

09-018-0059
PATRICIA
P HARRIS

09-018-0041
JOHN C & CHRISTY
H MILLER

09-018-0057
SIMONE
TY REGAN

09-018-0060
RUSTY L &
PAIGEL WANNER

09-018-0037
BLAIN E &
CAROL J ALLEN

W 200 S

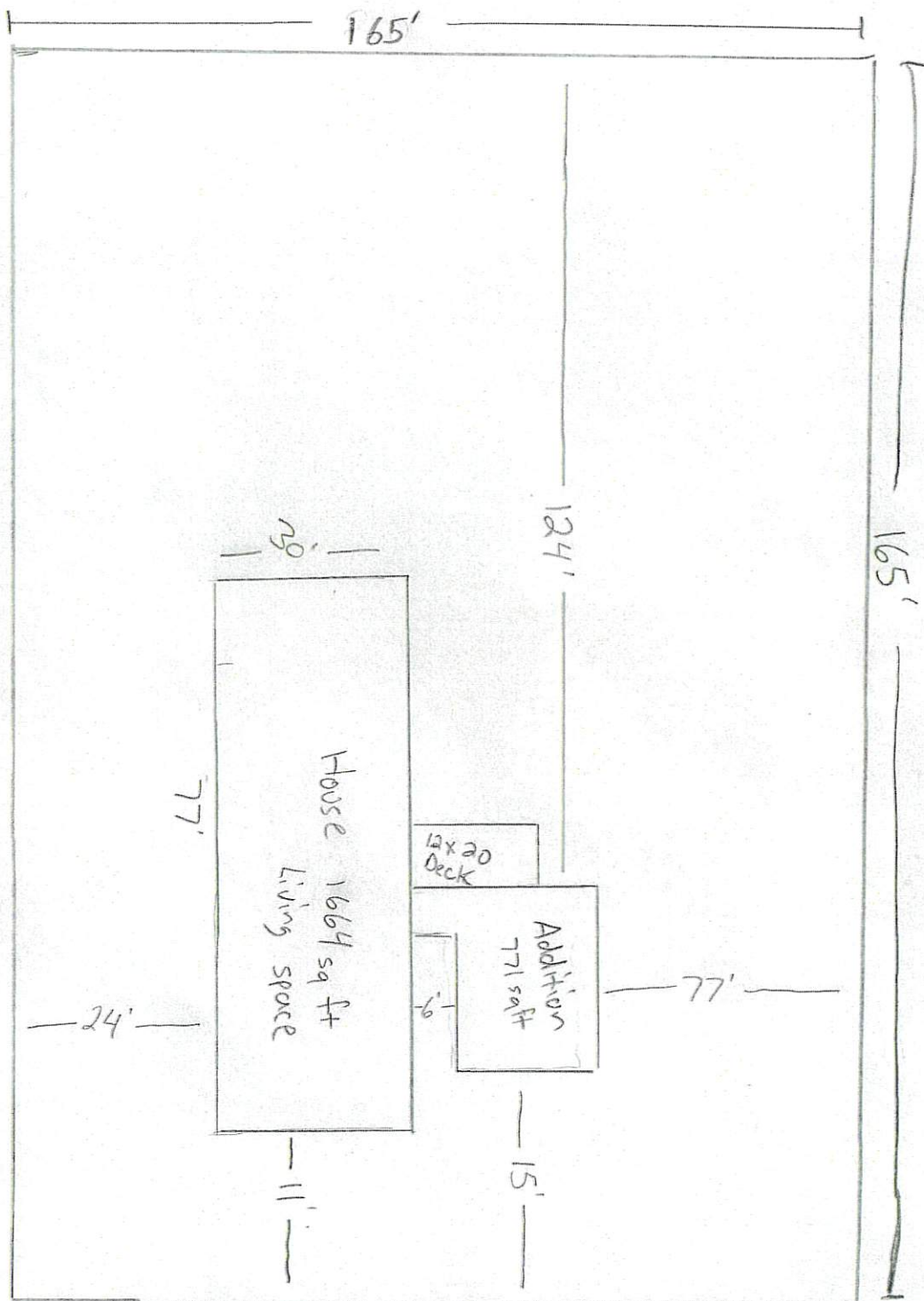
NORTH

Date: 11/4/2021

Rusty Wanner, 64 W. 200 So.

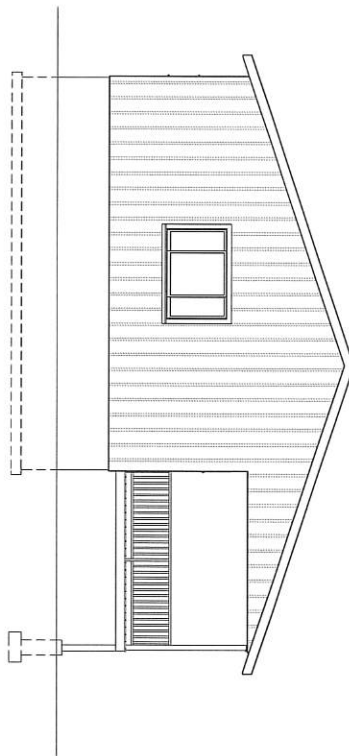
R-1-10

Site Plan

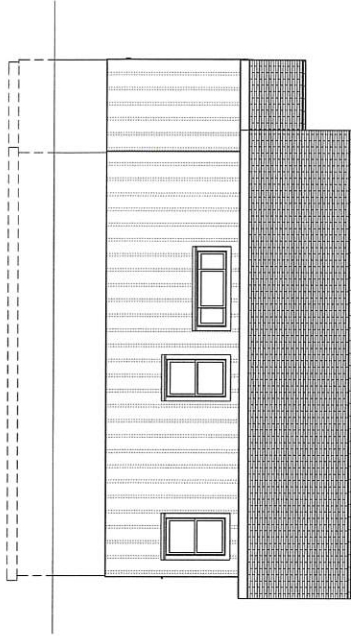


Wanner
64 W. 200 St.

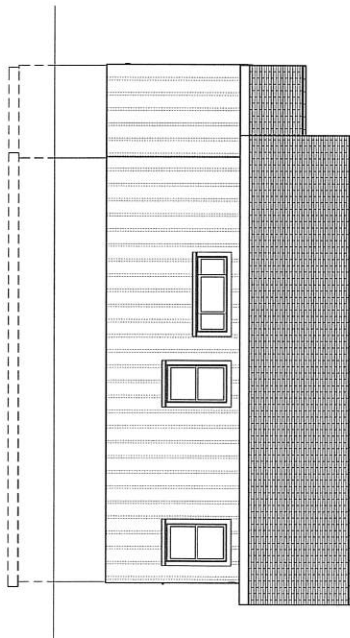
64 W. 200 St.
12-1-10



BACK



SIDE



SIDE

ADDITION

Home Design for:
RUSTY WANNER

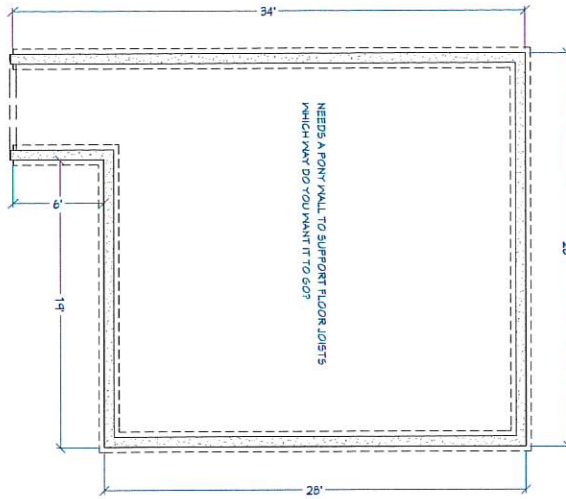
KNAPPTIME DESIGN

Drawn By Verlene Knapp
knapptime@plmw.com

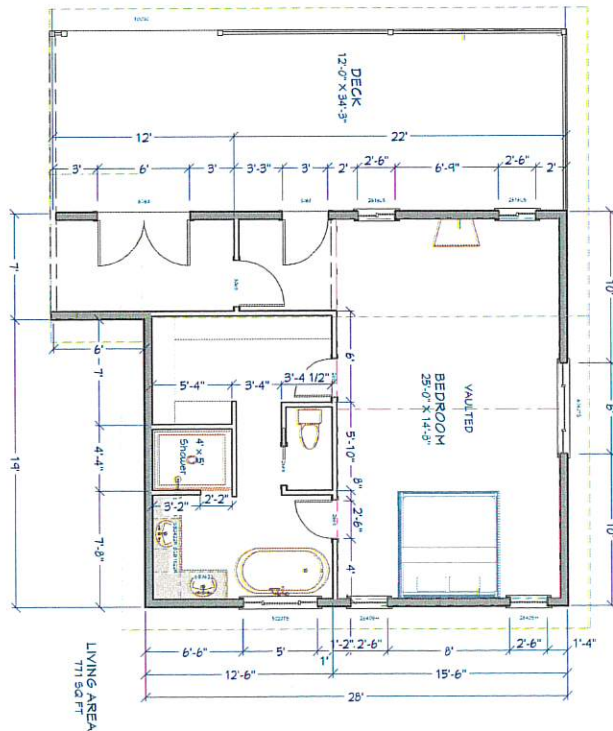
DATE:
9/15/21

SCALE:
1/8" = 1'-0"

FTG. & FND.

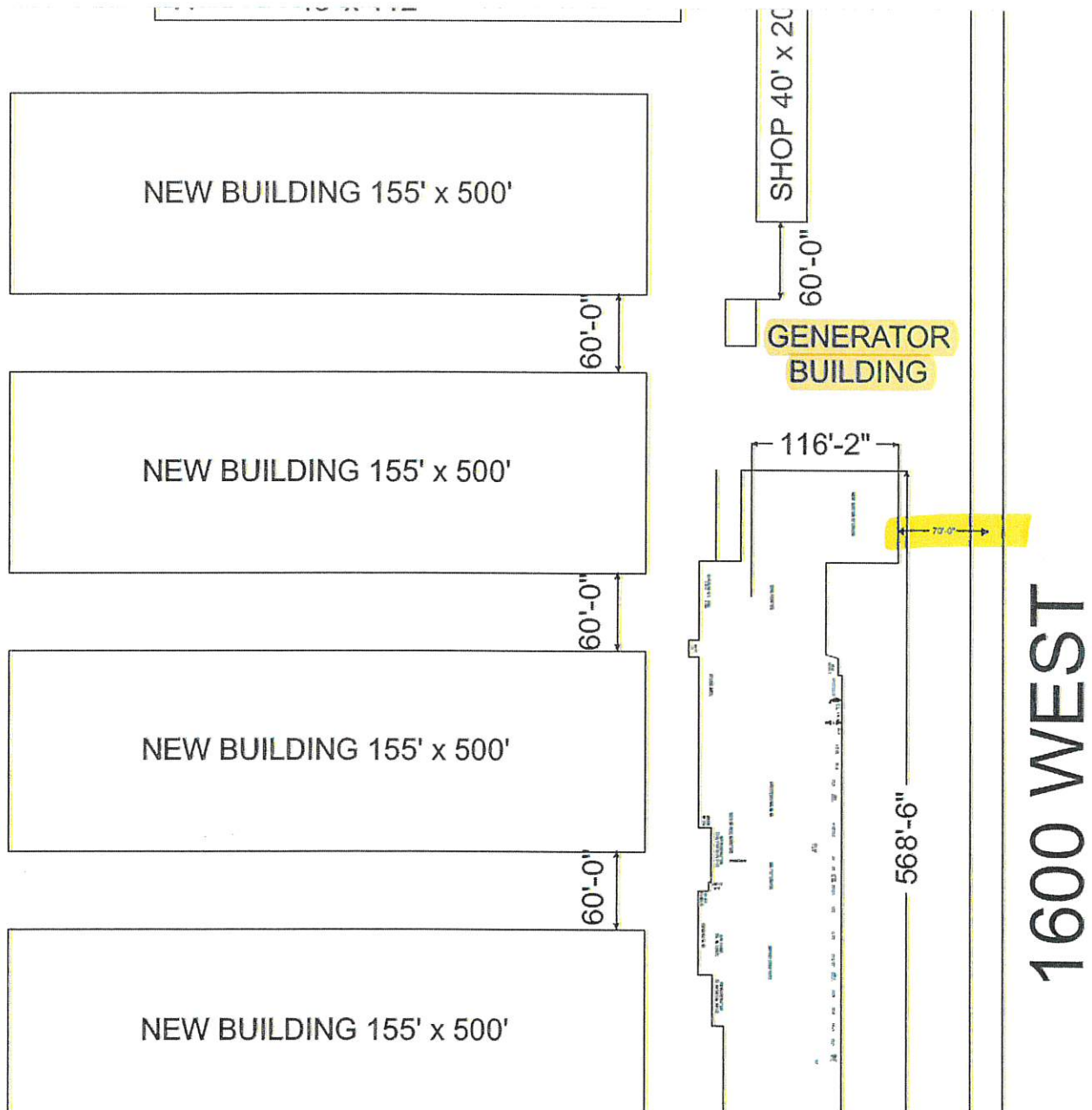


FLOOR PLAN



Rite Wood Eggs
2500 So. 1600 W A-10



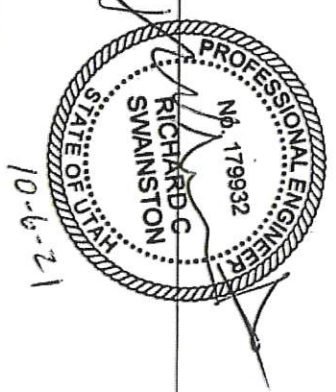


Ritewood Egg
Generator Building
November 2021

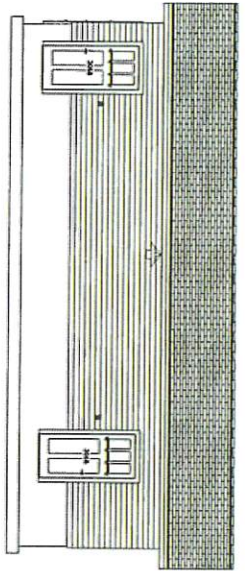
Please call 435-553-6507 x 25 a minimum of 24 hours prior to the following inspections:

- Foundation
- Underground Plumbing / Mechanical
- Rough Frame / Mechanical / Plumbing / Electrical
- Insulation
- Sill / Sill / Sill / Sill
- Final

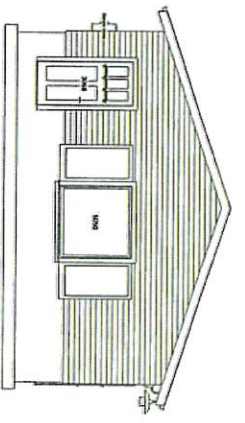
THIS PLAN TO REMAIN ON CONSTRUCTION SITE AT ALL TIMES



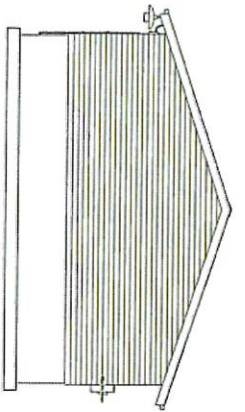
To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications. I am not responsible for any errors or omissions made on these plans after they have been issued. I am not responsible for any errors or omissions made on these plans after they have been issued. I am not responsible for any errors or omissions made on these plans after they have been issued.



