



STAFF REPORT

To: Summit County Council (SCC)
Report Date: Thursday, October 31, 2013
Meeting Date: Tuesday, November 6, 2013
Author: Amir Caus, County Planner
Project Name & Type: Newpark Terrace Condominium Plat and Final Site Plan

EXECUTIVE SUMMARY: The applicant, Rory Klungervik, representative for Harmony Health LLC, is requesting that the SCC vote to approve the Newpark Terrace Condominium Plat and Final Site Plan. The proposed Condominium Plat and Final Site Plan allocate 72,647 sq. ft. of residential density from the overall Newpark Town Center density pool onto Parcel NPTCR-R-1, located at 1154 Center Drive, Newpark, Summit County, UT (Exhibit A).

Staff recommends that the SCC hold a public hearing to gather public comment, consider Staff's analysis, and vote to approve the proposed Condominium Plat. Staff also recommends that the SCC hold a public hearing to gather public comment, consider Staff's analysis, and vote to approve the SCC for the proposed Final Site Plan.

If members of the public bring to light new concerns or issues that may affect these findings, the SCC may instead choose to continue the decision to another date, or may choose to deny the application with appropriate findings.

A. Project Description

- **Project Name:** Newpark Terrace Condominium Plat and Final Site Plan
- **Applicant(s):** Rory Klungervik
- **Property Owner(s):** Harmony Health LLC
- **Location:** 1154 Center Drive, Newpark, Summit County, UT
- **Zone District & Setbacks:** Town Center (TC) – Setback as per Final Site Plan
- **Adjacent Land Uses:** Mixed Use (Hotel, Residential, Retail, and Office)
- **Existing Uses:** Vacant
- **Parcel Number and Size:** NPTCR-R-1 (2.43 acres) - 72,647 sq. ft. of residential density
- **Lot of Record Status:** Newpark Density Pool
- **Type of Item:** Condominium Plat and Final Site Plan
- **Land Use Authority:** Summit County Council
- **Type of Process:** Legislative
- **Future Routing:** N/A

B. **Background**

The Newark Specially Planned Area (SPA) and Restone Parkside Development Agreement [a.k.a. Newpark Development Agreement (DA)] were approved in October, 2001 and amended in December, 2002. The SPA resulted in the approval of 819,360 sq. ft. of density on the ~37 acre site.

The Newpark Town Center Retail Plat was approved and recorded in September 7, 2007 as part of the greater Newpark Town Center development. The subject property (Parcel NPTCR-R-1) is 2.43 acres in size and part of an overall approved gross square foot area. The Final Site Plan Was approved and recorded May 27, 2008 and construction subsequently followed. The existing project area consists of a parking structure with retail space.

The development perimeters for this project are specifically set forth in the DA.

The proposed project consists of 72,647 sq. ft. of residential density, configured in 60 units. Unit sizes are proposed to range from 1,354 sq. ft. to 1,839 sq. ft., with various floor designs. The subject project area is proposed to be on top of the existing parking structure and retail space, therefore a Condominium Plat is still required. As part of further requirements, a Final Site Plan is required to be recorded to finalize the project.

The subject project was originally reviewed and recommended by the Snyderville Basin Planning Commission (SBPC) on March 27, 2007. The Board of County Commissioners voted to approve the subject project on May, 2, 2007. Due to the housing market change, the plat and final site plan were never recorded and the application expired. The applicants have resubmitted the application with the same proposal that was presented in 2007.

On September 24, 2013, the SBPC voted unanimously to forward a positive recommendation to the SCC for both the Condominium Plat and the Final Site Plan.

C. **Community Review**

A public hearing notice was published in the Park Record, and notice was sent to all property owners within 1,000 feet of the property. As of the date of this report, no public comments have been received.

D. **Identification and Analysis of Issues**

There is 149,007 sq. ft. of remaining density for the Newpark Town Center. If the current 72,647 proposal is approved and recorded, the remaining density would be 76,360 sq. ft., making the project over 90% complete.

Parking

Each new development in the Newpark Town Center is required to submit a parking

study to the Summit County Engineering Department (Engineering Department) to ensure that public health, safety, and welfare is protected.

The Engineering Department did not raise any issues with the submitted parking study. The proposed project consists of 60 condominium units and will include 60 single-car garages and 12 surface parking lot spaces for a total of 72 parking stalls. The subject area is a high-density mixed use and lower parking availability is typical. The parking study can be found in Exhibit G.

Design Review Committee (DRC)

According to the DA, Final Site Plans and Final Subdivision/Condominium Plats are required prior to the development of each parcel and shall first be reviewed by the DRC. It is required that the DRC be made up of County planning staff, SBPC members chosen to represent the SBPC, and representatives of the Developer. The DRC was established to allow a more detailed, intense, and interactive review of the projects.

The DRC met on August 27, 2013 with regard to the subject proposal and has reviewed the proposed Condominium Plat and Final Site Plan which includes items such as, but not limited to design, height, lighting, parking, landscaping, and materials.

The entire structure will have a maximum height of 52 feet, which is 48 feet from finished grade due to the recessed parking garage. Due to the fact that the Newpark development is a result of a density transfer to a relatively small site, the density is highly clustered. Heights in Newpark vary from 22 feet to 65 feet. The DRC did not raise any issues with the subject height as the building height will match many of the existing buildings at Newpark.

The DRC voted unanimously to forward a positive recommendation to the SBPC.

September 24, 2013 SBPC

On September 24, 2013, the SBPC voted unanimously to forward a positive recommendation to the SCC for both the Condominium Plat and the Final Site Plan.

Additionally, Staff has found that the proposed project complies with the DA.

E. Consistency with the General Plan

The project lies within the Kimball Junction Neighborhood Planning Area. The primary objective of this neighborhood planning area is to:

- *Ensure that “the town center shall be the focal point for living, working, shopping, entertainment, and social interaction.”*

Staff finds this application to be consistent with the neighborhood plan due to the fact that it creates/completes a mixed use residential/commercial in the heart of a Town Center.

F. **Findings/ Code Criteria and Discussion**

The approval process for final plats within the Newpark Development is governed by Article 6.5.4 of the DA. This article requires a public hearing and recommendation by the SBPC and final approval by the Board of County Commissioners (now Summit County Council).

Plats and final site plans within the Newpark Development are governed by the standards in the DA.

G. **Recommendation(s)/Alternatives**

Staff recommends that the Summit County Council conduct a public hearing to gather any public comment, review Staff's analysis, and vote to approve the Newpark Terrace Condominium Plat based upon the findings, conclusions, and condition listed below, unless based on information gathered during the public hearing that the proposed subdivision does not meet the approval criteria.

Staff also recommends that the Summit County Council conduct a public hearing to gather any public comment, review Staff's analysis, and vote to approve the Newpark Terrace Condominium Plat based upon the findings, conclusions, and condition listed below, unless based on information gathered during the public hearing that the proposed subdivision does not meet the approval criteria.

Findings of Fact:

1. Harmony Health LLC, is the owner of record of parcel NPTCR-R-1, located at 1154 Center Drive, Newpark, Summit County, UT.
2. The development parameters for this project are specifically set forth in the Newpark Development Agreement.
3. The proposed Condominium Plat is legally described as Newpark Terrace.
4. There is 149,007 sq. ft. of remaining density for the Newpark Town Center.
5. The proposed Newpark Terrace is located on top of the existing Newpark Retail Subdivision.
6. The proposed project will consist of 60 units.
7. The proposed project consists of 72,647 sq. ft. of residential density
8. Unit sizes are proposed to range from 1,354 sq. ft. to 1,839 sq. ft.
9. The total density used for the proposed plat is 72,647 sq. ft. of residential density.
10. The density is established by the Newpark Development Agreement pool of density.
11. If approved, the remaining density for Newpark Town Center would be 76,360 sq. ft.
12. Heights in Newpark vary from 22 feet to 65 feet and are recommended by the Design Review Committee.
13. Proposed Maximum height is 52 feet.
14. Parking is regulated by the Engineering Department.
15. 60 single-car garages and 12 surface parking lot spaces for a total of 72 parking stalls will be provided.
16. The Final Plat/Final Site Plan were reviewed by the Design Review Committee on August 27, 2013.

17. The Design Review Committee forwarded a positive recommendation to the Snyderville Basin Planning Commission.
18. The Snyderville Basin Planning Commission forwarded a positive recommendation to the Summit County Council.
19. The Newpark Development Agreement establishes that the Summit County Council “is the Land Use Authority for [Final Plats and Final Site Plans].”
20. Public notice of the public hearing was published in the November 2, 2013 issue of *The Park Record*.
21. Postcard notices announcing the public hearing were mailed to property owners within 1,000 feet of the subject parcels on October 10, 2013.
22. Service providers have reviewed the plats for compliance with applicable standards and no project issues have been identified that could not be mitigated.
23. Staff has reviewed the proposed plat and final site plan for compliance with applicable Development Code standards.
24. Staff has reviewed the proposed plat and final site plan for compliance with Newpark Development Agreement standards.

Conclusions of Law:

1. The density for the subdivision is derived from the existing Newpark Development Agreement density pool.
2. The proposal meets the terms of the Newpark Development Agreement.
3. The proposal meets the applicable standards of the Snyderville Basin Development Code.

Conditions:

1. All service provider requirements shall be met prior to recordation of the Final Plat.

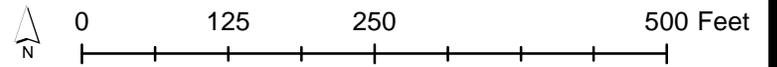
Attachment(s)

- Exhibit A – Vicinity Map
- Exhibit B – Zoning Map
- Exhibit C – Aerial
- Exhibit D – Proposed Plat
- Exhibit E – Proposed Final Site Plan
- Exhibit F – Visual Renderings
- Exhibit G – Parking Study



Newpark Terrace Vicinity Map

Prepared by Summit County
Community Development Department



This drawing is neither a legally recorded map, nor a survey, and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources including Summit County. Summit County is not responsible for the timeliness or accuracy of information shown.



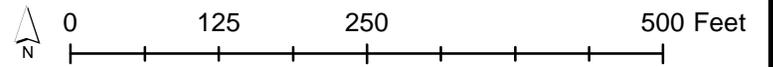
Legend

- Rural Residential (RR)
- Hillside Stewardship (HS)
- Mountain Remote (MR)
- Neighborhood Commercial (NC)
- Community Commercial (CC)
- Service Commercial (SC)
- Resort Center (RC)
- Town Center (TC)

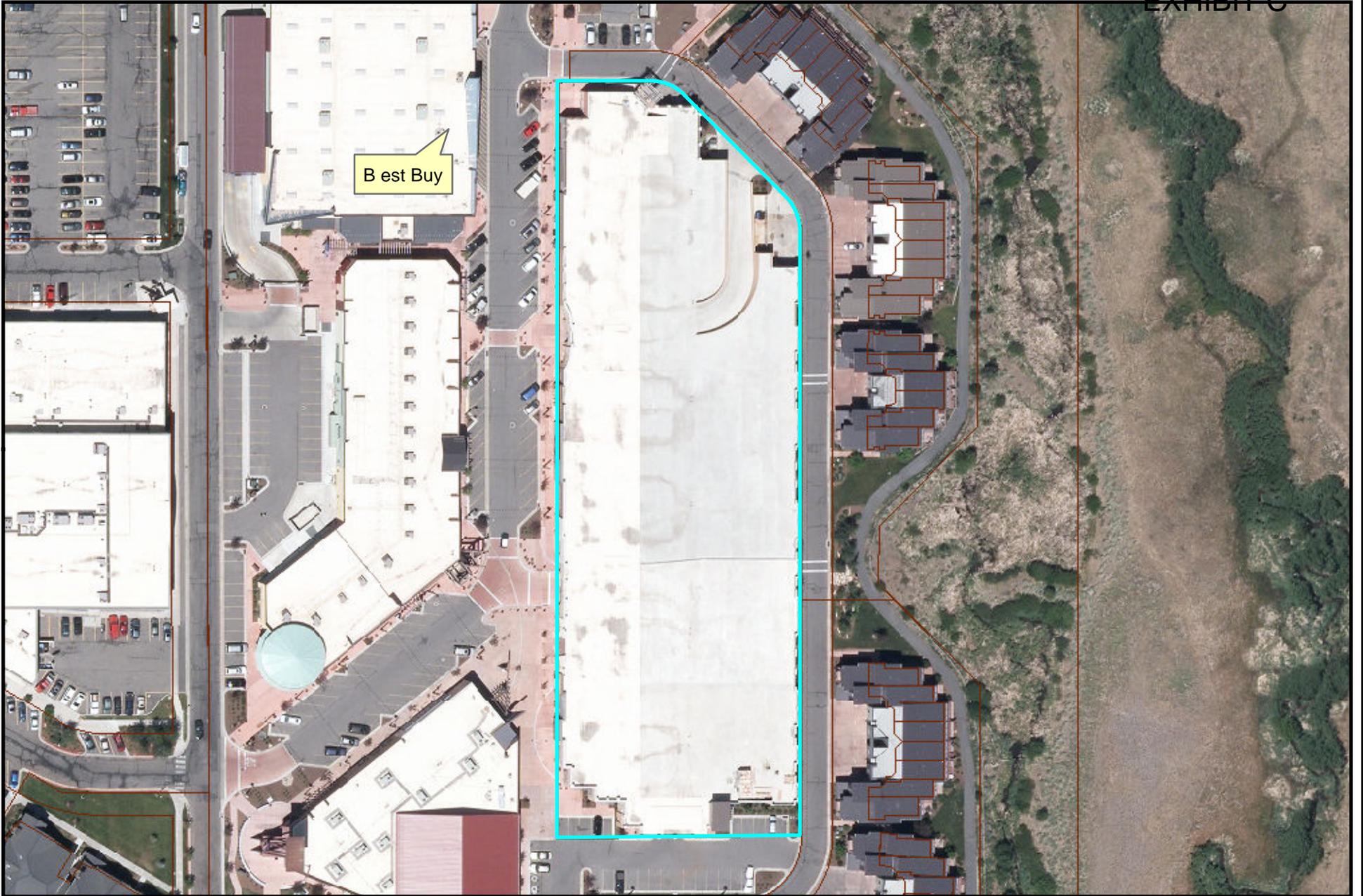


Newpark Terrace Zoning

Prepared by Summit County
Community Development Department

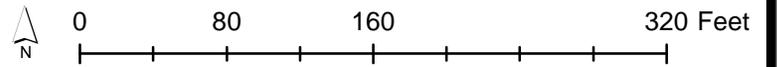


This drawing is neither a legally recorded map, nor a survey, and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources including Summit County. Summit County is not responsible for the timeliness or accuracy of information shown.

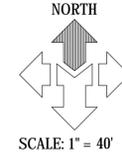
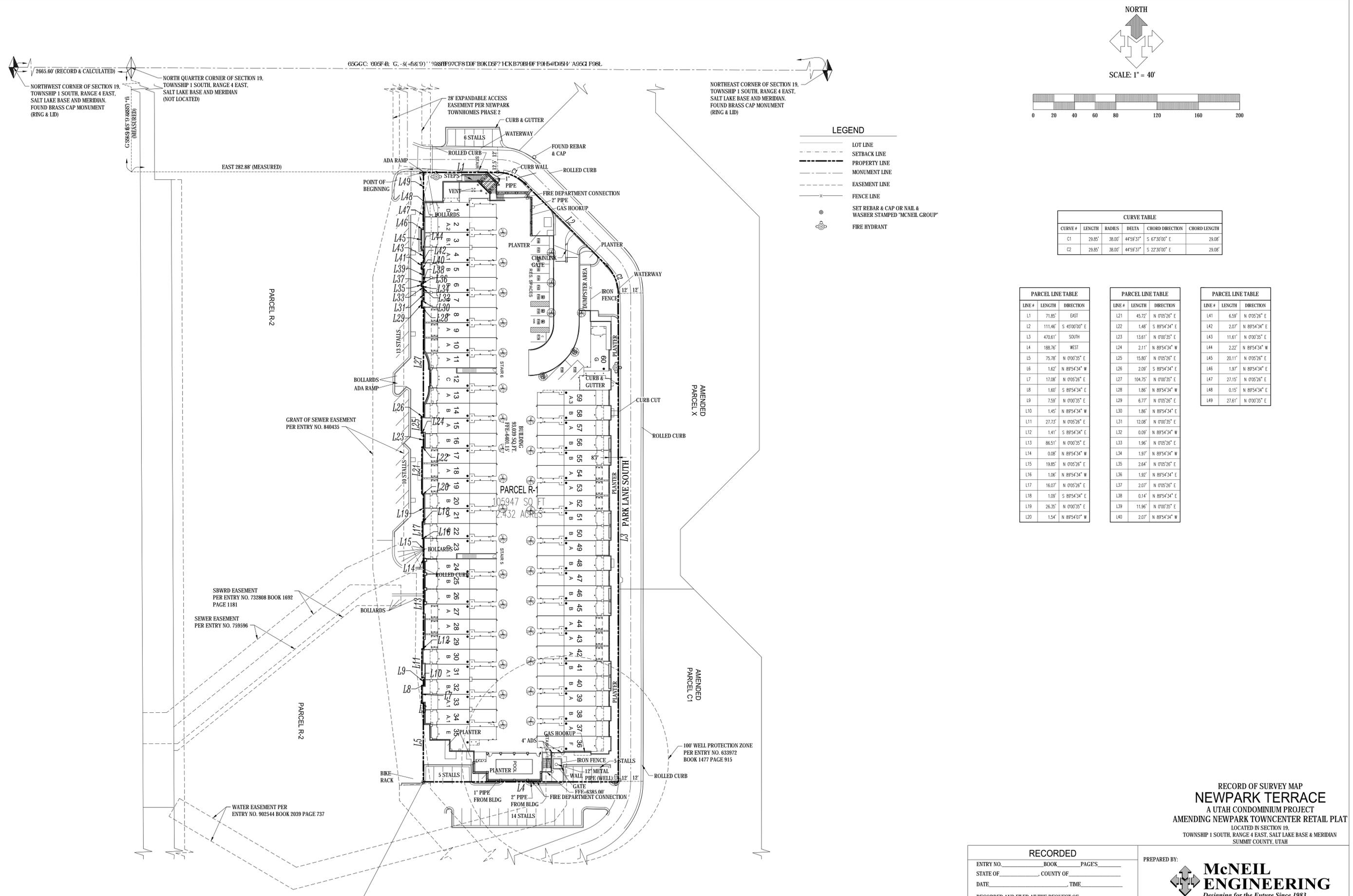


Newark Terrace Aerial

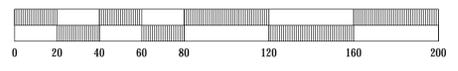
Prepared by Summit County
Community Development Department



This drawing is neither a legally recorded map, nor a survey, and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources including Summit County. Summit County is not responsible for the timeliness or accuracy of information shown.



