



**RIVERDALE CITY PLANNING COMMISSION AGENDA
CIVIC CENTER - 4600 S. WEBER RIVER DR.
TUESDAY – OCTOBER 12, 2021**

6:00 p.m. – Planning Commission Work Session Meeting (Council Chambers)

The purpose of the work session is to review maps, plans, paperwork, etc. No motions or decisions will be considered during this session, which is open to the public.

Planning Commission Work Session Items -Planning Commission Training *to be determined*

6:30 p.m. – Planning Commission Meeting (Council Chambers)

A. Welcome & Roll Call

B. Public Comment

This is an opportunity to address the Planning Commission regarding your concerns or ideas. Please try to limit your comments to three minutes. No action will be taken during public comment.

C. Presentations and Reports

D. Consent Items

1. Consideration of Meeting Minutes from:
September 28, 2021 Work Session
September 28, 2021 Regular Meeting
August 10, 2021 Regular Meeting (AMENDED)

E. Action Items

1. Consideration of Conditional Use Permit request for Take 5 Automotive Services use located at approximately 4023 South Riverdale Road, Riverdale, Utah 84405, as requested by applicant Blue Lube, LLC.
2. Consideration to forward a recommendation to the City Council for Final Site Plan approval of proposed Cheddar's Scratch Kitchen, property located approximately 4171 South Riverdale Road, Riverdale, Utah 84405; as requested by Riverdale Center North, LLC/Cheddar's and AWA Engineering Group.

All items presented by: Michael Eggett, Community Development

F. Discretionary Items

G. Adjournment

In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Offices (801) 394-5541 at least 48 hours in advance of the meeting.

Certificate of Posting

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Riverdale City limits on this 8th day of October, 2021 at the following locations: 1) Riverdale City Hall Noticing Board 2) the City website at <http://www.riverdalecity.com/> 3) the Public Notice Website: <http://www.utah.gov/pmn/index.html> and 4) A copy was also provided to the Standard-Examiner.

Michelle Marigoni
Riverdale City Recorder

Minutes of the **Work Session** of the Riverdale City **Planning Commission** held Tuesday, September 28, 2021, at 6:30 p.m., at the Civic Center, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

Present:

Commissioners:	Robert Wingfield, Commissioner Blair Jones, Commissioner Wanda Ney, Commissioner (present via telephone) Suzette DeMar, Commissioner
City Employees:	Mike Eggett, Community Development Michelle Marigoni, City Recorder
Excused:	Amy Ann Spiers, Chairman Kent Anderson, Commissioner

A. Welcome & Roll Call

The Planning Commission work session began at 6:05 p.m. Commissioner Wingfield welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present except for Chairman Spiers and Commissioner Anderson.

B. Public Comment

Commissioner Wingfield asked for any public comments. There were no comments from the public.

C. Presentations and Reports

Mike Eggett updated the Planning Commission on the status of Mayor Searle and informed them of the City Administrator resignation.

Mr. Eggett gave updates on new businesses in the city:

- Mo Bettah's is training staff and will be opening soon.
- Raising Cane's is moving along aggressively and may be open in November. Mr. Hermann mentioned the parking lot, which is shared with the neighboring businesses, is already filling with only one restaurant open.

Mr. Jones inquired as to the progress of Chik-Fil-A. Mr. Eggett stated they would be closing soon for the remodel. Mr. Hermann asked about the new Maverik, to which Mr. Eggett responded there have been no recent updates, but that the West Bench RDA project would hopefully be at City Council soon.

D. Consent Items

E. Action Items

Consideration to forward a recommendation to the City Council of a Final Site Plan proposal for Take 5 Automotive and Drink Store Buildings, property located approximately 4021 and 4023 South Riverdale Road, Riverdale, Utah 84405; as requested by Blue Lube, LLC and Reeve & Associates, Inc.

Mike Eggett went over the executive summary and contents of the packet, including any site plan issues and city staff comments. It was noted this would be the final recommendation and approval would forward it to City Council.

F. Discretionary Items

G. Adjournment

As there was no further business to discuss, the Planning Commission work session adjourned at 6:19 pm.

Minutes of the **Regular Meeting** of the Riverdale City **Planning Commission** held Tuesday, September 28, 2021, at 6:30 p.m., at the Civic Center, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

Present:

Commissioners:	Robert Wingfield, Commissioner Blair Jones, Commissioner Wanda Ney, Commissioner (present via telephone) Suzette DeMar, Commissioner Kent Anderson, Commissioner
City Employees:	Mike Eggett, Community Development Michelle Marigoni, City Recorder
Excused:	Amy Ann Spiers, Chairman
Visitors:	Jeremy Draper Tabor Cope Rebecca Cope

A. Welcome & Roll Call

The Planning Commission Meeting began at 6:30 p.m. Commissioner Wingfield welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present except for Chairman Spiers.

B. Public Comment

Commissioner Wingfield asked for any public comments. There were no comments from the public.

C. Presentations and Reports

Mike Eggett updated the Planning Commission on the status of Mayor Searle and informed them of the City Administrator resignation.

Mr. Eggett briefly reported updates on Café Rio, Dutch Bros, Maverik, Raising Cane's, Chik-Fil-A and Mo Bettah's.

D. Consent Items

E. Action Items

Consideration to forward a recommendation to the City Council of a Final Site Plan proposal for Take 5 Automotive and Drink Store Buildings, property located approximately 4021 and 4023 South Riverdale Road, Riverdale, Utah 84405; as requested by Blue Lube, LLC and Reeve & Associates, Inc.

Mike Eggett went over the executive summary and contents of the packet for this meeting. He noted the additional requirement of a conditional use permit for the lube shop and apologized for not having it before this meeting. Having no further information to relay, Mr. Eggett deferred to the Planning Commission for questions or comments.

Tabor Cope with Blue Lube, LLC and Jeremy Draper with Reeve & Associates were present and approached the podium. Mr. Jones inquired about the drink shop portion of the project and when an occupant was expected. Mr. Cope answered it would be occupied as soon as possible after the building is completed. Mr. Hermann brought up the storm drain issue noted in the packet. Mr. Draper explained they are actively working with public works to get it resolved quickly.

MOTION: Commissioner Jones moved to forward with a positive recommendation to the City Council of the proposal, with the stipulation the concerns were addressed. Commissioner Ney seconded the motion.

ROLL CALL VOTE: All Commissioners voted in favor. Motion passes.

F. Discretionary Items

G. Adjournment

As there was no further business to discuss, Commissioner Hermann made a motion to adjourn. Commissioner Jones seconded the motion. The Planning Commission meeting adjourned at 6:44 pm.

Minutes of the **Regular Meeting** of the Riverdale City **Planning Commission** held Tuesday, August 10, 2021, at 6:30 p.m., at the Civic Center, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

Present:

Commissioners:	Blair Jones, Commissioner Rikard Hermann, Commissioner Wanda Ney, Commissioner (present via telephone) Suzette DeMar, Commissioner Kent Anderson, Commissioner
City Employees:	Mike Eggett, Community Development Michelle Marigoni, City Recorder
Excused:	Amy Spiers, Chairman Robert Wingfield, Commissioner
Visitors:	Taber Cope Lori Fleming Doug Staker Jeremy Draper

A. Welcome & Roll Call

The Planning Commission Meeting began at 6:39 p.m. Commissioner Jones welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present except for Mrs. Spiers and Mr. Wingfield.

B. Public Comment

Commissioner Jones asked for any public comments. There were no comments from the public.

C. Presentations and Reports

Mike Eggett with Community Development informed Commissioners about upcoming training and reminded them there is a requirement of four hours annually. He noted that all items on the agenda are new projects and that Maverik may be on the agenda on the August 17 City Council Meeting, as the rezone request was approved.

D. Consent Items

Consideration of Meeting Minutes from:
July 27, 2021 Work Session
July 27, 2021 Regular meeting

Commissioner Jones asked if there were any changes to be made to the minutes. There were no changes. Commissioner Hermann motioned to approve the minutes. Commissioner DeMar seconded the motion. All Commissioners were in favor.

E. Action Items

1. **a. Public hearing to receive and consider comments regarding proposed amendments to Title 10 of the Riverdale Municipal Code, specifically Chapters 2, 9, and 14 regarding proposed changes to definitions, roofline setbacks, and internal accessory dwelling units.**

Mr. Eggett went over the executive summary and deferred to the Planning Commission for comments or questions.

Commissioner Anderson moved to open the public hearing. Commissioner Hermann seconded the motion. The public hearing was opened. Commissioner Jones invited any comments from the public. Resident Lori Fleming addressed the Commission and expressed her support for the changes, as it will allow more flexible housing for elderly persons and create affordable housing. She noted the homeowner must continue to live onsite when renting a portion of the home, as required by the State of Utah.

As there were no further comments, Commissioner Hermann moved to close the public hearing, which was seconded by Commissioner Anderson. All Commissioners were in favor and the public hearing was closed.

b. Consideration to forward a recommendation to the City Council regarding proposed amendments to Title 10 of the Riverdale Municipal Code, specifically Chapters 2, 9, and 14 regarding proposed changes to definitions, roofline setbacks, and internal accessory dwelling units.

Mr. Eggett stated he had nothing further to add and deferred to Commissioners for questions. Mr. Anderson asked if the change would continue to require off-street parking for these residences. Mr. Eggett referred to City Code 10-14-14 which addresses parking requirements. There were no further questions.

MOTION: Commissioner Anderson moved to forward the recommendation to City Council.
Commissioner DeMar seconded the motion.

ROLL CALL VOTE: All Commissioners voted in favor. Motion passes.

2. Consideration to forward a recommendation to the City Council of a proposed Site Plan Amendment for Walmart Supercenter, property located approximately 4848 South 900 West, Riverdale, Utah 84405, as requested by Walmart and Galloway & Company, Inc.

Mr. Jones turned the time over to Mr. Eggett, who remarked Doug Staker was in attendance representing Galloway. Mr. Eggett explained the project is an amendment to the current site and includes a small interior remodel. He informed the Commission they are the recommending body on this item.

Mr. Eggett went over the items listed in the packet which were missing or incomplete on the site plan, as well as departmental staff concerns. He also noted there will need to be a review set up with the Design Review Committee.

Mr. Galloway addressed the Commissioners and offered to answer questions or provide additional information. Commissioner Jones inquired if the building would be expanding further to the south or if this remodel would be within the existing footprint. Mr. Staker went over the plan to remove part of the existing outdoor garden center and described the final project as including two towers which would accommodate eight cars each, with customers having their purchases delivered via an overhead conveyor system after entering a code. He went on to explain there are no plans to expand the footprint further to the south unless there was a need for the que.

There was discussion regarding the traffic flow, access points and the trailers commonly parked in the area. Mr. Staker addressed all concerns and informed the Commissioners the Riverdale store would be the first to have this system in place.

MOTION: Commissioner Hermann moved to forward the recommendation to City Council with changes discussed and all staff concerns addressed. Commissioner Anderson seconded the motion.

ROLL CALL VOTE: All Commissioners voted in favor. Motion passes.

3. a. Consideration to forward a recommendation to the City Council of a proposed Subdivision Amendment for Riverdale Center VI Subdivision, property located approximately 4171 South Riverdale Road, Riverdale Utah 84405, as requested by Riverdale Center North, LLC and AWA Engineering Group.

b. Consideration of Preliminary Site Plan approval for proposed Cheddar's Scratch Kitchen, property located approximately 4171 South Riverdale Road, Riverdale Utah 84405; as requested by Riverdale Center North, LLC/Cheddar's and AWA Engineering group.

Mr. Eggett stated he would be commenting on items 3a and 3b together and noted Jake Tate with AWA was in attendance representing both the subdivision and Cheddar's. Mr. Eggett went over the Executive Summary included in the packet. He mentioned there was an issue with the addresses listed and that one would need to be decided upon. He noted there were not many comments received, mentioned the pole signage details would need to be included, and went over additional items which must be addressed, reminding Commissioners all items were highlighted in yellow in the packet.

It was discovered the staff reports for Cheddar's were inadvertently left out of the packet. Mr. Eggett apologized for the oversight; however, Mrs. Marigoni was able to display the staff reports on the screen in the council chambers.

MOTION: Commissioner Anderson moved to forward a positive recommendation for the subdivision amendment, pending staff comments being satisfied. Commissioner Hermann seconded the motion.

ROLL CALL VOTE: Commissioners voted unanimously in favor. Motion passes.

MOTION: Commissioner Hermann moved to approve the preliminary site plan for Cheddar's Scratch Kitchen. Commissioner DeMar seconded the motion.

ROLL CALL VOTE: Commissioners voted unanimously in favor. Motion passes.

4. Consideration of Preliminary Site Plan approval for proposed Take 5 Automotive Service and Drive-thru Food Service Building, property located approximately 4021-4023 South Riverdale Road, Riverdale Utah, 84405; as requested by Blue Lube, LLC and Reeve & Associates, Inc.

Mr. Eggett went over the Executive Summary included in the informational packet and reported Jeremy Draper was in attendance representing Reeve & Associates, while Taber Cope represented Blue Lube LLC. Mr. Cope addressed Commissioners and inquired as to the parking requirements. He explained the business model and that customers generally remain in their cars and services are completed within 10 minutes. Mr. Eggett informed him the parking requirements are in City Code and must be addressed.

Commissioner Jones presented questions regarding parts supplies and discussion ensued. There was additional discussion about the two different building sizes and timeline for each. Mr. Eggett reminded Commissioners this was only a preliminary approval and staff issues would not need to be addressed at this time.

MOTION: Commissioner Hermann moved to approve. Commissioner DeMar seconded the motion.

ROLL CALL VOTE: All commissioners voted in favor. Motion passes.

F. Discretionary Items

Mr. Eggett informed the Commission that information would be forthcoming regarding HB405 and some land use changes. He explained this would allow land use deviation from municipal code and provide some flexibility within ordinances. There was further discussion regarding the changes and how they may affect the Planning Commission.

G. Adjournment

As there was no further business to discuss, Commissioner Anderson made a motion to adjourn. Mr. Hermann seconded the motion. The Planning Commission meeting adjourned at 8:01 pm.

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
October 12, 2021**

AGENDA ITEM: E1

SUBJECT: Consideration of Conditional Use Permit request for Take 5 Automotive Services use located at approximately 4023 South Riverdale Road, Riverdale, Utah 84405, as requested by applicant Blue Lube, LLC.

PRESENTER: Mike Eggett, Community Development

INFORMATION:

- a. [Take 5 Auto Services Cond Use Exec Summ – PC – \[20211012\]](#)
- b. [Dept Staff Repts – Take 5 Auto Services Cond Use \[20211007\]](#)
- c. [Take 5 CUP App & Support Docs - 20210929](#)

[BACK TO AGENDA](#)



Planning Commission Executive Summary

For the Commission meeting on: 10-12-2021

Petitioner: Blue Lube, LLC
Represented by Tabor Cope

Summary of Proposed Action

Blue Lube, LLC, as represented by Tabor Cope, has filed for a conditional use permit to operate a Take 5 Automotive Servicing facility located at approximately 4023 South Riverdale Road. This property is located in a Planned Regional Commercial (CP-3) zone and the requested use is anticipated to be located in a proposed new building on the site. Within the C-3 zone matrix **"Repair including paint, body and fender, brake, muffler, upholstery or transmission work, provided conducted within completely enclosed building"** and similar uses are considered conditional use permit requests and require approval by the Planning Commission as the decision-making body for these types of requests. This required review allows the Commission to look at any outstanding health, safety, and welfare concerns that may exist in association with this newly proposed use in the C-3 zone and its proximity to neighboring uses in the general area.

Following the presentation and discussion of the proposal, the Planning Commission may make a motion to approve the conditional use request, approve with required conditions or improvements to the plan (as tied to City Code 10-19), or not approve the conditional use permit request for a proposed automotive servicing use at this location, with sufficient findings of fact to support the decision.

Title 10 Ordinance Guidelines (Code Reference)

This Conditional Use Permit request is regulated under City Code 10-10A "Commercial Zones (C-1, C-2, C-3)" and 10-19 "Conditional Uses".

City staff has discussed the building plan and details, along with relevant staff concerns, with Mr. Cope regarding this request for a conditional use permit at this location. The Planning Commission has also recently reviewed the site plan proposal for the building and site associated with this requested use at this location. Items of concern and discussion have been provided in the department staff report. The applicant has also provided supporting documentation for this business use. Additionally, Mr. Cope is aware of potential impacts and concerns relative to this automotive services use and its proximity to the neighboring uses in this area.

The criteria for issuing a Conditional Use Permit approval is as follows (additionally, for more information regarding this zone please defer to City Code 10-10A):

10-19-5: BASIS FOR REVIEW OF CONDITIONAL USE PERMIT:

The planning commission shall review a conditional use permit with evidence presented to establish that:

A. A conditional use shall be approved if reasonable conditions are proposed or can be imposed to mitigate

the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards.

- B. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.
- C. The proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community; and
- D. Such use will not, under the circumstances of the particular case and the conditions imposed, be detrimental to the health, safety and general welfare of persons nor injurious to property or improvements in the community, but will be compatible with and complementary to the existing surrounding uses, buildings and structures when considering traffic generation, parking, building design and location, landscaping and signs; and
- E. The proposed use conforms to the goals, policies and conditions specified in this chapter for such use; and
- F. That the proposed use conforms to the goals, policies and governing principles and land use of the master plan for the city; and
- G. The proposed use will not lead to the deterioration of the environment, or ecology of the general area, nor will it produce conditions or emit pollutants of such a type or of such a quantity so as to detrimentally affect, to any appreciable degree, public or private property, including the operation of existing uses thereon, in the immediate vicinity or the community or area as a whole. (Ord. 665, 8-19-2008)

Staff would encourage the Planning Commission to review this matter, including concerns noted herein, and then discuss these matters with the petitioner. Staff would then recommend that the Planning Commission act accordingly to make a motion to approve the conditional use request, approve with required conditions or improvements to the plan (as tied to City Code 10-19), or not approve the conditional use permit request for an automotive services business operation at this location, with sufficient findings of fact to support the decision.

General Plan Guidance (Section Reference)

The General Plan has this area listed for Planned Commercial - High uses.

Legal Comments - City Attorney

Steve Brooks, Attorney

Administrative Comments - City Administrator

Steve Brooks, Acting City
Administrator

DEPARTMENTAL STAFF REPORTS – 10/4/2021 to 10/7/2021

From: Shawn Douglas
Sent: Thu 10/7/2021 10:56 AM
To: Mike Eggett
Subject: RE: Review Comments for Take 5 CUP Application + Supporting Documents

Mike,

I don't have any comments. Thanks

Shawn Douglas

Public Works Director
801/394/5541 ext.1217
Sdouglas@Riverdalecity.com

From: Jared Sholly
Sent:
To: Mike Eggett
Subject:

No comments provided.

Jared Sholly
Fire Chief
Riverdale City Fire Department
Office 801-394-7481
Cell 801-628-6562

From: Scott Brenkman (Police Chief)
Sent: Mon 10/4/2021 9:40 AM
To: Mike Eggett
Subject: RE: Review Comments for Take 5 CUP Application + Supporting Documents

I do not have any concerns with this.

Chief Scott Brenkman
Riverdale Police Department
4580 S. Weber River Dr.
Riverdale, UT 84405
(801)394-6616
sbrenkman@riverdalecity.com

From: Randy Koger

Sent: Thu 10/7/2021 10:29 AM

To: Mike Eggett

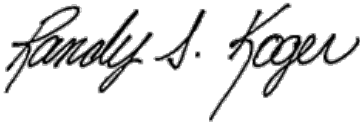
Cc: Jared Sholly

Subject: RE: Review Comments for Take 5 CUP Application + Supporting Documents

REVIEW COMMENTS:

The following review comments are based on information provided on the Preliminary Site Plan Proposal, and shall not extend to means, methods, techniques, sequences, or procedures of construction nor conformance to any specifications. Acceptance of the project is the prerogative of the Authority Having Jurisdiction.

Regarding any health, safety concerns will be addressed at the final i.e. SDS Information.

A handwritten signature in black ink that reads "Randy S. Koger". The signature is written in a cursive, flowing style.

Fire Marshal/ Code Enforcement Officer

Riverdale City

801-436-1241



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405
Acct #10-36-9000

CONDITIONAL USE PERMIT APPLICATION

DATE September 29, 2021

ADDRESS OF SITE 4023 Riverdale Road, Riverdale, UT 84405

APPLICANT'S NAME Blue Lube LLC, c/o Taber Cope

ADDRESS 1413 E Nashi Ln, Draper, UT 84020-8228

PHONE NUMBER 719-661-2075

NOTE: Plans: Detailed location, site and building plans shall accompany the completed application forms provided by the city. For structures in existence, only a location plan need be provided.

☒ SITE PLAN RECEIVED ☒ BUILDING PLANS RECEIVED

Present Zoning of the Property: CP-3

Present Use of the Property: Vacant / Parking Lot

Acreage of the Property: 0.99 +/- ac.

Width of Property on the Street: 15 ft

Proposed Conditional Use of Property: Auto Repair Shop (Oil Change) and Drive-Thru Retail

SIGNED: Taber Cope

DATE: September 29, 2021

I authorize Blue Lube LLC &/or Reeve & Associates to act as my representative in all matters relating to this application.

Refer to separate document attached.

OWNER

Adam Singer of Rialto Capital

AGENT AS AUTHORIZED BY OWNER

PLANNING COMMISSION SCHEDULED TO HEAR THIS APPLICATION FOR CONDITIONAL USE ON:

DATE: 10/12/2021

DECISION OF COMMISSION: _____

SIGNATURE OF CHAIRPERSON: _____

DATE: _____

PLANNING COMMISSION PUBLIC HEARING:

DATE:

DECISION OF COMMISSION: N/A

SIGNATURE OF CHAIRPERSON: N/A

DATE:

Fee \$75.00

Date Paid: 9/29/2021

Receipt No. 157540598PT

Certificate Of Completion

Envelope Id: 5EBFBB77F6394CD6B805E3724DC8F4D2

Status: Completed

Subject: Please DocuSign: City site plan approval.pdf

Source Envelope:

Document Pages: 1

Signatures: 1

Envelope Originator:

Certificate Pages: 1

Initials: 0

Matthew Diamond

AutoNav: Enabled

200 S. Biscayne Blvd., Suit 3550

Envelopeld Stamping: Enabled

Miami, FL 33131

Time Zone: (UTC-08:00) Pacific Time (US & Canada)

matthew.diamond@rialtocapital.com

IP Address: 70.170.75.54

Record Tracking

Status: Original

Holder: Matthew Diamond

Location: DocuSign

7/27/2021 9:35:55 AM

matthew.diamond@rialtocapital.com


Signer Events

Adam Richard Singer

adam.singer@rialtocapital.com

Managing Director

Rialto Capital

Security Level: Email, Account Authentication
(None)**Signature**

 DocuSigned by:
24DDBCB1842B4F1...
Timestamp

Sent: 7/27/2021 9:37:37 AM

Viewed: 7/27/2021 9:52:39 AM

Signed: 7/27/2021 9:52:53 AM

Signature Adoption: Drawn on Device

Using IP Address: 107.77.215.162

Signed using mobile

Electronic Record and Signature Disclosure:

Not Offered via DocuSign

In Person Signer Events**Signature****Timestamp****Editor Delivery Events****Status****Timestamp****Agent Delivery Events****Status****Timestamp****Intermediary Delivery Events****Status****Timestamp****Certified Delivery Events****Status****Timestamp****Carbon Copy Events****Status****Timestamp****Witness Events****Signature****Timestamp****Notary Events****Signature****Timestamp****Envelope Summary Events****Status****Timestamps**

Envelope Sent

Hashed/Encrypted

7/27/2021 9:37:37 AM

Certified Delivered

Security Checked

7/27/2021 9:52:39 AM

Signing Complete

Security Checked

7/27/2021 9:52:53 AM

Completed

Security Checked

7/27/2021 9:52:53 AM

Payment Events**Status****Timestamps**



Riverdale City
4600 South Weber River Drive
Riverdale, UT 84405
(801) 394-5541

XBP Confirmation Number: 107165677

Transaction detail for payment to Riverdale City.		Date: 09/29/2021 - 1:46:02 PM MT	
Transaction Number: 157540598PT Visa — XXXX-XXXX-XXXX-5488 Status: Successful			
Account #	Item	Quantity	Item Amount
CONDITIONAL USE PERM	Sundry Revenues	1	\$75.00

TOTAL: \$75.00

Billing Information
TABER COPE
, 84405

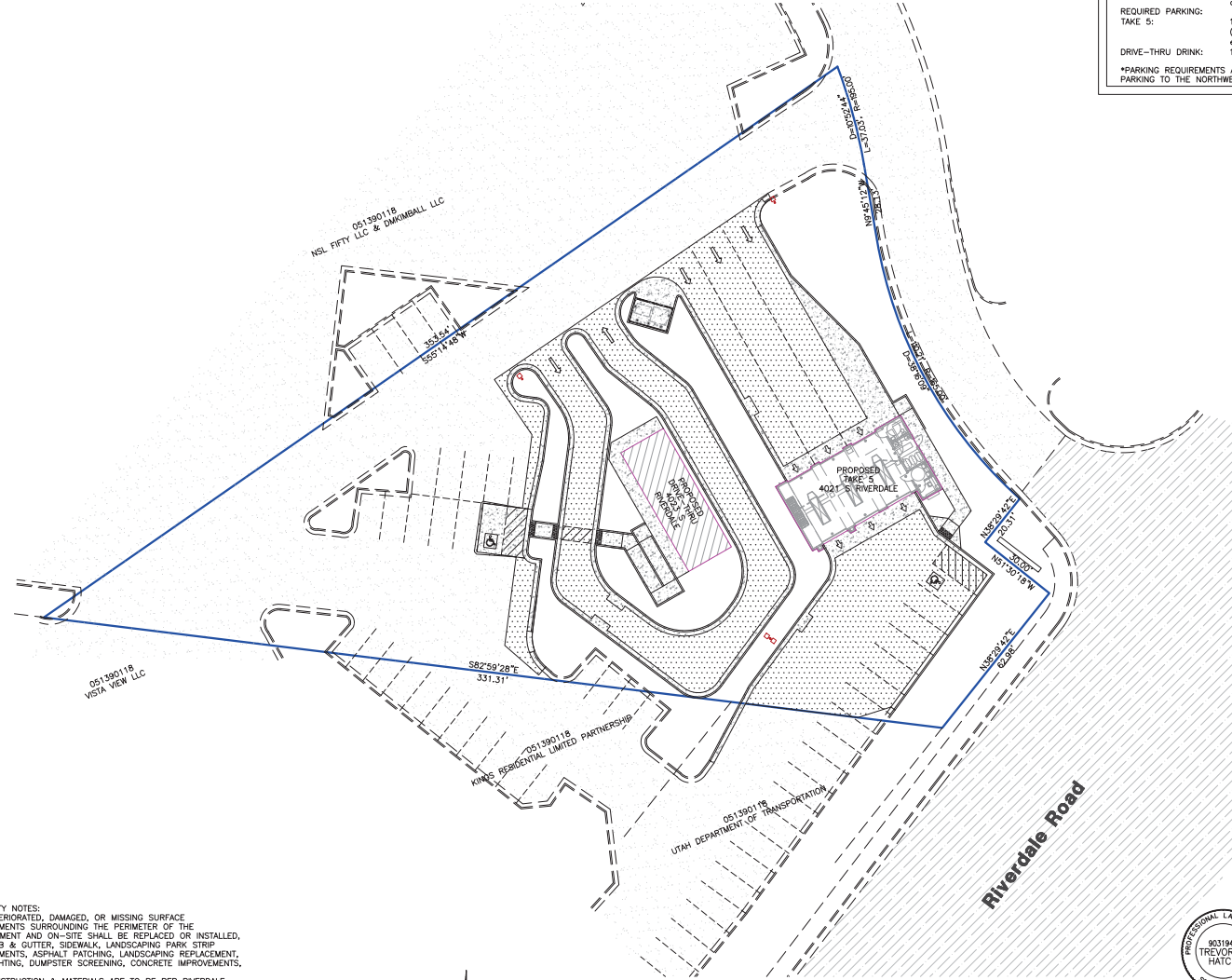
Transaction taken by: cjacobsen

Project Narrative/Notes/Revisions

- 07/27/2021 JM - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
- 09/06/2021 JM - REVISED PER CITY COMMENTS.

Take 5 4023 Riverdale Improvement Plans

RIVERDALE, WEBER COUNTY, UTAH
SEPTEMBER 2021



SITE DATA

APN#05-139-0078
PARCEL AREA: 43,127 S.F. (0.99 ACRES)
BUILDING AREA: 2,348 S.F. 5.4%
TOTAL HARDSCAPE: 29,932 S.F. 69.4%
LANDSCAPE AREA: 10,874 S.F. 25.2%
PARKING STALLS: 17 STALLS
(does not include drive-thru queues and shared parking stalls)
REQUIRED PARKING: TAKE 5:
10 STALLS (1 ADA)
(1 stall per employee and 5 extra)
10 STALLS (1 ADA)
DRIVE-THRU DRINK:
*PARKING REQUIREMENTS ARE MET WITH ALL THE SHARED PARKING TO THE NORTHWEST.



Vicinity Map
NOT TO SCALE

Sheet Index

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- Sheet 2 - Notes/Legend
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- Sheet 4 - Proposed Site Plan
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- Sheet 5.1 - Utility Plan
- Sheet 6 - Civil Details
- Sheet 7 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 8 - Storm Water Pollution Prevention Plan Details
- Sheet 9 - Landscape Plan
- Sheet 10 - Irrigation Plan
- Sheet 11 - Irrigation Details

Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Elevation Datum:

The Benchmarks:
THE BASES OF BEARINGS FOR THIS SURVEY IS BETWEEN A FOUND BRASS CAP MONUMENT AT THE SOUTH 1/4 AND A FOUND BRASS CAP MONUMENT WITNESSING THE SOUTHWEST CORNER OF SECTION 5, SHOWN HEREON AS N87°20'02"W. THE BENCHMARK IS THE FOUND BRASS CAP MONUMENT AT THE SOUTH 1/4 CORNER OF SECTION 5, SHOWN HEREON AS 4340.70.



Architect:

Trevor Hatch
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Geotechnical Report:

Nathan Peterson
CMT Engineering
2796 S. Redwood Road
West Valley, Utah 84119
PH: (801) 908-5859

Surveyor:

Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Landscape Architect:

Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Owner/Developer:

Blue Lube, LLC
Jared Whatcott
1413 E. Noshi Lane
Draper, Utah 84020

Project Contact:

Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

RIVERDALE CITY NOTES:
1. ALL DETEIORATED, DAMAGED, OR MISSING SURFACE IMPROVEMENTS SURROUNDING THE PERIMETER OF THE DEVELOPMENT AND ON-SITE SHALL BE REPLACED OR INSTALLED, I.E. CURB & GUTTER, SIDEWALK, LANDSCAPING PARK STRIP IMPROVEMENTS, ASPHALT PATCHING, LANDSCAPING REPLACEMENT, SITE LIGHTING, DUMPSTER SCREENING, CONCRETE IMPROVEMENTS, ETC...
2. ALL CONSTRUCTION & MATERIALS ARE TO BE PER RIVERDALE CITY STANDARDS & SPECIFICATIONS, CURRENT EDITION.

NOTICE:
THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER INFRASTRUCTURE.
IF PRINTED IN, OR COPIED TO BLACK & WHITE, SOME LINE WORK MAY NOT SHOW UP PROPERLY.

