

March 22, 2022

Heber City Corporation  
Attn: Jamie Baron  
75 North Main  
Heber City, Utah 84032



**Landmark Design**  
LANDSCAPE ARCHITECTURE & PLANNING

Artspace Solar Gardens  
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Salt Lake City, Utah 84101  
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## PLANNING COMMISSION STAFF REPORT

### **American Eagle Batch Plant - Commercial Final**

Dear Jamie:

Landmark Design has reviewed the application for **American Eagle Batch Plant - Commercial Final**. The project plant is located at 2211 Airport road to the rear of the Heber Valley Animal Shelter and adjacent to an industrial storage yard to the west. The proposal consists of an existing building for Ace Disposal, that will be retained, and a new 40' tall concrete batch plant building for the American Eagle Ready Mix company proposed for the far south end of the site, which includes a covered conveyor system.

The project is located in the I-2 (Industrial) zone, with access to the 5.01-acre site provided by a road/easement through the adjacent property to the west. Development conditions, including road, water and other utility/infrastructure requirements, were addressed in the E.S.A.D Annexation Agreement as approved in 2017 and acknowledged in the concept application.

The new batch plant building occupies a 90' x 88' / 7,920 s.f. footprint), encompassing a shop, batch plant and office operations, with outdoor batching and storage of cement materials accommodated on the site. The proposal also retains the existing ACE Disposal building, scale and adjacent office building, and removes a storage building immediately north of these facilities.

The project includes four paved parking spaces, and approximately 12 unpaved parking spaces. While the code requires parking to be paved, the paved/unpaved configuration was approved at the concept level in deference to the use and setting. Several unpaved parking /vehicle storage spaces are also indicated.

The concept application was approved by the planning commission on June 22, 2021. The new batch plant building is different from the one approved at that stage, and is 40' tall, which exceeds the permitted 35' height limit in the I-2 zone. A building height up to 60' is may be approved as a conditional use. According to code requirements, the Planning Commission shall

consider at a minimum, but shall not be limited to the following mitigating options and building restrictions as requirements for such conditional use permits:

- A. Airport land zone height restrictions.
- B. Proximity to residential zones.
- C. Access to solar, air, and light for nearby properties.
- D. Building design (roof height step downs, eaves).
- E. Roof design.
- F. Aesthetics.
- G. Compatibility with adjoining properties.

The application was reviewed by the DRM on February 16, 2022, at which time it was determined that the project meets the general requirements for Final Approval, with the submission of the following:

- Architectural plans **(provided/meet requirements)**
- Lighting plan with details on fixtures **(provided/meet requirements)**
- Bermed landscape treatment **(provided - drainage and topographic conditions preclude a full berm treatment)**
- Avigation easement **(not provided)**
- Indicate location of dumpster and enclosure plans **(not provided)**

**Staff recommends that American Eagle Batch Plant - Commercial Final be approved by the Planning Commission with the following findings and conditions:**

**Findings**

1. The application is consistent with the Municipal Zoning Code.
2. The application is consistent with the General Plan.

**Conditions:**

1. Conditional Use approval for a 40' tall building (35' is maximum height permitted in I-2 Zone; 60' may be permitted as a conditional use)
2. Provide copies of an FAA Avigation Agreement
3. Revise drawings to include location of dumpster and enclosure plans for staff approval
4. All requirements of the City Engineer and Fire Officials shall be met see Engineering Letter)
5. All other Code Requirements shall be met.
6. Any other conditions or changes as articulated by the Planning Commission.

## POTENTIAL MOTIONS

1. Approve
  2. Continue
  3. Deny
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### Staff Recommended Option – Approval with Conditions

Please feel free to call our office with any questions or concerns regarding this project.

Sincerely



Mark Vlastic, PLA, ASLA, AICP

Principal and President  
Landmark Design  
850 South 400 West #104  
Salt Lake City, Utah 84101

cc: file  
Tony Kohler, Heber Planning Department

**POTENTIAL MOTIONS**

**Staff Recommended Option – Approval**

I move to **approve American Eagle Batch Plant - Commercial Final** with the Findings and Conditions in the conclusions of the Staff Report. as follows:

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**Alternative 2 – Continuance**

I move to **continue American Eagle Batch Plant - Commercial Final** to another meeting on [DATE], with direction to the applicant and/or Staff on information and / or changes needed to render a decision, as follows:

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**Alternative 3 – Denial**

I move to **deny American Eagle Batch Plant - Commercial Final** with the following findings:

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**ACCOUNTABILITY**

**Department:**  
**Staff Member:**

Planning Department  
Mark Vlasic (Jamie Baron)

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**EXHIBITS**

1. Planning Review Checklist
2. Drawings and Attachments

# Exhibit 1

## Planning Review Checklist

# Planning Review Checklist

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**Project Name:** American Eagle Ready Mix Concrete Batch Plant – Commercial Final

**Project Type:** and Conditional Use

**DRM Date:** February 16, 2022

**Project Address:** 2211 South Airport Road

**Property Owner / Name:** American Eagle Ready Mix Utah LLC / Doug Clements

**Company Name / Agent:** Berg Engineering / Paul Berg

**Project Details**

**Project Description:** Construction a concrete batch plant for the American Eagle Ready Mix company. Plant will service about 30 trucks a day.

**Acres:** 5.01

**Number of Lots** 1

**Current Zone:** I-1 (I-1 Industrial Zone)

**Date Submitted:** January 20, 2022

**Date Reviewed:** 02/16/2022

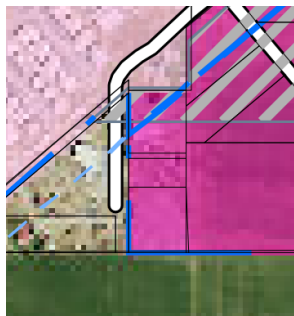
**Planning Commission Date:** 03/22/2022

**Location:** 2211 South Airport Road

**Parcel(s):** 1 parcel – 4.94 acres – Wasatch County (21-3062)



**Zone:** I-2 Industrial Zone / AP Overlay Zone 2 (NW Corner) and 10 Sex Oriented Business Overlay North +/- 1 acre



**General Plan Designation:** Land Use – Industrial

<b>Current Use:</b>	DCD Transfer and Recycle Center / Dunn Recycling / Diamond K Waste Inc.
<b>Adjacent Uses:</b>	North – Heber Valley Animal Shelter – City East – Industrial Yard - City West – Industrial Yard with residence – County ? South – Agriculture – County ?
<b>Land Use Authority:</b>	Planning Commission
<b>Action Type:</b>	Administrative
<b>Planner:</b>	Mark Vlasic, Landmark Design (Jamie Baron, Planner)

## General Review

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- Only Civil and Landscape drawings are in Civic Review. Building concept was provided in an earlier review, but this design has been modified, keeping the existing building is being modified rather than the
- No Lighting or Photo metric information provided - outdoor lighting shall be shielded to direct light and glare only onto the premises.
- No architectural plan or elevation drawings to verify materials, height, natural colors.
  - Height And Size Requirements: All buildings in the I-2 Industrial Zone shall be limited in height to thirty-five (35) feet (18.45.050). **Height of building may need Conditional Use.**
- Landscape - Total site 4.94 Acres (215,186 SF)
  - Landscape area per plan 54,715 SF
  - Cobble and gravel – non-landscape per plan 139,205 SF
  - 20’ set back from public street right-of-way – appears adequate, no dimensions
  - 10’ wide landscape berm along right-of-way frontages – it is a drainage swale not a berm.
  - I-2 – 1 tree / 50’ of frontage East PL is +/-740’ = 15 trees required along east.
    - 11 new trees and 10 existing trees per plan
  - 20% of landscape areas shall be planter beds, containing of rock or bark mulch, trees, shrubs, and ornamental grasses. NO shrubs or grasses have been specified.
  - 40% of all landscape area shall be covered with planted vegetation. Many large expanses of stone mulch NOT meeting the requirement.
- No irrigation plan
- All storage and warehouse developments shall be fenced in a manner which will provide adequate security and a deterrent from public access – **OK**
- Condition: **need to apply for an avigation agreement?**

## ZONE I-2

PROPOSED USES: Concrete Batch Plants are not specifically permitted use nor are they not permitted. See Permitted Primary Uses F.

Building is a modification of an existing building and has an elevated tower to 40' with additional bulk storage silos and a covered conveyor system. Bulk materials of sand and gravel are in the yard area with truck parking. The site will be fenced.

Setback Requirements: In the I-2 zone, all buildings shall be set back at least twenty (20) feet from any public street right-of-way line.

Height And Size Requirements: All buildings in the I-2 Industrial Zone shall be limited in height to thirty-five (35) feet (18.45.050). **Height of building may need Conditional Use.**

- Will need final lighting/photometric plans/details, in addition to elevations calling out materials and percentages, colors/color boards. at final submittal stage.
- Condition: need to apply for an avigation agreement?

### Special Provisions:

1. Trees shall be planted along all street frontages. Trees should be planted at least one for every fifty (50) feet of street frontage. No Street Frontage at this time.
2. All storage doors, entrances into storage and warehousing, and parking in storage and warehouse developments shall be accessed from internal private streets and driveways. MET in concept
3. All storage and warehouse developments shall be fenced in a manner which will provide adequate security and a deterrent from public access. Met In concept
4. Building and structures shall use natural colors. Existing Building with modifications. - PROVIDE MATERIAL AND COLOR BOARD FOR FINAL
5. All outdoor lighting shall be shielded to direct light and glare only onto the premises. PROVIDE LIGHTING PLAN AND PHOTOMETRICS ANALYSIS FOR FINAL
6. All required off-street parking shall be hard-surfaced; loading zones, outdoor storage areas, and a portion of the employee parking may be compacted gravel, provided those areas are:  
(1) not located adjacent to the primary public entrance to the building; and (2) located or screened in such a manner to minimize visibility of the area as viewed from the public street and adjoining properties. There are some parking in non-paved areas at the rear

Other Departments: Engineering letter required. Other Requirements:



## Code Review

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**17.14 Requirement of Adequate Public Facilities:** Will connect to City Infrastructure. Will be reviewed by Engineering.

### 17.20 Plans

#### 17.20.010 Concept Plans

The Concept Plan shall be drawn to a scale no smaller than one inch equals one hundred (100) feet and shall include:

1. Conceptual layout of the following:
  1. Proposed streets, in relation to the existing and planned streets within one-fourth mile of the subdivision: OK
  2. Lots, including lot sizes: County indicates 4.94 acre lot size
  3. Building pads for residential projects N/A
    4. Buildings for multi-family or nonresidential projects, including building area – 3-Drenderings provided, 2-story (35') structures. Not Rendered
    5. Parking for nonresidential and multi-family residential projects OK
    6. Open space, as required by the zone – no table/calculations provided. No trailon-site.
    7. Landscaping, as required by the zone –
2. Data Table containing the following:
  1. Uses –
  2. Open space calculations, as required by the zone
  3. Landscaping calculations, as required by the zone-
  4. Parking analysis – NOT PROVIDED Last time - 2 employees, 1 stall per 2 employees required. 13 stalls provided.

#### 17.20.030 Final Construction - Plans and Final Plat

2. The Final Plans shall be drawn to a scale no smaller than one-inch equals one hundred (100) feet for overall sheets and one-inch equals forty (40) feet for plan and profile sheets.

In addition to all of the requirements of the preliminary plans, the following shall also be included with the final plans:

1. Data Table containing the following:
  - a. Uses
  - b. Density
  - c. Open space calculations, as required by the zone
  - d. Parking analysis, as applicable
2. Landscaping plan, including a data table relating to the applicable landscaping requirements of Chapter 18.76.
3. Lighting plan as outlined in Section 18.78.050, including a data table relating to the applicable lighting requirements of Chapter 18.78.
4. Exterior materials Board for all non-residential and multi-family buildings.
5. Scaled color elevations of all non-residential and multi-family buildings, including a data table relating to the applicable design standards.
6. Record of survey map;
7. Checklist of all items discussed at preliminary approval.

#### **17.38.040 Landscape Requirements**

Each application for commercial development approval shall satisfy the requirements found in Chapter 18.76 of the Zoning Ordinance, also known as Title 18 of the Heber City Code, and the following requirements.

1. All setback areas adjacent to a public street shall be fully landscaped and properly maintained. Trees shall be planted at no less than twenty (20) feet on center, on average, and shall have no less than a two (2) inch caliper, except that no trees shall be planted within forty-five (45) feet of an intersection clear view area. Trees may be planted in clusters to create a more natural and/or screening effect, if appropriate.
2. All ground areas shall contain grass, or another ground cover acceptable to the Planning Commission, and shall be irrigated sufficiently. Shrubs, flower beds, decorative rocks, and other appropriate landscaping is highly encouraged.
3. All landscaped areas shall be maintained using a sprinkling and/or irrigation system which is capable of being engaged automatically on a regular basis. Each applicant for commercial development shall submit a complete and detailed landscaping plan for review by the Planning Commission concurrently with submission of other documents for review by the Planning Commission.
4. All landscaped areas shall be maintained on a regular basis and be kept neat and clean. If the Zoning Administrator determines the maintenance requirement has not been satisfied, the Zoning Administrator shall notify the property owner. The Zoning Administrator will detail the lack of maintenance and inform the owner that a continued lack of maintenance will warrant issuance of a Class C misdemeanor charge against the

property owner under the authority of the Utah Code §10-9-1003 and Chapter 17.68 herein.

## **18.45 I-2 Industrial Zone**

### **18.45.010 Objectives - Characteristics**

- A. The I-2 industrial zone has been established for the primary purpose of providing a location for the creation of jobs where manufacturing, processing, warehousing and fabrication of goods and material can be carried on most appropriately and with minimum conflict or deleterious effects upon surrounding properties. Other objectives in establishing the zone are to promote the economic well-being of the people and to broaden the tax base.
- B. This zone is characterized by a mixture of industrial, manufacturing and processing establishments with intermittent open land that is served by streets, power, water and other utilities and facilities or where such facilities can be readily provided.
- C. In order to accomplish the objectives and purposes of this title and to stabilize and protect the essential characteristics of this zone, the regulations set out in this chapter shall apply in the I-2 industrial zone.