SCALE: 1" = 40'



LEGEND

- LOT LINE
- - - SETBACK LINE
- PROPERTY LINE
- - - MONUMENT LINE
- - - EASEMENT LINE
- - - FENCE LINE
- SET REBAR & CAP OR NAIL & WASHER STAMPED "MCNEIL GROUP"
- ⊙ FIRE HYDRANT

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	29.85'	38.00'	44°59'37"	S 67°30'00" E	29.08'
C2	29.85'	38.00'	44°59'37"	S 22°30'00" E	29.08'

PARCEL LINE TABLE

LINE #	LENGTH	DIRECTION
L1	71.85'	EAST
L2	111.46'	S 45°00'00" E
L3	470.61'	SOUTH
L4	188.76'	WEST
L5	75.78'	N 07°00'35" E
L6	1.62'	N 89°54'34" W
L7	17.08'	N 07°00'35" E
L8	1.60'	S 89°54'34" W
L9	7.58'	N 07°00'35" E
L10	1.45'	N 89°54'34" W
L11	27.73'	N 07°00'35" E
L12	1.41'	S 89°54'34" W
L13	86.51'	N 07°00'35" E
L14	0.08'	N 89°54'34" W
L15	19.85'	N 07°00'35" E
L16	1.06'	N 89°54'34" W
L17	16.07'	N 07°00'35" E
L18	1.09'	S 89°54'34" W
L19	26.35'	N 07°00'35" E
L20	1.54'	N 89°54'07" W

PARCEL LINE TABLE

LINE #	LENGTH	DIRECTION
L21	45.72'	N 07°00'35" E
L22	1.48'	S 89°54'34" W
L23	13.61'	N 07°00'35" E
L24	2.11'	N 89°54'34" W
L25	15.80'	N 07°00'35" E
L26	2.09'	S 89°54'34" W
L27	104.75'	N 07°00'35" E
L28	1.86'	N 89°54'34" W
L29	6.77'	N 07°00'35" E
L30	1.86'	N 89°54'34" W
L31	12.08'	N 07°00'35" E
L32	0.09'	S 89°54'34" W
L33	1.96'	N 07°00'35" E
L34	1.97'	N 89°54'34" W
L35	19.85'	N 07°00'35" E
L36	1.92'	N 89°54'34" W
L37	2.07'	N 07°00'35" E
L38	0.14'	S 89°54'34" W
L39	11.96'	N 07°00'35" E
L40	2.07'	N 89°54'34" W

PARCEL LINE TABLE

LINE #	LENGTH	DIRECTION
L41	6.59'	N 07°00'35" E
L42	2.07'	N 89°54'34" W
L43	11.61'	N 07°00'35" E
L44	2.22'	N 89°54'34" W
L45	20.11'	N 07°00'35" E
L46	1.97'	N 89°54'34" W
L47	27.15'	N 07°00'35" E
L48	0.15'	N 89°54'34" W
L49	27.61'	N 07°00'35" E

RECORDED

ENTRY NO. _____ BOOK _____ PAGES _____

STATE OF _____ COUNTY OF _____

DATE _____ TIME _____

RECORDED AND FILED AT THE REQUEST OF: _____

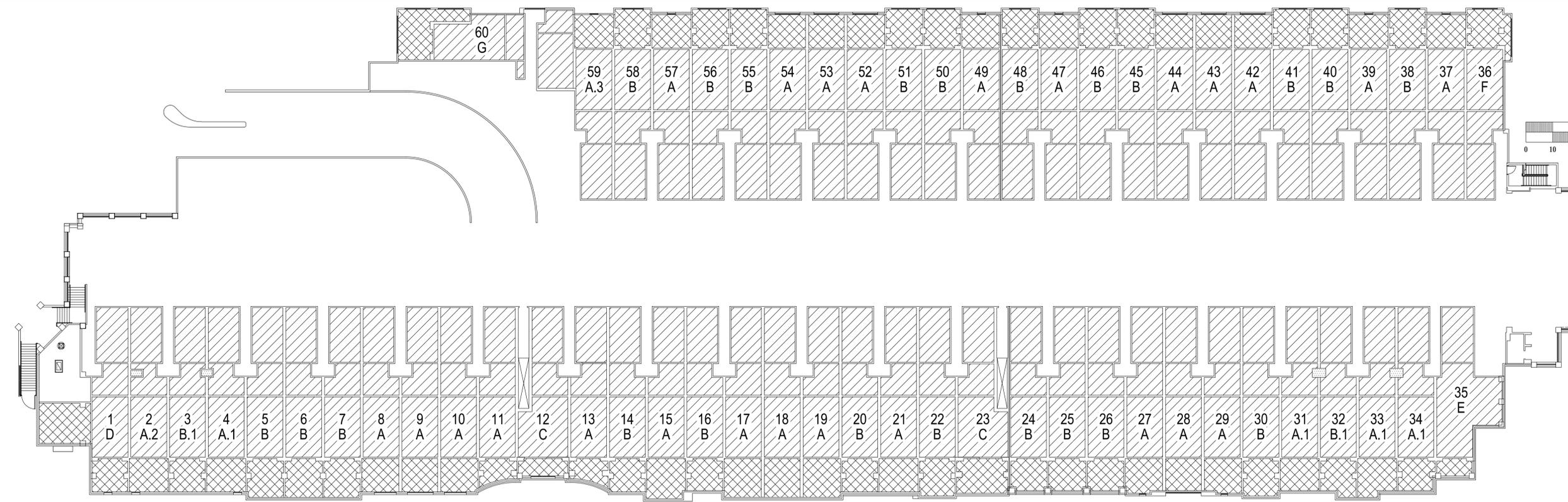
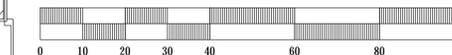
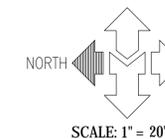
SUMMIT COUNTY RECORDER

PREPARED BY:



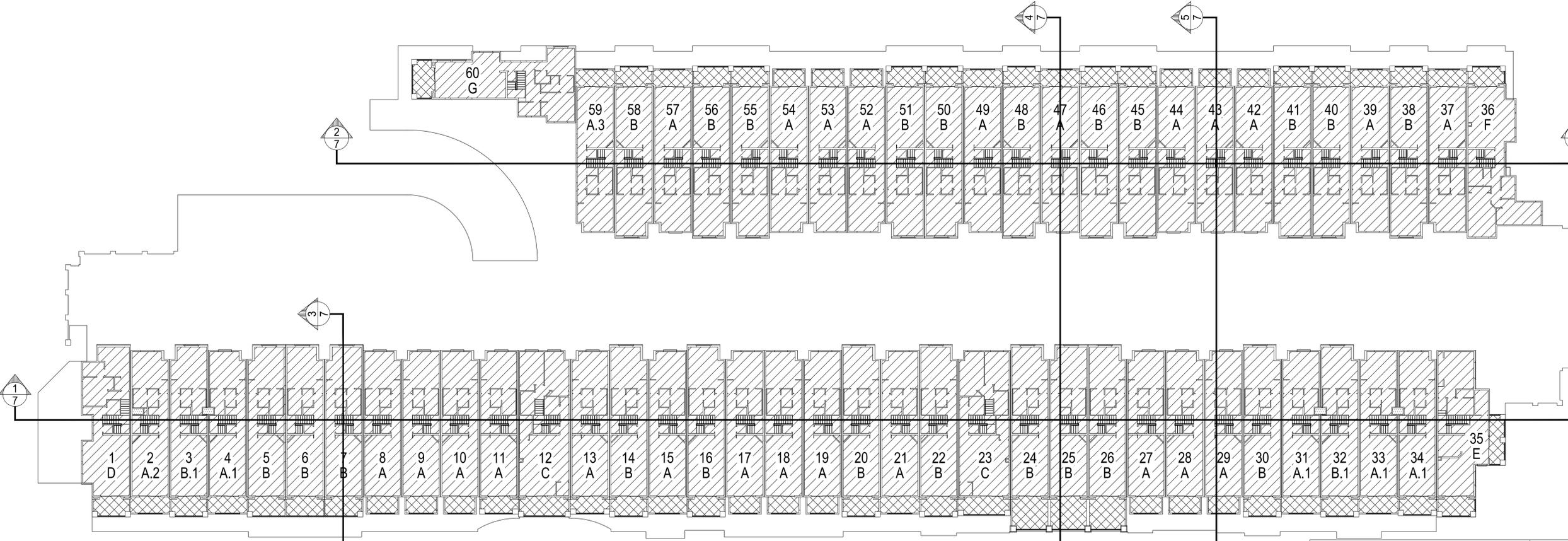
McNEIL ENGINEERING
Designing for the Future Since 1983

8610 So. Sandy Parkway, Suite 200 Sandy, Utah 84070
TEL. (801) 255-7700 FAX (801) 255-8071
E-MAIL info@mcneileng.com WEB SITE AT www.mcneil-group.com



FIRST FLOOR

ADDRESS TABLE	
UNIT	ADDRESS
1	6169 PARK LANE SOUTH
2	6169 PARK LANE SOUTH
3	6169 PARK LANE SOUTH
4	6169 PARK LANE SOUTH
5	6169 PARK LANE SOUTH
6	6169 PARK LANE SOUTH
7	6169 PARK LANE SOUTH
8	6169 PARK LANE SOUTH
9	6169 PARK LANE SOUTH
10	6169 PARK LANE SOUTH
11	6169 PARK LANE SOUTH
12	6169 PARK LANE SOUTH
13	6169 PARK LANE SOUTH
14	6169 PARK LANE SOUTH
15	6169 PARK LANE SOUTH
16	6169 PARK LANE SOUTH
17	6169 PARK LANE SOUTH
18	6169 PARK LANE SOUTH
19	6169 PARK LANE SOUTH
20	6169 PARK LANE SOUTH
21	6169 PARK LANE SOUTH
22	6169 PARK LANE SOUTH
23	6169 PARK LANE SOUTH
24	6169 PARK LANE SOUTH
25	6169 PARK LANE SOUTH
26	6169 PARK LANE SOUTH
27	6169 PARK LANE SOUTH
28	6169 PARK LANE SOUTH
29	6169 PARK LANE SOUTH
30	6169 PARK LANE SOUTH
31	6169 PARK LANE SOUTH
32	6169 PARK LANE SOUTH
33	6169 PARK LANE SOUTH
34	6169 PARK LANE SOUTH
35	6169 PARK LANE SOUTH
36	6169 PARK LANE SOUTH
37	6169 PARK LANE SOUTH
38	6169 PARK LANE SOUTH
39	6169 PARK LANE SOUTH
40	6169 PARK LANE SOUTH
41	6169 PARK LANE SOUTH
42	6169 PARK LANE SOUTH
43	6169 PARK LANE SOUTH
44	6169 PARK LANE SOUTH
45	6169 PARK LANE SOUTH
46	6169 PARK LANE SOUTH
47	6169 PARK LANE SOUTH
48	6169 PARK LANE SOUTH
49	6169 PARK LANE SOUTH
50	6169 PARK LANE SOUTH
51	6169 PARK LANE SOUTH
52	6169 PARK LANE SOUTH
53	6169 PARK LANE SOUTH
54	6169 PARK LANE SOUTH
55	6169 PARK LANE SOUTH
56	6169 PARK LANE SOUTH
57	6169 PARK LANE SOUTH
58	6169 PARK LANE SOUTH
59	6169 PARK LANE SOUTH
60	6169 PARK LANE SOUTH



SECOND FLOOR

LEGEND

	COMMON AREA
	LIMITED COMMON
	PRIVATE OWNERSHIP
	DECLARANT EASEMENT AREA FOR VENTILATION SHAFTS AND ROOFTOP EQUIPMENT

RECORD OF SURVEY MAP
NEWPARK TERRACE
 A UTAH CONDOMINIUM PROJECT
 AMENDING NEWPARK TOWNCENTER RETAIL PLAT
 LOCATED IN SECTION 19,
 TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE & MERIDIAN
 SUMMIT COUNTY, UTAH

RECORDED

ENTRY NO. _____ BOOK _____ PAGE(S) _____

STATE OF _____ COUNTY OF _____

DATE _____ TIME _____

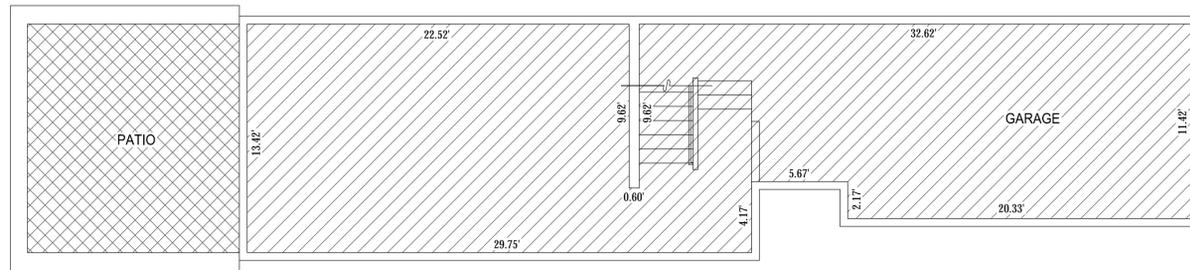
RECORDED AND FILED AT THE REQUEST OF: _____

SUMMIT COUNTY RECORDER

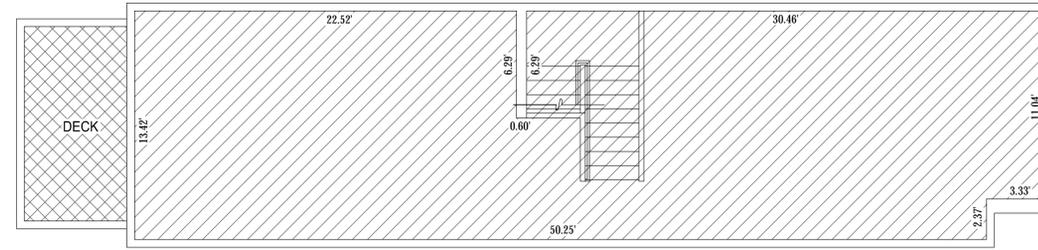
PREPARED BY:

McNEIL ENGINEERING
Designing for the Future Since 1983

8610 So. Sandy Parkway, Suite 200 Sandy, Utah 84070
 TEL. (801) 255-7700 FAX (801) 255-8071
 E-MAIL info@mcneileng.com WEB SITE AT www.mcneil-group.com



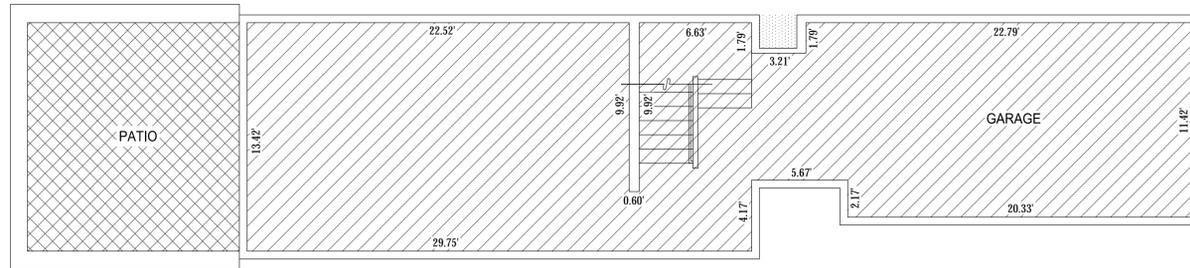
UNIT A
(UNITS 8, 9, 10, 11, 13, 15, 17, 18, 19, 21, 27, 28, 29, 37, 39, 42, 43, 44, 47, 49, 52, 53, 54, 57)
678 SQ.FT.
(FIRST FLOOR)



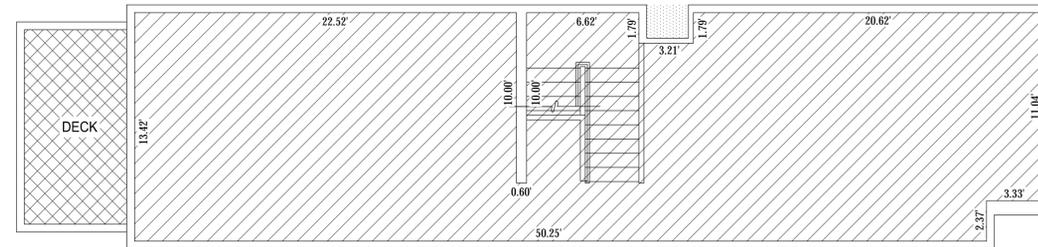
UNIT A
(UNITS 8, 9, 10, 11, 13, 15, 17, 18, 19, 21, 27, 28, 29, 37, 39, 42, 43, 44, 47, 49, 52, 53, 54, 57)
707 SQ.FT.
(SECOND FLOOR)



SCALE: 1" = 5'



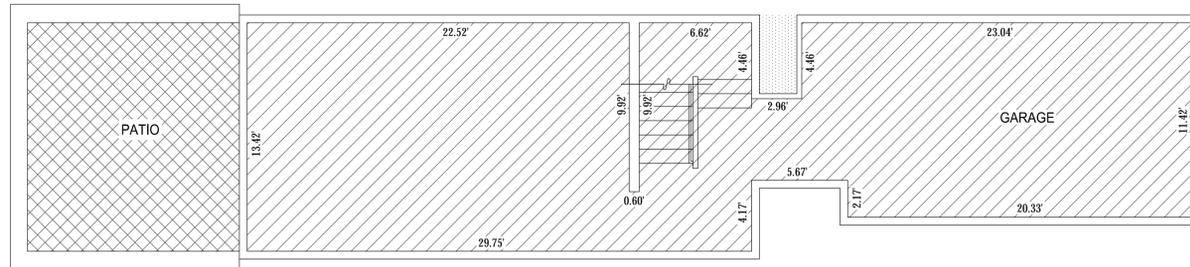
UNIT A.1
(UNITS 4, 31, 33, 34)
672 SQ.FT.
(FIRST FLOOR)