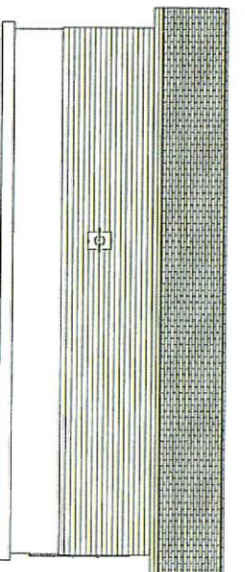
WEST ELEVATION



NORTH ELEVATION

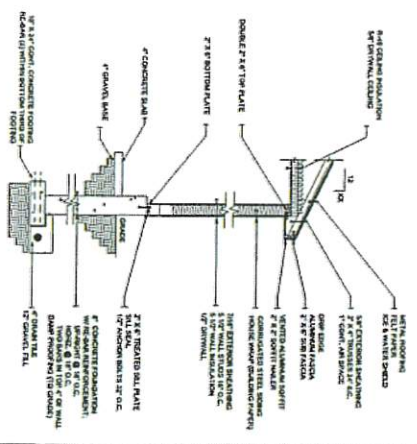


SOUTH ELEVATION



EAST ELEVATION

Typical Garage Section Not To Scale



A NEW BUILDING FOR:
RITEWOOD, INC.

DATE: SEPT. 28, 2021
REV.:

DRAFTED BY: CRAIG KUNZ

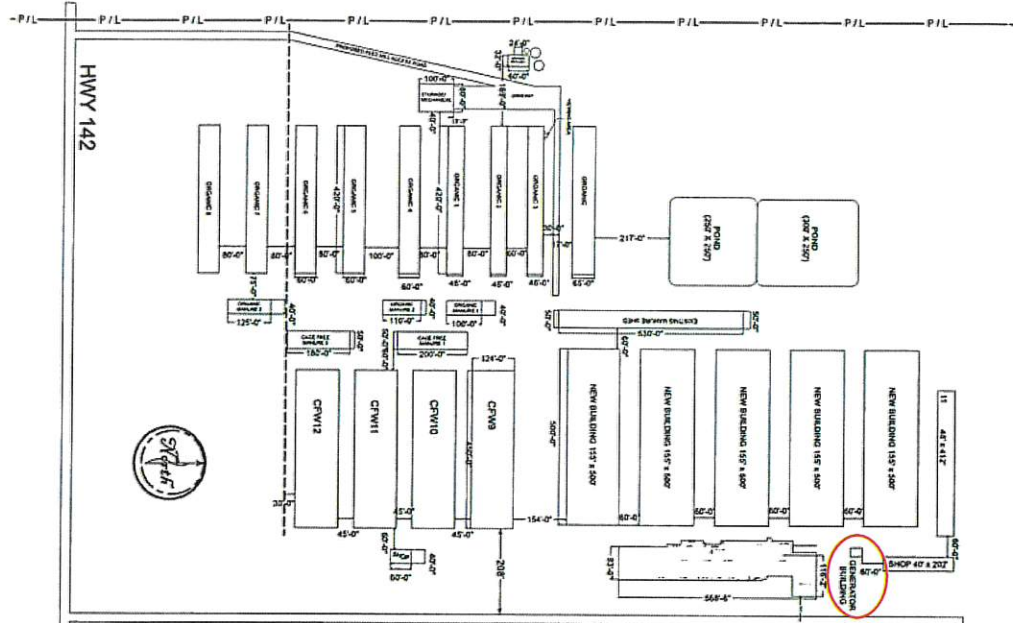


PAGE 1
PAGE 2 - ELEVATIONS
PAGE 3 - FLOOR PLAN
PAGE 4 - VIEWS

SCALE THIS PAGE:
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IF PRINTED ON 11x17 PAPER,
SCALE IS 1/2" = 1'-0"
NOTED

Reviewed for Code Compliance
Hyde Park Building Dept
10/28/2021

2500 S. 1600 W
A-1B



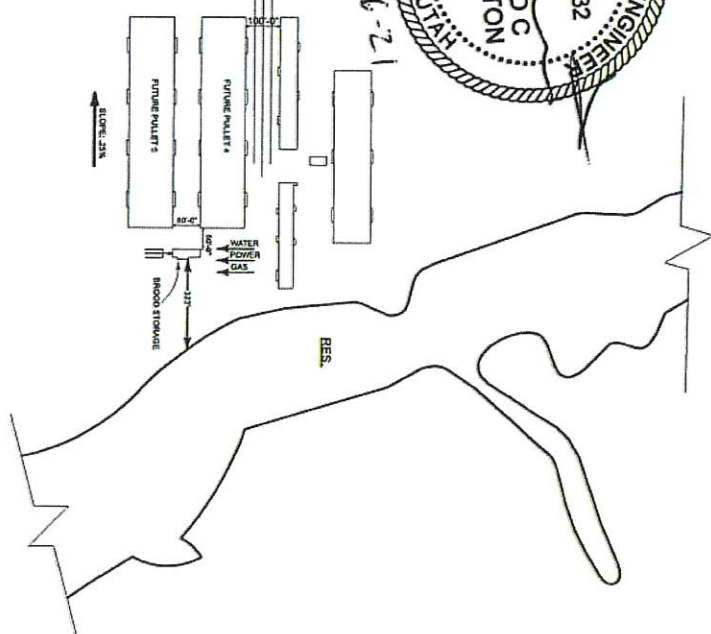
1600 WEST

1600 WEST

HWY 142



10-6-21



Reviewed for Code Compliance
Hyde Park Building Dept
10/28/2021

PAGE 3

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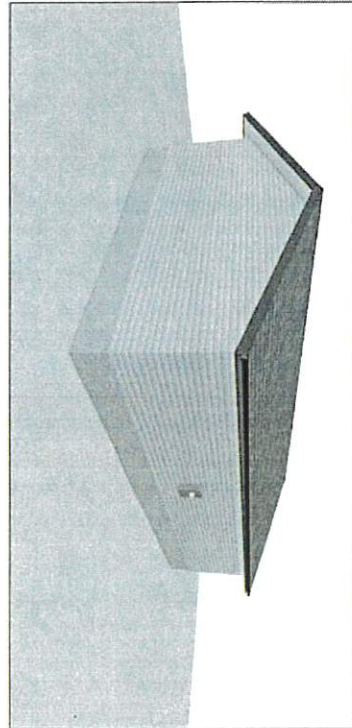
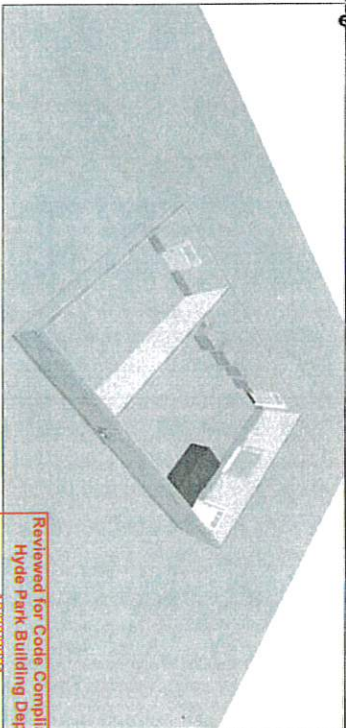
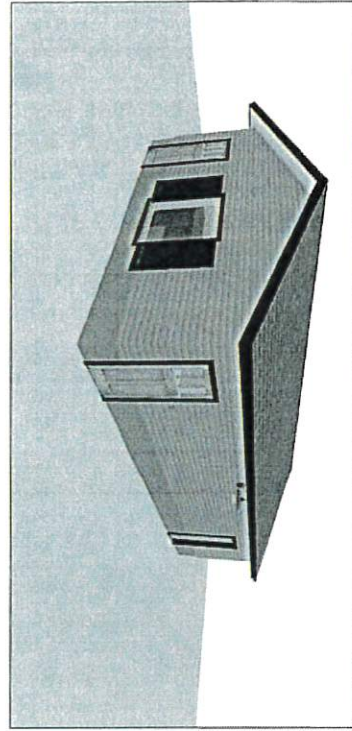
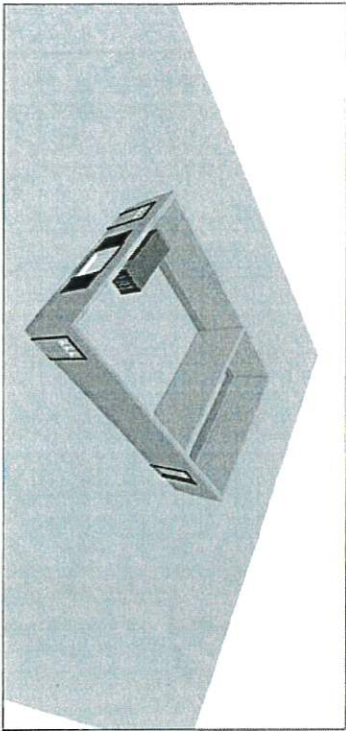
PAGE LIST:
PAGE 1 - SITE PLAN
PAGE 2 - FLOOR PLANS
PAGE 3 - FLOOR PLANS
PAGE 4 - VIEWS

A NEW BUILDING FOR:
RITEWOOD, INC.

DATE: SEPT. 28, 2021
REV.:

DRAFTED BY: CRAIG KUNZ





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Hyde Park Building Dept
10/28/2021

PAGE
4

IF PRINTED ON 11X17 PAPER,
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SCALE THIS PAGE:

SHEET LIST:
PAGE 1 - SITE PLAN
PAGE 2 - FLOOR PLANS
PAGE 3 - ELEVATIONS
PAGE 4 - VIEWS

A NEW BUILDING FOR:
RITEWOOD, INC.

DATE: SEPT. 28, 2021
REV.:

DRAFTED BY: CRAIG KUNZ

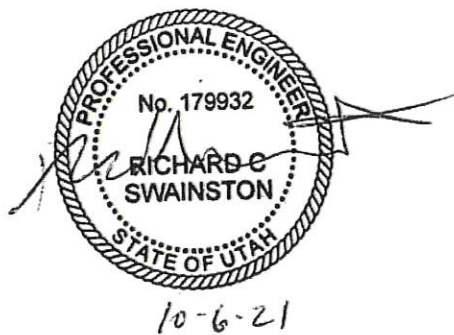


GENERAL STRUCTURAL NOTES

FOR:

Ritewood, Inc.

Richard C. Swainston, P.E.
1128 N Highway 34
Preston, ID 83263
(208) 251-4983



GENERAL STRUCTURAL NOTES

GOVERNING DESIGN:

BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE (IBC)

RISK CATEGORY: II

DESIGN METHOD: ASD

GRAVITY LOAD:

- ROOF SNOW: 50 PSF
- ROOF DEAD LOAD: 15 PSF
- FLOOR LIVE LOAD: 40 PSF
- FLOOR DEAD LOAD: 10 PSF
- SOIL BEARING PRESSURE: 1,500 PSF (ASSUMED)

LATERAL LOAD:

- WIND SPEED: 90 MPH
- EXPOSURE CATEGORY: C
- SEISMIC SITE CLASS: D
- SEISMIC DESIGN CATEGORY: D

SEE STRUCTURAL CALCULATIONS FOR ADDITIONAL DESIGN COEFFICIENTS AND INFORMATION.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC), LOCAL AMENDMENTS TO THE THIS CODE, AND/OR ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK PERFORMED.
2. CONSTRUCTION DOCUMENTS ARE VALID FOR A SINGLE USE FOR THE PROJECT LOCATION AND SHALL NOT BE REUSED, COPIED, OR REPRODUCED WITHOUT WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE METHOD, MEANS AND SEQUENCE OF ALL STRUCTURAL ERECTION UNLESS NOTED OTHERWISE ON THE DRAWINGS.
4. IF CHANGES OR DISCREPANCIES ARE MADE OR OBSERVED BEFORE, DURING OR AFTER CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY THE ENGINEER OF RECORD PRIOR TO PERFORMING ANY WORK INVOLVED OR RELATED TO THESE CHANGES OR DISCREPANCIES.
5. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, EXISTING BUILDINGS OR OTHERWISE, BEFORE BEGINNING WORK INCLUDING, BUT NOT LIMITED TO: SITE CONDITIONS, DIMENSIONS, ELEVATIONS, DOORS, WINDOWS, LOCATION OF INTERIOR AND EXTERIOR WALLS, STAIRS, FINISHES. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCIES OR ANY ITEMS THAT ARE NOT IN AGREEMENT WITH THE CONSTRUCTION DOCUMENTS.

6. THE STRUCTURAL DRAWINGS ONLY PERTAIN TO THE STRUCTURAL ELEMENTS OF THE PROJECT. THE ENGINEER OF RECORD ASSUMES NO LIABILITY FOR NON-STRUCTURAL ITEMS NOR THE LIABILITY FOR THE ACCURACY, COMPLETENESS, AND CODE COMPLIANCE OF ARCHITECTURAL, DRAINAGE, ELECTRICAL, MECHANICAL, SITE CIVIL, AND ANY NON-STRUCTURAL SPECIFICATIONS.
7. APPROVAL BY THE MUNICIPAL INSPECTOR DOES NOT IMPLY APPROVAL BY THE ENGINEER OF RECORD OR COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND CODES.
8. ANY STRUCTURAL SPECIFICATIONS THAT APPEAR AMBIGUOUS OR UNCLEAR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR CLARITY OR INTERPRETATION.
9. ALL SITE COMPACTED FILL SHALL BE FREE OF ANY ORGANIC MATTER AND PLACED PER THE GEOTECH RECOMMENDATIONS.
10. PROJECT SPECIFIC NOTES AND DETAILS SHALL SUPERSEDE GENERAL NOTES AND DETAILS.
11. THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF THE SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. THE GENERAL CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE A STABLE WORKING ENVIRONMENT IN COMPLIANCE WITH OSHA STANDARDS PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS.
11. ALL SHORING AND BRACING SHALL REMAIN IN PLACE UNTIL ALL PERMANENT MEMBERS ARE PLACED AND FINAL CONNECTORS ARE INSTALLED.
12. ANY DIMENSIONS ON STRUCTURAL PLANS ARE FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL PLANS.
13. THE GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH ALL PORTIONS OF THE CONSTRUCTION DOCUMENTS RELATED TO THE SCOPE OF WORK OF THE STRUCTURE, AND INSURE THAT ALL SUBCONTRACTORS ARE FAMILIAR WITH THOSE PORTIONS THAT PERTAIN TO THEIR AREA OF WORK.

