

5:30 p.m. – Work Session

No motions or decisions will be considered during this session, which is open to the public.

6:00 p.m. – Council Meeting (Council Chambers)

A. Welcome & Roll Call

B. Pledge of Allegiance

C. Moment of Silence

D. Public Comment

(This is an opportunity to address the City Council regarding your concerns or ideas. No action will be taken during public comment. Please try to limit your comments to three minutes.)

E. Presentations and Reports

1. Mayor's Report
2. Council Assignment Reports

F. Consent Items

1. **Consideration to approve meeting minutes from:**
October 19, 2021 Council Work Session
October 19, 2021 Council Meeting

G. Action Items

1. Discussion and consideration of the disposition of property owned by Riverdale City and located on or about 1570 West Ritter drive (2 pieces, Old Howell property and Coleman sliver piece) including disposition options, appraisal, and rezone.
2. a. **Consideration of Ordinance #938 for proposed Riverdale Center VI Subdivision Amendment, property located approximately 4171 South Riverdale Road, Riverdale Utah 84405, as requested by Riverdale Center North, LLC and AWA Engineering Group.**

b. **Consideration of resolution #2021-25 for Final Site Plan approval of proposed Cheddar's Scratch Kitchen, property located approximately 4171 South Riverdale Road, Riverdale, Utah 84405; as requested by Riverdale Center North, LLC/Cheddar's and AWA Engineering Group.**

H. Comments

1. City Council
2. City Staff
3. Mayor

J. Adjournment

In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Offices (801) 394-5541 at least 48 hours in advance of the meeting.

Certificate of Posting

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Riverdale City limits on this 29th day of October, 2021 at the following locations: 1) Riverdale City Hall Noticing Board 2) the City website at <http://www.riverdalecity.com/> 3) the Public Notice Website: <http://www.utah.gov/pmn/index.html> and 4) A copy was also provided to the Standard-Examiner.

Michelle Marigoni
Riverdale City Recorder

**The City Council meeting on November 3, 2021 is viewable electronically and may be accessed by clicking on the link below. The regular City Council Chambers will be available for in person participation with recommended social distancing followed. The agenda for the meeting is also attached above. **

https://www.youtube.com/channel/UCegcYe-pIXSRZGd5llencvA/videos?view_as=subscriber

Minutes of the **Work Session** of the **Riverdale City Council** held Tuesday October 5, 2021, at 5:30 p.m., at the Civic Center in the Administrative Offices, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

Present:

City Council:	Braden Mitchell, Councilmember/Mayor Pro tem Brent Ellis, Councilmember Alan Arnold, Councilmember Bart Stevens, Councilmember Steve Hilton, Councilmember
City Employees:	Steve Brooks, City Attorney Mike Eggett, Community Development Michelle Marigoni, City Recorder
Excused:	Norm Searle, Mayor

The City Council Work Session meeting began at 5:33 p.m. Mr. Mitchell welcomed all in attendance. It was noted for the record that all Councilmembers were present, as well as city staff, and that Mayor Searle was excused.

Public Comment:

Councilmember Mitchell asked anyone knew of any public comment. There was no public comment.

Presentations and Reports:

**Mayor's Report
City Administration Report**

There was nothing to discuss on these reports for the work session.

Consent Items:

Consideration of Meeting Minutes from October 5, 2021 Work Session and October 5, 2021 Council Meeting

Mr. Mitchell asked if there were any changes to the minutes from October 5. Mr. Mitchell stated the minutes showed "stop sign" where "speed limit sign" should have been and suggested it be corrected.

Action Items:

Comments:

Mr. Arnold spoke about the Wasatch Choices transportation meeting and workshop he had attended and mentioned the discussion regarding Riverdale Road being widened. He explained his thoughts that the width of Riverdale Road is adequate, and that the bottleneck is at the intersection with 1900 West in Roy. Mr. Eggett agreed and there was discussion regarding stop lights along Riverdale Road, population, and growth.

Mr. Mitchell communicated he had a resident and former mayor approach him regarding the road behind Raising Cane's, and that there were safety concerns with the road being incomplete. Mr. Eggett and Mr. Brooks explained that this is a known issue the city is working on and that a meeting was scheduled regarding this. Mr. Eggett noted that EK Bailey is responsible for the road, though the city is doing everything possible to make sure it's completed before Raising Cane's opens.

Adjournment:

Having no further business to discuss, the work meeting was adjourned at 5:44 pm.

Minutes of the Regular Meeting of the Riverdale City Council held Tuesday, October 19, 2021, at 6:00 p.m., at the Civic Center, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

Present:

City Council:	Braden Mitchell, Councilmember/Mayor Pro-Tem Brent Ellis, Councilmember Alan Arnold, Councilmember Bart Stevens, Councilmember Steve Hilton, Councilmember
City Employees:	Steve Brooks, City Attorney Mike Eggett, Community Development Jared Sholly, Fire Chief Michelle Marigoni, City Recorder M. McNeely, Police
Excused:	Norm Searle, Mayor
Visitors:	Tim Rasmussen

Welcome & Roll Call

The City Council meeting began at 6:00 p.m. Councilmember Mitchell called the meeting to order and welcomed all in attendance, including all Council Members, City Staff, and all members of the public.

Pledge of Allegiance

Councilmember Mitchell asked Mike Eggett to lead the Pledge of Allegiance.

Moment of Silence

Mr. Mitchell called for a moment of silence in and asked those in attendance to continue to keep Mayor Searle in their thoughts, as well as police officers, fire fighters and council.

Presentations and Reports

- 1. Mayor's Report**
- 2. City Administration Report**
 - a. Department Reports September
 - b. October Anniversaries Employee Recognition
 - c. Staffing Authorization Plans
 - d. Community Development Report

Mr. Brooks went over employee anniversaries for October. Krystn Hinojosa has been with Riverdale for 17 years, and Jared Sholly has been here six years. Additionally, he recognized custodians Neil, Steve, and Brenda for a job consistently well done.

Mr. Brooks noted the staffing is below authorization. He explained even below authorization, there are over 100 employees, and if a federal vaccine mandate goes into effect it will apply to Riverdale City.

Public Comment

There was no public comment.

Consent Items

- 1. Consideration of Meeting Minutes from October 5, 2021 Work Session and October 5, 2021 Council Meeting.**

Mr. Mitchell asked if there were any changes to the minutes from October 5. There was one change, as discussed in the work meeting. Councilmember Arnold motioned to approve the minutes with this change. Councilmember Ellis seconded the motion. All Councilmembers were in favor and the minutes were approved.

Action Items

Comments

1. City Council: None
2. City Staff:
Mr. Brooks had several items for comments:
 - Informed Council there are parties interested in purchasing the property on Ritter Drive and indicated it may need to be on the next agenda.
 - Spoke about the West Bench project and noted there were two meetings scheduled for October 20 and that more updates would be available for the next Council meeting.
 - Mentioned the road behind Raising Cane's had yet to be completed and must be finished before the restaurant can open for the traffic to be able to flow. Mr. Mitchell added the parking area is already small and confusing and agreed the road would be necessary. Mr. Brooks pointed out the city has offered to assist, but EK Bailey has not been cooperative.
 - Updated Council about Mr. Gebhardt's speed limit sign request, and that the speed trailer has been in the area but so far has shown no speeders. Mr. Arnold commented that there does not seem to be much traffic in the area.
3. Mayor: None

Adjournment.

Having no further business to discuss, Councilmember Arnold made a motion to adjourn. The motion was seconded by Councilmember Hilton. All voted in favor. The meeting was adjourned at 6:22 p.m.

**RIVERDALE CITY
CITY COUNCIL AGENDA
November 3, 2021**

AGENDA ITEM: G2

SUBJECT:

a. Consideration of Ordinance #938 for proposed Riverdale Center VI Subdivision Amendment, property located approximately 4171 South Riverdale Road, Riverdale Utah 84405, as requested by Riverdale Center North, LLC and AWA Engineering Group.

b. Consideration of resolution #2021-25 for Final Site Plan approval of proposed Cheddar's Scratch Kitchen, property located approximately 4171 South Riverdale Road, Riverdale, Utah 84405; as requested by Riverdale Center North, LLC/Cheddar's and AWA Engineering Group.

PRESENTER:

Mike Eggett, Community Development

INFORMATION:

- a. Exec Summ Cheddar's Final Site Plan – CC [20211103]
- b. Ordinance 938, Amended Subdivision Cheddar's
- c. Resolution 2021-25, Final Site Plan Approval Cheddars
- d. Cheddar's Final Site Plan and Amend Subdiv Review CC – 20211028
- e. Dept Staff Reports – Cheddar's Final Site Plan CC [20211027]
- f. Cheddar's City Eng review #3 – 25 October 2021 - approval
- g. Cheddar's Site Plan Updated App - 20210722
- h. 03_Color Elevations
- i. 04_Sign Package [redacted]
- j. 02_Cheddar's Civil Plans_10-19-21[r]

[BACK TO AGENDA](#)



City Council Executive Summary

For the Council meeting on: 11-3-2021

Petitioner: *Riverdale Center North, LLC/Cheddar's*
represented by AWA Engineering, Jake Tate

Summary of Proposed Action

Riverdale Center North, LLC and Cheddar's Scratch Kitchen, as represented by Jake Tate with AWA Engineering, have submitted updated Final Site Plan documentation for a restaurant site with supporting services for real estate located at approximately 4173 South Riverdale Road (on the old Best Buy parking lot site). They have also submitted an amended subdivision plat for this same site to consolidate one of the lots and alter the subdivision from a three-lot subdivision to a two-lot subdivision. The affected parcels are zoned in the Retail/Commercial Park Overlay (RCP) zone and this location is subject to a previously established development agreement for this area. This site plan is being proposed for development on property that located in an old parking lot for Best Buy. The property is currently owned by Riverdale Center North, LLC. A public hearing is not required to consider this site plan proposal.

This matter came before the Planning Commission previously on August 10, 2021. During the meeting, the Planning Commission provided a favorable recommendation to City Council for the amended subdivision plat with the understanding that outstanding staff concerns be resolved.

Additionally, the Final Site Plan was reviewed by the Planning Commission on October 12, 2021. Following presentation of the Final Site Plan, the Planning Commission discussed the Site Plan submittal and thereafter provided a favorable recommendation to City Council for the Final Site Plan proposal. This matter is now before the City Council for Final Site Plan approval consideration.

Following the presentation and discussion, the City Council may make a motion to approve the proposed Cheddar's Scratch Kitchen Final Site Plan, approve the proposed Final Site Plan with any requested modifications, tabling the matter to a later date, or to not approve the proposed Final Site Plan with the appropriate findings of facts. If the Final Site Plan was approved by the Council, then this matter could move forward with recording, permitting, and preconstruction activities for this site.

Title 10 Ordinance Guidelines (Code Reference)

This Final Site Plan review is regulated under City Code 10-25 "Development in All Zones" and is affected by City Codes 10-13B "Retail/Commercial Park Overlay Zone (RCP)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".

The proposed development parcels are located on property west of Riverdale Road on property currently owned by Riverdale Center North, LLC. The property is located in an RCP zoned area and the requested use of regional restaurant is a permitted use in this zone.

Attached with this executive summary is a document entitled "Final Site Plan Review - Cheddar's Scratch Kitchen"; this is a supplementary document addressing items on the Final Site Plan application documents.

Also attached, following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The City Council should discuss any concerns raised by these summaries.

Staff would encourage the City Council to review this matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Council make a motion to approve the proposed Cheddar's Scratch Kitchen Final Site Plan, approve the proposed Final Site Plan with any requested modifications, tabling the matter to a later date, or to not approve the proposed Final Site Plan with the appropriate findings of facts.

General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as "Planned Commercial - High" and this proposed project would comply with this land use.

Legal Comments - City Attorney

Steve Brooks, Attorney

Administrative Comments - City Administrator

Steve Brooks, Acting City Administrator



ORDINANCE NO. 938

AN ORDINANCE CREATING AN AMENDED SUBDIVISION AND APPROVING A FINAL SITE PLAN KNOWN AS “CHEDDAR’S SCRATCH KITCHEN”, IN THE CITY OF RIVERDALE, WEBER COUNTY, STATE OF UTAH AND PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, The City of Riverdale (hereinafter “City”) has received a request for an amended subdivision and final site plan approval, located at approximately 4171 South Riverdale Road, known as Cheddar’s Scratch Kitchen, at the request of Riverdale Center North, LLC and Jake Tate, with AWA Engineering, (herein Petitioner), of a certain parcel of land hereinafter described in detail on the attached Exhibits, for a commercial development; and

WHEREAS, the petitioner has complied with all the requirements set forth in Utah Code and the Riverdale City Code (Title 10 Chapter 8 and Title 10 Chapter 21, where required) concerning subdivision creation; and

WHEREAS, the petitioner of the said parcel of land, has received a recommended approval of said subdivision from the Riverdale City Planning Commission (August 10, 2021); and

WHEREAS, the City now desires to approve the amended subdivision and formally recognize and order that said subdivision be recorded with the Weber County Recorder's Office; and

WHEREAS, it is in the best interest of the City to allow the proposed amended subdivision and to do so will promote health, safety and the general welfare of the community; and

NOW THEREFORE, BE IT HEREBY ORDAINED AND ENACTED BY THE CITY COUNCIL OF THE CITY OF RIVERDALE:

Section 1. Subdivision Plat. Be it hereby ordained by the Riverdale City Council that the site, located at approximately 4171 South Riverdale Road, be amended, creating the “Cheddar’s Scratch Kitchen” subdivision, for the proposed location, pursuant to the attached description and maps, as set forth on the attached Exhibit(s).

Section 2. That said subdivision be recognized and recorded in the Office of the Weber County Recorder.

Section 3. Severability. If any provision of this ordinance is declared invalid by a court of competent jurisdiction, the remainder shall not be affected thereby.

Section 4. This ordinance shall take effect immediately upon its adoption and posting.

PASSED, ADOPTED, AND ORDERED POSTED this _____ day November 2021.

Braden Mitchell
Riverdale City Mayor Pro tem

Attest:

Michelle Marigoni
City Recorder

Exhibit A

(Plat)

Exhibit B

LEGAL DESCRIPTION



RESOLUTION NO. 2021-25

A RESOLUTION BY THE RIVERDALE CITY COUNCIL APPROVING THE FINAL SITE PLAN OF THE CHEDDAR'S SCRATCH KITCHEN PROPERTY LOCATED AT APPROXIMATELY 4171 SOUTH RIVERDALE ROAD IN RIVERDALE CITY, WEBER COUNTY, STATE OF UTAH.

WHEREAS, Riverdale Center North, LLC (herein Petitioner), by and through Jake Tate with AWA Engineering, have filed an application with Riverdale City requesting the City approve a final site plan approval to allow for changes to their existing property located at approximately 4171 South Riverdale Road; and

WHEREAS the applicant's request is in conformance with all applicable City ordinances of the Riverdale City Code; and

WHEREAS the matter having been submitted and considered as it relates to the health, safety, and general welfare of the City; the orderly development of land in the City, the effect on the surrounding neighborhood, the compliance with all applicable City ordinances, the General Plan, and the conditions relating to the request; and

WHEREAS the Riverdale City Council finds this request is in conformance with all requirements outlined in the Riverdale City Plan, Code and the goals and desires of Riverdale City.

BE IT RESOLVED BY THE RIVERDALE CITY COUNCIL, as follows:

1. The City Council hereby approves the request of the Petitioner, for a final site plan approval located at approximately 4171 South Riverdale Road, as outlined and shown on the attached Exhibit(s), attached hereto and incorporated herein by reference.
2. This resolution shall take effect immediately upon passage.
3. All other resolutions and polices in conflict herewith, either in whole or part, are hereby repealed.

PASSED and APPROVED this ____ Day of November 2021.

RIVERDALE CITY

By: _____
Braden Mitchell, Mayor pro tem

Attest:

Michelle Marigoni
City Recorder



Final Site Plan Review – Cheddar’s Scratch Kitchen, 4171 South Riverdale Road

Completed by Mike Eggett, Community Dev. Director on 8/4/2021, 10/7/2021, and 10/28/2021

Recommendation: City staff recommends that the City Council examine and review items associated with this proposed final site plan review. Items of consideration or note (if any) have been highlighted in yellow for potential discussion purposes. City staff recommends that the City Council act accordingly to approve the final site plan or not approve the proposed Cheddar’s final site plan with any additional comments, requirements or concerns to be addressed by the developer.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	July 22, 2021 and updated on Sept. 28, 2021 and Oct 19, 2021
Date Application Submitted to City:	July 22, 2021
Date Fee Paid:	July 22, 2021 (see receipt for detail)
Site Plan – Preliminary Requirements	Departmental Review Comments
<i>COVER SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	Project name and address location shown; other lot addressing shown as well
Property Owner’s name, address, and phone number	Riverdale Center North, LLC., 5760 Wilshire Blvd, Suite 1250, Los Angeles, CA 90036 Contact: Steve Usdan, 323-965-1510
Property Developer’s name, address, and phone number	Shown on cover page and application: Riverdale Center North, LLC., 5760 Wilshire Blvd, Suite 1250, Los Angeles, CA 90036 Contact: Steve Usdan, 323-965-1510
Approving agency’s name and address: Utility companies if applicable	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; <u>other utility agencies name and contact info not provided, where applicable</u>
Consulting Engineer’s name, address, and phone number	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529
Licensed Land Surveyor’s name, address, phone number, signature, and seal	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529; seal and signature provided

Date	Yes – 19 Oct, 2021
Revision block with date and initials	Revision blocks shown and no notes yet
Sheet number and total sheets	Shown (18 total sheets), elevations and signage plans submitted as well
<u>General</u>	
Street names	Shown – Riverdale Road, 300 West
Layouts of lots with lot numbers	Yes, shown
Adjacent tract ownership and tax identification numbers	Tract ownership names and tax ID shown
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown, 1"=40' and 1" = 30' respectively
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements identified, existing structures currently on site shown, existing utility lines shown on sheet C3.1 and other sheets; CCR's provided to show approvals to cross, use, relocate
Space for notes	Yes, provided
Contours	Yes, shown on multiple sheets
Public areas	Existing and planned sidewalks and curb/gutter shown on multiple sheets, newly dedicated public areas shown as well
<u>Vicinity Map</u>	
Street names	Yes
Site location	Yes
North arrow	Yes
Scale	Note of "Not to Scale"
<i>PLAT SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	Project name and address location shown; other lot addressing shown as well
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529

Consulting Engineer's stamp, signature, and license expiration date	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529; engineer's stamp and signature provided
Date	Yes – 19 Oct, 2021
Names of approving agents with titles, stamps, signatures, and license expiration dates	<u>No names of approving agents, titles, stamps, signatures shown, may not be applicable</u>
Names of approving departments (Attorney, Planning Commission, Mayor, Engineer)	Shown on plat
<u>Layout</u>	
Landscaping (location and type with area calculations)	Yes, provided on sheet L1.1-L2.2, area calculations shown on L1.1
Location of exterior lighting devices, signs, and outdoor advertising	Yes, location of existing lighting and signs shown in packet; location of proposed onsite lighting devices shown; proposed signage locations shown; architectural elevations provided; planned building lighting provided
Location of underground tanks, dumpsters, etc	No tanks present on site; dumpster and dumpster enclosure location shown in packet
<u>Additional Information</u>	
Benchmark	Shown on cover sheet
Basis of bearings	Shown on cover sheet
Legend	Shown on cover sheet
<i>PLAN AND PROFILE SHEETS</i>	Site plan and profile sheets provided
<u>Title Block</u>	
Project name and address	Project name and address location shown; other lot addressing shown as well
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529
Date	Yes – 19 Oct, 2021
Scale	Yes, scale is showing
Revision block with date and initials	Revision blocks shown and no notes yet
Sheet number and total sheets	Shown (18 total sheets), elevations and signage plans submitted as well
<u>General</u>	

North arrow	Yes
Street names	Shown – Riverdale Road, 300 West
Lot numbers	Yes, shown
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet C0.1
<u>Signage</u>	Building signage concepts shown on arch drawings and on plan sheets; <u>may inquire more regarding future signage intent if desired</u>
Height	40 feet tall at tallest point
Size	Pole sign is 297.39 sf; building signs are 155.60 sf as shown on plans
Locations	Building signage concepts shown on arch drawings and on plan sheets; on site sign locations shown
Colors	Building signage concepts shown on arch drawings; pole signage provided in sign packet
Lighting	Halo illuminated letters signage and internal lit signage in most cases
<u>New and Existing Buildings</u>	
Height and Size	New building - Height = approximately 23 feet at highest point; Building size = 7,895 sf
Location, setbacks, and all dimensions	Building setbacks not provided; approximates: front (south) setback – well beyond 20 ft minimum; rear (north) setback – 26.8’ at nearest point; west side setback – well beyond 20 ft minimum; east side setback – 20’ at nearest point
Type of construction	Materials for structure, texture, color appearance provided on architectural drawings; <u>Design Review Committee has approved the building colorations and material, signage concepts, and landscape plan for this project</u>
Type of occupancy and proposed uses	Regional restaurant
Show handicapped access	ADA accessible ramp and access areas shown and handicapped parking stalls shown
<u>New and Existing Landscaping & Percentage</u>	Landscaping identified on sheet L1.1; Percentage of landscaping provided for site is exactly 20%, therefore landscaping plan meets minimum requirement of 20% or more landscaping coverage per City Code 10-14-12(B.)(2.)
Number of trees	27 trees, 1113 shrubs, 19 ornamental grasses, 9 perennials

Landscape plan showing all planting, hardscaping, berming, and watering	Planting, hardscaping shown; new site development requires gentle berming locations, as required in 10-14-12 (B.)(2.), which is shown and identified in landscaping plan, irrigation plan provided
Xeriscaping alternatives being considered	Yes, xeriscaping seems to be applied in the rock mulch and ground cover areas of landscape plan; for more, inquire of the developer
<u>New and Existing Walls and Fences</u>	
Location, design, and height	No existing fences on site; no new fences appear to be planned for site
Materials proposed for construction	No new fences planned for site
<u>New and Existing Parking</u>	
Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	167 dedicated stalls are provided and shown; handicapped parking space provided and shown; size meets city requirements
Location of employees' parking, customer parking, and handicapped parking	Established as shown in drawings; employee parking and customer parking appear shared
Internal circulation pattern	Internal circulation not identified but can be inferred by site plan documents
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown
Circulation pattern	Internal circulation not identified but can be inferred by site plan documents; inquire more if desired
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	Shown, dedicated right-of-way identified
Face of curb lines	Yes, this is shown
Centerline slope	Shown on drawings and established per previous and other project road development
Signing and striping	Public signing installation should be coordinated with public works dept and paid for by applicant, where applicable; roadway striping should be coordinated with public works, where applicable
Light poles	Yes, location of existing light poles and power equipment shown; location of onsite proposed light poles and equipment shown in packet

Street lights	Yes, location of existing street light poles and power equipment shown; no newly proposed street light poles or devices appear to be planned
Street name signs	Location of street name signs on site not applicable to this location
Stop signs	Location of stop signs on site shown
UDOT approval (if required for project)	This project does not require UDOT approval
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown and details on sheet C4.1
Planting Strip	Yes, planting strips are shown along Riverdale Rd and internal private drive
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown on C2.1, in detail on sheet C4.1 and C4.5
Slope of gutter	Shown on C2.1, in detail on sheet C4.1 and C4.5
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	Shown on C2.1, in detail on sheet C4.1, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on C3.1, in detail on sheets C4.1-4.3, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets in packet
Ditches, location and ownership	No waterways or ditches located on this site or planned for this project
Approval to pipe, reroute or use	Other than future City approval, <u>unknown if other approval required, defer to City Engineer</u>
Calculations for retention system	Shown on C3.1; <u>defer to City Engineer</u>
Method of storm water clean-up	Shown on sheet C3.1; erosion control plan provided as well on sheets C5.1-C5.3
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	Shown on C.3.1, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on C3.1, detail provided on sheets C4.1-4.3, <u>defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on C3.1, detail provided on sheets C4.1-4.3, <u>defer to City Engineer</u>

Location, size, and type of water meters, valves, and fire hydrants	Shown on C3.1, water meter location and size shown, type identified per public works; Location of existing valves shown; Location of new valves shown; existing fire hydrants on site shown; no new hydrants planned for this site plan
<u>New and Existing Gas Lines</u>	
Size and type	Existing gas lines shown, note on C3.1; <u>size and type not shown; new lines not shown, where applicable</u>
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Existing power lines locations shown, <u>new power lines not shown, size and type not identified-note on C3.1</u>
Location of power poles	Existing power poles and overhead lines location; new power poles location not planned
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	Existing location of telephone lines shown, <u>new telephone utility lines not shown-note on C3.1</u> , poles and associated manholes shown on C3.1 where applicable
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	Cable TV lines shown, note on C3.1, where applicable
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Refer to sheets C4.1 for roadway cross section connection to curb, gutter, and sidewalk areas
Cross section of curb and gutter (standard 30" high back)	Shown on sheets C4.1, <u>defer to City Engineer</u>
Gutter inlet box with bicycle safe grate	Detail drawing provided on sheet C4.2-4.3, locations identified on multiple sheets; gutter inlet boxes identified as having bicycle safe grates in notes; <u>defer to City Engineer</u>
Cleanout box	Detail shown on sheets C4.2, location identified on multiple sheets; <u>defer to City Engineer</u>
Thrust blocking	Locations and detail not shown, if applicable; <u>defer to City Engineer</u>
Special energy dissipating or drop manholes	None showing and may not be applicable; <u>defer to City Engineer</u>
<i>ADDITIONAL INFORMATION</i>	
Soils report	Geotechnical report has been provided as completed by Terracon Consultants, Inc on June 17, 2021 for this site

Drainage and runoff calculations	Shown on C3.1; <u>defer to City Engineer</u>
Water right transfer documentation	<u>Applicant needs to work with Public Works Department to provide adequate water rights for this site per 8-6-3 of City Code</u>
Copy of protective covenants, codes, and regulations for development	Applicable CC&R's for this larger commercial project area have been provided
Three (3) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Provided with packet, along with full sign package
Corp of Engineers approval (if required)	Noted as FEMA flood zone determination outside of the 0.2% annual floodplain; no approval req.
Zoning compliance	Yes, Retail/Commercial Park Overlay (RCP) Zone meets intended uses for site design; project is in compliance with applicable development agreement as well
RDA compliance (if applicable)	No applicable RDA regulations for this project area
Use compliance	Yes, this use complies with the and zoning for this RCP zoned area; project is in compliance with applicable development agreement as well
Engineering comments and letter of approval recommendation	Engineering comments, along with Public Works, Police Department, Fire Department provided
Traffic study	Not currently required, unless deemed otherwise appropriate by City or UDOT
All Planning Commission and City Staff conditions for approval have been met	<u>Currently Final Site Plan approval consideration being reviewed by City Council</u>

DEPARTMENTAL STAFF REPORTS – 8/3/2021 to 10/25/2021

From: Shawn Douglas
Sent: Mon 10/25/2021 9:51 AM
To: Mike Eggett
Subject: Cheddar's

Mike,

I have attached my review comments for Cheddar's. Thanks

Plan Review For Cheddar's

Storm Water

1-Storm water prevention plan for construction site including BMP's. All storm water inspections will need to be completed on Compliance Go. With the Dutch Bros now open the proposed plan doesn't work. Further discussion will be required.

