

NOTICE OF MEETING
HISTORIC PRESERVATION COMMISSION
CITY OF ST. GEORGE
WASHINGTON COUNTY, UTAH

Public Notice

Notice is hereby given that the Historic Preservation Commission of the City of St. George, Washington County, Utah, will hold a regular meeting at the City Hall Conference Room, 175 East 200 North, St. George, Utah on Wednesday, **February 16, 2022**, commencing at **12:00 p.m.**

The agenda for the meeting is as follows:

CALL TO ORDER

1. **LANDMARK REHABILITATION**

Consider a request to modify the exterior of a significant historical building – The Pymm House - located at 50 East Tabernacle

2. **LANDMARK SITE DESIGNATION**

Consider a request to designate the home at 295 South Main Street as a landmark site to be known as the Miner Heber Prisbrey

3. **MINUTES**

Consider approval of the October 20, 2021 meeting minutes.

ADJOURN

Brenda Hatch, Development Office Supervisor

Reasonable Accommodation: The City of St. George will make efforts to provide reasonable accommodations to disabled members of the public in accessing City programs. Please contact the City Human Resources Office at (435) 627-4674 at least 24 hours in advance if you have special needs.

HISTORIC PRESERVATION COMMISSION AGENDA REPORT: **02/16/2022**

Pymm House and 50 E Tabernacle – Rehabilitation Historic Landmark Rehabilitation (Case No. 2022-HPC-001)	
Request:	To consider a request to rehabilitate the Pymm house and 50 East Tabernacle.
Applicant:	Jeff Perrick
Representative:	Jeff Perrick
Location:	44 and 50 East Tabernacle
General Plan:	COM (Commercial)
Zoning:	C-4 (Central Business District Commercial)
Land Area:	Approximately 0.05 acres



BACKGROUND:

The applicant is seeking a recommendation of approval to do some rehabilitation work on the Pymm House which is a local historical landmark and the adjacent building at 50 E. Tabernacle Street. The Pymm House was originally used as the St. George Post Office. Since the post office changed locations, this building has been used for various commercial purposes. The building at 50 East Tabernacle is a much more recent building. It has been used for commercial purposes and the exterior of this building has been made to look as if it is connected to the Pymm House. Both buildings have gone through many renovations over the years. However, it has been determined that the renovations to the Pymm House have completely replaced the exterior of this building. The applicants are proposing to reconstruct the façade of this building so that it matches up with historical pictures of the Pymm House. The proposed remodel of the 50 E. Tabernacle building will remove the current façade and replace it with a more contemporary look keeping the two buildings separate. Please refer to the attached narrative and illustrations to view the changes proposed.

The following is a list of the repair-work that will be completed by the applicant on these two buildings:

Pymm House

1. Demolish and remove the existing north façade. None of the details or materials are original to the historic building so we don't believe there is value in trying to repair or restore any of these existing items.
2. Reconstruct the north façade to match historic photos as closely as possible (please refer to comparison images provided with this submittal).
3. Molding and millwork details will be constructed with poly-ash composite trim to prevent dry rot, maintenance, termite, and other issues common in exterior wood details.
4. Historically the windows were likely single pane fixed wood windows. We would like to instead use architectural steel windows and doors consistent with the historic period of construction.
5. Shore up existing masonry walls and foundation as required for public safety and building longevity.
6. Shore up and/or replace the existing floor structure as required for public safety and building longevity.
7. Expose existing trusses and make them an architectural feature of the new space. Currently, OSB roof sheathing is visible above the trusses from a more recent re-roof. This will be replaced with painted tongue and groove paneling which more closely resembles the lath which would have originally been used.
8. Perform asbestos abatement.
9. Replace all mechanical, plumbing, and electrical systems as required for public safety and building longevity.
10. Roof replacement will likely be necessary. The current roof is asphalt shingles. Since the roof is not visible from the street, we will replace with the like.
11. Additional proposed exterior materials, colors, and details have been noted on

the attached elevations.

50 E Tabernacle

1. Remove the north façade and separate the two building facades.
2. Since this building is a more modern addition, we would like to create a more contemporary look that will differentiate it from the Pymm House and surrounding buildings.
3. Increase north parapet height from 16'-0" to 20'-0". In doing so, we will also raise the height of the façade to relate more with the adjacent Cappelettis and Electric Theater buildings.
4. Use of traditional materials including traditional bond pattern brick and stucco in addition to modern materials including corten or corten-look steel and shou sugi ban vertical wood paneling.
5. Roof replacement will likely be necessary. Currently it is a sheet asphalt material. It will be replaced with a PVC membrane roof with new bracing and crickets as required for the raised parapet height.
6. Windows and doors on the north façade will be architectural steel to match and tie into the adjacent Pymm House.
7. Additional proposed exterior materials, colors, and details have been noted on the attached elevations.
8. Existing CMU block will be cleaned, repaired, and painted.

The rehabilitation guidelines for significant historic buildings (10-13E-1D) are found below:

D. Rehabilitation Guidelines for Significant Historic Buildings: Rehabilitation of significant historic buildings shall comply with the guidelines set forth herein and, in addition, all applicable statutes, codes and ordinances, as amended from time to time, relating to the use, maintenance, construction and occupancy of the property.

- 1. Standards: All improvements to landmark sites shall be in accord with the general and specific standards for historic preservation as prepared by the Secretary of the Interior, and in harmony with the architectural character of the neighborhood.*
- 2. Additions: Whenever possible, new additions or adaptive reuse to structures shall be done in such a manner that if such additions or changes were to be removed in the future, the essential form and integrity of the structure would not be impaired.*
- 3. Parking and Access: Off-street parking, loading facilities and pedestrian access shall be designed so as not to create conflicting movement. All other areas*

other than driveways, parking areas, walks and terraces shall be appropriately landscaped and provided with appropriate trees and shrubbery.

- 4. Accessory Structures: Accessory structures shall be improved to harmonize with any redevelopment of the primary structure.*
- 5. Restoration of Exterior Façades: Restoration of all exterior façades, including the side and rear façade, shall be in keeping with the objectives herein. Roofline, windows and exterior facing materials shall all be considered. Adjoining buildings in separate or the same ownership shall be rehabilitated so as to carry out a unified concept.*
- 6. Harmony of Materials, Techniques and Colors: Materials, techniques and colors must conform to and harmonize with original materials and techniques. To this end, the emphasis should be, where practical, on correct period sash, doors, cornices, wall materials and signs and the removal of present-day anachronisms, such as defacing or out-of-scale contemporary features. The general requirements shall apply particularly to visible surfaces on the exterior. New work adjoining old must be carefully blended to minimize the separation, unless, in the opinion of qualified architectural experts, it is better to make the joining areas obvious and thereby emphasize the qualities of the original work.*
- 7. Patching: When repairing or replacing masonry details, decorations or parapet walls, care should be taken to prevent an obvious and unsightly patch. Materials, joints, etc., should match the original as closely as possible in composition, color and texture. For additional information on repairing masonry walls, see the Preservation Brief No. 2, prepared by the Technical Preservation Services Division of the United States Department of the Interior.*
- 8. Fake Details and Decorations: Fake “historic” details, decorations and other additions should be avoided.*
- 9. Anchoring: Sagging details, decorations, cornices, string courses, lintels, arches, pilasters, and parapet walls should be firmly reanchored. The original height of the parapet wall should not be modified.*
- 10. Repair or Replacement of Architectural Details: Deteriorated building details should be repaired rather than replaced whenever possible. Repair or replacement of missing architectural decorations and details should be based on accurate duplications, substantiated by historical, physical or pictorial evidence rather than on conjectural design. In the event replacement is necessary, the new material should match the original material in composition, design, color and texture.*
- 11. Painting: Heavy or numerous coats of paint, or paint in the wrong color, that obscures architectural decorations and details should be removed before repainting. Refer to Preservation Brief No. 10, Exterior Paint Problems on*

Historic Woodwork, by the Technical Preservation Services Division of the United States Department of the Interior.

12. Fixtures: Hardware and lighting fixtures, where practical, shall be selected with care to conform to authentic work of the period, and to match remaining originals where such exist.

13. Ornaments: If the original or significant detail no longer exists or is too deteriorated to save, it is recommended that a contemporary design be undertaken which is compatible with the rest of the building in scale, design, materials, color and texture. An alternative might be to undertake an accurate restoration based on historical research and physical evidence. Where an original or significant detail no longer exists and no evidence exists to document its early appearance, it is generally preferable to undertake a contemporary detail that retains the historic "flavor" of the building.

14. Materials:

- a. Original building wall material should not be covered with any form of inappropriate siding. Where this has already occurred, the inappropriate siding should be removed and the original wall material restored;*
- b. Masonry facings shall be cleaned and painted as necessary. Sandblasting is forbidden without prior approval of the historic preservation commission. All repointing, when necessary, shall be done according to the specifications set by Preservation Brief No. 2, Repointing Mortar Joints in Historic Brick Buildings, by the Heritage Conservation and Recreation Service, United States Department of the Interior;*
- c. Recommended materials for rehabilitation of masonry buildings include traditional bond pattern, such as running bond or Flemish bond, not stack bond. Clay facing tile may be used if the face size of the tile is that of standard brick and if the bond pattern is typical of contributing buildings in the neighborhood;*
- d. The imitation of stone veneer or brick, using stucco, prefabricated plastic, plywood and/or fiber panels is not acceptable, unless documented through historic or pictorial evidence;*
- e. Asphalt or wood shingled awnings and diagonal sided panels are not acceptable;*
- f. Vinyl or aluminum panels imitating clapboard or wood siding are not acceptable;*
- g. Glazing shall be clear, nonreflective, and untinted. Double-glazed insulating glass or materials such as acrylic or high-impact polycarbonate panels are permissible;*

- h. Wall surfaces that have not been painted should remain unpainted.*

15. Color:

- a. Color for all rehabilitation work must blend with the existing exterior residential color palette. If any new brick is used for rehabilitation work, it must be similar in texture, effect and color to the original brick. Stucco color for exterior walls shall be similar in tone to the muted pastels typical of historic pioneer stucco buildings or shall blend with the natural tones of the surrounding geology reflected on the exterior of adjacent buildings;*
- b. White and off-white may be used on decorative elements such as lintels, sills and cornices. Bright colors are not appropriate for major architectural elements such as building walls. However, when used sparingly in fine lines, such as on the wood trim of a storefront, a brighter color than that of the building face will be allowed to enhance a particular color scheme;*
- c. Metallic finishes generally are not allowed, except when used in such treatments as painted-gold or bronze-toned lettering on storefront glass;*
- d. A simple color scheme of up to no more than three (3) exterior colors is required.*

16. Mechanical Equipment:

- a. Radio, television, telephone and/or other telecommunication equipment, such as antennas or satellite “dishes” and ancillary systems, cables, junction boxes and the like, shall be placed behind or within suitable visual barriers in such a way that it is not visible from the streets;*
- b. Heating and air conditioning equipment, including cooling units, blowers, exhaust fans, ducts and/or ancillary systems, support units, brackets, wiring, junction boxes and the like, shall be properly screened or installed behind or within suitable visual barriers.*

17. New Construction: *The guidelines in this section are to be used by those planning new construction. Their purpose is to reinforce and enhance the historic architectural character of the neighborhood by encouraging compatible new construction. The guidelines do this by describing and illustrating certain design concepts found in the historic architecture of the neighborhood; concepts which can be applied in the design of new structures.*

18. Considerations: *The historic preservation commission will consider design concepts other than those recommended in these guidelines when necessary to promote design concepts found in the historic architecture of the neighborhood. However, in order for a design to be considered for exceptional review, it must not include the use of elements that are designated as inappropriate in the guidelines.*

19. *Siting: The ground floor of new structures should relate to the pedestrian's human scale and continue to display the siting of neighboring structures.*

20. *Scale:*

- a. *Of the many criteria that must be considered when designing new buildings for the neighborhood, by far the most important is the scale of the new building and its relationship to the scale of the neighborhood;*
- b. *Just as the relationship of a new structure to the buildings on its block is important, so is it important that the elements within its façade be appropriately scaled. The scale of these elements should recall those of neighboring structures.*

21. *Width of Building: Building widths have a major impact upon the perception of the scale of a building. The apparent widths of the front façades of new buildings should correspond to typical widths of the buildings on the same block. A long façade should be broken into separate elements to suggest façade widths or bays similar to those of neighboring buildings.*

22. *Windows: Original windows in the older buildings are predominantly wood double-hung type. A sash pattern of one over one (1/1), that is, one (1) undivided framed pane above a similar pane, is the most common type. In new construction, one over one (1/1) type is required, unless the majority of windows in adjacent structures facing the streetscape clearly indicates otherwise. The pattern of a one over one (1/1) window may be achieved by the use of fixed glass, with three (3) conditions:*

- a. *The window frame replicates the proportions of a typical double-hung window sash;*
- b. *No unpainted clear aluminum is used for the frame; and*
- c. *The window frame is of similar cross-sectional size to that of double-hung windows typical of the neighborhood.*

23. *Ornament: The ornamental details shall be compatible and in scale with those used in the streetscape.*

24. *Color: Approved color schemes appropriate for the neighborhood are required.*

- a. *Muted background colors are required for the majority of the building surfaces;*
- b. *Up to two (2) complementary accent colors may be used in addition to the background color;*

- c. Finished Wood Surfaces: The rustic or bare wood look is not allowed;*
- d. The natural color of stone or brick may not be painted;*
- e. Roofs must be a neutral or muted brown or gray. (Ord. 2019-10-002, 10-10-2019)*

RECOMMENDATION:

Staff recommends this Commission go through each item and determine the appropriateness on each item before making a recommendation to staff.

EXHIBIT A
Applicant's Narrative



Matt Metcalf Architecture, PLLC
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mattmetcalfarch@gmail.com
(435) 229-6849

APPLICATION TO THE HISTORIC PRESERVATION COMMISSION FOR REHABILITATION OF A SIGNIFICANT HISTORIC BUILDING(S) IN THE CITY OF ST. GEORGE, UTAH

Overview:

This project consists of two parcels:

- A. SG-246 located at 44 E. Tabernacle St, historically known as the Pymm House.
- B. SG-247 located east/adjacent to the Pymm House at 50 E. Tabernacle St. This property appears to have been constructed in the last 50 years and has since been joined to the Pymm House via a set of double doors on the east wall of the Pymm House.

We are proposing to do a full renovation of both spaces and bring each up to modern codes and compliance. We are proposing to remove and rebuild the north facades on each building, bringing the Pymm House back to its original design, and creating a new, contemporary façade for the adjacent building.

Narrative:

Pymm House

The historic Pymm House was originally used as the post office for St. George. It has since been used primarily as a retail space, most recently as a yoga studio. We intend to continue use as an office/retail space which is consistent with adjacent uses along Tabernacle Street.

Much of the historic features original to the Pymm house have been lost due to previous renovations and alterations. Based on investigation of the existing building as well as historic photographs, it is believed that the current façade has been completely rebuilt in the last 50 year and is not true to the original design, scale, materials, and character of the original. The original architectural features that remain appear to be the exterior walls (east, south, and west), stacked rock foundation and floor structure, and possibly the roof trusses.

Our intent is to preserve the remaining historic features of the Pymm House and reconstruct façade to match historic photographs by doing the following:

1. Demolish and remove the existing north façade. None of the details or materials are original to the historic building so we don't believe there is value in trying to repair or restore any of these existing items.
2. Reconstruct the north façade to match historic photos as closely as possible (please refer to comparison images provided with this submittal).
3. Molding and millwork details will be constructed with poly-ash composite trim to prevent dry rot, maintenance, termite, and other issues common in exterior wood details.

4. Historically the windows were likely single pane fixed wood windows. We would like to instead use architectural steel windows and doors consistent with the historic period of construction.
5. Shore up existing masonry walls and foundation as required for public safety and building longevity.
6. Shore up and/or replace the existing floor structure as required for public safety and building longevity.
7. Expose existing trusses and make them an architectural feature of the new space. Currently, OSB roof sheathing is visible above the trusses from a more recent re-roof. This will be replaced with painted tongue and groove paneling which more closely resembles the lath which would have originally been used.
8. Perform asbestos abatement.
9. Replace all mechanical, plumbing, and electrical systems as required for public safety and building longevity.
10. Roof replacement will likely be necessary. The current roof is asphalt shingles. Since the roof is not visible from the street, we will replace with the like.
11. Additional proposed exterior materials, colors, and details have been noted on the attached elevations.

50 E. Tabernacle

This building appears to have been constructed in the last 50 years due to the materials and construction used. It has painted CMU brick exterior walls and slab on grade construction. The façade of this building was added to the Pymm House to give the appearance of a single building façade. The scale and detailing of this façade is not consistent with historic photographs and is not balanced or aesthetically pleasing.

