



FARR WEST CITY COUNCIL AGENDA

November 18, 2021 at 7:00 p.m.
City Council Chambers
1896 North 1800 West
Farr West, UT 84404

Notice is hereby given that the City Council of Farr West City will hold its regular meeting at 7:00 pm on Thursday, November 18, 2021.

1. Call to Order –Mayor Lee Dickemore
2. Opening Ceremony
 - a. Pledge of Allegiance
 - b. Opening Prayer
3. Comments/Reports
 - a. Public Comments (*Resident(s) attending this meeting will be allotted 2 minutes to express a concern or ask a question about any issue that IS NOT ON THE AGENDA. No action can or will be taken on any issue presented.*)
 - b. Report from the Planning Commission
4. Business Items
 - a. Discussion – Weber County Code Enforcement services – Iris Hennon
 - b. Presentation on flock cameras – Lt. Mark Horton, Weber County Sheriff's Office
 - c. Approval of a conditional use permit for a construction business in the C-2 Commercial zone for Accent Painting locate at 2900 North 2000 West – Matt Fackrell
 - d. Approval of Ordinance No. 2021-14, amending accessory structure setbacks in the Farr West City Municipal Code
 - e. Approval of a site plan for Dominion Energy located at 1300 North 1200 West
 - f. Approval of the conceptual plan for the new public works facility
 - g. Set a public hearing to consider the request to vacate the public utility easement for Troy Galloway located at 2821 West 3375 North
 - h. Set a public hearing to consider the request to vacate the public utility easement for Sid Smith located at 2493 West 2850 North
5. Consent Items
 - a. Motion - Approval of minutes dated November 4, 2021 and November 15, 2021
 - b. Motion - Approval of bills dated November 17, 2021
 - c. Smith Family Park Update
6. Mayor/Council Follow-up
 - a. Report on Assignments
7. Adjournment

In compliance with the American with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801-731-4187, at least three working days prior to the meeting. Notice of time, place and agenda of the meeting was mailed to each member of the City Council, posted in the City Hall and posted on the Utah Public Meeting Notice Website on November 15, 2021.

Lindsay Afuvai
Recorder



Farr West City

APPLICATION FOR ISSUANCE OF CONDITIONAL USE PERMIT

The Municipal Code 17.48.020 requires that the following be considered to obtain a Conditional Use Permit.

Application Date 09/27/2021 Applicant Name ACCENT PAINTING/Matt Fackrell

Mailing Address PO BOX 911762, ST GEORGE, UT 84791

Phone Number 435-817-5286 Email utahpainter@gmail.com

Property address of proposed conditional use Tax ID: 190170042 Current Zoning: Commercial C2

Please list the requested conditional use as listed within the city zoning ordinance construction Business

A) Explain how the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community.

By using the land this way, it will help the city to bring additional businesses to the area; therefore, bringing additional employment to the area and bring additional commerce and revenue to the city.

B) Explain how such use will not be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses.

We do not mix any hazardous materials on site, so this will pose no danger to the environment.

We will enhance the property to improve the general outlook of the area.

C) Explain how the proposed use will comply with the regulations and conditions specified in this title for such use.

We will comply with any and all rules and regulations pertaining to use of this property.

D) Explain how the proposed use conforms to the goals, policies and governing principles and land use of the Farr West City General Plan.

By using the land in this manor, it will help the city to continue to thrive and grow bringing more commerce and revenue to the city.

E) Explain how the proposed use will not lead to the deterioration of the environment, or ecology of the immediate vicinity, the general area, or the community as a whole.

By allowing a commercial building to be built, it will increase the value of the community and area, as well as keeping the environment clean and clear of any deterioration.

X Finnell
Signature of Applicant

Property Owner? Y N

Date Application & \$100.00 Processing Fee received Oct 18, 2021

Received by Wesley

Date of public hearing: 11/10/21

Date application was X Approved Denied by Planning Commission 11/10/2021

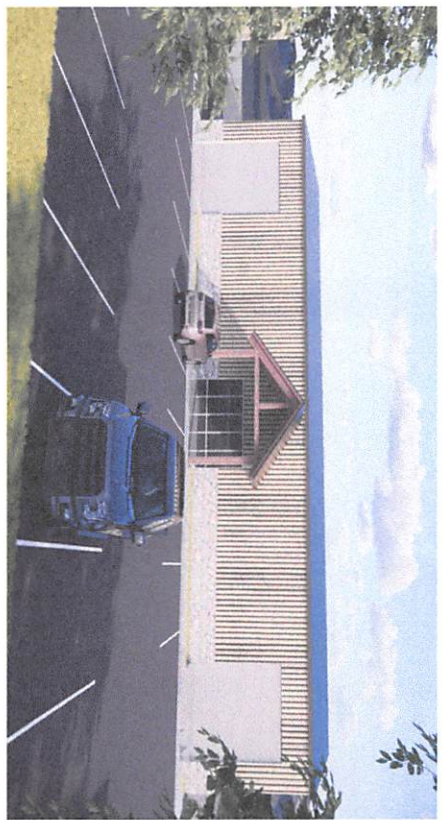
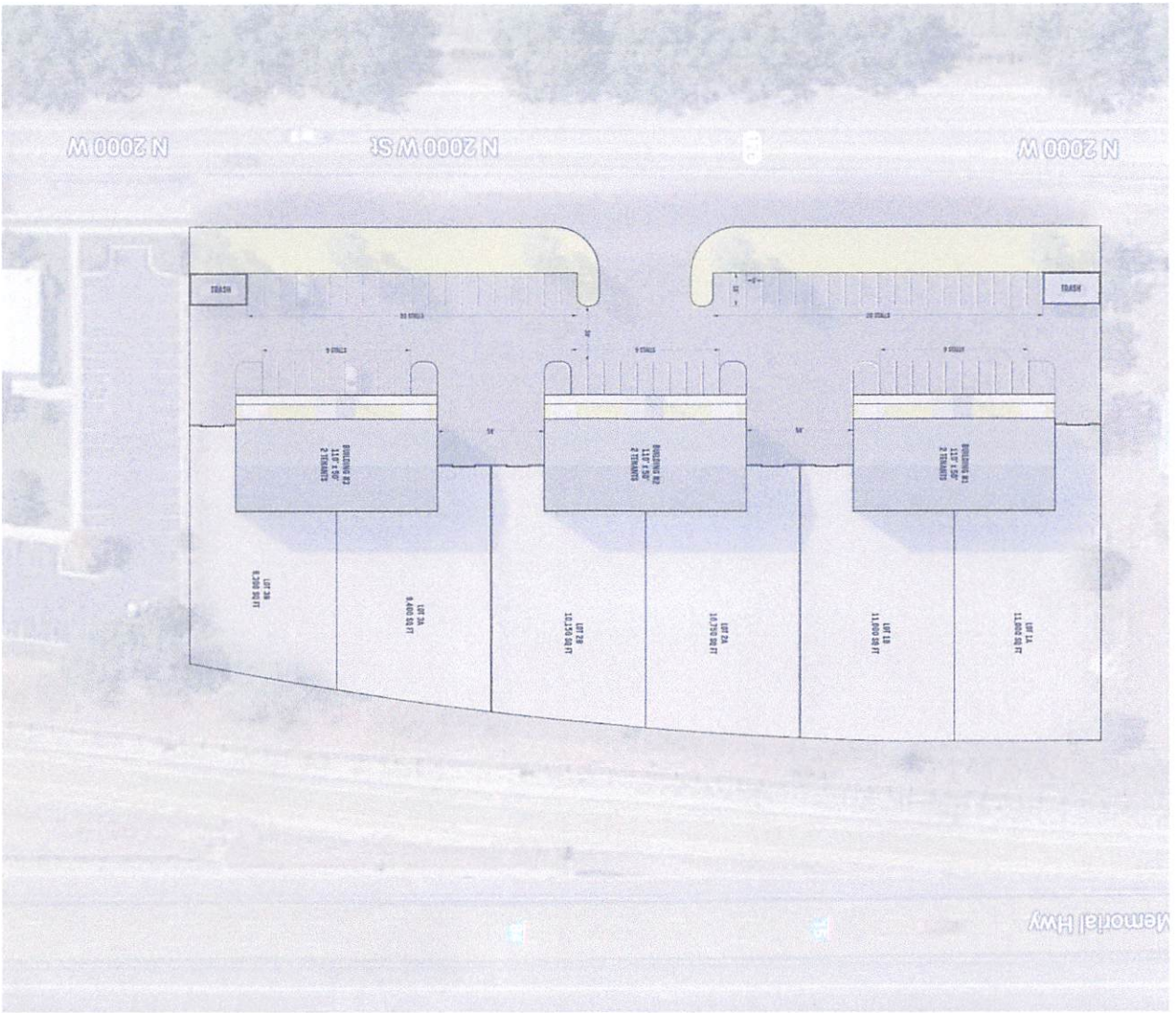
Conditions/Reasons

Date application was Approved Denied by City Council:

Conditions/Reasons

Planning Commission Chair

Mayor



17.44.190**B. Accessory Buildings:**

All Residential Zones		
Minimum setbacks from property line:		
	Front or side facing street: city road	20 ft. <u>30 ft.</u>
	Front or side facing street: state road	40 ft.
	Rear	4 ft. <u>4 ft. for structures 14 ft. or less in peak height. For structures in excess of 14 ft. in peak height the setback is 4 ft. plus 1 ft. for each foot or portion thereof in excess of 14 ft in peak height.</u>
	Side	4 ft. <u>4 ft. for structures 14 ft. or less in peak height. For structures in excess of 14 ft. in peak height the setback is 4 ft. plus 1 ft. for each foot or portion thereof in excess of 14 ft in peak height.</u>
Height of buildings:		
	Minimum height (at peak)	8 ft.
	Maximum height (at peak)	20 ft. on lots less than 1 acre 25 ft. on lots 1 acre and larger
	Maximum height (exterior walls)	15 ft. on lots less than 1 acre 18 ft. on lots 1 acre and larger

Application for Site Plan Approval



1896 North 1800 West
Farr West, UT 84404
Phone – (801)731-4187
Fax – (801) 731-7732

Date Submitted: _____

Applicant Name: DOMINION ENERGY Applicant Address: 1140 West 200 South, SLC, UT 84104

Phone: 801-592-5808/Kevin Mulvey Email: kevin@mulveylandservices.com

Business Name: SAME Application Number: _____

Business Address: _____ Phone: _____

Address and description of site being considered: 1300 North 1200 West

Natural Gas Pressure Regulating Station

Tax ID number of site being considered: 15-001-0057

Current zoning of site: C-2

FEE SCHEDULE

Application: \$100.00 Engineering Deposit: \$1,000.00

Site Plan approval is required for the following conditions. Please indicate all conditions associated with this application:

- ☐ All proposed new development except single-family detached residences.
- ☐ All additions of alterations to nonconforming structures (see chapter 17.52 of the Farr West City municipal code for reference to nonconforming buildings).
- ☒ Issuance of a conditional use permit for new construction.
- ☐ New signs
- ☐ Modified site plan review shall be required for any change of use in a existing structure or site or addition, except single-family detached residences.
- ☐ All plans for earth sheltered dwellings.

The following information is required for site plan approval (check box next to all items submitted with application):

(Note: Not providing the required information will result in a delay of approval by the planning commission)

- ☒ A site plan (or set of plans as needed) showing all the required information listed below drawn accurately to an engineering scale. The plan needs to be submitted on 11x17, or larger paper, and in an electronic PDF format.
- ☒ Lot dimensions and orientations: North arrow, etc.
- ☒ Existing and proposed buildings with their dimensions and the locations of all opening in exterior walls.
- ☒ Height of all buildings and other proposed or existing structures; type and slope of roof construction.
- ☒ Indication of proposed use of buildings.
- ☒ All off street parking, locations and size of points of entry and exists, loading facilities, internal traffic circulation patterns, location of handicapped parking and handicapped access to building(s).
- ☒ Height of all existing and proposed walls and fences and type of construction.
- ☒ Location and type of landscaping.
- ☒ All existing easements (dedicated and prescriptive), irrigation ditches, alleys and street rights of ways. Locations and height of any overhead power and communication and transmission lines, and all utility easements which may affect the property.
- ☒ All existing and proposed improvements. Improvements include: curb and gutter, sidewalks, sanitary and storm sewer lines, fire hydrants and driveway approaches. Grades must be shown for curb and gutter, sidewalks, sanitary and storm sewer lines.
- ☐ Location, type, lighting and size of proposed and existing signs.
- ☐ Location, type and size of proposed and existing light poles.
- ☒ A method for controlling storm drainage so that storm runoff will not enter adjoining property must be shown.
- ☒ One copy of a current county ownership plat showing the property and adjacent properties.
- ☐ Approval letter from Weber Fire District (801-782-3580).
- ☐ Approval letter from Bona Vista Water (801-621-0474).

If any of the above information is not being provided please indicate reasoning:

Details for proposed and existing signs and light poles not included

as they are not applicable to our site. Approval letter from Bona Vista Water is not included as there will not be a need for water at this site.

Answer the following questions as applicable: (Attach additional paper if needed.)

1. State in detail what is intended to be done on or with the property? _____

The property will be used as a natural gas pressure regulating station to provide gas to the city of Farr West. The site consists of piping, fittings, valves, pressure regulating equipment and a heater to provide this service both safely and reliably.

2. How will the proposed use be compatible with existing surrounding uses, buildings, and structures, when considering traffic generation, parking, building design, location and landscaping?

This site will replace the station that is further north on 1200 W. and will be constructed to be more aesthetically pleasing as has been done with other DEU sites in Farr West (ex. Site on corner of 1800 N and 1900 W). It is proposed that the frontage of the site be landscaped with decorative rock so that it keeps a clean appearance and does not pull from the city's water resources. The site will be compatible with other non-residential land use that is existing on 1200 W and will have more separation from residential homes than our existing 1200 W. station has currently.

Signature of Applicant:

Applicant acknowledges they are responsible for all engineering fees associated with this application.

In issuing this application the signer(s) certifies the information provided is correct and they agree to the conditions set by the members of the planning commission and city council. **All** property owners must sign below in the presence of the city recorder/clerk or have their signatures notarized in order to be valid.


Owner Signature

Bank of Utah Cust. FBO Jeffrey Beckstead
Print Name SD Roth IRA


Owner Signature

Bank of Utah Cust FBO David K Chugg SDIRA
Print Name

I/We authorize Kevin J Mulvey to act as my/our agent in all matters relating to this application.
(Print name)


Owner Signature

Bank of Utah Cust FBO Jeffrey Beckstead
Print Name SD Roth IRA


Owner Signature

Bank of Utah Cust. FBO David K Chugg SDIRA
Print Name

KJ Mulvey
Authorized Agent Signature

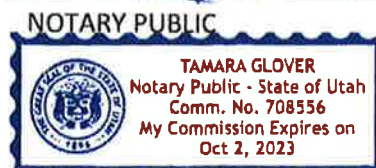
Signature of City Recorder/Clerk
(Not Required if Notarized)

State of Utah)

Count of number §

On this 26th day of October, in the year 2021, before me Tamara Glover,
a notary public, personally appeared Kyle Brown, proved
on the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument,
and acknowledge (he/she/they) executed the same. Witness my hand and official seal.

Tamara Glover



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State of Utah)
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County of _____)

On this _____ day of _____, in the year _____, before me _____, a
notary public, personally appeared _____, proved on
the basis of satisfactory evidence to be the person(s) whose name(s) (is/are) subscribed to this instrument,
and acknowledge (he/she/they) executed the same. Witness my hand and official seal.

NOTARY PUBLIC

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For City Use:

Fee received by: _____ Date received: _____
Receipt number: _____ Cash/Check (circle one)
Date site plan received: _____ Received by: _____
Date met with city engineer: _____ Signed: _____
Date engineer approved plan: _____ Signed: _____
Date planning commission approved: _____
Date city council approved (conditional use permit only): _____

MEMORANDUM



CONSULTING ENGINEERS

TO: Farr West City Planning Commission

FROM: Matt Robertson, P.E.
City Engineer

RE: **DOMINION ENERGY 1200 WEST REGULATING STATION
Site Plan Review**

Date: November 8, 2021

Our office has completed a review of the site plan for the Dominion Energy Regulator Station located at 1301 North 1200 West. This new regulating station will replace the existing station further north on 1200 West. We recommend approval of this plan subject to the following comments:

1. There is a 24" irrigation drain line which crosses the west end of this property that is not shown on the plans. Clearly identify this pipe and ensure that it does not interfere with the proposed gas improvements or a proposed fence post.
2. If one does not already exist, an access easement for the existing access to the back of the lot located at 1218 W. 1200 N. in the Mountain View Subdivision should be recorded with the County.
3. Provide storm water retention pond calculations for the runoff created from the site.
4. Increase the area shown for the stabilized construction entrance shown on the Storm Water Pollution Prevention Plan (SWPPP).
5. We recommend that the landscaping of the parkstrip with decorative rock extend through the entire frontage of the property owned by Dominion Energy.

A review set of plans with these comments has been sent to the agent representing Dominion Energy on this project. Please let me know if you have any further questions.

MEMORANDUM



CONSULTING ENGINEERS

TO: Farr West City Planning Commission

FROM: Matt Robertson, P.E. (Responses in red)
City Engineer

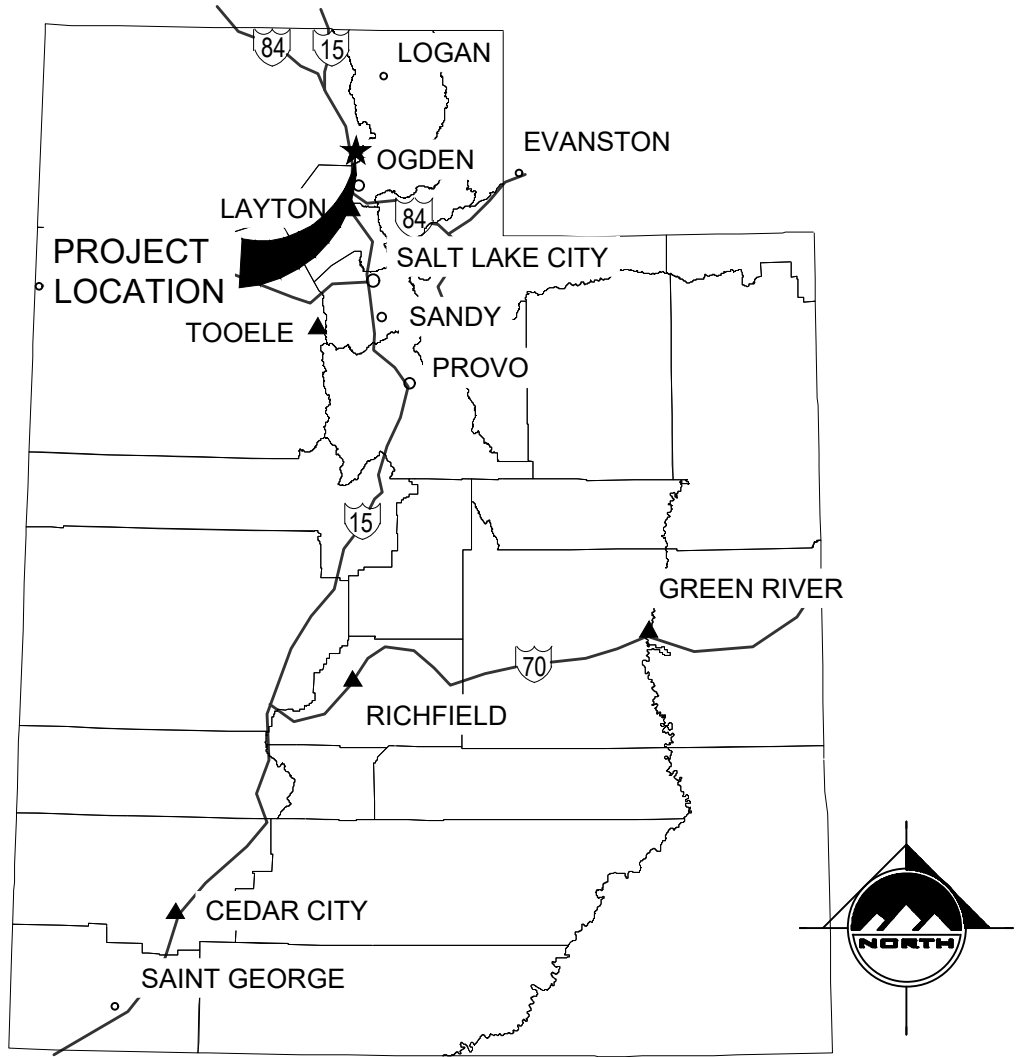
RE: **DOMINION ENERGY 1200 WEST REGULATING STATION
Site Plan Review**

Date: November 8, 2021

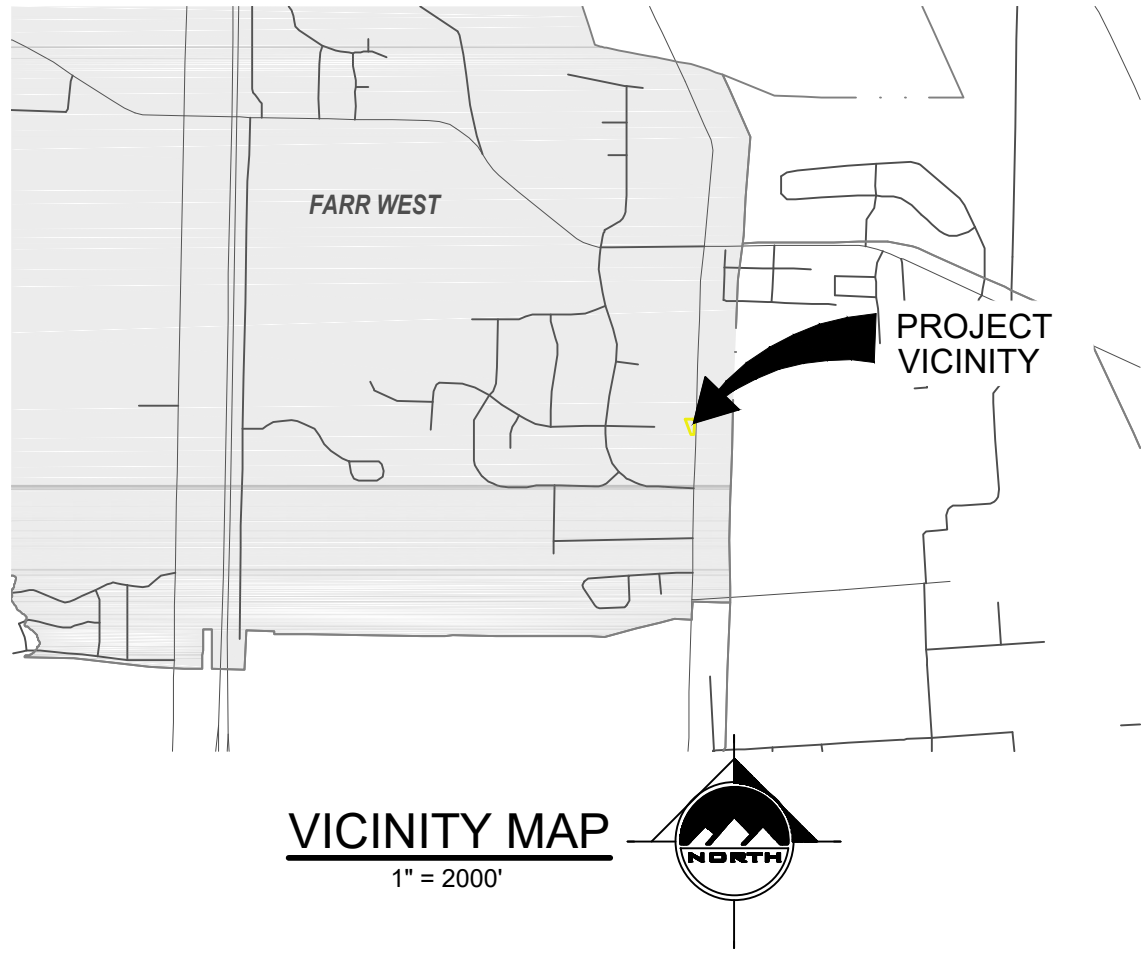
Our office has completed a review of the site plan for the Dominion Energy Regulator Station located at 1301 North 1200 West. This new regulating station will replace the existing station further north on 1200 West. We recommend approval of this plan subject to the following comments:

1. There is a 24" irrigation drain line which crosses the west end of this property that is not shown on the plans. Clearly identify this pipe and ensure that it does not interfere with the proposed gas improvements or a proposed fence post.
Irrigation line will be added to the plans. Please provide the irrigation line location show we can show on the drawings.
2. If one does not already exist, an access easement for the existing access to the back of the lot located at 1218 W. 1200 N. in the Mountain View Subdivision should be recorded with the County.
Dominion Energy is coordinating easement/access between existing fence and new site fence.
3. Provide storm water retention pond calculations for the runoff created from the site.
Reese Method was used to determine LID volume and the calculations are included on the grading plan.
4. Increase the area shown for the stabilized construction entrance shown on the Storm Water Pollution Prevention Plan (SWPPP).
This area has been increased to match detail.
5. We recommend that the landscaping of the parkstrip with decorative rock extend through the entire frontage of the property owned by Dominion Energy.
Rock will be extended through the entire frontage of the property owned by Dominion Energy.

A review set of plans with these comments has been sent to the agent representing Dominion Energy on this project. Please let me know if you have any further questions.



LOCATION MAP
NO SCALE



VICINITY MAP
1" = 2000'

PROJECT DRAWINGS		
GENERAL DRAWINGS		
DRAWING	REV	DESCRIPTION
DEU-R-GD0042-CCS-001 SHEET 01 OF 09	A	COVER SHEET
DEU-R-GD0042-CCS-001 SHEET 02 OF 09	A	SYMBOLS AND ABBREVIATIONS
DEU-R-GD0042-CCS-001 SHEET 03 OF 09	A	GENERAL NOTES
CIVIL DRAWINGS		
DEU-R-GD0042-CCS-001 SHEET 04 OF 09	A	SITE PLAN
DEU-R-GD0042-CCS-001 SHEET 05 OF 09	A	GRADING PLAN
DEU-R-GD0042-CCS-001 SHEET 06 OF 09	A	DETAILS
DEU-R-GD0042-CCS-001 SHEET 07 OF 09	A	DETAILS
DEU-R-GD0042-CCS-001 SHEET 08 OF 09	A	EROSION CONTROL PLAN AND DETAILS
LANDSCAPE DRAWINGS		
DEU-R-GD0042-CCS-001 SHEET 09 OF 09	A	LANDSCAPE PLAN AND DETAILS
REFERENCE DRAWINGS		
QGC-V-BLD-CCS-010-r1	1	BUILDING FOUNDATION DETAILS
DE-STD-GEN-CCS-003-r0	0	CONCRETE SLAB ON GRADE
DEU-R-GD0042-PIP-001	A	

PROJECT CONTACTS		
PROJECT MANAGER	ZACH HANSEN	385-321-7583
PROJECT ENGINEER	ZACH HANSEN	385-321-7583
CATHODIC PROTECTION	KELLY FACER	801-201-5528
HP SURVEYOR	GARRETT NEWHART (ENSIGN)	385-228-3038
LEAD INSPECTOR	TBD	
IHP SUPERVISOR	TBD	
RIGHT OF WAY AGENT	KEVIN MULVEY	801-592-5808
MEASUREMENT AND CONTROL	DAVID PLATT	801-389-4581
ENVIRONMENTAL HEALTH & SAFETY	STEPHEN RYDER	330-813-8805

NOTICE TO DEVELOPER/CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER OR CONTRACTOR, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTOR'S AND SUBCONTRACTOR'S COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

THE CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



CALL TWO BUSINESS DAYS
BEFORE YOU DIG TO HAVE
UTILITIES LOCATED
811 or 1-800-662-4111

DATE PRINTED
10/12/2021

PRELIMINARY
FOR 90% REVIEW



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
WWW.ENSGNENG.COM

REFERENCE DRAWINGS				WORK ORDERS		REVISIONS				ENGINEERING RECORD		 DOMINION ENERGY UTAH	LINE NUMBER:		
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY:	CHECKED BY:		FL - 19		
			85411.22	INSTALL NEW REG STA ON FL019 (TO REPLACE GD0038)	A	ISSUED FOR 90% REVIEW	2021-09-28	ENSGN	ERB	J. KRUEGER (ENSGN)	E. BUSH		INSTALL NEW DR STATION GD0042		
													(RETIRE DR STATION GD0038)		
													COVER SHEET		
													1301 NORTH 1200 WEST		
THE INFORMATION AND CONCEPTS CONTAINED IN THIS DOCUMENT ARE CONFIDENTIAL AND THE PROPERTY OF DOMINION ENERGY AND/OR THE CLIENT IDENTIFIED. DUPLICATION OR USE OF THIS INFORMATION AND/OR CONSTRUCTION OF SYSTEMS BASED ON THIS DOCUMENT ARE STRICTLY PROHIBITED WITHOUT WRITTEN AUTHORIZATION FROM DOMINION ENERGY.												SECTION: 1 T6N R 2N	CITY	COUNTY	STATE
												ELEVATION: 4522	FARR WEST	WEBER	UTAH
												LAT: 41.28092 LONG: -112.00869	DRAWING NUMBER		
												SCALE: AS SHOWN	DEU-R-GD0042-CCS-001	SHEET	REVISION
													01 OF 09		A

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ENSIGN GENERAL NOTES

1.

ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (LATEST EDITION), THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), AND OTHER REGULATORY AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK WHERE APPLICABLE. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
2.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, LOCAL JURISDICTION OF AUTHORITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DIVISION OF DRINKING WATER REGULATIONS, AND APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
3.

SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES, TYPICAL DETAILS, AND SPECIFICATIONS.
4.

THE CONTRACTOR SHALL REFER TO THE TECHNICAL PROVISIONS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES OR DRAWINGS.
5.