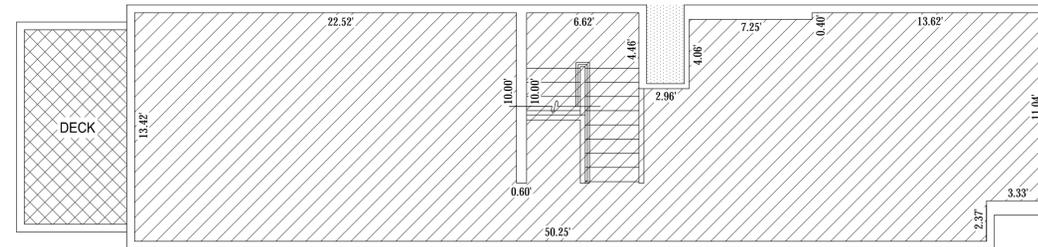
UNIT A.1
(UNITS 4, 31, 33, 34)
699 SQ.FT.
(SECOND FLOOR)

LEGEND

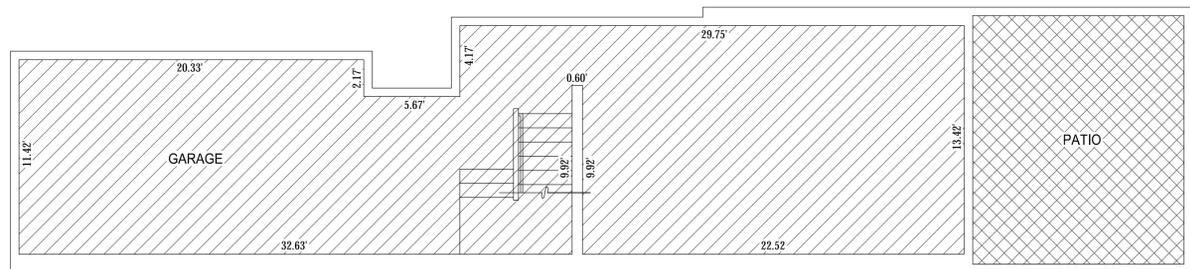
- COMMON AREA
- LIMITED COMMON
- PRIVATE OWNERSHIP
- DECLARANT EASEMENT AREA FOR VENTILATION SHAFTS AND ROOFTOP EQUIPMENT



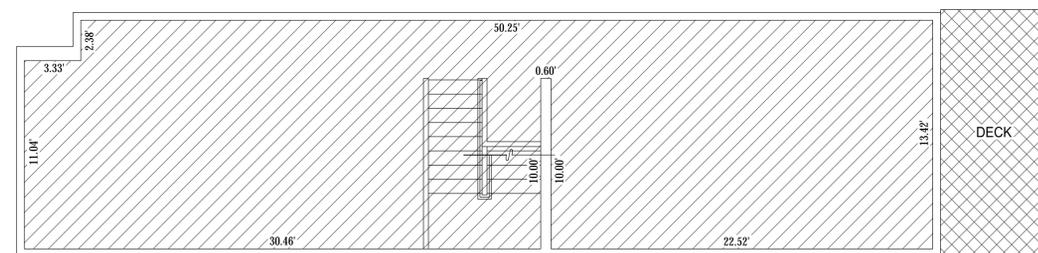
UNIT A.2
(UNIT 2)
665 SQ.FT.
(FIRST FLOOR)



UNIT A.2
(UNIT 2)
689 SQ.FT.
(SECOND FLOOR)



UNIT A.3
(UNIT 59)
678 SQ.FT.
(FIRST FLOOR)



UNIT A.3
(UNIT 59)
705 SQ.FT.
(SECOND FLOOR)

RECORD OF SURVEY MAP
NEWPARK TERRACE
A UTAH CONDOMINIUM PROJECT
AMENDING NEWPARK TOWNCENTER RETAIL PLAT
LOCATED IN SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE & MERIDIAN
SUMMIT COUNTY, UTAH

RECORDED

ENTRY NO. _____ BOOK _____ PAGE(S) _____

STATE OF _____ COUNTY OF _____

DATE _____ TIME _____

RECORDED AND FILED AT THE REQUEST OF: _____

SUMMIT COUNTY RECORDER

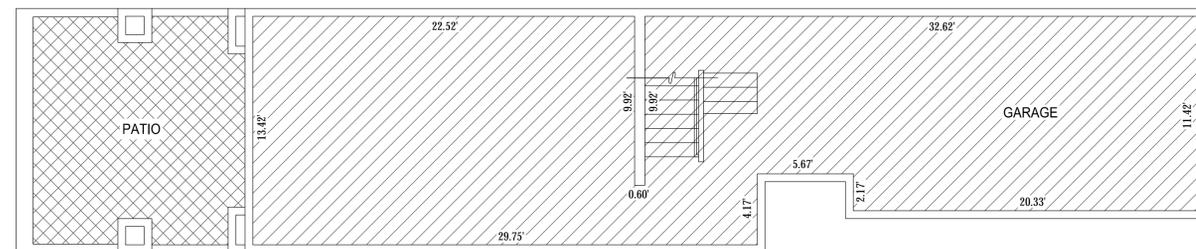
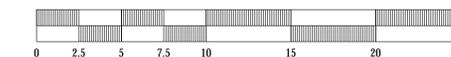
PREPARED BY:

McNEIL ENGINEERING
Designing for the Future Since 1983

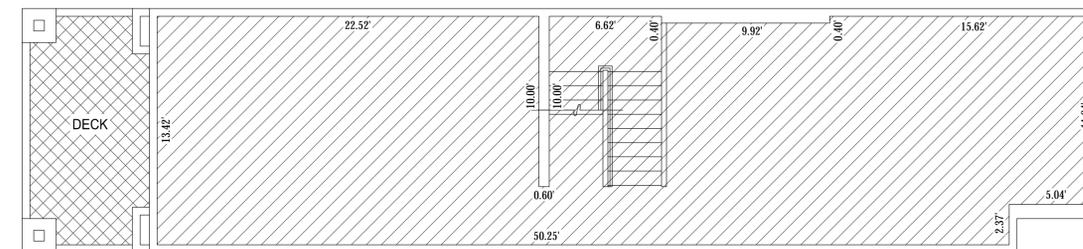
8610 So. Sandy Parkway, Suite 200 Sandy, Utah 84070
TEL. (801) 255-7700 FAX (801) 255-8071
E-MAIL info@mcneileng.com WEB SITE AT www.mcneil-group.com



SCALE: 1" = 5'



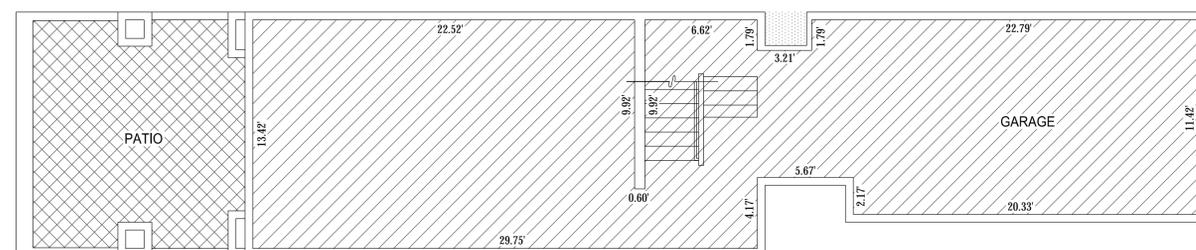
UNIT B
(UNITS 5, 6, 7, 14, 16, 20, 22, 24, 25, 26, 30, 38, 40, 41, 45, 46, 48, 50, 51, 55, 56, 58)
678 SQ.FT.
(FIRST FLOOR)



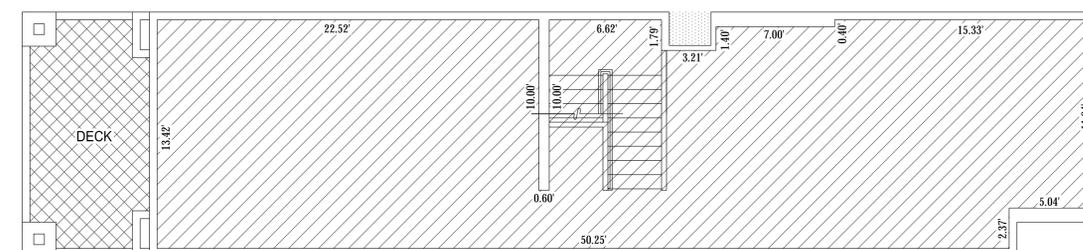
UNIT B
(UNITS 5, 6, 7, 14, 16, 20, 22, 24, 25, 26, 30, 38, 40, 41, 45, 46, 48, 50, 51, 55, 56, 58)
720 SQ.FT.
(SECOND FLOOR)

LEGEND

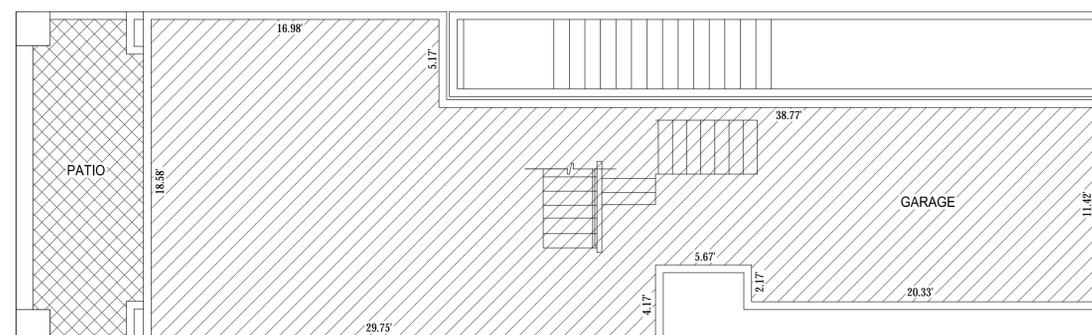
	COMMON AREA
	LIMITED COMMON
	PRIVATE OWNERSHIP
	DECLARANT EASEMENT AREA FOR VENTILATION SHAFTS AND ROOFTOP EQUIPMENT



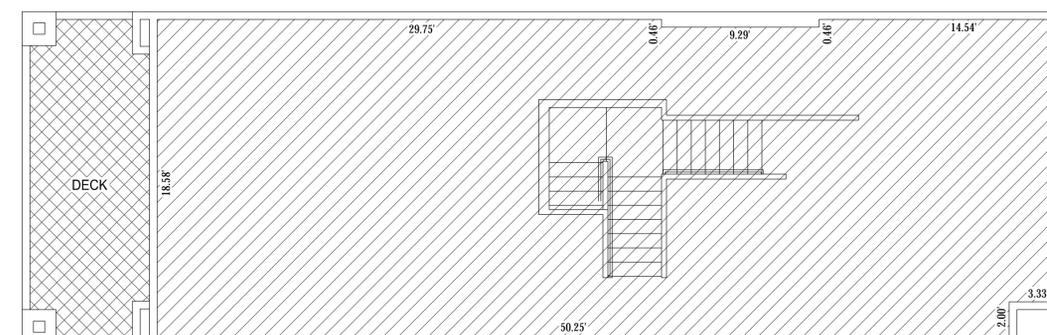
UNIT B.1
(UNITS 3, 32)
672 SQ.FT.
(FIRST FLOOR)



UNIT B.1
(UNITS 3, 32)
715 SQ.FT.
(SECOND FLOOR)



UNIT C
(UNITS 12, 23)
771 SQ.FT.
(FIRST FLOOR)



UNIT C
(UNITS 12, 23)
985 SQ.FT.
(SECOND FLOOR)

RECORD OF SURVEY MAP
NEWPARK TERRACE
A UTAH CONDOMINIUM PROJECT
AMENDING NEWPARK TOWNCENTER RETAIL PLAT
LOCATED IN SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE & MERIDIAN
SUMMIT COUNTY, UTAH

RECORDED

ENTRY NO. _____ BOOK _____ PAGE'S _____

STATE OF _____ COUNTY OF _____

DATE _____ TIME _____

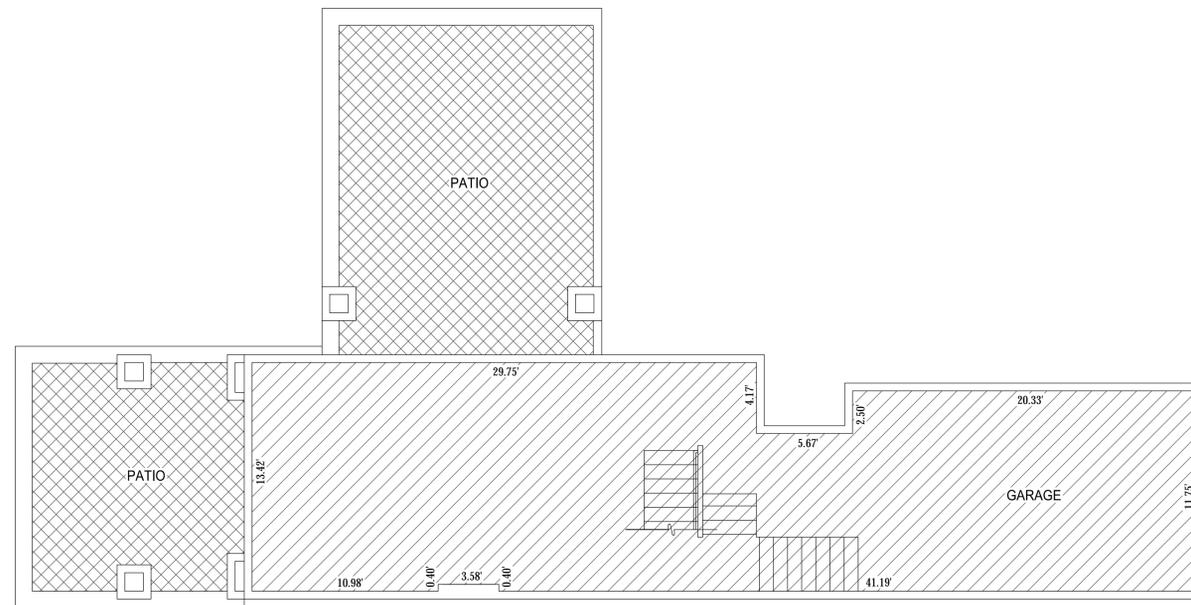
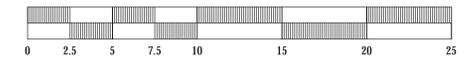
RECORDED AND FILED AT THE REQUEST OF: _____

SUMMIT COUNTY RECORDER

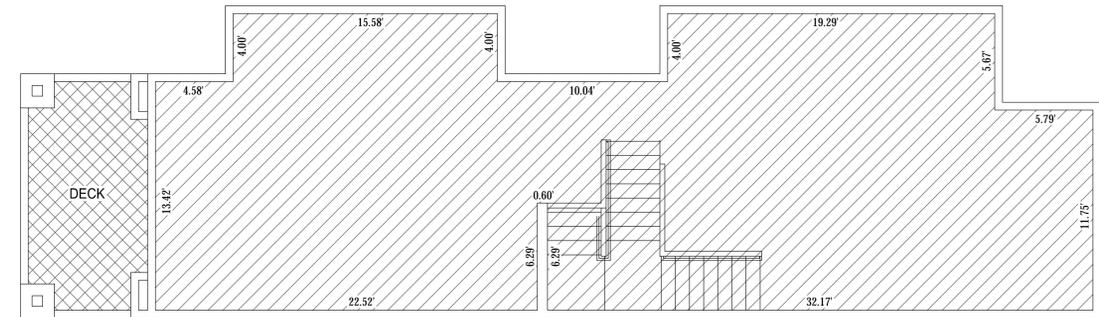
PREPARED BY:

McNEIL ENGINEERING
Designing for the Future Since 1983

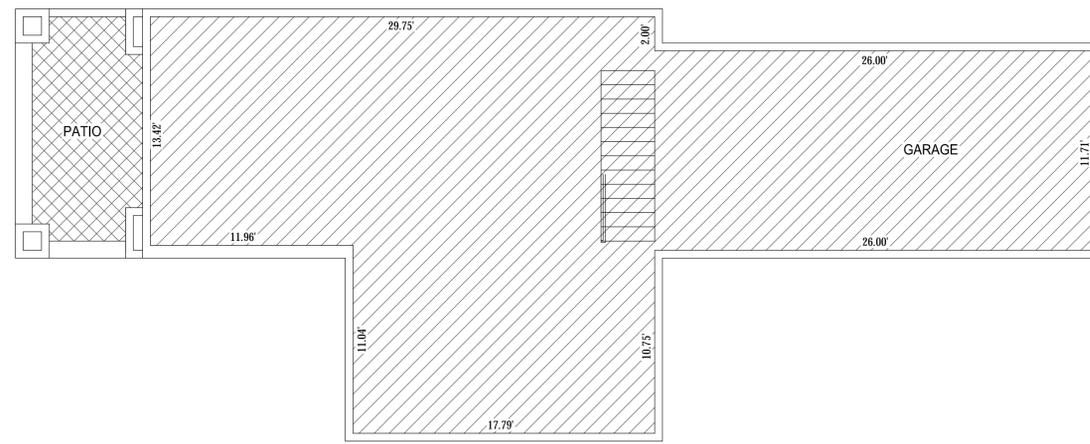
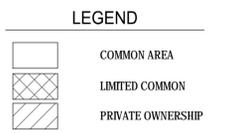
8610 So. Sandy Parkway, Suite 200 Sandy, Utah 84070
TEL. (801) 255-7700 FAX (801) 255-8071
E-MAIL info@mcneileng.com WEB SITE AT www.mcneil-group.com



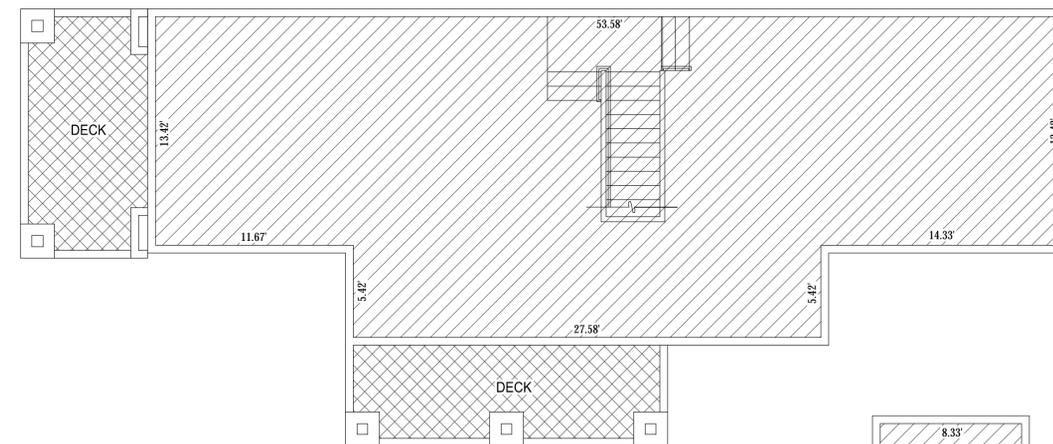
UNIT D
(UNIT 1)
689 SQ. FT.
(FIRST FLOOR)