GENERAL FRAMING (PER NDS)

1. ALL STRUCTURAL LUMBER, SHEATHING, AND TIMBER SHALL BE MARKED BY A COMPETENT AND RELIABLE COMPANY. THE COMPANY, GRADING AND GRADE MARKING SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER OF RECORD.
2. ALL STRUCTURAL TIMBER MEMBERS SHALL BE DOUGLAS FIR-LARCH WITH A 19% MAXIMUM MOISTURE CONTENT OF THE FOLLOWING GRADES U.N.O.:
 - 2X STUD WALLS: STUD GRADE OR BETTER
 - 2X SILL PLATES: STANDARD GRADE OR BETTER
 - 2X JOISTS/RAFTERS: NO. 2
 - 2X BUILT-UP BEAMS/HEADER: NO. 2
 - HEAVY TIMBER: NO. 1
 - POSTS: NO. 2
3. ALL WOOD IN DIRECT CONTACT WITH CONCRETE, MASONRY AND/OR THAT IS NOT PERMANENTLY PROTECTED FROM THE ELEMENTS AND ALL STRUCTURAL LUMBER AND STRUCTURAL SHEATHING THAT IS WITHIN 8" TO EXPOSED GROUND SHALL BE OF A NATURALLY DECAY RESISTANT SPECIES OR PRESERVATIVE TREATED LUMBER.
4. STRUCTURAL MEMBERS MAY NOT BE CUT, NOTCHED OR CHAMFERED UNLESS SPECIFICALLY NOTED, DETAILED OR APPROVED BY THE ENGINEER OF RECORD.
5. FULL-HEIGHT BLOCKING SHALL BE PLACED BETWEEN JOISTS AND RAFTERS AT ALL BEARING LOCATIONS.

6. NO MORE THAN (2) SILL PLATES SHALL BE CONNECTED TO THE FOUNDATION WITH J-BOLTS THROUGH BOTH MEMBERS WITHOUT ADDITIONAL ENGINEERING.
7. BUILT-UP TIMBER BEAMS SHALL BE NAILED TOGETHER WITH (2) ROWS OF 10D NAILS AT 6" O.C. AT EACH FACE. U.N.O.
8. PROVIDE CONTINUOUS BEARING AND SOLID BLOCKING DOWN TO FOUNDATION AT ALL BEARING POINT LOADS.
9. ALL METAL ANCHORS, TIES AND CONNECTORS SHALL BE FROM SIMPSON STRONG-TIE AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS. SUBSTITUTIONS MUST BE PRE-APPROVED IN WRITING BY THE ENGINEER OF RECORD.
10. OSB PLYWOOD FLOOR AND ROOF SHEATHING SHALL BE LAID CONTINUOUS OVER TWO OR MORE FRAMING SPANS WITH THE FACE GRAIN PERPENDICULAR TO THE FRAMING SUPPORTS. STAGGER ALL PLYWOOD JOINTS A MINIMUM OF 4'-0".
11. EXTERIOR WOOD SUPPORTED BY CONCRETE SHALL BE INSTALLED A MINIMUM OF 6" ABOVE EXPOSED EARTH.
12. EXTERIOR WALLS ADJACENT TO VAULTED CEILINGS SHALL BE BALLOON FRAMED WITH CONTINUOUS STUDS TO BOTTOM CHORD OF TRUSS OR RAFTER.
13. ROOF SHEATHING SHALL BE CONTINUOUS UNDERNEATH OVERBUILD FRAMING.
14. DOUBLE TOP PLATES SHALL HAVE A MINIMUM OF 4'-0" LAP SPLICE WITH A MINIMUM OF (8) 16D NAILS PER TOP PLATE SPLICE U.N.O. LAP SPLICES IN THE DOUBLE TOP PLATE SHALL OFFSET BY AT LEAST 4'-0".
15. TOP PLATE BREAKS SHALL OCCUR OVER STUDS.
16. ALL EXTERIOR WALLS SHALL BE SECURED WITH A MINIMUM OF 1/2"x10" ANCHOR BOLTS @ A MAXIMUM OF 32" O.C. SHEAR WALL DESIGN REQUIREMENTS WILL GOVERN IN ALL CASES.
17. ALL HARDWARE SHALL BE INSTALLED AND NAILED PER THE MANUFACTURER'S SPECIFICATIONS.
18. SOLID BLOCK ALL HORIZONTAL JOINTS BETWEEN THE BOTTOM PLATE AND DOUBLE TOP PLATE OF THE WALLS THAT HAVE OSB PLYWOOD.
19. EXTERIOR AND BEARING WALL STUDS ARE PERMITTED TO BE CUT OR NOTCHED WITH A DEPTH NOT TO EXCEED 25% OF THE STUD WIDTH. CUTS AND NOTCHES MAY NOT OCCUR AT THE SAME LOCATION.
20. EXTERIOR AND BEARING WALLS SHALL BE CAPPED WITH DOUBLE 2" NOMINAL THICK TOP PLATES. PROVIDE OVERLAP AT CORNERS AND INTERSECTIONS WITH OTHER PARTITION WALLS.
21. ALL MANUFACTURED WOOD PRODUCTS SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
22. SEE MANUFACTURER'S SPECIFICATIONS FOR DRILLING HOLES AND CUTTING NOTCHES AND CHAMFERS.
23. ALL RAFTERS AND JOISTS OVER 3'-0" SHALL BE HANGERED IF NOT SUPPORTED BY BOTTOM BEARING.
24. ALTERNATE ENGINEERED WOOD PRODUCTS MUST BE PRE-APPROVED IN WRITING BY THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
25. ACCEPTABLE MANUFACTURERS OF ENGINEERED WOOD PRODUCTS:
 - WEYERHAUSER I-LEVEL PRODUCTS
 - LOUISIANA PACIFIC PRODUCTS
 - BOISE CASCADE PRODUCTS
 - ALL OTHER MANUFACTURER'S SHALL BE PRE-APPROVED BY THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
28. THE USE OF ANY PRODUCT NOT SPECIFIED IN THE PLANS OR CALCULATIONS SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO INSTALLATION.

GLULAM

1. GLULAM BEAMS SHALL BE 24F-V4 (SIMPLE SPAN) OR 24F-V8 (CANTILEVERED)

2. MINIMUM DESIGN VALUES:

· $E = 1,800,000 \text{ PSI}$

· $FB = 2,400 \text{ PSI}$

· $FV = 265 \text{ PSI}$

MICROLLAM

1. MICROLLAM BEAMS SHALL BE LAMINATED VENEER LUMBER (LVL)

2. MINIMUM DESIGN VALUES:

· $E = 2,000,000 \text{ PSI}$

· $FB = 2,600 \text{ PSI}$

· $FV = 285 \text{ PSI}$

PARALLAM

1. PARALLAM BEAMS SHALL BE PARALLEL STRAND LUMBER (PSL)

2. MINIMUM DESIGN VALUES:

· $E = 2,200,000 \text{ PSI}$

· $FB = 2,900 \text{ PSI}$

· $FV = 290 \text{ PSI}$

TIMBERSTRAND

1. TIMBERSTRAND BEAMS SHALL BE LAMINATED STRAND LUMBER (LSL)

2. MINIMUM DESIGN VALUES:

· $E = 1,550,000 \text{ PSI}$

· $FB = 2,325 \text{ PSI}$

· $FV = 310 \text{ PSI}$

PREFABRICATED WOOD I-JOIST

1. PREFABRICATED I-JOIST SHALL BE WEYERHAEUSER TRUS JOIST TJI SERIES. U.N.O. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

PRE-ENGINEERED WOOD TRUSSES (PER IBC 2303.4)

1. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE CURRENT IBC, LOCAL BUILDING CODES FOR ALL IMPOSED LOADS, INCLUDING LATERAL LOADS, ROOF OVERBUILDS, OVERHEAD DOORS, AND ANY MECHANICAL EQUIPMENT LOADS.

2. ALL CALCULATIONS AND SHOP DRAWINGS SHALL BE CERTIFIED BY A LICENSED ENGINEER IN THE STATE WHERE THE PROJECT WILL BE CONSTRUCTED. THE MANUFACTURER OR GENERAL CONTRACTOR SHALL SUPPLY ALL THE TRUSS CALCULATIONS AND SHOP DRAWINGS TO THE ENGINEER OF RECORD AND THE LOCAL BUILDING OFFICIAL.
3. TOTAL LOAD DEFLECTIONS SHALL BE LIMITED TO $L/240$ AND DEFLECTIONS DUE TO LIVE LOADS SHALL BE LIMITED TO $L/360$.
4. PERMANENT TRUSS BRACING INFORMATION SHALL BE SUPPLIED BY THE TRUSS MANUFACTURER.
5. THE TRUSS MANUFACTURER SHALL ASSUME LIABILITY OF THE DESIGN AND FABRICATION OF THE PRE-ENGINEERED TRUSSES.
6. THE CONTRACTOR SHALL ASSUME LIABILITY FOR THE INSTALLATION OF THE PRE-ENGINEERED TRUSSES AS PER THE MANUFACTURER'S SPECIFICATIONS.
7. ANY DISCREPANCIES BETWEEN THE TRUSS MANUFACTURER'S TRUSS LAYOUT AND THE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO THE FABRICATION OF THE TRUSSES.
8. THE TRUSS MANUFACTURER SHALL VERIFY ALL LOADS WITH THE ENGINEER OF RECORD.
9. TRUSS MEMBERS AND COMPONENTS SHALL NOT BE CUT, NOTCHED, DRILLED, SPICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT WRITTEN APPROVAL FROM THE TRUSS ENGINEER.
10. ALTERATIONS RESULTING IN AN ADDITION OF LOADS TO ANY MEMBER SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE TRUSS ENGINEER.

CONCRETE (ACI 318, 2015 IBC CHAPTER 18/19)

1. ALL CONCRETE MATERIALS, QUALITY CONTROL, AND CONSTRUCTION SHALL COMPLY WITH THE LOCAL BUILDING CODES AND ACI 318.
2. WATER SHALL BE POTABLE AND FREE FROM INJURIOUS AMOUNTS OF OIL, ACIDS, SALTS, ORGANIC MATERIALS, ETC.
3. COMPRESSIVE STRENGTH f'_c (MINIMUM SPECIFIED AT 28 DAYS):
 - FOOTINGS = 3,000 PSI
 - FOUNDATION = 3,000 PSI
 - SLAB ON GRADE = 4,000 PSI
4. FOOTINGS
 - ALL FOOTINGS SHALL BEAR PAST THE FROST LINE OF THE LOCALITY.
 - WALLS AND COLUMNS SHALL BE CENTERED ON FOOTINGS U.N.O.
 - NO PENETRATIONS ARE ALLOWED THROUGH FOOTINGS.
5. CONCRETE EXPOSED TO FREEZE/THAW CYCLES SHALL CONFORM TO THE MAX WATER/CEMENT RATIOS OF ACI 318-14 TABLE 19.3.2.1 AND SHALL USE AIR ENTRAINMENT PER ACI 318-14 TABLE 19.3.3.1 (IN CONFORMANCE WITH ASTM C260).
6. THE GENERAL CONTRACTOR SHALL PROVIDE A WATERPROOF/ DAMPPROOF MEMBRANE PER THE 2015 IBC SECTION 1805.
6. BACKFILL SHALL NOT BE PLACED AGAINST A FOUNDATION WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND IS ANCHORED TO THE FLOOR ABOVE OR IS SUFFICIENTLY BRACED TO PREVENT DAMAGE FROM THE BACKFILL
7. BACKFILL SOIL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, COBBLE OR BOULDERS. THE BACKFILL SHALL BE PLACED IN LIFTS AND COMPACTED IN A MANNER THAT DOES NOT DAMAGE THE FOUNDATION WALL OR THE WATERPROOFING/DAMPPROOFING MATERIAL.

8. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION WALL SHALL HAVE A 5% SLOPE AWAY FROM THE BUILDING FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR FROM THE FACE OF THE FOUNDATION WALL.
9. THE THICKNESS OF CONCRETE SLABS ON GRADE FLOORS SHALL NOT BE LESS THAN 3 1/2".
10. ADHESIVE ANCHORS SHALL BE INSTALLED WITH SIMPSON SET-XP EPOXY PER THE MANUFACTURER'S SPECIFICATIONS. 11. REINFORCEMENT STEEL SHALL BE ACCURATELY PLACED AND SUPPORTED AGAINST DISPLACEMENT PRIOR TO CONCRETE POUR.

FASTENERS (PER IBC 2303.6, 2304.9)

1. FASTENERS IN ANY TYPE OF PRESERVATIVE-TREATED AND FIRE-RETARDANT TREATED WOOD PRODUCT SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.
2. SHEATHING FASTENERS SHALL BE DRIVEN SO THE HEAD OR CROWN OF THE NAIL IS FLUSH WITH THE SHEATHING SURFACE.
3. BOLT HOLES SHALL BE DRILLED WITH A BIT 1/32" TO 1/16" LARGER THAN THE NOMINAL BOLT DIAMETER. ALL BOLTS SHALL HAVE STANDARD CUT WASHERS UNDER HEAD AND NUT.
4. ALL NAILS SHALL BE COMMON WIRE.
5. NAILS:
 - 8D = 0.131" X 2.5"
 - 10D = 0.148" X 3.0"
 - 16D = 0.162" X 3.5"
6. STAPLES:
 - 16GA = 1.5 X .4375" CROWN
7. POWER DRIVEN PINS:
 - CONCRETE DRIVE PINS = 0.145" X 2.5" WITH PRE-ASSEMBLED WASHER
8. POST INSTALLED ANCHORS TO CONCRETE USED FOR WIND AND SEISMIC RESISTANCE APPLICATIONS SHALL BE INSTALLED USING HILTI HY-200 EPOXY U.N.O. BOLT HOLES DRILLED FOR EPOXY ANCHORS SHALL BE CLEANED USING BLOW-BRUSH-BLOW STANDARDS AS PER MANUFACTURER SPECIFICATIONS FOR THE EPOXY BEING USED.
9. BOLTS
 - CONNECTOR BOLTS = ASTM A307
 - HIGH STRENGTH BOLTS = ASTM A325
 - ANCHOR BOLTS = ASTM 307 WITH A 3"X3"X0.229" PLATE WASHER EMBEDDED 7" INTO CONCRETE

STRUCTURAL STEEL (IBC 2015 CHAPTER 22, AISC 14TH ED.)

1. ALL STRUCTURAL STEEL SHALL BE DESIGNED, FABRICATED AND WELDED IN ACCORDANCE WITH THE CURRENT IBC AND THE CURRENT EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
2. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS AND SHALL CONFORM TO ALL AWS STANDARDS. ALL WELDS SHALL HAVE THE SLAG REMOVED.

3. ALL STRUCTURAL STEEL SHALL BE FABRICATED IN THE SHOP OF A LICENSED FABRICATOR AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO FABRICATION.
4. STEEL FABRICATOR SHALL FIELD CHECK ALL DIMENSIONS PRIOR TO FABRICATION.
5. STEEL TO STEEL CONNECTIONS SHALL BE MADE WITH HIGH STRENGTH BOLTS.
6. ALL STEEL EXPOSED TO THE ELEMENTS SHALL BE HOT-DIPPED GALVANIZED OR PROPERLY PRIMED AND PAINTED AFTER FABRICATION.
7. WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, $f_y = 50$ KSI.
8. PIPE COLUMNS SHALL CONFORM TO ASTM A53 GRADE B.
9. TUBE COLUMNS SHALL CONFORM TO ASTM A500 GRADE B.
10. PLATES, BARS, ANGLES, CHANNELS AND OTHER MISCELLANEOUS STEEL SHAPES SHALL CONFORM TO ASTM A36, $f_y = 36$ KSI.