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING A BID OR PRICE TO THE OWNER AND SHALL NOTIFY OWNER OF ANY DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK OR SUBMITTING THE BID.
6.

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
7.

ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST BETWEEN THE ACTUAL CONDITIONS AND INFORMATION SHOWN ON THE DRAWINGS. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
8.

CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH LOCAL AGENCY JURISDICTION, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
9.

THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR THE TEMPORARY ERECTION OF BRACING AND SHORING AS REQUIRED FOR STABILITY OF STRUCTURES AND EXCAVATIONS DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
10.

THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
11.

PROJECT HORIZONTAL AND VERTICAL DATUM ARE SHOWN ON SHEET C-100.
12.

CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
13.

CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
14.

THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
15.

THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
16.

NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
17.

NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
18.

CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
19.

CONTRACTOR TO LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON- OR OFF-SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION, AND THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO POTHOLE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
20.

ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
21.

CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
22.

AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
23.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
24.

CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDBLE FOR AN AMOUNT REQUIRED BY THE OWNER.

25.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
26.

CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
27.

IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
28.

WHenever existing facilities are removed, damaged, broken, or cut in the installation of the work covered by these plans or specifications, said facilities shall be replaced at the contractor's expense with materials equal to or better than the materials used in the original existing facilities. The finished product shall be subject to the approval of the owner, the engineer, and the respective regulatory agency.
29.

CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
30.

WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
31.

ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
32.

ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
33.

CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
34.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ANY EQUIPMENT NECESSARY TO DEWATER EXCAVATIONS AS NOTED ON THE PROJECT DRAWINGS.
35.

CONTRACTOR SHALL NOTIFY BLUESTAKES 1-800-662-4111 48 HOURS PRIOR TO BEGINNING EXCAVATION. CONTRACTOR SHALL LOCATE EXISTING WATER LINE AND OTHER UTILITIES BOTH VERTICALLY AND HORIZONTALLY. IF DISCREPANCIES, CONFLICTS OR UNFORESEEN CONDITIONS ARE DISCOVERED, CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER FOR RESOLUTION.

UTILITY NOTES

1.

PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
2.

CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
3.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
4.

ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (LATEST EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
5.

CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
6.

SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
7.

CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
8.

EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.

9.

CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
10.

ALL OPEN ENDS OF PIPE SHALL BE EFFECTIVELY SEALED AT THE END OF THE DAYS' WORK.
11.

CONTRACTOR SHALL COORDINATE ALL RESTORATION EFFORTS WITH THE OWNER AND AGENCIES HAVING JURISDICTION.
12.

CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.

CONCRETE NOTES

1.

UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 6-INCH GRAVEL BASE OVER A WELL COMPACTED (95% DENSITY PER ASTM D-1557) SUB GRADE.
2.

REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL CONCRETE NOTES.

TRAFFIC CONTROL AND SAFETY NOTES

1.

THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ALL FLAGGING, BARRICADES, AND TRAFFIC CONTROL AS MAY BE NECESSARY TO ENSURE SAFETY TO THE GENERAL PUBLIC DURING CONSTRUCTION. A TRAFFIC CONTROL PLAN SHALL BE DEVELOPED BY THE CONTRACTOR AND SUBMITTED TO THE AGENCIES HAVING JURISDICTION.
2.

TRAFFIC CONTROL, BARRICADES, DETOURING, AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
3.

NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
4.

THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
5.

DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER OR LOCAL JURISDICTION OF AUTHORITY FOR REVIEW AND APPROVAL.
6.

ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER OR LOCAL JURISDICTION OF AUTHORITY.
7.

TRAFFIC CONTROL DEVICES (TCDS) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
8.

ALL PERMANENT TCDS CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
9.

THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO ENSURE THE SAFETY OF WORKERS AND VISITORS.

GRADING AND DRAINAGE NOTES

1.

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
2.

THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING, PIPELINES, AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
3.

THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
4.

ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
5.

THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT.
6.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
7.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
8.

THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE HAULED OFF SITE AND DISPOSED OF IN A LAWFUL MANNER.
9.

ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
10.

THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
11.

THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED AND DISPOSED OF IN A LAWFUL MANNER FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

12.

TOPSOIL SHALL BE REPLACED AND GRADED PRIOR TO REVEGETATION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE DEPTH OF EXISTING TOPSOIL AND REPLACING AND THE EXISTING TOPSOIL DEPTH. DISTURBED AREAS SHALL BE RESEDED USING A SEED MIX SPECIFIED ON THE EROSION CONTROL PLAN AND DETAILS.
13.

IMPROVEMENT ELEVATION LABELS AND ELEVATION CONTOURS REFERENCE FINISH ELEVATIONS. REFER TO ABBREVIATIONS AND SYMBOL LEGEND INCLUDED HEREIN.

EROSION CONTROL NOTES

1.

PER UDEQ, STORM WATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES GENERAL PERMIT NO. UTR 300000, CONSTRUCTION ACTIVITY INCLUDING CLEARING, GRADING, EXCAVATION, AND DEMOLITION THAT DISTURBS ONE OR MORE ACRES OF LAND SHALL REQUIRE INCLUSION IN THE GENERAL PERMIT AND COMPLY WITH THE REQUIREMENTS THEREIN.
2.

THE TOTAL PROJECT AREA OF DISTURBANCE IS GREATER THAN 1 ACRE; THEREFORE, AN UPDES STORM WATER PERMIT IS REQUIRED.
3.

THE CONTRACTOR SHALL OBTAIN A STORM WATER PERMIT FOR THIS PROJECT, IF APPLICABLE, AND MAINTAIN A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ON SITE DURING ALL PHASES OF CONSTRUCTION.
4.

THE PRIME CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR COMPLIANCE WITH GENERAL PERMIT.
5.

THE EROSION CONTROL PLAN HEREIN IS FOR PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL REVISE THE EROSION CONTROL PLAN TO FIT SPECIFIC SITE CONDITIONS AS REQUIRED TO MEET THE REQUIREMENTS AND CONDITIONS OF THE PERMIT.
6.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE OF TERMINATION (NOT) IS ISSUED BY UDEQ. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL PERMIT REQUIREMENTS.
7.

MAINTAIN DUST CONTROL WITH WATER AND/OR DUST PALLIATIVE AT ALL TIMES. PROVIDE SUFFICIENT LABOR, EQUIPMENT, AND MATERIALS ONSITE TO MAINTAIN DUST CONTROL WHEN CONDITIONS REQUIRE.



CALL TWO BUSINESS DAYS BEFORE YOU DIG TO HAVE UTILITIES LOCATED
811 or 1-800-662-4111

PRELIMINARY

FOR 90% REVIEW



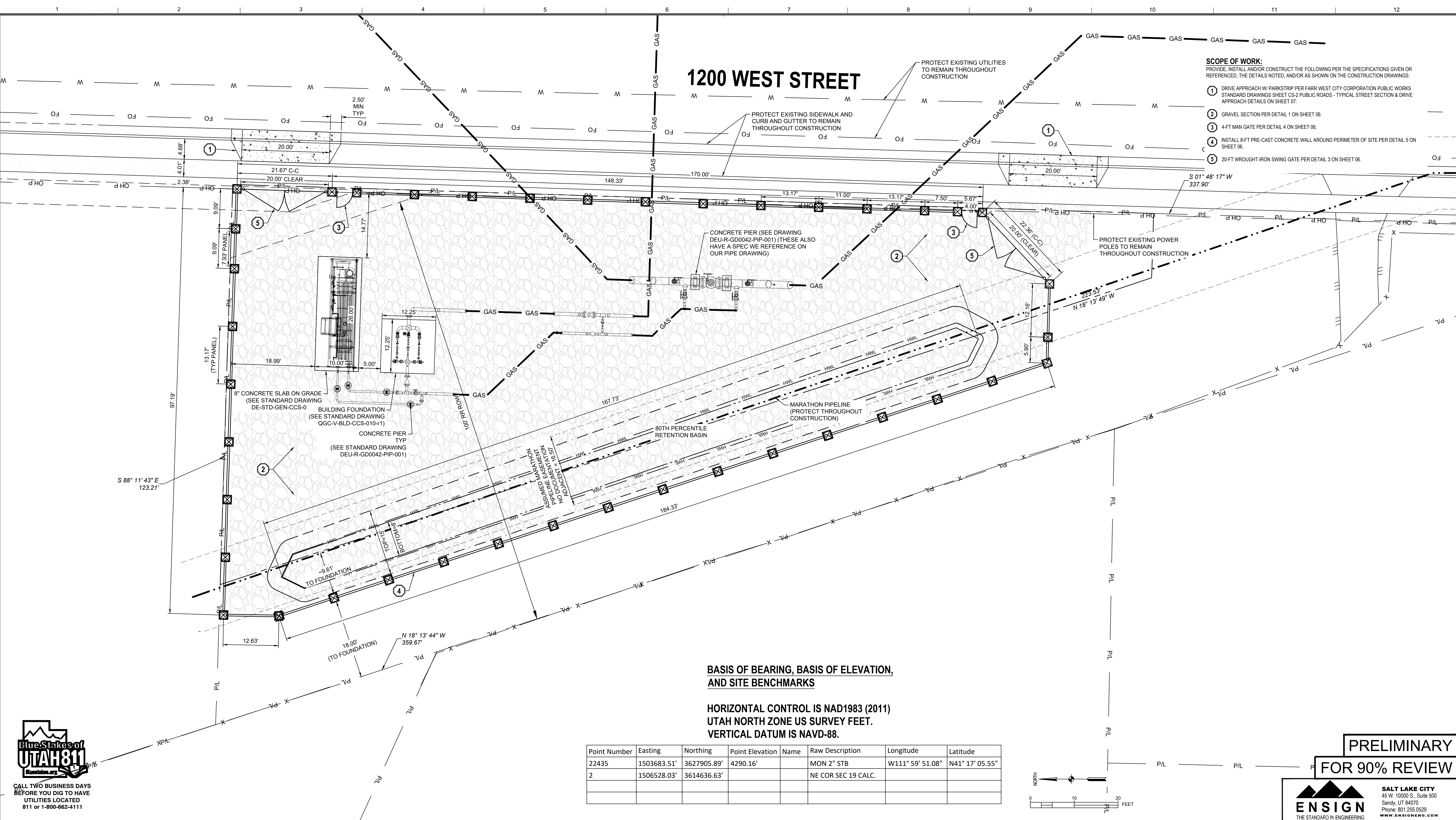
SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
www.ensigneng.com

03 GENERAL NOTES.dwg - 10/2024 - 11/26/24

REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD		Dominion Energy® DOMINION ENERGY UTAH	LINE NUMBER: FACILITY: TITLE: DESCRIPTION: ADDRESS:					
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: J. KRUEGER (EN/SGN)							
			85411.22	INSTALL NEW REG STA ON FL019 (TO REPLACE GD0038)	A	ISSUED FOR 90% REVIEW	2021-09-28	EN/SGN	ERB	CHECKED BY: E. BUSH							
										PROJECT ENGR: Z. HANSEN							
										SURVEYOR: B. CLARK (EN/SGN)							
										ENGR MNGR: S. MESSERSMITH							
										CONSTR MNGR:							
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														ELEVATION: 4522	FARR WEST	WEBER	UTAH
														LAT: 41.28092 LONG: -112.00869	DRAWING NUMBER		
														SCALE: NONE	DEU-R-GD0042-CCS-001		
												SHEET		REVISION			
											03 OF 09	A					

1200 WEST STREET

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 DRIVE APPROACH W/ PARKSTRIP PER FARR WEST CITY CORPORATION PUBLIC WORKS STANDARD DRAWINGS SHEET CS-2 PUBLIC ROADS - TYPICAL STREET SECTION & DRIVE APPROACH DETAILS ON SHEET 07.
 - 2 GRAVEL SECTION PER DETAIL 1 ON SHEET 06.
 - 3 4-FT MAN GATE PER DETAIL 4 ON SHEET 06.
 - 4 INSTALL 8-FT PRE-CAST CONCRETE WALL AROUND PERIMETER OF SITE PER DETAIL 5 ON SHEET 06.
 - 5 20-FT WROUGHT-IRON SWING GATE PER DETAIL 3 ON SHEET 06.



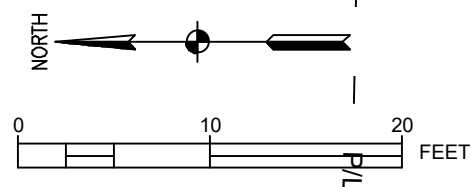
**BASIS OF BEARING, BASIS OF ELEVATION,
AND SITE BENCHMARKS**

**HORIZONTAL CONTROL IS NAD1983 (2011)
UTAH NORTH ZONE US SURVEY FEET.
VERTICAL DATUM IS NAVD-88.**

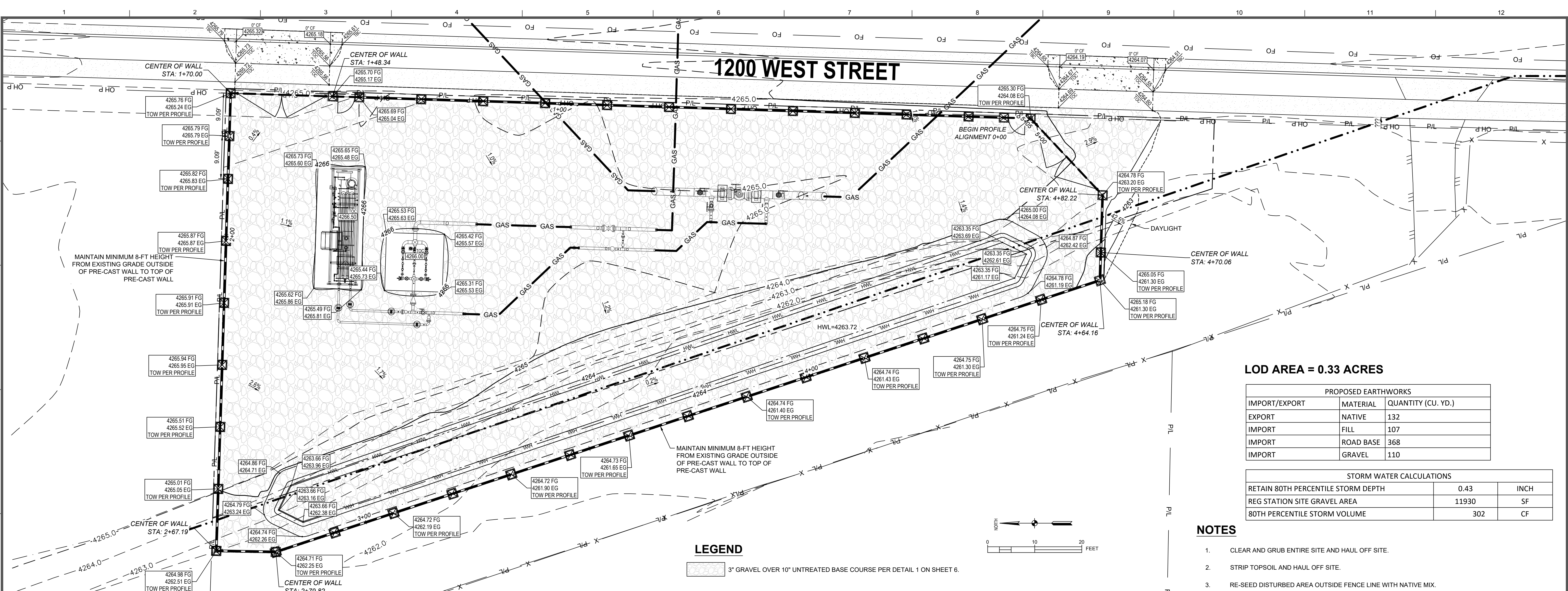
Point Number	Easting	Northing	Point Elevation	Name	Raw Description	Longitude	Latitude
22435	1503683.51'	3627905.89'	4290.16'		MON 2" STB	W111° 59' 51.08"	N41° 17' 05.55"
2	1506528.03'	3614636.63'			NE COR SEC 19 CALC.		



CALL TWO BUSINESS DAYS
BEFORE YOU DIG TO HAVE
UTILITIES LOCATED
811 or 1-800-662-4111



REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD			LINE NUMBER: FL - 19 FACILITY: INSTALL NEW DR STATION GD0042 (RETIRE DR STATION GD0038) TITLE: SITE PLAN DESCRIPTION: ADDRESS: 1301 NORTH 1200 WEST			
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: J. KRUEGER (ENSIGN)					
			85411.22	INSTALL NEW REG STA ON FL019 (TO REPLACE GD0038)	A	ISSUED FOR 90% REVIEW	2021-09-28	ENSIGN	ERB	CHECKED BY: E. BUSH					
										PROJECT ENGR: Z. HANSEN					
										SURVEYOR: B. CLARK (ENSIGN)					
										ENGR MNGR: S. MESSERSMITH					
										CONSTR MNGR:					
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													ELEVATION: 4522		
														LAT: 41.28092 LONG: -112.00869	
											SCALE: 1"=10'	DRAWING NUMBER DEU-R-GD0042-CCS-001		SHEET 04 OF 09	REVISION A



LOD AREA = 0.33 ACRES

PROPOSED EARTHWORKS		
IMPORT/EXPORT	MATERIAL	QUANTITY (CU. YD.)
EXPORT	NATIVE	132
IMPORT	FILL	107
IMPORT	ROAD BASE	368
IMPORT	GRAVEL	110

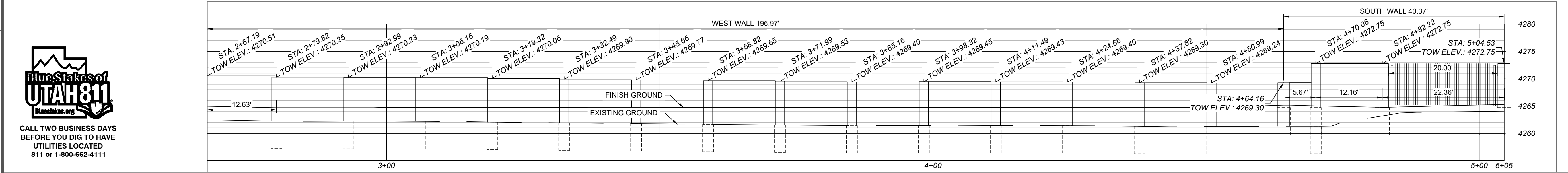
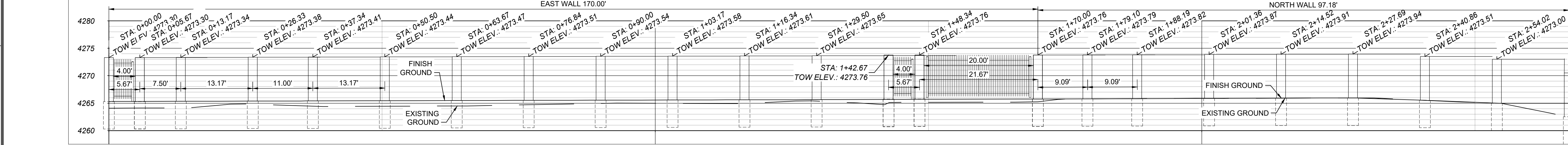
STORM WATER CALCULATIONS		
RETAIN 80TH PERCENTILE STORM DEPTH	0.43	INCH
REG STATION SITE GRAVEL AREA	11930	SF
80TH PERCENTILE STORM VOLUME	302	CF

NOTES

- CLEAR AND GRUB ENTIRE SITE AND HAUL OFF SITE.
- STRIP TOPSOIL AND HAUL OFF SITE.
- RE-SEED DISTURBED AREA OUTSIDE FENCE LINE WITH NATIVE MIX.

LEGEND

3" GRAVEL OVER 10" UNTREATED BASE COURSE PER DETAIL 1 ON SHEET 6.

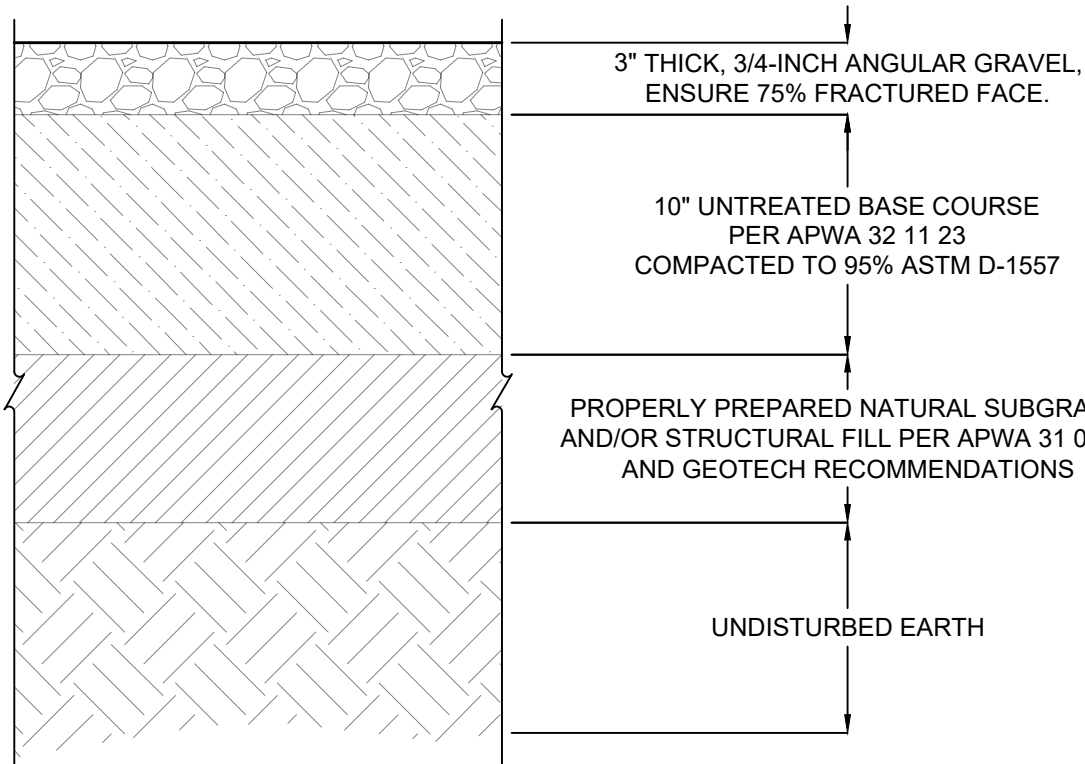


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PRELIMINARY FOR 90% REVIEW



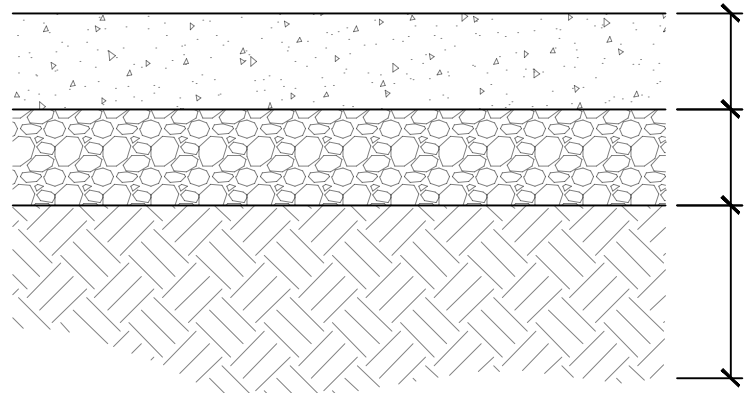
REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD		 Dominion Energy® DOMINION ENERGY UTAH	LINE NUMBER: FACILITY: TITLE: DESCRIPTION: ADDRESS: FL - 19 INSTALL NEW DR STATION GD0042 (RETIRE DR STATION GD0038) GRADING PLAN 1301 NORTH 1200 WEST			
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: J. KRUEGER (ENSGN)					
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														SECTION: 1 T6N R 2N	
														ELEVATION: 4522	
											LAT: 41.28092 LONG: -112.00869	DRAWING NUMBER		SHEET	REVISION
											SCALE: H 1"=10', V 1"=10'	DEU-R-GD0042-CCS-001		05 OF 09	A



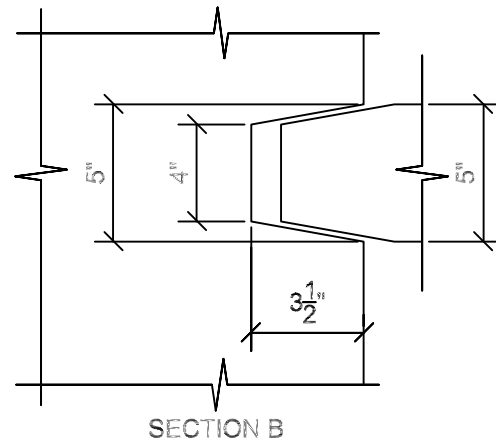
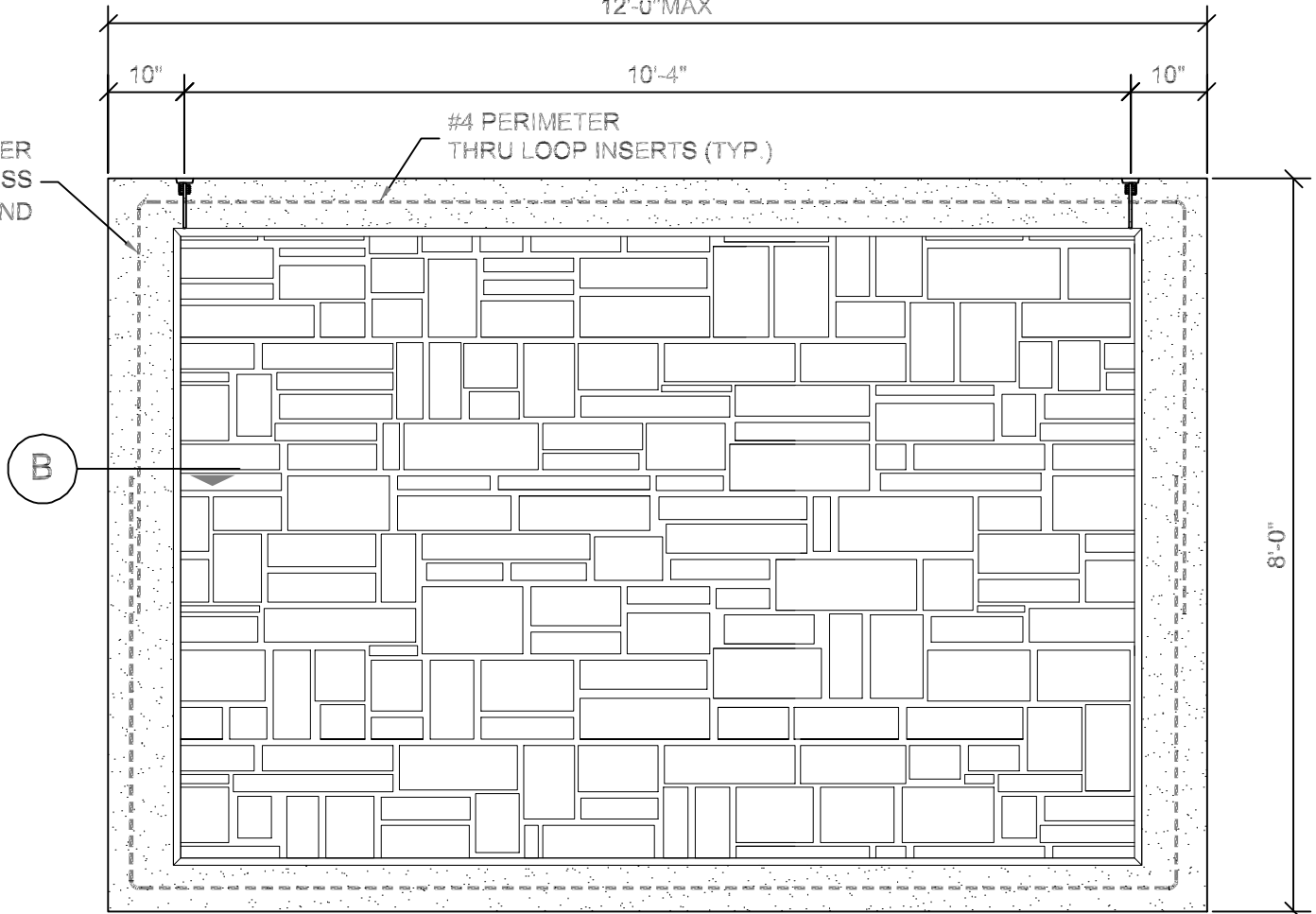
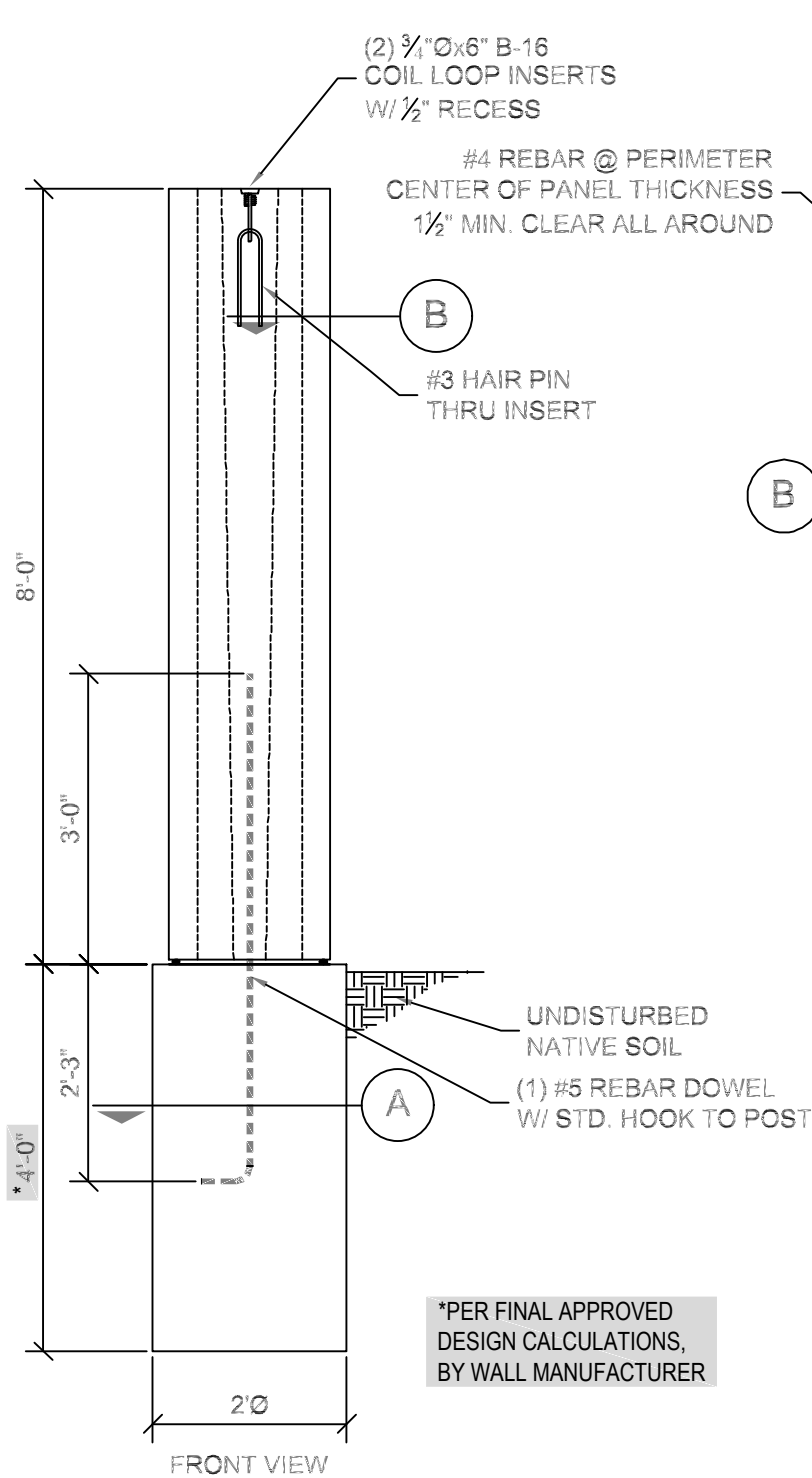
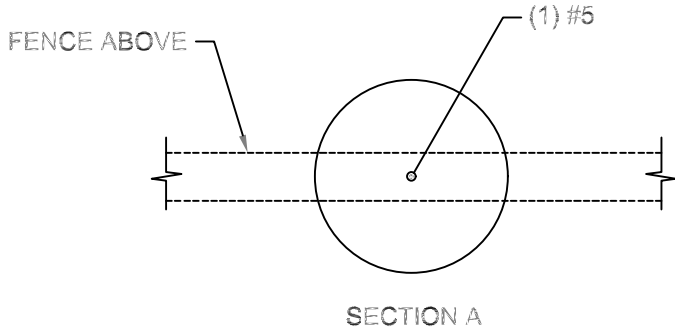
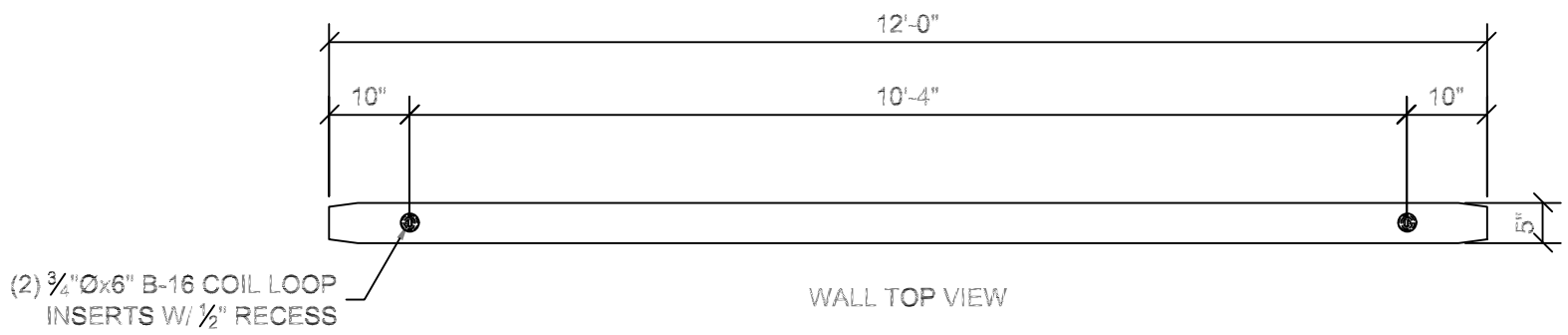
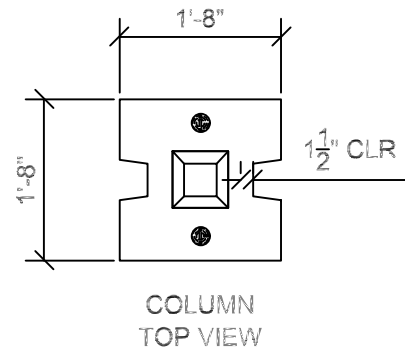
GRAVEL DRIVE SECTION 1
SCALE: 1 1/2" = 1'-0" 04.05