### **18.45.020 Permitted Primary Uses**

The following buildings, structures and uses of land shall be permitted in the I-2 Industrial Zone upon compliance with requirements as set forth in this Section:

- A. Accessory buildings and parking lots incidental and accessory to other permitted uses;
- B. Agriculture, farm machinery storage sheds, vegetable and fruit packing and processing plants, and livestock raising;
- C. Airport and associated activities;
- D. Earthmoving and equipment storage, gas and oil storage facilities, public buildings and public utility buildings, craft shops, and accessory signs;
- E. Fences, walls and hedges;
- F. Manufacturing, compounding, processing, packaging, fabrication, storage and warehousing of goods and materials, except the processing of animal byproducts and livestock feed yards, and except steel manufacturing plants, oil refineries, wallboard manufacturing and similar establishments which emit offensive fumes, smoke, noise, dust, odor, etc.;
- G. Retail commercial uses and cafes; however, no retail commercial transaction or business may be conducted within a storage shed.
- H. Water wells, utility transmission lines, dams, pumping plants, power plants, sewage treatment plants subject to review and approval of the State Division of Health;
- I. Research Services - (including laboratories, scientific, medical, chemical, applied

physics, mechanical, electronic, biological, genetic or other similar experimental research, product development or testing facilities);

- J. Office, business, professional or research;
- K. Printing, publishing and allied industries;
- L. Marketing, Telemarketing, and Advertising Services;
- M. Communications - including radio and television broadcasting, telephone company offices, recording and sound studios, motion picture studio;
- N. Data Processing Services;
- O. Recycling facilities when enclosed by a security fence and screened with sight obscuring fencing and/or evergreen landscaping along public street right of ways;
- P. Automotive & Equipment Repair;
- Q. Hotels, subject to Planning Commission approval of height, proximity, and user restrictions;
- R. Other uses similar to the foregoing uses which are ruled by the Planning Commission to be in harmony with the intent of this zone.

#### **18.45.030 Area Requirements**

- A. There is no minimum lot area requirement and no maximum building size in the I-2 Industrial Zone.
- B. Each project approved under this section must be fully located within the I-2 Industrial Zone.
- C. Limitations of Buildings Used for Retail Business.
  - 1. Findings. The Heber City Council makes the following findings:
    - a. One main intention of the Heber City Council in limiting the gross floor area of buildings used for retail business is to incorporate those goals and directives of the Heber City General Plan, including but not limited to those specific directives and provisions which identify the importance of and intentions surrounding the City center addressed in said General Plan.
    - b. The Heber City Council adopted the Heber City General Plan to guide and direct future development and land use decisions in Heber City.
    - c. The Heber City General Plan evidences the community's goals and objectives for the future of Heber City, and identifies the old town as the heart of the community, and makes the development and preservation of the City center critical to the General Plan's vision for Heber City's future.
    - d. The Heber City General Plan contemplates building on Heber's strengths from the inside out, by focusing on the City center including the existing central business district.
  - 2. Gross floor limitation, I-2 Zone.

Retail establishments shall not exceed 60,000 square feet of gross floor area within the I-2 Zone. No retail establishment shall be permitted to place any one building or any combination of buildings that exceed 60,000 square feet within said Zone. In no event shall any retail establishment, corporation, business, or entity have one or more buildings within less than 1,000 feet of each other, wherein the building or buildings would exceed a total of 60,000 square feet. Attempts to circumvent or exceed this maximum, 60,000 square feet, shall be strictly prohibited.

3. Definitions. The following definitions shall apply to this Section, 18.45.030:
  - a. "Retail Establishments" means retail business or businesses, conducted in two or more buildings, where the retail business or businesses:
    - (1) are engaged in the selling of similar or related goods, wares or merchandise, and operate under common ownership or management, or
    - (2) share check stands, storage facilities, a warehouse, or a distribution facility, or
    - (3) otherwise operate as associated, integrated or co-operative business enterprises under common ownership or management.
  - b. "Combination of Buildings" means two or more buildings that are within 1,000 feet of each other as measured from the outside exterior walls of two of the buildings.
  - c. "Common Ownership or Management" means owned, leased, possessed, managed or otherwise controlled, in any manner, directly or indirectly,
    - (1) by the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or
    - (2) by different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies) with respect to the retail businesses, or where the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies).
  - d. "Gross Floor Area" shall mean the sum of:
    - (1) the total horizontal area, in square feet, of all floors of a building, as measured at outside the exterior walls and

- including all interior courtyards, and
- (2) the total horizontal area, in square feet, of all portions of the site outside of the exterior walls of buildings used for the display, storage, or sale of any goods, wares or merchandise. For the purpose of this section an interior courtyard means a space bounded on three or more sides by walls but not a roof.
- e. "Retail Business" means a business engaged in the sale of goods to individual consumers, usually in small quantities, and not to be placed in inventory for resale. A retail business does not include: (a) health centers, governmental uses, community centers, theaters, or religious or fraternal uses, or (b) a business where retail sales are an incidental or accessory use to the primary use. This definition shall not include churches, public schools, hospitals, public civic centers or public recreational facilities, or other facilities owned by, or operated strictly for the benefit of, the public.

#### **18.45.040 Setback Requirements**

In the I-2 zone, all buildings shall be set back at least twenty (20) feet from any public street right-of-way line. A ten (10) foot wide landscaped berm is required along all public street right-of-way frontages. In the event of competing set back requirements as a result of building code restrictions, the most restrictive shall govern.

#### **18.45.050 Height And Size Requirements**

All buildings in the I-2 Industrial Zone shall be limited in height to thirty-five (35) feet. No buildings taller than thirty-five (35) feet shall be permitted in the I-2 Industrial Zone except as approved by the Planning Commission pursuant to approval as a conditional use and approved by the city Council.

Upon application for a conditional use to exceed the thirty-five (35) foot height limitation for developments, the Planning Commission shall consider at a minimum, but shall not be limited to the following mitigating options and building restrictions as requirements for such conditional use permits. No building that receives a conditional use permit shall be approved over 60 feet in height.

- H. Airport land zone height restrictions.
- I. Proximity to residential zones.
- J. Access to solar, air, and light for nearby properties.
- K. Building design (roof height step downs, eaves).
- L. Roof design.
- M. Aesthetics.

N. Compatibility with adjoining properties.

**18.45.060 Special Provisions**

- A. Trees shall be planted along all street frontages. Trees should be planted at least one for every fifty (50) feet of street frontage.
- B. All storage doors, entrances into storage and warehousing, and parking in storage and warehouse developments shall be accessed from internal private streets and driveways.
- C. All storage and warehouse developments shall be fenced in a manner which will provide adequate security and a deterrent from public access.
- D. Building and structures shall use natural colors.
- E. All outdoor lighting shall be shielded to direct light and glare only onto the premises.
- F. All required off-street parking shall be hard-surfaced; loading zones, outdoor storage areas, and a portion of the employee parking may be compacted gravel, provided those areas are: (1) not located adjacent to the primary public entrance to the building; and  
(2) located or screened in such a manner to minimize visibility of the area as viewed from the public street and adjoining properties.
- G. Properties shall be kept in a clean and orderly manner.

**18.45.065 Compatibility With Residential Zones**

When any industrial building or use adjoins any residential zone, a setback area containing a landscaped berm of at least four (4) foot tall and/or an eight (8) foot tall sight obscuring fence shall be erected as a buffer between all industrial and residential zones, as determined by the Planning Commission. In the event the Planning Commission elects to require a landscaped berm, such berm shall contain evergreen trees at least four (4) foot tall and deciduous trees having a caliper of at least three (3) inches. In determining whether to require a fence, berm, or both, the Planning Commission shall consider at a minimum, but shall not be limited to the following factors:

- A. Compatibility with adjoining properties.
- B. The future use of the land as identified on the City's general plan.
- C. Intensity of industrial use.
- D. Proximity of residential units.
- E. Additional landscaping and screening.
- F. Fences and setbacks being used.

**18.45.070 Supplementary Requirements**

See also supplementary requirements and procedures applicable within the I-2 Industrial Zone.

**18.78.040 Lighting Standards**

1. Non-Residential and Multi-Family Residential Standards

1. All lighting shall be full cut-off and directed downward. The lamp/bulb shall not be visible from the property line.
2. Height – All fixtures shall be mounted no higher than 20 feet, or 16 feet where adjacent to or within residential zones.
3. Light Containment – In no case shall Direct Light be allowed beyond the property line and in no case shall the bulb be visible from beyond the property line. Site lighting shall be considered as to reduce the amount of Reflective Light leaving the site.
4. LED Required – All fixtures shall use an LED bulb.
5. Shoebox fixtures are prohibited. All poles and fixtures shall be of a decorative design.
6. All lighting shall use a bulb of 3000 K or less in color.
7. In no case shall the total lumens for a single site exceed 100,000 lumens per net acre.
8. All non-residential exterior lighting shall be shut off during non-business hours.
  1. Some lights may be dimmed when connected to an automated dimmer as determined on a case by case basis by the Planning Commission when:
    1. The lighting is essential to the security of the site.
    2. The site offers services outside of employed business hours.
  2. Dimmed lights must be dimmed by a minimum of 50%. This may be accomplished by dimming all lights by 50% or by a combination of dimmed and shut off lights. In no case can any lights be running at 100% output.
  3. Motion sensor security lights may operate during non-business hours.
9. Businesses that operate 24 hours a day and are adjacent to residential property shall dim exterior lighting so as to reduce the impact to surrounding residential properties while maintaining site security for the patrons of the said business.

**17.38 Commercial Developments**

- **17.38.030 – Improvements:** Engineering has reviewed the plans.
- **17.38.040 – Landscaping**
  - For commercial development approval shall satisfy the requirements found in Chapter 18.76 of the Zoning Ordinance, also known as Title 18 of the Heber City Code, and the following requirements.
  - All setback areas adjacent to a public street shall be fully landscaped and properly maintained. Trees shall be planted at no less than twenty (20) feet on center, on average, and shall have no less than a two (2) inch caliper, except that no trees shall be planted within forty-five (45) feet of an intersection clear view area. Trees may be planted in clusters to create a more natural and/or screening effect, if appropriate. The Design Criteria Require 50 feet average. There is 130 feet of frontage and 3 trees.
  - All ground areas shall contain grass, or another ground cover acceptable to



the Planning Commission, and shall be irrigated sufficiently. Shrubs, flower beds, decorative rocks, and other appropriate landscaping is highly encouraged.. The Landscaping plan indicates that all ground areas are covered by landscaping, containing shrubs, flower beds, and decorative rocks.

- All landscaped areas shall be maintained using a sprinkling and/or irrigation system which is capable of being engaged automatically on a regular basis. Each applicant for commercial development shall submit a complete and detailed landscaping plan for review by the Planning Commission concurrently with submission of other documents for review by the Planning Commission.. The landscaping plan indicates that there will be an irrigation system.

- **17.38.050 – Design Requirements:**

- In addition to the requirements of the Heber City Subdivision and Zoning Ordinances, the following design requirements shall apply to each commercial development approved under this Chapter.
- TRASH STORAGE. No trash, used materials, or wrecked or abandoned vehicles or equipment shall be stored in an open area.. There is a trash enclosure identified on the plans.
- TRASH COLLECTION AREAS. All trash collection areas shall be designed to be compatible with the proposed project.. The dumpster block shall match the building.
- LIMITED ACCESS. Generally speaking, commercial zones in Heber City are located in areas with a higher potential for traffic congestion. Therefore, access to commercial developments shall be limited to the extent possible in order to maintain traffic flow. Access should be addressed in an appropriate manner in accordance with section 17.38.030 herein.. The site does not require any additional accesses.
- COMPATIBILITY. The Planning Commission may make recommendations to the applicant in order to improve compatibility with surrounding development. This requirement is intended to ensure future compatibility with the subject proposal as well, and should be viewed in that manner by each applicant. If changes to the anticipated structure are made, these changes should be submitted to the Zoning Administrator at the earliest possible date. The Zoning Administrator will determine whether the changes need to be reviewed by the Planning Commission.
- ADOPTION OF DESIGN CRITERIA. The November, 2006, Heber City Commercial Districts: C-2 and C-4 Zones Design Standards and Guidelines, attached as Exhibit A, is adopted herein by reference. Copies of the Heber City C-2 and C-4 Design Standards and Guidelines shall be on file in the City Recorder's Office for the use and examination of the public.
- APPLICABILITY. Where, in any specific case, differences between the Heber

City C-2 and C-4 Zone Design Standards and Guidelines and the adopted Building Codes specify different materials, methods of construction or other requirements, the specific requirements of the Building Code shall be applicable.

• **17.38.080 – Supplementary Requirements:**

- LAYOUT OF BUILDINGS. Unlike other developments approved under this Title, commercial developments may have more than one main structure per parcel. In such cases the applicant shall provide a project master plan to the Planning Commission indicating the location and size of each proposed structure. Additionally, the project master plan shall indicate accessory buildings, if any. Each structure in the commercial development is required to satisfy the building permit requirements of Title 18.12.. There is only one building on this parcel.
- SETBACKS. Setback requirements in commercial zones may be flexible, but must be approved by the Planning Commission. The Planning Commission shall consider impacts on adjacent parcels, traffic, pedestrian access, landscaping and other relevant issues when recommending setback requirements.. The building is setback 26 feet. The design criteria require a 20' minimum and a 40' maximum.
- SURFACE WATER DRAINAGE. Surface water from roof tops, parking lots or irrigation ditches shall not be allowed to drain onto adjacent lots or streets except after written agreement between the parties involved.  
**Drainage is reviewed by engineering.**
- FUTURE DEVELOPMENT. Whenever a front or side yard is required for a building which abuts on a proposed street which has not been constructed but which has been designated by the Planning Commission as a future street, the depth of such front or side yard shall be measured from the planned street lines.
- SOLID WASTE AND SEWAGE. Each commercial development shall be reviewed by the Solid Waste Department for recommended solid waste disposal. Where domestic sewage disposal facilities are used which are not connected to a public sewer, approval of such facilities shall be obtained from the Health Department before a building permit is issued. **Solid Waste and Sewage is reviewed by engineering.**
- MOTOR VEHICLE ACCESS. Access to all buildings in a commercial project shall be controlled as follows:
  - § Each driveway shall be not more than thirty (30) feet in width in any commercial or industrial zone measured at right angles to centerline of the driveway. On corner lots, no driveway shall be closer than fifty (50) feet to the point of intersection of the front property line which

abuts upon a street.. There are no drive ways proposed with this project.

§ Each commercial development shall install curb and gutter to facilitatesurface drainage.. The paved areas have a curb and gutter.

- Each commercial development shall present a plan for public utilities and services. These plans may be reviewed by utility providers for recommendations.

#### **17.40 Improvements**

- **17.40.010 – Requirements:** All required improvements have been reviewed byEngineering.