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UTILITY PROVIDERS:
SEWER RIVERDALE CITY 801-394-5541
WATER RIVERDALE CITY 801-394-5541
STORM DRAIN RIVERDALE CITY 801-394-5541
POWER PACIFICORP 1-888-221-7070
GAS DOMINION ENERGY 1-866-366-4357
CABLE TV COMCAST 1-800-934-6489
TELEPHONE CENTURYLINK 1-844-574-8124

Approving Agency

RIVERDALE CITY
4600 SOUTH WEBER RIVER DRIVE
RIVERDALE, UTAH 84405

APPROVED _____ DATE _____



REVISIONS	DESCRIPTION
DATE	

Take 5
4021 & 4023 Riverdale Road
RIVERDALE, WEBER COUNTY, UTAH
Cover/Index Sheet

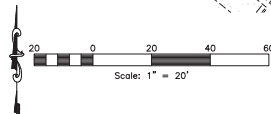
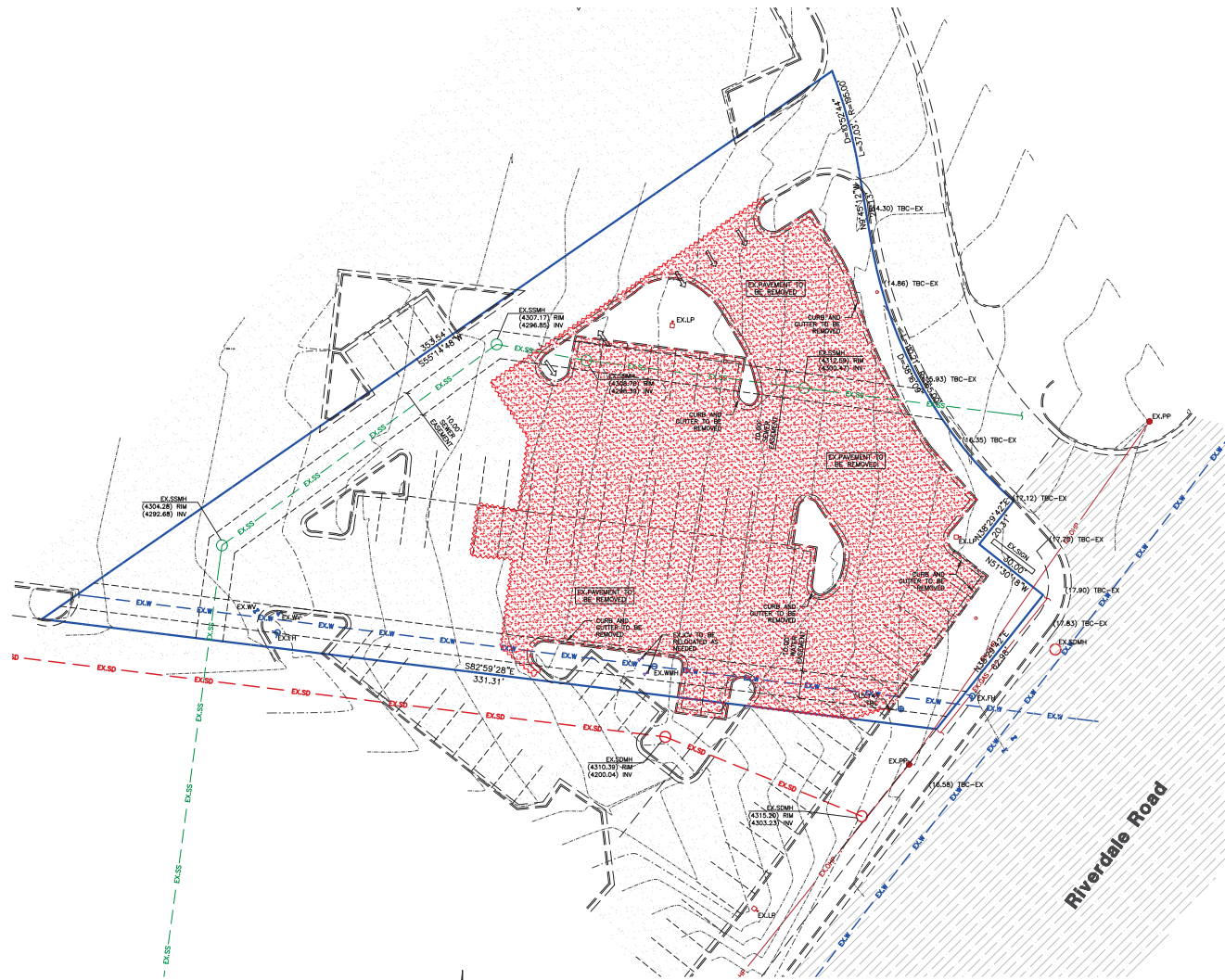


Project Info:
Engineer: JEREMY A. DRAPER, P.E.
Drafter: J. MEYERS
Begin Date: JUNE 2021
Name: TAKE 5 (4021)
FUTURE TENANT (4023)
RIVERDALE, RD
Number: 7477-06

1
11 Total Sheets

Legend

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Reeve & Associates, Inc.

IRA

DATE
REVISIONS
DESCRIPTION

Take 5

4021 & 4023 Riverdale Road

RIVERDALE, WEESER COUNTY, UTAH

Existing/Demolition Plan

REGISTERED PROFESSIONAL ENGINEER

UTAH

00000000

06/09/2023

STATE OF UTAH

Project Info.

Engineer:
JEREMY A. DRAPER, P.E.

Drafter:
J. MEYERS

Begin Date:
JUNE 2021

Name:
TAKE 5 (4021)

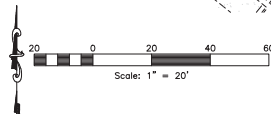
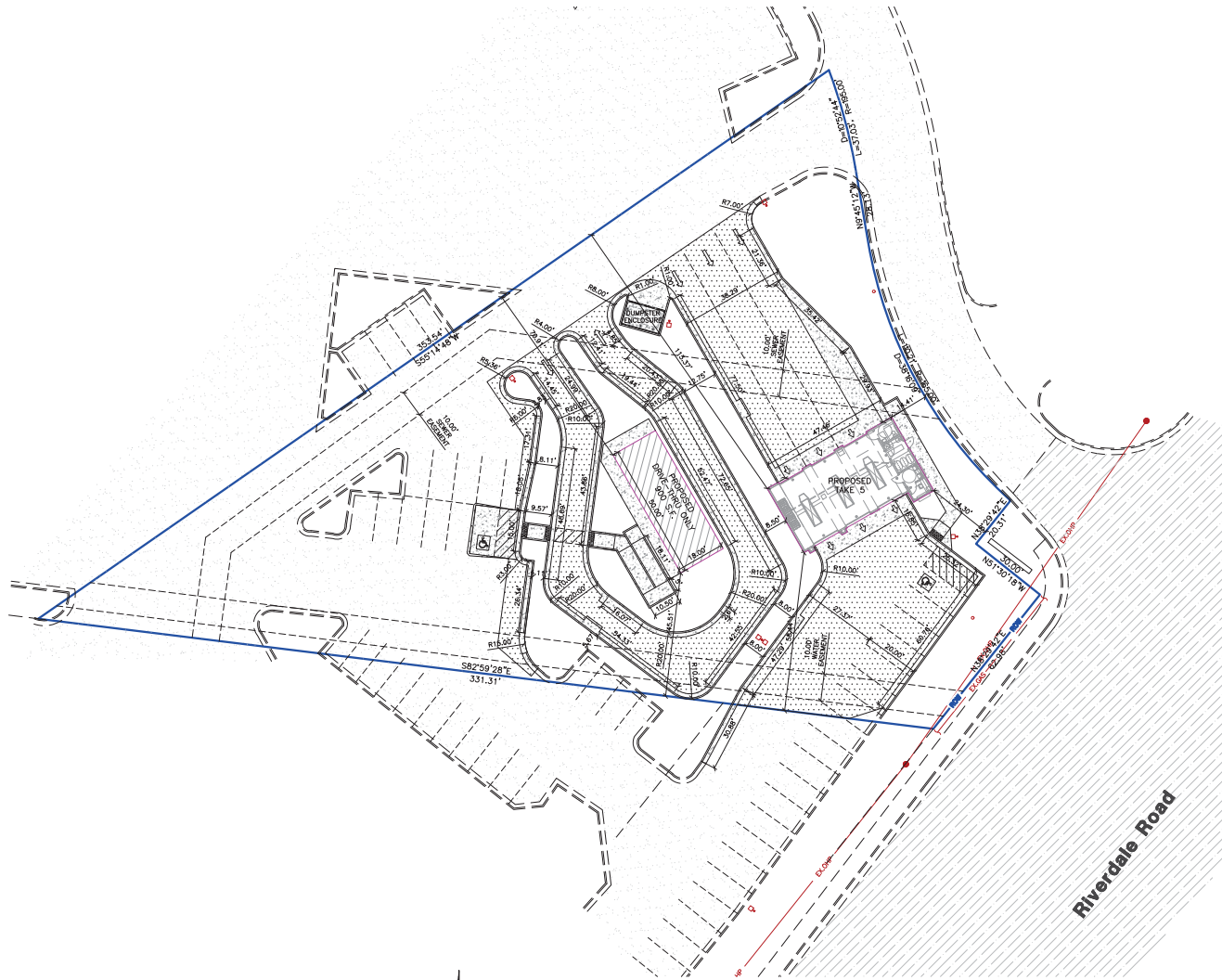
FUTURE TENANT (4023)

RIVERDALE RD

Number:
7477-06

3

11 Total Sheets



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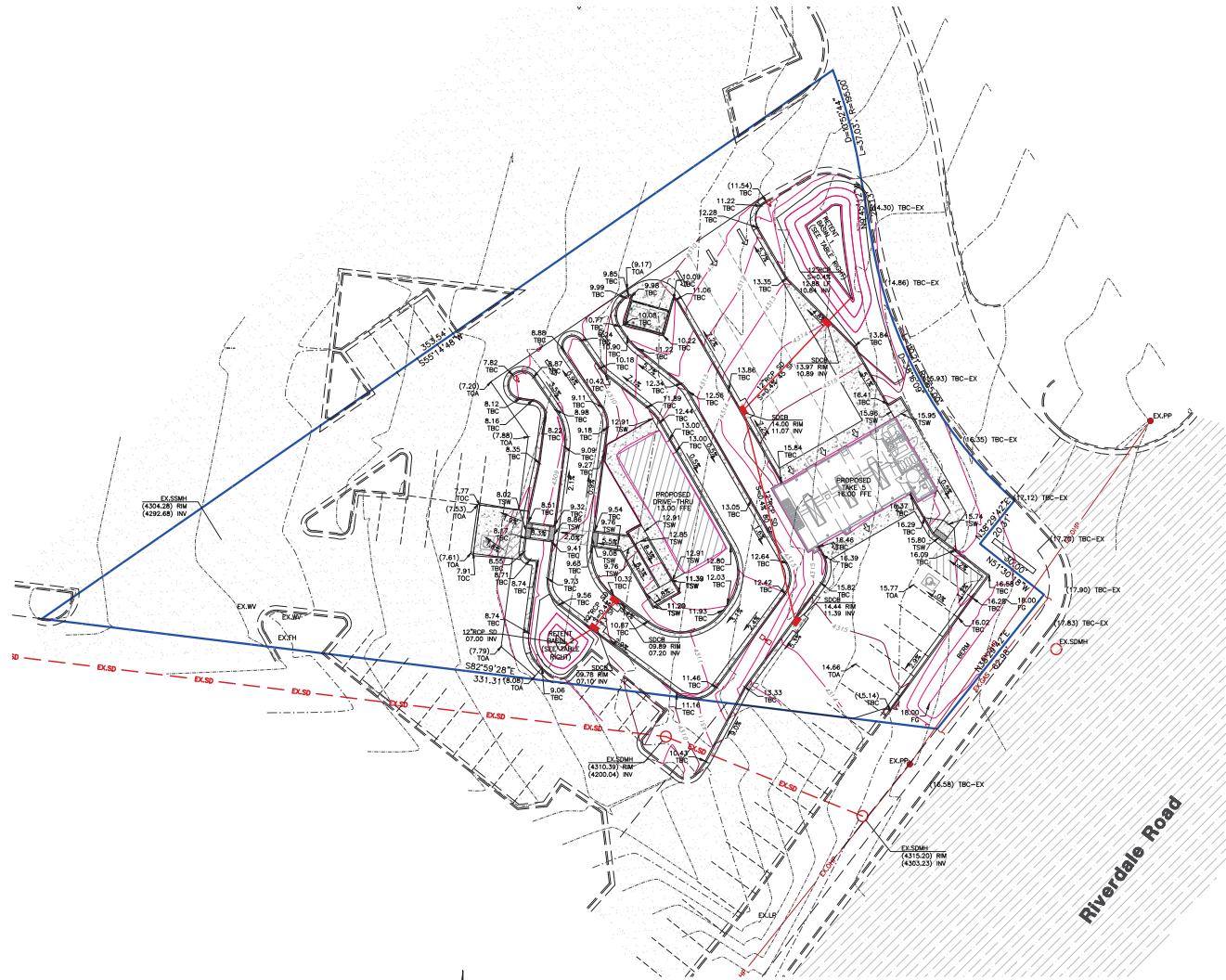
Project Info.
Engineer:
JEREMY A. DRAPER, P.E.
Drafter:
J. MEYERS
Begin Date:
JUNE 2021
Name:
TAKE 5 (4021)
FUTURE TENANT (4023)
RIVERDALE RD
Number: 7477-06

4
11 Total Sheets

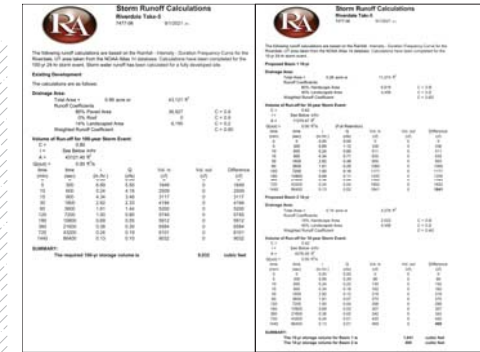
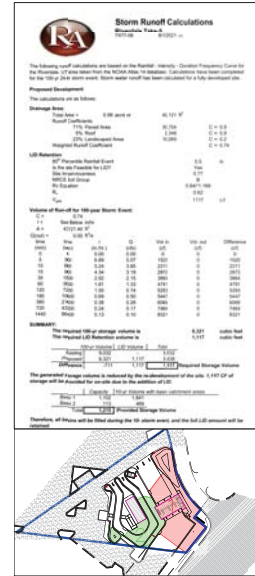
Take 5 4021 & 4023 Riverdale Road RIVERDALE, WEER COUNTY, UTAH Existing/Demolition Plan

REVISIONS	DATE	DESCRIPTION

Reeve & Associates, Inc.
IRA
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
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THE STORM WATER DRAWINGS THAT UPON CONSTRUCTION COMPLETION THE DETENTION BASIN STORAGE VOLUME MUST BE CHECKED BY THE DESIGN ENGINEER AND THE VOLUME ACTUALLY CONSTRUCTED MUST BE MEASURED, AND THEN CERTIFIED IN WRITING, BY THE DESIGN ENGINEER, TO THE CITY STORM WATER MANAGER. STORM DRAIN CATCH BASIN TO HAVE HOODED INLETS



BASIN 1 STAGE STORAGE TABLE							
ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)	
4,310.84	261.39	N/A	N/A	0.00	N/A	0.00	
4,311.00	292.51	0.16	44.31	44.31	44.29	44.29	
4,312.00	592.01	1.00	442.26	486.57	433.55	477.84	
HIGHWATER 4,312.84	906.24	0.84	629.26	1115.83	624.60	1102.44	
4,313.00	971.94	0.16	150.25	1266.09	150.22	1252.66	
BASIN 2 STAGE STORAGE TABLE							
ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)	
4,307.00	12.98	N/A	N/A	0.00	N/A	0.00	
4,308.00	86.49	1.00	50.73	50.73	45.12	45.12	
HIGHWATER 4,308.56	156.83	0.56	68.69	119.42	67.78	112.90	
4,309.00	223.67	0.44	83.71	203.13	83.28	196.18	
4,309.56	342.26	0.56	158.46	361.59	157.29	353.47	

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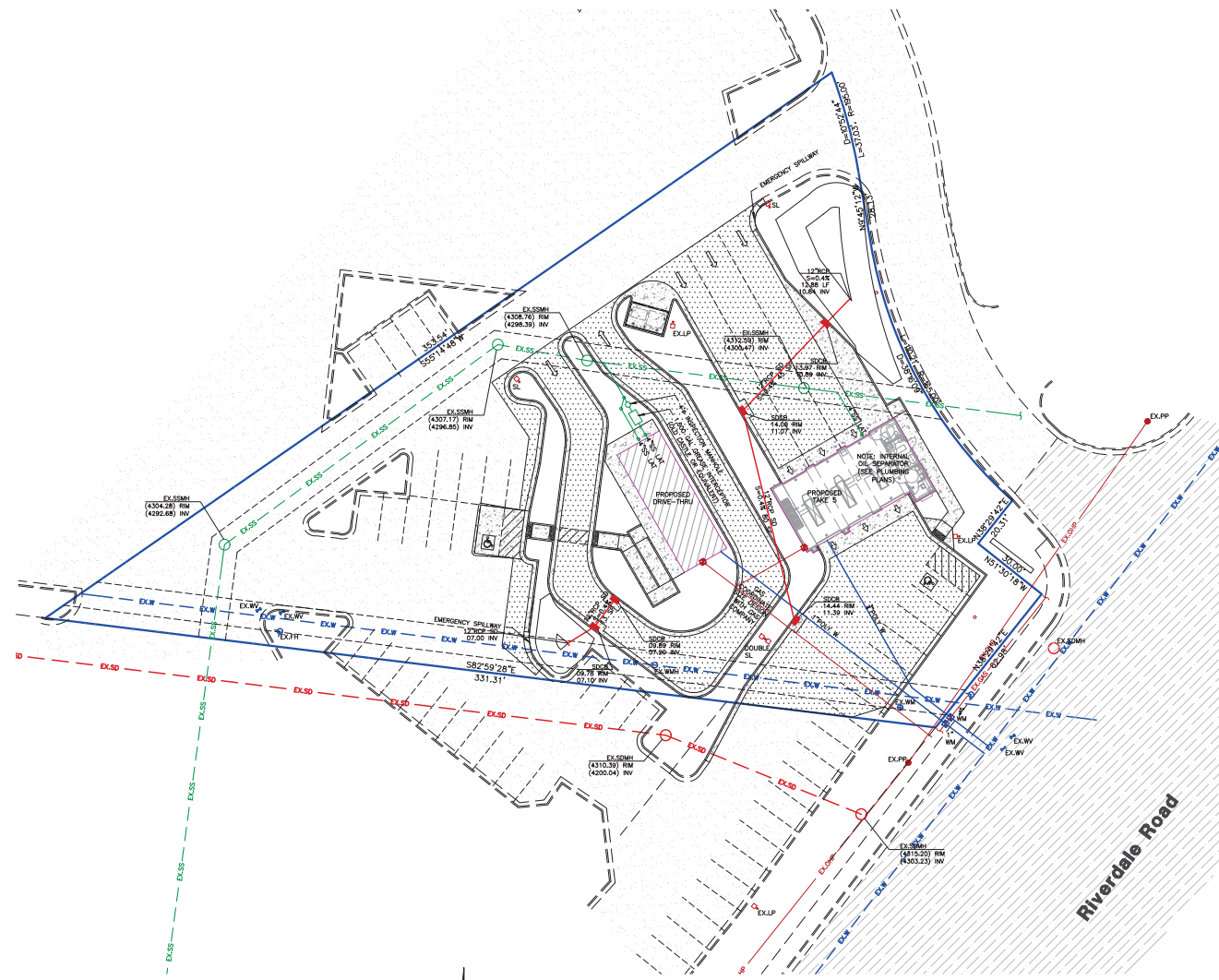
REVISIONS	DATE	DESCRIPTION

Take 5
4021 & 4023 Riverdale Road
 RIVERDALE, WESEY COUNTY, UTAH
Grading Plan



Project Info.
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: J. MEYERS
 Begin Date: JUNE 2021
 Name: TAKE 5 (4021)
 FUTURE TENANT (4023)
 RIVERDALE, UT
 Number: 7477-06

5.0
 11 Total Sheets



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LAND SURVEYING • CIVIL ENGINEERING • LAND DEVELOPMENT
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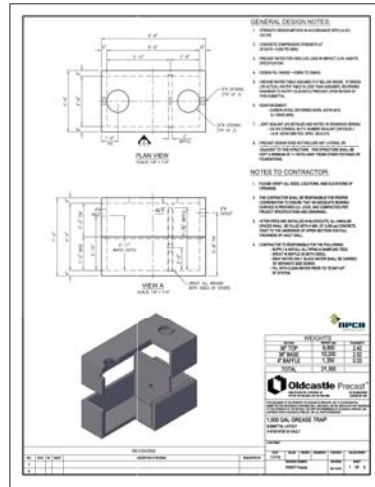
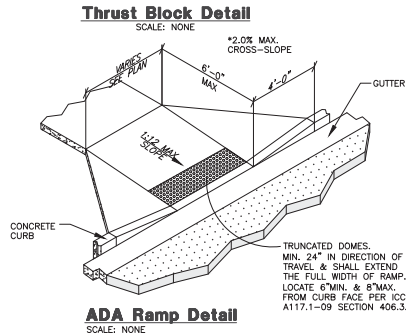
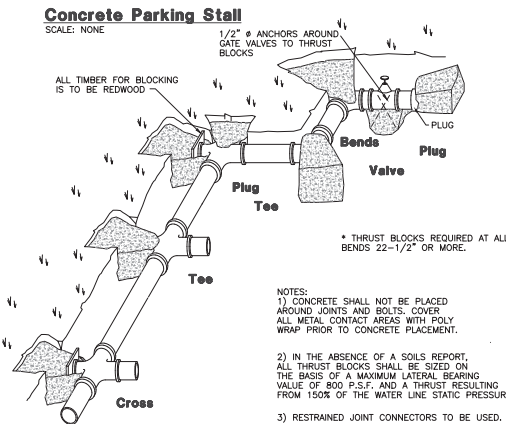
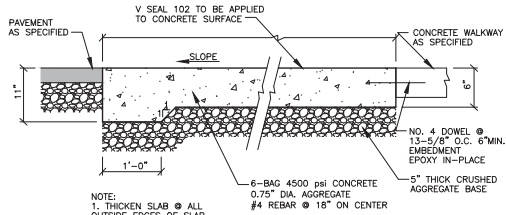
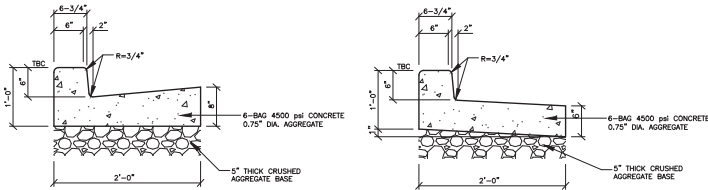
REVISIONS	DATE	DESCRIPTION

Take 5
4021 & 4023 Riverdale Road
RIVERDALE, WEIR COUNTY, UTAH

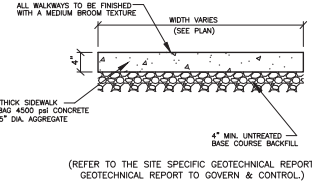
Utility Plan

PROJECT INFORMATION
Engineer: JEREMY A. DRAPER, P.E.
Drafted: J. MEYERS
Begin Date: JUNE 2021
Name: TAKE 5 (4021)
FUTURE TENANT (4023)
RIVERDALE, UT
Number: 7477-06

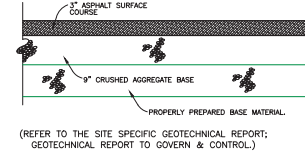
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11 Total Sheets



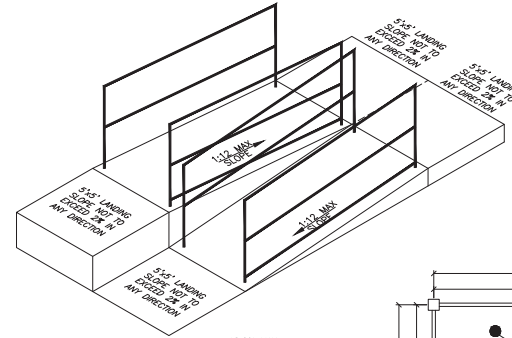
Typical ADA Parking Stall Detail
SCALE: NONE



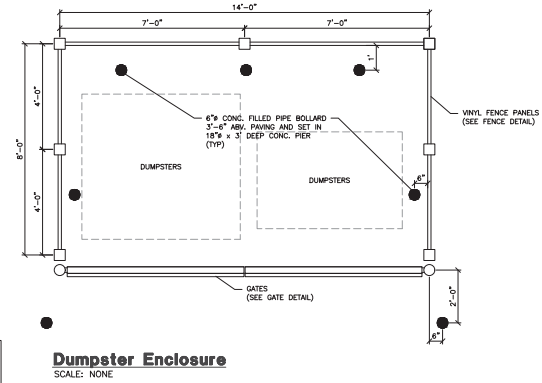
Concrete Walkway
SCALE: NONE



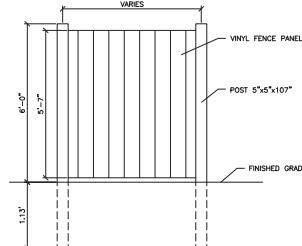
Typical On-Site Asphalt Paving
SCALE: NONE



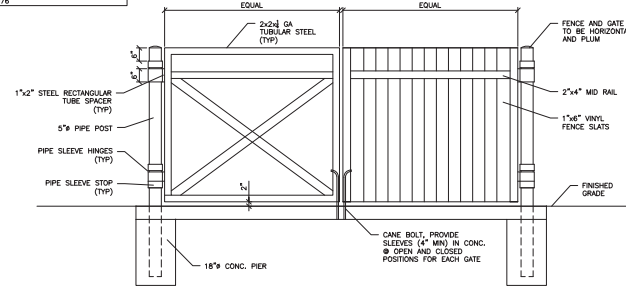
ADA Ramp With Rails
SCALE: NONE



Dumpster Enclosure
SCALE: NONE

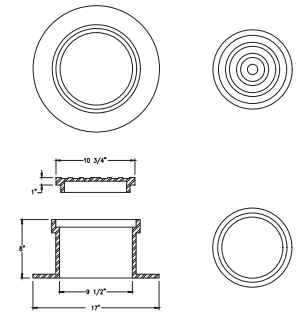


Dumpster Enclosure Fence
SCALE: NONE



Dumpster Enclosure Gate
SCALE: NONE

H-8030 Cleanout Frame and Cover



CAST IRON to conform to ASTM A-48, CLASS 35B		Est. Weight 77 lbs.	
H-20 Wheel Loading		77 lbs.	
H-8030	18" x 18"	18" x 18"	18" x 18"

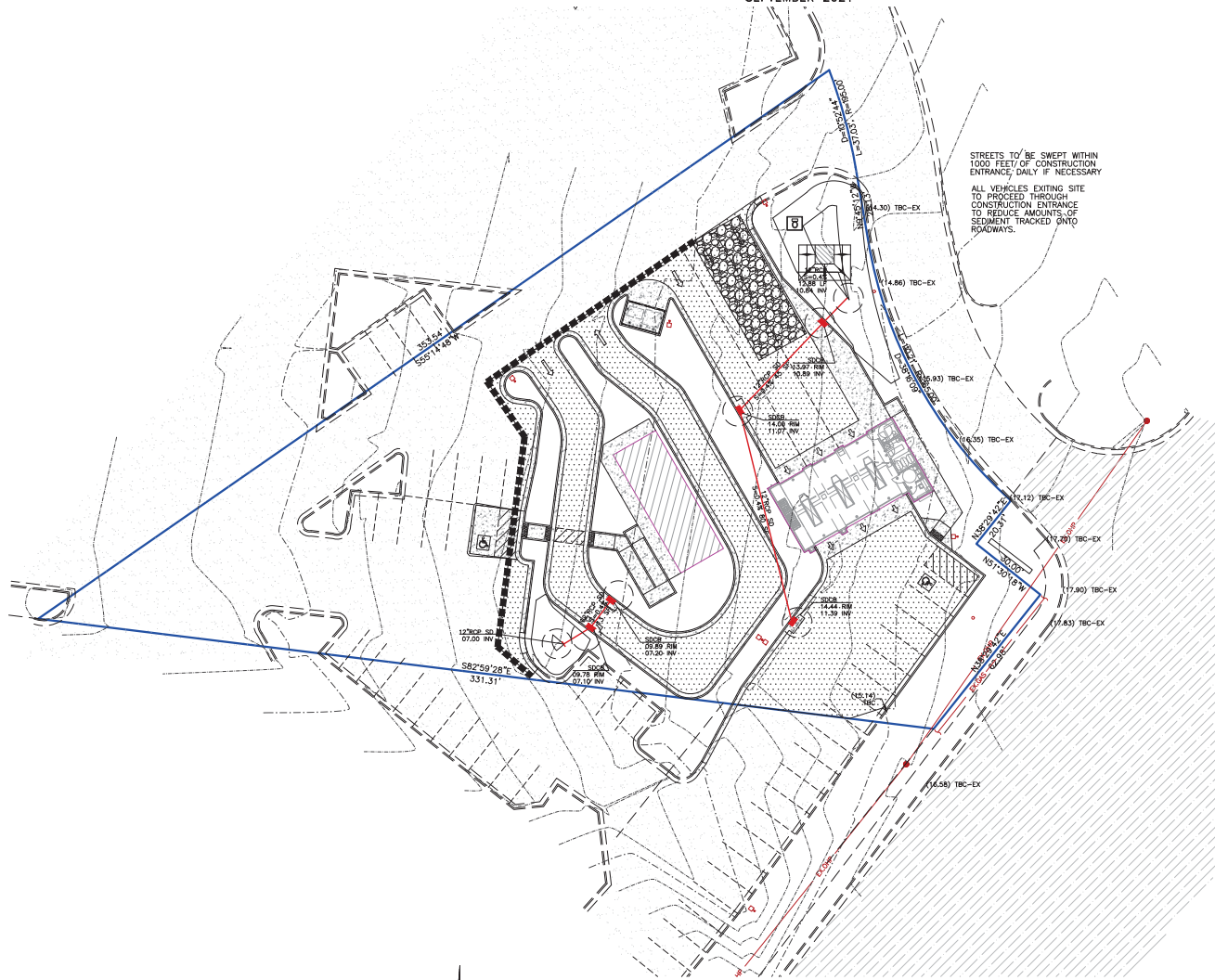
REVISIONS	DESCRIPTION
DATE	



Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: J. MEYERS
Begin Date: JUNE 2021
Name: TAKE 5 (4021)
FUTURE TENANT (4023)
RIVERDALE RD
Number: 7477-08

Take 5 4023 Riverdale Storm Water Pollution Prevention Plan Exhibit

RIVERDALE, WEBER COUNTY, UTAH
SEPTEMBER 2021



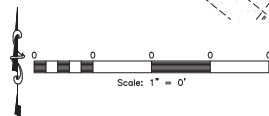
STREETS TO BE SWEEPED WITHIN
1000 FEET OF CONSTRUCTION
ENTRANCE, DAILY IF NECESSARY

ALL VEHICLES EXITING SITE
TO PROCEED THROUGH
CONSTRUCTION ENTRANCE
TO REDUCE AMOUNTS OF
SEDIMENT TRACKED ONTO
ROADWAYS.