REINFORCING STEEL

1. STEEL REINFORCEMENT SHALL BE FREE FROM MUD, OIL, AND OTHER NON-METALLIC COATINGS THAT DECREASE BONDING CAPACITY AT THE TIME OF INSTALLATION.
2. REINFORCEMENT SHALL BE ACCURATELY PLACED AND ADEQUATELY SUPPORTED BEFORE CONCRETE IS PLACED.
3. ALL SPLICES IN CONTINUOUS REINFORCEMENT SHALL LAP 40 BAR DIAMETERS. U.N.O.
4. COVER · CONCRETE PERMANENTLY EXPOSED TO EARTH OR WEATHER: 3" · CONCRETE TEMPORARILY EXPOSED TO EARTH OR WEATHER: · #5 BAR AND SMALLER: 1 1/2" · #6 BAR AND LARGER: 2" · CONCRETE NOT EXPOSED TO EARTH OR WEATHER: · SLABS AND WALLS, #11 & SMALLER: 3/4" · SLABS ON GRADE: CENTER OF SLAB · BEAMS, COLUMNS, MAIN REINFORCING/TIES: 1 1/2" 5. $f_y = 60$ KSI

SOILS

1. ALL GEOTECHNICAL SERVICES ARE TO BE EMPLOYED AT THE EXPENSE OF THE GENERAL CONTRACTOR OR OWNER.
2. AN ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF IS ASSUMED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF.
3. THE GEOTECHNICAL INVESTIGATION SHALL BE PERFORMED PER THE 2015 IBC SECTION 18.
4. DO NOT PLACE FOOTINGS ON DISTURBED, UNDOCUMENTED FILL, FROZEN SOIL, OR IN PONDED WATER.
5. ALL FOOTINGS, FOUNDATIONS, EXCAVATION, GRADING AND FILL SHALL BE PERFORMED PER THE APPROVED GEOTECHNICAL REPORT.
6. SOIL CONDITIONS SHALL BE OBSERVED PRIOR TO PLACEMENT OF FOOTINGS.
7. AT LOCATIONS WHERE STRUCTURAL FILL IS REQUIRED, FILL SHALL BE PLACED IN 6" LIFTS & COMPACTED AT OPTIMUM MOISTURE CONTENT. REFER TO THE GEOTECHNICAL REPORT FOR DEPTH AND EXTENT OF THE STRUCTURAL FILL.

CONCRETE MASONRY:

1. SEE NOTES ON PRIMARY CODES AND SPECIFICATIONS.
2. CONCRETE MASONRY UNITS SHALL BE LOAD BEARING TYPE CONFORMING TO ASTM C-90 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI (NET AREA).
3. MORTAR SHALL CONFORM TO ASTM C-270 TYPE S.
4. PLAIN END TWO CELLED UNITS SHALL BE USED FOR BLOCKS THAT ARE TO HAVE CELLS REINFORCED AND FILLED. WEB SHELLS ADJACENT TO CELLS THAT ARE TO BE FILLED ARE TO BE BEDDED IN MORTAR.
5. FILL CELLS AS NOTED ON DRAWINGS WITH 3000 PSI GROUT, OR GROUT CONFORMING TO ASTM C-476, SPECIFICALLY DESIGNED FOR FILLING OF CELLS.
6. IN SPLICING VERTICAL BARS, LAP ENDS, PLACE IN CONTACT AND WIRETIE TOGETHER OR USE BAR POSITIONERS. LAP BARS SIDE BY SIDE IN THE PLANE OF THE WALL TO MAINTAIN PROPER COVER.
7. SEE PRIMARY CODES, SPECIFICATIONS AND DRAWINGS FOR GROUTING PROCEDURES.
8. INSTALLATION OF CONCRETE MASONRY SHALL BE COMPATIBLE WITH ALL APPLIED FINISHES SUCH AS STUCCO OR PAINT. DO NOT SPONGE WALLS WITHOUT PROPER CLEANING COMPATIBLE WITH FINISHES.
9. PROVIDE GALVANIZED WIRE TYPE HORIZONTAL JOINT REINFORCING AT 16" O.C. (MAX) AND AS INDICATED ON ARCHITECTURAL DRAWINGS. PROVIDE HOT DIP GALVANIZED HJR ON ALL EXTERIOR WALLS. IN ADDITION TO SCHEDULED OR DETAILED LINTEL AND SILL REINFORCING, PROVIDE TWO LAYERS OF HJR AT 8 INCHES ON CENTER ABOVE AND BELOW ALL LINTELS AND SILLS WHICH SPAN MORE THAN 12 INCHES. EXTEND ADDED HJR 24 INCHES BEYOND THE OPENING JAMBS EXCEPT AT WCJ.
10. MASONRY BOND BEAMS AND CONCRETE TIE BEAMS CAST ON MASONRY WALLS SHALL BE CONSTRUCTED SO AS TO KEY AND BOND INTO BLOCK CELLS. THE USE OF BUILDING PAPER OR SHEET PLASTIC TO CLOSE VOIDS BELOW BEAMS IS NOT ALLOWED DUE TO BREAKAGE OF MORTAR BOND.
11. SEE ARCHITECT'S DRAWINGS FOR THE EXTENT AND EXACT LOCATION OF MASONRY WALLS.
12. WALL CONTROL JOINTS (WCJ):
 - A. WALL CONTROL JOINTS SHALL BE PROVIDED IN ALL CONCRETE MASONRY CONSTRUCTION AT LOCATIONS INDICATED ON THE STRUCTURAL OR ARCHITECTURAL DRAWINGS BUT UNLESS NOTED OTHERWISE AT A SPACING NOT GREATER THAN 24' O.C.
 - B. HORIZONTAL JOINT REINFORCING SHALL BE INTERRUPTED EACH SIDE OF WALL CONTROL JOINTS.
 - C. WALL CONTROL JOINTS SHALL NOT BE PLACED OVER OPENINGS OR WITHIN AN OPENING JAMB WIDTH. SEE PLANS AND/OR JAMB REINFORCING SCHEDULE FOR MINIMUM JAMB WIDTHS.
 - D. SEE ARCHITECTURAL DRAWINGS FOR SEALAN REQUIREMENTS AT WALL CONTROL JOINTS.
 - E. SEE THESE DRAWINGS FOR ADDITIONAL REQUIREMENTS.
13. MASONRY WALLS SHALL BE BRACED EITHER BY OTHER INTERSECTING WALLS OR BY ANCHORAGE OR BRACING TO THE STRUCTURE ABOVE, OR TO ADJACENT WALLS, AS DETAILED ON THE STRUCTURAL DRAWINGS.
14. BLOCK LINTELS SHALL BE SPECIALLY FORMED U-SHAPED LINTEL OR LOW WEB LINTEL UNITS WITH REINFORCING BARS, OR PRECAST UNITS DESIGNED FOR THE WEIGHT OF MASONRY ABOVE AND OTHER APPLIED LOADS.
15. ALL MASONRY WALLS SHOWN ON THE STRUCTURAL DRAWINGS HAVE BEEN DESIGNED TO RESIST THE REQUIRED CODE VERTICAL AND LATERAL FORCES IN THE FINAL CONSTRUCTED CONFIGURATION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADEQUATELY BRACE THE WALLS

FOR VERTICAL AND LATERAL LOADS THAT COULD POSSIBLY BE APPLIED PRIOR TO COMPLETION OF LATERAL SUPPORT BY CONNECTIONS AT FLOORS OR ROOF FRAMING LEVELS.

16. QUALITY ASSURANCE: ALL REINFORCED MASONRY SHALL BE TESTED/INSPECTED IN CONFORMANCE WITH THE REFERENCED ACI 530/ASCE 5/TMS 402 CODES AND THE PROJECT SPECIFICATIONS. QUALITY ASSURANCES SHALL MEET THE REQUIREMENTS OF SECTION 1.6, TABLE 4 LEVEL B, UNLESS MORE RESTRICTIVE REQUIREMENTS ARE SPECIFIED ELSEWHERE IN THESE DOCUMENTS.

17. TYPICAL SCHEDULED VERTICAL WALL REINFORCING SIZE AND SPACING SHALL ALSO BE CONTINUED ABOVE AND BELOW ALL OPENINGS.

MASONRY & STONE VENEER

1. MASONRY VENEER ABOVE OPENINGS SHALL BE SUPPORTED BY A STEEL LINTEL. THE STEEL LINTEL SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE MASONRY VENEER ABOVE.

2. LINTELS SHALL HAVE 1" OF BEARING FOR EVERY 1'-0" OF SPAN. BEARING LENGTH SHALL NOT BE LESS THAN 4".

3. VENEER SHALL BE ANCHORED TO THE SUPPORTING WALL FRAMING WITH HOT-DIPPED GALVANIZED HOHMANN & BARNARD DW-10HS METAL ANCHOR TIES. EACH TIE SHALL NOT BE SPACED MORE THAN 16" O.C. VERTICALLY AND HORIZONTALLY.

4. ENGAGE #9 WIRE WITH ANCHOR TIES AT THE CENTER OF VENEER AND EMBEDDED IN THE MORTAR JOINT.

SPECIAL INSPECTIONS (IBC CHAPTER 17, ACI 318)

1. ALL SPECIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT IBC, LOCAL AMENDMENTS, AND/OR ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK PERFORMED.

2. THE OWNER OR GENERAL CONTRACTOR SHALL EMPLOY APPROVED AGENCIES TO PERFORM SPECIAL INSPECTIONS DURING CONSTRUCTION WHERE SPECIAL INSPECTIONS ARE REQUIRED AT THEIR EXPENSE.

3. THE SPECIAL INSPECTOR SHALL PROVIDE WRITTEN DOCUMENTATION TO THE BUILDING OFFICIAL AND THE ENGINEER OF RECORD DEMONSTRATING HIS/HER COMPETENCY AND APPROVAL FOR THE INSPECTION.

4. ITEMS THAT MAY REQUIRE SPECIAL INSPECTION:

- EXISTING SOIL CONDITIONS, FILL PLACEMENT AND LOAD BEARING REQUIREMENTS
- WOOD SHEAR WALLS, SHEAR PANELS AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING COMPONENTS FOR LATERAL FORCE RESISTANT SYSTEM, WHERE THE FASTENER SPACING OF THE SHEATHING IS 4" O.C. OR LESS. THIS IS NOT REQUIRED WHENEVER WIND LOADS ON THE STRUCTURE GOVERN LATERAL DESIGN AND THE WIND SPEEDS ARE LESS THAN 120 MPH WITH EXPOSURE CATEGORY B.
- METAL PLATE CONNECTED WOOD TRUSSES WITH SPANS GREATER THAN 60'-0" OR GREATER IN LENGTH.
- STRUCTURAL STEEL IN ACCORDANCE WITH AISC 360. · POST INSTALLED ADHESIVE ANCHORS.

14-058-0006
NICHOLAS
HUGH BOWLES

14-058-0008
DANIEL &
KESHIA TANNER

14-059-0002
TARBETLAND
HOLDINGS LLC

14-005-0023
SCOTT B & SYNDEE
M TRS CHRISTENSEN

14-005-0004
BRACKEN & STEPHANIE
CHRISTENSEN

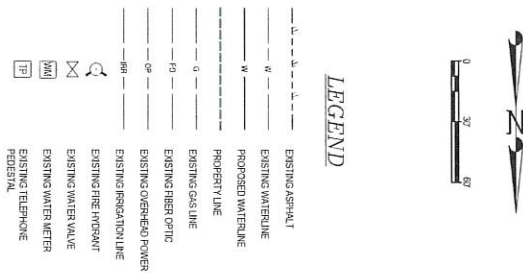
14-001-0004
TARBETLAND
HOLDINGS LLC

W 800 N

N 2400 W



Daniel Tanner 819 N. 2400 W A-10



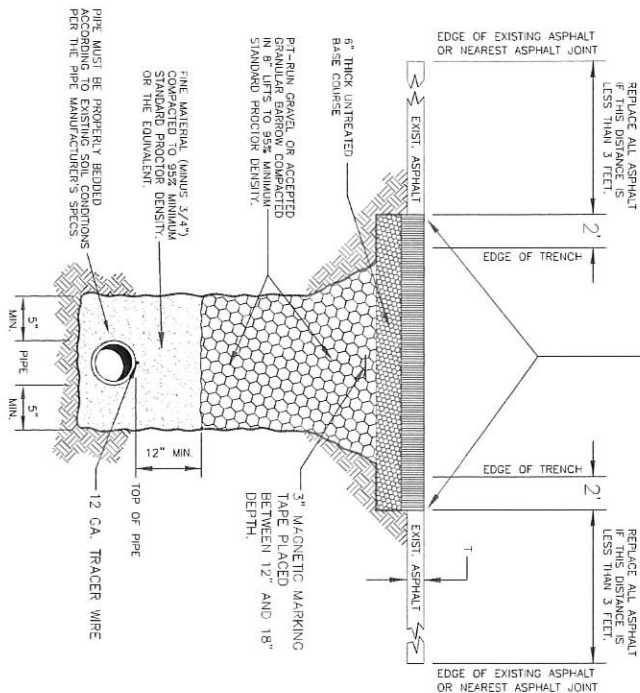
*NOTE: DIMENSIONS TO BE VERIFIED IN FIELD

NEW WATERLINE PLAN VIEW

DATE : JUNE 2021
ENGINEERED BY:
BRADEN CHAMBERLAIN

TANNER
Culinary water
819 N. 2400 W
A-10

SAW CUT EXISTING ASPHALT (GREAT REQUIRED).
PRIME & SEAL EDGE WITH JACK OIL.
NEW ASPHALT SURFACE - 1+1" (4" MIN.)
SLOPED AND COMPACTED SMOOTH & FLUSH
WITH NO BUMPS OR DIPs.



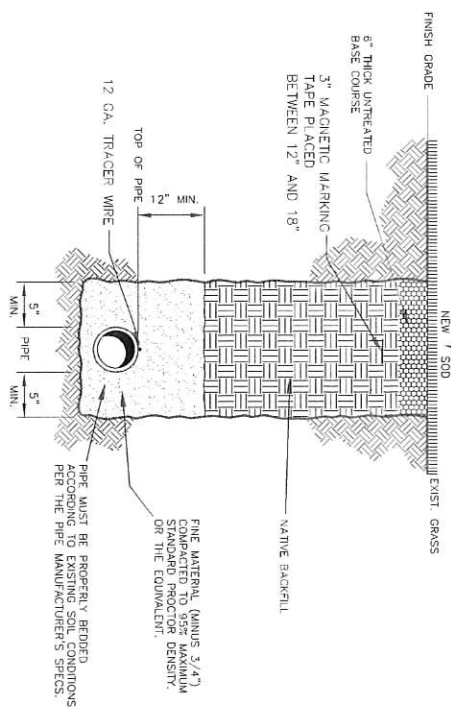
NOTES

1. ALL NEW ASPHALT SHALL BE INSTALLED FLUSH WITH THE EXISTING ASPHALT SURFACE WITH NO MORE THAN 1/2" VARIANCE FROM A STRAIGHT EDGE LAID ACROSS THE TRENCH CUT. IF THE NEW ASPHALT BULGES OR SETTLES MORE THAN THIS TOLERANCE ONE YEAR AFTER INSTALLATION, THE DEVELOPER WILL REMOVE THE ASPHALT AND REPAVE THE CUT AREA TO THE ABOVE TOLERANCE. IF THE ASPHALT PLANTS ARE COVERED FOR THE SEASON, USE COLD MIX ASPHALT OR TACKABLE FILL AND REPAVE IT WITH HOT MIX WITHIN 90 DAYS AFTER THE PLANT'S DELIVERY.
2. TYPE "A" TRENCHES REQUIRE COMPACTION TESTS APPROVED BY THE CITY ENGINEER. THIS APPROVAL DOES NOT RELIEVE THE CONTRACTOR FROM THE REQUIREMENTS IN NOTE 1. CONTRACTOR WILL GIVE THE CITY ENGINEER WRITTEN CERTIFICATION OF PROPER COMPACTION FROM A LICENSED SOILS TESTING ENGINEER.
3. ALL SPOIL MATERIAL EXCAVATED FROM TRENCHES SHOULD BE EXPORTED FROM CITY PROPERTY. ALL TRENCHING MUST COMPLY WITH FEDERAL OSHA REQUIREMENTS.