Our intent is to do the following:

1. Remove the north façade and separate the two building facades.
2. Since this building is a more modern addition, we would like to create a more contemporary look that will differentiate it from the Pymm House and surrounding buildings.
3. Increase north parapet height from 16'-0" to 20'-0". In doing so, we will also raise the height of the façade to relate more with the adjacent Cappelettis and Electric Theater buildings.
4. Use of traditional materials including traditional bond pattern brick and stucco in addition to modern materials including corten or corten-look steel and shou sugi ban vertical wood paneling.
5. Roof replacement will likely be necessary. Currently it is a sheet asphalt material. It will be replaced with a PVC membrane roof with new bracing and crickets as required for the raised parapet height.
6. Windows and doors on the north façade will be architectural steel to match and tie into the adjacent Pymm House.
7. Additional proposed exterior materials, colors, and details have been noted on the attached elevations.
8. Existing CMU block will be cleaned, repaired, and painted.

Parking for the buildings will remain unchanged as the use and square footage of the buildings will stay the same. Currently only street parking is provided, approximately 4 stalls total. Since the building occupy $\pm 90\%$ of their lot footprint, it is not possible to increase parking. The existing driveway to the east as well as pedestrian access to the north will remain unchanged.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Matt Metcalf', with a stylized, cursive script.

Architect, Matt Metcalf Architecture, PLLC

EXHIBIT B
Applicant's Illustrations

TENANT SPACE RENOVATION

50 E. TABERNACLE ST.
ST. GEORGE, UT 84770

JANUARY 12, 2022



MATT METCALF ARCHITECTURE, PLLC
435.229.6849
mattmetcalfarch@gmail.com

ARCHITECT STAMP

REVISIONS

No.	Description	Date

PROJECT TEAM

OWNER: G-COMPANIES
DOUG GLENDENNING
(435) 656-0488

ARCHITECT: MATT METCALF ARCHITECTURE, PLLC
MATT METCALF
(435) 229-6849
mattmetcalfarch@gmail.com

PYMM HOUSE
50 E. TABERNACLE ST.
ST. GEORGE, UT 84770

VICINITY MAP



SCOPE OF WORK

REHABILITATION OF THE TWO HISTORIC RETAIL STORES THAT FRONT ONTO TABERNACLE STREET.

USE TO REMAIN UNCHANGED AS OFFICE / RETAIL SPACE.

DEMOLISH NORTH FACADES OF BOTH BUILDINGS AS WELL AS COMPLETE INTERIOR RENOVATION EXPOSING TRUSSES OF 44 E. TABERNACLE.

NEW FACADES TO BE CONSTRUCTED:

A. 44 E. TABERNACLE FACADE TO BE RECONSTRUCTED TO MATCH HISTORIC PHOTOGRAPHS AS CLOSELY AS POSSIBLE.

B. 50 E. TABERNACLE FACADE TO BE RECONSTRUCTED IN A CONTEMPORARY STYLE COMPLIMENTING BOTH THE DESIGN AND SCALE OF TABERNACLE STREET.

CODE ANALYSIS

PARCEL ID: SG-246
SG-247

ZONE: C4

BUILDING USE: OFFICE / RETAIL

OCCUPANCY TYPE: B

CONSTRUCTION TYPE: VB

STORIES ABOVE GRADE: 1

LOT AREA:

SG-246: 1,064 SQ. FT.

SG-247: 1,172 SQ. FT.

TOTAL: 2,236 SQ. FT.

ALLOWABLE HEIGHT: 50'-0"

ACTUAL HEIGHT: 21'-8"

ALLOWABLE LOT COVERAGE: 100%

ACTUAL LOT COVERAGE:

SG-246: 95%

SG-247: 87%

AREA:

SG-246: 1,005 SQ. FT.

SG-247: 1,015 SQ. FT.

TOTAL: 2,020 SQ. FT.

COVER
SHEET

PROJECT NUMBER 21-017
DATE ISSUED 2021.1.12

G001



ARCHITECT STAMP

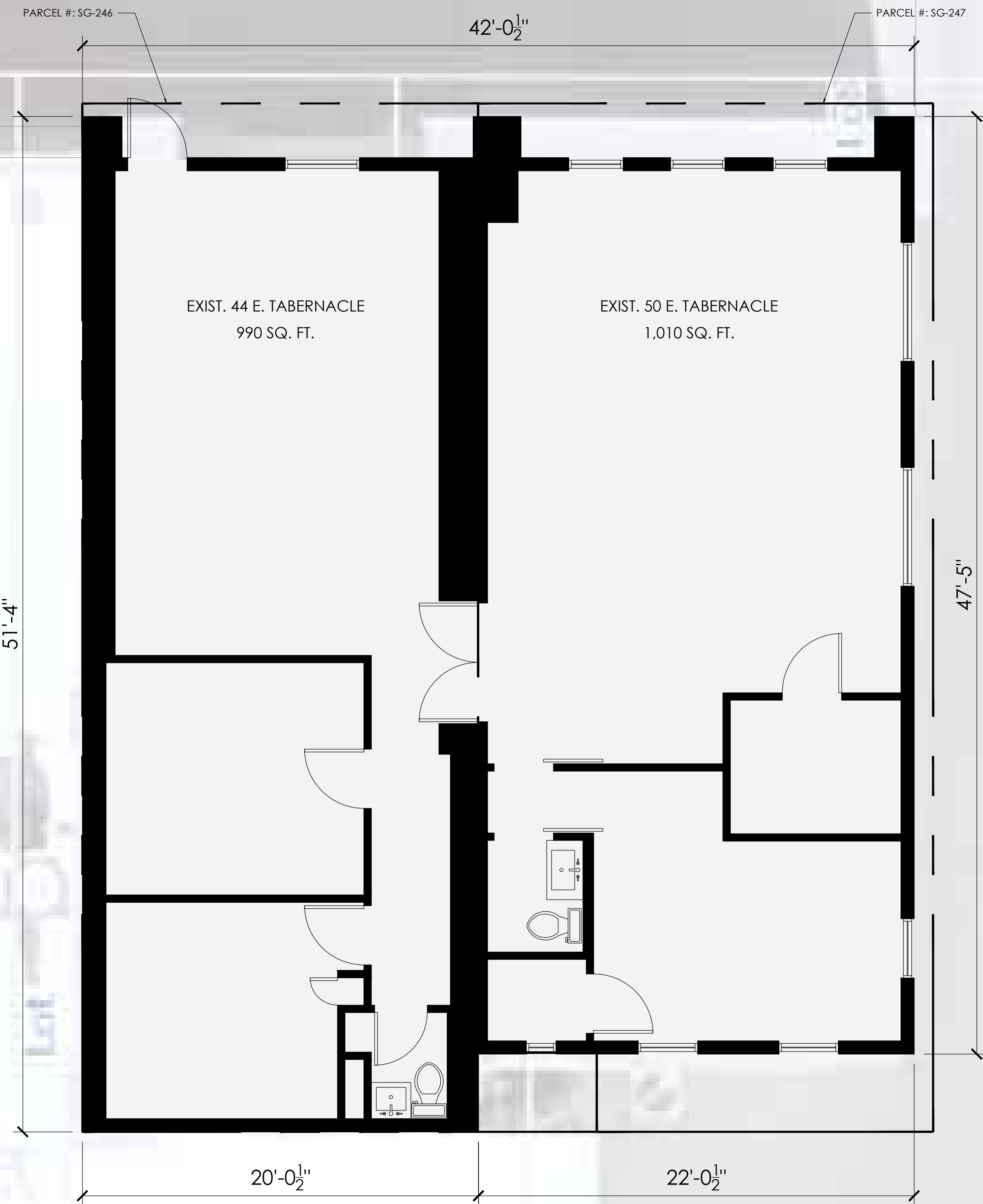
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PYMM HOUSE
50 E. TABERNACLE ST.
ST. GEORGE, UT 84770

EXISTING FLOOR PLAN

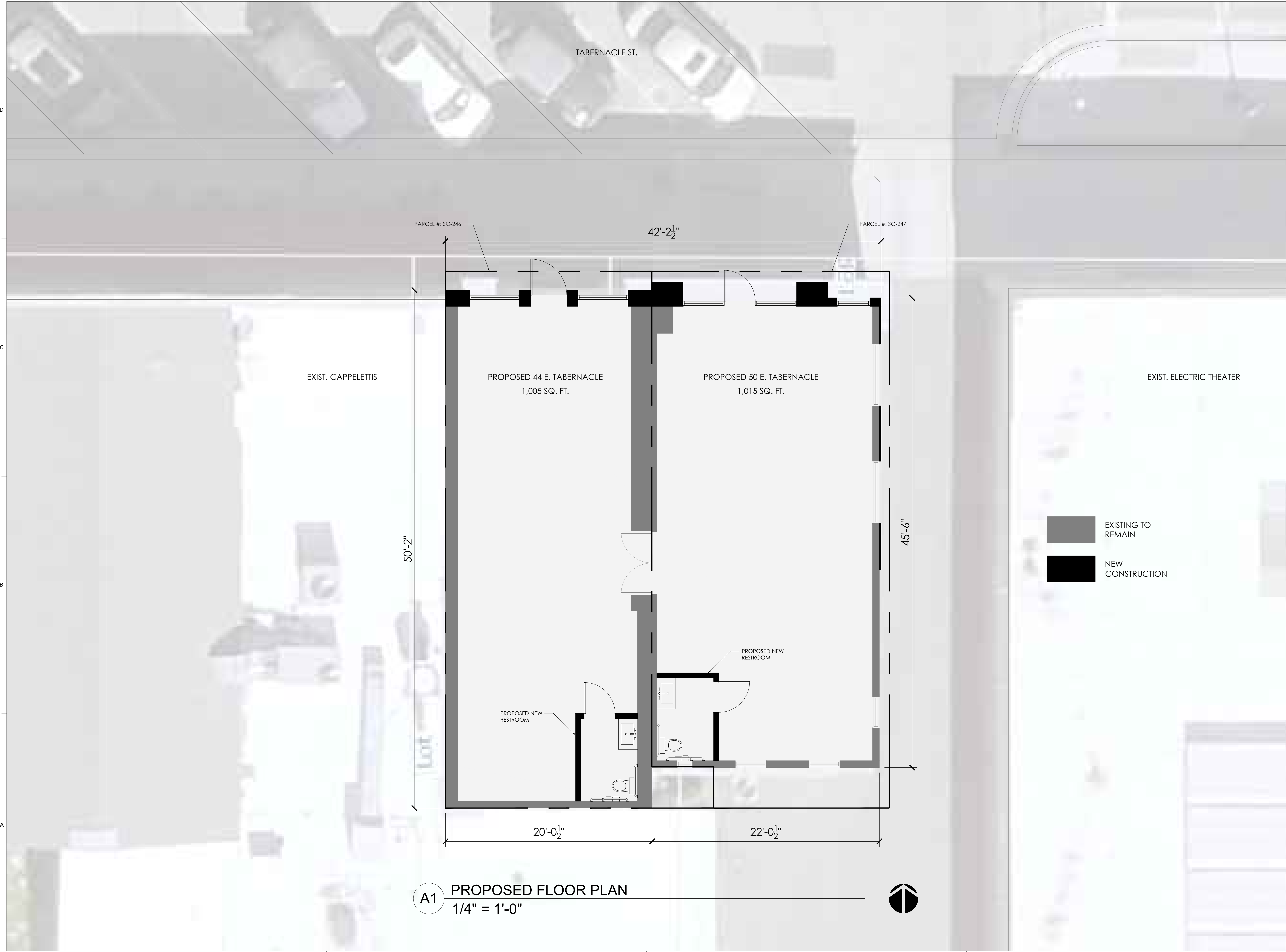
PROJECT NUMBER	21-017
DATE ISSUED	2021.1.12

A101



A1 EXISTING FLOOR PLAN
1/4" = 1'-0"





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No.	Description	Date

PYMM HOUSE
50 E. TABERNACLE ST.
ST. GEORGE, UT 84770

PROPOSED
FLOOR PLAN

PROJECT NUMBER	21-017
DATE ISSUED	2021.1.12

A102

A1 PROPOSED FLOOR PLAN
1/4" = 1'-0"





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No.	Description	Date

PYMM HOUSE
50 E. TABERNACLE ST.
ST. GEORGE, UT 84770

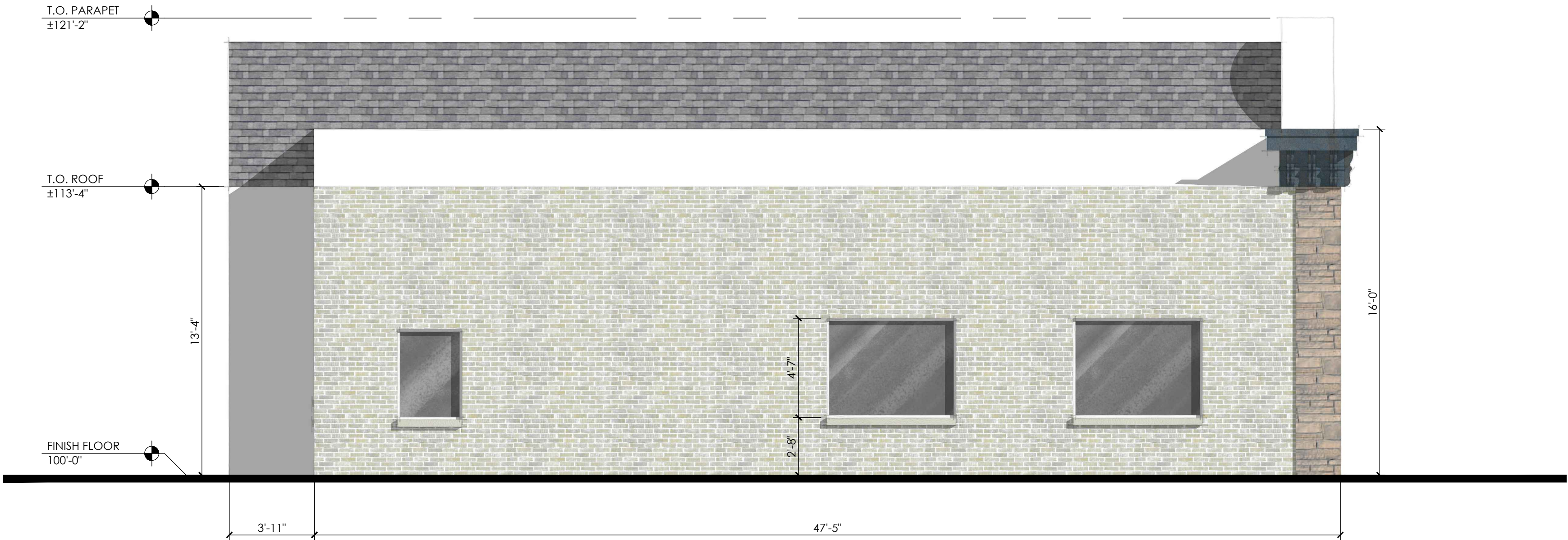
EXISTING
EXTERIOR
ELEVATIONS

PROJECT NUMBER	21-017
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A201



B1 EXISTING NORTH ELEVATION
1/4" = 1'-0"



A1 EXISTING EAST ELEVATION
1/4" = 1'-0"



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PYMM HOUSE
50 E. TABERNACLE ST.
ST. GEORGE, UT 84770

