



HARRISVILLE CITY

363 W. Independence Blvd · Harrisville, Utah 84404 · 801-782-4100

www.cityofharrisville.com

PLANNING
COMMISSION:

Chad Holbrook
Brenda Nelson
Nathan Averill
Bill Smith
Kevin Shakespeare

Harrisville City Planning Commission

Harrisville City Offices

Wednesday, February 9, 2022 – 7:00 p.m.

AGENDA

Join Zoom Meeting

<https://us02web.zoom.us/j/82096098811?pwd=MWF2YngvQTlyZTVBVFEVsatWVDB1UT09>

Meeting ID: 820 9609 8811

Passcode: 782654

1. **CALL TO ORDER.**
2. **CONSENT APPROVAL** – of Planning Commission minutes from January 12, 2022.
3. **PUBLIC HEARING** – Harrisville City Planning Commission will take public comments for and/or against Harrisville Ordinance 531; Land Use Amendments.
4. **DISCUSSION/ACTION/RECOMMEND** – to recommend adoption of Harrisville Ordinance 531; Land Use Amendments.
5. **DISCUSSION/ACTION/RECOMMEND** – to approve Conditional Use Permit for Walmart Fuel Station signs.
6. **DISCUSSION/ACTION/RECOMMEND** – to grant preliminary approval for Bailey X Business Condos a commercial site plan located at approximately 2340 North Highway 89.
7. **DISCUSSION/ACTION/RECOMMEND** – to grant preliminary approval for Hales Building a commercial site plan located at approximately 995 North 375 East.
8. **COMMISSION/STAFF FOLLOW-UP.**
9. **ADJOURN.**

Certificate of Posting and Notice

I, Jennie Knight, certify that I am the City Recorder of Harrisville City, Utah, and that the foregoing Planning Commission agenda was posted and can be found at City Hall, on the City's website www.cityofharrisville.com, and at the Utah Public Meeting Notice Website at <http://pmn.utah.gov>. Notice of this meeting has also been duly provided as required by law. In accordance with the Americans with Disabilities Act (ADA), the Harrisville City will make reasonable accommodations for participation in the meeting. Please make a request for accommodation with the City Recorder at 801-782-4100, x1000, at least three (3) business days prior to any meeting.

**Harrisville City Planning Commission
363 W. Independence Boulevard
7:00 p.m., January 12, 2022
Conducting: Chair Chad Holbrook**

Commissioners: Chad Holbrook, Chair
Brenda Nelson
Nathan Averill
Bill Smith
Kevin Shakespeare
Brad Elmer

Staff: Bill Morris (City Administrator)
Jennie Knight (City Recorder)
Cynthia Benson (Deputy Recorder)
Justin Shinsel (Public Works Director)

Visitors: Austin Moffitt, Brenna Teuscher, Deanna Aguilar, Blaine Barrow, Jake Thompson, Rod Thompson, Doug Palermo, Michelle Tait, Antonio Flores, Chris Evertz, Frances Francisco, Jennifer Reeder, Ryan Alvarez, Marci Doolan.

1. CALL TO ORDER.

Chair Holbrook called the meeting to order and welcomed all visitors.

2. OATHS OF OFFICE.

Jennie Knight administered the Oaths of Office to Commissioners Nelson, Averill, and alternate Elmer.

3. CONSENT APPROVAL – of Planning Commission minutes from December 8, 2021.

Chair Holbrook asked if there were any changes to the December meeting minutes. Commissioner Averill stated that all his minor corrections were already discussed with staff and taken care of. No other commissioners had any corrections that needed to be notated.

MOTION: Commissioner Nelson motioned to approve the minutes from December 8, 2021 with minor corrections. Commissioner Averill seconded the motion. Voting was unanimous.

4. ELECT – Chair and Vice Chair for 2022.

Chair Holbrook opened for nomination for Chair and Vice Chair for 2022. Commissioner Nelson nominated Chair Holbrook to continue as chair. Commissioner Smith nominated Commissioner Nelson as vice chair. Chair Holbrook said he felt honored to serve and represent the city as chair for the Planning Commission.

MOTION: Commissioner Averill motioned to approve Chad Holbrook for the 2022 Chair and Brenda Nelson as 2022 Vice Chair. Commissioner Smith seconded the motion. Voting was unanimous.

5. PUBLIC HEARING – Harrisville City Planning Commission will take public comments for and/or against Harrisville Ordinance 530; a zoning change application received by Ben Lomond Properties, LLC from Agricultural (A-1) zone to Commercial (CP-2) for Weber County Parcel #11-019-0007, located at approximately 1801 N. Highway 89.

Bill Morris reviewed the application and concept plan for the rezone request. The property is currently zoned A-1. On the General Plan this parcel is zoned CP-2. This zoning request meets our General Plan. The development would be strictly commercial. The concept plan was presented as well for medical offices, rental spaces and a convenience store with parking spaces. They will be aligning the parking from the access point allowed by UDOT. The City Municipal complex would connect to the north of the project. Commissioner Nelson asked if there would be a stop light. Mr. Morris stated the project is 8.5 acres. Chair Holbrook stated that the difficulty with growth is having enough commercial. He feels it would be good for the city to have this.

Chair Holbrook declared the public hearing open.

Jennifer Reeder spoke. She said she lives on the corner of HWY 89 and Huntington Creek drive. Will this zoning change the ordinance for allowing guns to be across the highway and allow hunting? If it does, she is all for it.

Mr. Morris said that questions will be addressed after the public comment section is closed. Chair Holbrook asked for anyone else.

Austin Moffit stood and said her concern was with the run off from the project. She wanted to know how this would be address since she sees it going right into her pasture where an open ditch already runs.

Chair Holbrook closed the public hearing since no other comments were offered and to address the questions brought forth.

6. DISCUSSION/ACTION/RECOMMEND – to recommend adoption of Harrisville Ordinance 530; a zoning change application received by Ben Lomond Properties, LLC from Agricultural (A-1) zone to Commercial (CP-2) for Weber County Parcel #11-019-0007, located at approximately 1801 N. Highway 89.

Mr. Morris said that the public comment period for written comments will remain open until February 7, 2022 at 5 p.m. He then turned his attention to address the comment that was made earlier by Ms. Reeder. Once the development begins it will trigger Utah Code §76-10-508 which prohibits the discharge of guns within 600 feet of any building or near the highway. This project will see an end to this violation.

Mr. Morris asked for Justin Shinsel, the Harrisville City Public Works Director, to address the storm drainage for the property. Mr. Shinsel said he will work very diligently in the engineering process to address this issue. From his understanding the storm drain runs into the UDOT storm drain. Ms. Moffit said that there is a storm drain that is uncapped near her property and causes issues. Mr. Shinsel reiterated he would address this with the engineering process. Mr. Morris said we will also need to make certain this is addressed with the Municipal Complex as well since the land is flat and the run off is an issue.

MOTION: Commissioner Averill motioned to recommend approval of Harrisville Ordinance 530; a zoning change application received by Ben Lomond Properties, LLC from Agricultural (A-1) zone to Commercial (CP-2) for Weber County Parcel #11-019-0007, located at approximately 1801 N. Highway 89. Commissioner Nelson seconded the motion. Voting was unanimous.

7. DISCUSSION/ACTION/RECOMMEND – to recommend final approval of The Copperwoods Subdivision a 66-unit mixed-use development located at approximately 1956 North Highway 89.

Mr. Morris stated most of the items on the engineer's memo dated January 7, 2022 are completed during the pre-construction meeting with the exception of item #2. This item is strictly dealing with an engineering issue where the developer will need to have a structure on the detention pond to keep the discharged storm water clean. Commissioner Averill asked about the detention basins. Mr. Shinsel was asked to address the storm drain and detention basins. The snout mentioned in Item #2 is to help restrict the flow to not inundate the system and help clean out the storm drain. Chair Holbrook asked if item #2 was addressing both retention ponds. Mr. Shinsel said this only addresses the north end. The south end will flow to the north basin. The city is looking at a possible second smaller basin. The construction drawings were brought up to clarify the question about the retention basins. No further discussion was presented.

MOTION: Commissioner Nelson motioned to recommend final approval of The Copperwoods Subdivision a 66-unit mixed-use development located at approximately 1956 North Highway 89 subject to the engineer's memo dated January 7, the staff and agency comments and complies with municipal code and MDA. Commissioner Smith seconded the motion. Voting was unanimous.

8. DISCUSSION/ACTION/RECOMMEND – to approve a Conditional Use Permit for a home occupation at property located at 1066 North Wahlen Way. (Applicant Andrew Christensen)

Chair Holbrook tabled this item due to the applicant not being present to answer questions related to the home occupation such as: hours of operation, employees, etc. Mr. Morris requested a letter to be sent to the applicant by city staff to indicate this and to reschedule.

9. DISCUSSION/ACTION/RECOMMEND – to recommend site plan approval of the Wal-Mart Gas Station at 534 N Harrisville Road.

Mr. Morris discussed that this is a site plan approval. Commissioner Averill said the main thing mentioned in the engineer's memo states a concern with the drainage. Chair Holbrook asked if a buffer could be placed to help attract business with the open commercial pad that is located next to Chili's Restaurant.

Mr. Alvarez was asked to address any questions and to present the project. He described that the pad would be to the south east corner of the current parking lot with a 400 sq ft kiosk; all contained under an open canopy. It would be open to the public to be in line with a neighborhood gas station. It will be able to be accessed from either direction.

Mr. Morris brought the landscaping concern to the developers. Mr. Alvarez asked if this is a code requirement. There would be some signage in that area to consider since they would like it to remain visible to the public. They wish to be courteous to the other businesses. Mr. Alvarez asked if there was a need outside of what was already there on the property.

Chair Holbrook asked about where the signage would be placed. Mr. Alvarez said the corner is currently a preliminary sign location. He referred the matter to his architect Chris Evertz. Mr. Evertz asked if the city had the elevation drawings to easily explain where the signs would be. There would be no sign on the corner; that has been updated. The new signage will replace the current two pilon signs on the property located at the east and west entrances. Price signs will also be on the canopy.

Commissioner Nelson clarified that the shrubbery and trees be on the south side of the project as long as it does not interfere with clear view vision for the restaurants or cars.

Commissioner Averill asked about the drainage. Mr. Alvarez said he would make the changes as the project moves forward to City Council. Mr. Morris said that there would be no City Council approval since this is strictly a commercial project. The next step would be pre-con and the issues would need to be addressed at that point.

MOTION: Commissioner Holbrook motioned to approve the preliminary and final Commercial Site Plan for Walmart Gas Station located at 534 N Harrisville Road subject to the City Engineer's memo of January 7, 2022, all staff and agency comments and an updated beautification effort. Commissioner Averill seconded the motion. Voting was unanimous.

10. COMMISSION/STAFF FOLLOW-UP.

Chair Holbrook asked about a list of possible trainings. Mr. Morris said he would do some training at the next meetings. Rules of procedures and ethnics are some of the topics he will address. Any other

hours/topics required will be covered as meetings will allow. There will also be other meetings in Plain City and with the League offering to help complete this requirement.

Mr. Morris said there are no development issues to discuss. He addressed the Copperwoods subdivision being approved for Preliminary at City Council last night. He also mentioned that the City Council is working on the concept of the new Municipal Complex. The city shops are currently in the process of being sold. Commissioner Averill asked what would happen to the current city office building. Mr. Morris said that it too will be sold to cover the cost of the new municipal complex.

Mr. Shinsel addressed Warren Hollow Subdivision is moving forward slowly. The pre-con for Montgomery Farms was completed last week. Road work has been already begun to be cut in. Infrastructure will be started within the next couple of weeks. Mr. Shinsel said that if any of the Commissioners would like to have a tour of the projects in the city, he will be more than willing to facilitate.

11. ADJOURN.

Chair Holbrook formally adjourned the meeting at 7:43 p.m.

Cynthia Benson
Deputy City Recorder

Chad Holbrook
Chair



MEMORANDUM

TO: Harrisville Planning Commission
FROM: Jennie Knight, City Recorder
RE: Ordinance 531; Land Use Administrative Amendments
DATE: February 3, 2022

Staff is proposing to recommend adoption of Ordinance 531; Land Use Administrative Amendments to update the Harrisville Municipal Code with regard to Planning Commission membership and terms as well as adopt an Appeal Authority that better aligns with Title 10, Chapter 9a, Part 7: Appeal Authority and Variances.

On January 26, 2022, public notice was given that a public hearing will be held on February 9, 2022 at 7:00 pm to receive public comments.



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MAYOR:
Michelle Tait

COUNCIL MEMBERS:
Grover Wilhelmsen
Steve Weiss
Blair Christensen
Max Jackson
Kenny Loveland

Notice of Public Hearing

In accordance with UCA §10-9a-502, notice is hereby given that the Harrisville Planning Commission will hold a Public Hearing on February 9, 2022, at 7:00 p.m., in the Harrisville City Legislative Chambers located at 363 West Independence Blvd, Harrisville, Utah. The Planning Commission will take public comment in support and opposition to adoption of Harrisville Ordinance 531; Land Use Administrative Amendments. Individuals requiring special accommodations (including auxiliary communicative aids and services) should notify the City Recorder at (801) 782- 4100 at least three (3) days prior to the hearing.

CERTIFICATE OF POSTING

I hereby certify that the foregoing Notice was duly published and posted in accordance with UCA §10-9a-205, posted on the Utah Public Notice Website, posted on the City website and at three (3) locations in the City as follows: 1) City Hall 2) 2150 North and 3) Harrisville Cabin.

**HARRISVILLE CITY
ORDINANCE 531**

LAND USE ADMINISTRATIVE AMENDMENTS

AN ORDINANCE OF HARRISVILLE CITY, REPEALING, RE-ENACTING AND AMENDING THE LAND USE AUTHORITY AND PLANNING COMMISSION ADMINISTRATIVE STRUCTURE; LAND USE DUTIES AND POWERS; LAND USE APPEALS; SEVERABILITY; AND EFFECTIVE DATE.

WHEREAS, Harrisville City (hereafter “City”) is a municipal corporation, duly organized and existing under the laws of the State of Utah;

WHEREAS, *Utah Code Annotated* §§ 10-8-84 and 10-8-60 allow municipalities in the State of Utah to exercise certain police powers and nuisance abatement powers, including but not limited to providing for safety and preservation of health, promotion of prosperity, improve community well-being, peace and good order for the inhabitants of the City;

WHEREAS, Title 10, Chapter 9a, of the *Utah Code Annotated*, 1953, as amended, enables municipalities to regulate land use and development;

WHEREAS, the City finds it necessary to update its land use ordinances in order to meet the challenges presented by development and to protect public health, safety, and welfare;

WHEREAS, after publication of the required notice the Planning Commission held its public hearing on February 9, 2022, to take public comment on the proposed Ordinance, after which the Planning Commission gave its recommendation to _____ this Ordinance;

WHEREAS, the City Council received the recommendation from the Planning Commission and held its public meeting on _____;

NOW, THEREFORE, be it ordained by the City Council of Harrisville City as follows:

Section 1: **Repealer.** Section 11.02.040 and 11.02.050 of the *Harrisville Municipal Code* are both hereby repealed in their entirety. The remaining Sections of Chapter 11.02 of the *Harrisville Municipal Code* shall be renumbered appropriately. Section 2.01 of the *Harrisville Municipal Code* entitled “Land Use Authorities and Appeals” is repealed and re-enacted. Any other ordinance or portion of the *Harrisville Municipal Code* inconsistent with this Ordinance is hereby repealed and any reference thereto is hereby vacated.

Section 2: Administrative Actions. The *Harrisville Municipal Code* is amended to repeal all instances requiring administrative action, or non-legislative action, on a land use application by the City Council, excepting subdivisions over ten (10) lots.

Section 3: Adoption. The following portions of the *Harrisville Municipal Code* are hereby adopted to read as follows:

2.01.010 Planning Commission.

1. Establishment. In accordance with Utah Code Annotated §10-9a-301, City hereby establishes the Planning Commission subject to this Section.
2. Membership. The Planning Commission is composed of three (3) to five (5) members, and alternates as needed. Any alternate shall vote and is considered in all respects to exercise the same powers and duties as a member. All members shall be residents, and registered voters of the City, duly appointed by the Mayor, subject to the advice and consent of the City Council.
3. Term. Each member of the Planning Commission shall serve a term of four (4) years which may be staggered from other members.
4. Vacancy. Any vacancy in the Planning Commission is filled for the remainder of the unexpired term by appointment of the Mayor, subject to the advice and consent of the City Council.
5. Removal. A member may be removed by the Mayor at any time.
6. Powers and Duties. The Planning Commission is a recommending body and shall only exercise the powers and duties set forth in Utah Code §10-9a-302, and as may be provided by code.
7. Presiding Officer. The Planning Commission shall, at its first meeting each year, elect a Chair and Vice-chair from its membership. The Chair shall serve as the presiding officer, and the Vice-chair shall serve as such in the absence of the Chair.
8. Quorum. A quorum of the Planning Commission consists of the majority of the members present at a public meeting. A decision of the Planning Commission is based upon the majority vote of the quorum present and voting at a public meeting. Each member present at a meeting shall vote on an issue, yea or nay, except when a member declares a conflict of interest. A tie vote fails, or is deemed to be a negative recommendation, as the case may be.
9. Rules. The Planning Commission shall follow the Rules of Procedure and Order adopted by the City Council.
10. Compensation. The Mayor may fix per diem and compensation as established by the City Council.

2.01.020 Appeal Authority.

1. Establishment. In accordance with Utah Code §10-9a-701, the City hereby establishes an Appeal Authority to hear and decide land use appeals, and other appeals as provided by the municipal code.
2. Appointment. The Mayor shall appoint an individual, including alternates, as the Appeal Authority subject to the advice and consent of the City Council.