Vicinity Map
NOT TO SCALE

- PORTABLE TOILET
- INLET PROTECTION
TYP. (SEE DETAIL)
- SILT FENCE
(SEE DETAIL)
- 50'x20' CONSTRUCTION
ENTRANCE W/8" CLEAN
GRAVEL
- CONCRETE WASH
AREA (SEE DETAIL)
OR AS SELECTED
BY CONTRACTOR



Construction Activity Schedule

- PROJECT LOCATION.....RIVERDALE CITY, WEBER COUNTY, UTAH
- PROJECT BEGINNING DATE.....AUGUST 2021
- BMP'S DEPLOYMENT DATE.....AUGUST 2021
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....TBD
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
LAND SURVEYING • CIVIL ENGINEERING • LAND DEVELOPMENT

IRA

REVISIONS	DESCRIPTION
DATE	

Take 5
4021 & 4023 Riverdale Road
RIVERDALE, WEBER COUNTY, UTAH
Storm Water Pollution Prevention Plan Exhibit



Project Info.
Engineer:
JEREMY A. DRAPER, P.E.
Drafter:
J. MEYERS
Begin Date:
JUNE 2021
Name:
TAKE 5 (4021)
FUTURE TENANT (4023)
RIVERDALE, ID
Number:
7477-06

Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
a. Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
b. Soil contaminated by soil amendments:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
c. Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
d. Fueling area:
To be performed in designated areas only and surrounded with silt fence.
e. Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
f. Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
g. Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
h. Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
i. Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
j. Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
a. Maintenance:
- Maintain all construction equipment to prevent oil or other fluid leaks.
- Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
- Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
- Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
- Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
b. Fueling:
- If fueling must occur on-site, use designated areas away from drainage.
- Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
- Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
- Use drip pans for any oil or fluid changes.
c. Washing:
- Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
- If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
- Use phosphate-free, biodegradable soaps.
- Do not permit steam cleaning on-site.
- Spill Prevention and Control
a. Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
- Contain the spread of the spill.
- If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
- If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
- If the spill occurs during rain, cover the impacted area to avoid runoff.
Record all steps taken to report and contain spill.
b. Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
a. Maintain good housekeeping practices.
b. Enclose or cover building material storage areas.
c. Properly store materials such as paints and solvents.
d. Store dry and wet materials under cover, away from drainage areas.
e. Avoid mixing excess amounts of fresh concrete or cement on-site.
f. Perform washout of concrete trucks offsite or in designated areas only.
g. Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
h. Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
i. All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
j. Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
a. The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
b. A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
c. Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
d. Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
e. All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
f. Except as otherwise approved by the inspector, all erosion devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
g. All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record or the governing agency.
h. The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
i. Dewatering basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
j. Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
a. Part III.D.4 of general permit UTR00000 identifies the minimum inspection requirements.
b. Part II.D.4.C identifies the minimum inspection report requirements.
c. Failure to complete and/or document storm water inspections is a violation of Part III.D.4 of Utah General Permit UTR 300000.

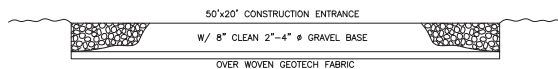
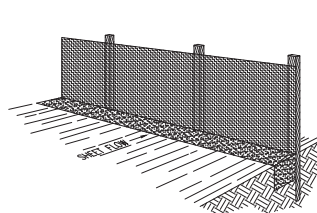
**Cross Section 50' x 20' Construction Entrance****Perspective View**

Figure 2

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)		
Slope Steepness (%)	Max. Slope Length m (ft)	
<2%	30.5m (100ft)	
2-5%	22.9m (75ft)	
5-10%	15.2m (50ft)	
10-20%	7.6m (25ft)	
>20%	4.5m (15ft)	

PREFABRICATED SILT FENCE ROLLS

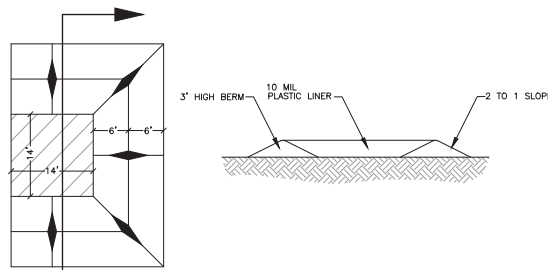
*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
*Unroll the silt fence, positioning the post against the downstream wall of the trench. Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then dub the end posts to create a tight seal as shown in Figure 1.
*Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
*Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

FIELD ASSEMBLY

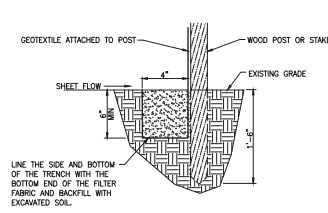
*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
*Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

Silt Fence Detail

SCALE: NONE

**Concrete Washout Area
w/ 10 mil Plastic Liner**

SCALE: NONE

**Section**

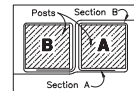
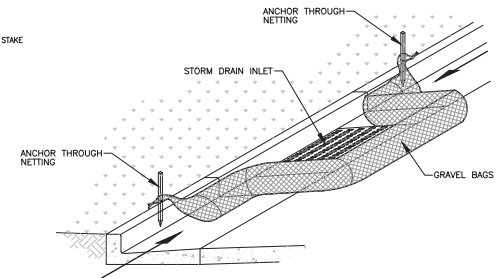
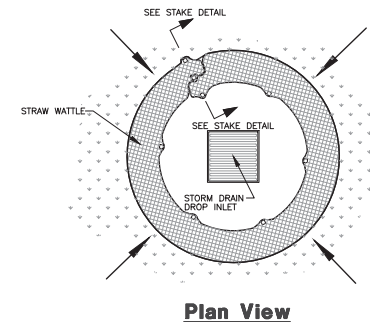
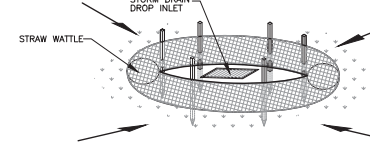
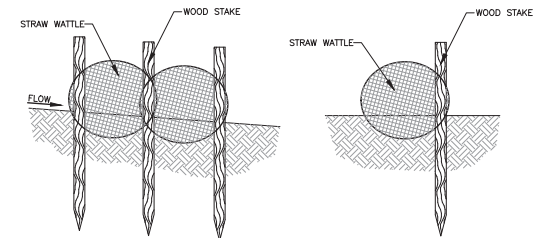
should generally be less than three (3) times the height of the fence.
*If a steel or plastic mesh is required to reinforce the geotextile, it shall have a minimum mesh opening of 15.2cm (6").
*Fasten the mesh to the upslope side of the posts using heavy duty wire staples, tie wires or hog strings. Extend the mesh into the bottom of the trench.
*The geotextile shall then be stapled or wired to the posts. An extra 20-50cm (8-20") of geotextile shall extend into the trench.

INSPECTION

*Inspect the silt fence daily during periods of rainfall, immediately after significant rainfall event and weekly during periods of no rainfall. Make any repairs immediately.
*When sediment deposits behind the silt fence are one-third of the fence height, remove and properly dispose of the silt accumulations. Avoid damage to the fabric during cleanout.

REMOVAL

*Silt fence should not be removed until construction ceases and the upslope area has been properly stabilized and/or revegetated.

Figure 1:
Top View of
Roll-to-Roll Connection**Inlet Box Protection****Plan View****Drop Inlet Protection****Stake Detail**

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: 801.424.8802 FAX: 801.424.8803
WWW.REEVE-ASSOCIATES.COM



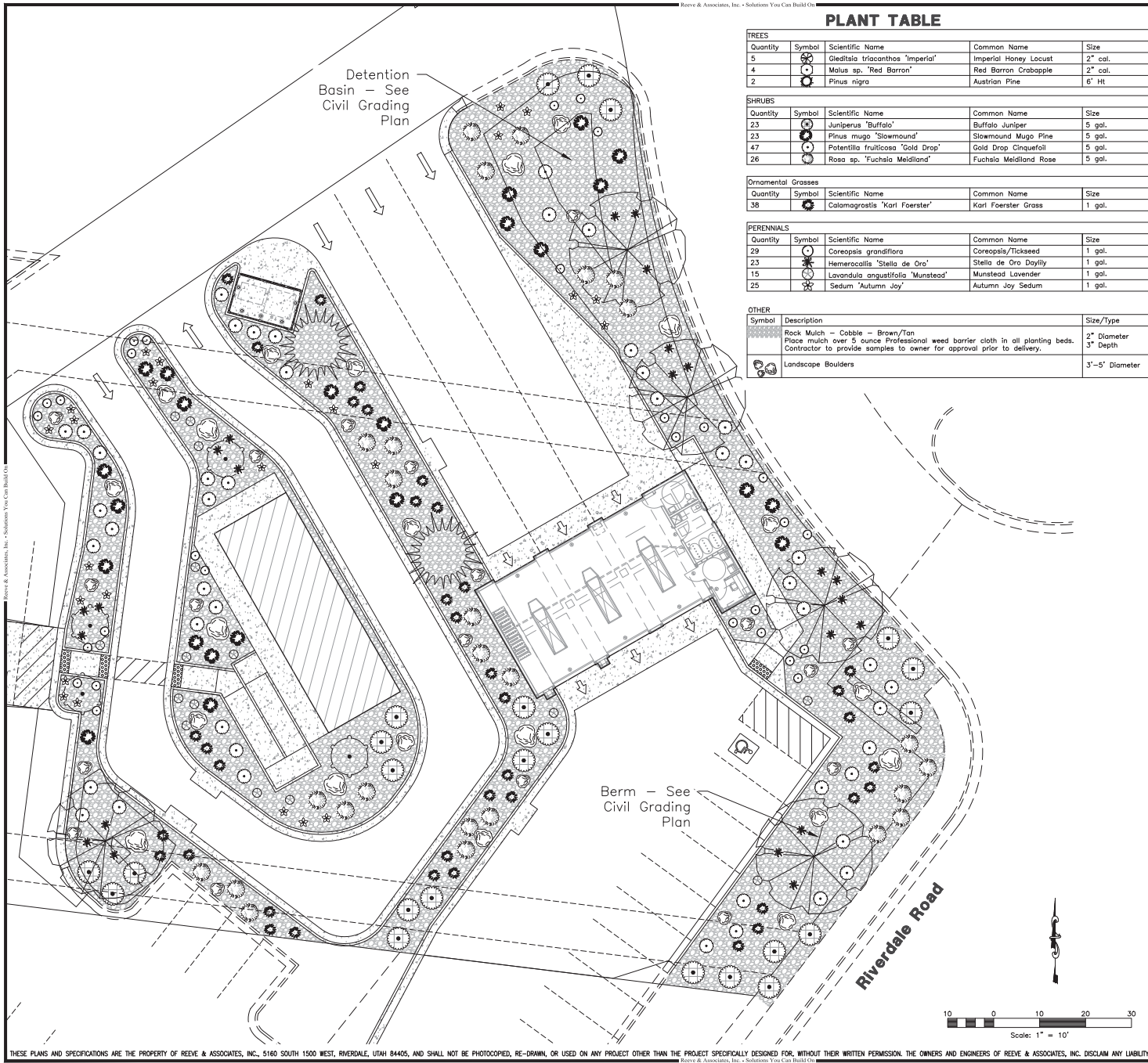
REVISIONS	DESCRIPTION
DATE	

Take 5
4021 & 4023 Riverdale Road
RIVERDALE, WEISER COUNTY, UTAH
Storm Water Pollution Prevention Plan Details



Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafter: J. MEYERS
Begin Date: JUNE 2021
Name: TAKE 5 (4021)
FUTURE TENANT (4023)
RIVERDALE, ID
Number: 7477-08

8
11 Total Sheets



PLANT TABLE

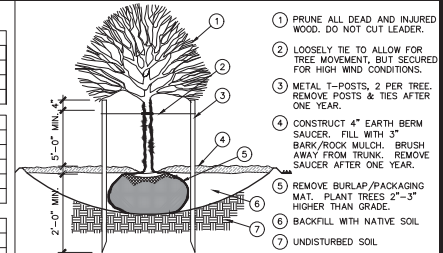
TREES				
Quantity	Symbol	Scientific Name	Common Name	Size
5		Gleditsia triacanthos 'Imperial'	Imperial Honey Locust	2" cal.
4		Malus sp. 'Red Barron'	Red Barron Crabapple	2" cal.
2		Pinus nigra	Austrian Pine	6" Ht

SHRUBS				
Quantity	Symbol	Scientific Name	Common Name	Size
23		Juniperus 'Buffalo'	Buffalo Juniper	5 gal.
23		Pinus mugo 'Slowmound'	Slowmound Mugo Pine	5 gal.
47		Potentilla fruticosa 'Gold Drop'	Gold Drop Cinquefoil	5 gal.
26		Rosa sp. 'Fuchsia Meldiland'	Fuchsia Meldiland Rose	5 gal.

Ornamental Grasses				
Quantity	Symbol	Scientific Name	Common Name	Size
38		Calamagrostis 'Karl Foerster'	Karl Foerster Grass	1 gal.

PERENNIALS				
Quantity	Symbol	Scientific Name	Common Name	Size
29		Coreopsis grandiflora	Coreopsis/Tickseed	1 gal.
23		Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	1 gal.
15		Lavandula angustifolia 'Munstead'	Munstead Lavender	1 gal.
25		Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gal.

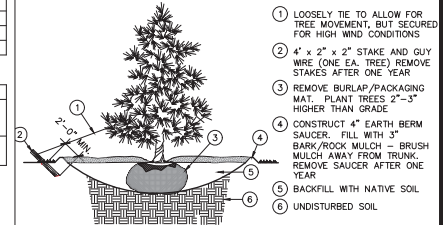
OTHER				
Symbol	Description			Size/Type
	Rock Mulch — Cobble — Brown/Tan Place mulch over 5 gauge Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.			2" Diameter 3" Depth
	Landscape Boulders			3'-5' Diameter



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL.

DECIDUOUS TREE PLANTING

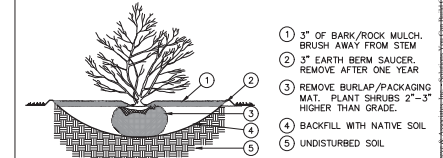
NTS



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL.

CONIFEROUS TREE PLANTING

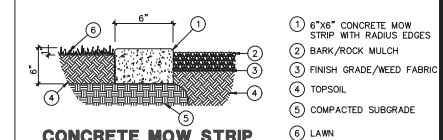
NTS



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL.

SHRUB PLANTING

NTS



CONCRETE MOW STRIP

NTS

PLANTING NOTES

- This planting plan is diagrammatic and plant locations are approximate.
- Field survey, stake, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done.
- Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owner's representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
- Finish grade of soil. In lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent edge.
- Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
- All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
- Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
- Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
- Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
- Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owner's representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
- Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch.
- Provide a 3" minimum diameter circle "tree ring" around trees that are placed within lawn areas. Place a 3" minimum depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds.
- The contractor shall maintain all work until work is complete and accepted by the Owner. The contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.
- Any CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
LAND SURVEY • CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE

TRA

REVISIONS

DATE	DESCRIPTION

Take 5
4021 & 4023 Riverdale Road
RIVERDALE, WEIR COUNTY, UTAH

Landscape Plan

LANDSCAPE ARCHITECT
NATELAIN C. PETERSON
STATE OF UTAH

Project Info.
Engineer:
NATHAN PETERSON
Drafted by:
N. PETERSON
Begin Date:
JUNE 2021
Name:
TAKE 5 (4021)
FUTURE TENANT (4023)
RIVERDALE RD
Number:
7477-06

9
11 Total Sheets



The diagram shows a rectangular label divided into three sections. The top section is a single box containing the text 'D1'. The bottom section is divided into two smaller boxes, the left one containing '1' and the right one containing '5'. Three arrows point from text labels to the label sections: 'DRIp VALVE NUMBER' points to the 'D1' box, 'GALLONS PER MINUTE' points to the '5' box, and 'VALVE SIZE' points to the '1' box.

DRIp VALVE NUMBER

GALLONS PER MINUTE

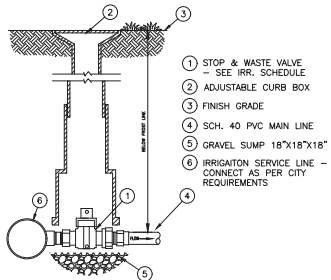
VALVE SIZE

[illegible]

Take 5
4021 & 4023 Riverdale Road
RIVERDALE, WEBER COUNTY, UTAH

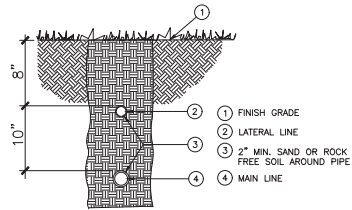


Engineer: NATHAN PETERSON
 Drafter: N. PETERSON
 Begin Date: JUNE 2021
 Name: TAKE 5 (4021)
FUTURE TENANT (402
RIVERDALE RD
 Number: 7477-06



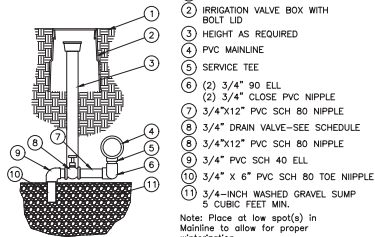
STOP & WASTE ASSEMBLY

N.T.S.



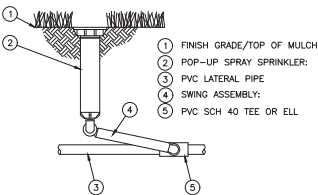
TRENCH SECTION

N.T.S.



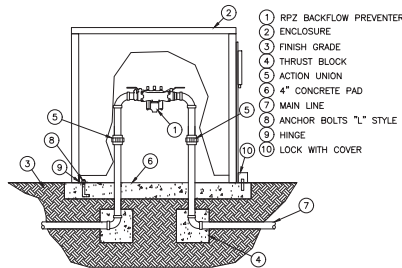
MANUAL DRAIN VALVE

N.T.S.



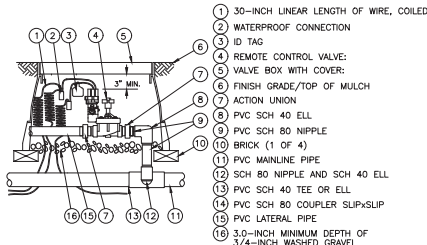
POP-UP SPRAY HEAD

N.T.S.



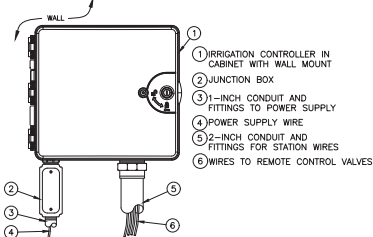
BACKFLOW PREVENTER

N.T.S.



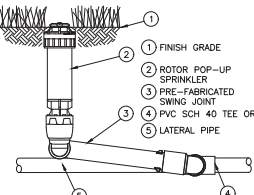
REMOTE CONTROL VALVE

N.T.S.



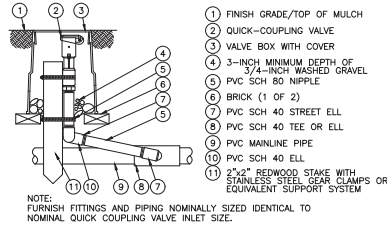
IRRIGATION CONTROLLER

N.T.S.



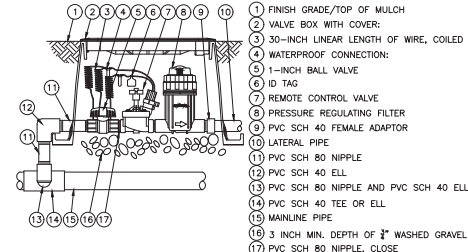
ROTOR POP-UP HEAD

N.T.S.



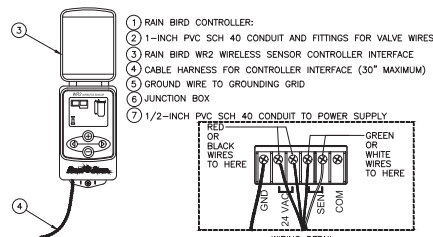
QUICK COUPLING VALVE

N.T.S.



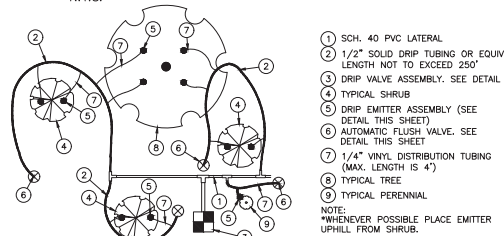
REMOTE CONTROL DRIP VALVE

N.T.S.



WIRELESS RAIN SENSOR

N.T.S.

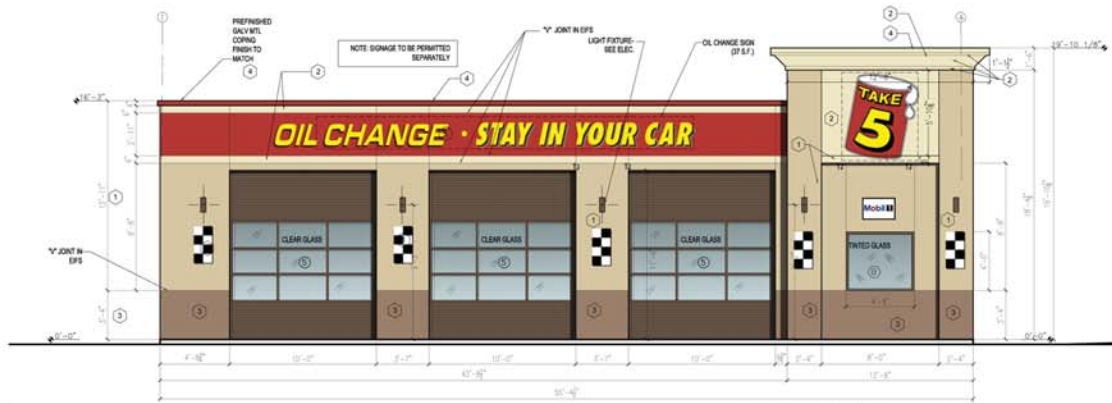


DRIP ZONE LAYOUT

N.T.S.

IRRIGATION NOTES

- This irrigation plan is diagrammatic and equipment locations are approximate. Equipment and piping may be shown outside landscape areas for graphic purposes only.
- Place sleeves where piping crosses under paved areas prior to being paved. Sleeves shall be twice the diameter of the largest irrigation line to be sleeved.
- The intention of the Contracting Officer's rep and consultant is to have constructed, under the construction contract, a complete project ready for use. The general contractor and his sub-contractors should view these documents accordingly. Any apparent question, incomplete area, areas of discrepancy or contradiction in these documents should be brought to the attention of the Contracting Officer's rep prior to bidding. By submitting a bid on this project, the bidder certifies that he has fully informed himself of the requirements of the construction drawings, as they relate to his work, and has read and understands the notes and specifications. Also, that any questions, incomplete areas, discrepancies or contradictions have been brought to the attention of the Contracting Officer's rep and that they have been resolved.
- Willful installation of this work when it is obvious there exists job/site conditions or discrepancies on the plans that are detrimental to the project and that should be brought to the attention of the Contracting Officer's rep will be back-charged to the installer. The installer assumes full responsibility to correct the work at his own expense if he fails to give the required notification for resolution.
- Existing landscape outside the limits of disturbance shall be protected and repaired, if damaged, at no additional cost to the owner.
- Refer to Irrigation schedule and details for more information.
- Hand trenching only shall occur within the drip line of existing trees. Machine trenching is strictly prohibited.
- Consult with General Contractor, in conjunction with the design team, before cutting through tree roots 2" or larger. Spray, rotor and rotary heads are intended to provide head to head coverage with minimal over-spray onto non-irrigated areas.
- Quantities provided are for convenience only. The contractor is required to verify quantities and adjust bid and construction accordingly. If major discrepancies exist, notify Contracting Officer's rep immediately.
- Water pressure shall be verified on site by landscape contractor.
- See Irrigation schedule for lateral line sizing, typical for all irrigated areas.



EXTERIOR FINISH SCHEDULE				
NO.	AREA	COATS	COLOR	FINISH
1	EIFS MAIN COLOR	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #7693, STONEBRIAR	FINISH TO MATCH STD "MEDIUM SAND" OR DRYKIT "SANDPAPER FINE"
2	EIFS ACCENT BAND AND FACE EIFS CORNICE	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #7678, COTTAGE CREAM	FINISH TO MATCH STD "FINE SAND" OR DRYKIT "SANDBLAST"
3	EIFS MAROON	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6097, STURDY BROWN	FINISH TO MATCH STD "MEDIUM SAND" OR DRYKIT "SANDPAPER"
4	COPING	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO BE KYNAR 500 PREFINISHED
5	EIFS SECONDARY COLOR	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO MATCH STD "MEDIUM SAND" OR DRYKIT "SANDPAPER FINE"
6				
7	BOLLARDS	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6871, POSITIVE RED	

SOUTH ELEVATION

EXTERIOR FINISH NOTES:

1. EIFS TO BE STD THERMO ID CLASSIC DRYKIT OUTSULATION PLUS WD OR APPROVED EQUAL.
2. EIFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF.
3. EIFS TO HAVE HIGH IMPACT MESH FROM 4'-0" AFF TO 8'-0" AFF.
4. EIFS TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" AFF.
5. METAL ROOF TO BE ATAS DUTCH SEAM OR BERRODIE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS.
6. METAL ROOF PANELS TO BE 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLUOROCARBON FINISH.
7. METAL COPING TO BE PREFINISHED, 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLUOROCARBON FINISH.



COLOR 1: EIFS FIELD:
SW 7693 STONEBRIAR



COLOR #2: EIFS ACCENTS AND COPING
SW 7678 COTTAGE CREAM



COLOR 3: EIFS BASE
SW 6097 STURDY BROWN



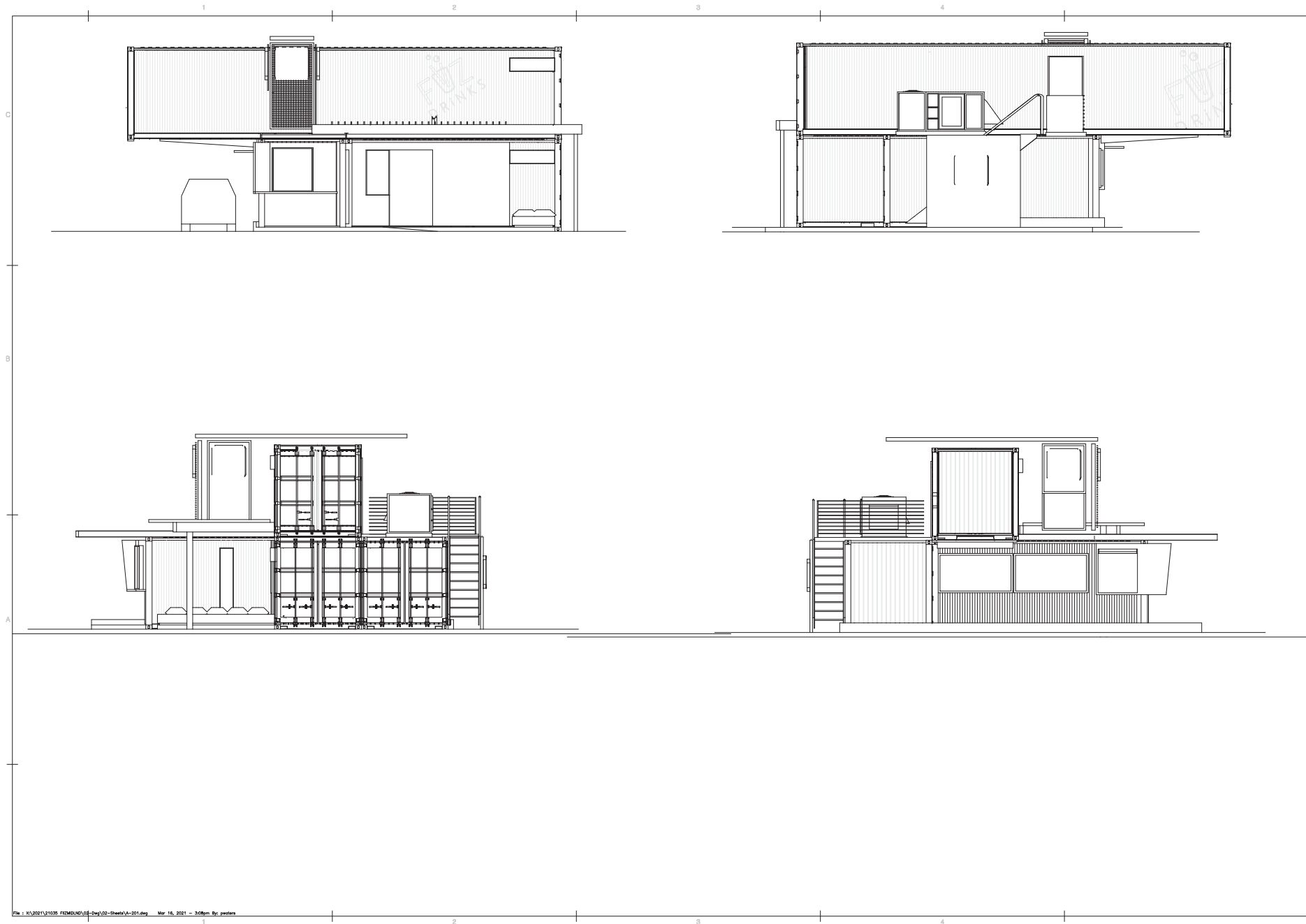
COLOR 4, 5, 7: EIFS, COPING, AND
BOLLARDS:
SW 6871 POSITIVE RED



COLOR 8: H.M. DOOR AND FRAME,
DOWNSPOUTS , OVERHEAD DOORS
SW 6076 TURKISH COFFEE

Take 5
4023 Riverdale Road
Riverdale, Utah





**RIVERDALE CITY
PLANNING COMMISSION AGENDA
October 12, 2021**

AGENDA ITEM: E2

SUBJECT: Consideration to forward a recommendation to the City Council for Final Site Plan approval of proposed Cheddar's Scratch Kitchen, property located approximately 4171 South Riverdale Road, Riverdale, Utah 84405; as requested by Riverdale Center North, LLC/Cheddar's and AWA Engineering Group.

PRESENTER: Mike Eggett, Community Development

INFORMATION:

- a. Exec Summ Cheddar's Final Site Plan – PC [20211012]
- b. Cheddar's Final Site Plan Review – 20211012
- c. Dept Staff Reports – Cheddar's Final Site Plan PC [20211012]
- d. City Eng Cheddar's Design review #2 – 6 October 2021
- e. Cheddar's Site Plan Update App – 20210722
- f. 03_Color Elevations
- g. 04_Sign Package [redacted]
- h. 02_Riverdale Center VI Amended Final Plat_09-14-21
- i. 03_Cheddar's Scratch Kitchen 2nd City Submittal_09-28-21[r]

[BACK TO AGENDA](#)



Planning Commission Executive Summary

For the Commission meeting on: 10-12-2021

Petitioner: *Riverdale Center North, LLC/Cheddar's*
represented by AWA Engineering, Jake Tate

Summary of Proposed Action

Riverdale Center North, LLC and Cheddar's Scratch Kitchen, as represented by Jake Tate with AWA Engineering, have submitted updated Final Site Plan documentation for a restaurant site with supporting services for real estate located at approximately 4173 South Riverdale Road (on the old Best Buy parking lot site). The affected parcels are zoned in the Retail/Commercial Park Overlay (RCP) zone and this location is subject to a previously established development agreement for this area. This site plan is being proposed for development on property that located in an old parking lot for Best Buy. The property is currently owned by Riverdale Center North, LLC. A public hearing is not required to consider this site plan proposal.

This matter came before the Planning Commission previously on August 10, 2021. During the meeting, the Planning Commission provided a favorable recommendation to City Council for the amended subdivision plat with the understanding that outstanding staff concerns be resolved. Following that action, the Planning Commission discussed the Preliminary Site Plan submittal and thereafter approved the Preliminary Site Plan for this project. This matter is now before the Planning Commission for Final Site Plan recommendation consideration.

Following the presentation and discussion, the Planning Commission may make a motion to recommend City Council approval of the proposed Cheddar's Scratch Kitchen Final Site Plan, approval of the proposed Final Site Plan with any requested modifications, tabling the matter to a later date, or to not recommend City Council approval for the proposed Final Site Plan with the appropriate findings of facts. If a recommendation to the City Council was provided, then this matter could move forward to City Council for Final Site Plan approval consideration of this project.

Title 10 Ordinance Guidelines (Code Reference)

This Final Site Plan review is regulated under City Code 10-25 "Development in All Zones" and is affected by City Codes 10-13B "Retail/Commercial Park Overlay Zone (RCP)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".

The proposed development parcels are located on property west of Riverdale Road on property currently owned by Riverdale Center North, LLC. The property is located in an RCP zoned area and the requested use of regional restaurant is a permitted use in this zone.