CONCRETE NOTES

- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



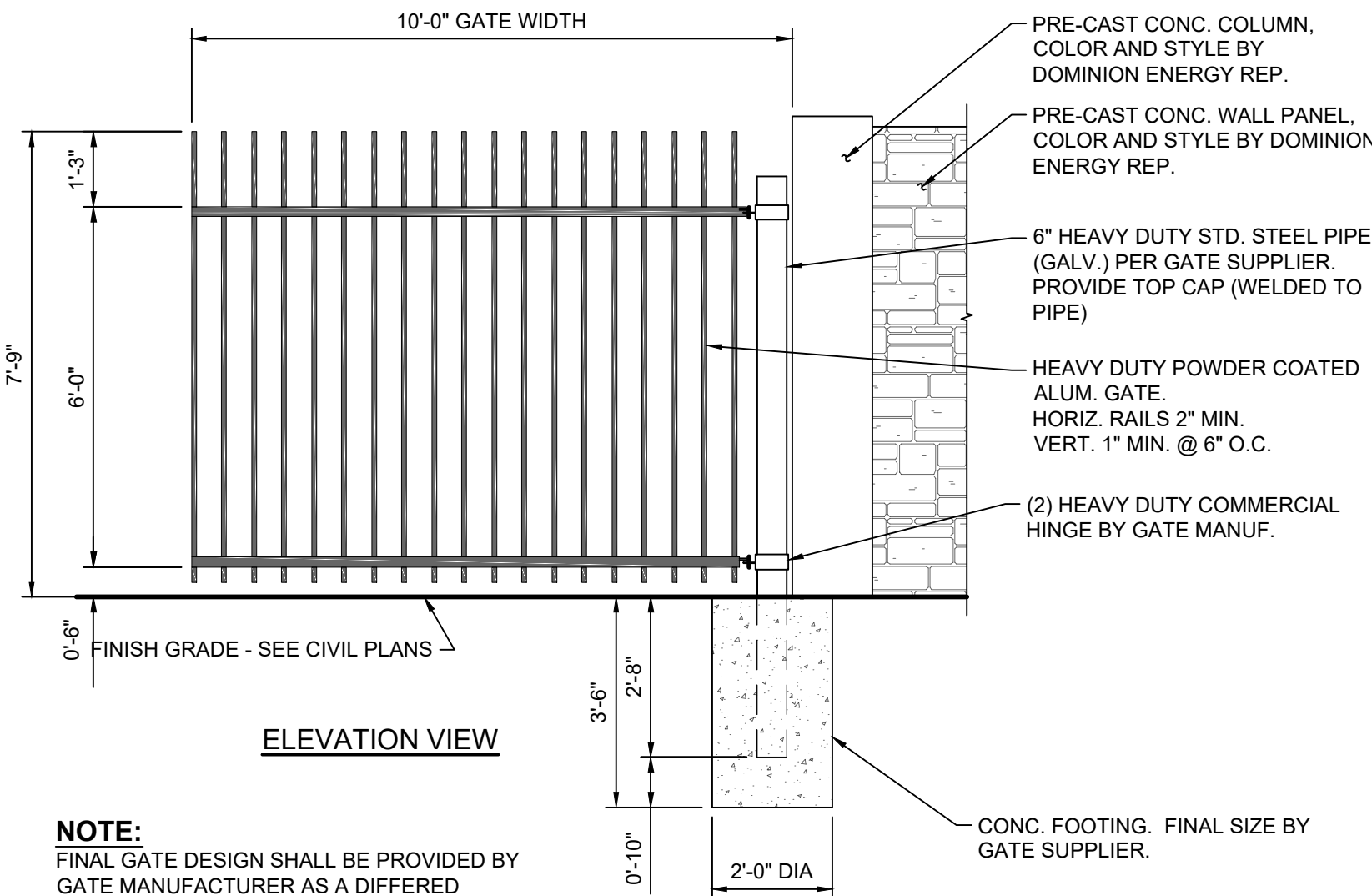
CONCRETE PAVEMENT SECTION 2
SCALE: 1 1/2" = 1'-0" 04.05



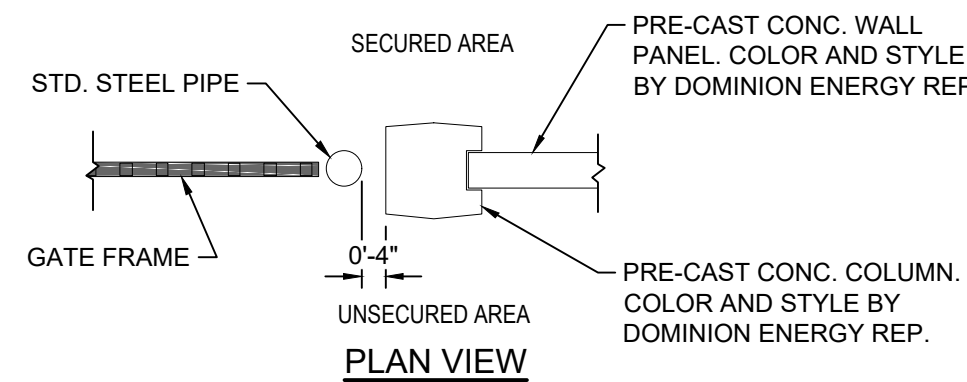
NOTES:

- POST AND PANEL CONCRETE TO BE 5000 PSI.
- FOOTING CONCRETE TO BE 3000 PSI.
- MINIMUM SOIL LATERAL BEARING ALLOWABLE: 150 PSF/FT. OF DEPTH BELOW GRADE
- MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2000 PSF
- DIMENSIONS MAY BE REDUCED TO FIT PROJECT REQUIREMENTS
- GROUT BETWEEN POST AND FOOTING TO BE 2500 PSI
- CONTRACTOR SHALL SUBMIT PRE-CAST WALL DESIGN CALCULATIONS AND SHOP DRAWINGS FOR REVIEW BY ENSIGN PRIOR TO INSTALLATION

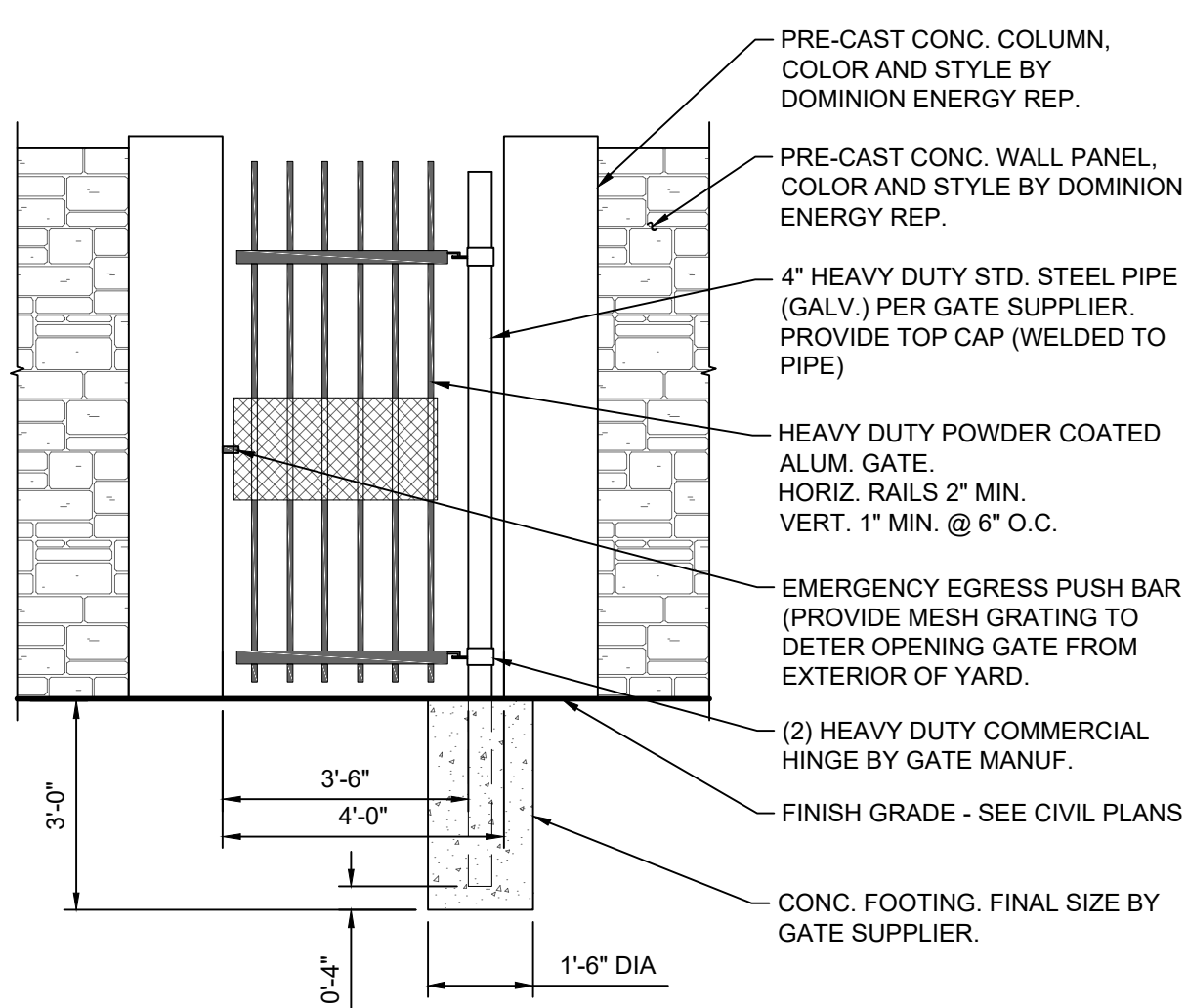
TYPICAL PRECAST CONCRETE WALL DETAIL 5
SCALE: NONE 04.05



NOTE:
FINAL GATE DESIGN SHALL BE PROVIDED BY GATE MANUFACTURER AS A DIFFERED SUBMITTAL TO ENSIGN ENGINEERING FOR REVIEW PRIOR TO FABRICATION.



DOUBLE SWING GATE DETAIL 3
SCALE: 3/8" = 1'-0" 04.05



NOTE:
FINAL GATE DESIGN SHALL BE PROVIDED BY GATE MANUFACTURER AS A DIFFERED SUBMITTAL TO ENSIGN ENGINEERING FOR REVIEW PRIOR TO FABRICATION.

PERSONNEL GATE DETAIL 4
SCALE: 3/8" = 1'-0" 04.05

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Sandy, UT 84070
Phone: 801.255.0529
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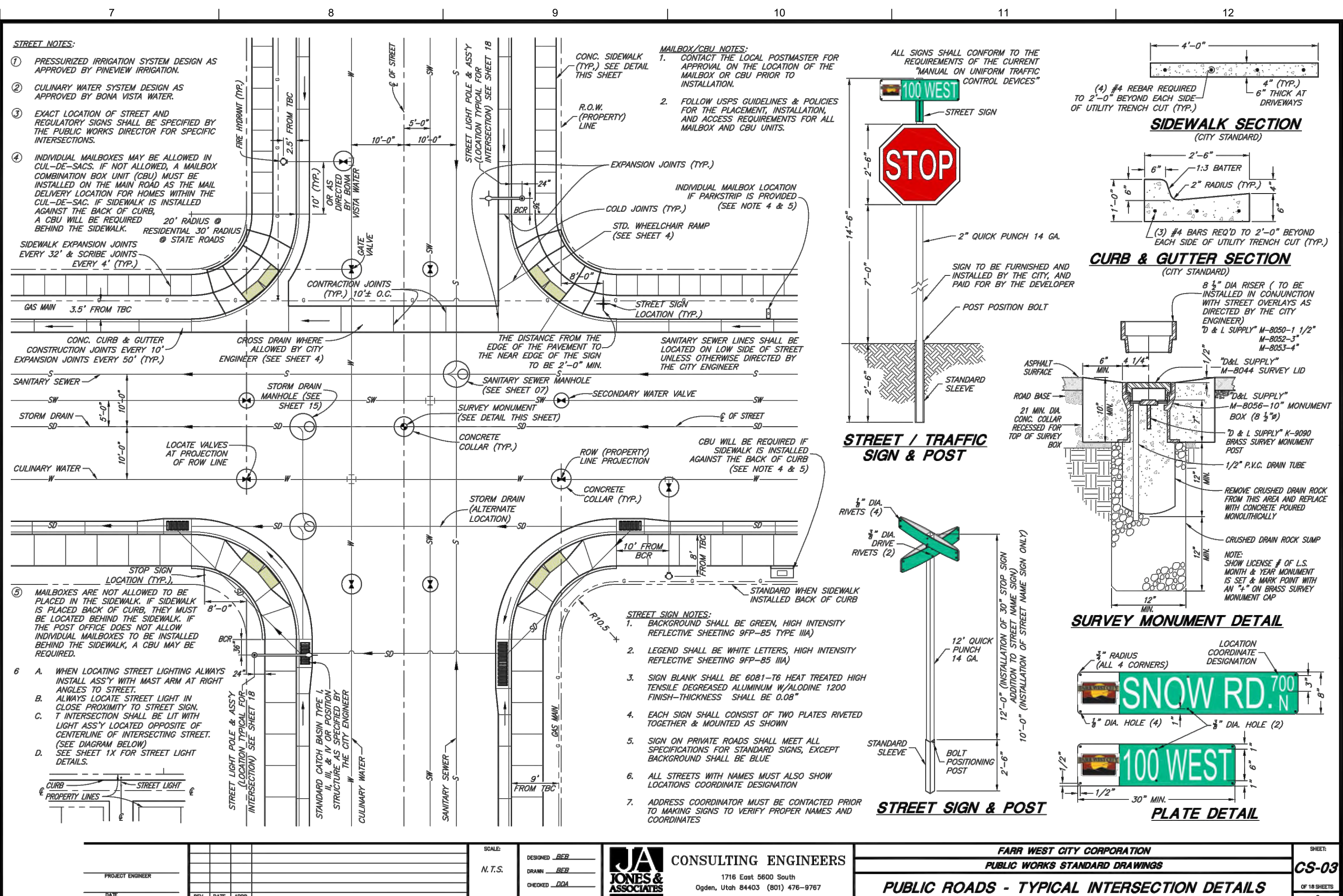


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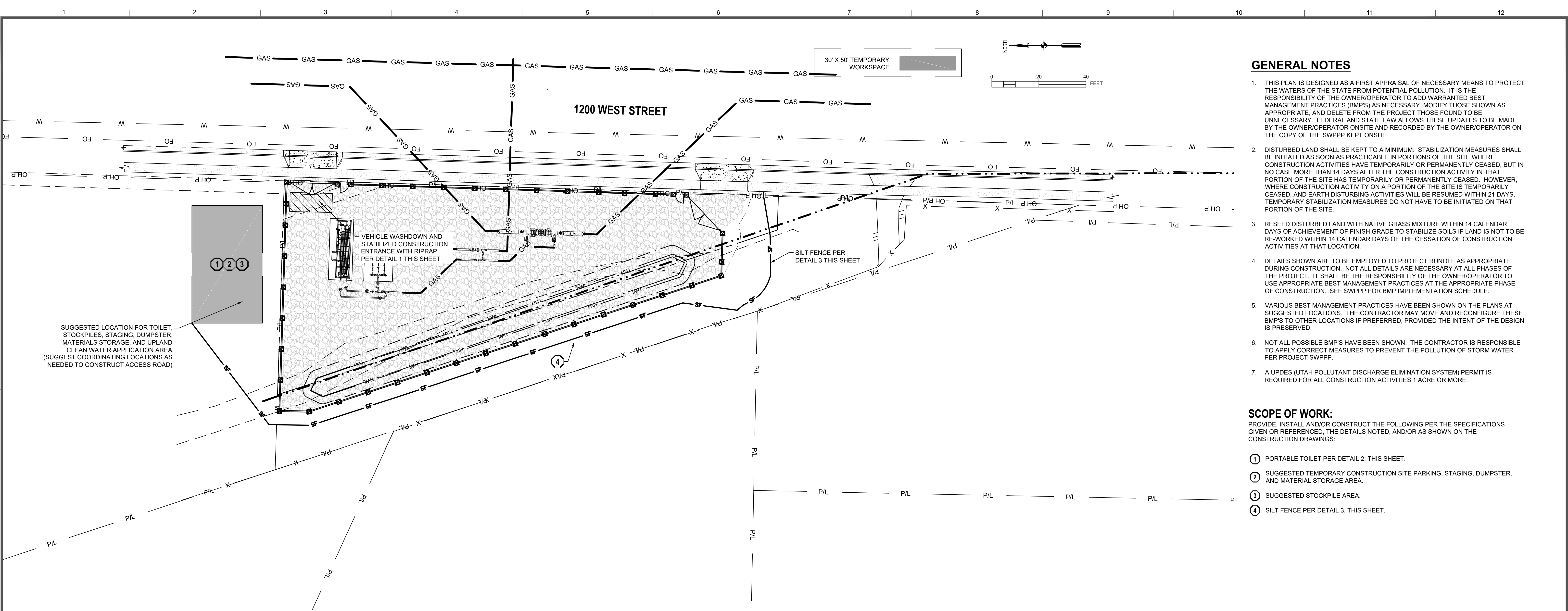
SECTION: 1 T6N R2N
ELEVATION: 4522
LAT: 41.28092 LONG: -112.00869
SCALE: AS SHOWN

LINE NUMBER: FACILITY: TITLE: DESCRIPTION: ADDRESS:			FL - 19 INSTALL NEW DR STATION GD0042 (RETIRE DR STATION GD0038) DETAILS 1301 NORTH 1200 WEST		
CITY FARR WEST	COUNTY WEBER	STATE UTAH	DRAWING NUMBER DEU-R-GD0042-CCS-001	SHEET 06 OF 09	REVISION A

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REFERENCE DRAWINGS			WORK ORDERS		REVISIONS					ENGINEERING RECORD	 Dominion Energy® DOMINION ENERGY UTAH	LINE NUMBER: FL - 19				
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: J. KRUEGER (ENSGN)		FACILITY: INSTALL NEW DR STATION GD0042				
			85411.22	INSTALL NEW REG STA ON FL019 (TO REPLACE GD0038)	A	ISSUED FOR 90% REVIEW	2021-09-28	ENSGN	ERB	CHECKED BY: E. BUSH		TITLE: (RETIRE DR STATION GD0038)				
										PROJECT ENGR: Z. HANSEN		DESCRIPTION: DETAILS				
										SURVEYOR: B. CLARK (ENSGN)		ADDRESS: 1301 NORTH 1200 WEST				
										ENGR MNGR: S. MESSERSMITH						
										CONSTR MNGR:						
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													ELEVATION: 4522			
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													SCALE: AS SHOWN			
											DRAWING NUMBER DEU-R-GD0042-CCS-001			SHEET 07 OF 09	REVISION A	



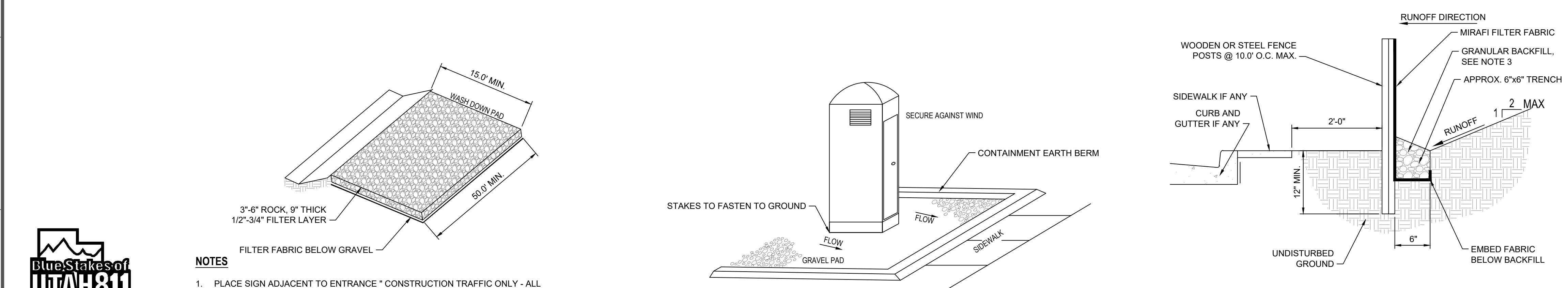
GENERAL NOTES

- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
- DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
- DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
- VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
- NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- PORTABLE TOILET PER DETAIL 2, THIS SHEET.
- SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
- SUGGESTED STOCKPILE AREA.
- SILT FENCE PER DETAIL 3, THIS SHEET.



NOTES

- EXCAVATE 6"x6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.
- POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
- LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH. BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
- SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.
- REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
- 10' MAX. SPACING BETWEEN STAKES.
- SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.