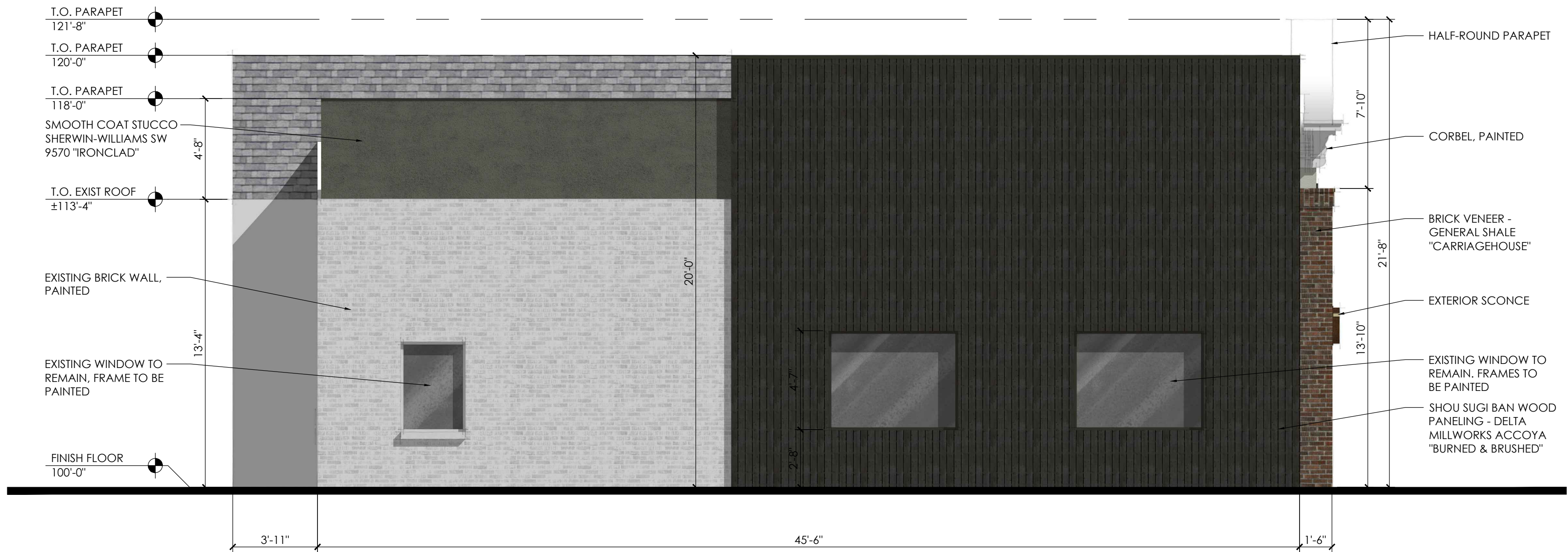
PROPOSED
EXTERIOR
ELEVATIONS

PROJECT NUMBER	21-017
DATE ISSUED	2021.1.12

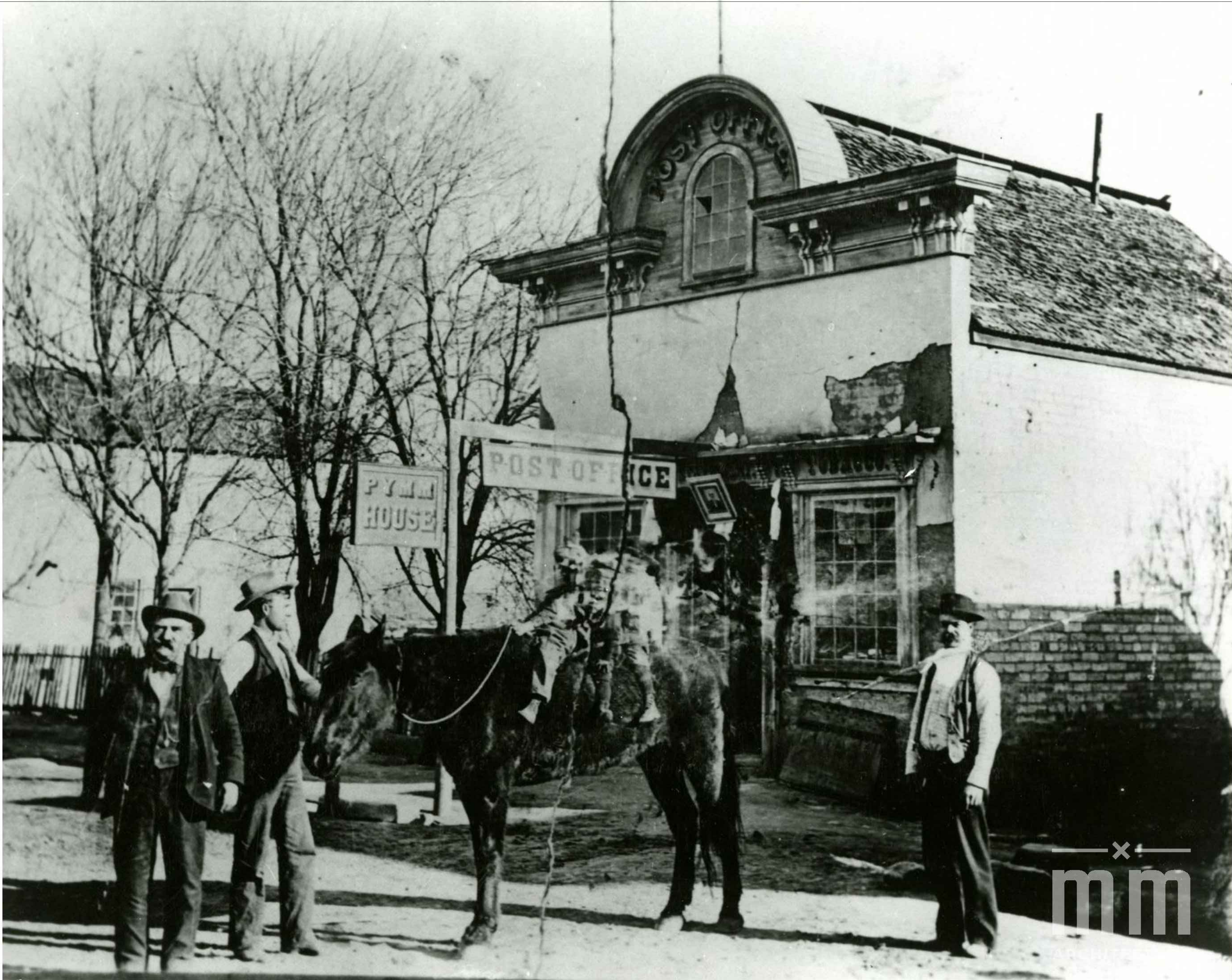
A202



B1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



A1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



A1 HISTORIC PYMM HOUSE / POST OFFICE
N.T.S.



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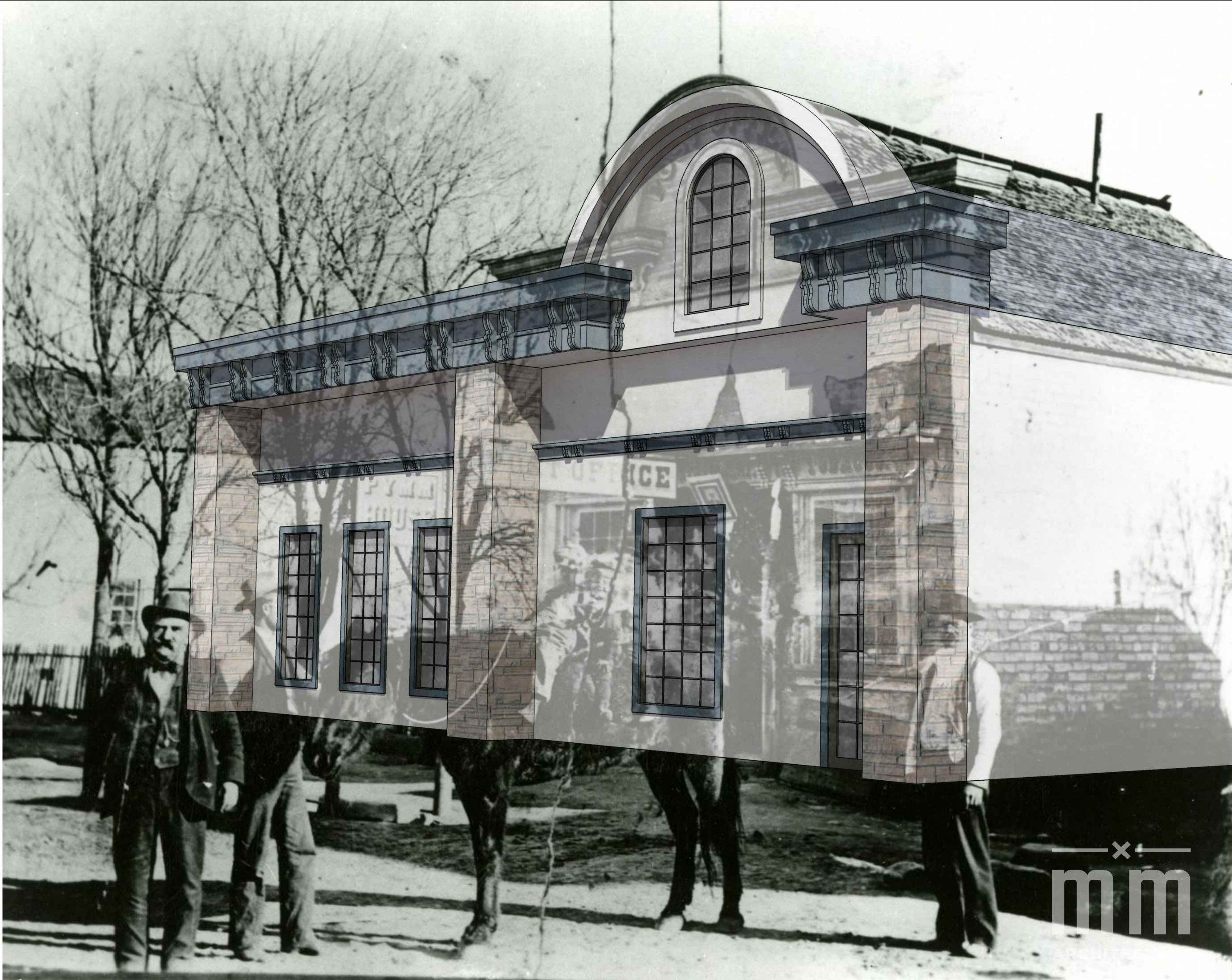
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No.	Description	Date

PYMM HOUSE
50 E. TABERNACLE ST.
ST. GEORGE, UT 84770

PERSPECTIVE
IMAGES

PROJECT NUMBER	21-017
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A301



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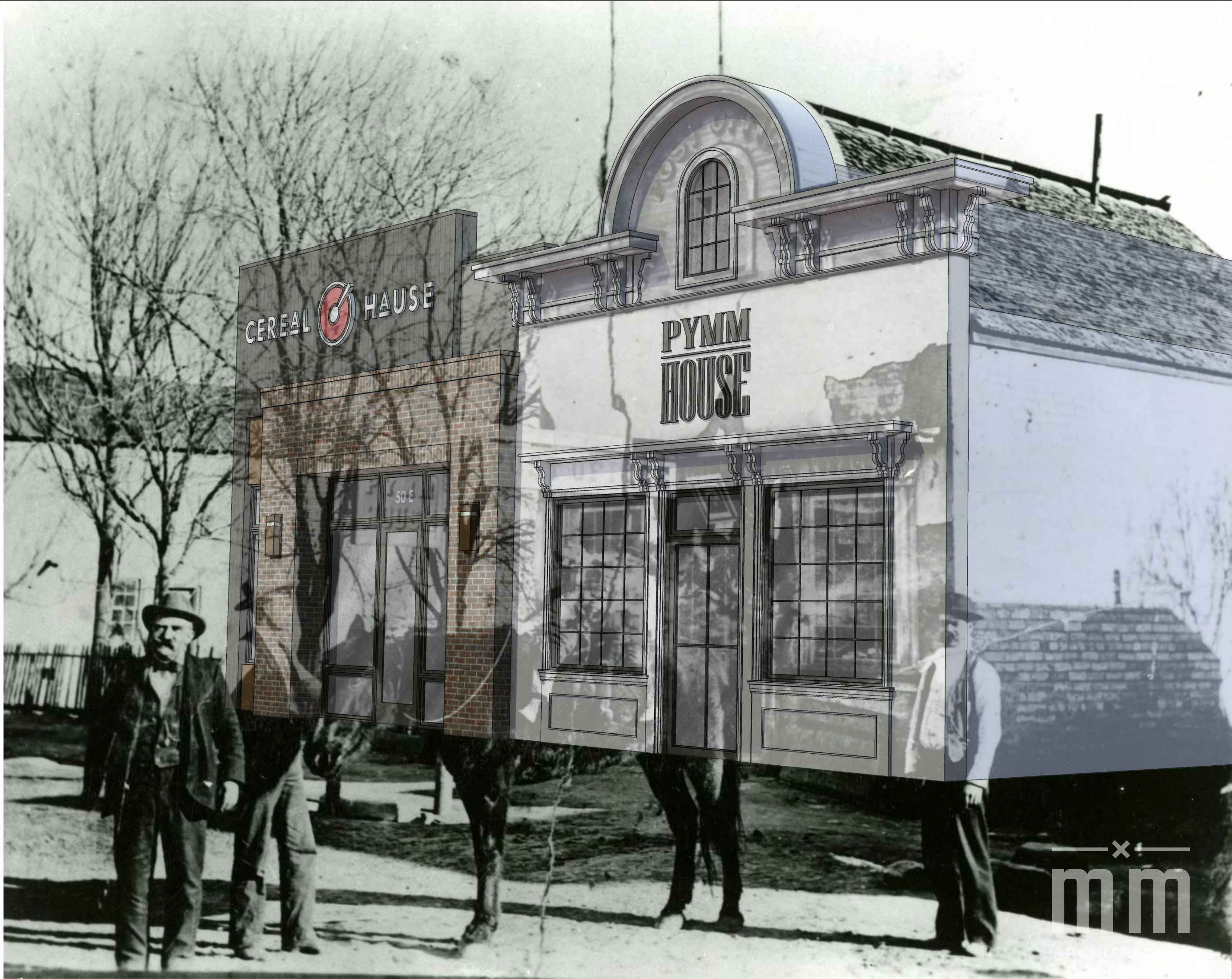
PYMM HOUSE
50 E. TABERNACLE ST.
ST. GEORGE, UT 84770

PERSPECTIVE
IMAGES

PROJECT NUMBER	21-017
DATE ISSUED	2021.1.12

A302

A1 HISTORIC PYMM HOUSE / POST OFFICE COMPARISON TO CURRENT
N.T.S.



A1 HISTORIC PYMM HOUSE / POST OFFICE COMPARISON TO PROPOSED
N.T.S.



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PYMM HOUSE
50 E. TABERNACLE ST.
ST. GEORGE, UT 84770

PERSPECTIVE
IMAGES

PROJECT NUMBER	21-017
DATE ISSUED	2021.1.12

A303

D

C

B

A



A1 CURRENT EXTERIOR
N.T.S.



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PYMM HOUSE
50 E. TABERNACLE ST.
ST. GEORGE, UT 84770



PERSPECTIVE
IMAGES

PROJECT NUMBER	21-017
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A304

D

C

B

A



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ARCHITECT STAMP

REVISIONS		
No.	Description	Date

PYMM HOUSE
50 E. TABERNACLE ST.
ST. GEORGE, UT 84770



PERSPECTIVE
IMAGES

A1 CURRENT EXTERIOR COMPARISON TO PROPOSED
N.T.S.

PROJECT NUMBER	21-017
DATE ISSUED	2021.1.12

A305

D

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A



A1 PROPOSED EXTERIOR
N.T.S.



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PERSPECTIVE
IMAGES

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A306

HISTORIC PRESERVATION COMMISSION AGENDA REPORT: 02/16/2022

Miner Heber Prisbrey Home Local Landmark Designation (Case No. 2022-HPC-002)	
Request:	To consider a request to designate a Local Landmark Site.
Applicant:	Dianna Powell
Representative:	Dianna Powell
Location:	295 S. Main Street St. George, UT 84770
General Plan:	MDR, Medium Density Residential
Zoning:	RCC, Residential Central City
Land Area:	Approximately .24 acres



BACKGROUND:

The owner of the home at 295 South Main Street would like to designate this home as a local landmark in the City of St. George. This home was previously on the local landmark list and was known as the Miner Heber Prisbrey Home. However, on January 4, 2019 this home was removed from the local landmark register.

In 2015, after the owners purchased this home, they changed the dormer from a hip dormer to a gable dormer and replaced the roof from wood shingles to a white metal roof without appearing before the Historic Preservation Commission (HPC). The owners stated that they did not realize that their home was historic until they came in to get a building permit for electrical work and were told it was a local landmark. In December of 2015, they came before the HPC to present their roof changes, to propose adding wainscoting to cover the electrical work that needed to be done, and to add a wrap-around porch to the home. The commissioners discussed the changes to the home and felt the existing and proposed changes would not meet the historical character of the home. The owner present at the meeting stated that he did not want to change his plans and stated that he was here to “most likely go our separate ways.” (Please refer to the 12/09/2015 HPC minutes.) The commissioners approved a motion to have the applicant change the submitted plan and make it meet the historical character of the home. The applicant did not return, and the home was removed from the landmark list.

Today, the white metal roof remains with the gable dormer. In addition, a wrap-around porch that includes an upper deck has been added. The porch is free-standing against the home but not attached to the home. The front door casing has also been enlarged and enhanced.

This home does appear in the 2009, 2011, and the 2015 *Landmark and Historic Sites* publication. The publication speaks of the mulberry tree in the front that was over 100 years old. This tree has been removed and a large portion of the front yard is now covered in concrete.