2-Notice of intent filed with state.

Water

1-Provide what water shares will be used to meet water requirements.

Shawn Douglas
Riverdale City Public Works
Sdouglas@Riverdalecity.com
801-394-5541 ext.1217

From: Scott Brenkman
Sent: Thu 10/21/2021 3:13 PM
To: Mike Eggett
Subject: RE: Updated review comments needed - CC consid Subdiv Amend and Final Site Plan for Cheddar's

I have no concerns.

Scott

Chief Scott Brenkman
Riverdale Police Department
4580 S. Weber River Dr.
Riverdale, UT 84405
(801)394-6616

sbrenkman@riverdalecity.com

From: Jared Sholly
Sent: Thu 10/21/2021 2:42 PM
To: Mike Eggett
CC: Randy Koger
Subject: Re: Updated review comments needed - CC consid Subdiv Amend and Final Site Plan for Cheddar's

I don't have anything further.

Jared Sholly
Fire Chief
Riverdale City Fire Department
Cell: 801-628-6562
Office: 801-394-7481

From: Randy Koger
Sent: Wed 10/27/2021 2:52 PM
To: Mike Eggett
CC: Jared Sholly
Subject: RE: Updated review comments needed - CC consid Subdiv Amend and Final Site Plan for Cheddar's

REVIEW COMMENTS:

I have no additional recommendations.

Comments made during this review are advisory and do not prevent the necessity of conforming with requirements which might have been overlooked in the review process. Ultimate responsibility for compliance rest with the owner



Fire Marshal/ Code Enforcement Officer
Riverdale City
801-436-1241

25 October 2021

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Riverdale Center VI Subdivision Amended Plat & Cheddar's Scratch Kitchen Site**
Subj: Review #3 – Recommended approval – Plat & Improvement Drawings

Dear Mike,

I have completed my review of the recently submitted Plat, the Improvement drawings, the Geotechnical Report and the Storm Water Calculations from Anderson Wahlen & Associates, the Developer's Design Engineer. All concerns noted in my last review letter of the 6th of October 2021, have been satisfactorily addressed and resolved. In my opinion the drawings and the calculations now reflect the Standards of Riverdale City.

I herewith recommend engineering approval of the Plat and Improvement drawings and the calculations as submitted.

Approval Note: In the developer's Engineer response letter (dated 19th of October 2021), he presented a critical timing issue with obtaining the soil percolation values (4 to 6 weeks out) needed to size the on-site storage volume for the 85th percentile storm volume. The value for percolation he proposed is conservative and very reasonable. I would recommend approval of the proposed percolation value based upon his letter and engineering reasoning. I would also recommend approval of the percolation value – proposed, based upon my experience with several other geotechnical reports around this site.

Sincerely,
CEC, Civil Engineering Consultants, PLLC.



N. Scott Nelson, PE.
City Engineer

Cc. Shawn Douglas, Public Works Director
Jeff Woody, Building Official



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL SUBDIVISION SITE PLAN APPROVAL - AMENDED

CASE No: 2021-08 DATE SUBMITTED: 7-22-2021

APPLICANT'S NAME: Anderson Wahlen & Associates - Jake Tate

ADDRESS: 2010 North Redwood Road, SLC, UT 84116

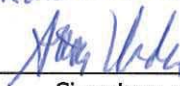
PHONE: 801-410-8505 TAX I.D. No: 06-342-0001 & 06-342-0002

ADDRESS OF SITE: 4171 Riverdale Road and 4163 Riverdale Road


APPLICANT'S INTEREST: Owner's Authorized Agent

Application is hereby made to the Riverdale City Planning Commission requesting that a commercial subdivision consisting of _____ (Consolidating 2 Lots into 1) lots be approved on 2.71 Acres of property in the RCP zone in accordance with the attached site plan.


Signature of Applicant

Riverdale Center North, LLC

Signature of Property Owner

I authorize Anderson Wahlen & Associates - Jake Tate to act as my representative in all matters relating to this application.

Riverdale Center North, LLC

Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$50 per lot/unit
Fee: \$ 100.00 Date paid: 7-22-2021

Planning Commission set public hearing: Yes No Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for ^{amended subdivision} site plan approval on:

Date: 8/10/2021 Decision of Commission: Recommend Council approval, resolve staff concerns + eng.

City Council scheduled to hear this application for ^{amended subdivision} site plan approval on:

Date: 11/3/2021 Decision of Council: _____



Riverdale City
 4600 South Weber River Drive
 Riverdale, UT 84405
 (801) 394-5541

XBP Confirmation Number: 103343710

Transaction detail for payment to Riverdale City.		Date: 07/22/2021 - 4:26:29 PM MT	
Transaction Number: 153063471PT Visa — XXXX-XXXX-XXXX-6181 Status: Successful			
Account #	Item	Quantity	Item Amount
10341500	Zoning ampamp Subdiv. Fee	1	\$100.00
Notes: SITE PLAN FEE			

TOTAL: \$100.00

Billing Information
 EARL TATE
 , 84405

Transaction taken by: cjacobsen



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL OR MANUFACTURING SITE PLAN APPROVAL

CASE NO: 2021-08 DATE SUBMITTED: 7-22-2021

APPLICANT'S NAME: Anderson Wahlen & Associates - Jake Tate

ADDRESS: 2010 North Redwood Road, SLC, UT 84116

PHONE: 801-410-8505 TAX I.D. NO: 06-342-0001 & 06-342-0002

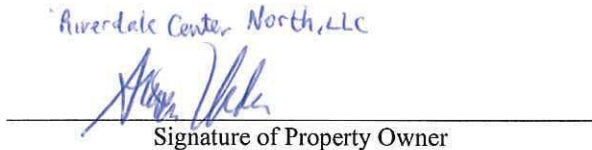
ADDRESS OF SITE: 4171 Riverdale Road & 4163 Riverdale Road

APPLICANT'S INTEREST: Owner's Authorized Agent

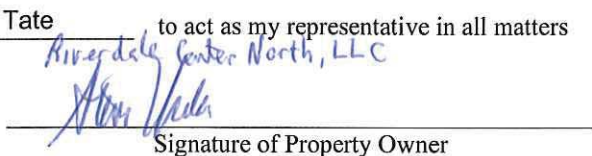
Application is hereby made to the Riverdale City Planning Commission requesting that the following permitted use, be approved on 2.71 Acres of property in the RCP zone in (sq. ft./acreage)

accordance with the attached site plan.


Signature of Applicant

Riverdale Center North, LLC

Signature of Property Owner

I authorize Anderson Wahlen & Associates - Jake Tate to act as my representative in all matters relating to this application.

Riverdale Center North, LLC

Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$200 per acre or portion of

Fee: \$ 542.00 Date paid: 7-22-2021

Planning Commission set public hearing: Yes No Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 8/10/2021 ^{Prelim.} 10/12/2021 ^{Final Rec} Decision of Commission: Prelim. Approved, Rec. Council approval, resolve staff concerns + engineering

City Council set public hearing: Yes No Date of Public Hearing: N/A

City Council scheduled to hear this application for site plan approval on:

Date: 11/3/2021 Decision of Council: _____



Riverdale City
4600 South Weber River Drive
Riverdale, UT 84405
(801) 394-5541

XBP Confirmation Number: 103343745

Transaction detail for payment to Riverdale City.		Date: 07/22/2021 - 4:27:52 PM MT	
Transaction Number: 153063515PT Visa — XXXX-XXXX-XXXX-6181 Status: Successful			
Account #	Item	Quantity	Item Amount
10341500	Zoning ampamp Subdiv. Fee	1	\$542.00
Notes: SUB DIV. FEE			

TOTAL: \$542.00

Billing Information
EARL TATE
, 84405

Transaction taken by: cjacobsen



Front Elevation



Left Elevation



Rear Elevation



Right Elevation

Site:

Cheddar's Scratch Kitchen
Riverdale Shopping Center
4027 Riverdale Road
Riverdale, UT 84405

Date:

07.13.2021 R02



✉ j.mueller@firstandmain signs.com

☎ 234.458.0990

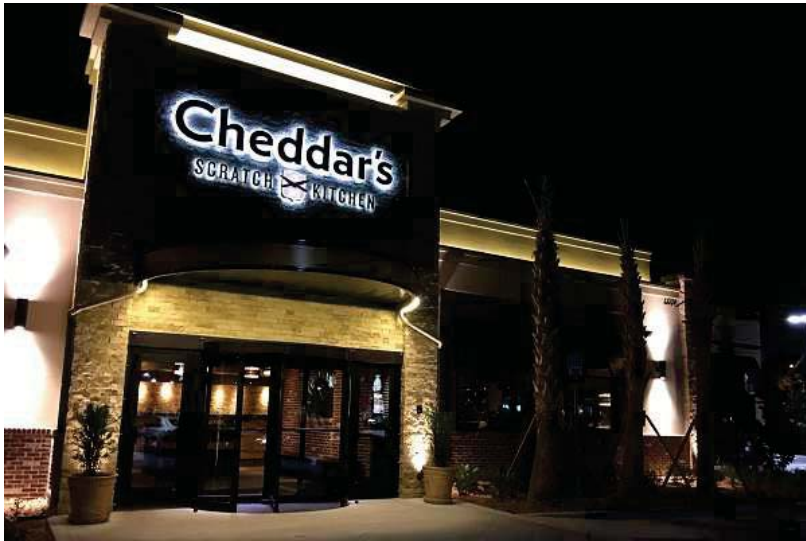
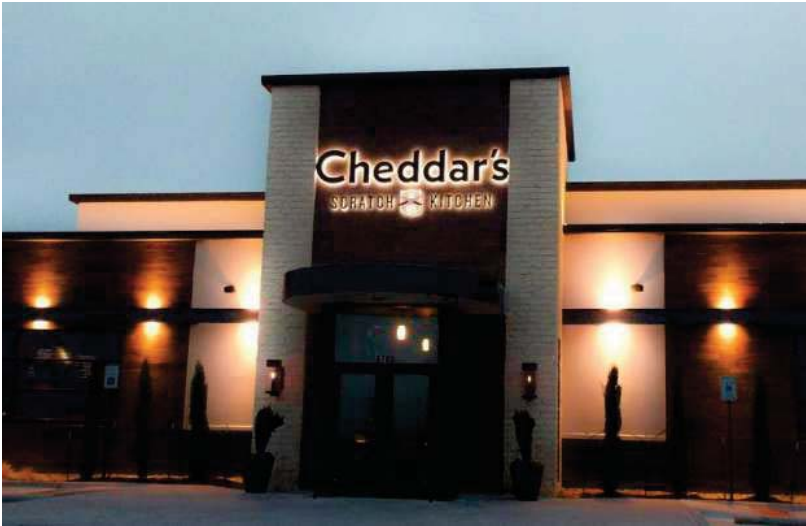
Prepared for:

Cheddar's

SCRATCH  KITCHEN



SIR Brand Book

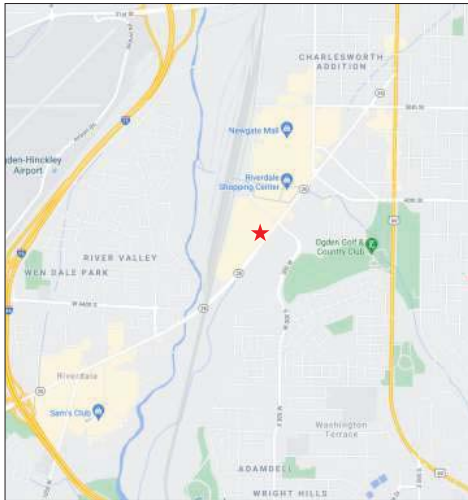


PROPOSED SIGNAGE SUMMARY:

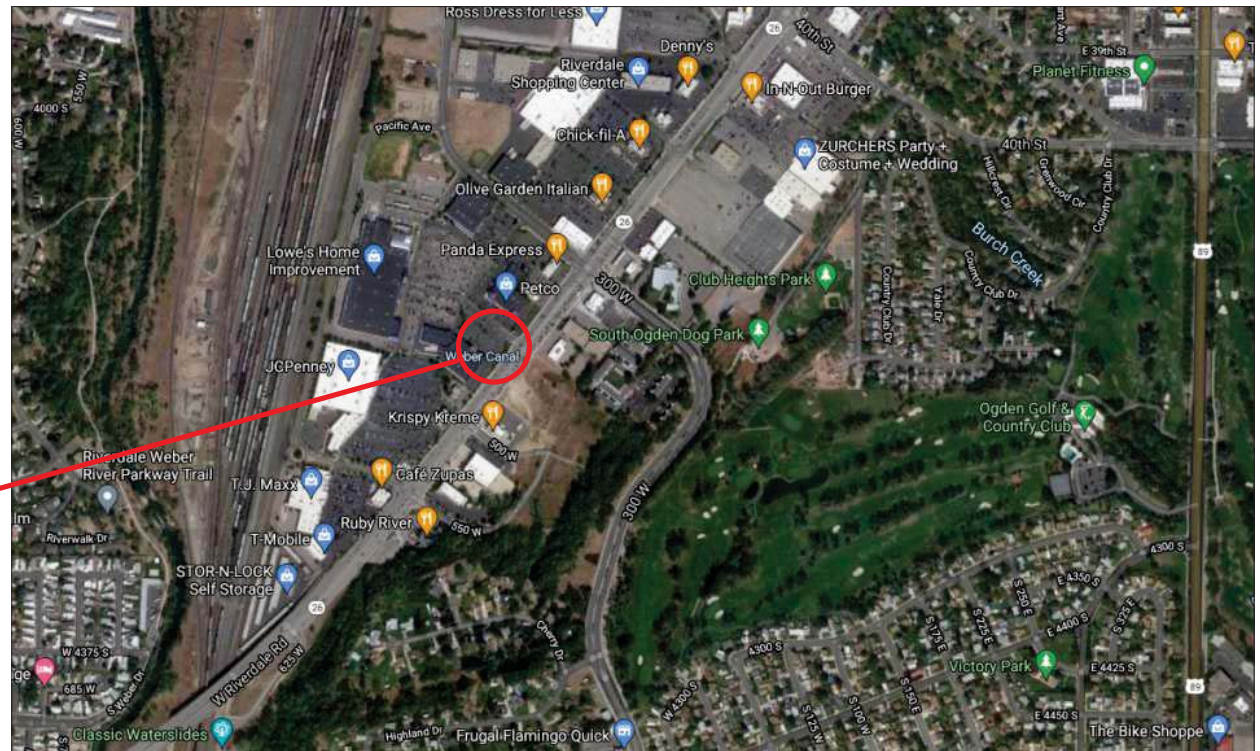
- CODE HAS A PRETTY GENEROUS ALLOWANCE OF A 3:1 RATIO FOR SF FOR THE BUILDING. WALL SIGNS. SIGN TOTAL IS 154.76 SF.
- SIGNAGE IS ALSO ALLOWED ON EACH ELEVATION.
- USING CHEDDAR'S STANDARD SIZES, TENENAT IS AT AN APPROX. COMBINED 155 SF.
- PYLON SIGNS ARE ALLOWED AND CAN BE 40 OAH AND UP TO 300 SF MAX.
- PYLON SIGN REQUIRED TO MEET 10' SETBACK.

CRITICAL ISSUES

- PLACEMENT FOR THE PYLON TO BE VERIFIED IN RELATION TO BUILDING AND OVERHEAD POWER LINES BUT WILL OFFER SIGNIFICANT VISIBILITY AND AWARENESS.
- POSSIBLE PROXIMITY ISSUE WITH NEW PROPOSED PYLON LOCATION IN CONJUNCTION WITH FUTURE DUTCH BROS. PYLON.
- THERE ARE OTHER OBSTRUCTIONS LIKE TREES, LANDSCAPE, AND BUS STOP ALONG RIVERDALE RD. THAT WILL NEED TO BE ADJUSTED AND TAKEN INTO CONSIDERATION. WE RECOMMEND REMOVING OR ADJUSTING LANDSCAPING AT SOUTHEAST CORNER AS WELL AS TREES ALONG RIVERDALE RD.
- INITIAL SITE DESIGNS HAD VISIBILITY CONCERNS FOR CERTAIN WALL SIGNS BUT NEW ELEVATIONS HELP TO ALLEVIATE SOME OF THIS. NORTH ELEVATION SIGN MAY HAVE LIMITED VISIBILITY FOR INTERIOR OF SHOPPING CENTER DUE TO LOWER LOCATION.
- SIGN C, ON THE EAST ELEVATION SITS LOW UNDER THE ROOF LINE SO IT HAS LESS IMPACT THAN IF PLACED ON A TOWER BUT THE PYLON SIGN SHOULD MAKE UP FOR IT.
- ELEVATIONS WE RECEIVED SHOW "SCRATCH KITCHEN" COPY W/ ORANGE / COPPER FACES. THIS DOES NOT CREATE ENOUGH CONTRAST FROM THE WALL / STONE FINISHES BEHIND SO WE RECOMMEND USING THE BLACK AS SHOWN.



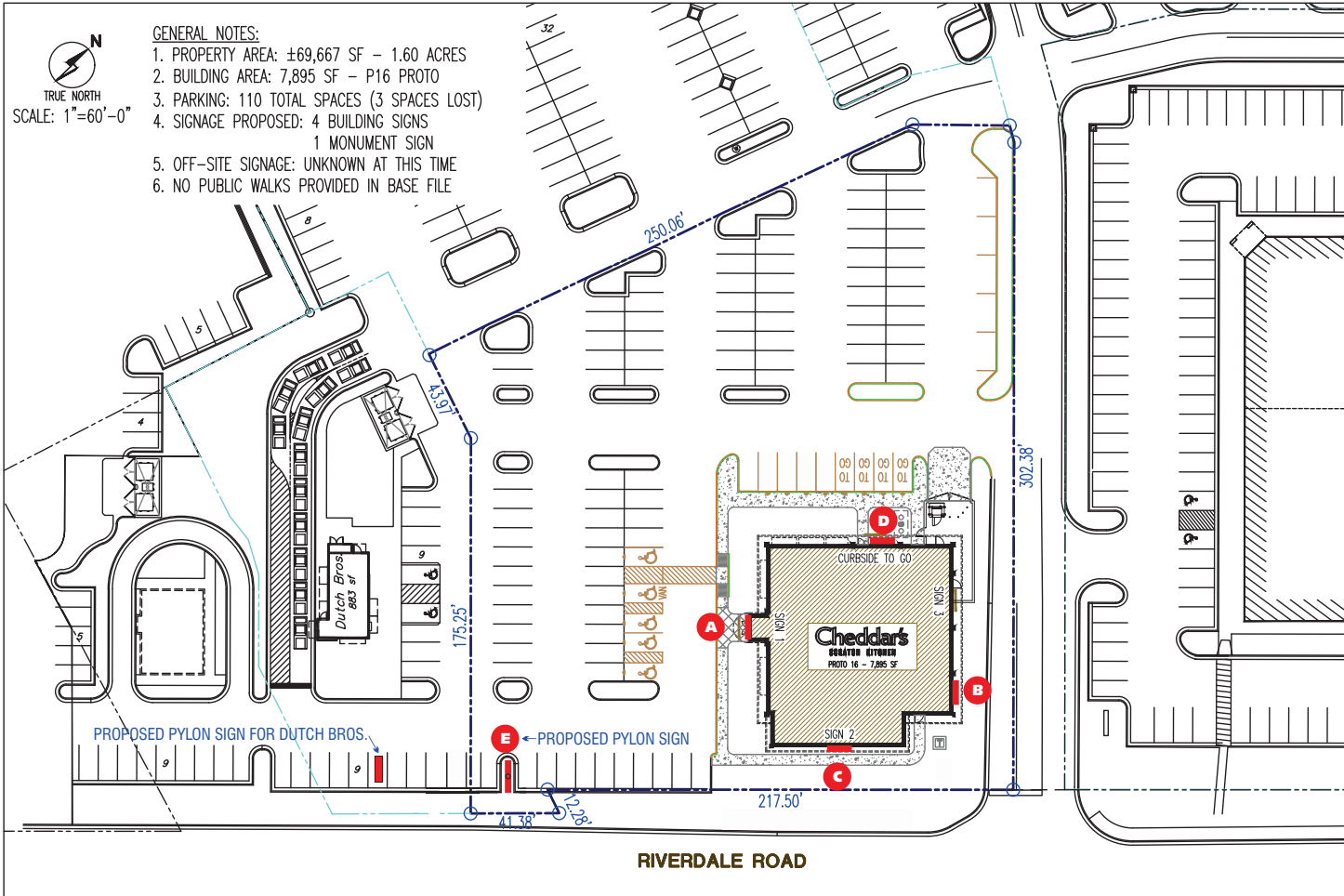
1 VICINITY MAP
SCALE: NTS



STORE LOCATION

2 AERIAL VIEW
SCALE: NTS





SQUARE FOOTAGE CHART	
WEST ELEVATION	SIGN "A" = 47.90 Sq. Ft.
EAST ELEVATION	SIGN "B" = 35.90 Sq. Ft.
SOUTH ELEVATION	SIGN "C" = 35.90 Sq. Ft.
NORTH ELEVATION	SIGN "D" = 35.90 Sq. Ft.
TOTAL BUILDING SQUARE FOOTAGE	SIGNS "A" + "B" + "C" + "D" = 155.60 Sq. Ft.
PYLON SIGN	SIGNS "E" = 297.39 Sq. Ft.
TOTAL BUILDING SQUARE FOOTAGE PLUS PYLON SIGN	SIGNS "A" + "B" + "C" + "D" + "E" = 453 Sq. Ft.
TOTAL BUILDING SQUARE FOOTAGE ALLOWED 600 SQ. FT.	
TOTAL PYLON SQUARE FOOTAGE ALLOWED 300 SQ. FT.	

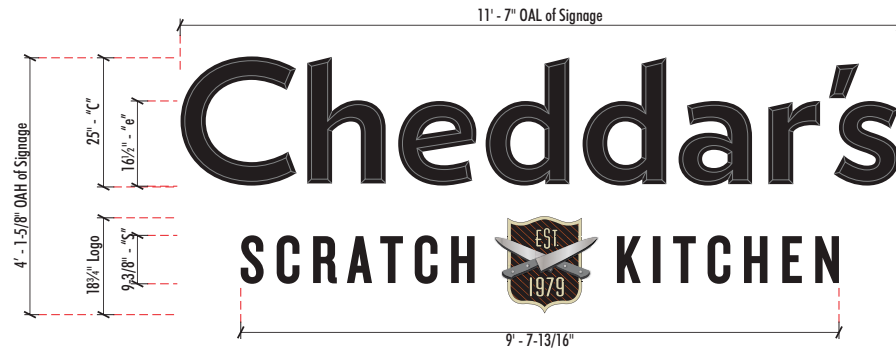
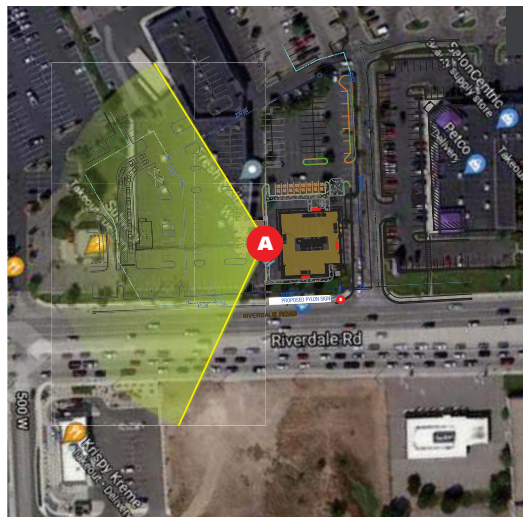
1 SITE PLAN
SCALE: NTS



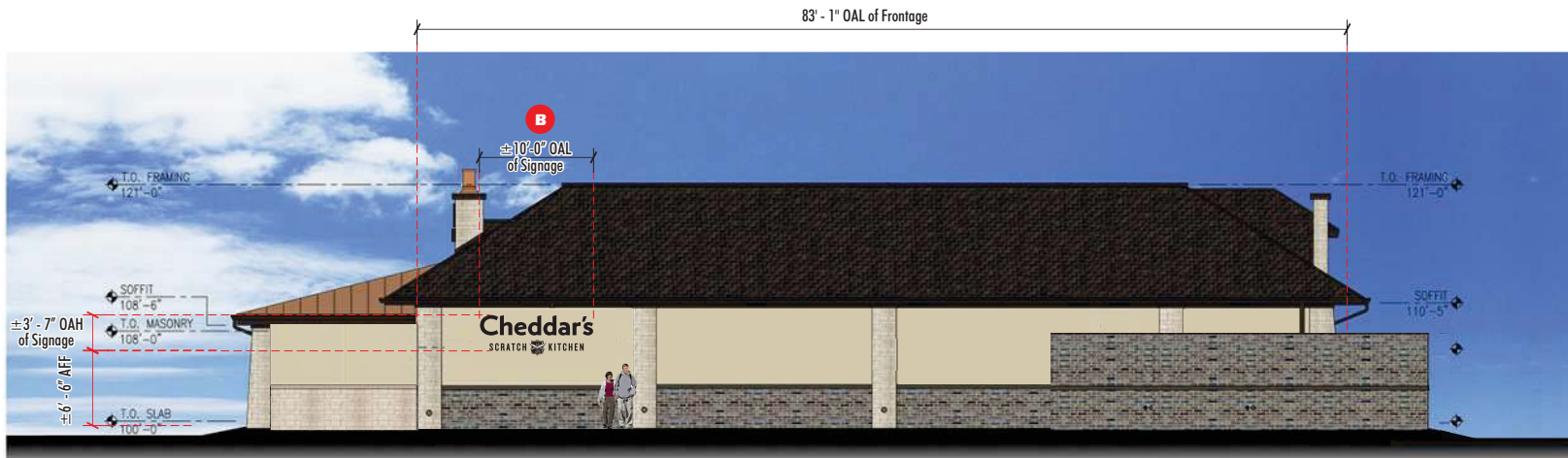


1 WEST ELEVATION (FRONT ELEVATION) SIGN SQUARE FOOTAGE FOR ELEVATION = 47.90 SQ. FT. (MAX ALLOWED @ 3 SF PER 1 FT. LINEAR, 248 SF)
 SCALE: 3/32" = 1' - 0"

NOTE: Elevations for sign placement only. May not reflect final design of building

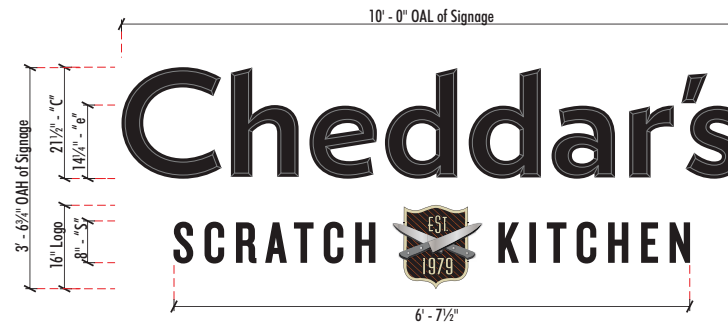
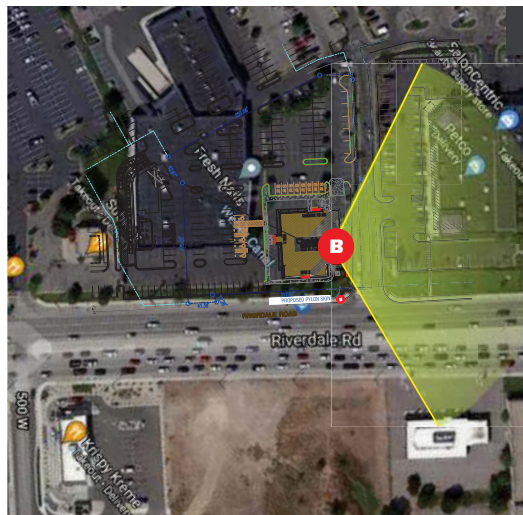