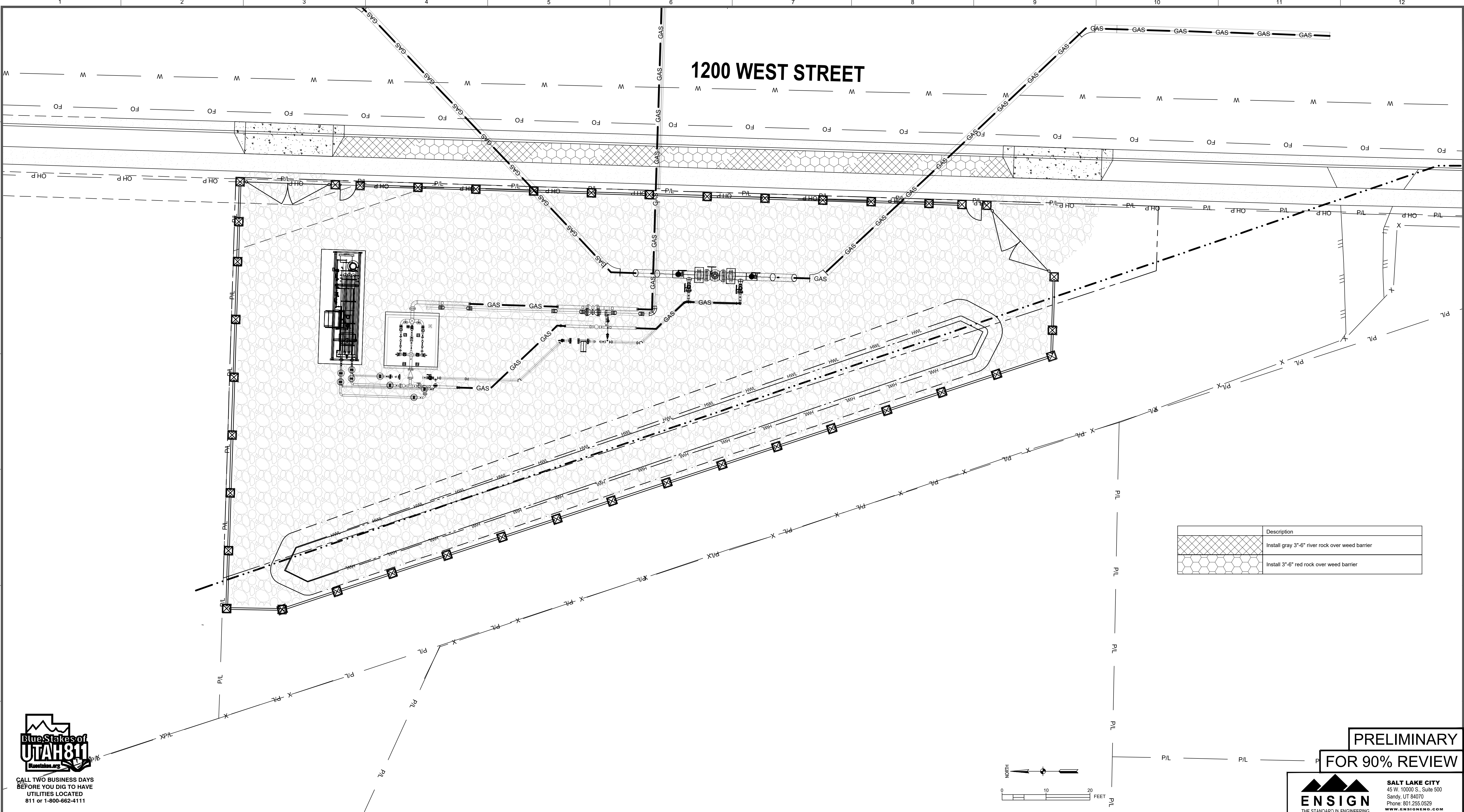
CALL TWO BUSINESS DAYS BEFORE YOU DIG TO HAVE UTILITIES LOCATED
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REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD			 Dominion Energy® DOMINION ENERGY UTAH	LINE NUMBER: FL - 19					
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: J. KRUEGER (ENSIGN)	FACILITY: INSTALL NEW DR STATION GD0042 (RETIRE DR STATION GD0038)							
			85411.22	INSTALL NEW REG STA ON FL019 (TO REPLACE GD0038)	A	ISSUED FOR 90% REVIEW	2021-09-28	ENSIGN	ERB	CHECKED BY: E. BUSH	TITLE: EROSION CONTROL PLAN							
										PROJECT ENGR: Z. HANSEN	DESCRIPTION: 1301 NORTH 1200 WEST							
										SURVEYOR: B. CLARK (ENSIGN)								
										ENGR MNGR: S. MESSERSMITH								
										CONSTR MNGR:								
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											SECTION: 1	T6N	R 2N	CITY	COUNTY	STATE		
											ELEVATION: 4522			FARR WEST	WEBER	UTAH		
											LAT: 41.28092	LONG: -112.00869		DRAWING NUMBER			SHEET	REVISION
											SCALE: AS SHOWN			DEU-R-GD0042-CCS-001			08 OF 09	A

1200 WEST STREET



	Description
	Install gray 3'-6" river rock over weed barrier
	Install 3'-6" red rock over weed barrier



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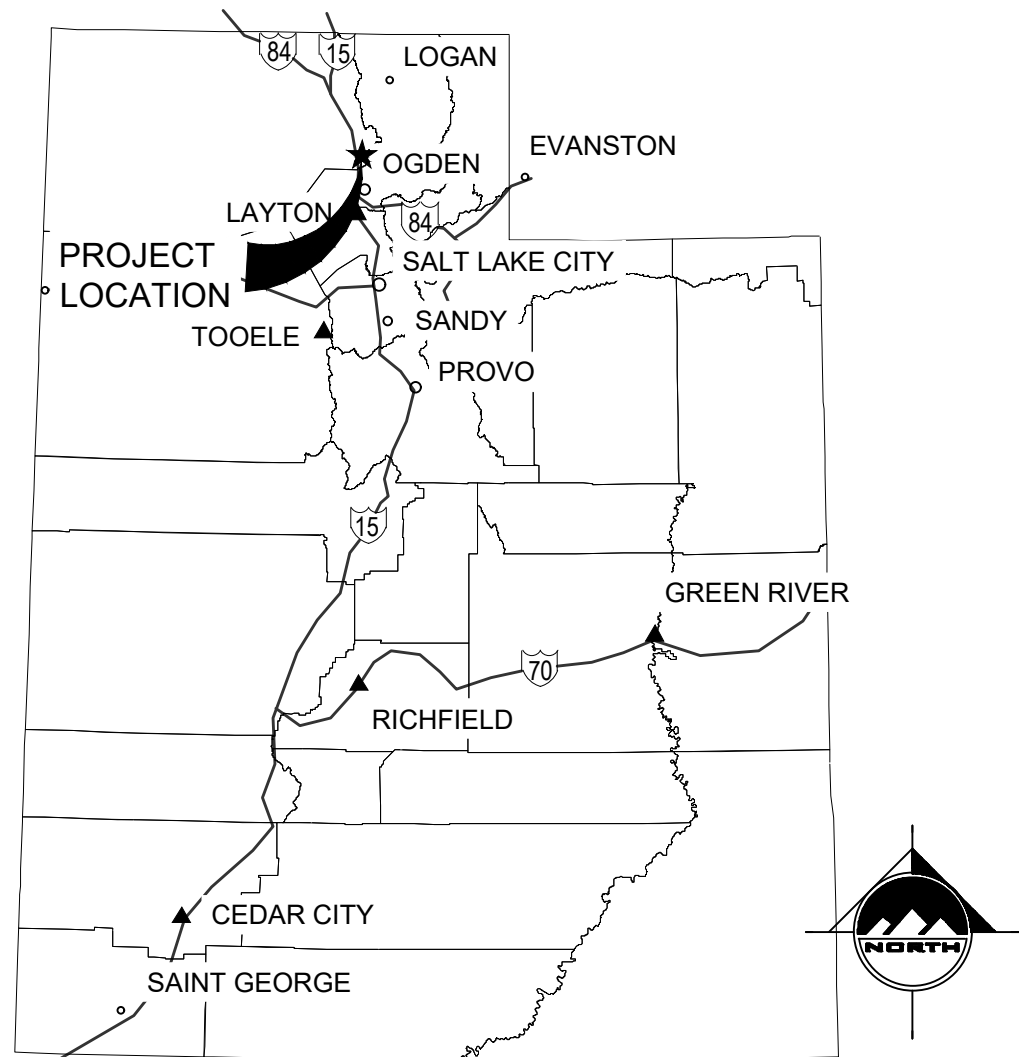
DOMINION ENERGY UTAH

SECTION: 1	T6N	R2N
ELEVATION: 4522		
LAT: 41.28092	LONG: -112.00869	
SCALE: 1"=10'		

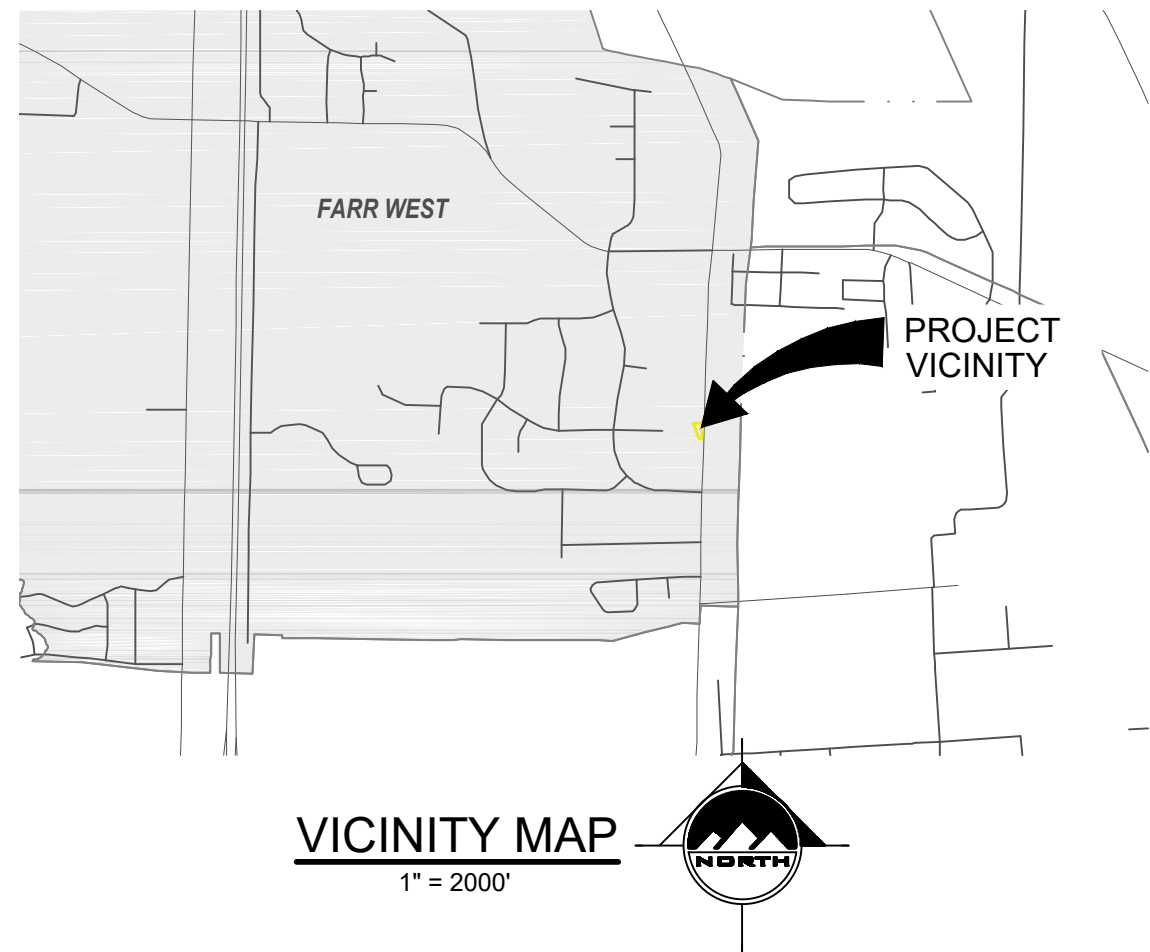
LINE NUMBER: FACILITY: TITLE: DESCRIPTION: ADDRESS:			FL - 19 INSTALL NEW DR STATION GD0042 (RETIRE DR STATION GD0038) LANDSCAPE PLAN 1301 NORTH 1200 WEST		
CITY FARR WEST		COUNTY WEBER	STATE UTAH		
DRAWING NUMBER DEU-R-GD0042-CCS-001				SHEET 09 OF 09	REVISION A

DOMINION ENERGY ANS1 D

Reviewed
10/25/2021 5:32:10 PM



LOCATION MAP
NO SCALE



VICINITY MAP
1" = 2000'

PROJECT DRAWINGS		
GENERAL DRAWINGS		
DRAWING	REV	DESCRIPTION
DEU-R-GD0042-CCS-001 SHEET 01 OF 09	A	COVER SHEET
DEU-R-GD0042-CCS-001 SHEET 02 OF 09	A	SYMBOLS AND ABBREVIATIONS
DEU-R-GD0042-CCS-001 SHEET 03 OF 09	A	GENERAL NOTES
CIVIL DRAWINGS		
DEU-R-GD0042-CCS-001 SHEET 04 OF 09	A	SITE PLAN
DEU-R-GD0042-CCS-001 SHEET 05 OF 09	A	GRADING PLAN
DEU-R-GD0042-CCS-001 SHEET 06 OF 09	A	DETAILS
DEU-R-GD0042-CCS-001 SHEET 07 OF 09	A	DETAILS
DEU-R-GD0042-CCS-001 SHEET 08 OF 09	A	EROSION CONTROL PLAN AND DETAILS
LANDSCAPE DRAWINGS		
DEU-R-GD0042-CCS-001 SHEET 09 OF 09	A	LANDSCAPE PLAN AND DETAILS
REFERENCE DRAWINGS		
QGC-V-BLD-CCS-010-r1	1	BUILDING FOUNDATION DETAILS
DE-STD-GEN-CCS-003-r0	0	CONCRETE SLAB ON GRADE
DEU-R-GD0042-PIP-001	A	

PROJECT CONTACTS		
PROJECT MANAGER	ZACH HANSEN	385-321-7583
PROJECT ENGINEER	ZACH HANSEN	385-321-7583
CATHODIC PROTECTION	KELLY FACER	801-201-5528
HP SURVEYOR	GARRETT NEWHART (ENSIGN)	385-228-3038
LEAD INSPECTOR	TBD	
IHP SUPERVISOR	TBD	
RIGHT OF WAY AGENT	KEVIN MULVEY	801-592-5808
MEASUREMENT AND CONTROL	DAVID PLATT	801-389-4581
ENVIRONMENTAL HEALTH & SAFETY	STEPHEN RYDER	330-813-8805

NOTICE TO DEVELOPER/CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER OR CONTRACTOR, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTOR'S AND SUBCONTRACTOR'S COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

THE CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



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REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD				LINE NUMBER: FL - 19 FACILITY: INSTALL NEW DR STATION GD0042 TITLE: (RETIRE DR STATION GD0038) DESCRIPTION: COVER SHEET ADDRESS: 1301 NORTH 1200 WEST							
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													LAT: 41.28092				LONG: -112.00869	DRAWING NUMBER DEU-R-GD0042-CCS-001	SHEET 01 OF 09	REVISION A
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ENSIGN GENERAL NOTES

1.

ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (LATEST EDITION), THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), AND OTHER REGULATORY AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK WHERE APPLICABLE. THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
2.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, LOCAL JURISDICTION OF AUTHORITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DIVISION OF DRINKING WATER REGULATIONS, AND APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
3.

SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES, TYPICAL DETAILS, AND SPECIFICATIONS.
4.

THE CONTRACTOR SHALL REFER TO THE TECHNICAL PROVISIONS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES OR DRAWINGS.
5.

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING A BID OR PRICE TO THE OWNER AND SHALL NOTIFY OWNER OF ANY DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK OR SUBMITTING THE BID.
6.

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
7.

ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST BETWEEN THE ACTUAL CONDITIONS AND INFORMATION SHOWN ON THE DRAWINGS. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
8.

CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH LOCAL AGENCY JURISDICTION, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
9.

THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR THE TEMPORARY ERECTION OF BRACING AND SHORING AS REQUIRED FOR STABILITY OF STRUCTURES AND EXCAVATIONS DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
10.

THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
11.

PROJECT HORIZONTAL AND VERTICAL DATUM ARE SHOWN ON SHEET C-100.
12.

CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
13.

CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
14.

THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
15.

THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
16.

NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
17.

NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
18.

CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
19.

CONTRACTOR TO LAYOUT AND POTHOLE FOR ALL POTENTIAL CONFLICTS WITH UTILITY LINES ON- OR OFF-SITE AS REQUIRED PRIOR TO ANY CONSTRUCTION, AND THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300 FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO POTHOLE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
20.

ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
21.

CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
22.

AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
23.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
24.

CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDBLE FOR AN AMOUNT REQUIRED BY THE OWNER.

25.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
26.

CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
27.

IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
28.

WHenever existing facilities are removed, damaged, broken, or cut in the installation of the work covered by these plans or specifications, said facilities shall be replaced at the contractor's expense with materials equal to or better than the materials used in the original existing facilities. The finished product shall be subject to the approval of the owner, the engineer, and the respective regulatory agency.
29.

CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
30.

WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
31.

ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
32.

ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
33.

CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
34.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ANY EQUIPMENT NECESSARY TO DEWATER EXCAVATIONS AS NOTED ON THE PROJECT DRAWINGS.
35.

CONTRACTOR SHALL NOTIFY BLUESTAKES 1-800-662-4111 48 HOURS PRIOR TO BEGINNING EXCAVATION. CONTRACTOR SHALL LOCATE EXISTING WATER LINE AND OTHER UTILITIES BOTH VERTICALLY AND HORIZONTALLY. IF DISCREPANCIES, CONFLICTS OR UNFORESEEN CONDITIONS ARE DISCOVERED, CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER FOR RESOLUTION.

UTILITY NOTES

1.

PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
2.

CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
3.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
4.

ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (LATEST EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
5.

CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
6.

SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
7.

CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
8.

EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.

9.

CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
10.

ALL OPEN ENDS OF PIPE SHALL BE EFFECTIVELY SEALED AT THE END OF THE DAY'S WORK.
11.

CONTRACTOR SHALL COORDINATE ALL RESTORATION EFFORTS WITH THE OWNER AND AGENCIES HAVING JURISDICTION.
12.

CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.

CONCRETE NOTES

1.

UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 6-INCH GRAVEL BASE OVER A WELL COMPACTED (95% DENSITY PER ASTM D-1557) SUB GRADE.
2.

REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL CONCRETE NOTES.

TRAFFIC CONTROL AND SAFETY NOTES

1.

THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ALL FLAGGING, BARRICADES, AND TRAFFIC CONTROL AS MAY BE NECESSARY TO ENSURE SAFETY TO THE GENERAL PUBLIC DURING CONSTRUCTION. A TRAFFIC CONTROL PLAN SHALL BE DEVELOPED BY THE CONTRACTOR AND SUBMITTED TO THE AGENCIES HAVING JURISDICTION.
2.

TRAFFIC CONTROL, BARRICADES, DETOURING, AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
3.

NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
4.

THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
5.

DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE CITY TRAFFIC ENGINEER OR LOCAL JURISDICTION OF AUTHORITY FOR REVIEW AND APPROVAL.
6.

ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER OR LOCAL JURISDICTION OF AUTHORITY.
7.

TRAFFIC CONTROL DEVICES (TCDS) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
8.

ALL PERMANENT TCDS CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
9.

THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO ENSURE THE SAFETY OF WORKERS AND VISITORS.

GRADING AND DRAINAGE NOTES

1.

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
2.

THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING, PIPELINES, AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
3.

THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
4.

ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
5.

THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT.
6.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
7.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
8.

THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE HAULED OFF SITE AND DISPOSED OF IN A LAWFUL MANNER.
9.

ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
10.

THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
11.

THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED AND DISPOSED OF IN A LAWFUL MANNER FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

12.

TOPSOIL SHALL BE REPLACED AND GRADED PRIOR TO REVEGETATION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE DEPTH OF EXISTING TOPSOIL AND REPLACING AND THE EXISTING TOPSOIL DEPTH. DISTURBED AREAS SHALL BE RESEDED USING A SEED MIX SPECIFIED ON THE EROSION CONTROL PLAN AND DETAILS.
13.

IMPROVEMENT ELEVATION LABELS AND ELEVATION CONTOURS REFERENCE FINISH ELEVATIONS. REFER TO ABBREVIATIONS AND SYMBOL LEGEND INCLUDED HEREIN.

EROSION CONTROL NOTES

1.

PER UDEQ, STORM WATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES GENERAL PERMIT NO. UTR 30000, CONSTRUCTION ACTIVITY INCLUDING CLEARING, GRADING, EXCAVATION, AND DEMOLITION THAT DISTURBS ONE OR MORE ACRES OF LAND SHALL REQUIRE INCLUSION IN THE GENERAL PERMIT AND COMPLY WITH THE REQUIREMENTS THEREIN.
2.

THE TOTAL PROJECT AREA OF DISTURBANCE IS GREATER THAN 1 ACRE; THEREFORE, AN UPDES STORM WATER PERMIT IS REQUIRED.
3.

THE CONTRACTOR SHALL OBTAIN A STORM WATER PERMIT FOR THIS PROJECT, IF APPLICABLE, AND MAINTAIN A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ON SITE DURING ALL PHASES OF CONSTRUCTION.
4.

THE PRIME CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR COMPLIANCE WITH GENERAL PERMIT.
5.

THE EROSION CONTROL PLAN HEREIN IS FOR PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL REVISE THE EROSION CONTROL PLAN TO FIT SPECIFIC SITE CONDITIONS AS REQUIRED TO MEET THE REQUIREMENTS AND CONDITIONS OF THE PERMIT.
6.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE OF TERMINATION (NOT) IS ISSUED BY UDEQ. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL PERMIT REQUIREMENTS.
7.

MAINTAIN DUST CONTROL WITH WATER AND/OR DUST PALLIATIVE AT ALL TIMES. PROVIDE SUFFICIENT LABOR, EQUIPMENT, AND MATERIALS ONSITE TO MAINTAIN DUST CONTROL WHEN CONDITIONS REQUIRE.



CALL TWO BUSINESS DAYS BEFORE YOU DIG TO HAVE UTILITIES LOCATED 811 or 1-800-662-4111

PRELIMINARY
FOR 90% REVIEW



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
www.ensigneng.com

03 GENERAL NOTES.dwg, 09/22/2021, 10:59am

DOMINION ENERGY - JAVIS.D

REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD		DOMINION ENERGY UTAH	LINE NUMBER: FACILITY: TITLE: DESCRIPTION: ADDRESS:	FL - 19 INSTALL NEW DR STATION GD0042 (RETIRE DR STATION GD0038) GENERAL NOTES 1301 NORTH 1200 WEST		
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: J. KRUEGER (ENSIGN)					
			85411.22	INSTALL NEW REG STA ON FL019 (TO REPLACE GD0038)	A	ISSUED FOR 90% REVIEW	2021-09-28	ENSIGN	ERB	CHECKED BY: E. BUSH					
										PROJECT ENGR: Z. HANSEN					
										SURVEYOR: B. CLARK (ENSIGN)					
										ENGR MNGR: S. MESSERSMITH					
										CONSTR MNGR:					
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1200 WEST STREET

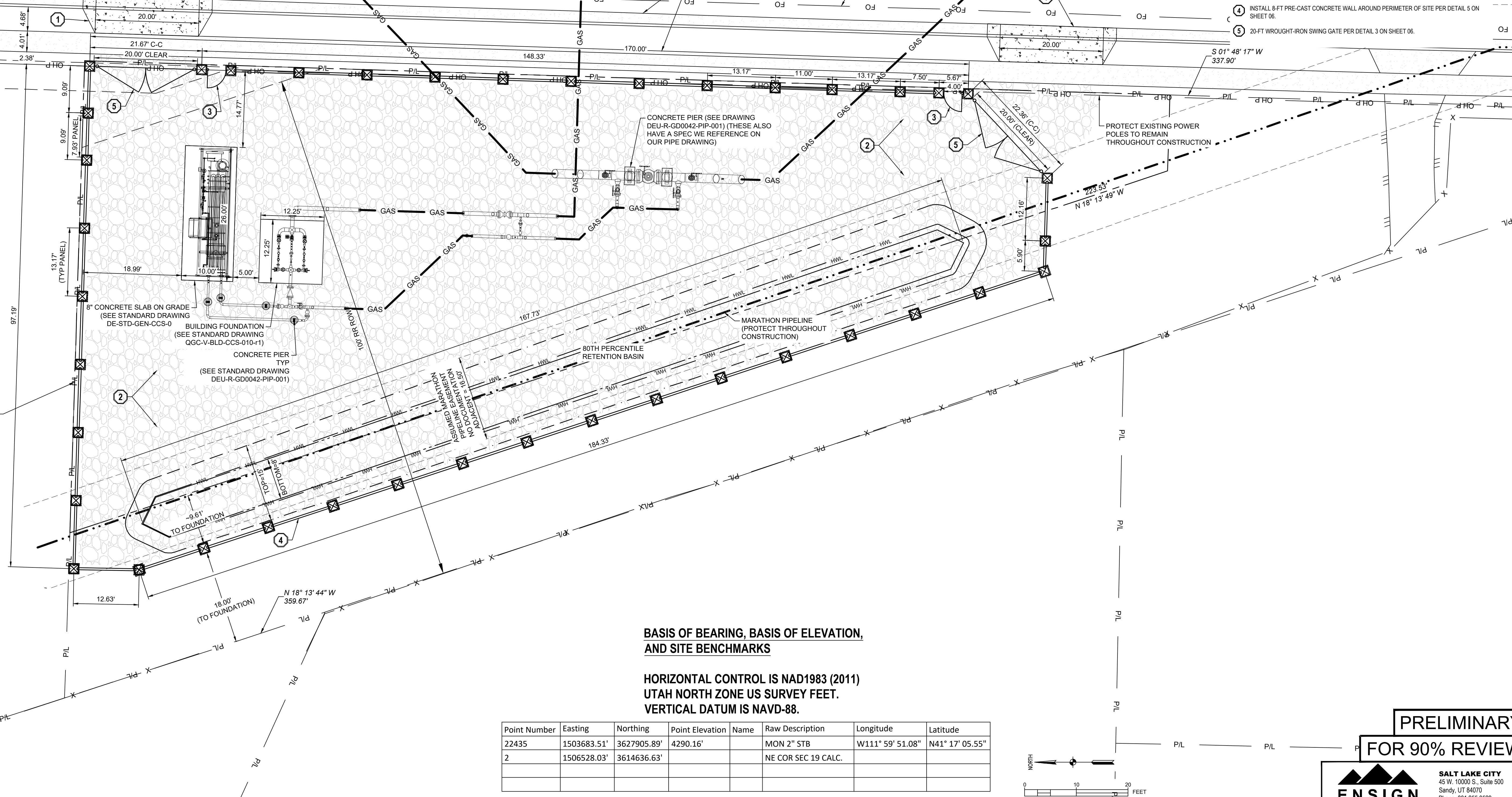
- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 DRIVE APPROACH W/ PARKSTRIP PER FARR WEST CITY CORPORATION PUBLIC WORKS STANDARD DRAWINGS SHEET CS-2 PUBLIC ROADS - TYPICAL STREET SECTION & DRIVE APPROACH DETAILS ON SHEET 07.
 - 2 GRAVEL SECTION PER DETAIL 1 ON SHEET 06.
 - 3 4-FT MAN GATE PER DETAIL 4 ON SHEET 06.
 - 4 INSTALL 8-FT PRE-CAST CONCRETE WALL AROUND PERIMETER OF SITE PER DETAIL 5 ON SHEET 06.
 - 5 20-FT WROUGHT-IRON SWING GATE PER DETAIL 3 ON SHEET 06.

CONCRETE PIER (SEE DRAWING DEU-R-GD0042-PIP-001) (THESE ALSO HAVE A SPEC WE REFERENCE ON OUR PIPE DRAWING)

PROTECT EXISTING POWER POLES TO REMAIN THROUGHOUT CONSTRUCTION

PROTECT EXISTING UTILITIES TO REMAIN THROUGHOUT CONSTRUCTION

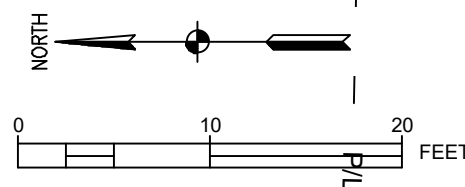
PROTECT EXISTING SIDEWALK AND CURB AND GUTTER TO REMAIN THROUGHOUT CONSTRUCTION



BASIS OF BEARING, BASIS OF ELEVATION, AND SITE BENCHMARKS

HORIZONTAL CONTROL IS NAD1983 (2011)
UTAH NORTH ZONE US SURVEY FEET.
VERTICAL DATUM IS NAVD-88.

Point Number	Easting	Northing	Point Elevation	Name	Raw Description	Longitude	Latitude
22435	1503683.51'	3627905.89'	4290.16'		MON 2" STB	W111° 59' 51.08"	N41° 17' 05.55"
2	1506528.03'	3614636.63'			NE COR SEC 19 CALC.		



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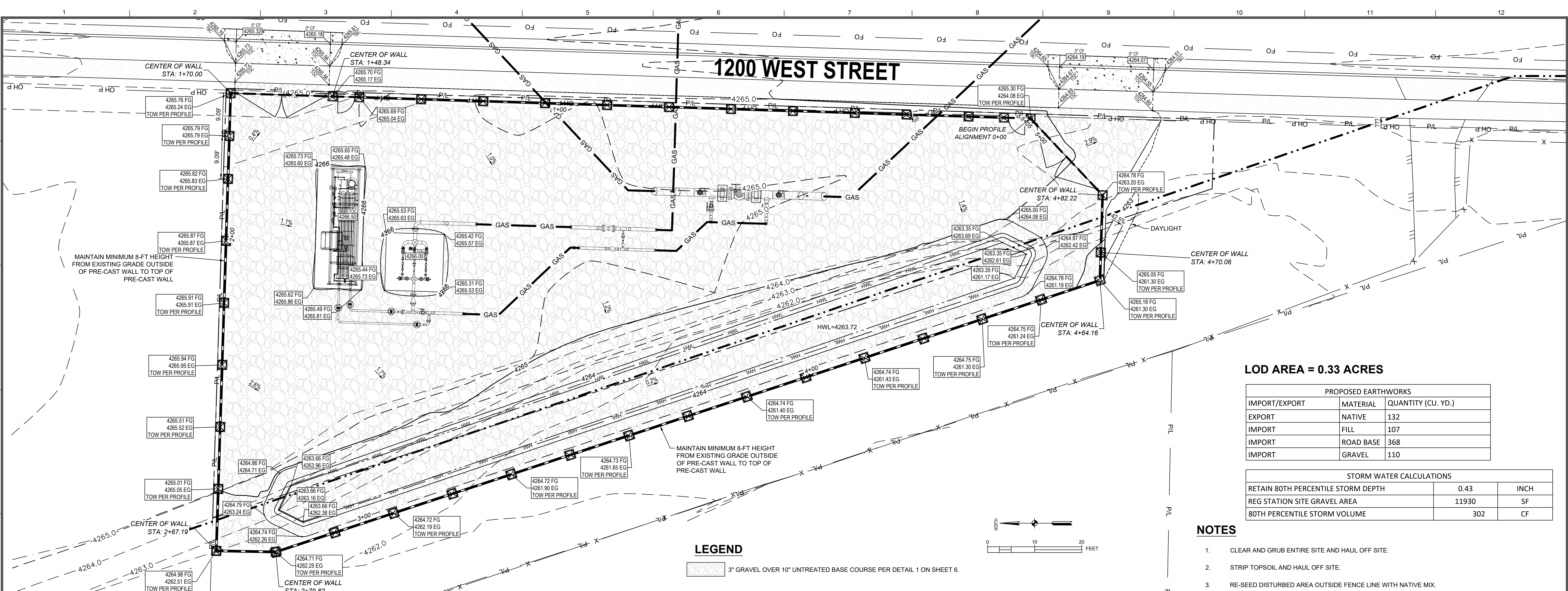


DOMINION ENERGY UTAH

SECTION: 1 T6N R2N
ELEVATION: 4522
LAT: 41.28092 LONG: -112.00869
SCALE: 1"=10'

LINE NUMBER:	FL - 19		
FACILITY:	INSTALL NEW DR STATION GD0042		
TITLE:	(RETIRE DR STATION GD0038)		
DESCRIPTION:	SITE PLAN		
ADDRESS:	1301 NORTH 1200 WEST		
CITY FARR WEST		COUNTY WEBER	STATE UTAH
DRAWING NUMBER DEU-R-GD0042-CCS-001			SHEET 04 OF 09
			REVISION A

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LOD AREA = 0.33 ACRES

PROPOSED EARTHWORKS		
IMPORT/EXPORT	MATERIAL	QUANTITY (CU. YD.)
EXPORT	NATIVE	132
IMPORT	FILL	107
IMPORT	ROAD BASE	368
IMPORT	GRAVEL	110

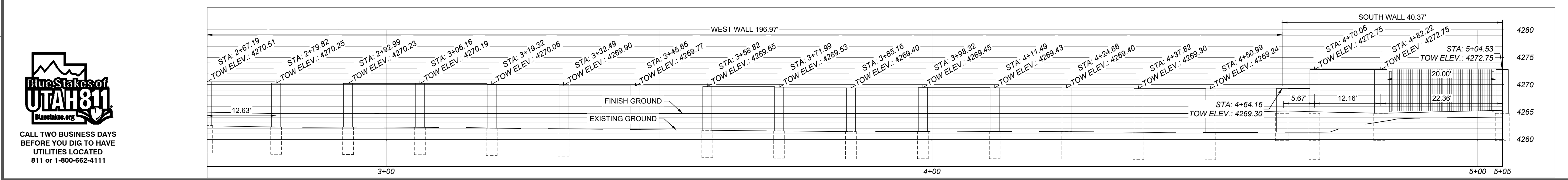
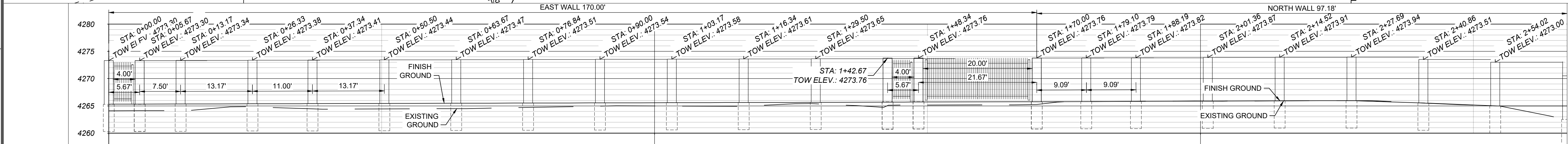
STORM WATER CALCULATIONS		
RETAIN 80TH PERCENTILE STORM DEPTH	0.43	INCH
REG STATION SITE GRAVEL AREA	11930	SF
80TH PERCENTILE STORM VOLUME	302	CF

NOTES

- CLEAR AND GRUB ENTIRE SITE AND HAUL OFF SITE.
- STRIP TOPSOIL AND HAUL OFF SITE.
- RE-SEED DISTURBED AREA OUTSIDE FENCE LINE WITH NATIVE MIX.

