



## ALPINE CITY COUNCIL PUBLIC MEETING AGENDA

NOTICE is hereby given that the **CITY COUNCIL** of Alpine City, Utah will hold a Public Meeting on **Tuesday, November 30, 2021, at 6:00 pm**, 20 North Main Street and can be viewed on the **Alpine City YouTube Channel**. A direct link to the channel can be found on the home page of the Alpine City website: [alpinecity.org](http://alpinecity.org) Public Comments will be accepted during the Public Comment portion of the meeting.

### I. CALL MEETING TO ORDER

- |              |                  |
|--------------|------------------|
| A. Roll Call | Mayor Troy Stout |
| B. Prayer:   | Greg Gordon      |
| C. Pledge:   | By Invitation    |

### II. CONSENT CALENDAR

- A. Approve City Council minutes of November 9, 2021
- B. Approve City Council minutes of November 16, 2021
- C. CUP Filter Station Partial Payment #3: \$45,510.70
- D. Bond Release No. 7 – The Ridge at Alpine Phase 5: \$312,915.75
- E. 2022 Annual City Council Meeting Schedule

### III. PUBLIC COMMENT

### IV. REPORTS AND PRESENTATIONS

### V. ACTION/DISCUSSION ITEMS

- A. Public Hearing – General Plan
- B. Resolution R2021-17: Adoption of General Plan
- C. Resolution R2021-18: Lambert Park Conservation Easement
- D. Ordinance 2021-20: Guest Houses
- E. Plat Amendment – Three Falls Plat H
- F. Plat Amendment – Three Falls Plat I
- G. Plat Amendment – Three Falls Plat J
- H. 4800 West/Canyon Road Expansion – Project Funding Support
- I. Cemetery Concept Plan

### VII. STAFF REPORTS

### VIII. COUNCIL COMMUNICATION

- IX. **EXECUTIVE SESSION:** Discuss litigation, property acquisition, or the professional character, conduct or competency of personnel.

Mayor Troy Stout  
November 24, 2021

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY COUNCIL MEETINGS. If you need a special accommodation to participate, please call the City Recorder's Office at (801) 756-6347 x 4.

CERTIFICATE OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was on the bulletin board located inside City Hall at 20 North Main and sent by e-mail to The Daily Herald located in Provo, UT, a local newspaper circulated in Alpine, UT. This agenda is also available on our web site at, and on the Utah Public Meeting Notices website at [www.utah.gov/pmn/index.html](http://www.utah.gov/pmn/index.html)



# PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

**Please remember all public meetings and public hearings are now recorded.**

- All comments **must** be recognized by the Chairperson and addressed through the microphone.
- When speaking to the Planning Commission/City Council, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversation with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction of the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, beepers, pagers, or other noise making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length and avoiding repetition of what has already been said. Individuals may be limited to two minutes and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the lobby area outside the council room to talk as it can be very noisy and disruptive. If you must carry on conversation in this area, please be as quiet as possible. (The doors must remain open during a public meeting/hearing.)

## **Public Hearing vs. Public Meeting**

If the meeting is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.

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## ALPINE CITY COUNCIL PUBLIC MEETING on Tuesday, November 9, 2021

Mayor Troy Stout called the meeting to order at 6:00 pm and welcomed all in attendance.

### I. CALL MEETING TO ORDER

**A. Roll Call:** the following were present and constituted a quorum: Jason Thelin, Greg Gordon, Carla Merrill, Lon Lott, Jessica Smuin

**B. Prayer:** Jason Thelin

**C. Pledge:** Mayor Troy Stout

Staff: Shane Sorensen, Austin Roy, Craig Hall, Chief Brian Patten, Bonnie Cooper

Others: Jordon Houtz, Roger Timmerman, Amanda Collins, Scott Southwick

### II. WORK SESSION: Lambert Park Conservation Easement

Mayor Troy Stout said council would have a short work session where they could bring up any items that they are concerned about, changed, or altered. He thanked Steve Doxey and Craig Hall, Alpine City Attorneys, for their work on the Conservation Easement. Mayor Troy Stout asked Craig Hall to give a summary and lead the discussion on the Lambert Park Conservation Easement. Craig Hall said the document council has now is ten days old. He said Steve Doxey tried to incorporate all the discuss the council had two weeks prior. Craig Hall said some of the issues from the last meeting, we could not tell what the consensus of the council was. We are not sure on all the items were addressed but we did try to follow the core values set by the council. In the draft document we wanted to be consistent in sections III and IV (permitted and not permitted). It would be helpful to have the council's guidance on a Management Plan. There has been concern about whether the Conservation Easement should be done with or without a Management Plan. Mayor Troy Stout said the way he understood the Conservation Easement and Management Plan are two separate documents. Craig Hall said they can be two separate documents and one could be an exhibit to the other. Mayor Troy Stout asked if the city made the correct verbiage for the Conservation Easement itself and refers to the Management Plan. The Management Plan would be named in the future. That future could be two weeks from now or two months from now. Craig Hall said that is correct.

Mayor Troy Stout said the first step is assuming the Conservation Easement grants permission to the Management Plan to administrate. Craig Hall said the key is regarding the Conservation and Management Plan is how much discretion, what are the things that cannot be touched that would be in violation of the Conservation Easement vs the Management Plan. Mayor Troy Stout gave the following example that Lambert Park will never be transferred into private ownership to be developed.

Craig Hall asked if the council had any concerns with items that have been included and any items that have not included in the document. Mayor Troy Stout asked on page two where it reads "*Grantor hereby voluntarily and irrevocably gifts, grants, and conveys to grantee and its successors in interest a perpetual Conservation Easement to be held and enforced for the benefit of the public including the residents of Alpine City*" does that statement alone imply or create a transfer of ownership. Craig Hall said yes, but not transfer of all the bundle of rights. The city will still own the park subject to the easement. It would kind of be like an overlay, that would not be a correct term but it's one of the property rights. There are a bundle of rights the city is going to take out from the city's share of the bundle of rights the Conservation easement right. The ability to develop inconsistent inability to develop inconsistent with the conservationism. The actual ownership remains with Alpine City. The rights and responsibilities to manage to make sure it stays in remains consistent with the values of the conservation needs. An easement would be giving permission without ownership rights. Mayor Troy Stout said so it would be like the easement that power company has on someone's personal property. The property owner can still plant a garden there or landscaping it but cannot build over the easement.

Jason Thelin, City Council member, asked to go back to the Management Plan with relationship to the Conservation Easement. The confusion he mentioned at the last meeting was specific to the pickleball courts. The document without a Management Plan would technically allow the pickleball courts to be in Lambert Park. Item X was put in the Conservation Easement document for pickleball courts so there wasn't any confusion. The council would put something into the document and have it be clearly spelled out. Craig Hall said that is correct. Jason Thelin said his expectations were always that those types of things would sit outside of the Conservation Easement and be part of the Management Plan. He asked wouldn't pickleball courts be under the Management Plan and not the Conservation Easement. He questioned whether or not the city needs to have a management plan. If council is going to have a

Management Plan then the Conservation Easement document needs to be more general in nature, pointing towards a Management Plan. If there are things that need to be changed in the Management Plan, we will be able to make those changes. He asked where in this easement document does it point to the Management Plan and where it takes over from the Conservation Easement. Craig Hall said that section III and IV are intended to be thou shalt and thou shalt not. The Management Plan is to manage how you work with thou shalt and thou shalt not. The city has the ability to manage the various resources that are located within Lambert Park. A good example might be topography and where the rivers or the ditches run through and how the city would operate the ditches and streams for flood control and irrigation within the purposes of the Conservation Easement. He believes that is the intent of the Management Plan.

Jason Thelin asked if we are doing things to minimize the risk to the public. He asked how the Management Plan would work in correlation with Section III item D. Craig Hall gave an example that if the state had a wet year, and the city may need to put in a retention basin to manage the streams' flow the city could do that. That is why the Management Plan is needed. Jason Thelin asked if in item D that it would reference the Management Plan. Craig Hall said it would be good to have a more detail in the Management Plan and outline the purpose. The Management Plan would be the day-to-day operations of the resources (Lambert Park) as long as it is not inconsistent with the general purpose of the specifics contained in the Conservation Easement document, which is the city's guideline and constitutions so to speak. The Conservation Easement is almost like the Management Plan with a set of bullet points that goes under each of these items in the document.

Mayor Troy Stout believes the purpose the easement is to maintain public open space, keep in its natural state which may vary from time to time based on conditions and to guarantee that never it will never transfer ownership to a developer or to any private enterprise that would create a development within the property. To Jason Thelin's point the Conservation Easement would be enough. It would be up to the council to say what is or is not allowed. Craig Hall said he thinks for the city's own edification would get clarification and examples from Wendy Fisher, Utah Open Lands, that would help us come up with a purpose of the management plan. Jason Thelin requested when speaking with Wendy Fisher, he would prefer to get more information with section III items W and X. W is information that would be in the Management Plan. If you were to take out pickleball courts and let reside in the Management Plan, in the future a new City Council could modify this and get public input. The Management Plan allows for community involvement. Lon Lott, City Council member, said what the council has been told that if it is not in the Conservation Easement as a permitted use then it is up to interpretation in the prohibited use that it is natural or in its existing conditions which mean that there would be no pickleball courts. Mayor Troy Stout said what he understood is that if it is not prohibited then it is allowed as long as it does not violate the Conservation Easement. Lon Lott said he would interpret it that you could not put a pickleball court in. If we do not spell it out it will not occur.

Greg Gordon, City Council member said a question he has had that keeps coming up in one of the sections is that the list is so lengthy of what items are allowed. We could be at risk of leaving something out if we are so specific and detailed. There are many things in the future that we could not possibly see. Mayor Troy Stout asked Craig Hall how can we avoid leaving out allowed items. Craig Hall said that is a potential risk if we make this very specific so we need to have good drafting on the document. Jason Thelin said the Management Plan should give the city flexibility and the Conservation document should reference that. There are higher level items to put in such as utilities and water rights. When it comes to recreational uses therein lies the ambiguity and how do we allow some of that to sit in the Management Agreement (Plan).

Shane Sorensen, City Administrator, said the definition of how a management plan works with a Conservation Easement is: *"An Easement Management Plan is an overarching plan that serves as a roadmap to guide and inform easement holders on management and conservation activities that promote the long-term viability of the land covered by the easement"*. Shane Sorensen said in the Management Plan section the city attorney references the Rodeo Master Plan that is in place right now. He and Austin Roy, City Planner, reviewed the rodeo bowery plan. The Bowery has multiple campsites that the council may not want. If the city changed its Master Plan for that area, he thinks that could be updated in the living document of the Management Plan. So, the easement holder knows the details of how the city is managing that part of the property within the values established by council.

Mayor Troy Stout said within the management plan the city could at one point determine that there is no camping in the park. But at another time the city could say there is camping allowed. The city would have more latitude with the management plan in place. Shane Sorensen said agreed because things change over time. He believes that the Management Plan would document what the city is doing, and it falls in line we believe it falls in line with guidelines of the easement. Mayor Troy Stout said the city can periodically make changes to the Management Plan. Jessica Smuin, City Council member, said the easement defines the core values and the management plan goes into those fluid or living decisions. Whether the city allows camping or not that does not change the core values and it does not infringe on the easement. If the core values are defined and agreed upon then the Management Plan would



consider the modifications or adjustments that need to be made if they go along with the Conservation Easement. Mayor Troy Stout said we want those core values represented. He agreed with Jason Thelin there are certain things we want represented in the document. We want to be sure that the city is in the position it wants to be in.

Carla Merrill, City Council member, said the city attorneys said to keep the Conservation Easement simple. Have the management program be more detailed and make it more flexible for the city. In section III and IV it should state our core values to what we do not want. Mayor Troy Stout asked if it is unreasonable to say these are not going to become a part of the Management Plan. The Conservation Easement itself protects the land as a public recreational space in perpetuity. He asked if some of this could this be translated over to a Management Plan. Craig Hall said yes, he and Steve Doxey will work on getting that together and weigh the core values versus what has been put in a list to put in the document. Greg Gordon said such as weed control and anything like that could be put into a Management Plan. Craig Hall said that in item L it addresses chemical weed control. Mayor Troy Stout said if there is a weed problem like that it should be addressed in the Management Plan.

Craig Hall said what he got out of the tonight meeting was the following:

1. Get copies of some simple Management Plans
2. Balance
3. Prohibited uses against the core values
4. Permitted uses
5. Re-draft accordingly

Council said they agreed with what Craig Hall had listed. Jason Thelin said he likes that the council can go through all items for the easement and we will be able to spell each item out and discuss them individually. He said many of the items the council has talked about will remain in the Conservation Easement but there are some things that need to come out of it. Then the document should point to the Management Plan and give the council a template of how to use it. Craig Hall said he agreed and thinks we need a little more education when it comes to the Conservation Easement and Management Plan. Mayor Troy Stout said he believes that pickleball courts would be a violation of the easement. Pickleball courts and cement walking paths would not be an option because it would need to have artificial hard surfaces. Carla Merrill said council had talked about an asphalt path that goes parallel to Box Elder Drive for safer walking options for the kids to go to the bus stop. Craig Hall added or to go to the poppies.

Lon Lott said he had several concerns but if council pulls out some items from the Conservation Easement and adds items to the Management Plan we need to continue to discuss this document it may resolve some of his concerns. He asked about item J what is considered a management lease, would it be only the cell tower specifically. Craig Hall said that the cell tower is just one example. Lon Lott asked if management leases ought to be in the Management Plan. Mayor Troy Stout said the lease could also be considered for the Rodeo Grounds. Greg Gordon asked what if the city leased the Rodeo Grounds or the Park for a one-day mountain bike race. Craig Hall said a lease would be long-term engagement. We could have a rental agreement or a private use agreement for 24 hours. Shane Sorensen said there are a few non-city utilities (gas, power, and fiber) that have easements through Lambert Park. Lon Lott brought up the DNR aspect that has been addressed in item M when it comes to diseased animals "Grantor may use legal methods to Control diseased and problem animals as permitted by state and federal law." We could implement an urban deer control based on what DNR would like us to do whether that is a catch and release or setting traps. Mayor Troy Stout said last time the city had to set up traps we did so on private land.

Carla Merrill asked Craig Hall if he could put together a punch list for council. Craig Hall said he and Steve Doxey would move forward to prepare the documents. Shane Sorensen asked if council would be ok to move the next meeting from November 23<sup>rd</sup> to November 30<sup>th</sup> because of the Thanksgiving holiday. Council was in agreement.

Mayor Troy Stout said the meat of document is here for the Planning Commission to review. Craig Hall said he does not think he can turn around a document to be ready by Monday November 15<sup>th</sup> which would be the day before the Planning Commission public hearing. Shane Sorensen asked if the easement need to be in its final form for the Planning Commission to go over before the public hearing on November 16th. Craig Hall said he needs to get the document to a final phase before giving this to the Planning Commission to go over, it is a procedural item. Jason Thelin said agreed because we need to see how the management program fits into the Conservation Easement.

Jason Thelin said the council needs to consider paved paths and other items. He thinks the details should be in the Management Program but he also he feels like the council is asking the same questions about this document two weeks later. Mayor Troy Stout asked if we have the document due to its skeletal form could we not send it to the Planning Commission as is. Lon Lott said even if we had this document go down to a skeletal form, we would still need to have a Management Plan. Lon Lott said it feels like we are telling the Planning Commission what we want them to do. Usually, we have them give City Council their recommendations. It is a good idea to have the Planning Commission look at this document. More eyes looking over this document will be a good idea. The Planning

Commission can look for holes and can give us direction. They should not be given this document just to say yes or no to. We should and need to have their input. Mayor Troy Stout said he agrees that the Planning Commission have time to look over the document. There is a public hearing schedule for this Tuesday November 16<sup>th</sup>.

Austin Roy said the Planning Commission have been given this document and they could have Steve Doxey attend the Planning Commission public hearing. Shane Sorensen said when the open space ordinance was written the council probably did not see this document coming. Mayor Troy Stout said we can have the Planning Commission go over this document and how this matches up with our city's ordinances.

Jason Thelin said the City Council's message to the Planning Commission should be to have them add to this document. He feels like the Planning Commission should know what council is suggesting to when it comes to what is put into the Management Plan. He doesn't see how we can have the Planning Commission go over this document without them seeing the Management Plan, how they can give a recommendation without it. Shane Sorensen said it may be unfair to them after we have been able to go over this document for the past couple of months and they are having this cold. Shane Sorensen suggested having legal representation to answer questions at the Planning Commission meeting.

### III. CONSENT CALENDAR

#### A. Approve City Council minutes of October 26, 2021

#### B. Declaration of Surplus Property – City Council Room Chairs

Shane Sorensen said there are 98 blue surplus chairs and six rolling chairs. The city would sell them in groups of five or ten. The new chairs will be stackable.

**Motion:** Lon Lott moved to approve the consent calendar as proposed with the changes made to the minutes of October 26, 2021, by Lon Lott. Greg Gordon seconded the motion. There were 5 Ayes and 0 Nays, as recorded below. The Motion passed unanimously.

#### Ayes

Jason Thelin  
Greg Gordon  
Carla Merrill  
Lon Lott  
Jessica Smuin

#### Nays

### IV. PUBLIC COMMENT

#### **Amanda Collins**

1593 Rosanna Lane

Amanda Collins asked the city would be putting up temporary barricades like last year on the road between Moyle Drive and the Box Elder neighborhood. She was also concerned about how the city is going to take of the snow removal to keep that area safe. In the lawsuit it says Alpine City be ordered to maintain a secondary access road in a manner that would allow emergency vehicles including fire and checking the traverse of the road year round.

Mayor Troy Stout said the ballads and be moved in order to snowplow. Amanda Collins asked if the snow removal will become part of the Management Plan that will be tied to the Conservation Easement. Mayor Toy Stout answered yes. Shane Sorensen said the city will be regrading that area.

#### **Jordon Houtz**

688 E Canterbury Lane

Jordon Houtz said he was new to Alpine. He had a concern about if any more cell towers would be going into Alpine. He said in his neighborhood is concerned about the vandalism that has been happening. Their mailboxes are being destroyed and pumpkins are being smashed in the road. He had heard that Alpine might have a gang problem.

Mayor Troy Stout said he will have a discussion with Chief Gwilliam. It does seem like this issues comes up at this time every year. The city has decided that they will be prosecuting anyone caught vandalizing. Shane Sorensen said he has not heard of this being gang related. There is a meeting with the Lone Peak Public Safety District where we can ask what the police have heard. Volunteer Officer Southwick said he has not heard of any gang activity in Alpine City. Craig Hall said he believes that vandalism to a mailbox would be criminal misdemeanor and group mailboxes

probably would be a federal offense. Greg Gordon said damaging mailboxes is punishable as a federal crime up to three years in prison or a \$250,000 fine.

## **V. REPORTS AND PRESENTATIONS**

### **A. UTOPIA Presentation**

Mayor Troy Stout introduced, Rodger Timmerman, representative from UTOPIA. Roger Timmerman gave background on UTOPIA. He explained if Alpine City wants to have this service this would be an interlocal agreement and is in combination with other cities. We have let new cities join with a benefit and they don't have to pay for shortfalls so there would be no cost to the city. He showed a timeline of UTOPIA and how many project they have completed without the service costing a city. This has brought a critical service to many cities' internet demands. Right now, there is monopoly with broadband services. We are offering more than internet connection. This is done with little affect to the city roads and can keep working with power outages. We also are the #1 air quality sensors. We have an early detection for wildfires with imaging network. The wildfire detection is called EDWIN and we put them in high-risk areas of the city.

Mayor Troy Stout asked about how they can detect fires. Roger Timmerman said they can detect wildfires the size of a car from two miles away. Shane Sorensen asked how many detectors they put in Woodland Hills. Roger Timmerman said they installed one detector and have not had a wildfire since installing them. Alpine would just need one detector. The scanner works by scanning across the city. We are hoping to have 30-50 detectors throughout the Wasatch Front. Residents are able to pick providers with no contracts. Residents can change and switch providers at any time. We have as high as a 10-gig option. Most residents in Alpine would only need 1-gig. We charge \$30 a month and an additional \$65 1Gbps up to 10Gbps at \$200. They are very highly rated with their customer. We have 15 providers and can connected the most schools.

Roger Timmerman said they tweak everything to fit every individual city. There would be a loan for the city which is paid back with the shortfall. We can help with financing. Greg Gordon asked about the timeframe of when the money would be recouped. The loan is 27-year term, we can adjust the term longer if needed. We have protection built in for the city. We have a first phase with a guarantee and if you have more growth, you will see the risk decrees. We don't anticipate this to cost the city any money. There is a huge cost saving to your citizens. This company is three years old, and we have a high demand for fiber. Our company has mapped this out and would cost \$10 million. The city would need to have 1044 subscription and then there would not be any cost to the city.

Mayor Troy Stout asked what the physical disruptions to the city. Roger Timmerman said it would take four months to do engineering and four months to installation for a total of eight months. It is subsurface work only. If we were to hit a sprinkler line, we will fix it. We take a lot of pride in our work. It is construction but it will just be a day or two. Each home would have prior notice. He went over the financial model.

Jessica Smuin asked about the cost would be for the city. Roger Timmerman answered it should not cost the city in the end. Jessica Smuin asked if the infrastructure money coming in could we use this. Roger Timmerman said Alpine is not eligible. Greg Gordon asked if they have maps for any road interruptions. Roger Timmerman answered yes. Shane Sorensen asked if UTOPIA would be the ones maintaining the fiber. Roger Timmerman said it would be an interlocal agreement and maintained by UTOPIA. Craig Hall said the city would need to do an RFP (Request for Proposal) as Cedar Hills did.

Jason Thelin asked about the survey UTOPIA would be sending out to our residents. Roger Timmerman said the survey sent out would also get their name out there. Jason asked what the next step would be. Roger Timmerman said the city could set up a committee if the city would like. He will put a proposal for Carla Merrill to go over. Roger Timmer recommended the city do the survey and RFP. Mayor Troy Stout thanked Roger Timmerman and said it is an exciting topic

### **B. Financial Report**

Shane Sorensen reported sales tax was 37% higher than the month before. Year to date the city is 15% higher. Things look good financially. Mayor Troy Stout said the sales tax increase could be because of inflation.

### **C. City Project Update**

Shane Sorensen updated City Council on the following city projects:

Shane Sorensen gave a PI (Pressurized Irrigation) presentation to the Irrigation Committee. We used 4753 acres of water compared to last year 6107 acres. Most residents helped with cutting back to two days a week of watering. In 2019 the city was 6.78% higher and we only 100 homes added to the city. The CUP project for the last year is complete and will be tested in September. Alpine City paid for 50% of the pipe and CUP paid for the rest. The city also paid for the filters. The city is on track to finish the filter project with 85-90 % being complete. Mayor Troy Stout asked how much this project will increase the city's water flow. Shane Sorensen said we have 770-acre feet of CUP water. There were only three years out of the last ten years that the city went over 770-acre feet. With this project being complete it will be like adding another Healey Well. If the Healey Well were ever to go down, we will have CUP to use as a backup. Jason Thelin asked which residents will benefit for this the most. Shane Sorensen answered the downtown area would benefit from this the most. This will be addressed in the spring. Mayor Troy Stout said contrary to the anonymous letter that went out to the public, the city added water for its residents. Shane Sorensen said yes, we have left the 300 North Well for last. Now staff will be able to change pipes in the Silverlake Well and be able to pump into the middle zone of Alpine.

Shane Sorensen said the PI will be updated in Master Plan and staff will be bringing it to council in January or February. In drought years the city has had a difficult time in getting water to the high zone of Alpine. Now we have a sublimite to help with the high zone. Mayor Troy Stout asked why this study is taking so long. Shane Sorensen said we have had so much going on in the city has taken away from focus on PI. Carla Merrill asked if next spring we will be ready to use this system. Shane Sorensen said March. Mayor Troy Stout said we need to have a heads up and have a public hearing in February.

Shane Sorensen said the city has consulted with an engineering company regarding the cemetery expansion. There will be a lot of grading that will need to be done. The cemetery will need to have retaining walls as high as eight to ten feet high. The city could have the first phase done in a year. Mayor Troy Stout asked if the city has had to turn away any families from Alpine City Cemetery for burial. Bonnie Cooper, City Recorder/Cemetery Section said no. Shane Sorensen said staff has some ideas of different locations for an additional cemetery in Alpine.

## **VI. ACTION/DISCUSSION ITEMS**

### **A. General Plan Update: Review Proposed Final Draft**

Austin Roy said he has updated the General Plan for council's final review. The latest draft of the General Plan includes changes as discussed at the October 26, 2021, City Council meeting. Changes include minor grammatical corrections, new policies regarding light and noise pollution, land use policy updated to allow for a new Alpine Community Meeting Room, and a new section recommended by Jessica Smuin titled "Community Engagement" with its own goals and policies. This was recommended by Jessica Smuin. It has one goal and 3 policies. The goal reads:

#### *Goal #1*

*Work in partnership with residents, businesses, staff, and council to support Alpine Days, civic events, and other programs to increase social and community connections.*

#### *Policy*

*1.1 Encourage citizen committees to create community engagement.*

*1.2 Plan and develop an Alpine Community Center and other public gathering space for social connections.*

*1.3 Communication: Promote interactive communication through online and printed mediums*

Also, per recommendation of City Attorney Steve Doxey, the Annexation Policy Plan is being kept as its own separate document and will not be added as an appendix to the General Plan.

At the October 26, 2021, City Council meeting it was suggested that the Lambert Park Bowery Master Plan be included as a figure in the General Plan. However, upon review, it appears that the Lambert Park Bowery Master Plan has never gone beyond the concept stage. The latest concept plan for the Bowery was recommended by the Planning Commission in July of 2018. Thus, it has not been included in the latest draft of the General Plan. The latest copy of the concept for the Lambert Park Bowery Master Plan has been included in the packet for information purposes, as well as two previous versions of the concept plan.

Shane Sorensen said staff recommends that the mayor and City Council review the latest draft of the General Plan and provide feedback regarding final edits to the document. Following the review, a final draft will be prepared by staff and a public hearing will be held at the next City Council meeting, with the intent to adopt the final draft of the 2021 update to the General Plan.

Jason Thelin said camping spots were discussed but he thought it was for tents not camping trailers. Shane Sorensen said camping trailers were part of the City Council's discussion back when this was proposed but he did not remember that many camping sites. Mayor Troy Stout said in the past it has been traditionally father and sons events which are very primitive and temporary. Greg Gordon asked why this plan didn't get approved. Austin Roy said the plan was drawn in 2018 and must have put on the back burner. Carla Merrill said she does not remember any of the camp spot or spots for trailers. Shane Sorensen recommended that council needs to give this more thought. Mayor Troy Stout said this would need to be part of the conservation easement. Austin Roy said he did not feel like the bowery plan is ready for the General Plan. Under community engagement page 21 should it says staff and council which he thinks are implied. Maybe other organizations would need to be added. Jessica Smuin agreed, like the Chamber of Commerce could be added. Greg Gordon said the term citizens should be residents throughout the document for consistence. On Page 28, Policy 1.2 instead of the word "execute" should be "conduct."

Jason Thelin asked if Alpine community room needs to be in the policy. We should not be so specific and be broader. The policy could say "Public gathering spaces." Everyone agreed with Jason Thelin. On page 13 under Traffic Circulation policy 1.6, the last sentence could be omitted because this is already our policy and isn't necessary. Shane Sorensen agreed that that line is not needed. Jason Thelin said in 1.7 where it says "prohibiting all private streets and gated communities" the sentence should end there. Lon Lott said council went over these policies at the last meeting that Jason Thelin had to leave early. The city does have places where we allow them. Shane Sorensen said this came about as a result of his final review. In this policy the city is saying we want to get rid of all the private streets and will not allow private communities. It seems to conflict with what the city has in our ordinances. The city cannot have two places in our ordinances where we allow private streets and in the General Plan, we do not.

Jason Thelin said this document gives the city's goals and aspirations of what the city wants to be. His concern is if a new subdivision comes in and wants to have a private street and be gated. The city ordinances at the time and nothing has changed in our ordinances our does not allow for a private street. The retirement communities are different than a subdivision because the roads are smaller in a retirement community and not more than one car can drive on it at a time so, for future subdivisions are we wanting to say that they are allowed or not allowed. Shane Sorensen said in his mind that it could be a conflict with the city's General Plan and ordinances. Jason Thelin said he thinks it should say it one way or another if private streets and gated communities are allowed. Council can propose it and vote on whether to allow private streets and gated communities in subdivisions. Mayor Troy Stout said council would vote on the version that they want right now and have a final General Plan ready for a public hearing on November 30<sup>th</sup>. Shane Sorensen suggested voting on any issues within the plan that the council is concerned with.

Jason Thelin said in the Lambert Master Plan it talks about a service access road. He asked if the city would need to make improvements on that road. Shane Sorensen said the road is listed as a gravel road and could use some improvement right now. He asked if the potential parks got added to the maps. Austin Roy said he has one more final version of the maps for council's final review at the next meeting. Shane Sorensen said he had a discussion with Craig Hall and if the proposed potential park is shown on the plan as a future open space, the city needs to notify the property owner. Mayor Troy Stout asked about a previous agreement with the property owner that was signed and renewed. Shane Sorensen said the agreement expired April of 2021. As the property sits right now if the owners want to subdivide the property they will have to reapply. The ordinances are different now than when this was previously approved. Mayor Troy Stout said without the open space the area is half acre lots. Shane Sorensen said as he understands the process if this open space was put on the land use map as future open space and the owners come in and say they have no interest in doing a PRD (Proposed Residential Development) so they can do larger lots. The city can say, on our General Plan it shows that it is a park property at that point the city will have to buy the property for open space. If the property owner develops the property as a PRD the city could get the park a different way. If this land use map was previous adopted, is appropriate to change the map through the overall General Plan by amending the overall General Plan document. His question to Craig Hall was does the city need to let the property owner know. Craig Hall said yes, the property owner should be notified if the subdivision is being changed. If two parcels are owned by two different members of the family, they would need to come into City Council to get the property rezoned. Shane Sorensen asked how the council wants to move forward and if we are going to leave this open space in, then the property owner need to be notified that City Council will be holding a public hearing on November 30<sup>th</sup>. The ordinance was different for the PRD back when the property owner signed the agreement that has now expired. If there were any hazards that touched the property it was required to be a PRD. That requirement was changed a few years later. Mayor Troy Stout thinks the open space is good idea and should be included. Shane Sorensen said this has happened before with Box Elder South. The 40 acres of Box Elder South was shown in the city's General Plan or Annexation Plan. The city would annex the property if it contained a park. Box Elder South chose not to have a park. The property owner came back with a price the city could not afford. Shane Sorensen said he could see the same process happening with this property as well.

Carla Merrill said her understanding was if the city designated the property as a future park and the property owner comes in with a development, council has the grounds to deny the development based on them not following the city's General Plan. She asked if the property could be condemned. Craig Hall said we cannot condemn the property to put in a park. There is not a problem with putting the potential park on the map. But if the property owner asks us to take it off, the city will have to do that. Carla Merrill asked why the ordinance was changed. Shane Sorensen said the ordinance forced a property owner into a PRD. If the city did not want the open space or like what was happening it was up to the discretion of the council after that. Mayor Troy Stout asked if any of the council members objected to notifying the property owners. Council members did not object.

Mayor Troy Stout voiced concerns with the Master Plan and the conservation easement do not conflict with each other. Craig Hall and Shane Sorensen agreed they did not think anything need to be added. Lon Lott suggested on 1.7 it should say promote streets acceptable to all residents.

#### Upcoming Schedule:

- November 9, 2021 – Review and Final edits
- November 30, 2021 – Public Hearing & Adopt Updated General Plan

### **B. Approval of Proposal for Fire Station Remodel – Feasibility Study**

Shane Sorensen said the city had obtained a proposal from Babcock Design for performing a feasibility study for the remodel of the fire station. This firm has completed the design for various fire stations throughout the State. As stated in the proposal, this feasibility study will investigate the special needs, program, design concept, and budget for the proposed fire station addition/remodel. Getting a concept level plan early will help us in budgeting and how we will finance the project. The proposed fee for the study is \$3,500. Once the city has a concept plan that meets the intent of the project, staff will negotiate a fee for a full design.

**Motion:** Lon Lott moved that the proposal from Babcock Design to complete a feasibility study for the remodel of the Alpine Fire Station be approved in the amount of \$3,500 as outlined. Greg Gordon seconded the motion. There were 5 Ayes and 0 Nays, as recorded below. The Motion passed unanimously.

#### Ayes

Jason Thelin  
Greg Gordon  
Carla Merrill  
Lon Lott  
Jessica Smuin

#### Nays

### **C. Approval of Additional Trail Sign Kiosks**

Shane Sorensen said the city has looked at three different options for the actual signs being placed in the kiosks to determine which version will provide the best and longest lasting finish. We anticipate having signs in all the existing kiosks within the next couple of months.

With steel prices continuing to increase, we wanted to finish out the project that we started by installing three additional trail sign kiosks at the following locations:

- North Point Trailhead
- The Ridge at Alpine Trailhead
- Three Falls Lower Parking Lot

The price for three additional trail sign kiosks is \$26,949, which is about \$600/kiosk more than we paid for the first set. See attached proposal and location map. These signs are well built and will last for many years.

Jessica Smuin asked if staff had thought of different locations. Shane Sorensen asked why the location was chosen. Carla Merrill asked if the city could purchase an additional kiosk now and install it later. Mayor Troy Stout asked if the city prepaids for the kiosk and sign could we get an additional one at the same time.

Mayor Troy Stout asked for an update on the access road up in Three Falls. Shane Sorensen said this Friday and Saturday they finished the upper half of the second access road. The project will not be finished until spring. Lon Lott asked if staff would be installing the kiosks. Shane Sorensen answered no, but the cost to install are minimal.

**Motion:** Jason Thelin moved to approve the proposal from Smith Steelworks be approved to provide three additional trail sign kiosks in the amount of \$26,949. Lon Lott seconded the motion. There were 5 Ayes and 0 Nays, as recorded below. The Motion passed unanimously.

Ayes

Nays

Jason Thelin  
Greg Gordon  
Carla Merrill  
Lon Lott  
Jessica Smuin

**VII. STAFF REPORT**

**Craig Hall**

Craig Hall updated council on the Blue Bison litigation. Blue Bison has filed an appeal with the Utah Supreme Court.

**Bonnie Cooper**

Bonnie Cooper said council will be certifying the Election on Tuesday November 16, 2021. Shane Sorensen said we will be holding a public/ZOOM meeting during the day at noon. City Hall will be open as an anchor location. At least three council members need to be in attendance. Council members said they will be able to attend.

**Shane Sorensen**

Shane Sorensen asked if any of the council would be interested in going to a luncheon tomorrow. The city needs to let them know. City Council had two seats at the luncheon. None of the City Council members can attend the luncheon.

Shane Sorensen said the fall cleanup last Saturday was as success even though ACE had a little mix up on where the bins were located at Burgess Park.

Shane Sorensen said he walked part of the new trail in Lambert Park. The trail looks good, and the Trail Committee are doing what was approved. Mayor Troy Stout said he has gotten positive and negative feedback from residents regarding the width of the trail and other issues. Shane Sorensen said the trail is six feet wide.

Shane Sorensen said the city applied for the scholarship we spoke about at the last City Council meeting. The city received the scholarship and will advertise about it to hire an intern. He said the city will be able to have an intern to help at City Hall.

**VIII. COUNCIL COMMUNICATION**

**Greg Gordon**

Greg Gordon said destroying of a mailbox is a federal crime and can be punished up to three year and a \$25,000 fee.

Greg Gordon asked about the city's noise ordinance and what the process is to allow early morning work in a residential area. Shane Sorensen said he would be the one to give approval for that. He did give approval last week for someone to pour concrete at 4:30 am. The reasoning behind this is because it is difficult to get concrete. He gave approved the pour with the following stipulation:

- no back up alarms
- inform all neighbors

This has been the first request like this.

**Mayor Troy Stout**

Mayor Troy Stout said he would like to publicly thank those who ran in the election. He was disappointed with the anonymous letter that went out to residents. He said it is hard to lose an election. His father told him to plan on losing his first run for City Council, which happened. It is hard to lose an election. He respects everyone who ran.

Mayor Troy Stout asked if a picture had been taken of the current City Council. Bonnie Cooper replied yes, she has the photo being framed.

Mayor Troy Stout asked how frequently he Trail Committee keeps in touch with the city when changing trails. Where is the approval process because we are not seeing the changes at a council level. How is the Trail Committee getting their direction. He said he has had feedback from some bikers asking why the city is dumbing down our trails. The city has removed a lot of obstacles and a lot of rocks. Many of the rocks hold the trail intact and without some of them when water comes through there is erudition. It creates puddles and washouts. Where these have been

removed it has taken away fun for the riders as well as helping preserve the trails. He suggested the city think about preserving the trails in their natural state as opposed to removing the obstacles. Shane Sorensen answered the alignment of the trails has been left in the hands of the Trail Committee. The city has not gone out and spent a lot of money on creating a detailed grading plan. That is how all the trails have been built in the city up to this point. Mayor Troy Stout said he is excited to have a walking only trail as an option for our residents.

**IX. EXECUTIVE SESSION:**

None held

**Motion:** Jason Thelin moved to adjourn. Lon Lott seconded the motion. There were 5 Ayes and 0 Nays, as recorded below. The Motion passed unanimously.

Ayes

Jason Thelin  
Greg Gordon  
Carla Merrill  
Lon Lott  
Jessica Smuin

Nays

Adjourned at 9:06 pm



**ALPINE CITY COUNCIL PUBLIC MEETING**  
on Tuesday, November 16, 2021, at NOON

**I. CALL MEETING TO ORDER**

Mayor Pro Tem Lon Lott called the meeting to order at 12:00 PM

A. **Roll Call:** The following were present and constitute a quorum: Lon Lott, Carla Merrill, Jessica Smuin, Jason Thelin, and Greg Gordon and Mayor Troy Stout excused

B. **Prayer:** Jason Thelin

Staff: Shane Sorensen, Austin Roy, Bonnie Cooper

**II. PUBLIC COMMENT**

No Public comments made.

**III. REPORTS AND PRESENTATIONS**

No reports or presentations were made.

**IV. ACTION/DISCUSSION ITEMS**

**A. Certify 2021 Municipal Election**

Bonnie Cooper, City Recorder, gave the official results of the 2021 Municipal General Election. The following candidates were election:

**Mayor 4-year term**

Carla Merrill with 68.31% of the votes

**City Council 4-year term – 2 seats**

Kelli B Law 39.80% of the cotes

Jason Thelin 39.30% of the votes

**City Council 2-year term – 1 seat**

Jessica Smuin 63.10% of the votes

**Motion:** Lon Lott moved to certify the canvass election of 2021. Jason Thelin seconded the motion. There were 4 Ayes and 0 Nays, as recorded below. The motion passed unanimously.

Ayes

Nays

Jessica Smuin

Carla Merrill

Lon Lott

Jason Thelin

**V. STAFF REPORTS**

None made

**VI. COUNCIL COMMUNICATION**

None made

**VII. EXECUTIVE SESSION:**

None held

**Motion:** Carla Merrill moved to adjourn seconded the motion. There were 4 Ayes and 0 Nays, as recorded below. The motion passed unanimously.

1  
2  
3  
4  
5  
6  
7  
8

Ayes  
Jessica Smuin  
Carla Merrill  
Lon Lott  
Jason Thelin

Nays

Adjourned at 12:07 PM

DRAFT

**PARTIAL PAYMENT ESTIMATE  
NO. 3**

Name of Contractor: <b>Corrio Construction, Inc.</b>		
Name of Owner: <b>Alpine City</b>		
Date of Completion:	Amount of Contract:	Dates of Estimate:
Original: 14-Sep-21	Original: \$518,514.00	From: 6-Oct-21
Revised: N/A	Revised: \$597,001.64	To: 5-Nov-21
Description of Job: <b>CUP Filter Station</b>		
Amount	This Period	Total To Date
Amount Earned	\$47,905.99	\$526,282.52
Retainage Being Held	\$2,395.30	\$26,314.13
Retainage Being Released	\$0.00	\$0.00
Previous Payments		\$454,457.69
Amount Due	<b>\$45,510.69</b>	<b>\$45,510.70</b>

Contractor's Construction Progress is DELAYED DUE TO SUPPLY CHAIN ISSUES

I hereby certify that I have carefully inspected the work and as a result of my inspection and to the best of my knowledge and belief, the quantities shown in this estimate are correct and have not been shown on previous estimates and the work has been performed in accordance with the Contract Documents.

Recommended by Horrocks Engineers

Date: 11/9/2021



**Brett Wood, P.E.**  
Project Engineer

Accepted by:   
**Corrio Construction, Inc.**

Date: 11/11/2021

Project Manager

Approved By: **Alpine City**

Date: \_\_\_\_\_

**Troy Stout**  
Mayor

Budget Code \_\_\_\_\_ Staff Initial \_\_\_\_\_

PROJECT: CUP Filter Station

PAY PERIOD: 3 Nov-21

ITEM NO.	NATURE OF WORK	CONTRACT ITEMS				QUANTITY		EARNINGS	
		Qty	Units	Unit Price	Bid Amt.	This Month	To Date	This Month	To Date
	<b>Base Bid</b>								
1	Mobilization	1.00	LS	\$26,326.00	\$26,326.00	0.00	0.89		\$23,428.00
2	SWPPP	1.00	LS	\$1,891.00	\$1,891.00	0.00	1.00		\$1,891.00
3	Filter Building	1.00	LS	\$128,778.00	\$128,778.00	0.35	0.85	\$45,000.00	\$109,389.00
4	Building Piping and Filter Installation	1.00	LS	\$130,730.00	\$130,730.00	0.00	1.00		\$130,730.00
5	Electrical, Mechanical, and Communications	1.00	LS	\$91,260.00	\$91,260.00	0.00	0.50		\$45,630.00
6	Site Piping and Site Work	1.00	LS	\$139,529.00	\$139,529.00	0.02	1.00	\$2,905.99	\$139,529.00
<b>Subtotal</b>					<b>\$518,514.00</b>			<b>\$47,905.99</b>	<b>\$450,597.00</b>

<b>Change Order #1</b>									
1	Silverleaf Well Modifications	1.00	LS	\$48,900.00	\$48,900.00	0.00	1.00		\$48,900.00

<b>Change Order #2</b>									
1	Silverleaf Waterline	1.00	LS	\$26,785.52	\$26,785.52	0.00	1.00		\$26,785.52

<b>Change Order #3</b>									
1	Cost Savings Using HDPE Pipe	1.00	LS	(\$4,767.53)	(\$4,767.53)	0.00	0.00		\$0.00
2	Silverleaf 8" Spool	1.00	EA	\$1,460.15	\$1,406.15	0.00	0.00		\$0.00
3	Install New Bucket in MCC	1.00	LS	\$2,400.20	\$2,400.20	0.00	0.00		\$0.00
4	Install New Panel	1.00	LS	\$3,763.30	\$3,763.30	0.00	0.00		\$0.00

Total

\$597,001.64

<b>TOTAL</b>	<b>\$47,905.99</b>	<b>\$526,282.52</b>
AMOUNT RETAINED	\$2,395.30	\$26,314.13
RETAINAGE RELEASED		
PREVIOUS RETAINAGE		\$23,918.83
PREVIOUS PAYMENTS		\$454,457.69
<b>AMOUNT DUE</b>	<b>\$45,510.69</b>	<b>\$45,510.70</b>

**ALPINE CITY**  
**BOND RELEASE FORM**  
Release No. 7

Thru Period Ending: October 31, 2021

**The Ridge At Alpine Phase 5**  
Location: North Zachary Way

**BOND HOLDER**

Item # & Description	Quantity	Units	Unit Price	Total Cost	% Completed This Period**	% Completed To Date**	Total This Period
10 Stabilized Construction Entrance	2	EACH @	\$ 3,000.00	\$ 6,000.00	0.0%	0.0%	\$ -
20 Silt Fence	1872	LF @	\$ 2.75	\$ 5,148.00	0.0%	0.0%	\$ -
30 Curb Inlet Protection	14	EACH @	\$ 300.00	\$ 4,200.00	0.0%	95.0%	\$ -
40 Toilet Rental	5	MO @	\$ 500.00	\$ 2,500.00	0.0%	95.0%	\$ -
50 Slope Stabilization (reseeding disturbed areas)	180000	SF @	\$ 0.19	\$ 34,200.00	0.0%	0.0%	\$ -
60 Concrete Washout	1	LS @	\$ 1,000.00	\$ 1,000.00	0.0%	95.0%	\$ -
70 Mobilization	1	LS @	\$ 10,000.00	\$ 10,000.00	0.0%	95.0%	\$ -
80 Clear and Grub	8700	SF @	\$ 0.50	\$ 4,350.00	0.0%	95.0%	\$ -
90 Connect to Existing Sewer	2	EACH @	\$ 750.00	\$ 1,500.00	0.0%	95.0%	\$ -
100 8" PVC SDR 35 Sewer Main	2340	LF @	\$ 36.00	\$ 84,240.00	0.0%	95.0%	\$ -
110 48" Sanitary Sewer Manhole	13	EACH @	\$ 3,250.00	\$ 42,250.00	0.0%	95.0%	\$ -
120 4" PVC Sanitary Sewer Lateral	29	EACH @	\$ 1,200.00	\$ 34,800.00	0.0%	95.0%	\$ -
130 Connect to Existing Storm Drain	3	EACH @	\$ 750.00	\$ 2,250.00	0.0%	95.0%	\$ -
140 15" RCP Storm Drain Pipe	2000	LF @	\$ 42.00	\$ 84,000.00	0.0%	95.0%	\$ -
150 30" Storm Drain Pipe	560	LF @	\$ 84.00	\$ 47,040.00	0.0%	95.0%	\$ -
160 60" Storm Drain Manhole	15	EACH @	\$ 3,350.00	\$ 50,250.00	0.0%	95.0%	\$ -
170 Curb Inlet Box/Storm Drain Cleanout Box	11	EACH @	\$ 2,950.00	\$ 32,450.00	0.0%	95.0%	\$ -
180 Combo Box	1	EACH @	\$ 6,500.00	\$ 6,500.00	0.0%	95.0%	\$ -
190 4X4 Storm Drain Box	1	EACH @	\$ 6,500.00	\$ 6,500.00	0.0%	95.0%	\$ -
200 30" End Section With Trash Rack, Rip Rap, and Swell Grading	1	LS @	\$ 12,500.00	\$ 12,500.00	0.0%	95.0%	\$ -
210 Connect to Existing Waterline	2	EACH @	\$ 3,550.00	\$ 7,100.00	0.0%	95.0%	\$ -
220 8" PVC C900 DR18 Culinary Waterline	1330	LF @	\$ 32.00	\$ 42,560.00	0.0%	95.0%	\$ -
230 12" PVC C900 DR18 Culinary Waterline	1590	LF @	\$ 45.50	\$ 72,345.00	0.0%	95.0%	\$ -
240 8" CW Bend	4	EACH @	\$ 850.00	\$ 3,400.00	0.0%	95.0%	\$ -
250 12" CW Bend	4	EACH @	\$ 1,100.00	\$ 4,400.00	0.0%	95.0%	\$ -
260 12" CW Tee	2	EACH @	\$ 1,500.00	\$ 3,000.00	0.0%	95.0%	\$ -
270 8" Gate Valve	2	EACH @	\$ 1,950.00	\$ 3,900.00	0.0%	95.0%	\$ -
280 12" Gate Valve	4	EACH @	\$ 2,500.00	\$ 10,000.00	0.0%	95.0%	\$ -
290 Fire Hydrant	6	EACH @	\$ 5,500.00	\$ 33,000.00	0.0%	95.0%	\$ -
300 Temp Blowoff	1	EACH @	\$ 1,750.00	\$ 1,750.00	0.0%	95.0%	\$ -
310 1" CTS Poly Culinary Services	29	EACH @	\$ 1,375.00	\$ 39,875.00	0.0%	95.0%	\$ -
320 Connect to Pressurized Irrigation Line	2	EACH @	\$ 3,550.00	\$ 7,100.00	0.0%	95.0%	\$ -
330 6" PVC C900 DR18 Pressurized Irrigation Line	2650	LF @	\$ 28.00	\$ 74,200.00	0.0%	77.9%	\$ -
340 6" PI Bend	8	EACH @	\$ 750.00	\$ 6,000.00	0.0%	95.0%	\$ -
350 6" PI Tee	1	EACH @	\$ 1,250.00	\$ 1,250.00	0.0%	95.0%	\$ -
360 6" Gate Valve	3	EACH @	\$ 1,850.00	\$ 5,550.00	0.0%	95.0%	\$ -
370 1" CTS Poly PI Services	29	EACH @	\$ 1,300.00	\$ 37,700.00	0.0%	95.0%	\$ -
380 PI Air Vac	1	EACH @	\$ 3,950.00	\$ 3,950.00	0.0%	95.0%	\$ -
390 Rough Grade Native Sub-Grade	162920	SF @	\$ 0.20	\$ 32,584.00	0.0%	95.0%	\$ -
400 24" Curb & Gutter Prep (6" Road Base)	5280	LF @	\$ 5.00	\$ 26,400.00	0.0%	95.0%	\$ -
410 24" Curb and Gutter APWA Type A	5280	LF @	\$ 14.50	\$ 76,560.00	0.0%	95.0%	\$ -
420 9" Road Base	93825	SF @	\$ 1.00	\$ 93,825.00	0.0%	95.0%	\$ -
430 3" Hot Mix Asphalt	93825	SF @	\$ 1.65	\$ 154,811.25	95.0%	95.0%	\$ 147,070.69
440 Sidewalk Prep (6" Road Base)	26395	SF @	\$ 0.95	\$ 25,075.25	0.0%	95.0%	\$ -
450 Concrete Sidewalk (4' Wide X 5" Thick)	26395	SF @	\$ 5.25	\$ 138,573.75	95.0%	95.0%	\$ 131,645.06
460 ADA Ramp	4	EACH @	\$ 1,400.00	\$ 5,600.00	95.0%	95.0%	\$ 5,320.00
470 Concrete Valve Collars	14	EACH @	\$ 500.00	\$ 7,000.00	95.0%	95.0%	\$ 6,650.00
480 Concrete Manhole Collars	29	EACH @	\$ 600.00	\$ 17,400.00	95.0%	95.0%	\$ 16,530.00
490 Dry Utilities- Per Lot Budget (Remaining 13 Lots)	29	EACH @	\$ 6,500.00	\$ 188,500.00	0.0%	95.0%	\$ -
500 Sanitary Sewer - Trench Backfill	7650	TON @	\$ 13.50	\$ 103,275.00	0.0%	95.0%	\$ -
510 Storm Drain - Trench Backfill	2810	TON @	\$ 13.50	\$ 37,935.00	0.0%	95.0%	\$ -
520 Culinary Water- Trench Backfill	3140	TON @	\$ 13.50	\$ 42,390.00	0.0%	95.0%	\$ -
530 Pressurized Irrigation-Trench Backfill	1520	TON @	\$ 13.50	\$ 20,520.00	0.0%	95.0%	\$ -
540 Mail Box and Pad - (4) 16 Unit Boxes; (1) 12 Unit box, Per Postmaster	1	EACH @	\$ 3,500.00	\$ 3,500.00	0.0%	95.0%	\$ -
550 Street Signs	4	EACH @	\$ 1,500.00	\$ 6,000.00	95.0%	95.0%	\$ 5,700.00
560 Street Lights	3	EACH @	\$ 5,500.00	\$ 16,500.00	0.0%	0.0%	\$ -
CO-1 2' Over-Ex in P.U.E.	1	LS @	\$ 83,296.50	\$ 83,296.50	0.0%	100.0%	\$ -
600 Engineering	1	LS @	\$ 20,000.00	\$ 20,000.00	0.0%	0.0%	\$ -
610 Survey	1	LS @	\$ 20,000.00	\$ 20,000.00	0.0%	0.0%	\$ -
620 Impact Fees	29	LOTS @	\$ 4,671.32	\$ 135,468.28	0.0%	0.0%	\$ -
630 Inspection Fees	29	LOTS @	\$ 418.00	\$ 12,122.00	0.0%	0.0%	\$ -
640 Dry Utility Design	1	LS @	\$ 40,000.00	\$ 40,000.00	0.0%	0.0%	\$ -

BASE BID TOTAL	\$	2,136,094.03	Previously Released: \$	1,432,874.05
10% Warranty Amount	\$	213,609.40		
TOTAL BOND AMOUNT	\$	2,349,703.43	This Release: \$	312,915.75
Total Released to Date	\$	1,745,789.80		
TOTAL BOND REMAINING	\$	603,913.63		

At the discretion of the city, up to 95% of the Base Bid Total may be released as partial payments and 100% of the Base Bid Total will be released at final inspection. The 10% Warranty Amount will be held for the one year warranty period.