#### **18.72 Off Street Parking and Loading**

- **18.72.030 – Parking Space Requirements – Designated:**  
J. Industrial, manufacturing and wholesale establishments shall have one parking space per two employees based on the largest shift;
- **18.72.040 – Parking Space Requirements – Location and Control:** All off-street parkingshall be on the same lot as the use.
- **18.72.070 – Access to Parking Facilities:** All parking areas are accessible.
- **18.72.080 – Circulation within Parking Areas:** Parking area with more than one aisle must be so arranged that a car need not enter the street to reach another aisle withinthe same parking area. **N/A.** Traffic does not have to enter the street to get to other drive isles.
- **18.72.100 – Lighting:** There are no residential areas adjacent to the site.
- **18.72.130 – Landscaping Requirements:** All off-street parking lots designed for five or more vehicles shall be bordered by a curb and/or a landscaped strip at least eight feet inwidth. **Complies.** The parking area is surrounded by a landscaping area of more than 8’.

#### **18.76 Landscaping**

##### **18.76.030 Landscape Standards**

- General
  - Zeroscaping is prohibited in all zones.
  - Xeriscaping is permitted in all zones.
  - Natural vegetation are permitted for open space areas when specified by zone.
  - Vegetation coverage is measured by the area of the plant at full seasonal coverage. Trees may account for up to 80 square feet per tree.
- Non-Residential and Multi-Family Residential Standards.

- A minimum of 20% of landscaped areas shall be planter beds, containing a combination of rock or bark mulch, trees, shrubs, and ornamental grasses.
- A minimum of 40% of all landscaped areas shall be covered with planted vegetation.
- Community Gardens may be counted toward a landscaping and/or open space requirement for Multi-Family Residential developments.
- Automated irrigation systems are required.
- Landscaping shall be completed prior to the issuance of a Certificate of Occupancy. For phased developments, the landscaping within each phase shall be completed with the phase.
  - A landscaping bond may be used during non-growing seasons, as determined by the Planning Director or designee. Bonds shall cover 110% of the costs of the bond estimate included in the bond agreement.
- Single Family Residential Standards.
  - In any residential or residential-agricultural zone, all portions of the required front and side yards adjacent a street that are not covered by permitted structures, driveways or pedestrian paths shall be landscaped.
  - Required landscaping shall be installed within 24 months of the date of receiving an occupancy permit for the property.
  - A minimum of 10% of the front and street side yards shall be covered with planted vegetation.

**18.60 Plot Plan Required:** A landscaping plan is required

## **18.78 Lighting**

### **18.78.040 Lighting Standards**

#### o Non-Residential and Multi-Family Residential Standards

§ All lighting shall be full cut-off and directed downward. The lamp/bulb shall not be visible from the property line.. The building lights and pole lights are full cut-off. The emergency lights are not; however, they will not be used unless of an emergency (i.e. fire or burglary).

§ Height – All fixtures shall be mounted no higher than 20 feet, or 16 feet where adjacent to or within residential zones. The pole lights are identified as 23' tall from the pavement. This site is not adjacent to a residential area.

§ Light Containment – In no case shall Direct Light be allowed beyond the property line and in no case shall the bulb be visible from beyond the property line. Site lighting shall be considered as to

reduce the amount of Reflective Light leaving the site. The photometric plan does not extend to the property line. The site is part of a commercial subdivision and is bordered by businesses and Main Street.

§ LED Required – All fixtures shall use an LED bulb. All lighting proposed contain an LED Bulb.

§ Shoebox fixtures are prohibited. All poles and fixtures shall be of a decorative design. The proposed lighting plan does not contain any shoebox fixtures, but the pole lights are not decorative.

§ All lighting shall use a bulb of 3000 K or less in color. The emergency lights are 6000K in color and more information is needed on the pole lights.

§ In no case shall the total lumens for a single site exceed 100,000 lumens per net acre. ? The building lights put out 1,788.76 lumens and there are 15 fixtures, equaling 26,831.4 lumens. The lumen output for the pole lights is not known. The site is 0.54 acres in size.

§ All non-residential exterior lighting shall be shut off during non-business hours. The lighting plan includes an auto shut off at dusk.

§ Some lights may be dimmed when connected to an automated dimmer as determined on a case by case basis by the Planning Commission when:

- The lighting is essential to the security of the site.
- The site offers services outside of employed business hours.
- Dimmed lights must be dimmed by a minimum of 50%. This may be accomplished by dimming all lights by 50% or by a combination of dimmed and shut off lights. In no case can any lights be running at 100% output.
- Motion sensor security lights may operate during non-business hours.

§ Businesses that operate 24 hours a day and are adjacent to residential property shall dim exterior lighting so as to reduce the impact to surrounding residential properties while maintaining site security for the patrons of the said business.

**18.78.050 Lighting Plan Required** – A lighting plan is required.

# Exhibit 2

## Drawings and Attachments

# HEBER CITY WATER RIGHT ACTION REPORT

Date: \_\_\_\_\_

Project Name: \_\_\_\_\_

Project Address: \_\_\_\_\_

Name of Developer: \_\_\_\_\_

## PRIOR LAND USE

- Irrigated Land: \_\_\_\_\_ Ac
  - Non-Irrigated Land: \_\_\_\_\_ Ac
- Total: \_\_\_\_\_ Ac

## PROPOSED PROJECT USE

- Residential Units: \_\_\_\_\_ Units
- Residential Avg Irr Land per Lot: \_\_\_\_\_ Ac << (For Mixed Use developments, leave as zero and show all Outdoor in "Other" below.)
- Non-Residential ERU's: \_\_\_\_\_ ERU's
- Other/Common Area Irr Land: \_\_\_\_\_ Ac
- Non-Irrigated Land: \_\_\_\_\_ Ac

## WATER RIGHT REQUIREMENT

- Residential, Indoor/Culinary: (ERU's x 0.43 AF/ERU) \_\_\_\_\_ AF
  - Residential, Outdoor/Irr: (ERU's x Avg Ac/ERU x 3.0 AF/ERU) \_\_\_\_\_ AF
  - Non-Residential, Indoor/Culinary: (ERU's x 0.43 AF/ERU) \_\_\_\_\_ AF
  - Other/Common Area, Outdoor/Irr: (Ac x 3.0 AF/Ac) \_\_\_\_\_ AF
- Total: \_\_\_\_\_ AF

### Timpanogos Irr Additional Data

- Total Req'd if D (AF / 3.0 AF/Sh): \_\_\_\_\_ Shares \_\_\_\_\_ AF
- Ck Outdoor Req'd D Met? (AF / 3.0 AF/Sh): \_\_\_\_\_ Shares \_\_\_\_\_ AF
- Indoor Need if A (Total AF - D AF): \_\_\_\_\_ Shares \_\_\_\_\_ AF
- Indoor Need if D (Total AF - D AF): \_\_\_\_\_ Shares \_\_\_\_\_ AF
- Indoor Need Other: Diff between Indoor Need and Owned

## WATER RIGHTS PROPOSED

	Owned <sup>1</sup>	Under Contract	
CUP M&I: (1.0 AF/Sh) Co: _____	_____ Shares _____ AF	_____ Shares _____ AF	
Daniel: (0.75 AF/Sh) <sup>3</sup>	_____ Shares _____ AF	_____ Shares _____ AF	
Extension: (0.3 AF/Sh) <sup>2</sup>	_____ Shares _____ AF	_____ Shares _____ AF	
Sage Brush: (0.3 AF/Sh) <sup>2</sup>	_____ Shares _____ AF	_____ Shares _____ AF	
Spring Creek: (0.6 AF/Sh)	_____ Shares _____ AF	_____ Shares _____ AF	
Timpanogos, Class A: (1.85 AF/Sh) <sup>2</sup>	_____ Shares _____ AF	_____ Shares _____ AF	
Timpanogos, Class D: (3.0 AF/Sh)	_____ Shares _____ AF	_____ Shares _____ AF	
Wasatch: (3.4 AF/Sh)	_____ Shares _____ AF	_____ Shares _____ AF	
Other Water Rights: ChgApp # 55- _____	_____ AF	_____ AF	Total
	Total: _____ AF	_____ AF	_____ AF
	_____ %	_____ %	_____ %

Notes:

<sup>1</sup> 100% of water rights for a project/phase must be transferred to City upon Final approval of that project/phase. (Code 15.16.090)

<sup>2</sup> These shares may only be used for indoor water requirement.

<sup>3</sup> Requires approval and beneficial use statement from irrigation company.

## NOTES AND INFRASTRUCTURE PROPOSED

# **WATER RIGHT APPROVAL REQUIREMENTS**

## **HEBER CITY APPROVAL**

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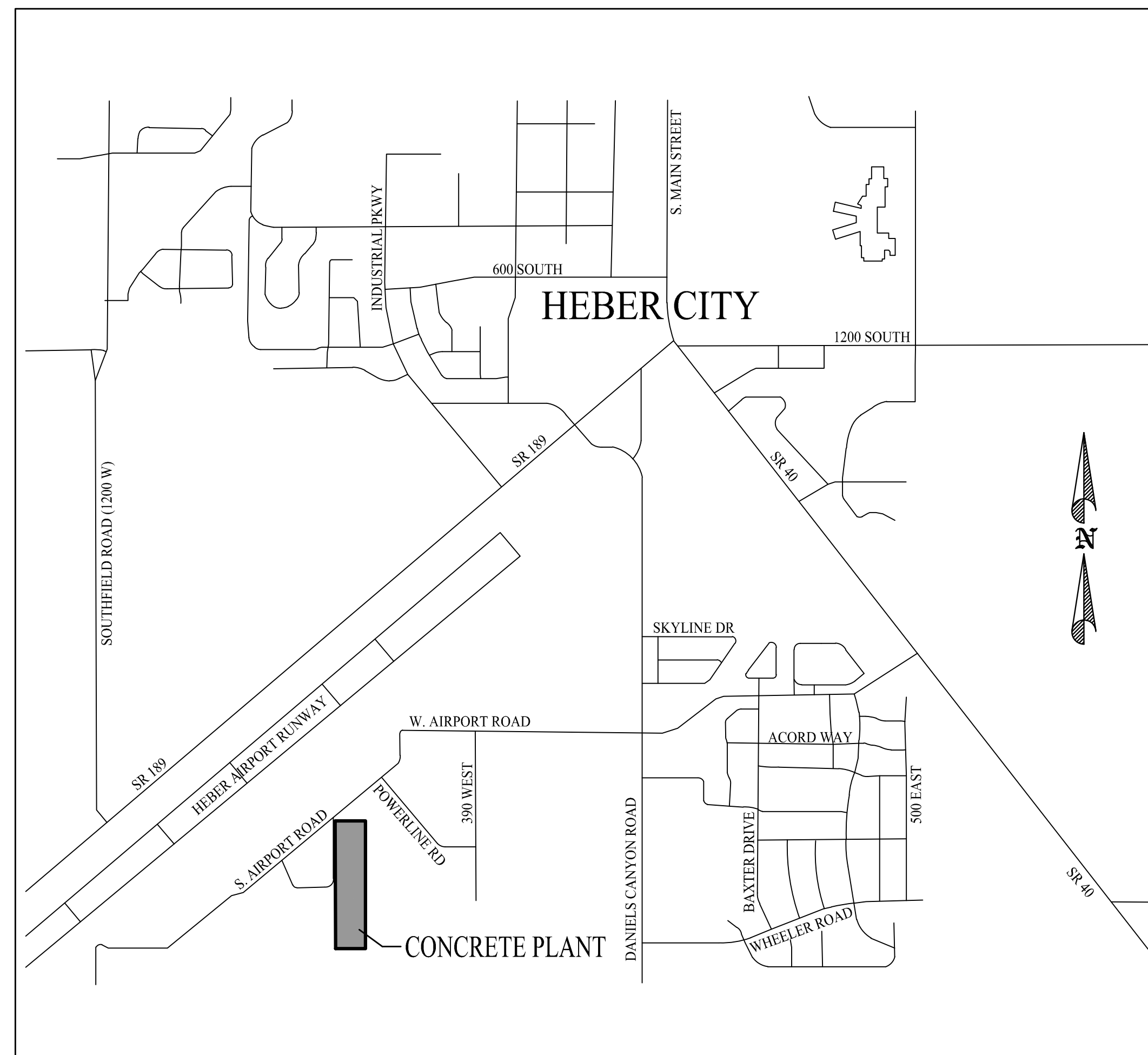
Heber City Engineer - Bart Mumford                      Date

By this approval Heber City acknowledges it has reviewed this document and any attached supporting material regarding the development's preliminary water right needs and water rights being pledged, and found these documents to be in material compliance with City Code Section 15.16.090. Adjustments may be made prior to time of transfer to City at Final Development Approval as required. This approval does not constitute City acceptance of the development, or Liability for calculations and transfer of said water rights to Heber City.



# AMERICAN EAGLE READY-MIX CONCRETE PLANT

FINAL APPLICATION



VICINITY MAP

## SHEET INDEX

1. EXISTING CONDITIONS
2. SITE PLAN
3. LANDSCAPE PLAN
4. SPRINKLER IRRIGATION PLAN
5. UTILITY PLAN
6. GRADING AND PAVING PLAN
7. STORM DRAIN PLAN
8. WATER CONSTRUCTION PLANS
9. SEWER CONSTRUCTION DETAILS
10. STORM DRAIN DETAILS
11. SUBDIVISION PLAT

THIS DOCUMENT IS RELEASED  
FOR REVIEW ONLY. IT IS NOT  
INTENDED FOR CONSTRUCTION  
UNLESS SIGNED AND SEALED.  
PAUL D. BERG P.E.  
SERIAL NO. 295595  
DATE: 4 MAR 2022

DOUG CLEMENTS  
AMERICAN EAGLE READY-MIX

COVER SHEET



HEBER CITY ENGINEER APPROVAL  
RUSSELL FUNK DATE

DESIGN BY: PDB DATE: 4 MAR 2022 SHEET  
DRAWN BY: RHH REV: 0



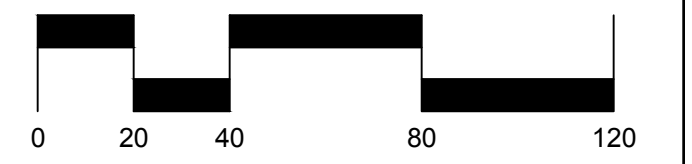
- LEGEND**
- EXSS — EXISTING SEWER
  - EXW — EXISTING WATER
  - EXIRR — EXISTING PRESSURIZED IRRIGATION
  - O — EXISTING OVERHEAD POWER LINE TO BE PLACED UNDERGROUND WITH PROJECT
  - EXOHP

**BLUE STAKE NOTE:**

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

**EXISTING BUILDING REMOVAL**

- INSPECTION OF THE EXISTING BUILDING FOR HAZARDOUS MATERIALS TO BE COMPLETED BY OWNER PRIOR TO REMOVAL.
- CONTRACTOR IS RESPONSIBLE FOR PERMITS, AND DISPOSAL OF THE BUILDING.