Attached with this executive summary is a document entitled "Final Site Plan Review - Cheddar's Scratch Kitchen"; this is a supplementary document addressing items on the Preliminary Site Plan application documents. Also attached, following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The Planning Commission

should discuss any concerns raised by these summaries.

Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission make a motion to recommend City Council approval of the proposed Cheddar's Scratch Kitchen Final Site Plan, approval of the proposed Final Site Plan with any requested modifications, tabling the matter to a later date, or to not recommend City Council approval for the proposed Final Site Plan with the appropriate findings of facts.

General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as "Planned Commercial - High" and this proposed project would comply with this land use.

Legal Comments - City Attorney

Steve Brooks, Attorney

Administrative Comments - City Administrator

Steve Brooks, Acting City
Administrator



Final Site Plan Review – Cheddar’s Scratch Kitchen, 4173 South Riverdale Road

Completed by Mike Eggett, Community Dev. Director on 8/4/2021 and 10/7/2021

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this proposed final site plan review. Items of consideration or note (if any) have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to approve the final site plan or not approve the proposed Cheddar’s final site plan with any additional comments, requirements or concerns to be addressed by the developer.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	July 22, 2021 and updated on Sept. 28, 2021
Date Application Submitted to City:	July 22, 2021
Date Fee Paid:	July 22, 2021 (see receipt for detail)
Site Plan – Preliminary Requirements	Departmental Review Comments
COVER SHEET	Provided
Title Block	
Project name and address	Project name and address location shown; other lot addressing shown as well; addressing with subdivision lot do not link up – is Cheddar’s going to have address of 4173 or 4171? In either case the address needs to be the same on site plan and amended subdivision plat for this project area, this still has not been corrected since last time
Property Owner’s name, address, and phone number	Riverdale Center North, LLC., 5760 Wilshire Blvd, Suite 1250, Los Angeles, CA 90036 Contact: Steve Usdan, 323-965-1510
Property Developer’s name, address, and phone number	Shown on cover page and application: Riverdale Center North, LLC., 5760 Wilshire Blvd, Suite 1250, Los Angeles, CA 90036 Contact: Steve Usdan, 323-965-1510
Approving agency’s name and address: Utility companies if applicable	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; other utility agencies name and contact info not provided, where applicable

Consulting Engineer's name, address, and phone number	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529
Licensed Land Surveyor's name, address, phone number, signature, and seal	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529; seal and signature provided
Date	Yes – 21 Sept, 2021
Revision block with date and initials	Revision blocks shown and no notes yet
Sheet number and total sheets	Shown (18 total sheets), elevations and signage plans submitted as well
<u>General</u>	
Street names	Shown – Riverdale Road, 300 West
Layouts of lots with lot numbers	Yes, shown
Adjacent tract ownership and tax identification numbers	Tract ownership names and tax ID shown
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown, 1"=40' and 1" = 30' respectively
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements identified, existing structures currently on site shown, existing utility lines shown on sheet C3.1 and other sheets; CCR's provided to show approvals to cross, use, relocate
Space for notes	Yes, provided
Contours	Yes, shown on multiple sheets
Public areas	Existing and planned sidewalks and curb/gutter shown on multiple sheets, newly dedicated public areas shown as well
<u>Vicinity Map</u>	
Street names	Yes
Site location	Yes
North arrow	Yes
Scale	Note of "Not to Scale"
<i>PLAT SHEET</i>	Provided
<u>Title Block</u>	

Project name and address	Project name and address location shown; other lot addressing shown as well; addressing with subdivision lot do not link up – is Cheddar’s going to have address of 4173 or 4171? In either case the address needs to be the same on site plan and amended subdivision plat for this project area, this still has not been corrected since last time
Approving Agency’s name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer’s name, address, and phone number	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529
Consulting Engineer’s stamp, signature, and license expiration date	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529; engineer’s stamp and signature provided
Date	Yes – 21 Sept, 2021
Names of approving agents with titles, stamps, signatures, and license expiration dates	No names of approving agents, titles, stamps, signatures shown, may not be applicable
Names of approving departments (Attorney, Planning Commission, Mayor, Engineer)	Shown on plat
<u>Layout</u>	
Landscaping (location and type with area calculations)	Yes, provided on sheet L1.1-L2.2, area calculations shown on L1.1
Location of exterior lighting devices, signs, and outdoor advertising	Yes, location of existing lighting and signs shown in packet; location of proposed onsite lighting devices shown; proposed signage locations shown; architectural elevations provided; planned building lighting provided
Location of underground tanks, dumpsters, etc	No tanks present on site; dumpster and dumpster enclosure location shown in packet
<u>Additional Information</u>	
Benchmark	Shown on cover sheet
Basis of bearings	Shown on cover sheet
Legend	Shown on cover sheet
<i>PLAN AND PROFILE SHEETS</i>	Site plan and profile sheets provided
<u>Title Block</u>	

Project name and address	Project name and address location shown; other lot addressing shown as well; addressing with subdivision lot do not link up – is Cheddar’s going to have address of 4173 or 4171? In either case the address needs to be the same on site plan and amended subdivision plat for this project area, this still has not been corrected since last time
Approving Agency’s name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer’s name, address, and phone number	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529
Date	Yes – 21 Sept, 2021
Scale	Yes, scale is showing
Revision block with date and initials	Revision blocks shown and no notes yet
Sheet number and total sheets	Shown (18 total sheets), elevations and signage plans submitted as well
<u>General</u>	
North arrow	Yes
Street names	Shown – Riverdale Road, 300 West
Lot numbers	Yes, shown
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet C0.1
<u>Signage</u>	Building signage concepts shown on arch drawings and on plan sheets; may inquire more regarding future signage intent if desired
Height	40 feet tall at tallest point
Size	Pole sign is 297.39 sf; building signs are 155.60 sf as shown on plans
Locations	Building signage concepts shown on arch drawings and on plan sheets; on site sign locations shown
Colors	Building signage concepts shown on arch drawings; pole signage provided in sign packet
Lighting	Halo illuminated letters signage and internal lit signage in most cases
<u>New and Existing Buildings</u>	
Height and Size	New building - Height = approximately 23 feet at highest point; Building size = 7,895 sf

Location, setbacks, and all dimensions	Building setbacks not provided; approximates: front (south) setback – minimum unknown at nearest point; rear (north) setback – minimum unknown at nearest point; west side setback – unknown at nearest point; east side setback – minimum unknown at nearest point, <u>this still has not been corrected since last time</u>
Type of construction	Materials for structure, texture, color appearance provided on architectural drawings; <u>DRC will need to approve the building colorations and material, signage concepts, and landscape plan; DRC planned for 10/11</u>
Type of occupancy and proposed uses	Regional restaurant
Show handicapped access	ADA accessible ramp and access areas shown and handicapped parking stalls shown
<u>New and Existing Landscaping & Percentage</u>	Landscaping identified on sheet L1.1; Percentage of landscaping provided for site is exactly 20%, therefore landscaping plan meets minimum requirement of 20% or more landscaping coverage per City Code 10-14-12(B.)(2.)
Number of trees	28 trees, 462 shrubs, 28 ornamental grasses, 41 perennials
Landscape plan showing all planting, hardscaping, berming, and watering	Planting, hardscaping shown; new site development requires gentle berming locations, as required in 10-14-12 (B.)(2.), which is shown and identified in landscaping plan, irrigation plan provided
Xeriscaping alternatives being considered	Yes, xeriscaping seems to be applied in the rock mulch and ground cover areas of landscape plan; for more, inquire of the developer
<u>New and Existing Walls and Fences</u>	
Location, design, and height	No existing fences on site; no new fences appear to be planned for site
Materials proposed for construction	No new fences planned for site
<u>New and Existing Parking</u>	
Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	170 dedicated stalls are provided and shown; handicapped parking space provided and shown; size meets city requirements
Location of employees' parking, customer parking, and handicapped parking	Established as shown in drawings; employee parking and customer parking appear shared
Internal circulation pattern	<u>Internal circulation no identified but can be inferred by site plan documents</u>
<u>New and Existing Ingress and Egress</u>	

Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown
Circulation pattern	Internal circulation no identified but can be inferred by site plan documents; inquire more if desired
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	Shown, dedicated right-of-way identified
Face of curb lines	Yes, this is shown
Centerline slope	Shown on drawings and established per previous and other project road development
Signing and striping	Public signing installation should be coordinated with public works dept and paid for by applicant, where applicable; roadway striping should be coordinated with public works, where applicable
Light poles	Yes, location of existing light poles and power equipment shown; location of onsite proposed light poles and equipment shown in packet
Street lights	Yes, location of existing street light poles and power equipment shown; no newly proposed street light poles or devices appear to be planned
Street name signs	Location of street name signs on site not applicable to this location
Stop signs	Location of stop signs on site shown
UDOT approval (if required for project)	This project does not require UDOT approval
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown and details on sheet C4.1
Planting Strip	Yes, planting strips are shown along Riverdale Rd and internal private drive
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown on C2.1, in detail on sheet C4.1 and C4.5
Slope of gutter	Shown on C2.1, in detail on sheet C4.1 and C4.5
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	Shown on C2.1, in detail on sheet C4.1, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on C3.1, in detail on sheets C4.1-4.3, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets in packet

Ditches, location and ownership	No waterways or ditches located on this site or planned for this project
Approval to pipe, reroute or use	Other than future City approval, <u>unknown if other approval required, defer to City Engineer</u>
Calculations for retention system	Shown on C3.1; <u>defer to City Engineer</u>
Method of storm water clean-up	Shown on sheet C3.1; erosion control plan provided as well on sheets C5.1-C5.3
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	Shown on C.3.1, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on C3.1, detail provided on sheets C4.1-4.3, <u>defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on C3.1, detail provided on sheets C4.1-4.3, <u>defer to City Engineer</u>
Location, size, and type of water meters, valves, and fire hydrants	Shown on C3.1, water meter location and size shown, type identified per public works; Location of existing valves shown; Location of new valves shown; existing fire hydrants on site shown; no new hydrants planned for this site plan
<u>New and Existing Gas Lines</u>	
Size and type	Existing gas lines shown, note on C3.1; <u>size and type not shown; new lines not shown, where applicable</u>
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Existing power lines locations shown, <u>new power lines not shown, size and type not identified-note on C3.1</u>
Location of power poles	Existing power poles and overhead lines location; new power poles location not planned
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	Existing location of telephone lines shown, <u>new telephone utility lines not shown-note on C3.1</u> , poles and associated manholes shown on C3.1 where applicable
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	Cable TV lines shown, note on C3.1, where applicable
<i>DETAILED DRAWINGS</i>	

Cross section of roadway (minimum 8" road base and 3" asphalt)	Refer to sheets C4.1 for roadway cross section connection to curb, gutter, and sidewalk areas
Cross section of curb and gutter (standard 30" high back)	Shown on sheets C4.1, <u>defer to City Engineer</u>
Gutter inlet box with bicycle safe grate	Detail drawing provided on sheet C4.2-4.3, locations identified on multiple sheets; gutter inlet boxes identified as having bicycle safe grates in notes; <u>defer to City Engineer</u>
Cleanout box	Detail shown on sheets C4.2, location identified on multiple sheets; <u>defer to City Engineer</u>
Thrust blocking	Locations and detail not shown, if applicable; <u>defer to City Engineer</u>
Special energy dissipating or drop manholes	None showing and may not be applicable; <u>defer to City Engineer</u>
<i>ADDITIONAL INFORMATION</i>	
Soils report	Geotechnical report has been provided as completed by Terracon Consultants, Inc on June 17, 2021 for this site
Drainage and runoff calculations	Shown on C3.1; <u>defer to City Engineer</u>
Water right transfer documentation	<u>Applicant needs to work with Public Works Department to provide adequate water rights for this site per 8-6-3 of City Code</u>
Copy of protective covenants, codes, and regulations for development	Applicable CC&R's for this larger commercial project area have been provided
Three (3) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Provided with packet, along with full sign package
Corp of Engineers approval (if required)	Noted as FEMA flood zone determination outside of the 0.2% annual floodplain; no approval req.
Zoning compliance	Yes, Retail/Commercial Park Overlay (RCP) Zone meets intended uses for site design; project is in compliance with applicable development agreement as well
RDA compliance (if applicable)	No applicable RDA regulations for this project area
Use compliance	Yes, this use complies with the and zoning for this RCP zoned area; project is in compliance with applicable development agreement as well
Engineering comments and letter of approval recommendation	Engineering comments, along with Public Works, Police Department, Fire Department provided
Traffic study	Not currently required, unless deemed otherwise appropriate by City or UDOT

All Planning Commission and City Staff conditions for approval have been met	<u>Currently Final Site Plan recommendation for approval consideration being reviewed by Planning Commission</u>
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DEPARTMENTAL STAFF REPORTS – 7/29/2021 to 10/6/2021

From: Shawn Douglas
Sent: Wed 10/6/2021 9:26 AM
To: Mike Eggett
Subject: Review

Mike,

I have attached my review comments for Cheddar's. I would be fine with them moving forward and resolving the remaining issues prior to the building permit being issued. Thanks

Plan Review For Cheddar's

Storm Water

- 1-Storm water prevention plan for construction site including BMP's. All storm water inspections will need to be completed on Compliance Go. With the Dutch Bros now open the proposed plan doesn't work. Further discussion will be required.
- 2-Notice of intent filed with state.
- 3-Injection well permit.

Water

- 1-Provide what water shares will be used to meet water requirements.

Sewer

- 1-Proposed sewer flows daily and peak. Including peak demand time.

Shawn Douglas
Riverdale City Public Works
Sdouglas@Riverdalecity.com
801-394-5541 ext.1217

From: Scott Brenkman
Sent: Thu 7/29/2021 4:16 PM
To: Mike Eggett
Subject: RE: Review needed - Subdivision Amendment and Prelim Site Plan for Cheddar's

I have no concerns.

Scott

Chief Scott Brenkman
Riverdale Police Department
4580 S. Weber River Dr.
Riverdale, UT 84405
(801)394-6616
sbrenkman@riverdalecity.com

From: Jared Sholly
Sent: Wed 10/6/2021 3:12 PM
To: Mike Eggett
CC: Randy Koger
Subject: FW: Review needed - Subdivision Amendment and Prelim Site Plan for Cheddar's

So, looking at the drawing on the computer. I see the FDC is still located in the garbage/dumpster area in an enclosed space, which would not be visible or freely accessible to arriving fire personnel during an emergency. I also do not see the location of the riser room, which also requires proper access and visibility. I am assuming the riser is through the door that is also only accessible only through the enclosed dumpster area.

I hope this answers your questions.

Thanks,

*Jared Sholly
Fire Chief
Riverdale City Fire Department
Cell: 801-628-6562
Office: 801-394-7481*


From: Randy Koger
Sent: Tue 8/3/2021 12:53 PM
To: Mike Eggett
CC: Jared Sholly
Subject: RE: Review needed - Subdivision Amendment and Prelim Site Plan for Cheddar's

REVIEW COMMENTS:

The following review comments are based on information provided on the Preliminary Site Plan Proposal, and shall not extend to means, methods, techniques, sequences, or procedures of construction nor conformance to any specifications. Acceptance of the project is the prerogative of the Authority Having Jurisdiction.

The riser room is not identified on the plan.

The riser room access and FDC must be visible and accessible.
Contact Riverdale Fire to obtain approval of location.

A handwritten signature in black ink, reading "Randy S. Kager". The signature is written in a cursive, flowing style.

Fire Marshal/Code Enforcement Officer
Riverdale City
801-436-1241

Comments made during this review are advisory and do not prevent the necessity of conforming with requirements which might have been overlooked in the review process. Ultimate responsibility for compliance rests with the owner/developer.

6 October 2021

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Riverdale Center VI Subdivision Amended Plat & Cheddar's Scratch Kitchen Site**
Subj: Review #2

Dear Mike,

Attached for consideration is my engineering review of the above referenced project. The following items will need to be considered and addressed prior to receiving recommended approval from our office.

General Note:

Please request the Developer or his Engineer, submit a response letter with their re-submittal of drawings answering all Engineering review comments contained herein.

1. An **electronic copy** of the Plat drawing must be submitted to the Public Work Department for record keeping upon design completion and prior to approval of the final drawings from our office.

Plat - Riverdale Center VI Subdivision Amended

1. The Plat closes per the standards of Riverdale City.
2. Update the Plat drawings date (to the current Month & Year) at the time the "Mylar" is printed prior to approval signatures.

Improvement Drawings – Cheddar’s Scratch Kitchen

1. The various grade slopes of the new parking lot which is westerly of the proposed new building needs to be shown on the “Grading Plan”. There appears to be several areas which will be less than the 1.5% standards. These flatter slopes should be adjusted to avoid icy birdbaths, in the winter.
2. Show and label the “fire line” and call-out all materials and the pipe pressure class. The 200-psi class pipe shown on the drawings should be noted as DR – 18 or DR – 14.
3. Geotechnical Report will need to address the “percolation value” of the soils in the underground retention basin.
4. The calculations of the time it will take to drain the underground retention basin (percolate) into the ground for the 85th percentile storm (0.5” over the entire acreage) will need to be submitted for review.
5. The calculations of the volume for the 85th percentile storm will need to be checked. I believe the calculations have been incorrectly calculated.
6. The design for the site shows the collection of all storm water. How will the 100-year storm water event (collected storm water volume) be routed through the underground retention basin system and then be discharged into the existing 18”- diameter discharge pipe without causing site flooding?
 - Submit the storm water calculations (100-year event) for the entire site.
 - Show the overflow spillway (outlet-structure detail) from the underground retention structures and how it ties into the 18”- diameter discharge piping.
7. The design, the sizing calculations the proposed filtering manhole (Brand and model number) prior to the storm water discharges into the underground retention basin will need to be submitted for review.
8. The details on the 85th percentile storm water storage basin – (volumes, flowlines, structures, overflow elevation, orifice calculations, etc.) will need to be added to the drawings and submitted for review.
9. Document submittal (application documents) and approval with the State of Utah of injection of storm water into the ground at this site will need to be submitted and approved by the State of Utah.
10. The surface pavement depths (asphalt & roadbase) will need to be shown in the geotechnical report and placed in the drawings for construction.

We would be happy to meet with the Developer and/or his Engineer to review the above items should they have any questions.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.

A handwritten signature in black ink, appearing to read 'N. Scott Nelson', with a stylized flourish at the end.

N. Scott Nelson, PE.

City Engineer

Cc. Shawn Douglas, Public Works Director
Jeff Woody, Building Official



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405

RIVERDALE CITY PLANNING COMMISSION
APPLICATION FOR COMMERCIAL OR MANUFACTURING
SITE PLAN APPROVAL

CASE NO: 2021-08 DATE SUBMITTED: 7-22-2021

APPLICANT'S NAME: Anderson Wahlen & Associates - Jake Tate

ADDRESS: 2010 North Redwood Road, SLC, UT 84116

PHONE: 801-410-8505 TAX I.D. NO: 06-342-0001 & 06-342-0002

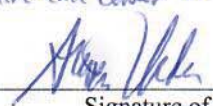
ADDRESS OF SITE: 4171 Riverdale Road & 4163 Riverdale Road

APPLICANT'S INTEREST: Owner's Authorized Agent

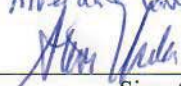
Application is hereby made to the Riverdale City Planning Commission requesting that the following permitted use,
be approved on 2.71 Acres of property in the RCP zone in
(sq. ft./acreage)

accordance with the attached site plan.


Signature of Applicant

Riverdale Center North, LLC

Signature of Property Owner

I authorize Anderson Wahlen & Associates - Jake Tate to act as my representative in all matters
relating to this application.

Riverdale Center North, LLC

Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$200 per acre or portion of

Fee: \$ 542.00 Date paid: 7-22-2021

Planning Commission set public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 8/10/2021; 10/12/2021 Decision of Commission: Prelim. Approved;

City Council set public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

City Council scheduled to hear this application for site plan approval on:

Date: _____ Decision of Council: _____



Riverdale City
4600 South Weber River Drive
Riverdale, UT 84405
(801) 394-5541

XBP Confirmation Number: 103343745

Transaction detail for payment to Riverdale City.		Date: 07/22/2021 - 4:27:52 PM MT	
		Transaction Number: 153063515PT Visa — XXXX-XXXX-XXXX-6181 Status: Successful	
Account #	Item	Quantity	Item Amount
10341500	Zoning ampamp Subdiv. Fee	1	\$542.00
Notes: SUB DIV. FEE			

TOTAL: \$542.00

Billing Information
EARL TATE
, 84405

Transaction taken by: cjacobsen



Front Elevation



Left Elevation



Rear Elevation



Right Elevation


Site:

Cheddar's Scratch Kitchen
Riverdale Shopping Center
4027 Riverdale Road
Riverdale, UT 84405

Date:

07.13.2021 R02

 j.mueller@firstandmainsigns.com

 234.458.0990

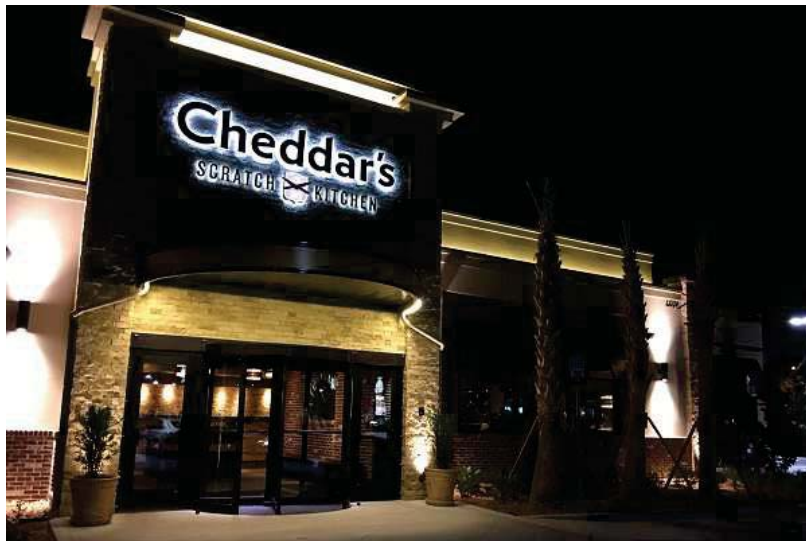
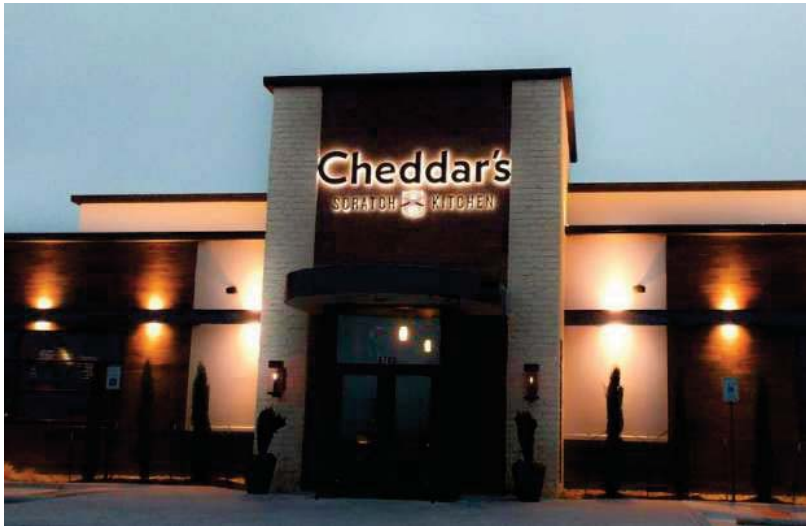
Prepared for:

Cheddar's

SCRATCH  KITCHEN



SIR Brand Book

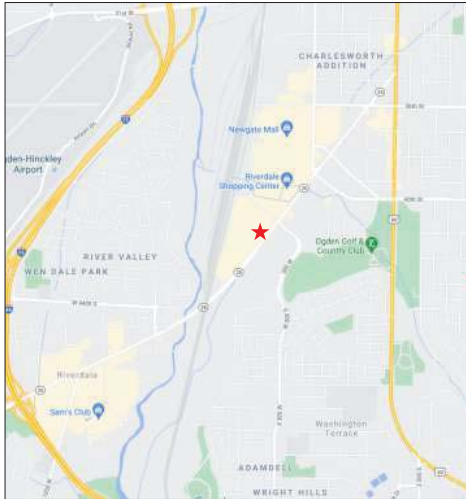


PROPOSED SIGNAGE SUMMARY:

- CODE HAS A PRETTY GENEROUS ALLOWANCE OF A 3:1 RATIO FOR SF FOR THE BUILDING. WALL SIGNS. SIGN TOTAL IS 154.76 SF.
- SIGNAGE IS ALSO ALLOWED ON EACH ELEVATION.
- USING CHEDDAR'S STANDARD SIZES, TENENAT IS AT AN APPROX. COMBINED 155 SF.
- PYLON SIGNS ARE ALLOWED AND CAN BE 40 OAH AND UP TO 300 SF MAX.
- PYLON SIGN REQUIRED TO MEET 10' SETBACK.

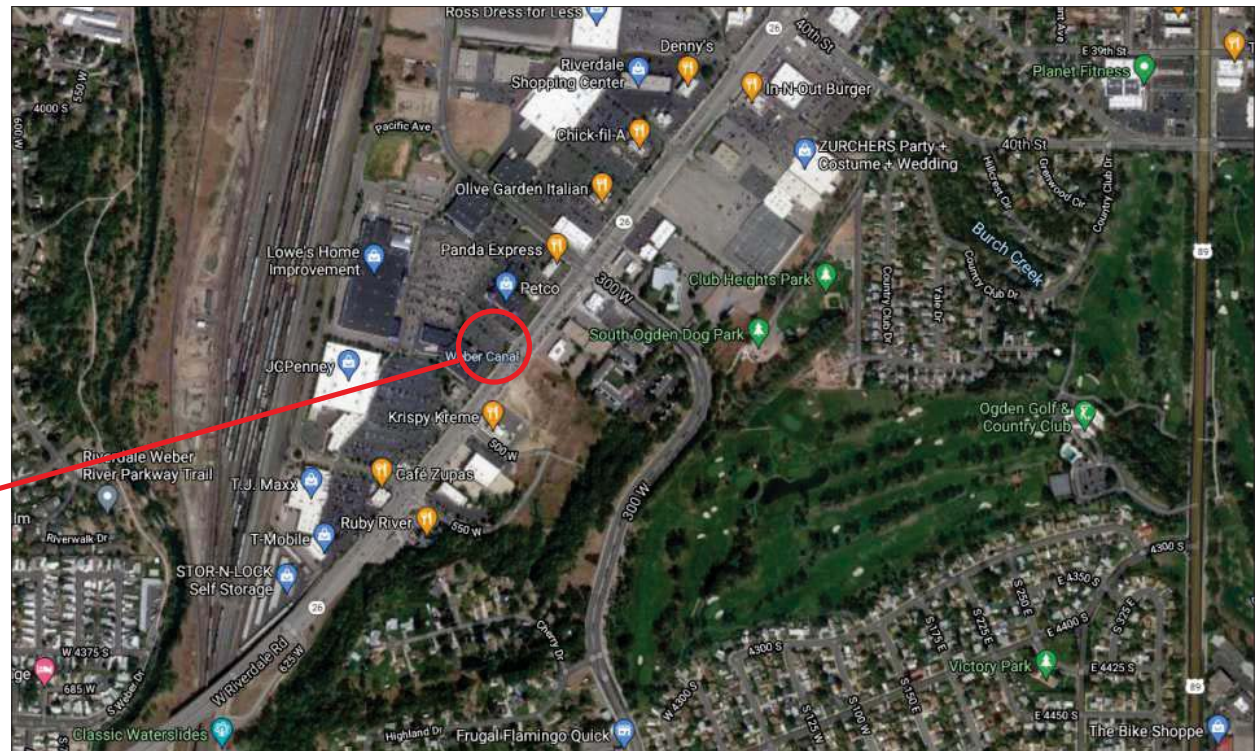
CRITICAL ISSUES

- PLACEMENT FOR THE PYLON TO BE VERIFIED IN RELATION TO BUILDING AND OVERHEAD POWER LINES BUT WILL OFFER SIGNIFICANT VISIBILITY AND AWARENESS.
- POSSIBLE PROXIMITY ISSUE WITH NEW PROPOSED PYLON LOCATION IN CONJUNCTION WITH FUTURE DUTCH BROS. PYLON.
- THERE ARE OTHER OBSTRUCTIONS LIKE TREES, LANDSCAPE, AND BUS STOP ALONG RIVERDALE RD. THAT WILL NEED TO BE ADJUSTED AND TAKEN INTO CONSIDERATION. WE RECOMMEND REMOVING OR ADJUSTING LANDSCAPING AT SOUTHEAST CORNER AS WELL AS TREES ALONG RIVERDALE RD.
- INITIAL SITE DESIGNS HAD VISIBILITY CONCERNS FOR CERTAIN WALL SIGNS BUT NEW ELEVATIONS HELP TO ALLEVIATE SOME OF THIS. NORTH ELEVATION SIGN MAY HAVE
- LIMITED VISIBILITY FOR INTERIOR OF SHOPPING CENTER DUE TO LOWER LOCATION. SIGN C, ON THE EAST ELEVATION SITS LOW UNDER THE ROOF LINE SO IT HAS LESS IMPACT THAN IF PLACED ON A TOWER BUT THE PYLON SIGN SHOULD MAKE UP FOR IT.
- ELEVATIONS WE RECEIVED SHOW "SCRATCH KITCHEN" COPY W/ ORANGE / COPPER FACES. THIS DOES NOT CREATE ENOUGH CONTRAST FROM THE WALL / STONE FINISHES BEHIND SO WE RECOMMEND USING THE BLACK AS SHOWN.

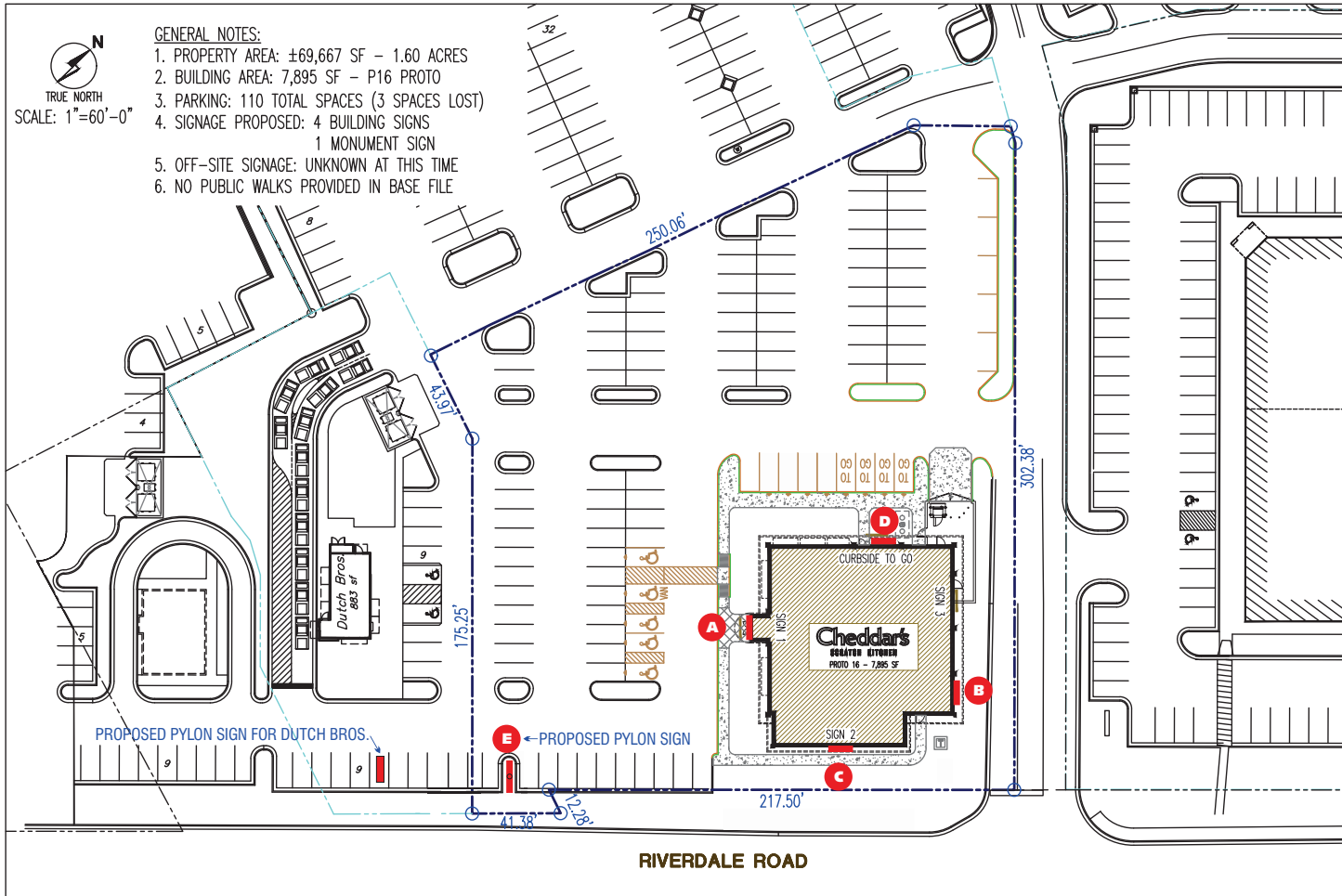


1 VICINITY MAP
SCALE: NTS

STORE LOCATION



2 AERIAL VIEW
SCALE: NTS



SQUARE FOOTAGE CHART

WEST ELEVATION

SIGN "A" = 47.90 Sq. Ft.