3. Qualification. The individual appointed should have qualified experience in land use as a professional surveyor, attorney, civil engineer, educator, or other land use related field.
4. Compensation. The Mayor may fix per diem and compensation as established by the City Council.
5. Authority. The Appeal Authority is quasi-judicial and serves as the final arbiter of issues involving the interpretation or application of the municipal code in the course of hearing and deciding all appeals, including:
 - a. Appeals set forth in Utah Code 10-9a-701(1)(b)
 - b. Variances in accordance with Utah Code §10-9a-702.
 - c. Appeals regarding geological hazards shall be administered in accordance with Utah Code §10-9a-703.
 - d. Any other appeal specified in the municipal code.
6. Time. In accordance with Utah Code Annotated §10-9a-704, a written appeal of any land use decision shall be filed with the City Recorder within ten (10) calendar days of the decision issued by the land use authority. An applicant, present at a meeting where a decision is made, is presumed to have actual notice of the decision which shall be deemed as the commencement of the ten (10) calendar day appeal period.
7. Burden. In accordance with Utah Code Annotated §10-9a-705, the appellant has the burden of proving error.
8. Due Process. Due process is afforded in accordance with Utah Code Annotated §10-9a-706.
9. Scope. Subject to the scope set forth in Utah Code Annotated §10-9a-707, the standard of review for the appeal authority is as follows:
 - a. For factual matters, the Appeal Authority may review the matter de novo.
 - b. The Appeal Authority shall determine the correctness of a decision of the Land Use Authority in its interpretation and application.
 - c. An appeal may be made where a Land Use Authority has applied a land use regulation to a particular application, person, or parcel.
 - d. All other standards for making an appeal shall be based upon the preponderance of the evidence.
10. Final Decision. The Appeal Authority shall issue a final decision in accordance with Utah Code §10-9a-708.
11. District Court. No person may challenge in district court any land use decision of the City until that person has complied with Utah Code Annotated §10-9a-801, and otherwise exhausted all administrative remedies and in accordance with Utah Code Annotated §10-9a-701(2). The following limitations apply:
 - a. No adversely affected parties shall present a theory of relief in district court that was not first presented to the appeal authority.
 - b. Adversely affected parties are precluded from pursuing duplicate or successive appeals before the same or separate appeal authorities as a condition of the adversely affected party's duty to exhaust administrative remedies.
 - c. The Appeal Authority may provide that a matter be appealed directly to the district court.

Section 4: Amendment. Section 11.18.100 of the *Harrisville Municipal Code* is hereby amended to read as follows:

11.18.100 Revocation.

~~In addition to other remedies and enforcement provided by law or code, A a conditional use permit may be revoked by the Planning Commission if any of the conditions or terms are violated; however, the person who has right to the conditional use permit shall first be given an opportunity to show cause before the planning commission why the permit should not be revoked. A violation of a condition or term of the conditional use permit shall constitute a violation of this code, and the revocation of a permit shall not prohibit prosecution or any other legal action taken on account of the violation. The decision of the planning commission to revoke a conditional use permit may be appealed to the city council, in writing, within fifteen (15) days of the planning commission's decision.~~

Section 5: Severability. If a court of competent jurisdiction determines that any part of this Ordinance is unconstitutional or invalid, then such portion of this Ordinance, or specific application of this Ordinance, shall be severed from the remainder, which shall continue in full force and effect.

Section 6: Effective date. This Ordinance takes effect immediately upon adoption and posting.

PASSED AND ADOPTED by the City Council on this ____ day of _____, 20__.

MICHELLE TAIT

Mayor

ATTEST:

JENNIE KNIGHT

City Recorder

Municipal Vote Tally : Yes No

Council Member Wilhelmsen ____

Council Member Weiss ____

Council Member Christensen ____

Council Member Jackson ____

Council Member Loveland ____

RECORDED this ____ day of _____, 20__.

PUBLISHED OR POSTED this ____ day of _____, 20__.

CERTIFICATE OF PASSAGE AND PUBLICATION OR POSTING

According to the provision of U.C.A. §10-3-713, 1953 as amended, I, the municipal recorder of Harrisville City, hereby certify that foregoing ordinance was duly passed and published, or posted at 1) City Hall 2) 2150 North and 3) The Cabin on the above referenced dates.

City Recorder

DATE: _____

DRAFT



HARRISVILLE CITY

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MAYOR:
Michelle Tait

COUNCIL MEMBERS:
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STAFF REPORT

To: Harrisville Planning Commission
From: Jennie Knight, City Recorder
Date: February 3, 2022
RE: Conditional Use Permit for Walmart Fuel Station
Zone: CP-2

The Walmart Fuel Station is proposing replacing the existing signs on North Harrisville Road and Washington Boulevard with electronic signs in addition to price reader signs on the canopy of the fuel station. HCMC §11.23.070 requires electronic signs be required to have a Conditional Use Permit (CUP).

Findings:

- A CUP is required under HCMC §11.23.070(2)(c) *Electronic signs. Are only allowed as a conditional use issued by the land use authority and as otherwise provided in this chapter.*
- Basis for Issuance of CUP in compliance with:
 - A. HCMC §11.23.030(6) *Electronic signs. Electronic signs shall be used to convey messages and provide graphic advertisement. Such signs are allowed as a conditional use granted by the land use authority only if:*
 1. *The sign has an automatic dimmer to reduce sign intensity at least to 60% intensity after dusk, or a greater reduction as may be necessary, including turning off the sign to mitigate impacts on nearby residential uses.*
 2. *The sign shall not display flashing or rapid blinking that may resemble strobe lighting, mimics police, emergency vehicles, traffic control lighting, or similar.*
 3. *Each message shall remain visible for enough time for a person to read said sign without distraction or transition between messages.*
 4. *Signs are limited to the commercial zone, manufacturing zone, and nonresidential uses in a residential zone.*
 5. *Signs shall follow the requirements for marquee signs.*



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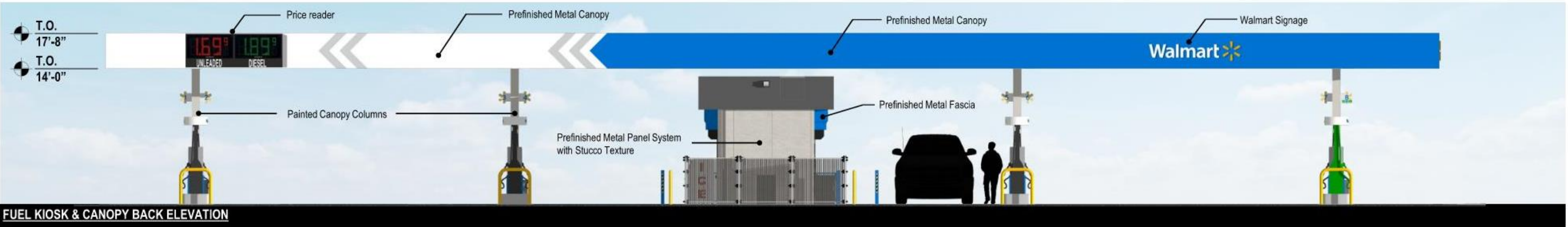
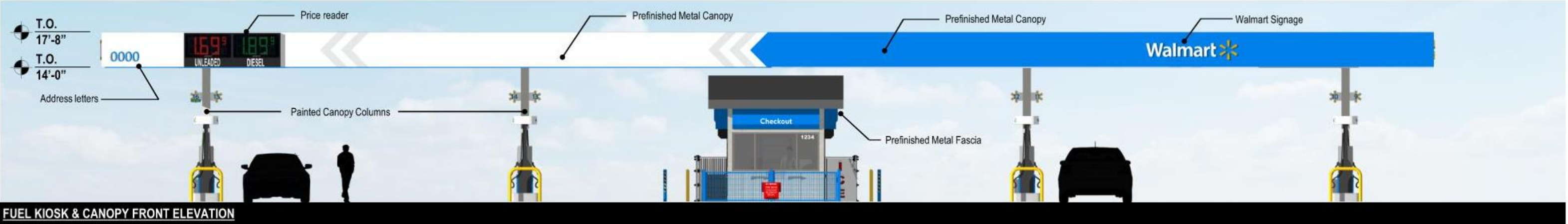
MAYOR:
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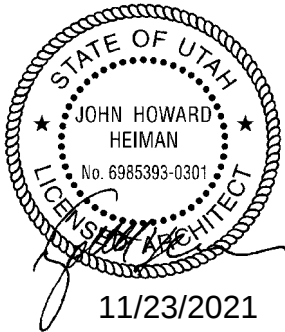
6. *The electronic message display area shall not exceed forty percent (40%) of the overall sign face which may include gaps and design space for aesthetic purposes.*
 7. *The land use authority can impose conditions to mitigate impact on surrounding residential uses, support dark sky principles common to municipalities, and to mitigate any possible public nuisance impacts.*
- B. HCMC §11.18.050 (1)(f) *The location of exterior lighting and signage will not be directed to or impact adjacent residential uses.*

Recommendation:

Staff recommends granting a Conditional Use Permit (CUP) for the proposed electronic signs on the Walmart Fuel Station final approved site plan based on compliance with the conditions outlined in Harrisville Municipal Code §11.23.030(6) and §11.18.050(1)(f).



						
PANTONE 285C	BLACK	COLOR MATCH SW# 7674 PEPPERCORN	COLOR MATCH SW# 7019 GAUNTLET GRAY	COLOR MATCH SW# 7015 REPOSE GRAY	PANTONE 427C	PURE WHITE





Existing Tenant Sign
(To Be Replaced)



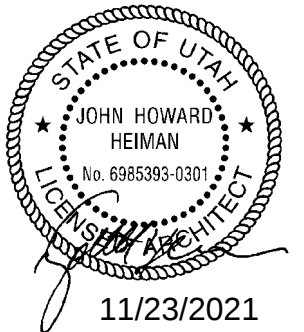
Existing Tenant Sign
(To Be Replaced)



Proposed Sign



Proposed Sign



MEMORANDUM



CONSULTING ENGINEERS

TO: Harrisville Planning Commission

FROM: Matthew L. Robertson, P.E.
City Engineer

RE: **BAILEY X (HARRISVILLE BUSINESS CONDOS) SITE PLAN**
Preliminary Improvement Drawings

Date: February 3, 2022

Our office has completed a review of the preliminary plans for the proposed Bailey X Site Plan located approximately at 2350 North Hwy 89. We recommend preliminary approval with the following comments that will need to be completely resolved prior to final approval:

1. Include bearings and distances on the plan to provide a description of the site.
2. Provide a geotechnical report for the site per the requirements in the City Standards.
3. Coordinate and receive approval of the culinary water improvements and fire hydrant locations with Bona Vista and North View Fire District.
4. Provide a drawing showing the improvements in the UDOT right-of-way including utility connections and driveway access. Obtain approval from UDOT Region 1 for access and work in their ROW.
5. Include applicable details from the Harrisville City Standard Drawings in the plan set (sewer details, trench detail, etc.)
6. The 8" sewer main through the site will need to be owned by Harrisville City per State Code. Construct per City Standards and prepare a 20' wide easement over the sewer main.
7. Extend the sewer to the north of the property in the asphalt to provide a potential connection point for the undeveloped property adjacent to the development.
8. Obtain permission from UDOT to connect to the storm drain system in the highway.
9. Provide the storm drain calculations used in finding the required volume of the detention basin.
10. Provide a Storm Water Quality Report and show which LID measures will be used and how the 80% retention standard will be met or why it is technically infeasible.
11. Verify that the ditch and pond on the south of the property can be abandoned as shown.
12. Adjust the site grading and details of the detention pond as called out in the reviewed set of plans.
13. Provide a landscape plan for the site and ensure that it meets City ordinance requirements.

I have included a set of plans with my comments on them for reference. Should you have further questions, please let us know.



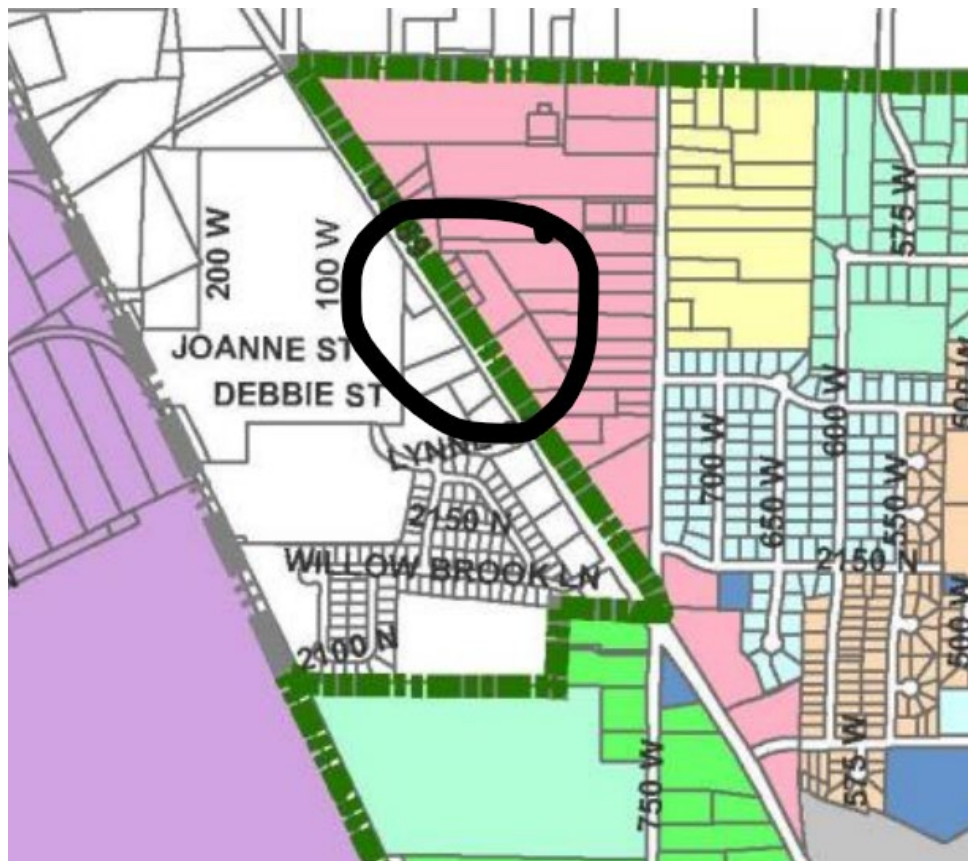
STAFF REPORT

To: Harrisville Planning Commission
From: Jennie Knight, City Recorder
Date: February 3, 2022
RE: Commercial Site Plan for Bailey X Business Condos
Zone: CP-2
Parcels: 17-066-0054, 17-066-0055
Acreage: 2.26 acres

Application for a Commercial site plan was received on January 25, 2022 for the Bailey X Commercial development located at approximately 2340 North Highway 89. All applicable fees have been paid to date.

Findings:

1. Compliance with 2019 Harrisville Future Land Use Map



2. Compliance with HCMC §11.12.020 Commercial Uses

SALES			
Automobile and recreational vehicle sales.	C	P	
Retail sales includes any establishment primarily engaged in the sale or rental of common used goods sold completely inside an enclosed building with no outdoor storage or display and merchandise for personal or household use, but excluding those classified more specifically in this title. Typical uses include furniture stores, variety stores, direct sales, dry goods, general merchandise, home furnishings, appliances, wall or floor covering, books, clothing, grocery, and auto parts.	P	P	
Retail sales of food made on site i.e. bakery, hot or cold drinks.	P	N	
Retail or wholesale sales of products not manufactured on site and stored and sold completely inside an enclosed building with no outdoor storage or display. (e.g. books, clothing, grocery outlets, furniture, wholesale warehouses, super stores...). Individual building size between 20,001 to 200,000 square feet.	C	P	
Retail or wholesale sales of products with a main office building but requires outdoor display of products to be sold. (e.g. automobile and recreation vehicle sales, car wash, plant nursery, building materials, etc.. Includes rental of automobiles, noncommercial trucks, and commercial vehicles and equipment).	C	C	11.14.020.4

3. The following **conditions** still exist:

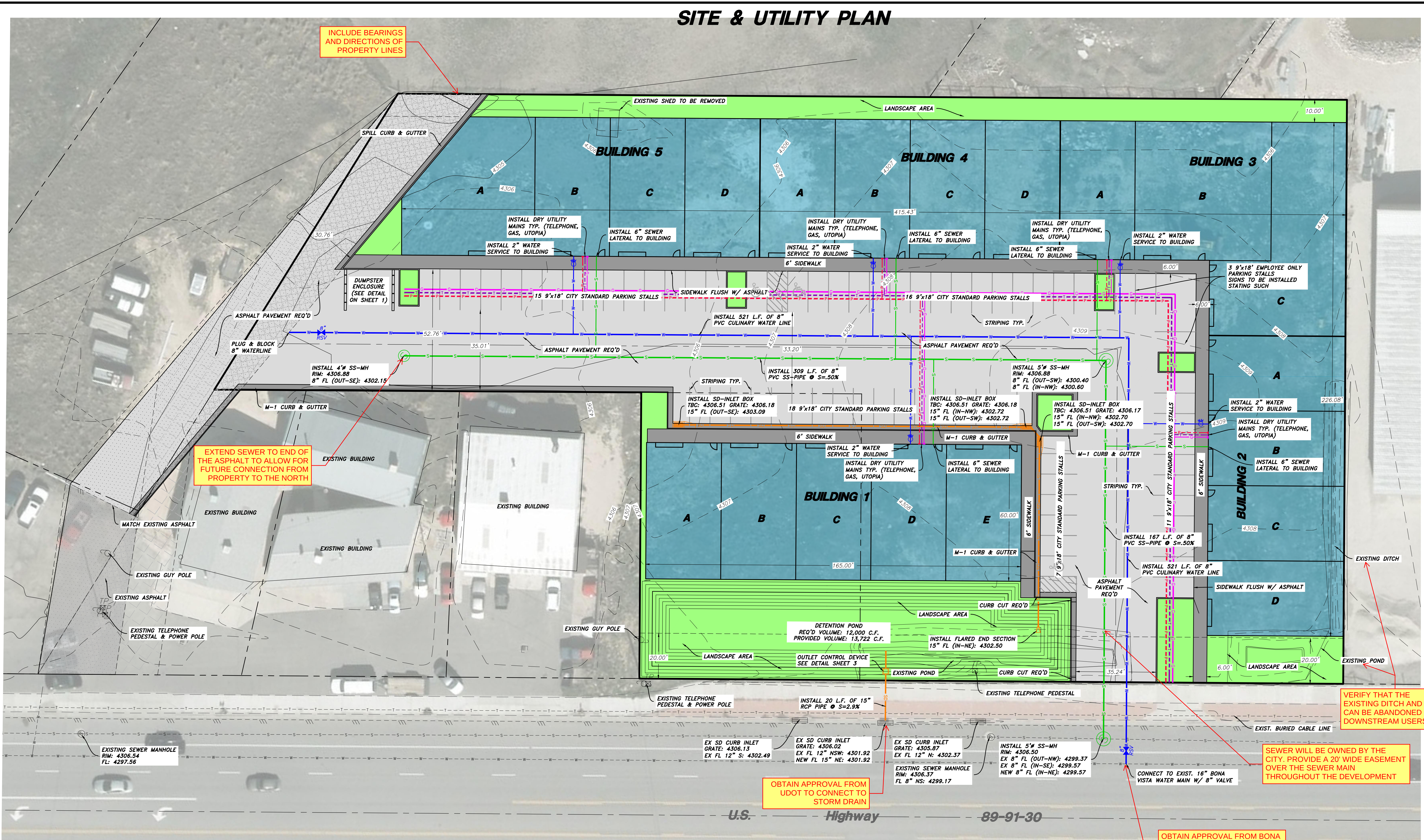
- Required service letters are needed from the following service providers: Bona Vista Water, North View Fire, Rocky Mountain Power, Dominion Energy.
- UDOT approved access letter
- Compliance with HCMC §11.22.030(6)(xxiv) *Landscaping plan to be provided showing a minimum 20% site landscape, which may include the required natural surface storm water detention, along with tree and plant types and placement in accordance with the landscape ordinance.*

Recommendation:

Staff recommends granting preliminary approval subject to compliance with HCMC §11.22.030(6)(c) Final approval requirements, the enclosed outlined conditions, the City Engineer's Memo dated February 3, 2022 and all other staff or agency comments.