DETAIL #1 TRENCH DETAIL THROUGH ASPHALT

ALL SPOIL MATERIAL EXCAVATED FROM TRENCHES
SHOULD BE EXPORTED FROM CITY PROPERTY.
ALL TRENCHING MUST COMPLY WITH FEDERAL
OSHA REQUIREMENTS.

RESTORE FINISH SURFACE OF ALL TRENCHES
ON CITY PROPERTY TO ORIGINAL OR BETTER CONDITION.



DETAIL #2 TRENCH DETAIL OUT OF ASPHALT

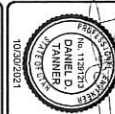
APPROVED

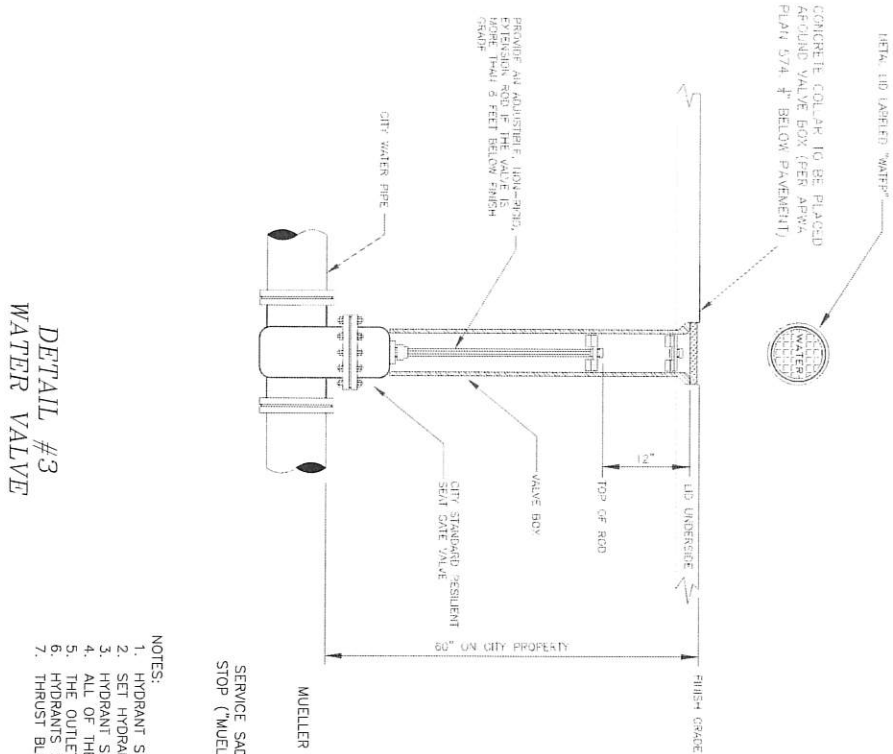
By: Michael S. Brown, PE #11173 Jan. 10, 2021

DATE: JAN 2021
ENGINEERED BY:
MICHAEL S. BROWN, PE

PARCEL 14-058-0008 PROPOSED 8" PIPELINE

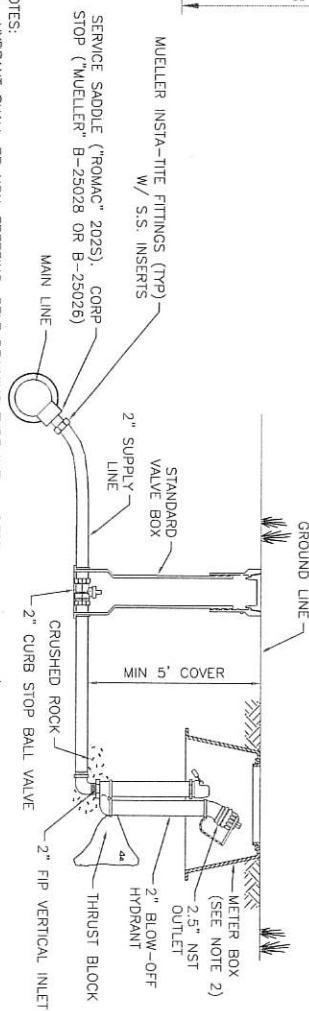
DETAILS SHEET #1





DETAIL #3
WATER VALVE

- NOTES:
1. HYDRANT SHALL BE NON-FREEZING, SELF DRAINING TYPE WITH A DEPTH OF BURY OF 5'.
 2. SET HYDRANT UNDERGROUND IN A METER BOX WITH MINIMUM OPENING OF 10".
 3. HYDRANT SHALL BE FURNISHED WITH A 2" FIP INLET, A NON-TURNING OPERATING ROD, AND SHALL OPEN TO THE LEFT.
 4. ALL OF THE WORKING PARTS SHALL BE OF BRONZE-TO-BRONZE DESIGN, AND BE SERVICABLE FROM ABOVE GRADE WITH NO DIGGING.
 5. THE OUTLET SHALL BE BRONZE AND BE 2-1/2" NST.
 6. HYDRANTS SHALL BE LOCKABLE TO PREVENT UNAUTHORIZED USE AS MANUFACTURED BY KUPFERLE FOUNDRY CO., ST. LOUIS, MO. OR APPROVED EQUAL.
 7. THRUST BLOCK SHALL NOT PLUG WEEP HOLES.



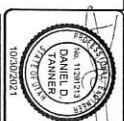
DETAIL #4
2" BLOW-OFF HYDRANT

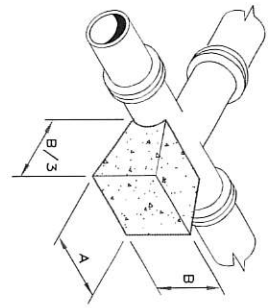
APPROVED
By Aurora Simpson, PE #11713, Nov. 04, 2017

DATE: June 2020
ENGINEERED BY:
BRADY CHAMBERLAIN

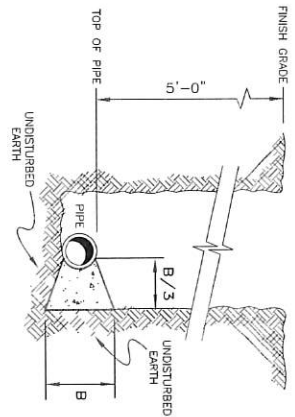
PARCEL 14-058-0008 PROPOSED 8" PIPELINE

DETAIL SHEET #2

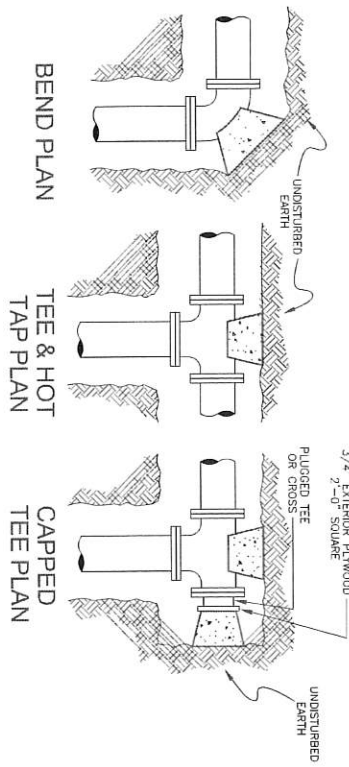




BLOCK DIMENSIONS
ISOMETRIC VIEW



VERTICAL SECTION



THRUST BLOCKING DIMENSIONS									
FITTING SIZES	TEES & PLUGS		90° BENDS		45° BENDS & Y's		22-1/2° BENDS		
	A	B	A	B	A	B	A	B	
6"	2'-0"	0'-9"	2'-0"	1'-0"	1'-3"	0'-9"	1'-0"	0'-9"	
8"	2'-0"	1'-0"	2'-0"	1'-3"	1'-6"	1'-0"	1'-0"	1'-0"	
10"	2'-6"	1'-3"	2'-9"	1'-6"	1'-9"	1'-3"	1'-5"	1'-0"	
12"	2'-3"	1'-9"	3'-3"	1'-9"	2'-0"	1'-6"	1'-6"	1'-3"	
16"	3'-6"	2'-0"	4'-3"	2'-3"	3'-0"	1'-9"	1'-9"	1'-6"	

DETAIL #5
WATER VALVE

APPROVED
By: Matthew Simpson, P.E. at 15.12 and New York, NY

DATE: JUNE 2021
ENGINEERED BY:
BRODIE CHAMBERLAIN

PARCEL 14-058-0008 PROPOSED 8" PIPELINE

DETAIL SHEET #3





Public Works

Thursday, November 4, 2021

Owner:	Daniel Tanner	Address:	819 N. 2400 W.
Builder:		Parcel #:	14-058-0008

Done	Services	Yes/No	Description
	Is sewer available?	No	
	Location of sewer line?		
Notes:			
	Is water available?	No	
	Location of water line?	East side	2"
Notes:	East side of the road. Too small		
	Fire hydrant location?		
Notes:	150' South of home		
	Public Works Director:		1/4/2021

LEWISTON CITY
DEVELOPMENT AGREEMENT

THIS AGREEMENT, entered into this _____ day of _____, 20____, between _____, hereinafter referred to as “Developer” and LEWISTON City, here in after referred to as “City”, and

WHEREAS, Development Name, hereinafter referred to as “the Development” has been approved for construction; and

WHEREAS, plans for the Development are on file with LEWISTON City and are incorporated by reference herein; and

WHEREAS, it is necessary for the interest of the public welfare that improvements made be constructed in accordance with the specifications set forth in said plan and as provided by LEWISTON City ordinances and Design Standards; and

WHEREAS, the Developer desires to record a final plat of the Development in order to obtain building permits and construct structures after the necessary infrastructure is installed, approved an accepted.

NOW THEREFORE, to induce LEWISTON City to approve said plans and allow use of city-owned utilities and access and/or other improvements, the Developer does hereby unconditionally promise and agree to and with LEWISTON City as follows:

1. Stormwater swales shall be maintained to LEWISTON City standards.
2. 33 foot right-of-way dedication from the center of 2400 West.
3. Recording of a 10 foot public utility easement across the frontage of the property along 2400 West.
4. Installation of the 8 in water main according to the approved drawings and pressure and dissection standard practices.
5. This Agreement shall be recorded and run with the land and continue and be binding on all successors-in-interest, partners, agents, officers, trustees, attorneys, insurers, assigns, representatives, heirs, executors, and administrators of each of the parties.

IN WITNESS WHEREOF, the parties hereto have set their hands the day and year first above written.

LEWISTON CITY

DEVELOPER

By _____

By _____

State of Utah)
 : ss
County of Cache)

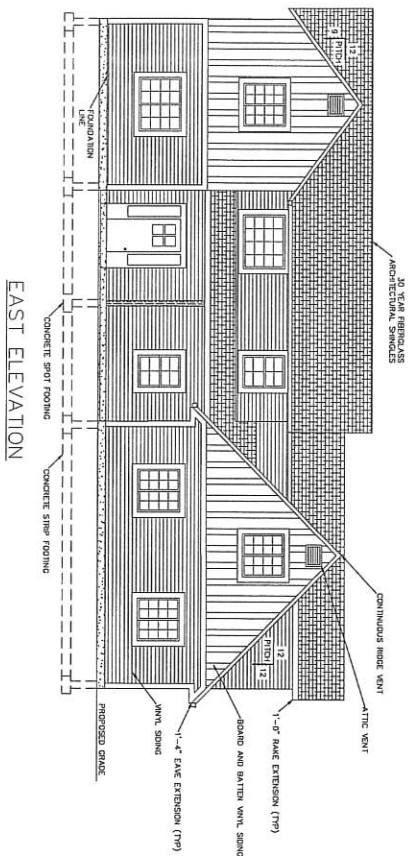
On this ____ day of _____, 2021, personally appeared before me **Name of Person, City Manager**, the signer of the within instrument, who duly acknowledged to me that he executed the same as **City Manager** for LEWISTON City Corporation.

Notary Public

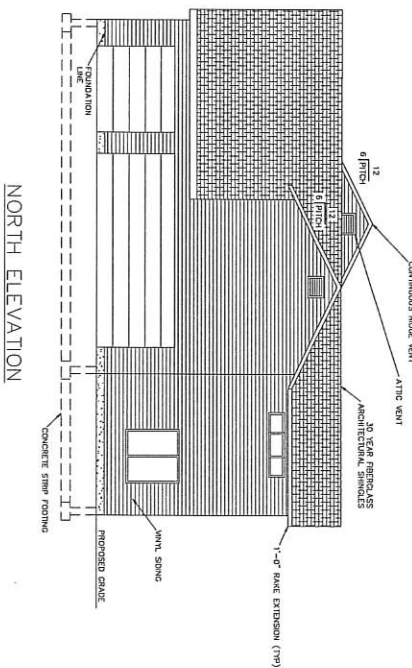
STATE OF UTAH)
 : ss
County of Cache)

On the ____ day of _____, 2021, personally appeared before me, Developer, the signer of the foregoing instrument, who duly acknowledged to me that they executed the same.