A 2 WEST ELEVATION (FRONT ELEVATION / FACES PARKING LOT) (SEE SIGN DETAILS PAGES 9-13)
 SCALE: 3/32" = 1' - 0"



1 EAST ELEVATION (FACES ENTRANCE INTO SHOPPING CENTER) SIGN SQUARE FOOTAGE FOR ELEVATION = 35.90 SQ. FT. (MAX ALLOWED @ 3 SF PER 1 FT. LINEAR, 248 SF)
SCALE: 3/32" = 1' - 0"

NOTE: Elevations for sign placement only. May not reflect final design of building

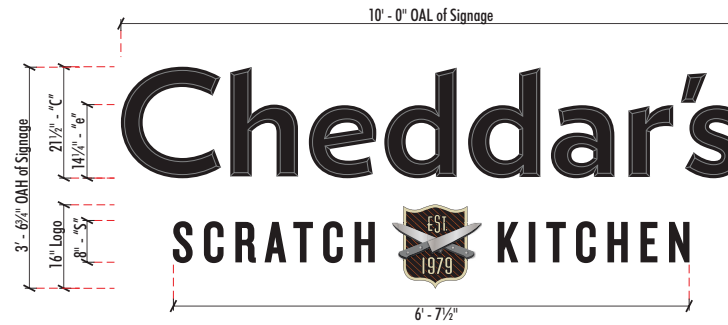
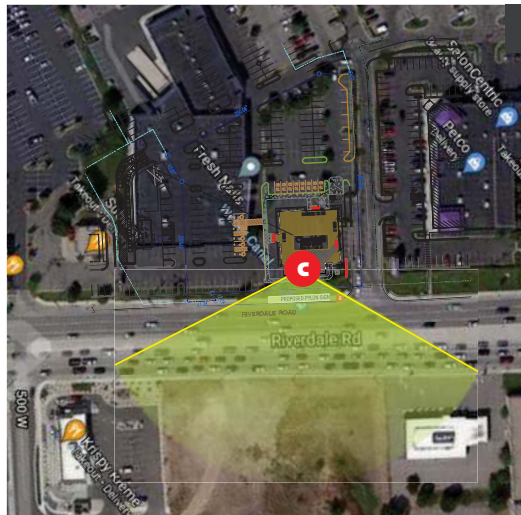


B **2** EAST ELEVATION (ENTRANCE TO SHOPPING CENTER) (SEE SIGN DETAILS PAGES 9-13)
SCALE: 3/32" = 1' - 0"



2 SOUTH ELEVATION (FACES RIVERDALE ROAD) SIGN SQUARE FOOTAGE FOR ELEVATION = 35.90 SQ. FT. (MAX ALLOWED @ 3 SF PER 1 FT. LINEAR, 248 SF)
 SCALE: 3/32" = 1' - 0"

NOTE: Elevations for sign placement only. May not reflect final design of building

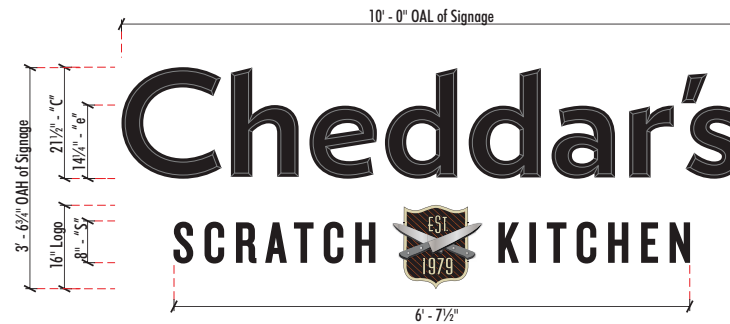
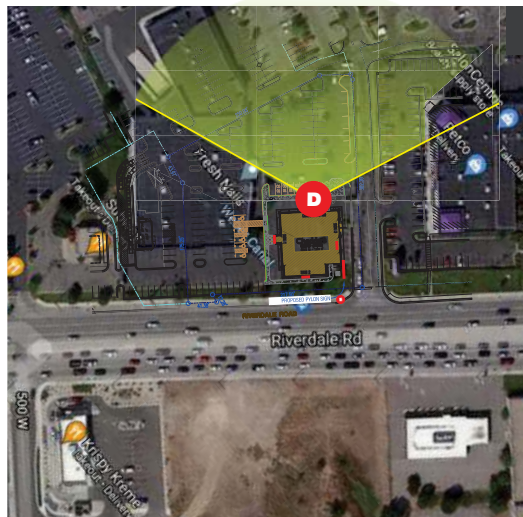


C **2** SOUTH ELEVATION (FACES RIVERDALE RD.) (SEE SIGN DETAILS PAGES 9-13)
 SCALE: 3/32" = 1' - 0"

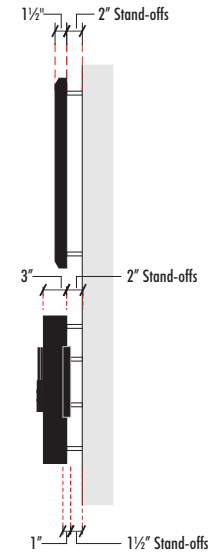
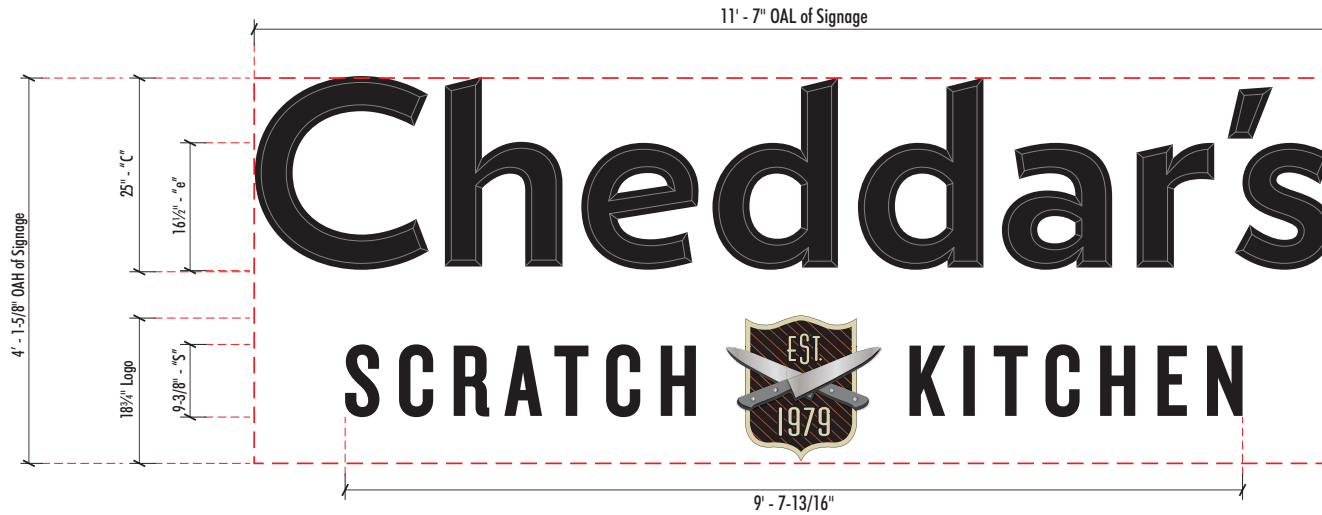


2 NORTH ELEVATION (SHOPPING CENTER) SIGN SQUARE FOOTAGE FOR ELEVATION = 35.90 SQ. FT. (MAX ALLOWED @ 3 SF PER 1 FT. LINEAR, 248 SF)
 SCALE: 3/32" = 1' - 0"

NOTE: Elevations for sign placement only. May not reflect final design of building



D 2 NORTH ELEVATION (FACES SHOPPING CENTER) (SEE SIGN DETAILS PAGES 9-13)
 SCALE: 3/32" = 1' - 0"



END VIEW



HALO ILLUMINATED CHANNEL LETTERS w/DUAL-LIT CHANNEL LOGO w/FCO KNIVES

SCALE: 3/4" = 1' - 0"

QTY: ONE (1) SET

SIGN AREA = 47.90 Sq. Ft.(Ea. Set)

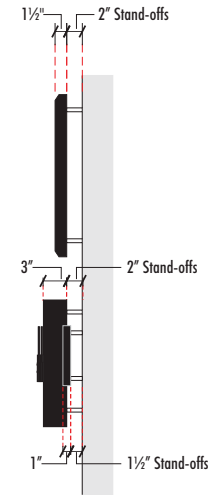
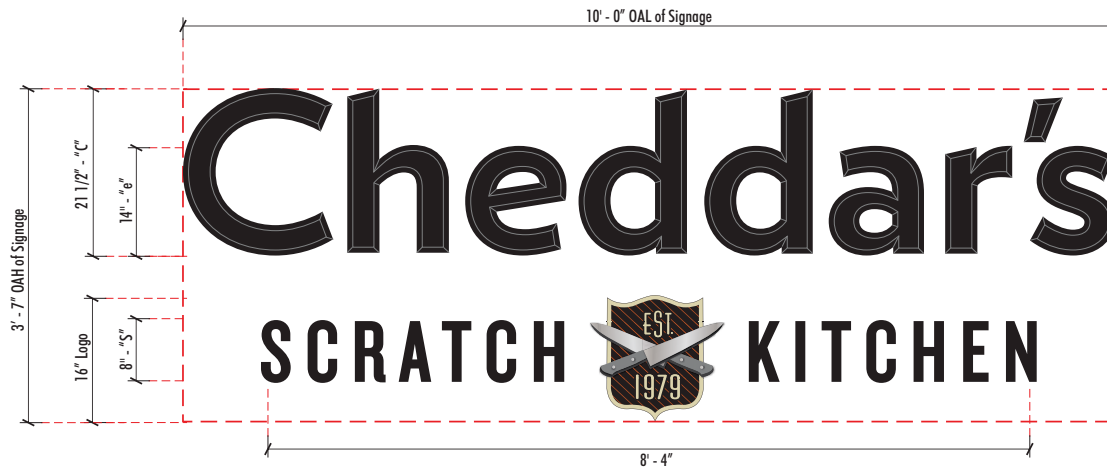
SPECIFICATIONS

- "CHEDDAR'S" - 1 1/2" deep, formed polycarbonate letters with beveled faces (as shown).
Face and Returns painted black (satin finish)
Backs - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
Halo illuminate with 7100k white LED's, with remote LED (12v) power supplies
Letters stand-off fascia 2" with 1/2" Ø aluminum spacers. Spacers painted white.
- "SCRATCH KITCHEN" - Fabricated 1" deep aluminum reverse channel letters
Face and returns painted black (satin finish)
Backs - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
Halo illuminated with 7100k white LED's, with remote LED (12v) power supply
Letter stand-off fascia 1 1/2" with 1/2" Ø aluminum spacers. Spacers painted white.
- "LOGO SHIELD" - Fabricated 3" deep aluminum dual-lit channel logo
Returns painted black (satin finish)
Trimcap - 1" black Jewelite
Face - White (2447) acrylic face with 1st surface UV digitally printed graphics
Back - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
Face and halo illuminated with 7100 white LED's with remote LED (12v) power supply
Logo stand-off fascia 2" with 1/2"
- FCO KNIVES - HANDLES - 1/8" thick clear acrylic handles painted matte black. Handles mount to both sides of steel blade
BLADE - 1/8" thick brushed aluminum blades with ground beveled edge
Knives crisscross over each other on front of "logo shield". Mount thru knife handles to logo shield leaving exposed aluminum screw head (2 each)

NOTE: INTERIORS OF LETTERS AND LOGO TO BE PAINTED WITH LIGHT ENHANCING PAINT
G.C. TO PROVIDE ALL BLOCKING FOR SIGNAGE



NIGHT TIME VIEW



END VIEW



B C D HALO ILLUMINATED CHANNEL LETTERS w/DUAL-LIT CHANNEL LOGO w/FCO KNIVES

SCALE: 3/4" = 1' - 0"

QTY: FOUR (4) SETS

SIGN AREA = 35.90 Sq. Ft. (Ea. Set)

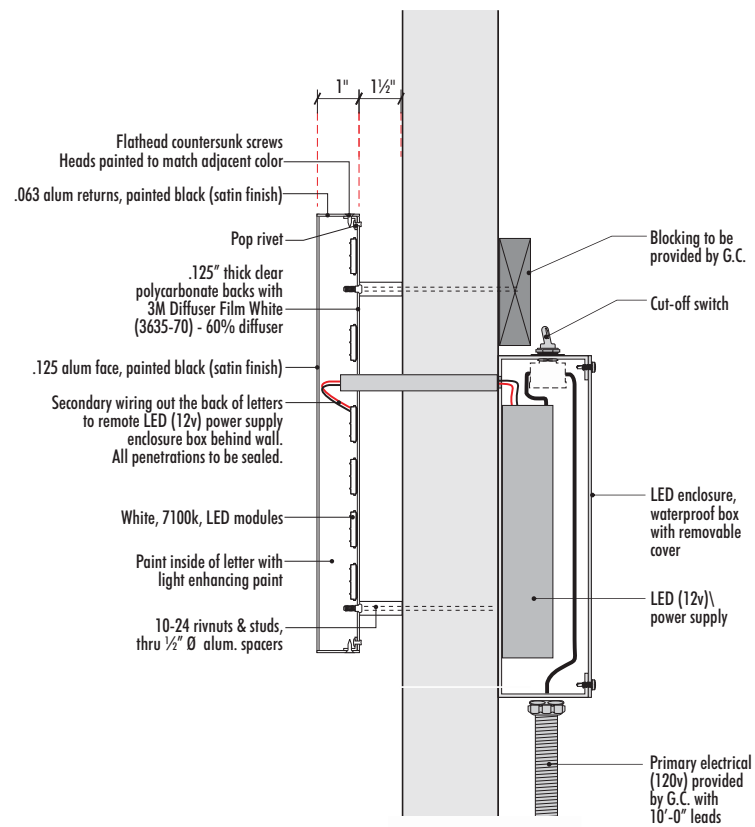
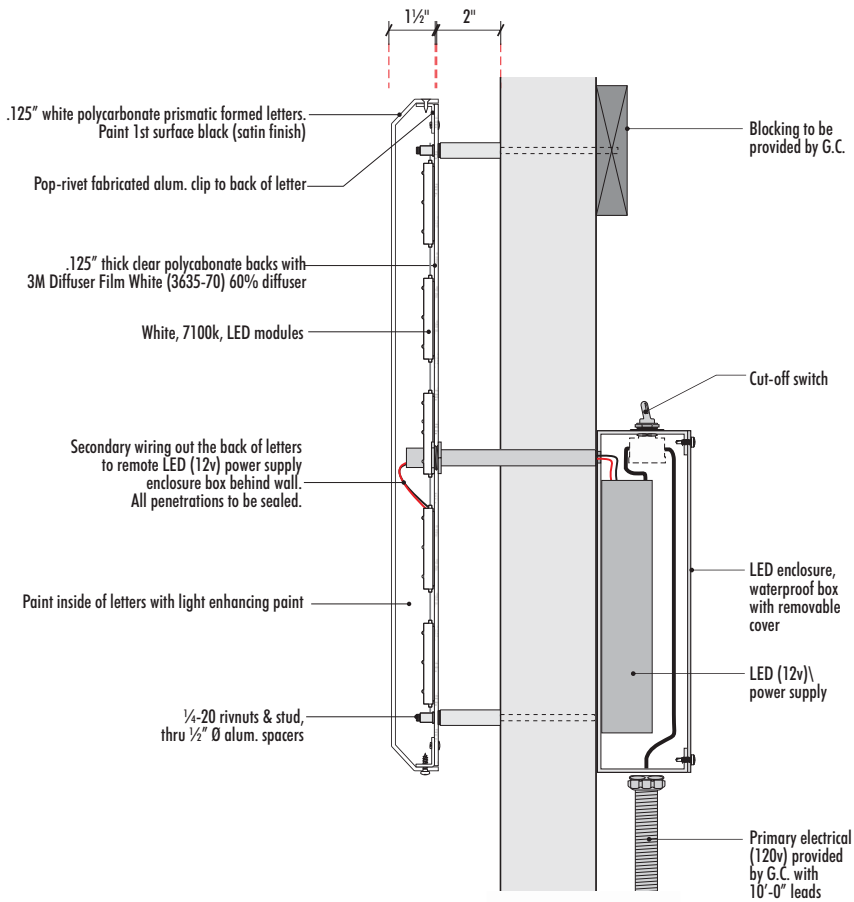
SPECIFICATIONS

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Face and Returns painted black (satin finish)
Backs - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
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BLADE - 1/8" thick brushed aluminum blades with ground beveled edge
Knives crisscross over each other on front of "logo shield". Mount thru knife handles to logo shield leaving exposed aluminum screw head (2 each)

NOTE: INTERIORS OF LETTERS AND LOGO TO BE PAINTED WITH LIGHT ENHANCING PAINT
G.C. TO PROVIDE ALL BLOCKING FOR SIGNAGE



NIGHTTIME VIEW



ELECTRICAL ILLUMINATION REQUIREMENTS

1 Dedicated 20 Amp Circuit at 120 Volts (FOR EACH SIGN)

NOTE: All primary electrical to sign location to be provided by others. A dedicated circuit with NO shared neutrals and a ground returning to the panel is required for installation.

This sign is intended to be installed in accordance with Article 600 or the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

All power supplies to be Ground-Fault Interrupted (GFI)

Signage to have a dedicated branch circuit, three (3) wires (Line, Neutral and Ground)

Wire sizes to be a minimum of 12 Ga. THHN copper wire. Gauge of wire is determined by the length of run and amperage as per NED Article 300

Voltage should read no more than 3 volts between ground and neutral

Conduit can not be used as ground path

Power to sign to be done by a electrical contractor or licensed electrician

Ground wire must be continuous and go from sign to panel board ground bus.

ALL COMPONENTS TO BE APPROVED

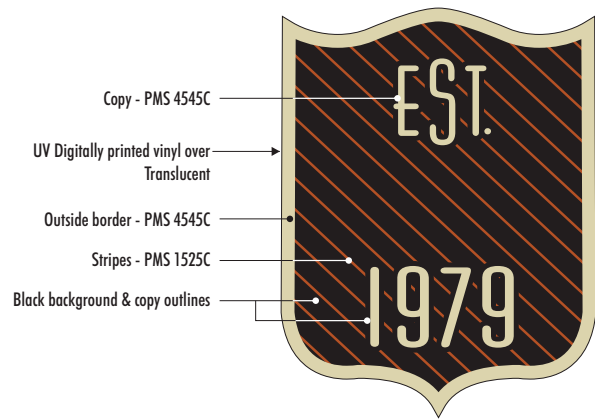
U.L. LABELS REQUIRED
INSTALL IN ACCORDANCE W/ NATIONAL ELECTRIC CODES

A B C D 1 SECTION DETAIL - FORMED-HALO ILLUM REVERSE CHANNEL LETTERS
 SCALE: NTS

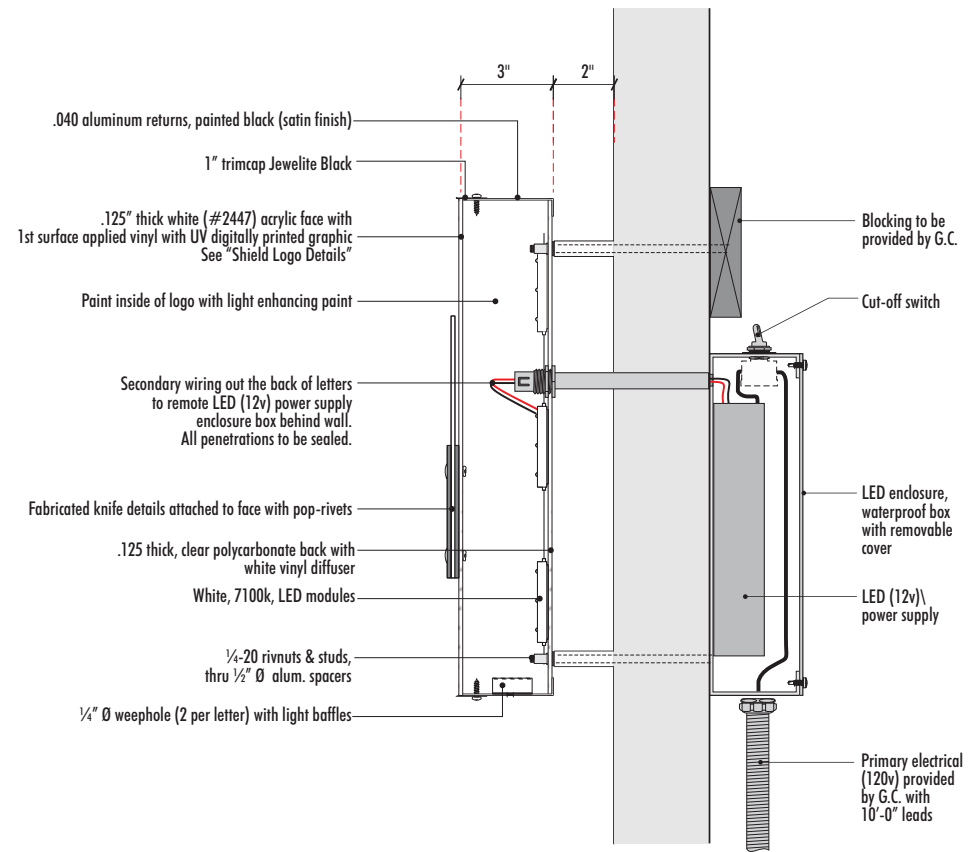
A B C D 2 SECTION DETAIL - HALO ILLUM REVERSE CHANNEL LETTERS
 SCALE: NTS

Cheddar's

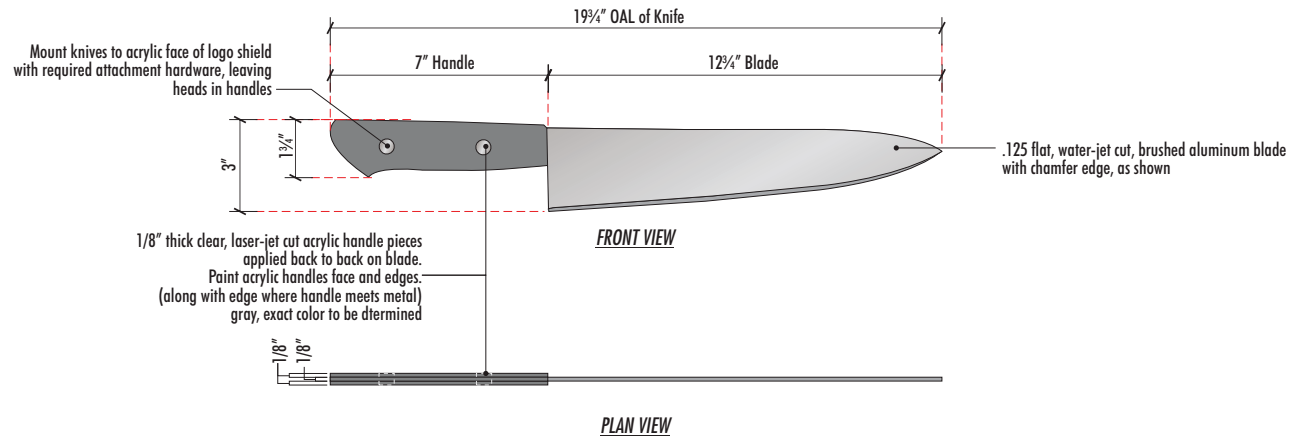
SCRATCH KITCHEN



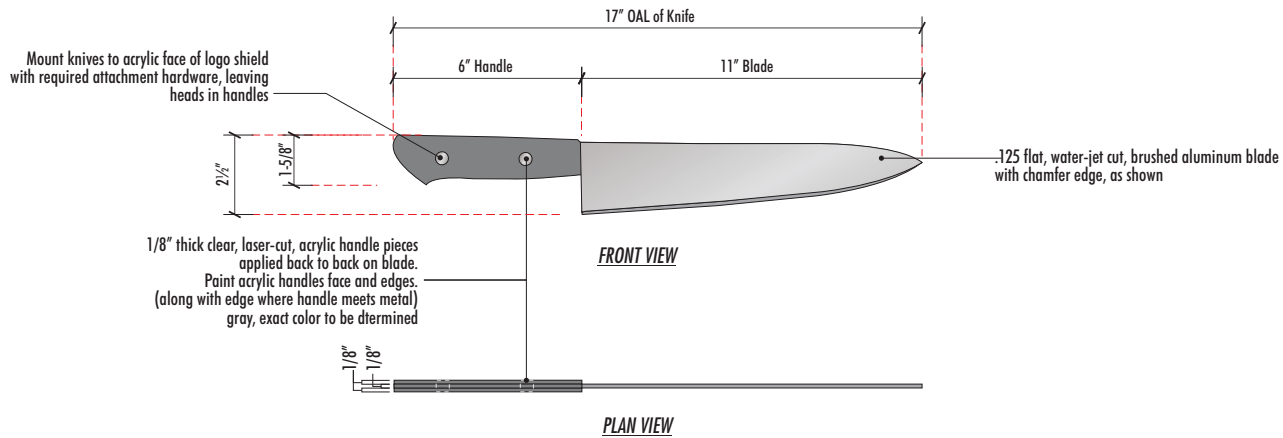
A B C D 1 SHIELD LOGO DETAILS
SCALE: NTS



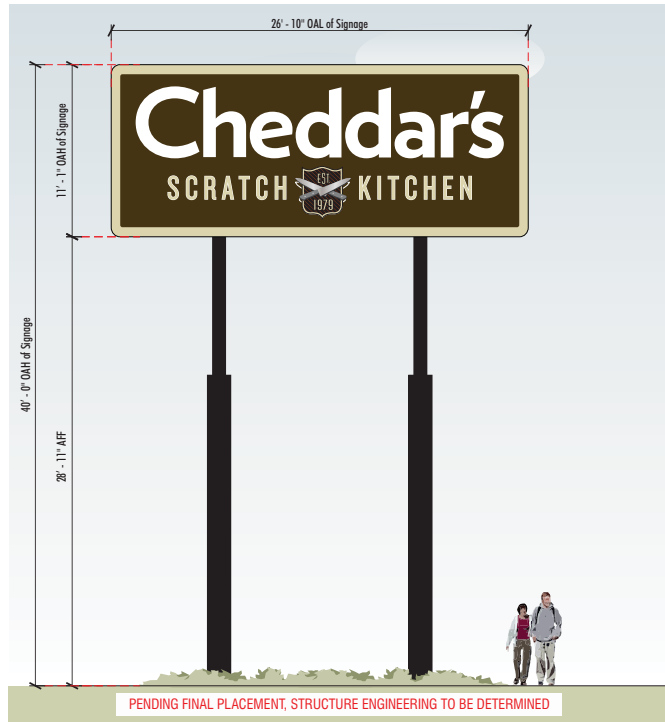
A B C D 2 SECTION DETAIL - DUAL-LIT SHIELD LOGO
SCALE: NTS



A **1** KNIVES LOGO DETAIL QTY: TWO (2) KNIVES per LOGO SHIELD CABINET
 SCALE: 3" = 1' - 0" TOTAL - 2 KNIVES AT THIS SIZE



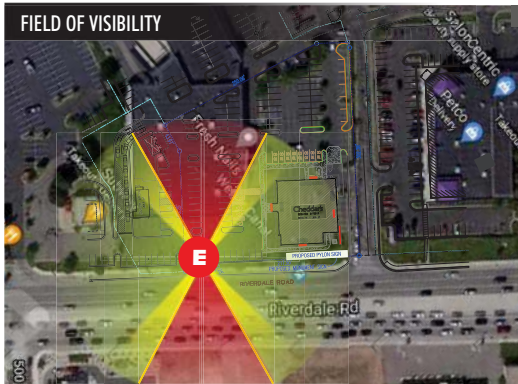
B **C** **D** **2** KNIVES LOGO DETAIL QTY: TWO (2) KNIVES per LOGO SHIELD CABINET
 SCALE: 3" = 1' - 0" TOTAL - 6 KNIVES AT THIS SIZE



E D/F INTERNALLY ILLUMINATED PYLON SIGN
SCALE: 1/8" = 1' - 0"

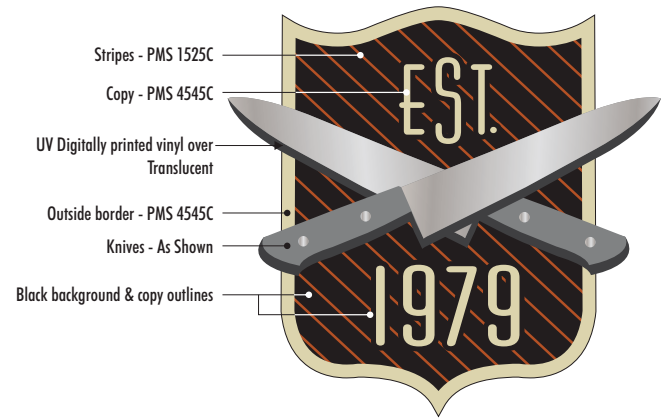
QTY: ONE (1)

SIGN AREA = 297.39 Sq. Ft.(Ea. Set) (MAX.ALLOWED 300 SF)



SPECIFICATIONS

- Fabricated aluminum D/F sign cabinet w/reveal & aluminum faces painted to match SW7510 Chateau Brown.
Reveal of cabinet painted to match PMS 462u Brown
Face border stripe painted to match PMS 4545u Beige
Illuminated with LED White (7100k) LED modules
- "Cheddar's" - 1" thick clear acrylic, routed-out / pushed-thru (3/4" proud).
Apply 1st surface 3M White (3630-20) vinyl and 2nd surface white diffuser
- "SCRATCH KITCHEN" - 1" thick clear acrylic, routed-out / pushed-thru (3/4" proud).
Apply 1st surface 30% white diffuser film and 3M Light Beige (3630-149) vinyl inset overlay, (Leaving white outline) and 2nd surface 60% white diffuser
- "Logo Shield & Knives (One Unit)" - 1" thick clear acrylic, routed-out / pushed-thru (3/4" proud)
Apply 1st surface UV digitally printed vinyl overlay and 2nd surface white diffuser
- Pole supports - Steel poles (engineering to be done)
- Primary electrical to run up thru columns. Primary power (120v / 277v) to be supplied by G.C.