Paul Kroff  
Developer

Date

---

Troy Stout  
Mayor

---

Date



---

Jed Muhlestein, P.E.  
City Engineer

---

11/22/2021  
Date

---

City Council  
(by Bonnie Cooper - City Recorder)

---

Date



## 2022 ANNUAL MEETING SCHEDULE FOR ALPINE CITY, UTAH

**PLANNING COMMISSION MEETINGS** for the 2022 calendar year are scheduled on the 1<sup>st</sup> and 3<sup>rd</sup> Tuesday of each month as follows unless otherwise indicated:

January 4	May 3	September 20
January 18	May 17	October 4
February 1	June 7	November 1
February 15	June 21	November 15
March 1	July 19	December 6
March 15	August 2	
April 19	August 16	

**CITY COUNCIL MEETINGS** for the 2022 calendar year are scheduled on the 2<sup>nd</sup> and 4<sup>th</sup> Tuesday of each month as follows unless otherwise indicated:

January 11	May 10	September 13
January 25	May 24	September 27
February 8	June 14	October 11
February 22	June 28	October 25
March 8	July 12	November 22
March 22		December 13
April 12	August 23	
April 26		

**All Planning Commission will begin at 7:00 pm and City Council will begin at 6:00 pm unless otherwise posted. Meetings are held at Alpine City Hall, 20 North Main, Alpine, Utah 84004.**

Bonnie Cooper  
City Recorder

**THE PUBLIC IS INVITED TO ATTEND ALL PUBLIC CITY MEETINGS.** If you need a special accommodation to participate in the meeting, please call the City Recorder's Office at 801-756-6347 ext. 4.

**CERTIFICATION OF POSTING.** The undersigned duly appointed recorder does hereby certify that the above agenda notice was posted in three public places within Alpine City limits. These public places being a bulletin board located inside City Hall at 20 North Main and located in the lobby of the City Works Building, Alpine, UT; and the at The Junction, 400 S. Main, Alpine, UT. The above agenda notice was sent by e-mail to The Daily Herald located in Orem, UT and local newspapers circulated in Alpine, UT. This agenda is also available on the City's web site at [www.alpinecity.org](http://www.alpinecity.org) and on the Utah Public Meeting Notices website at [www.utah.gov/pmn/index.html](http://www.utah.gov/pmn/index.html).

## **ALPINE CITY COUNCIL AGENDA**

**SUBJECT: Public Hearing – General Plan**

**FOR CONSIDERATION ON: 30 November 2021**

**PETITIONER: Staff**

**ACTION REQUESTED BY PETITIONER: Review and adopt the update to the General Plan.**

### **BACKGROUND INFORMATION:**

The latest draft of the General Plan includes changes as discussed at the October 26, 2021, and November 9, 2021, City Council meetings. Changes include minor grammatical corrections, change of verbiage, new policies regarding light and noise pollution, Land Use policy updated to allow for community gathering spaces, a new section titled “Community Engagement” with its own goals and policies, and an updated Land Use Map. Also, per recommendation of City Attorney Steve Doxey, the Annexation Policy Plan is being kept as its own separate document and will not be added as an appendix to the General Plan.

Staff recommends that the Mayor and City Council review and adopt the 2021 update to the General Plan.

#### **STAFF RECOMMENDATION**

Review and adopt the 2021 update to the General Plan.

#### **SAMPLE MOTION TO APPROVE**

I move to approve the 2021 update to the General Plan.

#### **SAMPLE MOTION TO APPROVE WITH AMENDMENTS**

I move to approve the 2021 update to the General Plan with the following amendments:

- **\*\*INSERT FINDING\*\***



# ALPINE CITY GENERAL PLAN

2021-2041

Adopted November 30, 2021





# Acknowledgments

## Mayor

Troy Stout

## City Council

Lon Lott

Carla Merrill

Jessica Smuin

Jason Thelin

Greg Gordon

## Planning Commission

Jane Griener

John Mackay

Jeff Davis

Ethan Allen

Ed Bush

Troy Slade

Alan MacDonald

## City Staff

Shane Sorensen, City Administrator

Craig Hall, City Attorney

Jed Muhlestein, City Engineer

Austin Roy, City Planner



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# INTRODUCTION

In accordance with Utah State Code, Alpine City has legally prepared and adopted the following General Plan in 2021. Although the information contained in this plan is general, it represents an important perspective that can help direct future planning decisions.

The mission of this General Plan is to provide a strong, positive civic image and quality of life in Alpine City by providing guidelines and standards that ensure the orderly and balanced distribution of growth; sound fiscal and economic investment; and preservation of the open and rural environment in a clean, attractive physical setting.



# LAND USE

## GOAL #1

Maintain and promote a historic small-town, rural atmosphere that embraces agricultural uses, open spaces and the mountainous surroundings of the City.



## POLICIES

- 1.1 Promote and preserve both natural and developed open spaces around the City with a preference towards public open spaces. The City prefers that this is done through Planned Residential Developments (PRD) or by the public purchase of land.
- 1.2 Encourage, develop and/or maintain venues that enhance a sense of community and provide residents an opportunity to congregate, including public gathering spaces.
- 1.3 Preserve animal rights.
- 1.4 Encourage and maintain a safe, convenient and inviting atmosphere for pedestrians within commercial areas by applying the Gateway Historic District Design Guidelines.
- 1.5 Preserve and beautify the three gateways into the City so that it is clear that you are entering Alpine.
- 1.6 Encourage beautifying streetscapes while protecting City sidewalks and infrastructure through the implementation of Street Tree Guidelines.



- 1.7 Promote the creation of, and preserve existing, access to trails, mountains and open space.
- 1.8 Promote developments, designs, and plans which protect mountain and valley views.
- 1.9 Promote developments, designs and practices that limit and reduce unnecessary or excessive artificial lighting.
- 1.10 Promote developments, designs and practices that limit noise levels.

## GOAL #2

Provide clearly defined land zones to support the vision for a low density, rural atmosphere that meet the needs of residents.



## POLICIES

- 2.1 Zoning shall be arranged from higher density zones in the center of the City to gradually lower density zones as you move towards the outer City limits.
- 2.2 Land zoned as B-C (Business Commercial) shall consist of professional office, retail and other commercial uses serving the community and situated within an environment which is safe and aesthetically pleasing. Limited residential shall be permitted as set forth in the Alpine City Development Code.
- 2.3 Land zoned as TR-10,000 (Town Residential – 10,000 square foot minimum lot size) shall include the area generally located within the originally settled town center of Alpine that is considered appropriate for higher density residential development.
- 2.4 Land zoned as CR-20,000 (Country Residential – 20,000 square foot minimum lot size) shall include, but is not exclusive to, traditional agricultural land and land located at a lower elevation that is considered appropriate for medium density residential development. These areas should provide for the perpetuation of the rural and open space image of the City.
- 2.5 Land zoned as CR-40,000 (Country Residential – 40,000 square foot minimum lot size) shall include, but is not exclusive to, land generally located around the periphery of the City center considered appropriate for low density residential development. These areas should provide for the perpetuation of the rural and open space image of the City.

- 2.6 Land zoned as CE-5 (Critical Environment – 5-acre minimum lot size) shall consist of areas primarily located in mountainous areas of the City considered appropriate for very low-density residential development. These areas, as a result of the presence of steep slope, adverse soil characteristics, flood hazard, mudflow, earthquake potential, wildfire hazard or similar critical and sensitive natural conditions, are considered environmentally fragile. As a result of the large amount of area that is considered environmentally fragile, development will be clustered and interspersed with large and undisturbed open space areas.
- 2.7 Follow the Alpine City Annexation Policy Plan.
- 2.8 Zoning shall be arranged from higher density zones in the center of the City to gradually lower density zones as you move towards the outer City limits.



## GOAL #3

Preserve and protect specific community characteristics such as hillsides, scenic views, critical lands and a historic small-town, rural atmosphere by using overlay zones which build on an underlying zone by setting additional standards, and applying the standards of both zones.



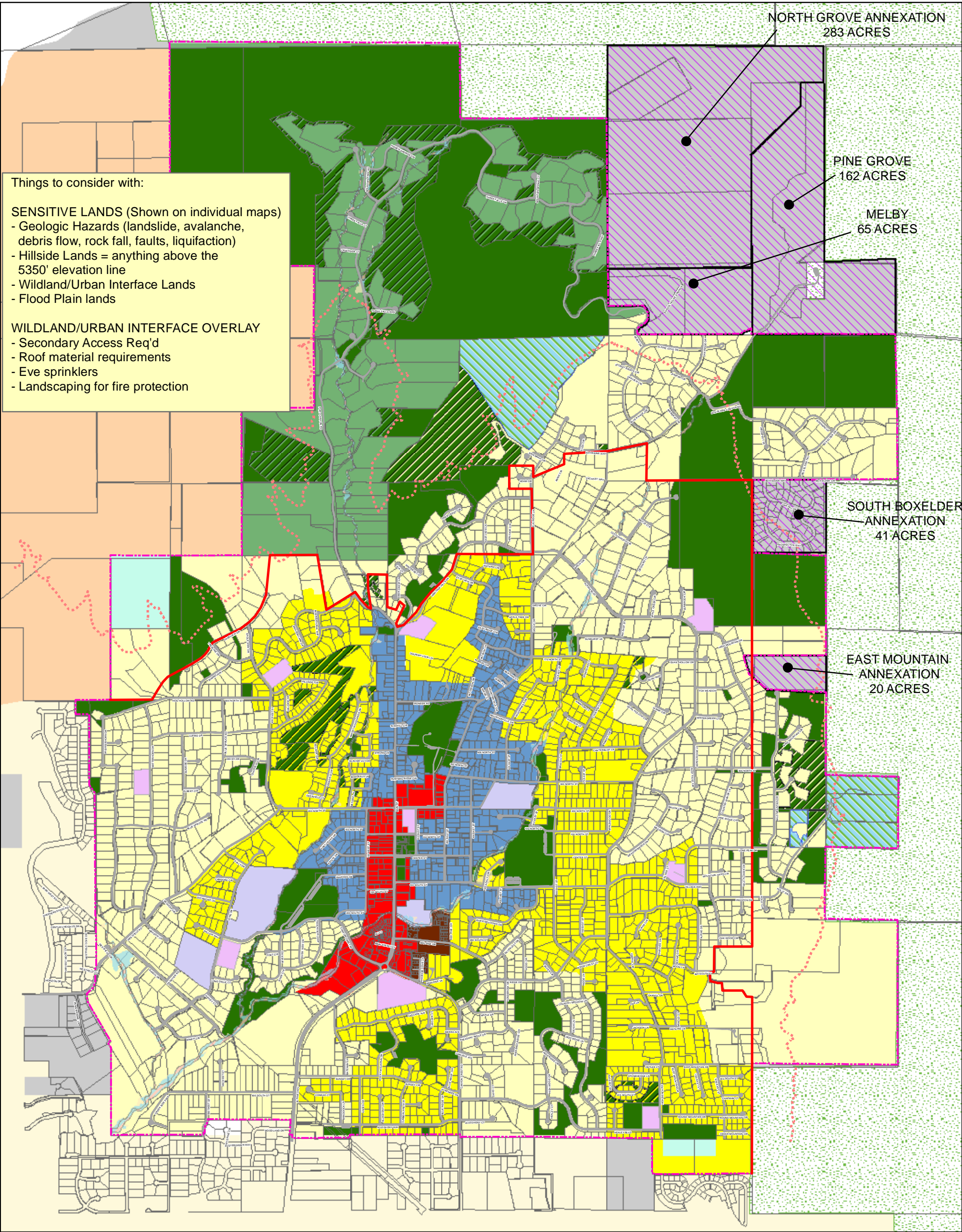
## POLICIES

- 3.1 The Gateway Historic District Overlay Zone should maintain a high character of community development by regulating the exterior architecture characteristics of structures that are developed in the center of Alpine City (See Gateway Historic District Design Guidelines).
- 3.2 The Sensitive Lands Overlay Zones are to provide for safe, orderly and beneficial development of areas characterized by sensitive and hazardous conditions as shown on the official Sensitive and Hazard Area Maps (floodplain, Wildland Urban Interface, geologic hazards and hillside) and to limit alteration to topography and reduce encroachment upon, or alteration of, such areas.
  - 3.2.1 The Geologic Hazards Overlay Zone is to minimize the adverse effects of geologic hazards including surface fault ruptures, landslides, debris flows, rock fall and soil liquefaction.
  - 3.2.2 The Wildland Urban Interface Overlay Zone is to establish standards for development and fire prevention in areas bordering on wildlands.



- 3.2.3 The Flood Damage Prevention Overlay Zone is to minimize public and private losses due to flood conditions in specific areas.
- 3.2.4 The Hillside Protection Overlay Zone is to establish standards for developments of certain hillsides located in the City to minimize soil and slope instability, to minimize erosion and to preserve the character of the hillsides.
- 3.3 The Senior Housing Overlay Zone is to provide for increased land use flexibility and specialized types of senior housing that recognizes and accommodates varied housing needs and desires of the community's senior housing population while promoting independence and a high quality of life.
- 3.4 The Assisted Living and Nursing Care Overlay Zone is to provide for increased land use flexibility to assure that health and human services are appropriately located in the community to meet the needs of aging residents.





Things to consider with:

**SENSITIVE LANDS** (Shown on individual maps)

- Geologic Hazards (landslide, avalanche, debris flow, rock fall, faults, liquifaction)
- Hillside Lands = anything above the 5350' elevation line
- Wildland/Urban Interface Lands
- Flood Plain lands

**WILDLAND/URBAN INTERFACE OVERLAY**

- Secondary Access Req'd
- Roof material requirements
- Eve sprinklers
- Landscaping for fire protection

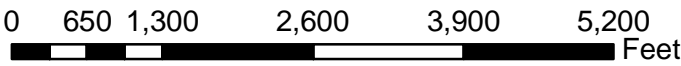


SSO & Wildland Interface have been added to this map since approval as well as some boundary line changes and minor annexations

Resolution No. R2012-04  
Adopted March 27, 2012



# ALPINE CITY LAND USE MAP



**Map Legend**

Wildland Interface Line	Business Commercial
Alpine City Boundary	Senior Housing Overlay Zone
Roads	High Density (1/4 acre)
5,350' Contour Line	Medium Density (1/2 acre)
School Properties	Low Density (1 acre)
Church Properties	Very Low Density (5 acre)
General Plan Annex Areas	
Forest Service Property	
Draper	
Highland	
Public Open Space	
Proposed Open Space	
Conservation Easement	
Private Open Space	
Unincorporated Properties	





# TRANSPORTATION & TRAFFIC CIRCULATION

## GOAL #1

Create and maintain a multi-modal transportation system that is pedestrian friendly, safe and efficient.



## POLICIES

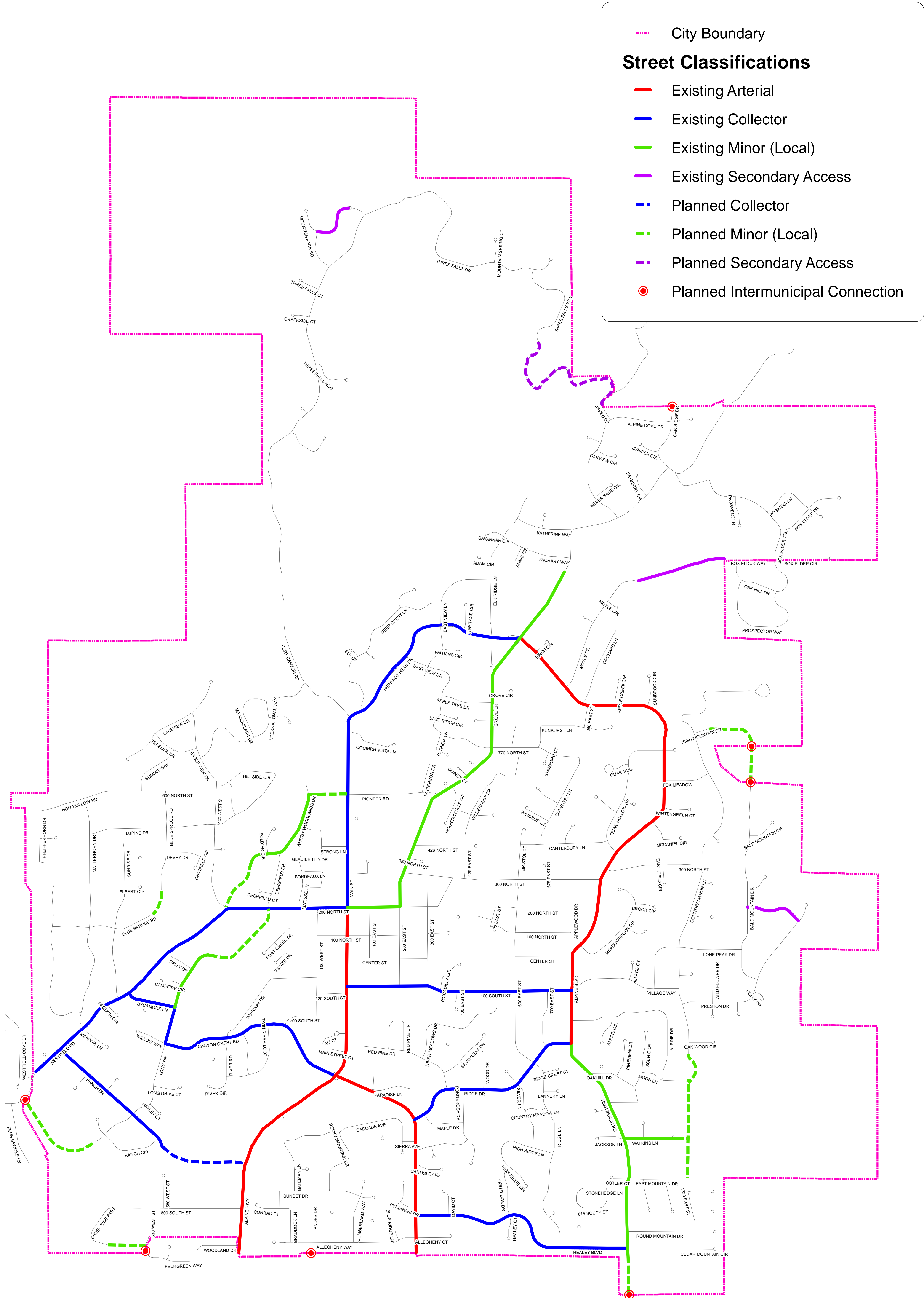
- 1.1 Promote safe and efficient traffic circulation by following the Street Master Plan. Pedestrian safety shall also be a key focus of the traffic circulation plan.
- 1.2 Connect neighborhoods and open spaces of the City with appropriate trails, sidewalks and bike lanes that support alternate forms of local transportation and recreation.
- 1.3 Work with adjacent communities and other agencies to acquire financial aid for transportation improvements.
- 1.4 Emphasize the maintenance of roads to ensure a high-quality road system.
- 1.5 Promote the use of roundabouts or other traffic flow options to prevent the need for stop lights therefore maintaining the historic small-town rural atmosphere.
- 1.6 Limit intermunicipal and unincorporated county street connections to the approved connections identified on the Alpine City Transportation Master Plan. Ensure that street connections to other municipalities, unincorporated



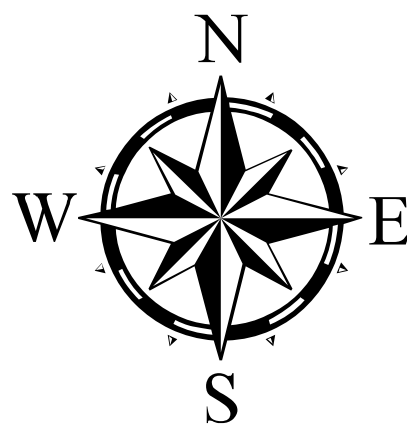
county, or other areas outside the City boundaries are compatible with the goals and policies of the General Plan.

- 1.7 Promote streets accessible to all residents by prohibiting all private streets and gated communities, except where allowed by ordinance.
- 1.8 Create and promote an Active Transportation Plan for Alpine City.

FIGURE 2



# Alpine City Transportation Master Plan Map



Adopted  
September 8, 2020



# MODERATE INCOME HOUSING



## PURPOSE

The Moderate Income Housing Element is intended to accomplish the following:

- Comply with Utah State Code;
- Summarize Alpine City's population, income levels, and housing values;
- Discuss constraints and opportunities for the provision of moderate income housing; and
- Identify goals and policies to address Alpine City housing needs.

## DEFINITION

Moderate income housing is defined by the state as *“housing occupied or reserved for occupancy by households with a gross household income equal to or less than eighty percent (80%) of the median income for households of the same size in the county in which the city is located”*(Utah Code 10-9a Part 1).

For the purposes of this element, this definition is further refined to include the following income categories:

- A. Moderate Income: 51% – 80% of the county median income
- B. Low Income: 31% - 50% of the county median income
- C. Very Low: 30% or less of the county median income

## STATE LAW AND LOCAL PLANNING

Utah Municipal Code Chapter 10-9a-403-B-iii requires each city to: 1) provide an estimate of the need for the development of additional moderate income housing within the city, and 2) to provide a plan to provide a realistic opportunity to meet estimated needs for additional moderate income housing if long-term projections for land use and development occur.

State law requires each city to:



- Consider the Legislature's determination that cities shall facilitate a reasonable opportunity for a variety of housing, including moderate income housing;
- Meet the needs of people desiring to live there; and
- Allow persons with moderate incomes to benefit from and fully participate in all aspects of neighborhood and community life.

## CURRENT AND FUTURE PROJECTIONS

### POPULATION ESTIMATE

According to the U.S. Census Bureau, the population estimate for Alpine City in 2017 was 10,197 with a projected annual rate of growth of 117. Projected population for 2024 is 11,004.

	2009 American Community Survey	2017 American Community Survey	Annual Growth Rate (Slope)	2024 Projection	Difference between 2017 and 2024
Total Population: (ACS Table B01003)	9,651	10,197	117	11,004	807
Total Population in occupied housing units (ACS Table B25008)	9,651	10,197	117	11,004	807
Total Population in owner- occupied housing (ACS Table B25008)	8,695	8,780	63	9,014	234
Total Population in renter- occupied housing (ACS Table B25008)	956	1,417	54	1,990	573

Source 1: U.S. Census Bureau. Table B01003: Total population. American Community Survey.

Source 2: U.S. Census Bureau. Table B25008: Total population in occupied housing units by tenure. American Community Survey.

### TOTAL HOUSEHOLD UNITS

Over the next 5 years the U.S. Census Bureau projects the ratio of renter-occupied structures to owner occupied structures to increase at approximately 40 units per year:

	2009 American Community Survey	2017 American Community Survey	Annual Growth Rate (Slope)	2024 Projection	Difference between 2017 and 2024
TOTAL HOUSING UNITS (ACS Table B25001)	2,499	2,770	40	3,098	328

Source 1: U.S. Census Bureau. Table B25001: Total housing units. American Community Survey.

Source 2: U.S. Census Bureau. Table B25032: Tenure by units in structure. American Community Survey.





## EXISTING MODERATE INCOME HOUSING

Alpine City's existing moderate income housing is a mix of twin homes, apartments, accessory apartments, duplexes, fourplexes, and cottages (senior housing). According to City records, as of November 2020, there are 270 moderate income housing units in Alpine.

## HOUSEHOLD SIZE

Household size, unlike population, is projected to drop in the next 5 years. A possible indicator of an aging population.

	2009 American Community Survey	2017 American Community Survey	2024 Projection
Average Household Size (ACS Table B25010)	4.3	3.87	3.54

Source 1: U.S. Census Bureau. Table B25010: Average household size of occupied housing units by tenure. American Community Survey

## ALPINE CITY MEDIAN HOUSHOLD INCOME

Median household income is projected to decrease over the next 5 years, which may be related to the projected decrease in household size.

	2009 American Community Survey	2017 American Community Survey	Annual Growth Rate (Slope)	2024 Projection	Difference between 2017 and 2024
Median household income (ACS Table B25119)	\$104,436	\$112,727	\$73	\$101,542	\$ (11,185)
Owner-occupied income (ACS Table B25119)	\$111,071	\$124,240	\$522	\$120,816	\$ (3,424)
Renter-occupied income (ACS Table B25119)	\$38,304	\$54,375	\$1,002	\$50,627	\$ (3,748)

Source 1: U.S. Census Bureau. Table B25119: Median household income that past 12 months by tenure. American Community Survey

## UTAH COUNTY AREA MEDIAN INCOME

According to the U.S. Census Bureau American Community Survey, the Utah County area median income is projected to increase significantly over the next 5 years from \$67,042 in 2017 to \$108,972 in 2024, a difference of over \$41,000. If this projection is accurate, it would indicate that the median income gap between Alpine City and Utah County will close over the next 5 years.



	2009 American Community Survey	2017 American Community Survey	Annual Growth Rate (Slope)	2024 Projection	Difference between 2017 and 2024
Median HOUSEHOLD income (ACS Table B19019)	\$0	\$67,042	\$4,950	\$108,972	\$ 41,930

Source 1: U.S. Census Bureau. Table B19019: Median household income that past 12 months by household size. American

## GOAL

Promote moderate income housing based on State guidelines.

## POLICIES

- 1.1 Allow accessory apartments within owner-occupied dwellings throughout the City
- 1.2 Allow senior housing units to be built in more dense clusters in the Senior Housing Overlay to reduce the cost of living.
- 1.3 Preserve existing moderate income housing.



# PARKS, RECREATION, TRAILS AND OPEN SPACE

## GOAL #1

Plan and maintain a sustainable high-quality parks, trails and open space network within the community.



## POLICIES

- 1.1 Work closely with neighboring municipalities and the appropriate entities to coordinate recreation opportunities and designate specific parks for the use of organized recreational activities.
- 1.2 Work closely with neighboring municipalities and the appropriate entities to coordinate the trails between cities and plan connections.
- 1.3 Organize volunteer efforts to periodically cleanup trails on a staggered annual basis in accordance with the US Forest Service Trail Standards.
- 1.4 Designate trails for specific uses where needed (i.e., equestrian, walking, biking).
- 1.5 Implement and promote the Bonneville Shoreline Trail.
- 1.6 Promote and support the Alpine Trail Committee in the planning, creation, and maintenance of trails in Alpine City.



## GOAL #2

Identify and categorize city parks according to primary use and function.

## POLICIES

2.1 Parks are classified under three main categories: Sports Parks, Family Parks, and Open Space Parks.

2.1.1 Sports Parks are dedicated primarily to facilitating organized sports and sporting events. Sports Parks include:

Burgess Park

Healey/Smooth Canyon Parks

Rachel McTeer Park

2.1.2 Family Parks are dedicated primarily to community and family leisure activities, no organized sports allowed. Family Parks include:

Beck's Hill Park

Creekside Park

Legacy Park

Moyle Park

Petersen Park

Ridge at Alpine Park

Silverleaf Park

Other various neighborhood parks

2.1.3 Open Space Parks are areas of generally undisturbed land and vegetation allowing for recreational and leisure activity in a natural environment. Open Space Parks include:

Dry Creek Corridor

Heritage Hills Open Space



Hog Hollow Trailhead

Lambert Park

Ridge at Alpine Open Space

Rodeo Grounds

Three Falls Open Space

Other various parcels of open space

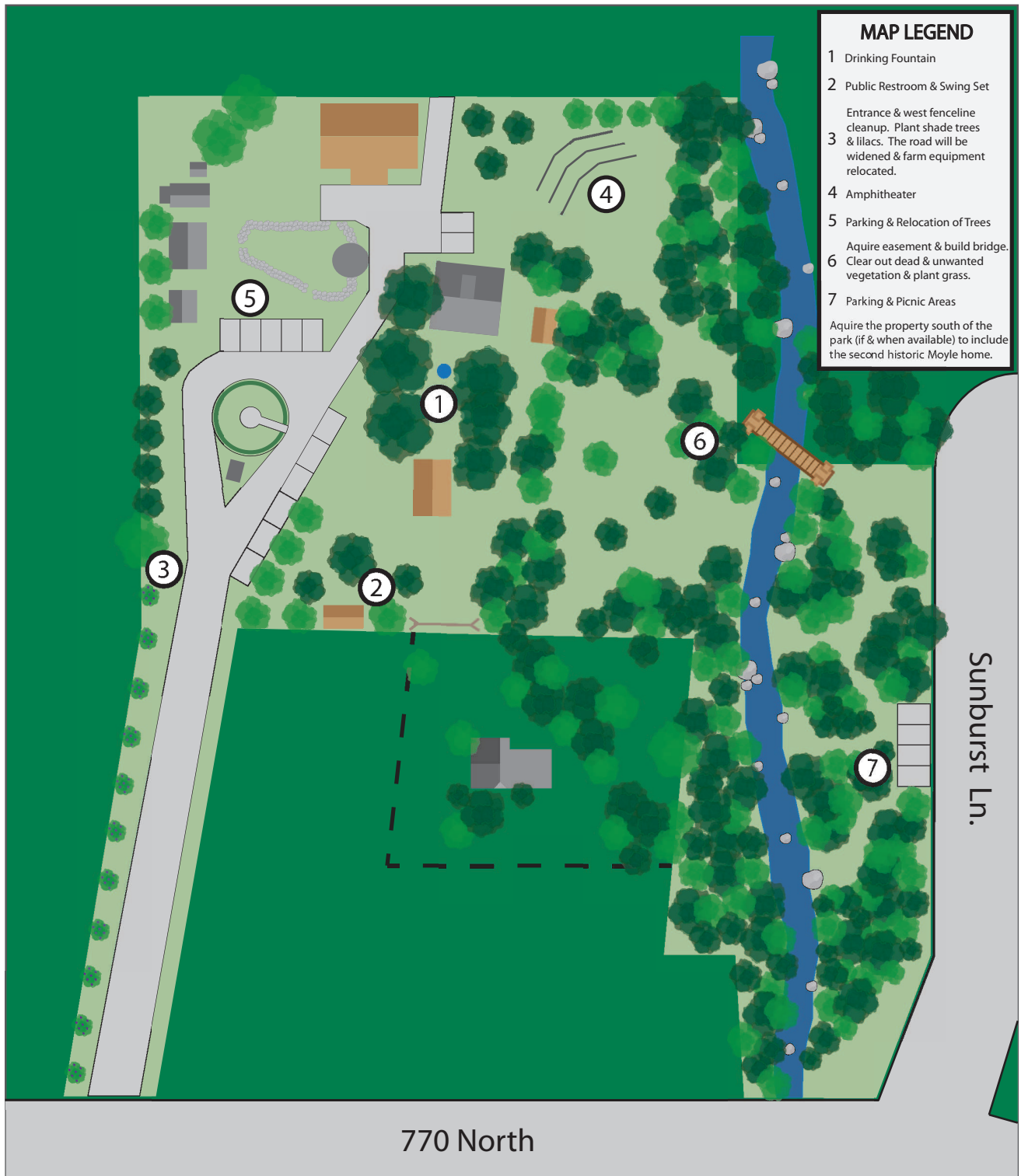
## GOAL #3

Secure access to mountains and hillsides for all residents by working with developers and property owners and by enforcing the preservation and maintenance of current access.

## POLICIES

- 3.1 Promote and preserve parks, public open space and trails that provide access to mountainsides.

FIGURE 3



# Moyle Park Master Plan

Adopted January 27, 2015





FIGURE 4



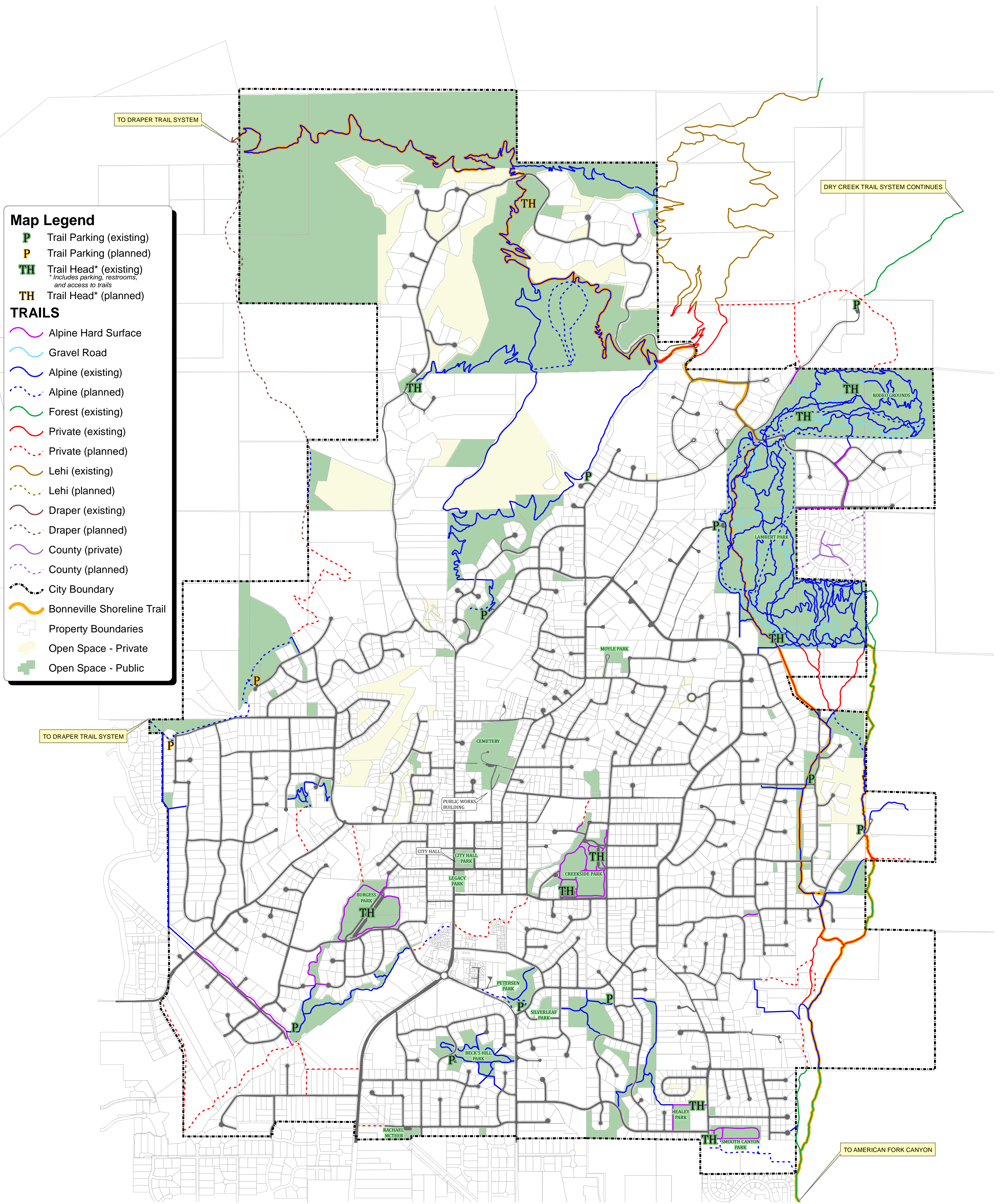
# The Corridor Master Plan

Adopted June 13, 2017





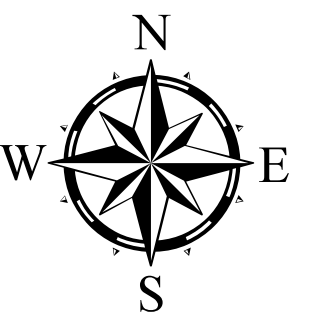
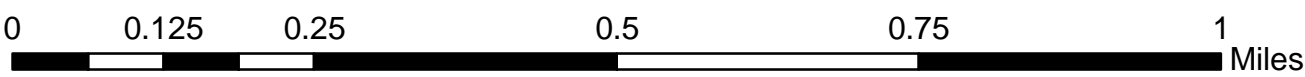
FIGURE 5



\*\* ALL PLANNED TRAILS ARE SHOWN AS A POINT "A" TO "B" ALIGNMENT. AT TIME OF DEVELOPMENT PLANNED TRAILS WILL NEED TO BE ENGINEERED AND FLAGGED FOR APPROVAL \*\*



# Trail Master Plan



Adopted November 10, 2020





# PARKS, RECREATION, TRAILS AND OPEN SPACE – LAMBERT PARK

## GOAL #1

Plan and maintain a sustainable high quality natural park for trails and other uses.

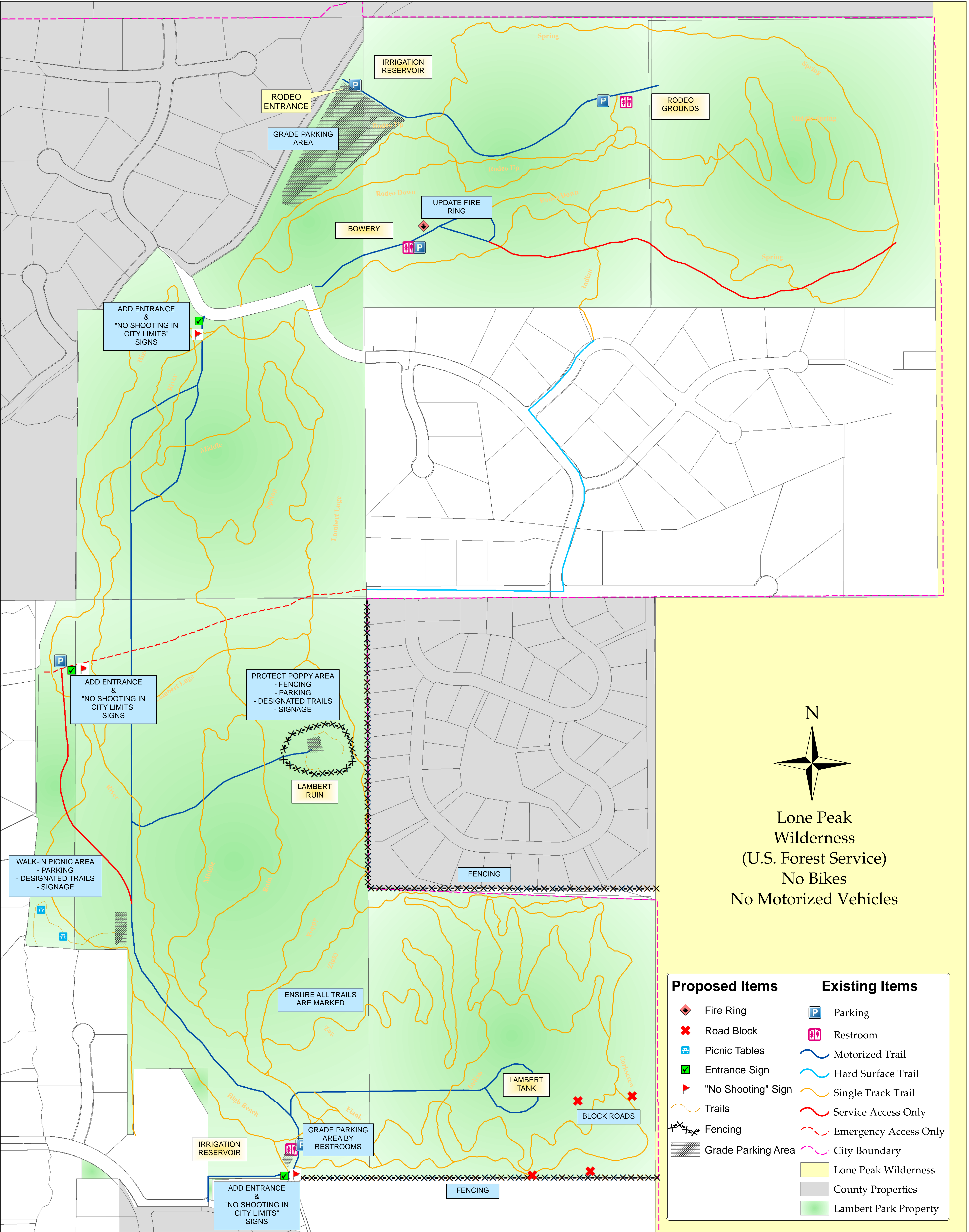


## POLICIES

- 1.1 Clearly define park boundaries and entrances.
- 1.2 Designate developed vs undeveloped areas of the park.
- 1.3 Clearly define and sign trails and roads and their appropriate uses.
- 1.4 Designate Lambert Park as a non-motorized park except as permitted by the City.
- 1.5 Work with neighboring property owners to allow for the connection and continuity of trails between the park and surrounding areas; this includes the Bonneville Shoreline Trail.
- 1.6 Organize volunteer efforts for the general maintenance, cleanup, weed control, and other needs of the park.
- 1.7 Protect and preserve the poppy area and Lambert Ruins.
- 1.8 Implement use policies to preserve and protect park resources for public use, enjoyment, and safety.
- 1.9 Implement policies to preserve the ecology and enhance environmental stewardship of the park.



FIGURE 6



N

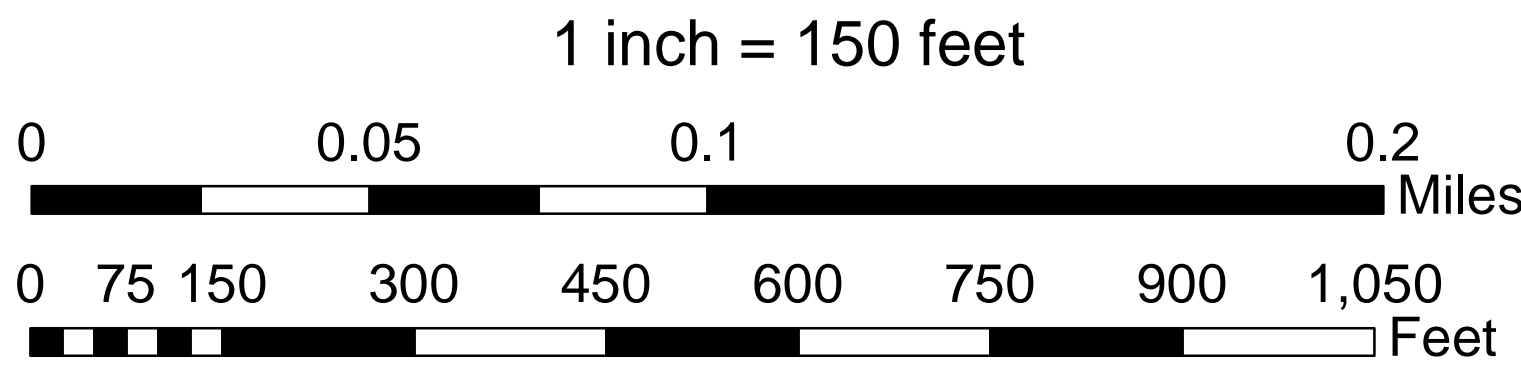
Lone Peak  
Wilderness  
(U.S. Forest Service)  
No Bikes  
No Motorized Vehicles

Proposed Items		Existing Items	
	Fire Ring		Parking
	Road Block		Restroom
	Picnic Tables		Motorized Trail
	Entrance Sign		Hard Surface Trail
	"No Shooting" Sign		Single Track Trail
	Trails		Service Access Only
	Fencing		Emergency Access Only
	Grade Parking Area		City Boundary
			Lone Peak Wilderness
			County Properties
			Lambert Park Property

SEPTEMBER 2017



# Lambert Park Master Plan







# ECONOMIC DEVELOPMENT

## GOAL #1

To promote economic growth and commercial development that attracts local resident spending in the community, while still preserving the City's small town historic feel.



## POLICIES

- 1.1 Seek to expand and retain existing businesses in the community and promote patronage of local businesses from residents of Alpine and neighboring communities.
- 1.2 Seek to attract stable retail businesses that will stimulate economic growth and attract other likeminded businesses to the community.
- 1.3 Seek to attract new low-impact businesses that fit the character and scale of Alpine City.
- 1.4 Actively work with developers in the Business Commercial Zone to influence and encourage the best possible designs and outcomes for the community.
- 1.5 Seek to enhance parks, trails, and open space near the business commercial zone to compliment commercial development and thus create an area that is ideal for local leisure activity, shopping, and recreation.



# COMMUNITY ENGAGEMENT

## GOAL #1

Work in partnership with residents and businesses to support Alpine Days, civic events, and other programs to increase social and community connections.



## POLICIES

- 1.1 Encourage resident committees to create community engagement.
- 1.2 Plan, support and conduct public gatherings to strengthen resident social connections.
- 1.3 Promote interactive and transparent communication through online and printed mediums.

# ALPINE CITY

## RESOLUTION NO. R2021-18

### A RESOLUTION OF THE GOVERNING BODY OF ALPINE CITY UPDATING THE ALPINE CITY GENERAL PLAN

WHEREAS, Alpine City, pursuant to Utah Code Annotated, Section 10-9a-401, is required to prepare and adopt a comprehensive, long-range general plan; and

WHEREAS, Alpine City has a comprehensive, long-range general plan;

WHEREAS, Alpine City followed the procedure outlined in Utah Code Annotated to update and amend the existing general plan;

NOW, THEREFORE, BE IT RESOLVED that the governing body of Alpine City adopts this updated Alpine City General Plan.

***EFFECTIVE DATE.*** This resolution shall take effect immediately upon passing.

Passed and approved by the City Council of Alpine City November 30, 2021.

