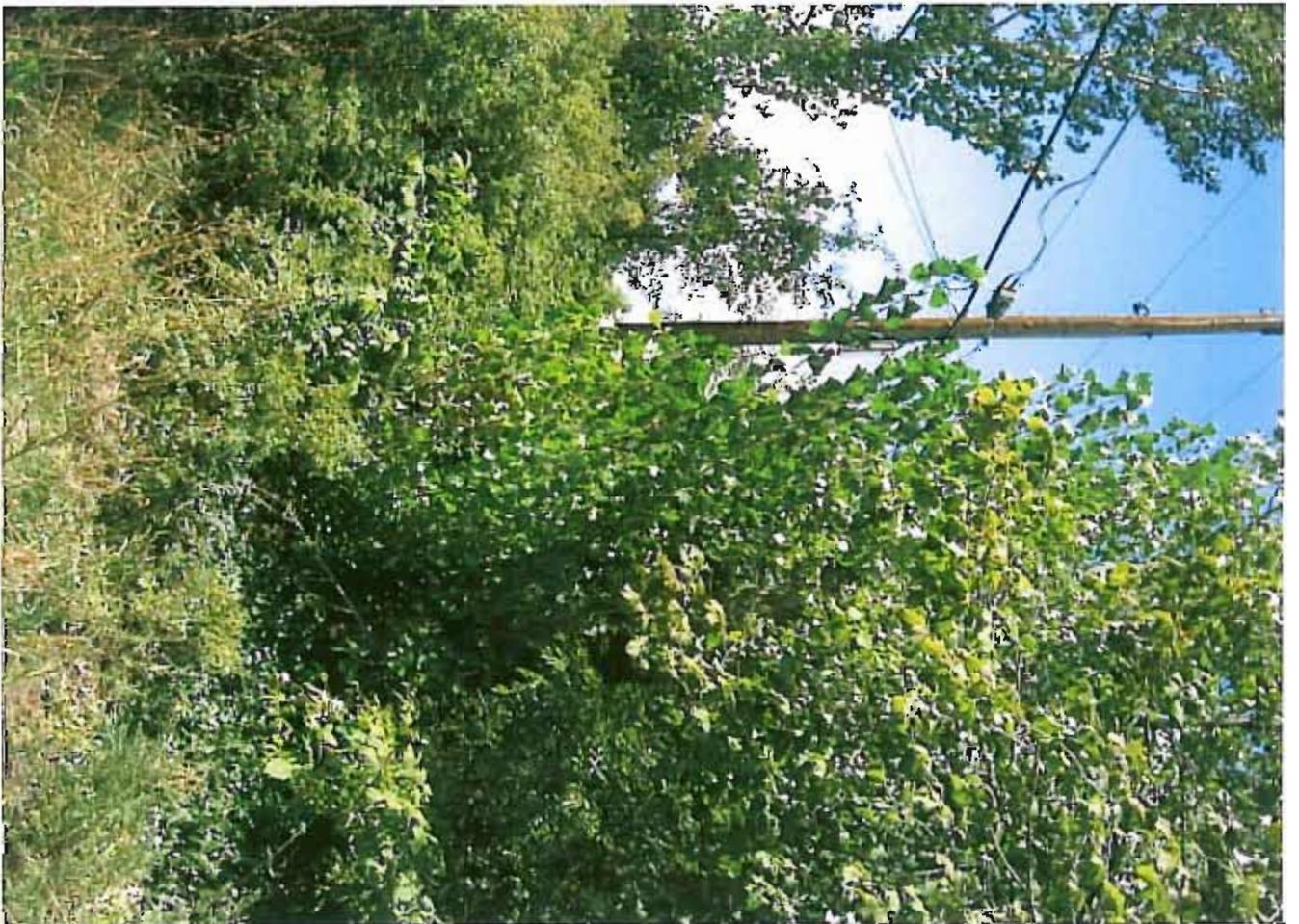




















THE WOODS AT ROSECREST P.U.D.



PRELIMINARY SUBMITTAL
2467 EAST 3225 SOUTH
MILLCREEK TOWNSHIP, SALT LAKE COUNTY, UTAH

INDEX OF DRAWINGS

C-000	COVER SHEET
C-100	PRELIMINARY SUBDIVISION PLAT
C-200	PRELIMINARY GRADING PLAN
C-300	PRELIMINARY UTILITY AND DRAINAGE PLAN
L-100	PRELIMINARY LANDSCAPE PLAN
L-101	LOT TYPICAL, NOTES & DETAILS

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

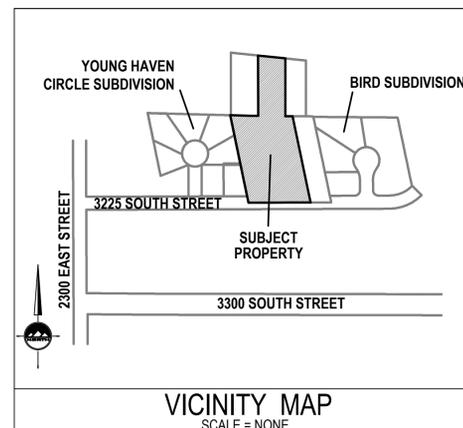
UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS" THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



GENERAL NOTES

1. CALL BLUE STAKES 48 HOURS PRIOR TO DIGGING.
2. BENCHMARK: CENTERLINE ROAD MONUMENT LOCATED AT 3300 SOUTH AND 2300 EAST. ELEVATION = 4552.46
3. ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH MT. OLYMPUS IMPROVEMENT DISTRICT DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
4. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING MANHOLES AND OTHER UTILITIES BEFORE CONSTRUCTING ANY IMPROVEMENTS.

ENGINEER/SURVEYOR:



SALT LAKE CITY
45 West 10000 South, Ste 500
Sandy, UT 84070
Phone: 801.255.0529
Fax: 801.255.4449
WWW.ENSIGNUTAH.COM

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

DEVELOPER

SOAR REALTY GROUP
3267 EAST 3300 SOUTH, SUITE 539
SALT LAKE CITY, UTAH 84109
RUSS SORENSON
(801) 301-4104

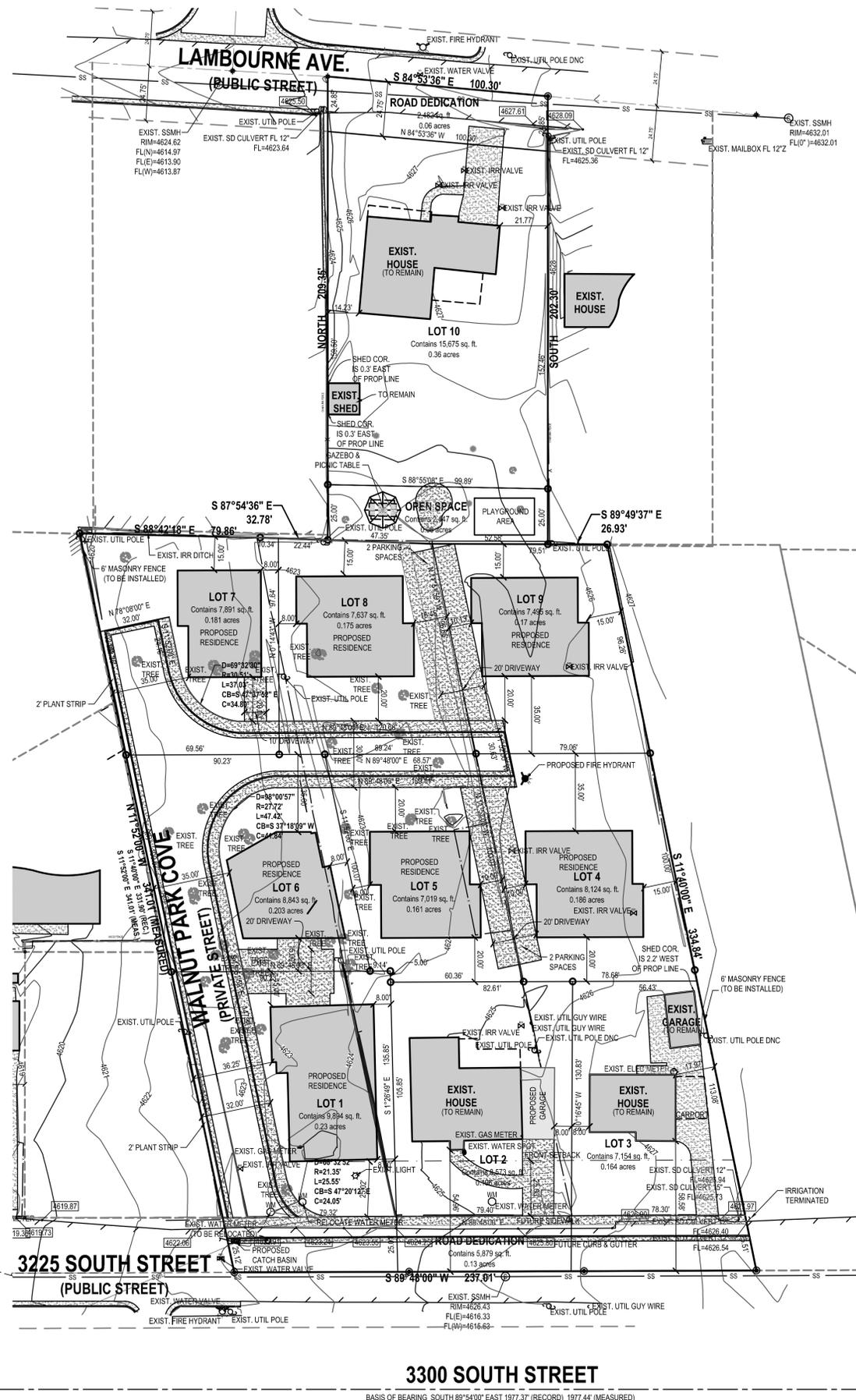
THE WOODS AT ROSECREST P.U.D.
November 4, 2013



BENCHMARK
CENTERLINE ROAD MONUMENT AT
3300 SOUTH & 2300 EAST
ELEVATION = 4599.73'

LEGEND

- | | | | |
|--|-------------------------------|--|-----------------------------|
| | SECTION CORNER (RING AND LID) | | MINOR CONTOURS 1' INCREMENT |
| | MONUMENT | | MAJOR CONTOURS 5' INCREMENT |
| | SET NAIL & WASHER | | CONCRETE |
| | SET ENSIGN REBAR AND CAP | | ADJACENT RIGHT OF WAY |
| | WATER METER | | RIGHT OF WAY |
| | WATER MANHOLE | | SECTION LINE |
| | WATER VALVE | | PROPERTY LINE |
| | FIRE HYDRANT | | ADJACENT PROPERTY LINE |
| | IRRIGATION VALVE | | DEED LINE |
| | SANITARY SEWER MANHOLE | | TANGENT LINE |
| | STORM DRAIN CLEAN OUT | | FENCE |
| | STORM DRAIN CATCH BASIN | | EDGE OF ASPHALT |
| | STORM DRAIN COMBO BOX | | SANITARY SEWER |
| | SIGN | | STORM DRAIN LINE |
| | UTILITY MANHOLE | | WATER LINE |
| | UTILITY POLE | | IRRIGATION LINE |
| | GAS METER | | TELEPHONE LINE |
| | GAS LINE | | OVERHEAD POWER |
| | BUILDABLE AREA SHADED | | |



SURVEYOR'S NARRATIVE

I, Patrick M. Harris, do hereby state that I am a Registered Professional Land Surveyor and that I hold certificate no. 266882 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The Purpose of this survey is to provide a Site Concept Plan to our client. The Basis of Bearing is the line between a found Street Monument at the Intersection of 3300 South Street and 2300 East Street and a found Street Monument at the Intersection of 3300 South Street and Oakwood Street measuring South 89°54'00" East 1977.44' (record) 1977.44' (measured).