In order to be eligible to become a landmark site, the home must meet the criteria found in Section 10-13E-4 of our Zoning Regulations. Please see the criteria below:

REQUIREMENTS TO BECOME A LOCAL LANDMARK		
Must Meet All Criteria Below		
a.	It is located within the boundaries of St. George City	YES
b.	The building or structure was constructed before 1970	YES - Per applicant the home was built between 1913 and 1914

c.	There are no major alterations or additions that have obscured or destroyed significant historic features, such as: changes in pitch of the main roof, enlargement or enclosure of windows on the principal façades, addition of upper stories or the removal of original upper stories, covering the exterior walls with nonhistoric materials, moving the resource from its original location to one that is dissimilar to the original, or additions which significantly detract from or obscure the original form and appearance of the building or structure when viewed from the public way.	<i>YES - Per applicant, the home has had no major structural changes to the house but renovation to bring it up to code for plumbing, electrical, heating and cooling, have all been met.</i> -The applicant did not mention the changes to the roof or the porch addition in their narrative
Must Meet at Least One Criteria		
d.	NATIONAL REGISTER <i>It is currently listed in the National Register of Historic Places, or it has been officially determined eligible for listing in the National Register of Historic Places under the provisions of 36 CFR 60.6. Properties listed on or determined to be eligible for the national register must still retain their integrity</i>	NO
e.	EVENTS It is associated with events that have made a significant contribution to the broad patterns of the history of the city, state or nation	NO
f.	PERSON It is associated with lives of persons significant in the history of the city, state or nation	This home was built by Miner Heber Prisbrey, son of Miner Grant Prisbrey who was an early pioneer to St. George. Miner Heber was a firefighter, farmer, watermaster, and streets maintenance supervisor.
g	ARCHITECTURE / CONSTRUCTION It embodies the distinctive characteristics of a rare or unique type, period or method of construction, or represents the work of an architect or builder recognized as a master in his/her field, or possesses high artistic values or style, or represents a significant and distinguishable entity whose components may lack individual distinction	NO

h.	ARCHAEOLOGICAL It has yielded or may be likely to yield information important in prehistory or history (archaeological sites, for example).	NO
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RECOMMENDATION:

The applicant feels the alterations or additions made to the exterior of this pioneer home have not obscured or destroyed significant historic features of this property. However, Item C above specifically requires that, *there are no major alterations or additions that have obscured or destroyed significant historic features, such as. . . additions which significantly detract from or obscure the original form and appearance of the building or structure when viewed from the public way.*

In determining whether this home is suited to become a local landmark once again, the commission has two options:

1. If this commission determines that the changes to this home detract from the original form and appearance of the building then the home will not meet Criteria C above and would not be eligible to become a local landmark.
2. If this commission determines that the changes to this home do not detract from the original form and appearance of the building then the home will meet Criteria C above and could be added to the local landmarks.

EXHIBIT A
Photos of the Home



Earliest Photo – date unknown

From WCHS-04170 Photo of the Miner Heber Prisbrey - Arthur Bruhn home looking northnortheast



Photo taken before 2010







Photo taken 2021



Photo taken 2021

EXHIBIT B

Applicant's Narrative

Applicant: Dianna L. Powell

Address: 295 S. Main Street, St George, UT 84770

Cell: (909) 214-2098

E-MAIL Address: diannapowell42@gmail.com

I am applying to the Historic Preservation Commission for a Landmark Site Designation for the following property address: 295 South Main Street, St George, UT 84770

Included is an explanation of the property's current history and current pictures of the home. In addition, I have included an explanation of our efforts to preserve the home without significant disturbance to the historic nature and character of the home and property, while refurbishing and strengthening it. I have also found reference to the historical Landmark status of the home in recent listings.

Section IIA

- 295 S. Main Street is without a doubt in the boundaries of the City of St. George. It is within walking distance of the Temple, Courthouse and City Hall.
- Our home is more than 100 years old and is identified in the 2015 Historic Homes listing for St George as a Landmark home.
- Our home maintains all the original characteristics of the home as it was initially constructed but it also depends upon when one depends upon "original". Given the length of life of the home, there have been additions and alterations in the 20's, 30's, 40's, and 50's. For example, there is evidence of porches or verandas attached to the front and back of the home.
- We have added a veranda that is within the historical scope of the home, and it is free standing (not attached to the house). For safety and structural reasons.
- There have been no major structural changes to the house but renovation to bring it up to code for plumbing, electrical, heating and cooling, have all been met. This was done to make the house last longer and secure its future.

Section IIB

As our home was previously a Landmark Site designation, it satisfies at least three of the items in section B (articles 5, 6, and 7). These peoples, histories and events are documented in the 2015 Historic Homes listing for St George.

EXHIBIT C

Minutes from the December 9, 2015 HPC Meeting

**HISTORIC PRESERVATION COMMISSION
CITY OF ST. GEORGE
WASHINGTON COUNTY UTAH
December 09, 2015 - Noon**

MINUTES APPROVED
By: Brooks Pace
Seconded: Lynne Cobb
Date: 1/27/16

PRESENT: Chairman Kim Campbell
Member Paul Iverson
Member Lynne Cobb
Member Peggy Childs
Member Brooks Pace
City Council Member Gil Almquist

EXCUSED: Member Doug Alder

CITY STAFF: Planning Manager John Willis
Building & Development Office Supervisor Genna Singh

APPLICANT: Mr. Lynn Potter

CALL TO ORDER

Chairman Kim Campbell called the meeting to order.

1. MODIFICATION REQUEST

Consider a request from Mr. Lynn Potter to modify the exterior aesthetics at the Miner Prisbey Home at 295 South Main Street. This property is a designated City Historic Landmark Site.

Lynn Potter explained when we bought the home we were unaware it was a landmark home. We have installed a white metal roof and I don't expect the committee to keep us on the landmark list.

John Willis added that the dormer has been done as well.

Lynn Potter stated the roof and dormer were installed prior to approval because of time.

Peggy Childs asked when the applicant found out the property was a landmark home.

Lynn Potter said we found out when we came in for electrical permits. It's tough to find out if the home is on the list or not. We proceeded as we needed to. There's a nice history in the staff report but that's not who built the home. The home was built in 1913. We're changing a lot and we don't want to lose value to the home. We're redoing the electrical with conduit on the outside. We're going to do a wainscoting stone to match the brick or a brick that comes close.

Brooks Pace said the home appears to have fire adobe.

Lynn Potter continued saying there's no easy way to run electrical through this so the brick or stone will cover that work. I was told that metal roofs have been turned down in the past. Brooks Pace said metal roofs are not historic.

Lynn Potter disagreed. There were galvanized or white roof tops in the 1800s. Asphalt shingle was suggested in the past and I don't see that fitting the time period. Seven Wives Inn has a metal roof.

Kim Campbell stated that you are significantly changing the character of this building. There are things you could have done but you're heading in a direction that isn't historic. The style of porch, banister, column, roof, dormer and wainscoting do not fit a building like this. We've got a project that has started without authorization and we have another issue with the direction you're taking the home. The hip gable versus straight gable doesn't match either. Are the decisions based on your design or have you hired a professional?

Lynn Potter said the design is from what we've pulled off the internet with the graphic design people at Steamroller. We can go with fluted or turn.

Brooks Pace asked what material is going to be used.

Lynn Potter said cedar and redwood.

Brooks Pace said to be sure it's not plastic.

Lynn Potter said the dormer was cedar. I am trying to preserve this home.

Kim Campbell asked if the roof is white.

Lynn Potter said yes.

Kim Campbell asked if the gable is metal or aluminum.

Lynn Potter said we put up cedar lap siding.

Kim Campbell asked what material was used for the grill.

Lynn Potter said aluminum was used.

Kim Campbell stated that it is possible to do the wainscoting another way rather than cobblestone.

Lynn Potter explained that the wainscoting is to cover conduit. The first 4' up are painted orange because of bushes that used to be there.

Peggy Childs asked what condition the brick above that is in.

Lynn Potter stated the tree caused all kind of problems. We're looking at putting a second footing.

Kim Campbell explained that his office is in a 133 year old building and the conduit was taken out and rerouted overhead and under floor. The wainscoting doesn't have to be there. Restoring the adobe brick is possible. The Washington County Courthouse had bad brick that was replaced.

Paul Iverson added that he has done a lot of historical work in the City and this concept doesn't represent this home at all.

Lynn Potter countered that keeping the home as is, is not keeping to the historic nature.

Brooks Pace asked how the applicant would not know the landmark status of the home. John Willis said he is unsure if it would show up on a title report or not.

Lynn Potter explained that the dormer does not require a building permit but I did do that after I discovered this was a landmark home. If I knew the landmark status beforehand we would not have purchased the property.

Brooks Pace asked what the applicant's intentions for the home are.

Lynn Potter said we want to live in the home and then potentially some commercial.

Paul Iverson clarified that the applicant got the electrical permit, discovered it was a landmark home and then changed the dormer. So you knew it was on the register prior to the dormer. You blatantly made the renovations.

Lynn Potter countered that he could be kicked off the register.

John Willis stated that if the criteria are not met for the designation it can be removed. You would then lose the commercial application. The general plan for this is residential.

Gil Almquist clarified so you bought a pioneer home but you no longer want a pioneer home. Lynn Potter stated I bought a home and want to use it.

Gil Almquist suggested that the applicant can restore the base with the conduit by doing a step out to have a wider base and then go in and make it match so it looks like it was intentional.

Brooks Pace said a porch would be a nice addition it's just the proposal is overwhelming. I can see a shed roof with a classic porch on the front and maybe one side.

Peggy Childs asked how deep the porch is.

Paul Iverson said I'm just confused as to why you're here. It seems you'll do what you want.

Lynn Potter said I'm here and if kicked off the register I'll take it.

Kim Campbell said there are different scenarios: we can deny this and you can lose the landmark status, you can modify this, bring it back to something more appropriate and maybe we can work through it. You would have to change the porch and the cobblestone as well as the gable.

Lynn Potter asked if the Commission wants the gable back.

Kim Campbell said yes, changed back. Do you have a preference between the scenarios?

Lynn Potter said we can table for better drawings but I don't want to change the dormer back. The gable is important to me. I will not change on that.

Brooks Pace said the white of the roof bothers me. If you painted the roof to copper or some other color it would be more appropriate.

Peggy Childs added that colors are a big part of our decisions.

Brooks Pace said the white trims work. If the roof could be more of an earth tone, copper, or black that could work and then built a shed roof with no upstairs deck and then potentially do the wider base for the conduit.

Kim Campbell said we're on a thin line. We're suggesting details but you need to provide them. You need to go to a design professional. Come back to us with options. Once the options are selected then you can do a full rendering. I think we're down to denying or tabling.

John Willis highlighted sections of the code section 10-21-2.

Kim Campbell advised that when I design a building the porch comes to the forefront and the building takes a back seat. We have a very simple pioneer home here and this proposal is too much gingerbread.

Lynn Potter replied I think we need to go our separate ways for difference of opinion. There is a big difference between temperature with a white roof and copper roof. The white really did match the rest of the building. The original dormer was white. I would like to get better drawings and if I could afford someone else to do this job I would.

Brooks Pace said it's an old pioneer home and our purpose is to save them and that's why it frustrates me that the home can simply be taken off the register. You can sketch your ideas yourself instead of paying a professional as well and then if approved you could go forward. A wraparound porch is too much for a small home like this.

Kim Campbell added that the old roof was wood shingle.

Brooks Pace said something other than white for the roof would be best.

Peggy Childs said I sense that you came in here defying what you knew about landmark status and for some reason you have come.

Lynn Potter said I am here to most likely go our separate ways.

Peggy Childs said if that's what you want.

MOTION: Peggy Childs made a motion requesting the applicant to change the submitted plan and make it meet the historical character of the home.

SECOND: Gil Almquist

AYES (6)

Chairman Kim Campbell

Member Paul Iverson

Member Lynne Cobb

Member Peggy Childs

Member Brooks Pace

City Council Member Gil Almquist

Motion carries.

John Willis explained that your commercial use is very limited. The landmark site gives you more flexibility.

Lynn Potter said the way it's built doesn't bode well for that.

Brooks Pace suggested the applicant take another stab at making this work. If you work with us work we can work with you. Did you remove the trees?

Lynn Potter said the one on the front has been removed except for the stump and the other is a City tree that is not in my jurisdiction. I would prefer a desert landscape.

Brooks Pace added that shade is important.

Kim Campbell said the large trees are part of the pioneer heritage.

Lynn Potter said the arborist and tree committee said it should be cut down.

Gil Almquist countered that that is not what the minutes from the shade tree meeting say.

2. OTHER BUSINESS

Consider other business as deemed necessary.

Paul Iverson asked staff if the City has helped in any renovation to the property which would tie it into being a firmer landmark. A long time ago the city gave out funds. I realize that has dissolved but wonder if it went to this property.

Kim Campbell said it was for store fronts.

Peggy Childs asked what the process for removal is.

John Willis said staff will have to look into that further.

Brooks Pace asked if we have any power to control it. We should have something over landmark homes.

Gil Almquist said the City Council has looked at expanding the historic district.

Kim Campbell added that we've also looked at amending the ordinance.

Kim Campbell brought up other business regarding Green Gate Village. There is a new owner who wants to modify the landscaping and they want to remove some of the sheds and outbuildings. They made it sound like insignificant non-historic buildings.

Brooks Pace said I saw the proposal the last time they wanted to do it and I did not like it at all

John Willis added they have met with our department. I believe it's the same drawing from the past. Once we have a formal submittal we can process it.

Brooks Pace said I believe they should come here before they do too much.

John Willis added that staff will look at the code to see if there's something we can record on the property so it's there for potential buyers.

Kim Campbell added we need a map in the code in addition to the legal description.

Peggy Childs said we don't have a project for the next grant but revising the code may be a good place to start.

Gil Almquist noted that expanding the district and putting markers at each site would be a great fix.

Paul Iverson said I am working with Bicycles Unlimited and they need to upgrade the building.

John Willis noted that that building is not in the district.

Paul Iverson requested suggestions in his design. The original building was adobe and had stepped parapet. They've added onto the building back in 70s with cinder block which was almost the same size as what was there.

Kim Campbell suggested a wall hung tricycle sign.

Brooks Pace said awnings could work.

Gil Almquist added that iron work would be nice too.

Paul Iverson said I would love to pull off the stucco and do adobe but that won't happen. They also have to redo their ADA access with a ramp but they're really right at the sidewalk.

Peggy Childs added the color of that building has always bothered me.

Brooks Pace said a brown would work.

Brooks Pace said we ought to have a right as this committee to oversee these things and require a historic architect be used in the district.

Peggy Childs added a list of approved architects would be beneficial.

John Willis noted that code amendments we're looking at are signs in the historic district. The current ordinance doesn't have guidelines or direction. It's broad. We're having a hard time enforcing the sign code in the historic district. We're looking to give more direction to the board and to applicants. We'll filter those potential changes to the committee prior to amending.

Brooks Pace added they need to go to monument signs so they're seen after the trees mature. Kim Campbell said a wall hung sign over the electric theatre is a potential addition that will promote more wall hung signs in the area. Touring the theatre may be beneficial.

John Willis said the next meeting will be January 13, 2016.

3. **MINUTES**

Consider approval of the minutes from the June 25, 2014 and November 04, 2014.

MOTION: Gil Almquist made a motion to approve the minutes.

SECOND: Brooks Pace seconded the motion.

AYES (6)

Chairman Kim Campbell

Member Paul Iverson

Member Lynne Cobb

Member Peggy Childs

Member Brooks Pace

City Council Member Gil Almquist

Motion carries.

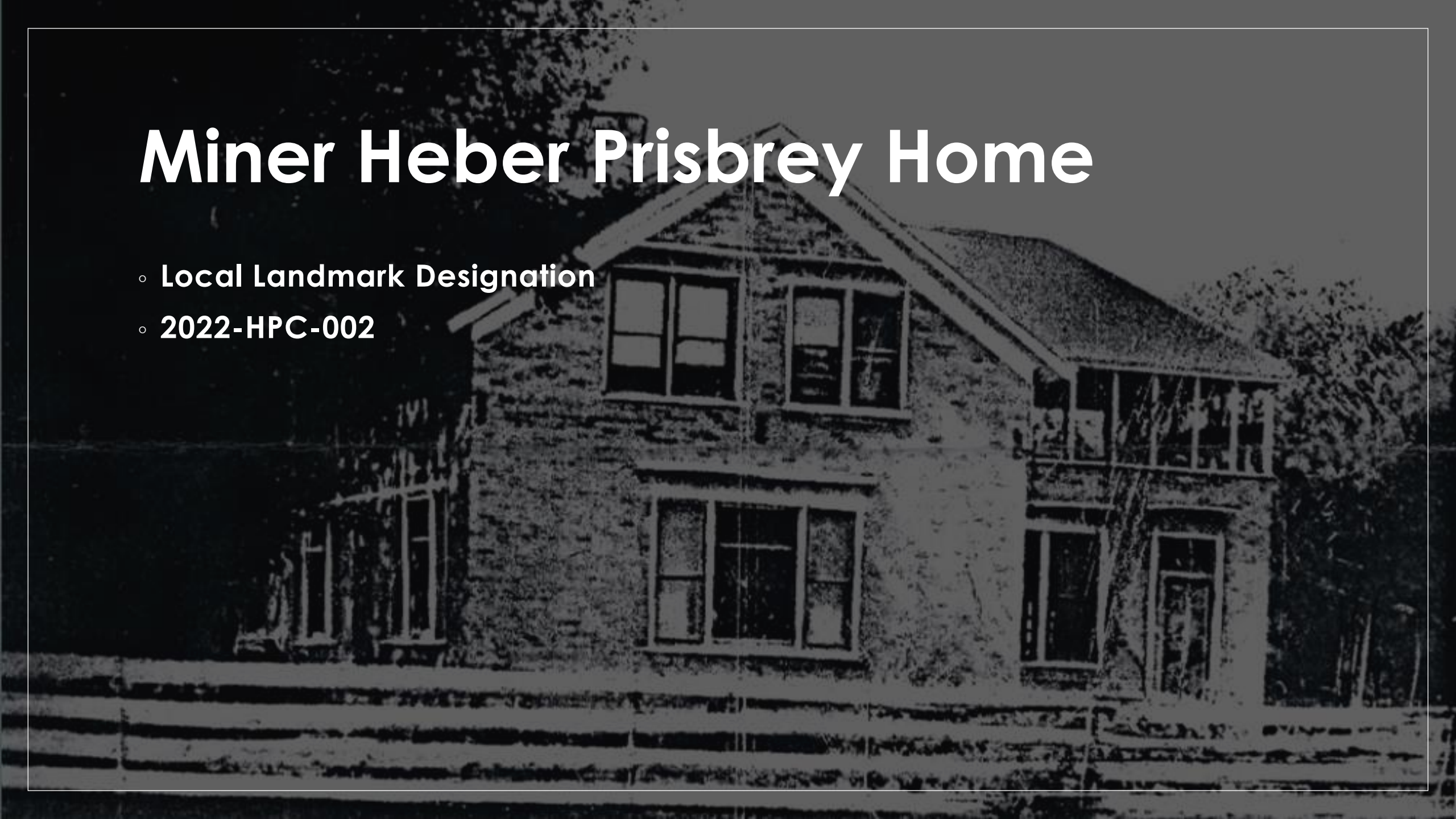
4. **ADJOURN**

Kim Campbell adjourned the meeting.