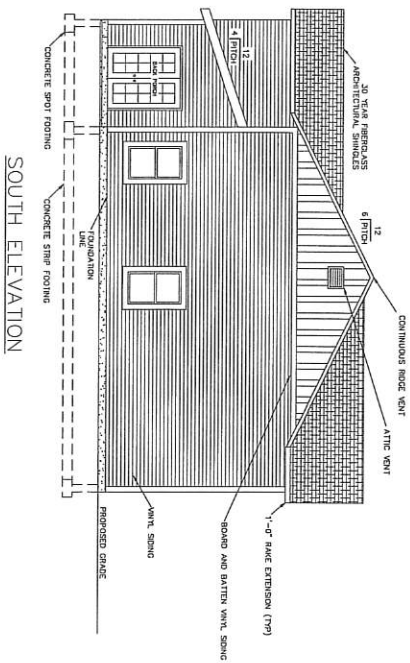
Notary Public



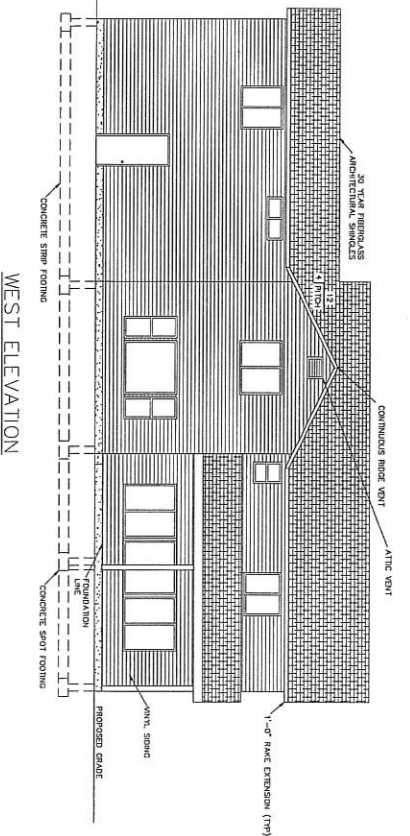
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

A5

SHEET NO. 6

PREPARED FOR:

TANNER RESIDENCE

819 NORTH 2400 WEST
LEWISTON, UTAH

LOCATION

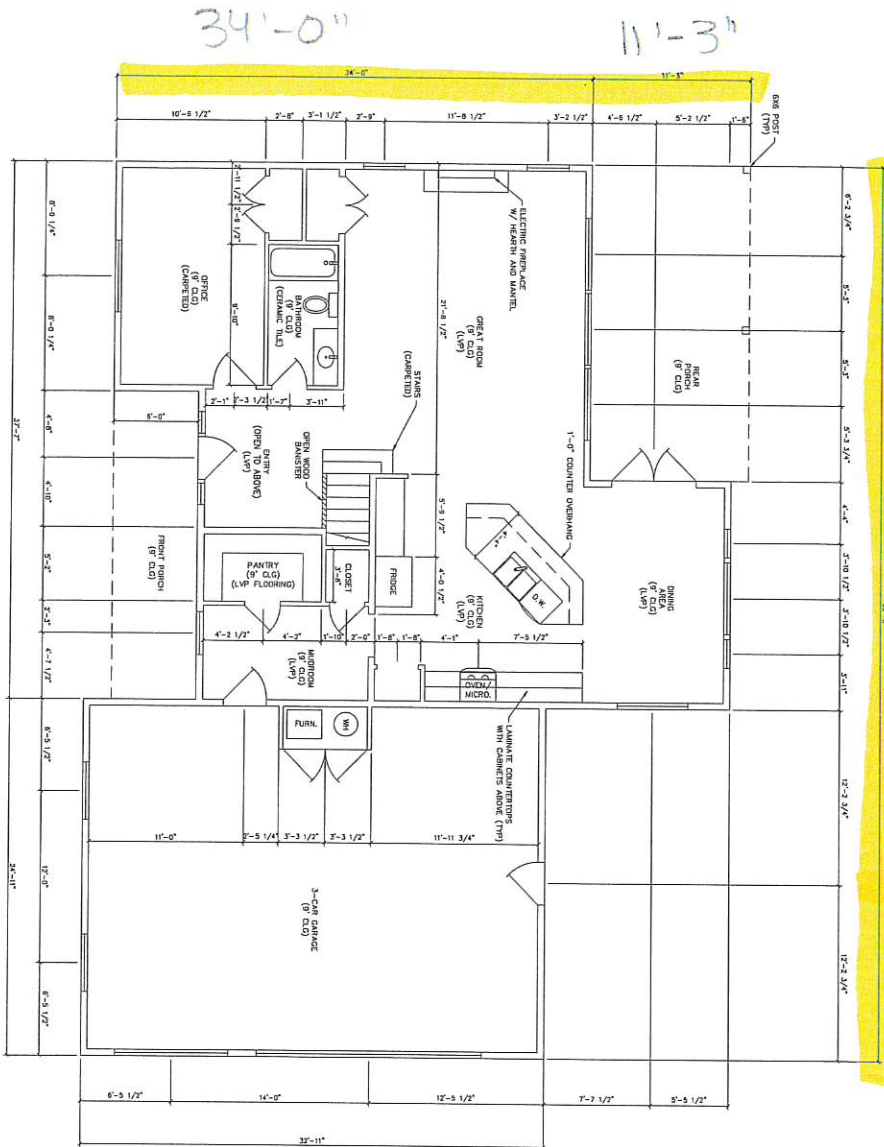
OCTOBER 2021
SCALE: 1/4" = 1'-0"

Tanner
819 N. 2400 W

Elevation
A-1D

Tanner
819 N. 2400 W.
footprint
A-10

MAIN FLOOR OVERALL DIMENSION PLAN



MINI-sub

14-058-0006
NICHOLAS
HUGH BOWLES

14-059-0002
TARBETLAND
HOLDINGS LLC

14-058-0008
DANIEL &
KESHIA TANNER

N 2400 W

W 800 N

14-005-0004
BRACKEN & STEPHANIE
CHRISTENSEN

14-005-0023
SCOTT B. & SYNDIE
MTRS CHRISTENSEN

NORTH

Date: 11/4/2021

Bowles 850 N. 2400 W A-10

Proposed Subdivision Application

1. Property Owner: Name: Nick + Taylor Bowles
Address 5238 S 1400 W
Preston ID 83263
Phone 208 851 8877
Email nhbowles@gmail.com
2. Developer Name: same
Address _____
Phone _____
Email _____
3. Engineer/Surveyor Name: Brian Allen
Address _____
Phone 208-805 8465
Email bwire.allen@gmail.com
4. Property Location 805 N 2400 W Lewiston UT 84320
5. Acres 2.5 Zoning AG
6. Property Tax I.D. 14-058-0006
7. Names of Adjoining Property Owners Daniel Tanner

8. Number of Phases in which Land will be Developed 1
9. Brief Description of the Proposed Subdivision I Thought This was
a lot split and I was done but I have
been informed I need to make a subdivision
for the second lot. This is the only lot
I am planning to sell

10. Provide a Plot Plan minimum size 11 x 17

11. List any matters you wish to have considered by the Planning & Zoning Commission at this Time

12. City Fees _____

Staff Comments:

23 NORTH STATE STREET
PRESTON, IDAHO 83263
(208)852-2839
BRIAN J. ALLEN, PLS

RECORDING INFORMATION	
REVISIONS:	
1)	
2)	
DRAWING NAME:	2007-2-LONG
FIELD WORK BY:	BIA
OFFICE WORK BY:	BIA
FIELD BOOK:	N/A

[illegible][illegible][illegible][illegible]

SURVEYOR'S CERTIFICATE



LINE LEGEND

————	BOUNDARY LINE
———	SECTION LINE
- - - - -	CONTIGUOUS OF ACCESS EASEMENT
· · · · ·	FENCE LINE

SEALY QUARTER CORNER
SECTION 35
TND 24" RETAIN & CO
P.L. 0567360

SCOTT CHRISTENSEN
FAMILY TRUST
BK. 1691, PG. 500 ENTRY # 1145286
BK. 2034, PG. 1637 ENTRY # 1202447

SYMBOL LEGEND

- SET 5/8" REBAR & CAP
P.LS 5267200
- FOUND 3/4" REBAR & CAP
P.LS 5267300 (UNLESS NOTED)
- ◻ MONUMENT NOT SET
OR FOUND



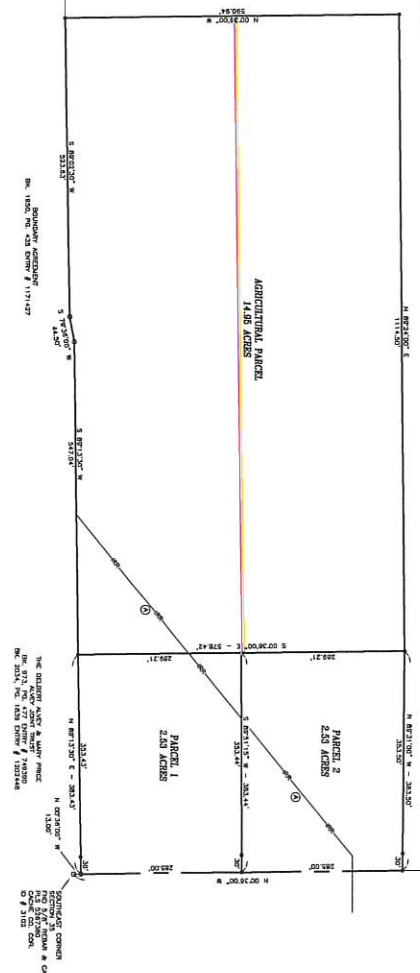
GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.

APPROXIMATE LOCATION OF CLUB RIVER IRRIGATION UNDERGROUND PIPELINE. SEE RECEIPTED DISTRICT DOCUMENT DWT 1147454, DE 1888, PG 303, FOR EASEMENT MATH, DISPOSITION, RESTRICTIONS, ETC. ACTUAL LOCATION OF PIPELINE NOT SHOWN DURING THIS SURVEY. FIELD WORKY ACTUAL LOCATION BEFORE EXCAVATION OR

[illegible]

N 0026 00 W REC MOS 2013-02M





Allen Land Surveying^{PC}

The Boundary Location Expert

23 N. State • Preston, ID • 83263

Brian J. Allen

Professional Land Surveyor

Office: 208-852-2839

Cell: 208-705-8465

bwireallen@gmail.com

LEGAL DESCRIPTION

FOR

NICHOLAS BOWLES

Parcel 2A (Agricultural Parcel)

A parcel of land located in the Southeast Quarter of Section 35, Township 15 North, Range 1 West, of the Salt Lake Base and Meridian, Cache County, Utah, and more particularly described as follows:

Commencing at the Southeast corner of said Section 35, from which the Northeast corner of Section 35 bears North 00° 36' 00" West;

Thence North 00° 36' 00" West 13.00 feet along the East boundary of Section 35 to 5/8" rebar and cap labeled "A.L.S., PLS 5267360" at the Easterly extension of a fence line;

Thence South 89° 13' 30" West 383.43 feet to a 5/8" rebar and cap;

Thence North 00° 36' 00" West 289.21 feet to a 5/8" rebar and cap, the Point of Beginning.

Thence South 89° 06' 09" West 1114.52 feet to a 5/8" rebar and cap;

Thence North 00° 36' 00" West 295.00 feet to a 5/8" rebar and cap;

Thence North 89° 24' 00" East 1114.50 feet to a 5/8" rebar and cap;

Thence South 00° 36' 00" East 289.21 feet to the Point of Beginning.

Containing approximately 7.47 acres.



AGRICULTURAL LAND PARCEL DECLARATION

(For use with Agriculture Zone (A) Single-Family Dwelling
- One (1) Acre Minimum Lot Size Conditional Use)

SEPARATELY DESCRIBED LOT RETAINED BY DECLARANT

Declaration of Covenants, Conditions and Restrictions

This Declaration of Covenants, Conditions and Restrictions is made this 7th day of May, 2021, by Taylor Panter Bowles and Nicholas Hugh Bowles, hereafter called the Declarant, and applies to the following described property (Add legal description.) exhibit A

Ent 1286690 Bk 2253 Pg 462
Date: 14-May-2021 01:36 PM Fee \$40.00
Cache County, UT
Devron Andersen, Rec. - Filed By CC
For TAYLOR PANTER BOWLES

RECITALS:

1. Declarant owns clear title to the above-described property consisting of 10 acres (not less than 10 acres), and now desires to separately describe and retain a portion of the property (not less than one (1) acre) for the construction of a single-family dwelling on it.
2. The above-described property, and/or the not less than one-acre parcel described below, may be pledged or mortgaged to obtain construction and/or permanent financing.
3. Lewiston City Subdivision Regulations generally require that a division of property for non-agricultural purposes shall be accomplished by the filing or recording of an approved subdivision plat, subject to certain exceptions.
4. Lewiston City Zoning Regulations generally require a minimum lot size of ten (10) acres and a minimum lot width of 250 feet in the A-10 District of the Agricultural Zone (§10-7A-5), for a single-family dwelling, with provision for a one (1) acre minimum size lot as a Conditional Use (§10-7A-3), for a single-family dwelling, subject to compliance with certain restrictions, including the continued density of not more than one (1) single-family dwelling per ten (10) acres in the Agriculture Zone.
5. Said one (1) acre minimum size lot may be permitted with not less than 180 feet of frontage, provided the otherwise required minimum frontage of 250 feet is designated as provided in said Zoning Regulations.

and Subdivision Ordinances must be carefully read and understood. They are the controlling documents and law relating to the Zoning and Subdivision processes within the City.

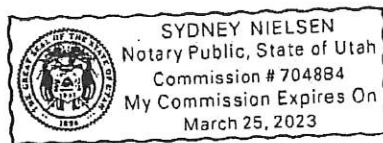
IN WITNESS WHEREOF, the parties have executed the foregoing as of the date first written above.

Taylor Porter Bowles
Declarant

Rich D. Bahr
Declarant

STATE OF UTAH)
: ss.
County of Cache)

On the 1st day of MAY, 2021, personally appeared before me
Nicholas H. Bowles and Taylor P. Bowles, the signers
of the within instrument, who duly acknowledged to me that they executed the same.



Sydney Nielsen
NOTARY PUBLIC

6. If permitted, the one (1) acre minimum size lot and the remaining nine (9) acres, or more, shall be restricted from use for more than one (1) residential dwelling as also stated in said City Zoning Regulations, and in the event the permitted lot has 180 feet of frontage, or any other amount less than 250 feet of frontage, the remaining 70 feet of frontage, or other amount necessary to make a total of 250 feet of frontage equivalent for said lot, must be a part of and subject to the restrictions contained in this land declaration and may not be used for residential buildings, nor be part of any other lot on which a residential building of any type is constructed.

7. This land declaration shall to be recorded in the Cache County Recorder's Office at the expense of the Declarant.

8. The permitted one (1) acre minimum size lot shall have a metes and bounds description and be reviewed by the City Planning and Zoning Commission, and said description must be written by a Title Company or prepared by a registered land surveyor.

9. After the legal description for such one (1) acre minimum size lot is approved, it shall be recorded in the name of the Declarant at the Cache County Recorder's Office and be subject to the terms and provisions of this Declaration.

10. The legal description for the one (1) acre minimum size lot is as follows: (Add legal description.)

Exhibit B

NOW, THEREFORE, Declarant makes this Declaration of Covenants, Conditions and Restrictions, agrees to be bound hereby, and acknowledges and agrees that the terms and provisions of this Declaration and Lewiston City Ordinances shall be binding upon and shall run with the title to the real property first described above, including the one (1) acre minimum size lot last described above.

THIS DECLARATION of rights, obligations, conditions and restrictions shall run with said real property in perpetuity unless canceled or modified by the Lewiston City Council or such other governing body as might have subdivision, zoning, and/or land use jurisdiction over said real property, with said cancellation being recorded in the Office of the Cache County, Utah Recorder. The undersigned and their successors, heirs and assignees acknowledge and agree that they are bound by the terms and provisions of this Declaration.