PROPERTY DESCRIPTION

Beginning at a point said point being North 00°30'21" East 342.24 feet along the center line of 2300 East Street and North 89°48'00" East 971.02 feet from a found Street Monument at the Intersection of 3300 South Street and said 2300 East Street and running:

thence North 11°52'00" West 341.01 feet to and along the east line to the Northeast Corner of Young Haven Circle Subdivision, Book V, Page 83 of official records on file in the Office of the Salt Lake County Recorder;

thence South 88°42'18" East 79.86 feet;

thence South 87°54'36" East 32.78 feet;

thence North 209.35 feet;

thence South 84°53'36" East 100.30 feet;

thence South 202.30 feet;

thence South 89°49'37" East 26.93 feet;

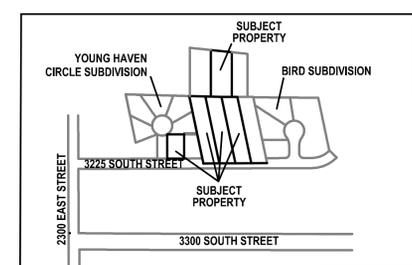
thence South 11°40'00" East 334.84 feet;

thence South 89°48'00" West 237.01 feet to the point of beginning.

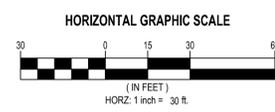
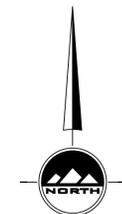
Contains 99,146 square feet or 2.276 acres and 10 Lots.

Date _____ Patrick M. Harris
License No. 266882

SITE DATA:
HARD SURFACE/BUILDING AREA = 44,572 SQ. FT. (45%)
OPEN SPACE/LANDSCAPE AREA = 54,574 SQ. FT. (55%)
TOTAL AREA = 99,146 SQ. FT. (100%)



VICINITY MAP



LOCATED IN SECTION 27
TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SALT LAKE CITY, SALT LAKE COUNTY, UTAH
MILLCREEK TOWNSHIP



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CEDAR CITY
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RICHFIELD
Phone: 435.590.0187

WWW.ENSIGNUTAH.COM

FOR:
SOAR REALTY GROUP
3287 EAST 3300 SOUTH #539
SALT LAKE CITY, UTAH 84109

CONTACT:
RUSS SORENSON
PHONE: 801-301-4104
FAX:

THE WOODS AT ROSECREST P.U.D.
PRELIMINARY SUBMITTAL
2467 EAST 3225 SOUTH
MILLCREEK TOWNSHIP, SALT LAKE COUNTY, UTAH

PREL. SUBMITTAL 11-4-13

NO.	DATE	REVISION	BY
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PRELIMINARY PLAT

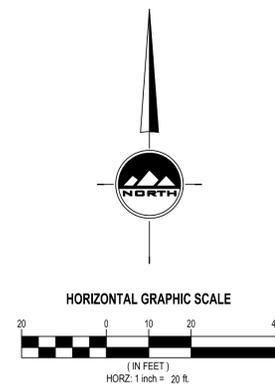
PROJECT NUMBER: 5725 PRINT DATE: 11/4/2013
DRAWN BY: B. Greenleaf CHECKED BY: P. HARRIS
PROJECT MANAGER: P. Harris

C-100



CALL BLUESTAKES
@ 1-800-662-4111 AT LEAST 48
HOURS PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
CENTERLINE ROAD MONUMENT AT
3300 SOUTH & 2300 EAST
ELEVATION = 4599.73'



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**THE WOODS AT ROSECREST P.U.D.
PRELIMINARY SUBMITTAL**
2467 EAST 3225 SOUTH
MILLCREEK TOWNSHIP, SALT LAKE COUNTY, UTAH

PREL. SUBMITTAL 11-4-13

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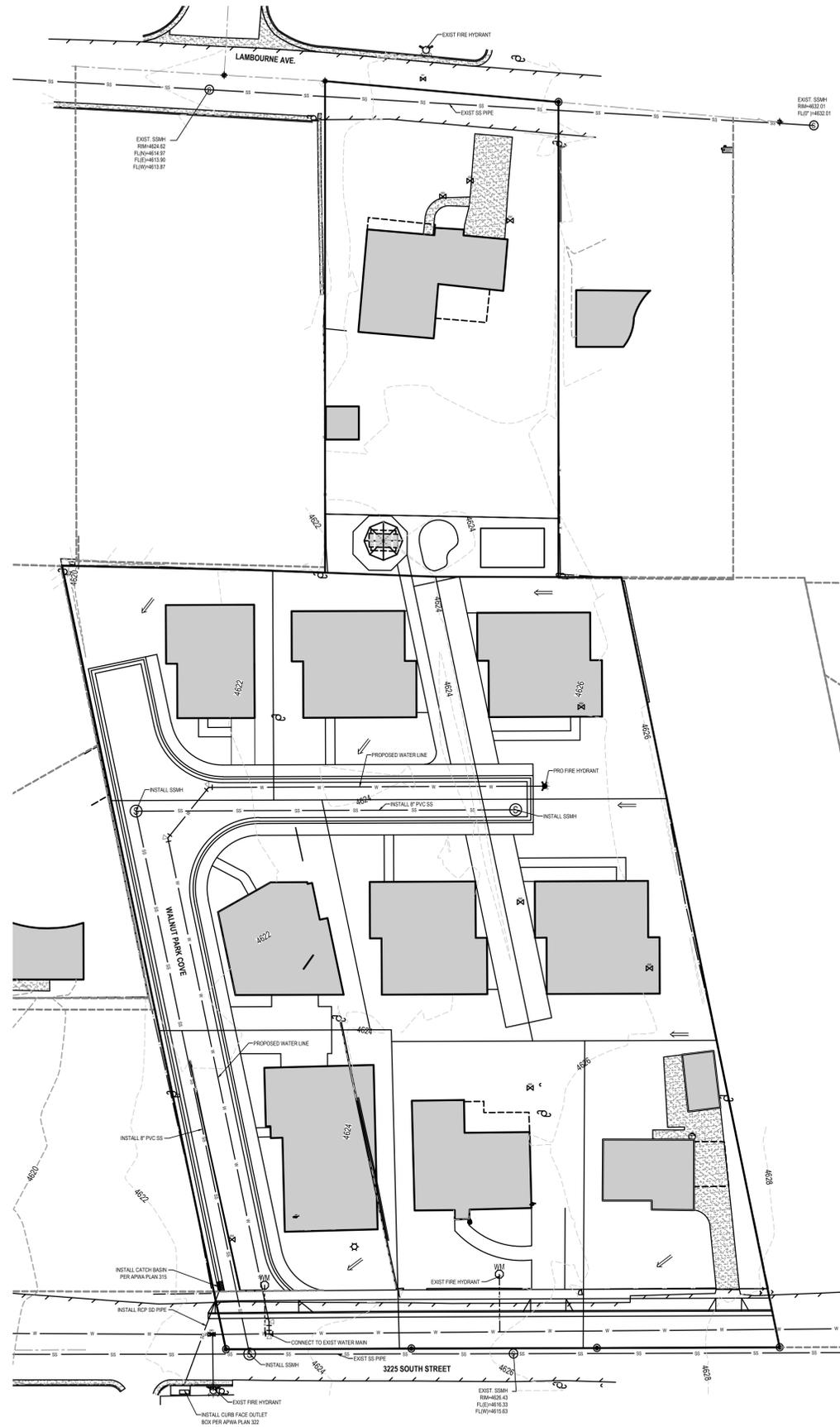
**PRELIMINARY
GRADING PLAN**

PROJECT NUMBER 5725 PRINT DATE 11/4/2013
DRAWN BY B. Greenleaf CHECKED BY P. HARRIS
PROJECT MANAGER P. Harris

C-200

CALL BLUESTAKES
@ 1-800-662-4111 AT LEAST 48
HOURS PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
CENTERLINE ROAD MONUMENT AT
3300 SOUTH & 2300 EAST
ELEVATION = 4599.73'



LEGEND

○	SET ENSIGN REBAR AND CAP	▨	EXIST BUILDING
○	EXIST WATER METER	▨	PRO BUILDING
○	PRO WATER METER	▨	PUBLIC DRAINAGE EASEMENT
○	EXIST WATER MANHOLE	▨	EXISTING 30" CURB AND GUTTER
○	PRO WATER MANHOLE	▨	PROPOSED 30" CURB AND GUTTER
○	EXIST WATER VALVE	---	EXIST FENCE
○	PRO WATER VALVE	---	PRO FENCE
○	EXIST FIRE HYDRANT	---	EXIST EDGE OF ASPHALT
○	PRO FIRE HYDRANT	---	PRO EDGE OF ASPHALT
○	EXIST SECONDARY WATER VALVE	---	EXIST SANITARY SEWER
○	PRO SECONDARY WATER VALVE	---	PRO SANITARY SEWER LINE
○	EXIST IRRIGATION VALVE	---	PRO SAN. SWR. SERVICE LINE
○	PRO IRRIGATION VALVE	---	EXIST LAND DRAIN LINE
○	EXIST SANITARY SEWER MANHOLE	---	PRO LAND DRAIN LINE
○	PRO SANITARY SEWER MANHOLE	---	EXIST WATER LINE
○	EXIST SIGN	---	PRO WATER LINE
○	PRO SIGN	---	PRO CULINARY WATER SERVICE LINE
○	EXIST UTILITY MANHOLE	---	EXIST SECONDARY WATER LINE
○	EXIST UTILITY POLE	---	PRO SECONDARY WATER LINE
○	EXIST GAS VALVE	---	PRO SEC. WATER SERVICE LINE
○	EXIST TREE	---	EXIST IRRIGATION LINE
○	EXIST SHRUB	---	PRO IRRIGATION LINE
○	DENSE VEGETATION PREVENTING ACCESS FOR ACCURATE SURVEY	---	PRO FLOW ARROW