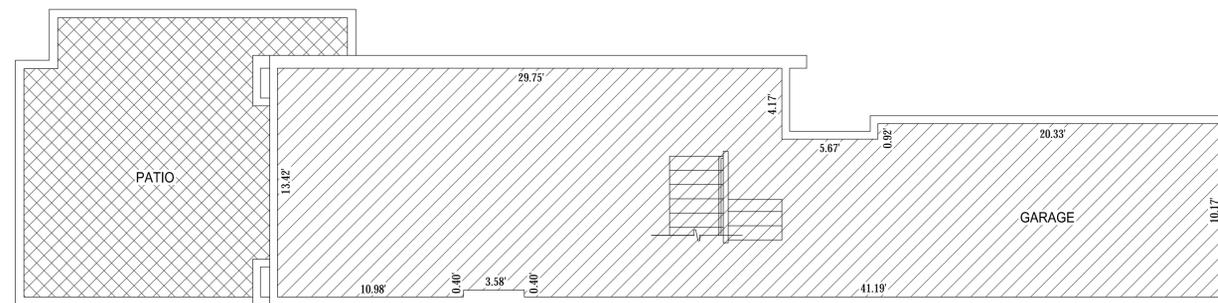
UNIT D
(UNIT 1)
868 SQ. FT.
(SECOND FLOOR)



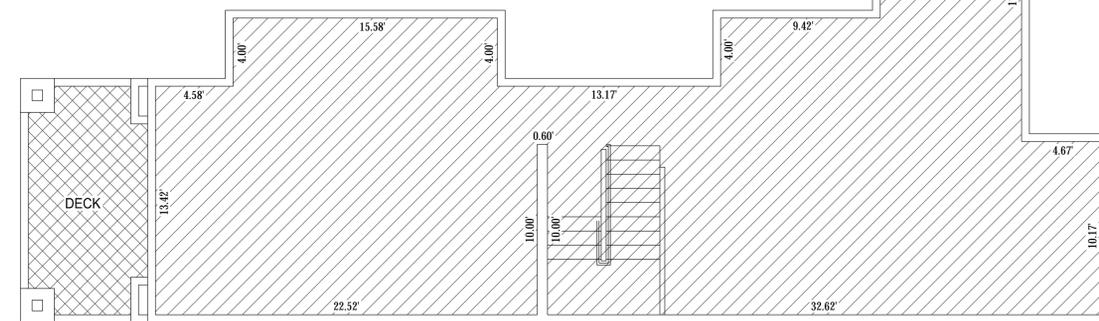
UNIT E
(UNIT 35)
900 SQ. FT.
(FIRST FLOOR)



UNIT E
(UNIT 35)
868 SQ. FT.
(SECOND FLOOR)



UNIT F
(UNIT 36)
657 SQ. FT.
(FIRST FLOOR)



UNIT F
(UNIT 36)
942 SQ. FT.
(SECOND FLOOR)

RECORD OF SURVEY MAP
NEWPARK TERRACE
A UTAH CONDOMINIUM PROJECT
AMENDING NEWPARK TOWNCENTER RETAIL PLAT
LOCATED IN SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE & MERIDIAN
SUMMIT COUNTY, UTAH

RECORDED

ENTRY NO. _____ BOOK _____ PAGE(S) _____

STATE OF _____ COUNTY OF _____

DATE _____ TIME _____

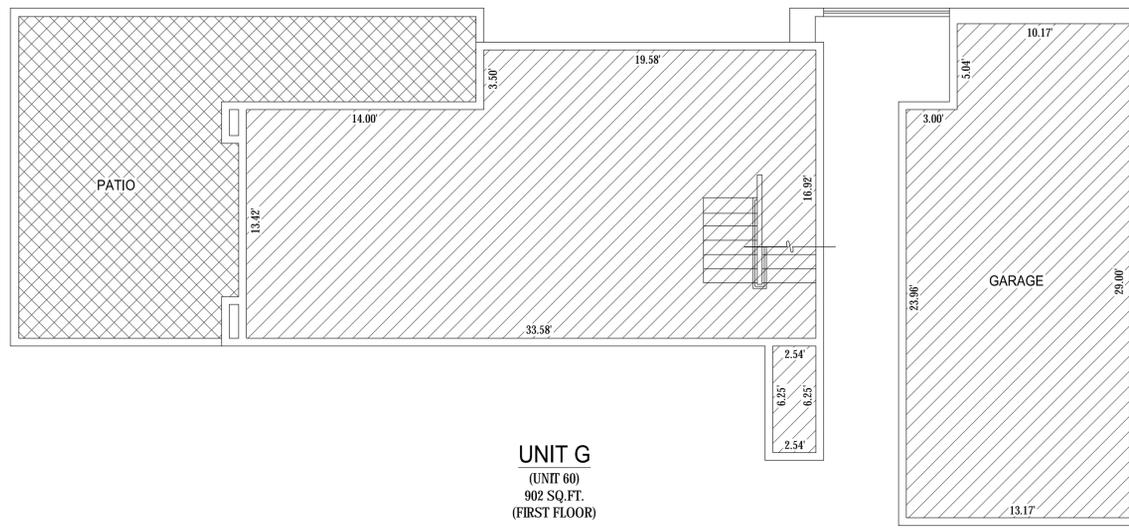
RECORDED AND FILED AT THE REQUEST OF: _____

SUMMIT COUNTY RECORDER

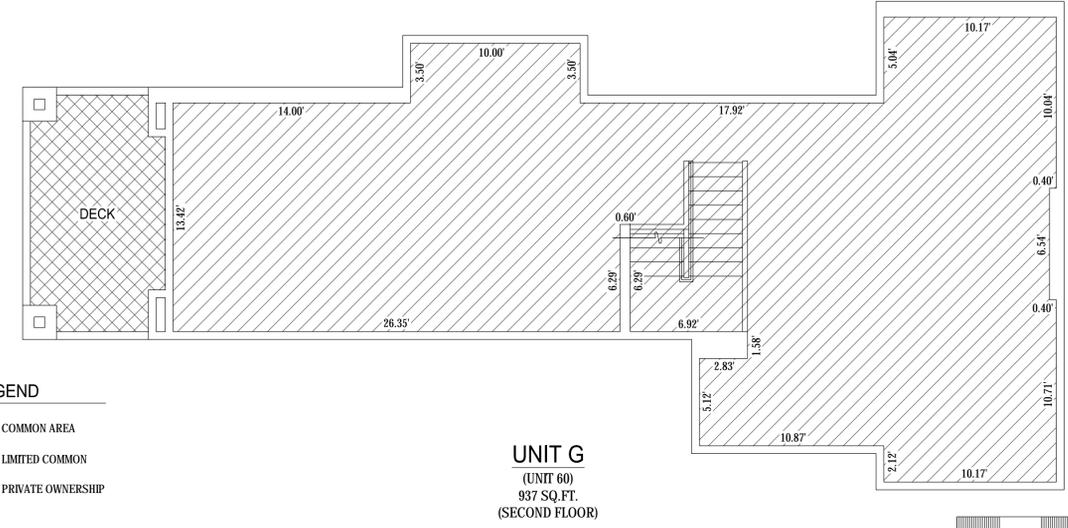
PREPARED BY:

McNEIL ENGINEERING
Designing for the Future Since 1983

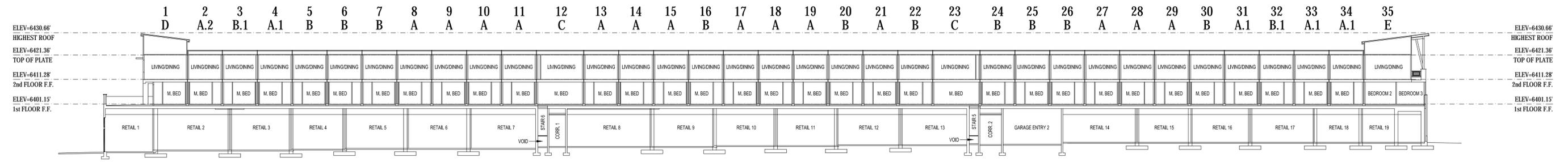
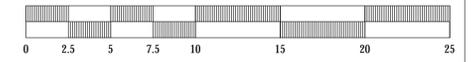
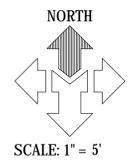
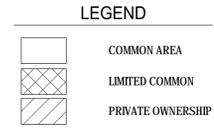
8610 So. Sandy Parkway, Suite 200 Sandy, Utah 84070
TEL. (801) 255-7700 FAX (801) 255-8071
E-MAIL info@mcneileng.com WEB SITE AT www.mcneil-group.com



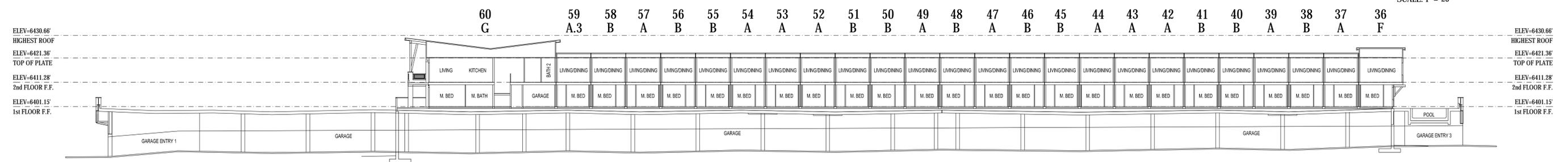
UNIT G
(UNIT 60)
902 SQ.FT.
(FIRST FLOOR)



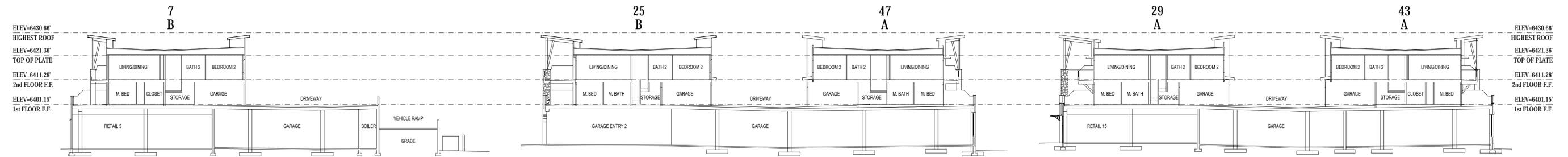
UNIT G
(UNIT 60)
937 SQ.FT.
(SECOND FLOOR)



1 LONGITUDINAL X-SECTION
(WEST BUILDING)



2 LONGITUDINAL X-SECTION
(EAST BUILDING)



3 X-SECTION
(WEST BUILDING)

4 X-SECTION
(EAST & WEST BUILDINGS)

5 X-SECTION
(EAST & WEST BUILDINGS)

RECORD OF SURVEY MAP
NEWPARK TERRACE
A UTAH CONDOMINIUM PROJECT
AMENDING NEWPARK TOWNCENTER RETAIL PLAT
LOCATED IN SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE & MERIDIAN
SUMMIT COUNTY, UTAH

RECORDED

ENTRY NO. _____ BOOK _____ PAGE'S _____

STATE OF _____ COUNTY OF _____

DATE _____ TIME _____

RECORDED AND FILED AT THE REQUEST OF: _____

SUMMIT COUNTY RECORDER

PREPARED BY:

McNEIL ENGINEERING
Designing for the Future Since 1983

8610 So. Sandy Parkway, Suite 200 Sandy, Utah 84070
TEL. (801) 255-7700 FAX (801) 255-8071
E-MAIL info@mcneileng.com WEB SITE AT www.mcneil-group.com



SHEET 8 OF 8

RECORDED

ENTRY NO. _____ BOOK _____ PAGE'S _____

STATE OF _____ COUNTY OF _____

DATE _____ TIME _____

RECORDED AND FILED AT THE REQUEST OF: _____

SUMMIT COUNTY RECORDER

RECORD OF SURVEY MAP
NEWPARK TERRACE
A UTAH CONDOMINIUM PROJECT
AMENDING NEWPARK TOWNCENTER RETAIL PLAT
LOCATED IN SECTION 19,
TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE & MERIDIAN
SUMMIT COUNTY, UTAH

PREPARED BY:

McNEIL ENGINEERING
Designing for the Future Since 1983

8610 So. Sandy Parkway, Suite 200 Sandy, Utah 84070
TEL. (801) 255-7700 FAX (801) 255-8071
E-MAIL info@mcneileng.com WEB SITE AT www.mcneil-group.com

ELEV. KEYNOTES (NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET)

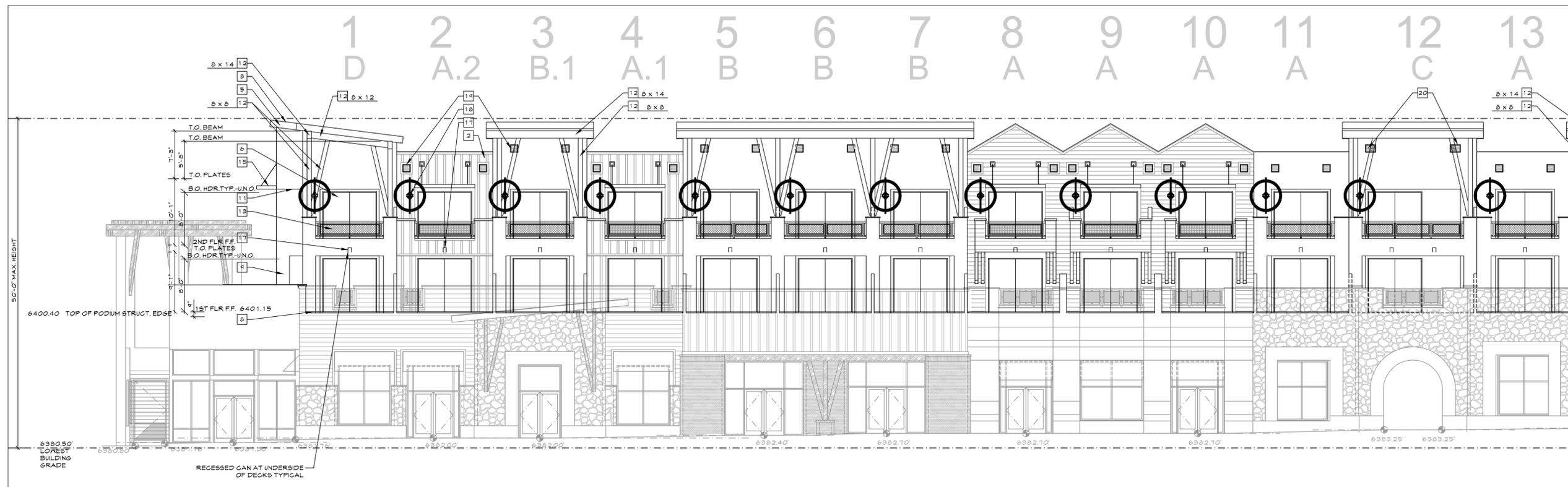
- 1 EXISTING FROM PHASE 1: POSHED COLOR GRAY (FOR REFERENCE ONLY).
- 2 PARAPET WALL: WITH ROOFING BEYOND PER ROOF PLANS.
- 3 ROOFING: PER ROOF PLANS.
- 4 EAVE: PER ROOF PLANS.
- 5 RAKE: PER ROOF PLANS.
- 6 VINYL WINDOWS AND SLIDING GLASS DOORS.
- 7 METAL ROLL-UP SECTIONAL GARAGE DOOR.
- 8 FINISH TOPPING SLAB: SLOPE AWAY FROM BUILDING (SEE CURB/FLATWORK PLAN).
- 9 EXTERIOR FINISH: PER HATCH SCHEDULE BELOW.
- 10 PLASTER WEEP SCREED.
- 11 CONTROL JOINT: PLASTER SCREED EXPANSION JOINT (TURN CORNER WITH COLOR EXACTLY AS OCCURS ON ELEVATION FACE AND TERMINATE AT INSIDE CORNER - WHERE OCCURS).
- 12 RESAWN WOOD BEAMS / BRACKETS: SIZE AS NOTED OR DETAILED.
- 13 GUARDRAIL / RAILING: PER PLAN.
- 14 METAL GATE: POWDER COATED.
- 15 METAL AWNING: POWDER COATED.
- 16 VENT TERMINATION: SEE MECHANICAL DRAWINGS.
- 17 EXTERIOR RECESSED CAN LIGHT FIXTURE: SEE ELECTRICAL DRAWINGS.
- 18 EXTERIOR WALL LIGHT FIXTURE AT 7'-6" AFF. (UNO.): SEE ELECTRICAL DRAWINGS.
- 19 ATTIC VENTILATION: 14" x 14" GALV. SCREENED WALL VENT.
- 20 ATTIC VENTILATION: 14" x 14" GALV. SCREENED WALL VENT.
- 21 COMBUSTION VENT: PER FLOOR PLAN.

LIGHTING SCHEDULE

- OUTDOOR LIGHTING
-  ENTRY WALL LIGHT: NEWPARK STANDARD LIGHT FIXTURE
-  POLE LIGHT: NEWPARK STANDARD LIGHT FIXTURE - 14' HIGH
-  DECK WALL LIGHT

HATCH SCHEDULE

-  EXTERIOR CEMENT PLASTER FINISH SYSTEM (PAINTED).
-  PAINTED HORIZONTAL HARDBOARD SIDING, 6" EXPOSURE WITH "WOOD GRAIN" TEXTURE.
-  PAINTED BOARD & BATTEN HARDBOARD SIDING, 3"-3 1/2" WIDE BATTENS AT 16" O.C. - SMOOTH FINISH.
-  STONE VENEER
-  PAINTED HORIZONTAL METAL SIDING.
-  FULL BRICK VENEER.
-  STAINED CONCRETE.