---

Troy Stout, *Mayor*

Voting by the City Council:	<u>AYE</u>	<u>NAY</u>
Councilmember Merrill	_____	_____
Councilmember Lott	_____	_____
Councilmember Gordon	_____	_____
Councilmember Thelin	_____	_____
Councilmember Smuin	_____	_____

ATTEST:

---

Bonnie Cooper, *City Recorder*

## **ALPINE CITY COUNCIL AGENDA**

**SUBJECT: Resolution R2021-18 – A Resolution of Intent to Impose a Conservation Easement on Lambert Park**

**FOR CONSIDERATION ON: 30 November 2021**

**PETITIONER: Mayor Stout**

**ACTION REQUESTED BY PETITIONER: Consider approval of a resolution of intent to impose a conservation easement on Lambert Park**

### **BACKGROUND INFORMATION:**

The City Council was worked through multiple drafts of the proposed Lambert Park Conservation Easement. Mayor Stout is requesting that the City Council pass Resolution R2021-18: A Resolution of Intent to Impose a Conservation Easement on Lambert Park, showing the City's intent to approve a conservation easement on Lambert Park in the future.

### **STAFF RECOMMENDATION:**

Consider approval of a resolution of intent to impose a conservation easement on Lambert Park.

### **SAMPLE MOTION TO APPROVE**

I move to approve Resolution R2021-18: A Resolution of Intent to Impose a Conservation Easement on Lambert Park with the following conditions:

- Prior to recording the Developer:
  - **\*\*INSERT CONDITIONS\*\***

### **SAMPLE MOTION TO TABLE**

I move to table Resolution R2021-18: A Resolution of Intent to Impose a Conservation Easement on Lambert Park:

- **\*\*INSERT FINDING\*\***

# ALPINE CITY

## RESOLUTION NO. R2021-18

### A RESOLUTION OF INTENT TO IMPOSE A CONSERVATION EASEMENT ON LAMBERT PARK

**WHEREAS**, Alpine City owns approximately 255 acres of land known as Lambert Park;

**WHEREAS**, Lambert Park is largely unimproved and is highly prized for its scenic, natural, open space, wildlife habitat, community heritage, recreational, and educational characteristics and values;

**WHEREAS**, Alpine residents and those outside the community regularly use Lambert Park for public recreation, including walking, hiking, mountain biking, and equestrian use;

**WHEREAS**, due to its unique location and characteristics, there is and will continue to be pressure to develop portions of Lambert Park, which would reduce or eliminate its value as natural open space;

**WHEREAS**, the City Council finds it in the best interest of the City and its residents to preserve Lambert Park as public, natural open space, consistent with historical uses and certain conservation values and subject to future critical public uses in the interest of the public health, safety, and welfare;

**WHEREAS**, the City Council has explored different options for preserving Lambert Park as public, natural open space, and has determined that a conservation easement, carefully drawn, will best serve such purpose in that, among other things, it runs with the land and is subject to revocation or amendment only under narrow circumstances;

**WHEREAS**, the City Council has determined that Utah Open Lands is an appropriate organization to serve as grantee of the conservation easement and defend the conservation values of Lambert Park, as specified by the City;

**WHEREAS**, the City Council desires that the City retain control of and management responsibility for Lambert Park, subject only to protecting the conservation values of the park;

**WHEREAS**, the City and Utah Open Lands have prepared a draft conservation easement for review and comment by the City's residents;

**WHEREAS**, the City has held several open houses, public meetings, and public hearings in which City residents have weighed in on the specific and general features of the conservation easement;

**WHEREAS**, the City Council desires to adopt a management plan for Lambert Park, consistent with the conservation easement, and formulation of that plan will require additional decision-making and public input;

**WHEREAS**, the City Council desires to make known its intent to move forward with the conservation easement, but only after certain details of the conservation easement and management plan for Lambert Park have been finalized;

**NOW THEREFORE, BE IT RESOLVED** that the City Council of Alpine City hereby expresses its intent to enter into a conservation easement for the preservation of Lambert Park as public, natural open space free from private residential, commercial, or industrial development. The specific terms of the conservation easement and management plan for Lambert Park are yet to be finalized. Upon review of an acceptable easement document and management plan, the City Council fully intends to authorize execution and recording of the conservation easement for the benefit of the City and its residents.

**EFFECTIVE DATE.** This resolution shall take effect immediately upon passing.

Passed and approved by the City Council of Alpine City November 30, 2021.

---

Troy Stout, *Mayor*

Voting by the City Council:	<u>AYE</u>	<u>NAY</u>
Councilmember Merrill	_____	_____
Councilmember Lott	_____	_____
Councilmember Gordon	_____	_____
Councilmember Thelin	_____	_____
Councilmember Smuin	_____	_____

ATTEST:

---

Bonnie Cooper, *City Recorder*



## ALPINE CITY COUNCIL AGENDA

**SUBJECT:** Ordinance 2021-20 Guest Houses

**FOR CONSIDERATION ON:** 30 November 2021

**PETITIONER:** Scott Johnson

**ACTION REQUESTED BY PETITIONER:** Approve the proposed amendment to the Development Code.

### BACKGROUND INFORMATION:

Scott Johnson, owner of Lot 54 in the Three Falls Subdivision, is requesting that the ordinance regarding guest houses be amended to allow for exceptions to the shared driveway requirements.

The Development Code states:

*Vehicular access to the guest house shall be over the same driveway as for the primary dwelling.*

Mr. Johnson is hoping that this ordinance can be changed to allow for exceptions at the discretion of the Planning Commission and City Council.

On November 16, 2021, the Planning Commission reviewed the proposed ordinance. The Planning Commission did not want to create an exception clause, but they recommended that a guest house should be allowed to have a separate driveway when the guest house can be accessed from a separate right-of-way than the main residence.

### STAFF RECOMMENDATION:

Review the proposed ordinance and decide to approve or deny the request.

### SAMPLE MOTION TO APPROVE:

I move to approve Ordinance 2021-20 as proposed.

### SAMPLE MOTION TO APPROVE WITH CHANGES:

I move that Ordinance 2021-20 be adopted with the following changes:

- \*\*\*Insert Finding\*\*\*

### SAMPLE MOTION TO TABLE/DENY:

I move that Ordinance 2021-20 be tabled (or denied) based on the following:

- \*\*\*Insert Finding\*\*\*

**ALPINE CITY  
ORDINANCE 2021-20**

**AN ORDINANCE ADOPTING AMENDMENTS TO ARTICLE 3.23.070 OF THE  
ALPINE CITY DEVELOPMENT CODE PERTAINING TO GUEST HOUSES.**

**WHEREAS**, The City Council of Alpine, Utah, has deemed it in the best interest of Alpine City to amend the requirements for a guest house to allow for exceptions to the shared driveway requirement; and

**WHEREAS**, the Alpine City Planning Commission has reviewed the proposed amendments to the Development Code, held a public hearing, and forwarded a recommendation to the City Council; and

**WHEREAS**, the Alpine City Council has reviewed the proposed amendments to the Development Code:

**NOW THEREFORE**, be it ordained by the Council of the Alpine City, in the State of Utah, as follows: the amendment to Article 3.23.070 contained in the attached document will supersede Article 3.23.070 as previously adopted. This ordinance shall take effect upon posting.

**SECTION 1:**        **AMENDMENT** “3.23.070 Review Conditions And Criteria For Certain Conditional Uses” of the Alpine City Development Code is hereby *amended* as follows:

**A M E N D M E N T**

**3.23.070 Review Conditions And Criteria For Certain Conditional Uses**

1. **Accessory Apartments** (Amended by Ord. 95-04, 02/28/95; 2004-13, 09/28/04; 2009-12, 07/14/09). An accessory apartment shall be considered a subordinate dwelling unit within and part of a principle dwelling and which has its own cooking, sleeping, and sanitation facilities. Accessory apartments may be permitted as a conditional use, upon approval of the City Planner and Building Official. Approval shall be subject to the following:
  - a. Accessory apartments are listed as a conditional use within the zone.
  - b. Accessory apartments shall be permitted only in owner-occupied single-unit detached dwellings.
    - i. Owner occupancy shall not be required when the owner has submitted a temporary absence application prior to beginning the temporary absence and meets the following criteria:
      - (1) The owner has a bona fide, temporary absence of three (3) years or less for activities such as temporary job assignments,

sabbaticals, military service, or voluntary service (indefinite periods of absence from the dwelling shall not qualify for this exception); or

- (2) The owner is placed in a hospital, nursing home, assisted living facility or other similar facility.
  - (3) Owner occupancy shall have the meaning set forth in Article 3.01.110, Alpine City Development Code.
  - (4) The owner has resided in the residence for at least one (1) year prior to beginning the temporary absence.
- c. A maximum of one (1) accessory apartment shall be permitted in each owner occupied single-unit detached dwelling.
  - d. Accessory apartments shall be permitted only in a basement, above an attached garage, or on the main floor limiting it to twenty-five percent (25%) of the main floor.
  - e. A single-unit detached dwelling with an accessory apartment shall provide not less than four (4) off-street parking spaces. Parking spaces may include garage and driveway space. At least one (1) space shall be designated for the accessory apartment.
  - f. The accessory apartment shall contain no less than 300 square feet of living area and shall comply with all size and access specifications of the International Residential and Building Codes.
  - g. Accessory apartments shall have at least one (1) separate entrance from the main dwelling accessible from outside. The entrance shall be located on the side or rear of the main dwelling.
  - h. A single-unit detached dwelling containing an accessory apartment shall have not more than one (1) meter for each water, gas and electric utility service, and the meter shall be in the name of the owner.
  - i. All construction and remodeling to accommodate the accessory apartment shall be in accordance with the International Residential and Building Codes in effect at the time of construction or remodeling.
  - j. Any person constructing or causing the construction of a residence that has an accessory apartment or any person remodeling or causing the remodeling of a residence for an accessory apartment, or any person desiring to provide an accessory apartment within a single-unit detached dwelling, shall obtain an Accessory Apartment Permit from the Building Department. Such permit shall be in addition to any building permits that may be necessary.
2. **Guest Houses** (Ord. 94-06, 5/24/94). Guest houses may be permitted as a conditional use, upon approval of the City Council and subject to compliance with the following:
- a. Guest Houses are listed as a conditional use within the zone.
  - b. The lot or parcel upon which the guesthouse is proposed to be placed shall have a lot area of not less than five (5) acres.
  - c. The guesthouse shall be located not less than 30 ft. to the rear of the primary dwelling and not closer than twelve (12) ft. to any side or rear property line.
  - d. The water and sewer service shall be the same as for the principle dwelling.

- e. The hookup fees for a single-unit dwelling with a guest house shall be one and one-half (1 and 1/2) times the rate for a single family dwelling.
  - f. The guesthouse shall be an integral part of the site plan for the principle dwelling and attendant lot area. Vehicular access to the guest house shall be over the same driveway as for the primary dwelling-, unless a secondary driveway can be accessed from another public right of way.
  - g. Prior to approval, a site plan showing the proposed location of the guesthouse and provision for utilities, vehicular access and other standards and conditions shall be submitted and approved by the Planning Commission.
  - h. Any person desiring to construct a guest house shall convey to the City water rights in the amount of 1/2 acre foot.
3. **Home Occupations** (Ord. 95-04, 2/28/95. Amended Ord. 08-18, 12/16/08; Ord. 2009- 14, 9/22/09; Ord. 2010-07, 5/11/10; Ord. 2010-11, 10/12/10; Ord. 2013-04, 3/12/13; Ord. 2014-06, 3/25/14; Ord. 2016-23, 11/09/16). Home occupations may be permitted as a conditional use, upon review of Staff and approval by the City Planner. If the City Planner determines that the home occupation may create significant impacts, approval from the Planning Commission may be required. All home occupations will be subject to compliance with the following:
- a. Terms and Conditions.
    - i. Home occupations are listed as a conditional use in the zone.
    - ii. The home occupation is conducted entirely within the livable area of a dwelling or attached garage. Business outdoor activities such as swimming lessons, tennis lessons, horseback riding lessons or other similar activities as determined by the Planning Commission may be considered as a home occupation.
    - iii. The business activity of the Home Occupation carried out on the premises shall be conducted only by members of the residing family, except that not more than one person, not a member of the residing family, may be engaged in the conduct of the home occupation if such person is utilized in the capacity of a support function.
    - iv. The home occupation does not involve the use of any accessory buildings or yard space for storage outside of the dwelling or attached garage.
    - v. The home occupation shall contain no facilities for the display of goods. Any sale of goods and services shall constitute a clearly incidental part of the operation of the home occupation.
    - vi. No commercial vehicles shall be stored at the premises except one delivery truck which does not exceed 12,000 gvw rated capacity.
    - vii. The home occupation is clearly incidental and secondary to the use of the dwelling for dwelling purposes and does not change the character of the building from that of a dwelling.
    - viii. Home occupation signs shall be limited to one (1) identification nameplate, not larger in area than two (2) square feet fastened to the home, and one (1) sign, not larger in area than one (1) square foot, fastened to the side of the mailbox structure at or below the level of

- the mail box. No off-site advertising signs shall be permitted.
- ix. The home occupation shall not occupy an area not more than the equivalent of twenty-five percent (25%) of the livable area of the dwelling or 1000 square feet, whichever is less. The livable area does not include the garage.
  - x. The home occupation shall obtain a business license from the City.
  - xi. The activities of the home occupation shall not involve the use of hazardous materials or chemicals in amounts that will increase the hazard of fire or explosion. Activities of the home occupation shall not decrease safety to the structure or occupants of the dwelling or adjacent dwellings.
  - xii. The operation of the home occupation shall not produce any noise, smoke, glare, light, fumes, dust, electronic interference or similar condition which is discernible outside the dwelling.
  - xiii. The physical appearance, traffic, and other activities in connection with the home occupation will not be contrary to the intent of the zone in which the home occupation is located and, in the opinion of the Planning Commission, the activities of the home occupation will not depreciate surrounding property values or the quality of the area for residential purposes as determined by the Planning Commission.
  - xiv. A sexually-oriented business shall not be a home occupation.
  - xv. An automotive repair business shall not be a home occupation.
  - xvi. If the home occupation will have customers/clients coming to the home as part of the business, an inspection(s) of the business portion of the home is required to determine compliance with zoning, building, and life safety requirements. When no customers/clients will be coming to the home as part of the business, the applicant shall be required to submit the home business self fire inspection form.
- b. Commission May Attach Conditions. In order to achieve the objectives of this Code and to protect the health, safety and quality of life in the community the Planning Commission or City Planner may attach conditions to the granting of a home occupation consistent with the standards hereinabove stated.
- c. Continuing Obligation - Business License Required. All home occupations shall be operated in compliance with the conditions herein above set forth and any conditions which may be attached as part of the approval. Upon approval of a home occupation the applicant shall be eligible to acquire a business license to operate. Issuance of the Business License shall be conditioned upon continued performance of the conditions of approval and said license shall be refused or revoked upon failure of the owner and/or operator to maintain or operate the home occupation in accordance therewith.

The approval shall be valid for the remainder of the year in which it is first granted. Thereafter the approval will be extended for successive one year periods, commencing on January 1 of the calendar year, or such other date as

the Council or City Planner may from time to time establish as the effective date for business licenses, provided (1) that the home occupation remains substantially the same as initially approved and (2) that the home occupation has remained active as evidenced by the acquisition of a valid business license for the previous year.

4. **Produce Stands** (Ord 96-05, 4/10/96). Incidental Produce stands may be permitted as a conditional use, upon approval by the Planning Commission and subject to compliance with the following:
- a. Intent. The Intent and purpose of this Part is to allow the operation of incidental produce stands which supply the local market with needed food and farm products produced on the premises.
  - b. Terms and Conditions.
    - i. Incidental Produce Stands are listed as a conditional use in the zone.
    - ii. Only plants, animals, or parts thereof which are products of the subject lot shall be offered for sale.
    - iii. The Produce stand shall provide sufficient off-street parking space to safely accommodate the anticipated level of patrons. The required off-street parking shall be in addition to the spaces required to meet the parking requirements of the primary use.
    - iv. Each produce stand shall be entitled to one sign. Said sign shall have not more than thirty-two (32) sq. ft. of sign area and shall advertise only products of the lot. The sign shall not extend into the road right-of-way.
    - v. An annual business license to operate the produce stand shall be obtained from the City.
    - vi. The application shall include a detailed site plan showing the location of all dwellings and other buildings on the site and also all facilities and areas intended for use in the production, processing, storage and sales of the products intended to be offered for sale on the premises.

(Ord. 94-06, 5/24/94; Amended by Ord. 2004-13, 9/28/04)  
(Amended by Ordinance 2005-21 on 12/20/05)

PASSED AND ADOPTED BY THE ALPINE CITY COUNCIL

\_\_\_\_\_.

	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Lon Lott	_____	_____	_____	_____
Gregory Gordon	_____	_____	_____	_____
Jason Thelin	_____	_____	_____	_____
Jessica Smuin	_____	_____	_____	_____
Carla Merrill	_____	_____	_____	_____

Presiding Officer

Attest

\_\_\_\_\_  
Troy Stout, Mayor, Alpine City

\_\_\_\_\_  
Bonnie Cooper, City Recorder Alpine  
City



**ALPINE CITY  
ORDINANCE 2021-20**

**AN ORDINANCE ADOPTING AMENDMENTS TO ARTICLE 3.23.070 OF THE  
ALPINE CITY DEVELOPMENT CODE PERTAINING TO GUEST HOUSES.**

**WHEREAS**, The City Council of Alpine, Utah, has deemed it in the best interest of Alpine City to amend the requirements for a guest house to allow for exceptions to the shared driveway requirement; and

**WHEREAS**, the Alpine City Planning Commission has reviewed the proposed amendments to the Development Code, held a public hearing, and forwarded a recommendation to the City Council; and

**WHEREAS**, the Alpine City Council has reviewed the proposed amendments to the Development Code:

**NOW THEREFORE**, be it ordained by the Council of the Alpine City, in the State of Utah, as follows: the amendment to Article 3.23.070 contained in the attached document will supersede Article 3.23.070 as previously adopted. This ordinance shall take effect upon posting.

**SECTION 1:**        **AMENDMENT** “3.23.070 Review Conditions And Criteria For Certain Conditional Uses” of the Alpine City Development Code is hereby *amended* as follows:

**A M E N D M E N T**

**3.23.070 Review Conditions And Criteria For Certain Conditional Uses**

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  - a. Accessory apartments are listed as a conditional use within the zone.
  - b. Accessory apartments shall be permitted only in owner-occupied single-unit detached dwellings.
    - i. Owner occupancy shall not be required when the owner has submitted a temporary absence application prior to beginning the temporary absence and meets the following criteria:
      - (1) The owner has a bona fide, temporary absence of three (3)

- years or less for activities such as temporary job assignments, sabbaticals, military service, or voluntary service (indefinite periods of absence from the dwelling shall not qualify for this exception); or
- (2) The owner is placed in a hospital, nursing home, assisted living facility or other similar facility.
- (3) Owner occupancy shall have the meaning set forth in Article 3.01.110, Alpine City Development Code.
- (4) The owner has resided in the residence for at least one (1) year prior to beginning the temporary absence.
- c. A maximum of one (1) accessory apartment shall be permitted in each owner occupied single-unit detached dwelling.
- d. Accessory apartments shall be permitted only in a basement, above an attached garage, or on the main floor limiting it to twenty-five percent (25%) of the main floor.
- e. A single-unit detached dwelling with an accessory apartment shall provide not less than four (4) off-street parking spaces. Parking spaces may include garage and driveway space. At least one (1) space shall be designated for the accessory apartment.
- f. The accessory apartment shall contain no less than 300 square feet of living area and shall comply with all size and access specifications of the International Residential and Building Codes.
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- i. All construction and remodeling to accommodate the accessory apartment shall be in accordance with the International Residential and Building Codes in effect at the time of construction or remodeling.
- j. Any person constructing or causing the construction of a residence that has an accessory apartment or any person remodeling or causing the remodeling of a residence for an accessory apartment, or any person desiring to provide an accessory apartment within a single-unit detached dwelling, shall obtain an Accessory Apartment Permit from the Building Department. Such permit shall be in addition to any building permits that may be necessary.
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- dwelling and not closer than twelve (12) ft. to any side or rear property line.
- d. The water and sewer service shall be the same as for the principle dwelling.
  - e. The hookup fees for a single-unit dwelling with a guest house shall be one and one-half (1 and 1/2) times the rate for a single family dwelling.
  - f. The guesthouse shall be an integral part of the site plan for the principle dwelling and attendant lot area. Vehicular access to the guest house shall be over the same driveway as for the primary dwelling, unless a secondary driveway can be accessed from another public right of way.
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- a. Terms and Conditions.
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    - v. The home occupation shall contain no facilities for the display of goods. Any sale of goods and services shall constitute a clearly incidental part of the operation of the home occupation.
    - vi. No commercial vehicles shall be stored at the premises except one delivery truck which does not exceed 12,000 gvw rated capacity.
    - vii. The home occupation is clearly incidental and secondary to the use of the dwelling for dwelling purposes and does not change the character of the building from that of a dwelling.

- viii. Home occupation signs shall be limited to one (1) identification nameplate, not larger in area than two (2) square feet fastened to the home, and one (1) sign, not larger in area than one (1) square foot, fastened to the side of the mailbox structure at or below the level of the mail box. No off-site advertising signs shall be permitted.
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  - x. The home occupation shall obtain a business license from the City.
  - xi. The activities of the home occupation shall not involve the use of hazardous materials or chemicals in amounts that will increase the hazard of fire or explosion. Activities of the home occupation shall not decrease safety to the structure or occupants of the dwelling or adjacent dwellings.
  - xii. The operation of the home occupation shall not produce any noise, smoke, glare, light, fumes, dust, electronic interference or similar condition which is discernible outside the dwelling.
  - xiii. The physical appearance, traffic, and other activities in connection with the home occupation will not be contrary to the intent of the zone in which the home occupation is located and, in the opinion of the Planning Commission, the activities of the home occupation will not depreciate surrounding property values or the quality of the area for residential purposes as determined by the Planning Commission.
  - xiv. A sexually-oriented business shall not be a home occupation.
  - xv. An automotive repair business shall not be a home occupation.
  - xvi. If the home occupation will have customers/clients coming to the home as part of the business, an inspection(s) of the business portion of the home is required to determine compliance with zoning, building, and life safety requirements. When no customers/clients will be coming to the home as part of the business, the applicant shall be required to submit the home business self fire inspection form.
- b. Commission May Attach Conditions. In order to achieve the objectives of this Code and to protect the health, safety and quality of life in the community the Planning Commission or City Planner may attach conditions to the granting of a home occupation consistent with the standards hereinabove stated.
- c. Continuing Obligation - Business License Required. All home occupations shall be operated in compliance with the conditions herein above set forth and any conditions which may be attached as part of the approval. Upon approval of a home occupation the applicant shall be eligible to acquire a business license to operate. Issuance of the Business License shall be conditioned upon continued performance of the conditions of approval and said license shall be

refused or revoked upon failure of the owner and/or operator to maintain or operate the home occupation in accordance therewith.

The approval shall be valid for the remainder of the year in which it is first granted. Thereafter the approval will be extended for successive one year periods, commencing on January 1 of the calendar year, or such other date as the Council or City Planner may from time to time establish as the effective date for business licenses, provided (1) that the home occupation remains substantially the same as initially approved and (2) that the home occupation has remained active as evidenced by the acquisition of a valid business license for the previous year.

4. **Produce Stands** (Ord 96-05, 4/10/96). Incidental Produce stands may be permitted as a conditional use, upon approval by the Planning Commission and subject to compliance with the following:
- a. Intent. The Intent and purpose of this Part is to allow the operation of incidental produce stands which supply the local market with needed food and farm products produced on the premises.
  - b. Terms and Conditions.
    - i. Incidental Produce Stands are listed as a conditional use in the zone.
    - ii. Only plants, animals, or parts thereof which are products of the subject lot shall be offered for sale.
    - iii. The Produce stand shall provide sufficient off-street parking space to safely accommodate the anticipated level of patrons. The required off-street parking shall be in addition to the spaces required to meet the parking requirements of the primary use.
    - iv. Each produce stand shall be entitled to one sign. Said sign shall have not more than thirty-two (32) sq. ft. of sign area and shall advertise only products of the lot. The sign shall not extend into the road right-of-way.
    - v. An annual business license to operate the produce stand shall be obtained from the City.
    - vi. The application shall include a detailed site plan showing the location of all dwellings and other buildings on the site and also all facilities and areas intended for use in the production, processing, storage and sales of the products intended to be offered for sale on the premises.

(Ord. 94-06, 5/24/94; Amended by Ord. 2004-13, 9/28/04)  
(Amended by Ordinance 2005-21 on 12/20/05)

PASSED AND ADOPTED BY THE ALPINE CITY COUNCIL

\_\_\_\_\_.

	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Lon Lott	_____	_____	_____	_____
Gregory Gordon	_____	_____	_____	_____
Jason Thelin	_____	_____	_____	_____
Jessica Smuin	_____	_____	_____	_____
Carla Merrill	_____	_____	_____	_____

Presiding Officer

Attest

\_\_\_\_\_  
Troy Stout, Mayor, Alpine City

\_\_\_\_\_  
Bonnie Cooper, City Recorder Alpine  
City

## **ALPINE CITY COUNCIL AGENDA**

**SUBJECT: Plat Amendment – Three Falls Plat H**

**FOR CONSIDERATION ON: 30 November 2021**

**PETITIONER: Scott Johnson**

**ACTION REQUESTED BY PETITIONER: Approve the Plat Amendment**

### **BACKGROUND INFORMATION:**

The Three Falls Subdivision Plat H consists of 1 lot on 5.2 acres. The property is located at 2600 North Mountain Springs Road, and in the CE-5 zone. The proposed plat would vacate and amend Lot 54 of Three Falls Subdivision Plat E. The primary reason for the plat amendment is to add a new buildable area in the northeast corner of the lot. The new buildable area would be used as the location of a new accessory building.

The proposed buildable area meets the City code and staff has no issue with the location. The Planning Commission has reviewed the proposal, at the November 16, 2021, meeting, and recommends that the plat be approved with the condition that the redlines be corrected and a letter of approval be obtained from the Three Falls Architectural Review Committee.

### **STAFF RECOMMENDATION:**

Approve the plat amendment as proposed.

### **SAMPLE MOTION TO APPROVE**

I move to approve Three Falls Subdivision Plat H with the following conditions:

- Prior to recording the Developer:
  - Address the redlines on the plat and plans.
  - Receive a letter of approval from the Three Falls Architectural Review Committee for the new proposed buildable area.

### **SAMPLE MOTION TO TABLE**

I move to table Three Falls Subdivision Plat H based on the following:

- **\*\*INSERT FINDING\*\***



**ALPINE CITY  
STAFF REPORT**  
November 12, 2021

**To:** Alpine City Planning Commission & City Council

**From:** Staff

**Prepared By:** Austin Roy, City Planner  
Planning & Zoning Department

Jed Muhlestein, City Engineer  
Engineering & Public Works Department

**RE: THREE FALLS SUBDIVISION PLAT H**

Applicant: Scott Johnson  
Project Location: 2600 North Mountain Springs Road  
Zoning: CE-5 Zone  
Acreage: 5.2 Acres  
Lot Number & Size: 1 lot at 226,512 Square Feet  
Request: Recommend and approve the amended plat

**SUMMARY**

The Three Falls Subdivision Plat H consists of 1 lot on 5.2 acres. The property is located at 2600 North Mountain Springs Road, and in the CE-5 zone. The proposed plat would vacate and amend Lot 54 of Three Falls Subdivision Plat E. The primary reason for the plat amendment is to add a new buildable area in the northeast corner of the lot. The new buildable area would be used as the location of a new accessory building.

**BACKGROUND**

Structures can only be built on approved buildable areas in the Three Falls Subdivision. The applicant is hoping to build either a new guest house or accessory garage on the north end of his lot. Alpine City and the Three Falls Architectural Review Committee must approve the building envelope for a structure to be built in the proposed location.

**ANALYSIS**

**Lot Width and Area**

The proposed plat amendment does not change or alter the approved lot width or area.



### Use

The applicant is proposing that the new buildable area be used for a new guest house. Under the current ordinance, a guest house must be located on the same shared driveway as the main home. Any deviation from that would require an ordinance change to be recommended by the Planning Commission and approved by the City Council.

### Sensitive Lands (Wildland Urban Interface)

The applicant has had a fault study done on the property and there are no faults in the proposed buildable area. The property is in sensitive lands. Wildland Urban Interface requirements will apply to all structures to be build on the property. FEMA, USACOE approvals will be required for any changes to the drainage easements on the property.

### Trails

There are no trails or trail easements on this property.

### General Plan

The proposed plat amendment is compatible with the General Plan.

### Other

None.

## **REVIEWS**

### PLANNING AND ZONING DEPARTMENT REVIEW

The analysis section in the body of this report serves as the Planning and Zoning Department review.

### ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW

This section constitutes the engineering review for the Three Falls Subdivision Plat H. There are a few minor remaining redline comments that need corrected and approved by Staff prior to recording.

### Lots

The lot contains the appropriate amount of space and frontage for the zone, based on the average slope of the lot as defined in section 3.03.040 of the Development Code.

### Natural Hazards

**Sensitive Lands.** The proposed development falls within the Geologic Hazards Overlay Zone which has areas identified as having the potential for rockfall, slide, and debris flows. Rockfall, debris flow, and slides were reviewed and, in each instance, were shown to have a low risk for such an event. Buildable areas have been restricted where steeper slopes reside.

**Flood Plain.** The buildable area is situated away from the mapped flood plain.

Other

There are some minor redlines to correct on the plans and plat.

NOTICING

Notice has been properly issued in the manner outlined in City and State Code

**STAFF RECOMMENDATION**

Review staff report and findings and make a motion to approve or table the proposed plat amendment. Findings are outlined below.

Findings for a Positive Motion:

- A. The proposed plat meets ordinance.

Findings for a Motion to Table:

- A. None.

**MODEL MOTIONS**

**SAMPLE MOTION TO APPROVE**


I move to recommend approval of Three Falls Subdivision Plat H with the following conditions:

- Prior to recording the Developer:
  - Address the redlines on the plat and plans.
  - Receive a letter of approval from the Three Falls Architectural Review Committee for the new proposed buildable area.

**SAMPLE MOTION TO TABLE**

I move to table Three Falls Subdivision Plat H based on the following:

- **\*\*INSERT FINDING\*\***



## Three Falls Lot #54 - Planning Commission/ City Council Meeting - November 16th 2021

# What we want to accomplish

- 1 - Update lot #54 plat
- 2 - Request a city ordinance modification
- 3 - Request guest house approval



# #1 - Plat Adjustment - Lot #54

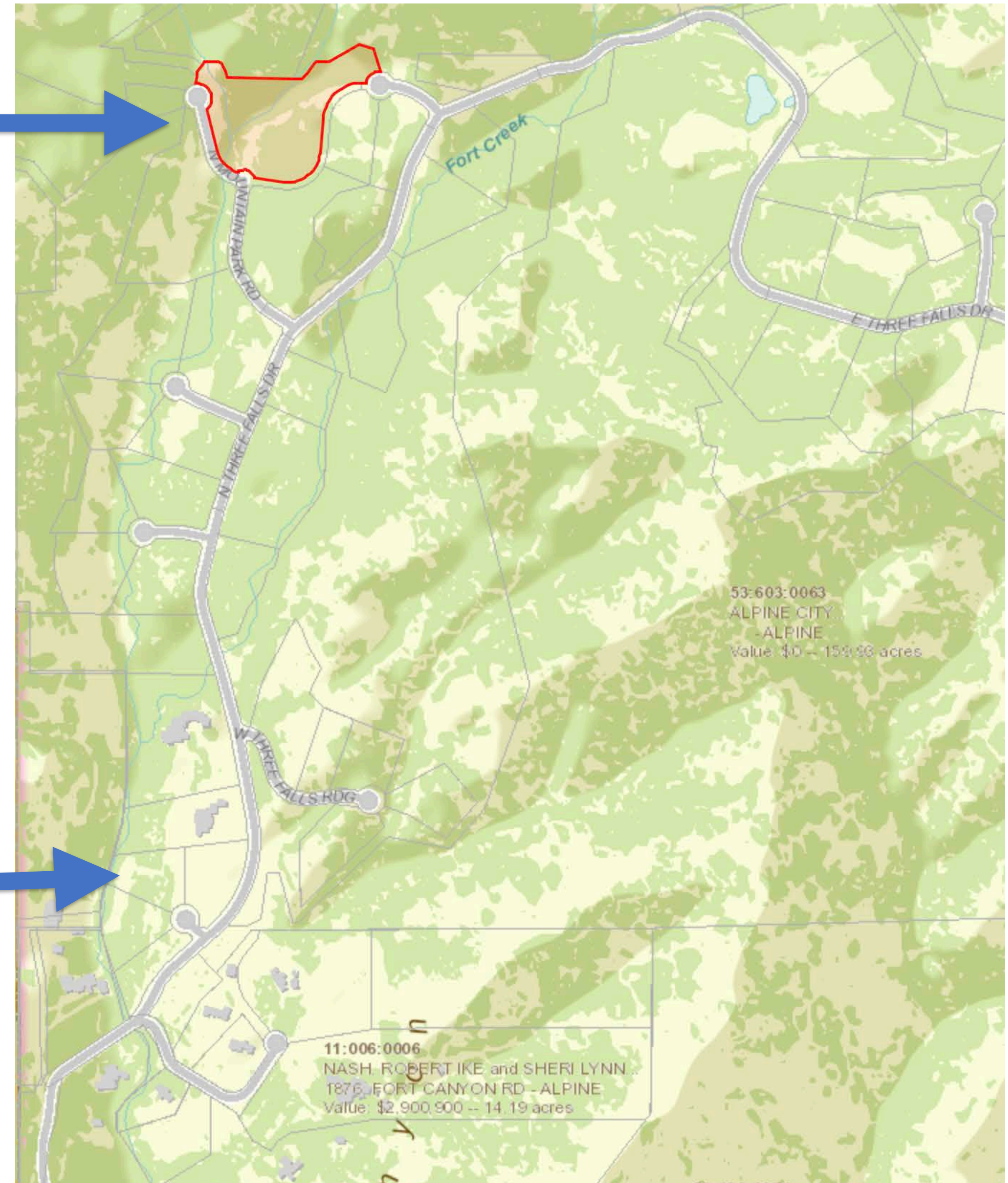


# Part 1 - New Buildable Area



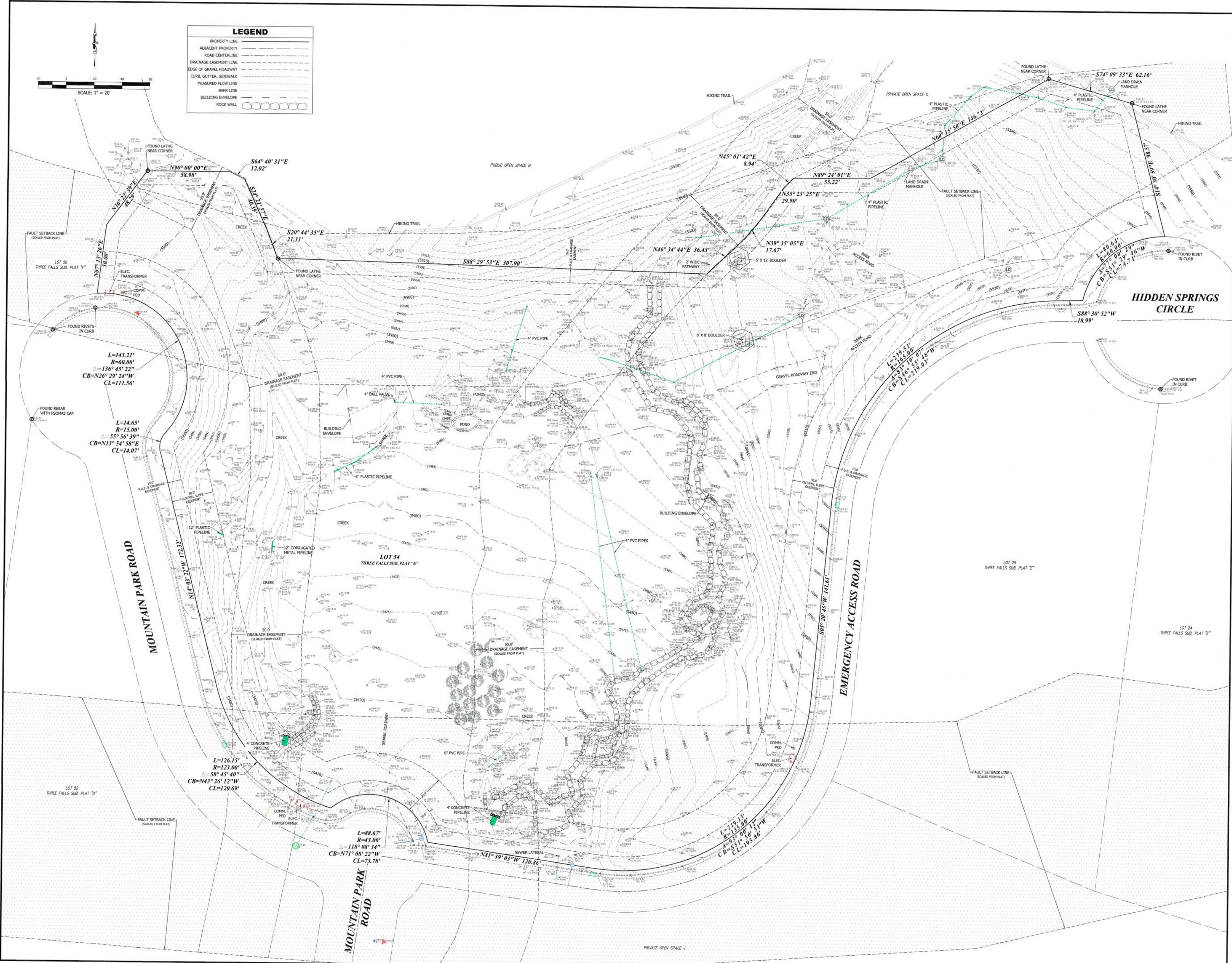


# Lot #54 Fort Canyon





Lot #54



1470 South 600 West  
Woodstock, UT 84010  
Phone: 801.224.8866  
www.entellus.com

Entellus

NO. 9182497  
Jeremiah  
Cunningham  
S. 22, 2025

LANDFORMS

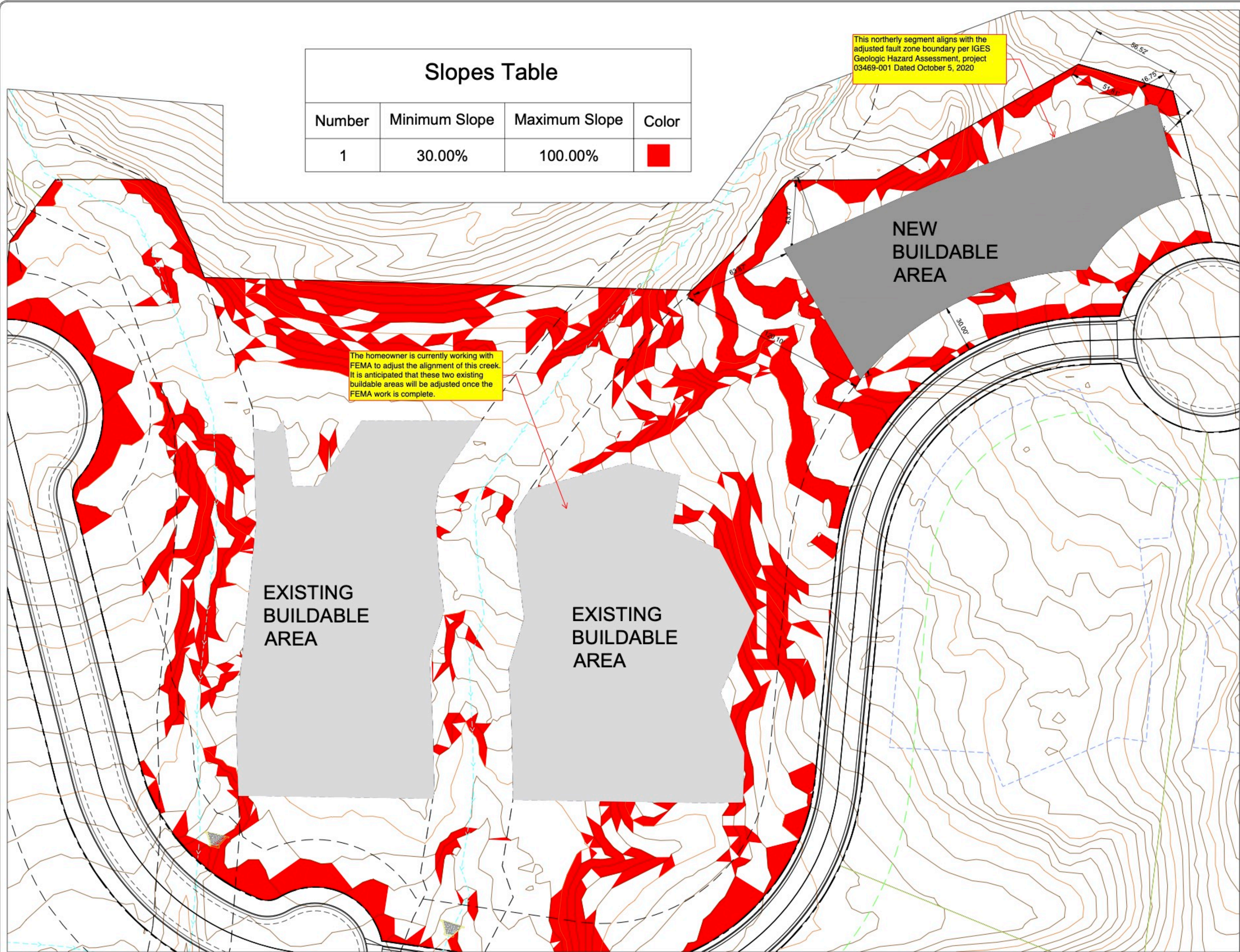
2000 NORTH MOUNTAIN SPRING ROAD  
LOT 54, THREE FALLS SUBDIVISION PLAT "E"  
LOCATED IN THE NORTHEAST 1/4 OF SECTION 12, T6S, R1E, S12R, 12E  
BLADE CITY, UTAH COUNTY, UTAH

DATE:	09/06/19
BY:	DEM
REVISION:	09/06/19
APPROVED:	09/06/19
DATE:	10/20/06
PROJECT:	TOPOG 120106.dwg

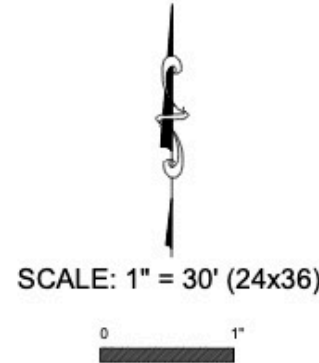
C48X36

TOPOGRAPHY



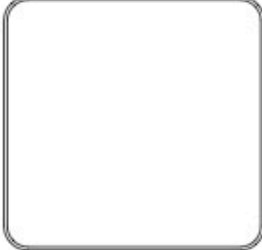


Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	30.00%	100.00%	<span style="color: red;">■</span>



SCALE: 1" = 30' (24x36)

REMARKS
Fall 2013 Lidar Contours used



**Building Pad Modification**  
**Lot 54, Three Falls Plat E**  
**February 19, 2021**

Engineering File  
Number:  
-

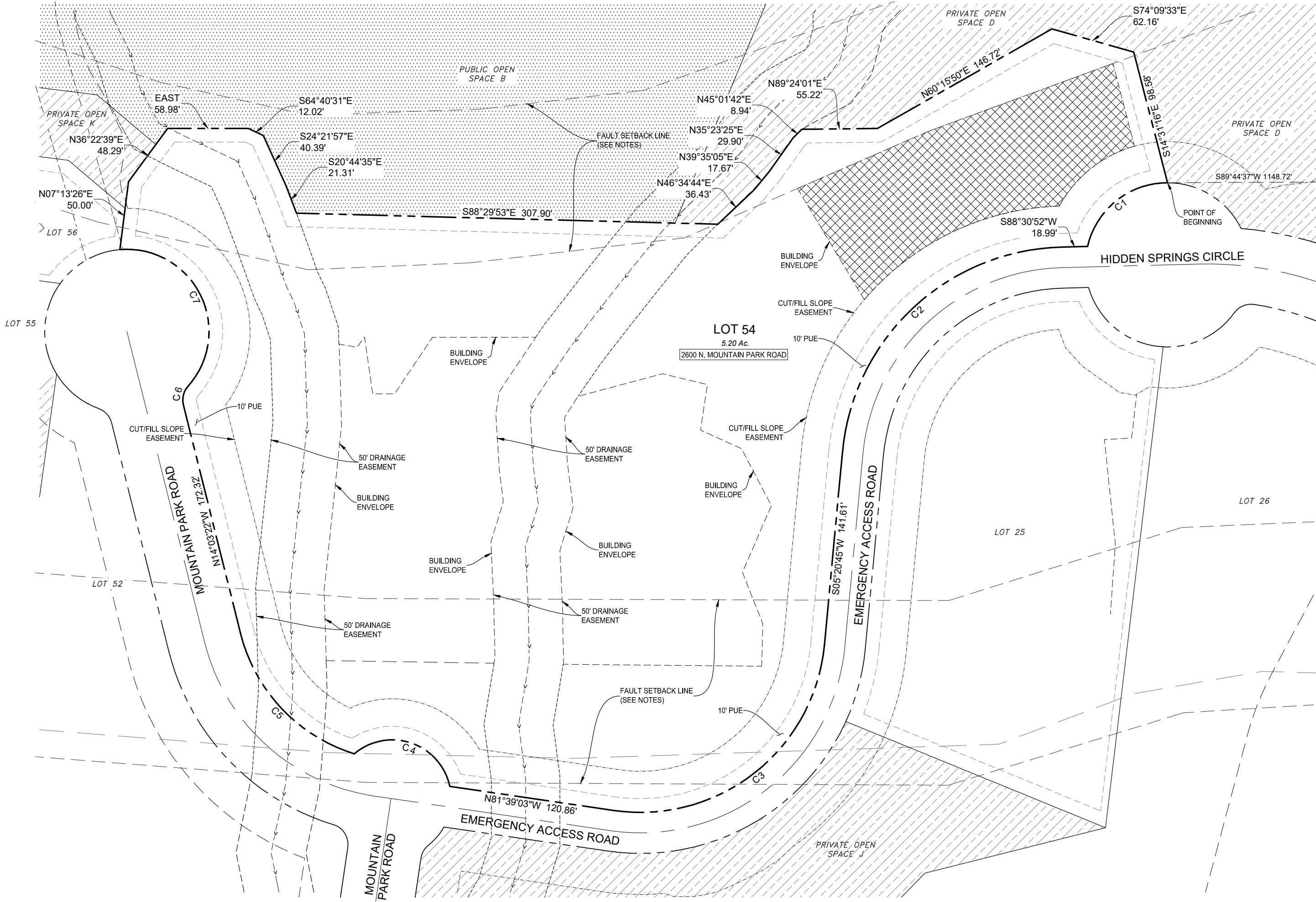
Drawing: 1  
Sheet: 1 of 1



# THREE FALLS SUBDIVISION PLAT "H"

AMENDING LOT 154 OF THREE FALLS SUBDIVISION PLAT "E"  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 12,  
TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,  
ALPINE CITY, UTAH COUNTY, UTAH

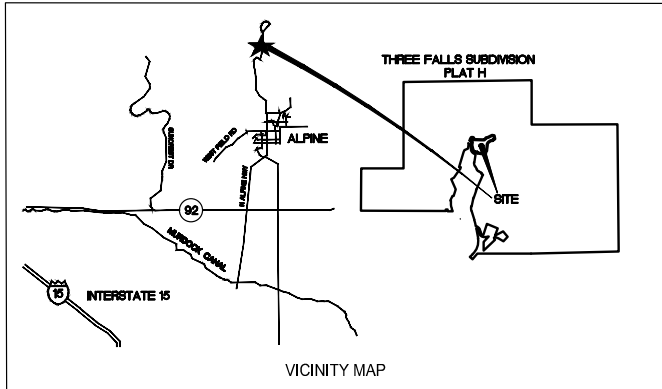
NORTHEAST CORNER SECTION 12  
TOWNSHIP 4 SOUTH, RANGE 1 EAST  
SALT LAKE BASE & MERIDIAN  
(FOUND G.L.O. MONUMENT 2" BRASS CAP)



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CH. BRG.	CH. DIST.
C1	80.64'	60.00'	77°00'29"	S51°29'46"W	74.71'
C2	239.51'	165.00'	83°10'07"	S46°55'49"W	219.03'
C3	219.13'	135.00'	93°00'12"	S51°50'51"W	195.86'
C4	88.67'	43.00'	118°08'47"	N71°08'22"W	73.78'
C5	126.15'	123.00'	58°45'40"	N43°28'12"W	120.69'
C6	14.65'	15.00'	55°56'39"	N13°54'58"E	14.07'
C7	143.21'	60.00'	136°45'22"	N26°29'24"W	111.56'

LEGEND			
	BOUNDARY LINE		CUT/FILL SLOPE EASEMENT
	LOT LINE		STREAM FLOW LINE
	ROAD CENTER LINE		STREAM SETBACK LINE
	ROAD RIGHT OF WAY		EASEMENT LINE
	TRAIL		BUILDING ENVELOPE
	FAULT LINE		PORTION OF BUILDING ENVELOPE WHERE SEWER IS NOT AVAILABLE
	FAULT OFFSET LINE		
	PUBLIC OPEN SPACE		PRIVATE OPEN SPACE
			BUILDING ENVELOPE (NEW)

- NOTES:
- ALL PROPERTY LINES TO HAVE A RIVET SET IN THE TOP OF CURB ON THE PROLONGATION OF EACH LOT LINE (AT THE FRONT OF EACH LOT).
  - FAULT SETBACK AREA SHOWN IS FROM A GEOLOGICAL HAZARD ASSESSMENT PREPARED BY IGES, DATED OCTOBER 5, 2020, IGES PROJECT NO. 03469-001.
  - PURPOSE OF THIS PLAT AMENDMENT IS TO DEFINE THE NEW BUILDING ENVELOPE AS SHOWN
  - PUE= PUBLIC UTILITY EASEMENT  
DE= DRAINAGE EASEMENT
  - EXCEPT AS MODIFIED BY THIS AMENDMENT, THE THREE FALLS SUBDIVISION PLAT AND CCR'S "DECLARATION" REMAIN IN FULL FORCE AND EFFECT.