1 SHIELD LOGO DETAILS
SCALE: NTS

Municipality & Zoning Information:

Jurisdiction: City of Riverdale Confirm Zoning: RCP (Retail Commercial Park Overlay)
 Department: Community Development Website: www.riverdalecity.com
 Department Contact: Mike Eggett Contact Title: Community Develop. Director
 Contact Phone: 801-394-5541 x1215 Contact Email: meggett@riverdalecity.com
 Additional Contacts: No Additional Jurisdictions Y/N: Y
 If so, what: Development Agreement for the Riverdale Center II Project
 Special Circumstances: No
 Special / Additional Approvals: _____

Examples: Planned Urban Development (PUD), Historical District, DRB, MSP
 Special Requirements: Signs are required to be included in the building Site Plan Review. This includes Planning Commission and DRC. Should be included in developer submittal.
 Estimated Timeframes: Estimated 12 weeks Estimated Fees: Valuation based
 Additional Notes: _____

Permitting Information:

Department Contact: Mike Eggett Contact Phone: 801-394-5541 x1215
 Contact Email: meggett@riverdalecity.com How Many Sets Required: _____
 Permit Process / Requirements: Standard submittal per documents below

<input checked="" type="checkbox"/> Sign Application	<input checked="" type="checkbox"/> Installer Info	<input type="checkbox"/> NOC
<input type="checkbox"/> Bldg Permit	<input checked="" type="checkbox"/> Installer License	<input type="checkbox"/> LOA
<input type="checkbox"/> Electrical Permit	<input type="checkbox"/> Materials Board	<input type="checkbox"/> Insurance
<input type="checkbox"/> LL Signature	<input type="checkbox"/> UL Info	<input type="checkbox"/> Lease Info
<input type="checkbox"/> Notary Required	<input type="checkbox"/> Engineering	<input type="checkbox"/> Job Valuation

Estimated Fees: Total fees based on job valuation
 Estimated Timeframes: After Site Plan approval, 1 - 2 weeks
 Additional Notes: _____

Center / Development Information:

Center / Development Name: Riverdale Shopping Center
 Address: 4027 Riverdale Rd., Ogden, UT 84405 New Construction / TI: New
 Owner: Kornwasser Shopping Center Properties, LLC Phone: 323-965-1510
 Owner Contact: Steven Usdan Contact Phone: 323-974-5200
 Contact Email: stevenu@kornwasser.net Center Sign Criteria Y/N: N*
 Does site adhere to center criteria / municipal code / both: *See note - Develop. Agreement
 Submittal Requirements: Standard email submittal. 2 - 3 day review.

Sign Allowances:

Temp Signage:
 Are Banners Allowed Y/N: Y Is Permit Required Y/N: Y
 How Many Signs Allowed: N/A Max Size Allowed: N/A
 How Long Is Permit Good For: 45 days Location Restrictions Y/N: _____
 Comments: When located 10' above grade, max projection is 6"

Wall Signage:
 How Many Signs Allowed: 1 per elevation Is Permit Required Y/N: Y
 Is Illuminated Allowed Y/N: Y Location Restrictions Y/N: Not per code
 Type of Illumination Allowed: Cheddar's standard halo lit is allowed
 Formula Used for Allowance: For every 1 LF of frontage (Riverdale) allowed x 3 total SF
 Max Height Allowed: Not per code Max Area Allowed: Frontage - 89.83 x 3 = 269.49
 Comments: Per Code: Max individual sign is 300 SF while total site is 600 SF (if above formula complies)

Canopy Signage:
 How Many Signs Allowed: _____ Is Permit Required Y/N: _____
 Is Illuminated Allowed Y/N: _____ Location Restrictions Y/N: _____
 Type of Illumination Allowed: _____
 Formula Used for Allowance: _____
 Max Height Allowed: _____ Max Area Allowed: _____
 Comments: There are no specifics in the code for canopy type signs.

Sign Allowances Continued:

Projecting Signage:

How Many Signs Allowed: N/A Is Permit Required Y/N: _____
 Is Illuminated Allowed Y/N: _____ Location Restrictions Y/N: _____
 Type of Illumination Allowed: _____
 Formula Used for Allowance: _____
 Max Height Allowed: _____ Max Area Allowed: _____
 Comments: There are no specifics in the code for projecting type signs.

Freestanding Signage:

How Many Signs Allowed: 1 Is Permit Required Y/N: Y
 Is Illuminated Allowed Y/N: Y Location Restrictions Y/N: Y
 Type of Illumination Allowed: Internal illumination
 Formula Used for Allowance: Size allowance is 300 SF and 40' max height.
 Max Height Allowed: 40' Max Area Allowed: 300 SF
 Setback Info: 10' from property line
 Comments: Freestanding sign to be located in landscape area.

Windor / Door Signage:

How Many Signs Allowed: _____ Is Permit Required Y/N: _____
 Formula Used for Allowance: _____
 Max Height Allowed: _____ Max Area Allowed: _____
 Comments: There are no specifics in the code for window type signs.

To Go Signage:

Are Specific Signs Allowed: _____ Is Permit Required Y/N: _____
 Is Illuminated Allowed Y/N: _____ Location Restrictions Y/N: _____
 Type of Illumination Allowed: _____
 Formula Used for Allowance: _____
 Max Height Allowed: _____ Max Area Allowed: _____
 Comments: There are no specifics in the code for To Go type signs.

Additional Municipality & Zoning Information:

Variance Process:

Does city provide process for signage: City offers variance process but signs not supported
 Describe Requirements: _____
 Documentation Required: _____
 Estimated Fees: _____
 Estimated Timeframes: _____
 What is typical % for approval: _____
 Submittal Requirement Deadline: _____
 Hearing Schedules: _____
 Is in person required for hearing: _____ City provide virtual alternative: _____
 Additional Notes: _____

Additional Code Notes: Development Agreement for the Riverdale Center II Project
Main entry sign allowed max size of 2 SF per 1 LF of building frontage, 1.5 SF per 1 LF of end cap, and 1 SF per 1 LF for rear elevation. This equates to 166 SF for storefront (west), 135.87 SF for side elevations (north and south), and 83.08 SF for rear (east). We are well under on all accounts. Wall signs allowed corporate colors, individual letters and font. Lighting can be internally illuminated, individual letters and logos allowed to be in pan channel cabinets. This also allows the use of directional signs but only for controlling traffic.

Projected Proposed Signage Summary:

Wall Signs Proposed Y/N: Y Number of Signs: 3
 Square Feet for Each Sign: A, B - 34.34 / C - 22.54 Combined Square Footage: 91.22
 Conflicts: None

Canopy Signs Proposed Y/N: No Number of Signs: _____
 Square Feet for Each Sign: _____ Combined Square Footage: _____
 Conflicts: None

Projecting Signs Proposed Y/N: No Number of Signs: _____
 Square Feet for Each Sign: _____ Combined Square Footage: _____
 Conflicts: None

Freestanding Signs Proposed Y/N: Y Number of Signs: 1
 Square Feet for Each Sign: 300 SF Combined Square Footage: 300 SF
 Conflicts: Could be possible landscaping that will need to be removed where proposed pylon is to be located. There may also be opportunities for spot(s) on existing multi-tenant signs.

Overall Findings Summary: Code has a pretty generous allowance of a 3:1 ratio for sf for the building.

Wall signs. Sign total is 154.76 sf.

Signage is also allowed on each elevation.

Using Cheddar's standard sizes, tenant is at an approx. Combined 155 sf.

Pylon signs are allowed and can be 40 oah and up to 300 sf max.

Pylon sign requires a 10' set back

Critical Issues:

Placement for the pylon to be verified in relation to building and overhead power lines but will offer significant visibility and awareness.

Possible proximity issue with new proposed pylon location in conjunction with future Dutch Bros. pylon.

There are other obstructions like trees, lanscape, and bus stop along Riverdale Rd. that will need to be adjusted and taken into consideration. we recommend removing or adjusting landscaping at southeast corner

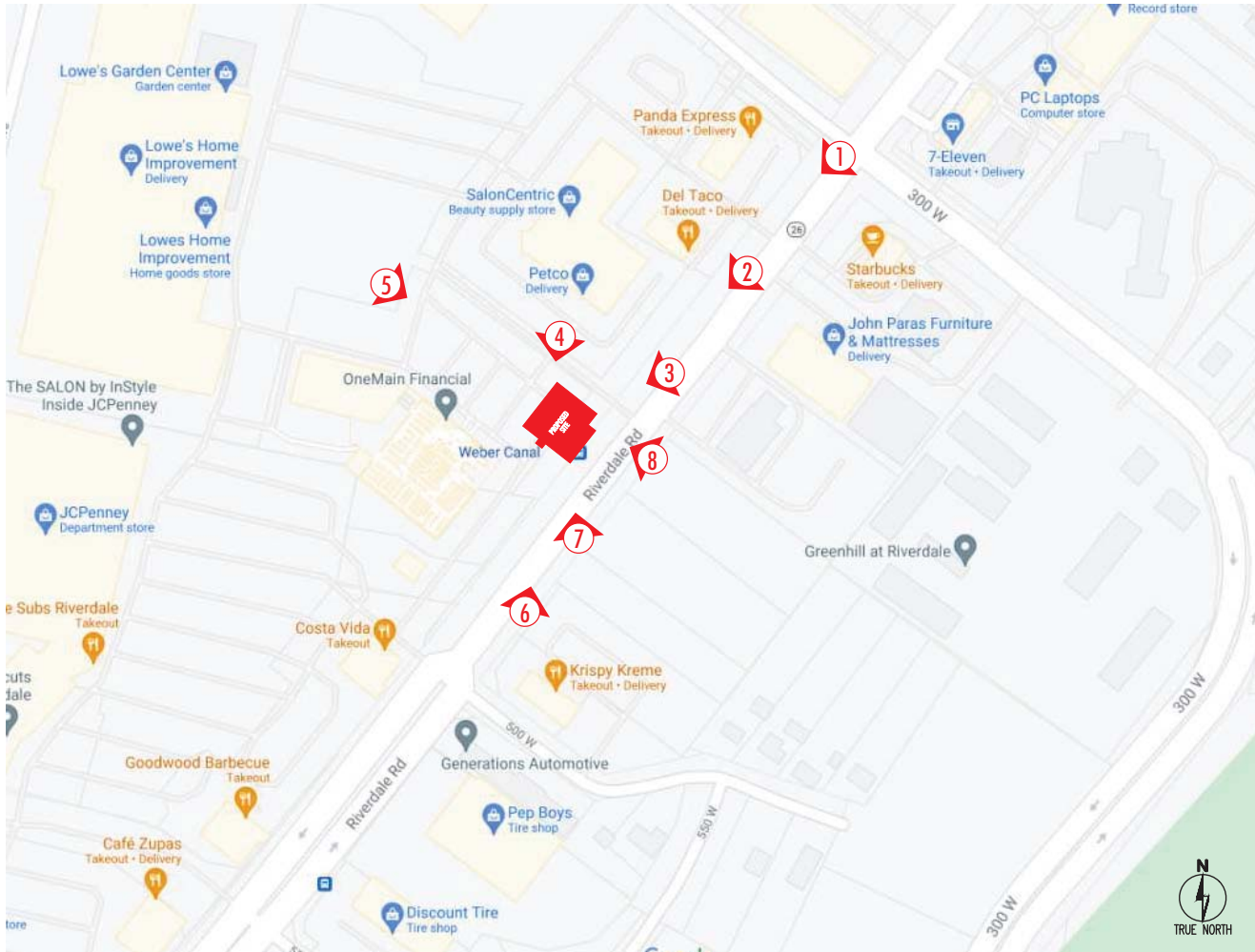
As well as trees along Riverdale Rd.

Initial site designs had visibility concerns for certain wall signs but new elevations help to alleviate some of this. North elevation sign may have Limited visibility for interior of shopping center due to lower location.

Sign C, on the east elevation, sits low under the roof line so it has less impact than if placed on a tower but the pylon sign should make up for it.

Elevations we received show "SCRATCH KITCHEN" copy w/ orange / copper faces.

This does not create enough contrast from the wall / stone finishes behind so we recommend using the black as shown.



Site Needs:

Site Line Visibility Info:

- Identify Obstructions
 - Trees that block building or freestanding sign
 - Buildings that block site or freestanding sign
- Identify visibility to all four building elevations

Surrounding signage:

- Need samples of surrounding building signage
 - Need samples of surrounding freestanding signs
- Identify any shared center signage

Notes:

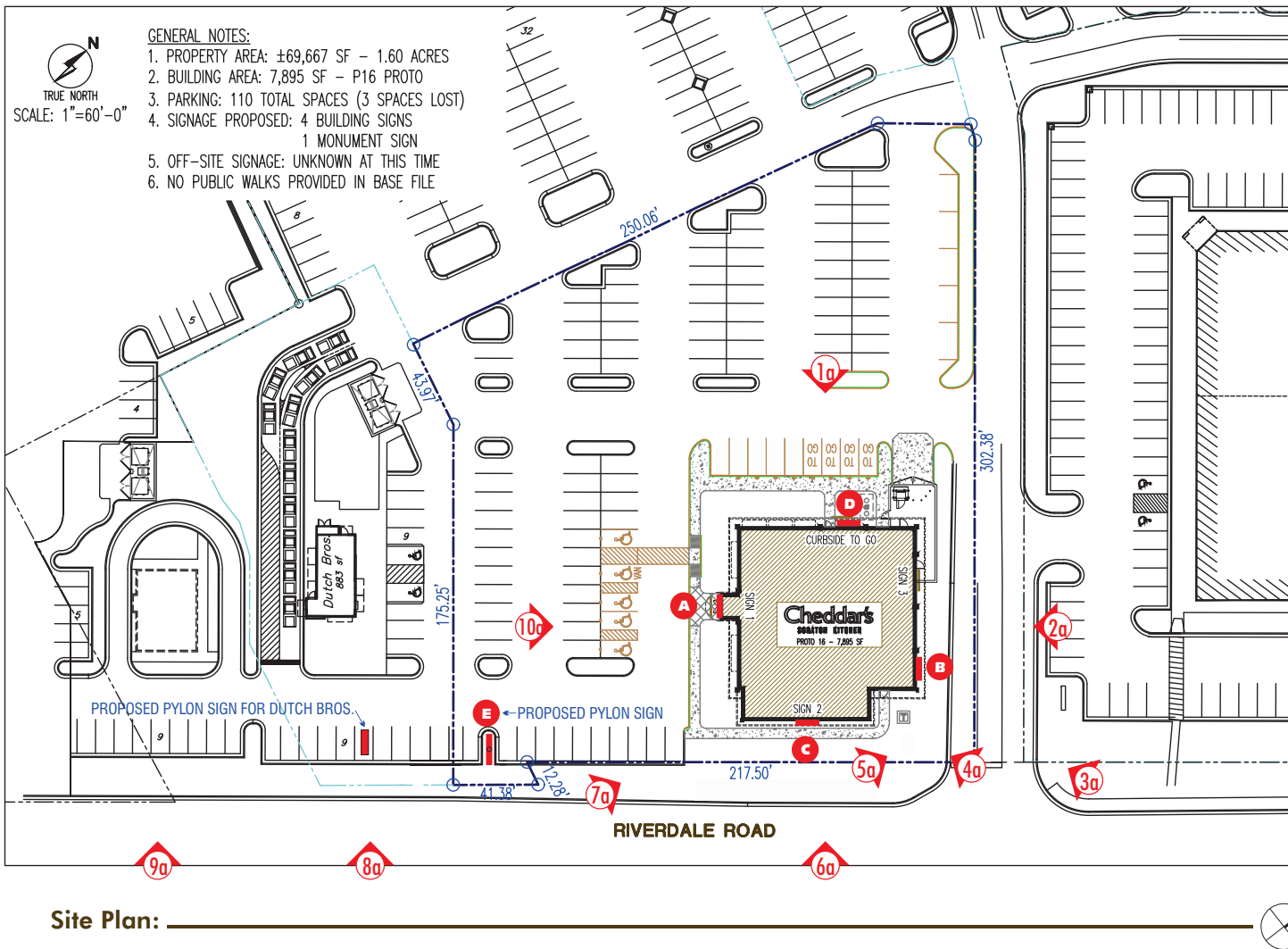
Current Best Buy building to be removed
 Identify nearby bus station at street
 Identify nearby pole signs south of property

- Freestanding
 - Dutch Bros.
 - Subway
- Cheddar's will want pylon sign so ID possible locations

Site Location:

Cheddar's Scratch Kitchen
 Riverdale Shopping Center
 South of Riverdale Rd & 300 W
 Riverdale, UT

Vicinity Map: _____



Site Plan:

Site Needs:

Site Line Visibility Info:

- Identify Obstructions
- Trees that block building or freestanding sign
- Buildings that block site or freestanding sign
- Identify visibility to all four building elevations

Surrounding signage:

- Need samples of surrounding building signage
- Need samples of surrounding freestanding signs
- Identify any shared center signage

Notes:

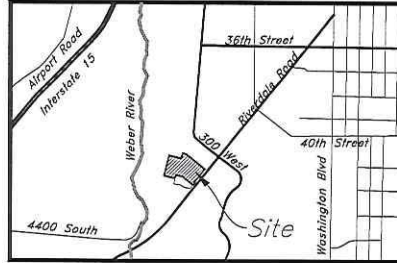
- Current Best Buy building to be removed
- Identify nearby bus station south of property
- Identify nearby pole signs south of property
- Freestanding
- Dutch Bros.
- Subway
- Cheddar's will want pylon sign so ID possible
- locations in landscape or planters

Site Location:

Cheddar's Scratch Kitchen
Riverdale Shopping Center
South of Riverdale Rd & 300 W
Riverdale, UT

Cheddar's Scratch Kitchen

4171 Riverdale Road
Riverdale, Utah 84405



Vicinity Map
Not to Scale

Civil Sheet Index

- C0.0 Cover Sheet
- C0.1 Subdivision Plan
- C0.1 Demolition Plan
- CL.0 Overall Site Plan
- CL.1 Site Plan
- C2.1 Grading Plan
- C2.2 Enlarged Grading Plan Details & Notes
- C3.1 Utility Plan
- C4.1 Details
- C4.2 Details
- C4.3 Details
- C5.1 Erosion Control Plan Phase 1
- C5.2 Erosion Control Plan Phase 2
- C5.3 Erosion Control Details
- LL.1 Landscape Plan
- LL.2 Landscape Schedule, Notes & Details
- LZ.1 Irrigation Plan
- LZ.2 Irrigation Schedule, Notes & Details

Construction Materials Note

All Construction Materials shall meet
Utah Code Sections

Unexcused Improvement Note

All missing, non-functioning and/or damaged
surface improvements shall be replaced.
(Sidewalk, Curb & Gutter, Fencing, etc.)

Contract No. 16.003 by R.
02/27/2016

Construction Note
All Construction and Materials shall meet applicable City standards.
Existing Improvements Note - All missing, non-functioning and/or damaged
surface improvements shall be replaced.

Abbreviations

BCP	Beyle Curb Return	PT	Point of Tangency
BCL	Balloon	PVC	Point of Vertical Curvature
BRF	Reinforcing Bar - Bottom of Retaining Wall	RCP	Reinforced Concrete Pipe
CBV	Cable Television Box	RD	Road Drain
CB	Catch Basin	SD	Signal Box
CCM	Corrugated Metal Pipe	SD	Signal Box
CCB	Cleanout Bar	SD	Storm Drain
COIT	Overhead to Grade	SDM	Storm Drain Manhole
CA	Edge of Asphalt	SW	Sewer Manhole
CS	Electrical Box	SW	Secondary Water
EC	End of Curve	SS	Sanitary Sewer
CCP	End Curve Return	SVZ	Sight Visibility Zone
CS	Grade Street	SW	Secondary Water
GM	Gas Meter	TA	Top of Asphalt
AB	Road Box	TR	Telephone Box
HP	High Point	TBC	Top of Back of Curb
I	Irrigation Line	TT	Top of Concrete
ICB	Irrigation Control Box	TM	Telephone Manhole
LS	Lip of Curb	TP	Top of Pipe
LP	Light Pole	TR	Top of Retaining Wall
MP	Manhole	TR	Top of Walk
M	Monument	VC	Vertical Curve
PC	Point of Curvature	WPC	Vertical Point of Curve
PCC	Point of Compound Curvature	WPT	Vertical Point of Tangency
PI	Point of Intersection	WT	Waterline
PM	Power Meter	WP	Working Point
PP	Power Pole	WP	Working Point

Legend

Proposed Curb & Gutter	Existing Improvements	Proposed Storm Drain	Existing Storm Drain
Proposed Green Face C & G	Existing Asphalt	Proposed Concrete	Existing Concrete
Proposed Asphalt	Existing Concrete	Proposed Reinforced Concrete	Existing Catch Basin
Proposed Concrete	Existing Inter Box	Proposed Reinforced Concrete	Existing Catch Basin
Proposed Reinforced Concrete	Existing Catch Basin	Proposed Manhole	Existing Manhole
Proposed Manhole	Existing Sewer	Proposed Catch Basin	Existing Sewer
Proposed Transformer	Existing Overhead Power Line	Proposed Manhole	Existing Water Valve
Proposed Meter Box	Existing Water	Proposed Transformer	Existing Water Valve
Proposed Water Meter	Existing Secondary Water	Proposed Meter Box	Existing Water Meter
Proposed Catch Basin	Existing Sewer	Proposed Water Meter	Existing Storm Drain
Proposed Storm Drain	Existing Storm Drain	Proposed Catch Basin	Existing Storm Drain
Proposed Manhole	Existing Gas	Proposed Storm Drain	Existing Gas
Proposed Gas	Existing Telephone	Proposed Manhole	Existing Telephone
Proposed Telephone	Existing Fence	Proposed Gas	Existing Fence
Proposed Fence	Existing Retaining Wall	Proposed Telephone	Existing Retaining Wall
Proposed Retaining Wall	Existing Light Pole	Proposed Fence	Existing Light Pole
Proposed Light Pole	Existing Street Light	Proposed Retaining Wall	Existing Street Light
Proposed Street Light	Existing Building	Proposed Light Pole	Existing Building
Proposed Building	Existing Power Pole	Proposed Street Light	Existing Power Pole
Proposed Power Pole	Existing Power Pole w/ Day	Proposed Building	Existing Power Pole
Existing Power Pole w/ Day	Existing Utility Pole	Proposed Power Pole	Existing Utility Pole
Existing Utility Pole	Existing Post	Existing Power Pole w/ Day	Existing Post
Existing Post	Existing Concrete Tree	Existing Utility Pole	Existing Concrete Tree
Existing Concrete Tree	Existing Concrete Tree	Existing Post	Existing Concrete Tree
Existing Concrete Tree	Detail Number	Existing Concrete Tree	Detail Number
Detail Number	Detail Number	Detail Number	Detail Number