EXHIBIT D
PowerPoint Presentation

Miner Heber Prisbrey Home

- Local Landmark Designation
- 2022-HPC-002







Built between 1913 – 1914
Previously on the Local Registry of Historic Landmarks



Photo taken
before 2010





Photo taken 2015

Photos taken 2015





Photo taken 2015



Photo taken 2021



Photo taken 2021

HISTORIC PRESERVATION COMMISSION
CITY OF ST. GEORGE
WASHINGTON COUNTY UTAH
December 09, 2015 - Noon

MINUTES APPROVED

By: Brate Face

Seconded: Lynne Cook

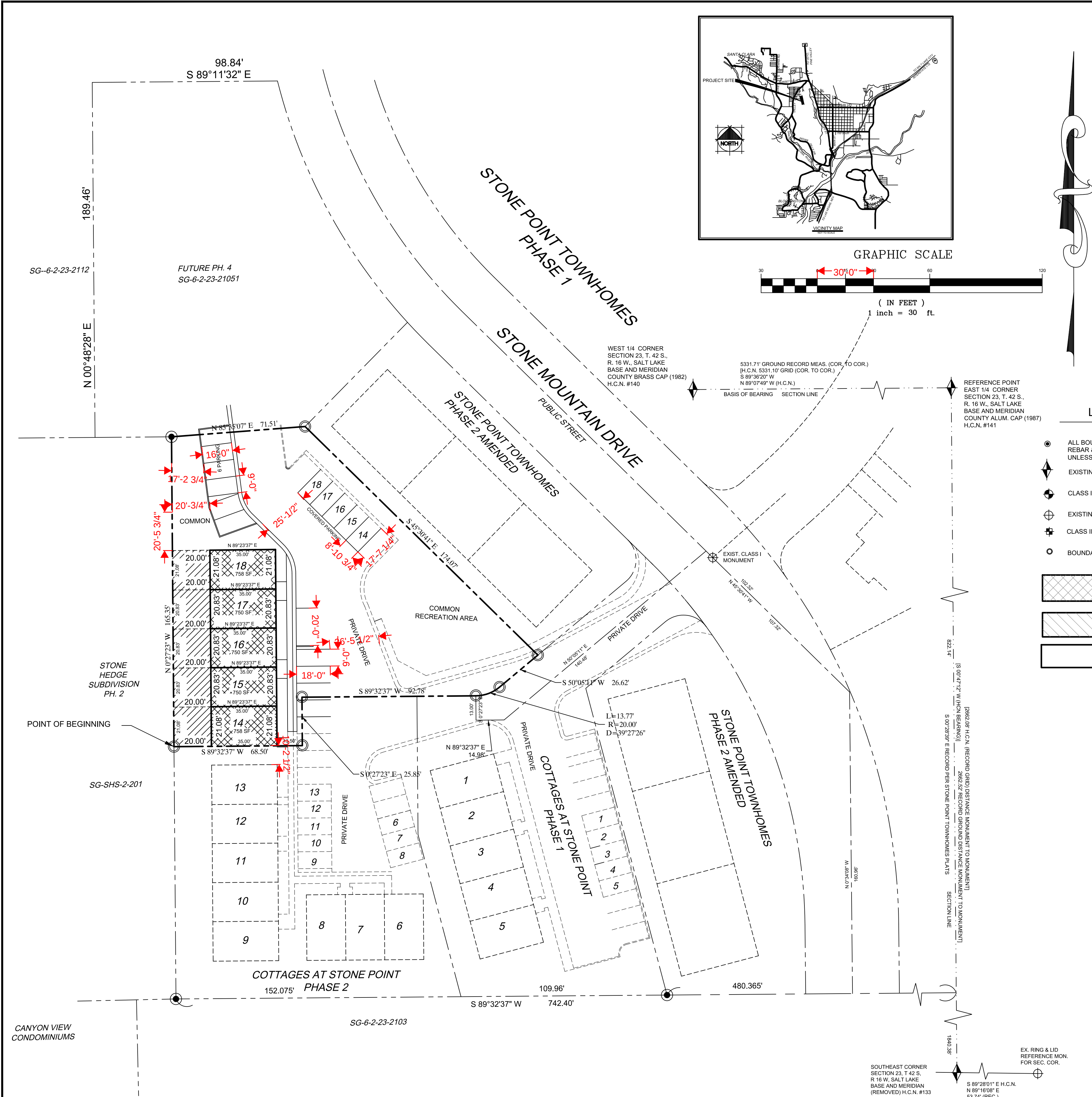
Date: 1/27/14

REQUIREMENTS TO BECOME A LOCAL LANDMARK

Must Meet All Criteria Below

a.	It is located within the boundaries of St. George City	YES
b.	The building or structure was constructed before 1970	<i>YES - Per applicant the home was built between 1913 and 1914</i>
c.	There are no major alterations or additions that have obscured or destroyed significant historic features , such as: changes in pitch of the main roof, enlargement or enclosure of windows on the principal façades, addition of upper stories or the removal of original upper stories, covering the exterior walls with nonhistoric materials, moving the resource from its original location to one that is dissimilar to the original, or additions which significantly detract from or obscure the original form and appearance of the building or structure when viewed from the public way.	<i>YES - Per applicant, the home has had no major structural changes to the house but renovation to bring it up to code for plumbing, electrical, heating and cooling, have all been met.</i> -The applicant did not mention the changes to the roof or the porch addition in their narrative

Must Meet at Least One Criteria		
d.	NATIONAL REGISTER <i>It is</i> currently listed in the National Register of Historic Places, or it has been officially determined eligible for listing in the National Register of Historic Places under the provisions of 36 CFR 60.6. Properties listed on or determined to be eligible for the national register must still retain their integrity	NO
e.	EVENTS It is associated with events that have made a significant contribution to the broad patterns of the history of the city, <u>state</u> or nation	NO
f.	PERSON It is associated with lives of persons significant in the history of the city, <u>state</u> or nation	This home was built by Miner Heber Prisbrey, son of Miner Grant Prisbrey who was an early pioneer to St. George. Miner Heber was a firefighter, farmer, watermaster, and streets maintenance supervisor.
g	ARCHITECTURE / CONSTRUCTION It embodies the distinctive characteristics of a rare or unique type, <u>period</u> or method of construction, or represents the work of an architect or builder recognized as a master in his/her field, or possesses high artistic values or style, or represents a significant and distinguishable entity whose components may lack individual distinction	NO
h.	ARCHAEOLOGICAL It has yielded or may be likely to yield information important in prehistory or history (archaeological sites, for example).	NO



GENERAL NOTES AND RESTRICTIONS

- NOTICE OF CONDITIONS AND RESTRICTIONS: THE FOLLOWING CONDITIONS AND RESTRICTIONS ENUMBER THE PROPERTY, AS DESCRIBED HEREIN, IN PERPETUITY.
1. THIS TOWNHOME DEVELOPMENT CONTAINS PRIVATE OWNERSHIP AREAS, COMMON AND LIMITED COMMON AREAS AND PRIVATE STREETS AND DRAINAGE INFRASTRUCTURE ARE NOT OWNED, MAINTAINED, OR REPAIRED BY THE CITY OF ST. GEORGE. THE ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL PRIVATE STREETS AND DRAINAGE WITHIN THIS SUBDIVISION.
 2. THE ASSOCIATION SHALL BE RESPONSIBLE FOR REPAIRING, RESTORING, OR REPLACING PRIVATE STREETS, LANDSCAPING, OR OTHER PRIVATE IMPROVEMENTS CONTAINED WITHIN THIS SUBDIVISION RESULTING FROM DAMAGE OR DISRUPTION CAUSED BY THE CITY OF ST. GEORGE IN INSTALLING, MAINTAINING, REPAIRING, OR REPLACING MUNICIPAL UTILITIES.
 3. IN ADDITION TO ANNUAL, USUAL, AND SPECIAL ASSESSMENTS FOR MAINTENANCE OF COMMON NON-MUNICIPAL IMPROVEMENTS CONTAINED WITHIN THIS SUBDIVISION, THE ASSOCIATION SHALL LEVY SUCH ASSESSMENTS AS MAY BE NECESSARY FROM TIME TO TIME TO REPAIR, RESTORE, OR REPLACE PRIVATE STREETS, LANDSCAPING, OR OTHER PRIVATE IMPROVEMENTS CONTAINED WITHIN THIS SUBDIVISION RESULTING FROM DAMAGE OR DISRUPTION CAUSED BY THE CITY OF ST. GEORGE IN INSTALLING, MAINTAINING, REPAIRING, OR REPLACING MUNICIPAL UTILITIES.
 4. BY RECORDING THIS SUBDIVISION PLAT, MUNICIPAL UTILITY EASEMENTS ARE HEREBY GRANTED WITHIN ALL COMMON AND LIMITED COMMON AREAS (INCLUDING PRIVATE DRIVES) WITHIN THIS SUBDIVISION FOR THE INSTALLATION, ACCESS, MAINTENANCE, AND REPAIR OF ALL MUNICIPAL UTILITIES.
 5. ALL POWER, SEWER, AND WATER IMPROVEMENTS ARE MUNICIPAL UTILITIES AND MAINTAINED BY CITY OF ST. GEORGE, UP TO AND INCLUDING THE METERS. ALL FIRE HYDRANTS AND THEIR APPURTENANCES WITHIN THIS SUBDIVISION ARE MUNICIPAL AND ARE MAINTAINED BY THE CITY OF ST. GEORGE. FIRE LINES TO BUILDINGS ARE PRIVATE AND SHALL BE MAINTAINED BY THE ASSOCIATION.
 6. A GEOTECHNICAL INVESTIGATION WAS PERFORMED BY AGEC. THE INVESTIGATION RESULTS AND SPECIFIC RECOMMENDATIONS FOR THE CONSTRUCTION OF FOUNDATIONS, FLOOR SLABS, SOILS AND EXTERIOR FLATWORK ARE COMPILED IN A REPORT NO. 2030072 DATED MAY 15, 2003. THIS REPORT IS AVAILABLE FROM THE DEVELOPER AND A COPY IS ON FILE WITH THE CITY OF ST. GEORGE. OWNERS, BUILDERS, AND CONTRACTORS SHOULD BECOME FAMILIAR WITH THIS REPORT AND COMPLY WITH ITS SPECIFIC RECOMMENDATIONS AS SPECIAL CONSIDERATIONS MAY BE REQUIRED FOR STRUCTURES AND LANDSCAPING.

H.C.N. ROTATION

ROTATE ALL BEARINGS 1°15'51" CLOCKWISE TO MATCH ST. GEORGE CITY H.C.N. BEARINGS

LEGEND

- ALL BOUNDARY AND LOT CORNERS TO BE SET WITH 5/8" REBAR & PLASTIC CAPS #153069 UNLESS NOTED OTHERWISE
- ◆ EXISTING SECTIONAL MONUMENTATION
- ⊕ CLASS I SURVEY MONUMENT (RING & LID)
- ⊕ EXISTING CLASS I SURVEY MONUMENT (RING & LID)
- ⊕ CLASS II SURVEY MONUMENT TO BE SET (REBAR & ALUM. CAP)
- BOUNDARY CORNER NOT SET
- ▨ SPECIFIES PRIVATE OWNERSHIP
- ▨ BUILDING AND CONSTRUCTION LIMITS
- ▨ SPECIFIES LIMITED COMMON AREA
- ▨ SPECIFIES COMMON AREA

SURVEYOR'S CERTIFICATE

I, LLOYD RIED POPE, HEREBY CERTIFY THAT I AM A PROFESSIONAL ENGINEER AND REGISTERED LAND SURVEYOR AND THAT I HOLD CERTIFICATE OF REGISTRATION # 153069 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO PRIVATE OWNERSHIP AREAS, COMMON, LIMITED COMMON AREAS, PRIVATE STREETS AND MUNICIPAL UTILITY EASEMENTS TO BE KNOWN AS:

COTTAGES AT STONE POINT TOWNHOMES PHASE 3
AND THAT THE SAME HAS BEEN CORRECTLY STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

BEGINNING AT THE NORTHWEST CORNER OF THE COTTAGES AT STONE POINT TOWNHOMES PHASE 2, SAID POINT BEING SOUTH 0°28'30" EAST 822.14 FEET ALONG THE SECTION LINE AND SOUTH 89°32'37" WEST 742.40 FEET AND NORTH 0°27'23" WEST 134.65 FEET FROM THE EAST QUARTER CORNER OF SECTION 23, TOWNSHIP 42 SOUTH, RANGE 16 WEST, SALT LAKE BASE AND MERIDIAN AND RUNNING NORTH 0°27'23" WEST 165.35 FEET; THENCE NORTH 85°35'07" EAST 71.51 FEET TO A BOUNDARY CORNER OF STONE POINT TOWNHOMES PHASE 2 AMENDED; THENCE SOUTH 43°30'41" EAST 174.07 FEET ALONG SAID BOUNDARY; THENCE SOUTH 50°05'11" WEST 26.62 FEET TO THE POINT OF 20.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE SOUTHWESTERLY THROUGH A CENTRAL ANGLE OF 39°27'26" AND 13.77 FEET ALONG THE ARC OF SAID CURVE; THENCE SOUTH 89°32'37" WEST 92.78 FEET; THENCE SOUTH 0°27'23" EAST 25.85 FEET; THENCE SOUTH 89°32'37" WEST 68.50 FEET TO THE POINT OF BEGINNING.
CONTAINING 21,833 SQUARE FEET, OR 0.501 ACRES

L.R. Pope
LLOYD RIED POPE-PROFESSIONAL ENGINEER AND
REGISTERED LAND SURVEYOR NO. 153069

12/29/21
DATE:
#153069
LLOYD RIED POPE
REGISTERED LAND SURVEYOR

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER OF THE ABOVE DESCRIBED TRACT OF LAND HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO PRIVATE OWNERSHIP AREAS, COMMON AREAS, LIMITED COMMON AREAS AND PRIVATE STREETS TO BE HEREAFTER KNOWN AS:

COTTAGES AT STONE POINT TOWNHOMES PHASE 3

DO HEREBY DEDICATE TO THE COMMON USE OF THE LOT OWNERS, BUT NOT TO THE USE OF THE GENERAL PUBLIC, ALL COMMON AREAS SHOWN ON THIS PLAT, IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF DEDICATION OF SAID COMMON AREAS AS MORE FULLY PROVIDED IN THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS APPLICABLE TO STONE POINT TOWNHOMES, RECORDED IN THE OFFICE OF THE WASHINGTON COUNTY RECORDER; DATE: OCT. 29, 1987, BOOK 468, PAGE 305, SAID DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS IS HEREBY INCORPORATED AND MADE A PART OF THIS PLAT. REFERENCE IS MADE TO SAID DECLARATION FOR DETAILS CONCERNING THE RIGHTS AND OBLIGATIONS OF PARTIES HAVING OR ACQUIRING AN INTEREST IN THIS SUBDIVISION. FOR GOOD AND VALUABLE CONSIDERATION RECEIVED, THE UNDERSIGNED OWNER HEREBY DEDICATES AND CONVEYS TO THE CITY OF ST. GEORGE, MUNICIPAL UTILITY EASEMENTS OVER ON, UNDER, AND ACROSS ALL COMMON AREAS FOR THE INSTALLATION AND MAINTENANCE OF MUNICIPAL UTILITIES AND DRAINAGE FACILITIES. THE UNDERSIGNED OWNER DOES HEREBY WARRANT TO THE CITY OF ST. GEORGE AND ITS SUCCESSORS AND ASSIGNS, THE RIGHT TO USE ALL MUNICIPAL UTILITY EASEMENTS GRANTED HEREIN AGAINST THE CLAIMS OF ALL PERSONS.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS.