SCALE: 1"=40'

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PAUL D. BERG P.E.  
 SERIAL NO. 295595  
 DATE: 4 MAR 2022

HEBER CITY ENGINEER APPROVAL

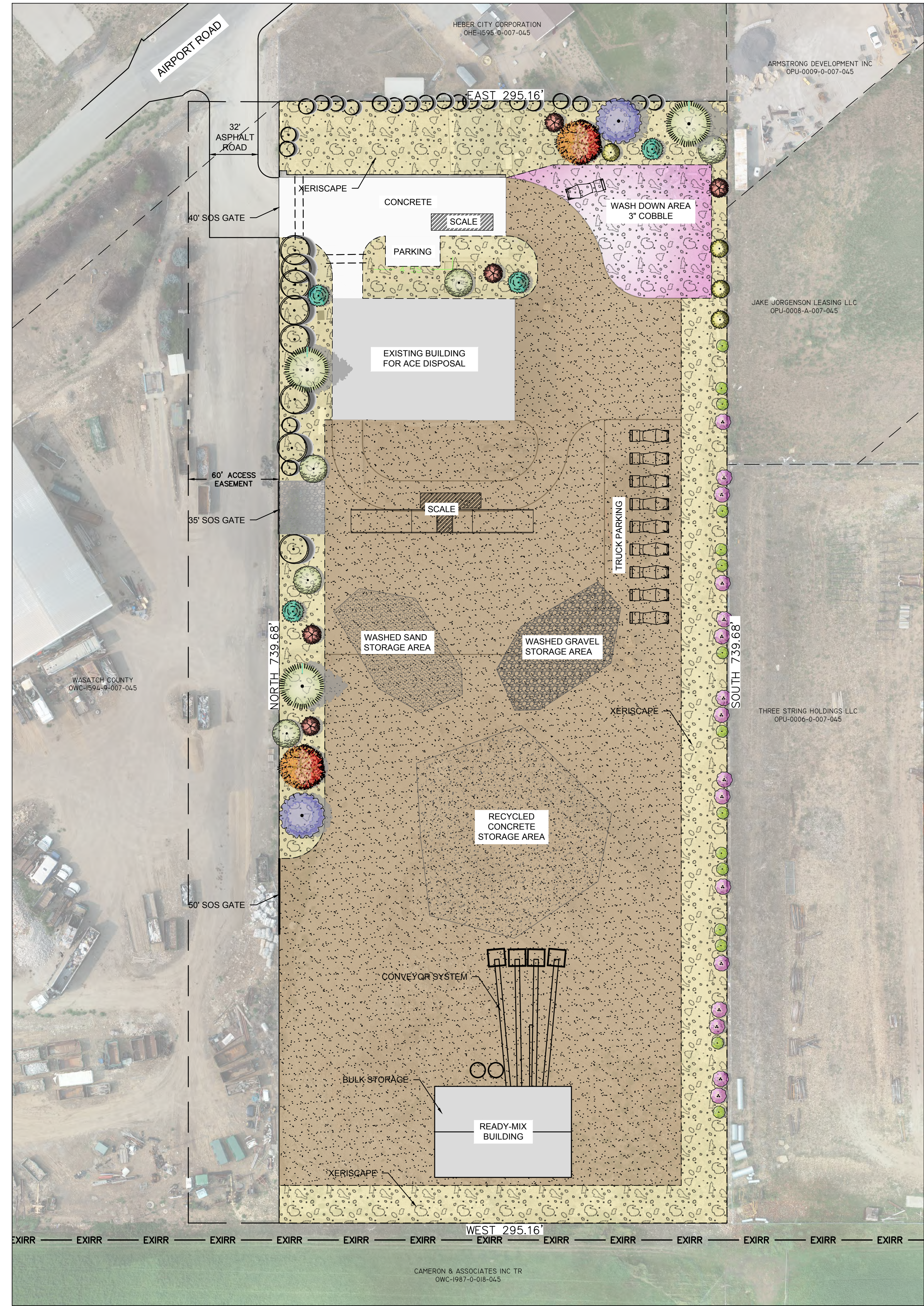
RUSSELL FUNK DATE

DOUG CLEMENTS  
 AMERICAN EAGLE READY-MIX

EXISTING CONDITIONS



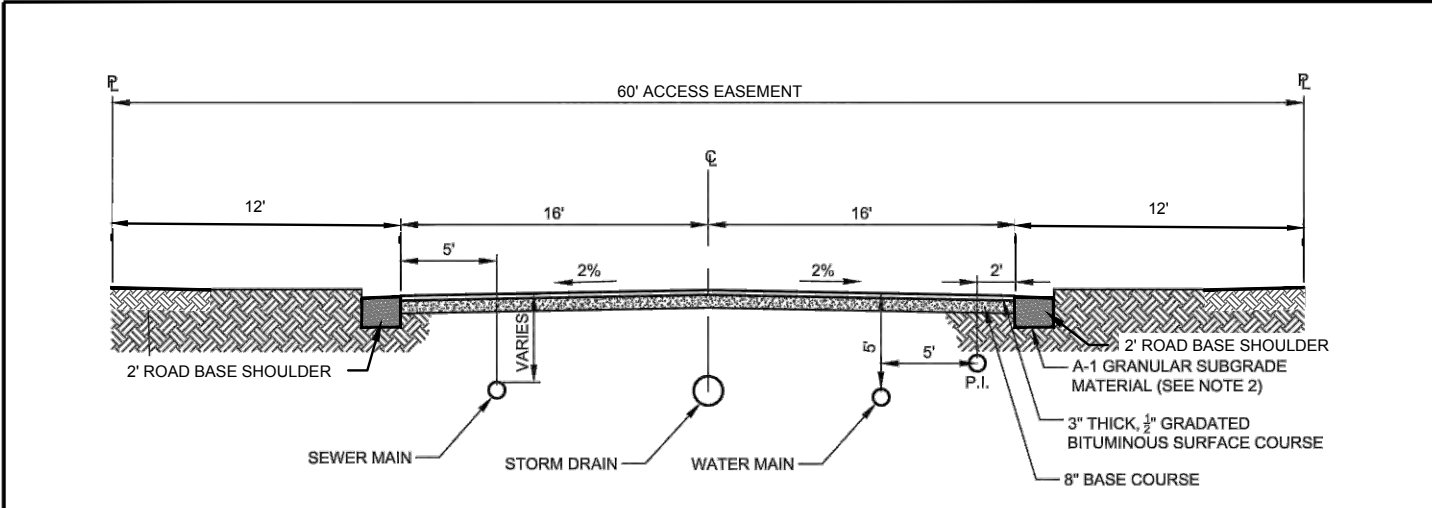
DESIGN BY: PDB	DATE: 4 MAR 2022
DRAWN BY: RHH	REV: 1



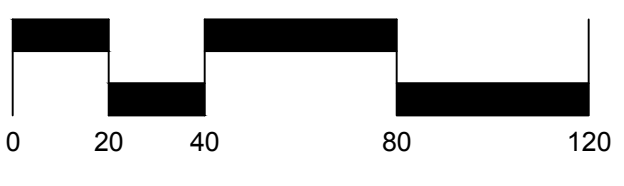
GROUND COVERS	COMMON / BOTANICAL NAME
	2"-4" Xeriscape Cobble Rock / 2"-4" Xeriscape Cobble Rock
MULCH	COMMON / BOTANICAL NAME
	3" Cobble Rock / Cobble Rock
	Washed Gravel / Gravel

LAND USE TABLE	ACRES	PERCENTAGE
TOTAL AREA	5.01 ACRES	
LANDSCAPED AREAS	1.43 ACRES	(28.50%)

SOS GATE NOTE:  
ALL SOS GATES SHALL BE APPROVED BY THE WASATCH COUNTY FIRE DEPARTMENT PRIOR TO ORDERING THE GATE AND INSTALLATION.



- NOTES FOR RESIDENTIAL STREETS:**
1. ACCESS REQUIREMENTS PER THE INTERNATIONAL FIRE CODE INCLUDING APPENDIX D (VERSION AS ADOPTED BY THE LOCAL FIRE AUTHORITY).
  2. SUBGRADE SHALL BE A-1 GRANULAR MATERIAL PER SECTION 0225.
  3. MAXIMUM ROAD GRADE IS 8% WITHOUT CITY ENGINEER'S APPROVAL.
  4. PARK STRIPS TO BE FILLED TO WITHIN ONE INCH OF F.A.C. AND TOP OF SIDEWALK.
  5. WHERE HEBER CITY APPROVES INSTALLING A TRAIL OR SIDEWALK ON ONLY ONE SIDE, THE FULL RIGHT-OF-WAY DEDICATION IS STILL REQUIRED TO ALLOW FOR FUTURE INSTALLATION OF SIDEWALK.
  6. TRAIL OPTION AND WIDTH IS DETERMINED BY HEBER CITY ACCORDING TO THE CURRENT TRAILS MASTER PLAN.



SCALE: 1"=40'

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PAUL D. BERG P.E.  
SERIAL NO. 295595  
DATE: 4 MAR 2022

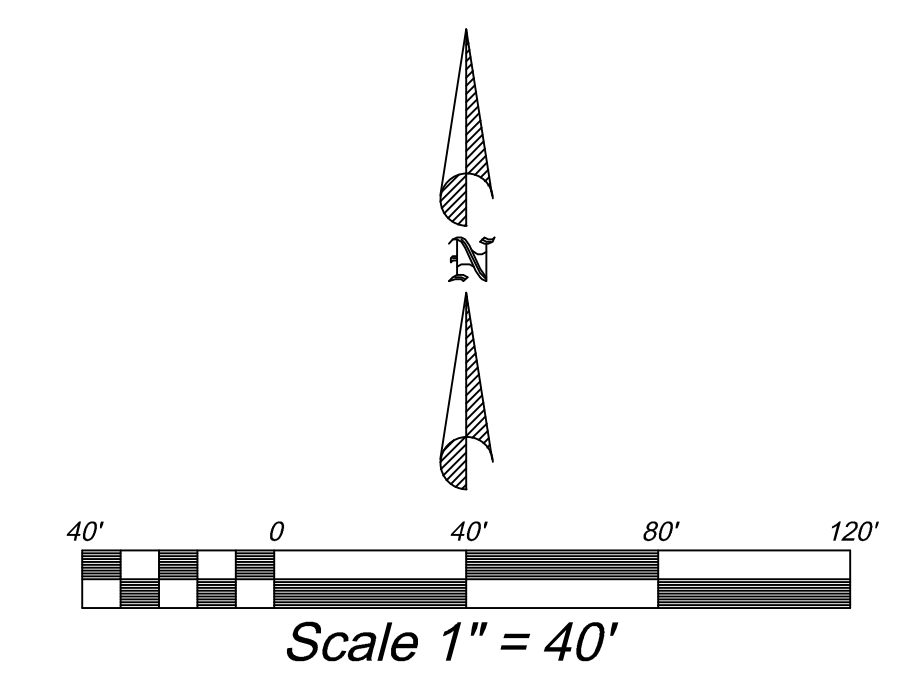
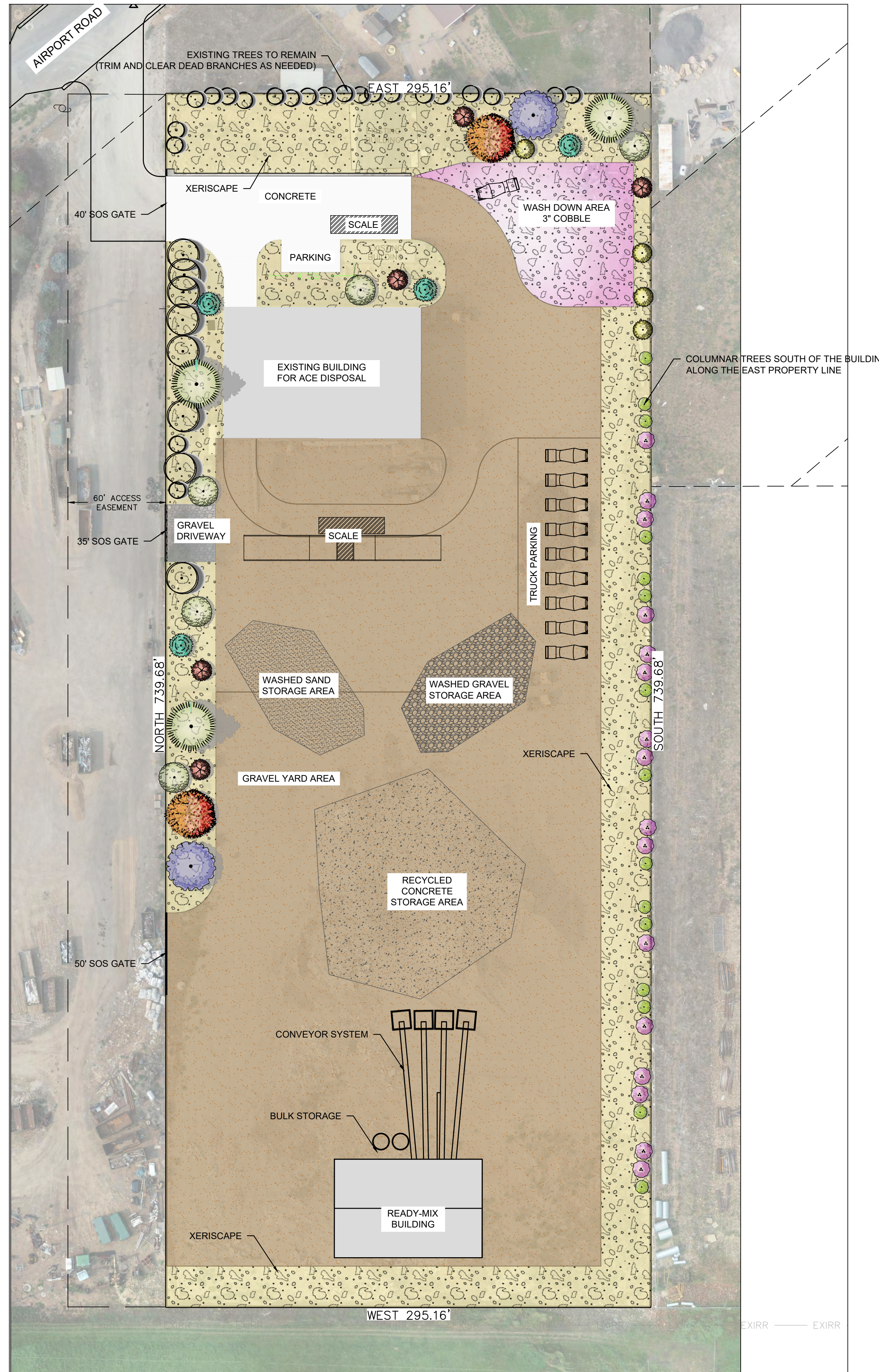
HEBER CITY ENGINEER APPROVAL  
RUSSELL FUNK DATE