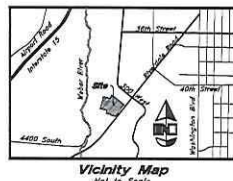
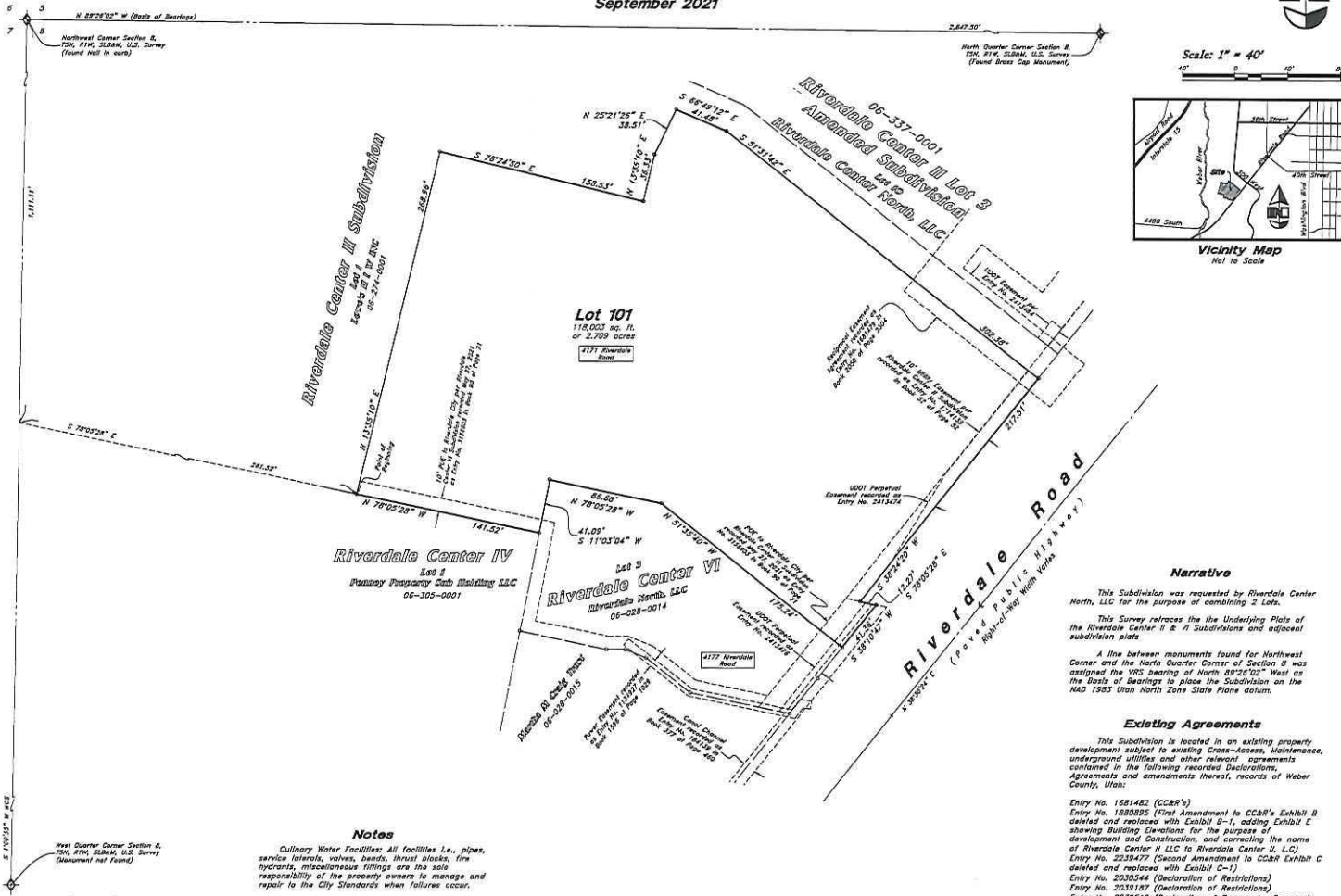
19 Oct, 2021
SHEET NO.
C0.0

Anderson Whalen & Associates
2010 North Phoenix Blvd, Suite 100, Cedar Rapids, IA 52401
(515) 241-8333 - AWA@awh.com

19-2246-0
CGA Acquisition
Client Name:
Designed by: JT
Checked by: DC
Date:
DATE

Riverdale Center VI Subdivision Amended

Amending Lots 1 and 2, Riverdale Center VI Subdivision Located within the Northwest Quarter of Section 8, Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey
Riverdale City, Weber County, Utah
September 2021



Surveyor's Certificate
I, Ken B. Hawkes, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold Certificate No. 8707111 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Act; I further certify for, and on behalf of Anderson Wahlen & Associates that by authority of the owners I have completed the survey of the property located as indicated and are sufficient to reflect on the plat and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter shown as Riverdale Center VI Subdivision Amended

Riverdale Center VI Subdivision Amended Boundary Description
All of Lots 1 and 2, Riverdale Center VI Subdivision filed as Entry No. 2156603 in Book 90 of Plats of Page 71 of the Official Records of Weber County, located in the Northwest Quarter of Section 8, Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey, in Riverdale City, Weber County, Utah:
Beginning at a point on the Northern Line of Lot 1, Riverdale Center I Subdivision, recorded as Entry No. 2239519 in Book 85 of Plats of Page 47, Official Records of Weber County, also being the most Southern Corner of Lot 1 of said Riverdale Center I Subdivision, located 1111.11 feet South 1°03'52" West along the Section Line to a point on the Northern Line of Lot 4 of said Riverdale Center II Subdivision; and 261.32 feet South 78°05'28" East to and along said Northern Line, and the Southern Line of said Riverdale Center II Subdivision, from a nail found marking the Northwest Corner of said Section 8, said nail in a curb is located 2647.50 feet North 89°24'22" West from a Brass Cap Monument found marking the North Quarter Corner of said Section 8; and running thence along the Eastern, Southern, and Southwesterly Lines of said Lot 1 of said Riverdale Center II Subdivision the following six courses: North 13°51'10" East 208.85 feet; South 78°24'50" East 158.53 feet; North 13°51'10" East 36.33 feet; North 25°21'28" East 38.51 feet; South 66°49'12" East 41.49 feet; and South 51°31'42" East 502.30 feet to the Northwesterly Line of Riverdale Road as dedicated per said Riverdale Center II Subdivision; thence along said Northwesterly Line as dedicated the following two courses: South 12°24'22" West 217.51 feet to the Southwest Corner of said Road Dedication; and South 78°05'28" East 12.27 feet to the Northwesterly Line of said Riverdale Road as dedicated per Entry No. 2416280 of the Official Records of Weber County; thence South 35°10'47" West 41.16 feet along the Northwesterly Line as dedicated to the most Eastern Corner of Lot 3 of said Riverdale Center VI Subdivision; thence the following three courses along the Northwesterly and Westerly Lines of said Lot 3: North 51°35'46" West 175.24 feet; North 78°05'28" West 86.68 feet to the Northwest corner of said Lot 3; and South 11°03'04" West 41.03 feet to said Northern Line of Lot 1, Riverdale Center IV Subdivision; thence North 78°05'28" West 141.22 feet along said Northern Line to the point of beginning.

Contains 118,003 sq. ft. Or 2.703 acres

Signed this 14th day of September, 2021

8707111
License No.

Ken B. Hawkes
Surveyor

Owner's Dedication
Know all by these presents that we, the undersigned owners of the described tract of land hereon, having caused the same to be subdivided into a lot to hereafter be known as RIVERDALE CENTER VI SUBDIVISION AMENDED, do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for public use, and do warrant, defend, and save the City harmless against all assessments or other encumbrances on the dedicated streets which will interfere with the City's use, operation, and maintenance of the streets and do further dedicate the assessments as shown for the use by all suppliers of utility or other necessary services.

In witness whereof I have hereunto set my hand
This _____ Day of _____ AD, 20__

Riverdale Center North, LLC
By: Steven Udson
Its: Manager

Acknowledgment
State of _____
County of _____

On this _____ day of _____, 2021 personally appeared before me, Steven Udson the signer of the foregoing instrument, who duly acknowledged to me that he is the manager in behalf and that he executed it in such capacity.

Notary Public Full Name: _____
Commission Number: _____
My Commission Expires: _____
A Notary Public Commissioned in Utah
(If above information is provided, no stamp is required per Utah Code, Title 48, Chapter 1, Section 16)

A Notary Public

A notary public or other officer completing this certificate certifies only the identity of the signatory who signed the document; it does not certify that the document is executed, and not the truthfulness, accuracy, or validity of that document.

Notes
Culinary Water Facilities: All facilities i.e., pipes, service laterals, valves, bends, thrust blocks, fire hydrants, miscellaneous fittings are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
Sanitary Sewer Facilities: All facilities i.e., pipes, manholes, laterals, pipeline cleaning, sewer backups are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
Storm Water Facilities: All facilities i.e., pipes, manholes, inlet catch basins, office and office central structures, detention storage basins, overflow spillways are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
Roadways and Sidewalks Facilities: All hard-surfacing facilities i.e., are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Legend
Property Line
Easement Line
Adjoining Line
Section Corner
Set 3/8" rebar with plastic cap or nail with brass top stamped "ANA"

Notes
Culinary Water Facilities: All facilities i.e., pipes, service laterals, valves, bends, thrust blocks, fire hydrants, miscellaneous fittings are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
Sanitary Sewer Facilities: All facilities i.e., pipes, manholes, laterals, pipeline cleaning, sewer backups are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
Storm Water Facilities: All facilities i.e., pipes, manholes, inlet catch basins, office and office central structures, detention storage basins, overflow spillways are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
Roadways and Sidewalks Facilities: All hard-surfacing facilities i.e., are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.



Riverdale City Planning Commission
Approved by the Riverdale City Planning Commission on the _____ Day of _____, 20__

Chair, Riverdale City Planning Commission

Riverdale City Engineer
I hereby certify that the Office of the City Engineer has examined the foregoing plat and in our opinion the information contained hereon, complies with the Public Works Standards and Specifications of Riverdale City.

Signed this _____ Day of _____, 20__

Riverdale City Engineer

Riverdale City Approval
This is to certify that the plat and dedication of this plat were duly approved and accepted by the City Council of Riverdale City, Utah this _____ Day of _____, 20__

Riverdale City Mayor

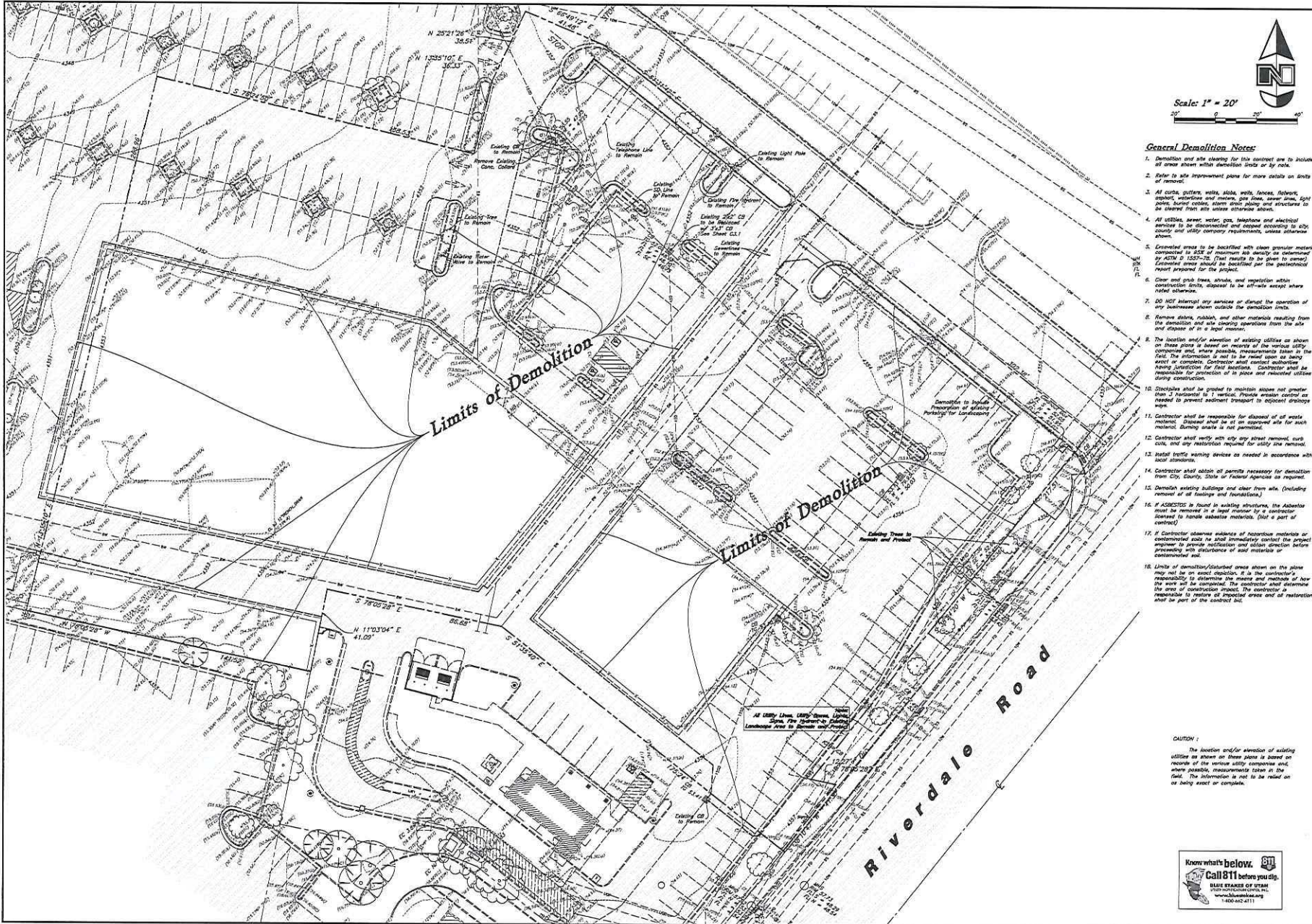
Approving Agency
Riverdale City
4500 S. Weber River Dr.
Riverdale, UT 84405

Owner/Developer
Riverdale Center North LLC
5870 Wilshire Blvd. Ste 1200
Los Angeles, CA 90035
323-953-1510

Weber County Recorder
ENTRY NO. _____ FILED FOR RECORDS ON _____ AT _____ IN BOOK _____ OF OFFICIAL RECORDS, PAGE _____ RECORDED FOR _____

Riverdale City Attorney
Approved by the Riverdale City Attorney on the _____ Day of _____, 20__

Riverdale City Attorney



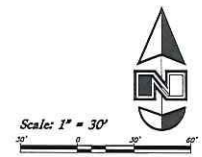
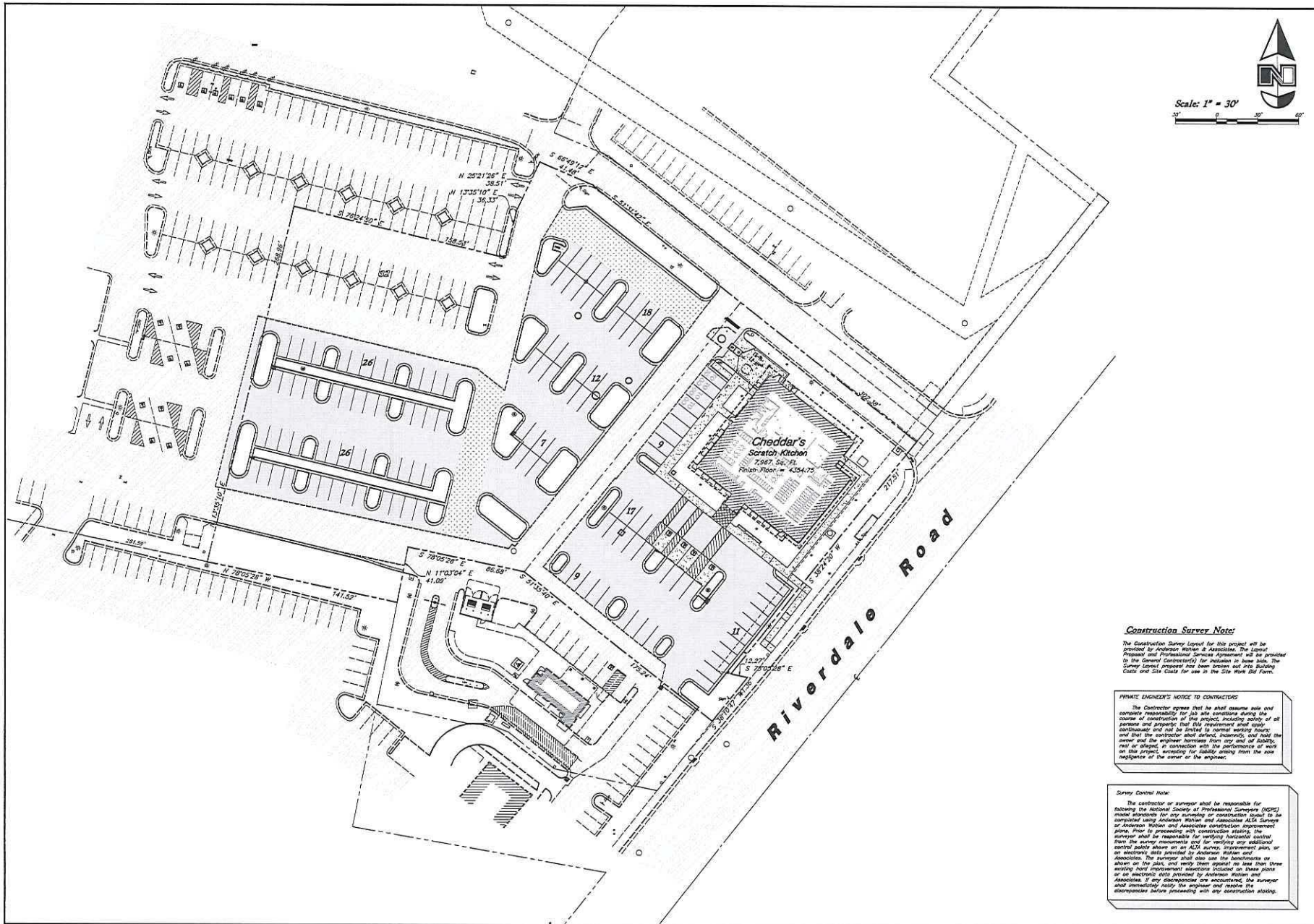
- General Demolition Notes:**
- Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
 - Refer to site improvement plans for more details on limits of removal.
 - All curbs, gutters, walk, sidewalks, fences, retaining walls, utility and water, gas flow, sewer lines, light poles, hand curbs, storm drain piping and structures to be cleared from site unless otherwise shown.
 - All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
 - Excavated areas to be backfilled with clean granular material compacted to 95% of maximum soil density as determined by ASTM D 1557-75. (Final results to be client to review). Excavated areas should be backfilled per the geotechnical report prepared for the project.
 - Clear and grub trees, stumps, and vegetation within construction limits, disposal to be off-site except where noted otherwise.
 - DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
 - Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
 - The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. This information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
 - Structures shall be grouted to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
 - Contractor shall be responsible for disposal of all waste material. Cleanup shall be at an approved site for such material. Burning waste is not permitted.
 - Contractor shall verify with city any street removal, curbs, cuts, and any restrictions required for utility line removal.
 - Install traffic warning devices as needed in accordance with local standards.
 - Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
 - Demolish existing buildings and clear from site, including removal of all footings and foundations.
 - If asbestos is found in existing structures, the Asbestor must be removed in a legal manner by a contractor responsible to handle asbestos materials. (Not a part of contract).
 - If Contractor observes evidence of hazardous materials or contaminated soil to be abated, it is the contractor's responsibility to distribute the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore or mitigate areas and all restoration shall be part of the contract bid.
 - Limits of demolition/disturbed areas shown on the plans may not be on exact location. It is the contractor's responsibility to distribute the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore or mitigate areas and all restoration shall be part of the contract bid.

	Scale: 1" = 20'						
<p>General Demolition Notes:</p> <ol style="list-style-type: none"> Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note. Refer to site improvement plans for more details on limits of removal. All curbs, gutters, walk, sidewalks, fences, retaining walls, utility and water, gas flow, sewer lines, light poles, hand curbs, storm drain piping and structures to be cleared from site unless otherwise shown. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum soil density as determined by ASTM D 1557-75. (Final results to be client to review). Excavated areas should be backfilled per the geotechnical report prepared for the project. Clear and grub trees, stumps, and vegetation within construction limits, disposal to be off-site except where noted otherwise. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. This information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction. Structures shall be grouted to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways. Contractor shall be responsible for disposal of all waste material. Cleanup shall be at an approved site for such material. Burning waste is not permitted. Contractor shall verify with city any street removal, curbs, cuts, and any restrictions required for utility line removal. Install traffic warning devices as needed in accordance with local standards. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required. Demolish existing buildings and clear from site, including removal of all footings and foundations. If asbestos is found in existing structures, the Asbestor must be removed in a legal manner by a contractor responsible to handle asbestos materials. (Not a part of contract). If Contractor observes evidence of hazardous materials or contaminated soil to be abated, it is the contractor's responsibility to distribute the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore or mitigate areas and all restoration shall be part of the contract bid. Limits of demolition/disturbed areas shown on the plans may not be on exact location. It is the contractor's responsibility to distribute the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore or mitigate areas and all restoration shall be part of the contract bid. 				<p>Checked by: JT Drafted by: SC Client Name: CDR Application: 19-2746m2</p>			
		<p style="text-align: right;">Anderson Whalen & Associates 2010 West Highland Blvd, Salt Lake City, Utah 84116 (801) 331-6331 - ANA@awh.com</p>					
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">Demolition Plan</p>		<p style="writing-mode: vertical-rl; transform: rotate(180deg);">Cheddar's Scratch Kitchen</p>					
		<p>4171 Riverdale Road Riverdale, Utah 84405</p>					
		<p>19 Oct, 2021</p>					
		<p>C0.1</p>					



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 300 N ZEEB RD
 ANN ARBOR MI 48106
 1-800-541-4711



Construction Survey Note:


The Construction Survey Control for this project will be provided by Anderson Wahlen & Associates, Inc. The Layout, Proposed and Professional Service Agreement will be provided to the General Contractor(s) for inclusion in their bids. The Survey Control provided has been reviewed and the Submittal Costs and Site Costs for use in the Site Work Bid Form.

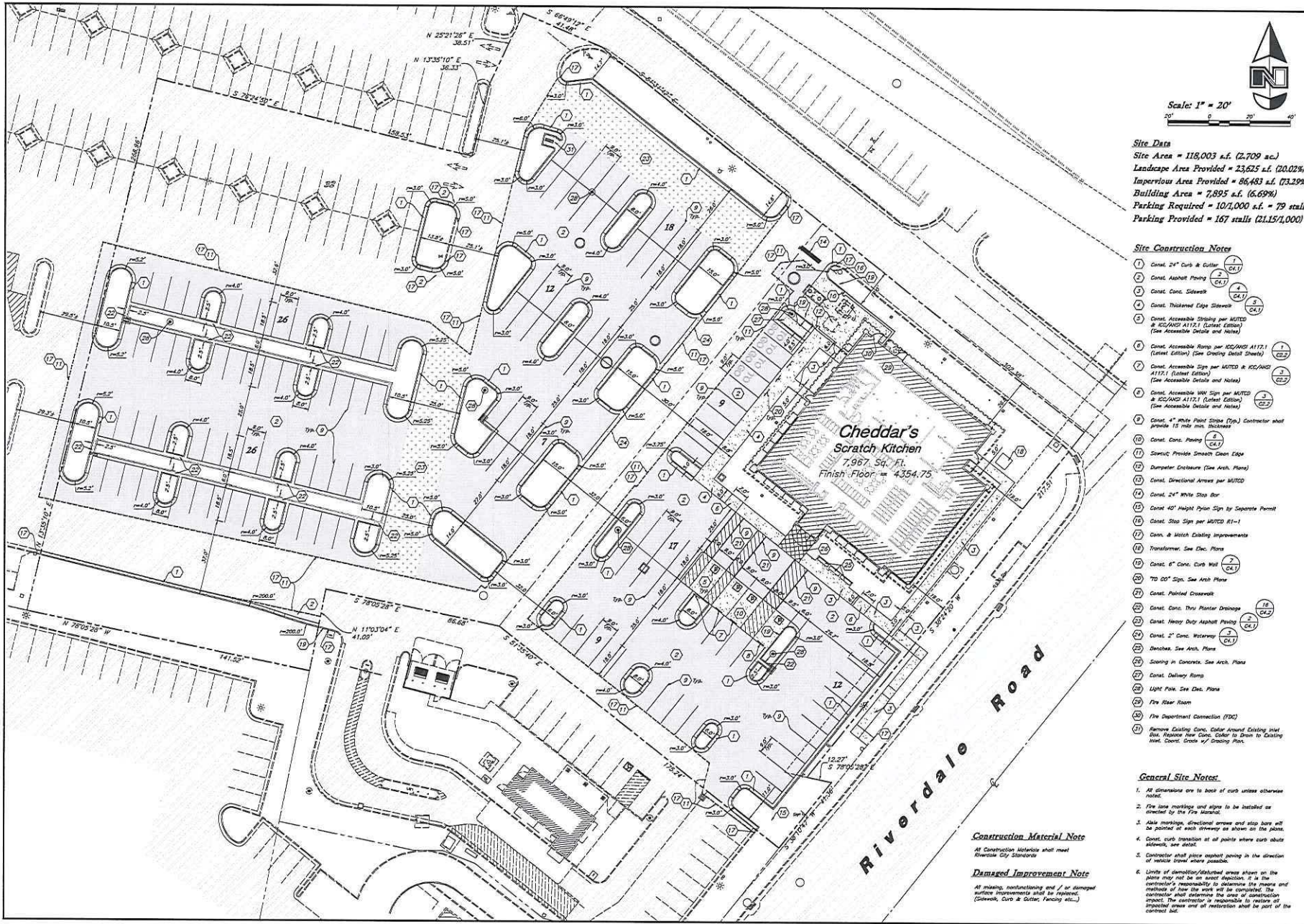
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for all work conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall continue until the project is completed, and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, arising from the liability arising from the sole negligence of the owner or the engineer.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any existing or construction layout to be completed using Anderson Wahlen and Associates ALTA Survey or Anderson Wahlen and Associates construction equipment plans. Prior to proceeding with construction staking, the contractor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or an instrument data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against the last three existing horizontal monument stations indicated on these plans or as indicated with precision by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

 <p>ANDERSON WAHLEN & ASSOCIATES 2010 North Riverdale Road, Ste. 100, City Park, UT 84118 (801) 331-8337 - AWA@awahlen.com</p>	<p>DESIGNED BY: JF DRAFTED BY: GC CLIENT NAME: CDA Application 18-22462</p>
<p>Overall Site Plan</p> <p>Cheddar's Scratch Kitchen 4171 Riverdale Road Riverdale, Utah 84405</p>	<p>19 Oct, 2021</p> <p>SHEET NO.</p> <p>C1.0</p>



Scale: 1" = 20'

Site Data
 Site Area = 118,003 s.f. (2.709 ac.)
 Landscape Area Provided = 23,625 s.f. (20.02%)
 Impervious Area Provided = 86,483 s.f. (73.29%)
 Building Area = 7,967 s.f. (6.69%)
 Parking Required = 101,000 s.f. = 79 stalls
 Parking Provided = 167 stalls (21.15/1,000)

- Site Construction Notes**
- 1 Const. 2" Curb & Gutter (1/2) (CA1)
 - 2 Const. Asphalt Paving (2) (CA1)
 - 3 Const. Conc. Sidewalk (1) (CA1)
 - 4 Const. Thickened Edge Sidewalk (2) (CA1)
 - 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
 - 6 Const. Accessible Ramps per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets)
 - 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
 - 8 Const. Accessible Way Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
 - 9 Const. 4" White Paint Slope (Typ.) Contractor shall provide 15 min. thickness
 - 10 Const. Conc. Paving (2) (CA1)
 - 11 Semic. Provide Smooth Cast Edge
 - 12 Dumpster Enclosure (See Arch. Plans)
 - 13 Const. Directional Arrows per MUTCD
 - 14 Const. 2" White Stop Bar
 - 15 Const. 40" Height Plym Sign by Separate Permit
 - 16 Const. Stop Sign per MUTCD R1-1
 - 17 Conn. & Match Existing Improvements
 - 18 Transformer. See Elec. Plans
 - 19 Const. 6" Conc. Curb Wall (2) (CA1)
 - 20 7D 00" Sign. See Arch. Plans
 - 21 Const. Painted Crosswalk
 - 22 Const. Conc. Thru Planter Drainage (2) (CA1)
 - 23 Const. Heavy Duty Asphalt Paving (2) (CA1)
 - 24 Const. 2" Conc. Waterway (2) (CA1)
 - 25 Benches. See Arch. Plans
 - 26 Sealing in Concrete. See Arch. Plans
 - 27 Const. Delivery Ramps
 - 28 Light Pole. See Elec. Plans
 - 29 Fire Risk Room
 - 30 Fire Department Connection (FDC)
 - 31 Remove Existing Conc. Color Around Existing steel Deck Recessed Area Conc. Color to Match to Existing wall. Const. Grade w/ Grading Plan.