RONALD KELLEY LARSON-INDIVIDUAL

INDIVIDUAL ACKNOWLEDGMENT

STATE OF UTAH }
COUNTY OF WASHINGTON } S.S.

ON THE ____ DAY OF _____, 2022, PERSONALLY APPEARED BEFORE ME, **RONALD KELLY LARSON**, PERSONALLY KNOWN TO ME OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SIGNED THE FOREGOING DOCUMENT AND ACKNOWLEDGED BEFORE ME THAT HE SIGNED IT VOLUNTARILY FOR ITS STATED PURPOSE.

NOTARY PUBLIC FULL NAME _____
COMMISSION NUMBER _____
MY COMMISSION EXPIRES _____

A NOTARY PUBLIC COMMISSIONED IN UTAH
STAMP NOT REQUIRED IF ABOVE INFO
IS PROVIDED PER UTAH CODE 46-1-16

L.R. POPE ENGINEERING INC.
STRUCTURAL ENGINEERS, CIVIL ENGINEERS & SURVEYORS
1240 EAST 100 SOUTH SUITE 15-B
ST. GEORGE, UTAH 84790
(PHONE) 435-628-1676
(EMAIL) lrpope@lrpope.com

COTTAGES AT STONE POINT TOWNHOMES PHASE 3

A PLANNED RESIDENTIAL DEVELOPMENT LOCATED IN THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 42 SOUTH, RANGE 16 WEST, SALT LAKE BASE & MERIDIAN, WASHINGTON COUNTY, UTAH.

APPROVAL OF THE COMMUNITY DEVELOPMENT DIRECTOR	ENGINEER'S APPROVAL	APPROVAL AS TO FORM	APPROVAL OF THE PLANNING COMMISSION	APPROVAL AND ACCEPTANCE BY ST. GEORGE CITY	TREASURER APPROVAL	RECORDED NUMBER
I, COMMUNITY DEVELOPMENT DIRECTOR FOR THE CITY OF ST. GEORGE, HAVE THIS THE ____ DAY OF _____, A.D. 2022, REVIEWED THE ABOVE SUBDIVISION FINAL PLAT AND RECOMMENDED THE SAME FOR ACCEPTANCE BY THE CITY OF ST. GEORGE, UT.	THE HEREON SUBDIVISION FINAL PLAT HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE THIS ____ DAY OF _____, A.D. 2022.	APPROVED AS TO FORM, THIS THE ____ DAY OF _____, A.D. 2022.	ON THIS THE ____ DAY OF _____, A.D. 2022, THE PLANNING COMMISSION OF THE CITY OF ST. GEORGE, HAVING REVIEWED THE ABOVE SUBDIVISION FINAL PLAT AND HAVING FOUND THAT IT COMPLIES WITH THE REQUIREMENTS OF THE CITY'S PLANNING ORDINANCES, AND BY AUTHORITY OF SAID COMMISSION HEREBY APPROVE SAID SUBDIVISION FOR ACCEPTANCE BY THE CITY OF ST. GEORGE, UT.	WE, THE MAYOR AND THE CITY COUNCIL OF THE CITY OF ST. GEORGE, UT, HAVE REVIEWED THE ABOVE SUBDIVISION FINAL PLAT AND BY AUTHORIZATION OF SAID CITY COUNCIL, RECORDED IN THE MINUTES OF ITS MEETING OF THE ____ DAY OF _____, A.D. 2022, HEREBY ACCEPT SAID FINAL PLAT WITH ALL COMMITMENTS AND OBLIGATIONS PERTAINING THERETO.	I, WASHINGTON COUNTY TREASURER, CERTIFY ON THIS ____ DAY OF _____, A.D. 2022, THAT ALL TAXES, SPECIAL ASSESSMENTS, AND FEES DUE AND OWING ON THIS SUBDIVISION FINAL PLAT HAVE BEEN PAID IN FULL.	
COMMUNITY DEVELOPMENT DIRECTOR CITY OF ST. GEORGE	ENGINEER CITY OF ST. GEORGE	CITY ATTORNEY CITY OF ST. GEORGE	CHAIRMAN PLANNING COMMISSION CITY OF ST. GEORGE	ATTEST: CITY RECORDER CITY OF ST. GEORGE MAYOR CITY OF ST. GEORGE	WASHINGTON COUNTY TREASURER	WASHINGTON COUNTY RECORDER

COTTAGES AT STONE POINT PH. 3

LOCATED IN SECTION 23, TOWNSHIP 42 SOUTH,
RANGE 16 WEST, SLB&M

GENERAL NOTES:

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION".

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE. ANY AND ALL IMPROVEMENTS OR STRUCTURES WHICH ARE DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORY TO THE CITY OF ST. GEORGE AND THE OWNER AT THE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL NOT BACKFILL ANY UTILITY OR DRAINAGE TRENCHES UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY OF ST. GEORGE. THE CITY SHALL BE NOTIFIED AT LEAST 1 WORKING DAY IN ADVANCE OF ALL CONSTRUCTION.

ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY ALTERATIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE ENGINEER AND THE CITY OF ST. GEORGE.

THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL OVERHEAD INTERFERENCES WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD OR UNDERGROUND POWER, TELEPHONE, GAS AND OTHER UTILITIES FOR THE SAFETY OF ALL PERSONNEL AND EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS AND LIABILITY IN CONNECTION THEREWITH.

AN ENCROACHMENT PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.

HANDICAP RAMPS SHALL BE CONSTRUCTED IN EACH QUADRANT OF AN INTERSECTION AS PER THE CITY STANDARD DRAWINGS (SEE ADOPTED DETAIL ON PROFILE SHEET). EXACT LOCATION OF RAMPS MAY BE ADJUSTED IN THE FIELD BY A CITY ENGINEER.

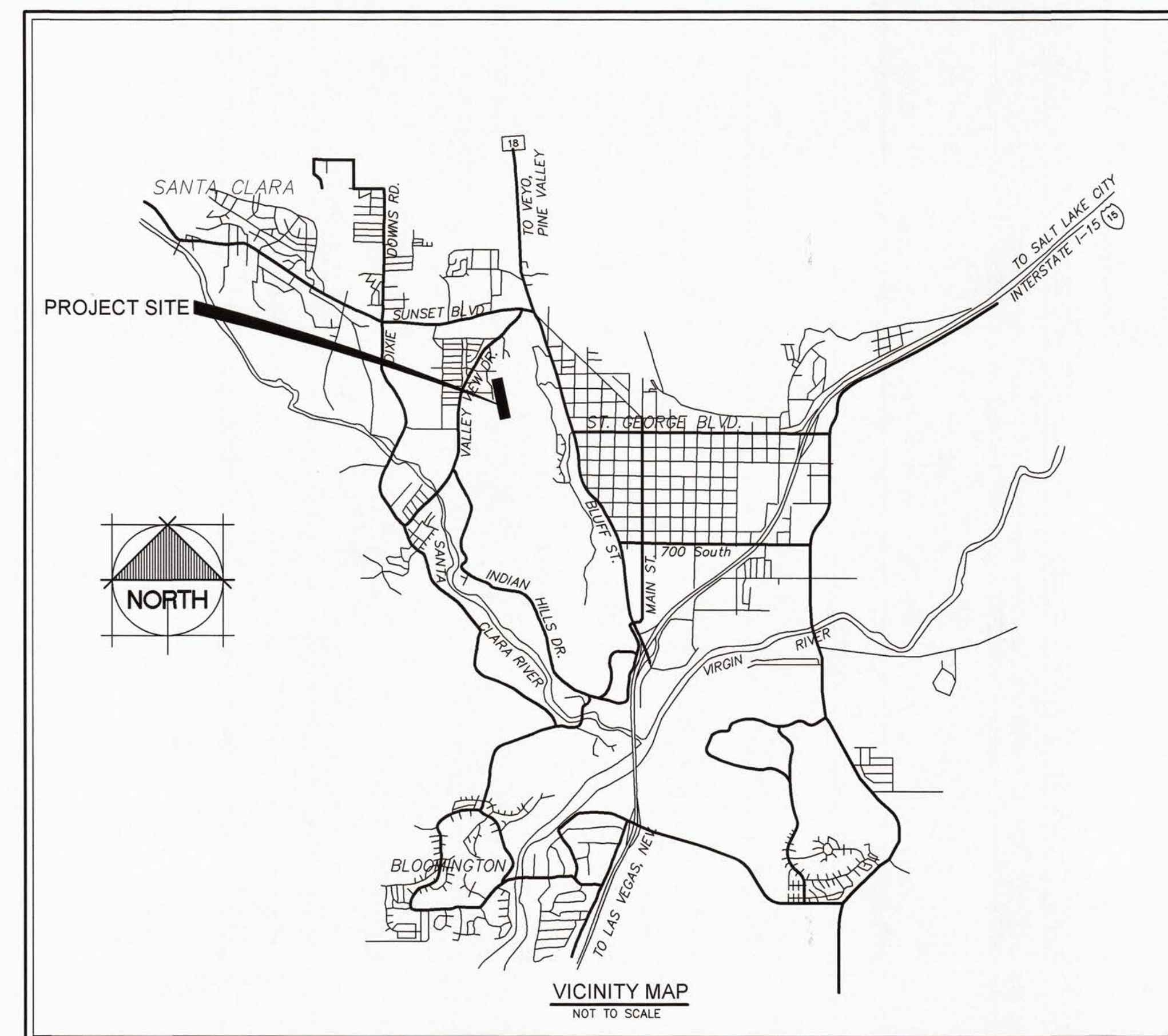
CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO SAID CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS.

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR BY A REGISTERED LAND SURVEYOR.

BEFORE ANY WORK IS STARTED IN THE RIGHT OF WAY, THE CONTRACTOR SHALL INSTALL CONSTRUCTION ZONE SIGNING AS REQUIRED BY THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES-LATEST EDITION".

ALL CONSTRUCTION SIGNING, BARRICADING AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES-LATEST EDITION".

ALL GRADES ARE REFERENCED TO THE TOP OF THE CONSTRUCTION GRADE HUBS OR NAILS AND THIS RULE SHALL BE OBSERVED. THREE CONSECUTIVE CONSTRUCTION GRADE STAKES OR NAILS CORRESPONDING TO THREE CONSECUTIVE POINTS SHOWN ON THE APPROVED PLANS AS A STRAIGHT GRADE SHALL BE USED IN COMMON AND ANY VARIATION SHALL BE REPORTED IN WRITING TO THE ENGINEER BEFORE WORK PROCEEDS. CONTRACTORS DOING OTHERWISE SHALL PROCEED AT THEIR TOTAL RISK AND RESPONSIBILITY.



OWNER/DEVELOPER
KELLY LARSON
SUN CITY GLASS
71 NORTH 300 WEST
ST. GEORGE, UT.
873-5444

CITY OF ST. GEORGE
PLANNING & ZONING DIVISION

Date Approved: 04/16/2021

Approved By: *[Signature]*
City Planner

- 1- TITLE
- 2- SITE PLAN
- 3- SEWER, WATER POWER UTILITY PLAN
- 4- GAS, PHONE & CABLE UTILITY PLAN
- 5- GRADING AND DRAINAGE
- 6- DETAILS

Utility Design Approved
by the JUC: 04/16/2021

Approved for Construction
City of St. George-Development Services *[Signature]*
This approval releases this project for construction and verifies that the professional engineer who has used his seal on these plans following the procedures for proceeding with the construction, warranty, or guarantee of the project, intended, or implied by the City of St. George. Construction must begin before *[Signature]*

NOTICE!

EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND LOCATION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Call
BEFORE YOU
Dig
1-800-662-4111

No.	DATE	BY



1045 EAST 100 SOUTH, SUITE 100
ST. GEORGE, UTAH 84202
PHONE: 866-338-8878
FAX: 866-338-8878
EMAIL: lrpope@lropo.com

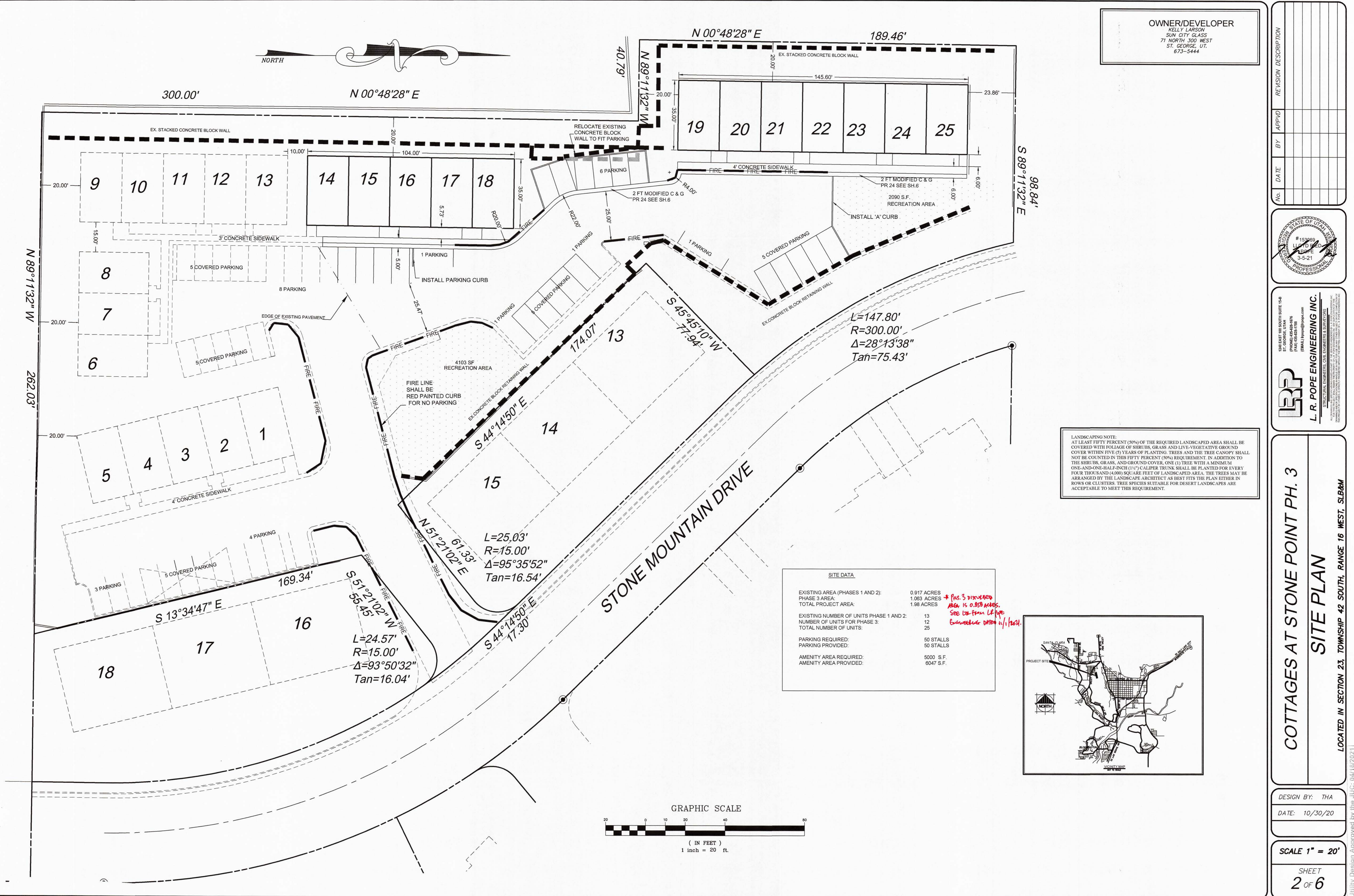
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STRUCTURAL, MECHANICAL, ELECTRICAL & CIVIL ENGINEERS & SURVEYORS
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF L. R. POPE ENGINEERING INC. AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF L. R. POPE ENGINEERING INC.