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MILLCREEK TOWNSHIP, SALT LAKE COUNTY, UTAH**

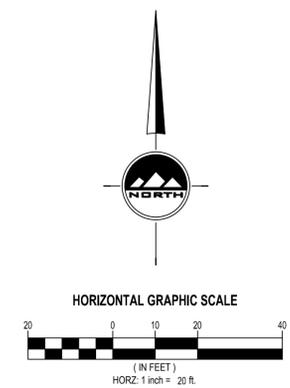
PREL. SUBMITTAL 11-4-13

NO.	DATE	REASON	BY
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UTILITY PLAN

PROJECT NUMBER 5725 PRINT DATE 11/4/2013
DRAWN BY B. Greenleaf CHECKED BY P. HARRIS
PROJECT MANAGER P. Harris

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LANDSCAPE NOTES:

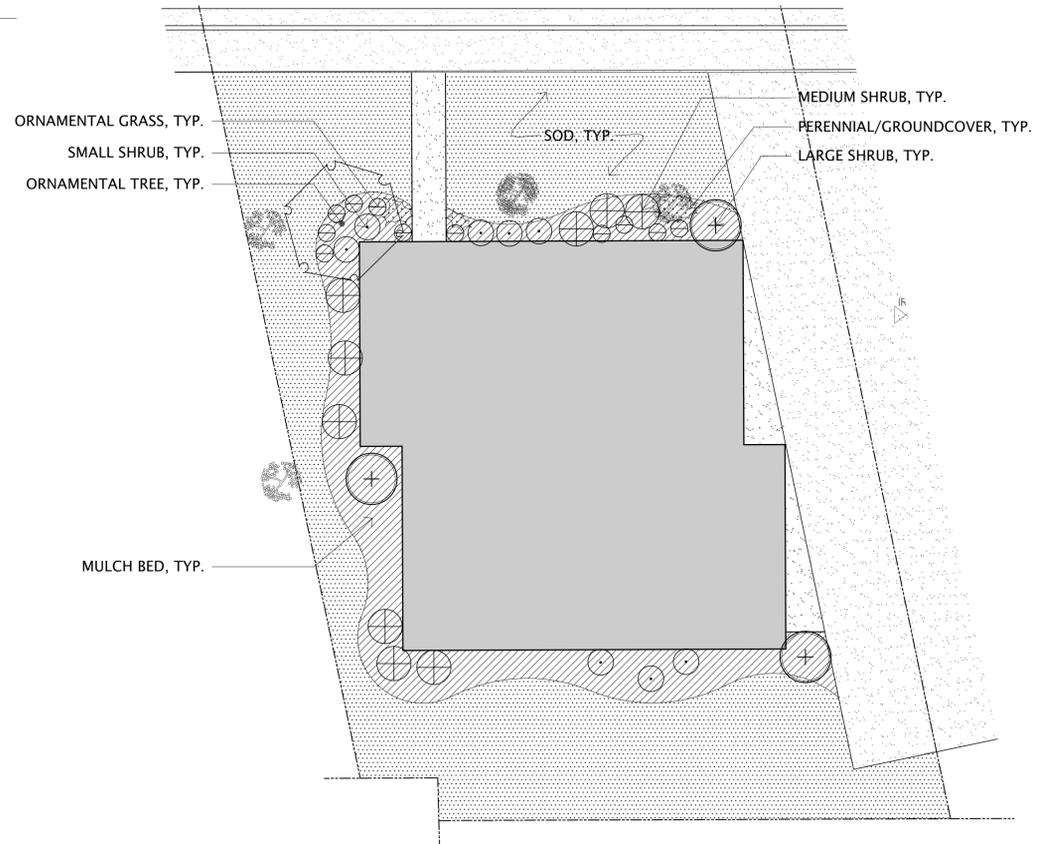
1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND SALT LAKE COUNTY STANDARDS, SPECIFICATIONS, AND DETAILS.
2. ALL PLANT MATERIAL SHALL GRADE A GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THIS WORK AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 UNLESS OTHERWISE NOTED. PROVIDE TREES OF NORMAL GROWTH AND UNIFORM HEIGHTS, ACCORDING TO SPECIES, WITH STRAIGHT TRUNKS AND WELL DEVELOPED LEADERS, LATERALS, AND ROOTS.
3. EXISTING UTILITIES, EASEMENTS, AND STRUCTURES SHOWN ON THE DRAWINGS ARE IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE, TYPE, AND STRUCTURES TO BE ENCOUNTERED ON THE PROJECT PRIOR TO ANY EXCAVATION AND CONSTRUCTION IN THE VICINITY OF THE EXISTING UTILITIES AND STRUCTURES.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL REQUIRED PERMITS, LICENSES, AND APPROVALS REQUIRED TO LEGALLY AND RESPONSIBLY COMPLETE THE WORK.
5. DAMAGE TO ANY EXISTING IMPROVEMENTS OR TO ANY PORTION OF THE PROJECT'S SURROUNDING AREA DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL CALL BLUE STAKES AT 1-800-662-4111 FOR UNDERGROUND UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
7. CONTRACTOR SHALL ROUGH GRADE TO WITHIN +/- A TENTH OF A FOOT FROM FINISH GRADE. ALL SOD AREAS SHALL BE GRADED 4" BELOW PROPOSED FINISH GRADE. ALL SHRUB AREAS SHALL BE GRADED 12" BELOW PROPOSED FINISH GRADE.
8. ALL COMPACTED AREAS DEVELOPED THROUGH CONSTRUCTION WITHIN PROPOSED LANDSCAPE AREAS SHALL BE SCARIFIED AND LOOSENED TO A DEPTH OF 12" PRIOR TO LANDSCAPE AND IRRIGATION WORK BEGINNING.
9. CONTRACTOR SHALL INSTALL A MIN. OF 4 INCHES OF PLANTING SOIL FOR ALL SOD AREAS AND 12 INCHES OF PLANTING SOIL FOR ALL SHRUB AND PERENNIAL BEDS.
10. CONTRACTOR SHALL INSTALL A MIN. OF 3 INCHES OF MULCH IN ALL PLANTING BEDS UNLESS OTHERWISE SHOWN ON PLANS.
11. NO PLANT SPECIES SUBSTITUTIONS WILL BE MADE WITHOUT APPROVAL OF OWNER.
12. ALL PLANT LAYOUT SHALL BE VERIFIED AND APPROVED IN FIELD BY OWNER PRIOR TO PLANTING. FAILURE TO RECEIVE APPROVAL MAY RESULT IN RE-WORK BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
13. ALL AREAS WITHIN AND AFFECTED BY THIS PROJECT SHALL HAVE POSITIVE DRAINAGE. POSITIVE DRAINAGE SHALL BE PROVIDED TO DIRECT STORMWATER AWAY FROM ALL STRUCTURES.
14. ALL CLARIFICATIONS OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO BEGINNING OF WORK.
15. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE TO EXISTING FEATURES AND FACILITIES SCHEDULED TO REMAIN AS PART OF THE FINISHED CONSTRUCTION. REPAIR, REPLACEMENT, AND/OR REMOVAL AS DETERMINED BY OWNER SHALL BE AT THE CONTRACTOR'S EXPENSE.

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	MIN. SIZE
TREES		
ACER x FREEMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	2" CAL., B&B
AMELANCHIER x GRANDIFLORA	AUTUMN BRILLIANCE SERVICEBERRY	6' CLUMP, MULTI STEM
GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	IMPERIAL LOCUST	2" CAL., B&B
JUNIPERUS VIRGINIANA 'BLUE ARROW'	BLUE ARROW JUNIPER	10 GAL.
PINUS EDULIS	PINION PINE	6' HT., B&B
PINUS NIGRA	AUSTRIAN PINE	8' HT., B&B
PRUNUS VIRGINIANA 'CANADA RED'	CANADA RED CHOKECHERRY	8' CLUMP, MULTISTEM
PYRUS CALLERYANA	CHANTICLEER PEAR	2" CAL., B&B
QUERCUS COCCINEA	SCARLET OAK	2" CAL., B&B
TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2" CAL., B&B
SHRUBS, PERENNIALS, GRASSES		
AGASTACHE RUPESTRIS	SUNSET HYSSOP	1 GAL.
ASTER FRIKARTII 'MONCH'	FRIKARTII MONCH ASTER	1 GAL.
BERBERIS THUNBERGII ATROPURPUREA	RED BARBERRY	5 GAL.
CALAMAGROSTIS A. 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.
CORNUS SERICEA 'BAILEY'	RED TWIG DOGWOOD	5 GAL.
CORNUS SERICEA 'ISANTI'	ISANTI DOGWOOD	5 GAL.
ECHINACEA PURPUREA 'MAGNUS'	PURPLE CONEFLOWER	1 GAL.
EUONYMUS ALATUS 'COMPACTA'	DWARF BURNING BUSH	5 GAL.
GAURA LINDHEIMERI	WHIRLING BUTTERFLIES	1 GAL.
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.
HEMEROCALIS SP.	DAYLILY	1 GAL.
PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	1 GAL.
PEROVSKIA ARTIPLICIFOLIA	RUSSIAN SAGE	1 GAL.
ROSA SP.	ROSE	5 GAL.
SPIREA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	5 GAL.
SYRINGA SP.	LILAC	5 GAL.
RUDBEKIA FULGIDA	BLACK EYED SUSAN	1 GAL.
SALVIA SYLVESTRIS X 'MAINACHT'	MAY NIGHT SALVIA	1 GAL.