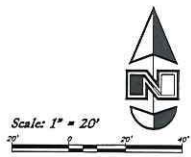
General Site Notes

1. All dimensions are to back of curb unless otherwise noted.
2. The line markings and signs to be installed are directed by the Fire Marshal.
3. All markings, directional arrows and stop bars will be painted on each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place rebar having in the direction of vehicle travel where possible.
6. Livability of demarcated/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Material Note
 All Construction Materials shall meet Riverside City Standards

Damaged Improvement Note
 All existing, under-construction and / or damaged surface improvements shall be repaired (Sidewalk, Curb & Gutter, Fencing, etc.)

<p>Anderson Whalen & Associates 2010 South Main Street, Suite 1010 Salt Lake City, Utah 84143 (801) 531-8572 - FAX: (801) 531-8573</p>	<p>DESIGNED BY: JT CHECKED BY: DC CLIENT NAME: COA Acquisition PROJECT NO: 19-274607</p> <p style="text-align: center;">AWA ANDERSON WHALEN & ASSOCIATES</p> <p style="text-align: center;">Site Plan Cheddar's Scratch Kitchen 4171 Riverdale Road Riverdale, Utah 84405</p> <p style="text-align: center;">NO. 7556020 10/1/21 Utah STATE OF UTAH REGISTERED PROFESSIONAL ENGINEER</p> <p style="text-align: center;">19 Oct, 2021 C1.1</p>
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General Grading Notes:

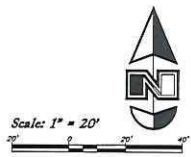


1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be constructed per the recommendations of the geotechnical report prepared for the project and shall be verified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fill shall be banded into compacted material as per specifications and geotechnical report.
7. All trench berms shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and final soil compression log to the rough grading.
9. The final construction report and certification from a Geotechnical Engineer shall contain the type of fill testing performed. Each test shall be certified with the method of obtaining the in-place density, whether sand cone or cone penetrometer test, as an approved method. Sufficient maximum density determinations shall be performed to verify the accuracy of the field technician. Density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions shall be used to protect adjoining properties during the grading process.
13. All public roadways must be covered daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and grubbed of all vegetation and stumps prior to grading.
15. Aggregate base shall be compacted per the geotechnical report prepared for the project.
17. The permittee shall retain the following Geotechnical Engineering Report for Civil Engineering Submittals are Preparation. The Report is filed in "Geotechnical Engineering Submittals" folder of the project file on the City Engineer's computer. Proposed Utah Snow Coffee Riverside Riverside, Utah
Project No: 15342
Date: November 30, 2020
18. As part of the construction documents, owner has provided contractor with a topographic survey performed for record or as-built means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. If it is determined that such survey may not accurately reflect existing topographic conditions.
19. If Contractor observes evidence of hazardous materials or contaminated soil, he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.

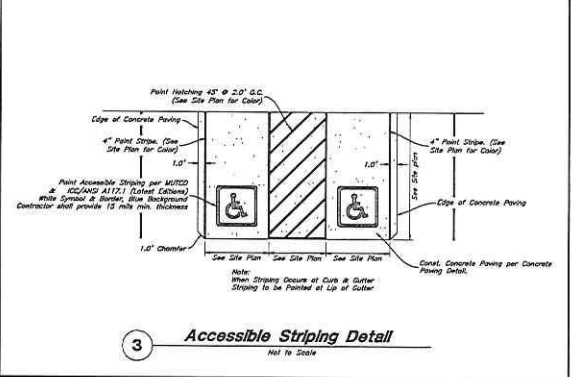
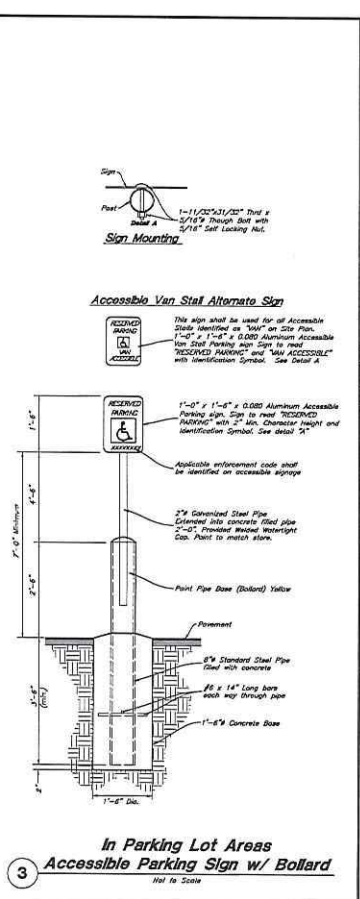
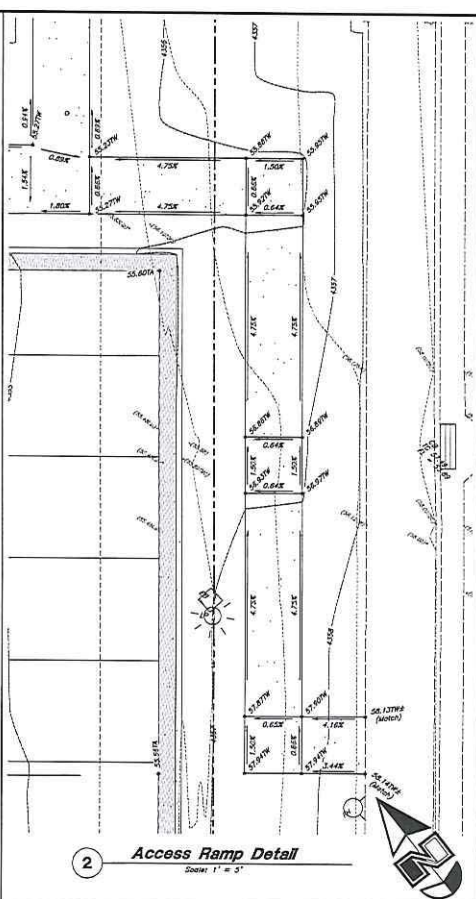
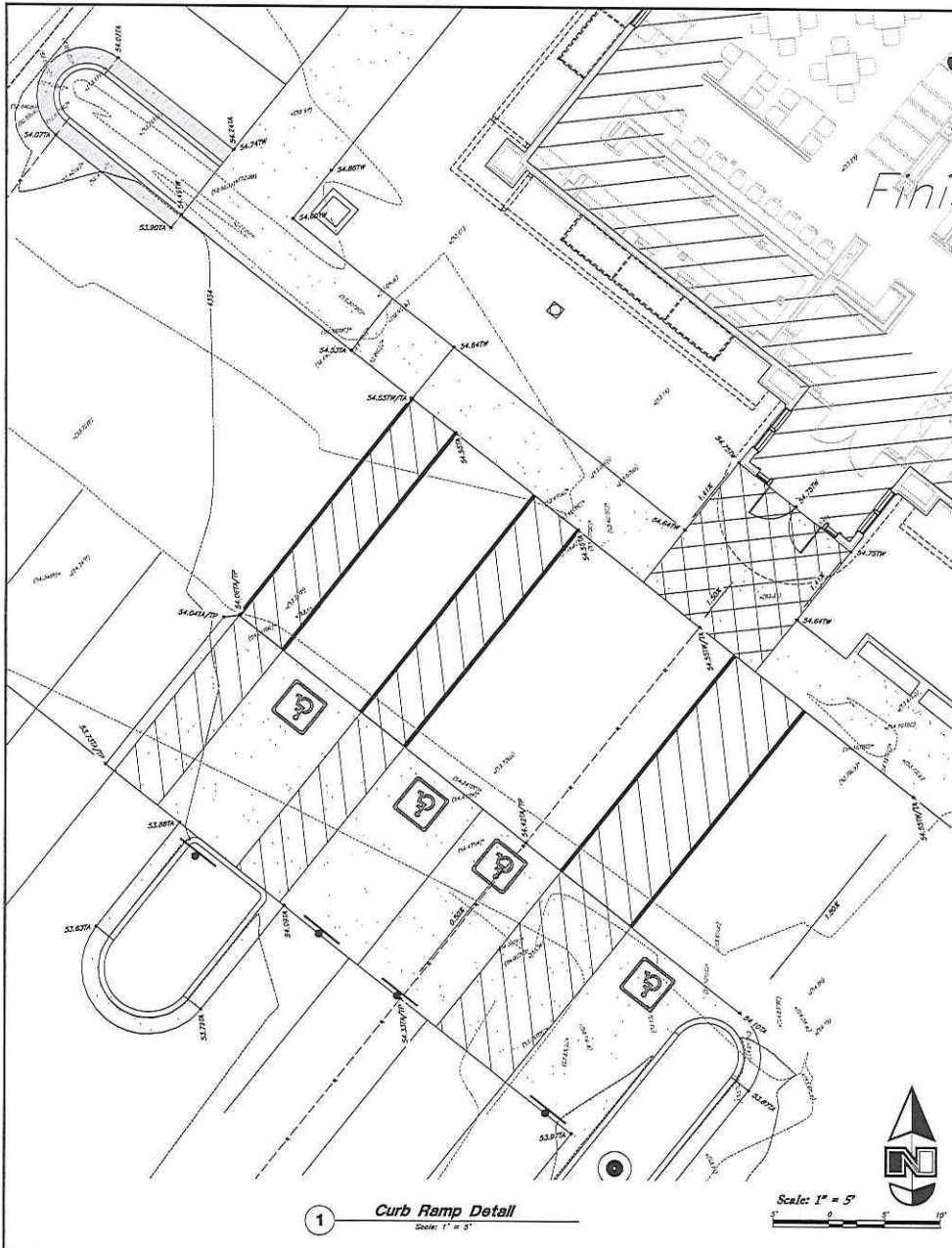
Curb and Gutter Construction Notes:

1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of gutter grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
5. Dimensions from open face to standard curb and gutter are to be smooth, flush from these areas if necessary.
6. Spot elevations are shown on this plan with best marking. Coordinate and verify site information with project drawings.

Sidewalk Construction Notes:

1. Concrete sidewalks shall be constructed with a cross slope of 1.5% (2.08% minimum) unless shown otherwise on plan.
2. Raising slope of sidewalks shall be built per grades shown on the plan, where grades are not provided, sidewalks shall be constructed with a maximum raising slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.


<p>General Grading Notes:</p> <ol style="list-style-type: none"> 1. All grading shall be in accordance with the project geotechnical study. 2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical. 3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical. 4. Fills shall be constructed per the recommendations of the geotechnical report prepared for the project and shall be verified by a Geotechnical Engineer. 5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill. 6. Fill shall be banded into compacted material as per specifications and geotechnical report. 7. All trench berms shall be tested and certified by a Geotechnical Engineer. 8. A geotechnical engineer shall perform periodic inspections and submit a complete report and final soil compression log to the rough grading. 9. The final construction report and certification from a Geotechnical Engineer shall contain the type of fill testing performed. Each test shall be certified with the method of obtaining the in-place density, whether sand cone or cone penetrometer test, as an approved method. Sufficient maximum density determinations shall be performed to verify the accuracy of the field technician. Density curves used by the field technician. 10. Dust shall be controlled by watering. 11. The location and protection of all utilities is the responsibility of the permittee. 12. Approved protective measures and temporary drainage provisions shall be used to protect adjoining properties during the grading process. 13. All public roadways must be covered daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer. 14. The site shall be cleared and grubbed of all vegetation and stumps prior to grading. 15. Aggregate base shall be compacted per the geotechnical report prepared for the project. 17. The permittee shall retain the following Geotechnical Engineering Report for Civil Engineering Submittals are Preparation. The Report is filed in "Geotechnical Engineering Submittals" folder of the project file on the City Engineer's computer. Proposed Utah Snow Coffee Riverside Riverside, Utah Project No: 15342 Date: November 30, 2020 18. As part of the construction documents, owner has provided contractor with a topographic survey performed for record or as-built means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. If it is determined that such survey may not accurately reflect existing topographic conditions. 19. If Contractor observes evidence of hazardous materials or contaminated soil, he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
 <p>Anderson Whalen & Associates 2100 West Riverside Blvd., 3rd East City, Utah 84116 (801) 581-9225 • Fax: (801) 581-9227</p>
<p>Grading Plan</p> <p>Cheddar's Scratch Kitchen 4171 Riverdale Road Riverside, Utah 84405</p>

<p>19 Oct, 2021</p> <p>SHEET NO.</p> <p>C2.1</p>

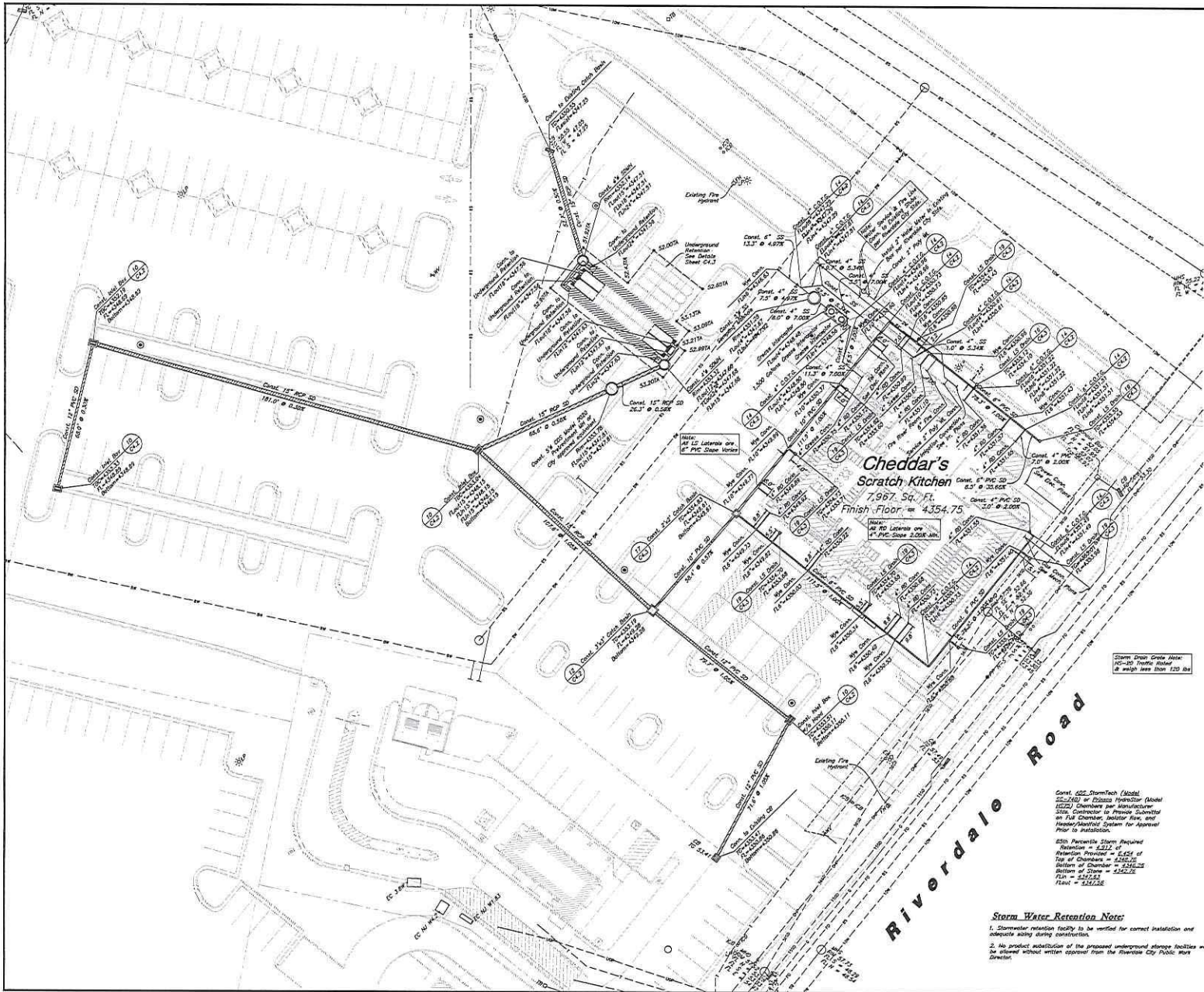


Prior to any construction of any Accessible Improvements, a Pre-Construction meeting shall be held between Contractor and Engineer. Contractor is Responsible to contact Engineer and schedule Pre-Construction meeting.

Private Curb Ramp Construction Notes

1. Slopes provided are per Anderson Walten & Associates design standards. Slopes shown are below ADA and ICC minimum requirements, unless noted otherwise in project plans.
2. The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the original that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117) (Current Edition) and/or ICC/ANSI A117.1 (Current Edition).
3. Curbside slopes of adjoining gutters & no-pave adjacent to the curb ramp shall not be steeper than 4.00%.
4. Accessible ramp flows shall be poured separately from 100% to ensure proper slopes.
5. Contractor to transition curb or sidewalk height from 6" to 0" reveal. Curb or sidewalk height to match ramp throughout transition.

<p>ANDERSON WALLEN & ASSOCIATES 3010 SOUTH 1317 EAST, TAYLORVILLE, UT 84403</p>	<p>18-22492</p> <p>Client Name: C2.2 Acquisition</p> <p>Designed by: JT Drawn by: DC</p>
<p>Enlarged Grading Plan Details & Notes</p> <p>Cheddar's Scratch Kitchen 4171 Riverdale Road Riverdale, Utah 84405</p>	<p>19 Oct, 2021</p> <p>SHEET NO. C2.2</p>



General Utility Notes:

- All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basin and inlet box grates are to be bicycle proof.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans.
- Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, if he elects to the owner to construct any vertical adjustments necessary to clear sewer, storm drain, other utilities as necessary including valve boxes and hydrant apertures to clear drains.
- Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, concrete or any other structure located within the subject.

Utility Piping Materials:

- All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturer's recommendations, due to project specifications for more detailed information regarding materials, installation, etc.
- Water Main Lines and Fire Lines**
- High-density Polyethylene (HD) Water Pipe (12 to 3 inches diameter), ASTM D3034, PE 3408, SDR 9 (200 psi)
 - Copper Pipe (12 to 3 inches diameter); Type "K"
- Storm Sewer Lines**
- All sewer pipes to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
- Storm Drain Lines**
- 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
 - 18" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class II

CAUTION:
The locations and/or elevations of existing utilities are shown on these plans are based on records of the various utility companies and, where available, measurements taken in the field. The information is not to be relied on as being exact or correct.

Storm Drain & Sanitary Sewer Note:
All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Utility Connection Notes:

- Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
- Contractor shall construct utility lines into site prior to any other utility construction. Clearly trees are to be constructed starting at the lowest point and be installed prior to any exterior construction.
- Construction of any utility utilities prior to the utility connection will be done at the contractor's risk.

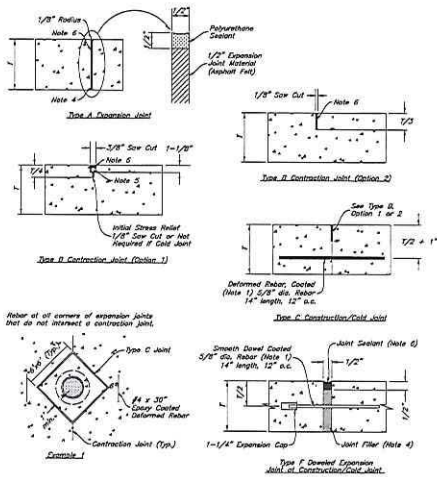
Storm Water Retention Note:

- Stormwater retention facility to be verified for correct installation and adequate aeration during construction.
- No product identification of the proposed underground storage facilities will be allowed without written approval from the Riverside City Public Works Director.

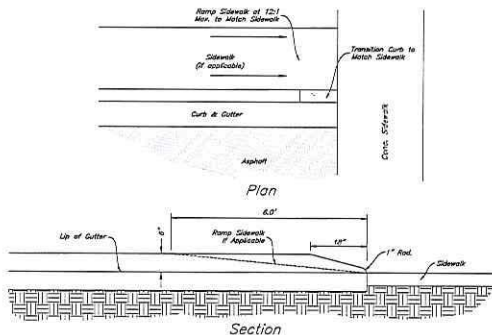


<p>ANDERSON WAHREN & ASSOCIATES 205 North Main Street, Ste. 500, Salt Lake City, UT 84115 (801) 331-5575 • FAX: (801) 331-5575</p>
<p>Utility Plan Cheddar's Scratch Kitchen 4171 Riverdale Road Riversdale, Utah 84405</p>
<p>19 Oct, 2021 C3.1</p>

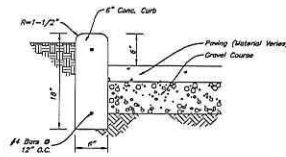
- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
 - Space rebar and dowels at 12 to 15 inches on center.
 - Concrete dowels to provide movement in expansion joints.
 - Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
- SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before finishing topping takes place. Do not tear or reveal concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent freezing and curing the concrete. Cut joints to dimensions recommended by sawmill manufacturer and approved by ENGINEER.
- JOINTS:** Lay out joints to aid construction and control random cracking.
 - Joint Spacing shall be 12 feet maximum on center in both directions.
 - Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
 - Make adjustments in joint locations to meet inlet or manhole locations.
 - Expansion joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
- JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D294. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
- BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
- JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.



9 Concrete Joint Detail
Not to Scale

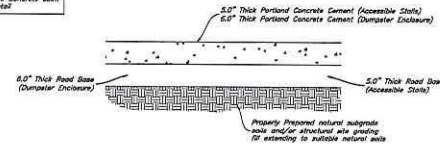


8 Curb Transition
Not to Scale



7 Curb Wall Detail
Not to Scale

- See Geotechnical Report for Project for Future Details
- See Concrete Joint Detail



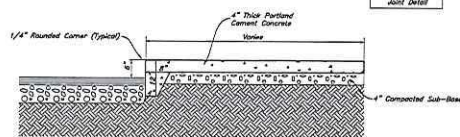
6 Concrete Paving Section
Not to Scale

Contraction Joints

- Spacing = 10' O.C.

Expansion Joints

- Make expansion joints full depth, see joint detail
- Place expansion joint at all sold joints
- Expansion joints are required at the start of end of curb radius.



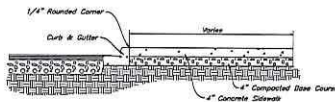
5 Thickened Edge Walk
Not to Scale

Contraction Joints

- Spacing = 10' O.C.

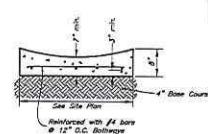
Expansion Joints

- Make expansion joints full depth, see joint detail
- Place expansion joint at all sold joints
- Expansion joints are required at the start of end of curb radius.



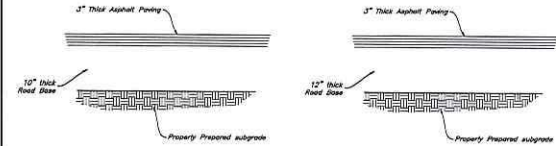
4 Typical Sidewalk Detail
Not to Scale

- Contraction Joints
- Spacing = 10' O.C.
 - 1/2" Rod by 2" Deep



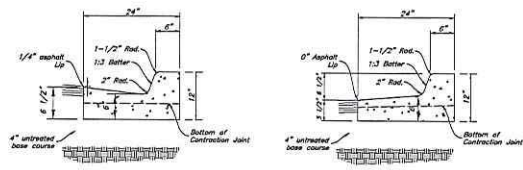
3 Typical Waterway Detail
Not to Scale

- See Geotechnical Report for Project



2 Asphalt Section
Not to Scale

- Contraction Joints
 - Spacing = 10' o.c., see joint detail
 - 1/2" rod by 2" deep from top of curb at 15'-0" intervals
- Expansion Joints
 - Make expansion joints full depth, see joint detail
 - Place expansion joint at all sold joints
 - Expansion joints are required at ends of all radii o.c.
 - Required 2"x2" on each side of drainage structure
 - Required of 90'-0" maximum intervals in straight curb and gutter
 - Provide #4 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (5" thick bituminous floor material)
- 3'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement
- Provide (2) #5 x 2'-6" long tie bars to connect existing and new curb and gutter
- Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.
- All radii shall be true arcs
- Medium to light brown finish on all exterior concrete



1 24" Curb And Gutter
Not to Scale

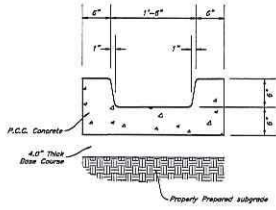
Designed by: JF
 Drafted by: GC
 Client Name:
 C2Z Association
 19-22447
ANDERSON WAHLEN & ASSOCIATES
 200 South 1000 West, Suite 1118
 (949) 331-8337 - SAN JOSE, CA 95128

Details
Cheddar's Scratch Kitchen
 4171 Riverview Road
 Riverview, Utah 84405

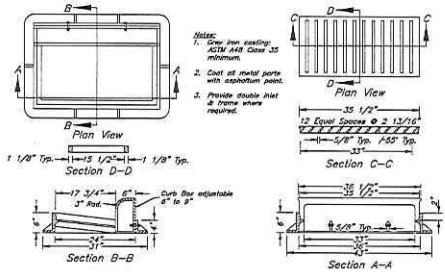


19 Oct, 2021

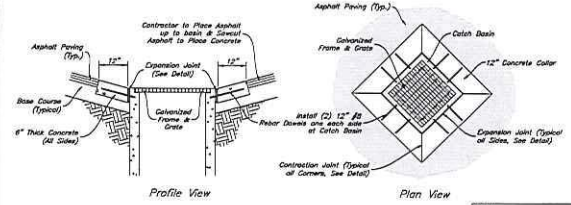
SHEET NO.
C4.1



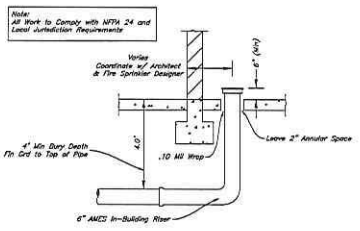
16 Thru Planter Drainage Channel Detail
Not to Scale



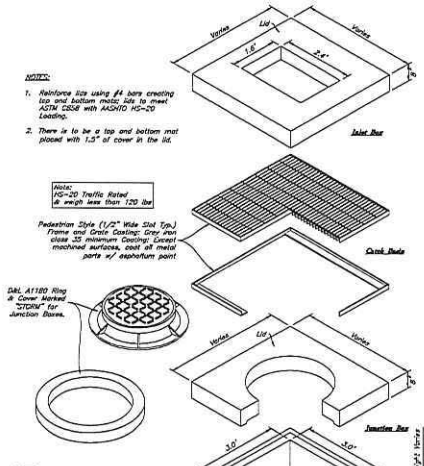
13 Inlet Grate Frame
Not to Scale



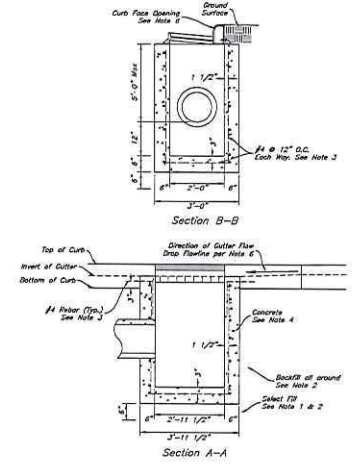
11 Concrete Collar Detail
Not to Scale



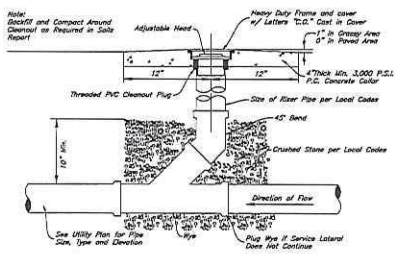
15 Fire Riser Stub-in Detail
Not to Scale



12 Precast 3' x 3' Catch Basin Junction Box/Inlet
Not to Scale



10 Curb Inlet with Single Grate
Not to Scale



14 Typical Cleanout Detail
Not to Scale

DESIGNED BY: J.T.
DRAWN BY: D.C.
CHECKED BY: J.T.
DATE: 10-24-02

Anderson Whalen & Associates
4171 Riverdale Road
Riverton, Utah 84405
(801) 321-5272

Details
Cheddar's Scratch Kitchen
4171 Riverdale Road
Riverton, Utah 84405



19 Oct. 2021
SHEET NO.
C4.2

PROJECT INFORMATION	
Project Name	
Client	
Location	
Sheet No.	