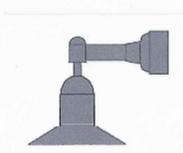
WEST EXTERIOR ELEVATION (1 OF 3)

SCALE: 1/8"=1'-0" 1

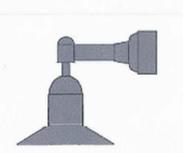


WEST EXTERIOR ELEVATION (2 OF 3)

SCALE: 1/8"=1'-0" 2



ENTRY WALL LIGHT:
 ARCHITECTURAL AREA LIGHTING - UNIVERSE COLLECTION, MODEL UCL (150 - 400 WATTS) AND MODEL UCM (50 - 175 WATTS) - HIGH PRESSURE SODIUM (HPS), GORTEN FINISH
 NOTE: SAME LIGHT FIXTURES AS CURRENTLY APPROVED FOR NEWPARK STREET 4 PEDESTRIAN LIGHT POLES



POLE LIGHT:
 SAME AS ENTRY WALL LIGHT - 14' HIGH.
 NOTE: SAME LIGHT FIXTURES AS CURRENTLY APPROVED FOR NEWPARK STREET 4 PEDESTRIAN LIGHT POLES



DECK WALL LIGHT:
 KICHLER 9022, SEASIDE COLLECTION, (100 WATTS) - DARK SKIES COMPLIANT FIXTURE, OLDE BRONZE



RECESSED CEILING LIGHT:
 PROGRESS LIGHTING - 5" WALL CYLINDER (75 WATTS MAX), INCANDESCENT LAMP

ELEV. KEYNOTES (NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET)

- 1 EXISTING FROM PHASE 1: POSHED COLOR GRAY (FOR REFERENCE ONLY).
- 2 PARAPET WALL: WITH ROOFING BEYOND PER ROOF PLANS.
- 3 ROOFING: PER ROOF PLANS.
- 4 EAVE: PER ROOF PLANS.
- 5 RAKE: PER ROOF PLANS.
- 6 VINYL WINDOWS AND SLIDING GLASS DOORS.
- 7 METAL ROLL-UP SECTIONAL GARAGE DOOR.
- 8 FINISH TOPPING SLAB: SLOPE AWAY FROM BUILDING (SEE CURB/FLATWORK PLAN).
- 9 EXTERIOR FINISH: PER HATCH SCHEDULE BELOW.
- 10 PLASTER WEEP SCREED.
- 11 CONTROL JOINT: PLASTER SCREED EXPANSION JOINT (TURN CORNER WITH COLOR EXACTLY AS OCCURS ON ELEVATION FACE AND TERMINATE AT INSIDE CORNER - WHERE OCCURS).
- 12 RESAWN WOOD BEAMS / BRACKETS: SIZE AS NOTED OR DETAILED.
- 13 GUARDRAIL / RAILING: PER PLAN.
- 14 METAL GATE: POWDER COATED.
- 15 METAL ANNING: POWDER COATED.
- 16 VENT TERMINATION: SEE MECHANICAL DRAWINGS.
- 17 EXTERIOR RECESSED CAN LIGHT FIXTURE: SEE ELECTRICAL DRAWINGS.
- 18 EXTERIOR WALL LIGHT FIXTURE AT 7'-6" AFF. (UNO.): SEE ELECTRICAL DRAWINGS.
- 19 ATTIC VENTILATION: 14" x 14" GALV. SCREENED WALL VENT.
- 20 ATTIC VENTILATION: 14" x 14" GALV. SCREENED WALL VENT.
- 21 COMBUSTION VENT: PER FLOOR PLAN.



WEST EXTERIOR ELEVATION (3 OF 3)

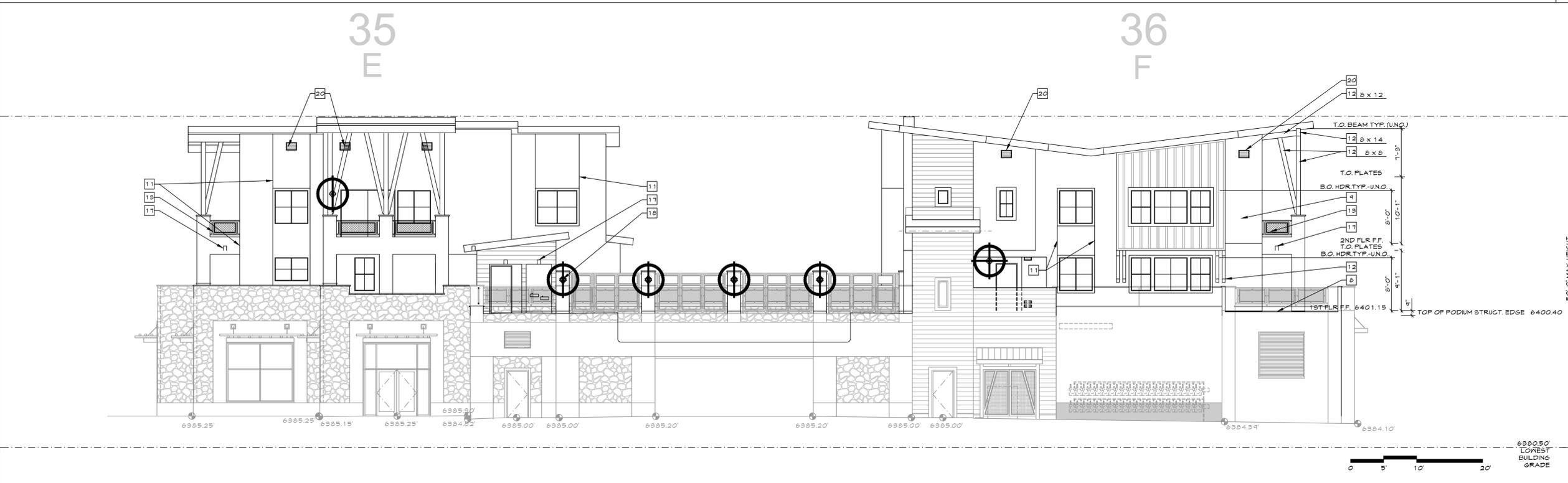
SCALE: 1/8"=1'-0" 1

LIGHTING SCHEDULE

- OUTDOOR LIGHTING
- ENTRY WALL LIGHT: NEWPARK STANDARD LIGHT FIXTURE
- POLE LIGHT: NEWPARK STANDARD LIGHT FIXTURE - 14' HIGH
- DECK WALL LIGHT

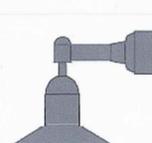
HATCH SCHEDULE

- EXTERIOR CEMENT PLASTER FINISH SYSTEM (PAINTED).
- PAINTED HORIZONTAL HARDBOARD SIDING, 6' EXPOSURE WITH "WOOD GRAIN" TEXTURE.
- PAINTED BOARD & BATTEN HARDBOARD SIDING, 3'-3" WIDE BATTENS AT 16" O.C. - SMOOTH FINISH.
- STONE VENEER
- PAINTED HORIZONTAL METAL SIDING.
- FULL BRICK VENEER.
- STAINED CONCRETE.

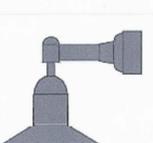


SOUTH EXTERIOR ELEVATION

SCALE: 1/8"=1'-0" 2



ENTRY WALL LIGHT:
 ARCHITECTURAL AREA LIGHTING - UNIVERSE COLLECTION, MODEL UCL (150 - 400 WATTS) AND MODEL UCM (50 - 115 WATTS) - HIGH PRESSURE SODIUM (HPS), GORTEN FINISH
 NOTE: SAME LIGHT FIXTURES AS CURRENTLY APPROVED FOR NEWPARK STREET 4 PEDESTRIAN LIGHT POLES



POLE LIGHT:
 SAME AS ENTRY WALL LIGHT - 14' HIGH.
 NOTE: SAME LIGHT FIXTURES AS CURRENTLY APPROVED FOR NEWPARK STREET 4 PEDESTRIAN LIGHT POLES



DECK WALL LIGHT:
 KICHLER 9022, SEASIDE COLLECTION, (100 WATTS), DARK SKIES COMPLIANT FIXTURE, OLDE BRONZE



RECESSED CEILING LIGHT:
 PROGRESS LIGHTING - 5" WALL CYLINDER (75 WATTS MAX), INCANDESCENT LAMP



ELEV. KEYNOTES (NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET)

- 1 EXISTING FROM PHASE 1: POSHED COLOR GRAY (FOR REFERENCE ONLY).
- 2 PARAPET WALL: WITH ROOFING BEYOND PER ROOF PLANS.
- 3 ROOFING: PER ROOF PLANS.
- 4 EAVE: PER ROOF PLANS.
- 5 RAKE: PER ROOF PLANS.
- 6 VINYL WINDOWS AND SLIDING GLASS DOORS.
- 7 METAL ROLL-UP SECTIONAL GARAGE DOOR.
- 8 FINISH TOPPING SLAB: SLOPE AWAY FROM BUILDING (SEE CURB/FLATWORK PLAN).
- 9 EXTERIOR FINISH: PER HATCH SCHEDULE BELOW.
- 10 PLASTER WEEP SCREED.
- 11 CONTROL JOINT: PLASTER SCREED EXPANSION JOINT (TURN CORNER WITH COLOR EXACTLY AS OCCURS ON ELEVATION FACE AND TERMINATE AT INSIDE CORNER - WHERE OCCURS).
- 12 RESAWN WOOD BEAMS / BRACKETS: SIZE AS NOTED OR DETAILED.
- 13 GUARDRAIL / RAILING: PER PLAN.
- 14 METAL GATE: POWDER COATED.
- 15 METAL AWNING: POWDER COATED.
- 16 VENT TERMINATION: SEE MECHANICAL DRAWINGS.
- 17 EXTERIOR RECESSED CAN LIGHT FIXTURE: SEE ELECTRICAL DRAWINGS.
- 18 EXTERIOR WALL LIGHT FIXTURE AT 7'-6" AFF. (UNO.): SEE ELECTRICAL DRAWINGS.
- 19 ATTIC VENTILATION: 14" x 14" GALV. SCREENED WALL VENT.
- 20 ATTIC VENTILATION: 14" x 14" GALV. SCREENED WALL VENT.
- 21 COMBUSTION VENT: PER FLOOR PLAN.



EAST EXTERIOR ELEVATION (1 OF 3)

SCALE: 1/8"=1'-0" 1

LIGHTING SCHEDULE

- OUTDOOR LIGHTING
-  ENTRY WALL LIGHT: NEWPARK STANDARD LIGHT FIXTURE
-  POLE LIGHT: NEWPARK STANDARD LIGHT FIXTURE - 14' HIGH
-  DECK WALL LIGHT

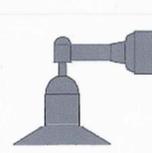
HATCH SCHEDULE

-  EXTERIOR CEMENT PLASTER FINISH SYSTEM (PAINTED).
-  PAINTED HORIZONTAL HARDBOARD SIDING, 8' EXPOSURE WITH "WOOD GRAIN" TEXTURE.
-  PAINTED BOARD & BATTEN HARDBOARD SIDING, 3-1/2' WIDE BATTENS AT 16' O.C. - SMOOTH FINISH.
-  STONE VENEER
-  PAINTED HORIZONTAL METAL SIDING.
-  FULL BRICK VENEER.
-  STAINED CONCRETE.

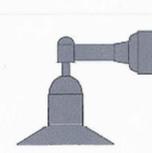


EAST EXTERIOR ELEVATION (2 OF 3)

SCALE: 1/8"=1'-0" 2



ENTRY WALL LIGHT:
 ARCHITECTURAL AREA LIGHTING - UNIVERSE COLLECTION, MODEL UCL (150 - 400 WATTS) AND MODEL UCM (50 - 115 WATTS) - HIGH PRESSURE SODIUM (HPS), GORTEN FINISH
 NOTE: SAME LIGHT FIXTURES AS CURRENTLY APPROVED FOR NEWPARK STREET 4 PEDSTRIAN LIGHT POLES



POLE LIGHT:
 SAME AS ENTRY WALL LIGHT - 14' HIGH.
 NOTE: SAME LIGHT FIXTURES AS CURRENTLY APPROVED FOR NEWPARK STREET 4 PEDSTRIAN LIGHT POLES



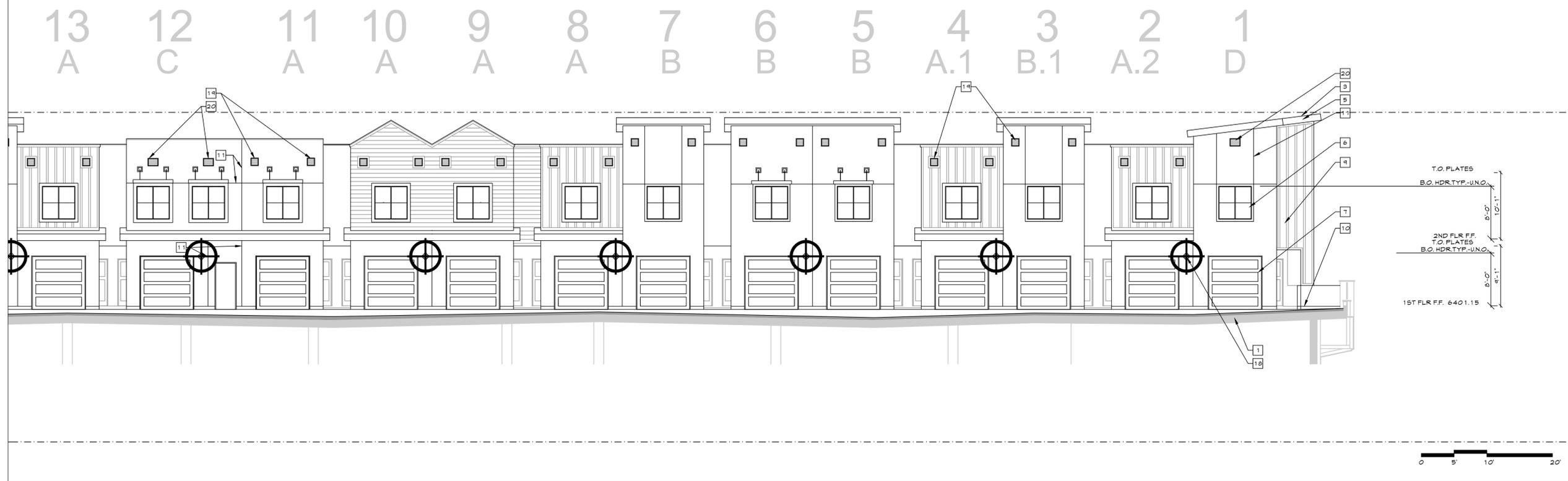
DECK WALL LIGHT:
 KICHLER 9022, SEASIDE COLLECTION, (100 WATTS) DARK SKIES COMPLIANT FIXTURE, OLDE BRONZE



RECESSED CEILING LIGHT:
 PROGRESS LIGHTING - 5" WALL CYLINDER (75 WATTS MAX), INCANDESCENT LAMP

ELEV. KEYNOTES (NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET)

- 1 EXISTING FROM PHASE 1: POSHED COLOR GRAY (FOR REFERENCE ONLY).
- 2 PARAPET WALL: WITH ROOFING BEYOND PER ROOF PLANS.
- 3 ROOFING: PER ROOF PLANS.
- 4 EAVE: PER ROOF PLANS.
- 5 RAKE: PER ROOF PLANS.
- 6 VINYL WINDOWS AND SLIDING GLASS DOORS.
- 7 METAL ROLL-UP SECTIONAL GARAGE DOOR.
- 8 FINISH TOPPING SLAB: SLOPE AWAY FROM BUILDING (SEE CURB/FLATWORK PLAN).
- 9 EXTERIOR FINISH: PER HATCH SCHEDULE BELOW.
- 10 PLASTER WEEP SCREED.
- 11 CONTROL JOINT: PLASTER SCREED EXPANSION JOINT (TURN CORNER WITH COLOR EXACTLY AS OCCURS ON ELEVATION FACE AND TERMINATE AT INSIDE CORNER - WHERE OCCURS).
- 12 RESAWN WOOD BEAMS / BRACKETS: SIZE AS NOTED OR DETAILED.
- 13 GUARDRAIL / RAILING: PER PLAN.
- 14 METAL GATE: POWDER COATED.
- 15 METAL AWNING: POWDER COATED.
- 16 VENT TERMINATION: SEE MECHANICAL DRAWINGS.
- 17 EXTERIOR RECESSED CAN LIGHT FIXTURE: SEE ELECTRICAL DRAWINGS.
- 18 EXTERIOR WALL LIGHT FIXTURE AT 7'-6" AFF. (U.N.O.): SEE ELECTRICAL DRAWINGS.
- 19 ATTIC VENTILATION: 14" x 14" GALV. SCREENED WALL VENT.
- 20 ATTIC VENTILATION: 14" x 14" GALV. SCREENED WALL VENT.
- 21 COMBUSTION VENT: PER FLOOR PLAN.