COTTAGES AT STONE POINT PH. 3

TITLE PAGE

LOCATED IN SECTION 23, TOWNSHIP 42 SOUTH, RANGE 16 WEST, SLB&M

DESIGN BY: THA
DATE: 10/30/20
SCALE 1" = 30'
SHEET 1 OF 6



OWNER/DEVELOPER
KELLY LARSON
SUN CITY GLASS
71 NORTH 300 WEST
ST. GEORGE, UT.
673-5444

NO.	DATE	BY	APPD	REVISION DESCRIPTION



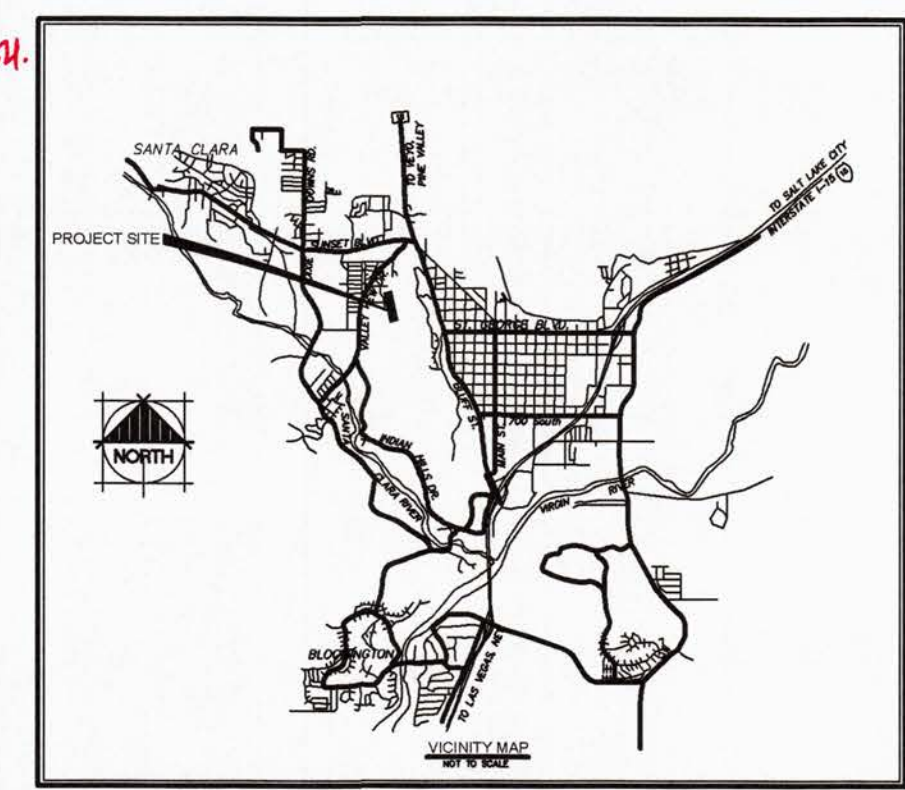


L. R. POPE ENGINEERING INC.
STRUCTURAL ENGINEERS, CIVIL ENGINEERS & SURVEYORS
1500 EAST 100 SOUTH SUITE 148
ST. GEORGE, UT 84790
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(FAX) 673-5444
(EMAIL) lrpope@lrpe.com

1500 EAST 100 SOUTH SUITE 148
ST. GEORGE, UT 84790
(PHONE) 673-5444
(FAX) 673-5444
(EMAIL) lrpope@lrpe.com

LANDSCAPING NOTE:
AT LEAST FIFTY PERCENT (50%) OF THE REQUIRED LANDSCAPED AREA SHALL BE COVERED WITH POLYMER OF SHRUBS, GRASS AND LIVE-VEGETATIVE GROUND COVER WITHIN FIVE (5) YEARS OF PLANTING. TREES AND THE TREE CANOPY SHALL NOT BE COUNTED IN THIS FIFTY PERCENT (50%) REQUIREMENT. IN ADDITION TO THE SHRUBS, GRASS, AND GROUND COVER, ONE (1) TREE WITH A MINIMUM ONE-AND-ONE-HALF-INCH (1 1/2") CALIPER TRUNK SHALL BE PLANTED FOR EVERY FOUR THOUSAND (4000) SQUARE FEET OF LANDSCAPED AREA. THE TREES MAY BE ARRANGED BY THE LANDSCAPE ARCHITECT AS BEST FITS THE PLAN EITHER IN ROWS OR CLUSTERS. TREE SPECIES SUITABLE FOR DESERT LANDSCAPES ARE ACCEPTABLE TO MEET THIS REQUIREMENT.

SITE DATA	
EXISTING AREA (PHASES 1 AND 2):	0.917 ACRES
PHASE 3 AREA:	1.003 ACRES
TOTAL PROJECT AREA:	1.98 ACRES
EXISTING NUMBER OF UNITS PHASE 1 AND 2:	13
NUMBER OF UNITS FOR PHASE 3:	12
TOTAL NUMBER OF UNITS:	25
PARKING REQUIRED:	50 STALLS
PARKING PROVIDED:	50 STALLS
AMENITY AREA REQUIRED:	5000 S.F.
AMENITY AREA PROVIDED:	6047 S.F.



COTTAGES AT STONE POINT PH. 3

SITE PLAN

LOCATED IN SECTION 23, TOWNSHIP 42 SOUTH, RANGE 16 WEST, SLB&M

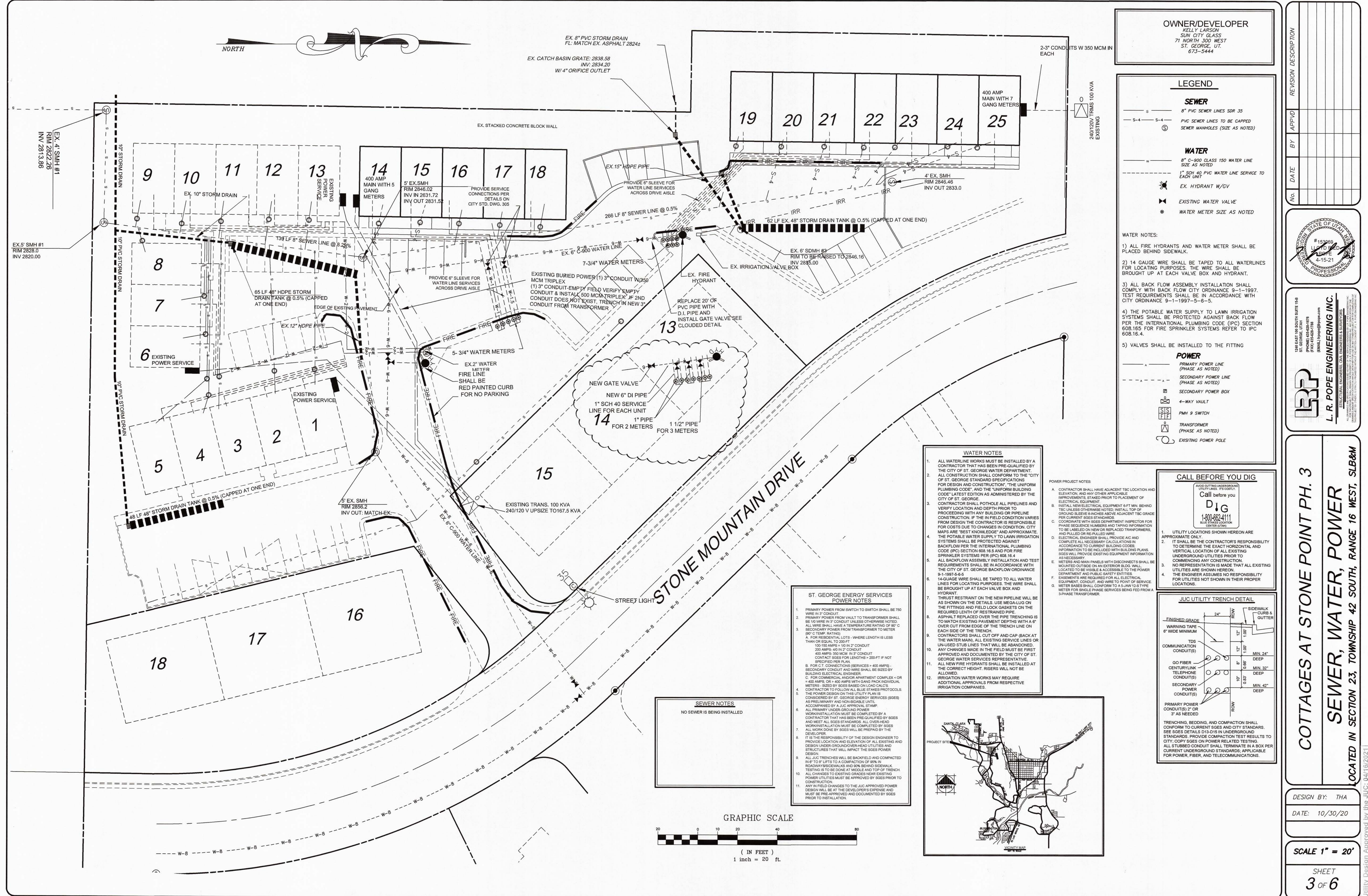
DESIGN BY: THA

DATE: 10/30/20

SCALE 1" = 20'

SHEET 2 OF 6

Utility Design Approved by the JUC: 04/16/2021



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77 NORTH 300 WEST
ST. GEORGE, UT
673-5444

LEGEND

SEWER

- 8" PVC SEWER LINES SDR 35
- PVC SEWER LINES TO BE CAPPED
- SEWER MANHOLES (SIZE AS NOTED)

WATER

- 8" C-900 CLASS 150 WATER LINE
- SIZE AS NOTED
- 1" SCH 40 PVC WATER LINE SERVICE TO EACH UNIT
- EX. HYDRANT W/GV
- EXISTING WATER VALVE
- WATER METER SIZE AS NOTED

POWER

- PRIMARY POWER LINE (PHASE AS NOTED)
- SECONDARY POWER LINE (PHASE AS NOTED)
- SECONDARY POWER BOX
- 4-WAY VAULT
- PMH 9 SWITCH
- TRANSFORMER (PHASE AS NOTED)
- EXISTING POWER POLE

WATER NOTES:

- 1) ALL FIRE HYDRANTS AND WATER METER SHALL BE PLACED BEHIND SIDEWALK.
- 2) 14 GAUGE WIRE SHALL BE TAPED TO ALL WATERLINES FOR LOCATING PURPOSES. THE WIRE SHALL BE BROUGHT UP AT EACH VALVE BOX AND HYDRANT.
- 3) ALL BACK FLOW ASSEMBLY INSTALLATION SHALL COMPLY WITH BACK FLOW CITY ORDINANCE 9-1-1997. TEST REQUIREMENTS SHALL BE IN ACCORDANCE WITH CITY ORDINANCE 9-1-1997-5-6-5.
- 4) THE POTABLE WATER SUPPLY TO LAWN IRRIGATION SYSTEMS SHALL BE PROTECTED AGAINST BACK FLOW PER THE INTERNATIONAL PLUMBING CODE (IPC) SECTION 608.155 FOR FIRE SPRINKLER SYSTEMS REFER TO IPC 608.16.4.
- 5) VALVES SHALL BE INSTALLED TO THE FITTING

CALL BEFORE YOU DIG

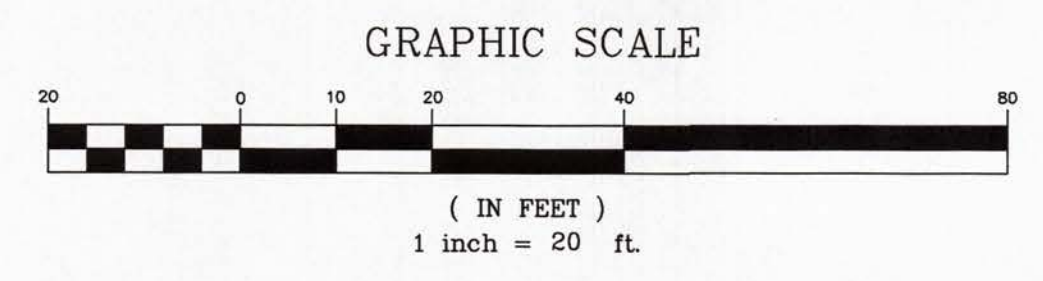
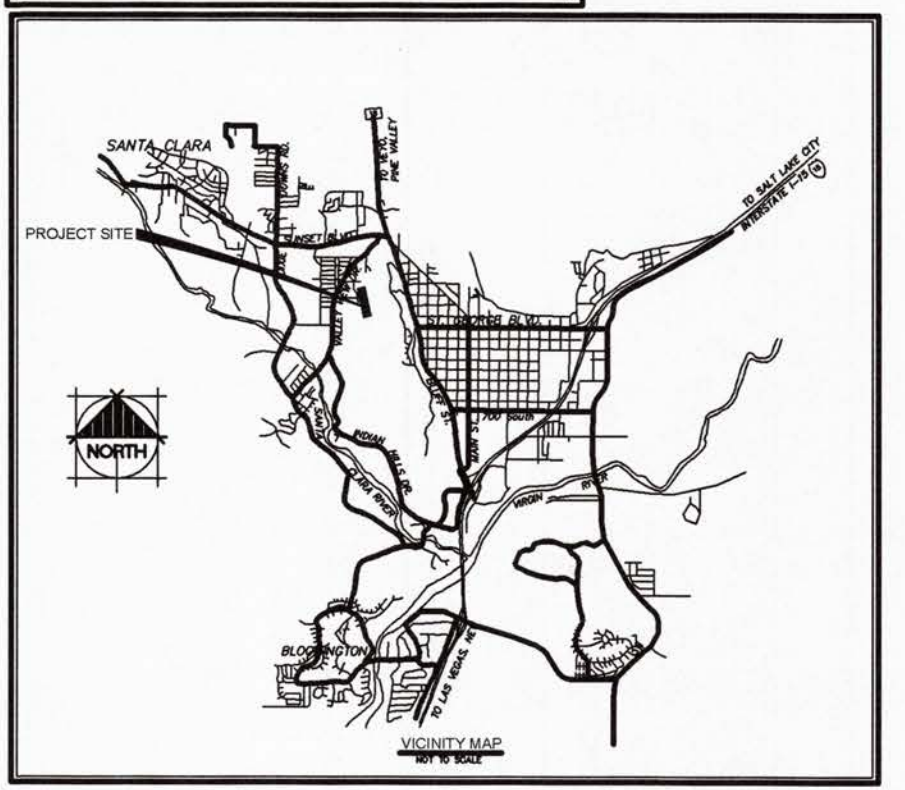
Call before you Dig
1-800-222-4111
UTAH
CENTER (STW)

JUC UTILITY TRENCH DETAIL

TRENCHING, BEDDING, AND COMPACTION SHALL CONFORM TO CURRENT SIZES AND CITY STANDARDS. SEE SIZES DETAILS D15-D15 IN UNDERGROUND STANDARDS. PROVIDE COMPACTION TEST RESULTS TO CITY. COPY SIZES ON POWER RELATED TESTING. ALL STUBBED CONDUIT SHALL TERMINATE IN A BOX PER CURRENT UNDERGROUND STANDARDS. APPLICABLE FOR POWER, FIBER, AND TELECOMMUNICATIONS.

ST. GEORGE ENERGY SERVICES POWER NOTES

1. PRIMARY POWER FROM SWITCH TO SWITCH SHALL BE 750 WIRE IN 3" CONDUIT.
2. PRIMARY POWER FROM VAULT TO TRANSFORMER SHALL BE 16 WIRE IN 3" CONDUIT UNLESS OTHERWISE NOTED.
3. ALL WIRE SHALL HAVE A TEMPERATURE RATING OF 90° C (TEMP. RATING).
4. SECONDARY POWER FROM TRANSFORMER TO METER (90° C TEMP. RATING).
5. A. FOR RESIDENTIAL LOTS - WHERE LENGTH IS LESS THAN OR EQUAL TO 200 FT:
 - 100-150 AMPS - 10 IN 2" CONDUIT
 - 200 AMPS - 40 IN 2" CONDUIT
 - 400 AMPS - 300 MCM IN 3" CONDUIT
6. B. FOR C.T. CONNECTIONS (SERVICES > 400 AMPS) - SECONDARY CONDUIT AND WIRE SHALL BE SIZED BY BUILDING ELECTRICAL ENGINEER.
7. C. FOR COMMERCIAL AND/OR APARTMENT COMPLEX - OR 400 AMPS OR > 400 AMPS WITH GANG PACK INDIVIDUAL METERS - SIZED BY SGEES BASED ON LOAD CALC.
8. CONTRACTOR TO FOLLOW ALL BLUE STAPLES PROTOCOLS.
9. THE POWER DESIGN ON THIS UTILITY PLAN IS CONSIDERED BY ST. GEORGE ENERGY SERVICES (SGES) AS PRELIMINARY AND NON-BIDDABLE UNTIL ACCOMPANIED BY A JUC APPROVAL STAMP.
10. ALL PRIMARY UNDERGROUND POWER WORK/INSTALLATION MUST BE COMPLETED BY A CONTRACTOR THAT HAS BEEN PRE-QUALIFIED BY SGEES AND MEET ALL SGEES STANDARDS. ALL OVER-HEAD WORK/INSTALLATION MUST BE COMPLETED BY SGEES.
11. ALL WORK DONE BY SGEES WILL BE PREPAID BY THE DEVELOPER.
12. IT IS THE RESPONSIBILITY OF THE DESIGN ENGINEER TO PROVIDE LOCATION AND ELEVATION OF ALL EXISTING AND DESIGN UNDERGROUND/OVERHEAD UTILITIES AND STRUCTURES THAT WILL IMPACT THE SGEES POWER DESIGN.
13. ALL JUC TRENCHES WILL BE BACKFILLED AND COMPACTION IN 6" TO 8" LIFTS TO A COMPACTION OF 95% IN ROADWAY SIDEWALKS AND 100% BEHIND SIDEWALK.
14. TESTING IS TO BE DONE AT MIDDLE AND TOP OF TRENCH. ALL CHANGES TO EXISTING GRADES NEAR EXISTING POWER UTILITIES MUST BE APPROVED BY SGEES PRIOR TO CONSTRUCTION.
15. ANY FIELD CHANGES TO THE JUC APPROVED POWER DESIGN WILL BE AT THE DEVELOPER'S EXPENSE AND MUST BE PRE-APPROVED AND DOCUMENTED BY SGEES PRIOR TO INSTALLATION.