Note: This Declaration is not intended to be a comprehensive statement of City law. The Lewiston City Zoning



Allen Land Surveying^{PC}

The Boundary Location Expert

23 N. State • Preston, ID • 83263

Brian J. Allen
Professional Land Surveyor
Office: 208-852-2839
Cell: 208-705-8465
bwireallen@gmail.com

Exhibit A

LEGAL DESCRIPTION

FOR

NICHOLAS BOWLES

North 10 Acre Parcel

A parcel of land located in the Southeast Quarter of Section 35, Township 15 North, Range 1 West, of the Salt Lake Base and Meridian, Cache County, Utah, and more particularly described as follows:

Commencing at the Southeast corner of said Section 35, from which the Northeast corner of Section 35 bears North 00° 36' 00" West;
Thence North 00° 36' 00" West 13.00 feet along the East boundary of Section 35 to 5/8" rebar and cap labeled "A.L.S., PLS 5267360" at the Easterly extension of a fence line;
Thence North 00° 36' 00" West 285.00 feet to a 5/8" rebar and cap, the Point of Beginning.
Thence South 89° 51' 15" West 383.44 feet to a 5/8" rebar and cap;
Thence South 89° 06' 09" West 1114.52 feet to a 5/8" rebar and cap;
Thence North 00° 36' 00" West 295.00 feet to a 5/8" rebar and cap;
Thence North 89° 24' 00" East 1114.50 feet to a 5/8" rebar and cap;
Thence South 89° 31' 00" East 383.50 feet to a 5/8" rebar and cap at the East boundary of said Section 35;
Thence South 00° 36' 00" East 285.00 feet along said East boundary to the Point of Beginning.
Containing approximately 10.00 acres.





Allen Land Surveying^{PC}

The Boundary Location Expert

23 N. State • Preston, ID • 83263

Brian J. Allen
Professional Land Surveyor
Office: 208-852-2839
Cell: 208-705-8465
bwireallen@gmail.com

exhibit B

LEGAL DESCRIPTION

FOR

NICHOLAS BOWLES

Parcel 2 (Residential Parcel)

A parcel of land located in the Southeast Quarter of Section 35, Township 15 North, Range 1 West, of the Salt Lake Base and Meridian, Cache County, Utah, and more particularly described as follows:

Commencing at the Southeast corner of said Section 35, from which the Northeast corner of Section 35 bears North 00° 36' 00" West;
Thence North 00° 36' 00" West 13.00 feet along the East boundary of Section 35 to 5/8" rebar and cap labeled "A.L.S., PLS 5267360" at the Easterly extension of a fence line;
Thence North 00° 36' 00" West 285.00 feet to a 5/8" rebar and cap, the Point of Beginning.
Thence North 00° 36' 00" West 285.00 feet to a 5/8" rebar and cap;
Thence North 89° 31' 00" West 383.50 feet to a 5/8" rebar and cap;
Thence South 00° 36' 00" East 289.21 feet to a 5/8" rebar and cap;
Thence North 89° 51' 15" East 383.44 feet to the Point of Beginning.
Containing approximately 2.53 acres.

Err 1286690 Bk 2253 Pg 466



property that should also be depicted as they were on the preliminary plat. The City should ensure this information is depicted on the Final Plat before approval is given.

3. Lewiston City Code § 11-3-4(B)(2) requires the Final Plat to contain the “endorsement . . . by every person having a security interest in the subdivision property that they are subordinating their liens” In this case, the Title Report indicates there is a trust deed in favor of Cache Valley Bank on title. Thus, the City should ensure that Cache Valley Bank signs the Final Plat thereby subordinating its interest to the easements and dedications set forth on the Plat. Another acceptable method of approaching this issue, and one that is more common, is to have the developer provide a partial release of the trust deed from the Bank that can be recorded contemporaneously with the Plat. The City should ensure either one of these options is done before approving the Plat.

4. Lewiston City Code § 11-3-4(D) requires that all signature blocks are signed before recording the Plat. The signature block for the attorney indicates that we have reviewed guarantee documents for the subdivision, but we have not. If there are financial guarantee documents for this subdivision then they should be sent to us for review. If there are no financial guarantee documents for this subdivision, then the attorney signature block should simply read as follows: “Approved as to form this ____ day of November, 2021” and then provide a place for signature. The City should ensure change is made before approving the Plat.

5. Lewiston City Code § 11-3-3(C)(14)¹ requires that all fence lines be depicted on the Plat. The City should determine if this element should be included on the Final Plat before approval.

6. Lewiston City Code § 11-3-3(F) requires a “tax clearance from the Cache County Treasurer indicating that all taxes, interest and penalties owing for the property have been paid.” We did not see that in the application documents.

7. Lewiston City Code § 11-3-3(C)(22) requires there be an “indication of the use for all proposed lots” on the subdivision. We did not see this information on the plat. The City should determine if this element should be included on the Final Plat before approval.

8. Lewiston City Code § 11-3-3(C)(27) requires the plat to depict a “typical street cross section between curb and gutter and sidewalk and tentative street grades.” We did not see this information on the plat. The City should determine if this element should be included on the Final Plat before approval.

9. Lewiston City Code § 11-3-3(C)(28) requires the plat show “a tentative plan or method by which the subdivider proposes to handle stormwater drainage for the subdivision.” We did not see this information on the Plat. The City should determine if this element should be included on the Final Plat before approval.

The City should ensure these items are resolved prior to approving the plat for recording, , unless the City Council waives any of the requirements as indicated above in footnote 1.

¹ The requirements of § 11-3-3 are incorporated into the final plat requirements via § 11-3-2(A).

OLSON & HOGGAN, LLC

ATTORNEYS AT LAW

L. BRENT HOGGAN
MILES P. JENSEN
JAMES C. JENKINS
KEVIN J. FIFE*
JEFFERY B. ADAIR**
KELLY J. SMITH
JEREMY S. RAYMOND
SETH J. TAIT*
JACOB A. WATTERSON
BRADLEY N. MUMFORD

CHARLES P. OLSON (1916-1975)

*also licensed in Idaho
**also licensed in Nevada

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TOLL FREE (866) 752-1551
TELEFAX (435) 752-2295

TREMONTON OFFICE:
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P.O. BOX 115
TREMONTON, UTAH 84337
TELEPHONE (435) 257-3885
TELEFAX (435) 257-0365

E-MAIL oh@oh-pc.com
www.oh-pc.com

November 9, 2021

Via Email to

Lewiston City
Attn: Stephanie Davis
29 South Main
Lewiston, Utah 84320
sdavis@lewiston-ut.org

**Re: North Country Estates Subdivision
File No. N-600.054
Tax Identification No.: 09-022-0053**

Dear Stephanie:

We have reviewed the submitted Final Plat for the above captioned subdivision. During our review, we noted the following issues which we wish to bring to your attention:

1. Utah Code Ann. § 10-9a-603(b) requires that “all of the parcels of ground divided” must be depicted on the Plat. In other words, state law requires that even remainder parcels be depicted on the Final Plat because they are part of the subdivision. This is important because it provides clarity on the record as to the status of any remainder parcels after the recording of the Plat. In this case, the preliminary plat correctly displayed the remainder of Parcel No. 09-022-0053 that will be left following the division of the seven lots of the subdivision. However, the Final Plat does not appear to display this information, and it is required by state law. The City should ensure the Final Plat depicts all property being subdivided, including the remainder parcel.

2. Utah Code § 10-9a-603(d)-(e) requires that all easements for utilities, including canals or irrigation ditches, are depicted on the Plat. Here, the title report we have on file for this subdivision indicates there are easements of record that should be depicted on the Final Plat. Additionally, we are aware of the existence of one or two irrigation ditches on the subdivision

Additionally, the City should be aware that we have not reviewed or verified a development plan or agreement or the required improvement security documents (bond, letters of credit, etc.) if any were required by the Planning Commission or City Council. If you have any questions, please advise. Thank you.

Sincerely,

OLSON & HOGGAN, LLC

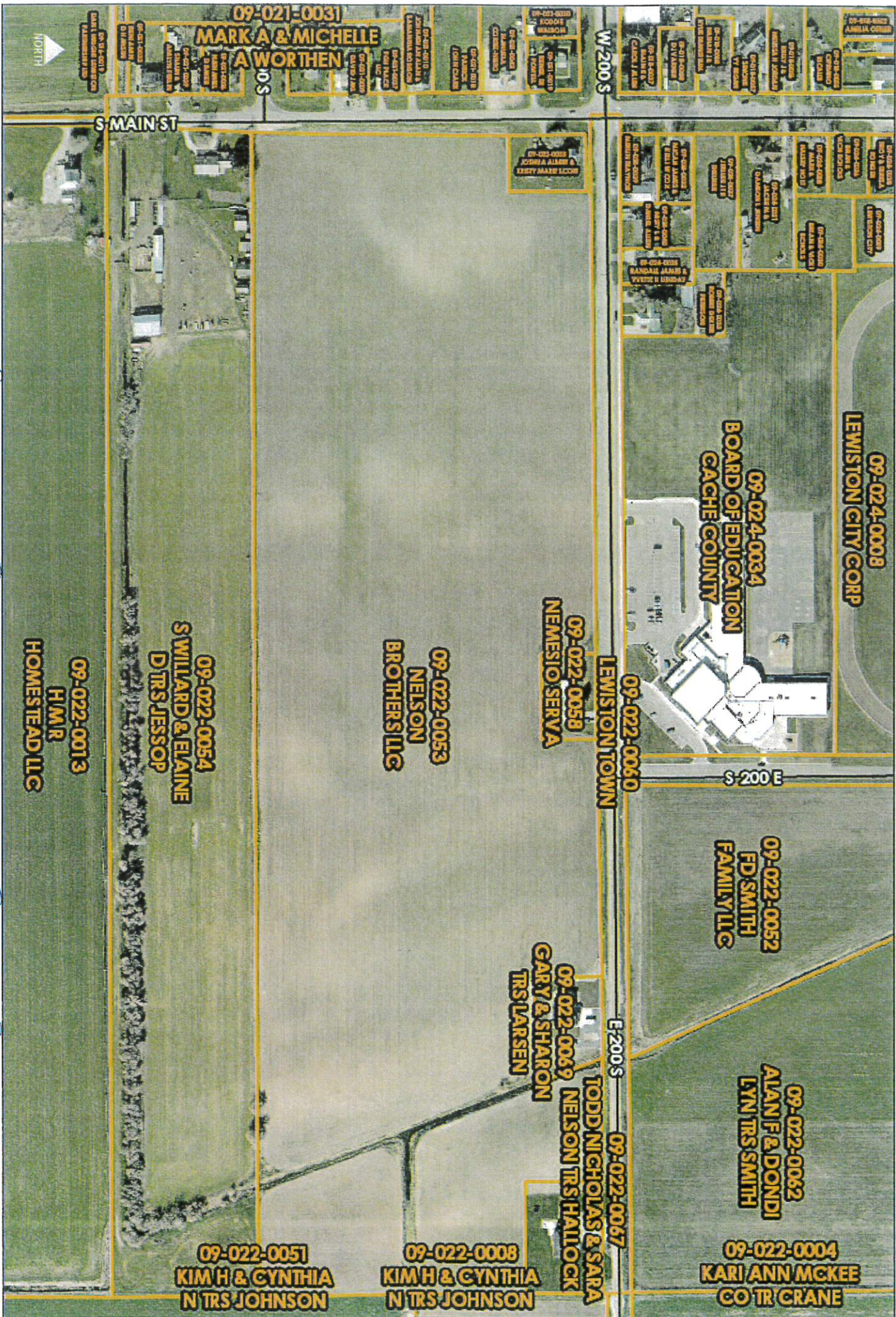
/s/ Seth J. Tait

SJT/jf

J:\sjt\Cities\Lewiston\04 Subdivisions\North Country Estates Subdivision\Final Plat Review\Final Plat Review.NorthCountryEstates.docx

Date: 11/4/2021

North Country Estates ~ 200 So. R-1-12



Across from School

11/8/2021

1. APPROVAL OF THE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A NOTICE TO PROCEED IS ISSUED BY THE CITY ENGINEER.
2. THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF LOS ANGELES BEFORE ANY WORK IS PERFORMED. THE CITY ENGINEER, AT HIS DISCRETION, MAY REQUIRE THE CONTRACTOR TO OBTAIN A PERMIT FROM THE CITY OF LOS ANGELES BEFORE ANY WORK IS PERFORMED. THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF LOS ANGELES BEFORE ANY WORK IS PERFORMED. THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF LOS ANGELES BEFORE ANY WORK IS PERFORMED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
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7. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY ENGINEER'S SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
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- MICHEL, ANDRÉE
CIVIL SOLUTIONS GROUP, INC.
PROVIDENCE, UT 84202
E: MVA.21133702
- LAND SENIOR
DENNIS CALINE & P.S.
CIVIL SOLUTIONS GROUP, INC.
PROVIDENCE, UT 84202
E: MVA.21133702
- DEANUS, GREG
DART DESIGN GROUP, LLC
C/O BROOKING HENRY & DANI SMITH
435-904-1131
- OWNERS OF RECORD
NIELSON PROPERTIES, LLC
5197 S MOI E
PRESTON, ID 83293

1. LEANSTON CITY MUNICIPAL CODE (SEE LEANSTON CITY WEBSITE FOR REFERENCE).

1. AMERICAN PUBLIC WORKS ASSOCIATION STANDARD DRAWINGS (SEE APWA WEBSITE FOR REFERENCE).

Sheet List Table	
Sheet Number	Sheet Title
C001	COVER
C002	LEGEND
C100	DEMOLITION PLAN
C101	PLAN & PROFILE
C301	EROSION CONTROL PLAN
C501	STANDARD DETAILS
C502	STANDARD DETAILS

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[illegible]

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SUBDIVISION
200 SOUTH MAIN STREET
LEWISTON, UTAH 84320



civilsolutionsgroup inc.



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UTAH VALLEY | P: 801.874.1432
info@civilsolutionsgroup.net
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COVER

C0001



LEGEND PROPOSED

-
- PROPERTY BOUNDARY
- CULINARY WATER LINE (SIZE SHOWN ON PLAN)
- SEWER LINE (SIZE SHOWN ON PLAN)
- STORM DRAIN LINE (SIZE SHOWN ON PLAN)
- GAS LINE
- UNDERGROUND POWER LINE
- AERIAL POWER LINE
- UNDERGROUND COMMUNICATION LINE
- CONTOUR MAJOR
- CONTOUR MINOR
- FENCE
- BUILDING DETAIL
- ASPHALT PAVEMENT
- CLOSED PIPE (ORBIT & GUTTER)
- OPEN FACE ORBIT & GUTTER
- ORBIT GUTTER TRANSITION
- CONCRETE PAVEMENT
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- SEWER MANHOLE
- STORM DRAIN BOX
- STORM WATER CATCH BASIN
- ROAD SIGN

Know what's below.