INCORRECT ADDRESS

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of
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Engineer's Notice To Contractors

The existence and location of any underground utility pipes or structures shown on these plans were obtained from available information provided by others. The locations shown are approximate and shall be confirmed in the field by the contractor, so that any necessary adjustment can be made in alignment and/or grade of the proposed improvement. The contractor is required to contact the utility companies and take due precautionary measure to protect any utility lines shown, and any other lines obtained by the contractors research, and others not of record or not shown on these plans.

NOTICE!

EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

Call Before You Dig

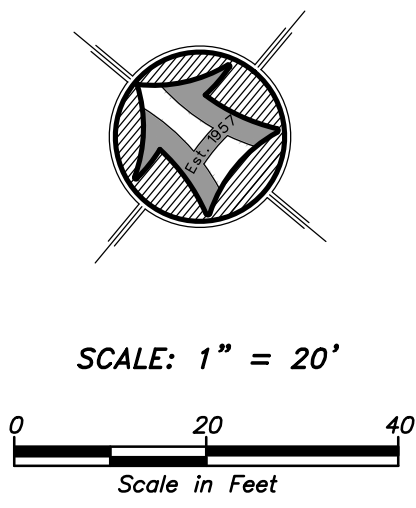
1-800-662-4111
UNDERGROUND SERVICE

CP-2 ZONE REQUIREMENTS	
MINIMUM LOT SIZE:	3,000 S.F.
FRONT SETBACK:	20 FEET
REAR SETBACK:	10 FEET
SIDE SETBACK AT STREET:	20 FEET
TYPICAL SIDE SETBACK:	0 FEET
REQUIRED PARKING:	70 STALLS
WAREHOUSING (BACK) AREA:	27,222 S.F.
PARKING REQ'D. (1 STALL PER 1,000 S.F. FOR FIRST 10,000 S.F. & 1 PER 10,000 FOR EACH ADDITIONAL 10,000 S.F.)	12 STALLS
LOW IMPACT RETAIL (FRONT) AREA:	17,400 S.F.
PARKING REQ'D. (1 STALLS PER 300 S.F.):	58 STALLS
REQ'D STORM POND VOLUME:	12,000 C.F.
100 YR STORM W/.1 CFS/Ac. RELEASE	

PROJECT DATA	
TOTAL PROJECT AREA:	98,839 S.F.
LANDSCAPE AREA PROVIDED:	15,160 S.F.
TOTAL BUILDING FOOTPRINT AREA:	44,622 S.F.
WAREHOUSING (BACK) AREA:	27,222 S.F.
PARKING REQ'D. (1 STALL PER 1,000 S.F. FOR FIRST 10,000 S.F. & 1 PER 10,000 FOR EACH ADDITIONAL 10,000 S.F.)	12 STALLS
LOW IMPACT RETAIL (FRONT) AREA:	17,400 S.F.
PARKING REQ'D. (1 STALLS PER 300 S.F.):	58 STALLS
TOTAL PARKING REQ'D:	70 STALLS
PARKING STALLS PROVIDED:	70 STALLS
ASPHALT AREA:	36,133 S.F.
CONCRETE AREA:	6,736 S.F.

- LEGEND:**
- SUBDIVISION BOUNDARY
 - PROPOSED PROPERTY LINE
 - EXISTING PROPERTY LINE
 - EXISTING SEWER LINE
 - EXISTING WATER LINE
 - EXISTING SECONDARY WATER LINE
 - EXISTING STORM DRAIN PIPE
 - PROPOSED SEWER LINE
 - PROPOSED WATER LINE
 - PROPOSED GAS LINE
 - PROPOSED POWER LINE
 - PROPOSED TELEPHONE LINE
 - PROPOSED SECONDARY WATER LINE
 - PROPOSED STORM DRAIN PIPE
 - SAW-CUT REQ'D.
 - EXISTING 5' CONTOUR
 - EXISTING 1' CONTOUR
 - EXISTING SEWER MANHOLE

- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- PROPOSED SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- PROPOSED M-1 CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- EXISTING 1' CONTOUR
- PROPOSED LANDSCAPING AREA



Drawn By: BTC Date: 01/25/22

Designed By: _____

Checked By: _____

Approved By: _____

Scale: 1" = 20'

Drawing File: 21-5-59 PP v19

JOB NUMBER: 21-5-59

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Consulting Engineers and Land Surveyors
538 North Main Street, Brigham, Utah 84302
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(435) 723-3491 (801) 399-4905 (435) 752-8272
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Harrisville Business Condos

OVERALL SITE & UTILITY PLAN FOR

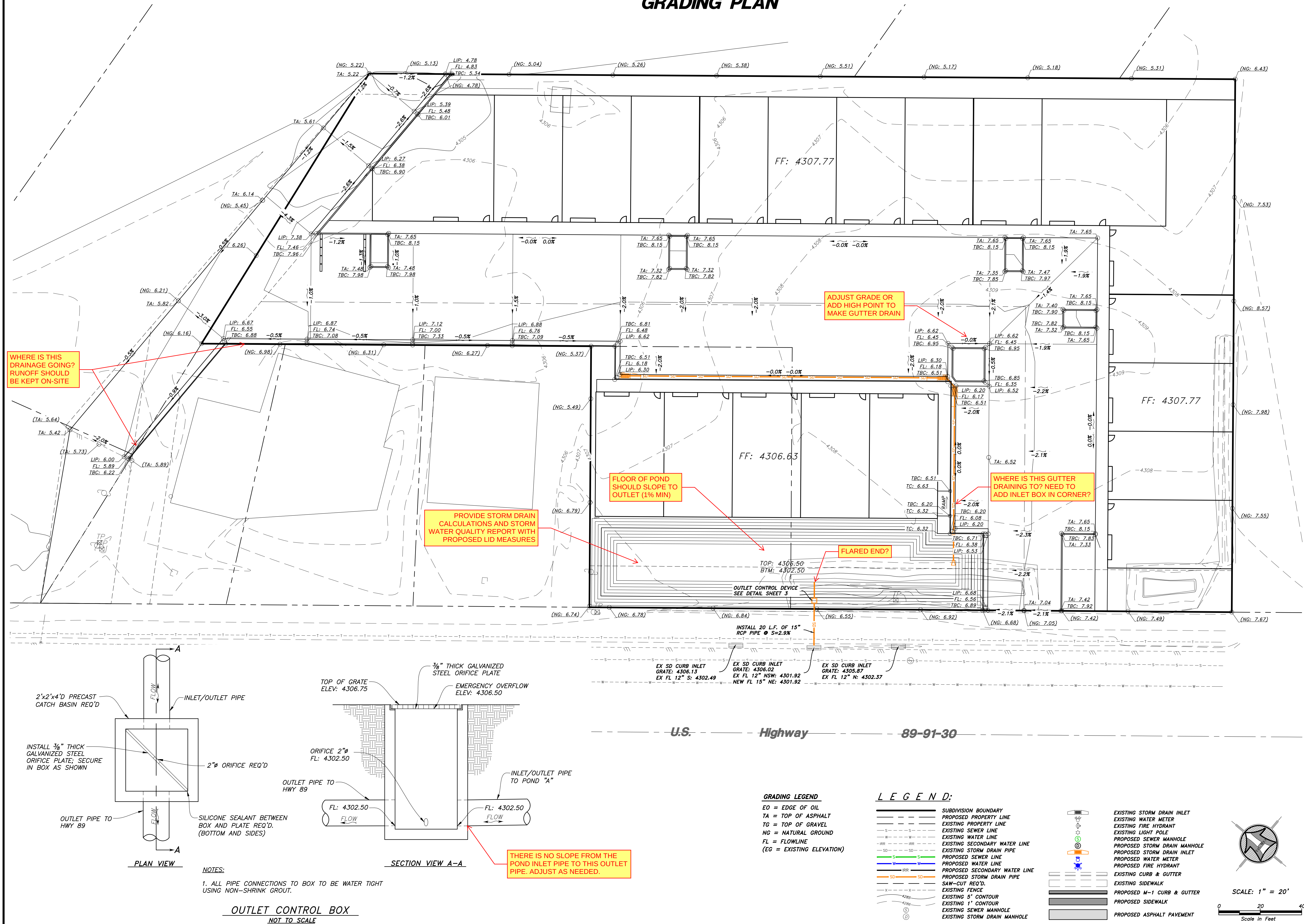
APPROX. 2340 NORTH HIGHWAY 89

HARRISVILLE

A Port of the Northwest Quarter of Section 31 Township 7 North, Range 1 West, S.L.B.&M.

Sheet **2** of **4** Sheets

GRADING PLAN



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(435) 723-3491 (801) 399-4905 (435) 752-8272

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Designed By: _____
 Checked By: _____
 Approved By: _____
 Scale: 1" = **
 Drawing File: 21-5-59 PP v19
 JOB NUMBER: 21-5-59

Harrisville Business Condos
APPROX. 2340 NORTH HIGHWAY 89
HARRISVILLE
A Part of the Northwest Quarter of Section 31
Township 7 North, Range 1 West, S.L.B.&M.

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of
4
Sheets



LABELS

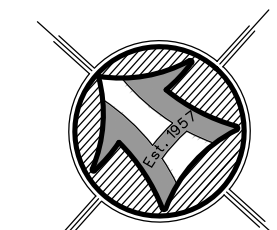
- (SF) - SILT FENCE OR BERM
(SCE) - STABILIZATION CONSTRUCTION ENTRANCE
(IP) - INLET PROTECTION
(CW) - CONCRETE WASHOUT

QUANTITIES

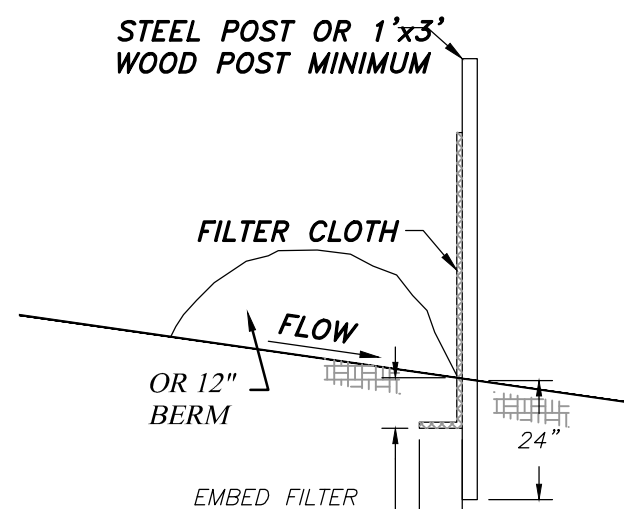
- SILT FENCE/BERM - 974 LF
STABILIZED CONSTRUCTION ENTRANCE - 1
INLET PROTECTION - 3
CONCRETE WASHOUT - 1

LEGEND

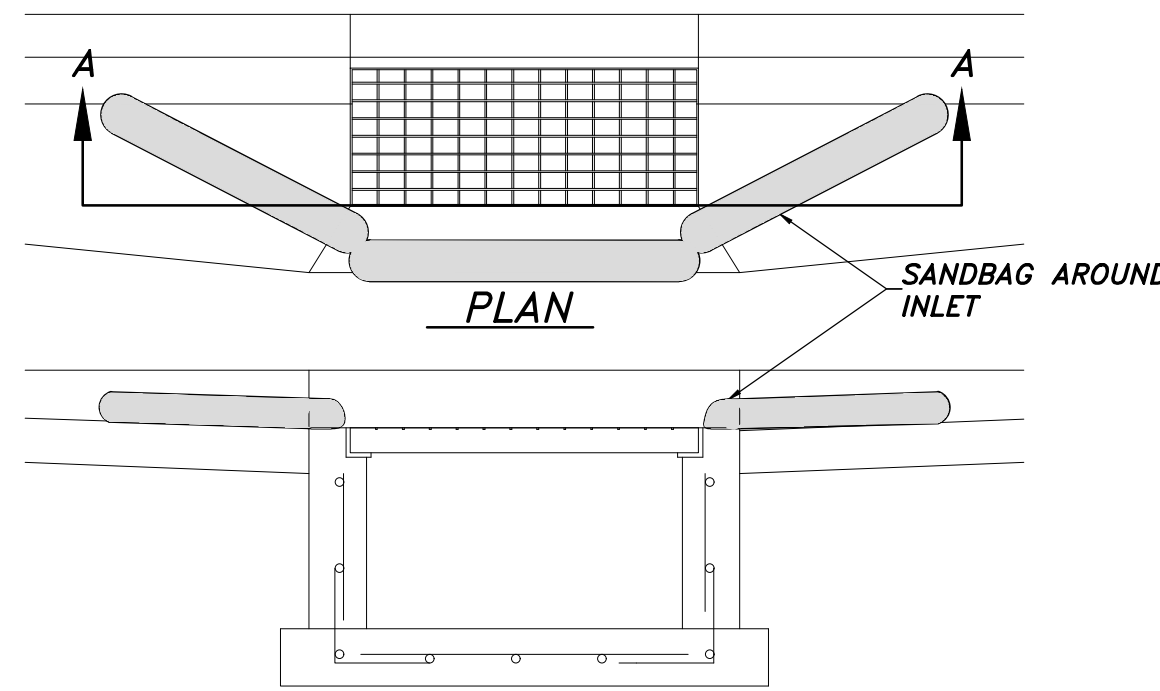
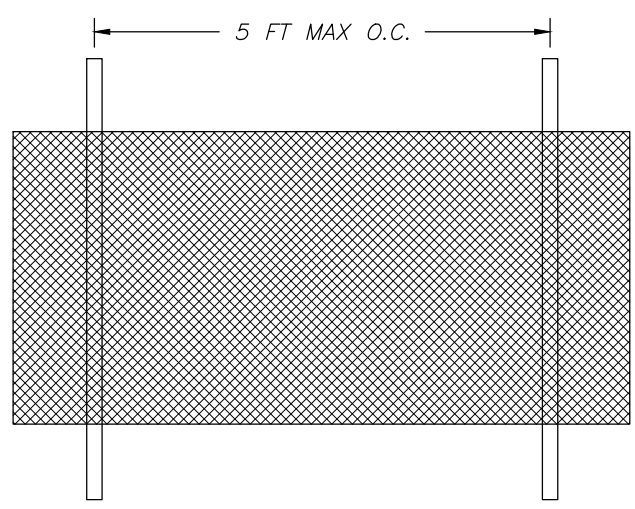
- PROPERTY BOUNDARY LINE
SILT FENCE OR BERM REQ'D
TRACKING PAD
CONCRETE WASHOUT AREA & SIGNAGE 30'
INLET PROTECTION