LEGEND

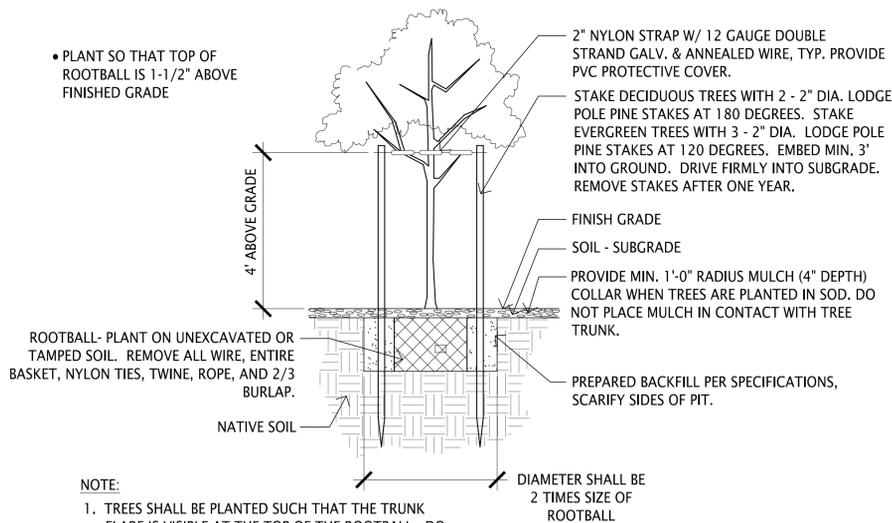
SYMBOL	ITEM
	Existing Tree to Remain
	Existing Tree to be Removed
	Deciduous Tree
	Evergreen Tree
	Upright Evergreen Tree
	Ornamental Tree
	Shrub
	Ornamental Grass
	Perennial
	Sod
	Shrub Bed
	6' Pre-Cast Wall



1 LOT TYPICAL LANDSCAPE PLAN
SCALE: 1" = 10'-0"

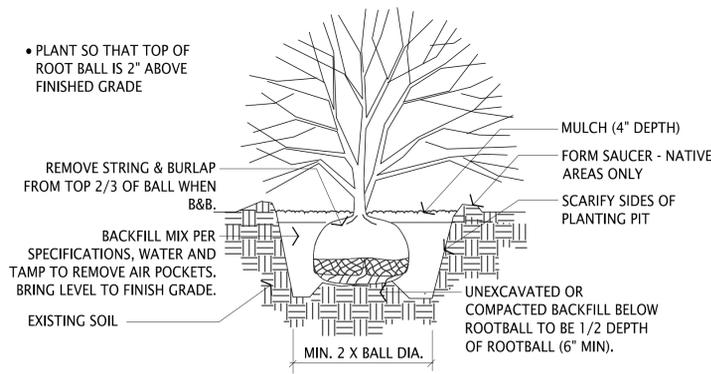


blū line designs
45 w sego lily drive
suite 500
sandy, ut 84070
p 801.913.7994



- NOTE:**
1. TREES SHALL BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOTBALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

2 TREE PLANTING
SCALE: NTS



3 SHRUB/ PERENNIAL/ ORNAMENTAL GRASS PLANTING
SCALE: NTS



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FOR:
SOAR REALTY GROUP
3207 EAST 2300 SOUTH #639
SALT LAKE CITY, UTAH 84109

CONTACT:
RUSS SORENSON
PHONE: 801-301-4104
FAX:

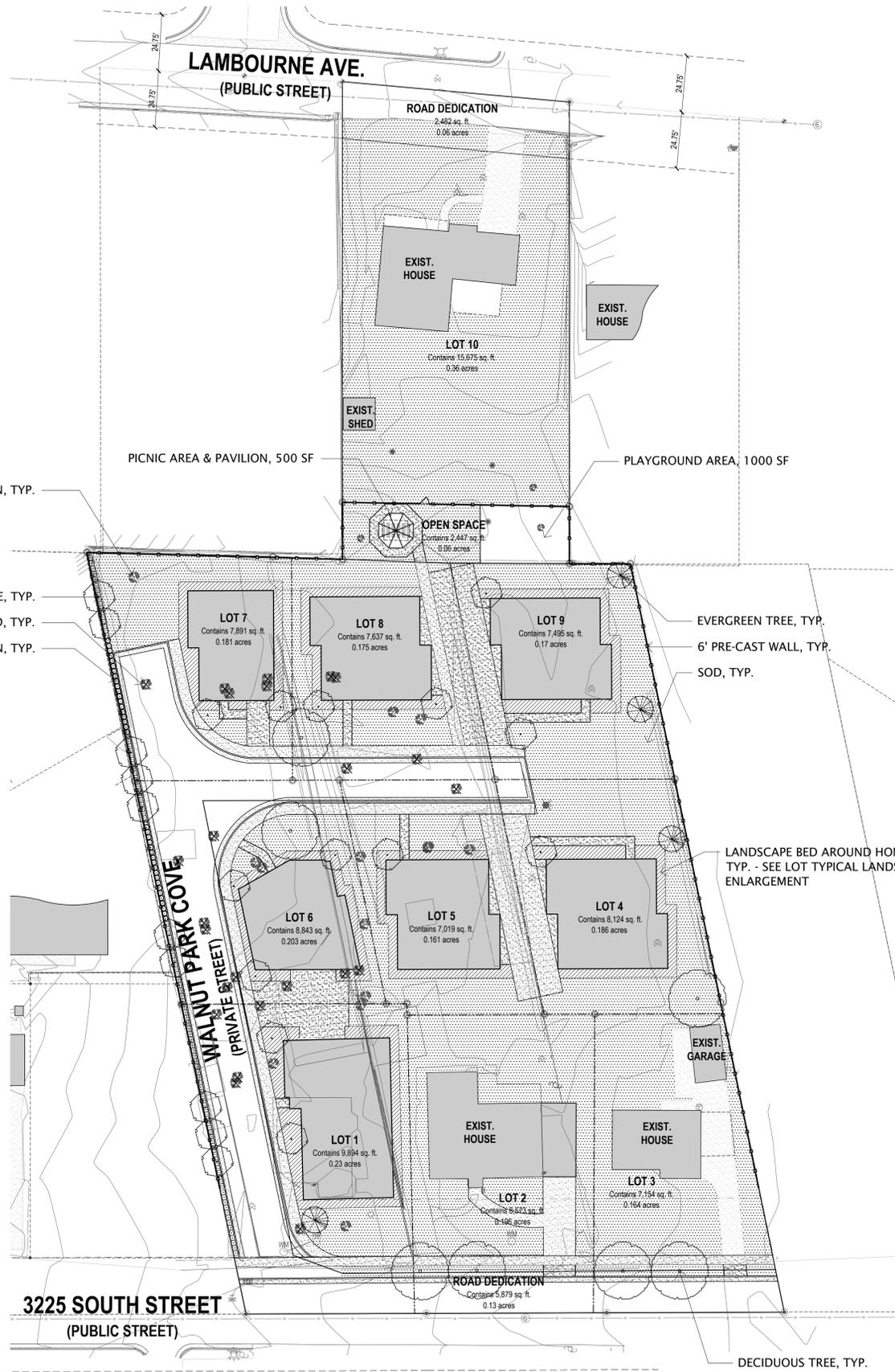
THE WOODS AT ROSECREST P.U.D.
PRELIMINARY PLAN
2455 & 2467 & 2477 EAST, 3225 SOUTH
SALT LAKE CITY, UTAH

LOT TYPICAL, NOTES & DETAILS

PROJECT NUMBER: 5725
PRINT DATE: 11-01-13
DRAWN BY: RBD
CHECKED BY: CAS
PROJECT MANAGER: P. HERTS

L101

CALL BLUESTAKES
@ 1-800-662-4111 AT
LEAST 48 HOURS PRIOR
TO THE COMMENCEMENT
OF ANY CONSTRUCTION.



LEGEND

SYMBOL	ITEM
	Existing Tree to Remain
	Existing Tree to be Removed
	Deciduous Tree
	Evergreen Tree
	Upright Evergreen Tree
	Ornamental Tree
	Shrub
	Ornamental Grass
	Perennial
	Sod
	Shrub Bed
	6' Pre-Cast Wall

LANDSCAPE TABULATION

LANDSCAPE AREA WITHIN PROPERTY =	48,271 SF (49%)
IMPERVIOUS AREA =	29,209 SF (29%)
BUILDING AREA =	21,666 SF (22%)
TOTAL AREA =	99,146 SF

LANDSCAPE DESIGN INTENT

The prevailing landscape design intent of this project is to preserve as many existing trees on this site as possible. There are a number mature trees within this project that add character, sense of place and value to this development. The intent of and purpose of the proposed landscaping improvements is to enhance the existing vegetation and to provide added aesthetic quality to this development. Some areas of the development have been designed to be open and usable for activities such as kicking or passing a ball. Other areas are proposed to be heavily landscaped to act as a visual buffer from unwanted views (garages to the west). Areas around the common play areas are designed to provide shade and visual interest. Foundation plantings are intended to soften any visual exposure of foundation walls as well as provide color and interest to the community.



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SCALE: 1" = 30'