LEGEND

3" GRAVEL OVER 10" UNTREATED BASE COURSE PER DETAIL 1 ON SHEET 6.



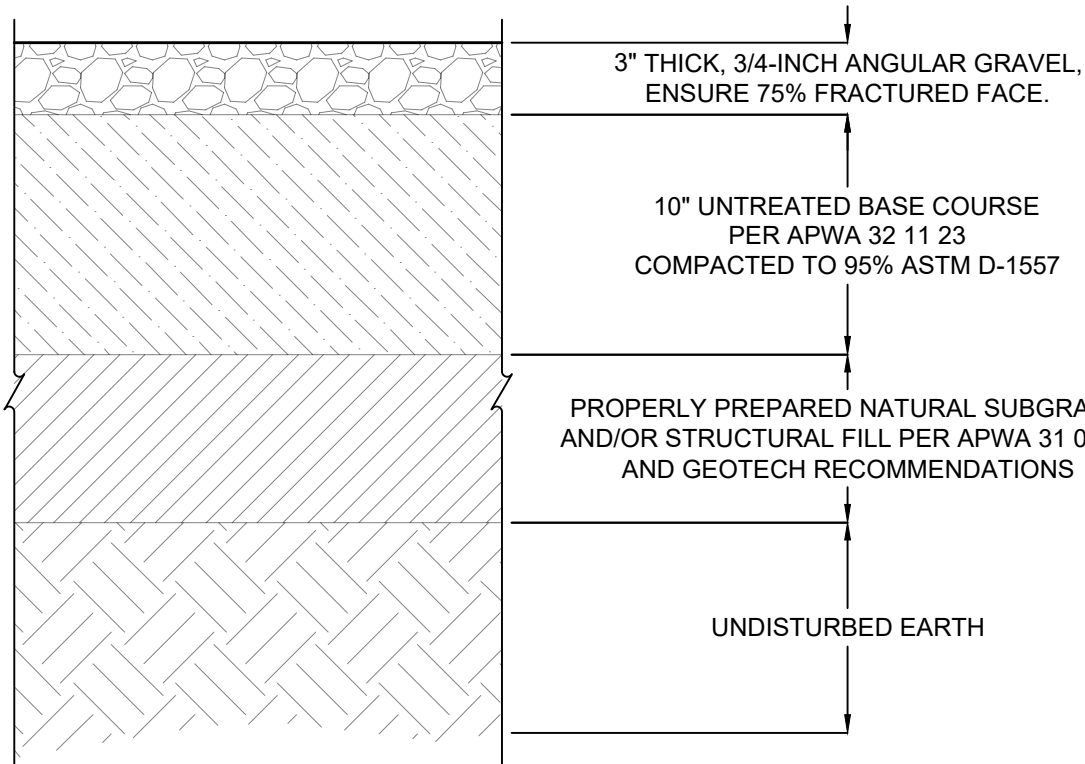
BlueStakes of UTAH
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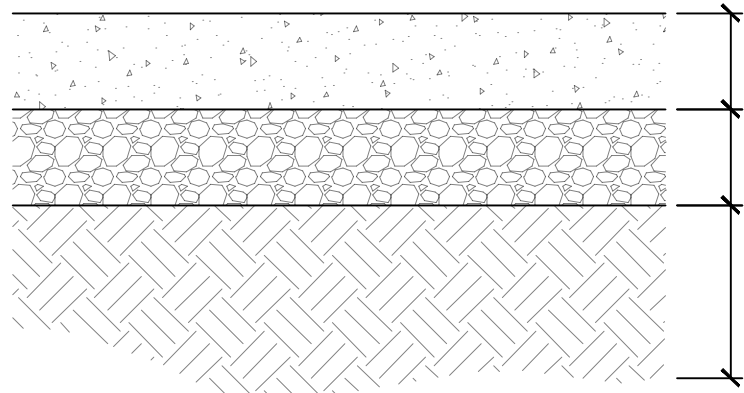
REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD		 Dominion Energy® DOMINION ENERGY UTAH	LINE NUMBER: FL - 19					
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: J. KRUEGER (ENSIGN)		FACILITY: INSTALL NEW DR STATION GD0042					
			85411.22	INSTALL NEW REG STA ON FL019 (TO REPLACE GD0038)	A	ISSUED FOR 90% REVIEW	2021-09-28	ENSIGN	ERB	CHECKED BY: E. BUSH		(RETIRE DR STATION GD0038)					
										PROJECT ENGR: Z. HANSEN		DESCRIPTION: GRADING PLAN					
										SURVEYOR: B. CLARK (ENSIGN)		ADDRESS: 1301 NORTH 1200 WEST					
										ENGR MNGR: S. MESSERSMITH							
										CONSTR MNGR:							
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											SECTION: 1	T6N	R 2N	CITY	COUNTY	STATE	
											ELEVATION: 4522			FARR WEST	WEBER	UTAH	
											LAT: 41.28092	LONG: -112.00869	DRAWING NUMBER			SHEET	REVISION
											SCALE: H 1"=10', V 1"=10'	DEU-R-GD0042-CCS-001			05 OF 09	A	



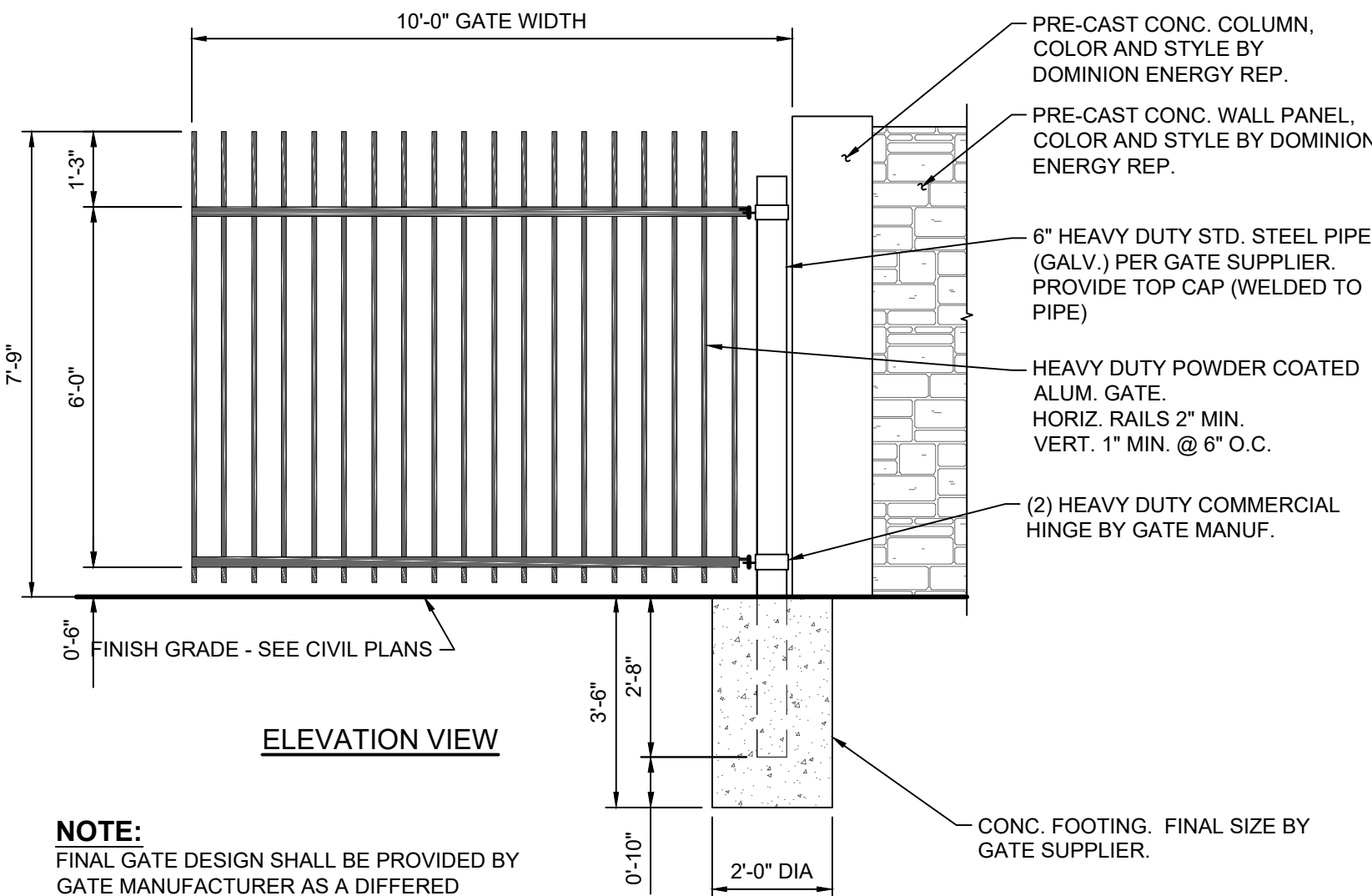
GRAVEL DRIVE SECTION 1
SCALE: 1 1/2" = 1'-0" 04.05

CONCRETE NOTES

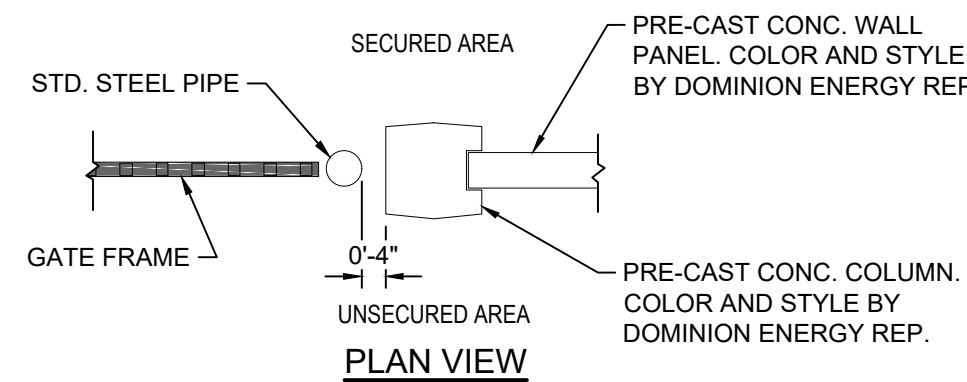
- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



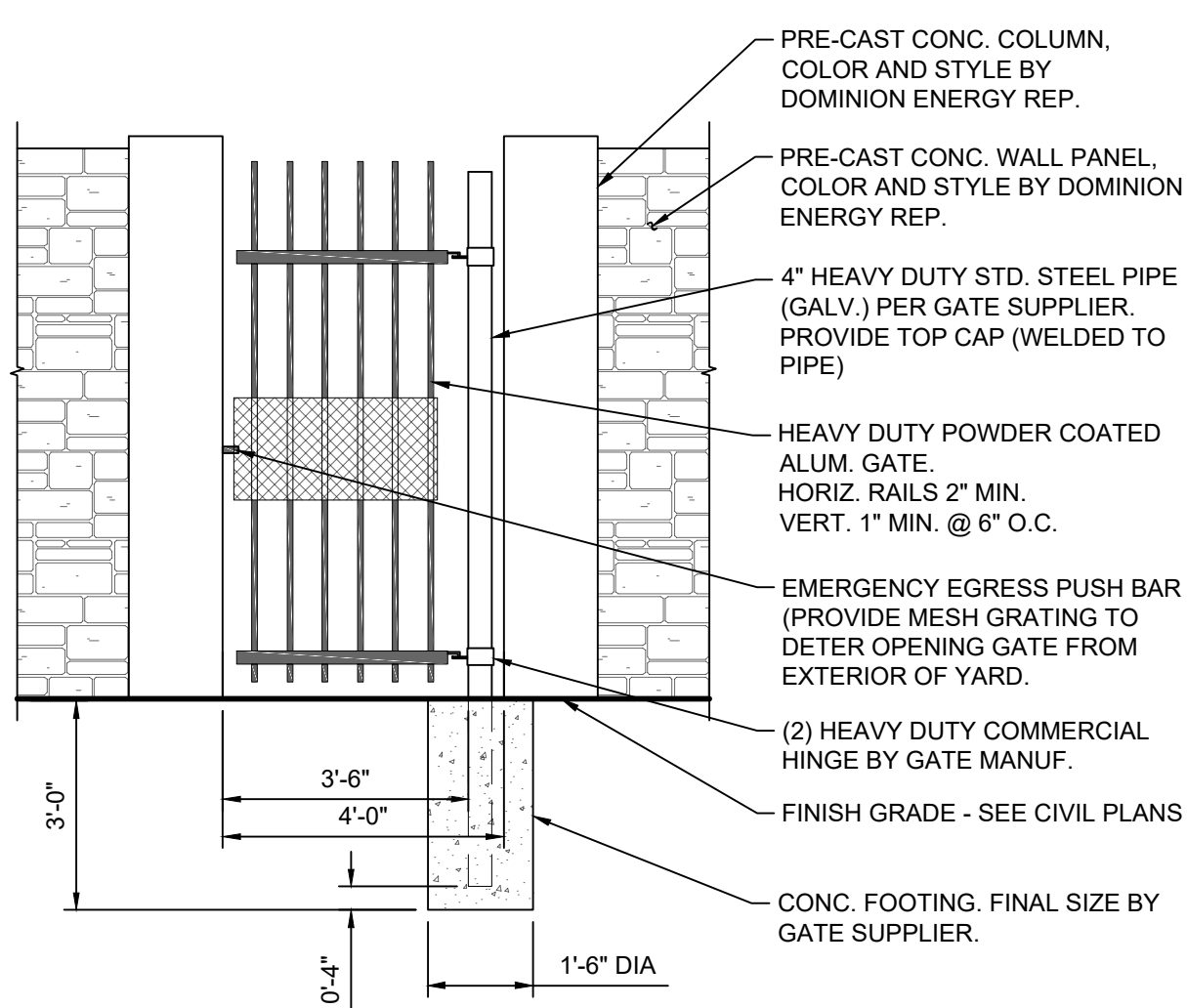
CONCRETE PAVEMENT SECTION 2
SCALE: 1 1/2" = 1'-0" 04.05



NOTE:
FINAL GATE DESIGN SHALL BE PROVIDED BY GATE MANUFACTURER AS A DIFFERED SUBMITTAL TO ENSIGN ENGINEERING FOR REVIEW PRIOR TO FABRICATION.

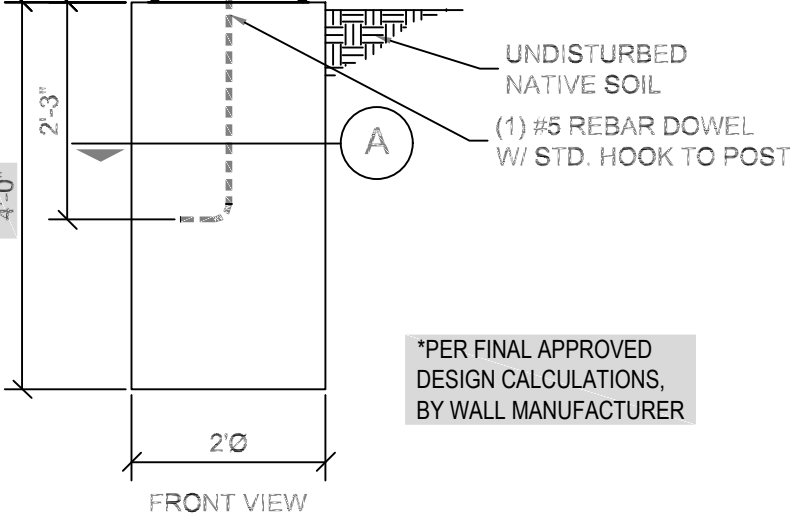
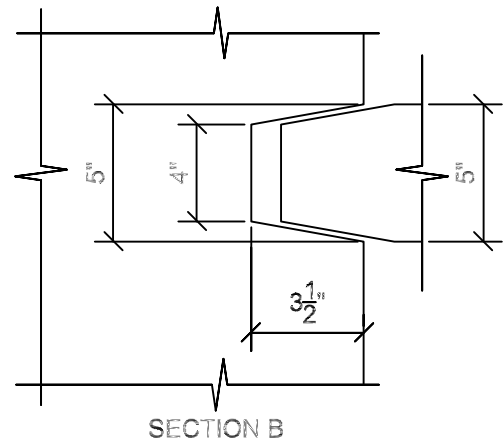
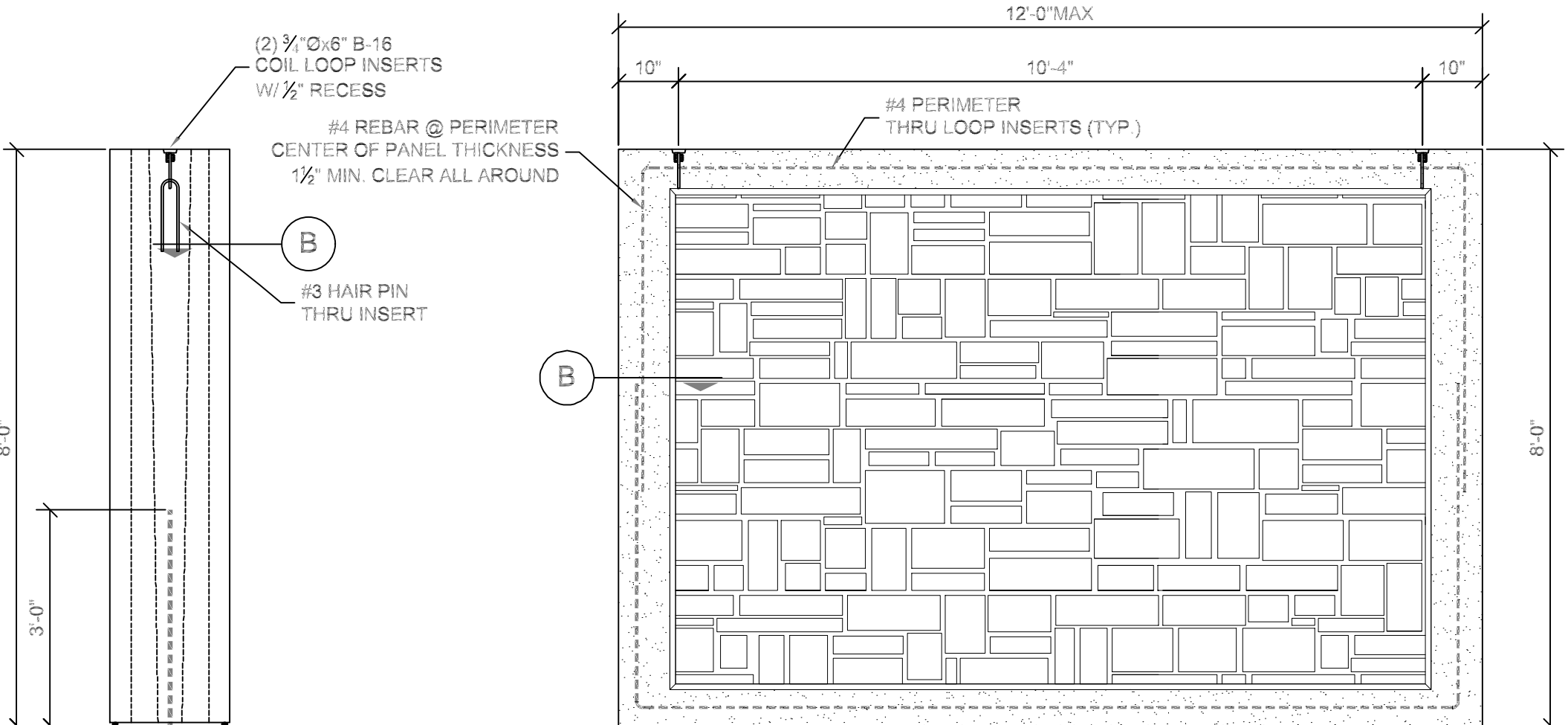
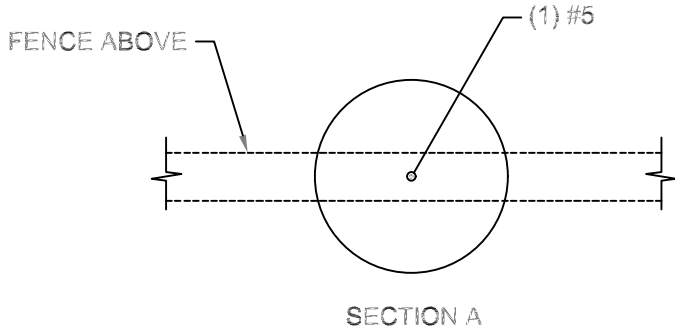
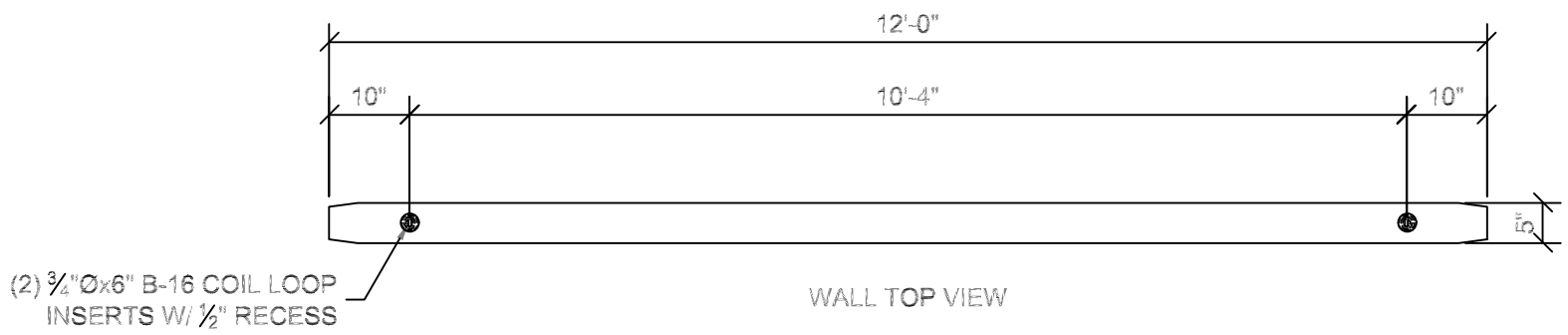
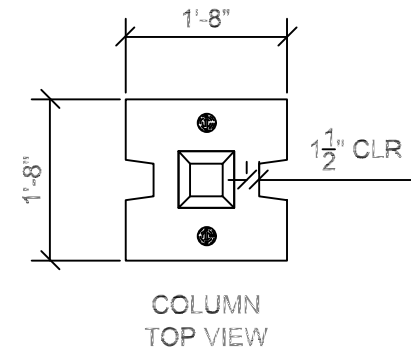


DOUBLE SWING GATE DETAIL 3
SCALE: 3/8" = 1'-0" 04.05



NOTE:
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PERSONNEL GATE DETAIL 4
SCALE: 3/8" = 1'-0" 04.05



- NOTES:
- POST AND PANEL CONCRETE TO BE 5000 PSI.
 - FOOTING CONCRETE TO BE 3000 PSI.
 - MINIMUM SOIL LATERAL BEARING ALLOWABLE: 150 PSF/FT. OF DEPTH BELOW GRADE
 - MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2000 PSF
 - DIMENSIONS MAY BE REDUCED TO FIT PROJECT REQUIREMENTS
 - GROUT BETWEEN POST AND FOOTING TO BE 2500 PSI
 - CONTRACTOR SHALL SUBMIT PRE-CAST WALL DESIGN CALCULATIONS AND SHOP DRAWINGS FOR REVIEW BY ENSIGN PRIOR TO INSTALLATION

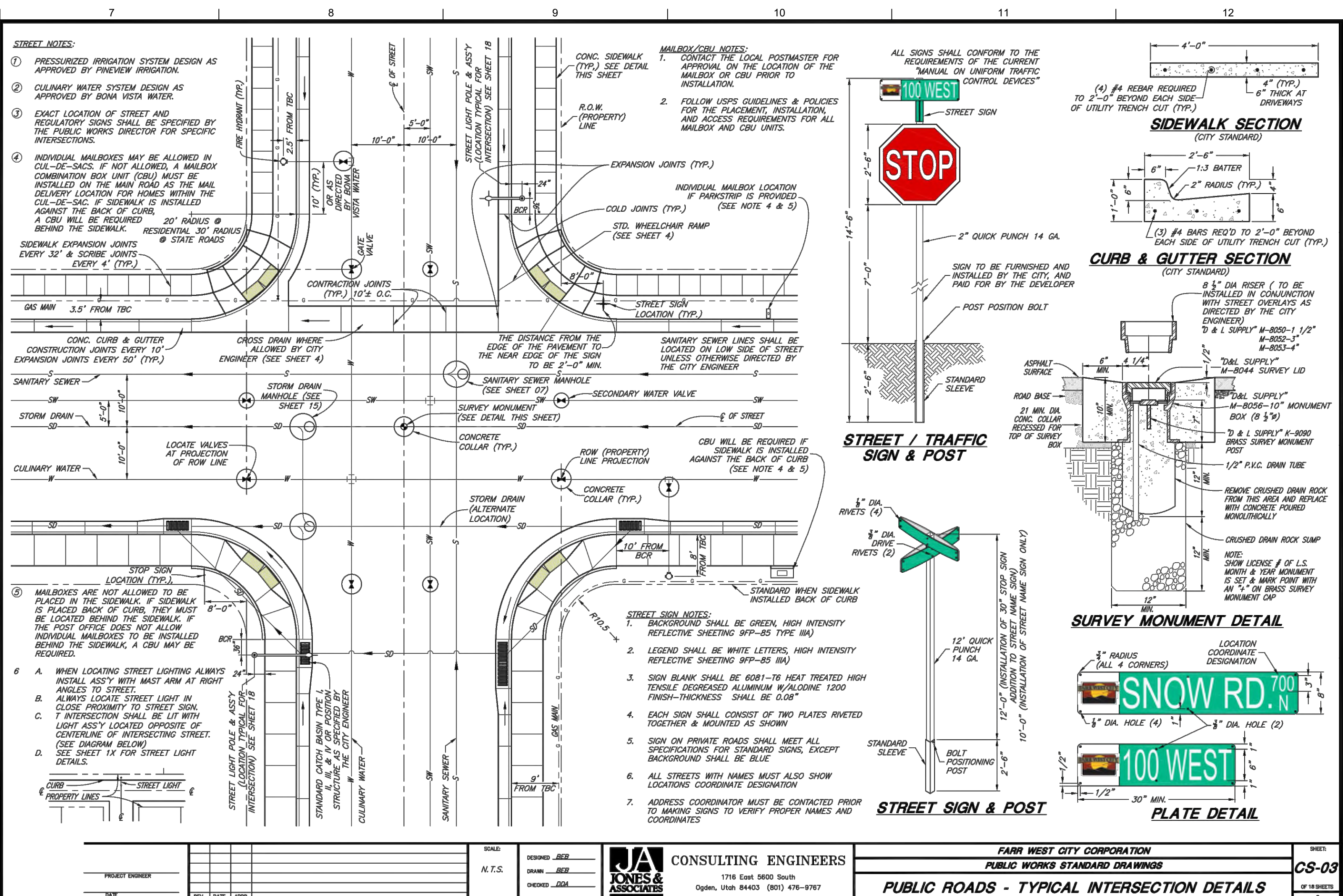
TYPICAL PRECAST CONCRETE WALL DETAIL 5
SCALE: NONE 04.05