EAST ELEVATION

SIGN "B" = 35.90 Sq. Ft.

SOUTH ELEVATION

SIGN "C" = 35.90 Sq. Ft.

NORTH ELEVATION

SIGN "D" = 35.90 Sq. Ft.

TOTAL BUILDING SQUARE FOOTAGE

SIGNS "A" + "B" + "C" + "D" = 155.60 Sq. Ft.

PYLON SIGN

SIGNS "E" = 297.39 Sq. Ft.

TOTAL BUILDING SQUARE FOOTAGE PLUS PYLON SIGN

SIGNS "A" + "B" + "C" + "D" + "E" = 453 Sq. Ft.

TOTAL BUILDING SQUARE FOOTAGE ALLOWED 600 SQ. FT.

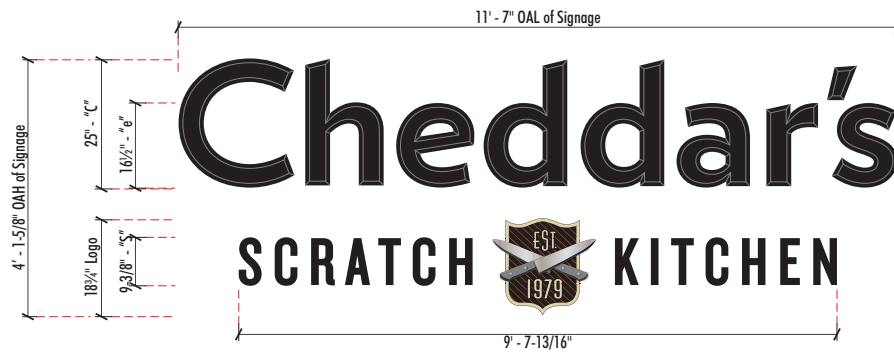
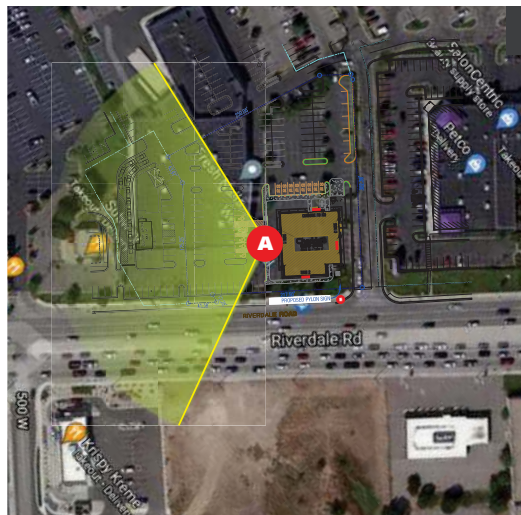
TOTAL PYLON SQUARE FOOTAGE ALLOWED 300 SQ. FT.



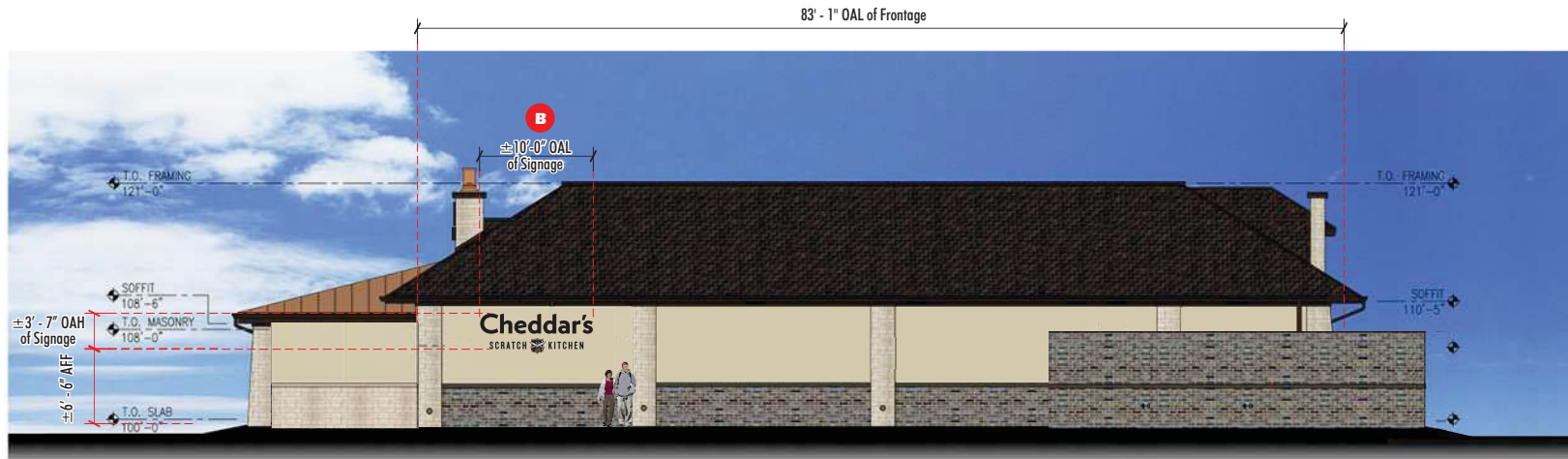


1 WEST ELEVATION (FRONT ELEVATION) SIGN SQUARE FOOTAGE FOR ELEVATION = 47.90 SQ. FT. (MAX ALLOWED @ 3 SF PER 1 FT. LINEAR, 248 SF)
SCALE: 3/32" = 1' - 0"

NOTE: Elevations for sign placement only. May not reflect final design of building

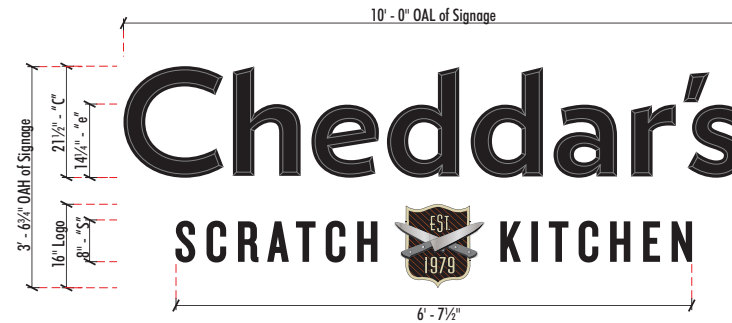
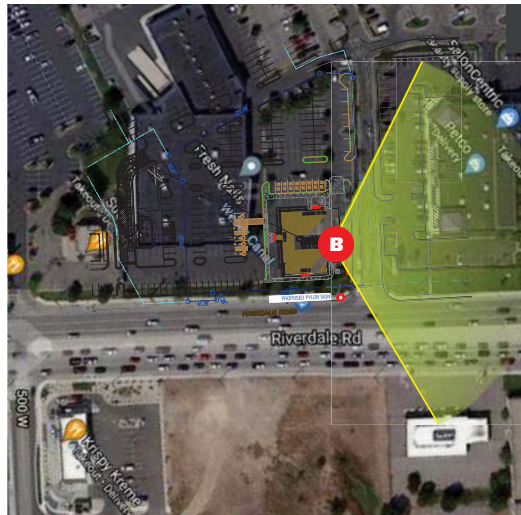


A 2 WEST ELEVATION (FRONT ELEVATION / FACES PARKING LOT) (SEE SIGN DETAILS PAGES 9-13)
SCALE: 3/32" = 1' - 0"



1 EAST ELEVATION (FACES ENTRANCE INTO SHOPPING CENTER) SIGN SQUARE FOOTAGE FOR ELEVATION = 35.90 SQ. FT. (MAX ALLOWED @ 3 SF PER 1 FT. LINEAR, 248 SF)
SCALE: 3/32" = 1' - 0"

NOTE: Elevations for sign placement only. May not reflect final design of building

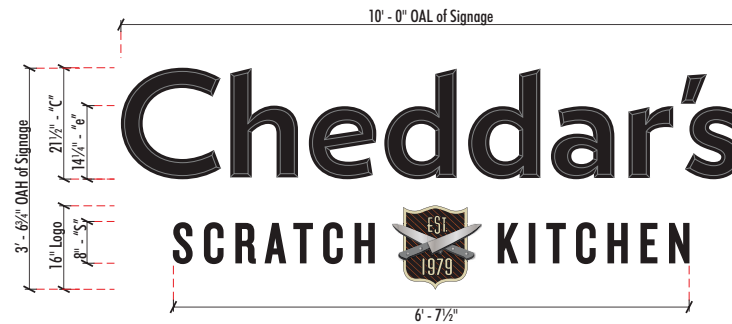
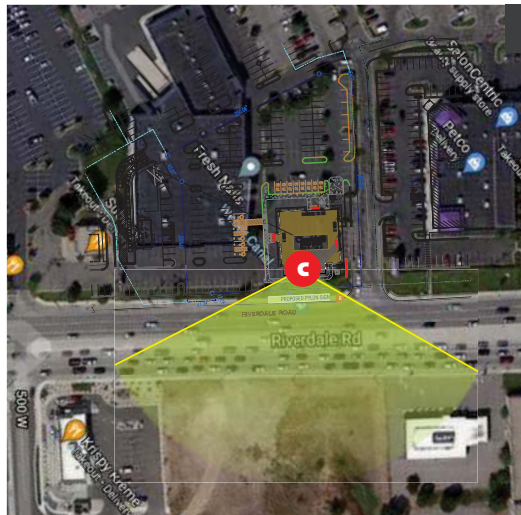


B 2 EAST ELEVATION (ENTRANCE TO SHOPPING CENTER) (SEE SIGN DETAILS PAGES 9-13)
SCALE: 3/32" = 1' - 0"



2 SOUTH ELEVATION (FACES RIVERDALE ROAD) SIGN SQUARE FOOTAGE FOR ELEVATION = 35.90 SQ. FT. (MAX ALLOWED @ 3 SF PER 1 FT. LINEAR, 248 SF)
SCALE: 3/32" = 1' - 0"

NOTE: Elevations for sign placement only. May not reflect final design of building

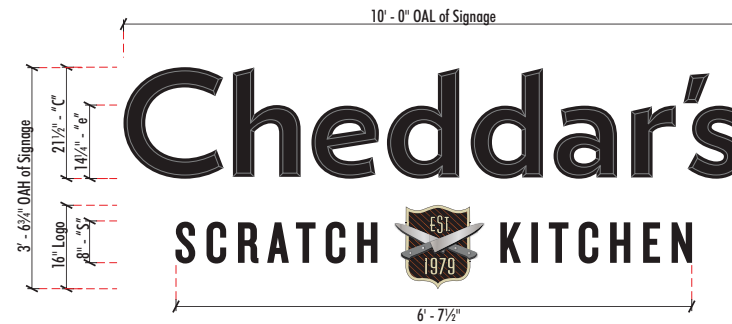
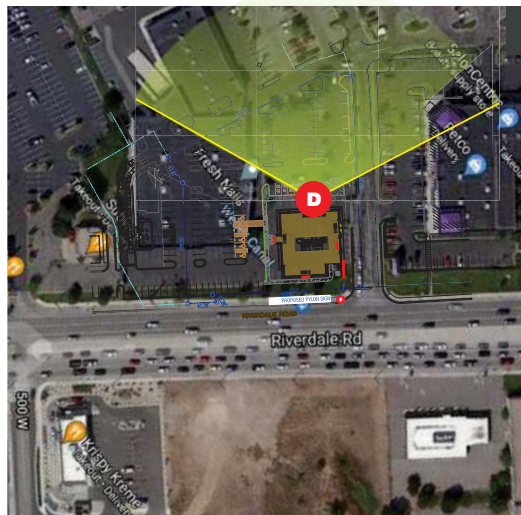


C 2 SOUTH ELEVATION (FACES RIVERDALE RD.) (SEE SIGN DETAILS PAGES 9-13)
SCALE: 3/32" = 1' - 0"

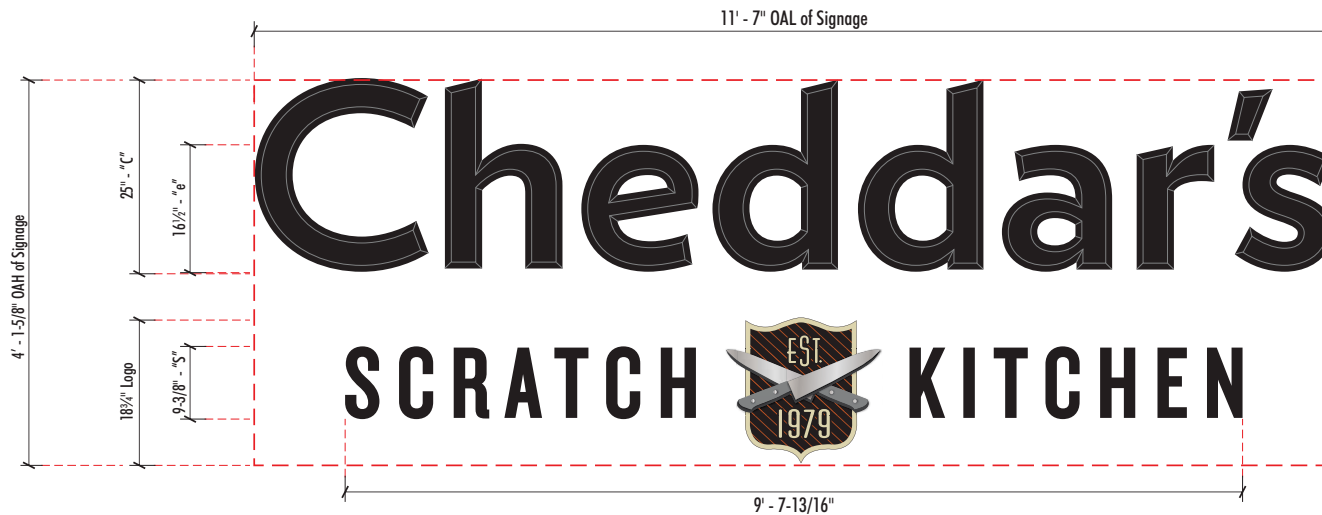


2 NORTH ELEVATION (SHOPPING CENTER) SIGN SQUARE FOOTAGE FOR ELEVATION = 35.90 SQ. FT. (MAX ALLOWED @ 3 SF PER 1 FT. LINEAR, 248 SF)
SCALE: 3/32" = 1' - 0"

NOTE: Elevations for sign placement only. May not reflect final design of building



D 2 NORTH ELEVATION (FACES SHOPPING CENTER) (SEE SIGN DETAILS PAGES 9-13)
SCALE: 3/32" = 1' - 0"



HALO ILLUMINATED CHANNEL LETTERS w/DUAL-LIT CHANNEL LOGO w/FCO KNIVES

SCALE: 3/4" = 1' - 0"

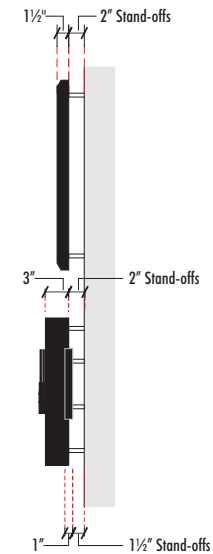
QTY: ONE (1) SET

SIGN AREA = 47.90 Sq. Ft. (Ea. Set)

SPECIFICATIONS

- "CHEDDAR'S" - 1 1/2" deep, formed polycarbonate letters with beveled faces (as shown).
Face and Returns painted black (satin finish)
Backs - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
Halo illuminate with 7100k white LED's, with remote LED (12v) power supplies
Letters stand-off fascia 2" with 1/2" Ø aluminum spacers. Spacers painted white.
- "SCRATCH KITCHEN" - Fabricated 1" deep aluminum reverse channel letters
Face and returns painted black (satin finish)
Backs - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
Halo illuminated with 7100k white LED's, with remote LED (12v) power supply
Letter stand-off fascia 1 1/2" with 1/2" Ø aluminum spacers. Spacers painted white.
- "LOGO SHIELD" - Fabricated 3" deep aluminum dual-lit channel logo
Returns painted black (satin finish)
Trimcap - 1" black Jewelite
Face - White (2447) acrylic face with 1st surface UV digitally printed graphics
Back - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
Face and halo illuminated with 7100 white LED's with remote LED (12v) power supply
Logo stand-off fascia 2" with 1/2"
- FCO KNIVES - HANDLES - 1/8" thick clear acrylic handles painted matte black. Handles mount to both sides of steel blade
BLADE - 1/8" thick brushed aluminum blades with ground beveled edge
Knives crisscross over each other on front of "logo shield". Mount thru knife handles to logo shield leaving exposed aluminum screw head (2 each)

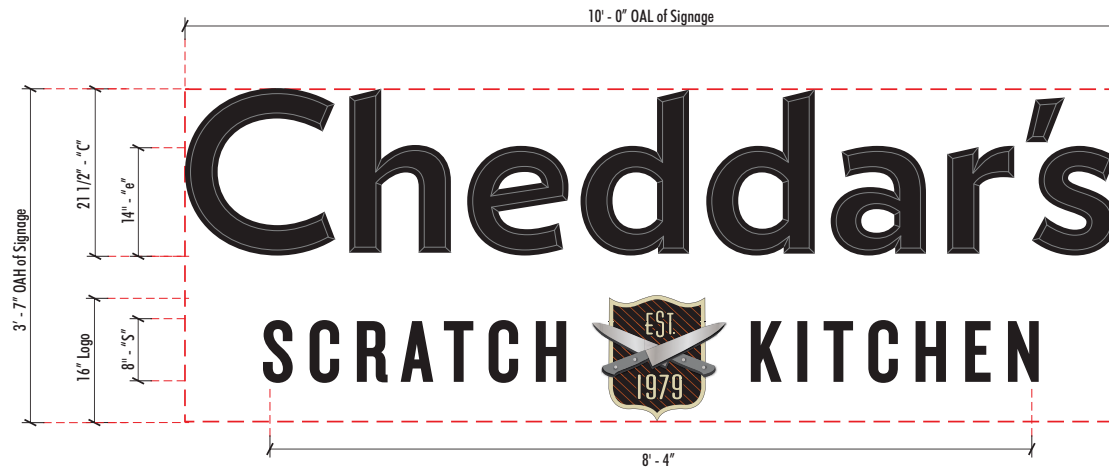
NOTE: INTERIORS OF LETTERS AND LOGO TO BE PAINTED WITH LIGHT ENHANCING PAINT
G.C. TO PROVIDE ALL BLOCKING FOR SIGNAGE



END VIEW



NIGHT TIME VIEW



HALO ILLUMINATED CHANNEL LETTERS w/DUAL-LIT CHANNEL LOGO w/FCO KNIVES

SCALE: 3/4" = 1' - 0"

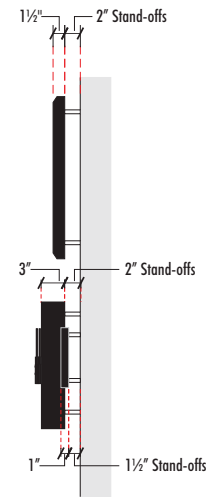
QTY: FOUR (4) SETS

SIGN AREA = 35.90 Sq. Ft. (Ea. Set)

SPECIFICATIONS

- "CHEDDAR'S" - 1 1/2" deep, formed polycarbonate letters with beveled faces (as shown).
Face and Returns painted black (satin finish)
Backs - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
Halo illuminate with 7100k white LED's, with remote LED (12v) power supplies
Letters stand-off fascia 2" with 1/2" Ø aluminum spacers. Spacers painted white.
- "SCRATCH KITCHEN" - Fabricated 1" deep aluminum reverse channel letters
Face and returns painted black (satin finish)
Backs - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
Halo illuminated with 7100k white LED's, with remote LED (12v) power supply
Letter stand-off fascia 1 1/2" with 1/2" Ø aluminum spacers. Spacers painted white.
- "LOGO SHIELD" - Fabricated 3" deep aluminum dual-lit channel logo
Returns painted black (satin finish)
Trimcap - 1" black Jewelite
Face - White (2447) acrylic face with 1st surface UV digitally printed graphics
Back - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
Face and halo illuminated with 7100 white LED's with remote LED (12v) power supply
Logo stand-off fascia 2" with 1/2"
- FCO KNIVES - HANDLES - 1/8" thick clear acrylic handles painted matte black. Handles mount to both sides of steel blade
BLADE - 1/8" thick brushed aluminum blades with ground beveled edge
Knives crisscross over each other on front of "logo shield". Mount thru knife handles to logo shield leaving exposed aluminum screw head (2 each)

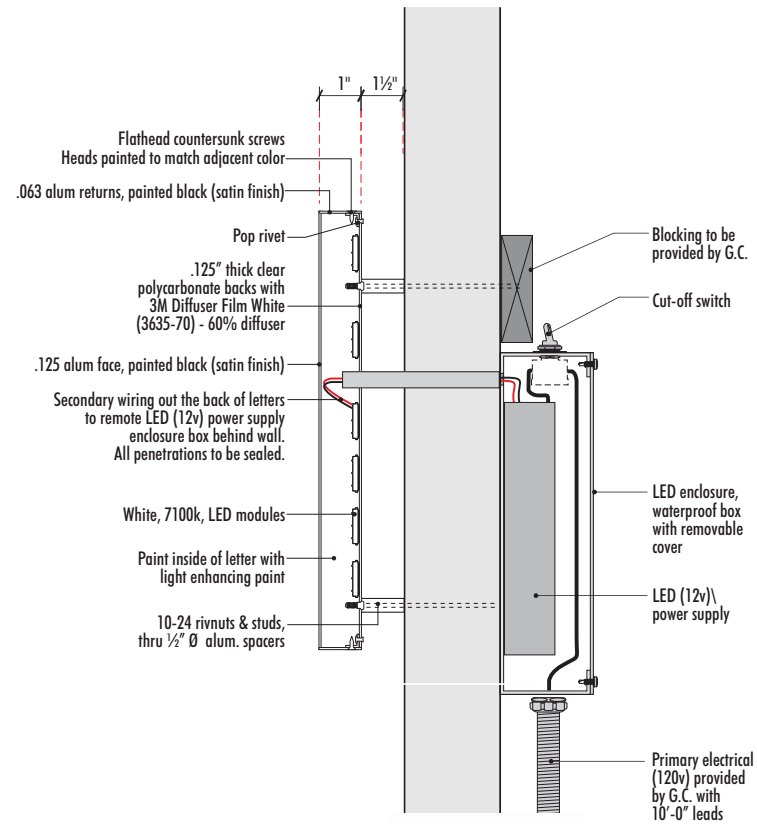
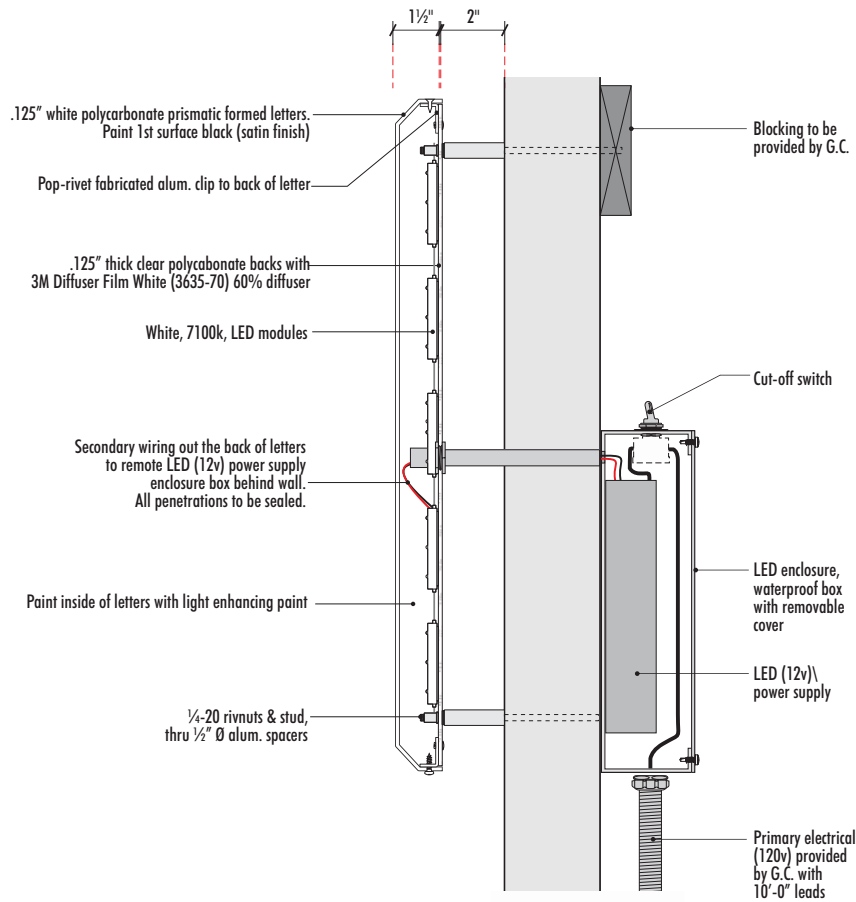
NOTE: INTERIORS OF LETTERS AND LOGO TO BE PAINTED WITH LIGHT ENHANCING PAINT
G.C. TO PROVIDE ALL BLOCKING FOR SIGNAGE



END VIEW



NIGHTTIME VIEW



ELECTRICAL ILLUMINATION REQUIREMENTS

**1 Dedicated 20 Amp Circuit at 120 Volts
(FOR EACH SIGN)**

NOTE: All primary electrical to sign location to be provided by others. A dedicated circuit with NO shared neutrals and a ground returning to the panel is required for installation.

This sign is intended to be installed in accordance with Article 600 or the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

All power supplies to be Ground-Fault Interrupted (GFI)

Signage to have a dedicated branch circuit, three (3) wires (Line, Neutral and Ground)

Wire sizes to be a minimum of 12 Ga. THHN copper wire. Gauge of wire is determined by the length of run and amperage as per NED Article 300

Voltage should read no more than 3 volts between ground and neutral
Conduit can not be used as ground path

Power to sign to be done by a electrical contractor or licensed electrician

Ground wire must be continuous and go from sign to panel board ground bus.