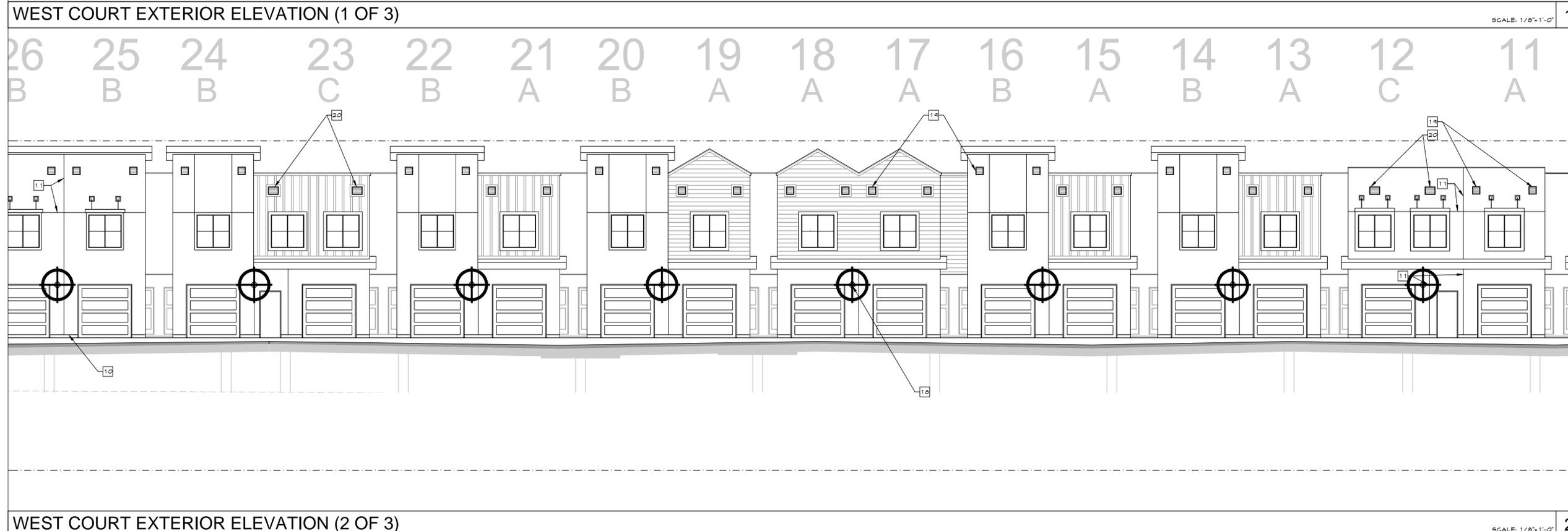


LIGHTING SCHEDULE

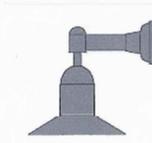
- OUTDOOR LIGHTING
-  ENTRY WALL LIGHT: NEWPARK STANDARD LIGHT FIXTURE
 -  POLE LIGHT: NEWPARK STANDARD LIGHT FIXTURE - 14' HIGH
 -  DECK WALL LIGHT

HATCH SCHEDULE

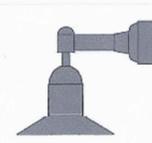
-  EXTERIOR CEMENT PLASTER FINISH SYSTEM (PAINTED).
-  PAINTED HORIZONTAL HARDBOARD SIDING, 5" EXPOSURE WITH "WOOD GRAIN" TEXTURE.
-  PAINTED BOARD & BATTEN HARDBOARD SIDING, 3-1/2" WIDE BATTENS AT 16" O.C. - SMOOTH FINISH.
-  STONE VENEER
-  PAINTED HORIZONTAL METAL SIDING.
-  FULL BRICK VENEER.
-  STAINED CONCRETE.



ENTRY WALL LIGHT:
ARCHITECTURAL AREA LIGHTING - UNIVERSE COLLECTION, MODEL UGL (150 - 400 WATTS) AND MODEL UGM (50 - 115 WATTS) - HIGH PRESSURE SODIUM (HPS), GORTEN FINISH
NOTE: SAME LIGHT FIXTURES AS CURRENTLY APPROVED FOR NEWPARK STREET & PEDESTRIAN LIGHT POLES



POLE LIGHT:
SAME AS ENTRY WALL LIGHT - 14' HIGH.
NOTE: SAME LIGHT FIXTURES AS CURRENTLY APPROVED FOR NEWPARK STREET & PEDESTRIAN LIGHT POLES



DECK WALL LIGHT:
KICHLER 9022, SEASIDE COLLECTION, (100 WATTS), DARK SKIES COMPLIANT FIXTURE, OLDE BRONZE



RECESSED CEILING LIGHT:
PROGRESS LIGHTING - 5" WALL CYLINDER (75 WATTS MAX), INCANDESCENT LAMP





ELEV. KEYNOTES (NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET)

- 1 EXISTING FROM PHASE 1: POSHED COLOR GRAY (FOR REFERENCE ONLY).
- 2 PARAPET WALL: WITH ROOFING BEYOND PER ROOF PLANS.
- 3 ROOFING: PER ROOF PLANS.
- 4 EAVE: PER ROOF PLANS.
- 5 RAKE: PER ROOF PLANS.
- 6 VINYL WINDOWS AND SLIDING GLASS DOORS.
- 7 METAL ROLL-UP SECTIONAL GARAGE DOOR.
- 8 FINISH TOPPING SLAB: SLOPE AWAY FROM BUILDING (SEE CURB/FLATWORK PLAN).
- 9 EXTERIOR FINISH: PER HATCH SCHEDULE BELOW.
- 10 PLASTER WEEP SCREED.
- 11 CONTROL JOINT: PLASTER SCREED EXPANSION JOINT (TURN CORNER WITH COLOR EXACTLY AS OCCURS ON ELEVATION FACE AND TERMINATE AT INSIDE CORNER - WHERE OCCURS).
- 12 RESAWN WOOD BEAMS / BRACKETS: SIZE AS NOTED OR DETAILED.
- 13 GUARDRAIL / RAILING: PER PLAN.
- 14 METAL GATE: POWDER COATED.
- 15 METAL AWNING: POWDER COATED.
- 16 VENT TERMINATION: SEE MECHANICAL DRAWINGS.
- 17 EXTERIOR RECESSED CAN LIGHT FIXTURE: SEE ELECTRICAL DRAWINGS.
- 18 EXTERIOR WALL LIGHT FIXTURE AT 7'-6" AFF. (UNO.): SEE ELECTRICAL DRAWINGS.
- 19 ATTIC VENTILATION: 14"x 14" GALV. SCREENED WALL VENT.
- 20 ATTIC VENTILATION: 14"x 14" GALV. SCREENED WALL VENT.
- 21 COMBUSTION VENT: PER FLOOR PLAN.

LIGHTING SCHEDULE

- OUTDOOR LIGHTING
-  ENTRY WALL LIGHT: NEWPARK STANDARD LIGHT FIXTURE
-  POLE LIGHT: NEWPARK STANDARD LIGHT FIXTURE - 14' HIGH
-  DECK WALL LIGHT

HATCH SCHEDULE

-  EXTERIOR CEMENT PLASTER FINISH SYSTEM (PAINTED).
-  PAINTED HORIZONTAL HARDBOARD SIDING, 6" EXPOSURE WITH "WOOD GRAIN" TEXTURE.
-  PAINTED BOARD & BATTEN HARDBOARD SIDING, 3-1/2" WIDE BATTENS AT 16" O.C. - SMOOTH FINISH.
-  STONE VENEER
-  PAINTED HORIZONTAL METAL SIDING.
-  FULL BRICK VENEER.
-  STAINED CONCRETE.



WEST COURT EXTERIOR ELEVATION (3 OF 3)

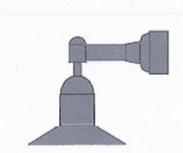
SCALE: 1/8"=1'-0" 1



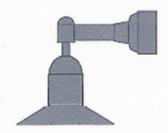
0 5 10 20

SOUTH COURT EXTERIOR ELEVATION

SCALE: 1/8"=1'-0" 2



ENTRY WALL LIGHT:
 ARCHITECTURAL AREA LIGHTING - UNIVERSE COLLECTION, MODEL UGL (150 - 400 WATTS) AND MODEL UGM (50 - 115 WATTS) - HIGH PRESSURE SODIUM (HPS), GORTEN FINISH
 NOTE: SAME LIGHT FIXTURES AS CURRENTLY APPROVED FOR NEWPARK STREET & PEDESTRIAN LIGHT POLES



POLE LIGHT:
 SAME AS ENTRY WALL LIGHT - 14' HIGH.
 NOTE: SAME LIGHT FIXTURES AS CURRENTLY APPROVED FOR NEWPARK STREET & PEDESTRIAN LIGHT POLES



DECK WALL LIGHT:
 KICHLER 9022, SEASIDE COLLECTION, (100 WATTS), DARK SKIES COMPLIANT FIXTURE, OLDE BRONZE



RECESSED CEILING LIGHT:
 PROGRESS LIGHTING - 5" WALL CYLINDER - (75 WATTS MAX), INCANDESCENT LAMP



ELEV. KEYNOTES (NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET)

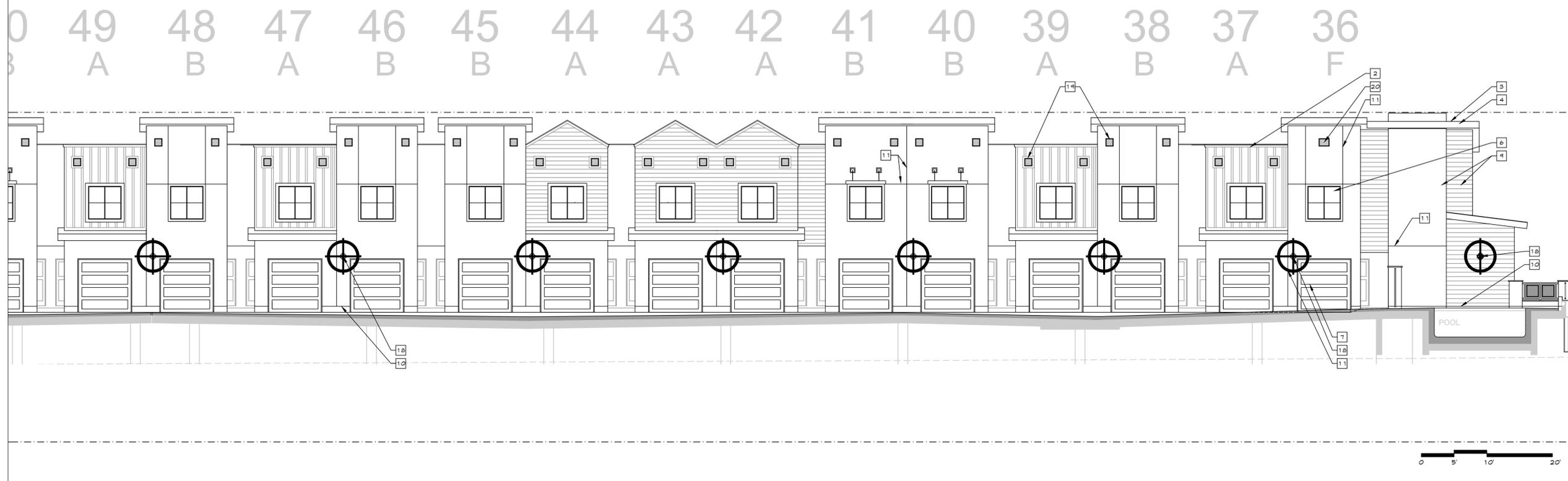
- 1 EXISTING FROM PHASE 1: POSHED COLOR GRAY (FOR REFERENCE ONLY).
- 2 PARAPET WALL: WITH ROOFING BEYOND PER ROOF PLANS.
- 3 ROOFING: PER ROOF PLANS.
- 4 EAVE: PER ROOF PLANS.
- 5 RAKE: PER ROOF PLANS.
- 6 VINYL WINDOWS AND SLIDING GLASS DOORS.
- 7 METAL ROLL-UP SECTIONAL GARAGE DOOR.
- 8 FINISH TOPPING SLAB: SLOPE AWAY FROM BUILDING (SEE CURB/FLATWORK PLAN).
- 9 EXTERIOR FINISH: PER HATCH SCHEDULE BELOW.
- 10 PLASTER WEEP SCREED.
- 11 CONTROL JOINT: PLASTER SCREED EXPANSION JOINT (TURN CORNER WITH COLOR EXACTLY AS OCCURS ON ELEVATION FACE AND TERMINATE AT INSIDE CORNER - WHERE OCCURS).
- 12 RESAWN WOOD BEAMS / BRACKETS: SIZE AS NOTED OR DETAILED.
- 13 GUARDRAIL / RAILING: PER PLAN.
- 14 METAL GATE: POWDER COATED.
- 15 METAL AWNING: POWDER COATED.
- 16 VENT TERMINATION: SEE MECHANICAL DRAWINGS.
- 17 EXTERIOR RECESSED CAN LIGHT FIXTURE: SEE ELECTRICAL DRAWINGS.
- 18 EXTERIOR WALL LIGHT FIXTURE AT 7'-6" AFF. (UNO.): SEE ELECTRICAL DRAWINGS.
- 19 ATTIC VENTILATION: 14" x 14" GALV. SCREENED WALL VENT.
- 20 ATTIC VENTILATION: 14" x 14" GALV. SCREENED WALL VENT.
- 21 COMBUSTION VENT: PER FLOOR PLAN.

LIGHTING SCHEDULE

- OUTDOOR LIGHTING
-  ENTRY WALL LIGHT: NEWPARK STANDARD LIGHT FIXTURE
 -  POLE LIGHT: NEWPARK STANDARD LIGHT FIXTURE - 14' HIGH
 -  DECK WALL LIGHT

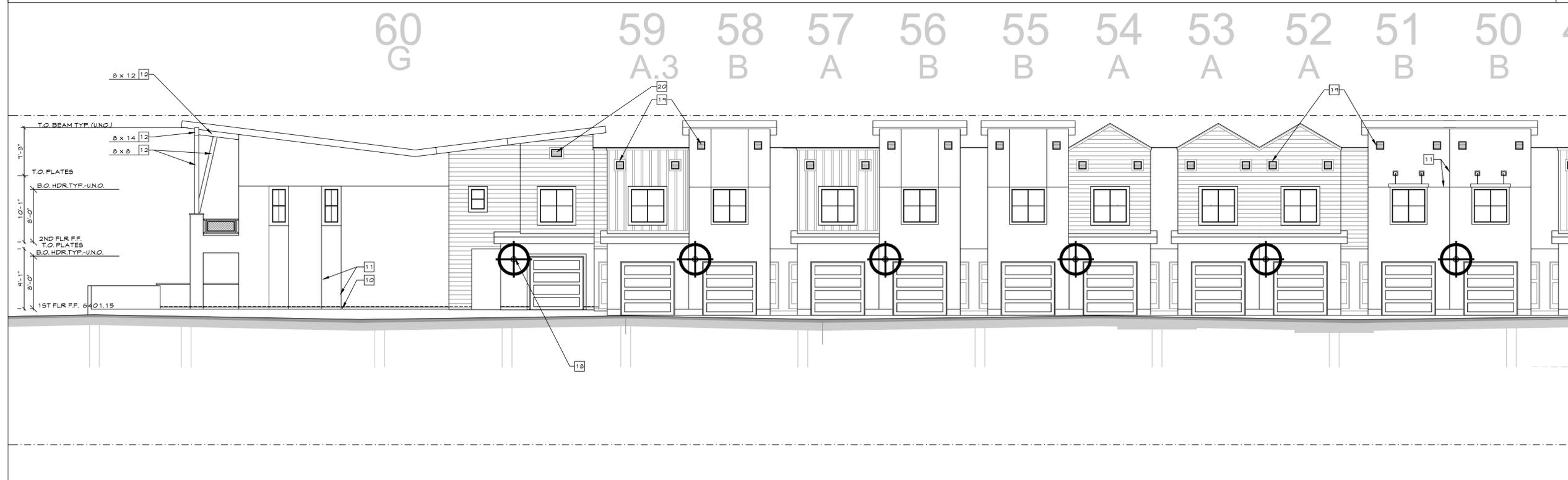
HATCH SCHEDULE

-  EXTERIOR CEMENT PLASTER FINISH SYSTEM (PAINTED).
-  PAINTED HORIZONTAL HARDBOARD SIDING, 6" EXPOSURE WITH "WOOD GRAIN" TEXTURE.
-  PAINTED BOARD & BATTEN HARDBOARD SIDING, 3"-3" WIDE BATTENS AT 16" O.C. - SMOOTH FINISH.
-  STONE VENEER
-  PAINTED HORIZONTAL METAL SIDING.
-  FULL BRICK VENEER.
-  STAINED CONCRETE.



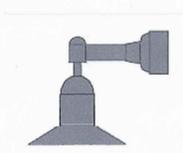
EAST COURT EXTERIOR ELEVATION (1 OF 2)

SCALE: 1/8"=1'-0" 1

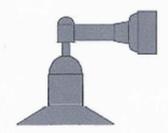


EAST COURT EXTERIOR ELEVATION (2 OF 2)

SCALE: 1/8"=1'-0" 2



ENTRY WALL LIGHT:
 ARCHITECTURAL AREA LIGHTING - UNIVERSE COLLECTION, MODEL UGL (150 - 400 WATTS) AND MODEL UGM (50 - 115 WATTS) - HIGH PRESSURE SODIUM (HPS), GORTEN FINISH
 NOTE: SAME LIGHT FIXTURES AS CURRENTLY APPROVED FOR NEWPARK STREET & PEDESTRIAN LIGHT POLES



POLE LIGHT:
 SAME AS ENTRY WALL LIGHT - 14' HIGH.
 NOTE: SAME LIGHT FIXTURES AS CURRENTLY APPROVED FOR NEWPARK STREET & PEDESTRIAN LIGHT POLES



DECK WALL LIGHT:
 KICHLER 9022, SEASIDE COLLECTION, (100 WATTS), DARK SKIES COMPLIANT FIXTURE, OLDE BRONZE



RECESSED CEILING LIGHT:
 PROGRESS LIGHTING - 5" WALL CYLINDER (75 WATTS MAX), INCANDESCENT LAMP



MCNEIL ENGINEERING-CIVIL, L.C.

MCNEIL ENGINEERING-STRUCTURAL, L.C.

MCNEIL ENGINEERING-SURVEYING, L.C.