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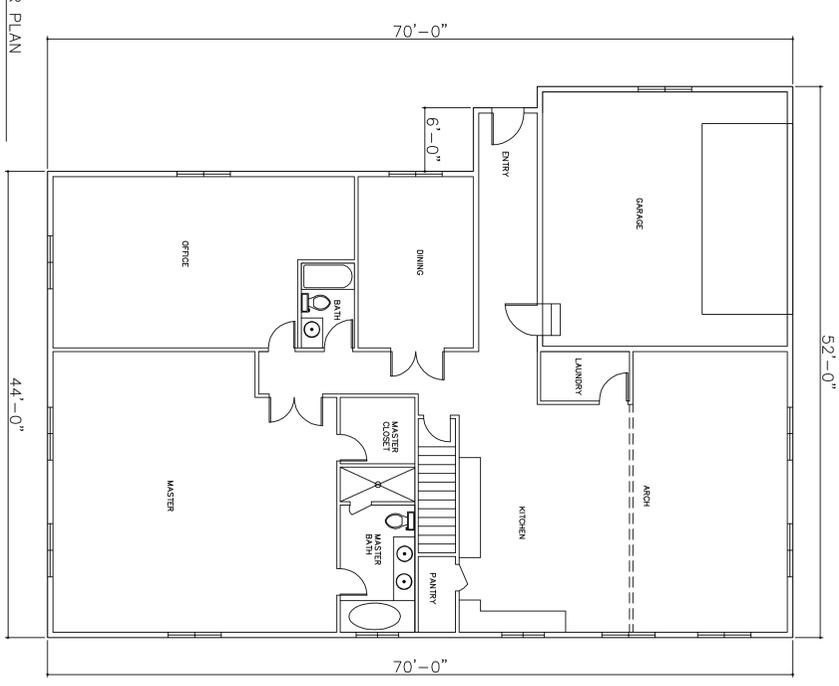
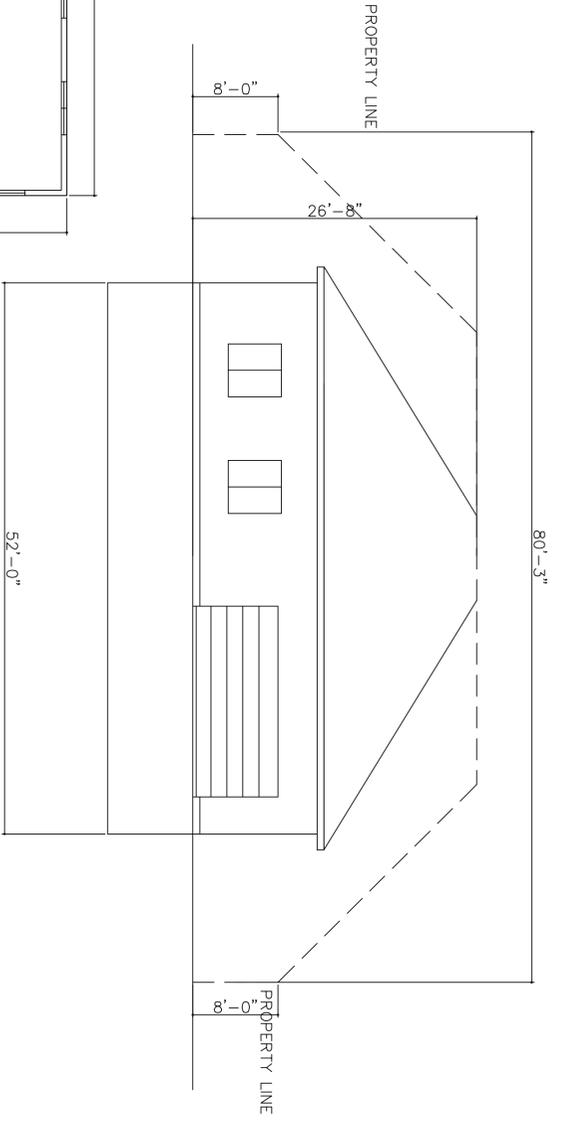
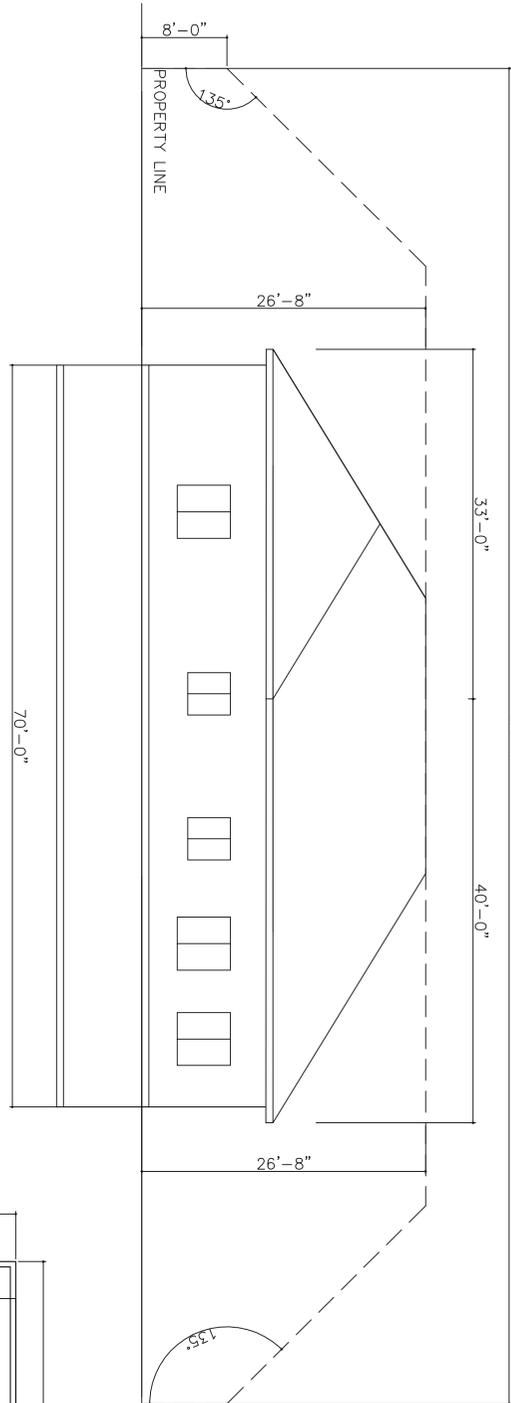
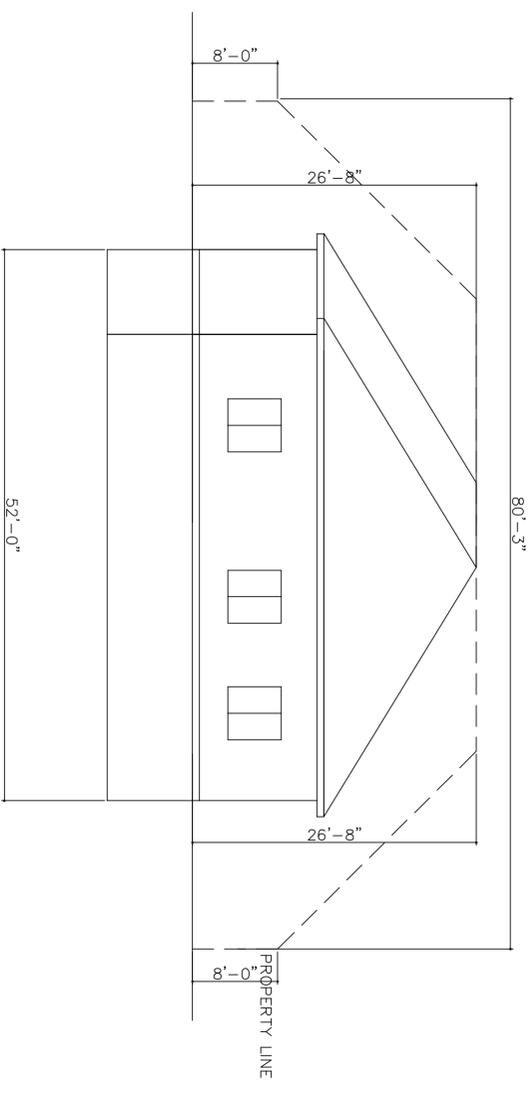
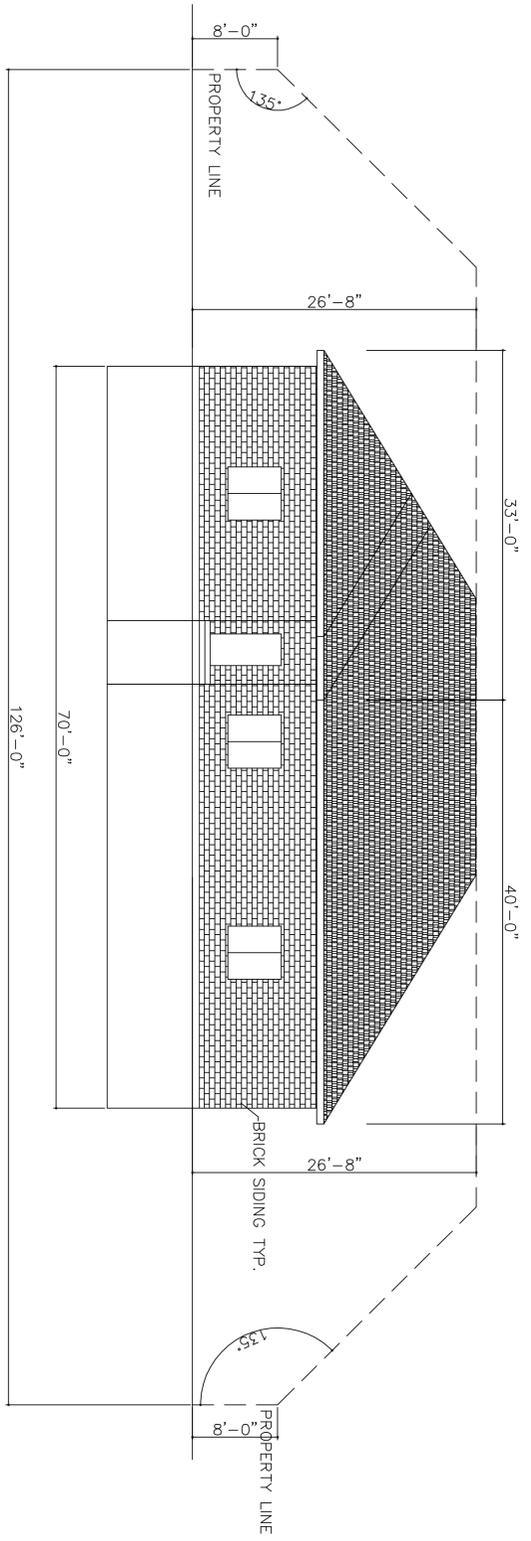
CONTACT:
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FAX:

THE WOODS AT ROSECREST P.U.D.
PRELIMINARY PLAN
2455 & 2467 & 2477 EAST, 3225 SOUTH
SALT LAKE CITY, UTAH

**PRELIMINARY
LANDSCAPE PLAN**

PROJECT NUMBER
5725
PRINT DATE
11-01-13
DRAWN BY
RBD
CHECKED BY
CAS
PROJECT MANAGER
P. HARTIS

L100



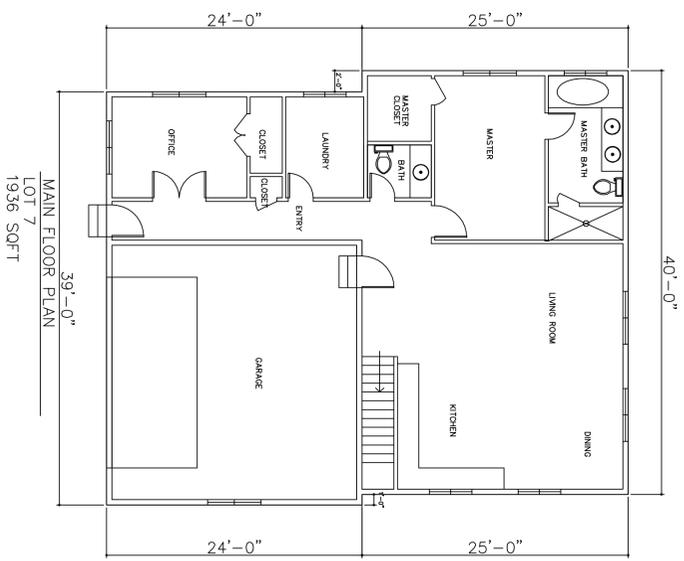
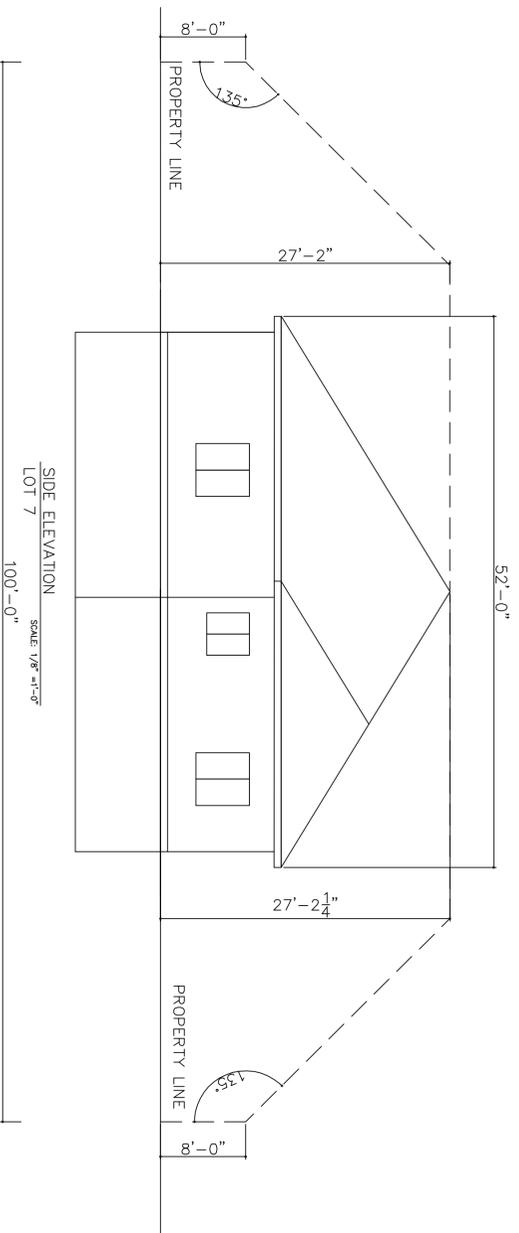
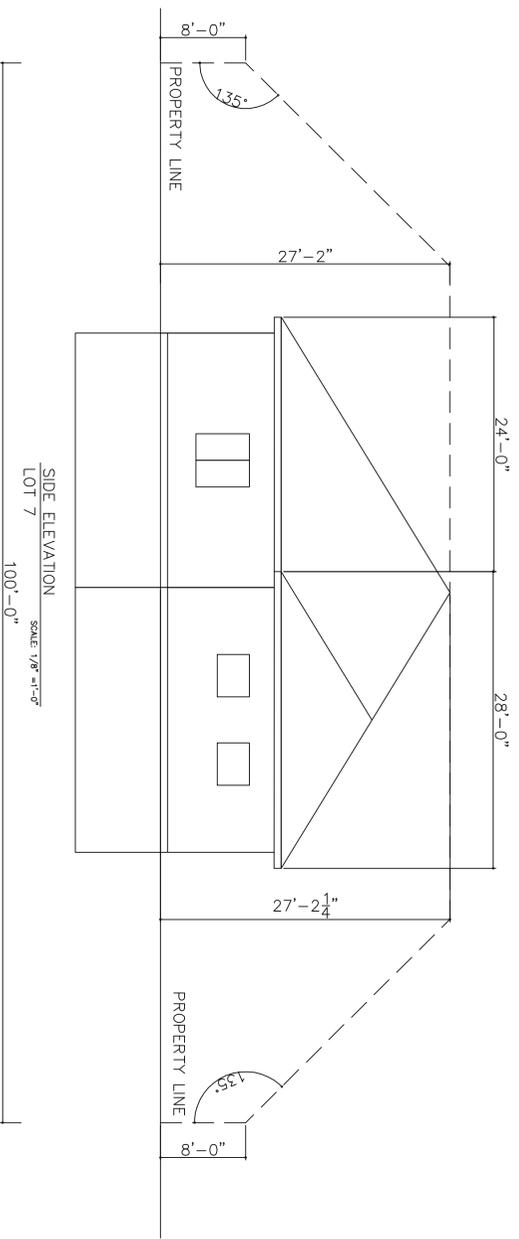
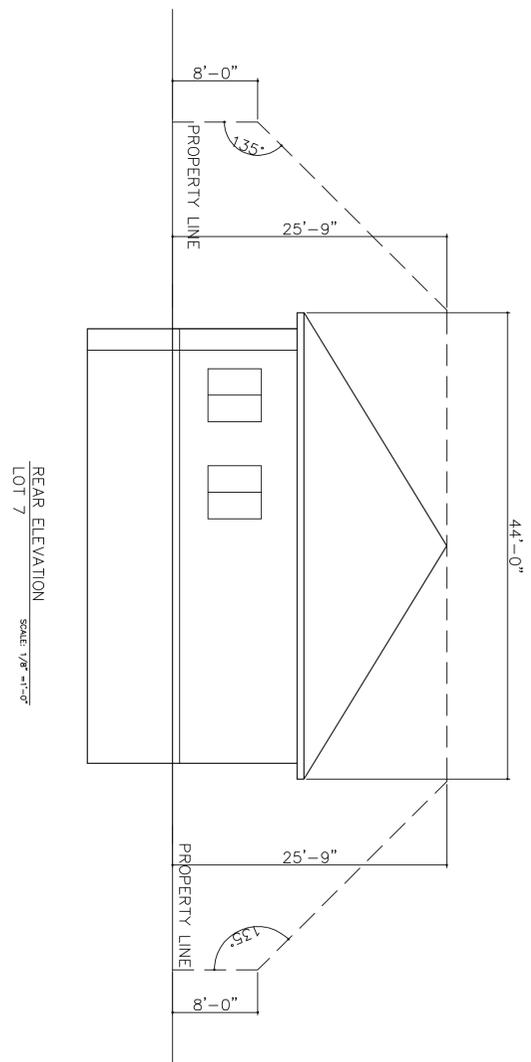
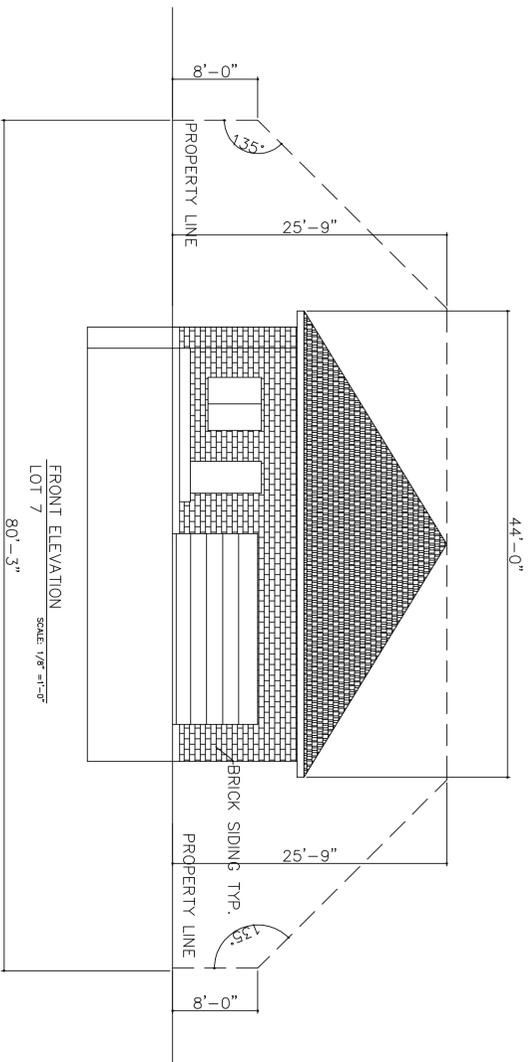
REAR ELEVATION
LOT 1
SCALE: 1/8" = 1'-0"

SIDE ELEVATION
LOT 1
SCALE: 1/8" = 1'-0"

SCALE: 1/8"
DATE: 11/4/13
2455 EAST 3225 SOUTH
SALT LAKE CITY, UTAH 84109

DRAWING
NUMBER
A1.3

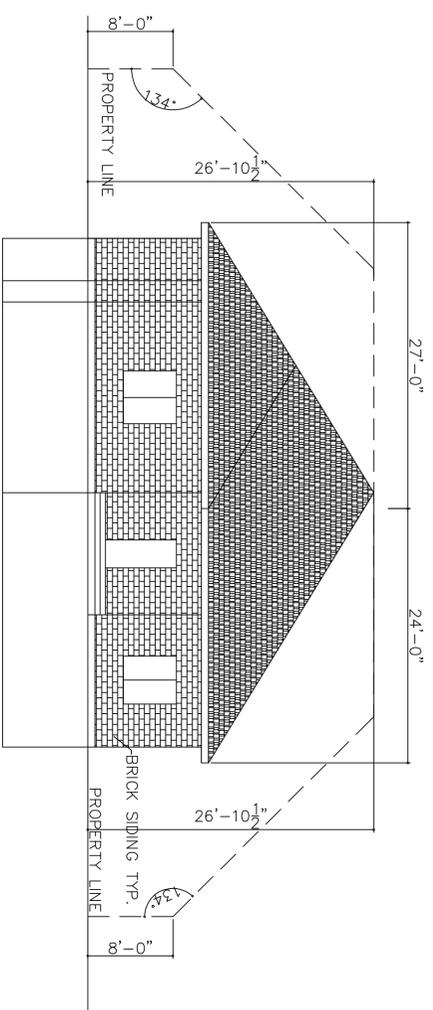
MICHAEL SOTOYO DESIGN & ENGINEERING
(801) 649-6357



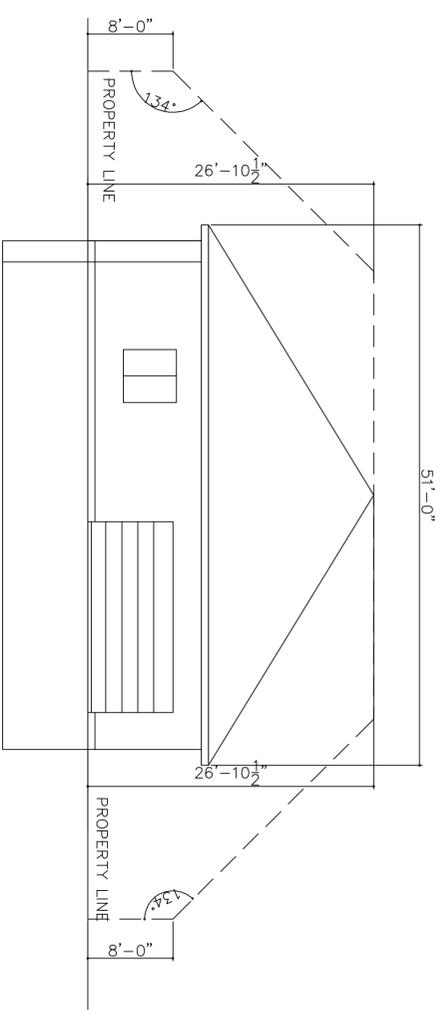
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2455 EAST 3225 SOUTH
SALT LAKE CITY, UTAH 84109