DOUG CLEMENTS  
AMERICAN EAGLE READY-MIX

SITE PLAN



DESIGN BY: PDB  
DRAWN BY: DW  
DATE: 4 MAR 2022  
REV: 2



PLANT SCHEDULE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
<b>TREES</b>					
	2	Autumn Blaze Maple / Acer freemanii 'Autumn Blaze'	B&B	2"	Cal
	2	Autumn Purple Ash / Fraxinus americana 'Autumn Purple'	B&B	2"	Cal
	5	Canada Red Chokecherry / Prunus virginiana 'Canada Red'	B&B	2"	Cal
	15	Columnar Green Beech / Fagus sylvatica 'Fastigiata'	B&B	2"	Cal
	16	Columnar Purple Beech / Fagus sylvatica 'Dawyck Purple'	B&B	2"	Cal
	4	Quaking Aspen / Populus tremuloides	B&B	2"	Cal
	5	Spring Snow Crab Apple / Malus x 'Spring Snow'	B&B	2"	Cal
<b>EVERGREEN TREES</b>					
	4	Black Hills Spruce / Picea glauca 'Densata'	B&B		6'-7' H
	3	White Fir / Abies concolor	B&B		8-10'
<b>GROUND COVERS</b>					
	54,715 sf	2"-4" Xeriscape Cobble Rock / 2"-4" Xeriscape Cobble Rock			Mulch
<b>MULCH</b>					
	7,478 sf	3" Cobble Rock / Cobble Rock			Mulch
	131,727 sf	Washed Gravel / Gravel			Mulch
	30	Existing Trees to Remain (Trim and clear dead branches as needed)			

**LANDSCAPE NOTES:**

- AT LEAST ONE TREE FOR EVERY 50' OF STREET FRONTAGE (MINIMUM OF 15 TREES)
- MINIMUM OF 20% OF LANDSCAPED AREAS SHALL BE PLANTER BEDS, CONTAINING OF ROCK OR BARK MULCH, TREES, SHRUBS, AND ORNAMENTAL GRASSES.
- MINIMUM OF 40% OF ALL LANDSCAPED AREAS SHALL BE COVERED WITH PLANTED VEGETATION.

**LAND USE TABLE**

TOTAL AREA	5.01 ACRES
LANDSCAPED AREAS	1.43 ACRES (28.50%)

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 CARL N. BERG PLA  
 SERIAL NO. 7162790  
 DATE: 4 MAR 2022

HEBER CITY ENGINEER APPROVAL  
 \_\_\_\_\_  
 RUSSELL FUNK DATE

DOUG CLEMENTS  
 AMERICAN EAGLE READY-MIX

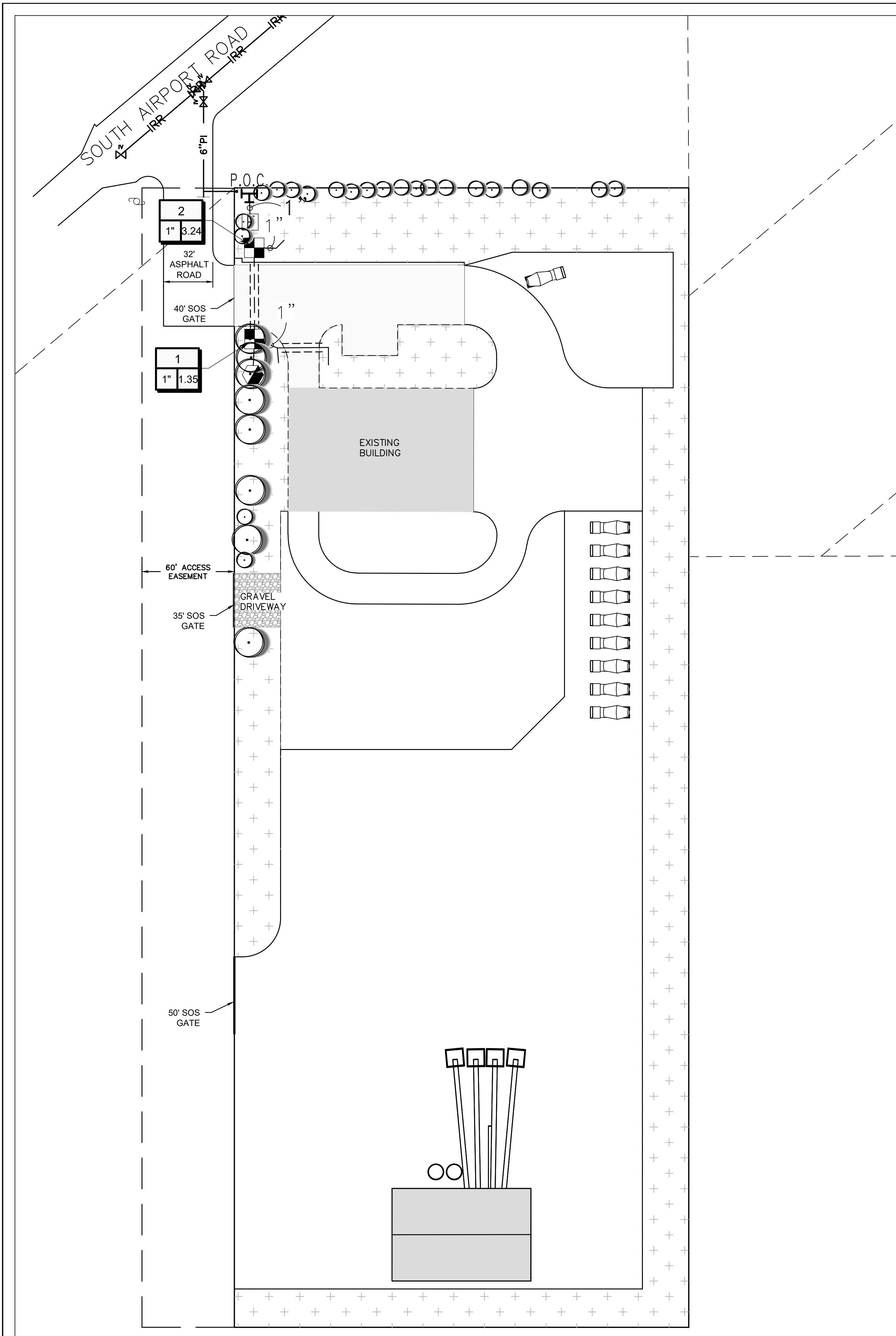
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LANDSCAPE PLAN

380 E Main St, Suite 204  
 Midway, Ut 84049 ph. (801) 723-2000

DESIGN BY: PDB	DATE: 4 MAR 2022	SHEET 3
DRAWN BY: RHH	REV:	

Draft: N. V. H. (Date: 03/03/2022) 1:00 PM  
 Rev: 03/03/2022 1:00 PM  
 March 04, 2022 | plotted by: roger



**LEGEND**

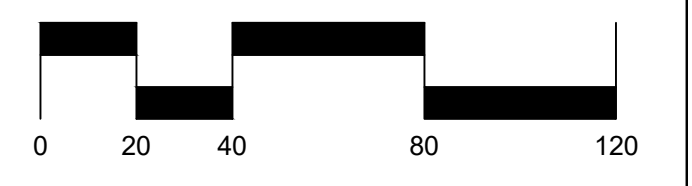
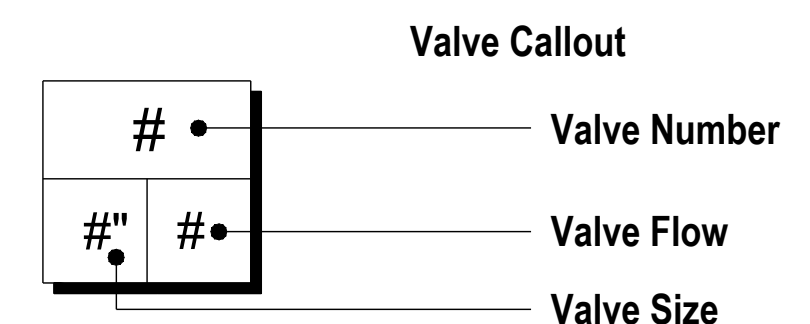
—EXSS—	EXISTING SEWER
—SS—	PROPOSED SEWER
—EXW—	EXISTING WATER
—W—	PROPOSED WATER
—EXPI—	EXISTING PRESSURIZED IRRIGATION
—6"PI—	PROPOSED 6" PRESSURIZED IRRIGATION
—SD—	PROPOSED STORM DRAIN

**BLUE STAKE NOTE:**  
 • LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XCB-LF-100-PRF 1" Low Flow Drip Control Kit, 1" Low Flow Valve, 3/4" Pressure Regulating RBY Filter, and 30psi Pressure Regulator. 0.2gpm-5gpm.	2
	Area to receive Drip Emitters Rain Bird XB-PC Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet. Emitter Notes: 0.5 GPH emitters (1 assigned to each 1 gal plant) 1.0 GPH emitters (2 assigned to each 5 gal plant) 2.0 GPH emitters (3 assigned to each B & B, 8-10' plant) 2.0 GPH emitters (3 assigned to each B & B, 1" Cal plant) 2.0 GPH emitters (3 assigned to each B & B, 5-7' plant) 1.0 GPH emitters (2 assigned to each 5 gal plant) 0.5 GPH emitters (1 assigned to each 1 GAL plant) 2.0 GPH emitters (3 assigned to each B&B, 2" Cal plant) 2.0 GPH emitters (3 assigned to each B&B, 1.5" Cal plant) 2.0 GPH emitters (3 assigned to each B&B, 8-10' plant) 2.0 GPH emitters (3 assigned to each B&B, 5-7' plant) 2.0 GPH emitters (3 assigned to each B&B, 6' plant) 0.5 GPH emitters (3 assigned to each B&B, 1" Cal plant)	54,715 s.f.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird 44-NP (2) 1" 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Non-Potable Purple Rubber Cover, and 2-Piece Body.	1
	Amiad 1-C-Nylon Screen 080 Amiad 1" Compact Manual Plastic Filter, nylon screen, engineered-plastic material, maximum working pressure 140psi.	1
	Point of Connection 1"	1
	Irrigation Lateral Line: PVC Schedule 40 1"	91.7 l.f.
	Irrigation Mainline: PVC Schedule 40 1"	117.8 l.f.
	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	67.7 l.f.



SCALE: 1"=40'

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 CARL N. BERG \_\_\_\_\_ PLA  
 SERIAL NO. 7162790  
 DATE: 4 MAR 2022

HEBER CITY ENGINEER APPROVAL

RUSSELL FUNK \_\_\_\_\_ DATE \_\_\_\_\_

DOUG CLEMENTS  
 AMERICAN EAGLE READY-MIX

SPRINKLER IRRIGATION PLAN

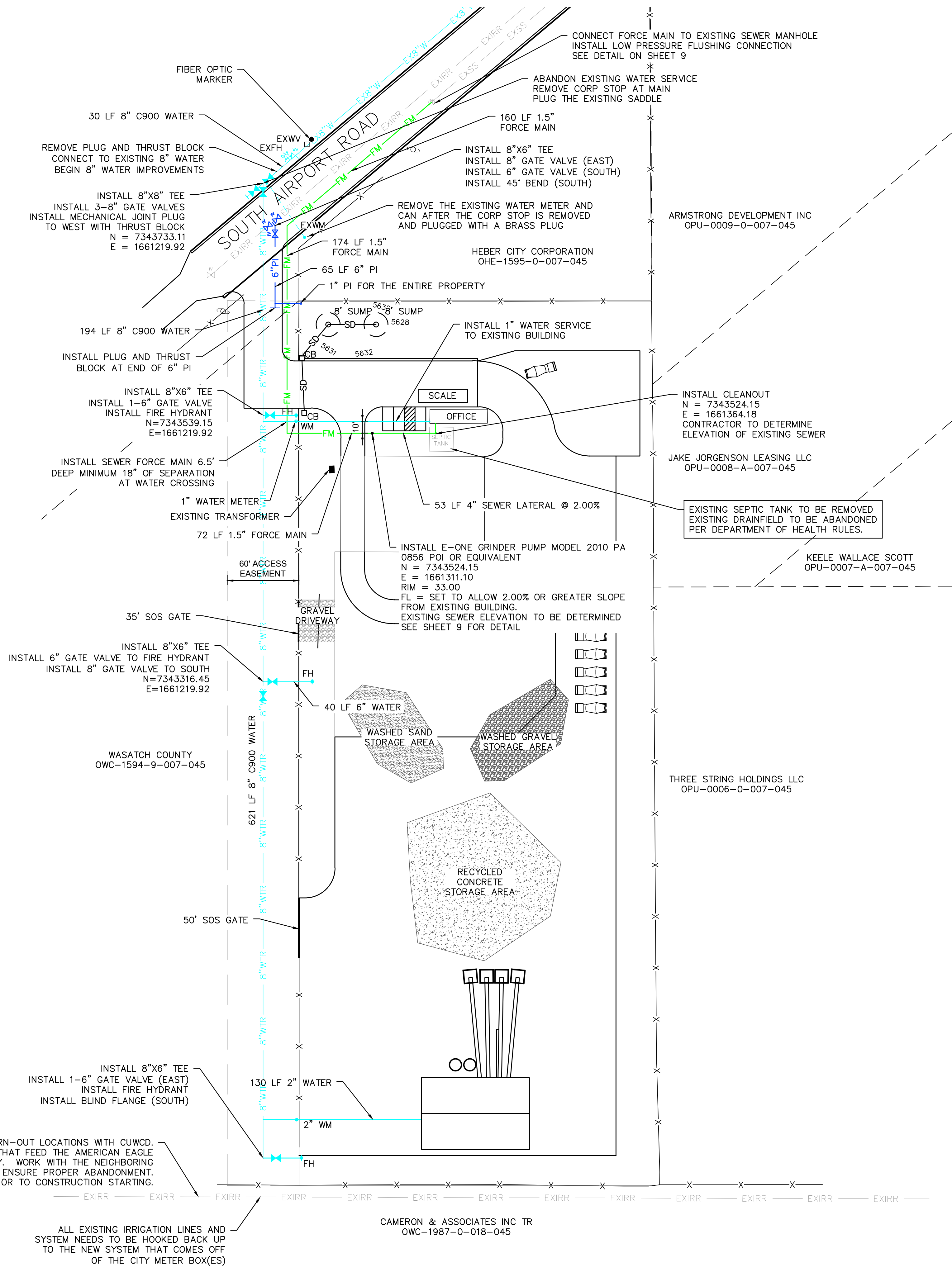


380 E Main St, Suite 204  
 Midway, UT 84049 ph. (801) 723-2000

DESIGN BY: PDB DATE: 4 MAR 2022  
 DRAWN BY: DW REV: SHEET 4

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 Date: 03/04/2022 10:11:43 AM  
 March 04, 2022 | plotted by: royer



- LEGEND**
- EXSS — EXISTING SEWER
  - SS — PROPOSED SEWER
  - FM — PROPOSED SEWER FORCE MAIN
  - EXW — EXISTING WATER
  - W — PROPOSED WATER
  - EXFH
  - FH
  - EXWV
  - EXIRR — EXISTING PRESSURIZED IRRIGATION
  - PI — PROPOSED PRESSURIZED IRRIGATION
  - SD — PROPOSED STORM DRAIN
  - TEL — COMMUNICATIONS LINE
  - EXGAS — EXISTING GAS LINE
  - OHP — EXISTING OVERHEAD POWER LINE TO BE PLACED UNDERGROUND WITH PROJECT

**BLUE STAKE NOTE:**

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

**WATER NOTES:**

- ALL WATER IMPROVEMENTS SHALL MEET HEBER CITY STANDARDS AND SPECIFICATIONS.
- ALL WATER MAIN LINES ARE C-900 DR 18 PIPELINES.