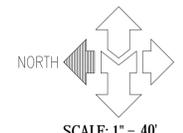
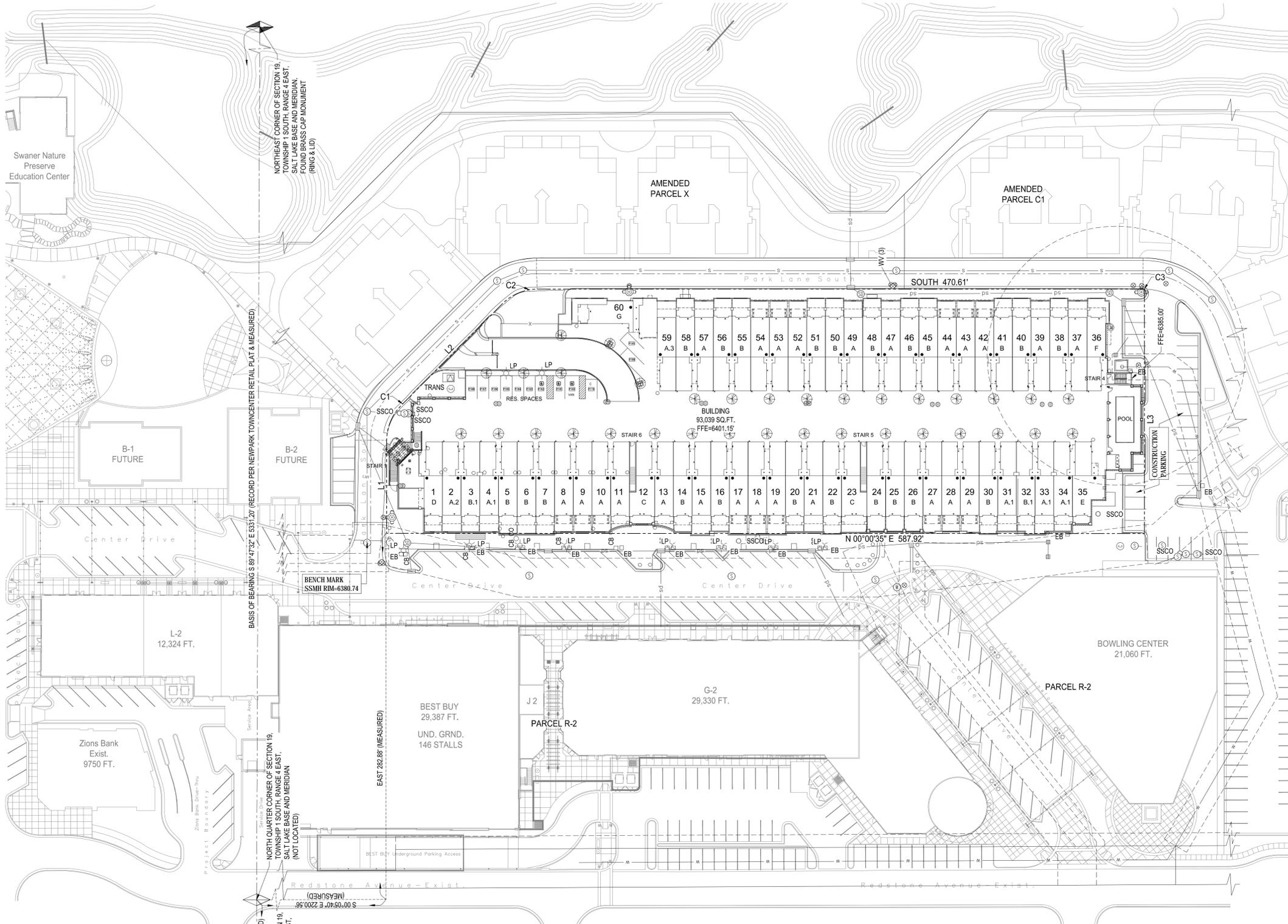
MCNEIL ENGINEERING-ST. GEORGE, L.C.

MCNEIL ENGINEERING - SURVEYING, L.C.

MCNEIL ENGINEERING STRUCTURAL, L.C.

MCNEIL ASPEN CONSULTANTS, L.C.

MCNEIL ENGINEERING - CIVIL, L.C.



LEGEND

--- (dashed line)	LOT LINE	⊗	WATER VALVE
--- (dashed line)	SETBACK LINE	⊗	FIRE HYDRANT
--- (dashed line)	PROPERTY LINE	⊗	TRANSFORMER
--- (dashed line)	MONUMENT LINE	⊗	CLEAN OUT
--- (dashed line)	EASEMENT LINE	⊗	WATER MANHOLE
--- (dashed line)	FENCE LINE	⊗	LIGHT POLE
--- (dashed line)	CONCRETE	⊗	ELECTRICAL BOX
--- (dashed line)	BUILDING	⊗	COMMUNICATION BOX
--- (dashed line)	GAS METER	⊗	SEWER MANHOLE
--- (dashed line)	ROOF DRAIN	⊗	STORM DRAIN MANHOLE
--- (dashed line)	IRRIGATION CONTROL VALVE	⊗	CATCH BASIN
--- (dashed line)	CATCH BASIN	⊗	SEWER CLEANOUT
--- (dashed line)	SET REBAR & CAP OR NAIL & WASHER STAMPED "MCNEIL GROUP"	⊗	COMMUNICATION MANHOLE

MCNEIL ENGINEERING
 Designing for the Future Since 1983
 8610 So. Sandy Parkway, Suite 200 Sandy, Utah 84070
 TEL (801) 255-7700 FAX (801) 255-8071
 E-MAIL info@mcneileng.com WEB SITE AT www.mcneil-group.com



NEWPARK TERRACE CONDOMINIUMS
NEWPARK TERRACE, LLC
 PARK CITY, UTAH
 LOCATED IN THE NE 1/4 OF SEC 19, T1S, R4E, S1B & M

REVISIONS

REV	DATE	DESCRIPTION

PROJECT NO: 10037
 CAD DWG. FILE: 10037BND
 DRAWN BY: JSK
 DESIGNED BY: TJD
 FIELD CREW: SG
 CHECKED BY: TJD
 DATE: 30 JUN 2010

SHEET TITLE
SITE PLAN

C.1.00
 SHEET 1 OF 1

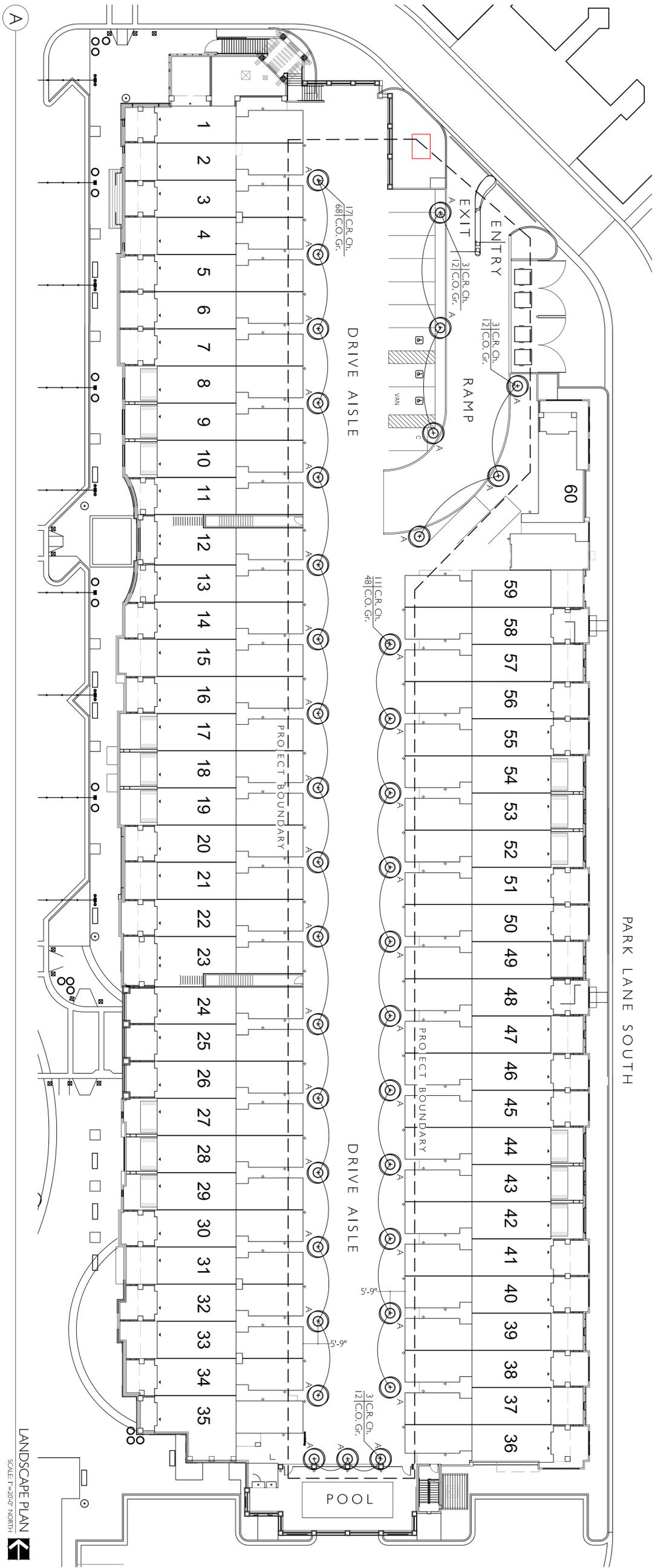
CURVE TABLE

RECORD						MEASURED					
CURVE	RADIUS	LENGTH	DELTA	CHORD	CHORD BEARING	RADIUS	LENGTH	DELTA	CHORD	CHORD BEARING	
C1	38.00	29.85	(1)SSSSS	29.08	B°+S SSSK	38.00	29.84	((S)-fl+)	29.08	B°+S SSSK	
C2	38.00	29.85	(1)SSSSS	29.08	B888 SSSK	38.00	29.84	((S)-fl+)	29.08	B888 SSSK	
C3	NO RECORD INFORMATION					50.00	0.50	SS (B°)	0.50	GSSS%K	

LINE TABLE

RECORD & MEASURED		
LINE	BEARING	DISTANCE
L1	EAST	71.85
L2	SSSSS	111.46
L3	WEST	188.76

This drawing, as an instrument of professional service, is the property of SCOTT THOMAS BLAKE DESIGN L.L.C. and shall not be used, in whole or part, for any other project without the written permission of an authorized representative of SCOTT THOMAS BLAKE DESIGN L.L.C. Unauthorised use will be prosecuted to the fullest extent of the law. Copyright © 2013 by SCOTT THOMAS BLAKE DESIGN L.L.C.

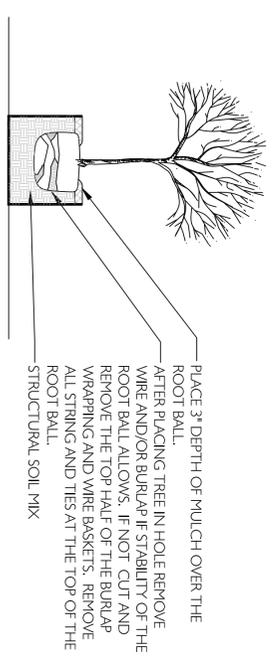


PARK LANE SOUTH

LANDSCAPE PLAN
SCALE: 1"=20'-0" NORTH

LANDSCAPE SCHEDULE

SYMBOL	QNTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
+	37	<i>Prunus virginiana</i> 'Carnal Red'	Carnal Red Cockleberrry	20 GAL	Centered in Planter
○	148	<i>Rubus odoratus</i>	Creeping Oregon Grape	1 GAL	4' Planter
○A	37	Precast Concrete Planter - Quidkrona, Model# QR-CU4834P (48" Dia. x 34" Hg.)			



TREE PLANTING
NOT TO SCALE

STB
DESIGN
LANDSCAPE ARCHITECTURE
& LAND PLANNING
1473 SOUTH 1100 EAST
SUITE E
SALT LAKE CITY, UTAH 84105
801.554.6146
STBD@STBDLLC.COM

Drawn By: Scott B.

ISSUE DESCRIPTION	DATE
	5.10.2013

#	REV. DESCRIPTION	DATE

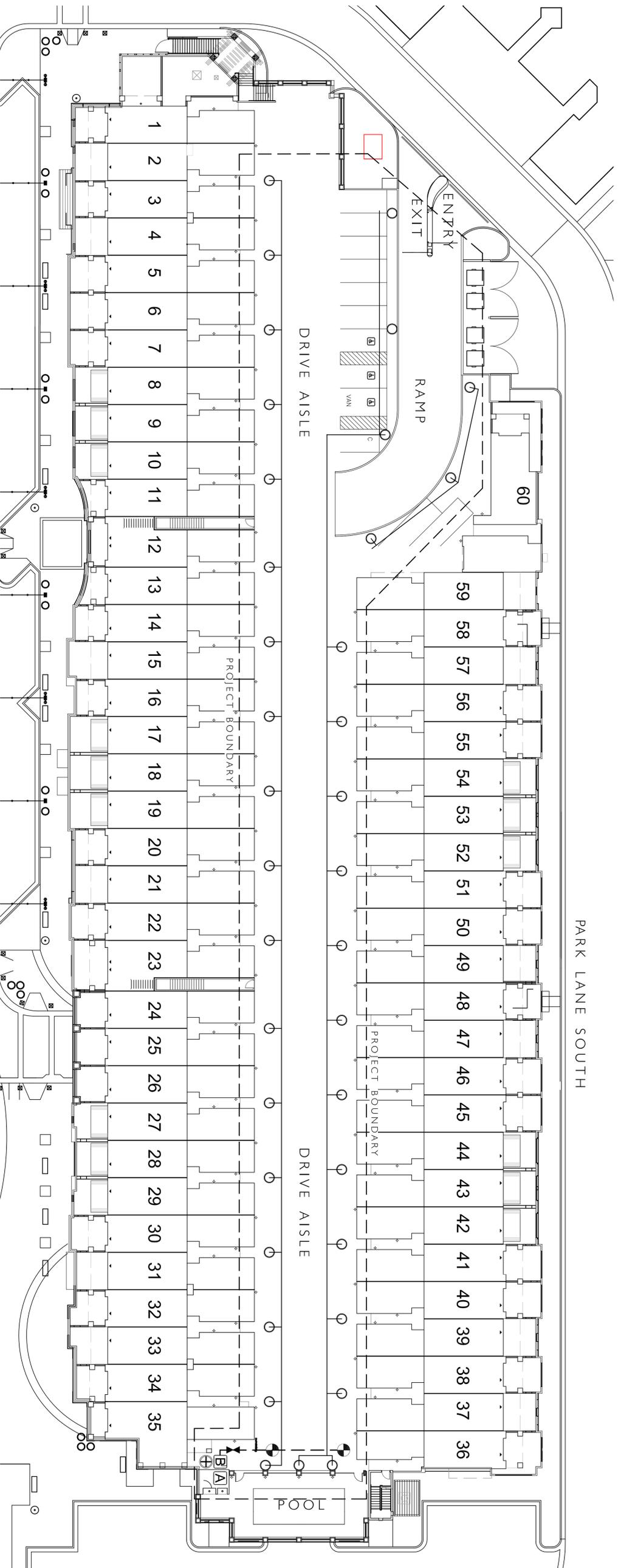
NEWPARK TERRACES
NEWPARK TOWN CENTER
PARK CITY, UTAH

PRELIMINARY
SITE PLAN

LANDSCAPE
PLAN

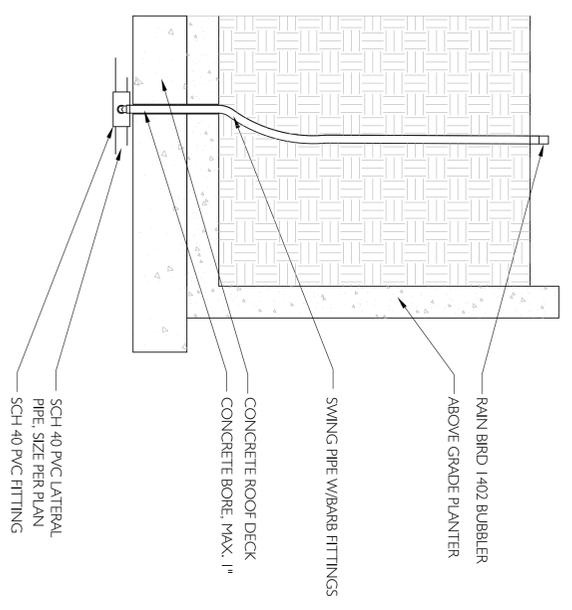
L101

This drawing, as an instrument of professional service, is the property of SCOTT THOMPAS BLAKE DESIGN L.L.C. and shall not be used, in whole or part, for any other project without the written permission of an authorized representative of SCOTT THOMPAS BLAKE DESIGN L.L.C. Unauthorised use will be prosecuted to the fullest extent of the law. Copyright © 2013 by SCOTT THOMPAS BLAKE DESIGN L.L.C.



A

B



DRIP IRRIGATION AT ABOVE GRADE PLANTER
NOT TO SCALE

IRRIGATION NOTES

1. Base drawings for irrigation design have been provided by others.
2. Irrigation design based on schematic layout of planting areas, along with schematic depiction buildings. Any major deviation in building design and/or turf-shrub areas may require re-design irrigation system.
3. Exact locations of major irrigation components to be approved by the Owner's Representative in the field prior to installation.
4. Contractor is responsible to verify material counts and square footages. Irrigation table quantities provided as a courtesy. In the event of a discrepancy, plan quantities take precedence over table quantities.
5. Contact the local underground utility services for utility location and identification.
6. Perform excavation in the vicinity of underground utilities with care and if necessary, by hand. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to the Owner.
7. Irrigation main line and/or other components are shown schematically in hardscapes for clarity only. All Irrigation components shall be located in landscaped areas.
8. Place remote control valves in logical groupings as field conditions permit. All remote control valves and quick coupler valves shall be isolated from the main line via an isolation valve as shown in details.
9. Sprinklers are placed at various percentages of manufacturer's published radii. See Irrigation table for specific spacing. Spray heads typically shown at 90% of manufacturer's published coverage radius. Rotor heads typically shown at 90% of manufacturer's published coverage radius.
10. Spray sprinklers are designed for 30 PSI at the head.
12. Not all sleeving necessary to complete this project is shown on plan. Portions of irrigation

IRRIGATION SCHEDULE

Symbol	Description	Size
A	RAIN BIRD ESP-LX1	8 Zones
B	BACKFLOW PREVENTER	1"
▶▶	APOLLO 70-100 SERIES BRASS BALL VALVE	1"
●	RAIN BIRD FEB SERIES	1"
⊕	RAIN/IBRD 1400 SERIES BUBBLER 1402 360°	2.00 ft
⊕	SCH 40 PVC LATERAL PIPE	3/4" - 1"
—	SCH 40 PVC MAIN PIPE	1"
⊕	POC MIN. 75 GPM @ 85 PSI STATIC	

IRRIGATION PLAN
SCALE: 1"=20'-0" NORTH

STB
DESIGN
LANDSCAPE ARCHITECTURE
& LAND PLANNING

1473 SOUTH 1100 EAST
S U I T E
B
SALT LAKE CITY UTAH 84105
801.554.6146
STBD@STBDESIGNLLC.COM

Drawn By: Scott Bl.