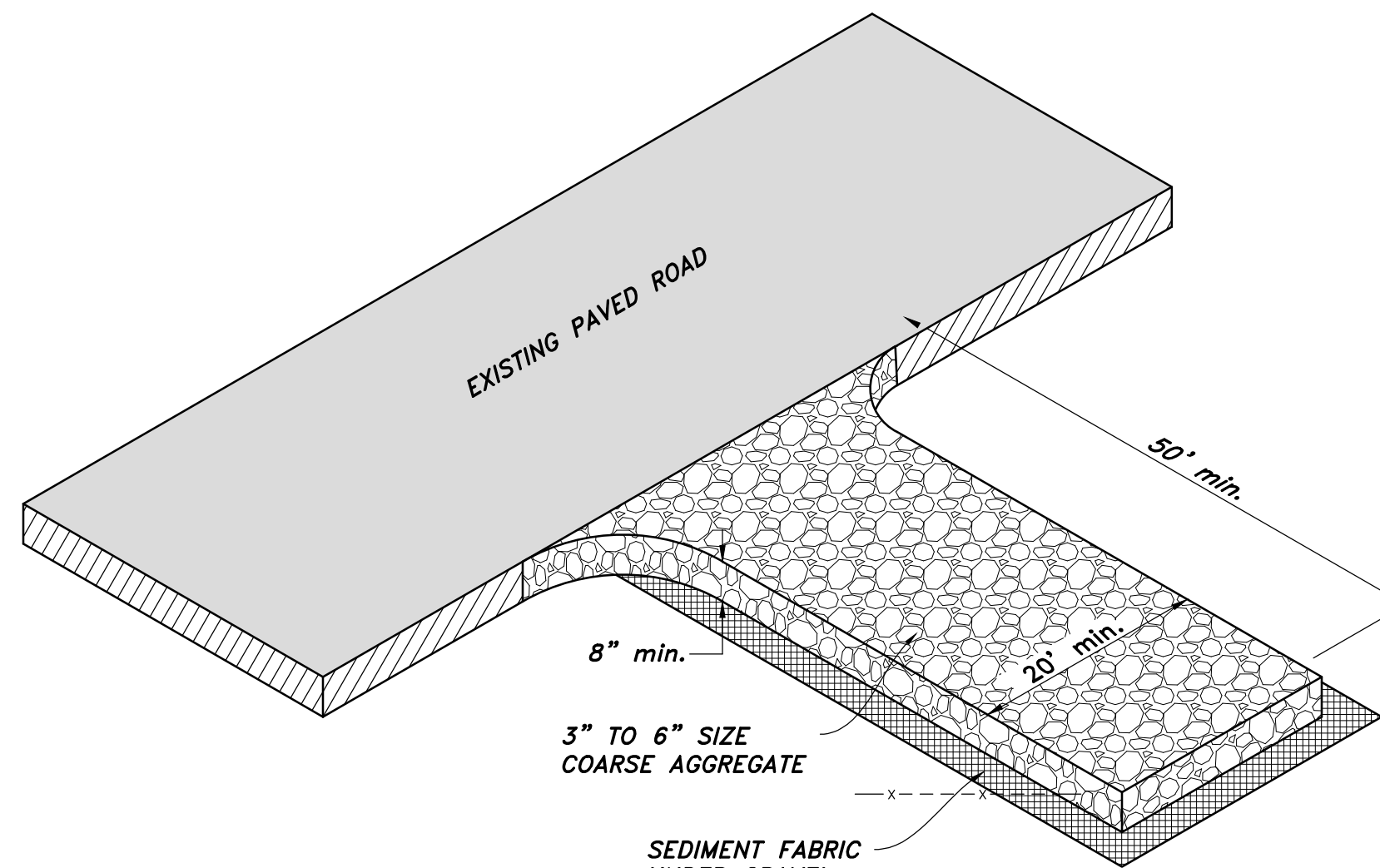
SCALE: 1" = 30'
Scale in Feet



SILT FENCE DETAIL
NOT TO SCALE



SECTION A
CURB INLET PROTECTION DETAIL
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

SWPPP PLAN

LOCATION:

LOCATION: HARRISVILLE, WEBER COUNTY, UTAH
SECTION 31, TOWNSHIP 7 NORTH, RANGE 1 WEST, SLB&M
LATITUDE: 41°18'04" N LONGITUDE: 111°59'58" W
APPROXIMATE ELEVATION: 4309'

PROJECT DATA:

TAX ID #: 170660054 & 55
PARCEL ACREAGE: 2.26 ACRES

BRENT BAILEY
APPROX. 2340 NORTH HIGHWAY 89
HARRISVILLE, UTAH

OVERVIEW:

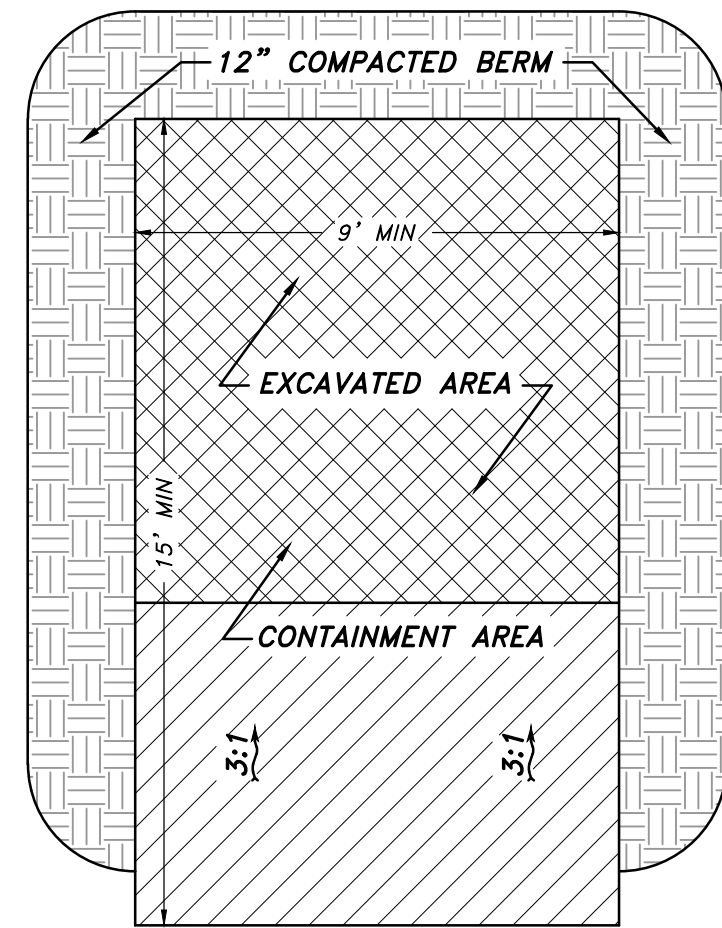
THE PROJECT CONSISTS OF THE CONSTRUCTION OF TWO (2) TRADESMAN SHOP BUILDINGS AND A PARKING LOT. CONSTRUCTION WILL ALSO CONSIST OF UTILITY CONNECTIONS AND INSTALLATION, STORM DRAIN RETENTION, AND SITE GRADING. DRAINAGE FROM ON-SITE ACTIVITY IS TO BE INTERCEPTED BY THE SILT FENCE/BERM AT THE NORTH-EAST & SOUTH-WEST BOUNDARIES OF THE PROJECT. A CONCRETE WASHOUT AREA IS LOCATED NEAR THE SOUTHERLY ENTRANCE/EXIT.

MAINTENANCE/RECORD-KEEPING:

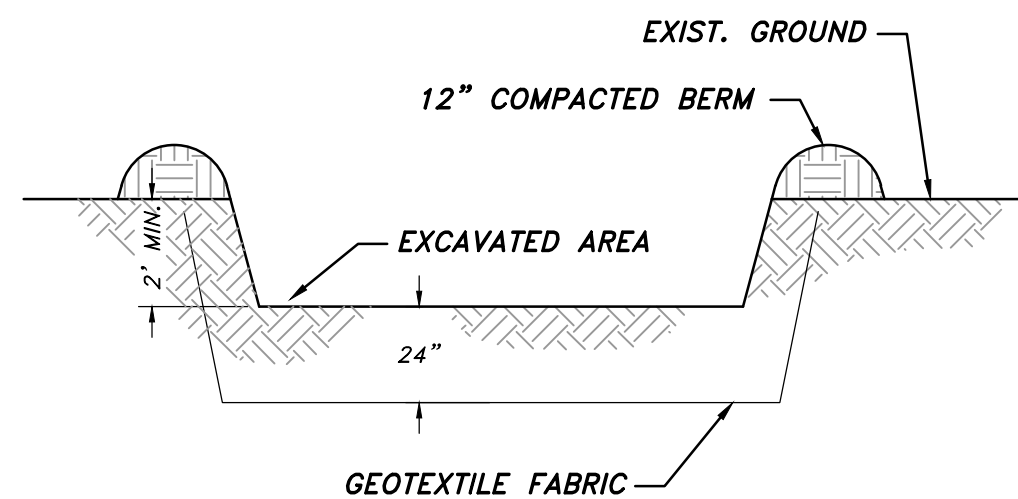
STRICT RECORD KEEPING IS IMPERATIVE. THE PROJECT WILL BE STATE-PERMITTED BUT PARTICULARLY UNDER THE AUSPICES OF HARRISVILLE CITY. KEEP INSPECTION REPORTS FORMS/FORMAT AS MANDATED BY HARRISVILLE CITY. A THOROUGH INSPECTION OF THE SWPPP MUST BE CONDUCTED AT LEAST EVERY 14 DAYS AND AFTER ANY PRECIPITATION OR SNOWMELT THAT CAUSES SURFACE EROSION. MAINTENANCE AND/OR MODIFICATIONS TO EROSION MEASURES MUST BE COMPLETED IN A TIMELY MANNER, BUT IN NO CASE MORE THAN 7 CALENDAR DAYS AFTER THE INSPECTION. THE ENFORCEMENT AGENCY IS HARRISVILLE CITY, WHO ADMINISTERS AND ENFORCES STORMWATER POLLUTION PREVENTION PLANS LOCALLY. STORMWATER MANAGEMENT ASPECTS AND PROCEDURES MAY BE MODIFIED BY PERMITTEE (AND/OR OFFICIAL REPRESENTATIVE) UPON OBTAINING HARRISVILLE CITY APPROVAL.

SWPPP PHASING - ORDER OF WORK:

- PHASE 1: CONSTRUCTION OF STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA AND SIGNAGE, SILT FENCES & BERMS, AND INLET PROTECTION.
PHASE 2: MAINTAIN STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT AREA, SILT FENCES & BERMS, AND WATTLES DURING CONSTRUCTION AND SITE IMPROVEMENTS.
PHASE 3: UPON ASPHALTING, REMOVE CONSTRUCTION ENTRANCE, WATTLES, INLET PROTECTION, AND TEMPORARY SILT FENCES & BERMS.



PLAN VIEW



CROSS SECTION A-A

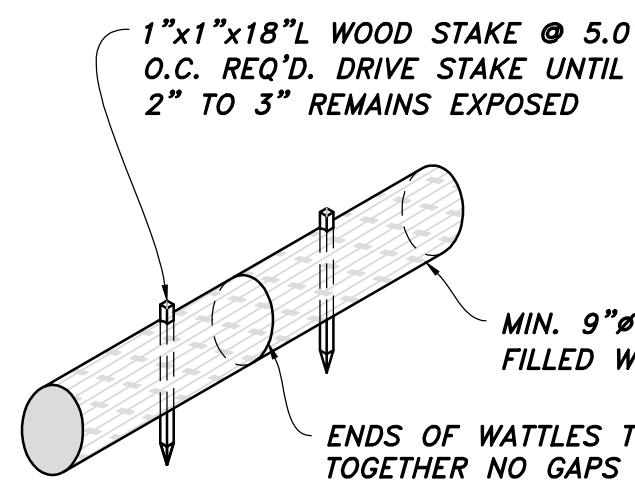
CONCRETE WASHOUT AREA
NOT TO SCALE

CONCRETE WASHOUT AREA NOTES:

INSTALLATION: PROPER SIGNAGE SUCH AS "CONCRETE WASHOUT" SHALL BE PLACED NEAR CONCRETE WASHOUT FACILITIES. A CONTINUOUS ONE-FOOT TALL COMPACTED EARTH BERM SHALL BE PLACED ON THREE SIDES OF THE EXCAVATED PIT. THE BOTTOM OF THE EXCAVATED PIT MUST BE PROVEN TO BE AT LEAST 5 VERTICAL FEET ABOVE GROUNDWATER OR THE PIT MUST BE LINED WITH A CLAY OR SYNTHETIC LINER DESIGNED TO CONTROL SEEPAGE.

MAINTENANCE: THE FACILITIES SHALL BE MAINTAINED IN GOOD CONDITION TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY OPERATIONS AT THE PROJECT SITE. HARDENED CONCRETE SHALL BE REMOVED AND PROPERLY DISPOSED OF ONCE THE PIT IS 75 PERCENT FULL AND AS NEEDED. WASTE SHALL BE DISPOSED OF PROPERLY IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.

NOTE: ADDING SOLVENTS, FLOCCULENTS, OR ACID TO THE WASHWATER IS PROHIBITED.



TYPICAL WATTLE/FILTER SOCK
NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE NOTES:

INSTALLATION/APPLICATION CRITERIA:
1. CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.

2. COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS)

3. PLACE COARSE AGGREGATE, 3" TO 6" IN SIZE, TO A MINIMUM DEPTH OF 8".

LIMITATIONS:
1. REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.

2. SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.

MAINTENANCE:
1. INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.

2. INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.

3. REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.

4. EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.

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Drawn By: BTC Date: 01/25/22
Designed By: _____
Checked By: _____
Approved By: _____
Scale: 1" = **
Drawing File: 21-5-59 PP v19
JOB NUMBER: 21-5-59

SWPPP FOR
Harrisville Business Condos
APPROX. 2340 NORTH HIGHWAY 89
HARRISVILLE
A Port of the Northwest Quarter of Section 31
Township 7 North, Range 1 West, S.L.B.&M.

Sheet

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of

4

Sheets



Site Plan Requirements

Site Plan Application

Date / Time

01/25/2022

Developer's Full Name

Bailey X, LLC

Email Address

mark.bailey@ekbailey.com

City

Ogden

Zip Code

84404

Parcel #

170660054, 170660055

Developer's Engineer

Hansen & Associates, Inc.

Engineer's Phone

435-723-3491

Please upload a digital copy of your engineered site plan. Signature

See attached: Engineered Site Plan - 21-5-59 Harrisville Business
Condos 012422 - 1.25.22.pdf

Type of Site Plan

New Site Plan

Phone Number

801-698-7979

Mailing Address

1243 N Washington Blvd

State

UT

Title of Project

Harrisville Business Condos

Approximate Address of Site

2340 North Highway 89, Harrisville UT 84404

Contact Person

Jim Flint

Engineer's Email Address

jimf@haies.net

MEMORANDUM



CONSULTING ENGINEERS

TO: Harrisville Planning Commission

FROM: Matthew L. Robertson, P.E.
City Engineer

RE: **HALES BUILDING SITE PLAN**
Preliminary Improvement Drawings

Date: February 3, 2022

Our office has completed a review of the preliminary plans for the proposed Hales Commercial Building located at approximately 995 North 375 East. A new commercial building is being proposed on the lot with access on to 375 East and a secondary access through the commercial lot to the east. We have the following comments that need to be addressed:

1. Verify that property lines shown are accurate. The bearings shown on the property lines don't match the property description on the county website.
2. Provide a geotechnical report for the site per the requirements in the City Standards.
3. Please include details from the City Standard Drawings in the detail sheets for all improvements in the public right-of-way. Standards can be found at <https://jonescivil.com/clients/harrisville-city/>
4. The retention in the bottom of the detention basin as shown is only allowed if the soil is permeable and there is sufficient distance to the groundwater elevation; the geotechnical report will identify these. Modify the basin as necessary if the basin will not drain out within 48 hours.
5. Obtain approval from UDOT to connect to the catch basin in Washington Blvd.
6. An easement for the proposed storm drain line through the property to the east of the site should be obtained.
7. An access easement across the property to the east should be obtained for the access shown on the east side of the site.
8. According to Chapter 11.13.060 of the municipal code, access onto a residential street from a commercial lot is prohibited. A variance may be required for this or access to the building through the property to the east may be required (if approved by UDOT).
9. The parking lot setback is 10' when next to a residential zone; plans show only 4.59' on the south property line where it abuts a residential lot. Adjust the parking lot or obtain variance.
10. There are screening requirements when a commercial development abuts a residential zone. See 11.13.050 of the municipal code and adjust the site plan accordingly.
11. Obtain approval from Bona Vista Water for irrigation connection to culinary water service.

Should you have further questions, please let us know.



STAFF REPORT

To: Harrisville Planning Commission
From: Jennie Knight, City Recorder
Date: February 3, 2022
RE: Commercial Site Plan for Hales Building
Zone: CP-2
Parcels: 11-027-0082
Acreage: 0.26 acres

Application for a Commercial site plan was received for the Hales Building Commercial developments located at approximately 995 North 375 East and all applicable fees have been paid to date.

Findings:

1. Compliance with 2019 Harrisville Future Land Use Map



2. Compliance with HCMC §11.12.020 Commercial Uses

SERVICES			
Personal services limited to the care of hair, skin, and nails. Sales of products related to the service performed is permitted.	C	C	
Professional or business office (e.g. accountant, architect, engineering services, insurance, lawyer, photography, real estate...) where all activity is contained inside an enclosed building. Includes parking of company passenger cars.	P	P	

3. The following conditions exist for preliminary approval:

- Required service letters are needed from the following service providers: Bona Vista Water, North View Fire, Central Weber Sewer, Rocky Mountain Power, Dominion Energy.
- UDOT approved access letter
- Variance for access to a residential street (375 East)

Recommendation:

Staff recommends granting preliminary approval subject to compliance with HCMC §11.22.030(6)(c) Final approval requirements, the enclosed outlined conditions, the City Engineer's Memo dated February 3, 2022 and all other staff or agency comments.

HALES BUILDING

CONSTRUCTION DOCUMENTS

HARRISVILLE, WEBER , UTAH

TRAFFIC CONTROL & SAFETY NOTES

1. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT STATE OF UTAH DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES, AND THE CURRENT CITY STANDARD DRAWING, AND SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO ANY WORK.
2. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE CITY TRAFFIC ENGINEER, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
3. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
4. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER
6. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS: OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS". THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

SANITARY SEWER GENERAL NOTES

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH CITY STANDARDS AND SPECIFICATIONS.
2. ALL GRAVITY SANITARY SEWER LINES SHALL BE SDR-35 PVC MATERIAL. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
3. DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
4. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE.
5. ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS. COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE PUBLIC WORKS SANITARY SEWER DEPARTMENT HEAD PRIOR TO FINAL ACCEPTANCE.
6. COMPACTION TESTING OF ALL TRENCHES WITH THE PROJECT SITE MUST BE ATTAINED AND RESULTS SUBMITTED TO THE CITY ENGINEER PRIOR TO FINAL ACCEPTANCE.
7. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER LINE.
8. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.
9. CAMERA TESTING AND PRESSURE TESTING PER CITY STANDARD.

GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE CITY ENGINEER, PLANNING, CODES AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE DESIGNATED PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) COPY OF APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT DRAWINGS ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY INSPECTOR AT ALL TIMES.
11. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTORS SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.

SWPPP GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY THE CITY AND STATE.
2. ALL STRUCTURAL EROSION MEASURES SHALL BE INSTALLED AS SHOWN ON THE SWPPP PLAN, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.