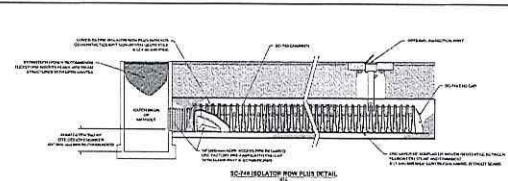
CHEDDAR'S SCRATCH KITCHEN
RIVERDALE, UT

SC 740 STORMTECH CHAMBER SPECIFICATIONS

1. Installation shall be in accordance with the manufacturer's instructions.
2. Installation shall be in accordance with the manufacturer's instructions.
3. Installation shall be in accordance with the manufacturer's instructions.
4. Installation shall be in accordance with the manufacturer's instructions.
5. Installation shall be in accordance with the manufacturer's instructions.
6. Installation shall be in accordance with the manufacturer's instructions.
7. Installation shall be in accordance with the manufacturer's instructions.
8. Installation shall be in accordance with the manufacturer's instructions.
9. Installation shall be in accordance with the manufacturer's instructions.
10. Installation shall be in accordance with the manufacturer's instructions.

IMPORTANT NOTE FOR THE DESIGN AND INSTALLATION OF THE SC 740 SYSTEM

1. Installation shall be in accordance with the manufacturer's instructions.
2. Installation shall be in accordance with the manufacturer's instructions.
3. Installation shall be in accordance with the manufacturer's instructions.
4. Installation shall be in accordance with the manufacturer's instructions.
5. Installation shall be in accordance with the manufacturer's instructions.
6. Installation shall be in accordance with the manufacturer's instructions.
7. Installation shall be in accordance with the manufacturer's instructions.
8. Installation shall be in accordance with the manufacturer's instructions.
9. Installation shall be in accordance with the manufacturer's instructions.
10. Installation shall be in accordance with the manufacturer's instructions.



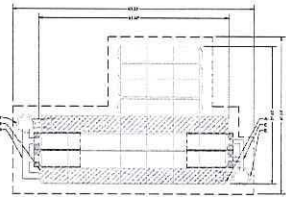
INSPECTION & MAINTENANCE

1. Inspect the chamber for any damage or debris.
2. Clean the chamber regularly.
3. Check the drainage system for any blockages.
4. Report any issues to the manufacturer.

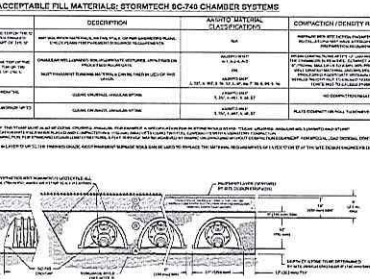
NOTES FOR CONSTRUCTION EQUIPMENT

1. Use the manufacturer's recommended equipment.
2. Follow the manufacturer's safety instructions.
3. Ensure proper ventilation during installation.

Material	Specification	Notes
Concrete	ASTM C1500	Minimum 4000 psi
Rebar	ASTM A601	Minimum #4
Gravel	ASTM D2155	Minimum 1/2 inch
Geotextile	ASTM D4751	Minimum 100 gsm



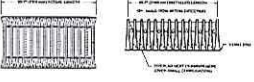
Material	Specification	Notes
Concrete	ASTM C1500	Minimum 4000 psi
Rebar	ASTM A601	Minimum #4
Gravel	ASTM D2155	Minimum 1/2 inch
Geotextile	ASTM D4751	Minimum 100 gsm



- NOTES:**
1. Installation shall be in accordance with the manufacturer's instructions.
 2. Installation shall be in accordance with the manufacturer's instructions.
 3. Installation shall be in accordance with the manufacturer's instructions.
 4. Installation shall be in accordance with the manufacturer's instructions.
 5. Installation shall be in accordance with the manufacturer's instructions.
 6. Installation shall be in accordance with the manufacturer's instructions.
 7. Installation shall be in accordance with the manufacturer's instructions.
 8. Installation shall be in accordance with the manufacturer's instructions.
 9. Installation shall be in accordance with the manufacturer's instructions.
 10. Installation shall be in accordance with the manufacturer's instructions.

18 SC 740 - Underground Retention Details
Not to Scale

Material	Specification	Notes
Concrete	ASTM C1500	Minimum 4000 psi
Rebar	ASTM A601	Minimum #4
Gravel	ASTM D2155	Minimum 1/2 inch
Geotextile	ASTM D4751	Minimum 100 gsm



Material	Specification	Notes
Concrete	ASTM C1500	Minimum 4000 psi
Rebar	ASTM A601	Minimum #4
Gravel	ASTM D2155	Minimum 1/2 inch
Geotextile	ASTM D4751	Minimum 100 gsm



Material	Specification	Notes
Concrete	ASTM C1500	Minimum 4000 psi
Rebar	ASTM A601	Minimum #4
Gravel	ASTM D2155	Minimum 1/2 inch
Geotextile	ASTM D4751	Minimum 100 gsm

Material	Specification	Notes
Concrete	ASTM C1500	Minimum 4000 psi
Rebar	ASTM A601	Minimum #4
Gravel	ASTM D2155	Minimum 1/2 inch
Geotextile	ASTM D4751	Minimum 100 gsm

Material	Specification	Notes
Concrete	ASTM C1500	Minimum 4000 psi
Rebar	ASTM A601	Minimum #4
Gravel	ASTM D2155	Minimum 1/2 inch
Geotextile	ASTM D4751	Minimum 100 gsm

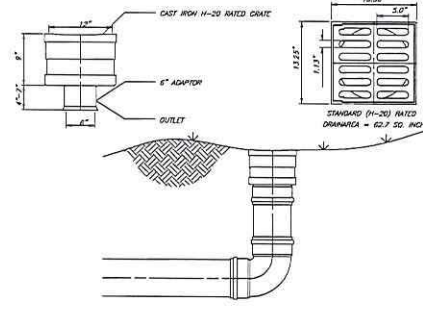
Material	Specification	Notes
Concrete	ASTM C1500	Minimum 4000 psi
Rebar	ASTM A601	Minimum #4
Gravel	ASTM D2155	Minimum 1/2 inch
Geotextile	ASTM D4751	Minimum 100 gsm

Material	Specification	Notes
Concrete	ASTM C1500	Minimum 4000 psi
Rebar	ASTM A601	Minimum #4
Gravel	ASTM D2155	Minimum 1/2 inch
Geotextile	ASTM D4751	Minimum 100 gsm

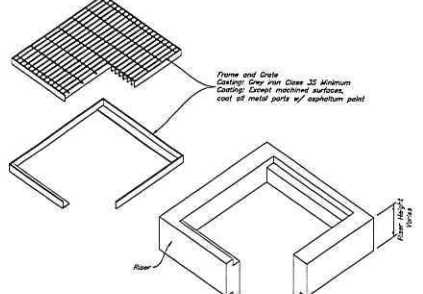
Material	Specification	Notes
Concrete	ASTM C1500	Minimum 4000 psi
Rebar	ASTM A601	Minimum #4
Gravel	ASTM D2155	Minimum 1/2 inch
Geotextile	ASTM D4751	Minimum 100 gsm

Material	Specification	Notes
Concrete	ASTM C1500	Minimum 4000 psi
Rebar	ASTM A601	Minimum #4
Gravel	ASTM D2155	Minimum 1/2 inch
Geotextile	ASTM D4751	Minimum 100 gsm

Material	Specification	Notes
Concrete	ASTM C1500	Minimum 4000 psi
Rebar	ASTM A601	Minimum #4
Gravel	ASTM D2155	Minimum 1/2 inch
Geotextile	ASTM D4751	Minimum 100 gsm



19 12" Landscape Drain
Not to Scale



- NOTES:**
1. You'll be designed to meet ASTM C1500 with ASTM D2155 bedding.
 2. Frame & grate may be cast in catch basin or riser.
 3. Use solid lid of all junction boxes.
 4. See detail for concrete color.

17 Precast Catch Basin
Not to Scale

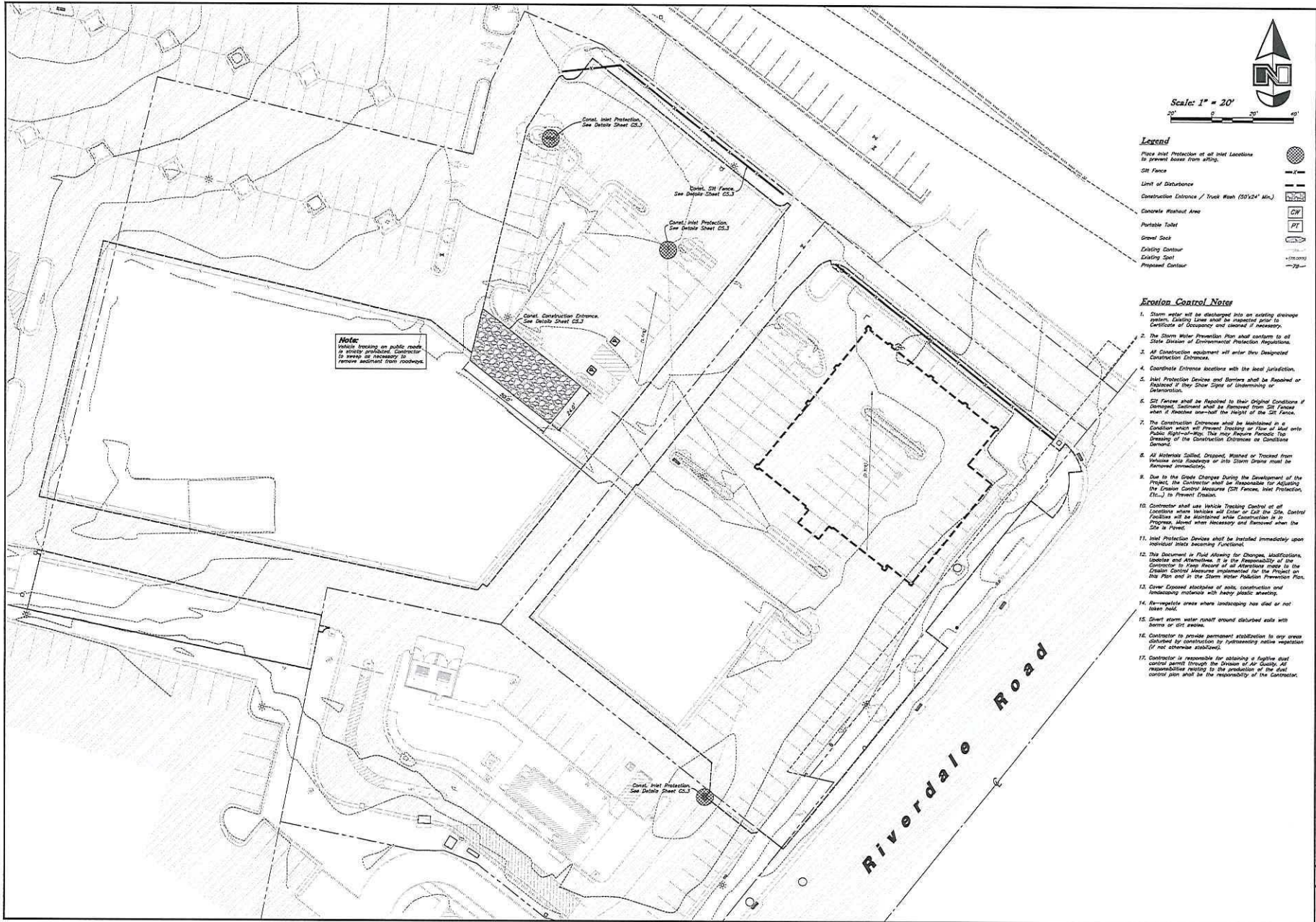
DESIGNED BY	JT
DRAWN BY	DC
CHECKED BY	CD
DATE	10-20-21

ANDERSON WALLEN & ASSOCIATES
200 West 100 South, Suite 100
Salt Lake City, UT 84119
313.857.1111

Details
Cheddar's Scratch Kitchen
4171 Riverdale Road
Riverdale, Utah 84405



19 Oct, 2021
SHEET NO.
C4.3



Scale: 1" = 20'

0 20' 40'

- Legend**
- Place inlet Protection at all inlet Locations to prevent bases from eroding.
 - Off Fence
 - Limit of Disturbance
 - Construction Entrance / Truck Wash (5'x12' Min.)
 - Concrete Washed Area
 - Portable Toilet
 - Gravel Sock
 - Existing Contour
 - Existing Spot
 - Proposed Contour

- Erosion Control Notes**
1. Storm water will be discharged into an existing drainage system. Erosion Control Measures shall be installed prior to Certificate of Occupancy and sealed if necessary.
 2. The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
 3. All Construction equipment will enter thru Designated Construction Entrances.
 4. Coordinate Entrance locations with the local Jurisdiction.
 5. Inlet Protection Devices and Barriers shall be Replaced or Repaired if they Show Signs of Unsoundness or Defamation.
 6. Off Fence shall be Replaced to their Original Conditions if Damaged. Sediment shall be Removed from Off Fence when it Exceeds Interval the Height of the Off Fence.
 7. The Construction Entrance shall be maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. The site Features Periodic Top Dressing of the Construction Entrances as Conditions Demand.
 8. All Materials Collected, Cracked, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed immediately.
 9. Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Off Fence, Inlet Protection, Etc.) to Prevent Erosion.
 10. Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Aband when Necessary and Removed when the Site is Paved.
 11. Inlet Protection Devices shall be Installed immediately upon individual lots becoming Functional.
 12. This Document is Fluid Allowing for Changes, Modifications, Updates and Alterations. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
 13. Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
 14. Re-vegetate areas where landscaping has died or not taken hold.
 15. Cover storm water runoff around disturbed soils with berms or dirt walls.
 16. Contractor to provide permanent stabilization to any areas disturbed by construction by permanently native vegetation (if not otherwise stabilized).
 17. Contractor is responsible for obtaining a Right-of-Way and control permits through the Division of Air Quality. All responsibilities relating to the production of the final control plan shall be the responsibility of the Contractor.

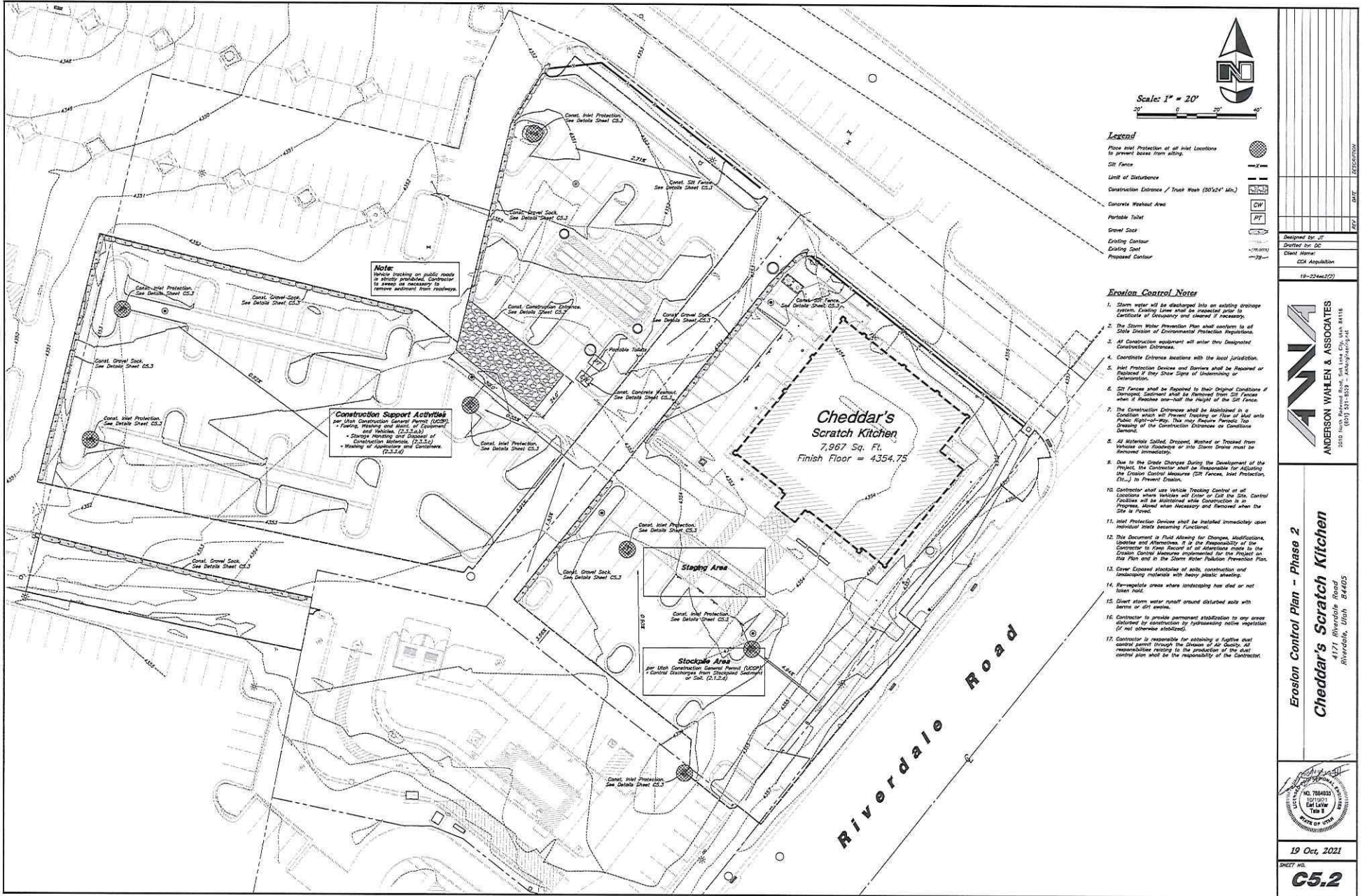
DESIGNED BY: JF
 CHECKED BY: DC
 CLIENT NAME: CCA Acquisition
 19-22441(12)

AWA
 ANDERSON WAHLEN & ASSOCIATES
 210 S. 1000 W. STE. 4015
 (501) 311-4517 - ANA@AWA.COM

Erosion Control Plan - Phase 1
Cheddar's Scratch Kitchen
 4171 Riverdale Road
 Riverdale, Utah 84405

NO. 789400
 (01/21)
 Exp. 1/21/21
 STATE OF UTAH
 PROFESSIONAL ENGINEER

19 Oct, 2021
 SHEET NO.
C5.1



Scale: 1" = 20'

20' 0' 20' 40'

- Legend**
- Inlet Protection of all Inlet Locations to prevent silt from exiting.
 - Silt Fence
 - Limit of Disturbance
 - Construction Entrance / Truck Wash (50'x24" Min.)
 - Concrete Washout Area
 - Portable Toilet
 - Silt Sock
 - Existing Contour
 - Proposed Contour

- Erosion Control Notes**
1. Storm water will be discharged into an existing drainage system. Erosion Control Measures shall be installed prior to Certificate of Occupancy and insured if necessary.
 2. The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
 3. All Construction equipment will enter thru Designated Construction Entrances.
 4. Concrete Entrance locations with the local jurisdiction.
 5. Inlet Protection Devices and Barriers shall be repaired or replaced if they show signs of deterioration or deterioration.
 6. Silt Fences shall be repaired to their original condition or replaced. Sediment shall be removed from Silt Fences when it reaches one-half the height of the Silt Fence.
 7. The Construction Entrances shall be maintained in a condition which will prevent tracking or flow of mud onto public right-of-way. They may require periodic top dressing of the Construction Entrances as conditions demand.
 8. All Materials Collected, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be removed immediately.
 9. Due to the Grade Changes During the Development of the Project, the Contractor shall be responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, etc.) to Prevent Drains.
 10. Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be installed when Construction is in Progress, Maintained when Necessary and Removed when the Site is Paved.
 11. Inlet Protection Devices shall be installed immediately upon individual inlets becoming functional.
 12. This Document is Fluid Allowing for Changes, Modifications, Updates and Alterations, it is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
 13. Cover Exposed Stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
 14. Re-vegetate areas where landscaping has died or not taken hold.
 15. Erosion storm water runoff around disturbed soils with berms or silt awns.
 16. Contractor to provide permanent stabilization to any areas disturbed by construction by re-vegetating native vegetation (if not otherwise stabilized).
 17. Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

Note:
Vehicle tracking on public roads is strictly prohibited. Contractor to sweep as necessary to remove sediment from roadways.

Construction Support Activities
See Utah Construction General Permit (UCGP) Fencing, Washing and Maintenance of Equipment and Vehicles (C.1.2.1-4.3)
• Storage Handling and Disposal of Construction Materials (C.1.2.2)
• Washing of Appliances and Containers (C.1.2.10)

Cheddar's Scratch Kitchen
7,967 Sq. Ft.
Finish Floor = 4354.75

Staging Area

Stockpile Area
See Utah Construction General Permit (UCGP) Control Discharges from Stockpiles (C.1.2.2)

DESIGNED BY: JCT
DRAWN BY: DC
CHECKED BY: JCT
DATE: 10/19/2021

18-2344(2/21)

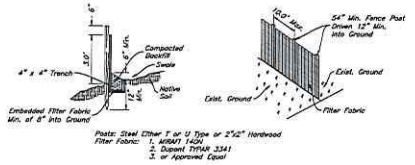
AWA
ANDERSON WAHLEN & ASSOCIATES
2010 Hutch Reber Rd, Salt Lake City, Utah 84111
(801) 531-8339 - andersw@awa.net

Erosion Control Plan - Phase 2
Cheddar's Scratch Kitchen
4171 Riverdale Road
Riverville, Utah 84405

NO. 788003
10/19/21
Let With
Title 1
STATE OF UTAH
WORK OF ART

19 Oct, 2021
SHEET NO.
C5.2

6 **Not Used**
Not to Scale

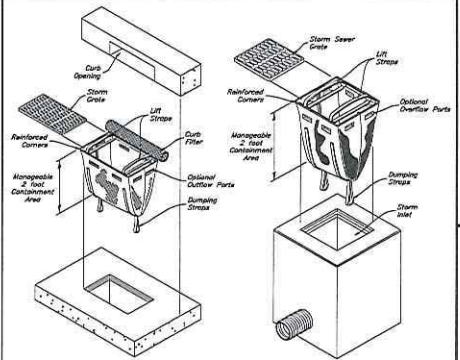
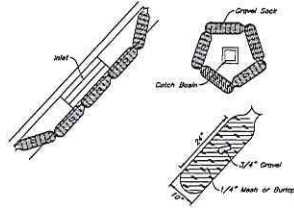


Posts: Steel Either T or U Type or 2 1/2" Hardwood
Filter Fabric:
1. MW047, 14031
2. Domet 79369, 3341
3. or Approved Equal

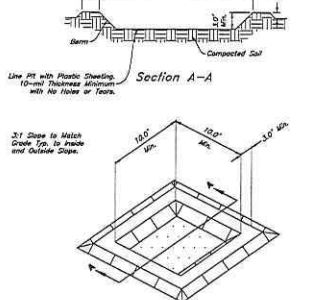
- Notes:
1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and fastened.
3. Collected material shall be removed when "burges" develop in the silt fence.