PRELIMINARY

FOR 90% REVIEW

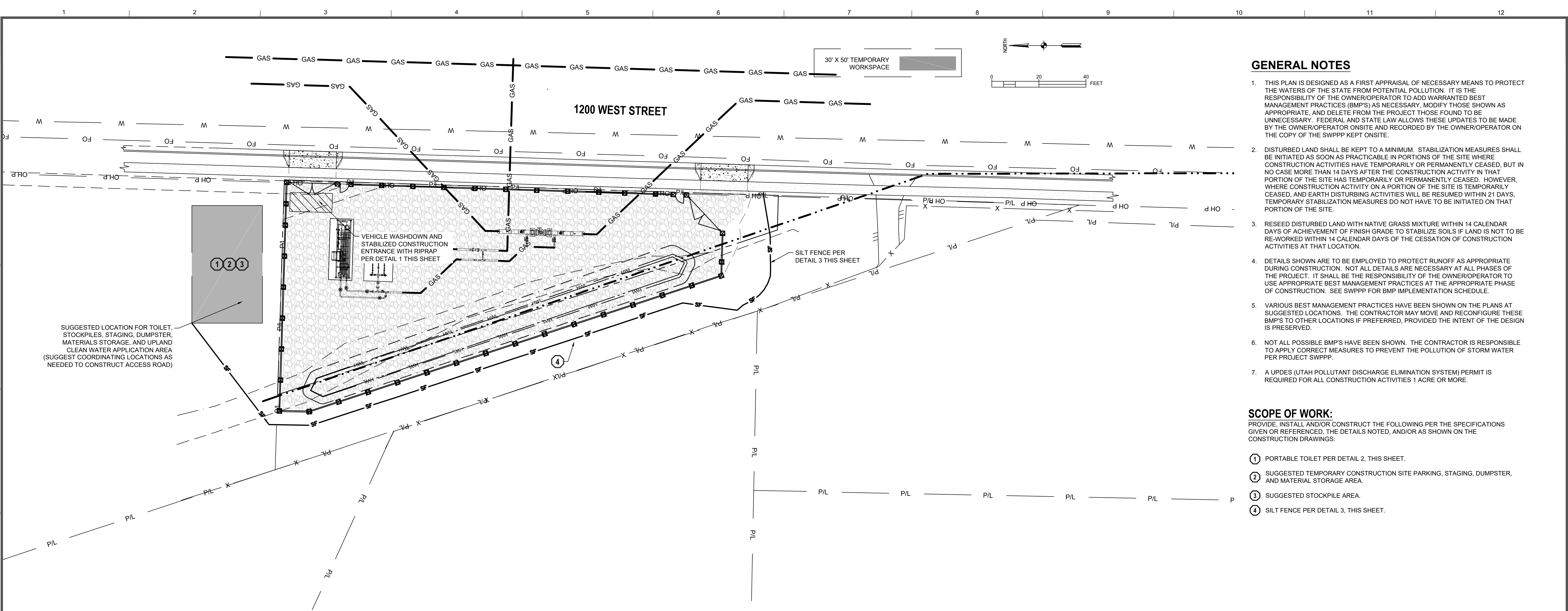


REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD	
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: J. KRUEGER (ENSIGN)
			85411.22	INSTALL NEW REG STA ON FL019 (TO REPLACE GD0038)	A	ISSUED FOR 90% REVIEW	2021-09-28	ENSIGN	ERB	CHECKED BY: E. BUSH
										PROJECT ENGR: Z. HANSEN
										SURVEYOR: B. CLARK (ENSIGN)
										ENGR MNGR: S. MESSERSMITH
										CONSTR MNGR:
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										ELEVATION: 4522
										LAT: 41.28092 LONG: -112.00869
										SCALE: AS SHOWN
									DOMINION ENERGY UTAH	
									LINE NUMBER: FL - 19	
									FACILITY: INSTALL NEW DR STATION GD0042 (RETIRE DR STATION GD0038)	
									TITLE: DETAILS	
									ADDRESS: 1301 NORTH 1200 WEST	
									CITY: FARR WEST	STATE: UTAH
									COUNTY: WEBER	REVISION: A
									DRAWING NUMBER: DEU-R-GD0042-CCS-001	
									SHEET: 06 OF 09	

[illegible]

DOMINION ENERGY UTAH		
SECTION: 1	T6N	R 2N
ELEVATION: 4522		
LAT: 41.28092		LONG: -112.00869
SCALE: AS SHOWN		

LINE NUMBER:		FL - 19	
FACILITY:		INSTALL NEW DR STATION GD0042	
TITLE:		(RETIRE DR STATION GD0038)	
DESCRIPTION:		DETAILS	
ADDRESS:		1301 NORTH 1200 WEST	
CITY FARR WEST	COUNTY WEBER	STATE UTAH	
DRAWING NUMBER		SHEET	REVISION
DEU-R-GD0042-CCS-001		07 OF 09	A



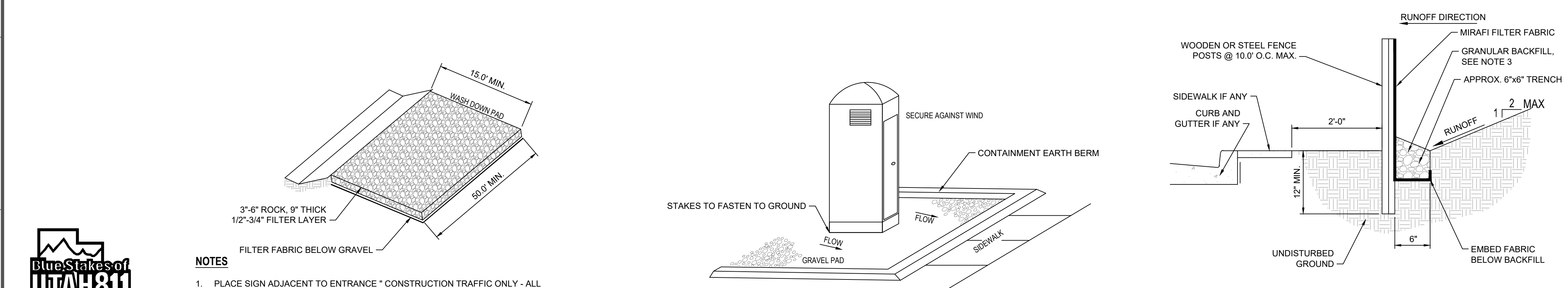
GENERAL NOTES

- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
- DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
- DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
- VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
- NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- PORTABLE TOILET PER DETAIL 2, THIS SHEET.
- SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
- SUGGESTED STOCKPILE AREA.
- SILT FENCE PER DETAIL 3, THIS SHEET.



NOTES

- EXCAVATE 6"x6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.
- POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
- LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH. BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
- SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.
- REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
- 10' MAX. SPACING BETWEEN STAKES.
- SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.



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REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD			 Dominion Energy® DOMINION ENERGY UTAH	LINE NUMBER: FL - 19					
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: J. KRUEGER (ENSIGN)	FACILITY: INSTALL NEW DR STATION GD0042 (RETIRE DR STATION GD0038)							
			85411.22	INSTALL NEW REG STA ON FL019 (TO REPLACE GD0038)	A	ISSUED FOR 90% REVIEW	2021-09-28	ENSIGN	ERB	CHECKED BY: E. BUSH	TITLE: EROSION CONTROL PLAN							
										PROJECT ENGR: Z. HANSEN	DESCRIPTION: 1301 NORTH 1200 WEST							
										SURVEYOR: B. CLARK (ENSIGN)								
										ENGR MNGR: S. MESSERSMITH								
										CONSTR MNGR:								
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											SECTION: 1	T6N	R 2N	CITY	COUNTY	STATE		
											ELEVATION: 4522			FARR WEST	WEBER	UTAH		
											LAT: 41.28092	LONG: -112.00869		DRAWING NUMBER			SHEET	REVISION
											SCALE: AS SHOWN			DEU-R-GD0042-CCS-001			08 OF 09	A

Public Works Site

Phase 1 - Material Storage and Decant Facility

Date: October 27, 2021

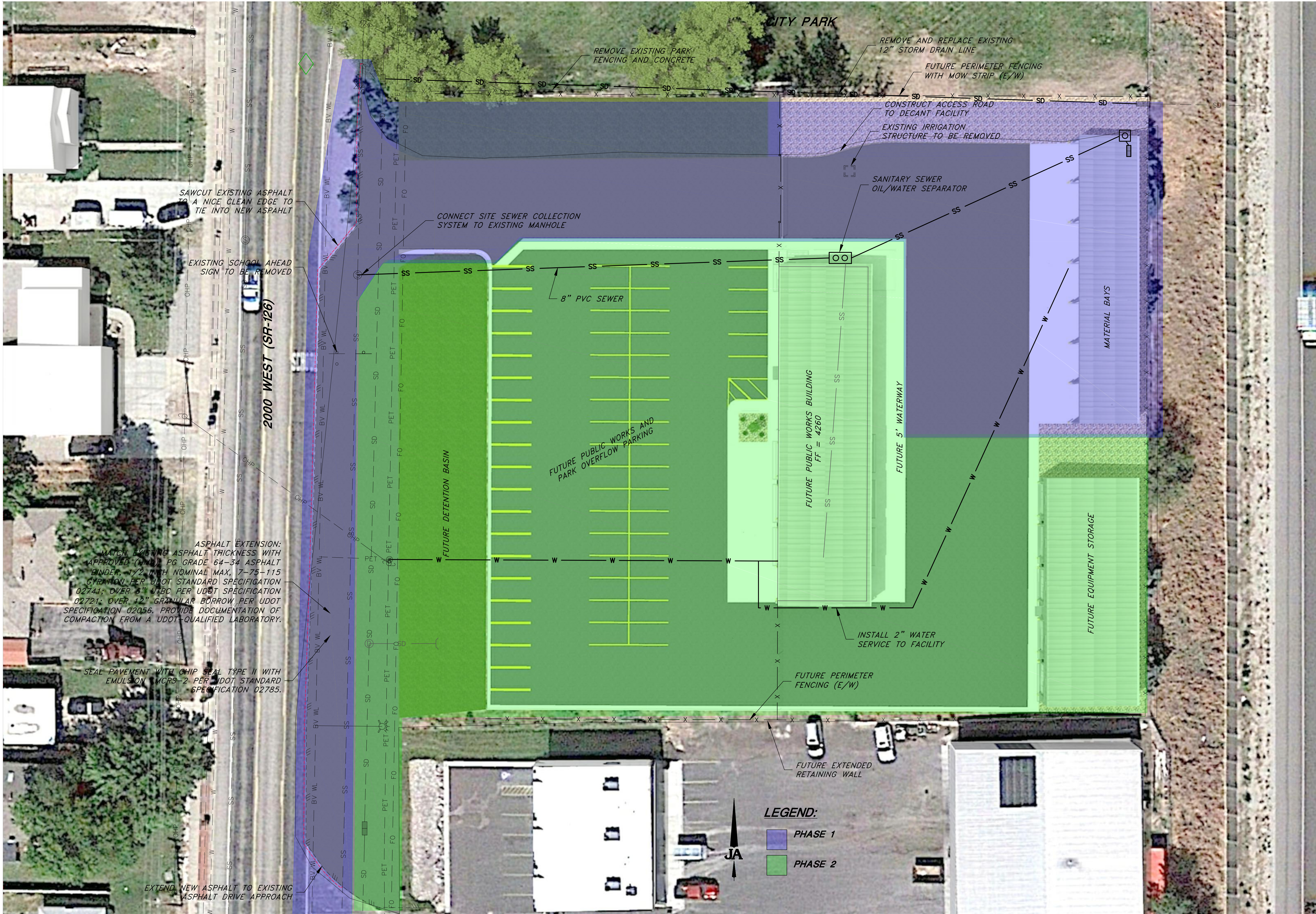
Concept Cost Estimate

Location:

2024 North 2000 West



Item	Description	Qty	Unit	Unit Price	Total
1	Mobilization	1	LS	\$ 15,000.00	\$ 15,000.00
2	Traffic control	1	LS	\$ 7,500.00	\$ 7,500.00
3	SWPPP and erosion control	1	LS	\$ 5,000.00	\$ 5,000.00
4	Construct decant structure	1	LS	\$ 115,000.00	\$ 115,000.00
5	Concrete flatwork	1,100	sf	\$ 8.00	\$ 8,800.00
6	Roadway excavation for deceleration lane	600	sy	\$ 5.00	\$ 3,000.00
7	Clear and grub for new access road on site	1,900	sy	\$ 2.00	\$ 3,800.00
8	Remove tree	2	ea	\$ 1,000.00	\$ 2,000.00
9	Granular Borrow	1,980	ton	\$ 20.00	\$ 39,600.00
10	Untreated base course	1,000	ton	\$ 25.00	\$ 25,000.00
11	Hot mix asphalt	850	ton	\$ 85.00	\$ 72,250.00
12	Saw-cut asphalt	380	lf	\$ 4.00	\$ 1,520.00
13	Chip seal of deceleration lane	600	sy	\$ 5.00	\$ 3,000.00
14	8" PVC sewer line	350	lf	\$ 50.00	\$ 17,500.00
15	Sewer manhole	2	ea	\$ 4,000.00	\$ 8,000.00
16	Connection to existing sewer manhole	1	ea	\$ 2,000.00	\$ 2,000.00
17	Sewer oil/water separator	1	LS	\$ 25,000.00	\$ 25,000.00
18	2" water service	450	lf	\$ 25.00	\$ 11,250.00
				SUBTOTAL =	\$ 365,220.00
				15% Design and Construction Mgmt =	\$ 54,783.00
				10% Contingency =	\$ 36,522.00
				TOTAL =	\$ 456,525.00



CONSULTING
ENGINEERS
JONES & ASSOCIATES

6080 Fashion Point Drive
South Ogden, Utah 84403
(801) 476-9767 www.jonescivil.com

FARR WEST CITY CORPORATION

PUBLIC WORKS FACILITY - PHASE 1 & 2

OVERALL SITE PLAN

DATE	REVISION

SCALE:

TWE
DESIGNED

24" x 36"

1" = 30'

TWE
DRAWN

11" x 17"

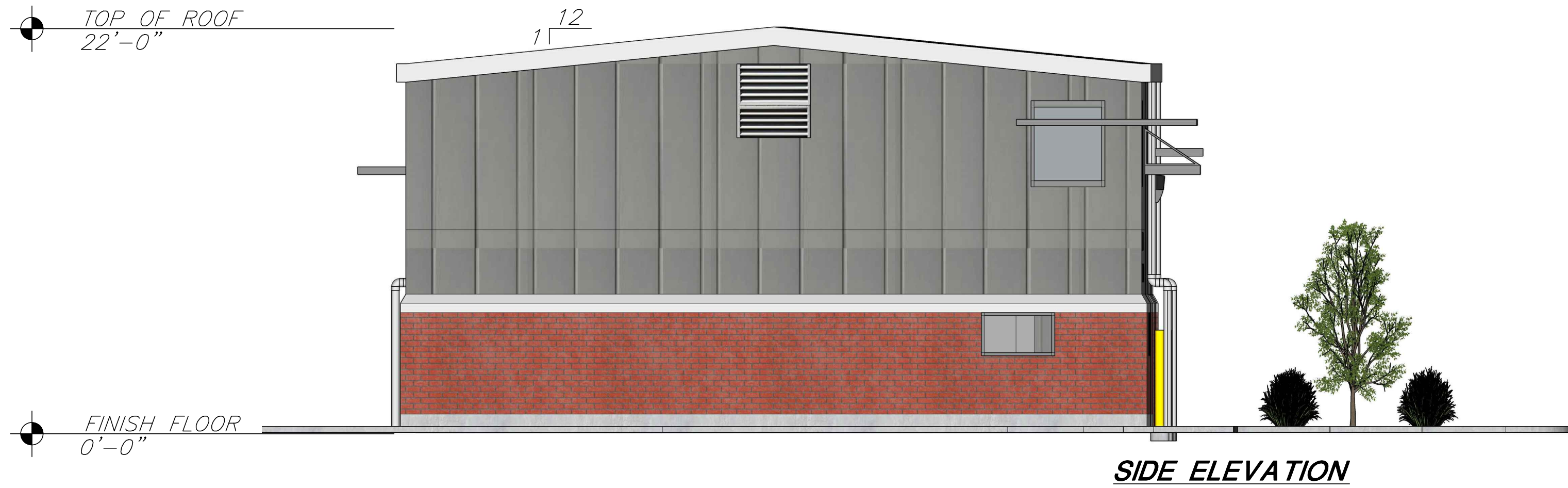
1" = 60'

MLR
CHECKED

SHEET:

1

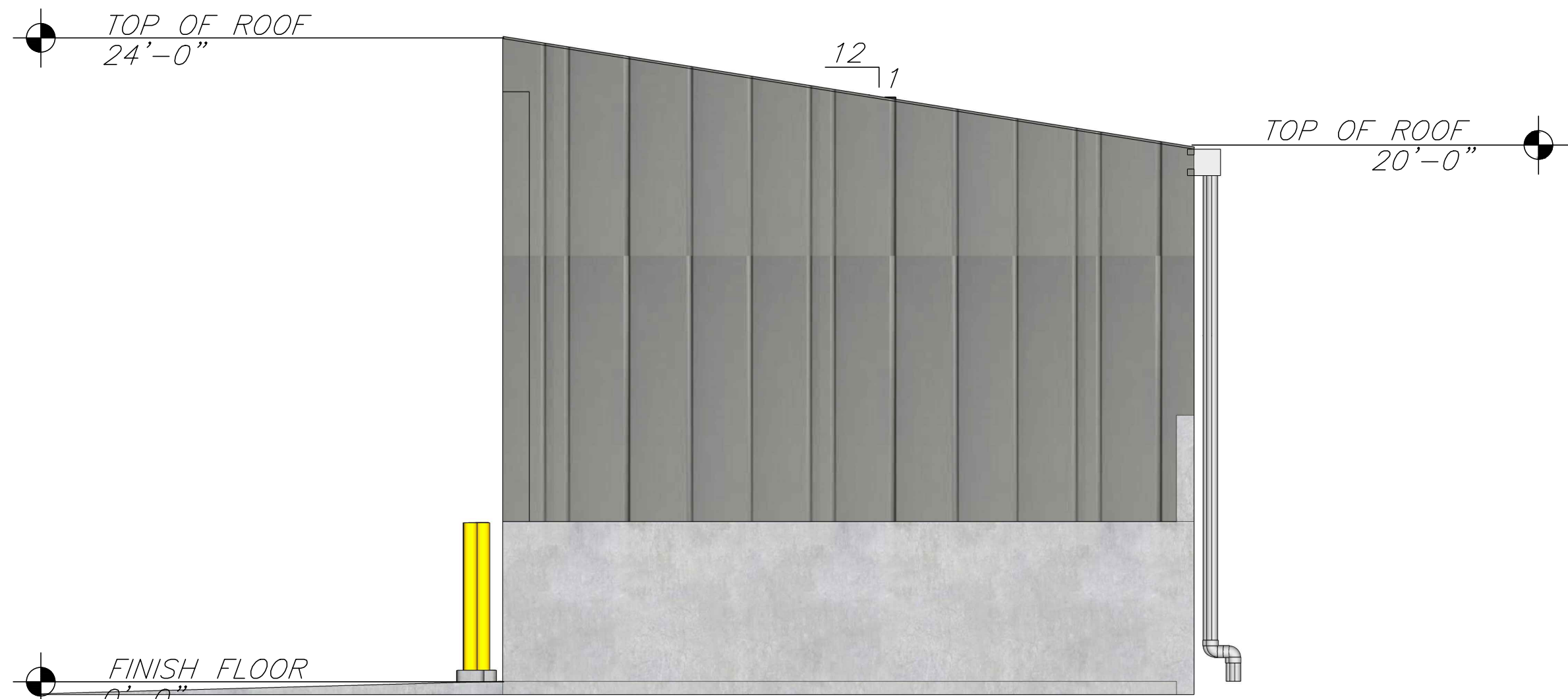
OF 1 SHEETS



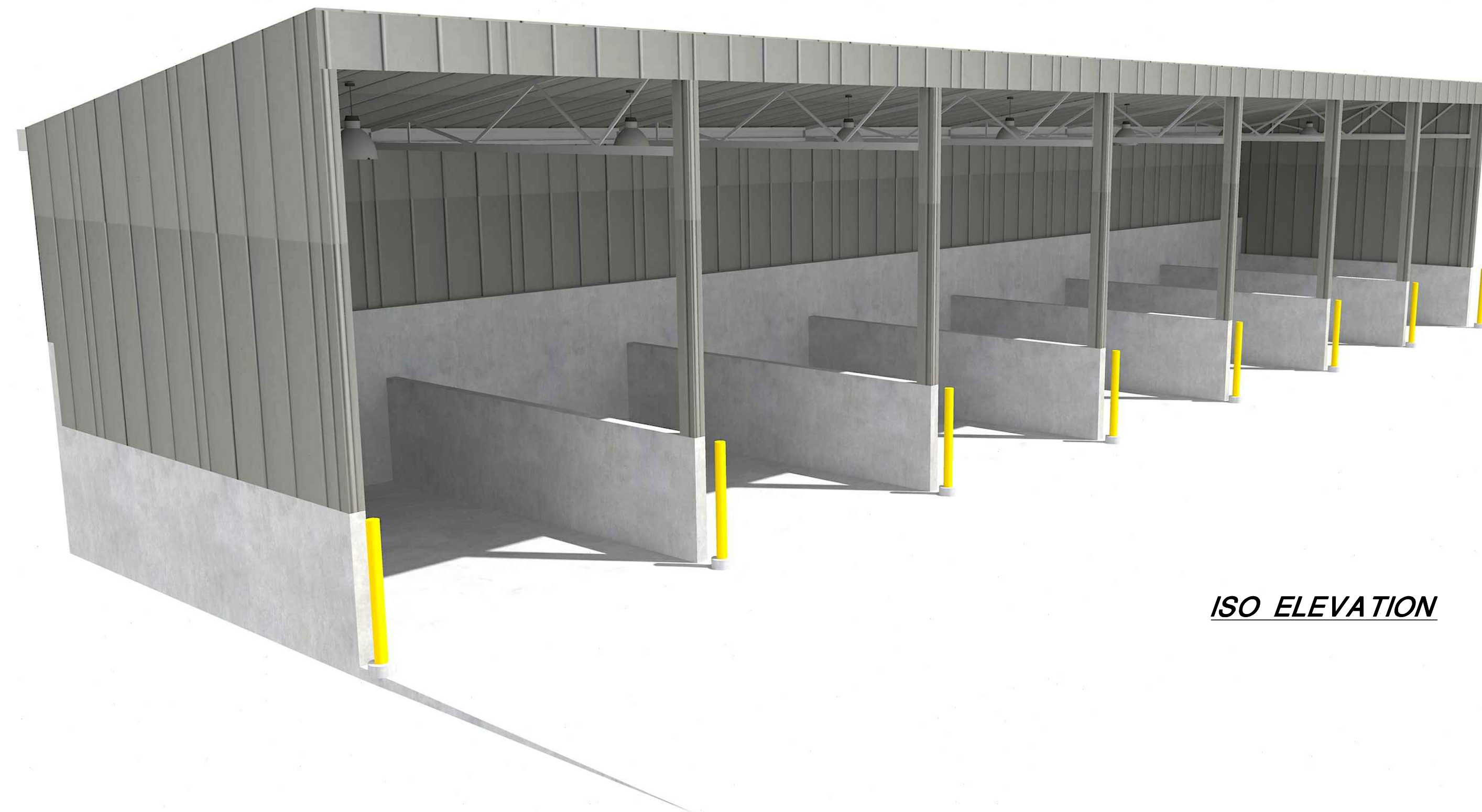
DATE	REVISION

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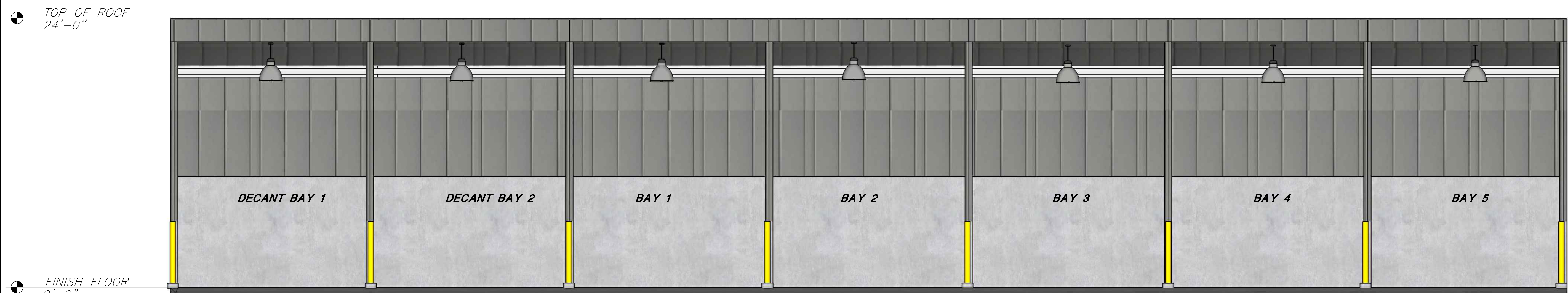
SCALE:	DESIGNED	DRAWN	CHECKED
24"x36"	SLS	SLS	SLS
NONE	NONE	NONE	NONE
11"x17"	NONE	NONE	NONE



SIDE ELEVATION



ISO ELEVATION

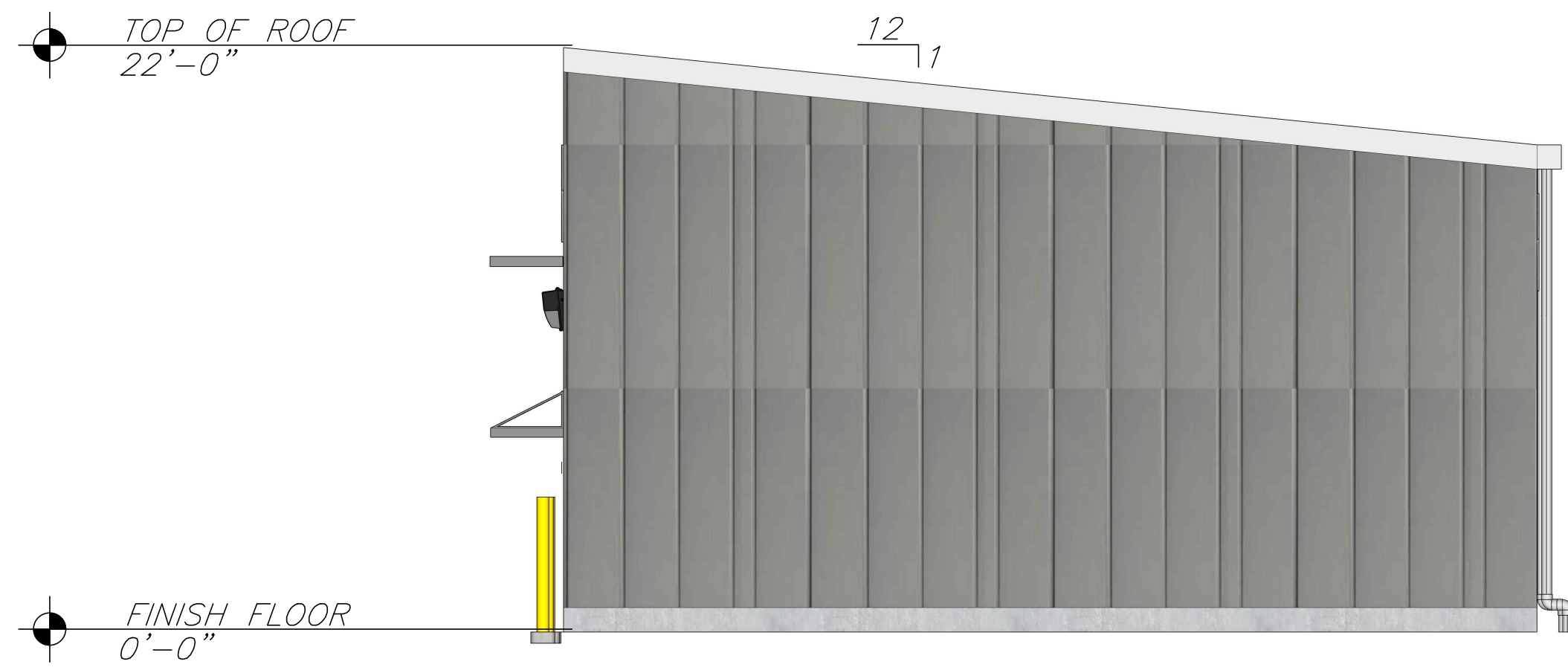


FRONT ELEVATION

DATE	REVISION

--

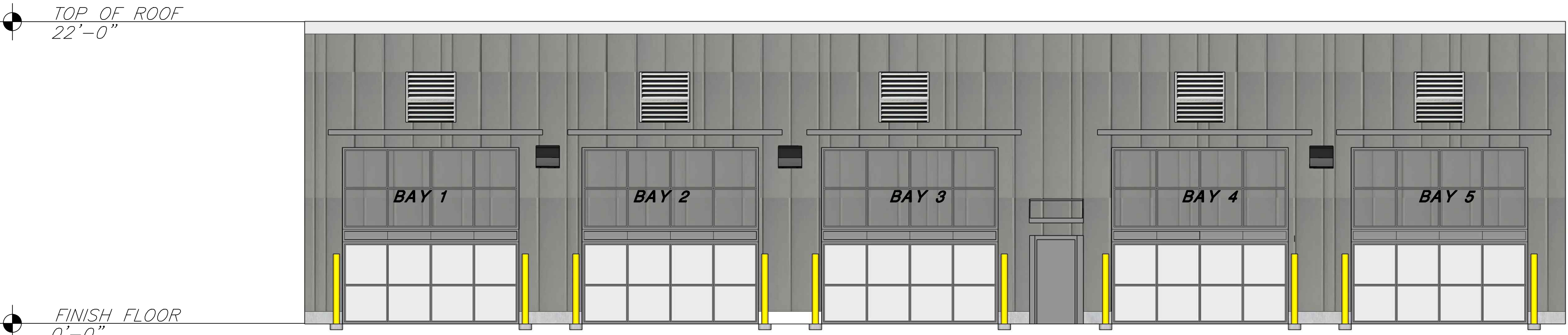
SCALE:	SLS DESIGNED	SLS DRAWN	SLS CHECKED
24"x36"	NONE	11"x17"	NONE



SIDE ELEVATION



ISO ELEVATION



FRONT ELEVATION

JONES & ASSOCIATES

CONSULTING

ENGINEERS

6080 Fashion Point Drive

South Ogden, Utah 84403

(801) 476-9767 www.jonescivil.com

FARR WEST CITY CORPORATION

PUBLIC WORKS FACILITY - PHASE 1 & 2

EQUIPMENT STORAGE RENDERINGS

DATE	REVISION

--

SLS DESIGNED	SLS DRAWN	SLS CHECKED
-----------------	--------------	----------------

SCALE: 24"x36" NONE	11"x17" NONE
---------------------------	-----------------

SHEET:
4

OF 1 SHEETS

APPLICATION

Date Submitted:

Fees (office use)

Type of Vacation or Modification Request:

☒ Easement

☐ Road

☐ Subdivision

☐ Subdivision Lot

APPLICANT CONTACT INFORMATION

Name of Applicant: Troy Justin Galloway

Mailing Address:

2821 W 3375 N
Farr West, UT

Phone:

801-425-6480

Email:

WCCE19@outlook.com

PROPERTY INFORMATION

Property Address

2821 W 3375 N

Land Serial Number

Subdivision Name: Remuda Court

Lot Number 171

Description of Project or Requested Action:

requesting to vacate easement at south end of
property to build a shop.