STORM SEWER GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
A)OBTAIN ALL REQUIRED PERMITS FROM THE CITY OR REGULATORY AGENCIES, INCLUDING PERMITS TO WORK IN THE RIGHT-OF-WAY.
B)RESTORATION OF EXISTING IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, SOD, LANDSCAPING, PAVEMENT, SPRINKLER SYSTEM.
C)VERIFICATION AND PROTECTION OF ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION.
D)PROVIDING AS-BUILT DRAWINGS TO THE CITY AND THE ENGINEER.
E)ALL PERMITTING, DEVELOPMENT, LOCATION, CONNECTION AND INSPECTION AND SCHEDULING FOR SUCH.
2. ALL STORM SEWER CONNECTIONS SHALL BE IN CONFORMANCE WITH CITY STANDARDS AND SPECIFICATIONS.
3. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH CITY STANDARDS AND SPECIFICATIONS AND PLANS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACEMENT OF ASPHALT PAVING.
4. COMPACTION OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED TO THE ENGINEER AND THE CITY PRIOR TO FINAL ACCEPTANCE.
5. ALL STORM DRAIN PIPES IN THE CITY RIGHT-OF-WAY SHALL BE RCP CL III.
6. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING LIDS. ALL STORM SEWER LIDS SHALL BE LABELED "STORM DRAIN".
7. WHERE CONNECTION TO EXISTING UTILITY IS PROPOSED, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND NOTIFY OWNER/ENGINEER IF LOCATION AND ELEVATION OF EXISTING UTILITY VARIES FROM THE DESIGN.

GENERAL GRADING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST APWA STANDARDS AND SPECIFICATION FOR PUBLIC WORKS AND THE CITY STANDARDS. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND ENTRIES. FINISHED GRADE AT FOUNDATION FOR WOOD FRAMED STRUCTURES SHALL BE 8 INCHES BELOW TOP OF FOUNDATION AND DRAINAGE SHALL BE A MINIMUM OF 5% WITHIN 10 FEET FROM THE BUILDING.
2. MAXIMUM SLOPES SHALL BE 3:1 FOR CUT AND FILL UNLESS OTHERWISE NOTED.
3. COMPACTION REQUIREMENTS AND TESTING SHALL BE PERFORMED TO MEET THE CITY STANDARDS.
4. NO FILL SHALL BE PLACED UNTIL VEGETATION HAS BEEN REMOVED AND SUB-GRADE PREPARED PER THE SOILS REPORT.
5. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
6. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN BY INSTALLING BMP'S PRIOR TO COMMENCEMENT OF EXCAVATION ACTIVITIES. CONTACT THE CITY INSPECTOR FOR INSPECTION.
7. ALL RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ALL SUBSEQUENT REPORTS, ADDENDUM ETC. SHALL BE CONSIDERED A PART OF THIS GRADING PLAN AND SHALL BE COMPLIED WITH.
8. THE CONTRACTOR SHALL CONTACT BLUE STAKES FOR LOCATION MARKING PRIOR TO COMMENCING EXCAVATION ACTIVITIES.
9. CITY MAY REQUIRE A PRE-CONSTRUCTION MEETING BEFORE A PERMIT IS ISSUED.
10. STREETS ADJACENT TO THE PROJECT SHALL BE CLEAN AT ALL TIMES.
11. CONTRACTOR IS RESPONSIBLE FOR ARRANGING FOR ALL REQUIRED INSPECTIONS.
12. PRIOR TO TAKING WATER FROM A CITY FIRE HYDRANT, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE WATER UTILITY TO OBTAIN A WATER METER.

CULINARY WATER GENERAL NOTES

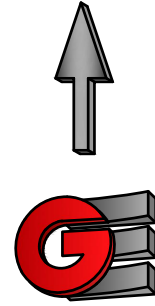
1. ALL INSTALLATION AND MATERIALS SHALL CONFORM TO WATER UTILITY STANDARDS, SPECIFICATIONS AND PLANS.
2. THRUST BLOCKING IS REQUIRED AT ALL BENDS AND FITTINGS. TIE RODS SHALL BE USED AT ALL BENDS AND FITTINGS WHERE THRUST BLOCKS DO NOT BEAR AGAINST UNDISTURBED SOIL.
3. ALL WATERLINES AT SEWER CROSSINGS SHALL BE LOCATED ABOVE AND HAVE AN 18-INCH VERTICAL SEPARATION FROM THE SEWER PIPE. IF THIS IS NOT PROVIDED, THE WATERLINE SHALL BE INSTALLED WITH 20 L.F. OF CONCRETE CASING CENTERED OVER THE SEWER PIPE.
4. DISINFECTION TESTS SHALL BE PERFORMED BY THE WATER UTILITY WITH COOPERATION FROM THE CONTRACTOR IN PERFORMING ANY NECESSARY EXCAVATION AND SUBSEQUENT BACKFILLING AT NO COST TO THE CITY.
5. CHLORINATION OF COMPLETED WATER LINE. THE NEW WATER LINES SHALL BE DISINFECTED BY CHLORINATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL RELATED COSTS AND FEES RELATED TO THE CHLORINATION OF THE COMPLETED WATER LINE. THIS TEST SHALL BE PERFORMED PRIOR TO CONNECTION OF THE NEW WATER LINES TO THE EXISTING WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY THE WATER UTILITY AT LEAST 24 HOURS BEFORE THE CHLORINATION IS DESIRED.
6. A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET SHALL BE MAINTAINED FROM SANITARY SEWER MAINS.
7. UNLESS OTHERWISE SPECIFIED, ALL WATERLINES SHALL BE AWWA C900 PVC CLASS 150, PER ASTM D2241.
8. CONTRACTOR SHALL LOCATE VALVES PRIOR TO CONNECTION WITH EXISTING SYSTEM, BUT SHALL NOT OPERATE ANY VALVE WITHOUT PERMISSION FROM THE WATER UTILITY.
9. ALL WATER MAINS, VALVES, FIRE HYDRANTS, SERVICES AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO PAVING.
10. THERE SHALL BE A WATER SUPPLY TO THE DEVELOPMENT BEFORE ANY WOOD CONSTRUCTION STARTS.
11. THE WATER UTILITY REQUIRES THE USE OF CORROSION RESISTANT MATERIALS FOR ALL CULINARY WATER IMPROVEMENTS. SPECIFICALLY, ROMAC BLUE BOLTS OR STAINLESS STEEL BOLTS MUST BE USED ON ALL FITTINGS. FURTHER, ALL METAL FITTINGS SHALL BE POLY WRAPPED.

HALES BUILDING
CONSTRUCTION DOCUMENTS



ALL IMPROVEMENTS TO CONFORM TO CURRENT CITY STANDARDS AND SPECIFICATIONS
CULINARY WATER IMPROVEMENTS TO CONFORM TO THE WATER UTILITY'S STANDARDS AND SPECIFICATIONS
SECONDARY WATER IMPROVEMENTS TO CONFORM TO THE SECONDARY WATER UTILITY'S STANDARDS AND SPECIFICATIONS

REPLACE WITH CITY
STANDARD CURB AND
GUTTER (30" WIDE)



SHOW CITY
STANDARD DRIVE
APPROACH

110-270-044
EMAMI, ROBAB

110-270-073
C & J REAL PROPERTY INVESTMENTS LC

BEARINGS DON'T SEEM TO MATCH
THE PROPERTY DESCRIPTION ON
COUNTY WEBSITE (TYP)

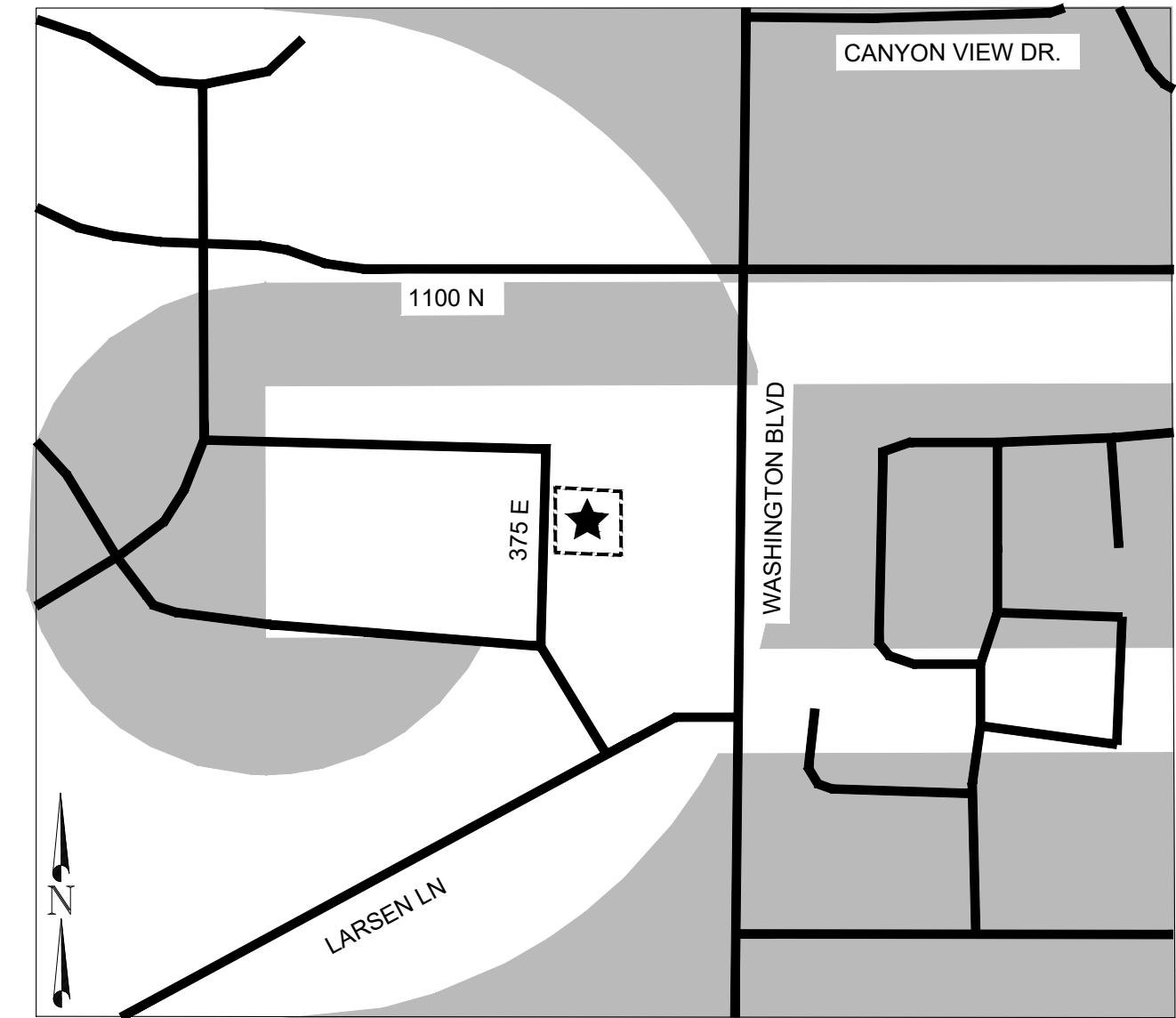
HAS ACCESS EASEMENT
BEEN RECORDED ON
ADJACENT LOT?

110-270-059
DINNEEN, EDITH M ETAL TRUSTEES

110-280-003
BERNARD FRANCIS DINNEEN TRUST

PARKING LOT SETBACK NEXT TO A
RESIDENTIAL ZONE IS 10'. THERE ARE
ALSO SCREENING REQUIREMENTS WHERE
A COMMERCIAL LOT ABUTS A RESIDENTIAL
ZONE. SEE 11.13.050 OF MUNICIPAL CODE.

VICINITY MAP



SITE KEYNOTES:

- EXISTING CONCRETE WALL
- EXISTING DRIVE APPROACH (SEE DEMOLITION PLAN)
- EXISTING CURB CUT (SEE DEMOLITION PLAN)
- EXISTING SIDEWALK
- PROPOSED DRIVE APPROACH
- PROPOSED ADA ACCESSIBLE PARKING STALL WITH SIGN
- PROPOSED SIDEWALK
- 10' DRAINAGE EASEMENT
- 22.5' ACCESS EASEMENT
- DUMPSTER ENCLOSURE
- 24" SPILL CURB

SITE TABLE

BUILDING	3,600 SQ. FT.	31.72%
ASPHALT PAVING	3,584.52 SQ. FT.	31.56%
CONCRETE	535.11 SQ. FT.	4.71%
LANDSCAPE	3,566.71 SQ. FT.	31.42%
TOTAL SITE AREA	11,350.91 SQ. FT.	100%
PARKING STALLS PROVIDED = 7 (INCLUDES 1 ADA STALLS)		

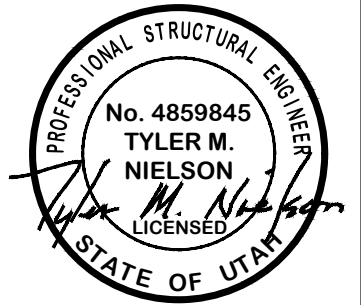
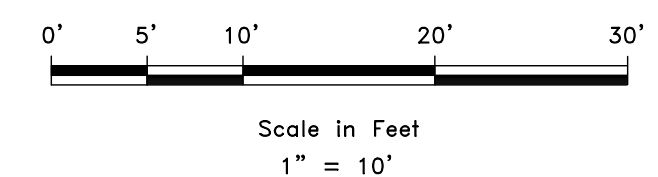
CURRENT ZONE - CP-2

LEGEND

---	SUBDIVISION BOUNDARY
---	LOT LINE
---	EXISTING FENCE
---	PUBLIC UTILITY EASEMENT
---	EXISTING WATER LINE
---	EXISTING STORM DRAIN
---	EXISTING SANITARY SEWER
---	EXISTING SECONDARY WATER
---	PROPOSED STORM DRAIN
---	PROPOSED WATER LINE
---	PROPOSED SECONDARY WATER LINE
---	PROPOSED SANITARY LINE
---	EXISTING WATER METER
---	EXISTING FIRE HYDRANT
---	EXISTING WATER VALVE
---	EXISTING CATCH BASIN
---	EXISTING SANITARY MANHOLE
---	NEW WATER METER
---	NEW SANITARY SEWER MANHOLE
---	NEW LAND DRAIN MANHOLE
---	NEW STREET LIGHT
---	NEW FIRE HYDRANT
---	PROPOSED ASPHALT PAVING
---	PROPOSED LANDSCAPING

DEVELOPER

DEVELOPER COMPANY
JEFF HALES
DEVELOPER ADDRESS
DEVELOPER CITY
DEVELOPER TELEPHONE



SITE PLAN
HALES BUILDING
991 N 375 E
HARRISVILLE, WEBER, UTAH

GARDNER
ENGINEERING
CIVIL • LAND PLANNING
MUNICIPAL • LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476.0202 FAX: 801.476.0066

CE1-01

REVISIONS
DATE
DESCRIPTION

SCALE: 1" = 10'

DATE: 12-15-2021

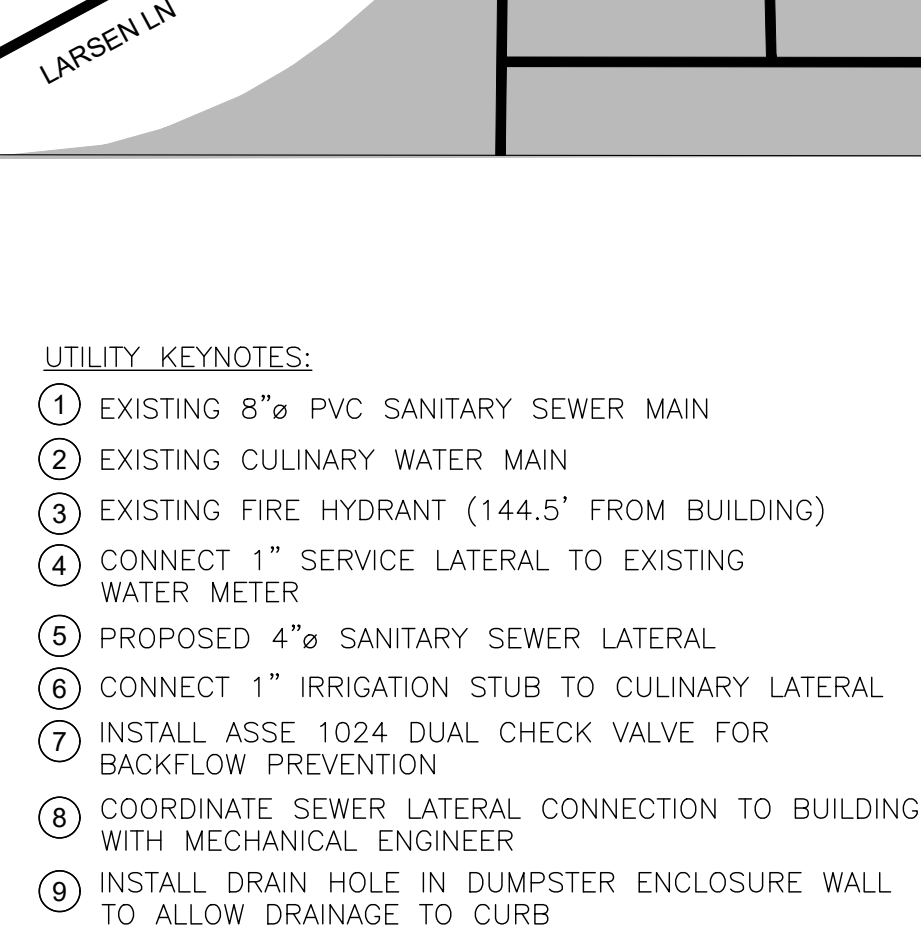
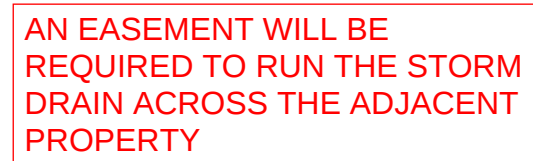
DESIGN: JKH