3 **Silt Fence Section**
Not to Scale

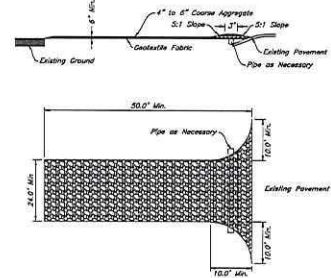
5 **Gravel Sock Sediment Barrier**
Not to Scale



2 **Dandy Sack Inlet Protection**
Not to Scale



4 **Concrete Washout**
Not to Scale



1 **Stabilized Construction Entrance**
Not to Scale

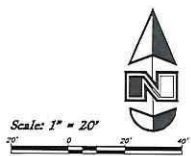
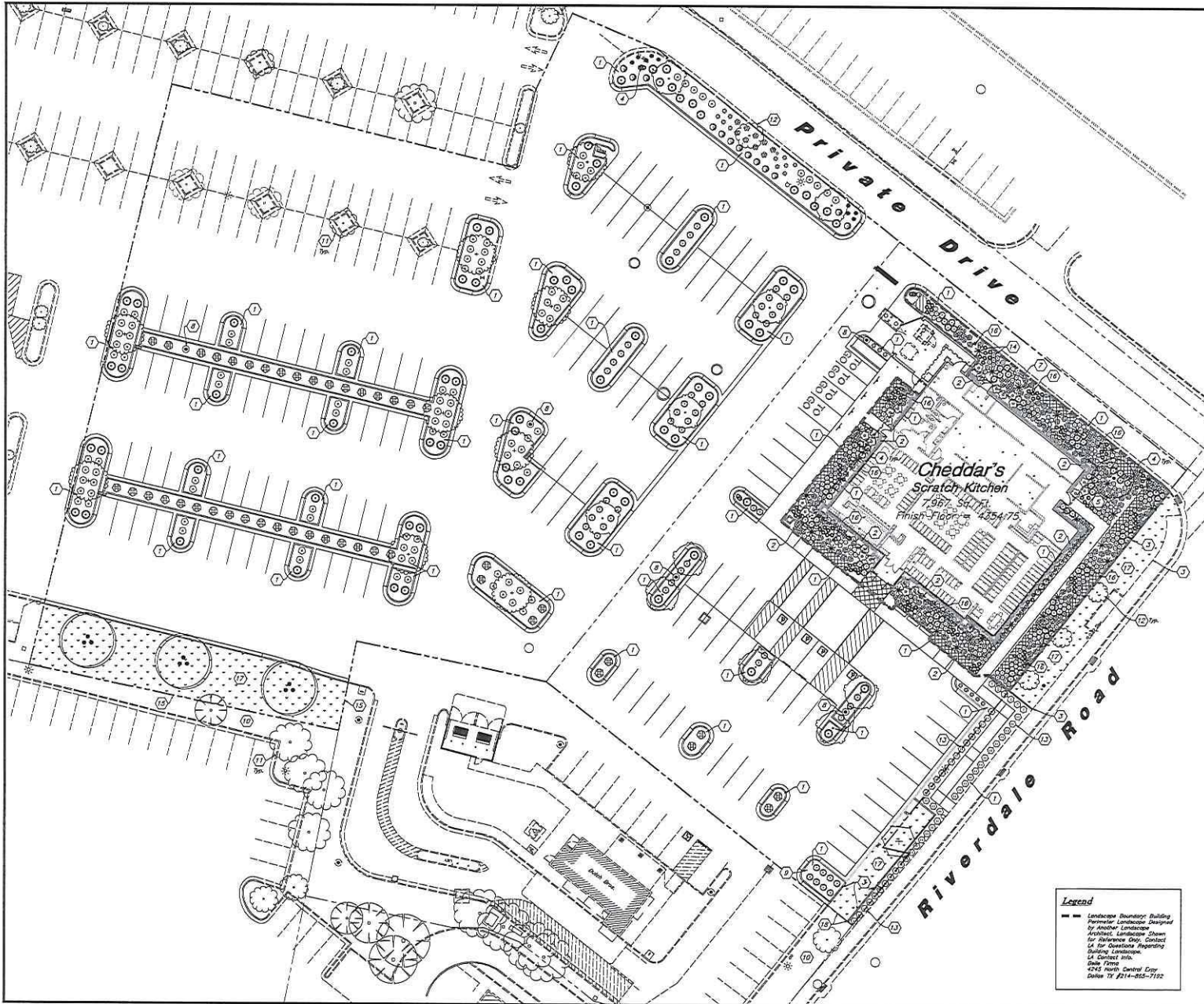
DESIGNED BY: JF
DRAWN BY: DC
CLIENT NAME: CD4 Acquisition
18-2246-1(2)

ANZ
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Suite 100, Cottonwood, Utah 84405
(801) 311-8559 • www.anz.com

Erosion Control Details
Cheddar's Scratch Kitchen
4171 Riverdale Road
Riverdale, Utah 84405

NO. 798453
10/20/21
Exp. Level
Tale 1
STATE OF UTAH
PROFESSIONAL ENGINEER

19 Oct. 2021
SHEET NO. **C5.3**





Landscape Data
 Zone: O3 Commercial Zone
 Site Area = 118,003 s.f. (2,709 ac.)
 Landscape Area Required = 23,606 s.f. (20%)
 Landscape Area Provided = 23,625 s.f. (20.0%)
 Existing/New Lawn Area = 6,230 s.f. (26%)
 Shrub Area Provided = 17,395 s.f. (74%)
 Site Trees: 1 Tree per 5,000 s.f. of Lot Area
 Site Trees Required = 24 Trees (27 Provided)
 Trees May be the Same Variety
 Landscape Screening Shall be Used to Screen all Parking and Loading Areas Visible From Riverdale Road. Landscape Screening Shall Consist of a 6' High Barn in Shrub Planter with 3" Tall Plant Material. Landscaper Shall Provide the 6' High Barn Where Specified on Plan. See Landscape Plan for Location.

* Xeriscape Areas Shall Consist of Shrub Areas with Drought Tolerant Plant Material

Landscape Notes:
 1. See Sheet 12.2 for Plant Schedule and Details.
 2. All Landscape Material shall be Plant provided by an Automatic Irrigation System. Dig for Shrub Area and Comp for Lawn Area. See Sheet 12.1 for Layout and Sheet 12.2 for Schedule and Details.
 3. Adjust Landscape Material as Needed to Allow Access to all New or Existing Utilities. Irrigation Components shall be Spaced Between Plant Material to Allow Easy Access for Maintenance.
 4. All Areas Disturbed by Construction shall be Landscaped and Not Left Undone.

Landscape Kernothes
 1) Install Shrub Planter with Decorative Stone #1
 2) Install 12" Wide River Rock Border Adjacent to Building with Decorative Stone #2
 3) Install Landscape Concrete Curb
 4) Install Landscape Boulder
 5) Elect. Transformer - See Elect. Plans
 6) Install Lawn Adjacent to New Sidewalk and Deck at Cutting Blend New into Existing
 7) Install Irrigation Backflow Preventer; See Irrigation Plan for more Detail
 8) New Light Pole - See Site Elect. Plan
 9) Plant Sign by Separate Permit
 10) Existing Lawn to Remain and be Protected; Lawn Damaged due to Construction shall be Replaced; Blend New into Existing
 11) Existing Tree with Understory Shrubs
 12) Existing Tree to Remain
 13) 3" High Shrub Hedge and 6" Barn to Screen Parking Lot From Riverdale Road; Blend hedge with 2000' Drive to the South
 14) Landscape Plantings to Screen Dumpster Enclosure
 15) Blend New Landscape into Existing
 16) Landscape Driv. Verify that all Adjacent Landscape Areas Have Correct Drain and that Drive is Installed Where it is to be Installed; See Utility Plan for more info.
 17) Install Lawn
 18) Blend New Landscape into Existing; Align and Connect to Existing Landscape Concrete Curb

Legend
 --- Landscape Boundary Building Perimeter Landscape Designed by Another Landscape Architect. Landscape Shown for Reference Only. Contact LA for Questions Regarding Existing Landscape.
 --- Lawn
 --- 4" x 4" Metal Control Edge
 Detail 19 #214-365-7192

 ANDERSON WAHLEN & ASSOCIATES 2016 North 2000 West Blvd., Salt Lake City, Utah 84119 (801) 533-3322 • www.anna-pc.com
Landscape Plan Cheddar's Scratch Kitchen 4123 Riverdale Road Riverton, Utah 84405

18 Oct, 2021 SHEET NO. L1.1



PLANT SCHEDULE (Building Landscape)

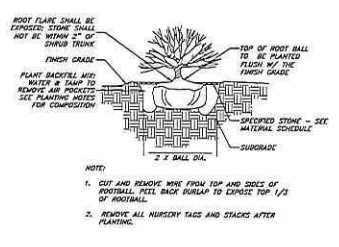
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
●	3	<i>Syringa reticulata</i> 'Inuyama' / Inuyama Japanese Tree Lilac	2" Caliper
○	1	<i>Ulmus parvifolia</i> 'Compendiosa' / European Lacebark Elm	3" Caliper
○	121	<i>Abelia</i> 'Edward Goucher' / Edward Goucher Abelia	5 gal
○	129	<i>Arnica montana</i> 'Nidus Magis' / Autumn Magic Black Chokeberry	5 gal
○	133	<i>Hesperulus salicifolius</i> / Kalm St. Juniper	3 gal
○	27	<i>Juniperus chinensis</i> 'Sea Green' / Sea Green Juniper	5 gal
○	27	<i>Juniperus chinensis</i> 'Spartan' / Spartan Juniper	5 gal
○	77	<i>Prunus laurocerasus</i> 'Otto Luyken' / Otto Luyken English Laurel	5 gal
○	83	<i>Prunus x elaeagni</i> / Purple Leaf Sand Cherry	5 gal
○	67	<i>Salvia officinalis</i> / Garden Sage	5 gal
○	107	<i>Spiraea japonica</i> 'Goldmound' / Goldmound Japanese Spiraea	3 gal
SHRUB AREA			
■	350	<i>Empetrum nigrum</i> 'Columbus' / Purple-leaf Watercress	4" pot @ 12" o.c.
■	45	<i>Ulex europaeus</i> 'Big Blue' / Big Blue Ulex	4" pot @ 12" o.c.
■	50	Seasonal Color (To be Determined by Owner)	4" pot @ 12" o.c.

PLANT SCHEDULE (Perimeter Landscape)

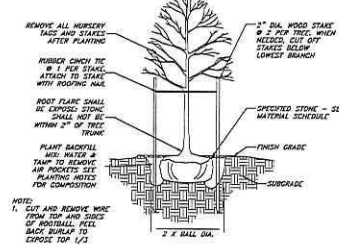
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
●	3	<i>Chaipa sikkim</i> 'Hickson Serby' / Princeton Sentry Chaipa	2" Cal. / 8-10" Ht.
○	9	<i>Kalmia latifolia</i> 'Golden Poin' / Golden Poin Tree	2" Caliper
○	7	<i>Pyrus calleryana</i> 'Chantrelle' / Chantrelle Pear	2" Cal. / 6-8" Ht.
○	10	<i>Syringa reticulata</i> 'Inuyama' / Inuyama Japanese Tree Lilac	2" Caliper
SHRUBS			
○	52	<i>Bursera</i> 'Dancea' / Chikopeloo Green Buxwood	5 gal
○	75	<i>Juniperus horizontalis</i> 'Star Harbor' / Star Harbor Creeping Juniper	5 gal
○	45	<i>Rhus aromatica</i> 'Dro-Low' / Dro-Low Fragrant Sumac	5 gal
○	88	<i>Ribes alpinum</i> 'Green Island' / Green Island Almond Currant	5 gal
○	9	<i>Rosa</i> x 'Melodie' / Red Drift Rose	5 gal
○	13	<i>Spiraea x bumalda</i> 'Goldflame' / Goldflame Spiraea	5 gal
○	51	<i>Spiraea x bumalda</i> 'New Flash' / New Flash Spiraea	5 gal
ORNAMENTAL GRASSES			
○	18	<i>Chloropectis x scabrifolia</i> 'Wolf Fennel' / Feather Reed Grass	1 gal
PERENNIALS			
○	9	<i>Hosta</i> x 'Innocent' 'Empress' / Colombine	1 gal
LAWN			
○	5,556 sq ft	<i>Poa pratensis</i> / Kentucky Bluegrass Blend	seed

MATERIAL SCHEDULE

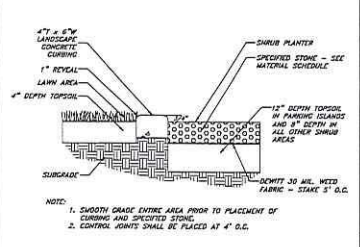
	Decorative Stone #1 - Install @ (2) Four Inch Depth over Drivell First Wheel Barrier. Stone Shall be Laid in 20x60 Planters Where Shown on Plan. Stone Shall be Installed Prior to Installation. Stone Shall be 1 1/2" Diameter South Towns Crushed Stone From a Local Source.	Detail: 3/11.2
	Decorative Stone #2 - Install @ (4) Four Inch Depth over Drivell First Wheel Barrier. Stone Shall be Laid in 12" Wide Barrier Around Building Where Shown on Plan. Stone Shall be Installed Prior to Installation. Stone Shall be 2-4" Diameter South Towns Crushed Stone From a Local Source.	Detail: 3/11.2
	3-4" Dia. Min. Landscape Boulder - Boulder Shall be Angular, Earth Tone Colors and Shall Match Decorative Stone. All Boulder Shall be Rounded (2) Three Inches into Ground and Installed Upon Completion.	Detail: 4/11.2



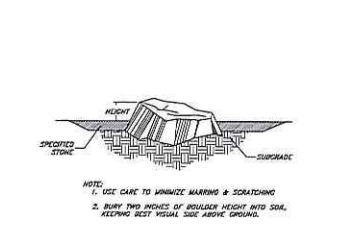
1 SHRUB PLANTING
NOT TO SCALE



2 DECIDUOUS TREE PLANTING
NOT TO SCALE



3 LANDSCAPE CONCRETE CURBING
NOT TO SCALE



4 LANDSCAPE BOULDER
NOT TO SCALE

General Landscape Notes

- Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified area prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified materials. The contractor shall provide sufficient quantities of plants equal to the quantity shown on the plan using the specified spacing. There shall be no substitutions without the Landscape Architect's approval.
- Contractor shall cut off Blue Stems before erection for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utility, structures, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personal injury and property damage insurance. Clean-up must be performed only, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock established by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- If it is the contractor's responsibility to furnish all plant materials free of pests or plant diseases, it is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee site of plants.
- The contractor shall install all landscape material per plan, notes and details.
- All existing and relocated trees shall be properly protected. Trees damaged during construction shall be replaced at no cost to the owner.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Impacted topsoil shall be used for landscape areas. The landscape contractor shall perform a soil test on impacted topsoil and amend the soil and soil recommendations. Soil test to be done by certified soil testing agency. Provide new imported topsoil from a local source. Imported topsoil must be a premium quality earth sandy loam, free of rocks, clods, roots, and plant matter.
- Prior to placement of topsoil in all landscape areas, all subgrade areas shall be loosened by aerifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soil.
- Provide a 12" depth of impacted topsoil in parking islands and on 6 inch depth in all other areas.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deep. Excess material shall be removed from the site and replaced with plant backfill mixture. The top of the root balls shall be planted flush with the finish grade.

- Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil mix, and shall be mixed at the planting site. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
- All new plants to be labeled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall show the container cut and removed. Trees to be cut and burlapped shall show the 270-degree burlap or plastic wrap and support from the trunk extending 1/2 of the root ball. For trees in wire baskets, the wire basket shall be removed.
- Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Drivell First Wheel Barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below final grade and concrete areas.
- All deciduous trees shall be double staked per tree staking detail. It is the contractor's responsibility to remove tree staking in a timely manner once staked trees have taken root. Deciduous trees are to be 1/2". Circle Tie (CTS).
- Install landscape concrete curbing between lawn and shrub areas. Curbing shall be installed level and uniform and shall match the Chain grade of concrete walk and curbs. See landscape concrete curbing detail.
- Provide a 4 inch depth of impacted topsoil in all lawn areas.
- Soil must be premium quality, properly cut, established, healthy, weed and disease free, and from an approved source.
- All lawn areas to have uniform grass for final rolling. Prior to laying sod, apply a starter fertilizer at a rate recommended by the manufacturer. Soil must be laid with no grass between pieces on a carefully prepared subgrade. Sod to be shipped under grass and concrete walk and curbs. The sod must be installed immediately without other installation. Any lawn areas will require replacement. Actual operator to ensure healthy grass survival of the soil without water waste.
- The contractor shall comply with all vegetation and quarantine set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

Designed by: JF
 Drafted by: DC
 Client Name: CCA Acquisition
 19-02462
ANDERSON WALLEN & ASSOCIATES
 2010 HIGHLAND AVENUE, SUITE 100, SALT LAKE CITY, UTAH 84143
 (801) 488-8888
 Landscape Schedules, Notes & Details
Cheddar's Scratch Kitchen
 4175 Riverdale Road
 Riverdale, Utah 84405

 18 Oct, 2021
 SHEET NO.
L1.2

IRRIGATION SCHEDULE

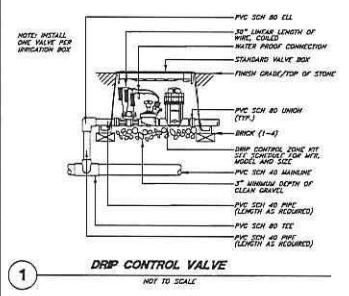
Symbol	Manufacturer/Model #	Description	Notes	Detail
Sprayheads				
	Rain Bird 1204 with Hunter MP1000 Nozzle	4" Pop-Up Rotor with Adjustable Nozzle as Shown on Plan	Adjust Radius Reduction Springs as Needed to Achieve Appropriate Roll Coverage	13/2,2
	Rain Bird 1204 with Hunter MP2000 Nozzle	4" Pop-Up Rotor with Adjustable Nozzle as Shown on Plan	Adjust Radius Reduction Springs as Needed to Achieve Appropriate Roll Coverage	13/2,2
	Rain Bird 1204 with Hunter MP3000 Nozzle	4" Pop-Up Rotor with Adjustable Nozzle as Shown on Plan	Adjust Radius Reduction Springs as Needed to Achieve Appropriate Roll Coverage	13/2,2
Valves				
	Rain Bird 100-PCD Rain Bird 100-PCD	Lawn Remote Control Valve	1/2" & 1/2" In. Size Install in Standard Valve Box with 3" Depth of Cover and Weed Barrier. Install with Meter Prior to Backflow Preventer. Backflow Preventer shall be installed instead of a Pressure Reducing Valve.	12/2,2
	Rain Bird XCD-100-PRB-COU	Drip Remote Control Valve #2	1 Inch Size Install in Standard Valve Box with 3" Depth of Cover over Weed Barrier; Install with Meter Prior to Backflow Preventer.	1/2,2
	Rain Bird 44RC	Quick Chapter with Swing Joint	1 Inch Size Install in 10" Round Valve Box with 3" Depth of Cover over Weed Barrier.	2/2,2
	Heco-Horco 759	Manual Drain Ball Valve	1/2" In. Size Install at End of the Mainline in a 10" Round Valve Box with Weed Barrier and a Cover Sump.	11/2,2
Drip				
	PVC Pipe to Drip Tubing	Provide Connection Fittings	Install 1" Fender Line To All Drip Areas	5/2,2
	Rain Bird XSD-700 Rain Bird XSD-700	1/2" Distributor Tubing - Pipe shown on Plan is Schematic; Adjust as Needed	1/2" Distributor Tubing - Install one per Emitter. Split-Drop Control (2 Gal/Hr) = 1 per Primary/Orchard/Grass, 2 per Strata, & 1 per Tree To Open Stake - Tubing to be Staked every 3'	4/2,2,2
	Rain Bird XSD-200 Rain Bird XSD-200	1/2" Distributor Tubing - Tubing to be Staked every 3'		
	Rain Bird XSD-200 Rain Bird XSD-200	1/2" Distributor Tubing - Tubing to be Staked every 3'		
	Rain Bird XSD-200 Rain Bird XSD-200	1/2" Distributor Tubing - Tubing to be Staked every 3'		
P.O.C. Components				
	Mueller OrbiVal 811	Stop & Waste Valve	1 1/2" In. Size Install in 10" Round Valve Box with Weed Barrier and Cover Sump.	7/2,2
	Watsco 27541	Reduced Pressure Backflow Assembly (State Approved Backflow Device)	1 1/2" In. Size Backflow shall be Properly Installed & Tested to Meet County Requirements, and Meet all State and Local Health Safety Laws and Ordinances. Install in Guarded Enclosure (RPS-2) on Paired Concrete Foot with Front Guard (RPS-2) & 2 Locks (SCHWABER). Enclosure Color to be Woodgrain Tan.	10/2,2
Pipes				
	Schedule 40 PVC	Mainline Pipe	1 1/2" & 1 In. In. Size See Plan for Locations. Schedule 40 Fittings shall be Used for Mainline Components. See Plan for Pipe Size. Pipe Unmarked shall be 1 inch Aluminum Pipe. Do not use 1 inch PVC Pipe.	3/2,2
	Schedule 40 PVC	Lateral Line Pipe		3/2,2
Controller & Accessories				
	Rain Bird ESP401 Rain Bird ESP401	4 Zone Station Indoor Controller	See Plan for Location of Controller.	5/2,2
	Rain Bird ESP401 Rain Bird ESP401	3 Station Expansion Module	Coordinate Power Supply with Building Electrical Contractor.	5/2,2
Steering				
	Schedule 40 PVC	Provide for Int. Mainlines, Laterals, and Controller Valve Located Under Concrete and Asphalt Paving of Specified Grades	Contractor shall Coordinate the Installation of Steering with the Installation of Concrete Floors and Asphalt Paving; All Steering shall be by the Landscape Contractor unless Otherwise Noted.	5/2,2

VALVE SCHEDULE

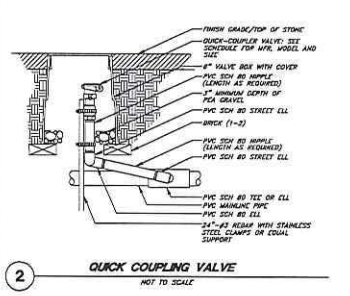
VALVE SIZE	VALVE TYPE	FLOW (GPM)	PSI	PSI @ 100 FT	PRECIP. RATE
1	1-1/2" Turf Relay	17.59	44.12	34.25	0.38 in/hr
2	1" Area for Drip Emitters	4.53	34.12	48.52	0.7 in/hr
3	1" Area for Drip Emitters	6.19	35.82	56.49	0.7 in/hr
4	1" Area for Drip Emitters	7.26	36.81	51.68	0.73 in/hr
5	1" Area for Drip Emitters	8.29	38.53	51.36	0.81 in/hr
6	1" Area for Drip Emitters	9.82	37.7	52.44	0.79 in/hr
7	1" Turf Relay	5.58	41.86	58.82	0.59 in/hr
8	1" Turf Relay	8.11	42.6	58.2	0.4 in/hr
9	1" Area for Drip Emitters	9.29	37.54	51.97	1.28 in/hr
10	1" Area for Drip Emitters	4.02	32.61	42.81	1.42 in/hr
11	1" Area for Drip Emitters	8.08	36.39	50.48	1.25 in/hr



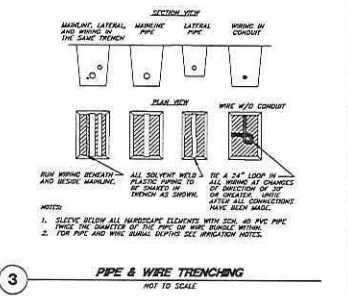
Know what's below. Call before you dig.



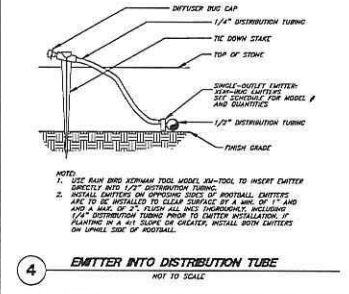
1 DRIP CONTROL VALVE NOT TO SCALE



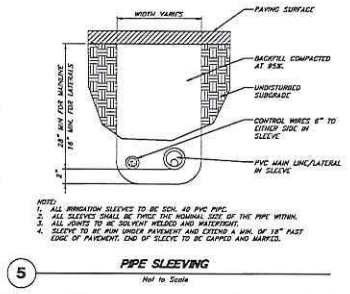
2 QUICK COUPLING VALVE NOT TO SCALE



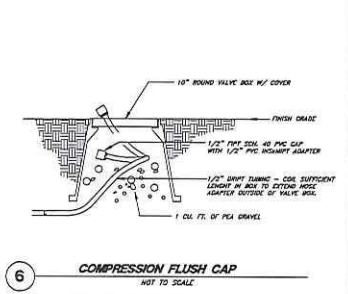
3 PIPE & WIRE TRENCHING NOT TO SCALE



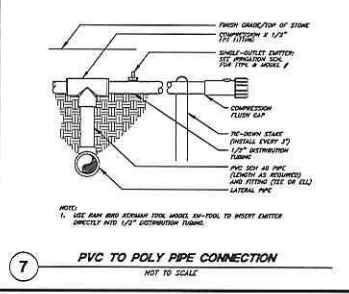
4 EMITTER INTO DISTRIBUTION TUBE NOT TO SCALE



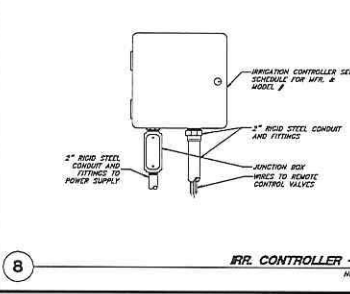
5 PIPE SLEEVING NOT TO SCALE



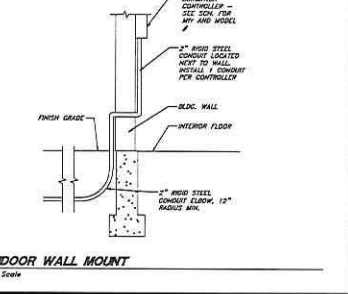
6 COMPRESSION FLUSH CAP NOT TO SCALE



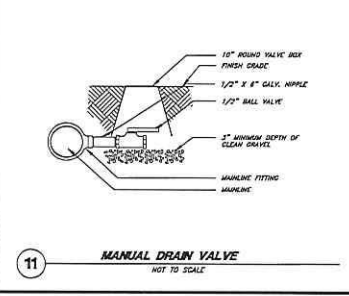
7 PVC TO POLY PIPE CONNECTION NOT TO SCALE



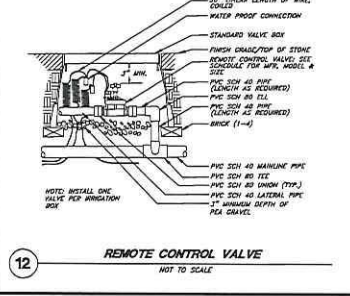
8 IRR. CONTROLLER - INDOOR WALL MOUNT NOT TO SCALE



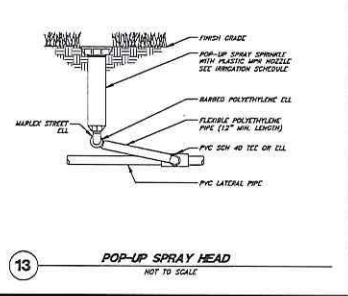
9 STOP & WASTE VALVE NOT TO SCALE



10 BACKFLOW PREVENTION DEVICE NOT TO SCALE



11 MANUAL DRAIN VALVE NOT TO SCALE



12 REMOTE CONTROL VALVE NOT TO SCALE



13 POP-UP SPRAY HEAD NOT TO SCALE

DESIGNED BY: JT
 DRAWN BY: DC
 CLIENT NAME: CCA Acquisition
 19-25492

 ANDERSON WAHLEN & ASSOCIATES
 2810 North Park Road, Salt Lake City, Utah 84118
 (801) 516-2527 • andersonwahlen.com

Irrigation Schedule, Notes & Details
Cheddar's Scratch Kitchen
 4171 Riverside Road
 Riverton, Utah 84405

19 Oct, 2021
 SHEET NO.
L2.2

8/15/21 2:24 PM C:\Users\muhayyib\OneDrive\Documents\Projects\19-25492\19-25492-01.dwg 10/19/2021 12:02:25 PM JT