EAST 1/4 COR.  
SEC. 12 T4S. R1E.  
SLB&M  
(FND 3" BC)

## SURVEYORS CERTIFICATE:

I, SHAWN R. VERNON DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NUMBER 270814 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

## BOUNDARY DESCRIPTION:

ALL OF LOT 54, THREE FALLS SUBDIVISION, PLAT "E", AS RECORDED SEPTEMBER 15, 2017 AS ENTRY NO. 2017-90460 IN THE OFFICE OF THE UTAH COUNTY RECORDER AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT BEING ON THE NORTHERLY LINE OF HIDDEN SPRINGS CIRCLE AND THE SOUTHEAST CORNER OF LOT 54, THREE FALLS SUBDIVISION, PLAT "E" RECORDED SEPTEMBER 15, 2017 AS ENTRY NO. 2017-90460 IN THE OFFICE OF THE UTAH COUNTY RECORDER, SAID POINT ALSO BEING 938.84 FEET NORTH 00°15'23" WEST AND 1148.72 FEET SOUTH 89°44'37" WEST FROM THE EAST QUARTER CORNER OF SECTION 12, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE SOUTHWESTERLY 80.64 FEET ALONG THE ARC OF A 60.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 77°00'29", (CHORD BEARS SOUTH 51°29'46" WEST 74.71 FEET); THENCE SOUTH 88°30'52" WEST 18.99 FEET; THENCE SOUTHWESTERLY 239.51 FEET ALONG THE ARC OF A 165.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 83°10'07", (CHORD BEARS SOUTH 46°55'49" WEST 219.03 FEET); THENCE SOUTH 05°20'45" WEST 141.61 FEET; THENCE SOUTHWESTERLY 219.13 FEET ALONG THE ARC OF A 135.00 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 93°00'12", (CHORD BEARS SOUTH 51°50'51" WEST 195.86 FEET); THENCE NORTH 81°39'03" WEST 120.86 FEET; THENCE NORTHWESTERLY 88.67 FEET ALONG THE ARC OF A 43.00 FOOT NON-TANGENT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 118°08'47", (CHORD BEARS NORTH 71°08'22" WEST 73.78 FEET); THENCE NORTHWESTERLY 126.15 FEET ALONG THE ARC OF A 123.00 FOOT NON-TANGENT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 58°45'40", (CHORD BEARS NORTH 43°26'12" WEST 120.69 FEET); THENCE NORTH 14°03'22" WEST 172.32 FEET; THENCE NORTHERLY 14.65 FEET ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 55°56'39", (CHORD BEARS NORTH 13°54'58" EAST 14.07 FEET); THENCE NORTHERLY 143.21 FEET ALONG THE ARC OF A 60.00 FOOT REVERSE CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 136°45'22", (CHORD BEARS NORTH 26°29'24" WEST 111.56 FEET); THENCE NORTH 07°13'26" EAST 50.00 FEET; THENCE NORTH 36°22'39" EAST 48.29 FEET; THENCE EAST 58.98 FEET; THENCE SOUTH 84°40'31" EAST 12.02 FEET; THENCE SOUTH 24°21'57" EAST 40.39 FEET; THENCE SOUTH 20°44'35" EAST 21.31 FEET; THENCE SOUTH 88°28'53" EAST 307.90 FEET; THENCE NORTH 46°34'44" EAST 36.43 FEET; THENCE NORTH 39°35'04" EAST 17.67 FEET; THENCE NORTH 35°23'25" EAST 29.90 FEET; THENCE NORTH 45°01'42" EAST 8.94 FEET; THENCE NORTH 89°24'01" EAST 55.22 FEET; THENCE NORTH 60°15'50" EAST 146.72 FEET; THENCE SOUTH 74°09'33" EAST 62.16 FEET; THENCE SOUTH 14°31'16" EAST 98.58 FEET TO THE POINT OF BEGINNING.

## OWNER'S DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT I, ONE OF THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS TO BE HEREINAFTER KNOWN AS THE

## THREE FALLS SUBDIVISION PLAT E

AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_, A.D. 20\_\_.

NAME: \_\_\_\_\_ TITLE: \_\_\_\_\_

NAME: \_\_\_\_\_ TITLE: \_\_\_\_\_

## ACKNOWLEDGEMENT:

STATE OF UTAH  
COUNTY OF \_\_\_\_ } S.S.

ON THE \_\_\_\_ DAY OF \_\_\_\_, 20\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED, NOTARY PUBLIC IN AND FOR THE COUNTY OF \_\_\_\_, IN SAID STATE OF UTAH, THE SIGNER OF THE ABOVE OWNER'S DEDICATION, WHO DULY ACKNOWLEDGED TO ME THAT HE/SHE, \_\_\_\_\_, SIGNED IT FREELY AND VOLUNTARILY AND FOR THE USE AND PURPOSE THEREIN MENTIONED.

MY COMMISSION EXPIRES \_\_\_\_\_.

NOTARY PUBLIC  
RESIDING IN \_\_\_\_\_

## ACCEPTANCE BY LEGISLATIVE BODY:

THE OF \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_ DAY OF \_\_\_\_, A.D. 20\_\_.

CITY MAYOR: \_\_\_\_\_

CITY COUNCIL: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

## PLANNING COMMISSION APPROVAL:

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_, A.D. 20\_\_, BY THE ALPINE CITY PLANNING COMMISSION.

DIRECTOR SECRETARY \_\_\_\_\_ CHAIRMAN, PLANNING COMMISSION

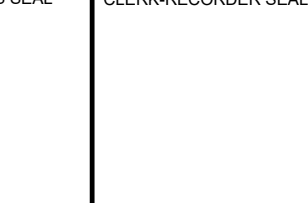
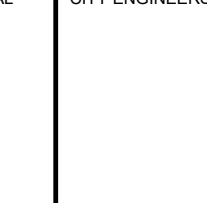
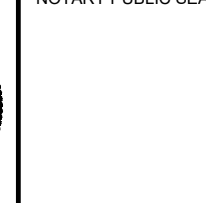
## APPROVAL AS TO FORM:

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_, A.D. 20\_\_.

CITY ATTORNEY \_\_\_\_\_

**THREE FALLS SUBDIVISION PLAT "H"**  
AMENDING LOT 154 OF THREE FALLS SUBDIVISION PLAT "E"  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 12,  
TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,  
ALPINE CITY, UTAH COUNTY, UTAH

SURVEYORS STAMP NOTARY PUBLIC SEAL CITY ENGINEERS SEAL CLERK-RECORDER SEAL





Request approval for plat change to  
accommodate the new buildable area

## #2 - City Ordinance Modification



# Purpose of the ordinance modification

The purpose of this request is to prepare the way for a guest house to be approved for lot #54.





# The Obstacle

**3.23.070 Review Conditions And Criteria For Certain Conditional Uses** states that guest houses need to use the *same drive access* as the main residence.

In discussion with the city planners, the original intent of this ordinance assumed rectangular lots and expected guest houses to be placed behind primary residences. To the knowledge of the city planners, this ordinance has not affected anybody since its inception.



# Existing Language

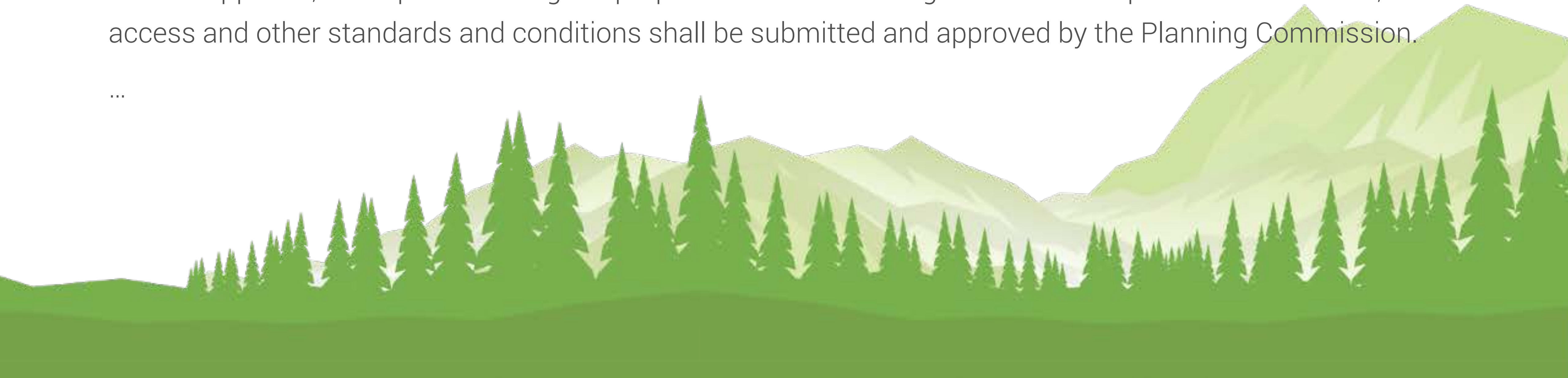
Guest Houses (Ord. 94-06, 5/24/94). Guest houses may be permitted as a conditional use, upon approval of the City Council and subject to compliance with the following:

...

The guesthouse shall be an integral part of the site plan for the principle dwelling and attendant lot area. Vehicular access to the guest house shall be over the same driveway as for the primary dwelling.

Prior to approval, a site plan showing the proposed location of the guesthouse and provision for utilities, vehicular access and other standards and conditions shall be submitted and approved by the Planning Commission.

...



# Proposed Language

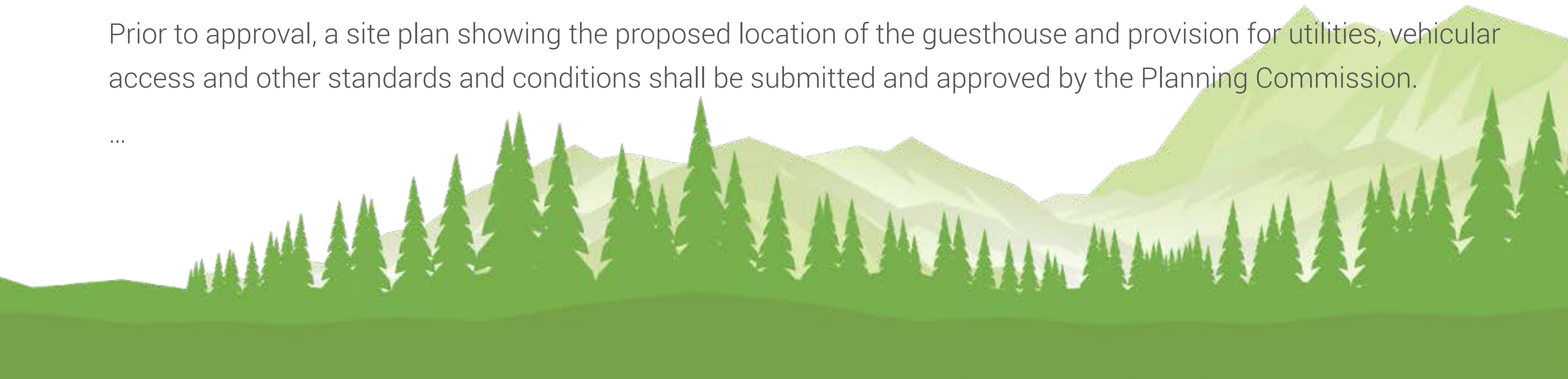
Guest Houses (Ord. 94-06, 5/24/94). Guest houses may be permitted as a conditional use, upon approval of the City Council and subject to compliance with the following:

...

The guesthouse shall be an integral part of the site plan for the principle dwelling and attendant lot area. Vehicular access to the guest house shall be over the same driveway as for the primary dwelling **or as recommended by the Planning Commission and approved by the City Council.**

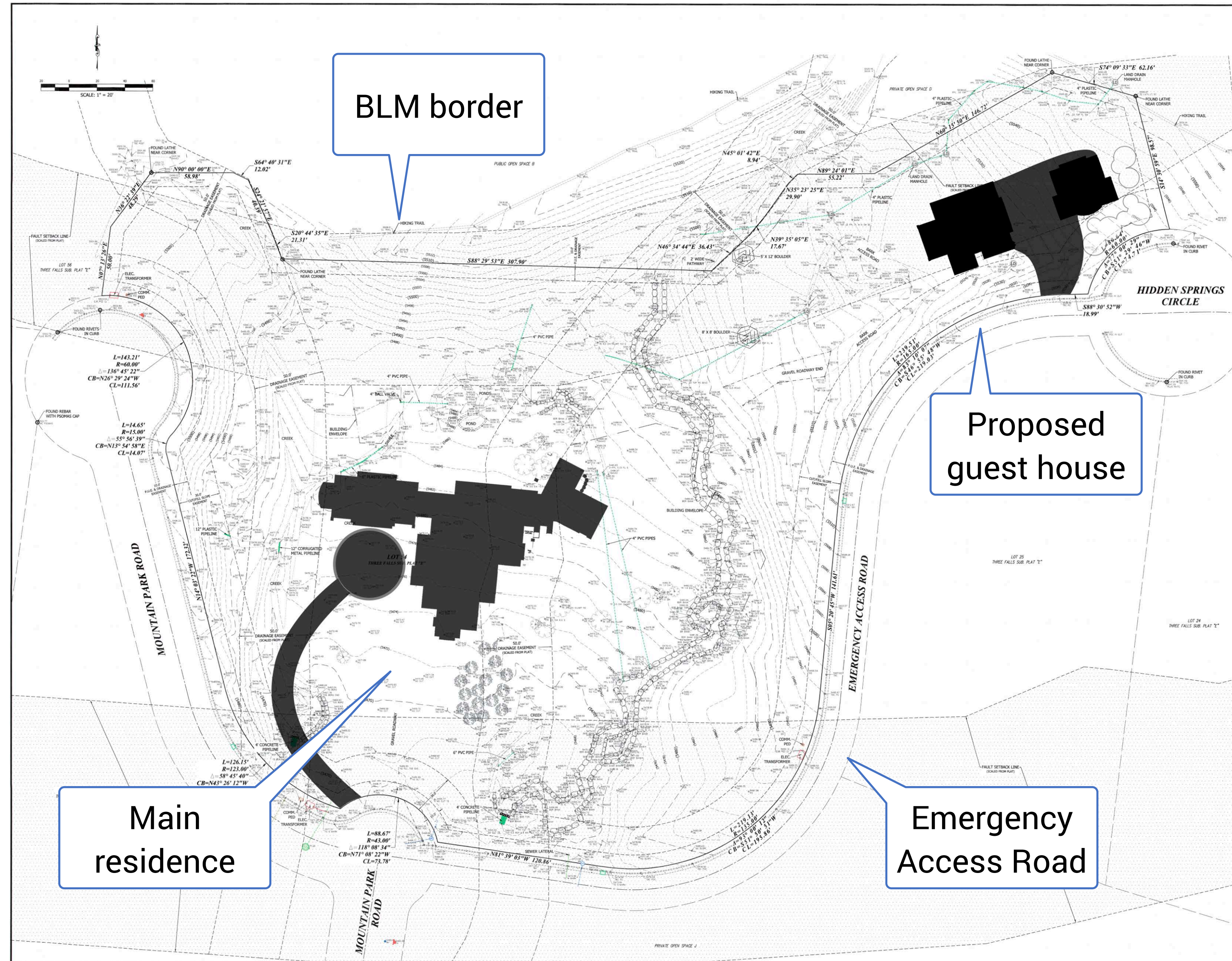
Prior to approval, a site plan showing the proposed location of the guesthouse and provision for utilities, vehicular access and other standards and conditions shall be submitted and approved by the Planning Commission.

...





A decorative graphic of stylized blue foliage, including a large monstera leaf and several smaller leaves and branches, positioned on the right side of the page.







## Street View

The structure would be behind more trees that are not pictured in this rendering

View from SW





# Almost there...

- ✓ Geological study
- ✓ Written approval of the plan from the nearest neighbors
- ✓ Written approval from the development's Design Review Committee
- ✓ Written approval from the HOA
- ✓ Approval for an ordinance modification





Request approval for ordinance modification



# #3 - Guest House Approval

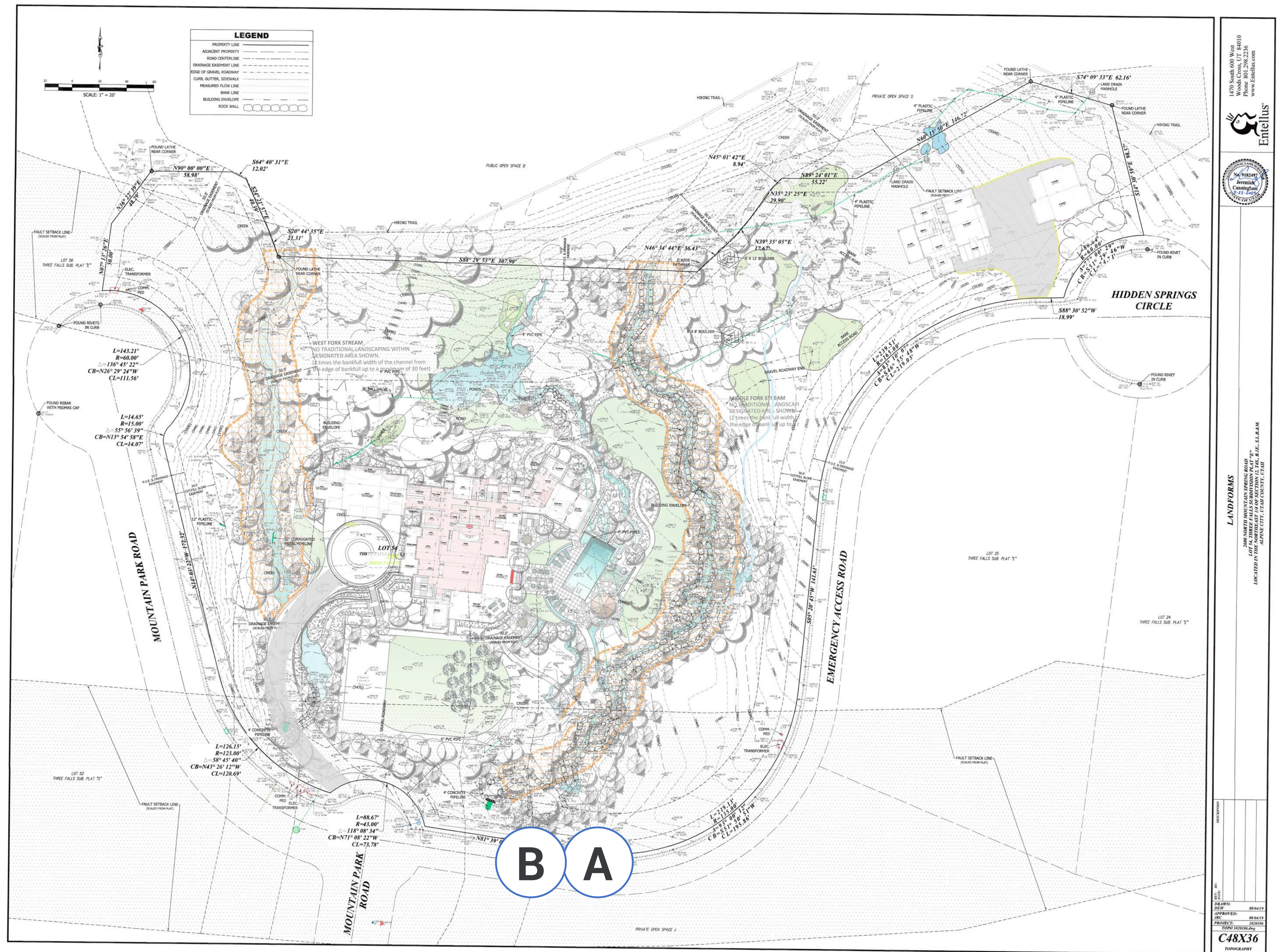




# Site Plan

Utilities for lot #54  
guest house shall run  
parallel to 'Emergency  
Access Road' to Water  
Access (A).

Sewage for lot #54  
guest house shall run  
parallel to 'Emergency  
Access Road' to the  
Sewer Lateral (B).





Request approval for guest house



AMENDING LOT 154 OF THREE FALLS SUBDIVISION PLAT "E"  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 12,  
TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,  
ALPINE CITY, UTAH COUNTY, UTAH



**LEGEND**

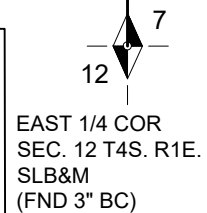
	BOUNDARY LINE		CUT/FILL SLOPE EASEMENT
	LOT LINE		STREAM FLOW LINE
	ROAD CENTER LINE		STREAM SETBACK LINE
	ROAD RIGHT OF WAY		EASEMENT LINE
	TRAIL		BUILDING ENVELOPE
	FAULT LINE		PORTION OF BUILDING ENVELOPE WHERE SEWER IS NOT AVAILABLE
	FAULT OFFSET LINE		

PUBLIC OPEN SPACE

PRIVATE OPEN SPACE

BUILDING ENVELOPE  
(NEW)

- NOTES:**
- 1 ALL PROPERTY LINES TO HAVE A RIVET SET IN THE TOP OF CURB ON THE PROLONGATION OF EACH LOT LINE (AT THE FRONT OF EACH LOT).
  - 2 FAULT SETBACK AREA SHOWN IS FROM A GEOLOGICAL HAZARD ASSESSMENT PREPARED BY IGES, DATED OCTOBER 5, 2020. IGES PROJECT NO. 03469-001.
  - 3 PURPOSE OF THIS PLAT AMENDMENT IS TO DEFINE THE NEW BUILDING ENVELOPE AS SHOWN
  - 4 PUE= PUBLIC UTILITY EASEMENT  
DE= DRAINAGE EASEMENT
  - 5 EXCEPT AS MODIFIED BY THIS AMENDMENT, THE THREE FALLS SUBDIVISION PLAT AND CCR'S "DECLARATION" REMAIN IN FULL FORCE AND EFFECT.



I, SHAWN R. VERNON DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NUMBER 270814 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

ALL OF LOT 54, THREE FALLS SUBDIVISION, PLAT "E", AS RECORDED SEPTEMBER 15, 2017 AS ENTRY NO. 2017-90460 IN THE OFFICE OF THE UTAH COUNTY RECORDER AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

[illegible]

KNOW ALL MEN BY THESE PRESENTS THAT I, ONE OF THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS TO BE HEREAFTER KNOWN AS THE

AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_, DAY OF \_\_\_\_\_, A.D. 20\_\_.

NAME: \_\_\_\_\_ TITLE: \_\_\_\_\_

STATE OF UTAH }  
COUNTY OF \_\_\_\_\_ } S.S.

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED  
NOTARY PUBLIC IN AND FOR THE COUNTY OF \_\_\_\_\_, IN SAID STATE OF UTAH, THE SIGNER OF THE ABOVE  
OWNER'S DEDICATION, WHO DULY ACKNOWLEDGED TO ME THAT HE/SHE, \_\_\_\_\_, SIGNED IT  
FREELY AND VOLUNTARILY AND FOR THE USE AND PURPOSE THEREIN MENTIONED.

MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC  
RESIDING IN \_\_\_\_\_

HE OF \_\_\_\_\_ OF \_\_\_\_\_, COUNTY OF UTAH, APPROVES THIS  
SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND  
INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

ITY MAYOR: \_\_\_\_\_

ITY COUNCIL: \_\_\_\_\_

ITY ENGINEER: \_\_\_\_\_

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BY THE ALPINE CITY PLANNING COMMISSION.


\_\_\_\_\_  
DIRECTOR SECRETARY

\_\_\_\_\_  
CHAIRMAN, PLANNING COMMISSION

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_,

ITY ATTORNEY

AMENDING LOT 154 OF THREE FALLS SUBDIVISION PLAT "E"  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 12,  
TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
ALPINE CITY, UTAH COUNTY, UTAH

SURVEYORS STAMP	NOTARY PUBLIC SEAL	CITY ENGINEERS SEAL	CLERK-RECORDER SEAL
			



## **ALPINE CITY COUNCIL AGENDA**

**SUBJECT: Plat Amendment – Three Falls Plat I**

**FOR CONSIDERATION ON: 30 November 2021**

**PETITIONER: Kyle Spencer representing Weston Lunsford**

**ACTION REQUESTED BY PETITIONER: Approve the Plat Amendment**

### **BACKGROUND INFORMATION:**

The Three Falls Subdivision Plat I consists of 1 lot on 1.92 acres. The property is located at 2241 North Three Falls Way, and in the CE-5 zone. The proposed plat would vacate and amend Lot 50 of Three Falls Subdivision Plat G. The primary reason for the plat amendment is to adjust boundaries between the lot and private open space, which in turn will adjust boundaries with public open space.

Staff have reviewed the proposal and have found that open space or trails would not be adversely impacted by the proposed boundary line adjustment.

On November 16, 2021, the Planning Commission reviewed the proposal and recommended that it be approved with the condition that the redlines be addressed and a letter of approval be obtained from the Three Falls Architectural Review Committee.

### **STAFF RECOMMENDATION:**

Approve the plat amendment as proposed.

### **SAMPLE MOTION TO APPROVE**

I move to approve Three Falls Subdivision Plat I with the following conditions:

- Prior to recording the Developer:
  - Address the redlines on the plat and plans.
  - Receive a letter of approval from the Three Falls Architectural Review Committee for the new proposed boundaries.

### **SAMPLE MOTION TO TABLE**

I move to table Three Falls Subdivision Plat I based on the following:

- \*\*INSERT FINDING\*\*



**ALPINE CITY  
STAFF REPORT**  
November 12, 2021

**To:** Alpine City Planning Commission & City Council

**From:** Staff

**Prepared By:** Austin Roy, City Planner  
Planning & Zoning Department

Jed Muhlestein, City Engineer  
Engineering & Public Works Department

**RE: THREE FALLS SUBDIVISION PLAT I**

Applicant: Kyle Spencer representing Weston Lunsford  
Project Location: 2241 North Three Falls Way  
Zoning: CE-5 Zone  
Acreage: 1.92 Acres  
Lot Number & Size: 1 lot at 83,635 Square Feet  
Request: Recommend and approve the amended plat

**SUMMARY**

The Three Falls Subdivision Plat I consists of 1 lot on 1.92 acres. The property is located at 2241 North Three Falls Way, and in the CE-5 zone. The proposed plat would vacate and amend Lot 50 of Three Falls Subdivision Plat G. The primary reason for the plat amendment is to adjust boundaries between the lot and private open space, which in turn will adjust boundaries with public open space.

**BACKGROUND**

The City has a drainage easement that currently runs through the south end of Lot 50. Following the boundary adjustment, the drainage easement will be in public open space. The plat amendment also does away with a strip of private open space and increases the width of the lot to allow for a larger building envelope.

**ANALYSIS**

**Lot Width and Area**

The proposed plat amendment does not significantly change or alter the width or area of the lot. Overall lot area is increased. The lot meets minimum requirements of the zone and PRD.

### Use

The use of the lot is not changing with the plat amendment. Single family dwellings are a permitted use in the zone

### Sensitive Lands (Wildland Urban Interface)

The property is in sensitive lands. Wildland Urban Interface requirements will apply to all structures to be built on the property.

### Trails

There are no trails or trail easements on this property.

### General Plan

The proposed plat amendment does away with some private open space, however no significant changes are made to the City open space. As mentioned above, a system storm drain easement is will now be on City open space following the boundary line adjustment. The proposed plat appears to be compatible with the General Plan.

### Other

None.

## **REVIEWS**

### PLANNING AND ZONING DEPARTMENT REVIEW

The analysis section in the body of this report serves as the Planning and Zoning Department review.

### ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW

This section constitutes the engineering review for the Three Falls Subdivision Plat I. There are a few minor remaining redline comments that need corrected and approved by Staff prior to recording.

### Lots

The lot contains the appropriate amount of space and frontage for the zone, based on the average slope of the lot as defined in section 3.03.040 of the Development Code.

### Natural Hazards

**Sensitive Lands.** The proposed development falls within the Geologic Hazards Overlay Zone which has areas identified as having the potential for rockfall, slide, and debris flows. Rockfall, debris flow, and slides were reviewed and, in each instance, were shown to have a low risk for such an event. Buildable areas have been restricted where steeper slopes reside.

### Other

There are some minor redlines to correct on the plans and plat.

## NOTICING

Notice has been properly issued in the manner outlined in City and State Code

### **STAFF RECOMMENDATION**

Review staff report and findings and make a motion to approve or table the proposed plat amendment. Findings are outlined below.

Findings for a Positive Motion:

- A. The proposed plat meets ordinance.

Findings for a Motion to Table:

- A. None.

### **MODEL MOTIONS**

#### **SAMPLE MOTION TO APPROVE**

I move to recommend approval of Three Falls Subdivision Plat I with the following conditions:

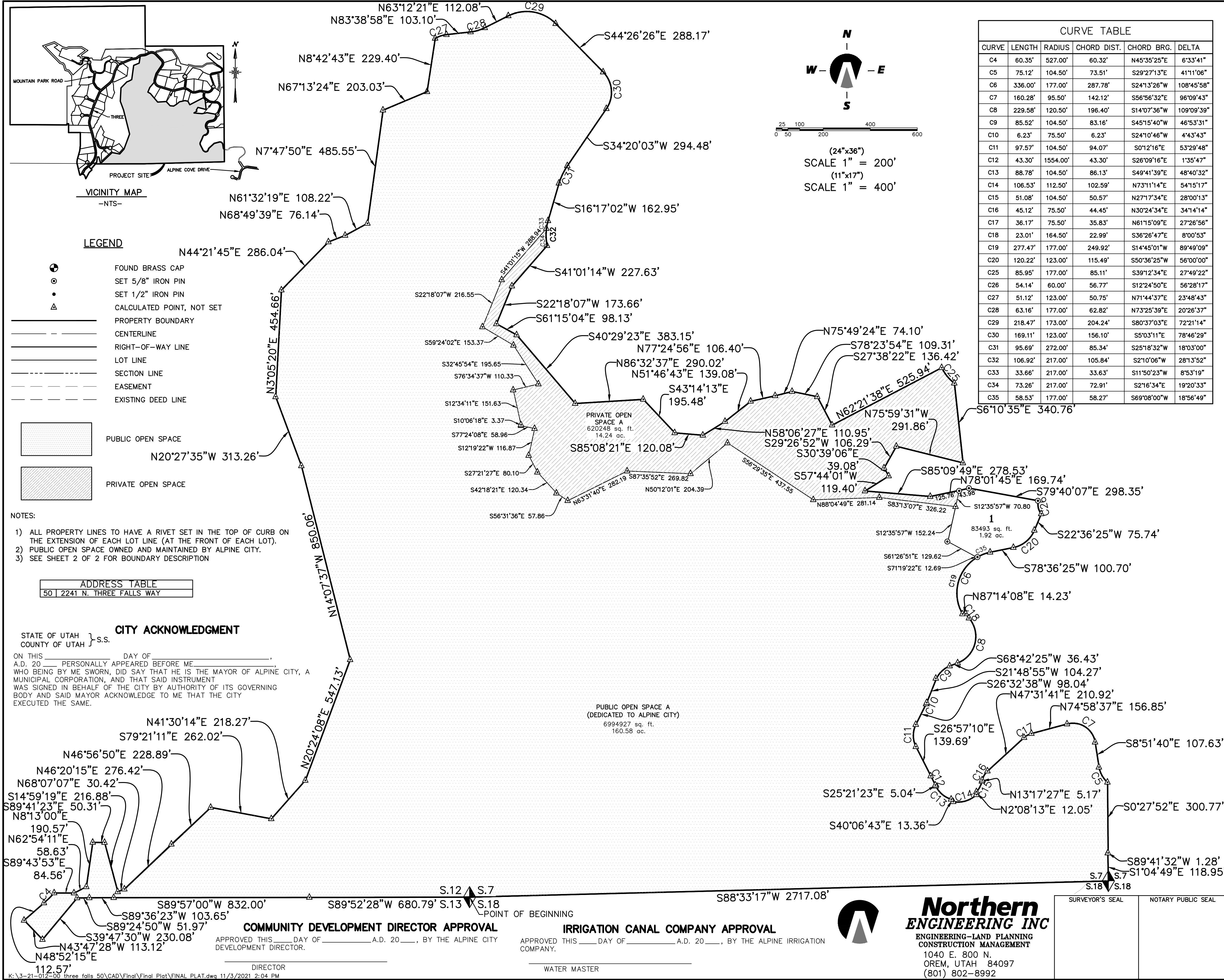
- Prior to recording the Developer:
  - Address the redlines on the plat and plans.
  - Receive a letter of approval from the Three Falls Architectural Review Committee for the new proposed boundaries.

#### **SAMPLE MOTION TO TABLE**

I move to table Three Falls Subdivision Plat I based on the following:

- **\*\*INSERT FINDING\*\***





**SURVEYOR'S CERTIFICATE**

I, KENNETH E. BARNEY, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 172762. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, PSOMAS HAVE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND I HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND PSOMAS HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE \_\_\_\_\_ KENNETH E. BARNEY, P.L.S.

**BOUNDARY DESCRIPTION**

SEE SHEET 2 OF 2 FOR BOUNDARY DESCRIPTION

**OWNER'S DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. PURSUANT TO UTAH CODE 10-9A-604C, THE OWNERS HEREBY CONVEY & DEDICATES THE PUBLIC OPEN SPACE PARCELS A, E, AND H TO ALPINE CITY, THE OWNERS HEREBY COVEYS & DEDICATES THE PRIVATE OPEN SPACE PARCELS A, C, AND E TO THE THREE FALLS HOMEOWNERS ASSOCIATION, A UTAH NON-PROFIT CORPORATION WITH A REGISTERED ADDRESS OF 2085 N. THREE FALLS DRIVE ALPINE, UT. 84004.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

BY: \_\_\_\_\_ L.C.

**ACKNOWLEDGMENT**

STATE OF UTAH } S.S.  
COUNTY OF UTAH }

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 20\_\_\_\_, BEFORE ME \_\_\_\_\_, THE SIGNER OF THIS DOCUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE \_\_\_\_\_, [NAME OF OFFICE] OF \_\_\_\_\_, A UTAH CORPORATION, AND IS AUTHORIZED TO EXECUTE THE FOREGOING INSTRUMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

NOTARY PUBLIC \_\_\_\_\_

NOTARY FULL NAME \_\_\_\_\_ A NOTARY COMMISSIONED IN UTAH

COMMISSION NUMBER \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

**ACKNOWLEDGMENT**

STATE OF UTAH } S.S.  
COUNTY OF UTAH }

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 20\_\_\_\_, BEFORE ME \_\_\_\_\_, PERSONALLY APPEARED \_\_\_\_\_, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS A \_\_\_\_\_, [MEMBER WITH MANAGEMENT AUTHORITY] [MANAGER] OF \_\_\_\_\_, A UTAH LIMITED LIABILITY COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

NOTARY PUBLIC \_\_\_\_\_

NOTARY FULL NAME \_\_\_\_\_ A NOTARY COMMISSIONED IN UTAH

COMMISSION NUMBER \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**

THE CITY COUNCIL OF ALPINE, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

APPROVED \_\_\_\_\_ ATTEST \_\_\_\_\_  
CITY ENGINEER (SEE SEAL) CITY RECORDER (SEE SEAL)

**THREE FALLS SUBDIVISION  
PLAT "I"**

SECTION INFORMATION HERE

ALPINE CITY UTAH COUNTY, UTAH

SCALE: 1" = 200 FEET

CITY-COUNTY ENGINEER SEAL CLERK-RECORDER SEAL UTAH COUNTY RECORDER STAMP



BOUNDARY DESCRIPTION OF PLAT "I" THREE FALLS SUBDIVISION

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 2 EAST, AND THE EAST HALF OF SECTION 12, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS"

COMMENCING AT A BRASS CAP MONUMENT MARKING THE SOUTHEAST CORNER OF SAID SECTION 12, SAID MONUMENT BEING THE POINT OF BEGINNING.

AND RUNNING THENCE ALONG THE SOUTHERLY BOUNDARY OF THREE FALLS SUBDIVISION, RECORDED SEPTEMBER 16<sup>TH</sup> 2015 AS ENTRY NO. 84712:2015 AND MAP FILING NO. 14761 IN THE OFFICE OF THE UTAH COUNTY RECORDER, THE FOLLOWING FOUR (4) COURSES, SAID SOUTHERLY BOUNDARY LINE DEPARTS FROM THE SECTION LINE WITH THE FIRST COURSE: (1) S. 89°52'28" W. A DISTANCE OF 680.79 FEET, THENCE (2) S. 89°57'00" W. A DISTANCE OF 832.00 FEET, THENCE (3) S. 89°36'23" W. A DISTANCE OF 103.65 FEET, THENCE (4) S. 89°24'50" W. A DISTANCE OF 51.97 FEET, THENCE S. 39°47'30" W. A DISTANCE OF 230.08 FEET TO THE NORTHERLY LINE OF PUBLIC OPEN SPACE G, AS SHOWN ON SAID THREE FALLS SUBDIVISION; THENCE, ALONG SAID NORTHERLY LINE N. 43°47'28" W. A DISTANCE OF 113.12 FEET TO THE EASTERLY LINE OF THREE FALLS DRIVE, AS SHOWN ON SAID THREE FALLS SUBDIVISION, THENCE, ALONG SAID EASTERLY RIGHT OF WAY LINE, THE FOLLOWING TWO (2) COURSES 1) N. 48°52'15" E. A DISTANCE OF 112.57 FEET, (2) TO A POINT OF CURVATURE OF A 527.00-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, 60.35 FEET, HAVING A CENTRAL ANGLE OF 06°33'41" AND A CHORD THAT BEARS N.45°35'25"E. A DISTANCE OF 60.32 FEET, THENCE S.89°43'53"E. A DISTANCE OF 84.56 FEET; THENCE N.62°54'11"E. A DISTANCE OF 58.63 FEET; THENCE N.08°13'00"E. A DISTANCE OF 190.57 FEET; THENCE S.89°41'23"E. A DISTANCE OF 50.31 FEET; THENCE S.14°59'19"E. A DISTANCE OF 216.88 FEET; THENCE N.68°07'07"E. A DISTANCE OF 30.42 FEET; THENCE N.46°20'15"E. A DISTANCE OF 276.42 FEET; THENCE N.46°56'50"E. A DISTANCE OF 228.89 FEET; THENCE S.79°21'11"E. A DISTANCE OF 262.02 FEET; THENCE N.41°30'14"E. A DISTANCE OF 218.27 FEET; THENCE N.20°24'08"E. A DISTANCE OF 547.13 FEET; THENCE N.14°07'37"W. A DISTANCE OF 850.06 FEET; THENCE N.20°27'35"W. A DISTANCE OF 313.26 FEET; THENCE N.03°05'20"E. A DISTANCE OF 454.66 FEET; THENCE N.44°21'45"E. A DISTANCE OF 286.04 FEET; THENCE N.68°49'39"E. A DISTANCE OF 76.14 FEET; THENCE N.61°32'19"E. A DISTANCE OF 108.22 FEET; THENCE N.07°47'50"E. A DISTANCE OF 485.55 FEET; THENCE N.67°13'24"E. A DISTANCE OF 203.03 FEET; THENCE N.08°42'43"E. A DISTANCE OF 229.40 FEET MORE OR LESS TO THE EASTERLY RIGHT OF WAY LINE OF AFORESAID THREE FALLS DRIVE, THENCE ALONG SAID THREE FALLS DRIVE, THE FOLLOWING ELEVEN (11) COURSES: TO A POINT OF CURVATURE OF A 123.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT: 1) THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, 51.12 FEET, HAVING A CENTRAL ANGLE OF 23°48'43" AND A CHORD THAT BEARS N. 71°44'37" E. A DISTANCE OF 50.75 FEET; 2) THENCE N. 83°38'58" E. A DISTANCE OF 103.10 FEET TO A POINT OF CURVATURE OF A 177.00-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE 3) NORTHEASTERLY ALONG THE ARC OF SAID CURVE, 63.16 FEET, HAVING A CENTRAL ANGLE OF 20°26'37" AND A CHORD THAT BEARS N. 73°25'39"E. A DISTANCE OF 62.82 FEET; 4) THENCE N. 63°12'21" E. A DISTANCE OF 112.08 FEET TO A POINT OF CURVATURE OF A 173.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE 5) SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 218.47 FEET, HAVING A CENTRAL ANGLE OF 72°21'14" AND A CHORD THAT BEARS S.80°37'03"E. A DISTANCE OF 204.24 FEET; 6) THENCE S. 44°26'26" E. A DISTANCE OF 288.17 FEET TO A POINT OF CURVATURE OF A 123.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE 7) SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 169.11 FEET, HAVING A CENTRAL ANGLE OF 78°46'29" AND A CHORD THAT BEARS S.05°03'11"E. A DISTANCE OF 156.10 FEET; 8) THENCE S. 34°20'03" W. A DISTANCE OF 294.48 FEET TO A POINT OF CURVATURE OF A 272.00-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE 9) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 85.69 FEET, HAVING A CENTRAL ANGLE OF 18°03'00" AND A CHORD THAT BEARS S. 25°18'32" W. A DISTANCE OF 85.34 FEET; 10) THENCE S. 16°17'02" W. A DISTANCE OF 162.95 FEET TO A POINT OF CURVATURE OF A 217.00-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE 11) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 106.92 FEET, HAVING A CENTRAL ANGLE OF 28°13'52" AND A CHORD THAT BEARS S. 02°10'06" W. A DISTANCE OF 105.84 FEET MORE OR LESS TO THE NORTHWEST CORNER OF LOT 41 OF SAID THREE FALLS SUBDIVISION PLAT E, THENCE S. 41°01'14" W. A DISTANCE OF 227.63 FEET; THENCE S. 22°18'07" W. A DISTANCE OF 173.66 FEET; THENCE S. 61°15'04" E. A DISTANCE OF 98.13 FEET; THENCE S. 40°29'23" E. A DISTANCE OF 383.15 FEET; THENCE N. 86°32'37" E. A DISTANCE OF 290.02 FEET; THENCE S.43°14'13"E. A DISTANCE OF 195.48 FEET; THENCE S.85°08'21"E. A DISTANCE OF 120.08 FEET; THENCE N.88°06'27"E. A DISTANCE OF 110.95 FEET; THENCE N.51°46'43"E. A DISTANCE OF 139.08 FEET; THENCE N.77°24'56"E. A DISTANCE OF 106.40 FEET; THENCE N.75°49'24"E. A DISTANCE OF 74.10 FEET; THENCE S.78°23'54"E. A DISTANCE OF 109.31 FEET; THENCE S.27°38'22"E. A DISTANCE OF 136.42 FEET; THENCE N.62°21'38"E. A DISTANCE OF 525.94 FEET; TO A POINT OF CURVATURE OF A 177.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE ALONG THE ARC OF SAID CURVE, 85.95 FEET, HAVING A CENTRAL ANGLE OF 27°49'22" AND A CHORD THAT BEARS S.39°12'34"E. A DISTANCE OF 85.11 FEET; THENCE S.06°10'35"E. A DISTANCE OF 340.76 FEET; THENCE N.75°59'31"W. A DISTANCE OF 291.86 FEET; THENCE S.29°26'52"W. A DISTANCE OF 106.29 FEET; THENCE S.30°39'05"E. A DISTANCE OF 39.06 FEET; THENCE S.57°44'01"W. A DISTANCE OF 119.40 FEET; THENCE S.85°09'49"E. A DISTANCE OF 278.53 FEET; THENCE N.78°01'45"E. A DISTANCE OF 169.74 FEET; THENCE S.79°40'07"E. A DISTANCE OF 298.35 FEET TO A POINT OF CURVATURE OF A 60.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 54.14 FEET, HAVING A CENTRAL ANGLE OF 56°28'17" AND A CHORD THAT BEARS S.12°24'50"E. A DISTANCE OF 56.77 FEET; THENCE S.22°36'25" W. A DISTANCE OF 75.74 FEET TO A POINT OF CURVATURE OF A 123.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT, THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 120.22 FEET, HAVING A CENTRAL ANGLE OF 56°00'00" AND A CHORD THAT BEARS S.50°36'25"W. A DISTANCE OF 115.49 FEET; THENCE S.78°36'25"W. A DISTANCE OF 100.70 FEET TO A POINT OF CURVATURE OF A 177.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 336.00 FEET, HAVING A CENTRAL ANGLE OF 108°45'58" AND A CHORD THAT BEARS S.24°13'26"W. A DISTANCE OF 287.78 FEET THENCE N.87°14'08"E. A DISTANCE OF 14.23 FEET; TO A POINT OF CURVATURE OF A 164.50-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 23.01 FEET. HAVING A CENTRAL ANGLE OF 08°00'53" AND A CHORD THAT BEARS S.36°26'47"E. A DISTANCE OF 22.99 FEET; TO A POINT OF CURVATURE OF A 120.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE ALONG THE ARC OF SAID CURVE, 229.58 FEET. HAVING A CENTRAL ANGLE OF 109°09'39" AND A CHORD THAT BEARS S.14°07'36"W. A DISTANCE OF 196.40 FEET; THENCE S.68°42'25"W. A DISTANCE OF 36.43 FEET TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE, 85.52 FEET. HAVING A CENTRAL ANGLE OF 46°53'31" AND A CHORD THAT BEARS S.45°15'40"W. A DISTANCE OF 83.16 FEET; THENCE S.21°48'55"W. A DISTANCE OF 104.27 FEET TO A POINT OF CURVATURE OF A 75.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE ALONG THE ARC OF SAID CURVE, 6.23 FEET. HAVING A CENTRAL ANGLE OF 04°43'43" AND A CHORD THAT BEARS S.24°10'46"W. A DISTANCE OF 6.23 FEET; THENCE S.26°32'38"W. A DISTANCE OF 98.04 FEET TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE 97.57 FEET; HAVING A CENTRAL ANGLE OF 53°29'48" AND A CHORD THAT BEARS S. 00°12'16" E. A DISTANCE OF 94.07 FEET; THENCE S.26°57'10"E. A DISTANCE OF 139.69 FEET; TO A POINT OF CURVATURE OF A 1554.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 43.30 FEET. HAVING A CENTRAL ANGLE OF 01°35'47" AND A CHORD THAT BEARS S.26°09'16"E. A DISTANCE OF 43.30 FEET; THENCE S.25°21'23"E. A DISTANCE OF 5.04 FEET TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 88.78 FEET. HAVING A CENTRAL ANGLE OF 48°40'32" AND A CHORD THAT BEARS S.49°41'39"E. A DISTANCE OF 86.13 FEET; THENCE S.40°06'43"E. A DISTANCE OF 13.36 FEET TO A POINT OF CURVATURE OF A 112.50-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE, 106.53 FEET. HAVING A CENTRAL ANGLE OF 54°15'17" AND A CHORD THAT BEARS N.73°11'14"E. A DISTANCE OF 102.59 FEET; THENCE N.02°08'13"E. A DISTANCE OF 12.05 FEET TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE, 51.08 FEET. HAVING A CENTRAL ANGLE OF 28°00'13" AND A CHORD THAT BEARS N.27°17'34"E. A DISTANCE OF 50.57 FEET; THENCE N.13°17'27"E. A DISTANCE OF 5.17 FEET; TO A POINT OF CURVATURE OF A 75.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE ALONG THE ARC OF SAID CURVE, 45.12 FEET. HAVING A CENTRAL ANGLE OF 34°14'14" AND A CHORD THAT BEARS N.30°24'34"E. A DISTANCE OF 44.45 FEET; THENCE N.47°31'41"E. A DISTANCE OF 210.92 FEET; TO A POINT OF CURVATURE OF A 75.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE ALONG THE ARC OF SAID CURVE, 36.17 FEET. HAVING A CENTRAL ANGLE OF 27°26'56" AND A CHORD THAT BEARS N.61°15'09"E. A DISTANCE OF 35.83 FEET; THENCE N.74°58'37"E. A DISTANCE OF 156.85 FEET; TO A POINT OF CURVATURE OF A 95.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT; THENCE ALONG THE ARC OF SAID CURVE, 160.28 FEET. HAVING A CENTRAL ANGLE OF 96°09'43" AND A CHORD THAT BEARS S.56°56'32"E. A DISTANCE OF 142.12 FEET; THENCE S.08°51'40"E. A DISTANCE OF 107.63 FEET TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 75.12 FEET. HAVING A CENTRAL ANGLE OF 41°11'06" AND A CHORD THAT BEARS S.29°27'13"E. A DISTANCE OF 73.51 FEET; THENCE S. 00°27'52" E. A DISTANCE OF 300.77 FEET; THENCE S. 89°41'32" W. A DISTANCE OF 1.28 FEET; THENCE S. 01°04'49" E. A DISTANCE OF 118.95 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 7; THENCE ALONG THE SOUTHERLY LINE OF SAID SECTION 7, S. 88°33'17" W. A DISTANCE OF 2717.08 FEET TO THE POINT OF BEGINNING.