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(801) 549-6357

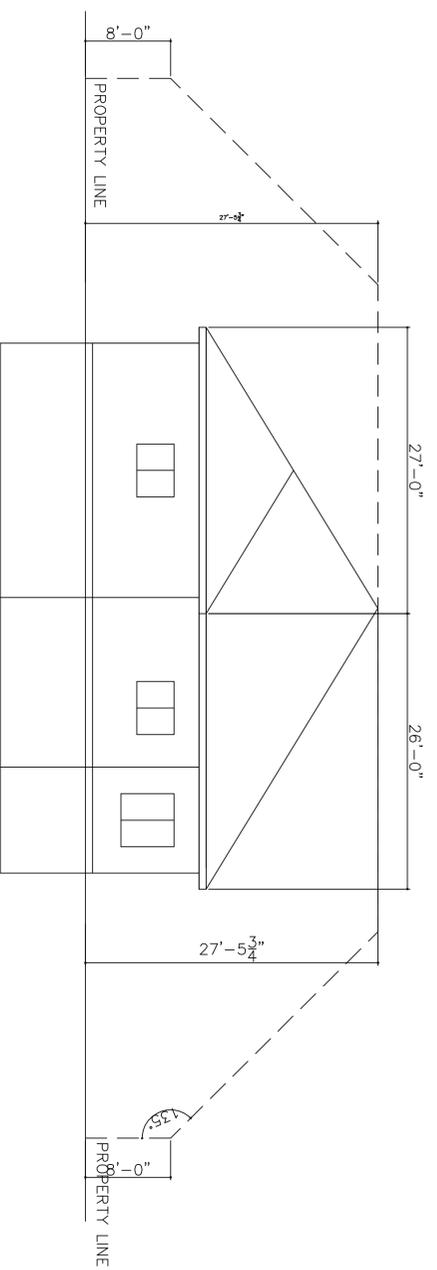
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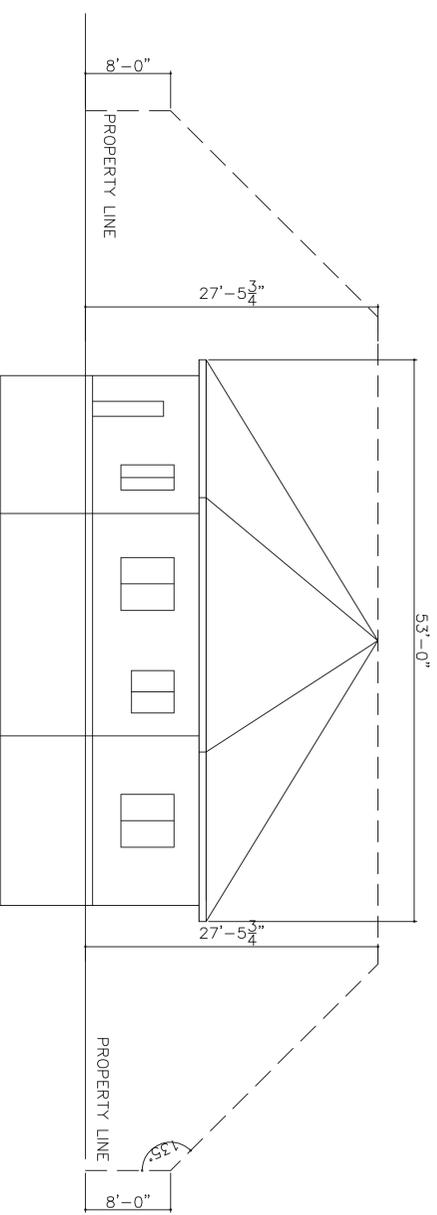
FRONT ELEVATION
SCALE: 1/8" = 1'-0"
LOT 6



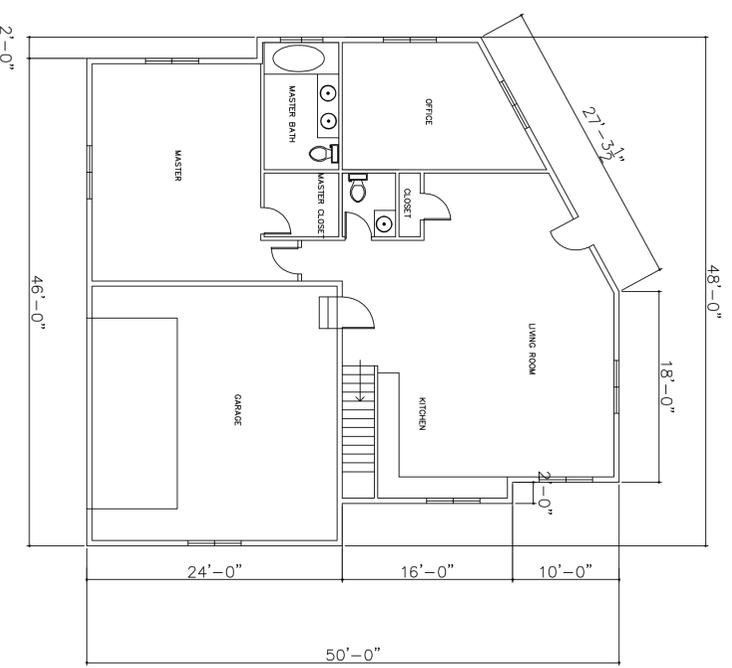
REAR ELEVATION
SCALE: 1/8" = 1'-0"
LOT 6



SIDE ELEVATION
SCALE: 1/8" = 1'-0"
LOT 6



SIDE ELEVATION
SCALE: 1/8" = 1'-0"
LOT 6

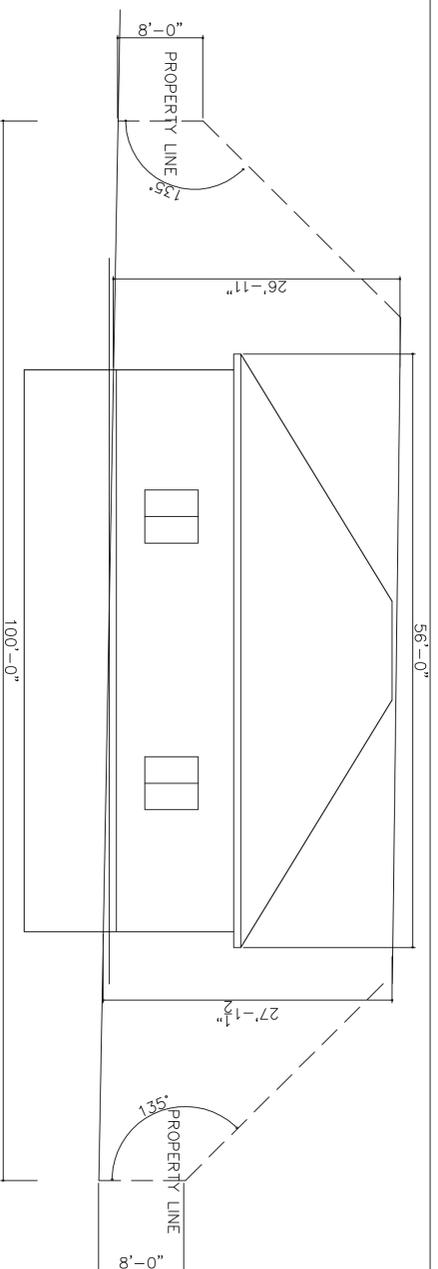


MAIN FLOOR PLAN
LOT 6
2088 SQFT

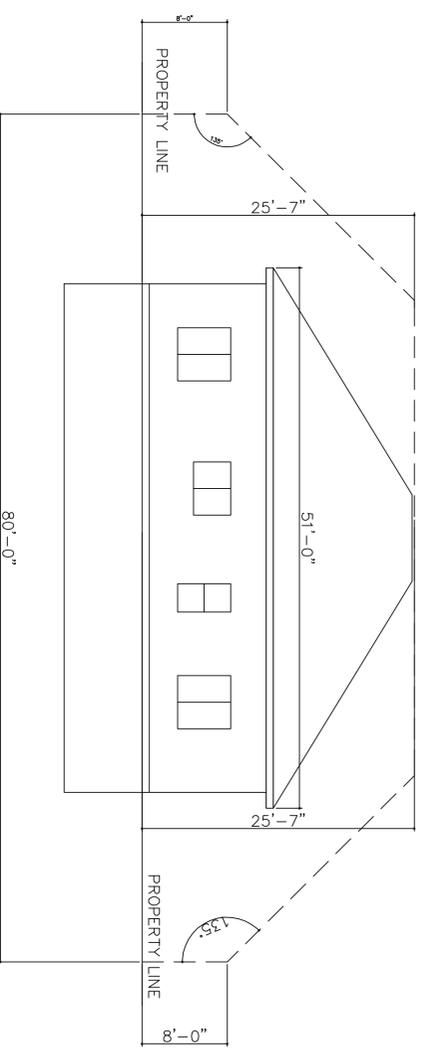
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2455 EAST 3225 SOUTH
SALT LAKE CITY, UTAH 84109