**STORM DRAIN SYSTEM NOTE:**

- ALL STORM DRAIN CONSTRUCTION TO MEET HEBER CITY STANDARDS.

**POWER, GAS AND PHONE NOTE:**

- OWNER AND CONTRACTOR ARE RESPONSIBLE TO OBTAIN THE FINAL DESIGN FOR POWER, GAS AND PHONE UTILITIES FROM THE UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE POWER, GAS AND PHONE UTILITY TRENCHES TO BUILDINGS. ONLY LOCATIONS FOR WATER, STORM DRAIN, SEWER AND IRRIGATION ARE SHOWN ON THIS PLAN.

**PRESSURIZED IRRIGATION NOTES:**

- ALL PRESSURIZED IRRIGATION IMPROVEMENTS SHALL MEET HEBER CITY STANDARDS AND SPECIFICATIONS
- ALL PRESSURIZED IRRIGATION MAIN SHALL BE AWWA C900 DR18 PURPLE PIPE.

**SEWER NOTES:**

- ALL SEWER IMPROVEMENTS SHALL MEET HEBER CITY STANDARDS AND SPECIFICATIONS

**SEWER FORCE MAIN AND WATER CROSSINGS NOTES**  
 INSTALL SEWER FORCE MAIN 6.5' DEEP WITH MINIMUM 18" OF SEPARATION AT WATER CROSSING.  
 SEWER FORCE MAIN SHALL BE INSTALLED A MINIMUM OF 18" BELOW ANY CROSSING WITH A WATER LINE OR SERVICE.

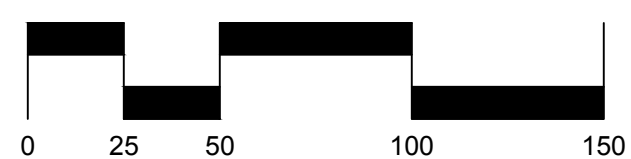
VERIFY EXISTING TURN-OUT LOCATIONS WITH CUWCD. ABANDON TURN-OUTS THAT FEED THE AMERICAN EAGLE READY MIX PROPERTY. WORK WITH THE NEIGHBORING PROPERTY OWNERS TO ENSURE PROPER ABANDONMENT. VERIFY PRIOR TO CONSTRUCTION STARTING.

ALL EXISTING IRRIGATION LINES AND SYSTEM NEEDS TO BE HOOKED BACK UP TO THE NEW SYSTEM THAT COMES OFF OF THE CITY METER BOX(ES)

EXISTING SEPTIC TANK TO BE REMOVED. EXISTING DRAINFIELD TO BE ABANDONED PER DEPARTMENT OF HEALTH RULES.

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PAUL D. BERG, P.E.  
 SERIAL NO. 295595  
 DATE: 4 MAR 2022



SCALE: 1"=50'

HEBER CITY ENGINEER APPROVAL

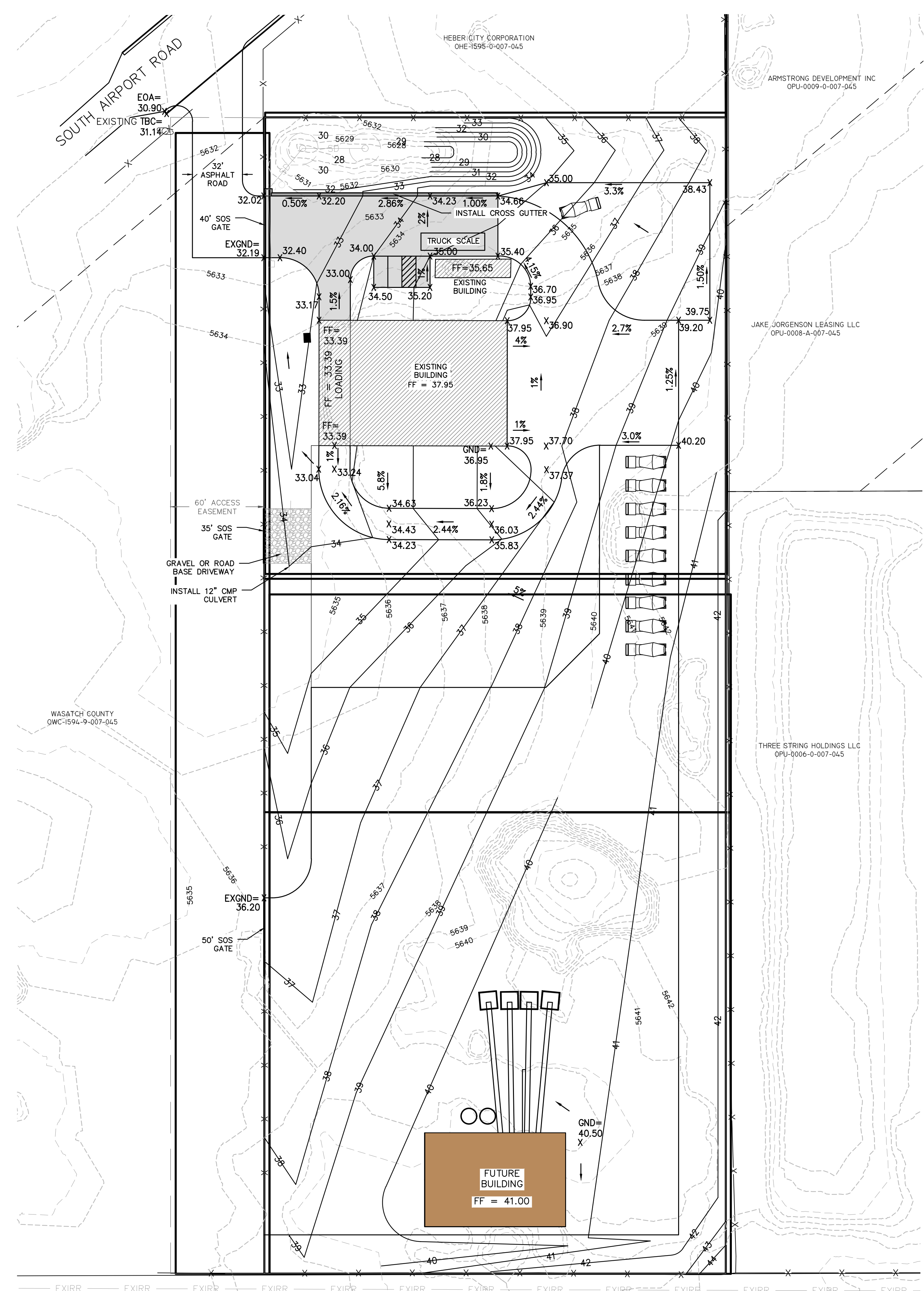
RUSSELL FUNK      DATE

DOUG CLEMENTS  
 AMERICAN EAGLE READY-MIX

UTILITY PLAN

380 E Main St. Suite 204  
 Midway, UT 84049  
 ph 435.657.9749

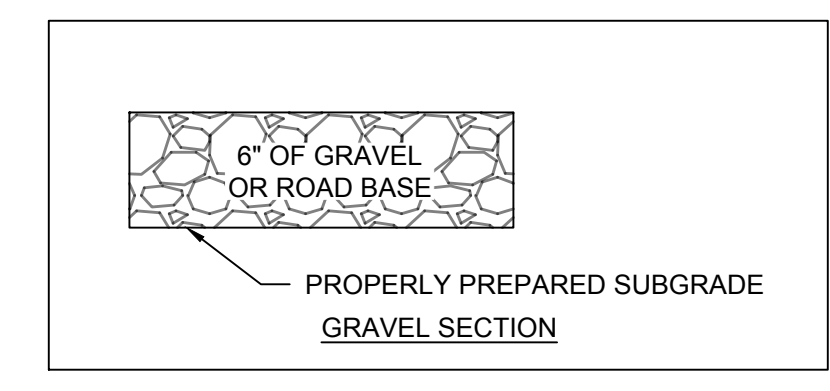
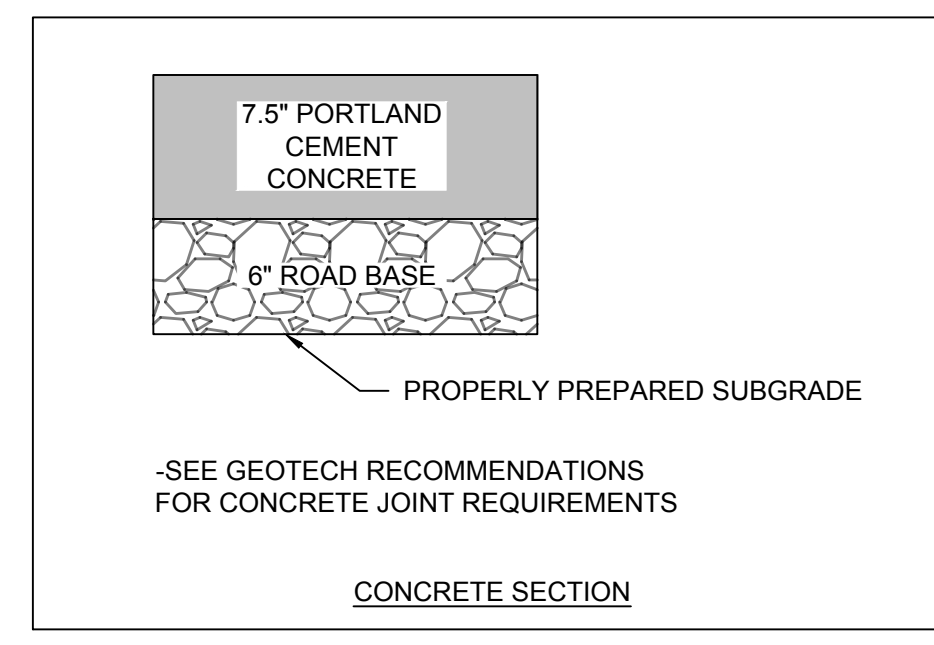
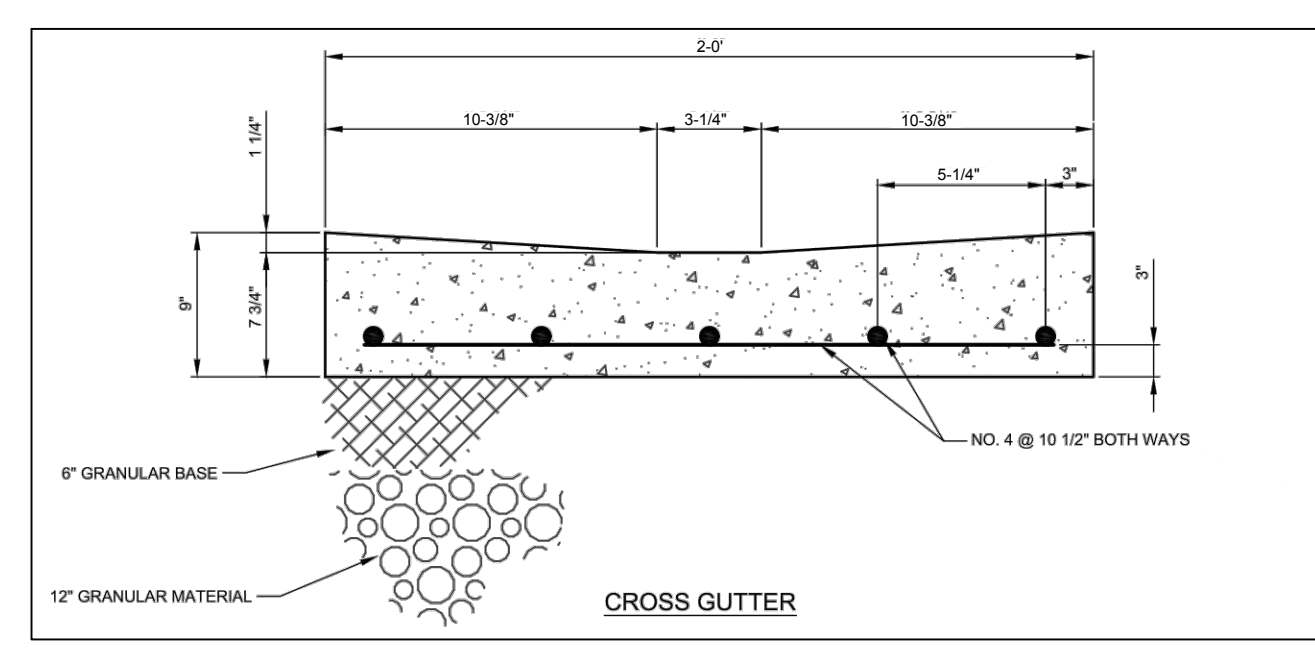
DESIGN BY: PDB      DATE: 4 MAR 2022  
 DRAWN BY: RHH      REV:      SHEET 5



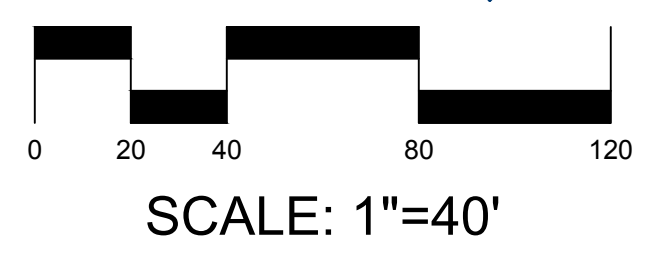
- LEGEND**
- SD PROPOSED STORM DRAIN
  - X SPOT ELEVATION
  - FF FINISHED FLOOR
  - GND GROUND ELEVATION
  - TBC TOP BACK OF CURB
  - EOA EXISTING EDGE OF ASPHALT
  - CONCRETE PAD
  - EXISTING BUILDING
  - PROPOSED BUILDING

**BLUE STAKE NOTE:**  
 • LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

- NOTES:**
1. CONTRACTOR TO CONFIRM USE OF THE EXISTING FOUNDATION AS A FOUNDATION WALL FOR GRADING PURPOSES WITH THE STRUCTURAL ENGINEER.
  2. GRADING TO COMPLY WITH RECOMMENDATION IN THE GEOTECH REPORT.
  3. ALL PAVING AND GRADING IMPROVEMENTS TO COMPLY WITH HEBER CITY SPECIFICATIONS.