CONTAINING 176.745 ACRES OF LAND MORE OR LESS.

Development Notes:

1- Prior plat superseded. This plat, when recorded, shall supersede any prior plat covering the same property.

2- Development agreement. This Three Falls subdivision (the "project") is subject to that certain subdivision and improvement agreement, executed and dated March 31, 2015 (the "development agreement") between Alpine City (the "city") and developer Three Falls Development, Inc. ("declarant").

3- Governing documents for the project. Project documents, including, specifically, a declaration of covenants, conditions, and restrictions for Three Falls (the "declaration"), bylaws for the Three Falls homeowners association ("bylaws"), and the Three Falls design guidelines (the "design guidelines") have been prepared by the declarant and shall govern the project (the foregoing documents, together with this plat are, collectively, the "governing documents"). Additionally, the declarant has or will establish a homeowners association (the "association") consistent with the declaration to operate in accordance with the bylaws to enforce the covenants and restrictions in the governing documents and to maintain the common areas and facilities (as defined in the declaration) for the benefit of the project lot owners and the project.

4- Each lot in this plat has a building activity envelope location designated by the declarant. Excluding driveways and/or cuts and fill by the declarant for the purpose of construction project roadways or other uses permitted by the governing documents, all improvements must remain in this envelope. Purchasers of any lots within the project are directed to the declaration and design guidelines for further information regarding building activity envelope locations, restrictions, and allowances. Other than authorized association or declarant personnel, no motorized vehicles may be operated on any lot in this plat outside of the building activity envelope or driveway corridor.

5- Roads. In accordance with the development agreement, certain improvements to Fort Canyon Road, internal roads, and the secondary access road reflected hereon (Mountain Park Road) have been or will be constructed by the declarant, and said improvements shall be and hereby are dedicated to the city and all maintenance thereof shall be the responsibility of the city. Roads within the project, as identified in this plat, shall be and hereby are dedicated to the city as public roadways and all maintenance thereof shall be the responsibility of the city.

6- Certain lots and open spaces in Three Falls contain a cut/fill slope easement for the subdivision's roadways. The easement is necessary for the construction and maintenance of the roadways within the subdivision. This easement is for the benefit of Alpine City. Lot owners may not alter or affect this easement in any way unless expressly authorized by the Three Falls design review committee and Alpine City.

7- The total amount of irrigated landscaping shall not exceed one (1) acre.

8- Association responsibility for certain other improvements. The declarant has or may construct and/or install gatehouse gates, emergency gates, monument entry features, signage, and landscaping around the public trailhead within the project, not inconsistent with the governing documents (collectively, the "improvements"). Such improvements shall be included in the common areas and facilities, as defined in the declaration, and shall be privately owned and maintained by the association. Maintenance of any private driveway entry feature constructed on a lot in this project shall be the responsibility of the lot owner.

9- PURSUANT TO UTAH CODE 10-9A-604(D), public open space, public trail easement, public trailhead, indemnification. All public open space (including the public trails thereon) (the "public open space"), as shown on this plat, shall be and hereby is dedicated to Alpine City for the use and enjoyment of the public during hours of operation pursuant to Alpine City park and open space ordinances. The declarant has or will construct a public trailhead (consisting of a restroom facility and parking) not inconsistent with this plat or the development agreement. The public open space and the hardscape portion of the public trailhead (specifically, the restroom facilities and parking areas) shall be and hereby are dedicated to the city and all maintenance of the public open space and hardscape portions of the public trailhead shall be the responsibility of the city. Additionally, the declarant has or will construct a public trail through a portion of the private open space as reflected on this plat. A public trail easement, as shown on this plat, shall be and hereby is established for the use and enjoyment of the public. Consistent with the development agreement, the landscaped area around the public trail head shall be privately owned by the association and maintenance thereof shall be the responsibility of the association. Notwithstanding anything herein to the contrary, the city acknowledges and agrees that it shall indemnify and hold harmless, the declarant, the association, and lot owners within the project, from and against any and all claims and liabilities of any type or nature arising from or in any way connected to the use of the public open space, the public trails, the public trail easement, and/or the public trailhead by the public or any member thereof.

9B- Pursuant to Utah Code 10-9A-604(D), The owner hereby conveys the private Open Space Areas as indicated hereon to the Three falls home owner's Association, a Utah nonprofit Corporation with a registered address of 2085 n. three falls drive Alpine, ut. 84004.

10- Utility easements subject to the public trail easement, liability for damage to open space or public trail. Any public utility easement ("PUE") established by and/or reflected on this plat or by the declaration is subject to the public trail easement shown hereon. Any damage to the public open space, public trail, or public trailhead within the project or any portions thereof caused by a utility provider shall be the responsibility of that utility provider to repair, at its sole expense, and restore the damaged area substantially the same condition as existed immediately prior to the damage, as determined by city, in its discretion. Similarly, any damage to the public open space, public trail, or public trailhead within the project, or any portion thereof, caused by any owner of a lot within the project shall be the responsibility of that lot owner to repair, at the lot owner's sole expense, and restore the damaged area to substantially the same condition as existed immediately prior to the damage, as determined by the city, in its discretion.

11- Non-combustible roofing material required: roofing materials for dwellings and any out buildings must be non-combustible and approved by the Three Falls design review committee. No wood shake roofing material will be permitted.

12- Compliance with sensitive land ordinance. All lot owners must comply with the city's sensitive lands ordinance.

13- Building permits. Pursuant to the development agreement, the declarant has or will construct and/or install certain required public improvements including water, sewer, and storm drains (collectively, the "public improvements"). Building permit for any lot within the project will not be issued from the city until such time as the public improvements have been completed by the declarant in accordance with city ordinance, standards, and specifications.

14- Building height restrictions, lot restrictions. All lots within the project are subject to the requirements and restrictions set forth in the declaration, design guidelines, and to city ordinances. In no event shall the height of any building within the project exceed the maximum 34 feet allowed by city standards. Lots 7, 8, 9, 10, and 16 have restrictions placed upon them by the declarant. Purchasers of any of these additionally restricted lots are directed to the design guidelines for the specific additional restrictions.

15- Utility easements. Public utility providers shall have the right to install, maintain, and operate their respective utility lines, pipes, conduits, cables, and/or equipment (all of the foregoing individually or collectively a "utility line") above and below ground within the PUE, as may be necessary or desirable in providing utility services within the project and to the individual lots identified herein. PUEs include a right of access to and a right to require removal of any obstructions including structures, trees, and vegetation that may be located within the public utility easement located on a lot. A utility provider may require the lot owner to remove all structures within the PUE at the lot owner's expense. At no time may any permanent structures or other obstruction which interferes with the use of the PUE be placed within the PUE without the prior written approval of the utility provider having a utility line in the PUE.

16- Service districts. Three Falls is served by or included within the boundaries of Alpine City, Timpanogos Special Service District, North Utah County Water Conservancy District, Wasatch Mental Health Special Service District, North Utah Valley Animal Shelter Special Service District, and Utah Valley Dispatch Special Service District. All lots are subject to assessments and fees of the foregoing district(s).

17- Private open space. The private open space, as reflected on this plat, less and excepting public trail easement reflected thereon, (the "private open space") is for the exclusive use and enjoyment of the project lot owners. The private open space shall be maintained by the association and the maintenance thereof shall be the responsibility of the association. Notwithstanding, any damage to any private open space or portion thereof caused by any construction, landscaping on a lot, or other improvement to the lot may be repaired by the association and the damaged portion of the private open space restored to substantially the same condition as existed immediately prior to the damage and the cost for such repair and/or restoration may be assessed to the responsible lot owner as a special assessment as provided in the declaration. Notwithstanding anything to the contrary contained herein, the declarant retains the right to construct and/or install private trails within the boundaries of the private open space. Other than authorized city, association, or declarant personnel, no motorized vehicles are allowed on the private or public trails.

18- Declarant rights retained, permanent drainage, and other easements. The declarant retains permanent easements throughout the project for drainage, natural drainage ways, trails, utilities, and other matters which may affect portions of lots outside of the area of the lot covered by residential improvements and outside of the right-of-way. These easements are in addition to easements identified on this plat. Natural drainage ways and storm drainage culverts, inlets, and discharges exist within the project. Except in connection with installation of driveways and utilities to the building envelope, lot owners may not impede or otherwise alter any of these drainage systems. Driveway and utility installation require prior written approval of the Three Falls design review committee. Declarant also reserves permanent easements across the portions of lots along roadways and outside of the right-of-way corridor for the maintenance and protection of cut and fill slopes, drainages, culverts, rip rap, and any other permanent roadway or drainage appurtenance. Access to lots within the project may be affected by cut and fill slopes or walls required for the roads. In certain instances, special engineering and construction techniques may be required for driveways across such cut and fill slopes.

19- Geotechnical. Purchasers of any lot within the project are directed to the geotechnical reports prepared by Bear West dated November 2003, titled "Three Falls Ranch Development Environmental Study Final Report", and Intermountain Geoenvironmental Services, Inc. dated July 20, 2005, titled "Landslide Investigation Three Falls Ranch Alpine, Utah", and Western Geologic, LLC dated September 7, 2004, titled "Geologic Hazards Evaluation Three Falls Ranch", and Western Geologic, LLC dated December 17, 2004, titled "Supplemental Surface Fault Rupture Hazard Study, Three Falls Ranch". Wherein each lot is required to provide a lot specific geotechnical/geologic study prior to obtaining building permit. These reports identify existing surface and subsurface conditions and geologic conditions, including faults, present in areas within the project.

20- Stream corridors. No alteration of any stream or stream bed shown on this plat may occur without design review committee and all state and local jurisdiction approvals.

THESE DRAWINGS OR ANY PORTION THEREOF SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

SCALE: 1" = 100 FT


DESIGNED BY:

DRAWN BY:

JOB NO.  
3-18-049

SHEET NO.  
2 OF 2

NORTHERN ENGINEERING INC  
ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT



THREE FALLS  
SUBDIVISION PLAT "I"

FINAL PLAT  
ALPINE, UTAH

REVISIONS  
NO. DATE BY APP.

K:\31-21-0752-00 three falls 30\CAD\Final\Prod\Proj\FINAL PLAT 2 OF 2.dwg 1/2/2021 2:18 PM



BOUNDARY DESCRIPTION OF PLAT "I" THREE FALLS SUBDIVISION

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 2 EAST, AND THE EAST HALF OF SECTION 12, TOWNSHIP 4 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS"

COMMENCING AT A BRASS CAP MONUMENT MARKING THE SOUTHEAST CORNER OF SAID SECTION 12, SAID MONUMENT BEING THE POINT OF BEGINNING.

AND RUNNING THENCE ALONG THE SOUTHERLY BOUNDARY OF THREE FALLS SUBDIVISION, RECORDED SEPTEMBER 16<sup>TH</sup>, 2015 AS ENTRY NO. 84712:2015 AND MAP FILING NO. 14761 IN THE OFFICE OF THE UTAH COUNTY RECORDER, THE FOLLOWING FOUR (4) COURSES, SAID SOUTHERLY BOUNDARY LINE DEPARTS FROM THE SECTION LINE WITH THE FIRST COURSE: (1) S. 89°52'28" W. A DISTANCE OF 680.79 FEET, THENCE (2) S. 89°57'00" W. A DISTANCE OF 832.00 FEET, THENCE (3) S. 89°36'23" W. A DISTANCE OF 103.65 FEET, THENCE (4) S. 89°24'50" W. A DISTANCE OF 51.97 FEET, THENCE S. 39°47'30" W. A DISTANCE OF 230.08 FEET TO THE NORTHERLY LINE OF PUBLIC OPEN SPACE G, AS SHOWN ON SAID THREE FALLS SUBDIVISION; THENCE, ALONG SAID NORTHERLY LINE N. 43°47'28" W. A DISTANCE OF 113.12 FEET TO THE EASTERLY LINE OF THREE FALLS DRIVE, AS SHOWN ON SAID THREE FALLS SUBDIVISION, THENCE, ALONG SAID EASTERLY RIGHT OF WAY LINE, THE FOLLOWING TWO (2) COURSES 1) N. 48°52'15" E. A DISTANCE OF 112.57 FEET, (2) TO A POINT OF CURVATURE OF A 527.00-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, 60.35 FEET, HAVING A CENTRAL ANGLE OF 06°33'41" AND A CHORD THAT BEARS N.45°35'25"E. A DISTANCE OF 60.32 FEET, THENCE S.89°43'53"E. A DISTANCE OF 84.56 FEET; THENCE N.62°54'11"E. A DISTANCE OF 58.63 FEET; THENCE N.08°13'00"E. A DISTANCE OF 190.57 FEET; THENCE S.89°41'23"E. A DISTANCE OF 50.31 FEET; THENCE S.14°59'19"E. A DISTANCE OF 216.88 FEET; THENCE N.68°07'07"E. A DISTANCE OF 30.42 FEET; THENCE N.46°20'15"E. A DISTANCE OF 276.42 FEET; THENCE N.46°56'50"E. A DISTANCE OF 228.89 FEET; THENCE S.79°21'11"E. A DISTANCE OF 262.02 FEET; THENCE N.41°30'14"E. A DISTANCE OF 218.27 FEET; THENCE N.20°24'08"E. A DISTANCE OF 547.13 FEET; THENCE N.14°07'37"W. A DISTANCE OF 850.06 FEET; THENCE N.20°27'35"W. A DISTANCE OF 313.26 FEET; THENCE N.03°05'20"E. A DISTANCE OF 454.66 FEET; THENCE N.44°21'45"E. A DISTANCE OF 286.04 FEET; THENCE N.68°49'39"E. A DISTANCE OF 76.14 FEET; THENCE N.61°32'19"E. A DISTANCE OF 108.22 FEET; THENCE N.07°47'50"E. A DISTANCE OF 485.55 FEET; THENCE N.67°13'24"E. A DISTANCE OF 203.03 FEET; THENCE N.08°42'43"E. A DISTANCE OF 229.40 FEET MORE OR LESS TO THE EASTERLY RIGHT OF WAY LINE OF AFORESAID THREE FALLS DRIVE, THENCE ALONG SAID THREE FALLS DRIVE, THE FOLLOWING ELEVEN (11) COURSES: TO A POINT OF CURVATURE OF A 123.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT: 1) THENCE

NORTHEASTERLY ALONG THE ARC OF SAID CURVE, 51.12 FEET, HAVING A CENTRAL ANGLE OF  $23^{\circ}48'43''$  AND A CHORD THAT BEARS N.  $71^{\circ}44'37''$  E. A DISTANCE OF 50.75 FEET; 2) THENCE N.  $83^{\circ}38'58''$  E. A DISTANCE OF 103.10 FEET TO A POINT OF CURVATURE OF A 177.00-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE 3) NORTHEASTERLY ALONG THE ARC OF SAID CURVE, 63.16 FEET, HAVING A CENTRAL ANGLE OF  $20^{\circ}26'37''$  AND A CHORD THAT BEARS N.  $73^{\circ}25'39''$  E. A DISTANCE OF 62.82 FEET; 4) THENCE N.  $63^{\circ}12'21''$  E. A DISTANCE OF 112.08 FEET TO A POINT OF CURVATURE OF A 173.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE 5) SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 218.47 FEET, HAVING A CENTRAL ANGLE OF  $72^{\circ}21'14''$  AND A CHORD THAT BEARS S.  $80^{\circ}37'03''$  E. A DISTANCE OF 204.24 FEET; 6) THENCE S.  $44^{\circ}26'26''$  E. A DISTANCE OF 288.17 FEET TO A POINT OF CURVATURE OF A 123.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE 7) SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 169.11 FEET, HAVING A CENTRAL ANGLE OF  $78^{\circ}46'29''$  AND A CHORD THAT BEARS S.  $05^{\circ}03'11''$  E. A DISTANCE OF 156.10 FEET; 8) THENCE S.  $34^{\circ}20'03''$  W A DISTANCE OF 294.48 FEET TO A POINT OF CURVATURE OF A 272.00-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE 9) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 85.69 FEET, HAVING A CENTRAL ANGLE OF  $18^{\circ}03'00''$  AND A CHORD THAT BEARS S.  $25^{\circ}18'32''$  W. A DISTANCE OF 85.34 FEET; 10) THENCE S.  $16^{\circ}17'02''$  W. A DISTANCE OF 162.95 FEET TO A POINT OF CURVATURE OF A 217.00-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE 11) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 106.92 FEET, HAVING A CENTRAL ANGLE OF  $28^{\circ}13'52''$  AND A CHORD THAT BEARS S.  $02^{\circ}10'06''$  W. A DISTANCE OF 105.84 FEET MORE OR LESS TO THE NORTHWEST CORNER OF LOT 41 OF SAID THREE FALLS SUBDIVISION PLAT E, THENCE S.  $41^{\circ}01'14''$  W. A DISTANCE OF 227.63 FEET; THENCE S.  $22^{\circ}18'07''$  W. A DISTANCE OF 173.66 FEET; THENCE S.  $61^{\circ}15'04''$  E. A DISTANCE OF 98.13 FEET; THENCE S.  $40^{\circ}29'23''$  E. A DISTANCE OF 383.15 FEET; THENCE N.  $86^{\circ}32'37''$  E A DISTANCE OF 290.02 FEET; THENCE S.  $43^{\circ}14'13''$  E. A DISTANCE OF 195.48 FEET; THENCE S.  $85^{\circ}08'21''$  E. A DISTANCE OF 120.08 FEET; THENCE N.  $58^{\circ}06'27''$  E. A DISTANCE OF 110.95 FEET; THENCE N.  $51^{\circ}46'43''$  E. A DISTANCE OF 139.08 FEET; THENCE N.  $77^{\circ}24'56''$  E. A DISTANCE OF 106.40 FEET; THENCE N.  $75^{\circ}49'24''$  E. A DISTANCE OF 74.10 FEET; THENCE S.  $78^{\circ}23'54''$  E. A DISTANCE OF 109.31 FEET; THENCE S.  $27^{\circ}38'22''$  E. A DISTANCE OF 136.42 FEET; THENCE N.  $62^{\circ}21'38''$  E. A DISTANCE OF 525.94 FEET; TO A POINT OF CURVATURE OF A 177.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE ALONG THE ARC OF SAID CURVE, 85.95 FEET, HAVING A CENTRAL ANGLE OF  $27^{\circ}49'22''$  AND A CHORD THAT BEARS S.  $39^{\circ}12'34''$  E. A DISTANCE OF 85.11 FEET; THENCE S.  $06^{\circ}10'35''$  E. A DISTANCE OF 340.76 FEET; THENCE N.  $75^{\circ}59'31''$  W. A DISTANCE OF 291.86 FEET; THENCE S.  $29^{\circ}26'52''$  W. A DISTANCE OF 106.29 FEET; THENCE S.  $30^{\circ}39'05''$  E. A DISTANCE OF 39.06 FEET; THENCE S.  $57^{\circ}44'01''$  W. A DISTANCE OF 119.40 FEET; THENCE S.  $85^{\circ}09'49''$  E. A DISTANCE OF 278.53 FEET; THENCE N.  $78^{\circ}01'45''$  E. A DISTANCE OF 169.74 FEET; THENCE S.  $79^{\circ}40'07''$  E. A DISTANCE OF 298.35 FEET TO A POINT OF CURVATURE OF A 60.00-FOOT RADIUS

TANGENT CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 54.14 FEET, HAVING A CENTRAL ANGLE OF  $56^{\circ}28'17''$  AND A CHORD THAT BEARS  $S.12^{\circ}24'50''E.$  A DISTANCE OF 56.77 FEET; THENCE  $S.22^{\circ}36'25''W,$  A DISTANCE OF 75.74 FEET TO A POINT OF CURVATURE OF A 123.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT, THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 120.22 FEET, HAVING A CENTRAL ANGLE OF  $56^{\circ}00'00''$  AND A CHORD THAT BEARS  $S.50^{\circ}36'25''W.$  A DISTANCE OF 115.49 FEET; THENCE  $S.78^{\circ}36'25''W.$  A DISTANCE OF 100.70 FEET TO A POINT OF CURVATURE OF A 177.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 336.00 FEET, HAVING A CENTRAL ANGLE OF  $108^{\circ}45'58''$  AND A CHORD THAT BEARS  $S.24^{\circ}13'26''W.$  A DISTANCE OF 287.78 FEET THENCE  $N.87^{\circ}14'08''E.$  A DISTANCE OF 14.23 FEET; TO A POINT OF CURVATURE OF A 164.50-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 23.01 FEET. HAVING A CENTRAL ANGLE OF  $08^{\circ}00'53''$  AND A CHORD THAT BEARS  $S.36^{\circ}26'47''E.$  A DISTANCE OF 22.99 FEET; TO A POINT OF CURVATURE OF A 120.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE ALONG THE ARC OF SAID CURVE, 229.58 FEET. HAVING A CENTRAL ANGLE OF  $109^{\circ}09'39''$  AND A CHORD THAT BEARS  $S.14^{\circ}07'36''W.$  A DISTANCE OF 196.40 FEET; THENCE  $S.68^{\circ}42'25''W.$  A DISTANCE OF 36.43 FEET TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE, 85.52 FEET. HAVING A CENTRAL ANGLE OF  $46^{\circ}53'31''$  AND A CHORD THAT BEARS  $S.45^{\circ}15'40''W.$  A DISTANCE OF 83.16 FEET; THENCE  $S.21^{\circ}48'55''W.$  A DISTANCE OF 104.27 FEET TO A POINT OF CURVATURE OF A 75.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE ALONG THE ARC OF SAID CURVE, 6.23 FEET. HAVING A CENTRAL ANGLE OF  $04^{\circ}43'43''$  AND A CHORD THAT BEARS  $S.24^{\circ}10'46''W.$  A DISTANCE OF 6.23 FEET; THENCE  $S.26^{\circ}32'38''W.$  A DISTANCE OF 98.04 FEET TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE 97.57 FEET; HAVING A CENTRAL ANGLE OF  $53^{\circ}29'48''$  AND A CHORD THAT BEARS  $S. 00^{\circ}12'16'' E.$  A DISTANCE OF 94.07 FEET; THENCE  $S.26^{\circ}57'10''E.$  A DISTANCE OF 139.69 FEET; TO A POINT OF CURVATURE OF A 1554.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 43.30 FEET. HAVING A CENTRAL ANGLE OF  $01^{\circ}35'47''$  AND A CHORD THAT BEARS  $S.26^{\circ}09'16''E.$  A DISTANCE OF 43.30 FEET; THENCE  $S.25^{\circ}21'23''E.$  A DISTANCE OF 5.04 FEET TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 88.78 FEET. HAVING A CENTRAL ANGLE OF  $48^{\circ}40'32''$  AND A CHORD THAT BEARS  $S.49^{\circ}41'39''E.$  A DISTANCE OF 86.13 FEET; THENCE  $S.40^{\circ}06'43''E.$  A DISTANCE OF 13.36 FEET TO A POINT OF CURVATURE OF A 112.50-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE, 106.53 FEET. HAVING A CENTRAL ANGLE OF  $54^{\circ}15'17''$  AND A CHORD THAT BEARS  $N.73^{\circ}11'14''E.$  A DISTANCE OF 102.59 FEET; THENCE  $N.02^{\circ}08'13''E.$  A DISTANCE OF 12.05 FEET TO A



POINT OF CURVATURE OF A 104.50-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE, 51.08 FEET. HAVING A CENTRAL ANGLE OF 28°00'13" AND A CHORD THAT BEARS N.27°17'34"E. A DISTANCE OF 50.57 FEET; THENCE N.13°17'27"E. A DISTANCE OF 5.17 FEET; TO A POINT OF CURVATURE OF A 75.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE ALONG THE ARC OF SAID CURVE, 45.12 FEET. HAVING A CENTRAL ANGLE OF 34°14'14" AND A CHORD THAT BEARS N.30°24'34"E. A DISTANCE OF 44.45 FEET; THENCE N.47°31'41"E. A DISTANCE OF 210.92 FEET; TO A POINT OF CURVATURE OF A 75.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE ALONG THE ARC OF SAID CURVE, 36.17 FEET. HAVING A CENTRAL ANGLE OF 27°26'56" AND A CHORD THAT BEARS N.61°15'09"E. A DISTANCE OF 35.83 FEET; THENCE N.74°58'37"E. A DISTANCE OF 156.85 FEET; TO A POINT OF CURVATURE OF A 95.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT; THENCE ALONG THE ARC OF SAID CURVE, 160.28 FEET. HAVING A CENTRAL ANGLE OF 96°09'43" AND A CHORD THAT BEARS S.56°56'32"E. A DISTANCE OF 142.12 FEET; THENCE S.08°51'40"E. A DISTANCE OF 107.63 FEET TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 75.12 FEET. HAVING A CENTRAL ANGLE OF 41°11'06" AND A CHORD THAT BEARS S.29°27'13"E. A DISTANCE OF 73.51 FEET; THENCE S. 00°27'52" E. A DISTANCE OF 300.77 FEET; THENCE S. 89°41'32" W. A DISTANCE OF 1.28 FEET; THENCE S. 01°04'49" E. A DISTANCE OF 118.95 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 7; THENCE ALONG THE SOUTHERLY LINE OF SAID SECTION 7, S. 88°33'17" W. A DISTANCE OF 2717.08 FEET TO THE POINT OF BEGINNING.

CONTAINING 176.745 ACRES OF LAND MORE OR LESS.

Good = 0.02

Boundary description lot 50 good = 0.01

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS.

COMMENCING AT A BRASS CAP MONUMENT MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 7, AND RUNNING S.88°33'17"W. ALONG THE SECTION LINE A DISTANCE OF 285.18 FEET; THENCE NORTH A DISTANCE OF 1568.12 FEET TO THE REAL POINT OF BEGINNING.

AND RUNNING THENCE S.22°36'25"W, A DISTANCE OF 75.74 FEET TO A POINT OF CURVATURE OF A 123.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT, THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 120.22 FEET, HAVING A

CENTRAL ANGLE OF 56°00'00" AND A CHORD THAT BEARS S.50°36'25"W. A DISTANCE OF 115.49 FEET; THENCE S.78°36'25"W. A DISTANCE OF 100.70 FEET TO A POINT OF CURVATURE OF A 177.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 58.53 FEET, HAVING A CENTRAL ANGLE OF 18°56'49" AND A CHORD THAT BEARS S.69°08'00"W. A DISTANCE OF 58.27 FEET; THENCE N.71°19'22"W. A DISTANCE OF 12.69 FEET; THENCE N.61°26'51"W. A DISTANCE OF 129.62 FEET; THENCE N.12°35'57"E. A DISTANCE OF 223.04 FEET; THENCE N.78°01'45"E. A DISTANCE OF 43.98 FEET; THENCE S.79°40'07"E. A DISTANCE OF 298.35 FEET TO A POINT OF CURVATURE OF A 60.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 54.14 FEET, HAVING A CENTRAL ANGLE OF 56°28'17" AND A CHORD THAT BEARS S.12°24'50"E. A DISTANCE OF 56.77 FEET TO THE REAL POINT OF BEGINNING

CONTAINING 1 LOT, 83,493 sq.ft. OR 1.92 ACRES OF LAND MORE OR LESS.

Private Open Space A Good = 0.00

THENCE N.41°01'15"E. A DISTANCE OF 288.94 FEET  
TO A POINT OF CURVATURE OF A 217.00-FOOT RADIUS non-TANGENT CURVE TO  
THE LEFT: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 73.26  
FEET. HAVING A CENTRAL ANGLE OF 19°20'33" AND A CHORD THAT BEARS  
S.02°16'34"E. A DISTANCE OF 72.91 FEET;  
THENCE S.41°01'14"W. A DISTANCE OF 227.63 FEET  
THENCE S.22°18'07"W. A DISTANCE OF 173.66 FEET;  
THENCE S.61°15'04"E. A DISTANCE OF 98.13 FEET;  
THENCE S.40°29'23"E. A DISTANCE OF 383.15 FEET;  
THENCE N.86°32'37"E. A DISTANCE OF 290.02 FEET;  
THENCE S.43°14'13"E. A DISTANCE OF 195.48 FEET;  
THENCE S.85°08'21"E. A DISTANCE OF 120.08 FEET;  
THENCE N.58°06'27"E. A DISTANCE OF 110.95 FEET.  
THENCE N.51°46'43"E. A DISTANCE OF 139.08 FEET;  
THENCE N.77°24'56"E. A DISTANCE OF 106.40 FEET;  
THENCE N.75°49'24"E. A DISTANCE OF 74.10 FEET;  
THENCE S.78°23'54"E. A DISTANCE OF 109.31 FEET;  
THENCE S.27°38'22"E. A DISTANCE OF 136.42 FEET;  
THENCE N.62°21'38"E. A DISTANCE OF 525.94 FEET;  
TO A POINT OF CURVATURE OF A 177.00-FOOT RADIUS TANGENT CURVE TO THE  
left; THENCE ALONG THE ARC OF SAID CURVE, 85.95 FEET, HAVING A CENTRAL  
ANGLE OF 27°49'22" AND A CHORD THAT BEARS S.39°12'34"E. A DISTANCE OF 85.11  
FEET;  
THENCE S.06°10'35"E. A DISTANCE OF 340.76 FEET;  
THENCE N.75°59'31"W. A DISTANCE OF 291.86 FEET;  
THENCE S.29°26'52"W. A DISTANCE OF 106.29 FEET;

THENCE S.30°39'05"E. A DISTANCE OF 39.06 FEET;  
 THENCE S.57°44'01"W. A DISTANCE OF 119.40 FEET;  
 THENCE S.85°09'49"E. A DISTANCE OF 278.53 FEET;  
 THENCE N.78°01'45"E. A DISTANCE OF 125.76 FEET.  
 THENCE S.12°35'57"W. A DISTANCE OF 70.80 FEET  
 THENCE N.83°13'07"W. A DISTANCE OF 326.22 FEET;  
 THENCE S.88°04'49"W. A DISTANCE OF 281.14 FEET;  
 THENCE N.56°29'35"W. A DISTANCE OF 437.55 FEET;  
 THENCE S.50°12'01"W. A DISTANCE OF 204.39 FEET;  
 THENCE N.87°35'52"W. A DISTANCE OF 269.82 FEET;  
 THENCE S.63°31'40"W. A DISTANCE OF 282.19 FEET;  
 THENCE N.56°31'36"W. A DISTANCE OF 57.86 FEET;  
 THENCE N.42°18'21"W. A DISTANCE OF 120.34 FEET;  
 THENCE N.27°21'27"W. A DISTANCE OF 80.10 FEET;  
 THENCE N.12°19'22"E. A DISTANCE OF 116.87 FEET;  
 THENCE N.77°24'08"W. A DISTANCE OF 58.96 FEET;  
 THENCE N.10°06'18"W A DISTANCE OF 3.37 FEET;  
 THENCE N.12°34'11"W. A DISTANCE OF 151.63 FEET;  
 THENCE N.76°34'37"E. A DISTANCE OF 110.33 FEET;  
 THENCE N.32°45'54"W. A DISTANCE OF 195.65 FEET;  
 THENCE N.59°24'02"W. A DISTANCE OF 153.37 FEET;  
 THENCE N.22°18'07"E. A DISTANCE OF 216.55 FEET;

Public Open Space A Good = 0.01

AND RUNNING THENCE ALONG THE SOUTHERLY BOUNDARY OF THREE FALLS  
 SUBDIVISION, RECORDED SEPTEMBER 16<sup>TH</sup>, 2015 AS ENTRY NO. 84712:2015 AND  
 MAP FILING NO. 14761 IN THE OFFICE OF THE UTAH COUNTY RECORDER, THE  
 FOLLOWING FOUR (4) COURSES, SAID SOUTHERLY BOUNDARY LINE DEPARTS  
 FROM THE SECTION LINE WITH THE FIRST COURSE:

(1) S. 89°52'28" W. A DISTANCE OF 680.79 FEET,  
 THENCE (2) S. 89°57'00" W. A DISTANCE OF 832.00 FEET,  
 THENCE (3) S. 89°36'23" W. A DISTANCE OF 103.65 FEET,  
 THENCE (4) S. 89°24'50" W. A DISTANCE OF 51.97 FEET,  
 THENCE S. 39°47'30" W. A DISTANCE OF 230.08 FEET TO THE NORTHERLY LINE OF  
 PUBLIC OPEN SPACE G, AS SHOWN ON SAID THREE FALLS SUBDIVISION;  
 THENCE, ALONG SAID NORTHERLY LINE N. 43°47'28" W. A DISTANCE OF 113.12  
 FEET TO THE EASTERLY LINE OF THREE FALLS DRIVE, AS SHOWN ON SAID



THREE FALLS SUBDIVISION, THENCE, ALONG SAID EASTERLY RIGHT OF WAY LINE, THE FOLLOWING FOUR (4) COURSES N.  $48^{\circ}52'15''$  E. A DISTANCE OF 112.57 FEET, (2)

TO A POINT OF CURVATURE OF A 527.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 60.35 FEET HAVING A CENTRAL ANGLE OF  $06^{\circ}33'41''$  AND A CHORD THAT BEARS

N. $45^{\circ}35'25''$ E. A DISTANCE OF 60.32 FEET;

THENCE S. $89^{\circ}43'53''$ E. A DISTANCE OF 84.56 FEET;

THENCE N. $62^{\circ}54'11''$ E. A DISTANCE OF 58.63 FEET;

THENCE N. $08^{\circ}13'00''$ E. A DISTANCE OF 190.57 FEET;

THENCE S. $89^{\circ}41'23''$ E. A DISTANCE OF 50.31 FEET;

THENCE S. $14^{\circ}59'19''$ E. A DISTANCE OF 216.88 FEET;

THENCE N. $68^{\circ}07'07''$ E. A DISTANCE OF 30.42 FEET;

THENCE N. $46^{\circ}20'15''$ E. A DISTANCE OF 276.42 FEET;

THENCE N. $46^{\circ}56'50''$ E. A DISTANCE OF 228.89 FEET;

THENCE S. $79^{\circ}21'11''$ E. A DISTANCE OF 262.02 FEET;

THENCE N. $41^{\circ}30'14''$ E. A DISTANCE OF 218.27 FEET;

THENCE N. $20^{\circ}24'08''$ E. A DISTANCE OF 547.13 FEET

THENCE N. $14^{\circ}07'37''$ W. A DISTANCE OF 850.06 FEET.

THENCE N. $20^{\circ}27'35''$ W. A DISTANCE OF 313.26 FEET;

THENCE N. $03^{\circ}05'20''$ E. A DISTANCE OF 454.66 FEET;

THENCE N. $44^{\circ}21'45''$ E. A DISTANCE OF 286.04 FEET;

THENCE N. $68^{\circ}49'39''$ E. A DISTANCE OF 76.14 FEET;

THENCE N. $61^{\circ}32'19''$ E. A DISTANCE OF 108.22 FEET;

THENCE N. $07^{\circ}47'50''$ E. A DISTANCE OF 485.55 FEET

THENCE N. $67^{\circ}13'24''$ E. A DISTANCE OF 203.03 FEET;

THENCE N. $08^{\circ}42'43''$ E. A DISTANCE OF 229.40 FEET

TO A POINT OF CURVATURE OF A 123.00-FOOT RADIUS non-TANGENT CURVE TO THE RIGHT: THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, 51.12 FEET, HAVING A CENTRAL ANGLE OF  $23^{\circ}48'43''$  AND A CHORD THAT BEARS N.

$71^{\circ}44'37''$  E. A DISTANCE OF 50.75 FEET;

THENCE N.  $83^{\circ}38'58''$  E. A DISTANCE OF 103.10 FEET

TO A POINT OF CURVATURE OF A 177.00-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE (8) NORTHEASTERLY ALONG THE ARC OF SAID CURVE, 63.16 FEET, HAVING A CENTRAL ANGLE OF  $20^{\circ}26'37''$  AND A CHORD THAT BEARS N.

$73^{\circ}25'39''$ E. A DISTANCE OF 62.82 FEET;

THENCE N.  $63^{\circ}12'21''$  E. A DISTANCE OF 112.08 FEET

TO A POINT OF CURVATURE OF A 173.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE (10) SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 218.47 FEET, HAVING A CENTRAL ANGLE OF  $72^{\circ}21'14''$  AND A CHORD THAT BEARS

S. $80^{\circ}37'03''$ E. A DISTANCE OF 204.24 FEET;

THENCE S.  $44^{\circ}26'26''$  E. A DISTANCE OF 288.17 FEET

TO A POINT OF CURVATURE OF A 123.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT: THENCE (12) SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 169.11 FEET, HAVING A CENTRAL ANGLE OF  $78^{\circ}46'29''$  AND A CHORD THAT BEARS

S. $05^{\circ}03'11''$ E. A DISTANCE OF 156.10 FEET;

THENCE S.  $34^{\circ}20'03''$  W A DISTANCE OF 294.48 FEET  
 TO A POINT OF CURVATURE OF A 272.00-FOOT RADIUS TANGENT CURVE TO THE  
 LEFT: THENCE (14) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 85.69  
 FEET, HAVING A CENTRAL ANGLE OF  $18^{\circ}03'00''$  AND A CHORD THAT BEARS S.  
 $25^{\circ}18'32''$  W. A DISTANCE OF 85.34 FEET;  
 THENCE S.  $16^{\circ}17'02''$  W. A DISTANCE OF 162.95 FEET  
 TO A POINT OF CURVATURE OF A 217.00-FOOT RADIUS TANGENT CURVE TO THE  
 LEFT: THENCE (16) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 33.66  
 FEET, HAVING A CENTRAL ANGLE OF  $08^{\circ}53'19''$  AND A CHORD THAT BEARS S.  
 $11^{\circ}50'23''$  W. A DISTANCE OF 33.63 FEET  
 THENCE S.  $41^{\circ}01'15''$  W. A DISTANCE OF 288.94 FEET  
 THENCE S.  $22^{\circ}18'07''$  W. A DISTANCE OF 216.55 FEET;  
 THENCE S.  $59^{\circ}24'02''$  E. A DISTANCE OF 153.37 FEET;  
 THENCE S.  $32^{\circ}45'54''$  E. A DISTANCE OF 195.65 FEET;  
 THENCE S.  $76^{\circ}34'37''$  W. A DISTANCE OF 110.33 FEET;  
 THENCE S.  $12^{\circ}34'11''$  E. A DISTANCE OF 151.63 FEET;  
 THENCE S.  $10^{\circ}06'18''$  E. A DISTANCE OF 3.37 FEET;  
 THENCE S.  $77^{\circ}24'08''$  E. A DISTANCE OF 58.96 FEET;  
 THENCE S.  $12^{\circ}19'22''$  W. A DISTANCE OF 116.87 FEET;  
 THENCE S.  $27^{\circ}21'27''$  E. A DISTANCE OF 80.10 FEET;  
 THENCE S.  $42^{\circ}18'21''$  E. A DISTANCE OF 120.34 FEET;  
 THENCE S.  $56^{\circ}31'36''$  E. A DISTANCE OF 57.86 FEET;  
 THENCE N.  $63^{\circ}31'40''$  E. A DISTANCE OF 282.19 FEET;  
 THENCE S.  $87^{\circ}35'52''$  E. A DISTANCE OF 269.82 FEET;  
 THENCE N.  $50^{\circ}12'01''$  E. A DISTANCE OF 204.39 FEET;  
 THENCE S.  $56^{\circ}29'35''$  E. A DISTANCE OF 437.55 FEET;  
 THENCE N.  $88^{\circ}04'49''$  E. A DISTANCE OF 281.14 FEET;  
 THENCE S.  $83^{\circ}13'07''$  E. A DISTANCE OF 326.22 FEET;  
 THENCE S.  $12^{\circ}35'57''$  W. A DISTANCE OF 152.24 FEET;  
 THENCE S.  $61^{\circ}26'51''$  E. A DISTANCE OF 129.62 FEET;  
 THENCE S.  $71^{\circ}19'22''$  E. A DISTANCE OF 12.69 FEET;  
 TO A POINT OF CURVATURE OF A 177.00-FOOT RADIUS non-TANGENT CURVE TO  
 THE LEFT: THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, 277.47  
 FEET, HAVING A CENTRAL ANGLE OF  $89^{\circ}49'09''$  AND A CHORD THAT BEARS  
 S.  $14^{\circ}45'01''$  W. A DISTANCE OF 249.92 FEET;  
 THENCE N.  $87^{\circ}14'08''$  E. A DISTANCE OF 14.23 FEET;  
 TO A POINT OF CURVATURE OF A 164.50-FOOT RADIUS non-TANGENT CURVE TO  
 THE LEFT: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 23.01  
 FEET. HAVING A CENTRAL ANGLE OF  $08^{\circ}00'53''$  AND A CHORD THAT BEARS  
 S.  $36^{\circ}26'47''$  E. A DISTANCE OF 22.99 FEET;  
 TO A POINT OF CURVATURE OF A 120.50-FOOT RADIUS TANGENT CURVE TO THE  
 right: THENCE ALONG THE ARC OF SAID CURVE, 229.58 FEET. HAVING A CENTRAL  
 ANGLE OF  $109^{\circ}09'39''$  AND A CHORD THAT BEARS S.  $14^{\circ}07'36''$  W. A DISTANCE OF  
 196.40 FEET;  
 THENCE S.  $68^{\circ}42'25''$  W. A DISTANCE OF 36.43 FEET

TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE, 85.52 FEET. HAVING A CENTRAL ANGLE OF 46°53'31" AND A CHORD THAT BEARS S.45°15'40"W. A DISTANCE OF 83.16 FEET;

THENCE S.21°48'55"W. A DISTANCE OF 104.27 FEET

TO A POINT OF CURVATURE OF A 75.50-FOOT RADIUS TANGENT CURVE TO THE right: THENCE ALONG THE ARC OF SAID CURVE, 6.23 FEET. HAVING A CENTRAL ANGLE OF 04°43'43" AND A CHORD THAT BEARS S.24°10'46"W. A DISTANCE OF 6.23 FEET;

THENCE S.26°32'38"W. A DISTANCE OF 98.04 FEET

TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE 97.57 FEET; HAVING A CENTRAL ANGLE OF 53°29'48" AND A CHORD THAT BEARS S. 00°12'16" E. A DISTANCE OF 94.07 FEET;

THENCE S.26°57'10"E. A DISTANCE OF 139.69 FEET

TO A POINT OF CURVATURE OF A 1554.00-FOOT RADIUS TANGENT CURVE TO THE right: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 43.30 FEET. HAVING A CENTRAL ANGLE OF 01°35'47" AND A CHORD THAT BEARS S.26°09'16"E. A DISTANCE OF 43.30 FEET;

THENCE S.25°21'23"E. A DISTANCE OF 5.04 FEET

TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 88.78 FEET. HAVING A CENTRAL ANGLE OF 48°40'32" AND A CHORD THAT BEARS S.49°41'39"E. A DISTANCE OF 86.13 FEET;

THENCE S.40°06'43"E. A DISTANCE OF 13.36 FEET

TO A POINT OF CURVATURE OF A 112.50-FOOT RADIUS non-TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE, 106.53 FEET. HAVING A CENTRAL ANGLE OF 54°15'17" AND A CHORD THAT BEARS N.73°11'14"E. A DISTANCE OF 102.59 FEET;

THENCE N.02°08'13"E. A DISTANCE OF 12.05 FEET

TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS non-TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE, 51.08 FEET. HAVING A CENTRAL ANGLE OF 28°00'13" AND A CHORD THAT BEARS N.27°17'34"E. A DISTANCE OF 50.57 FEET;

THENCE N.13°17'27"E. A DISTANCE OF 5.17 FEET

TO A POINT OF CURVATURE OF A 75.50-FOOT RADIUS TANGENT CURVE TO THE right: THENCE ALONG THE ARC OF SAID CURVE, 45.12 FEET. HAVING A CENTRAL ANGLE OF 34°14'14" AND A CHORD THAT BEARS N.30°24'34"E. A DISTANCE OF 44.45 FEET;

THENCE N.47°31'41"E. A DISTANCE OF 210.92 FEET

TO A POINT OF CURVATURE OF A 75.50-FOOT RADIUS TANGENT CURVE TO THE right: THENCE ALONG THE ARC OF SAID CURVE, 36.17 FEET. HAVING A CENTRAL ANGLE OF 27°26'56" AND A CHORD THAT BEARS N.61°15'09"E. A DISTANCE OF 35.83 FEET;

THENCE N.74°58'37"E. A DISTANCE OF 156.85 FEET



TO A POINT OF CURVATURE OF A 95.50-FOOT RADIUS TANGENT CURVE TO THE right: THENCE ALONG THE ARC OF SAID CURVE, 160.28 FEET. HAVING A CENTRAL ANGLE OF  $96^{\circ}09'43''$  AND A CHORD THAT BEARS  $S.56^{\circ}56'32''E$ . A DISTANCE OF 142.12 FEET;

THENCE  $S.08^{\circ}51'40''E$ . A DISTANCE OF 107.63 FEET

TO A POINT OF CURVATURE OF A 104.50-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, 75.12 FEET. HAVING A CENTRAL ANGLE OF  $41^{\circ}11'06''$  AND A CHORD THAT BEARS  $S.29^{\circ}27'13''E$ . A DISTANCE OF 73.51 FEET;

THENCE  $S. 00^{\circ}27'52'' E$ . A DISTANCE OF 300.77 FEET;

THENCE  $S. 89^{\circ}41'32'' W$ . A DISTANCE OF 1.28 FEET;

THENCE  $S. 01^{\circ}04'49'' E$ . A DISTANCE OF 118.95 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 7;

THENCE ALONG THE SOUTHERLY LINE OF SAID SECTION 7,  $S. 88^{\circ}33'17'' W$ . A DISTANCE OF 2717.08 FEET TO THE POINT OF BEGINNING.

## **ALPINE CITY COUNCIL AGENDA**

**SUBJECT: Plat Amendment – Three Falls Plat J**

**FOR CONSIDERATION ON: 30 November 2021**

**PETITIONER: Kyle Spencer representing Rob Bay**

**ACTION REQUESTED BY PETITIONER: Approve the Plat Amendment**

### **BACKGROUND INFORMATION:**

The Three Falls Subdivision Plat J consists of 1 lot on 2.16 acres. The property is located at 717 East Three Falls Drive, and in the CE-5 zone. The proposed plat would vacate and amend Lot 46 of Three Falls Subdivision Plat E. The primary reason for the plat amendment is to adjust boundaries between the lot and private open space, which in turn will adjust boundaries with public open space.

Staff have reviewed the proposal and have found that open space or trails would not be adversely impacted by the proposed boundary line adjustment. Staff have marked a few minor redlines on the plat that need to be corrected. One notable redline that should be pointed out is that the current plat is showing as “Plat H”, however there is already a “Plat H”. Thus, the plat will have to be renamed to “Plat J” (this has been noted on the redlines sent to the applicant).

On November 16, 2021, the Planning Commission reviewed the proposal and recommended that it be approved with the condition that the redlines be addressed and a letter of approval be obtained from the Three Falls Architectural Review Committee.

### **STAFF RECOMMENDATION:**

Approve the plat amendment as proposed.

### **SAMPLE MOTION TO APPROVE**

I move to recommend approval of Three Falls Subdivision Plat J with the following conditions:

- Prior to recording the Developer:
  - Address the redlines on the plat and plans.
  - Receive a letter of approval from the Three Falls Architectural Review Committee for the new proposed boundaries.

### **SAMPLE MOTION TO TABLE**

I move to table Three Falls Subdivision Plat J based on the following:

- **\*\*INSERT FINDING\*\***



**ALPINE CITY  
STAFF REPORT**  
November 12, 2021

**To:** Alpine City Planning Commission & City Council

**From:** Staff

**Prepared By:** Austin Roy, City Planner  
Planning & Zoning Department

Jed Muhlestein, City Engineer  
Engineering & Public Works Department

**RE: THREE FALLS SUBDIVISION PLAT J**

Applicant: Kyle Spencer representing Rob Bay  
Project Location: 717 East Three Falls Drive  
Zoning: CE-5 Zone  
Acreage: 2.16 Acres  
Lot Number & Size: 1 lot at 94,042 Square Feet  
Request: Recommend and approve the amended plat

**SUMMARY**

The Three Falls Subdivision Plat J consists of 1 lot on 2.16 acres. The property is located at 717 East Three Falls Drive, and in the CE-5 zone. The proposed plat would vacate and amend Lot 46 of Three Falls Subdivision Plat E. The primary reason for the plat amendment is to adjust boundaries between the lot and private open space, which in turn will adjust boundaries with public open space.