Included Documents:

☒ Petition

☒ Approval Letters

☐ Amended Plat

Signature of Applicant:

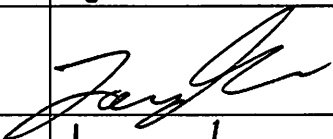
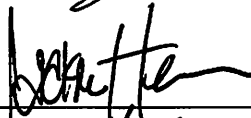
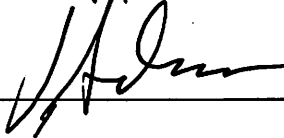
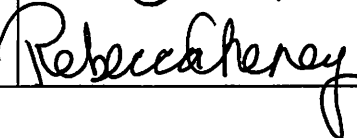


Date

9/19/21

Petition to Vacate Easement

I give my approval for Troy and Taylor Galloway to vacate the easement at the south end of their property located at 2821 W 3375 N

Name	Address	Signature	Date
Lonnie Ralston	2844 W 3325 N		8-16-21
Jackie Herrin	2835 W 3375 N		9/6/21
Janson Anderson	2807 W 3375 N		9/6/21
Douglas Tyler	2854 W 3325 N		9/6/21
Rebecca Cheney	2830 W 3325 N		9/6/21



Date 7-7-2021

Troy Galloway
2821 West 3375 North
Farr West, Utah, 84404

Dear Jacob,

As you requested, Rocky Mountain Power ("Company") hereby consents to a proposed encroachment upon a Public Utility Easement within Lot 171 of Remuda Court Subdivision" located in Weber County, state of Utah, as more particularly described:

A Public Utility Easement (PUE) along the South property line of Lot 171 of Remuda Court Subdivision.

However, this consent does not waive or relinquish any right necessary to the operation, maintenance, renewal, construction, repair, or removal of Company lines, conduit, or other power facilities, which are or may be located on said easement. Also, all clearances must be maintained from Company lines.

As consideration for Company granting you permission to encroach upon said easement, by signing below you agree to hold Company harmless from any and all claims for personal injuries or damages to property when such injuries or damages, directly or indirectly, arise out of the existence, construction, installation, maintenance, condition, use or presence of your structures upon said easement. Company shall not be responsible for any damages to structures or property located on said easement.

To the fullest extent permitted by law, by signing below, you waive any right you may have to a trial by jury in respect of litigation directly or indirectly arising out of, under or in connection with this agreement. By signing below, you waive any right to consolidate any action in which a jury trial has been waived with any other action in which a jury trial cannot be or has not been waived.

Please acknowledge receipt of this letter and your consent to the aforementioned terms by returning an executed copy of this letter to me.

Sincerely,

(Robert Thorsted)
Estimator

Consented to this 7th day of July 2021

Troy Galloway
Property owner

Space above for County Recorder's use
PARCEL I.D.# 19-362-0039

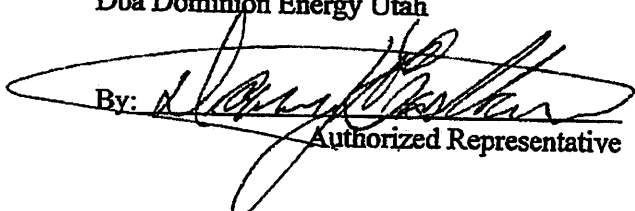
DISCLAIMER OF UTILITY EASEMENT

The undersigned, QUESTAR GAS COMPANY dba Dominion Energy Utah, Grantor, hereby disclaims and releases any rights, title or interest which it may have in and to the following-described real property in Weber County, Utah, to-wit:

All public utility easements, excepting the easement(s) or portion of easement(s) running adjacent and parallel to the street(s), located within Lot 171R, Remuda Court Phase 2 Subdivision, located in the Southeast quarter of Section 22, Township 7 North, Range 2 West, Salt Lake Base and Meridian, Weber County, Utah; said Subdivision recorded in the Office of the County Recorder for Weber County, Utah.

IN WITNESS WHEREOF, this disclaimer and release of any right, title or interest has been duly executed on June 30, 2021.

QUESTAR GAS COMPANY
Dba Dominion Energy Utah

By: 

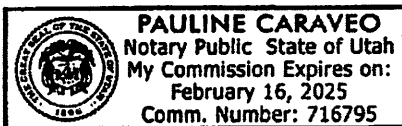
Authorized Representative

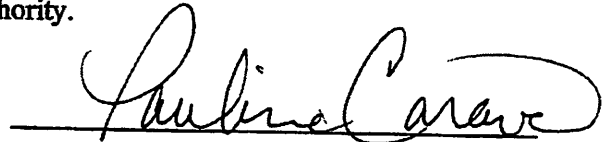
STATE OF UTAH)

) ss.

COUNTY OF SALT LAKE)

On June 30, 2021, personally appeared before me Danny D. Eastburn, who, being duly sworn, did say that (s)he is an Authorized Representative for QUESTAR GAS COMPANY dba Dominion Energy Utah, and that the foregoing instrument was signed on behalf of said corporation pursuant to a Delegation of Authority.




Notary Public

7/21/2021

Troy & Taylor Galloway
2821 W. 3375 N.
Farr West, UT 84404



SUBJECT: APPROVAL TO PROCEED / ENCROACHMENT

Project Name & Location: Permission to encroach on the South 10' Public Utility Easement (PUE) of Lot 171R, Remuda Court Subdivision Phase 2, a subdivision located in a part of the SE1/4 of Section 22, T7N, R2W, S.L.B.&M., Farr West, Weber County, UT.

Parcel Number: 19-362-0039

Mr. & Mrs. Galloway:

Qwest Corporation, d/b/a CENTURYLINK QC ("CenturyLink") is holder of Easement Rights granted by that certain REMUDA COURT PHASE 2 SUBDIVISION PLAT recorded February 27, 2017 as Entry No. 2844433, Book 80, Page 69 on file in the office of the County Recorder of Weber County, UT.

CenturyLink has reviewed your request to proceed with improvements as shown on Exhibit "A" ("Improvements"), said Exhibit "A" attached hereto and incorporated by this reference, within the Easement Tract and has no objections providing, however, the following terms and conditions are agreed to, and met, by Troy & Taylor Galloway:

1. Locates must be performed by a state recognized organization (i.e. Call Before You Dig, Blue Stake, etc.).
2. A minimum of three feet of cover above CenturyLink facilities is maintained at all times and the final grade provides for no less than three feet of cover.
3. If any CenturyLink facilities are damaged or require relocation as a result of said Improvements, or the act of installing, maintaining or removing said Improvements, Troy & Taylor Galloway agrees to bear the cost of repair and/or relocation of said CenturyLink facilities.
4. No buildings or structures are to be placed within the Easement Tract other than those, if any, that are approved by this APPROVAL TO PROCEED.

Prior to commencing construction, please execute this Agreement below and return a copy to CenturyLink.

It is the intent and understanding of CenturyLink that this action shall not reduce our rights to any existing easements or rights we have on this site or in the area.

If you have any questions or would like to discuss this action further, please contact Angela Barber at 801-388-8242/Angela.Barber@lumen.com.

Sincerely yours,

Mary Hutton
Network Infrastructure Services
CenturyLink
P837923

I hereby agree to the terms and conditions as described in this document.



Signature

Taylor galloway

Printed Name

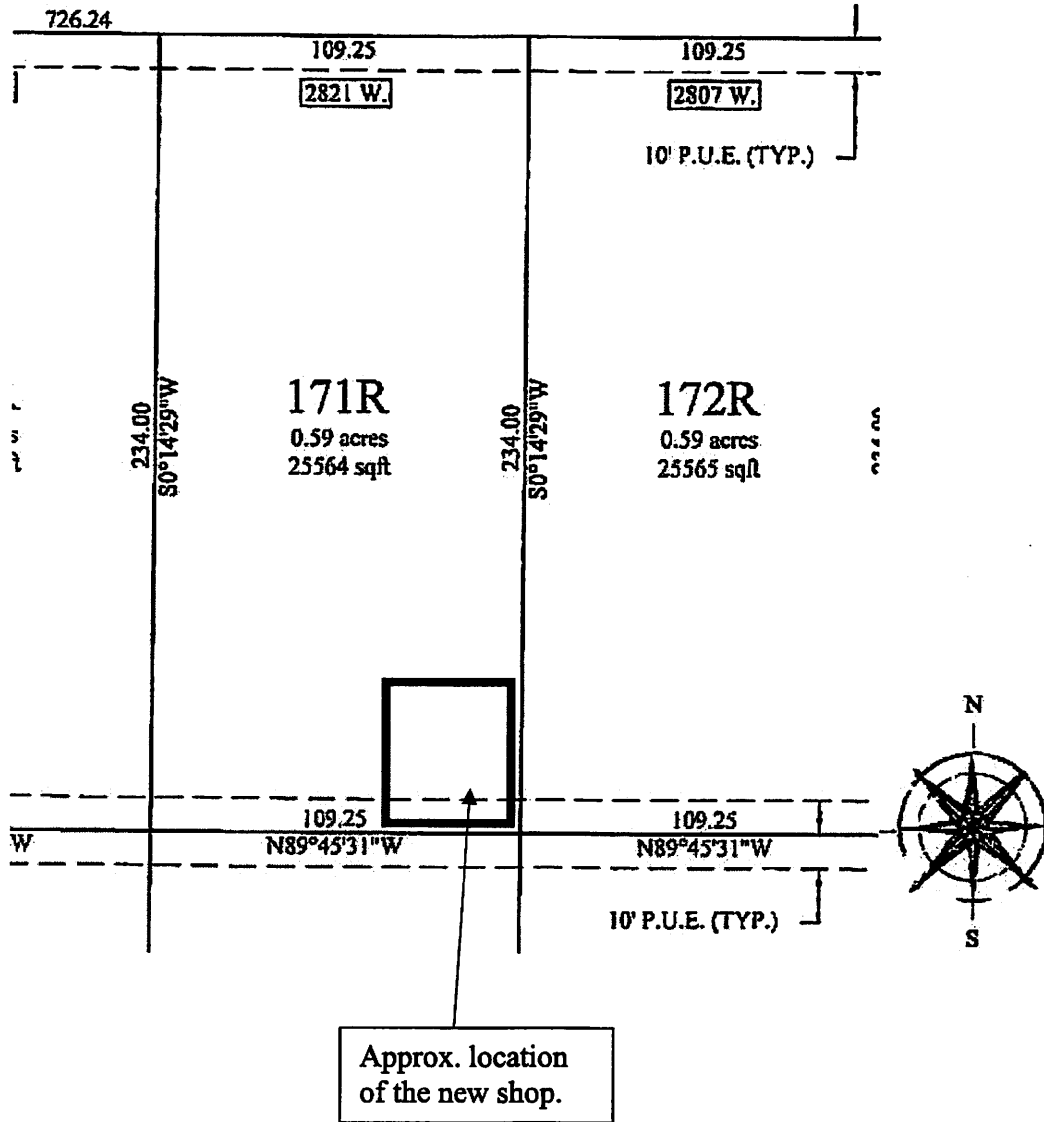
Property Owner

Title

7/21/21

Date

EXHIBIT A
"Improvements"





Bona Vista Water Improvement District

2020 West 1300 North, Farr West, Utah 84404

Phone (801) 621-0474 Fax (801) 621-0475

June 25, 2021

Mr. & Mrs. Troy Galloway
2821 West 3375 North
Farr West, UT 84404

RE: UTILITY EASEMENT RELEASE

The Bona Vista Water District hereby grants permission for Mr. and Mrs. Troy Galloway to build a shop on the south side of the property located at 2821 West 3375 North, Remuda Court Lot 171, Parcel Number 19-362-0039 in Weber County.

Best Regards,

Matt Fox
Assistant Manager

Board of Directors

Scott VanLeeuwen, Chairman - Marriott/Slaterville

Michelle Tait, Co-Chairman - Harrisville

Z. Lee Dickemore - Farr West

Ronald Stratford, Chairman - Unincorporated Area

Management

Blake Carlin, General Manager

Marci Doolan, Administrative Manager

Matt Fox, Assistant Manager



June 25, 2021

Troy & Taylor Galloway
2821 W 3375 N
Farr West, UT 84404

RE: Release of Public Utility Easement

To Whom It May Concern:

The property owner has contacted our district office concerning vacating the Public Utility Easements on said property at above location. The District has no water mains on said property. Weber-Box Elder Conservation District has no problems with releasing the easements on this property. Parcel Number 19-362-0039

Should you have any concerns or questions please contact me at 621-6555.

Sincerely,

A handwritten signature in cursive script that reads "Doug Jeppesen".

Doug Jeppesen
Engineering

Pineview Water System
471 W 2nd Street
Ogden, UT 84404
(801) 621-6555



Central Weber Sewer Improvement District

June 28, 2021

Troy Galloway

Transmitted by email: Troy Galloway WCCE19@outlook.com

SU: Release of Easement

Mr. Galloway:

You have requested an easement release for the public utilities' easement located on your personal property at 2821 West 3375 North, Farr West. Central Weber Sewer Improvement District (CWSID) has no intent to utilize this public utility easement for any CWSID systems now or in the future. Therefore, CWSID grants the release. This release does not have bearing on any other utility including existing or planned Farr West City sewer facilities.

Sincerely,

A handwritten signature in black ink that reads "Kevin Hall". The signature is written in a cursive, flowing style.

Kevin Hall
General Manager
CENTRAL WEBER SEWER IMPROVEMENT DISTRICT



Farr West City

APPLICATION FOR ISSUANCE OF CONDITIONAL USE PERMIT

The Municipal Code 17.48.020 requires that the following be considered to obtain a Conditional Use Permit.

Application Date _____ Applicant Name Troy Justin Galloway

Mailing Address 2821 W 3375 N Farr West, UT 84404

Phone Number 801-425-0480 Email WCC19@outlook.com

Property address of proposed conditional use 2821 W 3375 N Current Zoning: _____

Please list the requested conditional use as listed within the city zoning ordinance _____

A) Explain how the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community.

THIS BUILDING WILL BE BUILT WITH QUALITY
MATERIALS AND FINISHED TO COMPLIMENT
THE COMMUNITY. IT WILL PROVIDE THE
SERVICE I'M IN NEED OF.

B) Explain how such use will not be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses.

THIS WILL NOT HAVE ANY EFFECT
ON ANY SURROUNDING PEOPLE OR ADJACENT
PROPERTY. THERE WILL BE LANDSCAPING THAT
WILL SURROUND THE STRUCTURE AND COMPLEMENT
ALL AREAS VISIBLE OR NOT.

C) Explain how the proposed use will comply with the regulations and conditions specified in this title for such use.

I'M ONLY ASKING FOR THE APPROVAL FOR
MORE SQUARE FOOTAGE AS WELL AS 24"
IN ELEVATION. OTHER THAN THAT I AM
IN COMPLIANCE WITH ALL OTHER RULES
AND REGULATION THAT PERTAIN TO THE
FARR WEST CITY CODES. EVEN WITH THE
EXTRA SQUARE FOOT WE ARE ASKING FOR
WE ARE STILL UNDER THE 20%. THE
CODE REQUIRES.

D) Explain how the proposed use conforms to the goals, policies and governing principles and land use of the Farr West City General Plan.

AS STATED PREVIOUSLY THE STRUCTURE
WILL BE FINISHED TO COLOR MATCH THE
HOUSE AS WELL AS LANDSCAPING WILL
COMPLIMENT THE FINISHED PRODUCT.

E) Explain how the proposed use will not lead to the deterioration of the environment, or ecology of the immediate vicinity, the general area, or the community as a whole.

I HAVE BEEN PLANNING ON
BUILDING THE STRUCTURE AND DESIGNED MY
YARD ACCORDINGLY TO MAINTAIN MY WATER
RUN OFF ON MY PROPERTY. THE COMMUNITY
WILL HAVE ZERO NEGATIVE IMPACT WITH
THIS STRUCTURE.

Property Owner? Y N

Signature of Applicant

Date Application & \$100.00 Processing Fee received

Received by

Date of public hearing:

Date application was Approved Denied by Planning Commission

Conditions/Reasons

Date application was Approved Denied by City Council:

Conditions/Reasons

Planning Commission Chair

Mayor

APPLICATION

Date Submitted:

Fees (office use)

Type of Vacation or Modification Request:

☒ Easement

☐ Road

☐ Subdivision

☐ Subdivision Lot

APPLICANT CONTACT INFORMATION

Name of Applicant: Sid Smith

Mailing Address: 2493 W 2850 N Farr west UT
84404

Phone: 466-565-2958

Email: sidsmith@scoular.com

PROPERTY INFORMATION

Property Address

2493 W 2850 N Farr west UT
84404

Land Serial Number

19-419-0006

Subdivision Name: Hart

Lot Number 39

Description of Project or Requested Action: Attached Document

Included Documents:

☐ Petition

☒ Approval Letters

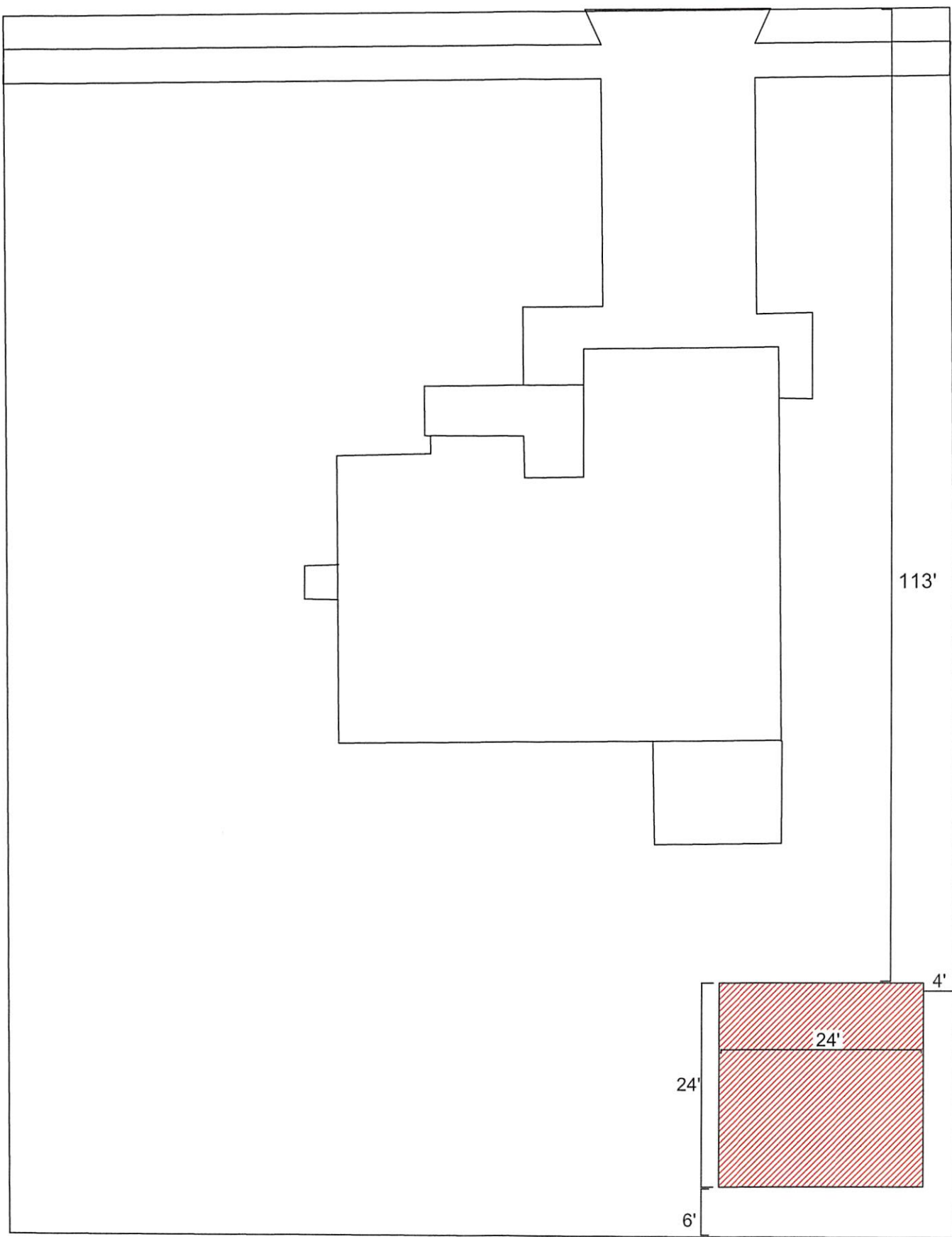
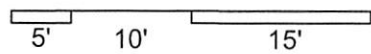
☐ Amended Plat

Signature of Applicant:

Date

Application to encroach utility easement

I am looking to encroach upon the 10 ft utility easement on my property. We are wanting to build a 24x24x12 pole barn by Cleary on our property and would like to build it 6ft from our back property line rather than 10ft required by the utility easement however we still have every intention of honoring the minimum 4Ft setbacks required by the city. We have received letters from each of the utility companies and have included all other required documents.



113'

4'

24'

24'

6'



1438 West 2550 South
Ogden, Utah 84401

October 14, 2021

Sid Smith
SIDSMITH@SCOULAR.COM
RE: EASEMENT ENCROACHMENT
Request: 8105483

Dear Sid Smith:

As you requested, Rocky Mountain Power hereby consents to a proposed encroachment of the utility easement on the south east side of the property at or near 2493 W 2850 N Plain City, Utah.

However, this consent does not waive or relinquish any rights necessary to the operation, maintenance, renewal, construction, repair, addition, or removal of Power Company lines, conduit, or other power facilities, which are or may be located on said easement.

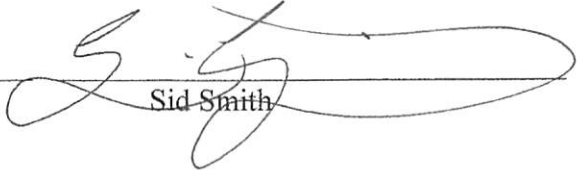
As consideration for the Power Company granting you permission to encroach upon said easement, it will be necessary for you to hold the Power Company harmless from any and all claims for personal injuries or damages to property when such injuries or damages, directly or indirectly, arise out of the existence, construction, installation maintenance, condition, use or presence of your structures upon said easement. Rocky Mountain Power shall not be responsible for any damages to structures or property located on said easement.

Please acknowledge the receipt of this letter and your consent to the aforementioned terms by returning an executed copy of this letter to me.

Sincerely,

Robert Thorsted
Estimator
(801) 629-4426

Consented to this 27 day of October


Sid Smith

Space above for County Recorder's use
PARCEL I.D.# 19-419-0006

DISCLAIMER OF UTILITY EASEMENT

The undersigned, QUESTAR GAS COMPANY dba Dominion Energy Utah, Grantor, hereby disclaims and releases any rights, title or interest which it may have in and to the following-described real property in Weber County, Utah, to-wit:

All public utility easements, excepting the easement(s) or portion of easement(s) running adjacent and parallel to the street(s), located within Lot 39, Farr West Hart Phase 2 Subdivision, located in the Southwest quarter of Section 26, Township 7 North, Range 2 West, Salt Lake Base and Meridian, Weber County, Utah; said Subdivision recorded in the Office of the County Recorder for Weber County, Utah.

IN WITNESS WHEREOF, this disclaimer and release of any right, title or interest has been duly executed on October 11, 2021.

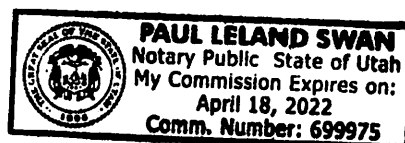
QUESTAR GAS COMPANY
Dba Dominion Energy Utah

By: 
Authorized Representative

STATE OF UTAH)
) ss.
COUNTY OF SALT LAKE)

On October 11, 2021, personally appeared before me Yukaw Jenkins, who, being duly sworn, did say that (s)he is an Authorized Representative for QUESTAR GAS COMPANY dba Dominion Energy Utah, and that the foregoing instrument was signed on behalf of said corporation pursuant to a Delegation of Authority.


Notary Public



10/28/2021

Sidney & Shelbi Smith
2493 W. 2850 N.
Farr West, UT 84404



SUBJECT: APPROVAL TO PROCEED / ENCROACHMENT

Project Name & Location: CenturyLink permission to encroach on the South 10' Public Utility Easement (PUE) of Lot 39R, Farr West Hart Subdivision Phase 2, a subdivision located in a part of the SW1/4 of Section 26, T7N, R2W, S.L.B&M., Farr West City, Weber County, UT.

Parcel Number: 19-419-0006

Mr. & Mrs. Smith:

Qwest Corporation, d/b/a CENTURYLINK QC ("CenturyLink") is holder of Easement Rights granted by that certain FARR WEST HART PHASE 2 SUBDIVISION PLAT recorded and on file in the office of the County Recorder of Weber County, UT.

CenturyLink has reviewed your request to proceed with improvements as shown on Exhibit "A" ("Improvements"), said Exhibit "A" attached hereto and incorporated by this reference, within the Easement Tract and has no objections providing, however, the following terms and conditions are agreed to, and met, by Sidney & Shelbi Smith:

1. Locates must be performed by a state recognized organization (i.e. Call Before You Dig, Blue Stake, etc.).
2. A minimum of three feet of cover above CenturyLink facilities is maintained at all times and the final grade provides for no less than three feet of cover.
3. If any CenturyLink facilities are damaged or require relocation as a result of said Improvements, or the act of installing, maintaining or removing said Improvements, Sidney & Shelbi Smith agrees to bear the cost of repair and/or relocation of said CenturyLink facilities.
4. No buildings or structures are to be placed within the Easement Tract other than those, if any, that are approved by this APPROVAL TO PROCEED.

Prior to commencing construction, please execute this Agreement below and return a copy to CenturyLink.

It is the intent and understanding of CenturyLink that this action shall not reduce our rights to any existing easements or rights we have on this site or in the area.

If you have any questions or would like to discuss this action further, please contact Angela Barber at 801-388-8242 / Angela.Barber@lumen.com.

Sincerely yours,

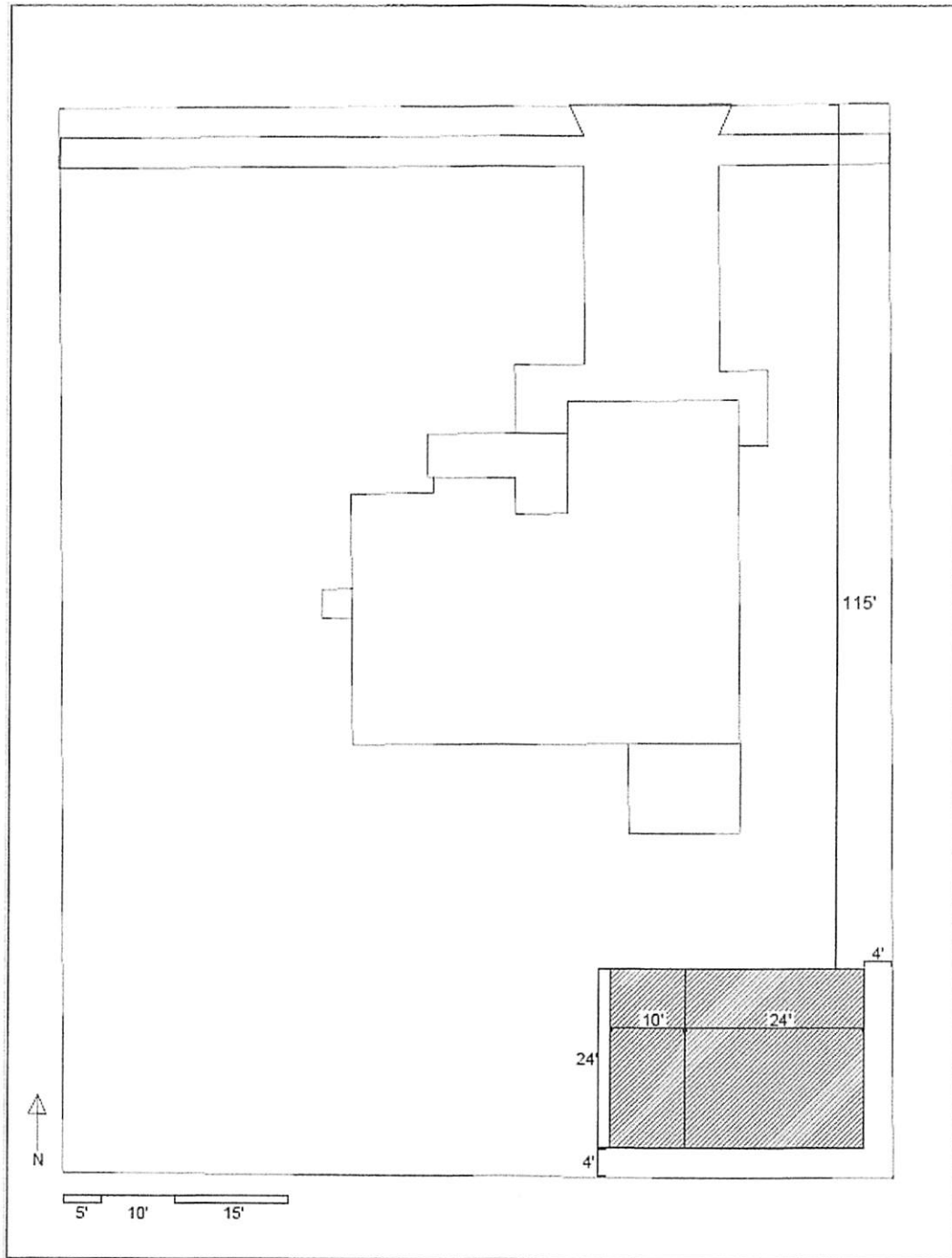
Mary Hutton
Network Infrastructure Services
CenturyLink
P839498

I hereby agree to the terms and conditions as described in this document.