ALL COMPONENTS TO BE APPROVED

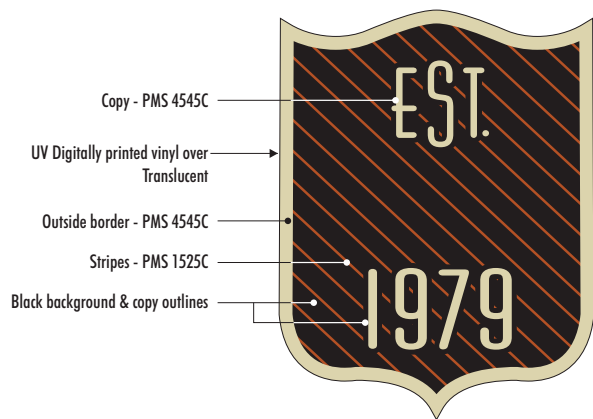
U.L. LABELS REQUIRED
INSTALL IN ACCORDANCE W/
NATIONAL ELECTRIC CODES

A B C D 1 SECTION DETAIL - FORMED-HALO ILLUM REVERSE CHANNEL LETTERS
SCALE: NTS

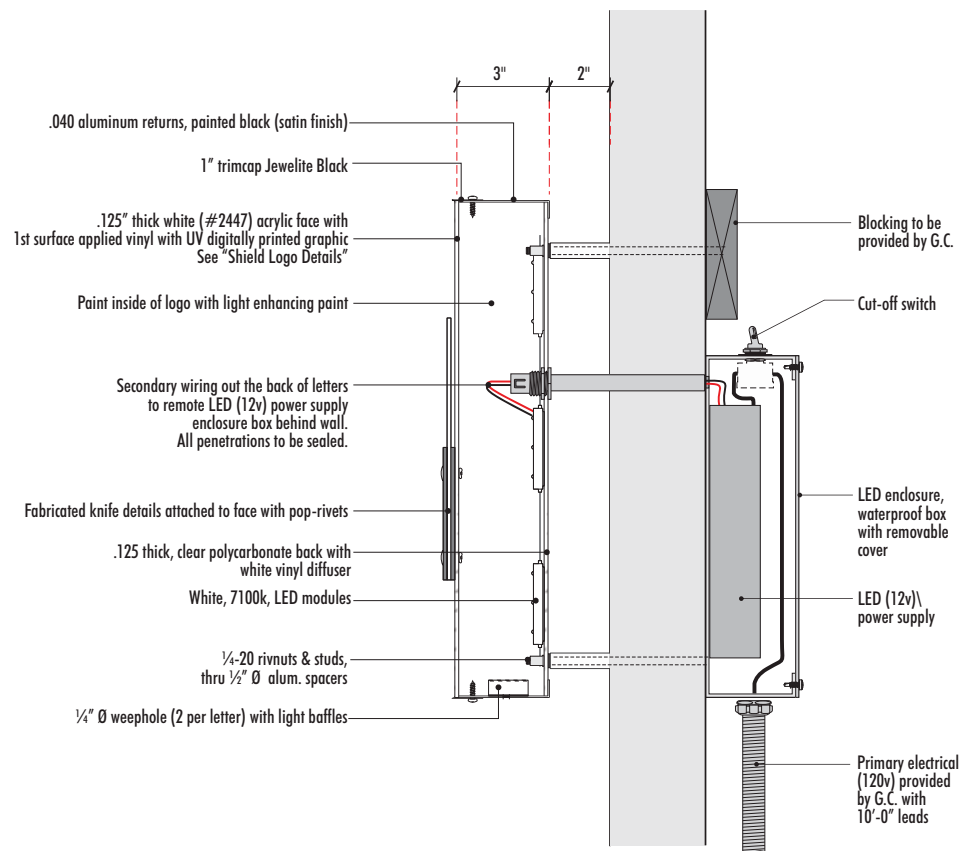
Cheddar's

A B C D 2 SECTION DETAIL - HALO ILLUM REVERSE CHANNEL LETTERS
SCALE: NTS

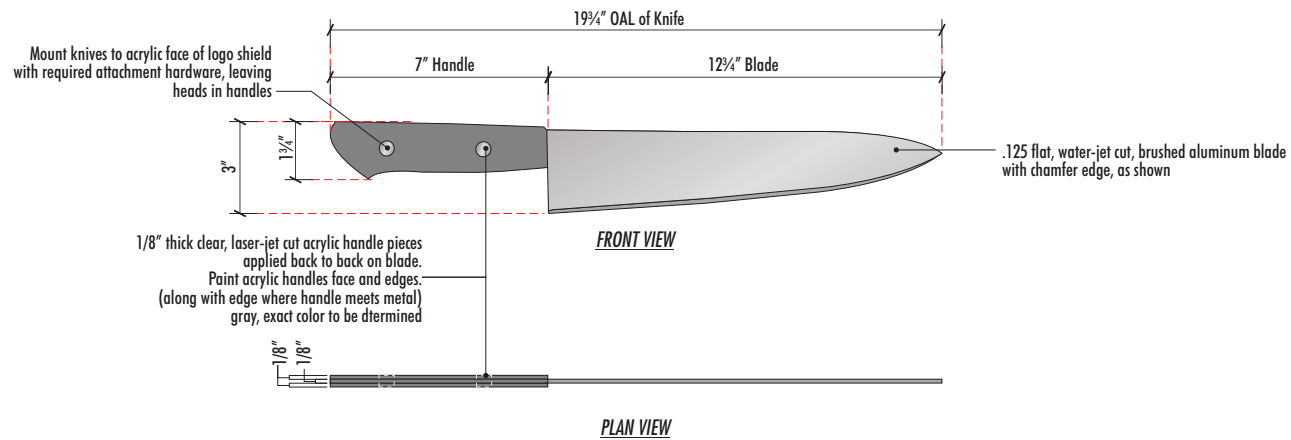
SCRATCH KITCHEN



A B C D 1 SHIELD LOGO DETAILS
SCALE: NTS



A B C D 2 SECTION DETAIL - DUAL-LIT SHIELD LOGO
SCALE: NTS

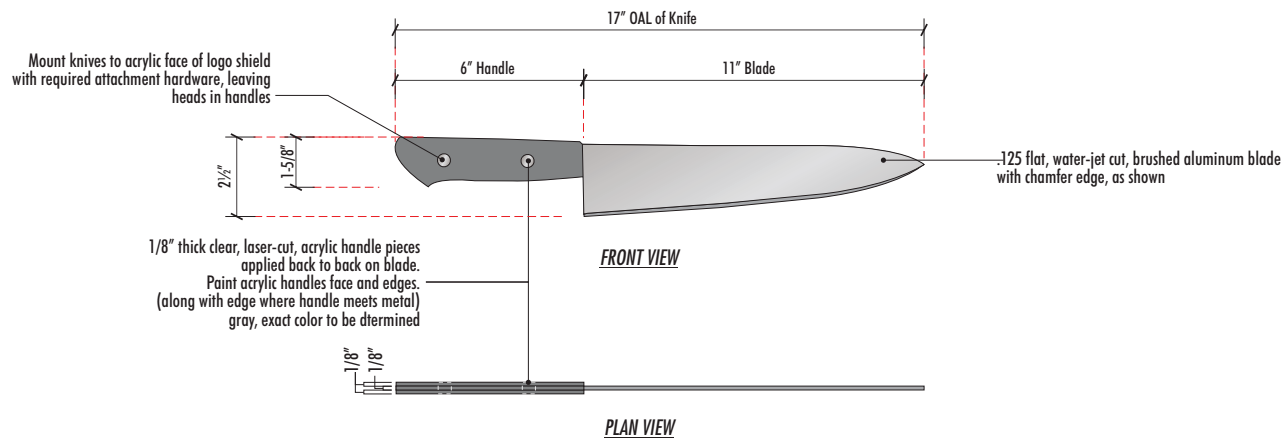


A

1

KNIVES LOGO DETAIL
SCALE: 3" = 1' - 0"

QTY: TWO (2) KNIVES per LOGO SHIELD CABINET
TOTAL - 2 KNIVES AT THIS SIZE

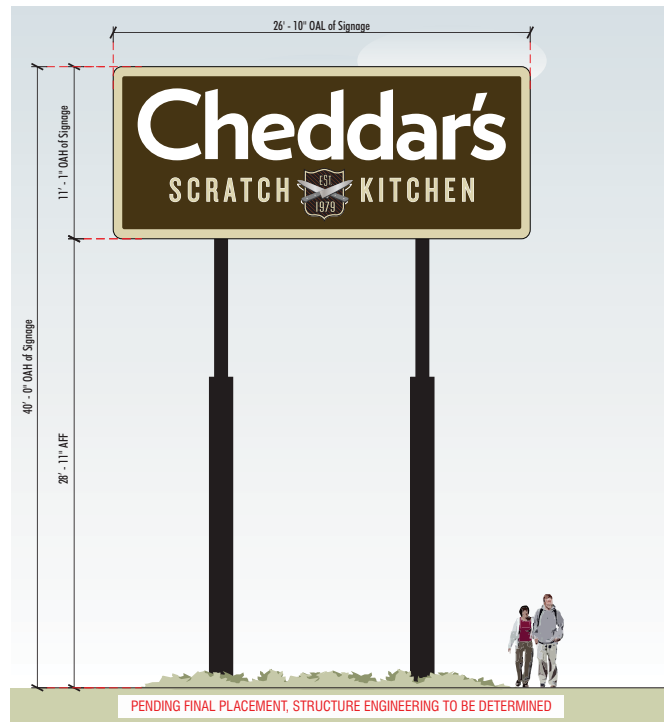


B **C** **D**

2

KNIVES LOGO DETAIL
SCALE: 3" = 1' - 0"

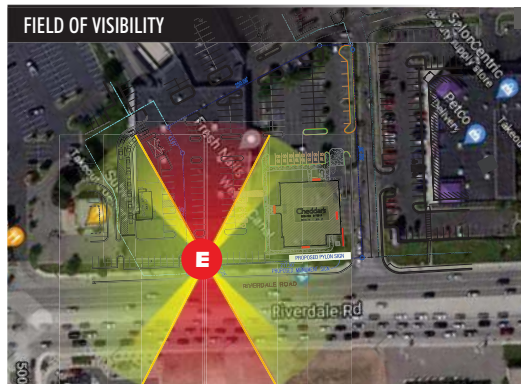
QTY: TWO (2) KNIVES per LOGO SHIELD CABINET
TOTAL - 6 KNIVES AT THIS SIZE



E D/F INTERNALLY ILLUMINATED PYLON SIGN
SCALE: 1/8" = 1' - 0"

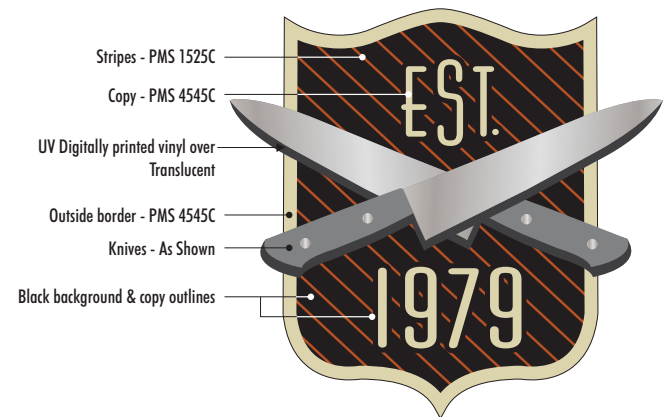
QTY: ONE (1)

SIGN AREA = 297.39 Sq. Ft.(Ea. Set) (MAX ALLOWED 300 SF)



SPECIFICATIONS

- Fabricated aluminum D/F sign cabinet w/reveal & aluminum faces painted to match SW7510 Chateau Brown.
Reveal of cabinet painted to match PMS 462u Brown
Face border stripe painted to match PMS 4545u Beige
Illuminated with LED White (7100k) LED modules
- "Cheddar's" - 1" thick clear acrylic, routed-out / pushed-thru (3/4" proud).
Apply 1st surface 3M White (3630-20) vinyl and 2nd surface white diffuser
- "SCRATCH KITCHEN" - 1" thick clear acrylic, routed-out / pushed-thru (3/4" proud).
Apply 1st surface 30% white diffuser film and 3M Light Beige (3630-149) vinyl inset overlay, (Leaving white outline) and 2nd surface 60% white diffuser
- "Logo Shield & Knives (One Unit)" - 1" thick clear acrylic, routed-out / pushed-thru (3/4" proud)
Apply 1st surface UV digitally printed vinyl overlay and 2nd surface white diffuser
- Pole supports - Steel poles (engineering to be done)
- Primary electrical to run up thru columns. Primary power (120v / 277v) to be supplied by G.C.



1 SHIELD LOGO DETAILS
SCALE: NTS

Municipality & Zoning Information:

Jurisdiction: City of Riverdale Confirm Zoning: RCP (Retail Commercial Park Overlay)
 Department: Community Development Website: www.riverdalecity.com
 Department Contact: Mike Eggett Contact Title: Community Develop. Director
 Contact Phone: 801-394-5541 x1215 Contact Email: meggett@riverdalecity.com
 Additional Contacts: No Additional Jurisdictions Y/N: Y
 If so, what: Development Agreement for the Riverdale Center II Project
 Special Circumstances: No
 Special / Additional Approvals: _____

Examples: Planned Urban Development (PUD), Historical District, DRB, MSP
 Special Requirements: Signs are required to be included in the building Site Plan Review. This includes Planning Commission and DRC. Should be included in developer submittal.
 Estimated Timeframes: Estimated 12 weeks Estimated Fees: Valuation based
 Additional Notes: _____

Permitting Information:

Department Contact: Mike Eggett Contact Phone: 801-394-5541 x1215
 Contact Email: meggett@riverdalecity.com How Many Sets Required: _____
 Permit Process / Requirements: Standard submittal per documents below

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> Sign Application | <input checked="" type="checkbox"/> Installer Info | <input type="checkbox"/> NOC |
| <input type="checkbox"/> Bldg Permit | <input checked="" type="checkbox"/> Installer License | <input type="checkbox"/> LOA |
| <input type="checkbox"/> Electrical Permit | <input type="checkbox"/> Materials Board | <input type="checkbox"/> Insurance |
| <input type="checkbox"/> LL Signature | <input type="checkbox"/> UL Info | <input type="checkbox"/> Lease Info |
| <input type="checkbox"/> Notary Required | <input type="checkbox"/> Engineering | <input type="checkbox"/> Job Valuation |

Estimated Fees: Total fees based on job valuation
 Estimated Timeframes: After Site Plan approval, 1 - 2 weeks
 Additional Notes: _____

Center / Development Information:

Center / Development Name: Riverdale Shopping Center
 Address: 4027 Riverdale Rd., Ogden, UT 84405 New Construction / TI: New
 Owner: Kornwasser Shopping Center Properties, LLC Phone: 323-965-1510
 Owner Contact: Steven Usdan Contact Phone: 323-974-5200
 Contact Email: stevenu@kornwasser.net Center Sign Criteria Y/N: N*
 Does site adhere to center criteria / municipal code / both: *See note - Develop. Agreement
 Submittal Requirements: Standard email submittal. 2 - 3 day review.

Sign Allowances:**Temp Signage:**

Are Banners Allowed Y/N: Y Is Permit Required Y/N: Y
 How Many Signs Allowed: N/A Max Size Allowed: N/A
 How Long Is Permit Good For: 45 days Location Restrictions Y/N: _____
 Comments: When located 10' above grade, max projection is 6"

Wall Signage:

How Many Signs Allowed: 1 per elevation Is Permit Required Y/N: Y
 Is Illuminated Allowed Y/N: Y Location Restrictions Y/N: Not per code
 Type of Illumination Allowed: Cheddar's standard halo lit is allowed
 Formula Used for Allowance: For every 1 LF of frontage (Riverdale) allowed x 3 total SF
 Max Height Allowed: Not per code Max Area Allowed: Frontage - 89.83 x 3 = 269.49
 Comments: Per Code: Max individual sign is 300 SF while total site is 600 SF (if above formula complies)

Canopy Signage:

How Many Signs Allowed: _____ Is Permit Required Y/N: _____
 Is Illuminated Allowed Y/N: _____ Location Restrictions Y/N: _____
 Type of Illumination Allowed: _____
 Formula Used for Allowance: _____
 Max Height Allowed: _____ Max Area Allowed: _____
 Comments: There are no specifics in the code for canopy type signs.

Sign Allowances Continued:**Projecting Signage:**

How Many Signs Allowed: N/A Is Permit Required Y/N: _____
 Is Illuminated Allowed Y/N: _____ Location Restrictions Y/N: _____
 Type of Illumination Allowed: _____
 Formula Used for Allowance: _____
 Max Height Allowed: _____ Max Area Allowed: _____
 Comments: There are no specifics in the code for projecting type signs.

Freestanding Signage:

How Many Signs Allowed: 1 Is Permit Required Y/N: Y
 Is Illuminated Allowed Y/N: Y Location Restrictions Y/N: Y
 Type of Illumination Allowed: Internal illumination
 Formula Used for Allowance: Size allowance is 300 SF and 40' max height.
 Max Height Allowed: 40' Max Area Allowed: 300 SF
 Setback Info: 10' from property line
 Comments: Freestanding sign to be located in landscape area.

Windor / Door Signage:

How Many Signs Allowed: _____ Is Permit Required Y/N: _____
 Formula Used for Allowance: _____
 Max Height Allowed: _____ Max Area Allowed: _____
 Comments: There are no specifics in the code for window type signs.

To Go Signage:

Are Specific Signs Allowed: _____ Is Permit Required Y/N: _____
 Is Illuminated Allowed Y/N: _____ Location Restrictions Y/N: _____
 Type of Illumination Allowed: _____
 Formula Used for Allowance: _____
 Max Height Allowed: _____ Max Area Allowed: _____
 Comments: There are no specifics in the code for To Go type signs.

Additional Municipality & Zoning Information:**Variance Process:**

Does city provide process for signage: City offers variance process but signs not supported
 Describe Requirements: _____
 Documentation Required: _____
 Estimated Fees: _____
 Estimated Timeframes: _____
 What is typical % for approval: _____
 Submittal Requirement Deadline: _____
 Hearing Schedules: _____
 Is in person required for hearing: _____ City provide virtual alternative: _____
 Additional Notes: _____

Additional Code Notes: Development Agreement for the Riverdale Center II Project
Main entry sign allowed max size of 2 SF per 1 LF of building frontage, 1.5 SF per 1 LF of end cap, and 1 SF per 1 LF for rear elevation. This equates to 166 SF for storefront (west), 135.87 SF for side elevations (north and south), and 83.08 SF for rear (east). We are well under on all accounts. Wall signs allowed corporate colors, individual letters and font. Lighting can be internally illuminated, individual letters and logos allowed to be in pan channel cabinets. This also allows the use of directional signs but only for controlling traffic.

Projected Proposed Signage Summary:

Wall Signs Proposed Y/N: Y Number of Signs: 3
 Square Feet for Each Sign: A, B - 34.34 / C - 22.54 Combined Square Footage: 91.22
 Conflicts: None

Canopy Signs Proposed Y/N: No Number of Signs: _____
 Square Feet for Each Sign: _____ Combined Square Footage: _____
 Conflicts: None

Projecting Signs Proposed Y/N: No Number of Signs: _____
 Square Feet for Each Sign: _____ Combined Square Footage: _____
 Conflicts: None

Freestanding Signs Proposed Y/N: Y Number of Signs: 1
 Square Feet for Each Sign: 300 SF Combined Square Footage: 300 SF
 Conflicts: Could be possible landscaping that will need to be removed where proposed pylon is to be located. There may also be opportunities for spot(s) on existing multi-tenant signs.

Overall Findings Summary: Code has a pretty generous allowance of a 3:1 ratio. for sf for the building.
Wall signs. Sign total is 154.76 sf.
Signage is also allowed on each elevation.
Using Cheddar's standard sizes, tenant is at an approx. Combined 155 sf.
Pylon signs are allowed and can be 40 oah and up to 300 sf max.
Pylon sign requires a 10' set back

Critical Issues:

Placement for the pylon to be verified in relation to building and overhead power lines but will offer significant visibility and awareness.

Possible proximity issue with new proposed pylon location in conjunction with future Dutch Bros. pylon.

There are other obstructions like trees, lanscape, and bus stop along Riverdale Rd. that will need to be adjusted and taken into consideration. we recommend removing or adjusting landscaping at southeast corner

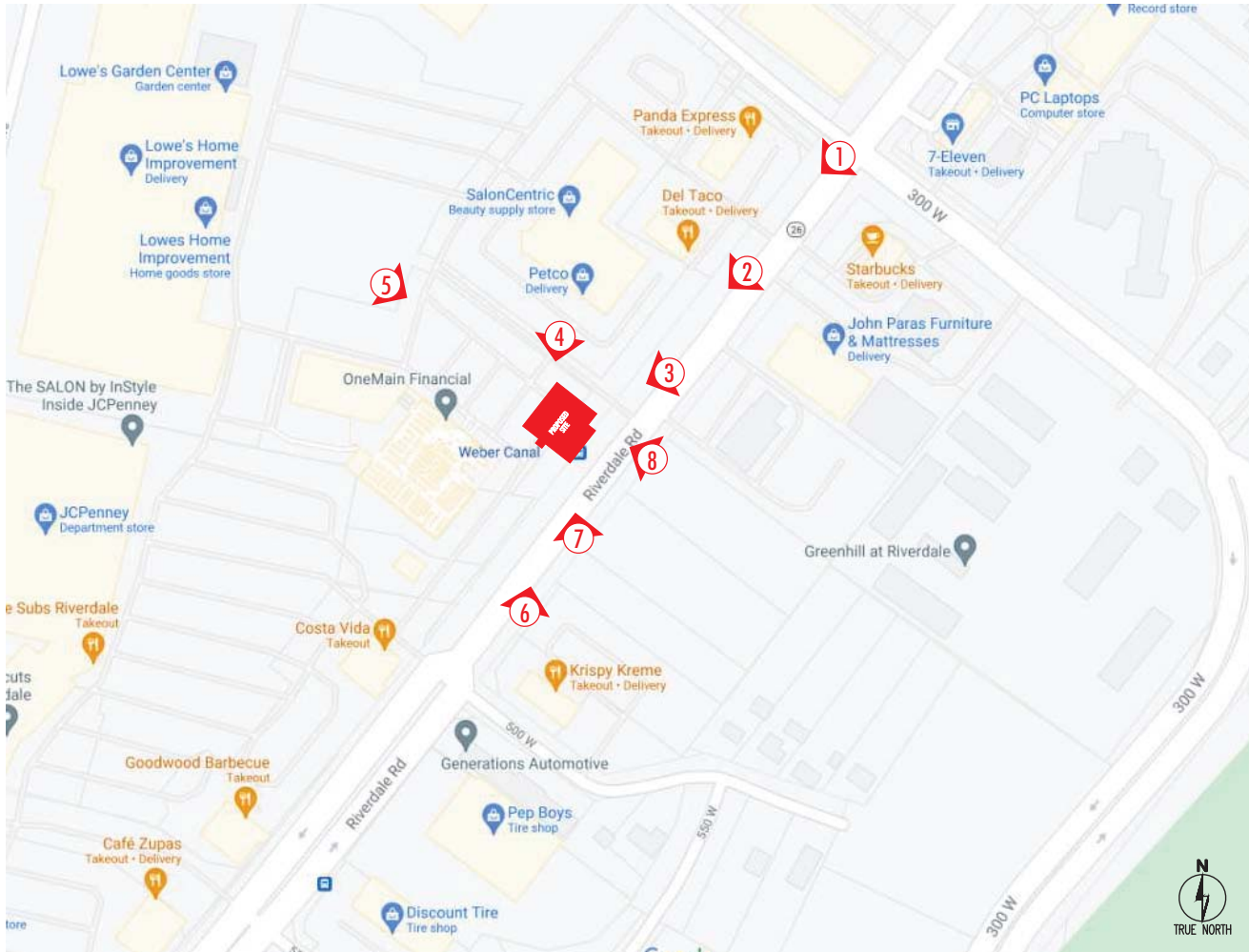
As well as trees along Riverdale Rd.

Initial site designs had visibility concerns for certain wall signs but new elevations help to alleviate some of this. North elevation sign may have Limited visibility for interior of shopping center due to lower location.

Sign C, on the east elevation, sits low under the roof line so it has less impact than if placed on a tower but the pylon sign should make up for it.

Elevations we received show "SCRATCH KITCHEN" copy w/ orange / copper faces.

This does not create enough contrast from the wall / stone finishes behind so we recommend using the black as shown.



Vicinity Map:

Site Needs:

Site Line Visibility Info:

- Identify Obstructions
 - Trees that block building or freestanding sign
 - Buildings that block site or freestanding sign
- Identify visibility to all four building elevations

Surrounding signage:

- Need samples of surrounding building signage
 - Need samples of surrounding freestanding signs
- Identify any shared center signage

Notes:

Current Best Buy building to be removed

Identify nearby bus station at street

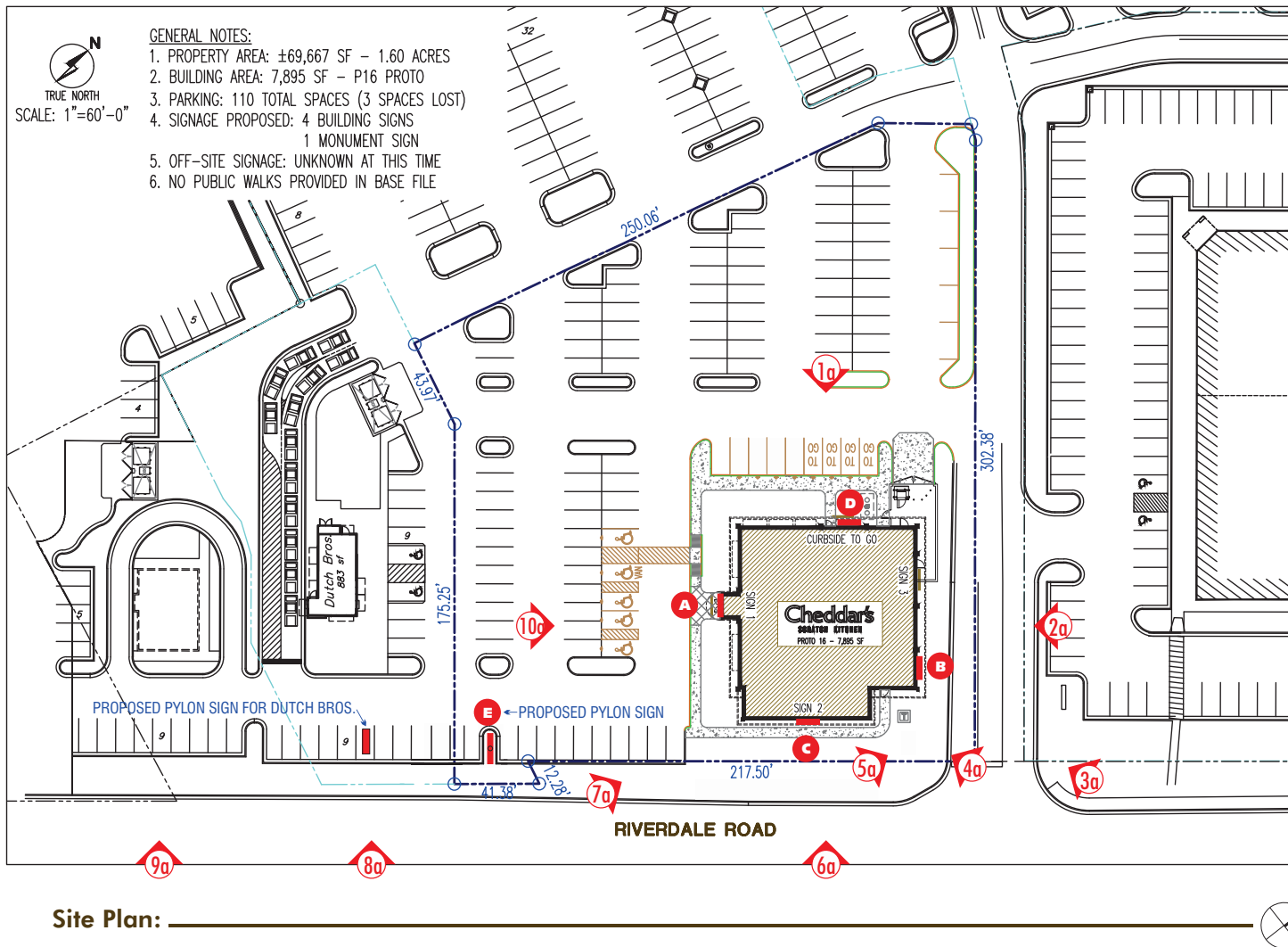
Identify nearby pole signs south of property

- Freestanding
- Dutch Bros.
- Subway

Cheddar's will want pylon sign so ID possible locations

Site Location:

Cheddar's Scratch Kitchen
Riverdale Shopping Center
South of Riverdale Rd & 300 W
Riverdale, UT



Site Needs:

Site Line Visibility Info:

- Identify Obstructions
 - Trees that block building or freestanding sign
 - Buildings that block site or freestanding sign
- Identify visibility to all four building elevations

Surrounding signage:

- Need samples of surrounding building signage
 - Need samples of surrounding freestanding signs
- Identify any shared center signage

Notes:

Current Best Buy building to be removed
Identify nearby bus station south of property
Identify nearby pole signs south of property

- Freestanding
 - Dutch Bros.
 - Subway

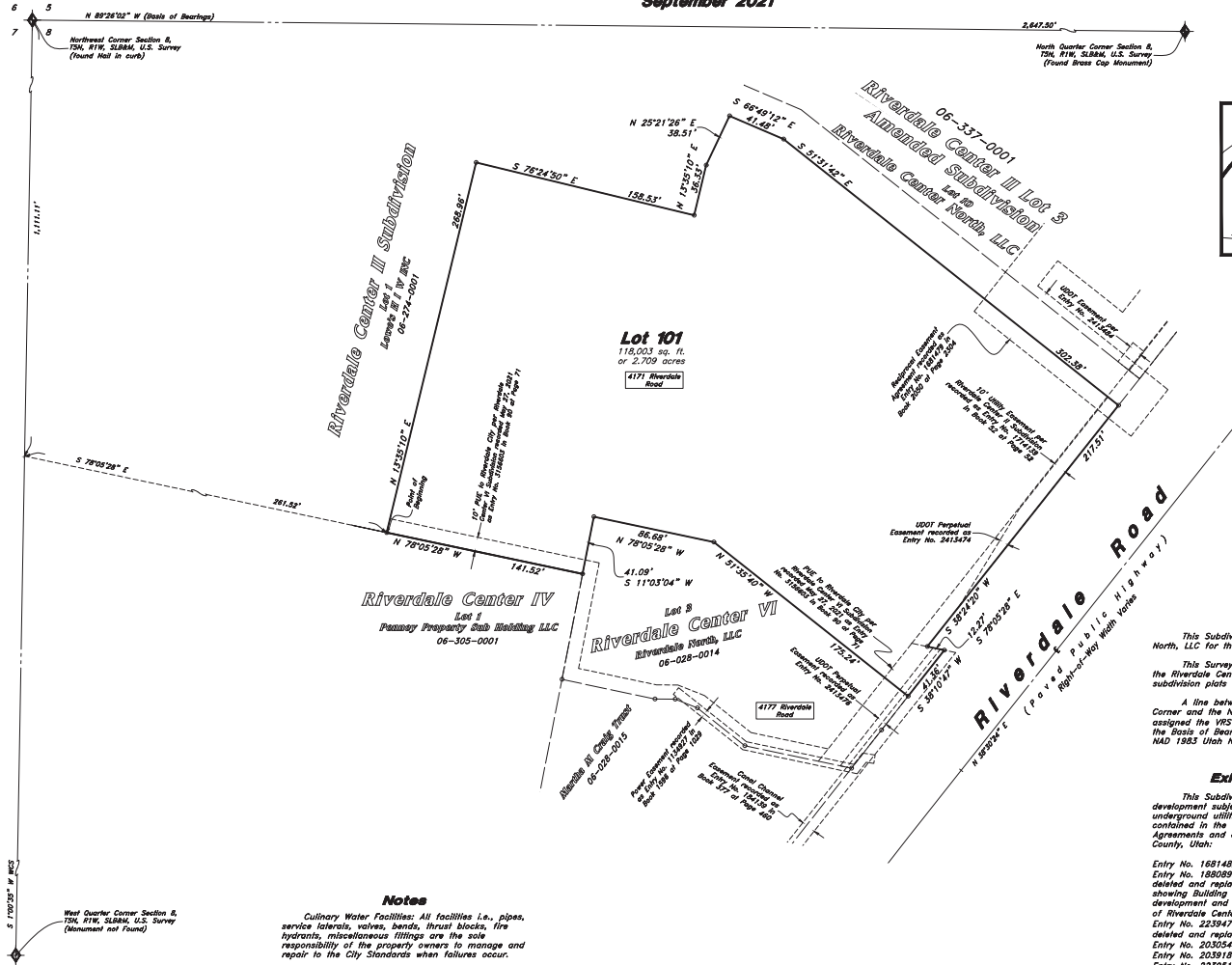
Cheddar's will want pylon sign so ID possible locations in landscape or planters

Site Location:

Cheddar's Scratch Kitchen
Riverdale Shopping Center
South of Riverdale Rd & 300 W
Riverdale, UT

Riverdale Center VI Subdivision Amended

Amending Lots 1 and 2, Riverdale Center VI Subdivision Located within the Northwest Quarter of Section 8, Township 5 North, Range 1 West,
Salt Lake Base and Meridian, U.S. Survey
Riverdale City, Weber County, Utah
September 2021



Legend

- Property Line
- Easement Line
- Adjoining Line
- Centerline
- Section Corner
- Set 5/8" rebar with plastic cap or nail with brass Top stamped "USA"

Notes

Culinary Water Facilities: All facilities i.e., pipes, service laterals, valves, bends, thrust blocks, fire hydrants, miscellaneous fittings are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Sanitary Sewer Facilities: All facilities i.e., pipes, manholes, laterals, pipeline cleaning, sewer backups are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Storm Water Facilities: All facilities i.e., pipes, manholes, inlet catch basins, office and arifolia control structures, detention storage basins, overflow spillways are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Roadways and Sidewalks Facilities: All hard-surfacing facilities i.e., are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.



Riverdale City Planning Commission

Approved by the Riverdale City Planning Commission on the _____ Day of _____, 20__.

Chair, Riverdale City Planning Commission

Riverdale City Engineer

I hereby certify that the Office of the City Engineer has examined the plat and in my opinion, the information conveyed hereon, complies with the Public Works Standards and Specifications of Riverdale City.

Signed this _____ Day of _____, 20__.

Riverdale City Engineer

Riverdale City Approval

This is to certify that this plat and dedication of this plat were duly approved and accepted by the City Council of Riverdale City, Utah this _____ Day of _____, 20__.

Riverdale City Mayor

Riverdale City Attorney

Approved by the Riverdale City Attorney on the _____ Day of _____, 20__.

Riverdale City Attorney

Surveyor's Certificate

I, Ken B. Hawkes, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold Certificate No. 8707113 in accordance with Title 56, Chapter 22, of the Professional Engineers and Land Surveyors Act; I further certify for, and on behalf of Anderson Wahlen & Associates that by authority of the owners I have completed a survey of the property described on this Subdivision Plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to restore or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property, hereinafter known as

Riverdale Center VI Subdivision Amended Boundary Description

All of Lots 1 and 2, Riverdale Center VI Subdivision (filed as Entry No. 2156863 in Book 90 of Plats of Page 71 of the Official Records of Weber County, located in the Northwest Quarter of Section 8, Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey, in Riverdale City, Weber County, Utah:

Beginning of a point on the Northernly Line of Lot 1, Riverdale Center IV Subdivision, recorded as Entry No. 2239519 in Book 65 of Page 47, Official Records of Weber County, also being the most Southerly Corner of Lot 1 of said Riverdale Center II Subdivision, located 1111.11 feet South 1°00'35" West along the Section Line to a point on the Northernly Line of Lot 4 of said Riverdale Center II Subdivision; and 261.52 feet South 78°05'28" East to and along said Northernly Line, and the Southerly Line of said Riverdale Center II Subdivision, from a Nail found marking the Northwest Corner of said Section 8, and running thence along the Easterly, Southerly, and Southwesterly Lines of said Lot 1 said Riverdale Center II Subdivision the following six courses: North 13°35'10" East 268.96 feet; South 78°24'50" East 158.53 feet; North 13°35'10" East 56.53 feet; North 25°21'26" East 38.51 feet; South 66°49'12" East 41.48 feet; and South 51°31'42" East 302.38 feet to the Northwesterly Line of Riverdale Road as dedicated per said Riverdale Center I Subdivision; thence along said Northwesterly Line, and running thence along the following two courses: South 58°24'20" West 217.51 feet to the Southwest Corner of said Road Dedication; and South 78°05'28" East 12.27 feet to the Northwesterly Line of said Riverdale Road as dedicated per Entry No. 2416280 of the Official Records of Weber County; thence South 58°10'47" West 41.36 along said Northwesterly Line as dedicated to the most Easterly Corner of Lot 3 of said Riverdale Center VI Subdivision; thence the following three courses along the Easterly and Westerly Lines of said Lot 3: North 51°35'40" West 175.24 feet; North 78°05'28" West 86.66 feet to the Northwest corner of said Lot 3; and South 11°03'04" West 41.09 feet to said Northernly Line of Lot 1, Riverdale Center IV Subdivision; thence North 72°02'28" West 141.52 feet along said Northernly Line to the point of beginning.