**BACKGROUND**

The plat in the packet shows the property as “Three Falls Subdivision Plat “H””, however, there is another plat being proposed which already is using this name. Staff has recommended and redlined the plat to be renamed as “Three Falls Subdivision Plat “J””. The City has an existing trail which runs just east of the property. The proposed boundary adjustments would do away with a strip of private open space, increasing the width of lot 46 and be adjusted so that the existing trail is in public open space.

**ANALYSIS**

**Lot Width and Area**



The proposed plat amendment does not significantly change or alter the width or area of the lot. Overall lot area is increased. The lot meets minimum requirements of the zone and PRD.

#### Use

The use of the lot is not changing with the plat amendment. Single family dwellings are a permitted use in the zone

#### Sensitive Lands (Wildland Urban Interface)

The property is in sensitive lands. Wildland Urban Interface requirements will apply to all structures to be built on the property.

#### Trails

The trail runs directly east of the property and abuts the property line at a couple of switchbacks. The trail committee has reviewed the plat and sees no issue with the boundary adjustment impacting the existing trail.

#### General Plan

The proposed plat amendment does away with some private open space, however no significant changes are made to the City open space. As mentioned above, the adjacent trail will now be on City open space following the boundary line adjustment. The proposed plat appears to be compatible with the General Plan.

#### Other

None.

### **REVIEWS**

#### **PLANNING AND ZONING DEPARTMENT REVIEW**

The analysis section in the body of this report serves as the Planning and Zoning Department review.

#### **ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW**

This section constitutes the engineering review for the Three Falls Subdivision Plat J. There are a few minor remaining redline comments that need corrected and approved by Staff prior to recording.

#### Lots

The lot contains the appropriate amount of space and frontage for the zone, based on the average slope of the lot as defined in section 3.03.040 of the Development Code.

#### Natural Hazards

**Sensitive Lands.** The proposed development falls within the Geologic Hazards Overlay Zone which has areas identified as having the potential for rockfall, slide, and debris flows. Rockfall, debris flow, and slides were reviewed and, in each instance, were shown to have a low risk for such an event. Buildable areas have been restricted where steeper slopes reside.

Other

There are some minor redlines to correct on the plans and plat.

NOTICING

Notice has been properly issued in the manner outlined in City and State Code

**STAFF RECOMMENDATION**

Review staff report and findings and make a motion to approve or table the proposed plat amendment. Findings are outlined below.

Findings for a Positive Motion:

- A. The proposed plat meets ordinance.

Findings for a Motion to Table:

- A. None.

**MODEL MOTIONS**

**SAMPLE MOTION TO APPROVE**

I move to recommend approval of Three Falls Subdivision Plat J with the following conditions:

- Prior to recording the Developer:
  - Address the redlines on the plat and plans.
  - Receive a letter of approval from the Three Falls Architectural Review Committee for the new proposed boundaries.

**SAMPLE MOTION TO TABLE**

I move to table Three Falls Subdivision Plat J based on the following:

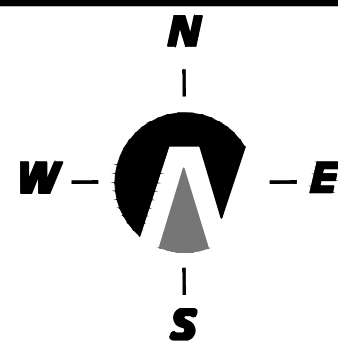
- **\*\*INSERT FINDING\*\***





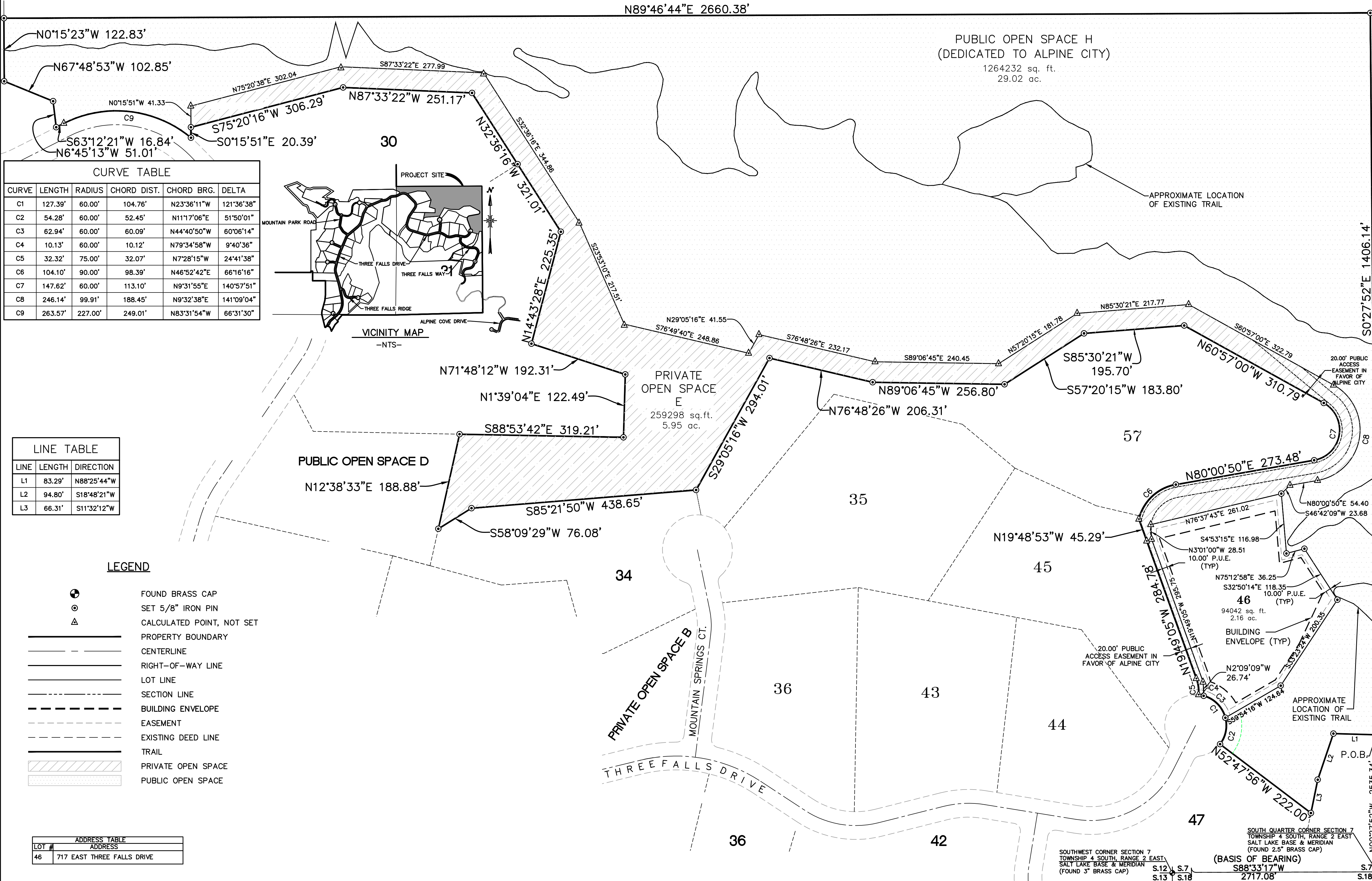
# THREE FALLS SUBDIVISION PLAT "H"

LOCATED IN THE NW 1/4 OF SECTION 7, T4S, R2E, SLB&M AND BEING A VACATION OF LOTS 46, OF THREE FALLS SUBDIVISION PLAT "E" SEPTEMBER 2019 AND PRIVATE OPEN SPACE E, AND PUBLIC OPEN SPACE H OF THREE FALLS SUBDIVISION PLAT "G"



0 50 100 200 300

(24"x36")  
SCALE 1" = 100'  
(11"x17")  
SCALE 1" = 200'



**SURVEYOR'S CERTIFICATE**  
I, KENNETH E. BARNEY, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 172762. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE \_\_\_\_\_ KENNETH E. BARNEY, P.L.S.

**OWNER'S DEDICATION**  
KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.  
IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

**ACKNOWLEDGMENT**  
STATE OF UTAH } S.S.  
COUNTY OF UTAH }  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 20\_\_\_\_, BEFORE ME, \_\_\_\_\_, PERSONALLY APPEARED \_\_\_\_\_, ROBERT BAY & KATHARINE BAY, AS TRUSTEE OF THE BAY FAMILY TRUST, [NAME OF TRUST] UNDER TRUST INSTRUMENT DATED U/A/O AUGUST 1, 2019, WHO ACKNOWLEDGED TO ME THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY WITH AUTHORITY TO DO SO.  
NOTARY PUBLIC \_\_\_\_\_  
NOTARY FULL NAME \_\_\_\_\_ A NOTARY COMMISSIONED IN UTAH  
COMMISSION NUMBER \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**  
THE \_\_\_\_\_ OF \_\_\_\_\_, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.  
CITY MAYOR \_\_\_\_\_  
CITY COUNCIL \_\_\_\_\_  
CITY ENGINEER \_\_\_\_\_

**PLANNING COMMISSION APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BY THE ALPINE CITY PLANNING COMMISSION.  
DIRECTOR SECRETARY \_\_\_\_\_ CHAIRMAN PLANNING COMMISSION  
**APPROVAL AS TO FORM**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_,  
CITY ATTORNEY \_\_\_\_\_

## THREE FALLS SUBDIVISION PLAT "H"

LOCATED IN THE NW 1/4 OF SECTION 7, T4S, R2E, SLB&M AND BEING A VACATION OF LOTS 46, OF THREE FALLS SUBDIVISION PLAT "E" SEPTEMBER 2019 AND PRIVATE OPEN SPACE E, AND PUBLIC OPEN SPACE H OF THREE FALLS SUBDIVISION PLAT "G"

ALPINE CITY \_\_\_\_\_ UTAH COUNTY, UTAH  
SCALE: 1" = 100 FEET  
CITY-COUNTY ENGINEER SEAL \_\_\_\_\_ CLERK-RECORDER SEAL \_\_\_\_\_

**Northern ENGINEERING INC**  
ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT  
1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992



BOUNDARY DESCRIPTION OF PLAT "H" THREE FALLS SUBDIVISION  
A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS"

COMMENCING AT A BRASS CAP MONUMENT MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 7, AND RUNNING N. 00°27'52" W. A DISTANCE OF 2535.34 FEET MORE OR LESS TO THE SOUTHEAST CORNER OF PUBLIC OPEN SPACE H OF THREE FALLS SUBDIVISION PLAT "G", SAID POINT BEING THE POINT OF BEGINNING.

AND RUNNING THENCE N. 88°25'44" W. A DISTANCE OF 83.29 FEET, THENCE S. 18°48'21" W. A DISTANCE OF 94.80 FEET, THENCE S. 11°32'12" W. A DISTANCE OF 66.31 FEET, THENCE N. 52°47'56" W. A DISTANCE OF 222.00 FEET, TO A POINT OF CURVATURE OF A 60.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT: THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, 127.35 FEET, HAVING A CENTRAL ANGLE OF 121°36'38" AND A CHORD THAT BEARS N. 23°36'11" W. A DISTANCE OF 104.76 FEET; TO A POINT OF CURVATURE OF A 75.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT: THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, 32.32 FEET, HAVING A CENTRAL ANGLE OF 24°41'38" AND A CHORD THAT BEARS N. 07°28'15" W. A DISTANCE OF 32.07 FEET; THENCE N. 19°49'05" W. A DISTANCE OF 284.78 FEET; THENCE N. 19°48'53" W. A DISTANCE OF 45.29 FEET; TO A POINT OF CURVATURE OF A 90.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT: THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, 104.10 FEET, HAVING A CENTRAL ANGLE OF 66°16'16" AND A CHORD THAT BEARS N. 46°52'42" E. A DISTANCE OF 98.39 FEET; THENCE N.80°00'50"E. A DISTANCE OF 273.48 FEET TO A POINT OF CURVATURE OF A 60.00-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE, 147.62 FEET, HAVING A CENTRAL ANGLE OF 140°57'51" AND A CHORD THAT BEARS N.89°06'45"W. A DISTANCE OF 113.10 FEET; THENCE N.60°57'00"W. A DISTANCE OF 310.79 FEET THENCE S.85°30'21"W. A DISTANCE OF 195.70 FEET; THENCE S.57°20'15"W. A DISTANCE OF 183.80 FEET; THENCE S. 58°09'29" W. A DISTANCE OF 76.08 FEET, THENCE N. 12°38'33" E. A DISTANCE OF 188.89 FEET; THENCE S. 88°53'42" E. A DISTANCE OF 319.21 FEET, THENCE N. 01°39'04" E. A DISTANCE OF 122.49 FEET, THENCE N. 71°48'12" W. A DISTANCE OF 192.31 FEET, THENCE N. 14°43'28" E. A DISTANCE OF 225.35 FEET; THENCE N. 32°36'16" W. A DISTANCE OF 321.01 FEET, THENCE N. 87°33'22" W. A DISTANCE OF 251.17 FEET, THENCE S. 75°20'16" W. A DISTANCE OF 306.29 FEET, THENCE S. 00°15'51" E. A DISTANCE OF 20.39 FEET, TO A POINT OF CURVATURE OF A 227.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT: THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, 263.57 FEET, HAVING A CENTRAL ANGLE OF 66°31'30" AND A CHORD THAT BEARS N. 83°31'54" W. A DISTANCE OF 249.01 FEET, THENCE S. 63°12'21" W. A DISTANCE OF 16.84 FEET; THENCE N. 06°45'13" W. A DISTANCE OF 51.01 FEET; THENCE N. 67°48'53" W. A DISTANCE OF 102.85 FEET; THENCE N. 00°15'23" W. A DISTANCE OF 122.83 FEET MORE OR LESS TO THE BOUNDARY LINE OF THREE FALLS SUBDIVISION PLAT E SAID LINE ALSO DEFINED AS THE 40-ACRE LINE OF SECTION 7, RANGE 2 EAST, THENCE, ALONG SAID BOUNDARY LINE OF THREE FALLS SUBDIVISION PLAT E, THE FOLLOWING TWO (2) COURSES: (1) N. 89°46'44" E. A DISTANCE OF 2660.38 FEET TO THE CENTER QUARTER SECTION LINE; THENCE ALONG SAID LINE (2) S. 00°27'52" E. A DISTANCE OF 1406.14 FEET; TO THE POINT OF BEGINNING.

Development Notes:

- 1- Prior plat superseded. This plat, when recorded, shall supersede any prior plat covering the same property.
- 2- Development agreement. This Three Falls subdivision (the "project") is subject to that certain subdivision and improvement agreement, executed and dated March 31, 2015 (the "development agreement") between Alpine City (the "city") and developer Three Falls Development, Inc. ("declarant").
- 3- Governing documents for the project. Project documents, including, specifically, a declaration of covenants, conditions, and restrictions for Three Falls (the "declaration"), bylaws for the Three Falls homeowners association ("bylaws"), and the Three Falls design guidelines (the "design guidelines") have been prepared by the declarant and shall govern the project (the foregoing documents, together with this plat are, collectively, the "governing documents"). Additionally, the declarant has or will establish a homeowners association (the "association") consistent with the declaration to operate in accordance with the bylaws to enforce the covenants and restrictions in the governing documents and to maintain the common areas and facilities (as defined in the declaration) for the benefit of the project lot owners and the project.
- 4- Each lot in this plat has a building activity envelope location designated by the declarant. Excluding driveways and/or cuts and fill by the declarant for the purpose of construction project roadways or other uses permitted by the governing documents, all improvements must remain in this envelope. Purchasers of any lots within the project are directed to the declaration and design guidelines for further information regarding building activity envelope locations, restrictions, and allowances. Other than authorized association or declarant personnel, no motorized vehicles may be operated on any lot in this plat outside of the building activity envelope or driveway corridor.
- 5- Roads. In accordance with the development agreement, certain improvements to Fort Canyon Road, internal roads, and the secondary access road reflected hereon (Mountain Park Road) have been or will be constructed by the declarant, and said improvements shall be and hereby are dedicated to the city and all maintenance thereof shall be the responsibility of the city. Roads within the project, as identified in this plat, shall be and hereby are dedicated to the city as public roadways and all maintenance thereof shall be the responsibility of the city.
- 6- Certain lots and open spaces in Three Falls contain a cut/fill slope easement for the subdivision's roadways. The easement is necessary for the construction and maintenance of the roadways within the subdivision. This easement is for the benefit of Alpine City. Lot owners may not alter or affect this easement in any way unless expressly authorized by the Three Falls design review committee and Alpine City.
- 7- The total amount of irrigated landscaping shall not exceed one (1) acre.
- 8- Association responsibility for certain other improvements. The declarant has or may construct and/or install gatehouse gates, emergency gates, monument entry features, signage, and landscaping around the public trailhead within the project, not inconsistent with the governing documents (collectively, the "improvements"). Such improvements shall be included in the common areas and facilities, as defined in the declaration, and shall be privately owned and maintained by the association. Maintenance of any private driveway entry feature constructed on a lot in this project shall be the responsibility of the lot owner.
- 9- PURSUANT TO UTAH CODE 10-9A-604(D), public open space, public trail easement, public trailhead, indemnification. All public open space (including the public trails thereon) (the "public open space"), as shown on this plat, shall be and hereby is dedicated to Alpine City for the use and enjoyment of the public during hours of operation pursuant to Alpine City park and open space ordinances. The declarant has or will construct a public trailhead (consisting of a restroom facility and parking) not inconsistent with this plat or the development agreement. The public open space and the hardscape portion of the public trailhead (specifically, the restroom facilities and parking areas) shall be and hereby are dedicated to the city and all maintenance of the public open space and hardscape portions of the public trailhead shall be the responsibility of the city. Additionally, the declarant has or will construct a public trail through a portion of the private open space as reflected on this plat. A public trail easement, as shown on this plat, shall be and hereby is established for the use and enjoyment of the public. Consistent with the development agreement, the landscaped area around the public trail head shall be privately owned by the association and maintenance thereof shall be the responsibility of the association. Notwithstanding anything herein to the contrary, the city acknowledges and agrees that it shall indemnify and hold harmless, the declarant, the association, and lot owners within the project, from and against any and all claims and liabilities of any type or nature arising from or in any way connected to the use of the public open space, the public trails, the public trail easement, and/or the public trailhead by the public or any member thereof.
- 9B- Pursuant to Utah Code 10-9A-604(D), The owner hereby conveys the private Open Space Areas as indicated hereon to the Three falls home owner's Association, a Utah nonprofit Corporation with a registered address of 2085 n. three falls drive Alpine, ut. 84004.
- 10- Utility easements subject to the public trail easement, liability for damage to open space or public trail. Any public utility easement ("PUE") established by and/or reflected on this plat or by the declaration is subject to the public trail easement shown hereon. Any damage to the public open space, public trail, or public trailhead within the project or any portions thereof caused by a utility provider shall be the responsibility of that utility provider to repair, at its sole expense, and restore the damaged area substantially the same condition as existed immediately prior to the damage, as determined by city, in its discretion. Similarly, any damage to the public open space, public trail, or public trailhead within the project, or any portion thereof, caused by any owner of a lot within the project shall be the responsibility of that lot owner to repair, at the lot owner's sole expense, and restore the damaged area to substantially the same condition as existed immediately prior to the damage, as determined by the city, in its discretion.
- 11- Non-combustible roofing material required: roofing materials for dwellings and any out buildings must be non-combustible and approved by the Three Falls design review committee. No wood shake roofing material will be permitted.
- 12- Compliance with sensitive land ordinance. All lot owners must comply with the city's sensitive lands ordinance.
- 13- Building permits. Pursuant to the development agreement, the declarant has or will construct and/or install certain required public improvements including water, sewer, and storm drains (collectively, the "public improvements"). Building permit for any lot within the project will not be issued from the city until such time as the public improvements have been completed by the declarant in accordance with city ordinance, standards, and specifications.
- 14- Building height restrictions, lot restrictions. All lots within the project are subject to the requirements and restrictions set forth in the declaration, design guidelines, and to city ordinances. In no event shall the height of any building within the project exceed the maximum 34 feet allowed by city standards. Lots 7, 8, 9, 10, and 16 have restrictions placed upon them by the declarant. Purchasers of any of these additionally restricted lots are directed to the design guidelines for the specific additional restrictions.
- 15- Utility easements. Public utility providers shall have the right to install, maintain, and operate their respective utility lines, pipes, conduits, cables, and/or equipment (all of the foregoing individually or collectively a "utility line") above and below ground within the PUE, as may be necessary or desirable in providing utility services within the project and to the individual lots identified herein. PUEs include a right of access to and a right to require removal of any obstructions including structures, trees, and vegetation that may be located within the public utility easement located on a lot. A utility provider may require the lot owner to remove all structures within the PUE at the lot owner's expense. At no time may any permanent structures or other obstruction which interferes with the use of the PUE be placed within the PUE without the prior written approval of the utility provider having a utility line in the PUE.
- 16- Service districts. Three Falls is served by or included within the boundaries of Alpine City, Timpanogos Special Service District, North Utah County Water Conservancy District, Wasatch Mental Health Special Service District, North Utah Valley Animal Shelter Special Service District, and Utah Valley Dispatch Special Service District. All lots are subject to assessments and fees of the foregoing district(s).
- 17- Private open space. The private open space, as reflected on this plat, less and excepting public trail easement reflected thereon, (the "private open space") is for the exclusive use and enjoyment of the project lot owners. The private open space shall be maintained by the association and the maintenance thereof shall be the responsibility of the association. Notwithstanding, any damage to any private open space or portion thereof caused by any construction, landscaping on a lot, or other improvement to the lot may be repaired by the association and the damaged portion of the private open space restored to substantially the same condition as existed immediately prior to the damage and the cost for such repair and/or restoration may be assessed to the responsible lot owner as a special assessment as provided in the declaration. Notwithstanding anything to the contrary contained herein, the declarant retains the right to construct and/or install private trails within the boundaries of the private open space. Other than authorized city, association, or declarant personnel, no motorized vehicles are allowed on the private or public trails.
- 18- Declarant rights retained, permanent drainage, and other easements. The declarant retains permanent easements throughout the project for drainage, natural drainage ways, trails, utilities, and other matters which may affect portions of lots outside of the area of the lot covered by residential improvements and outside of the right-of-way. These easements are in addition to easements identified on this plat. Natural drainage ways and storm drainage culverts, inlets, and discharges exist within the project. Except in connection with installation of driveways and utilities to the building envelope, lot owners may not impede or otherwise alter any of these drainage systems. Driveway and utility installation require prior written approval of the Three Falls design review committee. Declarant also reserves permanent easements across the portions of lots along roadways and outside of the right-of-way corridor for the maintenance and protection of cut and fill slopes, drainages, culverts, rip rap, and any other permanent roadway or drainage appurtenance. Access to lots within the project may be affected by cut and fill slopes or walls required for the roads. In certain instances, special engineering and construction techniques may be required for driveways across such cut and fill slopes.
- 19- Geotechnical. Purchasers of any lot within the project are directed to the geotechnical reports prepared by Bear West dated November 2003, titled "Three Falls Ranch Development Environmental Study Final Report", and Intermountain Geoenvironmental Services, Inc. dated July 20, 2005, titled "Landslide Investigation Three Falls Ranch Alpine, Utah", and Western Geologic, LLC dated September 7, 2004, titled "Geologic Hazards Evaluation Three Falls Ranch", and Western Geologic, LLC dated December 17, 2004, titled "Supplemental Surface Fault Rupture Hazard Study, Three Falls Ranch". Wherein each lot is required to provide a lot specific geotechnical/geologic study prior to obtaining building permit. These reports identify existing surface and subsurface conditions and geologic conditions, including faults, present in areas within the project.
- 20- Stream corridors. No alteration of any stream or stream bed shown on this plat may occur without design review committee and all state and local jurisdiction approvals.

THESE DRAWINGS OR ANY PORTION THEREOF SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

SCALE: 1" = 100 FT

DESIGNED BY:

DRAWN BY:

JOB NO.  
3-18-049

SHEET NO.  
2 OF 2

THREE FALLS "H" SUBDIVISION PLAT

FINAL PLAT

ALPINE, UTAH

NORTHERN ENGINEERING INC

ENGINEERING—LAND PLANNING

CONSTRUCTION MANAGEMENT

NO.

REVISIONS

DATE

BY

APP.

NO.

REVISIONS

DATE

BY

APP.

K:\3-18-049-00 three falls\CAD\Final\Prod Plot\FINAL PLAT H-2 10-25-2023.dwg 10/26/2021 4:28 PM

## BOUNDARY DESCRIPTION OF PLAT "H" THREE FALLS SUBDIVISION

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS"

COMMENCING AT A BRASS CAP MONUMENT MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 7, AND RUNNING N. 00°27'52" W. A DISTANCE OF 2535.34 FEET MORE OR LESS TO THE SOUTHEAST CORNER OF PUBLIC OPEN SPACE H OF THREE FALLS SUBDIVISION PLAT "G", SAID POINT BEING THE POINT OF BEGINNING.

AND RUNNING THENCE N. 88°25'44" W. A DISTANCE OF 83.29 FEET,  
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THENCE S. 11°32'12" W. A DISTANCE OF 66.31 FEET,  
THENCE N. 52°47'56" W. A DISTANCE OF 222.00 FEET,  
TO A POINT OF CURVATURE OF A 60.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT: THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, 127.35 FEET, HAVING A CENTRAL ANGLE OF 121°36'38" AND A CHORD THAT BEARS N. 23°36'11" W. A DISTANCE OF 104.76 FEET;  
TO A POINT OF CURVATURE OF A 75.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT: THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, 32.32 FEET, HAVING A CENTRAL ANGLE OF 24°41'38" AND A CHORD THAT BEARS N. 07°28'15" W. A DISTANCE OF 32.07 FEET;  
THENCE N. 19°49'05" W. A DISTANCE OF 284.78 FEET;  
THENCE N. 19°48'53" W. A DISTANCE OF 45.29 FEET;  
TO A POINT OF CURVATURE OF A 90.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT: THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, 104.10 FEET, HAVING A CENTRAL ANGLE OF 66°16'16" AND A CHORD THAT BEARS N. 46°52'42" E. A DISTANCE OF 98.39 FEET;  
THENCE N.80°00'50"E. A DISTANCE OF 273.48 FEET  
TO A POINT OF CURVATURE OF A 60.00-FOOT RADIUS TANGENT CURVE TO THE LEFT: THENCE ALONG THE ARC OF SAID CURVE, 147.62 FEET. HAVING A CENTRAL ANGLE OF 140°57'51" AND A CHORD THAT BEARS N.09°31'55"E. A DISTANCE OF 113.10 FEET;  
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THENCE S.57°20'15"W. A DISTANCE OF 183.80 FEET;  
THENCE N.89°06'45"W. A DISTANCE OF 256.80 FEET;  
THENCE N.76°48'26"W. A DISTANCE OF 206.31 FEET;  
THENCE S.29°05'16"W. A DISTANCE OF 294.01 FEET;  
THENCE S. 85°21'50" W. A DISTANCE OF 438.65 FEET,  
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Good = 0.03

Private Open Space E Good = 0.03

THENCE N.00°15'51"W. A DISTANCE OF 41.33 FEET  
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 THENCE S.87°33'22"E. A DISTANCE OF 277.99 FEET;  
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 TO A POINT OF CURVATURE OF A 99.91-FOOT RADIUS TANGENT CURVE TO THE right:  
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THENCE S.46°42'09"W. A DISTANCE OF 23.68 FEET;  
 THENCE S.76°37'43"W. A DISTANCE OF 261.02 FEET;  
 THENCE S.03°01'00"E. A DISTANCE OF 28.51 FEET;  
 THENCE S.19°49'05"E. A DISTANCE OF 295.75 FEET;  
 THENCE S.02°09'09"E. A DISTANCE OF 26.74 FEET  
 TO A POINT OF CURVATURE OF A 60.00-FOOT RADIUS TANGENT CURVE TO THE LEFT:  
 THENCE ALONG THE ARC OF SAID CURVE, 10.13 FEET. HAVING A CENTRAL ANGLE OF  
 09°40'36" AND A CHORD THAT BEARS N.79°34'58"W. A DISTANCE OF 10.12 FEET;  
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Public Open Space H good 0.02

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 LEFT: THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, 54.28 FEET, HAVING A  
 CENTRAL ANGLE OF 51°50'01" AND A CHORD THAT BEARS N. 11°17'06" E. A DISTANCE OF  
 52.45 FEET;  
 THENCE N.59°54'16"E. A DISTANCE OF 124.64 FEET  
 THENCE N.33°23'24"E. A DISTANCE OF 200.35 FEET;  
 THENCE N.32°50'14"W. A DISTANCE OF 118.35 FEET;  
 THENCE S.75°12'58"W. A DISTANCE OF 36.25 FEET;  
 THENCE N.04°53'15"W. A DISTANCE OF 116.98 FEET;  
 THENCE N.46°42'09"E. A DISTANCE OF 23.68 FEET;

Lot 46 good 0.01

THENCE S.04°53'15"E. A DISTANCE OF 116.98 FEET;  
 THENCE N.75°12'58"E. A DISTANCE OF 36.25 FEET;  
 THENCE S.32°50'14"E. A DISTANCE OF 118.35 FEET;  
 THENCE S.33°23'24"W. A DISTANCE OF 200.35 FEET;  
 THENCE S.59°54'16"W. A DISTANCE OF 124.64 FEET;  
 TO A POINT OF CURVATURE OF A 60.00-FOOT RADIUS NON-TANGENT CURVE TO THE  
 LEFT: THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, 62.94 FEET, HAVING  
 A CENTRAL ANGLE OF 60°06'14" AND A CHORD THAT BEARS N. 44°40'50" W. A DISTANCE  
 OF 60.09 FEET;  
 THENCE N.02°09'09"W. A DISTANCE OF 26.74 FEET  
 THENCE N.19°49'05"W. A DISTANCE OF 295.75 FEET;  
 THENCE N.03°01'00"W. A DISTANCE OF 28.51 FEET;  
 THENCE N.76°37'43"E. A DISTANCE OF 261.02 FEET;

## **ALPINE CITY COUNCIL AGENDA**

**SUBJECT: MAG Project – Canyon Crest Widening**

**FOR CONSIDERATION ON: 30 November 2021**

**PETITIONER: Staff**

**ACTION REQUESTED BY PETITIONER: Review and discuss a MAG funded project to widen Canyon Crest Road**

### **BACKGROUND INFORMATION:**

Canyon Crest road is one of Alpine City's main arterial roads and means of ingress/egress outside the city. During peak hour morning and afternoon time periods this road sees significant traffic congestion. In 2018 Alpine, Highland, and Lehi teamed together and submitted a proposal to Mountainland Association of Governments (MAG) to do a North Utah County/SR-92 traffic study. The purpose of the study was to identify projects that would alleviate traffic congestion north of SR-92. The proposal was accepted, and the study was completed shortly thereafter.

The study looked at all the major intersections along SR-92, from I-15 in Lehi to the mouth of American Fork Canyon. The study shows a need to add lanes at the intersection of 4800 W / SR-92 and extend those improvements northward into Alpine. This means expanding the current cross section of Canyon Crest Rd from a three-lane road to a five-lane road. The expansion would result in two travel lanes in both directions with a middle turn lane.

The project will be proposed to be phased into three parts. The first phase would include intersection improvements at the intersection of 4800 W / SR-92 and extend those improvements (adding lanes) to Healey Boulevard in Alpine. If approved, the project would be funded over the next five years and constructed shortly thereafter, assuming all required right-of-way is purchased. The estimated cost for Phase 1 is \$8,944,000 (2025). There is a 6-7% match requirement. Alpine City would only be responsible for matching the portion of roadway costs that is constructed in Alpine City limits.

### **STAFF RECOMMENDATION:**

Discuss project – no motion required at this time



**ALPINE CITY  
STAFF REPORT**  
November 2, 2021

**To:** Alpine City Council

**From:** Staff

**Prepared By:** Jed Muhlestein, City Engineer  
Engineering & Public Works Department

**Re: 4800 West/Canyon Crest Road Expansion - Project Funding Support**

Canyon Crest road is one of Alpine City's main arterial roads. During peak hour morning and afternoon time periods this road sees significant traffic congestion. This congestion originates at the intersection of SR-92 and 4800 West (in Highland) and, at times, extends northward on Canyon Crest Rd to Ridge Drive in Alpine. Nearly one mile long. This is not the only road which sees congestion, but it is the worst. See Appendix A for congestion photos.

In 2018 Alpine, Highland, and Lehi teamed together and submitted a proposal to Mountainland Association of Governments (MAG) to do a North Utah County/SR-92 traffic study (see Appendix D). The purpose of the study was to identify projects that would alleviate traffic congestion north of SR-92. The proposal was accepted, and the study was completed shortly thereafter.

The study looked at all the major intersections along SR-92, from I-15 in Lehi to the mouth of American Fork Canyon. It also investigated the impacts certain potential new road connections between Alpine/Highland/Lehi would have on the congestion of SR-92. In the end, one of the top projects highlighted was the need to add lanes at the intersection of 4800 W / SR-92 and extend those improvements northward into Alpine. This means expanding the current cross section of Canyon Crest Rd from a three-lane road to a five-lane road. The proposed cross section is shown in Figure 1. To make the project as cost effective as possible, it is intended to expand the road from the west curb, leaving as much of the westerly curb/gutter and sidewalk in place. Having said that, there are places where the westerly side will be reconstructed.

Figure 2 shows the overall project idea and how it will be phased into three parts. Phase 1 (red) would be the priority over the next five years for funding and project kickoff. The estimated cost is \$8,944,000 (See Figure 5). There is a 6-7% match requirement. Alpine City would only be responsible for matching the portion of roadway costs that is in Alpine City limits.



FIGURE 1 – PROPOSED CANYON CREST CROSS-SECTION

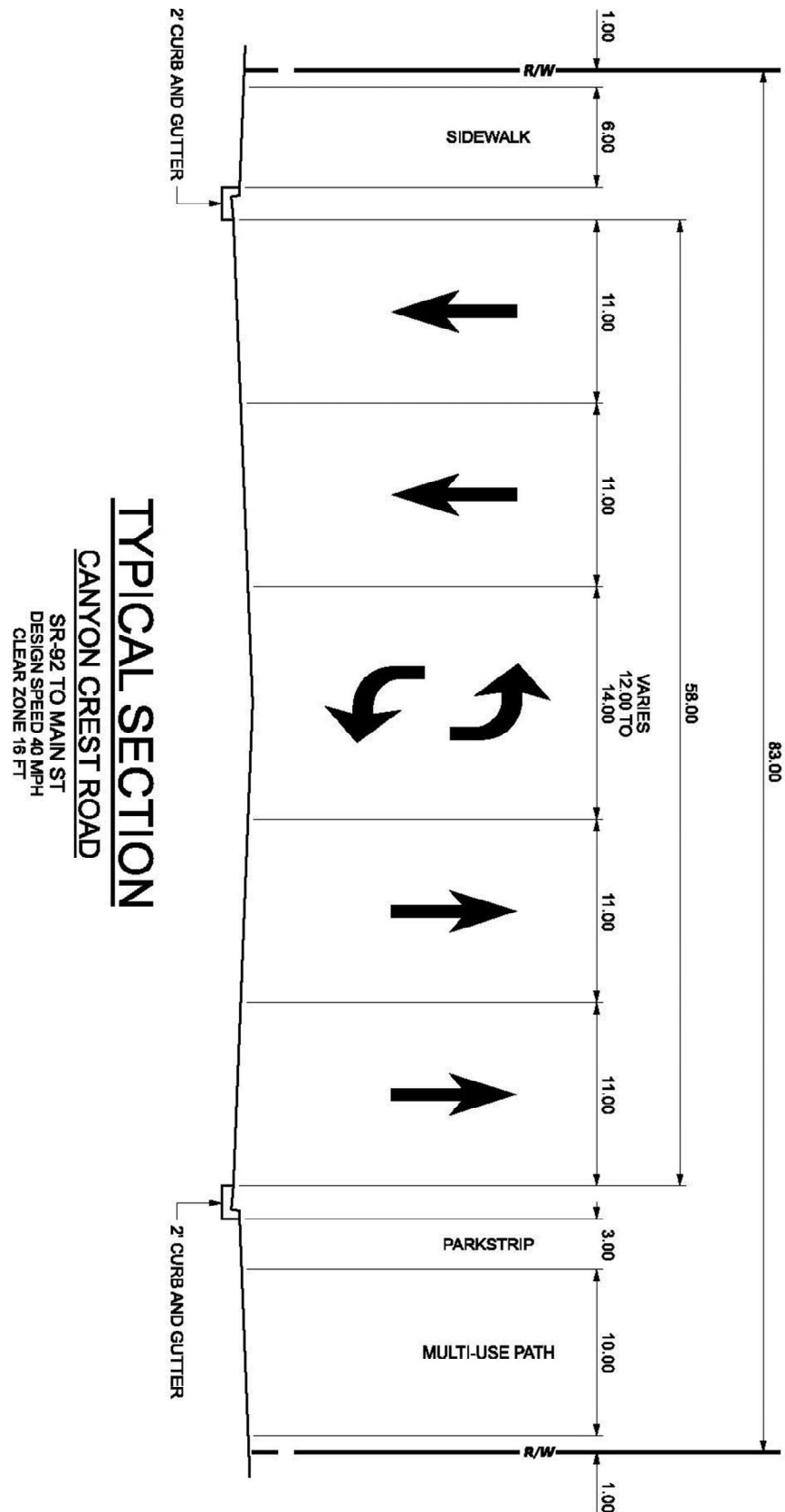
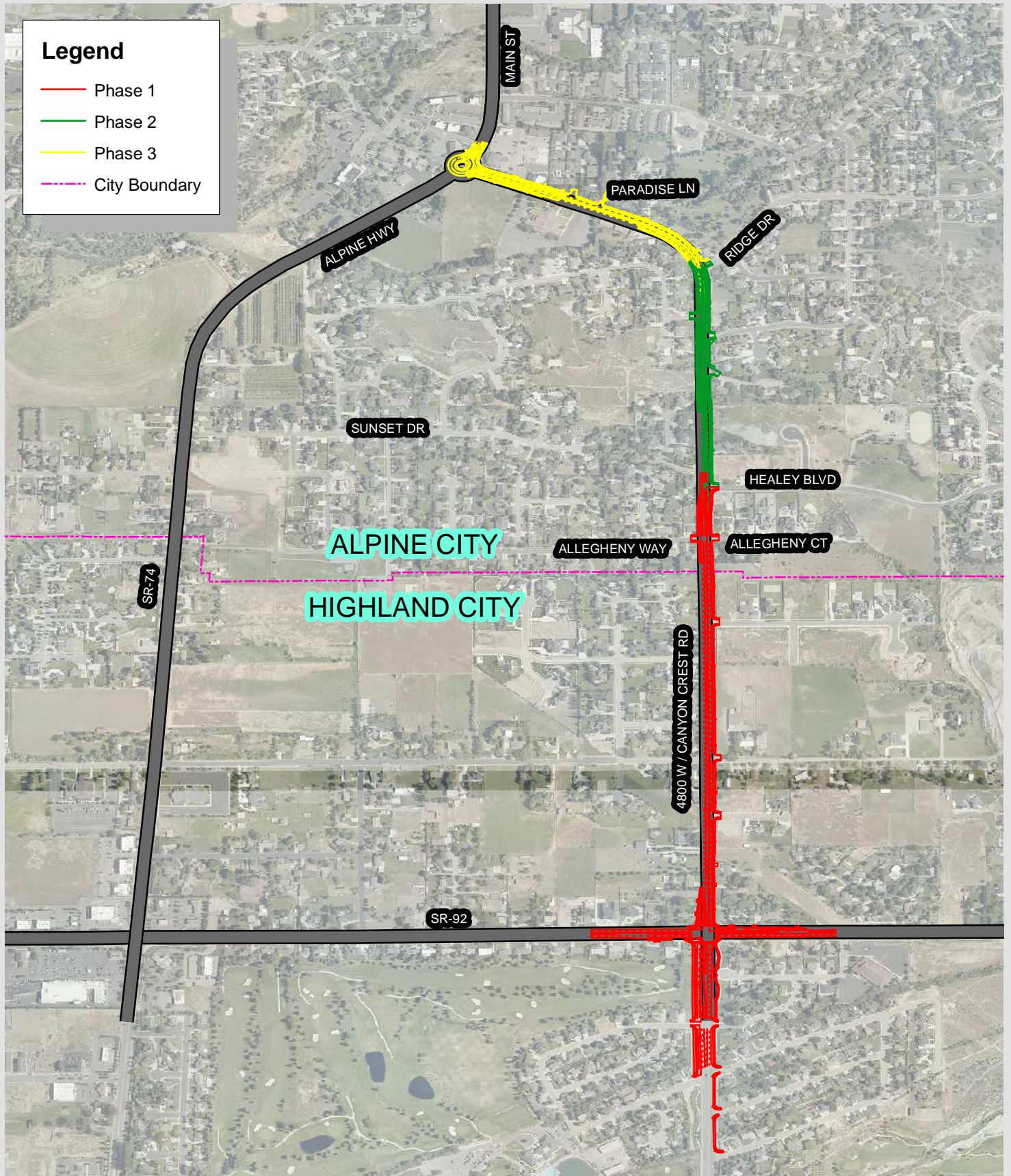


FIGURE 2 - PROJECT PHASING



# Canyon Crest Expansion PROJECT PHASING



Date: 11/2/2021

#### How was the proposed roadway cross-section in Figure 1 derived?

When expansion of Canyon Crest Road was first discussed, Avenue Consultants was asked to provide a concept plan that would be ideal for traffic and pedestrians. The ideal cross section is shown in Figure 3 (next page). This section included 5' bike lanes/shoulders, a 4' park strip, and 3' of right-of-way property beyond the multiuse path. This cross section is 13' wider than what was settled upon in the end (Figure 1). This cross section would have required buying several properties and removing some existing houses. With some refinement, the cross section was reduced to the bare minimum required for traffic flow. Bike lanes were removed (the multiuse trail was not removed). The park strip was reduced to 3' from 4' and removed completely in certain sections where right-of-way and building setbacks were tight. The 3' clear space behind the multiuse path was reduced from 3' to 1'. The refined design will not require any homes to be bought and removed.

#### What does this project mean for Alpine residents owning property along the corridor?

Expansion of the roadway will require right-of-way acquisition from several Alpine City properties along the corridor. This not only means acquiring property but using the acquired property to build the proposed roadway platform. Existing landscaping, fences, trees, retaining walls... all would be removed and replaced with the roadway cross section as shown in Figure 1. To give a better idea of the impacts, Appendix B shows more detailed diagrams of the concept plan overlaid onto existing properties.

#### What does this project do for all Alpine residents?

The project will benefit all residents who travel this road for many years to come as it provides the much-needed room for the traffic generated by mostly Alpine City residents. It would extend to the round-a-bout, a 10' wide concrete multiuse trail system that currently terminates at the SR-92 intersection. Connection to this trail system is important for the north Utah County Active Transportation system, as that trail system connects to many others as it traverses further into Highland City. See Figure 4 on page 6.

#### What is Staff looking for from the Alpine City Council?

Staff is seeking the support of the Alpine City Council for this project. Proposing a project that will be impactful to residents who own property along this corridor is not an easy task for Staff and has not been taken lightly. A great deal of coordination and effort has occurred between MAG staff, UDOT, Avenue Consultants, and Highland City to make sure that what is being proposed will be the least impactful to residents owning property along this corridor. Yet, the project will impact those residents. Some more than others. There may be residents that do not want to sell property to allow the project to move forward. Staff needs to know that if such a situation arises, the City Council would be willing to take the steps necessary to acquire needed right-of-way.

#### What does MAG require of Alpine City to move forward?

MAG requires the City to have an updated General Plan which includes a 5-lane road on Canyon Crest prior to March 17, 2022. Staff will be working on the steps needed to do so and will be bringing that forward around the first of the new year. See Appendix D, Project Approval Time-Line.

FIGURE 3 – IDEAL CANYON CREST CROSS-SECTION

(This cross section was revised; the proposed cross section for the project is shown in Figure 1)

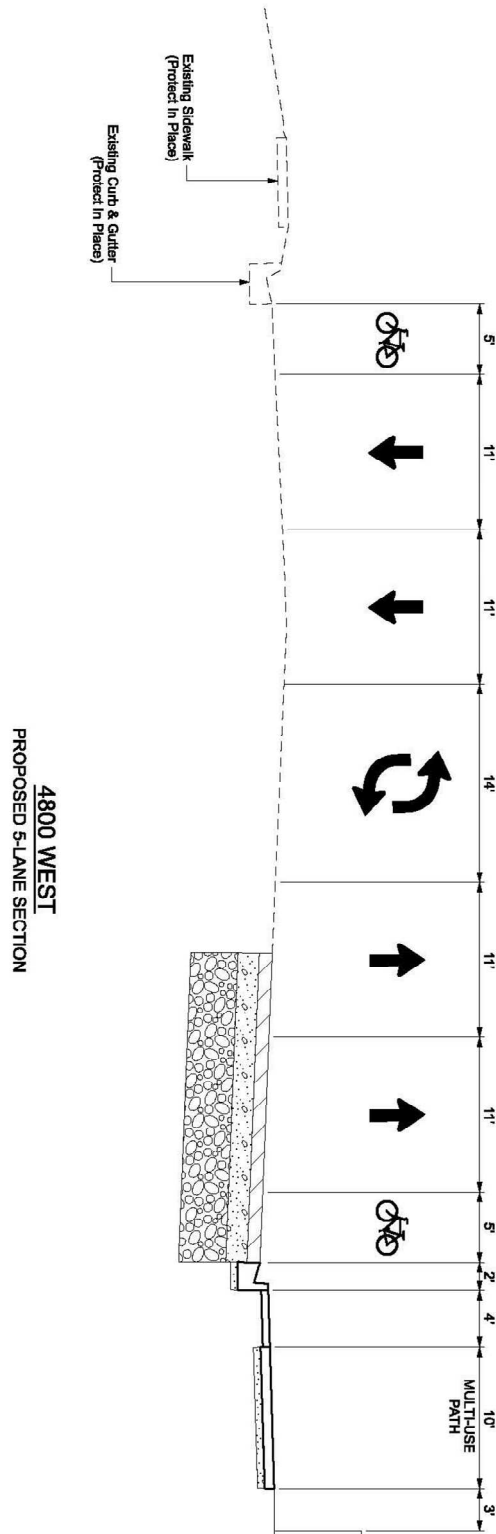




FIGURE 4 – CURRENT MAG ACTIVE TRANSPORTATION MAP

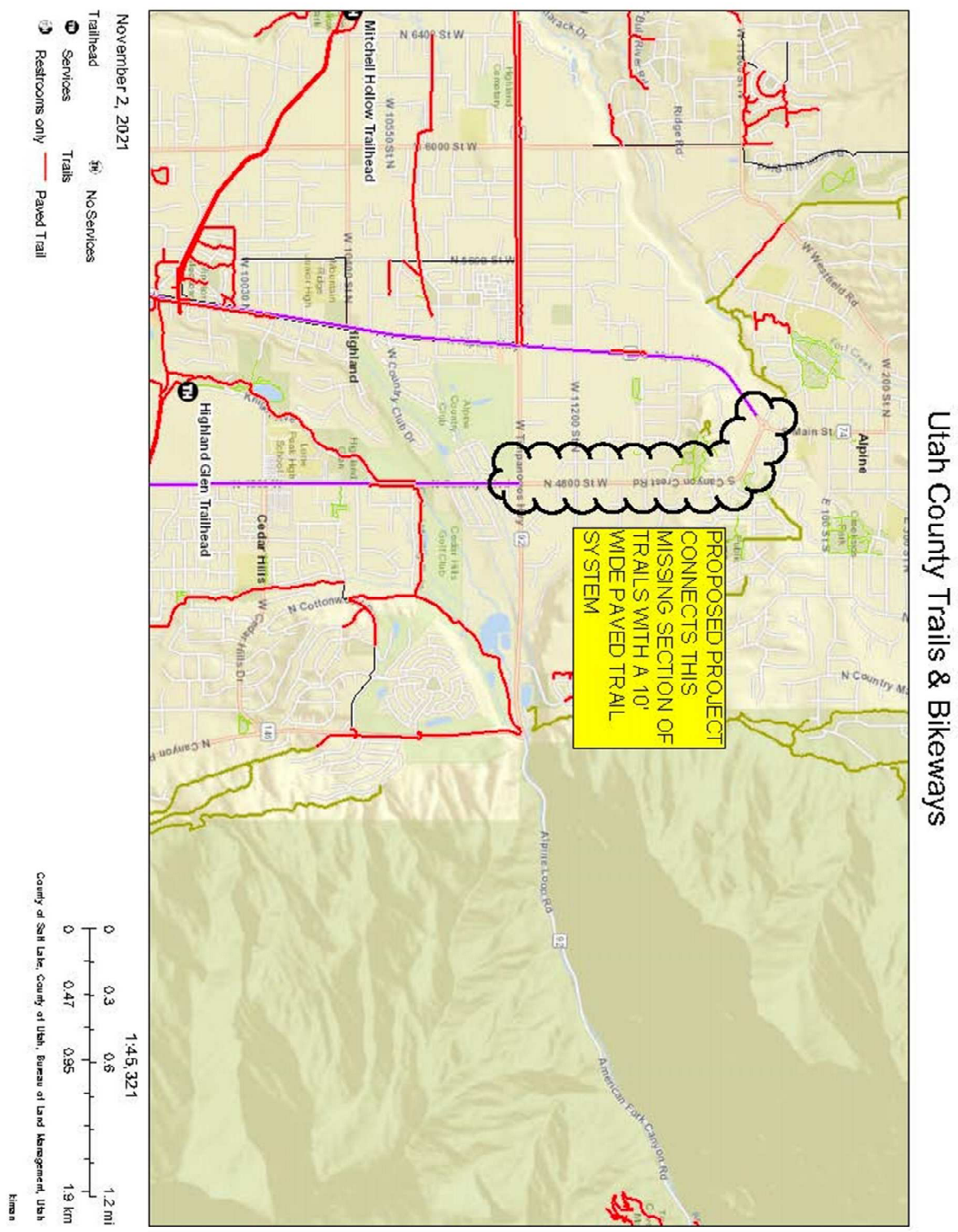


FIGURE 5

**PIN: 16992 PROJECT # S-0092(39)1 PROJECT NAME: SR-92 North Regional Traffic Study  
Canyon Crest; SR-92 to Main Street (phase 1)  
Cost Estimate - Concept Level**

Prepared By: David Webb

Date 10/15/2021

Proposed Project Scope: Widen Canyon Crest to a 5-lane section from SR-92 to Main Street.