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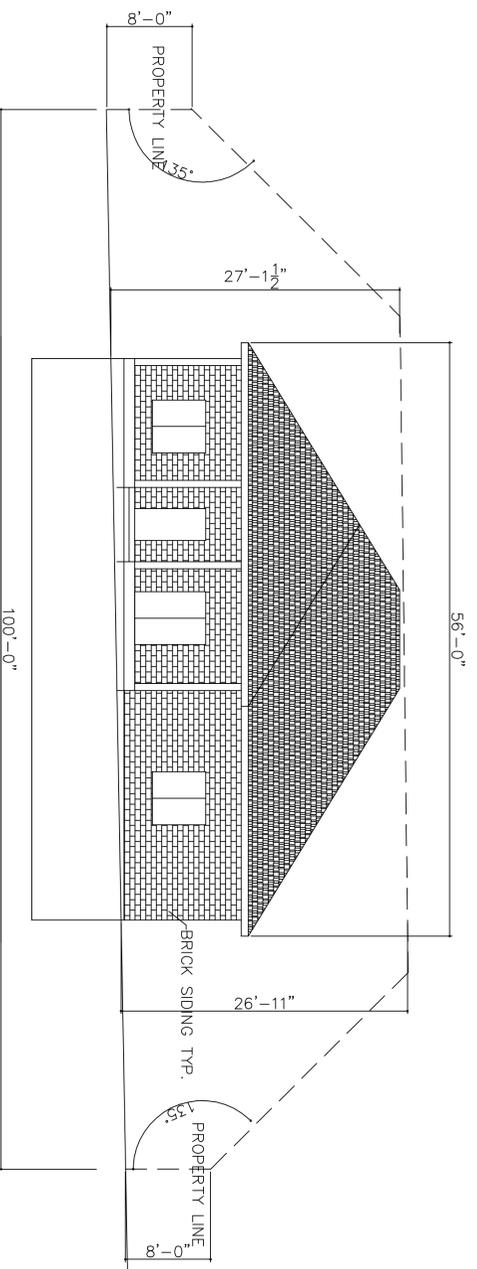
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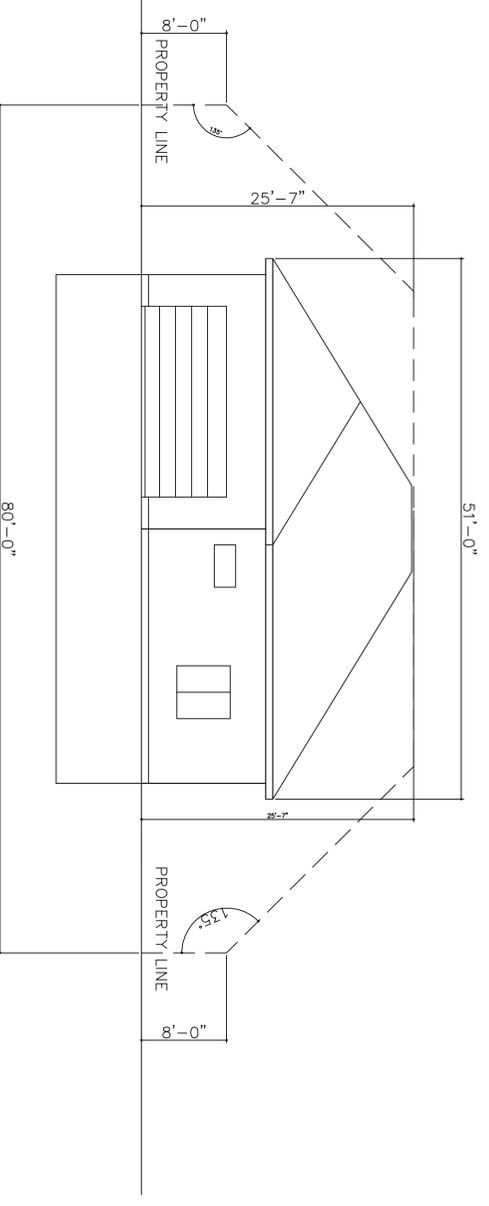
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SCALE: 1/8" = 1'-0"
LOT 4, 5, 8, 9



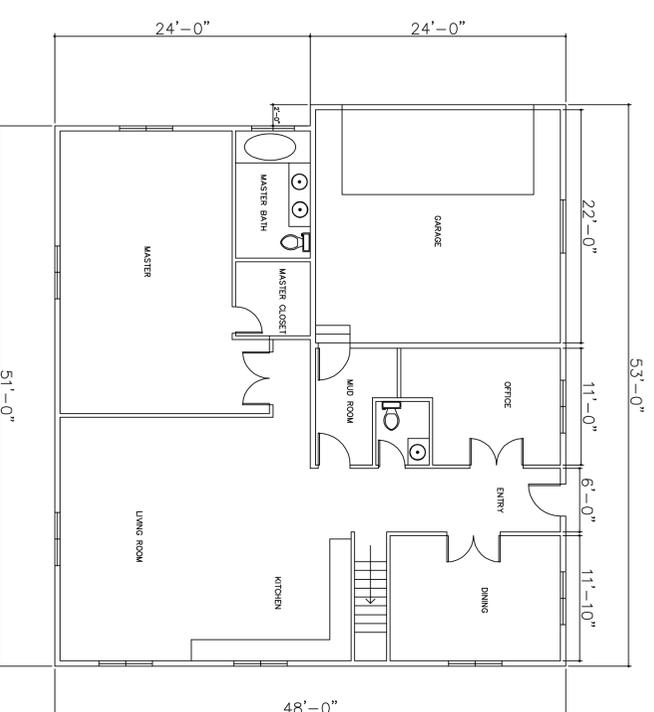
SIDE ELEVATION
SCALE: 1/8" = 1'-0"
LOT 4, 5, 8, 9



FRONT ELEVATION
SCALE: 1/8" = 1'-0"
LOT 4, 5, 8, 9



SIDE ELEVATION
SCALE: 1/8" = 1'-0"
LOT 4, 5, 8, 9



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"
LOT 4, 5, 8, 9
2496 SQFT

SCALE: 1/8"
DATE: 11/4/13
2455 EAST 3225 SOUTH
SALT LAKE CITY, UTAH 84109

MICHAEL SOTUYO DESIGN & ENGINEERING
(801) 549-6357

DRAWING
NUMBER
A1.0



**MEETING MINUTE SUMMARY
MILLCREEK TOWNSHIP PLANNING COMMISSION MEETING**

Wednesday, November 13, 2013 4:00 p.m.

Approximate meeting length: 2 hours 7 minutes
Number of public in attendance: 5
Summary Prepared by: Wendy Gurr
Meeting Conducted by: Commissioner Riddle (Vice Chair)

***NOTE:** Staff Reports referenced in this document can be found on the State and County websites, or from Salt Lake County Planning & Development Services.

ATTENDANCE

Commissioners and Staff:

Commissioners	Public Mtg	Business Mtg	Absent	Planning Staff / DA	Public Mtg	Business Mtg
John Janson – Chair			x	Lyle Gibson	x	x
Leslie Van Frank	x	x		Wendy Gurr	x	x
Leslie Riddle - Vice Chair	x	x		Max Johnson	x	x
Tom Stephens	x	x		Chris Preston (DA)	x	x
Geralyn Parker-Perkins			x	Curtis Woodward	x	x
Ann Ober	4:18 pm	x				

OTHER BUSINESS ITEMS

Began at – 4:09 p.m.

WORK SESSION

Informational Items –

- 2014 Millcreek Sidewalk Projects** – update on plans and involvement of the engineering division regarding sidewalk projects in Millcreek. **Presenter:** Staff

Commissioners and Staff had a brief discussion. Schedule a special work session, sit down for a couple hours and finish up the questionnaire.

Commissioner Ober arrived at 4:18 p.m.

BUSINESS MEETING

Meeting began at – 4:18 p.m.

- Approval of Minutes from the September 11, 2013 meeting.

Motion: to approve minutes from the September 11, 2013 meeting with the amendments made by Commissioner Van Frank.

Motion by: Commissioner Van Frank

2nd by: Commissioner Ober
Vote: unanimous in favor (of commissioners present)

2) Approval of Minutes from the October 16, 2013 meeting.

Motion: to approve minutes from the October 16, 2013 meeting with the amendments made by Commissioner Van Frank.

Motion by: Commissioner Van Frank

2nd by: Commissioner Ober

Vote: unanimous in favor (of commissioners present)

The Public Hearings will begin immediately following the Business Meeting.

PUBLIC HEARINGS

Hearings began at – 4:20 p.m.

Ordinance Amendment (Continued from 10/16/2013) -

28640 – Salt Lake County is considering amendments to Salt Lake County Ordinances 19.04.235, 19.14.020, and 19.14.030 to limit the scope of “animals and fowl for family food production” and to make that land use a conditional use rather than a permitted use in the R-1-21 and R-1-43 zones in order to allow planning commission review and approval with the imposition of conditions of approval as necessary to mitigate the impacts of the introduction of farm animals into residential areas. **Community Council:** All. **Planner:** Curtis Woodward

Commissioners and Staff had a brief discussion.

PUBLIC PORTION OF MEETING OPENED

No one from the public was present to speak.

PUBLIC PORTION OF MEETING CLOSED

Motion: to recommend denial of application #28640 as currently proposed and recommend County Council not approve the ordinance as currently proposed. Direct the planning Staff to review other ordinances with the same subject throughout the Wasatch Front, with the rationale for number of animals that should be allowed in an urban environment. The current proposal is based on decades old statistics.

Motion by: Commissioner Stephens

2nd by: Commissioner Van Frank

Vote: unanimous to recommend denial of this application as proposed. (of commissioners present)

Conditional Use –

28663 – Rick Hellstrom is requesting conditional use approval to build an end facility for Questar Gas. **Location:** 3381 South 1300 East. **Zone:** R-1-8. **Community Council:** Millcreek. **Planner:** Lyle Gibson

Commissioners and Staff had a brief discussion.

PUBLIC PORTION OF MEETING OPENED

Speaker # 1: Applicant (Lead property agent – Questar Gas)

Name: Rick Hellstrom

Address: 1140 West 200 South

Comments: They do have an existing pipeline that is scheduled to be replaced in January. Direct assessment is due every 7 years, with the first assessment due in 10 years. Smart pig is inserted into the pipeline and travels through the pipeline collecting data. It can tell if there are any problems with the pipeline or coding on the outside of pipe. Same drive access as existing. Would not be able to build a structure over the pipeline. Would like to have a gravel lot to get in there for inspections. The access is off the canal property. Would like to minimize the landscape along the outside. Has concerns with wrought iron and would like leeway with staff for other options, rather than chain link.

Commissioners, Staff and Applicant had a brief discussion.

PUBLIC PORTION OF MEETING CLOSED

Commissioners and Staff had a brief discussion.

Motion: to approve application #28663 subject to the following conditions and changes to fencing. Wrought iron fencing to the West side of the property and chain link fencing to the remainder of the parameter. Weed abatement 3 times a year, and landscaping will be adequate to visibly buffer the parameter.

Motion by: Commissioner Stephens

2nd by: Commissioner Van Frank

Vote: unanimous in favor (of commissioners present)

Rezone -

28637 – Rick Whiting is requesting approval of a Zone Change from the R-2-8 (Residential) zone to the R-M (Residential Multi-Family) zone in order to allow for additional uses on the subject property.

Location: 3945 South 1300 East. **Community Council:** Millcreek. **Planner:** Lyle Gibson

PUBLIC PORTION OF MEETING OPENED

Speaker # 1: Applicant representing the owner

Name: Rick Whiting

Address: 6633 Greenfield Way

Comments: Read from an article, regarding medical services. Factors will increase the demand for medical office buildings. Anticipates there will be a need for medical office buildings. The Single Family homes will diminish and medical offices would be more desirable along 1300 East.

Commissioners and Staff had a brief discussion.

Speaker # 2: Citizen

Name: John Leslie

Address: 3955 South 1300 East

Comments: Has lived there since 1997. He has always thought these properties would make an excellent medical facility. There would not be any interference with the neighbors, he believes it would be okay considering what is there now.

Speaker # 3: Applicant

Name: Rick Whiting

Address: 6633 Greenfield Way

Comments: With the size of property, they would self-limit with parking and have no intention of building up.

PUBLIC PORTION OF MEETING CLOSED

Motion: to Continue Application #28637 to the December 11, 2013 meeting to give the Community Council an opportunity to provide feedback.

Motion by: Commissioner Van Frank

2nd by: Commissioner Stephens

Vote: unanimous in favor (of commissioners present)

3) Other Business Items (as needed)

MEETING ADJOURNED

Time Adjourned – 6:16 p.m.

DRAFT