Contains 118,003 sq. ft.
Or 2.709 acres

Signed this 14th day of September, 2021.

8707113
License No.



Ken B. Hawkes

Owner's Dedication

Know all by these presents that we, the undersigned owners of the described tract of land hereon, having caused the same to be subdivided into a lot to hereafter be known as RIVERDALE CENTER VI SUBDIVISION AMENDED, do hereby dedicate for public use of the public, all parcels of land shown on this plat as intended for public use, and do warrant, defend, and save the City harmless against any easements or other encumbrances on the dedicated streets which will interfere with the City's use, operation, and maintenance of the streets and do further dedicate the easements as shown for the use by all suppliers of utility or other necessary services.

In witness whereof I have hereunto set my hand
This _____ Day of _____, AD, 20__.

Riverdale Center North, LLC

by: Steven Udman
Its: Manager

Acknowledgment

State of _____ } ss
County of _____ }

On this _____ day of _____, 2021, personally appeared before me, Steven Udman the signer of the foregoing instrument, who duly acknowledged to me that he is the Manager of Riverdale Center North, LLC, and is authorized to execute the foregoing Dedication in his behalf and that he executed it in such capacity.

Notary Public Full Name: _____
Commission Number: _____
My Commission Expires: _____
A Notary Public Commissioned in Utah
(If above information is provided, the above required per Utah Code, Title 46, Chapter 1, Section 16)

A Notary Public

A notary public or other officer completing this certificate certifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

Sheet 1 of 1

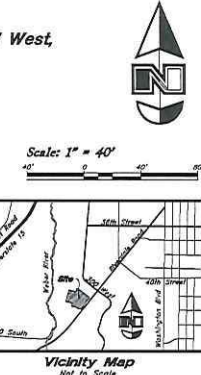
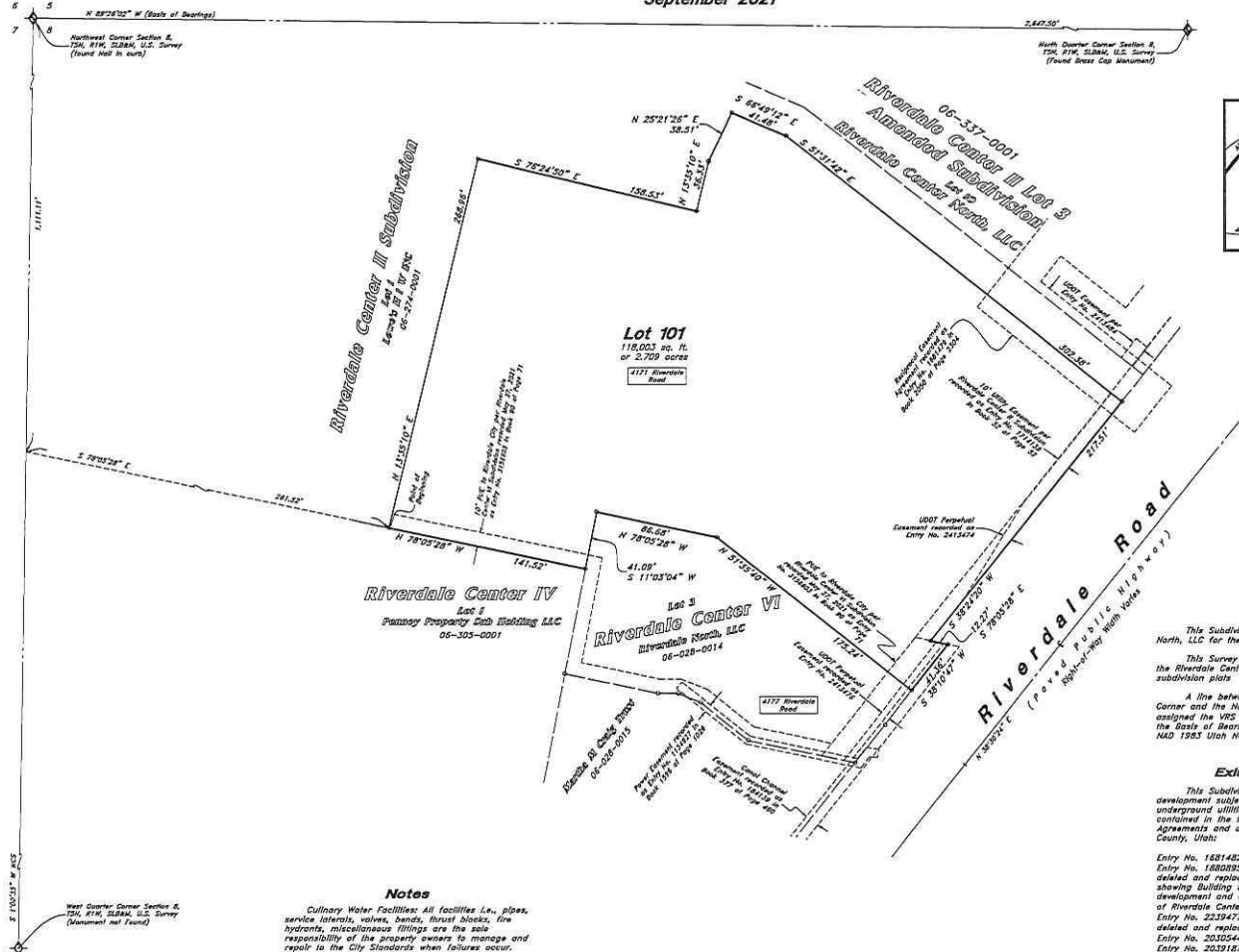
Approving Agency
Riverdale City
4600 S. Weber River Dr.
Riverdale, UT 84405

Owner/Developer
Riverdale Center North LLC
5670 Washline Blvd, Ste 1250
Los Angeles, CA 90036
323-965-1510

Weber County Recorder
ENTRY NO. _____ FEE PAID _____
RECORDED _____
IN BOOK _____ OF OFFICIAL RECORDS, PAGE _____
FOR _____
WEBER COUNTY RECORDER
BY: _____ DEPUTY

Riverdale Center VI Subdivision Amended

Amending Lots 1 and 2, Riverdale Center VI Subdivision Located within the Northwest Quarter of Section 8, Township 5 North, Range 1 West,
Salt Lake Base and Meridian, U.S. Survey
Riverdale City, Weber County, Utah
September 2021



Narrative

This Subdivision was requested by Riverdale Center North, LLC for the purpose of combining 2 Lots.

This Survey retraces the Underlying Plots of the Riverdale Center II & V Subdivisions and adjacent subdivision plots.

A line between monuments found for Northwest Corner and the North Quarter Corner of Section 8 was assigned the IRS bearing of North 89°25'02\"/>

Existing Agreements

This Subdivision is located in an existing property development subject to existing Cross-Access, Maintenance, underground utilities and other easement agreements contained in the following recorded Declarations, Agreements and amendments thereto, records of Weber County, Utah:

Entry No. 1681482 (CC&R's)
Entry No. 1880895 (First Amendment to CC&R's Exhibit B deleted and replaced with Exhibit B-1, adding Exhibit C showing Building Easements for the purpose of development and construction, and correcting the name of Riverdale Center II, LLC to Riverdale Center II, LLC)
Entry No. 2239477 (Second Amendment to CC&R's Exhibit C deleted and replaced with Exhibit C-1)
Entry No. 2030544 (Declaration of Restrictions)
Entry No. 2039187 (Declaration of Restrictions)
Entry No. 2235110 (Declaration of Easements, Covenants and Restrictions) non-exclusive Right-of-Way and easement for Pedestrian and Vehicular Ingress and egress only no parking and the shared garbage enclosure.

Surveyor's Certificate

I, Ken B. Hawkes, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold Certificate No. 8707113 in accordance with Title 26, Chapter 2, of the Professional Engineers and Land Surveyors Act; I further certify that, on behalf of Anderson Wahlen & Associates, Inc., I have conducted a survey of the property described on this Subdivision Plot in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plot are located as indicated and are sufficient to retrace or reestablish this plot; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property, hereafter known as:

Riverdale Center VI Subdivision Amended

Boundary Description

All of Lots 1 and 2, Riverdale Center VI Subdivision filed as Entry No. 3156603 in Book 90 of Plats of Page 71 of the Official Records of Weber County, located in the Northwest Quarter of Section 8, Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey, in Riverdale City, Weber County, Utah:

Beginning at a point on the Northerly Line of Lot 1, Riverdale Center VI Subdivision, recorded as Entry No. 2239519 in Book 55 of Page 47, Official Records of Weber County, also being the most Southerly Corner of Lot 1 of said Riverdale Center II Subdivision, located 1111.11 feet South 170°15'1\"/>

Contains 110,003 sq. ft. Or 2,709 acres

Signed this 14th day of September, 2021.

8707113
License No.

Owner's Dedication

Know all by these presents that we, the undersigned owners of the described tract of land herein, having caused the same to be subdivided into a lot to hereafter be known as RIVERDALE CENTER VI SUBDIVISION AMENDED, do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for public use, and do warrant, defend, and save the City harmless against any easements or other encumbrances on the dedicated streets which will interfere with the City's use, operation, and maintenance of the streets and do further dedicate the easements as shown for the use by all suppliers of utility or other necessary services.

In witness whereof I have hereunto set my hand
This _____ Day of _____, 20____.

Riverdale Center North, LLC

By: Steven Udson
Its: Manager

Acknowledgment

State of _____
County of _____
On this _____ day of _____, 2021, personally appeared before me, Steven Udson, the signer of the foregoing instrument, who duly acknowledged to me that he is the Manager of Riverdale Center North, LLC, and is authorized to execute the foregoing Declaration in its behalf and that he executed it in such capacity.

Notary Public Full Name: _____
Commission Number: _____
My Commission Expires: _____
A Notary Public Commissioned in Utah
(If above information is provided, no stamp is required per Utah Code, Title 46, Chapter 1, Section 16)

A Notary Public

A notary public or other officer compiling this certificate certifies only the identity of the individual who signed the document in which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

Sheet 1 of 1

Notes

Culinary Water Facilities: All facilities i.e., pipes, service laterals, valves, bends, thrust blocks, fire hydrants, miscellaneous fittings are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Sanitary Sewer Facilities: All facilities i.e., pipes, manholes, laterals, pipeline cleaning, sewer backups are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Storm Water Facilities: All facilities i.e., pipes, manholes, inlet catch basins, office and office control structures, detention storage basins, overflow spillways are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Roadways and Sidewalks Facilities: All hard-surfacing facilities i.e., are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Legend

- Property Line
- Easement Line
- Adjoining Line
- Centerline
- Section Corner
- Set 5/8\"/>



Riverdale City Planning Commission

Approved by the Riverdale City Planning Commission on the _____ Day of _____, 20____.

Chair, Riverdale City Planning Commission

Riverdale City Engineer

I hereby certify that the Office of the City Engineer has examined the foregoing plat and in our opinion the information contained hereon, complies with the Public Works Standards and Specifications of Riverdale City.

Signed this _____ Day of _____, 20____.

Riverdale City Engineer

Riverdale City Approval

This is to certify that this plat and contents of this plat were duly approved and accepted by the City Council of Riverdale City, Utah this _____ Day of _____, 20____.

Riverdale City Mayor

Riverdale City Attorney

Approved by the Riverdale City Attorney on the _____ Day of _____, 20____.

Riverdale City Attorney

Approving Agency

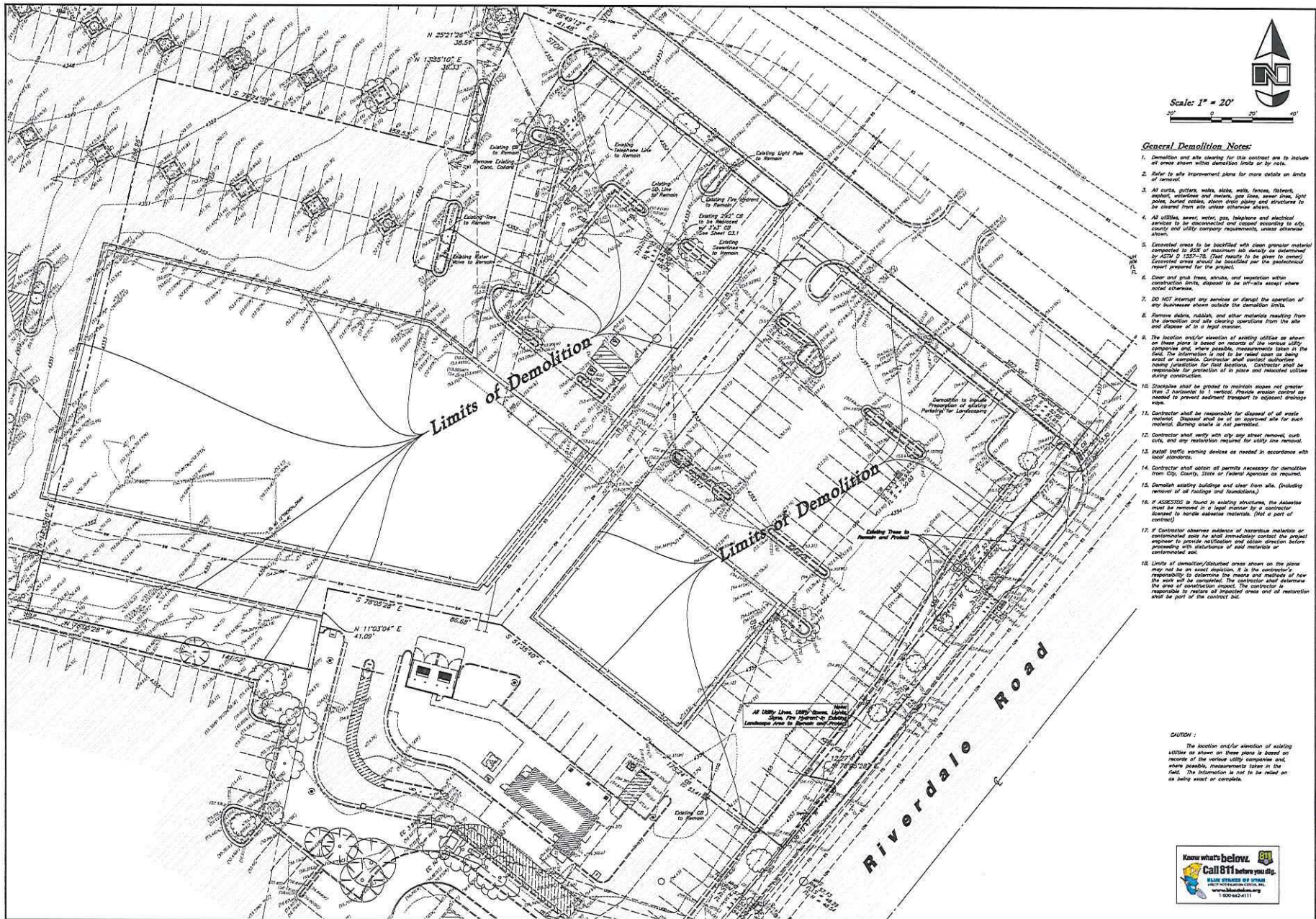
4600 S. Weber River Dr.
Riverdale, UT 84405

Owner/Developer

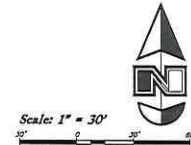
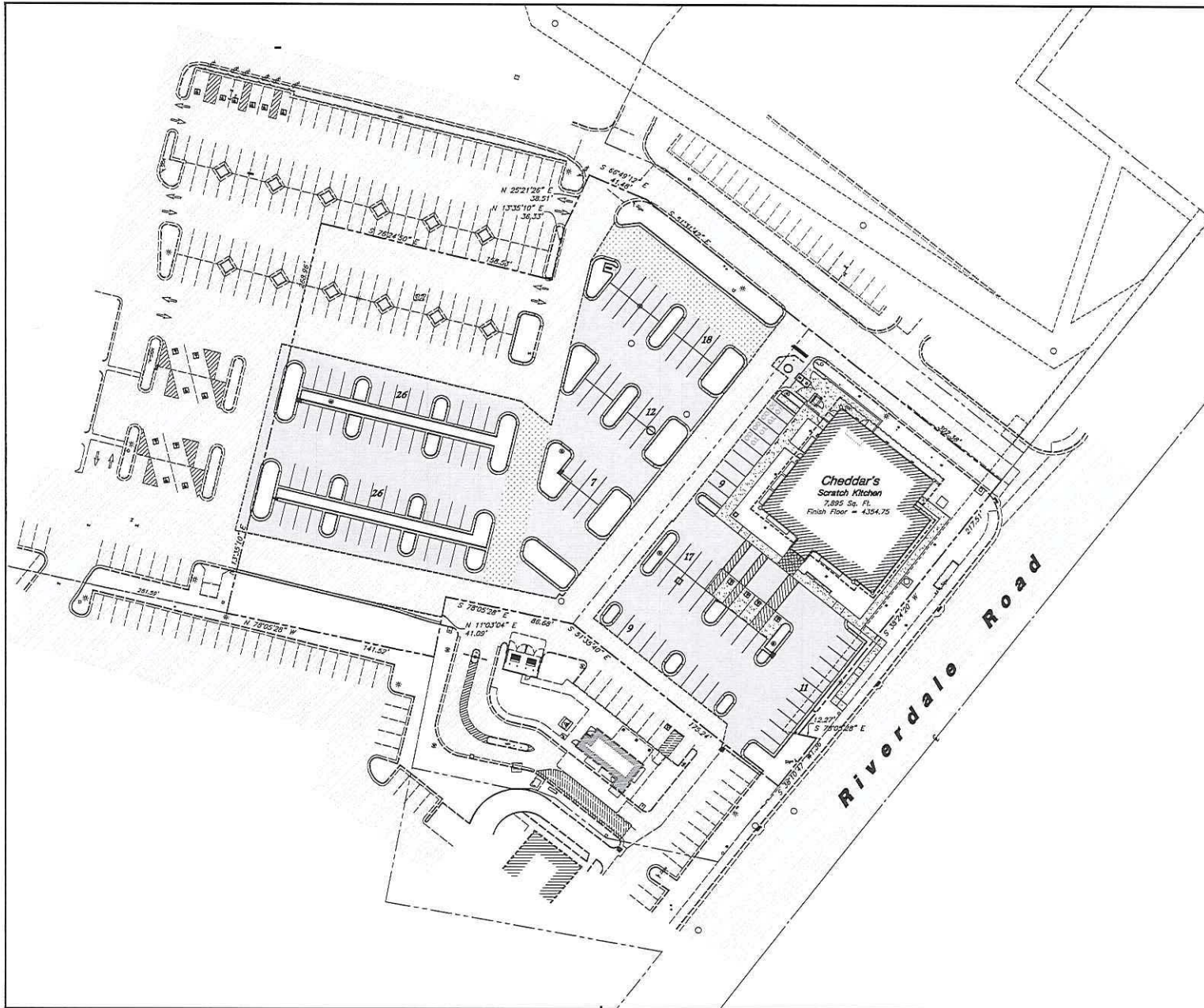
Riverdale Center North LLC
5870 Wilshire Blvd, Ste 1200
Los Angeles, CA 90035
310-555-1510

Weber County Recorder

ENTRY NO. _____ FILED FOR RECORD AND
RECORDED _____ OF OFFICIAL
RECORDS, PAGE _____, RECORDED
FOR _____
WEBER COUNTY RECORDER
BY: _____ DEPUTY



General Demolition Notes:	
<ol style="list-style-type: none"> Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note. Refer to site improvement plans for more details on limits of demolition. All curbs, gutters, walls, sidewalks, fences, retaining walls, manholes and manholes, gas lines, sewer lines, light poles, buried cables, storm drain pipes and structures to be cleared from site unless otherwise shown. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum dry density as determined by ASTM D 1557-76. (Test results to be given to owner). Excavated areas should be backfilled per the geotechnical report prepared for the project. Clear and grub trees, shrubs, and vegetation within construction limits, dispose to off-site except where noted otherwise. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being correct or complete. Contractor shall contact authorities responsible for field location. Contractor shall be responsible for protection of in place and relocated utilities during construction. Structures shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for each material. Burning waste is not permitted. Contractor shall verify with city any street removal, curb cuts, and any relocation required for utility line removal. Install traffic warning devices as needed in accordance with local standards. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required. Demolish existing buildings and clear from site, (including removal of all footings and foundations.) If ASBESTOS is found in existing structures, the Asbestos must be removed in a legal manner by a contractor licensed to handle asbestos materials. (Not a part of contract) If Contractor observes evidence of hazardous materials or contaminated soils on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being correct or complete. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid. 	
Designed by: AWA Drafted by: EC Client Name: CD Acquisition 19-274607	ANDERSON WAILEN & ASSOCIATES 2010 North Redwood Road, Suite 100, Salt Lake City, Utah 84119 (801) 331-5533 - JAW@awainc.com
Demolition Plan Cheddar's Scratch Kitchen 4173 Riverdale Road Riverdale, Utah 84405	
21 Sep, 2021 C0.1	



Construction Survey Note:



The Construction Survey Layout for this project will be provided by Anderson Whalen & Associates. The Layout (Proposal and Professional Services Agreement) will be provided to the General Contractor(s) for inclusion in their bid. The Survey Layout prepared has been proven and will include Building Costs and Site Costs for use in the Site Work Bid Form.

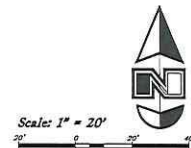
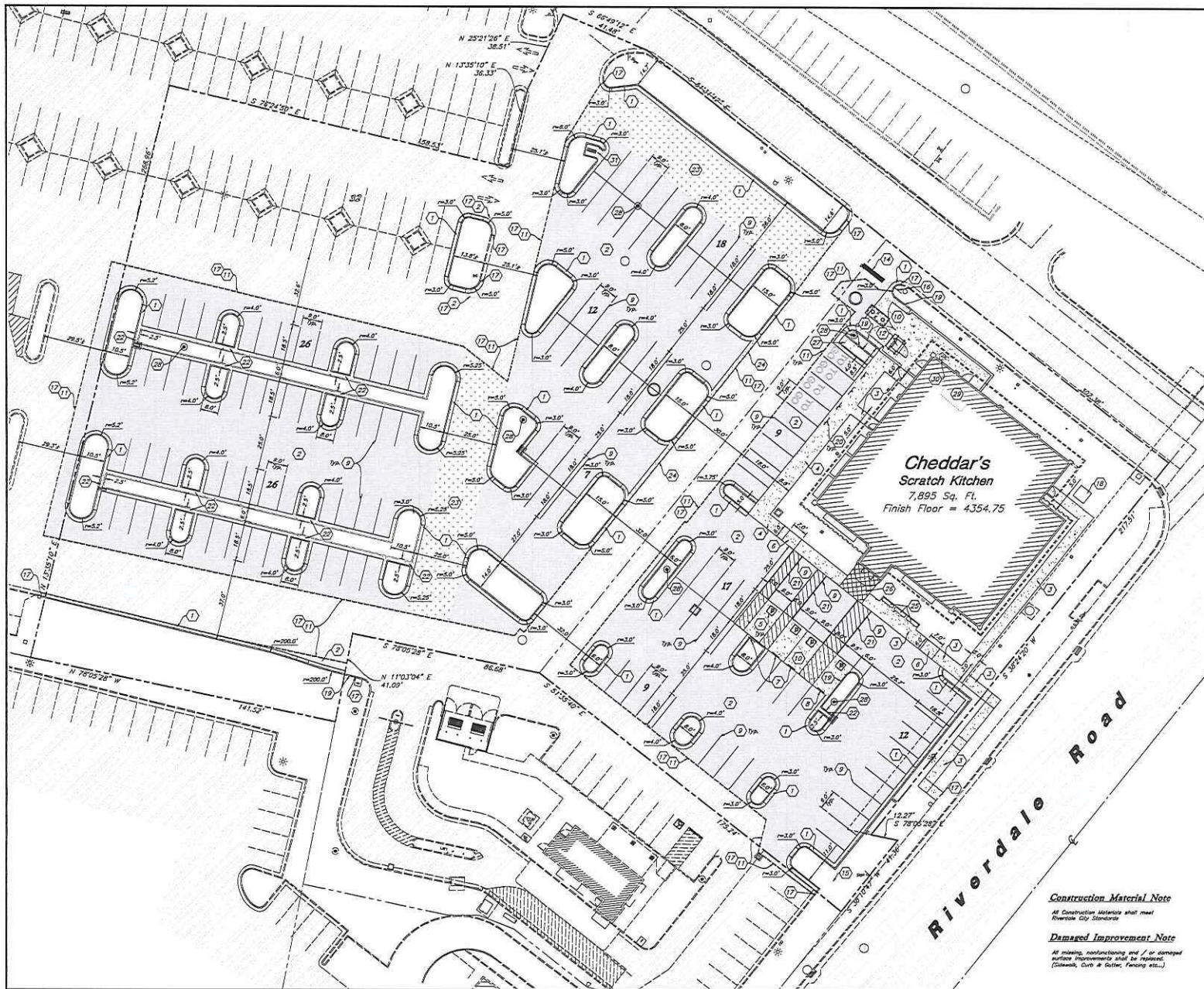
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for all site conditions during the course of construction of this project, including safety of all persons and property; that this agreement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, including liability arising from the sole negligence of the owner or the engineer.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any survey or construction layout to be completed using Anderson Whalen & Associates ALTA Survey or Anderson Whalen & Associates construction equipment plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments or turning any additional control points shown on an ALTA survey, improvement plan, or as indicated data provided by Anderson Whalen & Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing horizontal monuments located on these plans or an electronic data provided by Anderson Whalen & Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

 ANDERSON WAHLEN & ASSOCIATES 2010 Hutch Road, Suite 100, Utah 84405 (801) 311-5553 - andwh@anwa.com	
Overall Site Plan Cheddar's Scratch Kitchen 4173 Riverdale Road Riverdale, Utah 84405	
	
21 Sep, 2021 C1.0	SHEET NO.



Site Data
 Site Area = 118,003 s.f. (2.709 ac.)
 Landscape Area Provided = 23,625 s.f. (20.02%)
 Impervious Area Provided = 86,483 s.f. (73.29%)
 Building Area = 7,895 s.f. (6.69%)
 Parking Required = 101,000 s.f. = 79 stalls
 Parking Provided = 167 stalls (21.15/1,000)

- Site Construction Notes**
1. Canal: 24" Curb & Gutter (CA.1)
 2. Canal: Asphalt Paving (CA.1)
 3. Canal: Conc. Slabwork (CA.1)
 4. Canal: Thickened Edge Slabwork (CA.1)
 5. Canal: Accessible Sloping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
 6. Canal: Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
 7. Canal: Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
 8. Canal: Accessible VMS Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
 9. Canal: 4" White Paint Slope (Typ.) Contractor shall provide 15 min min. thickness
 10. Canal: Conc. Paving (CA.1)
 11. Sarcot: Provide Smooth Clean Edge
 12. Dumpster Enclosure (See Arch. Plans)
 13. Canal: Directional Arrows per MUTCD
 14. Canal: 24" White Stop Bar
 15. Canal: 40" Height Pylon Sign by Separate Permit
 16. Canal: Stop Sign per MUTCD E1-1
 17. Canal: Match Existing Improvements
 18. Transformer: See Elec. Plans
 19. Canal: 6" Conc. Curb Wall (CA.1)
 20. 7D C5" Sign: See Arch. Plans
 21. Canal: Painted Curbwork
 22. Canal: Conc. Thru Planter Drainage (CA.2)
 23. Canal: Heavy Duty Asphalt Paving (CA.1)
 24. Canal: 2" Conc. Waterway (CA.1)
 25. Benches: See Arch. Plans
 26. Sealing in Concrete: See Arch. Plans
 27. Canal: Delivery Room
 28. Light Pole: See Elec. Plans
 29. Fire Riser Room
 30. Fire Department Connection (FDC)
 31. Remove Existing Conc. Curb Around Existing Inlet Box. Replace New Conc. Curb to Drain to Existing Inlet. Guard. Grade w/ Grading Plan.

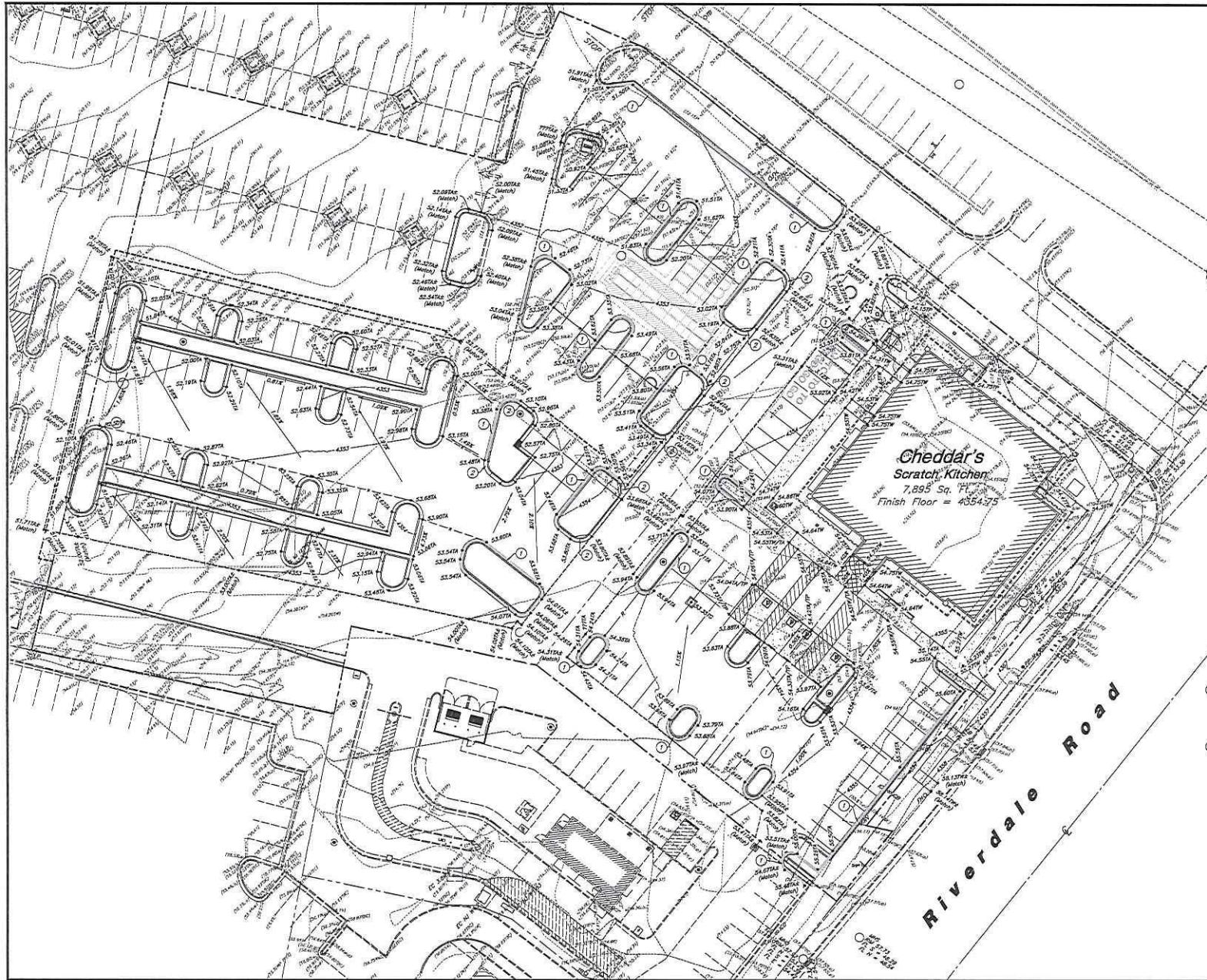
General Site Notes

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Note markings, directional arrows and stop bars will be posted at each driveway as shown on the plans.
4. Canal: curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbance areas shown on the plans may not be an exact depiction, it is the contractor's responsibility to determine the extent and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore or impacted areas and all restoration shall be part of the contract bid.