DRAWN: JKH

CHECKED: TMN

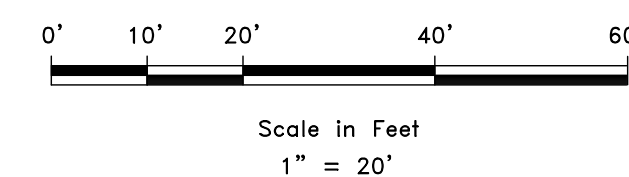
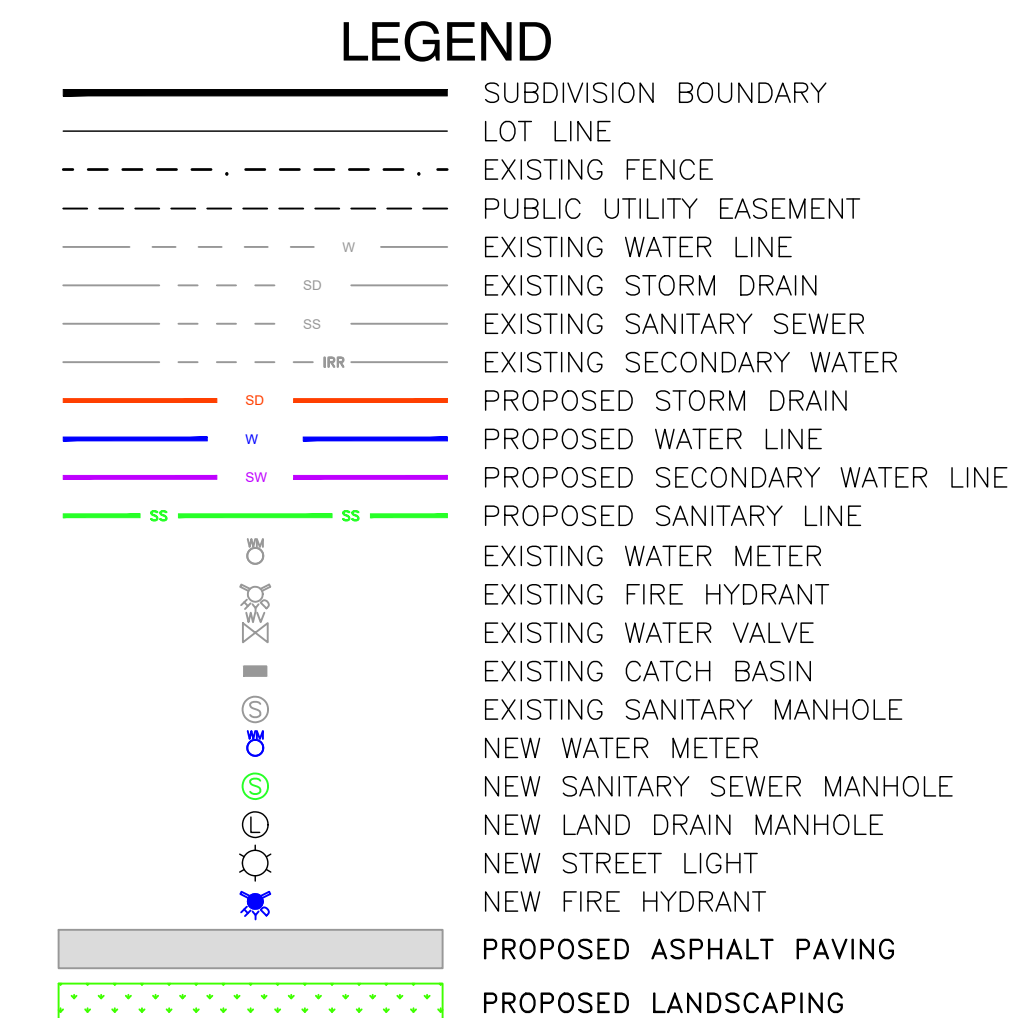
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REVISED - HALEY 2/10/22 - C & J PROPERTIES DESIGN/OWN/C AND J PROPERTIES DESIGN/DWG



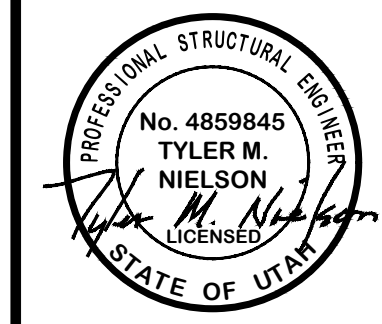
- UTILITY KEYNOTES:
- 1) EXISTING 8" PVC SANITARY SEWER MAIN
 - 2) EXISTING CULINARY WATER MAIN
 - 3) EXISTING FIRE HYDRANT (144.5' FROM BUILDING)
 - 4) CONNECT 1" SERVICE LATERAL TO EXISTING WATER METER
 - 5) PROPOSED 4" SANITARY SEWER LATERAL
 - 6) CONNECT 1" IRRIGATION STUB TO CULINARY LATERAL
 - 7) INSTALL ASSE 1024 DUAL CHECK VALVE FOR BACKFLOW PREVENTION
 - 8) COORDINATE SEWER LATERAL CONNECTION TO BUILDING WITH MECHANICAL ENGINEER
 - 9) INSTALL DRAIN HOLE IN DUMPSTER ENCLOSURE WALL TO ALLOW DRAINAGE TO CURB

NOTE: STORM PIPE SHALL BE SDR-35 PVC WITH
MIN. 2' BURY DEPTH



REVISIONS		SCALE	T = 20'
DATE	DESCRIPTION	DATE	
		DESIGN	JKH
		DRAWN	JKH
		CHECKED	TMM

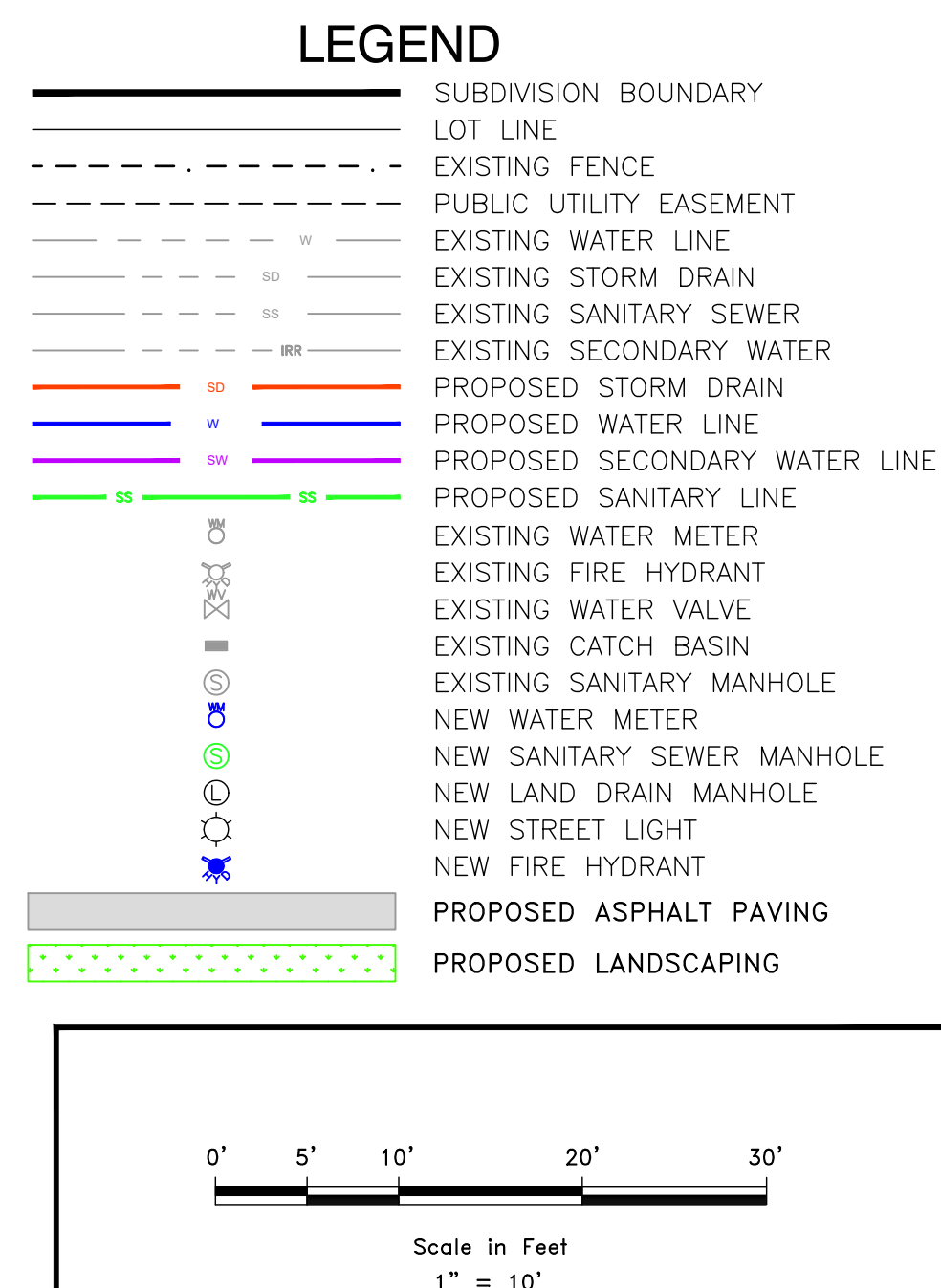
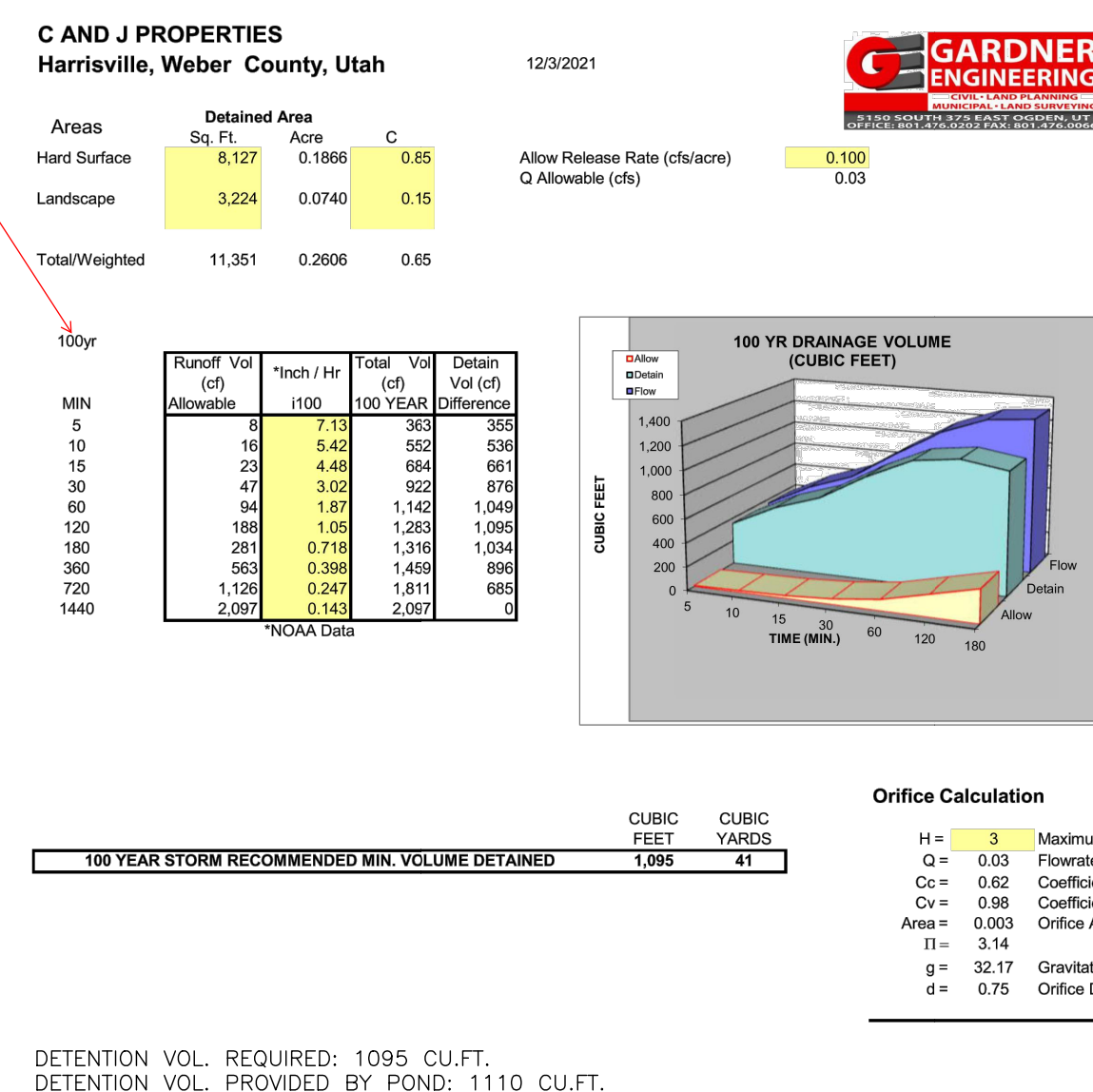
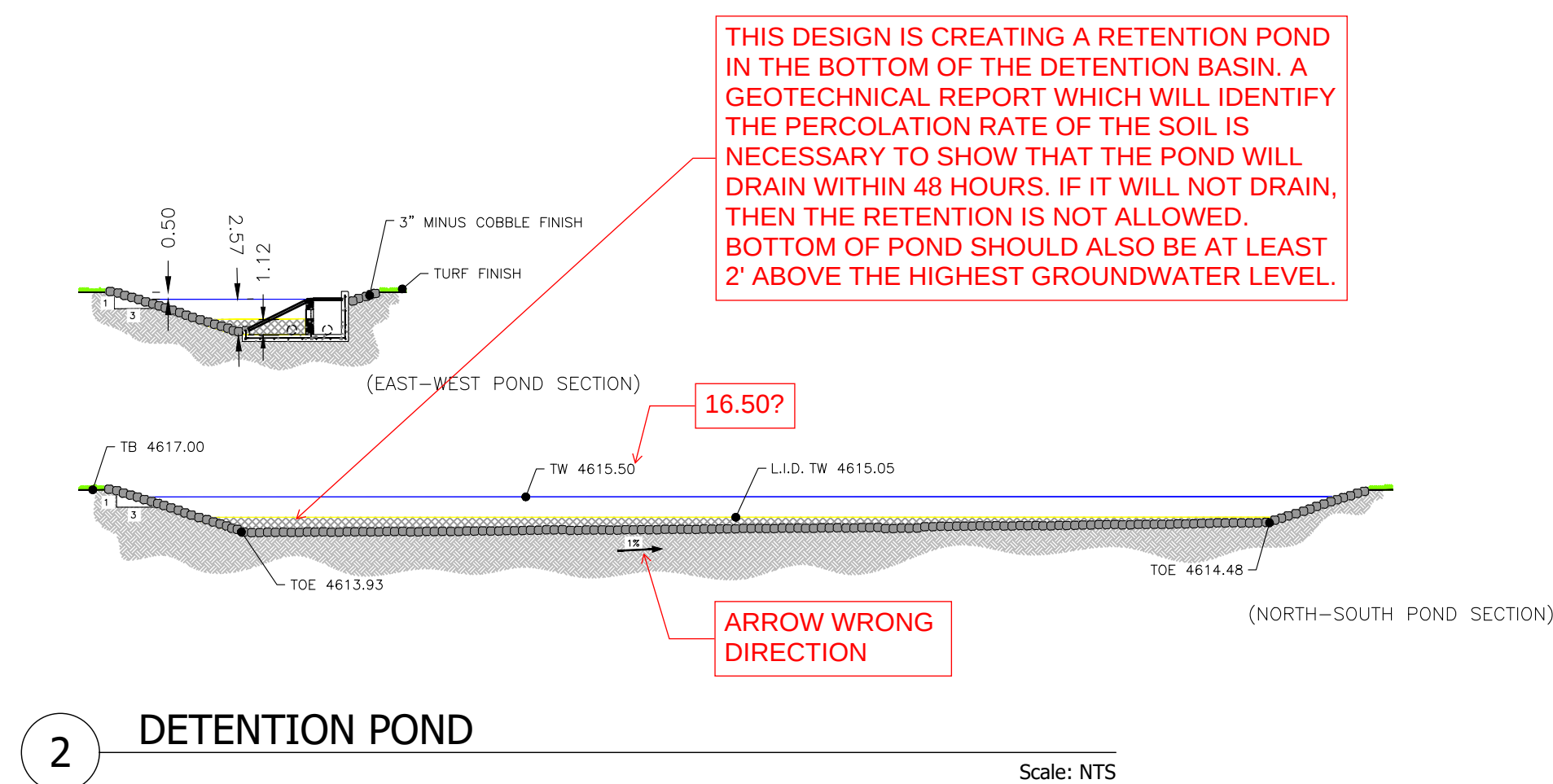
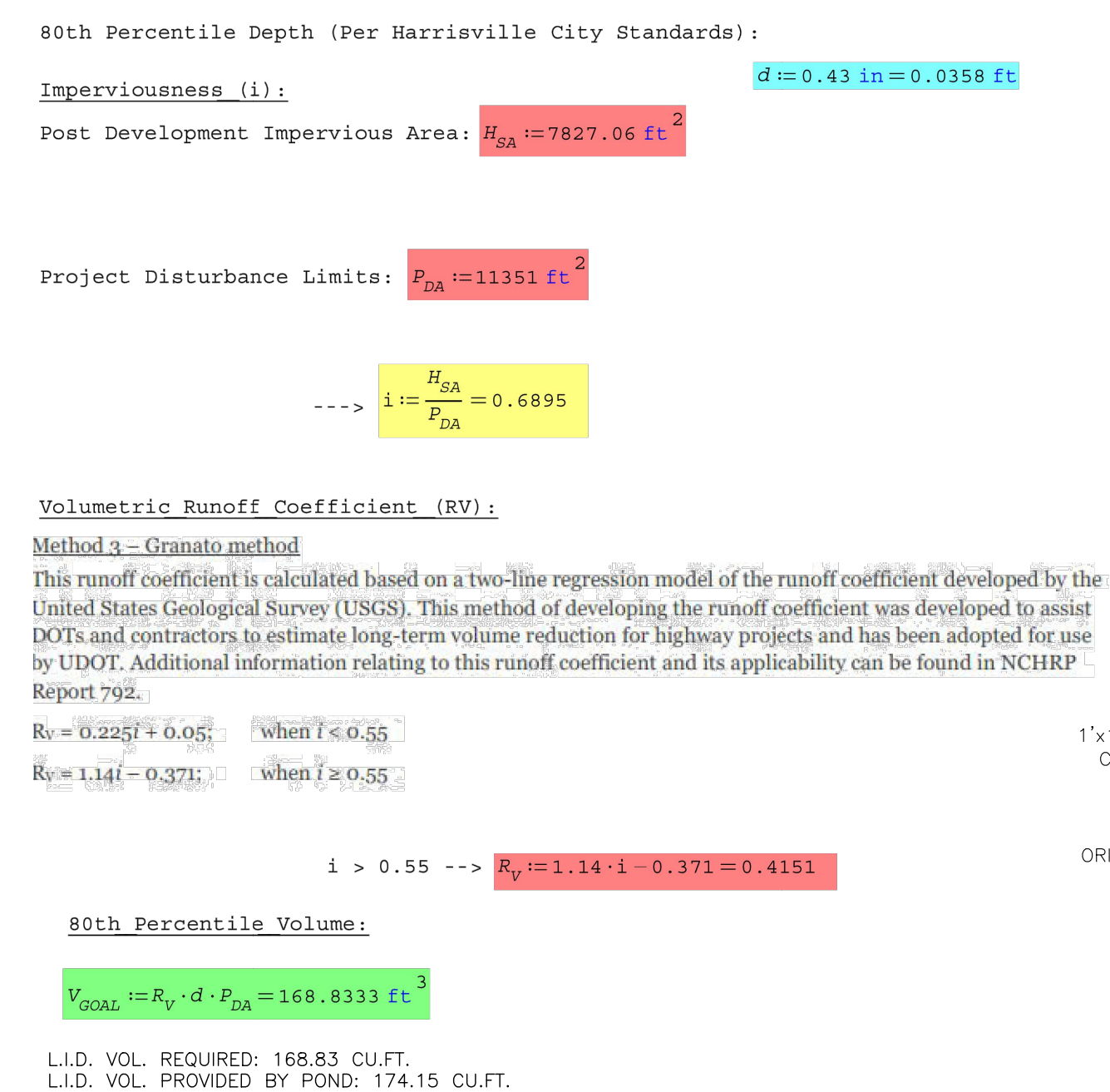
DWG:



UTILITY PLAN
HALES BUILDING
991 N 375 E
HARRISVILLE, WEBER

**GARDNER
ENGINEERING**
CIVIL • LAND PLANNING
MUNICIPAL • LAND SURVEYING
5150 SOUTH 375 EAST OGDEN, UT

CE1-02





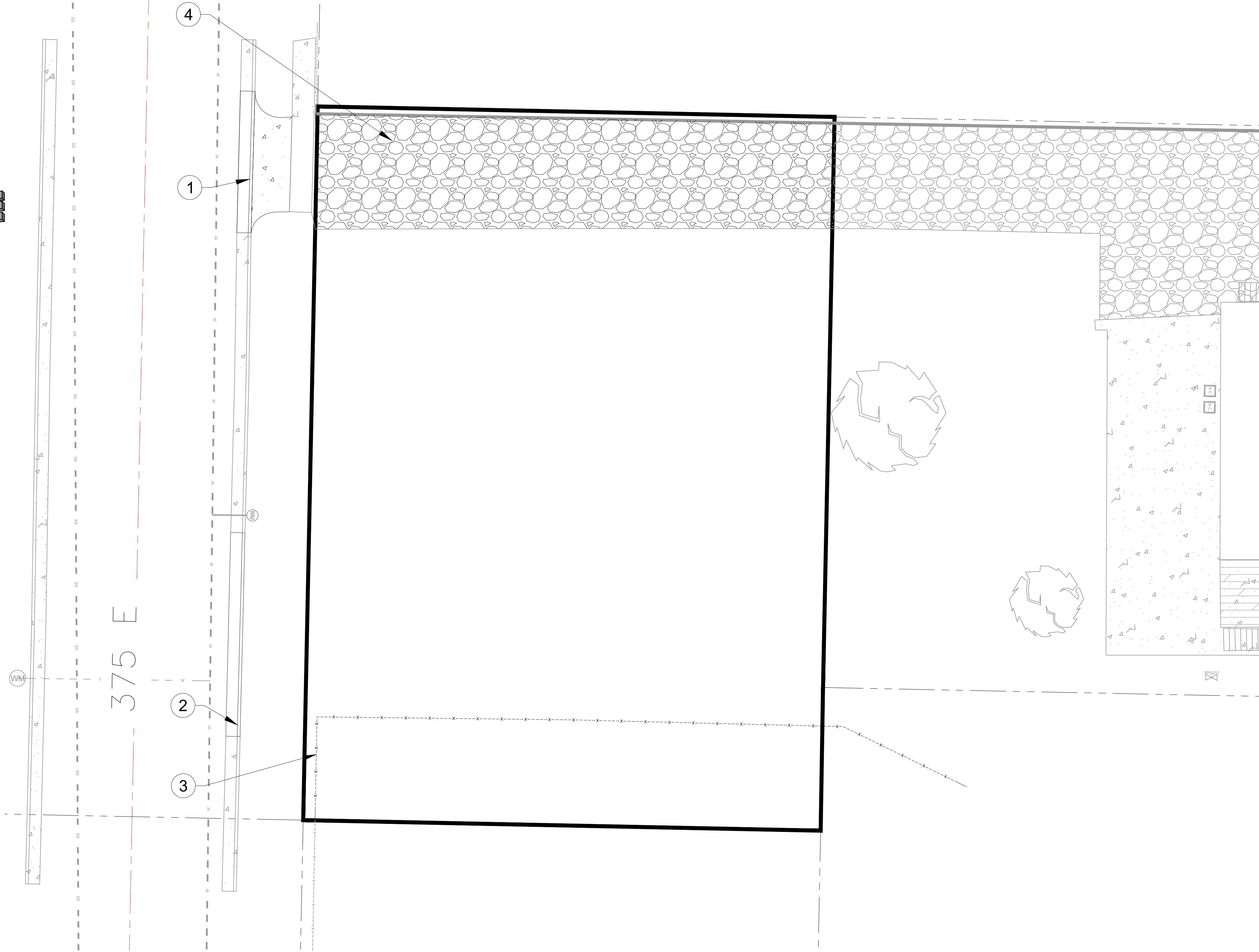
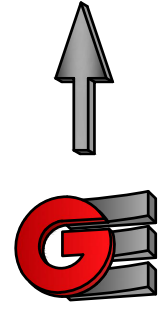
GRADING AND DRAINAGE
HALES BUILDING
991 N 375 E
HARRISVILLE, WEBER, UTAH

**GARDNER
ENGINEERING**

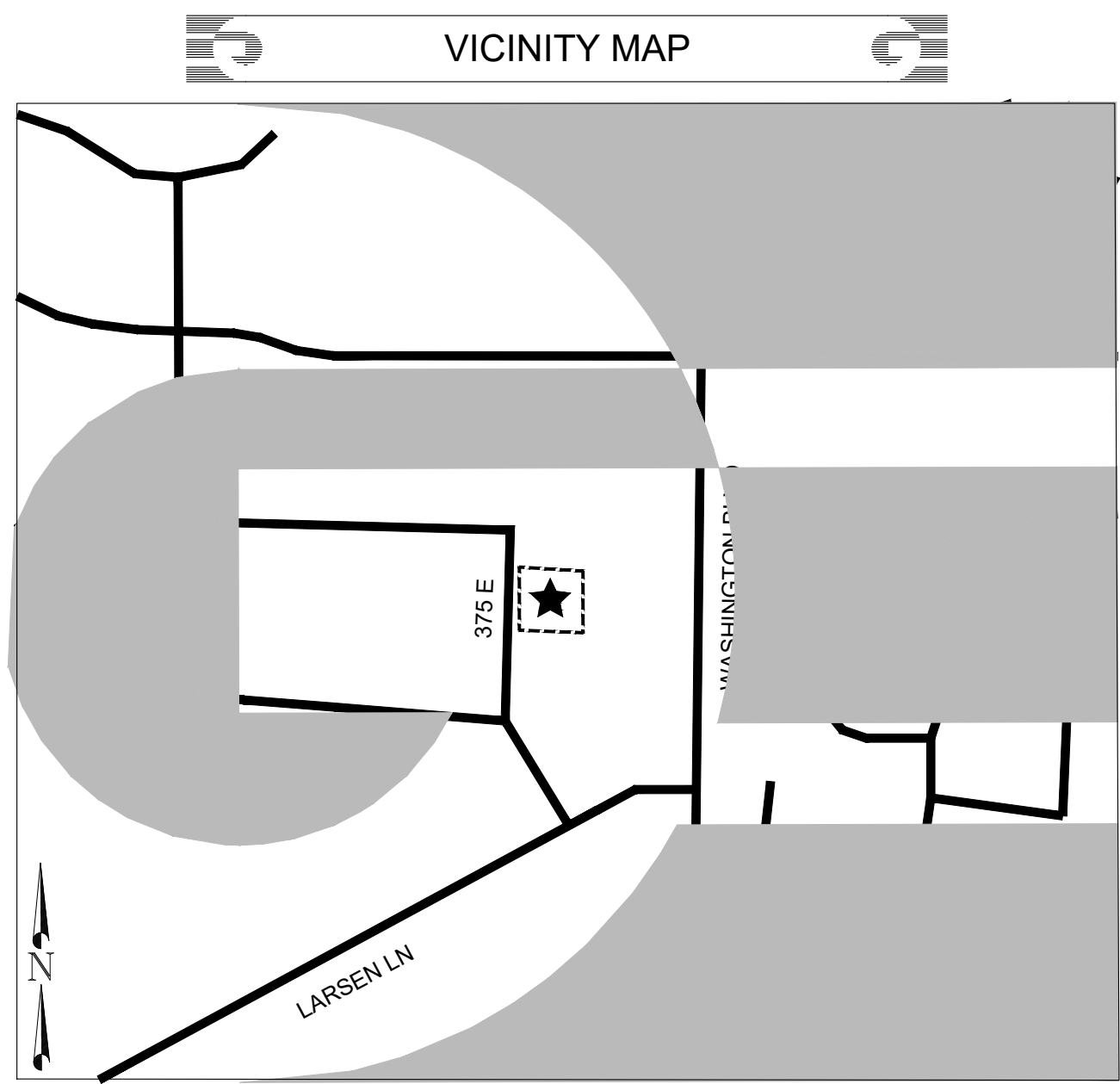
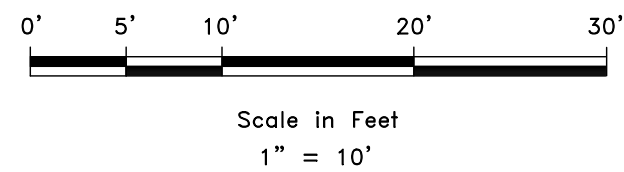
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5150 SOUTH 375 EAST, OGDEN, UT
8172 • 801.476.0226 • FAX 801.476.0066

CE1-03



LEGEND	
	SUBDIVISION BOUNDARY
	LOT LINE
	EXISTING FENCE
	PUBLIC UTILITY EASEMENT
	EXISTING WATER LINE
	EXISTING STORM DRAIN
	EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER
	PROPOSED STORM DRAIN
	PROPOSED WATER LINE
	PROPOSED SECONDARY WATER LINE
	PROPOSED SANITARY LINE
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING CATCH BASIN
	EXISTING SANITARY MANHOLE
	NEW WATER METER
	NEW SANITARY SEWER MANHOLE
	NEW LAND DRAIN MANHOLE
	NEW STREET LIGHT
	NEW FIRE HYDRANT
	PROPOSED ASPHALT PAVING
	PROPOSED LANDSCAPING

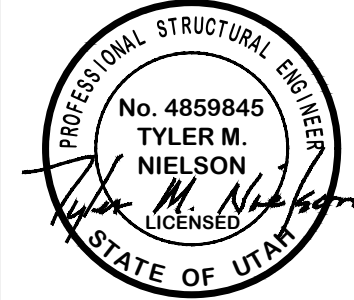


- DEMOLITION KEYNOTES:
- 1 REMOVE EXISTING DRIVE APPROACH AND REPLACE CURB, GUTTER, AND PARK STRIP AS NEEDED
 - 2 REMOVE AND REPLACE EXISTING CURB
 - 3 REMOVE EXISTING FENCE
 - 4 REMOVE EXISTING GRAVEL ROAD



CE1-04

DEMOLITION PLAN
HALES BUILDING
991 N 375 E
HARRISVILLE, WEBER, UTAH



REVISIONS	
DATE	DESCRIPTION

SCALE: 1" = 10'
DATE: 12-05-2021
DESIGN: JKH
DRAWN: JKH
CHECKED: TMN

DWG:

REV010 - HALES2102 - C & J PROPERTIES DESIGN GROUP C AND J PROPERTIES DESIGN/DWG



STANDARD DETAILS
HALES BUILDING
991 N 375 E
HARRISVILLE, WEBER, UT

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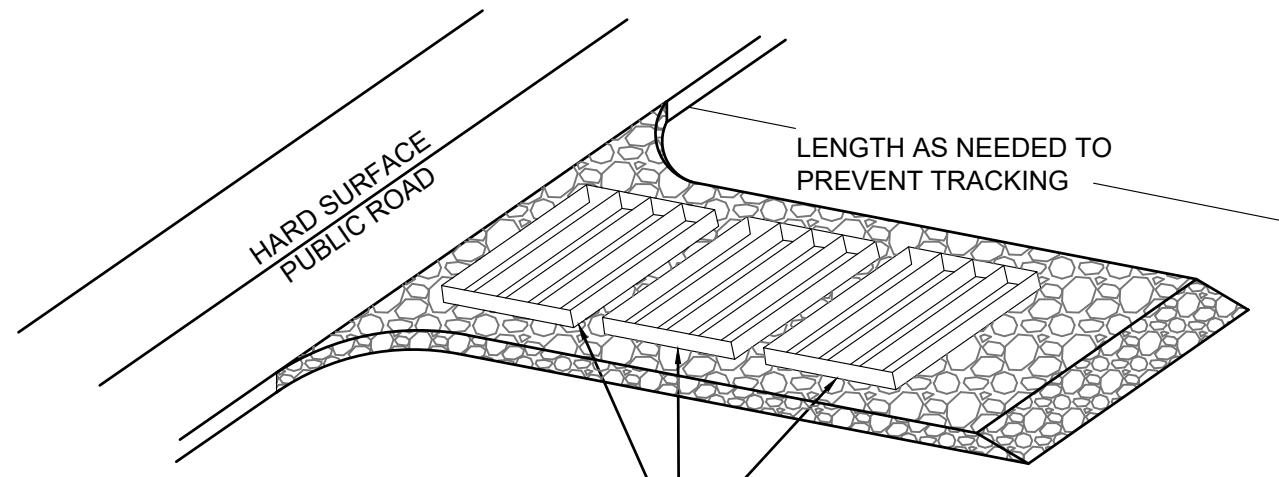
CE5-01

REVISIONS		SCALE	NTS
DATE	DESCRIPTION	DATE	12-12-2021
		DESIGN	JKH
		DRAWN	JKH
		CHECKED	TMM

DWG: RA10810 - HALES 2102 - C & J PROPERTIES DESIGN DWG.C AND J PROPERTIES (DESIGN) DWG.D

EROSION CONTROL NOTES:

1. SANDBAGS WILL BE PLACED AT DISCHARGE LOCATIONS TO CONTAIN AND DIVERT STORM WATER THROUGH THE INLET PROTECTION.
2. AN EARTHEN BERM 6" HIGH WILL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIVERT IT TO DISCHARGE AREAS.
3. STORM WATER WILL BE DISCHARGED INTO AN EXISTING DRAINAGE SYSTEM. EXISTING LINES SHALL BE INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY AND CLEANED IF NECESSARY.
4. THE STORM WATER POLLUTION PREVENTION PLAN SHALL CONFORM TO ALL STATE DIVISION OF ENVIRONMENTAL PROTECTION REGULATIONS.



A SERIES OF STEEL PLATES (3 OR MORE) WITH RUMBLE STRIPS OR MIN. 3" COARSE AGGREGATE.

ENTRANCE STABILIZATION NOTES:

1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE STORM DRAIN SYSTEMS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE:

a. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY AND SIDEWALK OR PARKING AREA.