Approximate Route Reference Mile Post (BEGIN) =	n/a	(END) =	n/a
Project Length =	1.207	miles	6,373 ft
Current FY Year (July-June) =	2021		
Assumed Construction FY Year =	2025		
Construction Items Inflation Factor =	1.18	4 yrs for inflation	
Assumed Yearly Inflation for Engineering Services (PE and CE) (%/yr) =	3.25%		
Assumed Yearly Inflation for Right of Way (%/yr) =	4.0%		
Items not Estimated (% of Construction) =	30.0%		
Preliminary Engineering (% of Construction + Incentives) =	14.0%		
Construction Engineering (% of Construction + Incentives) =	10.0%		

Construction Items	Cost	Remarks
Public Information Services	\$10,000	
Roadway and Drainage	\$2,902,111	
Traffic and Safety	\$79,678	
Structures	\$0	
Environmental Mitigation	\$59,000	
ITS	\$0	
Subtotal	\$3,050,789	
Items not Estimated (30%)	\$915,237	
<b>Construction Subtotal</b>	<b>\$3,966,026</b>	
P.E. Cost	P.E. Subtotal	14%
C.E. Cost	C.E. Subtotal	10%
Right of Way	Right of Way Subtotal	
Utilities	Utilities Subtotal	
Incentives	Incentives Subtotal	
Miscellaneous	Miscellaneous Subtotal	

Cost Estimate (ePM screen 505)	2021	2025
P.E.	\$566,000	\$643,000
Right of Way	\$1,167,000	\$1,365,000
Utilities	\$1,032,000	\$1,222,000
Construction	\$3,966,000	\$4,698,000
C.E.	\$405,000	\$460,000
Incentives	\$79,000	\$94,000
Aesthetics	\$30,000	\$36,000
Change Order Contingency	9.00% \$360,000	\$426,000
UDOT Oversight	\$0	\$0
Miscellaneous	\$0	\$0
<b>TOTAL</b>	<b>\$7,605,000</b>	<b>\$8,944,000</b>

<b>PROPOSED COMMISSION REQUEST</b>	<b>TOTAL</b>	<b>\$7,605,000</b>	<b>TOTAL</b>	<b>\$8,944,000</b>
------------------------------------	--------------	--------------------	--------------	--------------------

### Project Assumptions/Risks

1 Pavement design: 8" HMA, 6" UTBC, 12" GB	8
2 Roadway excavation includes asphalt removal	9
3 Typical Section: (2)11-ft lanes, 14-ft TWLT lane, (2)11-ft lanes, no shoulder, 2-ft Curb and Gutter, 3-ft parkstrip, 10-ft path	10
4 3-ft parkstrip removed as needed to reduce ROW impacts	11
5 Most widening completed to east maintaining existing edge of pavement on the west	12
6	13
7	14

APPENDIX A  
Photos of congestion along 4800 West / Canyon Crest Road

4800 West  
(looking Northward)



Oct. 29, 2021  
(approx. 7:30 am)



4800 West  
(looking Southward)



Nov. 2, 2021  
(approx. 3:50 pm)



PRELIMINARY  
NOT FOR CONSTRUCTION  
10/18/2021

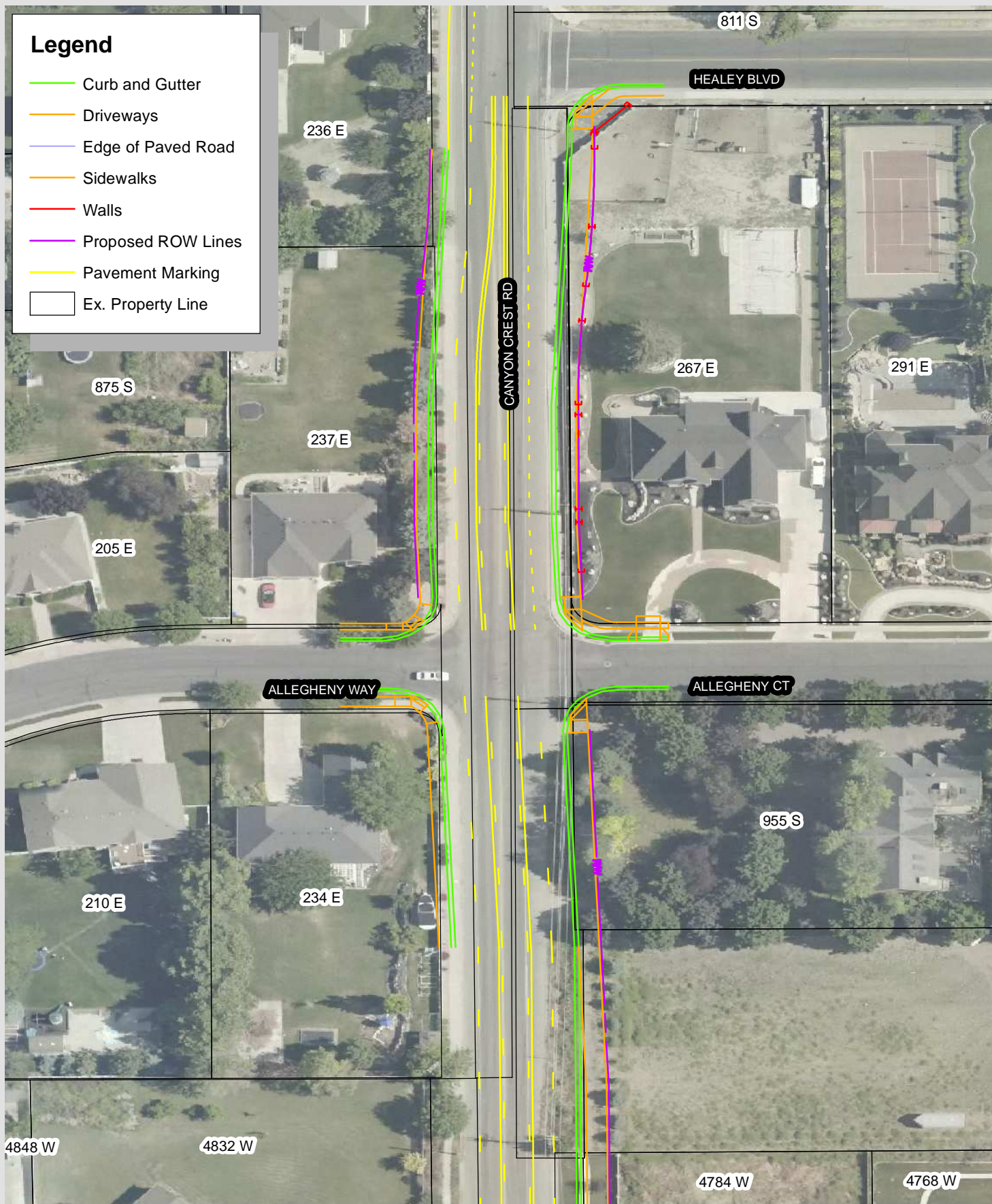




APPENDIX B  
Concept Plan – Individual Property Analysis

## Legend

- Curb and Gutter
- Driveways
- Edge of Paved Road
- Sidewalks
- Walls
- Proposed ROW Lines
- Pavement Marking
- Ex. Property Line



# Phase1 - Sheet 1

## Canyon Crest Expansion

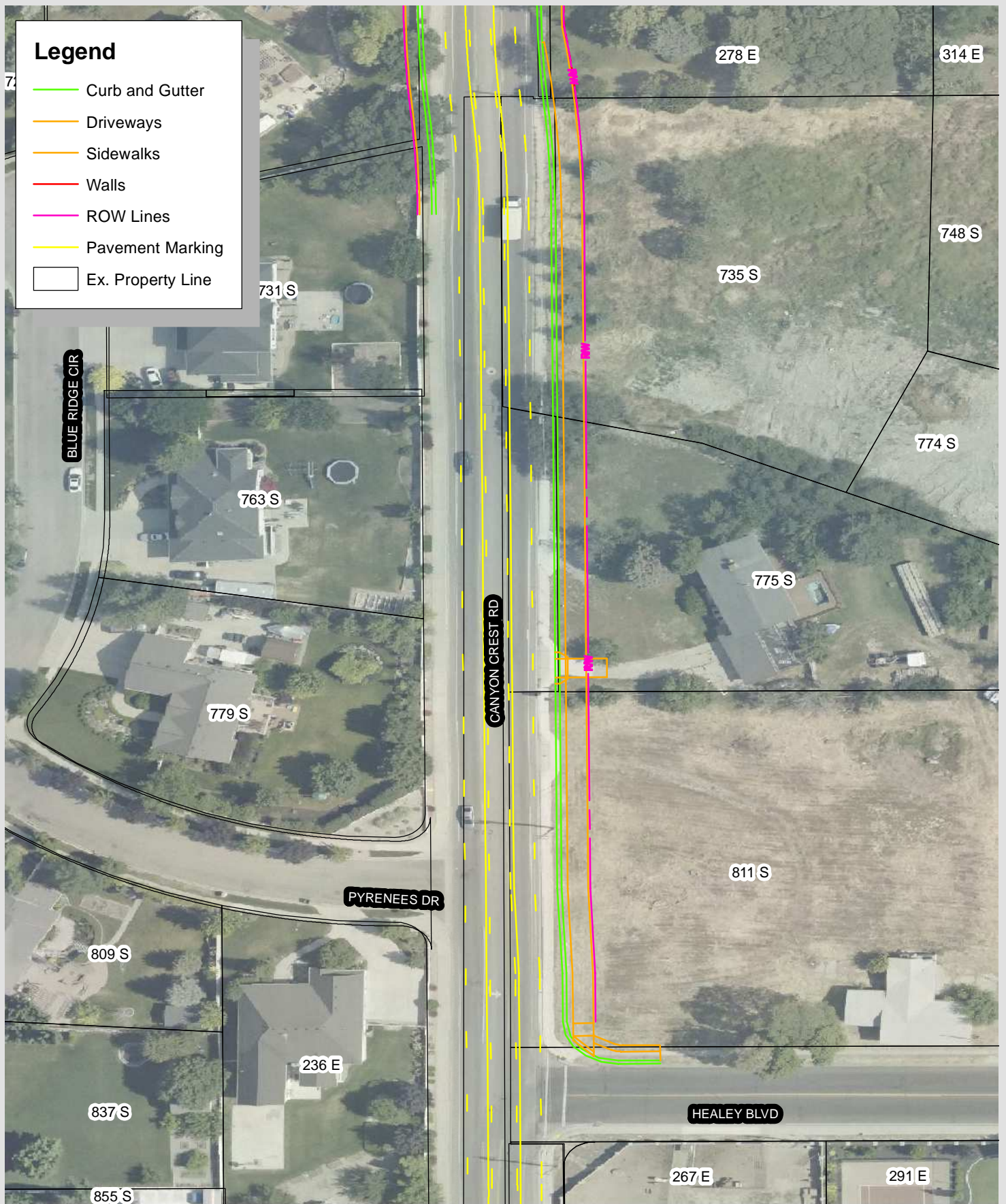


Date: 11/1/2021



## Legend

- Curb and Gutter
- Driveways
- Sidewalks
- Walls
- ROW Lines
- Pavement Marking
- Ex. Property Line

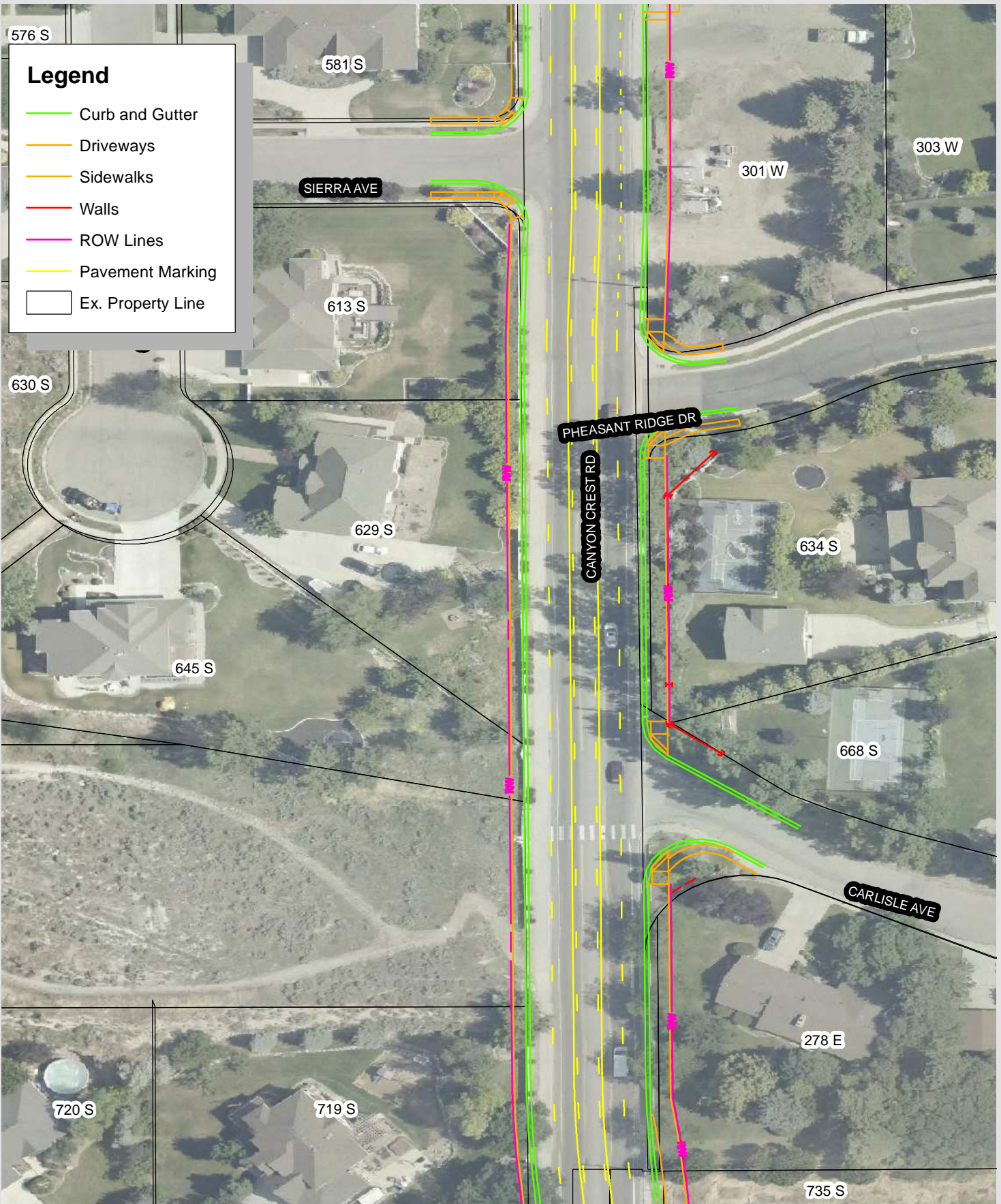


# Phase 2 - Sheet 1 Canyon Crest Expansion



Date: 11/1/2021





**Legend**

- Curb and Gutter
- Driveways
- Sidewalks
- Walls
- ROW Lines
- Pavement Marking
- Ex. Property Line



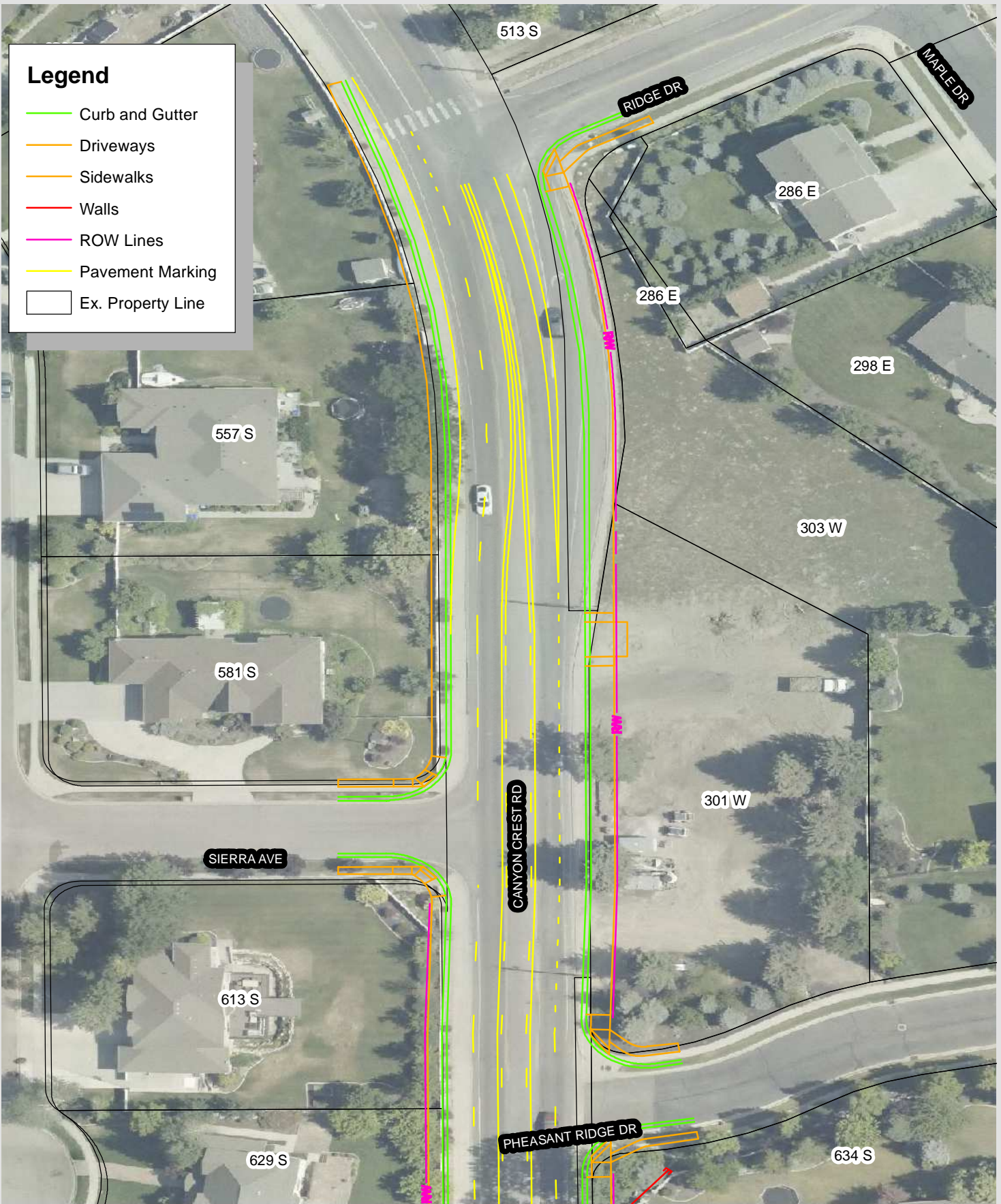
# Phase 2 - Sheet 2

## Canyon Crest Expansion



Date: 11/1/2021





# Phase 2 - Sheet 3

## Canyon Crest Expansion

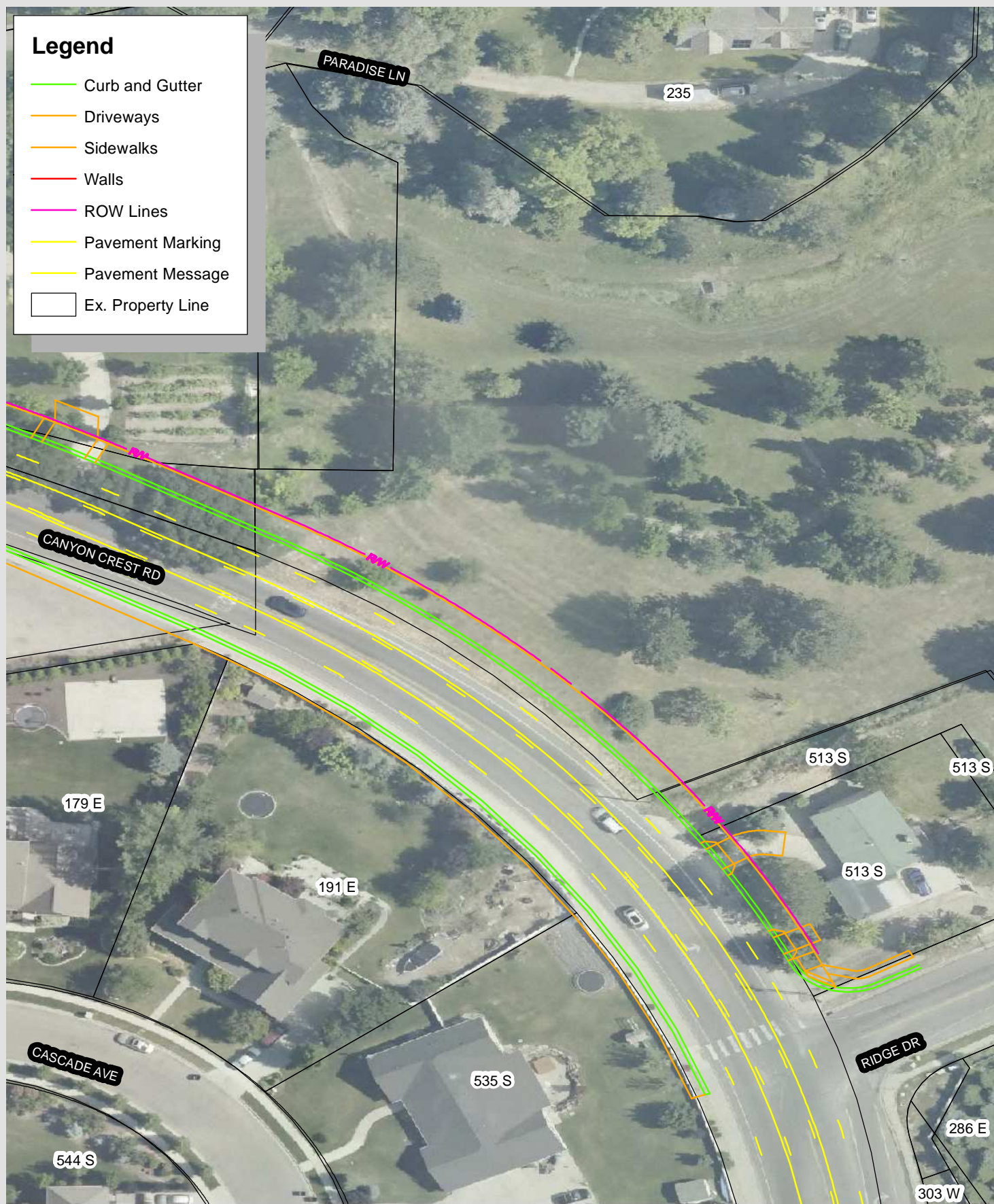


Date: 11/1/2021



## Legend

- Curb and Gutter
- Driveways
- Sidewalks
- Walls
- ROW Lines
- Pavement Marking
- Pavement Message
- Ex. Property Line



# Phase 3 - Sheet 1

## Canyon Crest Expansion

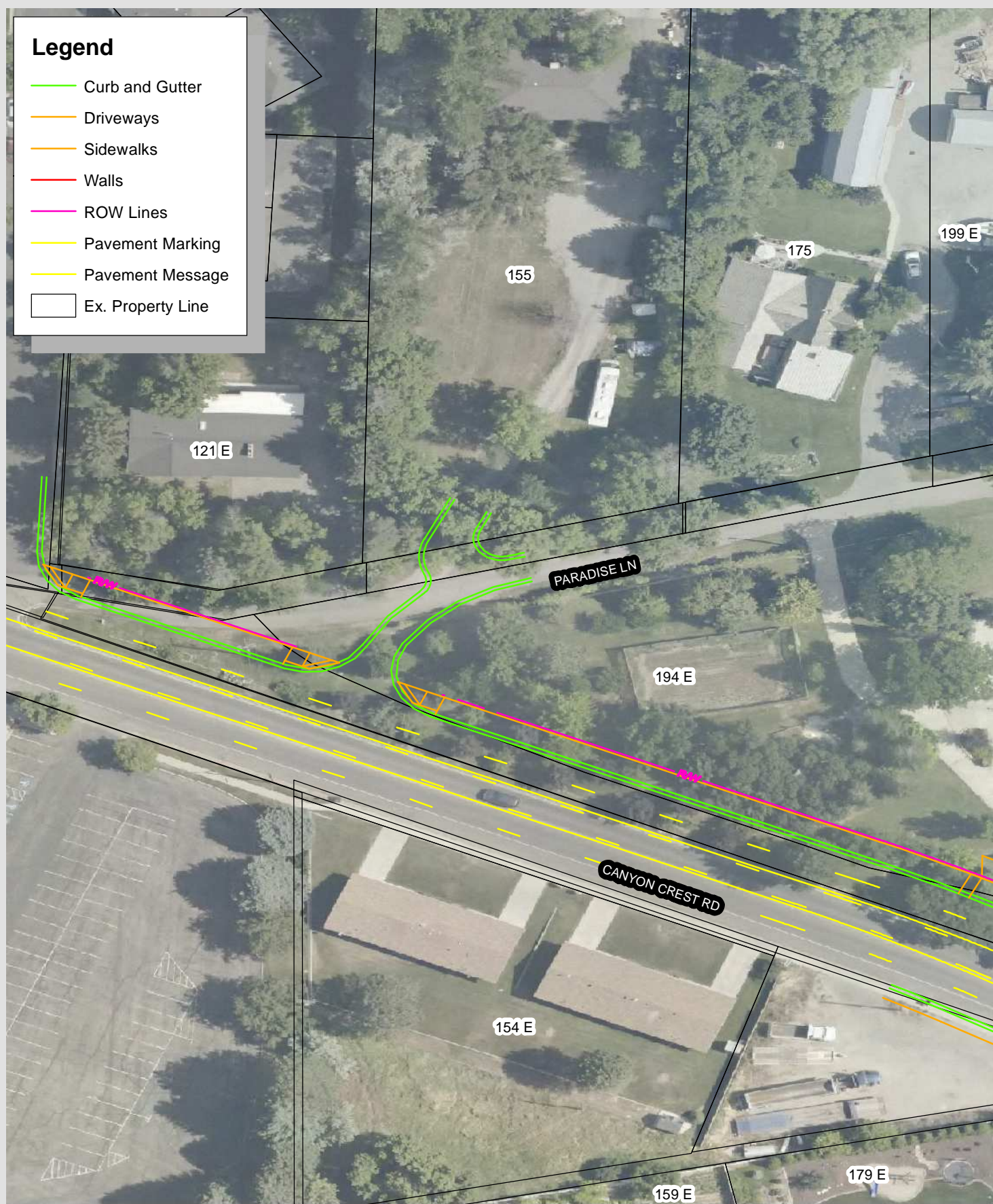


Date: 11/1/2021



## Legend

- Curb and Gutter
- Driveways
- Sidewalks
- Walls
- ROW Lines
- Pavement Marking
- Pavement Message
- Ex. Property Line



# Phase 3 - Sheet 2 Canyon Crest Expansion



Date: 11/1/2021



## Legend

- Curb and Gutter
- Driveways
- Sidewalks
- Walls
- ROW Lines
- Pavement Marking
- Pavement Message
- Ex. Property Line



# Phase 3 - Sheet 3 Canyon Crest Expansion

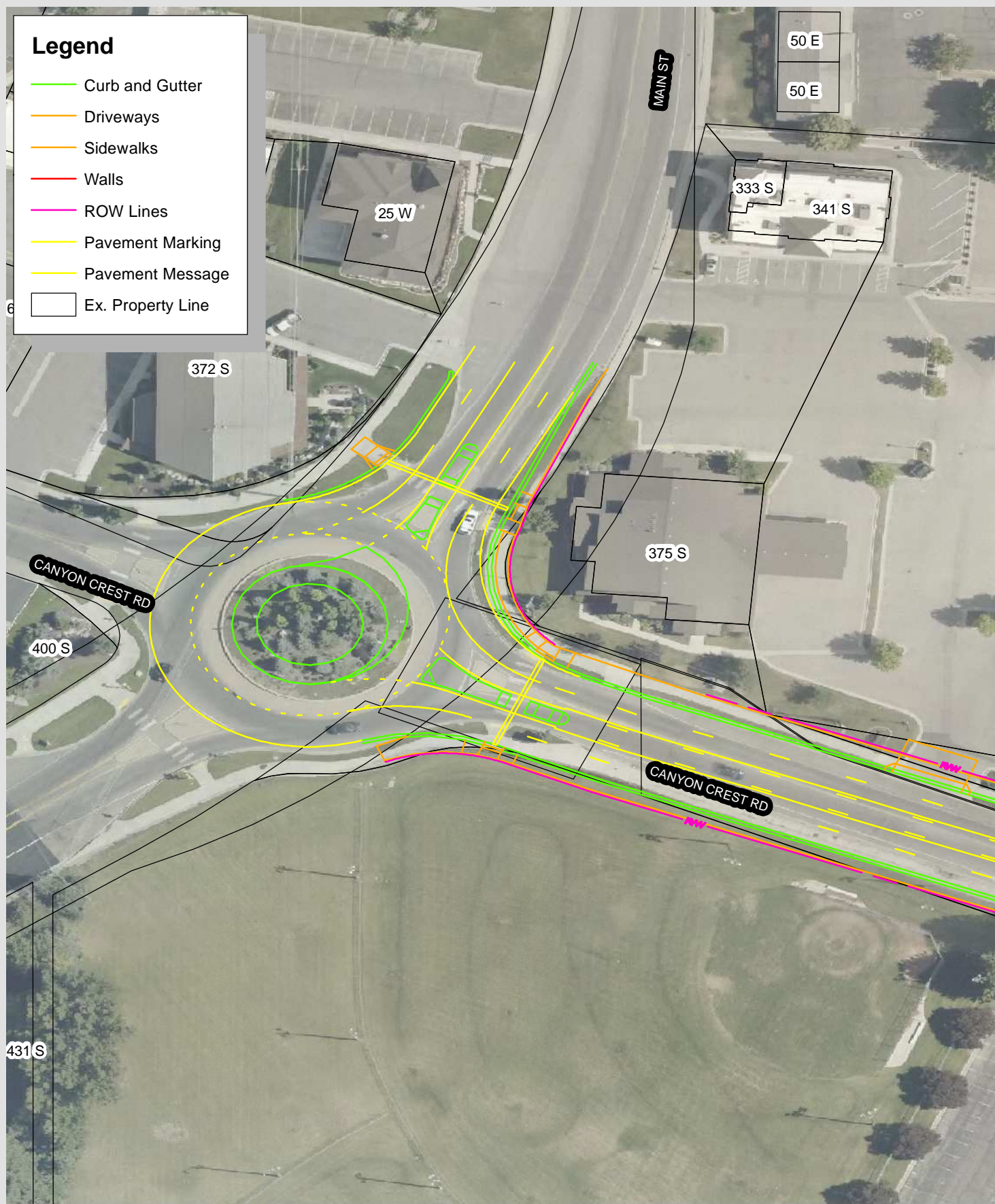


Date: 11/2/2021



## Legend

- Curb and Gutter
- Driveways
- Sidewalks
- Walls
- ROW Lines
- Pavement Marking
- Pavement Message
- Ex. Property Line



# Phase 3 - Sheet 4 Canyon Crest Expansion



Date: 11/2/2021



APPENDIX C  
Project Approval Time-Line



# Kickoff

- Eligibility
- Funding
- Schedule
- Process

# Schedule

## Kickoff Meetings

■ TAC Kickoff	27-Sep 2021
■ RPC Kickoff	7-Oct

## Project Idea Application

■ Draft Idea Application Due	1-Nov
■ Sponsor Idea Reviews with MPO Staff	8-10 Nov
■ Final Idea Application Due	2-Dec
■ TAC Review Projects/MPO Score	10-Jan 2022
■ RPC Review Projects/MPO Score	3-Fec

## Concept Application

■ Draft Concept Application Due	10-Feb
■ Sponsor Review with MPO Staff	21-24 Feb
■ Final Concept Application Due	17-Mar

## Concept Reviews

■ MPO Review Concepts for Accuracy, Address Questions	21-Mar-7-Apr
■ TAC / MPO Staff Field Review	11-12-Apr
■ Technical Review Scores and Evaluation Released	20-Apr

## Project Priority List

■ TAC Create Project Priority List	25-April
■ RPC Review Project Priority List	5-May
■ RPC Approve Project Priority List	5-Jun

## TIP Approval-Project Funding

■ MPO Staff Apply Funding to Project Priority List	9-23 Jun
■ Draft TIP Released to Public Comment	1-Jul
■ Draft TIP Public Comment Meeting	14-Jul
■ TAC Recommends TIP Approval	25-Jul
■ RPC Approves TIP	4-Aug

■ MPO TAC Meeting   ■ MPO RPC Meeting   ■ Due Date   ■ MAG Staff Action

APPENDIX D  
SR-92 Access & Circulation Study (2021)





# **S.R. 92 Access & Circulation Study**

prepared by  
Avenue Consultants  
February 25, 2021



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## 1 SUMMARY OF FINDINGS

The Utah Department of Transportation, Mountainland Association of Governments, and the cities of Lehi, Highland, and Alpine joined commissioned a study to evaluate traffic operations and connectivity for the eastern portion of S.R. 92 (Timpanogos Highway). The study considered major intersection from Lehi Center Street to Canyon Road. Several off-corridor locations were evaluated where existing streets could be extended or connected to improve the overall street network connectivity in the area. The *Utah Street Connectivity Guide* describes how good street connectivity provides benefits to mobility, transportation choices, emergency services, safety, and the economy.

Three specific locations were evaluated for increased street connectivity. From a traffic volume perspective, they generally reduced projected future volumes on S.R. 92 by a few percentage points and would result in slightly better operational performance on the corridor. However, even with relatively minor traffic performance benefits, the connections should still be seriously considered due to the other benefits that good street connectivity can provide.

Currently, traffic on the S.R. 92 generally operates well with minor exceptions at 5300 West (S.R. 74) and Canyon Road. A traffic signal at Canyon Road will fix the issues there and should be able to accommodate future demand as well. A recent study found that a signal is warranted at Canyon Road. By 2050 the major intersections from Highland Boulevard to North County Boulevard are all projected to operate at LOS E or F if no modifications are made. Three travel lanes in each direction will be needed on S.R. 92 from the Commuter Lanes on the west through the 5300 West intersection on the east to meet the anticipated traffic demands. The geometric intersection improvements identified for each intersection are:

- **Highland Boulevard** – Dual westbound left turn lanes, which would require some widening on the south side of the intersection to accommodate two receiving lanes.
- **6000 West** – Three eastbound and westbound through lanes and exclusive northbound and southbound right turn lanes. The analysis shows that exclusive right turn lanes would not be needed to achieve LOS D, but they would be valuable for safety and driver comfort and should still be considered.
- **6400 West** – Three eastbound and westbound through lanes.
- **5300 West (S.R. 74)** – Three eastbound and westbound through lanes and dual eastbound left turn lanes or two northbound and southbound through lanes and dual eastbound left turn lanes.
- **North County Boulevard (S.R. 129)** – Two northbound and southbound through lanes or dual southbound left turn lanes.

Concept designs and cost estimates were prepared for improvement options selected by the study team for the 6000 West, 5300 West, and North County Boulevard intersections. A phasing analysis was not completed, but since the 5300 West intersection already operates at LOS E, it would be the location with the highest priority. The concept design for 5300 West is quite robust with additional through lanes on all four legs and dual eastbound left turn lanes. Those improvements could also be phased which would lower the initial cost but would result in additional projects at that same intersection in the future when more improvements are needed.

## 2 INTRODUCTION

In collaboration with Utah Department of Transportation (UDOT), Mountainland Association of Governments (MAG), Lehi City, Highland City, and Alpine City, an access and circulation study was conducted for the eastern portion of S.R. 92 (Timpanogos Highway). The study primarily considered major intersections from Lehi Center Street to Canyon Road. Several roadway connectivity options were evaluated to understand how they would affect traffic patterns and support the roadway grid network. Concept designs and cost estimates were prepared for roadway widening projects at three separate intersections. **Figure 1** shows the study area.

## 3 ANALYSIS METHODOLOGY

The analyses performed for this study used the jointly owned and maintained Wasatch Front Regional Council (WFRC)/Mountainland Associated of Governments (MAG) travel demand model and the Synchro traffic operations analysis software. This section describes how each of these tools were used.

### 3.1 Travel Demand Modeling

The WFRC/MAG travel demand model (TDM) is a tool used to predict future travel and traffic volumes for the Wasatch Front area. WFRC and MAG are the Metropolitan Planning Organizations for the Wasatch Front and are responsible for coordinating transportation planning in the region. MAG is responsible for Utah County and WFRC for Weber, Davis, and Salt Lake Counties. Version 8.3.1 of the travel demand model was used for this study.

The travel demand model has two primary inputs: land use data and transportation system data. The land use data consists of residential and employment data for the entire region. This data is prepared in geographic blocks called Traffic Analysis Zones (TAZs). The travel model inputs are prepared for a base year, which in this case was 2019, and for a future year, which in this case was 2050. These projections are used by the MPOs to develop the Regional Transportation Plan (RTP), which is the plan for the development of the future transportation system. The RTP includes a list of projects that are planned to meet future transportation needs over a 20+ year horizon. The future land use projections for the study area were reviewed with representatives from each city to ensure that the RTP projections still conformed with city plans. **Appendix A** contains figures showing the assumed study area population and employment growth.

Using the land use and transportation system inputs, the travel model predicts how many trips will be generated in the region, where those trips are going, the mode by which they will be made, and the transportation facilities that will be used to get there.

### MODEL CALIBRATION

A segment-by-segment comparison was made between model volumes and observed traffic volumes. Daily volume data was obtained from UDOT for the study area, including published *Traffic on Utah Highways* volumes and volumes from UDOT's Automated Traffic Signal Performances Measures (ATSPM) system. A review of the initial base year travel demand model results showed that the model was low on most roads in the study area, including S.R. 92, 5300 West (S.R. 74), North County Boulevard (S.R. 129), and Canyon Road. Testing showed that free-flow speed adjustments were not sufficient to bring the model volumes up to the observed target volumes. Therefore, adjustments were made to the trip generation rates in the study area to increase the number of vehicles on the roadway network and bring the model volumes closer to their target values.

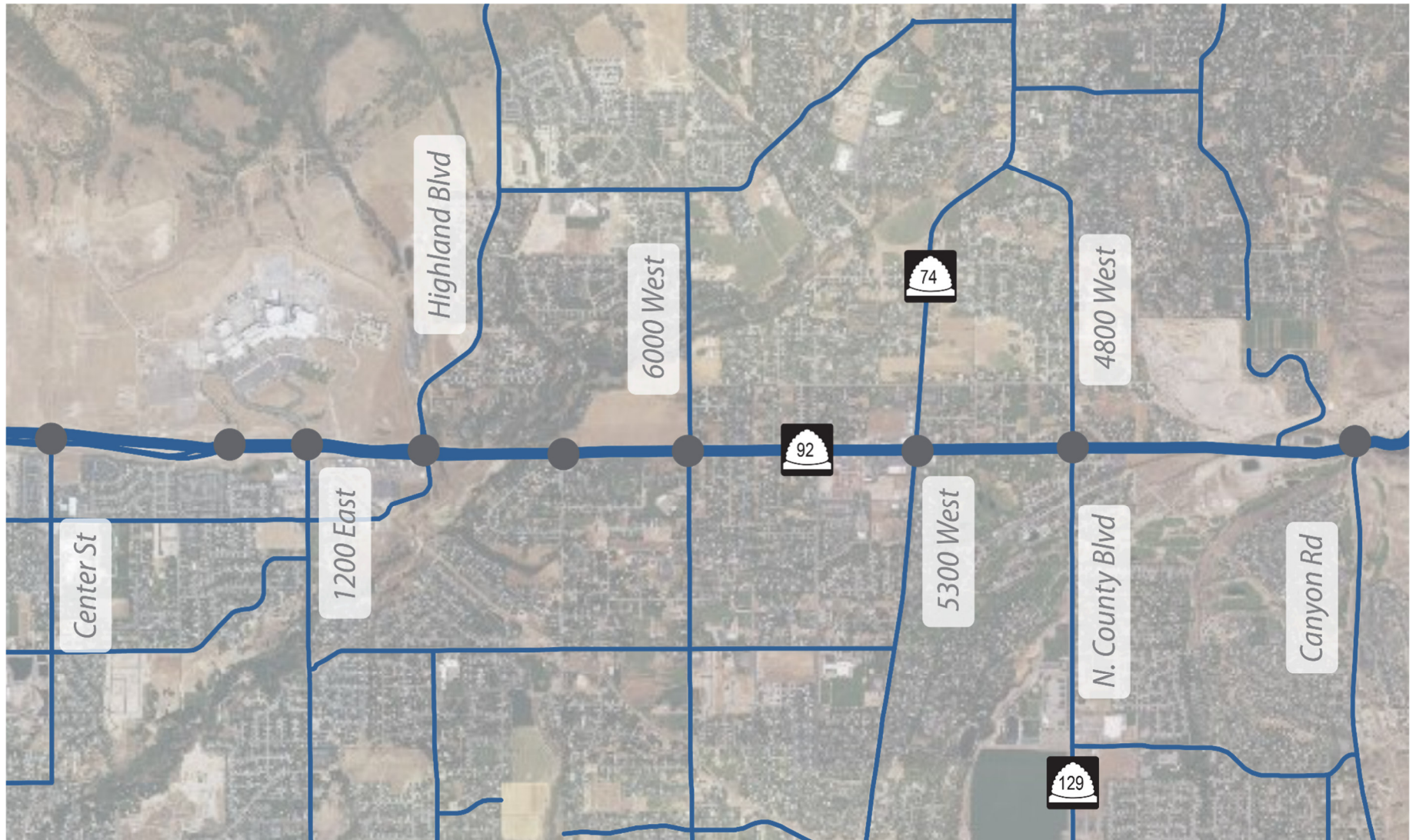


Figure 1. Study Area



## 3.2 Traffic Operations Analysis

The Synchro software was used to evaluate traffic operations. Synchro is a deterministic signal timing and traffic analysis tool that was selected for this study because it allows for the evaluation of individual intersections based on *Highway Capacity Manual* (HCM) guidelines.

### Existing Traffic Volumes

To prepare the Synchro model, initial existing traffic volumes were collected on Tuesday, August 4, 2020. Due on construction on the east end of the corridor, supplemental traffic volumes were collected where the construction had taken place on Tuesday, September 1, 2020. Intersection turning movement counts were collected between 7:00 AM and 9:00 AM and between 4:00 PM and 6:00 PM at:

- Timpanogos Highway (SR-92) & Lehi Center Street
- Timpanogos Highway (SR-92) & Micron Delivery Access
- Timpanogos Highway (SR-92) & 1200 East
- Timpanogos Highway (SR-92) & Highland Boulevard
- Timpanogos Highway (SR-92) & 6400 West
- Timpanogos Highway (SR-92) & 6000 West
- Timpanogos Highway (SR-92) & Alpine Highway (SR-74)
- Timpanogos Highway (SR-92) & North County Boulevard (SR-129)
- Timpanogos Highway (SR-92) & Canyon Road
- Timpanogos Highway Commuter Lane (SR-92) & Center Street Offramps
- Timpanogos Highway Commuter Lane (SR-92) & WB Highland Drive Onramp
- Timpanogos Highway Commuter Lane (SR-92) & 1200 East Ramps

Generally, the peak hours were determined to be from 7:15 AM to 8:15 AM for the AM peak and 5:00 PM to 6:00 PM for the PM peak. Due to the coronavirus pandemic, 2020 traffic volumes were lower than normal conditions, particularly during the peak hours. ATSPM data was used to compare 2019 traffic volumes to 2020 from which volume adjustment factors were developed for the S.R. 92 corridor. The AM peak hour volumes were increased by an average of 27% and the PM peak hour volumes by an average of 12%. The adjusted volumes were then balanced along the corridor to ensure that the volume leaving one intersection was the same as the volume arriving at the next intersection. **Appendix B** contains a figure showing the adjusted and balance estimated 2020 peak hour intersection volumes.

### Existing Signal Timing

Existing traffic signal timing data were obtained from the UDOT Traffic Operations Center and entered into the Synchro models. The intersections were modeled based on existing conditions, including the number of lanes, exclusive turn lanes, storage lengths and movement volumes. The study area was modeled as a network; however, the analysis was completed for each intersection independently.

### Future Traffic Volumes

Estimated AM and PM peak hour volumes were developed for 2050 using principles described in the National Highway Cooperative Research Program (NCHRP) Report 255 document. The 2050 peak hour intersection volumes were developed from the existing adjusted and balanced peak hour traffic volumes. The WFRC/MAG travel demand model was run for the base year (2019) and for the future year (2050) and the difference between these models was used to estimate the traffic increase for the inbound and outbound direction for each intersection leg. The turning movement volumes were then balanced to ensure the correct number of inbound and outbound vehicles on each leg of the intersection. The 2050 future volumes are found in **Appendix B**.

### 3.3 Measures of Effectiveness

Measures of Effectiveness (MOE) are used to evaluate the analysis objectives and compare the results of the various concepts. They quantify the results of the analysis and is often expressed as levels on how well the concept will perform.

For each Synchro analysis, the intersection results were calculated by Synchro following the procedures and equations described in the 2010 HCM. Two key measures of effectiveness were extracted from the Synchro models. The first was average delay per vehicle for the overall intersection and for each turning movement, which was used to determine level of service (LOS), as described in the HCM. LOS describes the operating performance of an intersection or roadway, is measured quantitatively, and is reported on a scale from A to F, with A representing the best performance and F the worst. For signalized intersections, the overall intersection LOS is most commonly reported, while for unsignalized intersections, LOS is most commonly reported based for the approach with the highest delay. **Table 1** provides a brief explanation for each LOS and the associated average delay per vehicle for unsignalized and signalized intersections.

**Table 1.** Intersection Level of Service Criteria

LOS	Description	2050 PM Peak Hour	
		Unsignalized	Signalized
A	Free Flow Operations / Insignificant Delay	$0 \leq 10$	$0 \leq 10$
B	Smooth Operations / Short Delays	$>10.0 \text{ and } \leq 15.0$	$> 10 \text{ and } \leq 20$
C	Stable Operations / Acceptable Delays	$>15.0 \text{ and } \leq 25.0$	$> 20 \text{ and } \leq 35$
D	Approaching Unstable Operations / Tolerable Delays	$>25.0 \text{ and } \leq 35.0$	$> 35 \text{ and } \leq 55$
E	Unstable Operations / Significant Delays Begin	$>35.0 \text{ and } \leq 50.0$	$> 55 \text{ and } \leq 80$
F	Very Poor Operations / Excessive Delays Occur	$> 50.0$	$> 80$

Source: *Highway Capacity Manual 2010*, Transportation Research Board National Research Council, Washington D.C

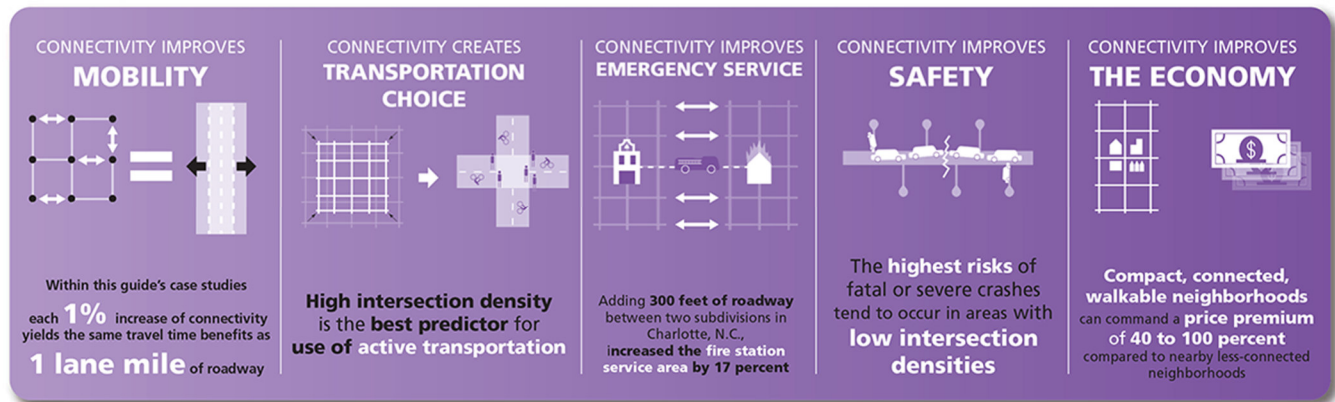
The second key measure of effectiveness extracted from Synchro was the estimated 95th percentile queue length for each turning movement at the study intersections. This represents the vehicle queue length that would only be exceeded five percent of the time during the analysis period. It helps identify issues such as queuing between intersections and queues that exceed their available storage.