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 PAUL D. BERG P.E.  
 SERIAL NO. 295595  
 DATE: 4 MAR 2022



DOUG CLEMENTS  
 AMERICAN EAGLE READY-MIX

GRADING AND PAVING PLAN

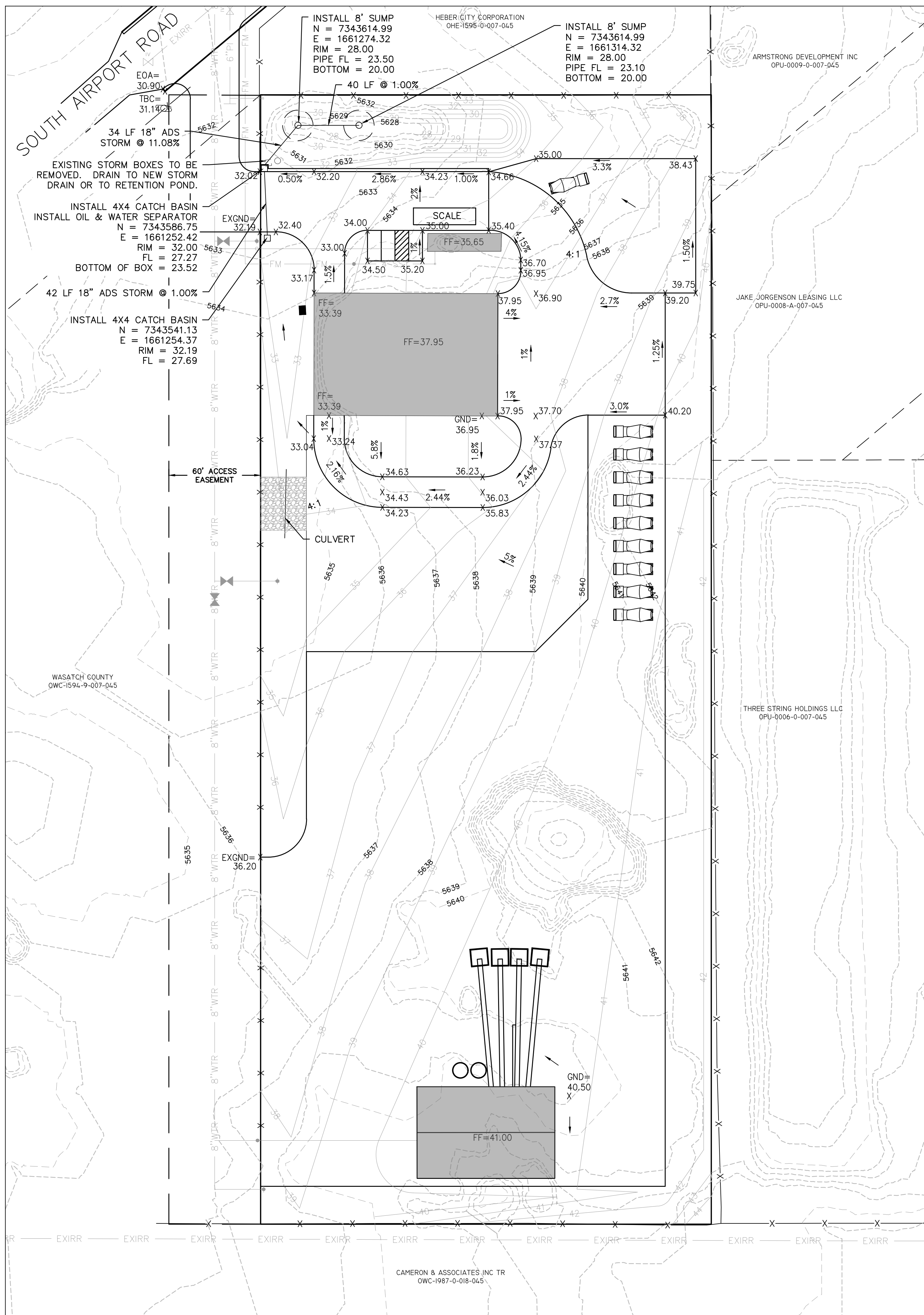
**BERG ENGINEERING**  
 380 E Main St. Suite 204  
 Midway, UT 84049  
 ph 435.657.9749

HEBER CITY ENGINEER APPROVAL  
 \_\_\_\_\_  
 RUSSELL FUNK DATE \_\_\_\_\_

DESIGN BY: PDB  
 DRAWN BY: RHI  
 DATE: 4 MAR 2022  
 REV: \_\_\_\_\_

SHEET  
**6**

Path: N:\Heber\Draws\Concrete\Plan\103\_Plan.dwg  
 File name: 103\_DRAWING AND PAVING PLAN.dwg | plot date: March 04, 2022 | plotted by: roner



**American Eagle Ready Mix  
Final Storm Runoff Calculations**

December 14, 2021  
Prepared by: Paul Berg, P.E.  
Berg Engineering

**Table 1 - Runoff Coefficients**

Drainage Area	Total Collected Area (acres)	Buildings (acres)	Concrete Driveways (acres)	Gravel Area (acres)	Xeriscape Area (acres)	Compsite Runoff Coefficient
Site	5.01	0.36	0.18	3.20	1.27	0.33

**Table 2 - 100 Year Runoff and Runoff Volume**

Time Period (min)	Rainfall Intensity (in/hr)	Drainage Area (acres)	Developed Runoff Coefficient	Peak Runoff Rate (cfs)	Total Runoff Volume (cf)
15	4.08	5.01	0.33	6.75	6,075
30	2.76	5.01	0.33	4.57	8,220
60	1.71	5.01	0.33	2.83	10,185
120	0.96	5.01	0.33	1.59	11,436
180	0.65	5.01	0.33	1.08	11,615
360	0.35	5.01	0.33	0.58	12,508
720	0.21	5.01	0.33	0.35	15,010
1440	0.13	5.01	0.33	0.22	18,583

A percolation rate of greater than 60 inches per hour was determined by AGECC.  
A percolation rate of 23 inches per hour was used for design.  
8' sump has a percolation rate of 0.278 cfs with a soils percolation rate of 23 inches per hour.  
8' sump has a volume of 855 cf.

**Table 3 - Retention Pond Design**

Time Period (min)	Total Runoff Volume (cf)	Design Percolation Rate (inches/hour)	2-8' Sump Volume (cf)	Percolation from Sump (cf)	Total Sump Capacity (cf)	Retention Storage Needed in Pond (cf)
15	6,075	23.0	1,710	500	2,210	3,865
30	8,220	23.0	1,710	1,001	2,711	5,509
60	10,185	23.0	1,710	2,002	3,712	6,474
120	11,436	23.0	1,710	4,003	5,713	5,723
180	11,615	23.0	1,710	6,005	7,715	3,900
360	12,508	23.0	1,710	12,010	13,720	0
720	15,010	23.0	1,710	24,019	25,729	0
1440	18,583	23.0	1,710	48,038	49,748	0

**Table 4 - Retention Pond Storage Volume**

Elevation (ft)	Pond Depth (ft)	Pond Area (sf)	Pond Volume (cf)	Pond Volume (acre-ft)
5628	0.0	761	0	0.00
5629	1.0	2,063	1,412	0.03
5630	2.0	3,168	4,028	0.09
5631	3.0	4,490	7,852	0.18
5632	4.0	5,922	13,053	0.30

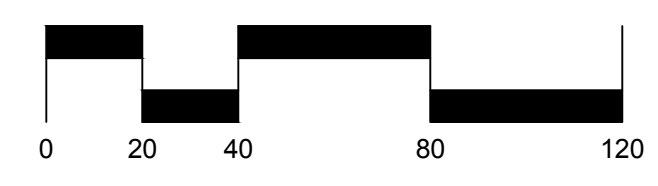
Holds 100 year - 24 hour storm  
1' of freeboard

- LEGEND**
- EXSS — EXISTING SEWER
  - SS — PROPOSED SEWER
  - EXW — EXISTING WATER
  - W — PROPOSED WATER
  - EXIRR — EXISTING PRESSURIZED IRRIGATION
  - PI — PROPOSED PRESSURIZED IRRIGATION
  - SD — PROPOSED STORM DRAIN
  - BUILDING FOOTPRINT

**BLUE STAKE NOTE:**  
• LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

**STORM DRAIN NOTES:**  
• ALL STORM DRAIN CONSTRUCTION TO MEET HEBER CITY STANDARDS.

**NOTES:**  
• ALL STORM WATER FROM THE PROPERTY WILL BE COLLECTED IN THE RETENTION POND AT THE NORTH END OF THE PROPERTY.  
• DRAINAGE SWALE ALONG WEST PROPERTY LINE TO REMAIN AT ALL TIMES TO CONVEY DRAINAGE TO THE POND. PROPERTY OWNER SHALL NOT FILL IN SWALE.



SCALE: 1"=40'

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PAUL D. BERG P.E.  
SERIAL NO. 295595  
DATE: 4 MAR 2022

HEBER CITY ENGINEER APPROVAL

RUSSELL FUNK DATE

DOUG CLEMENTS  
AMERICAN EAGLE READY-MIX

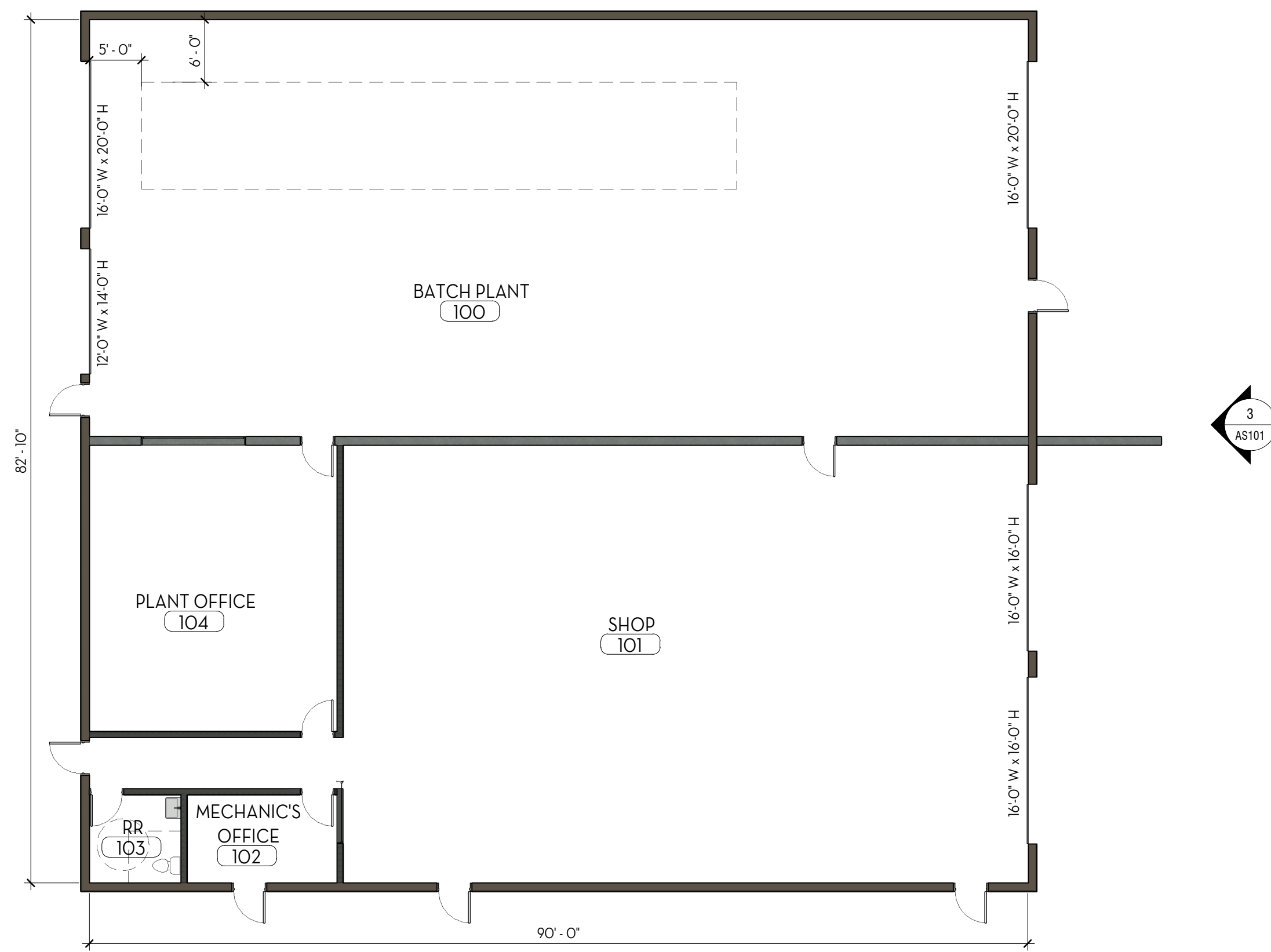
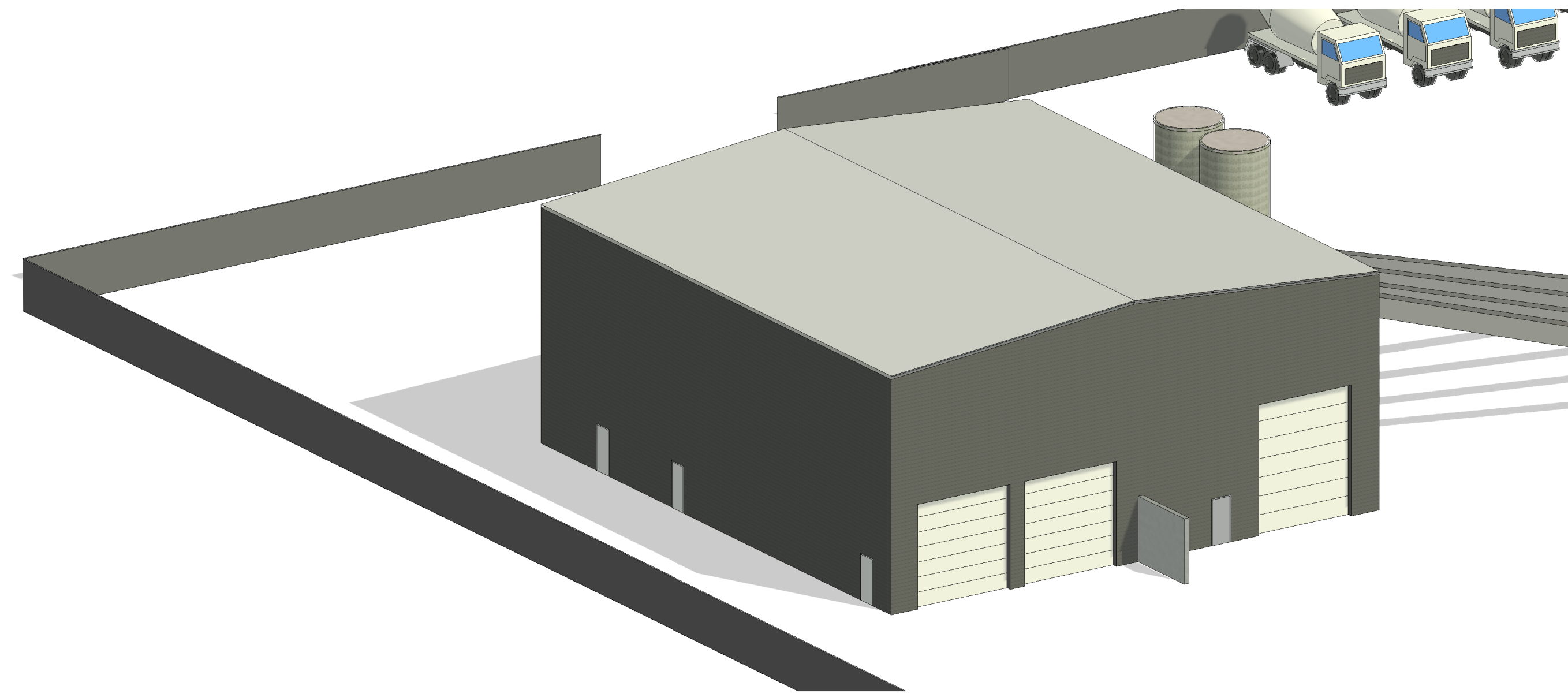
STORM DRAIN PLAN