ISSUE DESCRIPTION	DATE
	11.5.2013

#	REV. DESCRIPTION	DATE

NEWPARK TERRACES
NEWPARK TOWN CENTER
PARK CITY, UTAH

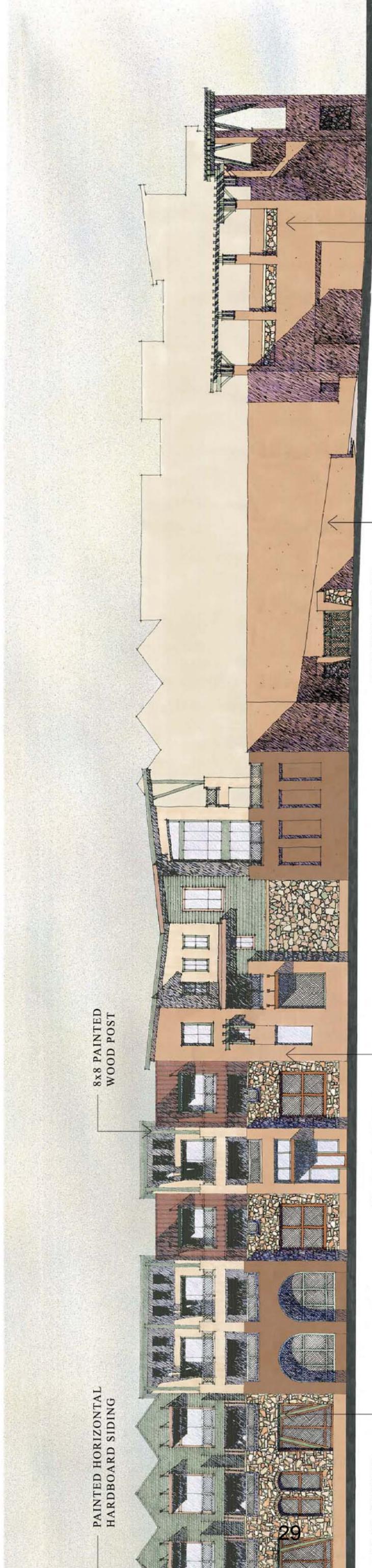
PRELIMINARY
SITE PLAN

IRRIGATION
PLAN

L102

NEWPARK TERRACE
CONDOMINIUMS





— PAINTED HORIZONTAL
HARDBOARD SIDING

8x8 PAINTED
WOOD POST

10x10 PAINTED
WOOD POST

COLORED POURED
IN PLACE CONCRETE

PARKING GARAGE
RAMP

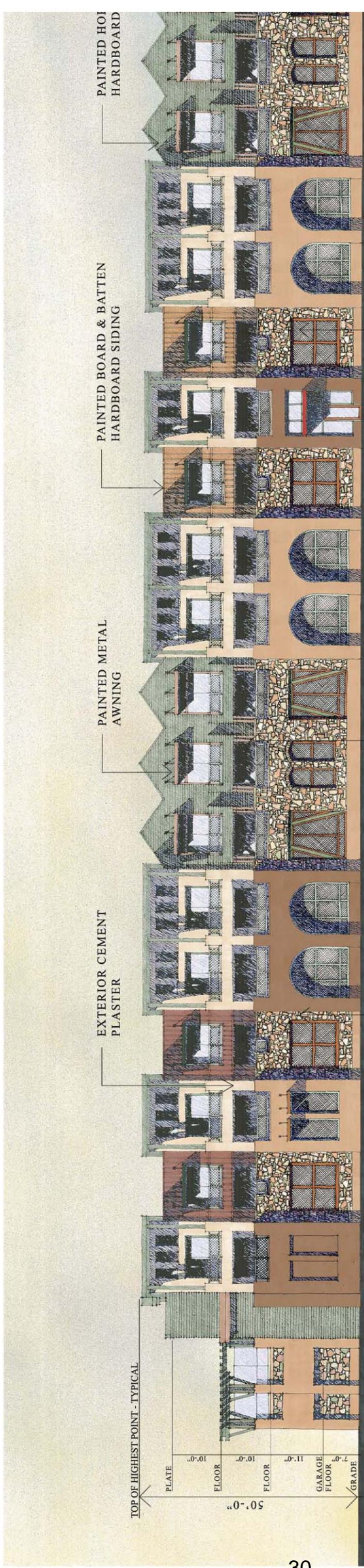
COLORED POURED
IN PLACE CONCRETE

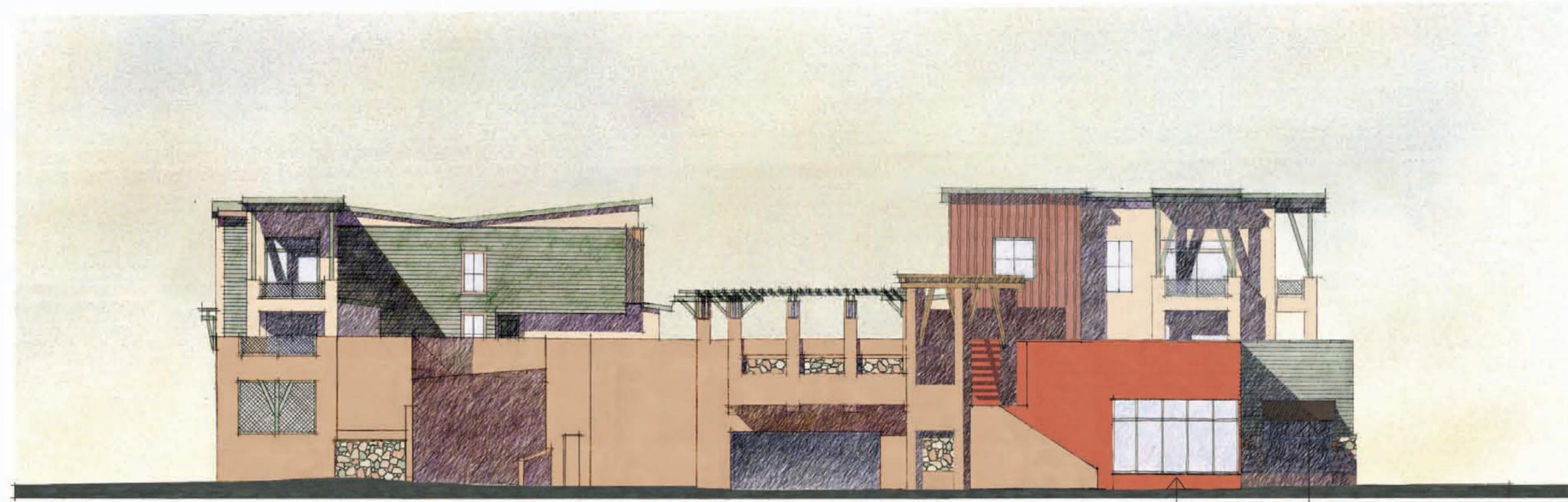
EAST ELEVATION
WPARK TERRACE
 EWPAK CORPORATION

2007011



11.07.07





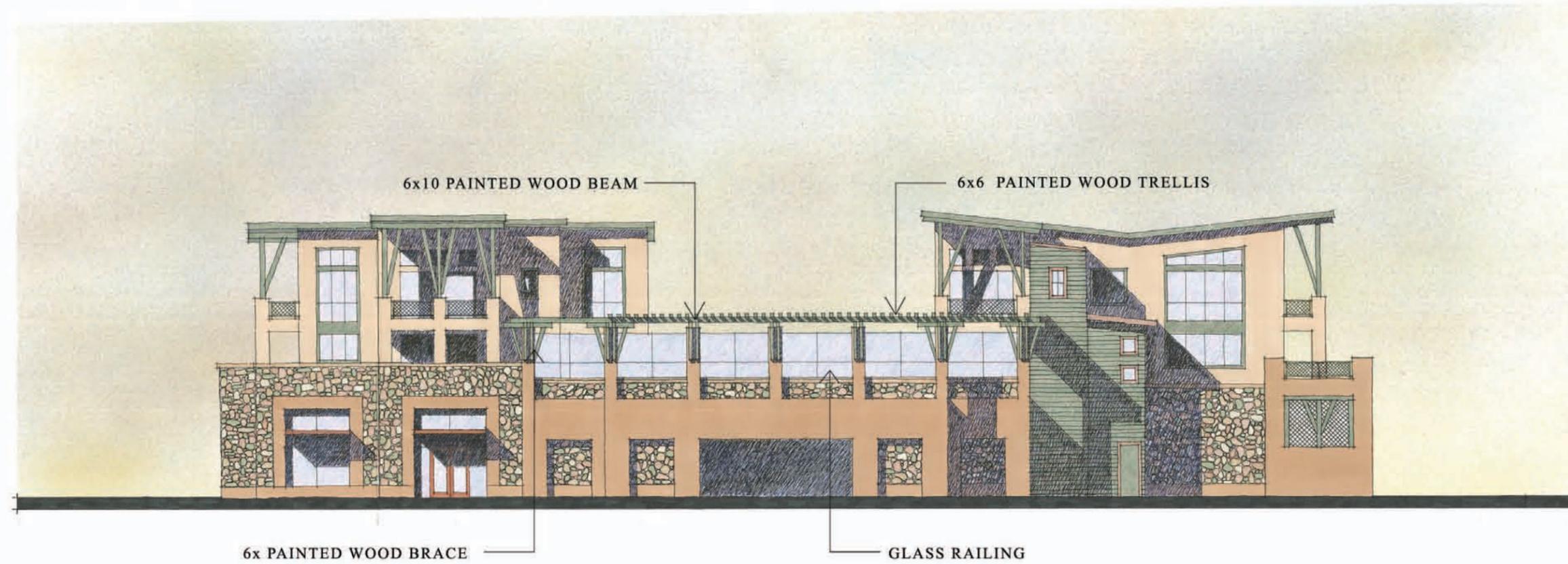
GLASS WITH PAINTED STOREFRONT
WINDOW FRAME

FABRIC AWNING

NORTH ELEVATION
NEWPARK TERRACE
NEWPARK CORPORATION
2007011



11.09.07



SOUTH ELEVATION
NEWPARK TERRACE
NEWPARK CORPORATION

2007011





PAINTED BOARD & BATTEN
HARDBOARD SIDING

EXTERIOR CEMENT PLASTER

D HORIZONTAL
SIDING

BRICK

WEST ELEVATION
EW PARK TERRACE
 NEWPARK CORPORATION
 2007011





Memorandum

To: Gary Crandall Managing Member
Newpark Terrace, LLC



From: John Dorny, P.E.

Date: June 12, 2013

PN13.018

Subject: The Newpark Terrace Condominium Parking Study Results

This memorandum is in response to your request to estimate the ability of the existing Newpark Development parking facilities to accommodate parking from your proposed project, *The Newpark Terrace Condominium* (Terrace). Horrocks used the Institute of Transportation Engineers (ITE) *Parking Generation Manual*, 4th edition, to estimate the number parking stalls needed for each existing land use surrounding the Terrace project. The results of our study are provided below.

Existing Parking Supply

Horrocks was provided with a site plan of the Newpark Development that included the area surrounding the proposed Terrace project. The site plan is attached to this memorandum and displays a layout of the surface and underground parking stalls.

From the Newpark site plan the existing parking supply was established by summing all of the parking stalls within the boarder called out in the attached site plan figure. All parking stalls within the “parking study border” were included in our parking supply estimations. This included surface parking lots, on-street parking, the parking garages for the existing resort residential condominiums, and the parking garages proposed as part of the Terrace project. The underground parking garage under Best Buy was also included in the parking supply. The total parking supply within the study boundary is **763 stalls**.

Parcel numbers are included in the site plan and coincide with the Newpark Owners Association (NOA) parking assessment parcels and are included for reference only.

Parking Demand Periods

Horrocks estimated parking demand using the ITE Parking Generation Manual for each of the land uses shown in Table 1. The parking demand was estimated for various peak times throughout a typical week, and includes:

Mon-Fri	8AM-5PM
Mon-Thu	6PM-12AM
Fri-Sat	6PM-12AM
Sat-Sun	8AM-5PM

Proposed Project (Newpark Terrace)

The proposed project consists of 60 condominium units and will include 60 single-car garages and 12 surface parking lot spaces for a total of 72 parking stalls. The parking demand of the project is detailed below and included in Table 1.

Description	Status	Mon-Fri 8AM-5PM	Mon-Thur 6PM-12AM	Fri-Sun 6PM-12AM	Sat-Sun 8AM-5PM
Newpark Terrace	Proposed	37	78	83	78

The highest peak demand of 83 stalls is during the weekend after 6 PM. The project will need 12 stalls during that time to account for parking demand of the project. Other times throughout the week the project will need 6 stalls or less.

Parking Supply/Demand Results

When adding up the parking demand for all the parcels in the study area and comparing that to the parking supply there is a range of reserve parking capacity of between 62 and 223 stalls. During the peak time of the weekend parking demand there is an estimated 62 reserve parking stalls. As shops close and Terrace owners’ park for the night, the amount of reserve parking stalls increase.

Table 1: Estimated Parking Demand

Parcel	Description	Status	Mon-Fri 8AM-5PM	Mon-Thur 6PM-12AM	Fri-Sun 6PM-12AM	Sat-Sun 8AM-5PM
C-1	Resort Residential	Existing	30	64	68	64
C-2	Bowling	Existing	67	117	145	82
D-1	Retail	Existing	54	52	56	55
D-2	Retail	Existing	23	17	23	23
D-3	Retail	Existing	40	30	39	46
G	Retail	Existing	84	96	118	97
H-1	Best Buy	Existing	90	59	81	90
K-1	Zion's Bank	Existing	39	8	8	30
L-2	Retail	Existing	62	40	50	62
X	Resort Residential	Existing	14	29	30	29
R-1	Newpark Terrace	Proposed	37	78	83	78
Total Parking Demand			540	590	701	656
Parking Supply			763	763	763	763
Parking Reserve			223	173	62	107

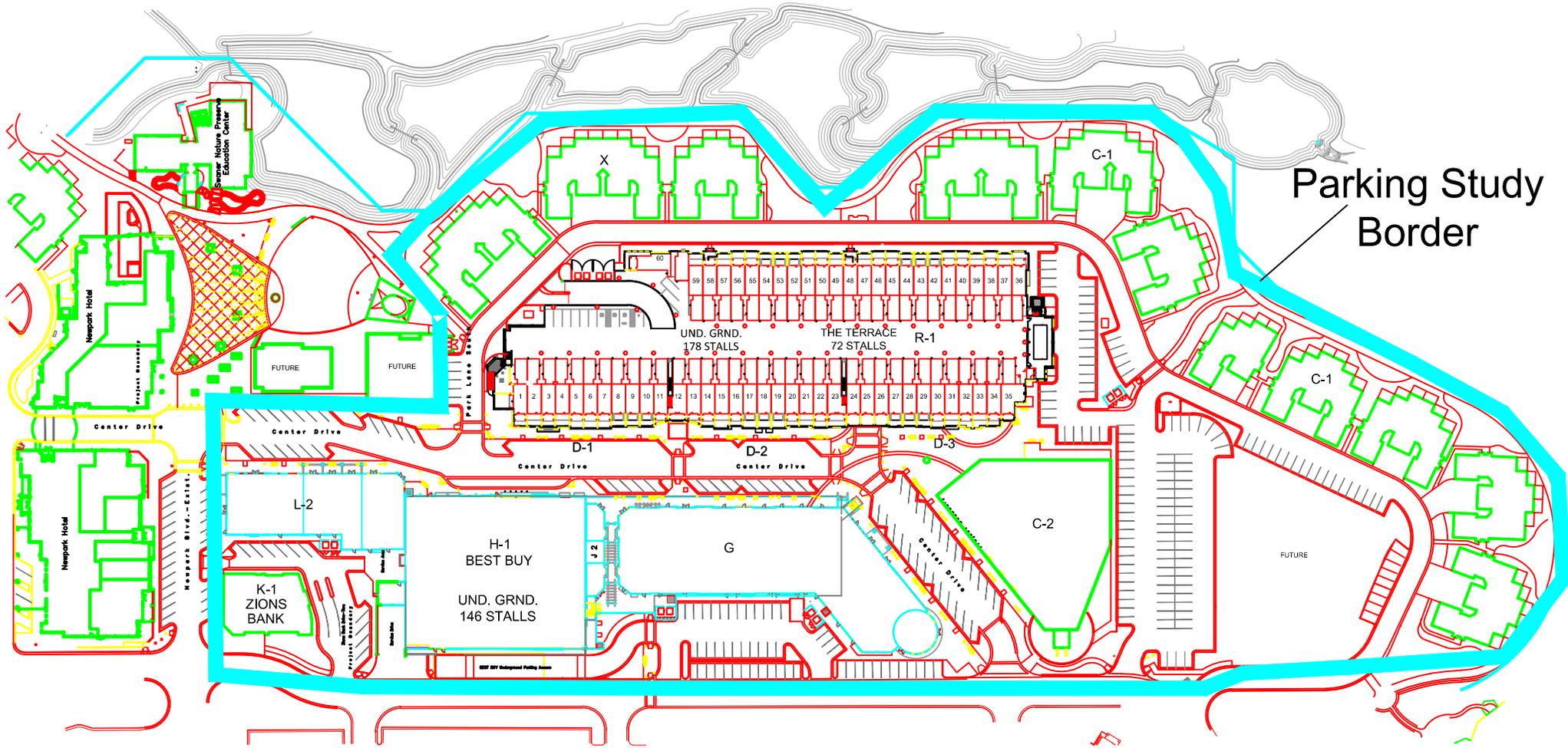
Other Factors

The ITE Parking Manual assumes that each parcel and use was independent of each other. This means that the parking generation estimates don't include one vehicle parking at the retail shops, going to a restaurant, or other retail shops while using one parking stall. This sharing of parking is commonly used in traffic generation estimates when patrons make one trip and access many shops or uses. This factor can reduce vehicle trips significantly (10%-30%). However, no reduction in parking demand was applied based during this study. This allows for some conservativeness in our parking analysis. Another element that was not considered was the proximity of the transit stop north of the hotel. There may be some reduction in parking demand due to transit services. However, no reduction in parking demand was included.

Conclusion

Based on the existing parking supply and demand, the Terrace project will need an estimated 11 parking stalls to accommodate the parking demand of the project. The demand will be highest between evening hours on the weekends. Based on the mix of housing, retail, recreation, and office; it is our estimation that the parking demand will be reduced due to internal complimentary land uses and patrons using one parking stall for multiple uses.

The Terrace project will provide 87% of its own parking demand on the project site. Only 13% will be required to be accommodated from surrounding parking stalls from complimentary uses only during a few hours of the weekend evenings. The mixed-use model (residential, retail, recreation, and office) with limiting parking and encouraging transit use is often the desire of many contemporary cities.



Parking Study Border