## 4 STREET CONNECTIVITY

The 2019-2050 MAG RTP identifies roadway connectivity and building out the grid network as essential for accommodating long-term travel in the region. Several locations in the study area but on the S.R. 92 corridor were identified where roads could be built to increase connectivity. This section briefly describes the benefits of connectivity and describes the identified locations within the study area.

### 4.1 Connectivity Benefits

In 2017 the major transportation agencies on the Wasatch Front published the *Utah Street Connectivity Guide*. This document makes the case for connectivity, provides tools for connectivity, and provides a design guide and case studies. The guide clearly illustrates that street connectivity is an important principle that can provide numerous benefits to a community. **Figure 2** is an infographic from the guide that summarizes the benefits of street connectivity.



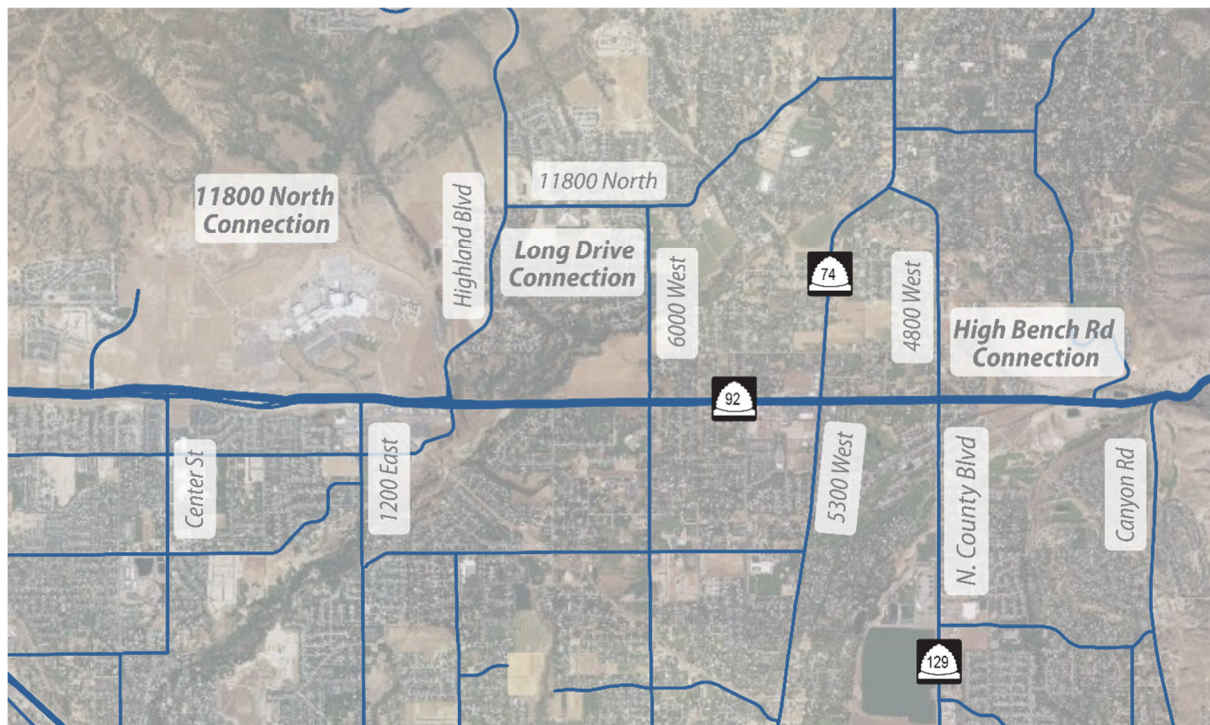
Source: *Utah Street Connectivity Guide*, March 2017, page 4

**Figure 2.** Street Connectivity Benefits

As shown in the figure, good street connectivity provides benefits to mobility, transportation choices, emergency services, safety, and the economy. A subsequent UDOT research project performed by the University of Utah states that, "improving street connectivity at a neighborhood level could be considered as a viable community development strategy to mitigate congestion on major arteries without compromising road safety."<sup>1</sup>

## 4.2 Study Area Connectivity Options

Three study area connectivity options were identified and analyzed. The three options include connections at 11800 North near the Micron facility, 5710 West in Highland, and High Bench Road in Alpine. The general location of the three potential connections is shown in **Figure 3**.



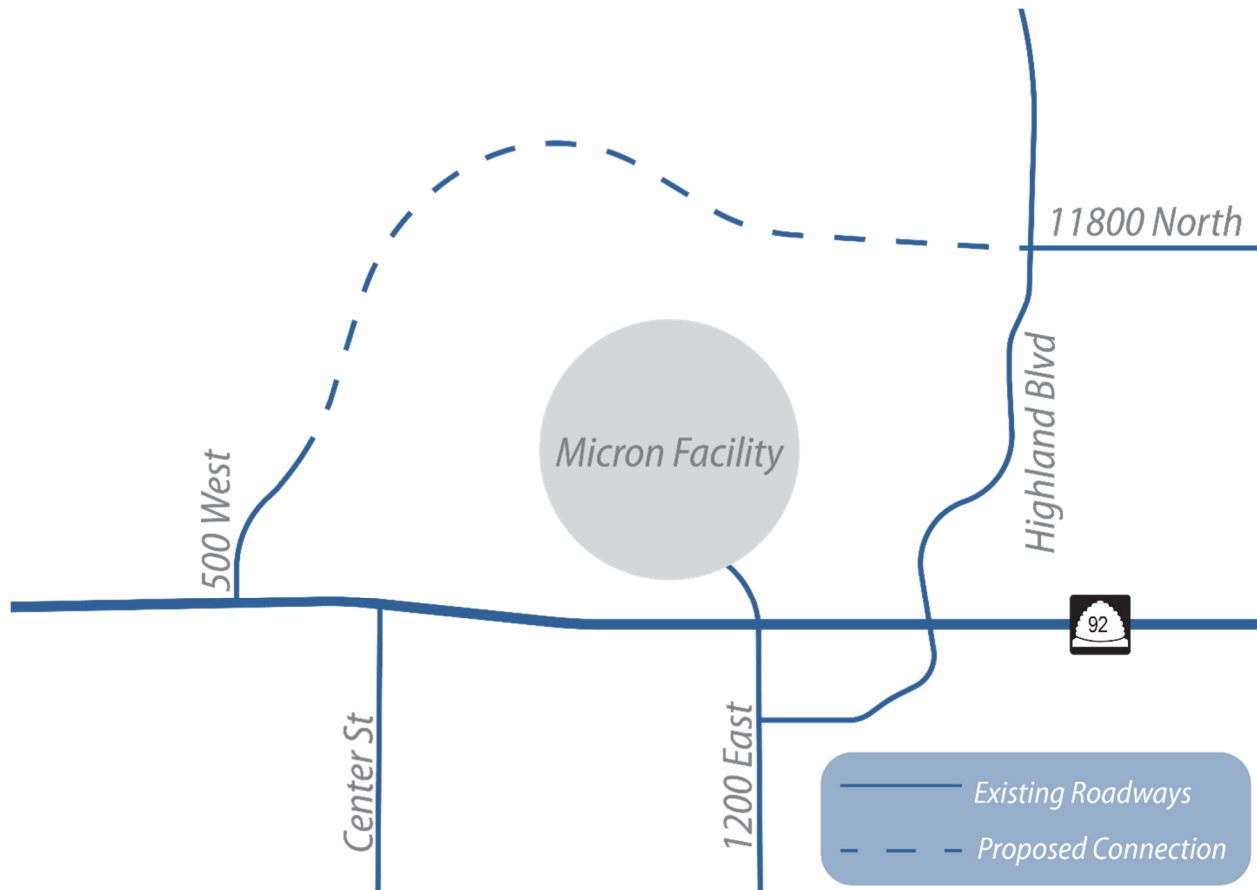
**Figure 3.** Potential Connection Locations

<sup>1</sup> Street Network Connectivity, Traffic Congestion, and Traffic Safety, Utah Department of Transportation, September 2020



#### 4.2.1 11800 North

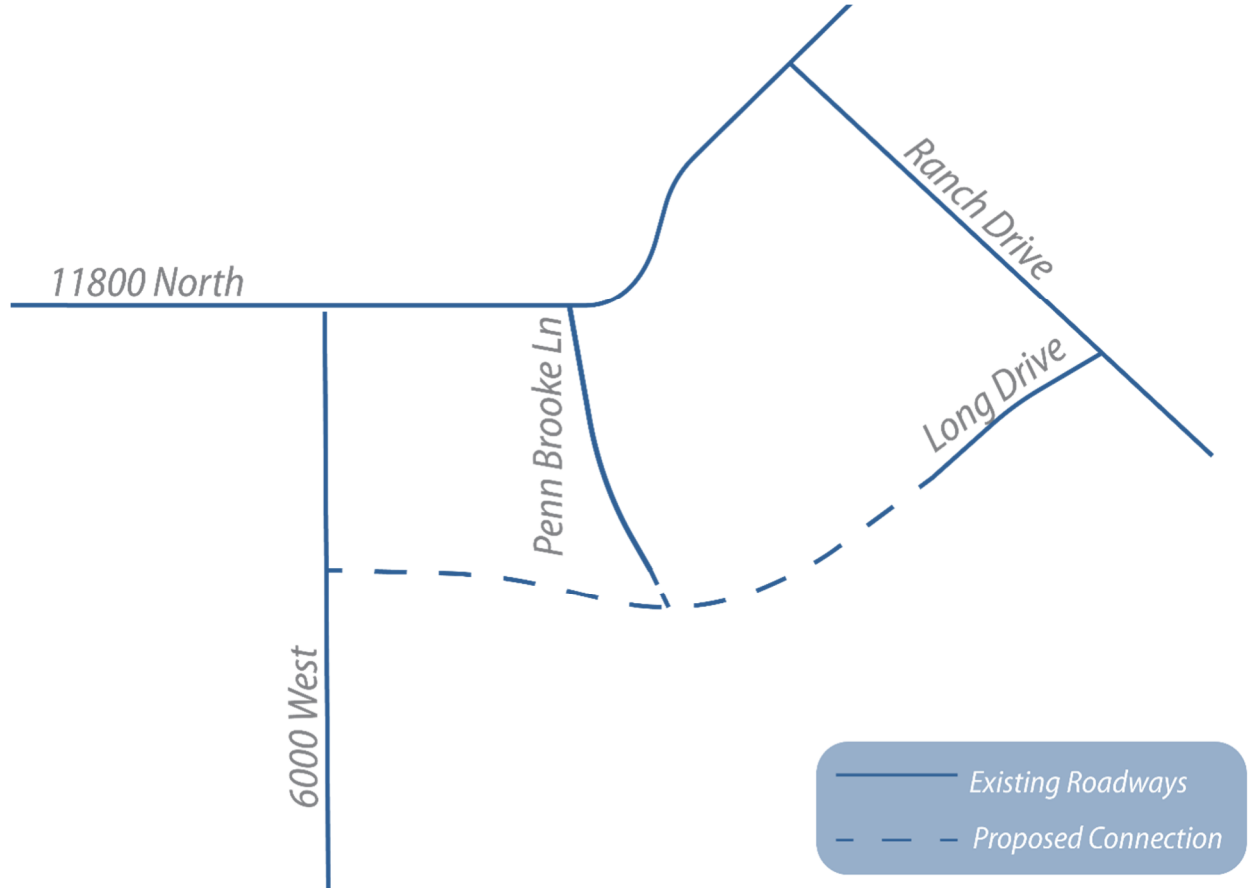
The 11800 North connection would extend the existing Highland 11800 North collector road to the west into Lehi up and around the Micron facility before connecting to Lehi 500 West. The existing 11800 North is a two-lane road with a posted speed limit of 35 mph. Looping the connection north of the Micron facility would likely require the road to briefly leave Lehi City and enter Draper City, which may complicate the funding and construction of the connection. **Figure 4** conceptually illustrates the 11800 North connection.



**Figure 4.** 11800 North Connection

## 4.2.2 Long Drive

The Long Drive connection in Highland would extend the existing Long Drive west approximately a half-mile to connect to 6000 West. Penn Brook Lane would also be extended south to connect to Long Drive. The existing Long Drive is a local road with a 25-mph speed limit. **Figure 5** conceptually illustrates the Long Drive connection.

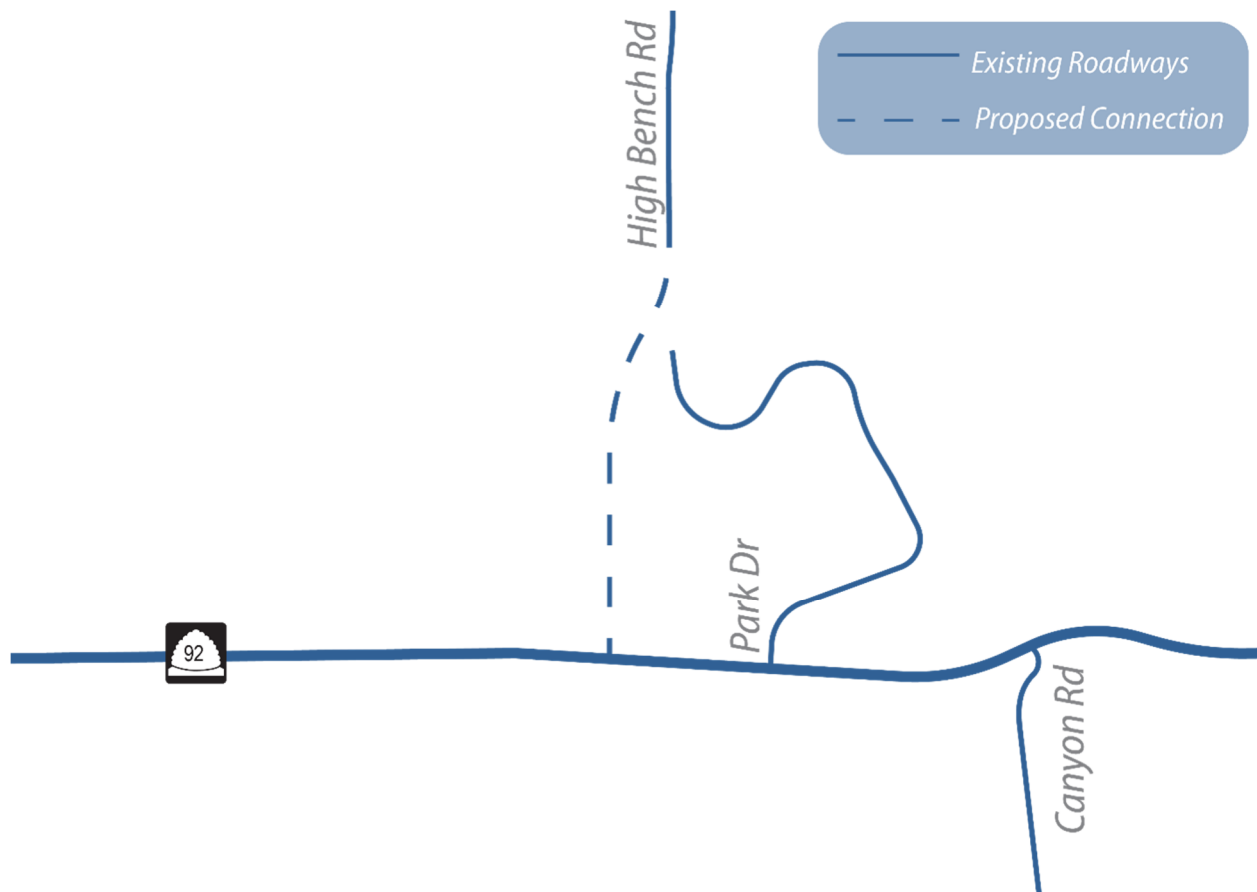


**Figure 5.** Long Drive Connection



### 4.2.3 High Bench Road

The High Bench Road connection would extend the existing High Bench Road in Alpine south to S.R. 92 in Highland. High Bench Road in Alpine lines up with Park Drive in Highland with a 650-foot gap between the two roads; however, the cities' preference is to have the connection cut through the existing gravel pit for a more direct connection to S.R. 92. This would require the closure of the gravel pit before the connection could be built, so it could be a long time until then. Another issue with this connection is the difference in elevation between S.R. 92 and High Bench Road. According to Google Earth, there is a difference of approximately 125 feet in elevation in the 0.5-mile connection, which would result in a fairly steep road in places. **Figure 6** conceptually illustrates the High Bench Road connection.



**Figure 6.** High Bench Road Connection

### 4.3 Study Area Connectivity Analysis

The MAG travel model was run for 2050 conditions with and without the three study area connections to understand the effect they would have on traffic patterns in the study area. The largest shift in traffic volumes would occur on the east side of the study area where several thousand vehicles per day would be diverted from 4800 West to High Bench Road, and similarly from North County Boulevard to Canyon Road.

S.R. 92 intersection traffic volumes were projected with and without the proposed connections. **Table 2** compares the projected 2050 PM peak hour total study area intersection volumes with and without the roadway connections. **Appendix B** contains a figure comparing the S.R. 92 intersection volumes between the two scenarios.

**Table 2.** S.R. 92 Intersection Volumes With and Without Connections

Intersection	2050 PM Peak Hour		% Change
	Without Connections	With Connections	
Timpanogos Highway (SR-92) & Center Street	3,480	3,370	-3.3
Timpanogos Highway (SR-92) & Micron Delivery Access	2,790	2,720	-2.5
Timpanogos Highway (SR-92) & 1200 West	5,230	5,170	-1.1
Timpanogos Highway (SR-92) & Highland Blvd	5,430	5,420	-0.2
Timpanogos Highway (SR-92) & 6400 West	5,300	5,320	0.4
Timpanogos Highway (SR-92) & 6000 West	5,890	5,630	-4.4
Timpanogos Highway (SR-92) & Alpine Highway (SR-74)	5,560	5,470	-1.6
Timpanogos Highway (SR-92) & N. County Blvd (SR-129)	4,770	4,690	-1.7
Timpanogos Highway (SR-92) & Canyon Rd	1,590	1,650	3.8

With the addition of the new connections, there would generally be a small decrease in traffic at S.R. 92 intersections in the study area. 6000 West would see the largest drop in traffic when the connections are added with volume reduction of 4.4 percent. The largest volume increase would be at Canyon Road at 3.8 percent, which would be due to traffic shifting from North County Boulevard.

A traffic analysis for the S.R. 92 study area intersections was performed for both sets of volumes, which revealed only minor differences in the intersection performance between the scenarios. While the traffic operations benefit associated with the potential connectors is projected to be somewhat limited, that does not mean that the connections should be removed from consideration. As discussed previously, there are other benefits associated with increased connectivity that are independent of traffic performance, including increased transportation choices, emergency response benefits, increased safety, and benefits to the economy. As such, the study area connectors should still be considered as part of a resilient transportation system.

## 5 S.R. 92 INTERSECTION ANALYSIS

The study intersections on S.R. 92 were analyzed to understand their traffic performance under existing conditions and future 2050 conditions without any modifications. For intersections that are expected to operate poorly in the future, various intersection modifications were analyzed for their ability to improve traffic performance.



## 5.1 Existing Conditions

The estimated delay and LOS for all the study intersections are shown below in **Table 3**. Detailed LOS results can be found in **Appendix C**.

**Table 3.** Existing Intersection Level of Service / Delay Results

Location	2020 AM Peak Hour		2020 PM Peak Hour	
	Worst Approach <sup>2</sup>	AM LOS / Delay <sup>1</sup>	Worst Approach <sup>2</sup>	PM LOS / Delay <sup>1</sup>
S.R. 92 & Center Street	-	B / 18	-	B / 19
S.R. 92 & Micron Delivery Entrance	SB	C / 22	SB	C / 18
S.R. 92 & 1200 East	-	C / 23	-	C / 26
S.R. 92 & Highland Boulevard	-	B / 14	-	C / 247
S.R. 92 & 6400 West	-	A / 6	-	B / 10
S.R. 92 & 6000 West	-	C / 33	-	D / 49
S.R. 92 & 5600 West	NB	F / >100	NB	F / >100
S.R. 92 & 5300 West (S.R. 74)	-	D / 40	-	E / 71
S.R. 92 & North County Boulevard (S.R. 129)	-	D / 41	-	D / 36
S.R. 92 & Canyon Road	NB	D / 25	NB	F / >100
1. Average delay reported in seconds/vehicle 2. Worst approach delay is reported for unsignalized intersections NB = Northbound, SB = Southbound, EB = Eastbound, WB = Westbound				

During the AM peak hour, all the signalized intersections operate at LOS D or better; however, there are individual movements at LOS E and F. During the PM peak hour, the signalized intersections except for 5300 West operate at LOS D or better. The intersection 5300 West operates at LOS E with 71 seconds of delay per vehicle and half of the turning movements at LOS E or F. The unsignalized intersections at 5600 West and Canyon Road operate at LOS F with over 100 seconds of delay per vehicle for vehicles on the northbound approach. Traffic signal warrant studies have recently been performed for each of those intersections. The Canyon Road intersection met the warrant criteria while the 5600 West intersection did not. Although the delay is high at 5600 West, the volumes on 5600 West are low, so the overall impact of the high delay is quite low.

## 5.2 Future 2050 Conditions

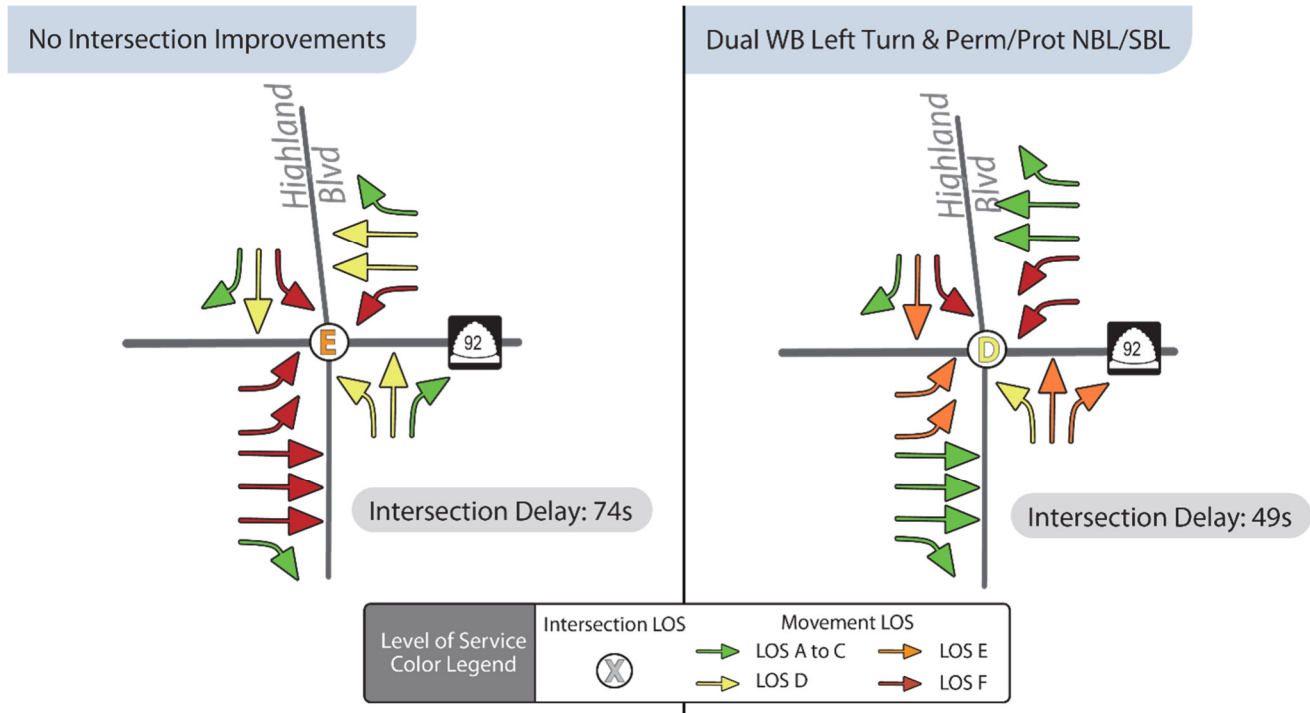
This section reports the intersection delay and LOS for each of the intersections within the study area for the future 2050 conditions. By 2050 AM peak hour volumes for the S.R. 92 study area intersections are anticipated to increase by 30-35 percent compared to existing and the PM peak hour volumes by 24-29 percent. Detailed volume information can be found in **Appendix B**.

The No Build results are reported for each intersection followed by the results of the various improvement scenarios that were considered. Generally speaking, the S.R. 92 corridor volumes are projected to increase enough that widening to three travel lanes in each direction would be required for the corridor to operate at an acceptable LOS. Certain intersections also include other improvements such as dual left turn lanes. Intersections that are not reported in this section but are within the study area are not anticipated to need additional intersection improvements beyond their existing configuration. This is based on the assumption that Canyon Road would be signalized. All the results presented in this section assume that the study area connections

described in Section 4 are implemented. Detailed analysis results for analyses presented in the following sections can be found in **Appendix C**.

### 5.2.1 Highland Boulevard

The Highland Boulevard intersection LOS for the PM peak hour for the 2050 with connections scenario is shown in **Figure 7**. Without any intersection improvements, Highland Boulevard is expected to perform at LOS E with 74 seconds of delay per vehicle. By adding dual westbound left-turn lanes and protected/permissive phasing to the northbound and southbound approaches, the intersection is expected to perform at LOS D with 49 seconds of delay per vehicle.

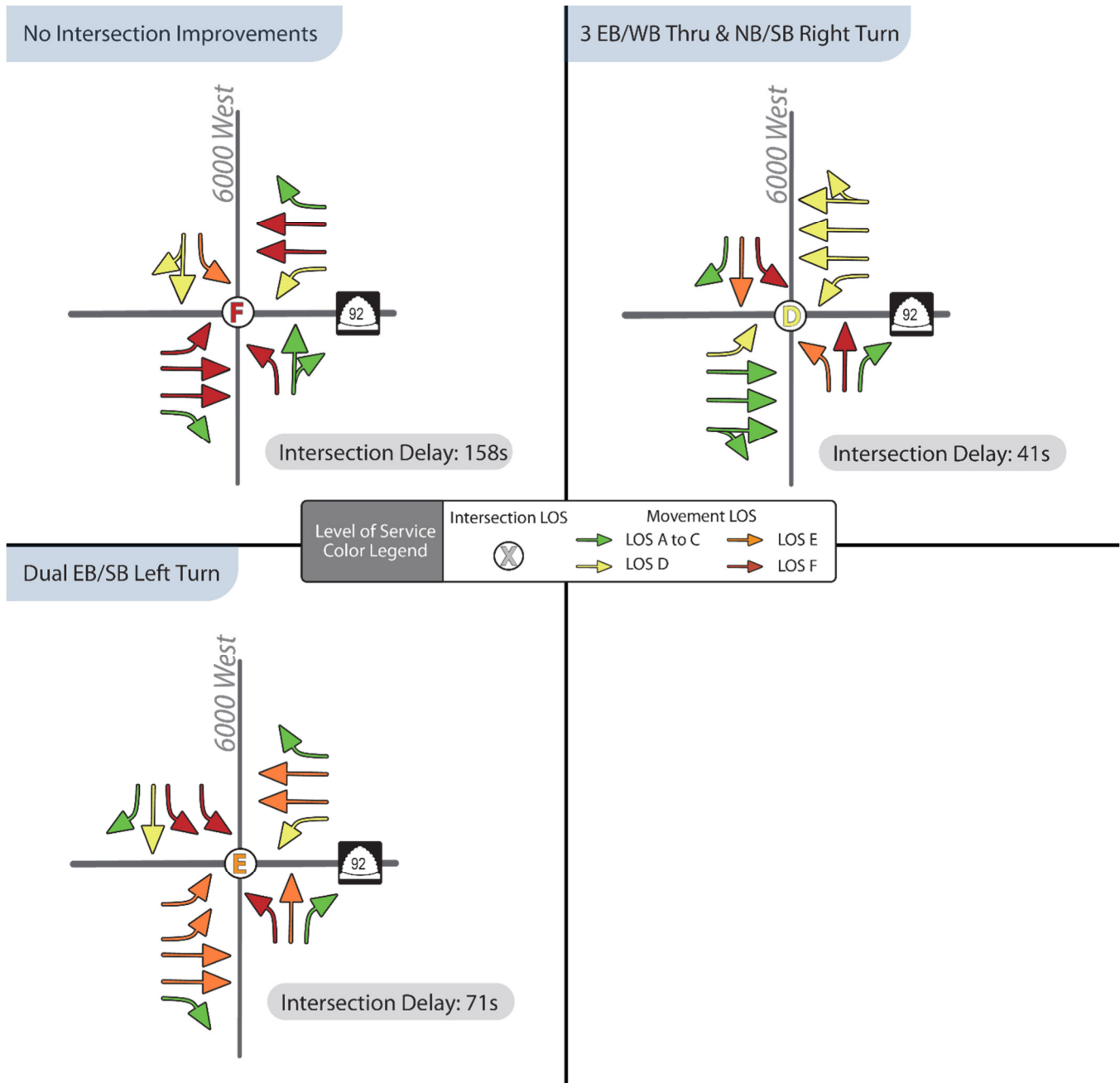


**Figure 7.** Highland Boulevard Intersection LOS



### 5.2.2 6000 West

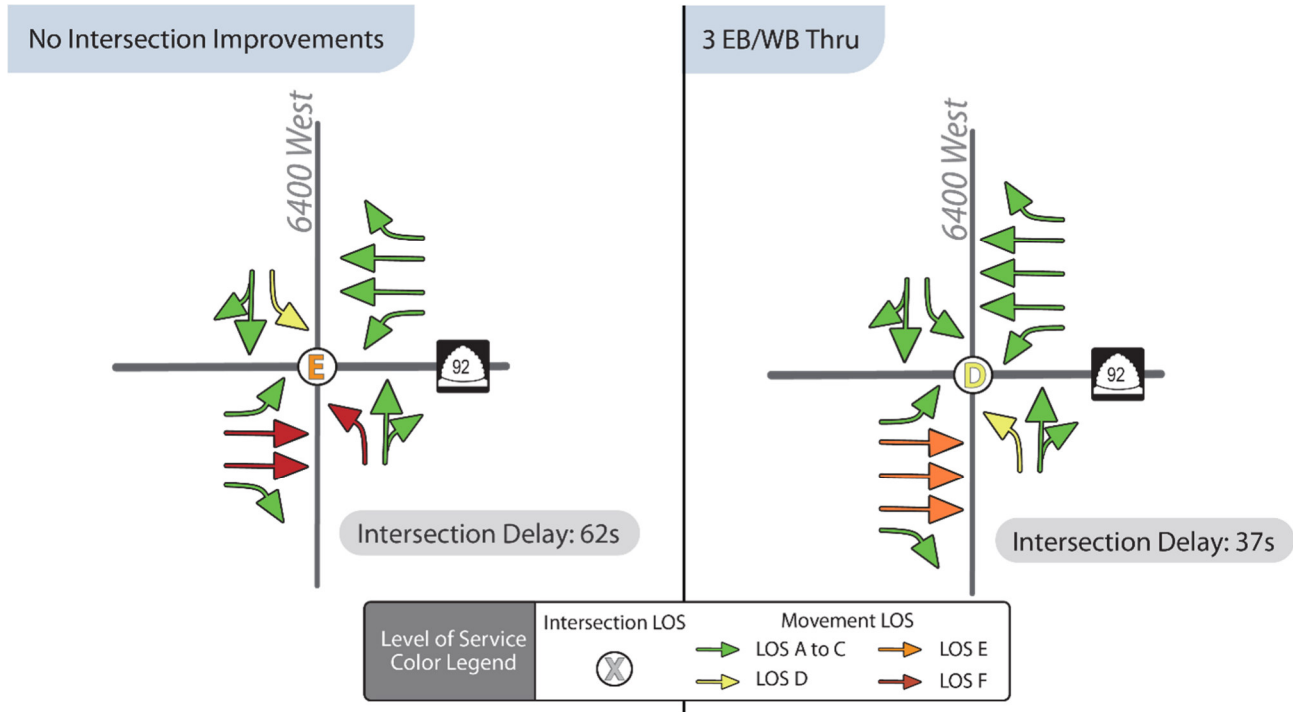
The 6000 West intersection LOS for the PM peak hour for the 2050 with connections scenario is shown in **Figure 8**. Without any intersection improvements, 6000 West is expected to perform at LOS F with over 100 seconds of delay per vehicle. By adding a third eastbound and westbound through lane and right turn pockets to the northbound and southbound approaches, the intersection is expected to perform at LOS D with 41 seconds of delay per vehicle. The analysis shows that exclusive right turn lanes would not be needed to achieve LOS D, but they would be valuable for safety and driver comfort. Adding dual left turn lanes without three through lanes on S.R. 92 would be expected to operate at LOS E.



**Figure 8.** 6000 West Intersection LOS

### 5.2.3 6400 West

The 6400 West intersection LOS for the PM peak hour for the 2050 with connections scenario is shown in **Figure 9**. Without any intersection improvements, 6400 West is expected to perform at LOS E with over 62 seconds of delay per vehicle. By adding a third eastbound and westbound through lane, the intersection is expected to perform at LOS D with 37 seconds of delay per vehicle.

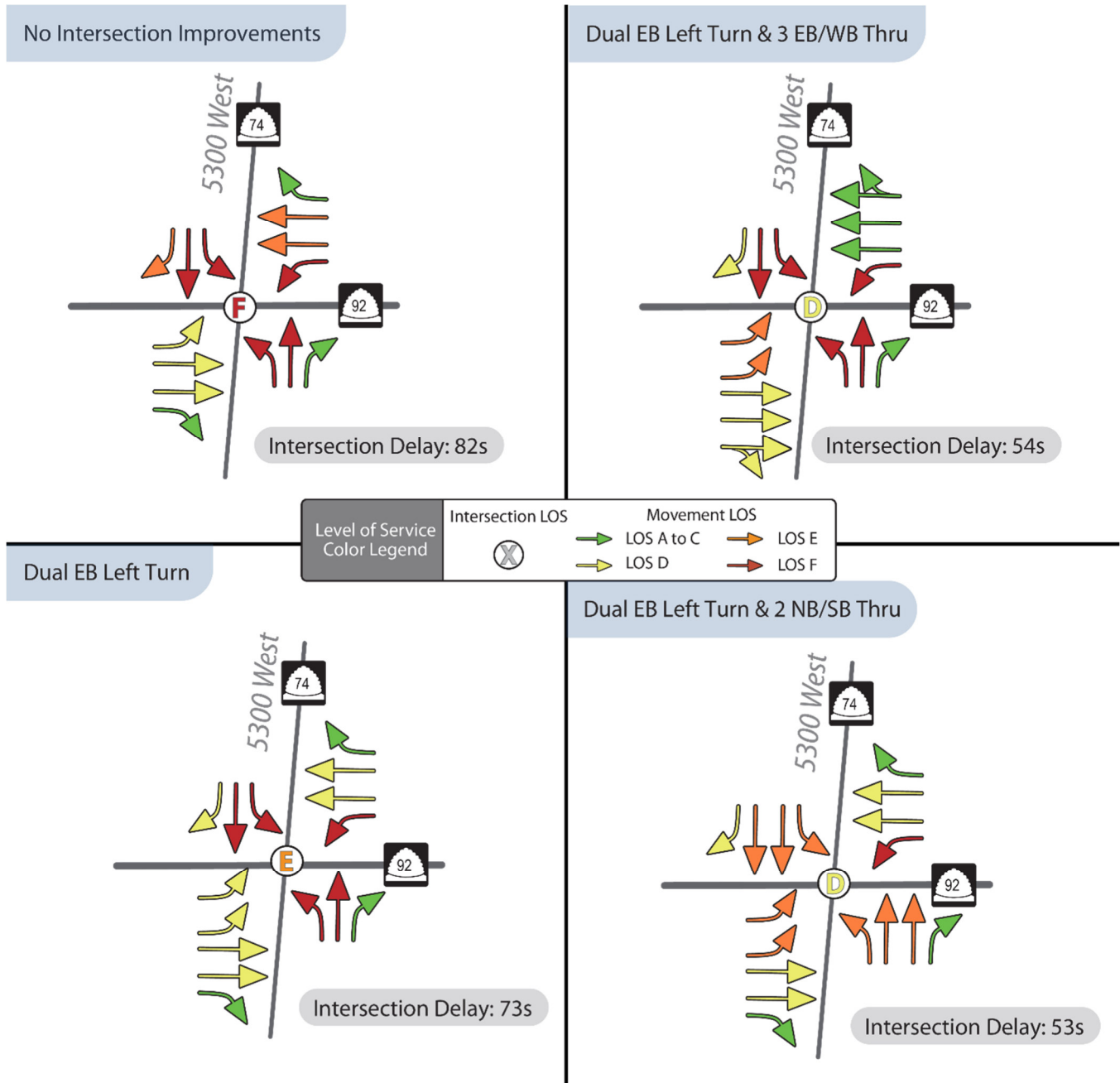


**Figure 9.** 6400 West Intersection LOS



### 5.2.4 5300 West (S.R. 74)

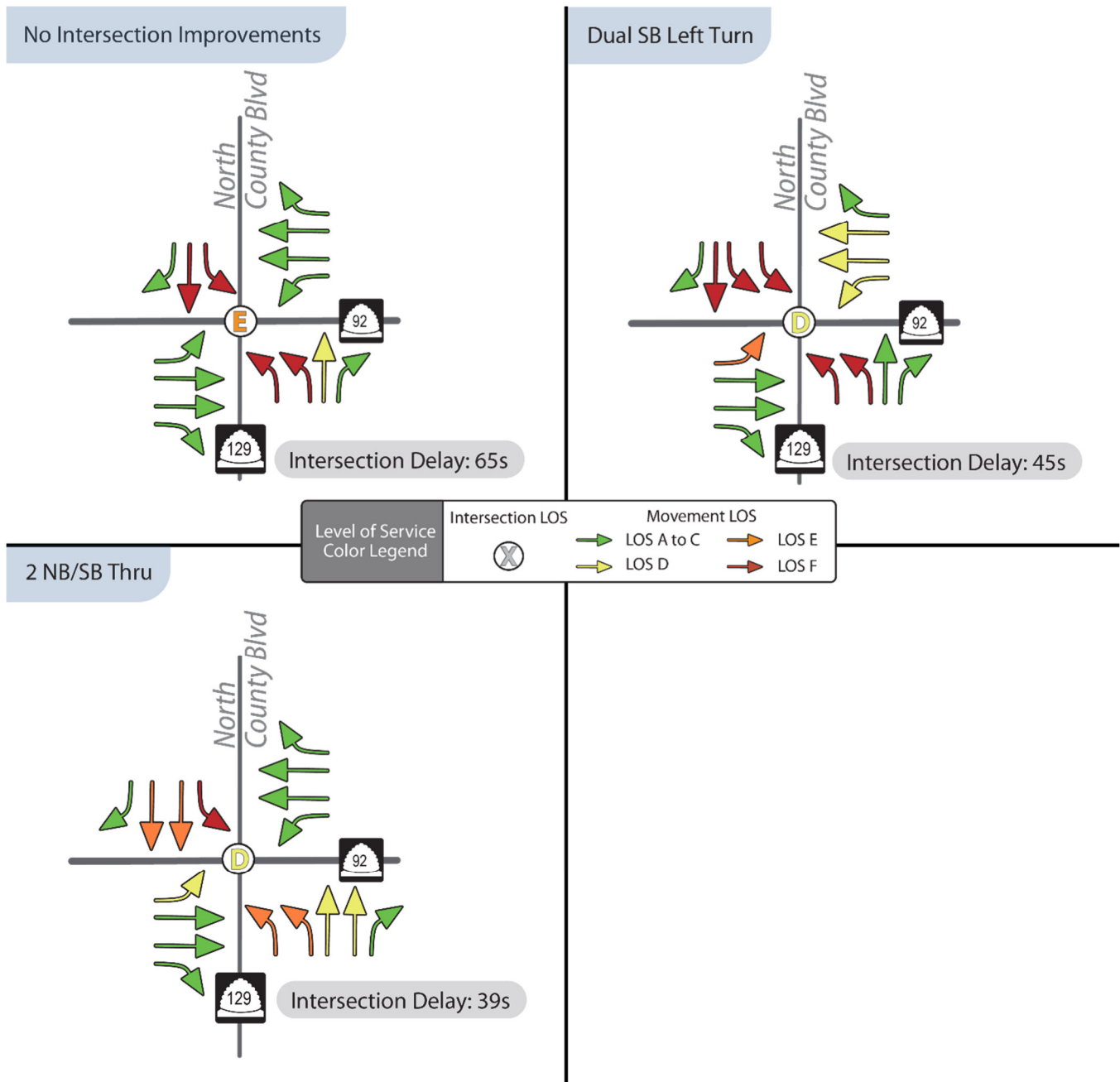
The 5300 West (S.R. 74) intersection LOS for the PM peak hour for the 2050 with connections scenario is shown in **Figure 10**. Without any intersection improvements, Highland Boulevard is expected to perform at LOS F with 82 seconds of delay per vehicle. By adding a third eastbound and westbound through lane and a dual eastbound left-turn, the intersection is expected to perform at LOS D with 54 seconds of delay per vehicle. Another option that would also be expected to operate at LOS D is adding a second northbound and southbound through lane and a dual eastbound left-turn. Without the extra through lane on either leg, the intersection would still perform at LOS E with 73 seconds of delay per vehicle.



**Figure 10.** 5300 West (S.R. 74) Intersection LOS

### 5.2.5 North County Boulevard (S.R. 129)

The North County Boulevard (S.R. 129) intersection LOS for the PM peak hour for the 2050 with connections scenario is shown in **Figure 11**. Without any intersection improvements, 6000 West is expected to perform at LOS E with 65 seconds of delay per vehicle. By adding a second northbound and southbound through lane, the intersection is expected to perform at LOS D with 39 seconds of delay per vehicle. Another viable solution is to have dual southbound left turn lanes. Under this improvement, the intersection is expected to perform at LOS D with 45 seconds of delay per vehicle.



**Figure 11.** North County Boulevard (SR-129) Intersection LOS



## 6 CONCEPT DESIGNS

Concepts designs and cost estimates were prepared for one of the improvement options at three separate intersections. The intersections selected by the study team were: 6000 West, 5300 West (S.R. 74), and North County Boulevard (S.R. 129). Detailed cost estimates for the three concept designs can be found in **Appendix D**.

### 6.1 6000 West

The concept design for 6000 West with three through lanes in each direction is shown in **Figure 12**. As shown, the concept assumes shared through-right turn lanes on S.R. 92.



**Figure 12.** 6000 West Intersection Concept Design

## 6.2 5300 West (S.R. 74)

For 5300 West (S.R. 74), the study team chose to have a concept design prepared for an option with three east-west through lanes, two north-south through lanes, and dual left-turn lanes on S.R. 92. This option combines the two options that were evaluated and would be expected to perform better than either option by themselves. The concept design for this new option is shown in **Figure 13**.



**Figure 13.** 5300 West (S.R. 74) Intersection Concept Design



### 6.3 North County Boulevard (S.R. 129)

The concept design for the two northbound and southbound through lanes is shown in **Figure 14**.



**Figure 14.** North County Boulevard (S.R. 129) Intersection Concept Design

## 7 CONCLUSIONS

Per the *Utah Street Connectivity Guide* good street connectivity provides benefits to mobility, transportation choices, emergency services, safety, and the economy. Three potential connection options were identified to increase the street connectivity in Lehi, Highland and Alpine. The three connections at 11800 North, Long Drive, and High Bench Road would generally result in a minor decrease to future traffic volumes on S.R. 92 throughout the study area and a corresponding decrease in intersection delay. Even though the delay reduction would be relatively minor, the connections should still be seriously considered due to the other benefits that good street connectivity can provide.

Specific intersection analysis was completed for the 2050 future conditions with connections. Generally, the improvements required to operate at acceptable LOS is widening S.R. 92 to three through lanes in the eastbound and westbound directions from the Express Lanes on the west through the 5300 West intersection on the east. Some intersections would also require additional left turn lanes or exclusive right turn lanes. With these improvements, each intersection would operate at LOS D or better within the study area. Because the 5300 West intersection currently operates at LOS E, it would have the highest priority for improvement. The improvements there could be phased, which would reduce the initial cost but would require additional work at the same location in the future.

## **ALPINE CITY COUNCIL AGENDA**

**SUBJECT:** Cemetery Expansion Concept Plan

**FOR CONSIDERATION ON:** 30 November 2021

**PETITIONER:** City Staff

**ACTION REQUESTED BY PETITIONER:** Consider approval of the proposed cemetery concept plan and phasing.

### **BACKGROUND INFORMATION:**

City Staff have been working with Wilding Engineering on a plan to develop the north end of the cemetery property to make additional grave plots available. Attached is the latest concept plan. In some areas, significant retaining walls will be required to flatten slopes to allow for acceptable grave plots. The retaining wall heights are denoted by the blue numbers with circles. With the proposed plan, the cut/fill balance is close for grading. This plan will provide +/- 2,364 grave plots. For comparison, there are a total of 5,370 grave plots in the existing cemetery, 66 of which are not owned by others.

Also included in the packet is a proposed phasing plan. Phase 1 as outlined would create approximately 1,239 new plots (increase of 23%), with phase 2 and 3 adding an additional 831 and 294 plots, respectively. If the proposed concept plan and phasing plan are approved, we will determine how the cut/fill grading quantities work out for phase 1 to see if it is feasible for that phase to stand alone.

### **STAFF RECOMMENDATION:**

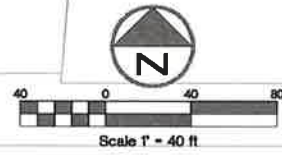
Consider approval of the proposed concept plan and phasing plan for expansion of the cemetery.

### **SAMPLE MOTION TO APPROVE**

I move to approve the proposed concept plan and phasing plan for construction of the cemetery with the following conditions:

- \*\*INSERT CONDITIONS\*\*





PIONEER ROAD

LOWER ROAD

MIDDLE ROAD

UPPER ROAD

MIDDLE ROAD

LOWER ROAD

GROVE DR



**WILDING**  
ENGINEERING

14721 SOUTH HERITAGE CREST WAY  
BLUFFDALE, UTAH 84065  
801.553.8112  
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:

NEW PLOTS SHOWN= 2,354

NO.	REVISION	DATE

PROJECT INFORMATION

ALPINE CITY CEMETERY

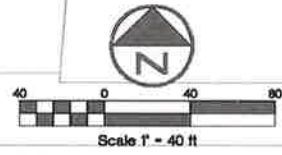
CONCEPTUAL GRADING 2

ALPINE, UTAH

DRAWN MEC	CHECKED	PROJECT # 21278
ENGINEER'S STAMP		DATE 11/18/21
		SCALE 1" = 40'
		SHEET 1 OF 1

C:\DATA\21278 Alpine City Cemetery.dwg VREF YR-Site-21278 Alpine Cemetery.dwg  
PLOT DATE: Nov 18, 2021





PHASE 1  
1,239 PLOTS

PIONEER ROAD

LOWER ROAD

MIDDLE ROAD

UPPER ROAD

PHASE 2  
831 PLOTS

PHASE 3  
294 PLOTS

TOTAL  
2,364 PLOTS

GROVE DR



DRAWING NOTES:

NEW PLOTS SHOWN= 2,354

NO.	REVISION	DATE

PROJECT INFORMATION  
**ALPINE CITY CEMETERY**  
  
CONCEPTUAL GRADING 2  
  
ALPINE, UTAH

DRAWN MEC	CHECKED	PROJECT # 21278
ENGINEER'S STAMP		DATE 11/18/21
		SCALE 1" = 40'
		SHEET 1 OF 1

G:\DATA\21278 Alpine City Cemetery.dwg VREF\VR-Site-21278 Alpine Cemetery.dwg  
PLOT DATE: Nov 18, 2021