Signature _____
Sid Smith
Printed Name _____

Title
11.1.21
Date _____

EXHIBIT A
"Improvements"





Bona Vista Water Improvement District

2020 West 1300 North, Farr West, Utah 84404

Phone (801) 621-0474 Fax (801) 621-0475

October 12, 2021

Mr. Sid Smith
2493 West 2850 North
Farr West, UT 84404

RE: UTILITY EASEMENT RELEASE

The Bona Vista Water District hereby grants permission for Mr. Sid and Mrs. Shelbi Smith to build a shed on the south and east sides of the property located at 2493 West 2850 North, Hart Subdivision Lot #39, Parcel Number 19-419-0006 in Weber County.

Best Regards,

Matt Fox
Assistant Manager

Board of Directors

Scott VanLeeuwen, Chairman – Marriott/Slaterville
Michelle Tait, Co-Chairman – Harrisville
Z. Lee Dickemore – Farr West
Ronald Stratford, Chairman – Unincorporated Area

Management

Blake Carlin, General Manager
Marci Doolan, Administrative Manager
Matt Fox, Assistant Manager

MT VIEW IRRIGATION

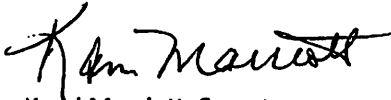
5238 W 2150 N

OGDEN, UT 84404

10-10-2021

Mt. View Irrigation doesn't have any facilities along the South and East property lines of lot # 39 in Farr West Hart Subdivision Phase 2 located at 2493 W 2850 N, Farr West, Utah (Parcel # 19-419-0006) and agrees to release the existing utility easement along said property lines. All other utility easements are to remain in place.

Signed

A handwritten signature in black ink, appearing to read "Karhi Marriott", written in a cursive style.

Karhi Marriott, Secretary



Central Weber Sewer Improvement District

October 27, 2021

Sid Smith

Transmitted by email: SidSmith@scolular.com

SU: Release of Easement

Mr. Smith:

You have requested an easement release for the public utilities' easement located on your personal property at 2493 W 2850 N, Farr West. Central Weber Sewer Improvement District (CWSID) does not plan to utilize this public utility easement for any CWSID systems and approves the release of this easement. This approval is exclusive to CWSID and grants no approval for any other utility including existing or planned Farr West City sewer facilities.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Hall', is written over a horizontal line.

Kevin Hall
General Manager
CENTRAL WEBER SEWER IMPROVEMENT DISTRICT

Parcel ID	Owner	Property Address	City	Tax Unit	Mailing Address	Mailing City	Mailing Zip	Acreage
194190023	LARSEN, KIRT D & MARZZIEH LARSEN	2456 W 2850 N	FARR WEST	145	2456 W 2850 N	FARR WEST UT	844046195	0.272681
192520022	RACKHAM, SCOTT & PAULETTE RACKHAM	2518 W 2825 N	FARR WEST	145	2518 W 2825 N	FARR WEST UT	844048584	0.4
192520025	MARTINEZ, VAL R & PATRICIA LEBO	2816 N 2500 W	FARR WEST	145	2816 N 2500 W	FARR WEST UT	844048590	0.37
192520023	MIKKELSEN, REBECCA & HUS CARL MIKKELSEN	2498 W 2825 N	FARR WEST	145	2498 W 2825 N	FARR WEST UT	844048547	0.46
194380004	VISIONARY HOMES 2020 LLC			145	50 E 2500 N STE 101	NORTH LOGAN UT	843413090	
192520024	SHARP, ALLAN & WF REBECCA SHARP ETAL	2482 W 2825 N	FARR WEST	145	2482 W 2825 N	FARR WEST UT	844048547	0.36
194190024	MOUNTISNE, MAKENZIE & BRODY SHAYNE MOUNTISNE	2468 W 2850 N	FARR WEST	145	2468 W 2850 N	FARR WEST UT	844046195	0.272681
194190004	FALCON VIEW HOMES INC	2523 W 2850 N	FARR WEST	145	2638 W 2825 N	FARR WEST UT	844049482	0.535904
194190006	SMITH, SIDNEY E & SHELBI TYTECA SMITH	2493 W 2850 N	FARR WEST	145	2493 W 2850 N	FARR WEST UT	844046195	0.344353
194380003	VISIONARY HOMES 2020 LLC			145	50 E 2500 N STE 101	NORTH LOGAN UT	843413090	
192520005	MOORE, DARREN & WF MICHELLE MOORE	2527 W 2825 N	FARR WEST	145	2527 W 2825 N	FARR WEST UT	844048584	0.34
193170019	BAKER, RYAN M & SAUNDRA L BAKER	2473 W 2825 N	FARR WEST	145	2473 W 2825 N	FARR WEST UT	844048547	0.355005
193170002	TRUJILLO, RICO MARK	2458 W 2825 N	FARR WEST	145	2458 W 2825 N	FARR WEST UT	844048547	0.34
194190026	FARR WEST HART SUBDIVISION PHASE 2	2496 W 2850 N	FARR WEST	145	5238 W 2150 N	OGDEN UT	844049700	0.267975
190170123								
194190009	BROWN, TRAVIS RICHARD & WF ARIEL DAY BROWN	2449 W 2850 N	FARR WEST	145	2449 W 2850 N	FARR WEST UT	844046195	0.344353
194380002	VISIONARY HOMES 2020 LLC			145	50 E 2500 N STE 101	NORTH LOGAN UT	843413090	
194190001	FARR WEST HART SUBDIVISION PHASE 2	2559 W 2900 N	FARR WEST	145	5238 W 2150 N	OGDEN UT	844049700	0.346166
194190003	FALCON VIEW HOMES INC	2859 N 2525 W	FARR WEST	145	2638 W 2825 N	FARR WEST UT	84404	0.403168
194190022	MCLAIN, TIM LELAND & WF NICOLE SHANNON MCLAIN	2442 W 2850 N	FARR WEST	145	2442 W 2850 N	FARR WEST UT	84404	0.272704
194190027	FALCON VIEW HOMES INC			145	2638 W 2825 N	FARR WEST UT	844049482	0.344559
192520020	MINNIG, BRET E & CARRIE N MINNIG	2554 W 2825 N	FARR WEST	145	4080 W 4700 S	ROY UT	84067	0.34
194190005	PACE, FRANK & WF BETTY PACE	2513 W 2850 N	FARR WEST	145	2513 W 2850 N	FARR WEST UT	844045156	0.344972
193170003	BRANZ, JOSHUA & WF KATHRYN BRANZ	2444 W 2825 N	FARR WEST	145	2444 W 2825 N	FARR WEST UT	844048547	0.34
192520021	REN & RACHELLE JACOBSON FAMILY TRUST	2536 W 2825 N	FARR WEST	145	2536 W 2825 N	FARR WEST UT	844048584	0.35
194190028	FALCON VIEW HOMES INC			145	2638 W 2825 N	FARR WEST UT	844049842	0.34977
193170001	ROGER & ELAINE ARNOLD FAMILY LIVING TRUST	2470 W 2825 N	FARR WEST	145	2470 W 2825 N	FARR WEST UT	844048547	0.34
192520006	BENNETT, BRETT & WF TIFFANY LYNNE BENNETT	2545 W 2825 N	FARR WEST	145	2545 W 2825 N	FARR WEST UT	844048584	0.39
194190002	FARR WEST HART SUBDIVISION PHASE 2			145	5238 W 2150 N	OGDEN UT	844049700	0.358907
194380001	VISIONARY HOMES 2020 LLC			145	50 E 2500 N STE 101	NORTH LOGAN UT	843413090	
193970026	WILCOX, GLENN & WF KATHY WILCOX	2838 N 2575 W	FARR WEST	145	2838 N 2575 W	FARR WEST UT	844048129	0.42927
194190007	THINNES, STACEY	2479 W 2850 N	FARR WEST	145	2479 W 2850 N	FARR WEST UT	84404	0.344353
193970027	ROSENQUIST, BRENT M & WF JENNIFER MARIE ROSENQUIST	2856 N 2575 W	FARR WEST	145	2856 N 2575 W	FARR WEST UT	844048129	0.378972
193170018	CLARKE, CHANCE & HUS JORDAN CLARKE	2457 W 2825 N	FARR WEST	145	2547 W 2825 N	FARR WEST UT	84404	0.34
194190008	TOMISIC, COURTNEE NICOLE	2463 W 2850 N	FARR WEST	145	2463 W 2850 N	FARR WEST UT	844046149	0.344353
194190025	BRISKEY, BROOKE	2484 W 2850 N	FARR WEST	145	2484 W 2850 N	FARR WEST UT	844046195	0.272681

By Shape By Value By Spatial Results

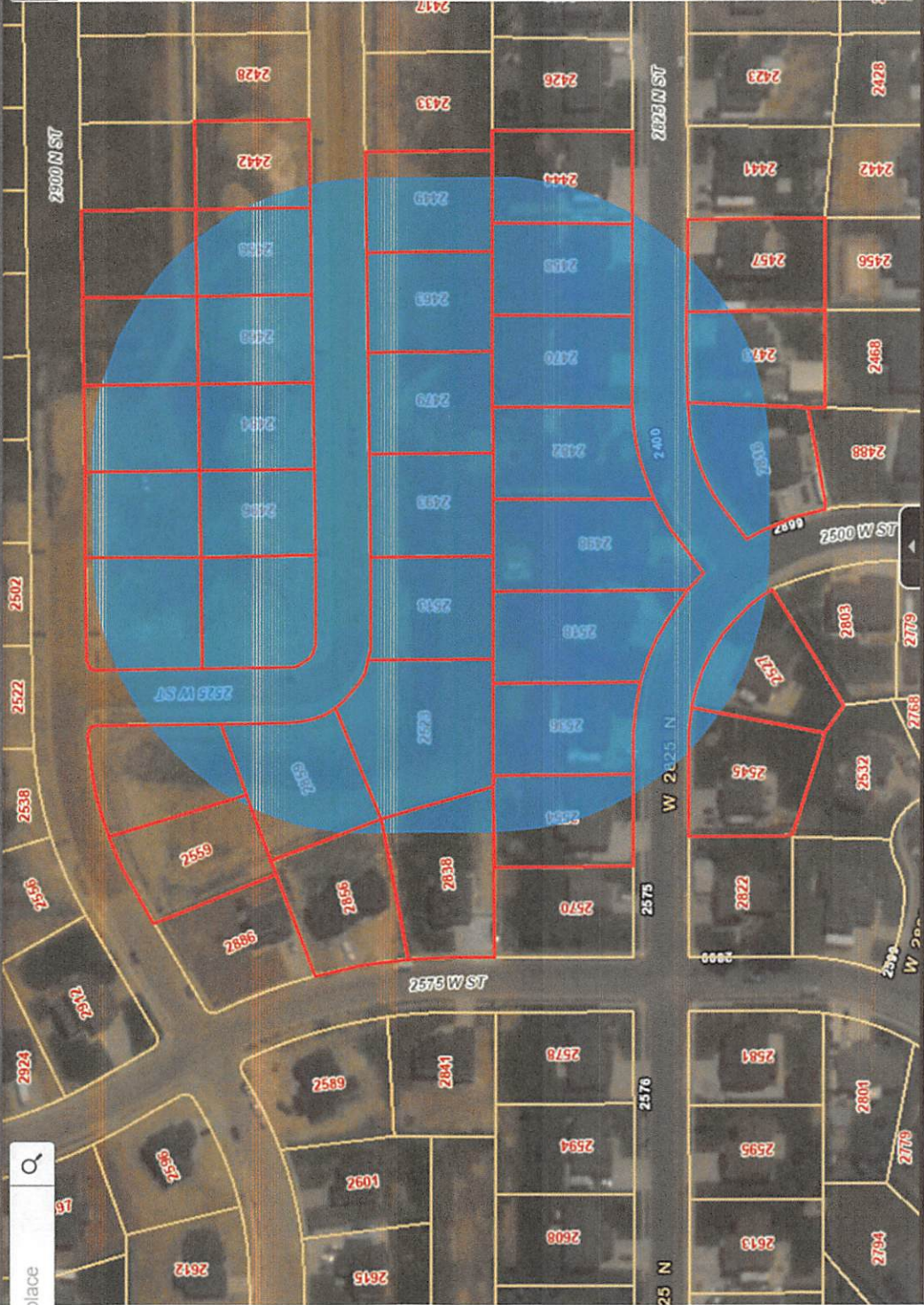
Search layer: Parcels

Search alias: Search by Parcel ID

Search by Parcel ID: 010010001

Parcel ID: 194190006

Search



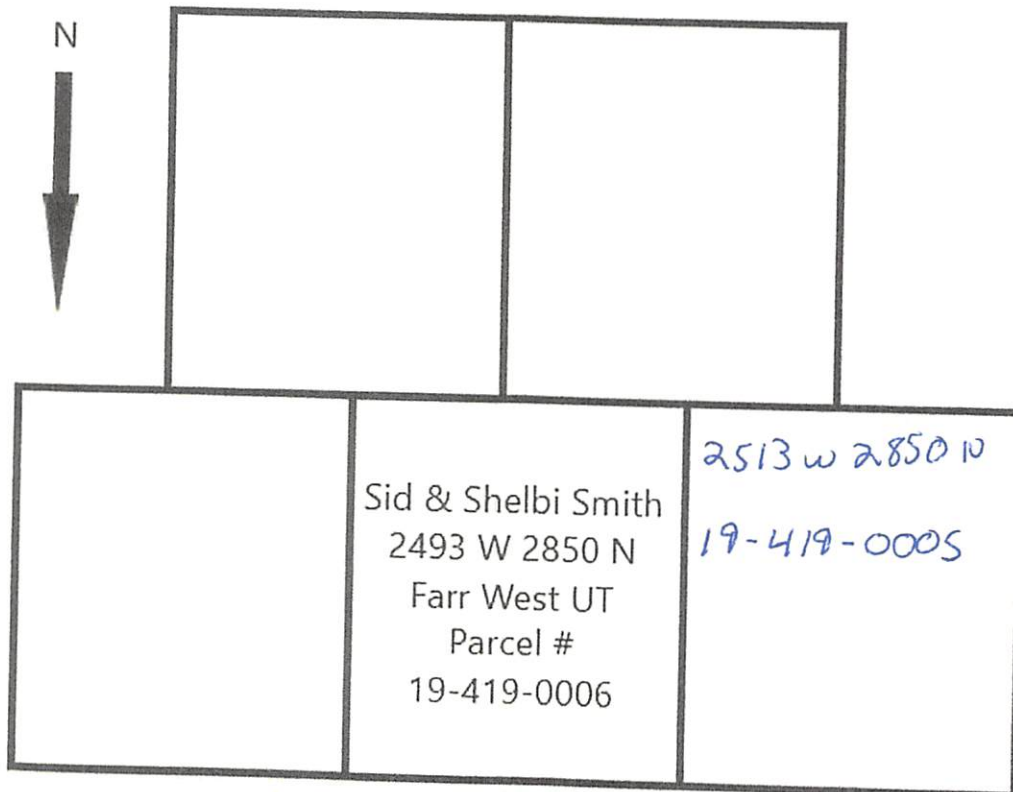
Notice of Application to Vacate and or Modify Existing Utility Easement

I understand and approve of Sid & Shelbi Smith the owners of 2493 West 2850 North requesting to vacate and or modify the existing utility easement requiring a 10ft setback from the property line.

Name (print): Frank Pace

Address: 2513 West 2850 North

Signature: Frank Pace



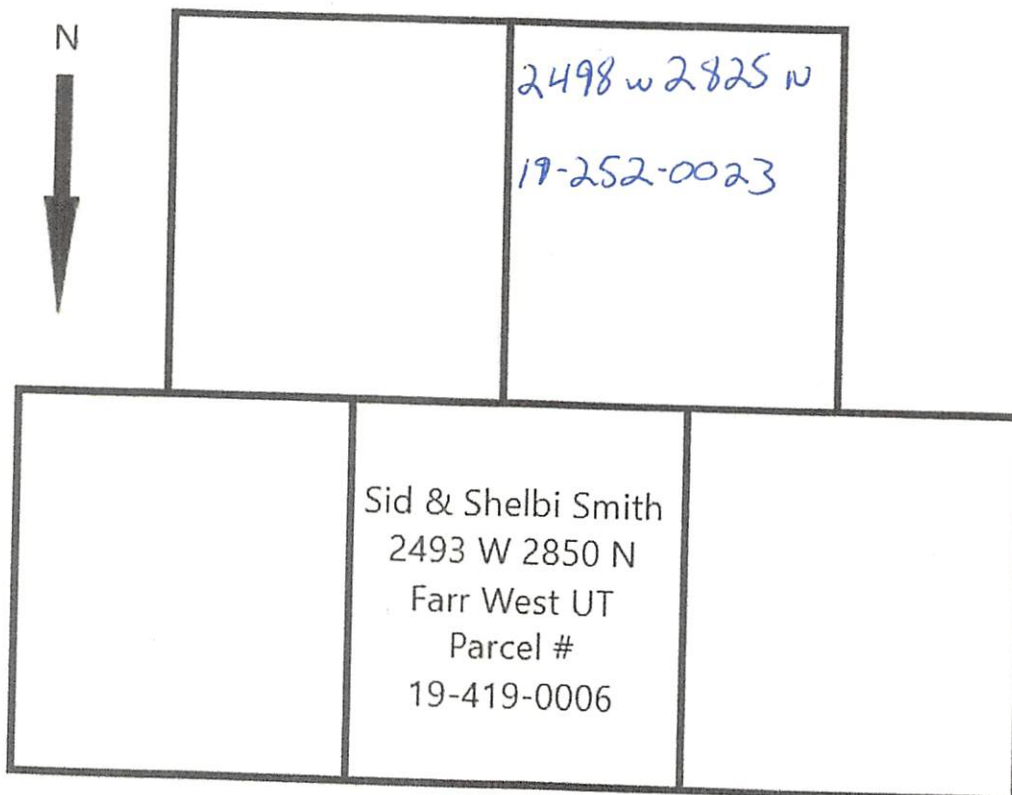
Notice of Application to Vacate and or Modify Existing Utility Easement

I understand and approve of Sid & Shelbi Smith the owners of 2493 West 2850 North requesting to vacate and or modify the existing utility easement requiring a 10ft setback from the property line.

Name (print): Carl Mikkelsen

Address: 2498 W. 2825 N.

Signature: _____



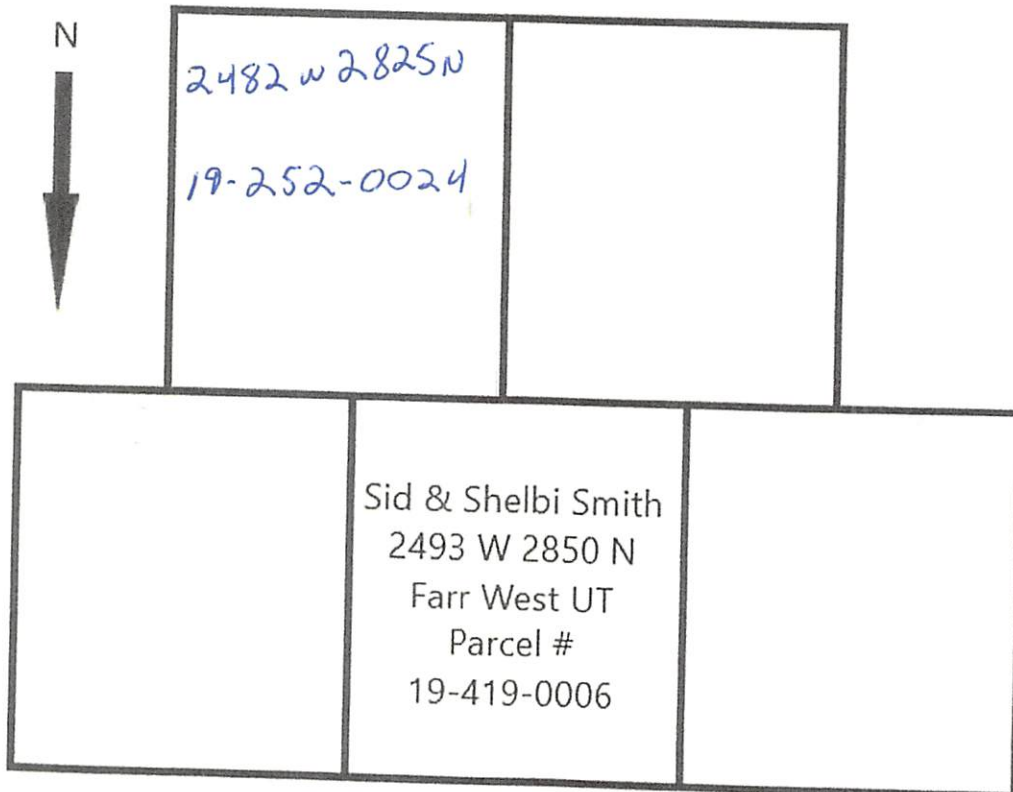
Notice of Application to Vacate and or Modify Existing Utility Easement

I understand and approve of Sid & Shelbi Smith the owners of 2493 West 2850 North requesting to vacate and or modify the existing utility easement requiring a 10ft setback from the property line.

Name (print): Becky Sharp

Address: 2482 W. 2825 N.

Signature: Becky Sharp



The regular meeting of the Farr West City Council was held on November 4, 2021 at 7:00 p.m. at city hall. Council members present were Mayor Lee Dickemore, Dave Chugg, Josh Blazzard, Ken Phippen and Bruce Richins. Boyd Ferrin was excused.

Planning Commission Member present was Chairman Ted Black. Staff present was Lindsay Afuvai. Visitors present were: See attached list.

#1 – Call to Order – Mayor Lee Dickemore

Mayor Lee Dickemore called the meeting to order.

#2- Opening Ceremony

a. Pledge of Allegiance

Bruce Richins led in the Pledge of Allegiance.

b. Opening Prayer

Josh Blazzard offered a prayer.

#3 – Comments/Reports

a. Public Comments

**Resident(s) attending this meeting were allotted 2 minutes to express a concern or ask a question about any issue not on the agenda.*

Mayor Dickemore congratulated Ken Phippen, Boyd Ferrin and Katie Williams on their successful election and wished them luck.

Bonnie Beal stated there were several cattle lose along the canal and asked the Council if any of them knew about it.

b. Report from Planning Commission

Ted Black reported that the Planning Commission held a work session on the general plan. The Planning Commission then set public hearings to consider a conditional use permit for Accent Painting and a re-zone of the Papageorge property from the A-1 to the M-1 zone. The Planning Commission then recommended approval of the Fisher South one-lot subdivision and set a public hearing to consider amending setbacks on accessory structures. The commission ended their meeting by approving their minutes and reporting on assignments.

#4 – Business Items

a. Open first public hearing to consider vacating the public utility easement for Mark & Janet Jones located at 1648 West Harrisville Rd

BRUCE RICHINS MOTIONED TO ENTER INTO A PUBLIC HEARING TO CONSIDER VACATING THE PUBLIC UTILITY EASEMENT FOR MARK & JANET JONES LOCATED AT 1648 WEST HARRISVILLE RD. JOSH BLAZZARD SECONDED THE MOTION, ALL VOTING AYE.

Janet Jones stated they would like to build a garage in their backyard. There were no other public comments.

DAVE CHUGG MOTIONED TO CLOSE THE FIRST PUBLIC HEARING. BRUCE RICHINS SECONDED THE MOTION, ALL VOTING AYE.

- b. Open second public hearing to consider vacating the public utility easement for Brandon Graham located at 2536 West 2525 North

JOSH BLAZZARD MOTIONED TO ENTER INTO A PUBLIC HEARING TO CONSIDER VACATING THE PUBLIC UTILITY EASEMENT FOR GRANDON GRAHAM LOCATED AT 2536 WEST 2525 NORTH. DAVID CHUGG SECONDED THE MOTION, ALL VOTING AYE.

Brandon Graham stated he would also like to put a garage in his backyard. There were no other public comments.

- c. Close public hearing and proceed with regular meeting

JOSH BLAZZARD MOTIONED TO CLOSE THE PUBLIC HEARINGS AND PROCEED WITH THE REGULAR MEETING. DAVE CHUGG SECONDED THE MOTION, ALL VOTING AYE.

- d. Approval of Ordinance No. 2021-12, vacating the public utility easement for Mark & Janet Jones located at 1648 West Harrisville Rd

DAVE CHUGG MOTIONED TO APPROVE ORDINANCE NO. 2021-12, VACATING THE PUBLIC UTILITY EASEMENT FOR MARK & JANET JONES LOCATED AT 1648 WEST HARRISVILLE RD. BRUCE RICHINS SECONDED THE MOTION, ALL VOTING AYE.

- e. Approval of Ordinance No. 2021-13, vacating the public utility easement for Brandon Graham located at 2536 West 2525 North

KEN PHIPPEN MOTIONED TO APPROVE ORDINANCE NO. 2021-13, VACATING THE PUBLIC UTILITY EASEMENT FOR BRANDON GRAHAM

LOCATED AT 2536 WEST 2525 NORTH. JOSH BLAZZARD SECONDED THE MOTION, ALL VOTING AYE.

- f. Approval of the Fisher South one-lot subdivision located at 1246 North 2000 West

DAVE CHUGG MOTIONED TO GRANT APPROVAL OF THE FISHER ONE-LOT SUBDIVISION LOCATED AT 1246 NORTH 2000 WEST. JOSH BLAZZARD SECONDED THE MOTION, ALL VOTING AYE.

#5 – Consent Items

- a. Approval of minutes dated October 21, 2021

DAVE CHUGG MOTIONED TO APPROVE THE MINUTES DATED OCTOBER 21, 2021. KEN PHIPPEN SECONDED THE MOTION, ALL VOTING AYE.

- b. Approval of bills dated November 2, 2021

JOSH BLAZZARD MOTIONED TO APPROVE THE BILLS DATED NOVEMBER 2, 2021. DAVE CHUGG SECONDED THE MOTION, ALL VOTING AYE.

- c. Smith Family Park Update

Ken Phippen stated things are going flawlessly at the park; the new playground is being used.

#6 – Mayor/Council Follow-up

- a. Report on Assignments

Dave Chugg reported he has been having conversations with some residents on nuisances in the City. Dave then reported he is continuing to work on economic development on 2700 North.

Josh Blazzard reported Weber County Code Enforcement will be here at the next meeting to answer any questions we may have. Josh then reported Phase 1 of the new public works facility will be presented to the Planning Commission and will then be brought to the City Council for approval. Josh then thanked everyone that participated in the Trunk or Treat.

Bruce Richins stated he was amazed at the Trunk or Treat turn out, commenting it was a great event. Bruce then reported they had a successful training with Weber Human Services on Youth Mental Health First Aid here at the city office.

Ken Phippen reported that he will be meeting with the public works department on the updating of the playground throughout the city. Ken then also stated that punch passes are available for green waste in Plain City, commenting it is a good option for residents to use for green waste as well as construction materials.

Mayor Dickemore reported he met with WACOG where the JDC Ranch development was once again discussed. Mayor Dickemore stated the county is considering this development with the hopes to connect to the city sewer. Lee stated he requested that a study be at done at Central Weber Sewer to ensure the proposed development would not overload the city line and that it would continue to have the capacity for current Farr West City property first.

#7 – Adjournment

AT 7:20 P.M., JOSH BLAZZARD MOTIONED TO ADJOURN THE MEETING. KEN PHIPPEN SECONDED THE MOTION, ALL VOTING AYE.

Lindsay Afuvai, Recorder

Lee Dickemore, Mayor

Date Approved: _____

A special meeting of the Farr West City Council was held on November 15, 2021 at 9:00 a.m. at city hall and via WebEx. Council member present was Bruce Richins. Ken Phippen, Boyd Ferrin and Josh Blazzard participated electronically through WebEx.

Staff present was Lindsay Afuvai and Ryan Shaw. Katie Williams also participated electronically through WebEx.

#1 – Call to Order – Mayor Lee Dickemore

Boyd Ferrin called the meeting to order.

#2- Approval of the 2021 Municipal Election Canvass

Boyd Ferrin presented the 2021 Municipal Election results.

JOSH BLAZZARD MOTIONED TO APPROVE THE 2021 MUNICIPAL ELECTION CANVASS. KEN PHIPPEN SECONDED THE MOTION, ALL VOTING AYE.

#3 – Adjournment

AT 9:11 A.M., KEN PHIPPEN MOTIONED TO ADJOURN THE MEETING. JOSH BLAZZARD SECONDED THE MOTION, ALL VOTING AYE.

Lindsay Afuvai, Recorder

Lee Dickemore, Mayor

Date Approved: _____