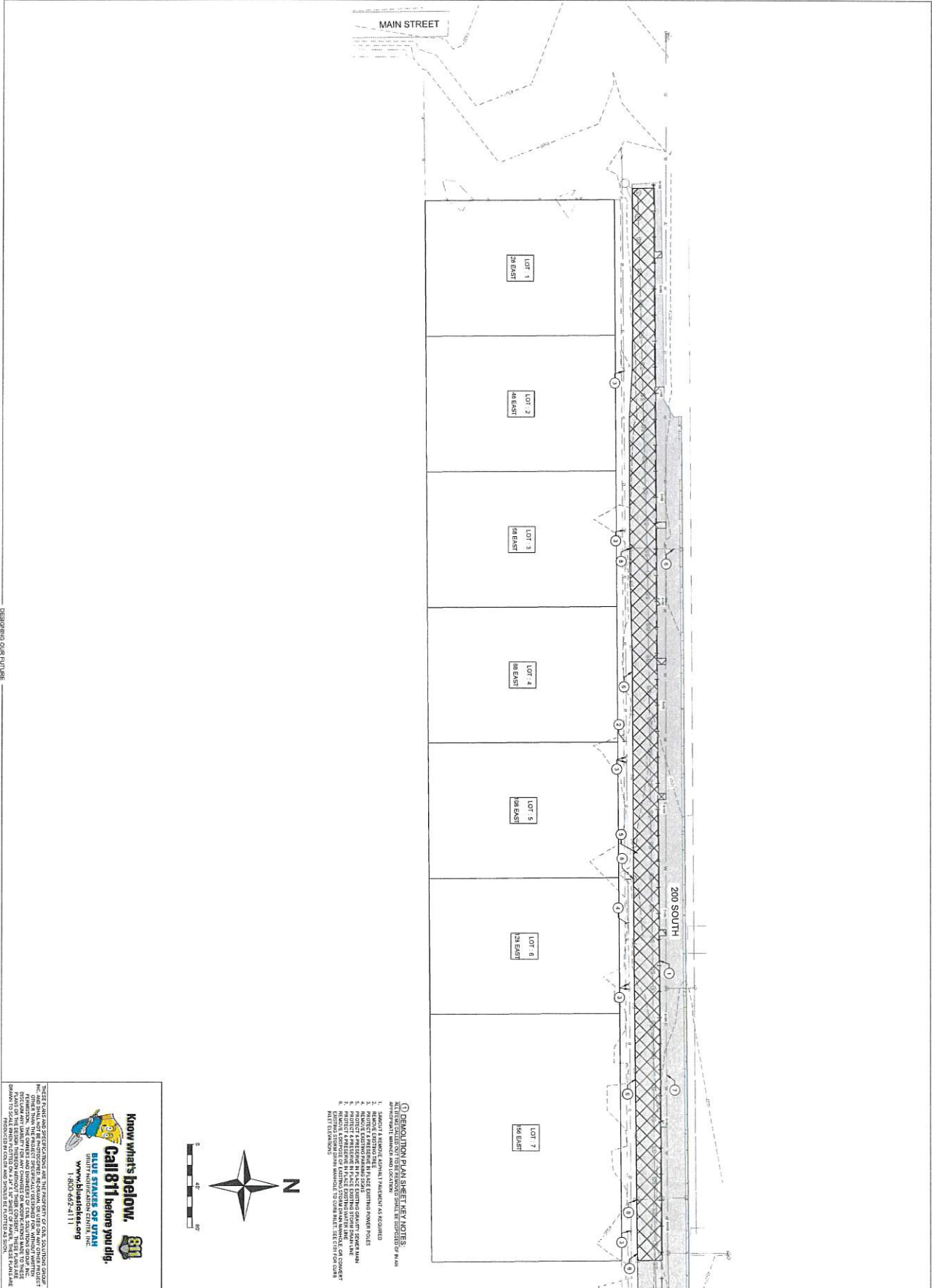
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APPROVED
By Marcus Simons, PE at 1:15 am, Nov 09, 2011

C0002

[illegible]



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DEMOLITION PLAN

C100

APPROVED
By: [Signature] Date: 11/16/2021

PROJECT # 20307
DRAWN BY T. GLOVER
PROJECT MANAGER M. TAYLOR
ISSUED 11/16/2021

NORTH COUNTRY ESTATES SUBDIVISION
200 SOUTH MAIN STREET
LEWISTON, UTAH 84320

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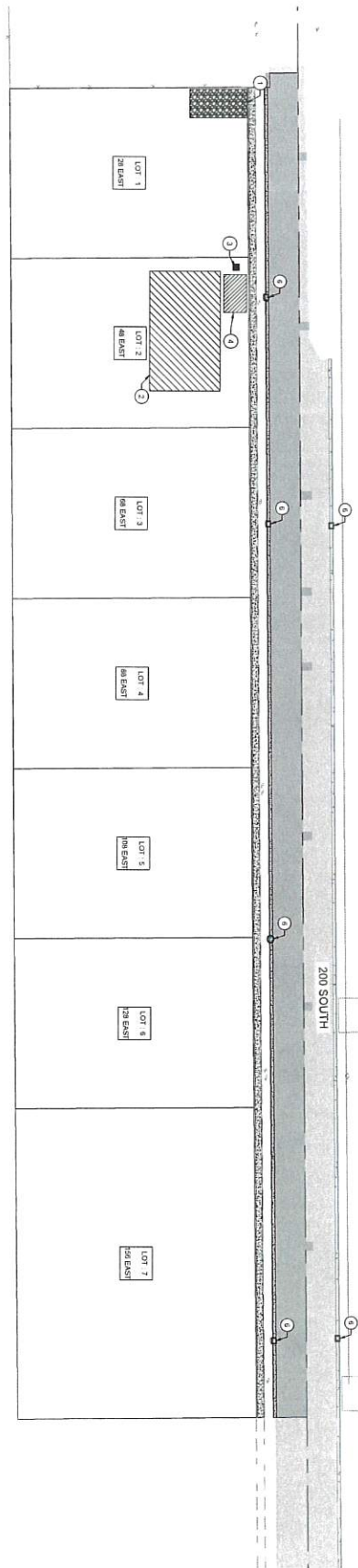
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NORTH COUNTRY ESTATES
SUBDIVISION
200 SOUTH MAIN STREET
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APPROVED
By Marcus Simons, PE and Billanti, Nov 09, 2012

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PLAN &
PROFILE
C101



① MATERIAL CONTROL PLAN SHEET KEY NOTES:
 1. IDENTIFY THE ANDOR CONTROL THE FOLLOWING ARE THE SPECIFICATIONS GIVEN OR REFERENCED IN THE DETAILS NOTED AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
 2. SPECIFIC TRACK CUT PAD
 3. MATERIAL STORING AREA
 4. PORTABLE TOILET
 5. CONCRETE WASHOUT FACILITY
 6. DIRT TRUCK
 7. DIRTWALL SOCK



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[illegible]

PROJECT #	20-307
DRAWN BY	M. RICHBY
PROJECT MANAGER	M. TAYLOR
ISSUED	11/6/2021

NORTH COUNTRY ESTATES
SUBDIVISION
200 SOUTH MAIN STREET
LEWISTON, UTAH 84320

APPROVED
By Marcus Simmons, PE at 8:15 am, Nov 09, 2021

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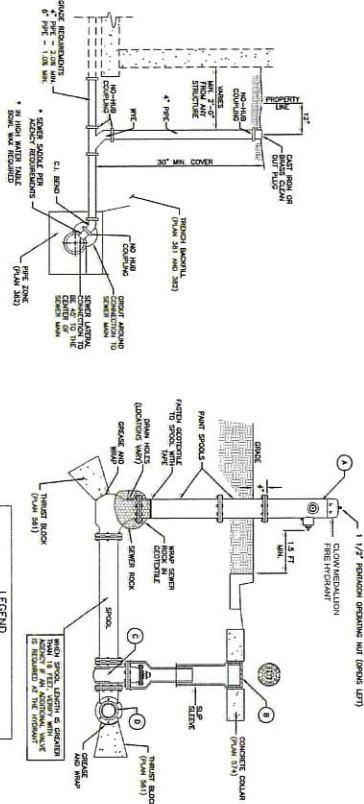


EROSION
CONTROL

C301

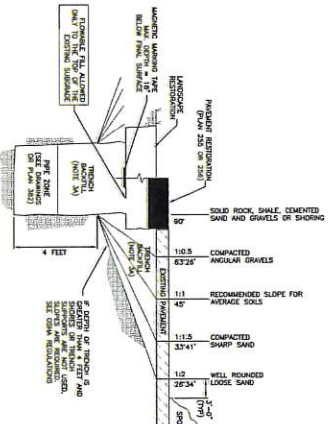


4
SEWER LATERAL
NOT TO SCALE



5
FIRE HYDRANT
NOT TO SCALE

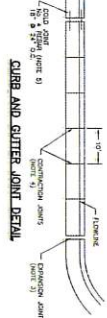
LEGEND		
No. •	ITEM	DESCRIPTION
1	PIPE HYDRANT	APWA C202
2	WALK BOX WITH LID	2-INCH CAST IRON
3	CAST VALVE WITH 2" x 2" NUT	APWA C209
4	TEE WITH 125 / FLANGE	APWA C110



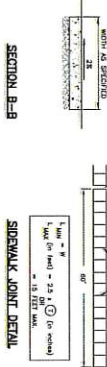
6
UTILITY TRENCHING DETAIL
NOT TO SCALE

- GENERAL
 - Excavate the Pipe Zone, which is measured at the pipe spring line and includes any necessary shoring. Provide with recommended by pipe manufacturer. Follow A.P.W.A. Section 31.05.15.
 - Excavate the Pipe Zone, which is measured at the pipe spring line and includes any necessary shoring. Provide with recommended by pipe manufacturer. Follow A.P.W.A. Section 31.05.15.
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- PROPOSED
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- EXECUTION
 - Excavate the Pipe Zone, which is measured at the pipe spring line and includes any necessary shoring. Provide with recommended by pipe manufacturer. Follow A.P.W.A. Section 31.05.15.
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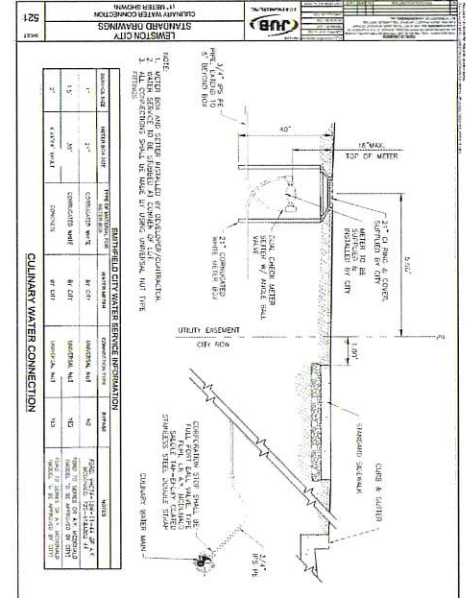
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30\"/>



2
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1\"/>



STANDARD
DETAILS
C501



PROJECT #		DATE	DESCRIPTION
20-007			

**NORTH COUNTRY ESTATES
SUBDIVISION**
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LEWISTON, UTAH 84320

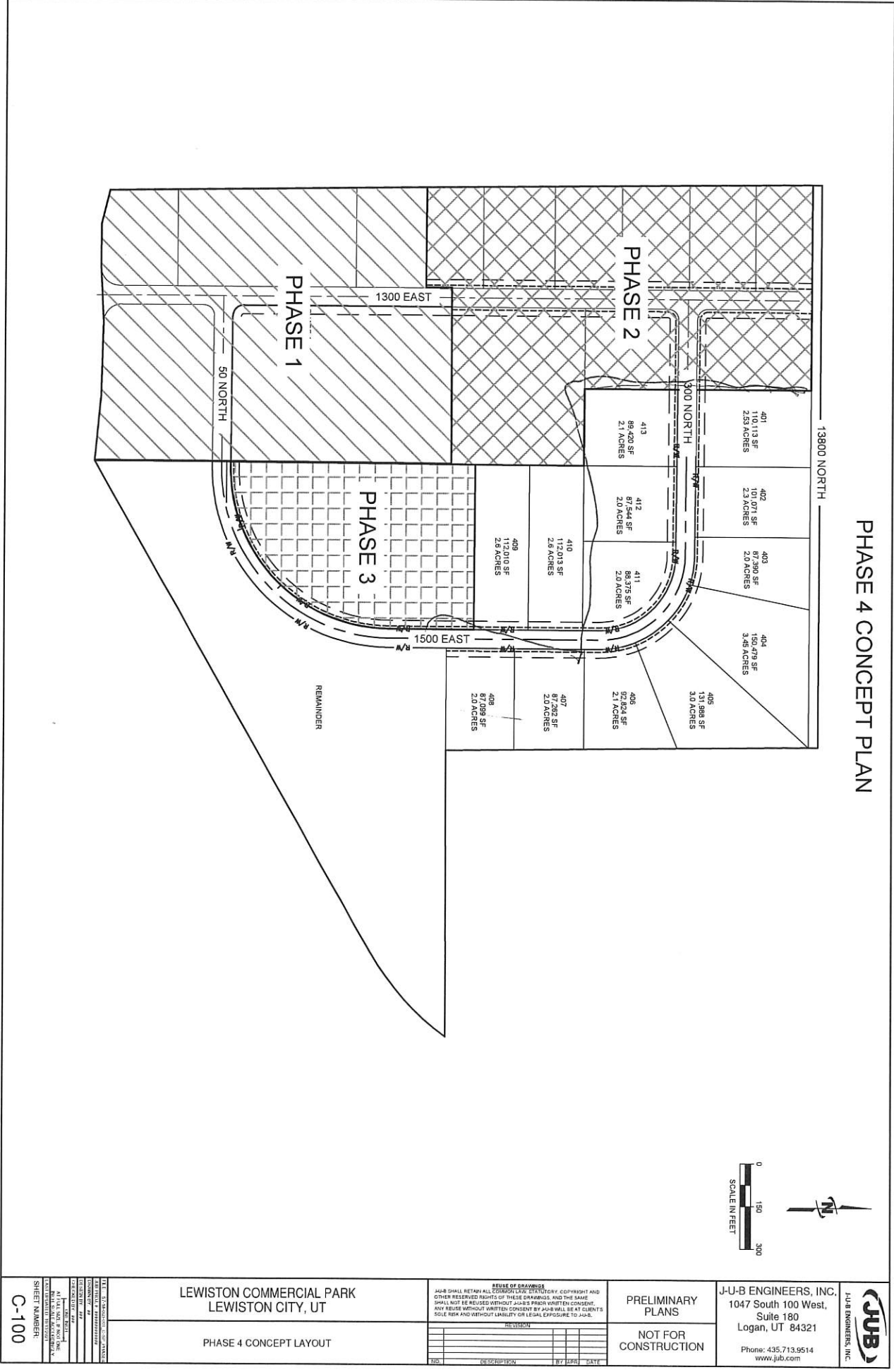


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Plot Date: 10/13/2017 2:43 PM, Plotted By: Marcus Sammons
Data Created: 9/22/2017, LEWISTON PUBLIC PROJECTS, LEWISTON, UT 84042, 2018 LEWISTON METAL DETECTING, INC. INDUSTRIAL PARK (LAW-001) 07-18-001-001, 4-50' PHASE 1 (200)



LEWISTON COMMERCIAL PARK LEWISTON CITY, UT	PHASE 4 CONCEPT LAYOUT	REUSE OF DRAWINGS JUB SHALL RETAIN ALL COMMON LAW STATUTORY COPYRIGHT AND OTHER RESERVED RIGHTS OF THESE DRAWINGS AND THE SAME SHALL NOT BE REUSED WITHOUT JUB'S PRIOR WRITTEN CONSENT. ANY REUSE WITHOUT WRITTEN CONSENT BY JUB SHALL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.	PRELIMINARY PLANS NOT FOR CONSTRUCTION	J-U-B ENGINEERS, INC. 1047 South 100 West, Suite 180 Logan, UT 84321 Phone: 435.713.9514 www.jub.com	

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