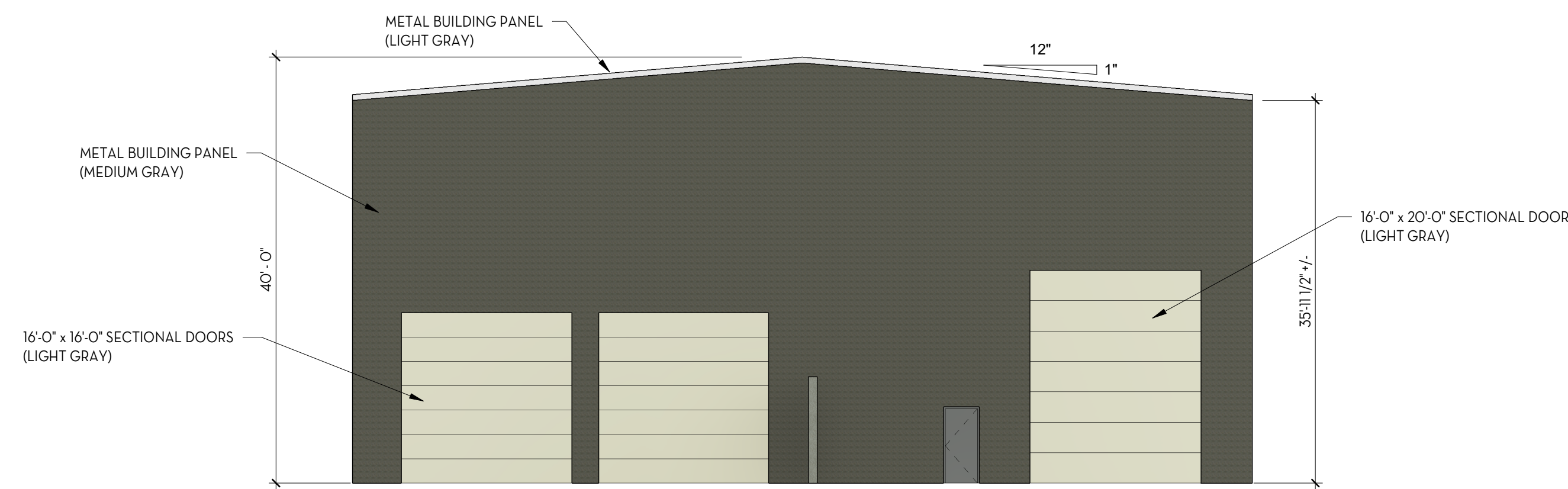
DESIGN BY: PDB DATE: 4 MAR 2022  
DRAWN BY: RHH REV: 7

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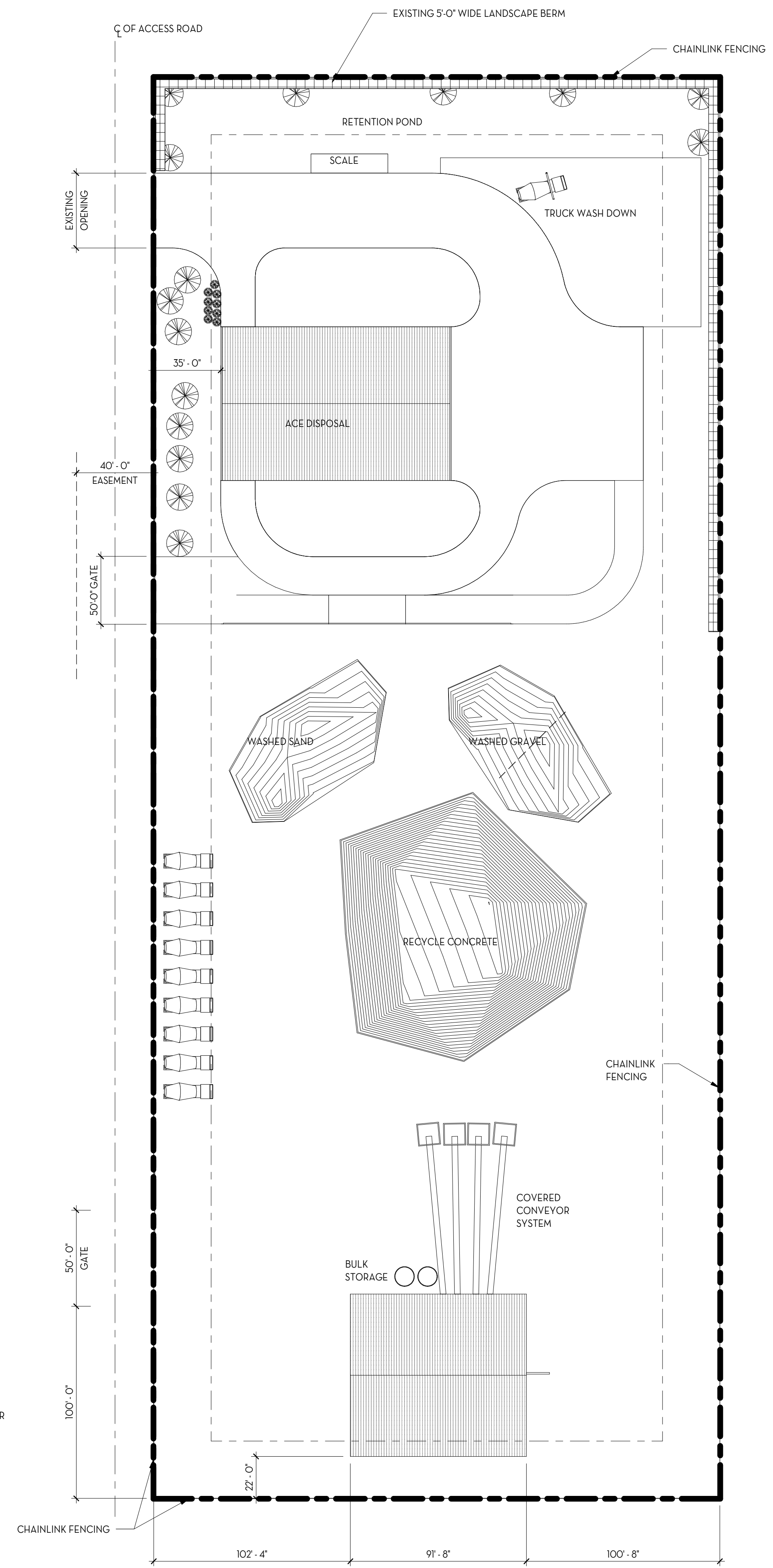




**2 BATCH PLAN FLOOR PLAN**  
AS101 3/32" = 1'-0"



**3 BATCH PLANT ELEVATION**  
AS101 3/32" = 1'-0"



**1 SITE PLAN**  
AS101 1" = 40'-0"

ARCHITECTURAL SITE PLAN

PROJECT AMERICAN EAGLE READY MIX- HEBER

CLIENT AMERICAN EAGLE READY MIX

ADDRESS HEBER CITY, UTAH

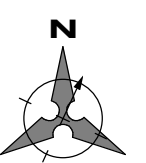
REVISIONS		
NO.	DATE	DESCRIPTION

ISSUED: 2/24/2022  
PROJECT #: 21-008  
DRAWN BY: act  
CHECKED BY: act

SHEET

ARCHITECTURAL  
SITE PLAN

AS101



REVISONS

NO.	DATE	DESCRIPTION

ISSUED: 2/24/2022  
PROJECT #: 21-008  
DRAWN BY: RS  
CHECKED BY: AP

SHEET

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
WP	WP	28	Lithonia Lighting	DSXW2 LED 30C 700 40K T3M MVOLT	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LEDs, 700mA DRIVER, 4000K LED, TYPE 3 MEDIUM OPTIC	1	8199	1	71
PL2	PL2	2	Lithonia Lighting	RSX2 LED P2 40K R5	RSX Area Fixture Size 2 P2 Lumen Package 4000K CCT Type R5 Distribution	1	17660	1	114.07
PL	PL	2	Lithonia Lighting	RSX3 LED P2 40K R3	RSX Area Fixture Size 3 P2 Lumen Package 4000K CCT Type R3 Distribution	1	30183	1	222.88
PL3	PL3	1	Lithonia Lighting	RSX2 LED P2 40K R3 HS	RSX LED Area Luminaire Size 2 P2 Lumen Package 4000K CCT Type R3 Distribution with HS shield	1	12074	1	114.07

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Fence Line	+	0.5 fc	2.6 fc	0.0 fc	N/A	N/A
Site	+	1.3 fc	8.5 fc	0.0 fc	N/A	N/A

### D-Series Size 2 LED Wall Luminaire

**Specifications**  
 EPA (lm/W): 110  
 Length: 18.5" (468 mm)  
 Width: 3.5" (89 mm)  
 Height: 7.5" (190 mm)  
 Depth: 1.5" (38 mm)  
 Weight (max): 2.1 lbs (0.95 kg)

**Ordering Information**  
 EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT CORTXO

Code	Parameter	Value	Description	Notes
DSXW2	Series	DSXW2	DSXW2 Series	DSXW2 Series
30C	Color	30C	30C Color	30C Color
700	Temp	700	700 Temp	700 Temp
40K	Temp	40K	40K Temp	40K Temp
T3M	Temp	T3M	T3M Temp	T3M Temp
MVOLT	Temp	MVOLT	MVOLT Temp	MVOLT Temp
CORTXO	Temp	CORTXO	CORTXO Temp	CORTXO Temp

### RSX3 LED Area Luminaire

**Specifications**  
 EPA (lm/W): 110  
 Length: 33.0" (838 mm)  
 Width: 16.1" (409 mm)  
 Height: 3.0" (76 mm)  
 Weight (max): 46.0 lbs (20.9 kg)

**Ordering Information**  
 EXAMPLE: RSX3 LED P4 40K R3 MVOLT SPA DDDXO

Code	Parameter	Value	Description	Notes
RSX3	Series	RSX3	RSX3 Series	RSX3 Series
P4	Temp	P4	P4 Temp	P4 Temp
40K	Temp	40K	40K Temp	40K Temp
R3	Temp	R3	R3 Temp	R3 Temp
MVOLT	Temp	MVOLT	MVOLT Temp	MVOLT Temp
SPADDDXO	Temp	SPADDDXO	SPADDDXO Temp	SPADDDXO Temp

### RSX2 LED Area Luminaire

**Specifications**  
 EPA (lm/W): 110  
 Length: 29.3" (744 mm)  
 Width: 13.4" (340 mm)  
 Height: 3.0" (76 mm)  
 Weight (max): 30.0 lbs (13.6 kg)

**Ordering Information**  
 EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DDDXO

Code	Parameter	Value	Description	Notes
RSX2	Series	RSX2	RSX2 Series	RSX2 Series
P6	Temp	P6	P6 Temp	P6 Temp
40K	Temp	40K	40K Temp	40K Temp
R3	Temp	R3	R3 Temp	R3 Temp
MVOLT	Temp	MVOLT	MVOLT Temp	MVOLT Temp
SPADDDXO	Temp	SPADDDXO	SPADDDXO Temp	SPADDDXO Temp

### RSX2 LED Area Luminaire

**Specifications**  
 EPA (lm/W): 110  
 Length: 29.3" (744 mm)  
 Width: 13.4" (340 mm)  
 Height: 3.0" (76 mm)  
 Weight (max): 30.0 lbs (13.6 kg)

**Ordering Information**  
 EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DDDXO

Code	Parameter	Value	Description	Notes
RSX2	Series	RSX2	RSX2 Series	RSX2 Series
P6	Temp	P6	P6 Temp	P6 Temp
40K	Temp	40K	40K Temp	40K Temp
R3	Temp	R3	R3 Temp	R3 Temp
MVOLT	Temp	MVOLT	MVOLT Temp	MVOLT Temp
SPADDDXO	Temp	SPADDDXO	SPADDDXO Temp	SPADDDXO Temp