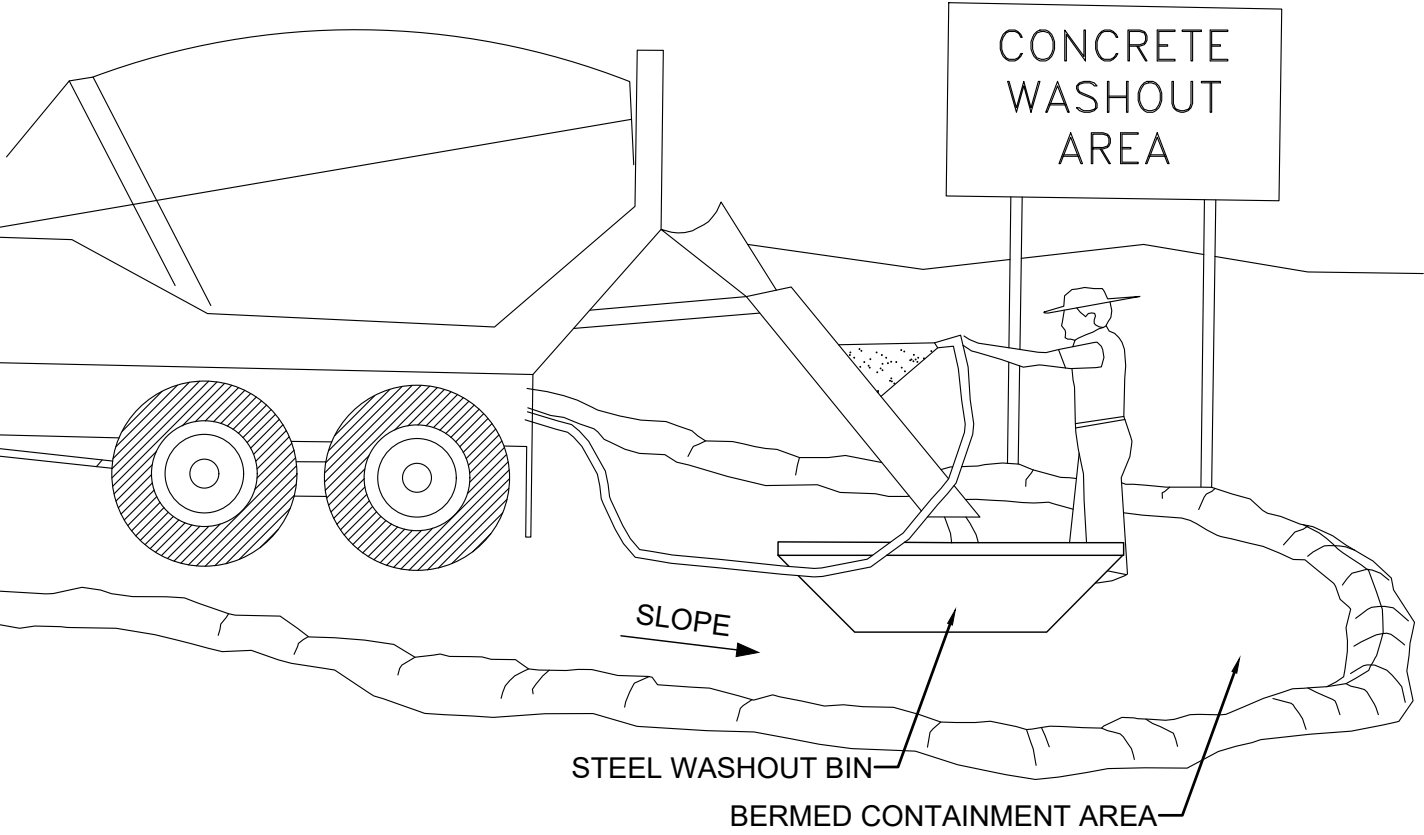
b. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN. 3" COARSE AGGREGATE WITH LENGTH, WIDTH AND THICKNESS AS NEEDED TO ADEQUATELY PREVENT ANY TRACKING ONTO PAVED SURFACES.
3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

STREET MAINTENANCE NOTES:

1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM.

NOTE:

CONTRACTOR SHALL COMPLETE AND SUBMIT A STATE NOTICE OF INTENT (NOI) AND A STORM WATER POLLUTION PREVENTION PLAN BOOKLET

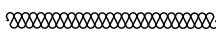


NOTES:

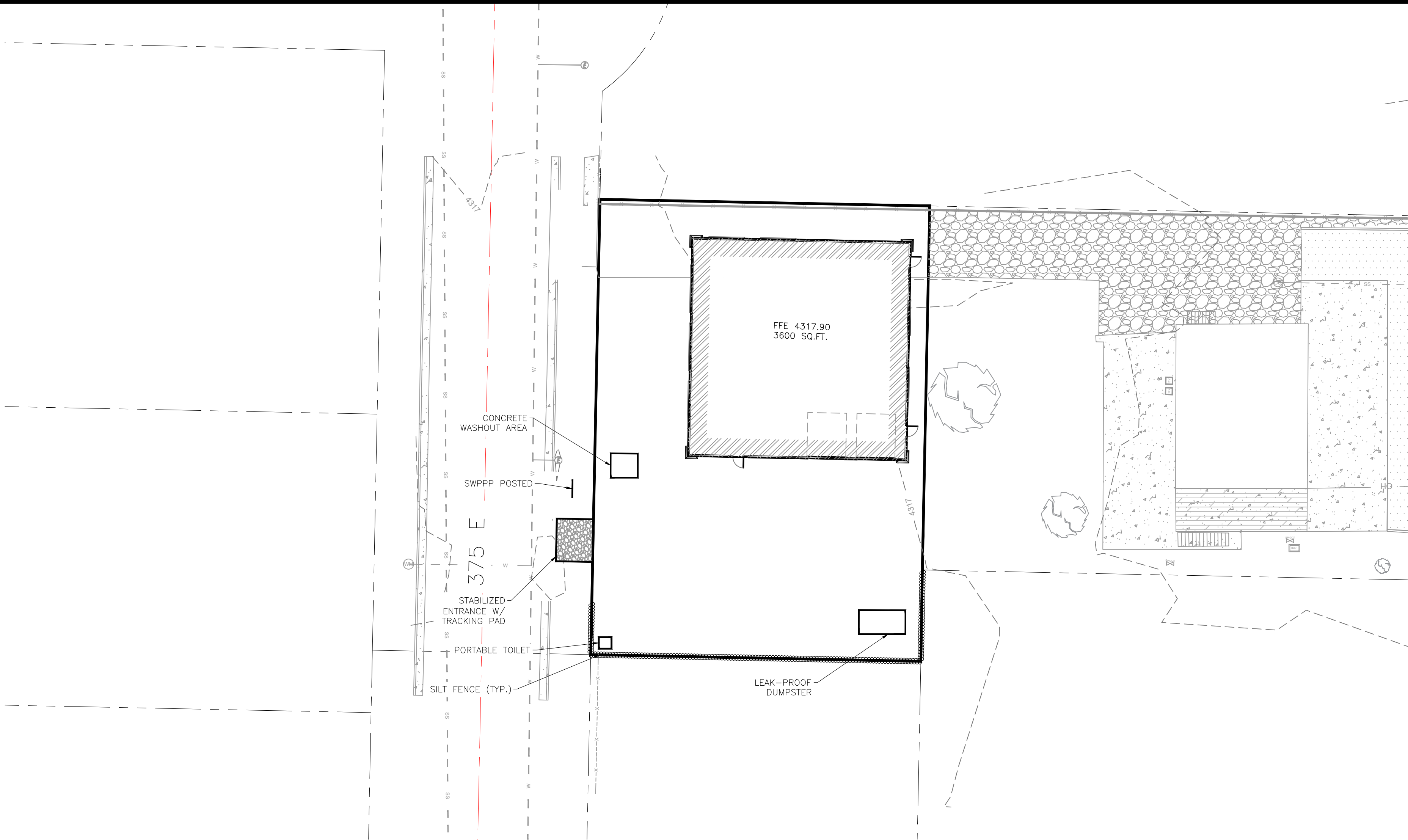
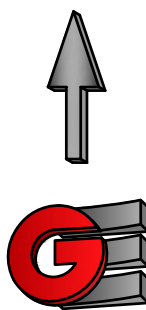
1. EXCESS AND WASTE CONCRETE SHALL BE DISPOSED OF OFF SITE OR AT DESIGNATED AREAS ONLY.
2. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
3. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS ONSITE, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED.
4. ONSITE CONCRETE WASHOUT CONTAINMENT FACILITY SHALL BE A STEEL BIN OR APPROVED ALTERNATE.
5. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHAL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.



INLET PROTECTION
(EITHER OPTION)

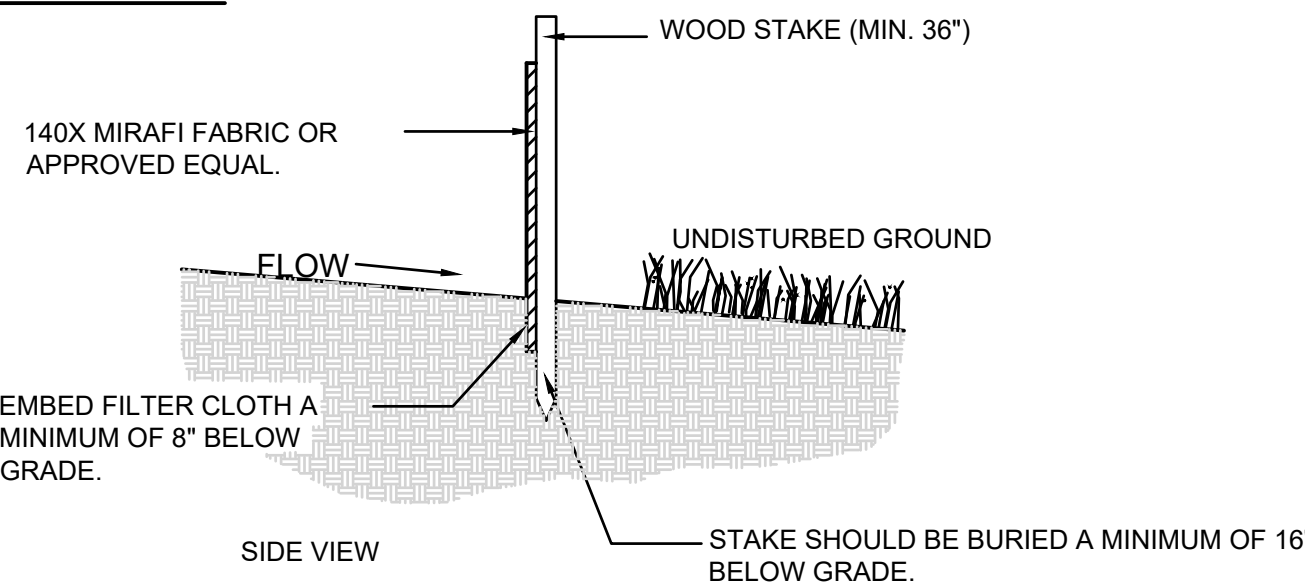
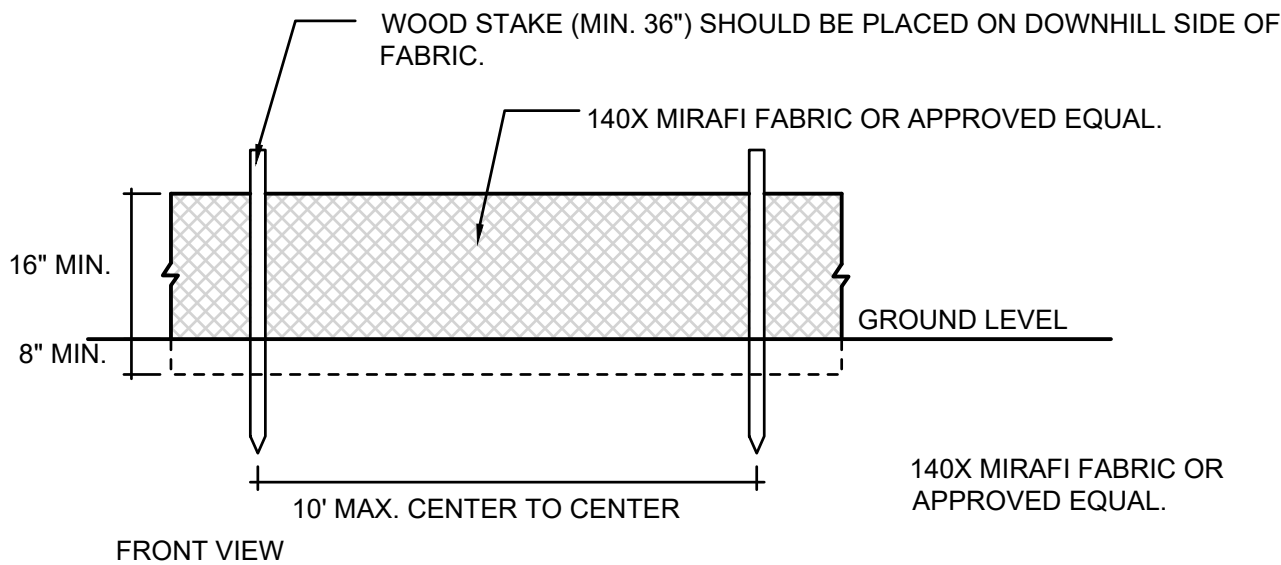
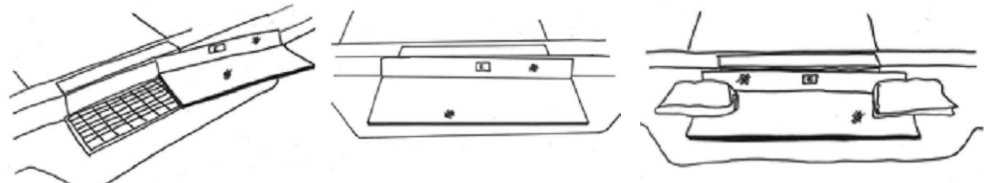
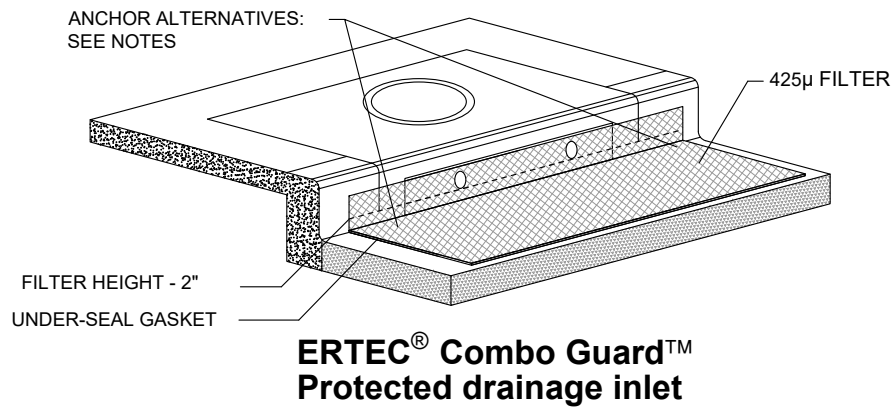


SILT FENCE



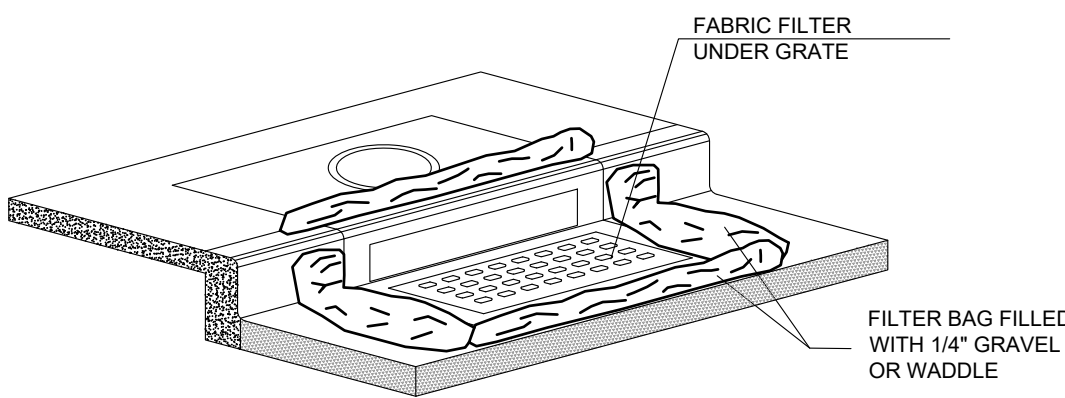
INSTALLATION NOTES

1. PLACEMENT: PLACE CG TIGHTLY AGAINST CURB OPENING AND COVER ENTIRE GRATE. CG SHOULD EXTEND AT LEAST 2 INCHES PAST GRATE TOWARDS STREET.
2. OVERLAP FOR LONG OPENINGS: OVERLAP CG UNITS AT LONGER OPENINGS.
3. ANCHOR: ANCHOR CG SO THAT WATER CANNOT FLOW BEHIND IT.
4. ALTERNATE ANCHOR METHODS: A) INSTALL GRAVEL BAGS AT EACH SIDE OF CG - HALF-ON AND HALF-OFF THE EDGES. USE HALF-FILLED GRAVEL BAGS (15 OR 20 LBS), ROUND ROCK IS RECOMMENDED. OR B) ATTACH WITH 16 GAUGE TIE-WIRE. CUT WIRE TO 18" LENGTH. AT EACH CORNER OF CG, FEED ONE END OF WIRE DOWN THROUGH CG, AROUND GRATE BAR, AND BACK UP THRU CG. ABOVE GROUND, TWIST WIRES SEVERAL TIMES, CUT-OFF EXCESS. OR C) FASTEN WITH CONCRETE ANCHORS/NAILS AT THE OUTSIDE EDGES OF CG.



1A INLET PROTECTION - OPTION 1

Scale: NTS

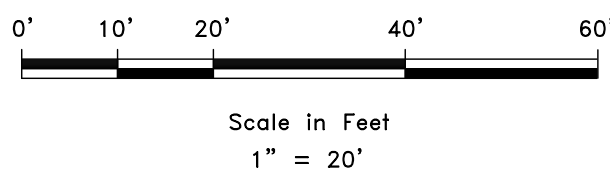


1B INLET PROTECTION - OPTION 2

Scale: NTS

2 SILT FENCE

Scale: NTS



REVISIONS		DATE	DESCRIPTION

SCALE: 1" = 20'	DATE: 12-19-2021
DESIGN: JKH	DRAWN: JKH
CHECKED: TMN	DWG: R:\0810 - HALES\2102 - C & J PROPERTIES\DESIGN\DWG\02 AND J PROPERTIES (DESIGN).DWG

SWPPP	HALES BUILDING
991 N 375 E	HARRISVILLE, WEBER, UTAH

GARDNER
ENGINEERING

CIVIL • LAND PLANNING
MUNICIPAL • LAND SURVEYING

5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801.476-0202 FAX: 801.476-0066



Site Plan Requirements

Site Plan Application

Date / Time

02/03/2022

Developer's Full Name

Jeff Hales

Email Address

jeffwhales@live.com

City

Ogden

Zip Code

84404

Parcel #

110270082

Developer's Engineer

Gardner Engineering

Engineer's Phone

801-476-0202

Please upload a digital copy of your engineered site plan. Signature

See attached: Hales Building CD's.pdf

Type of Site Plan

New Site Plan

Phone Number

8015409947

Mailing Address

5355 W 2150 N

State

UT

Title of Project

Hales Building

Approximate Address of Site

1033 N 375 E

Contact Person

Tyler Nielsen

Engineer's Email Address

tyler@gecivil.com

A handwritten signature in black ink that reads 'Jeff Hales'.