REVISION DESCRIPTION

NO.	DATE	BY	APPD

DESIGN BY: THA

DATE: 10/30/20

SCALE 1" = 20'

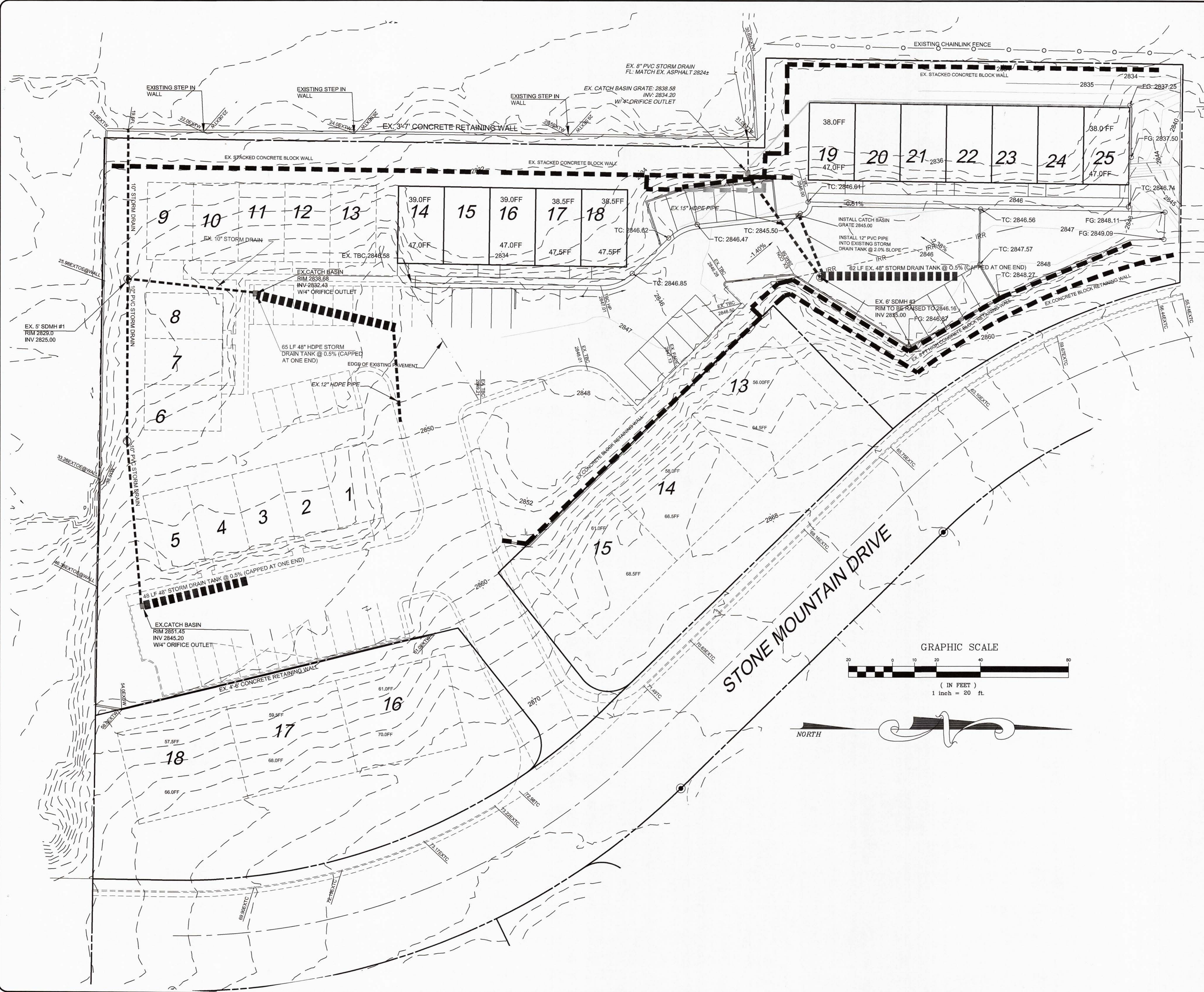
SHEET 3 OF 6

COTTAGES AT STONE POINT PH. 3

SEWER, WATER, POWER

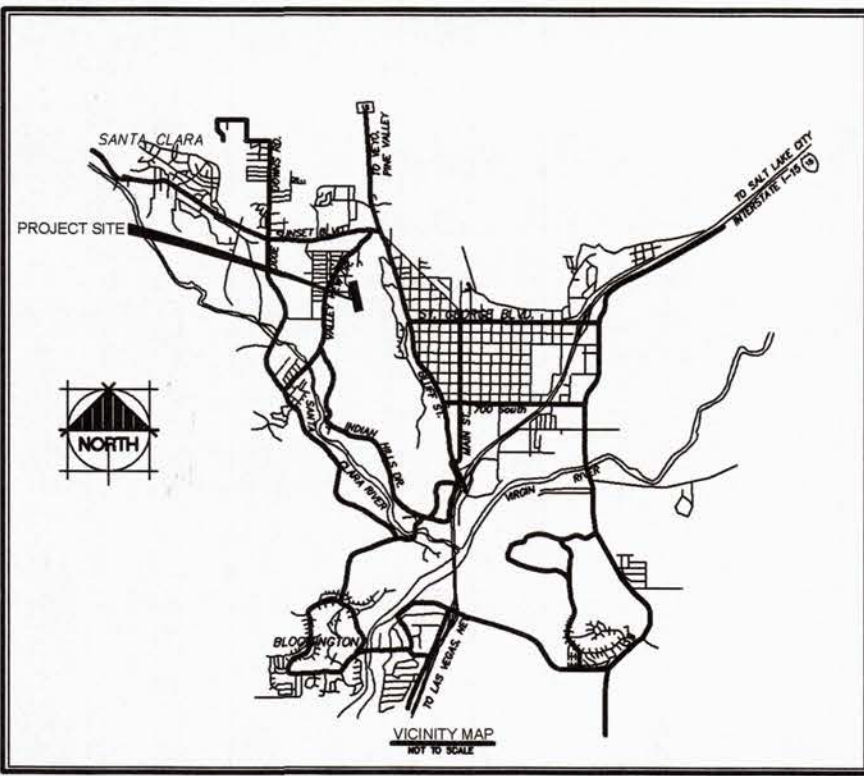
LOCATED IN SECTION 23, TOWNSHIP 42 SOUTH, RANGE 16 WEST, SLB&M

Utility Design Approved by the JUC: 04/16/2021



OWNER/DEVELOPER
KELLY LARSON
SUN CITY GLASS
71 NORTH 300 WEST
ST. GEORGE, UT.
673-5444

DRAINAGE NOTE:
ONSITE STORM DRAIN SYSTEM WILL BE PRIVATE
AND MAINTAINED BY OWNERS ASSOCIATION.



REVISION DESCRIPTION			
NO.	DATE	BY	APP'D



1200 EAST 100 SOUTH SUITE 100
ST. GEORGE, UT 84770
PHONE: 673-5444
FAX: 673-5445
EMAIL: lrpope@lrpope.com

STRUCTURAL ENGINEERS, CIVIL ENGINEERS & SURVEYORS

COTTAGES AT STONE POINT PH. 3

GRADING AND DRAINAGE

LOCATED IN SECTION 23, TOWNSHIP 42 SOUTH, RANGE 16 WEST, SLB&M

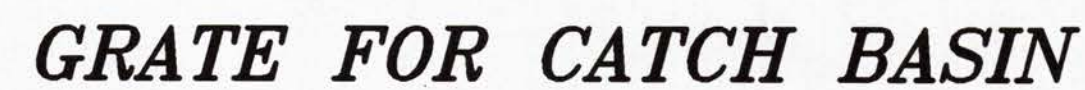
DESIGN BY: LRP

DATE: 10/30/20

SCALE 1" = 20'

SHEET 5 OF 6

Utility Design Approved by the JUC: 04/16/2021



ST. GEORGE STD DWG 202

NOT TO SCALE

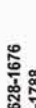


FOR DETENTION BASINS, PRIVATE CURB & GUTTER, WATERWAYS AND CLEANOUT LOCATIONS
ST. GEORGE STD DWG 200 NOT TO SCALE



ST. GEORGE STD DWG 101

NOT TO SCALE



L. R. POPE ENGINEERING INC.

ST. GEORGE, UTAH
 (PHONE) 35-626-4676
 (FAX) 35-626-1788
 (EMAIL) lrpope@lrpope.com

STRUCTURAL ENGINEERS, CIVIL ENGINEERS & SURVEYORS

AN ISO 9001 CERTIFIED FIRM
 WE HAVE OVER 30 YEARS OF EXPERIENCE IN THE DESIGN AND CONSTRUCTION OF ALL TYPES OF STRUCTURAL STEEL, CONCRETE, WOOD, AND COMBINATION OF THESE. WE HAVE BEEN INVOLVED IN THE DESIGN AND CONSTRUCTION OF THE FOLLOWING TYPES OF STRUCTURES: INDUSTRIAL FACILITIES, PETROLEUM FACILITIES, POWER PLANTS, WATER TREATMENT PLANTS, AIRPORTS, BRIDGES, AND HIGHWAYS. WE HAVE BEEN INVOLVED IN THE DESIGN AND CONSTRUCTION OF THE FOLLOWING TYPES OF STRUCTURES: INDUSTRIAL FACILITIES, PETROLEUM FACILITIES, POWER PLANTS, WATER TREATMENT PLANTS, AIRPORTS, BRIDGES, AND HIGHWAYS.

COTTAGES AT STONE POINT PH. 3

DETAILS

1
LOCATED IN SECTION 23, TOWNSHIP 42 SOUTH, RANGE 16 WEST, SLB&M

DESIGN BY: THA

DATE: 10/30/20

NO SCALE

SHEET
6 OF 6

NOTICE OF MEETING
HISTORIC PRESERVATION COMMISSION
CITY OF ST. GEORGE
WASHINGTON COUNTY, UTAH
October 20, 2021

PRESENT: Bob Nicholson, Member
Rick Atkin, Member
Scott Messel, Member

EXCUSED: Allan Carter, Member
Bette Arial, Chair

CITY STAFF: John Willis, Community Development Director
Carol Davidson, Planner III
Bryan Pack, Civil City Attorney
Brenda Hatch, Development Services Office Manager

The agenda for the meeting is as follows:

Scott Messel nominated Bob Nicholson as pro tempore chair, seconded by Rick Atkin. Unanimous, motion carries. Pro tempore chair Nicholson called the meeting to order at 12:11 pm

1. LANDMARK SITE DESIGNATION

Consider a request to designate the home at 179 West 200 North as a landmark site to be known as the Junius and Margaret Ann Barton Home.

Carol Davidson presented the following:

Carol Davidson showed where the home is located in the Arts District. Pictures were shown of the home in the past and present.

Carol Davidson – The house was built in 1949. The applicant provided a lot of information in the narrative (included in the packet). Carol recited the requirements for designation. The applicant feels like the home meets the category of events; they believe it has added to the history of the City of St. George during the post WWII era. This staff report was hard for me to write, the applicant provided a lot of information. It all goes to interpretation of whether you feel this meets an event. I went through the designations of the landmark book that we have and most of them are designated with the architectural one, there were some that had important people associated with them. The only ones I could find that had events associated with them were the commercial buildings like the Social Hall, the Opera House, and the Tabernacle.

Tyler Witwer – This was a tough one because we felt like it could fit under events, person, or architecture. This home was my grandparents' house. We purchased it from the estate to preserve it. My great grandfather built a number of homes in this area during that time. We didn't know if we should have tied it to the people, family members that grew up in this house and contributed as business owners and City Council members to the City of St. George.

Pro tempore chair Nicholson – Tell us again who you thought would qualify it under F. significant person.

Tyler Witwer – Leo Barton was my grandfather's father. They built this home together, but Leo also built about approximately 50 homes in the Southern Utah area during the 40's and 50's. We listed some of the homes that he helped build in the narrative. There are not many homes that had someone live in it for 69 years and all of the children that lived in this house are still in the City of St. George. They have played roles in developing Southern Utah.

Pro tempore chair Nicholson – This one is hard; it is a little like the last one. I guess it is significant because it represented a small, typical simple home from the 1940's and 50's in St. George.

Scott Messel – I like that it still has the wood shake and the original windows as well.

Tyler Witwer – We don't want this type of home to disappear in this area.

Rick Atkin – Yes, it could be really subjective. Less subjective would be the architecture. That would convince me to preserve it. There were important people that lived in and built the home but the precedent that we had before were people that were more like Mayors or went on to national notoriety. Do you know what type of architecture it is?

Pro tempore chair Nicholson – I don't know if they call it cottage or craftsman.

Scott Messel – If these types of homes disappear on the street what effect will it have on the more famous homes on that street? I want to preserve it for the street scape. I want to keep the neighborhood intact.

Discussion continued on whether the home should be considered as a historical landmark.

Pro tempore chair Nicholson – One thing they could do is remove the short-term rental as a use for the landmarks.

Carol Davidson – Unfortunately the discussion is that most people that fix up those homes and keep them looking good is because they want to do short term rental.

Rick Atkin – Short term rental is a bigger conversation; I am struggling why people have concern with it. Especially because people actually are keeping up their homes. People are being able to afford living in their homes because they can rent out accessory dwelling unit. I think maybe we have gone too extreme on preventing short term rentals. It's a very welcoming experience for people to stay in a home downtown. I don't have any problem with them. The issue in my neighborhood isn't short term rentals, it's the people that are renting long term.

Collin Simonsen- We need to make sure we don't go beyond the committee's purview and become a little Planning Commission, we need to base the sole decision on the criteria and not the short-term rental.

Carol Davidson – So they definitely meet the first 3, it's down to the 5 and whether or not this commission feels they meet it or not.

Tyler Witwer – We want to preserve it forever.

Pro tempore chair Nicholson – Carol is right, there are a lot of houses in the area that are like this. It is indicative of the small, basic dwellings in St. George, and it is part of the fabric of that neighborhood.

Rick Atkin – Is this a block style building?

Tyler Witwer – It is block.

MOTION: Rick Atkin made a motion to recommend approval of a landmark site, it meets all 3 of the criteria it meets the architecture as a block style cottage.

SECOND: Scott Messel

AYES: (3)

Bob Nicholson, Member

Rick Atkin, Member

Scott Messel, Member

NAYS: (0)

Motion Carries

2. **DISCUSSION ITEM**

Discussion on restoration of historic buildings

Carol Davidson – We wanted to talk about the Pymm House, this was the old post office and at some point and time it was changed. It kind of looks like it's the same building but at some point they replaced the roof, changed out the windows. The building we see today has nothing from the original. So, the question when they came to PSR was would you rather have us put this back like it was supposed to be or take it down and then do something modern? We don't want faux historical.

Matt Glendenning – If you peak through the window on the top you can see some old trusses. We haven't been able to look at them to see how old they are because of asbestos issues. We would love to pay homage to the old building and then juxtapose on the east side with a modern building.

Doug Glendenning – With it sandwiched between the Electric Theater, it would preserve the front and then add the modern structure on the back.

Matt Glendenning – So the question now is there is not much similarity to the historic photos, is it really historic or is there just a plaque on there?

John Willis – Do you know when they made the modifications?

Matt Glendenning – No, we think on the east side it looks like CMU, slab on grade probably 70's, 80's type of construction, no clue.

Discussion on the modifications and what might still be historic in the building.

Pro tempore chair Nicholson – Is the second story set back a bit?

Matt Metcalf – The second story goes back about a foot or two.

Rick Atkin – I know that Bette feels similar as we don't want faux historical. I would like to see what the feeling of the Planning Commission is, I would like to see outdoor spaces with patios and decks and things like that.

Discussion on roof patio and outdoor public spaces.

Scott Messel – Having windows on the side with the alley makes it more friendly, I'm a fan.

Pro tempore chair Nicholson – Two stories is appropriate for that area.

Rick Atkin – I like the plan a lot.

3. **MINUTES**

Consider approval of the August 18, 2021, meeting minutes.

MOTION: Scott Messel moved to approve the minutes from the August 18, 2021, meeting. SECOND: Rick Atkin AYES: (3) Bob Nicholson, Member Rick Atkin, Member Scott Messel, Member NAYS: (0) Motion Carries
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4. **ADJOURN**

MOTION: Rick Atkin made a motion to adjourn at 12:50 pm SECOND: Scott Messel AYES: (3) Bob Nicholson, Member Rick Atkin, Member Scott Messel, Member NAYS: (0) Motion Carries