Construction Material Note
 All Construction materials shall meet Riverside City Standards

Damaged Improvement Note
 At existing, construction and / or damaged surface improvements shall be repaired. (Sidewalk, Curb & Gutter, Fencing, etc.)

DESIGNED BY: JF	DATE: 08/08/2021
DRAWN BY: GC	
CLIENT NAME: CDA Acquisition	
PROJECT NAME: 19-224607	
 ANDERSON WAHLEN & ASSOCIATES 2010 North Redwood Road, Suite 100, Salt Lake City, Utah 84119 (801) 331-5533 - jwahle@anwa.com	
Site Plan Cheddar's Scratch Kitchen 4173 Riverdale Road Riverdale, Utah 84405	
21 Sep, 2021 C1.1	



General Grading Notes:

1. All grading shall be in accordance with the project geotechnical report.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be verified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be tested and certified by a Geotechnical Engineer.
7. All trench locations shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final construction report and certification from a Geotechnical Engineer shall contain the type of field testing performed, test results, and the method of obtaining the test results, whether sand cone or blow test, and shall be included for each test. Surface maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
10. Work shall be controlled by reference to the plan.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjacent properties during the grading process.
13. All public roadways must be closed daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and graded of all vegetation and construction material prior to grading.
15. The contractor shall provide all work in accordance with CDA requirements for trench work.
16. Appropriate bays shall be compacted per the geotechnical report.
17. The recommendations in the following Geotechnical Engineering Report by CMT Engineering Laboratories are included in the requirements of grading and site preparation. The report is titled "Geotechnical Engineering Study - Addendum 1: Proposed Cheddar's Scratch Kitchen, Riverdale, Utah".
Project No. 15347
Dated November 30, 2020
18. As part of the construction documents, owner has provided geotechnical with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
19. If Contractor observes evidence of hazardous materials or contaminated soils, he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soils.

Curb and Gutter Construction Notes:

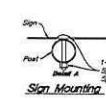
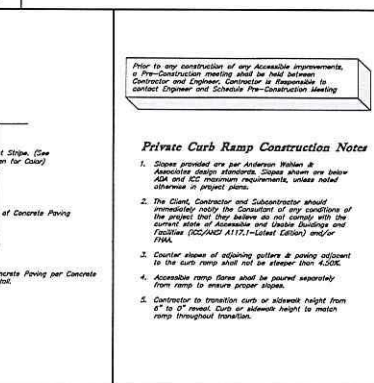
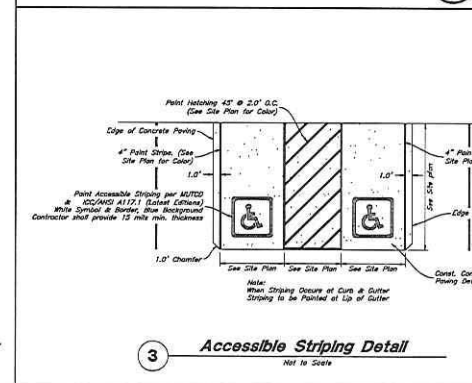
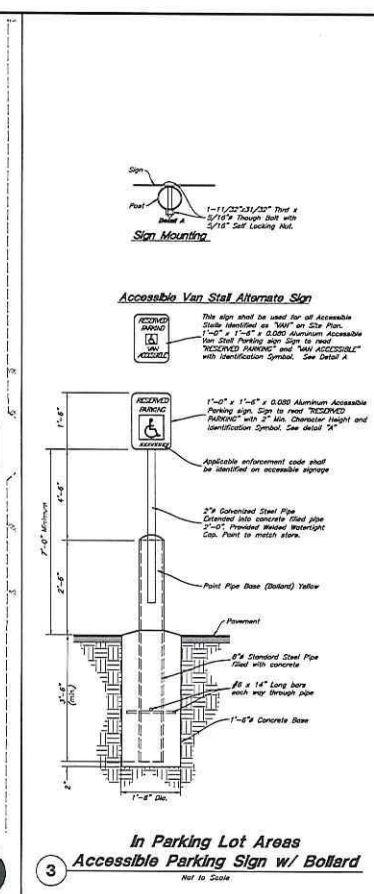
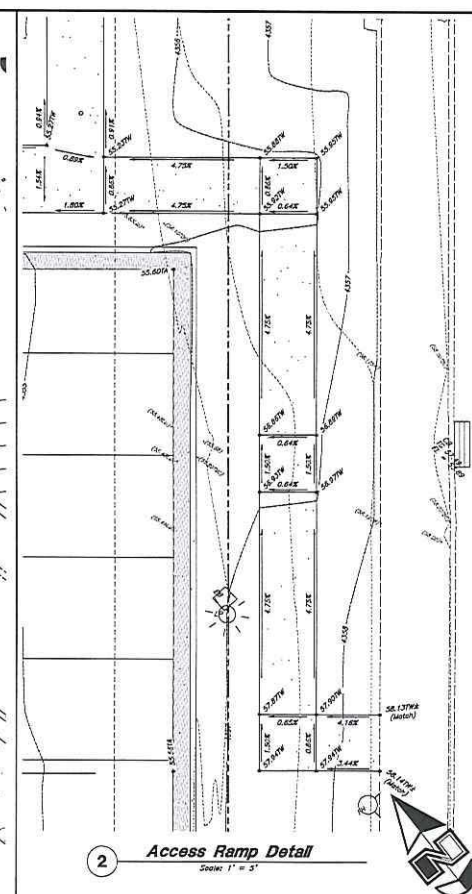
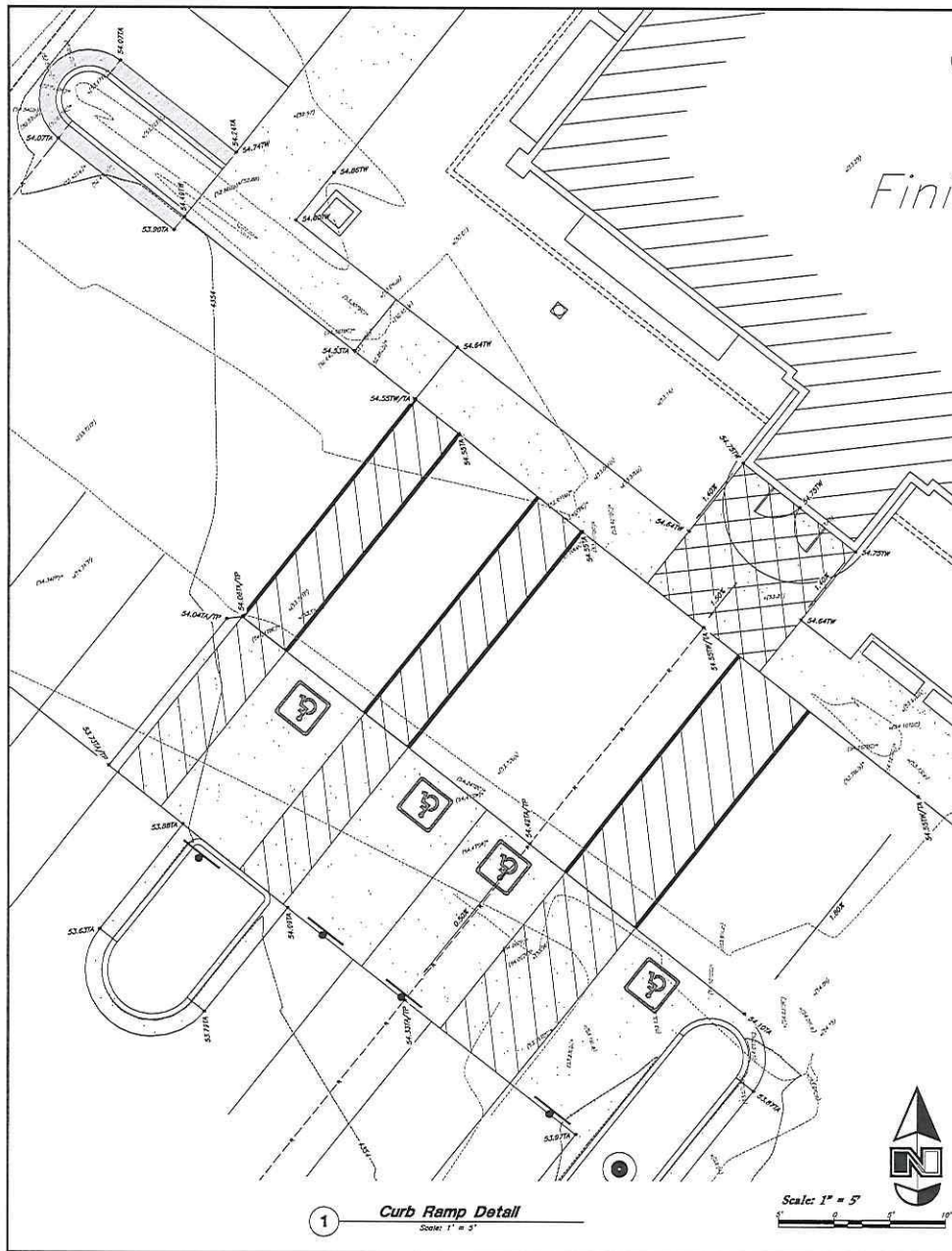
1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the permittee to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
5. Transitions from open face to standard curb and gutter are to be smooth, hand form these areas if necessary.
6. Spot elevations are shown on this plan with burst marking. Coordinate and verify site information with project drawings.

Sidewalk Construction Notes:

1. Concrete sidewalk shall be constructed with a cross slope of 1:58 (0.005 minimum) unless shown otherwise on plan.
2. Running slope of sidewalk shall be built per grades shown on the plan, where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.



DESIGNED BY: JT	DATE: 10/23/2021
DRAWN BY: JC	DATE: 10/23/2021
CHECKED BY: JC	DATE: 10/23/2021
CLIENT NAME: CDA Acquisition	DATE: 10/23/2021
PROJECT NO: 15347	
PROJECT NAME: Cheddar's Scratch Kitchen	
PROJECT ADDRESS: 4123 Riverdale Road, Riverdale, Utah 84405	
SHEET NO: C2.1	



Accessible Van Stall Alternate Sign

This sign shall be used for all accessible stalls identified as "Van" on Site Plan.
1'-0" x 1'-4" x 0.005 Aluminum Accessible Van Stall Parking sign sign to meet "ACCESSIBLE PARKING" with 2" Min. Character Height and Identification Symbol. See Detail 3A.



1'-0" x 1'-4" x 0.005 Aluminum Accessible Parking sign. Sign to meet "ACCESSIBLE PARKING" with 2" Min. Character Height and Identification Symbol. See Detail 3A.

Applicable enforcement code shall be identified on accessible signage.



2" x Galvanized Steel Pipe
Extended into concrete floor plate
2'-0" x 2'-0" x 0.005 Aluminum Accessible Van Stall Parking sign sign to meet "ACCESSIBLE PARKING" with 2" Min. Character Height and Identification Symbol. See Detail 3A.

Point Pipe Base (Student) Yellow

Postment

2" x Galvanized Steel Pipe
Steel with concrete

48" x 14" Long Jute
Each way through pipe

1'-0" x 1'-4" x 0.005 Aluminum Accessible Van Stall Parking sign sign to meet "ACCESSIBLE PARKING" with 2" Min. Character Height and Identification Symbol. See Detail 3A.

1'-0" x 1'-4" x 0.005 Aluminum Accessible Van Stall Parking sign sign to meet "ACCESSIBLE PARKING" with 2" Min. Character Height and Identification Symbol. See Detail 3A.

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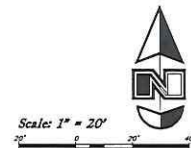
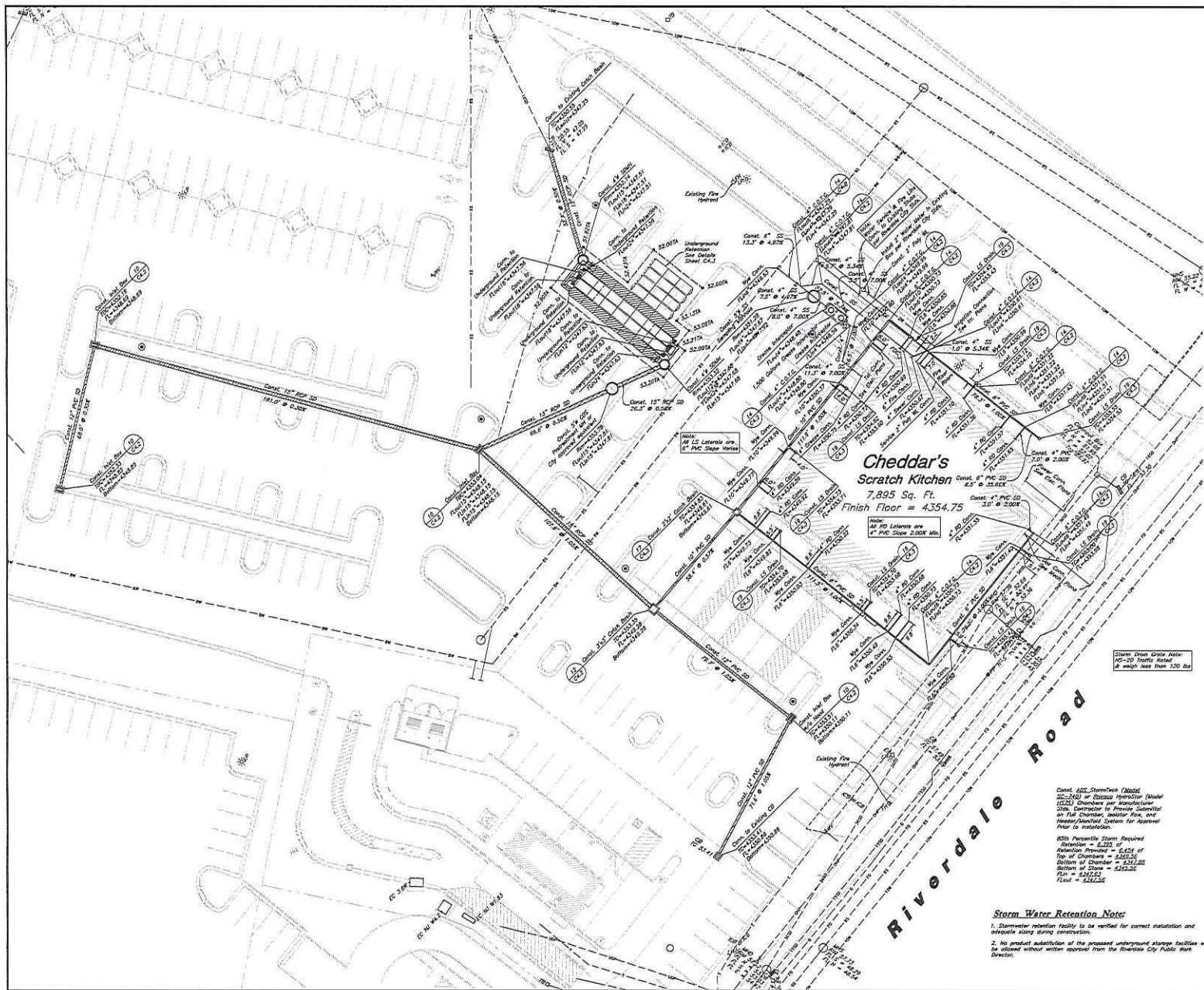
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1'-0" x 1'-4" x 0.005 Aluminum Accessible Van Stall Parking sign sign to meet "ACCESSIBLE PARKING" with 2" Min. Character Height and Identification Symbol. See Detail 3A.

<p>DESIGNED BY: JT DRAWN BY: DC CHECKED BY: CDA Acquisition 18-2249-2</p>	
<p>Anderson Whalen & Associates 2010 W. 1000 N. Suite 100 (801) 311-5231 - arwhalen.com</p>	
<p>Enlarged Grading Plan Details & Notes Cheddar's Scratch Kitchen 4173 Riverview Road Riverside, Utah 84405</p>	
<p>NO TOLERANCE FOR LATE WORK OR VISA</p>	
<p>21 Sep, 2021 SHEET NO. C2.2</p>	



General Utility Notes:

1. All sewer and water facilities shall be constructed per local ordinance standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle wheel.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install if items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to connect sewer, storm pipes, or other utilities as necessary including valve boxes and hydrant access to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, conduits & any other structures located within the easement.

Utility Piping Materials:

- All piping materials shall be per local agency standards or the specifications herein as a minimum. All utility piping shall be installed per manufacturer's recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.
- Sanitary Sewer Lines**
1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), Class 2001, PC 2402, SDP 1 (200 psi)
 2. Copper Pipe (Up to 3 inches diameter) Type "K"
- Water Main Lines and Fire Lines**
1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): A1000 C900, Class 200
- Sanitary Sewer Lines**
1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDP 35
- Storm Drain Lines**
1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDP 35
 2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class II

CAUTION:

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where available, measurements taken on the field. The information is not to be relied on as being exact or complete.

Storm Drains & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Drainage Utility Connection Note:

1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any utility construction. Utility lines are to be constructed starting at the lowest point and be installed prior to any utility construction.
3. Construction of any utility lines prior to the utility connection will be done at the contractor's risk.

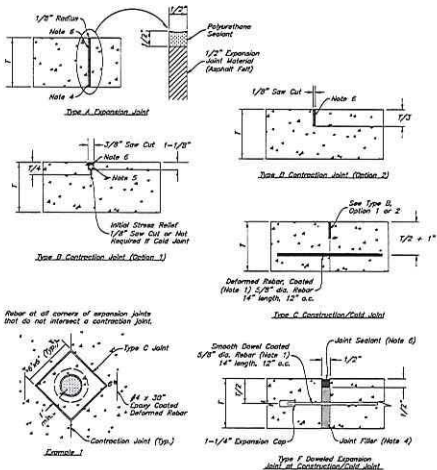
Storm Water Retention Note:

1. Stormwater retention facility to be verified for correct installation and adequate during construction.
2. No product substitution of the proposed underground storage facilities will be allowed without written approval from the Riverside City Public Works Director.

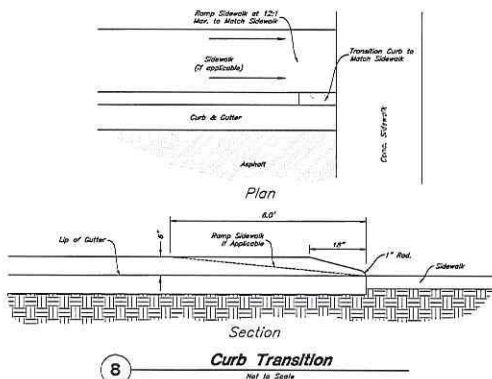


ANDERSON WAHLEN & ASSOCIATES 2010 North Riverside Road, Salt Lake City, Utah 84116 (801) 581-8322 • andersonwahlen.com	
Utility Plan Cheddar's Scratch Kitchen 4173 Riverside Road Riverdale, Utah 84405	21 Sep, 2021 C3.1

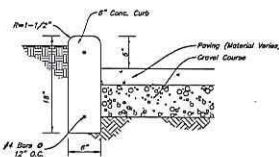
- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
 - Space rebar and dowels at 12 to 15 inches on center.
 - Extend dowels to provide movement in expansion joints.
 - Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
- SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or reveal concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent freezing and revealing the concrete. Cut joints to eliminate recommended by sealant manufacturer and approved by ENGINEER.
- JOINTS:** Lay out joints to aid construction and control random cracking.
 - Joint Spacing shall be 12 feet maximum on center in both directions.
 - Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
 - Make adjustments to joint locations to meet joint or manhole locations.
 - Expansion joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
- JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D594. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
- BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
- JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.



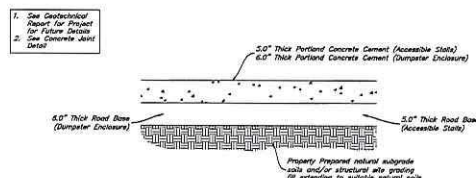
9 Concrete Joint Detail
Not to Scale



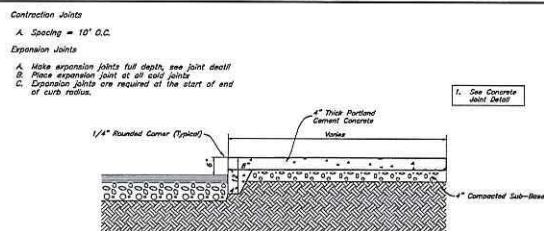
8 Curb Transition
Not to Scale



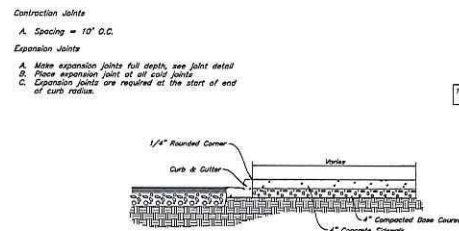
7 Curb Wall Detail
Not to Scale



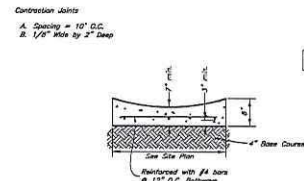
6 Concrete Paving Section
Not to Scale



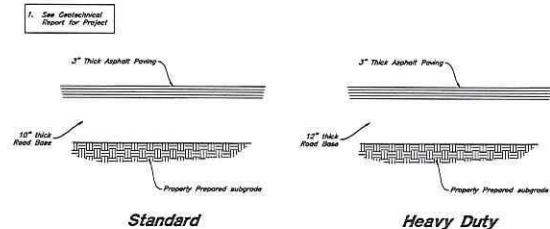
5 Thickened Edge Walk
Not to Scale



4 Typical Sidewalk Detail
Not to Scale

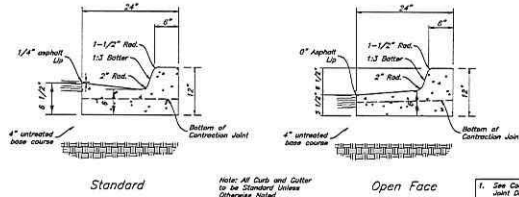


3 Typical Waterway Detail
Not to Scale



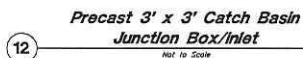
2 Asphalt Section
Not to Scale

- Contraction Joints
 - Spacing = 10' O.C.
 - 1/8" side by 2" deep from top of curb at 15'-0" intervals
- Expansion Joints
 - Make expansion joints full depth, see joint detail
 - Place expansion joint at all solid joints
 - Expansion joints are required at ends of all road O.D.
 - Anchored 2"x2" on each side of bridge structure
 - Required of 90'-0" maximum intervals in straight curb and gutter
 - Provide #4 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (5" thick bituminous filler material)
- 2'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement
- Provide (2) #6 x 2'-6" long tie bars to connect existing and new curb and gutter
- Remove forms as early as possible. Brush top and face of curb to remove all imperfections. Typical of all turn work.
- All rebar shall be true area
- Medium to light brown finish on all exterior surfaces



1 24" Curb And Gutter
Not to Scale

DESIGNED BY: JF	DATE: 2/2/2010
DRAWN BY: JC	DATE: 2/2/2010
CLIENT: Anderson Walen & Associates	DATE: 2/2/2010
PROJECT: 10-25487	DATE: 2/2/2010
Anderson Walen & Associates 2010 West Riverdale Road, Suite 100, City, Utah 84115 (801) 531-3033 - jwalen@awac.com	
Details Cheddar's Scratch Kitchen 4173 Riverdale Road Riverdale, Utah 84405	
21 Sep, 2021 SHEET NO. C4.1	





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IMPORTANT - NOTES FOR THE WELDING AND INSTALLATION OF THE SC-740 SYSTEM

9. <https://doi.org/10.1002/anie.201910000>, *Angew. Chem. Int. Ed.* 2019, 58, 10000.

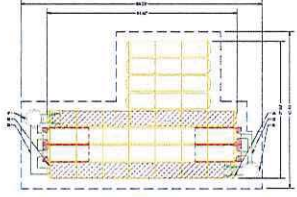
- NOTES FOR CONSTRUCTION EQUIPMENT**

9. <https://doi.org/10.1016/j.jmbs.2019.105404>

- [illegible]



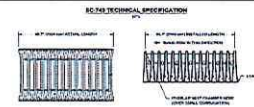
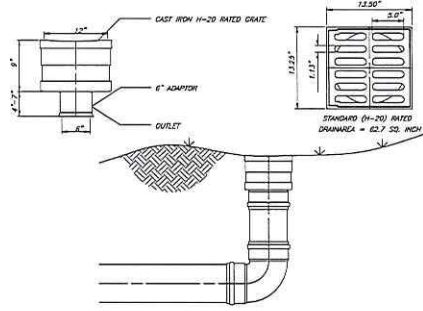
- [illegible]

[illegible]ACCEPTABLE FILL MATERIALS: BTGMTECH 2G-740 CHAMBER SYSTEMS[illegible]

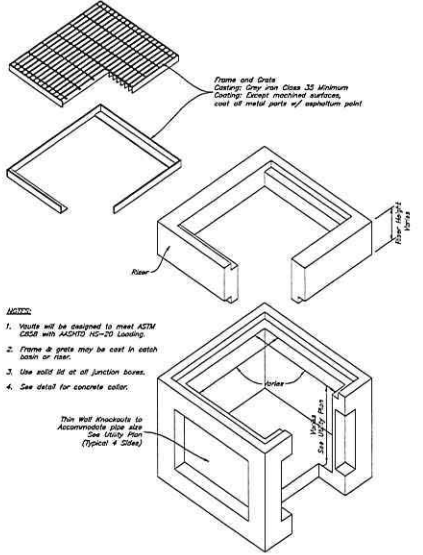
NOTES:

1. Consent shall mean the authorization of a person to release, reproduce, or otherwise use in any form, any information, data, or other material, in whole or in part, in any medium.
2. Consent shall not be deemed to be an admission of liability or an acknowledgment of any fault or error, or a statement of any fact, or a statement of any opinion, or a statement of any intention, or a statement of any belief, or a statement of any knowledge, or a statement of any understanding, or a statement of any agreement, or a statement of any other matter.
3. Consent shall not be deemed to be a statement of any fact, or a statement of any opinion, or a statement of any intention, or a statement of any belief, or a statement of any knowledge, or a statement of any understanding, or a statement of any agreement, or a statement of any other matter.
4. Consent shall not be deemed to be a statement of any fact, or a statement of any opinion, or a statement of any intention, or a statement of any belief, or a statement of any knowledge, or a statement of any understanding, or a statement of any agreement, or a statement of any other matter.
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10. Consent shall not be deemed to be a statement of any fact, or a statement of any opinion, or a statement of any intention, or a statement of any belief, or a statement of any knowledge, or a statement of any understanding, or a statement of any agreement, or a statement of any other matter.

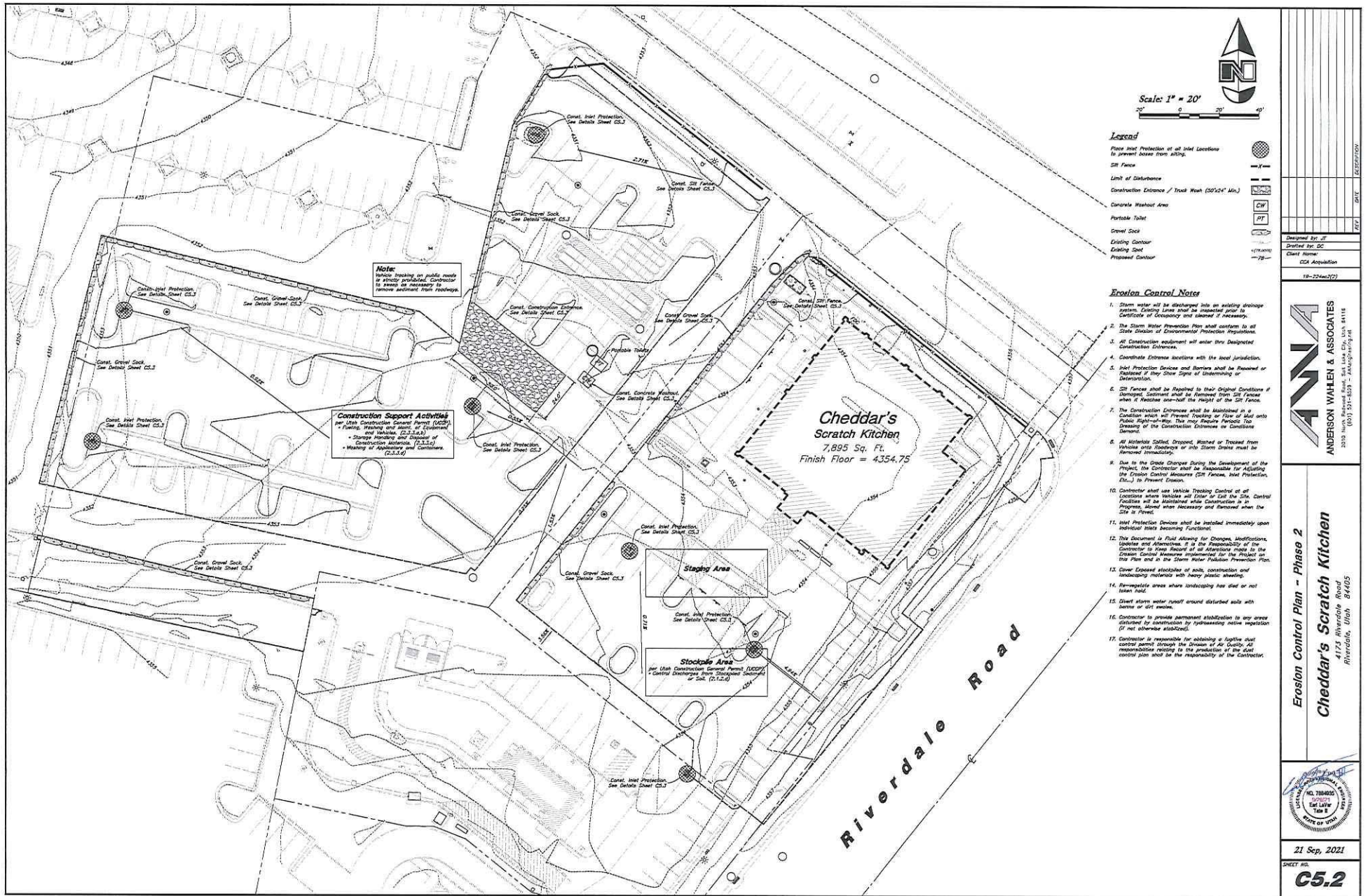
18 SC 740 - Underground Retention Details
Not to Scale

[illegible][illegible]

19 **12" Landscape Drain**
Not to Scale



17 **Precast Catch Basin**
Not to Scale



Erosion Control Plan - Phase 2
Cheddar's Scratch Kitchen
4173 Riverdale Road
Riverdale, Utah 84405



21 Sep, 2021
SHEET NO.
C5.2

PLANT SCHEDULE

SYMBOL	QTY	SYMBOL / COMMON NAME	SIZE
	3	Elaeagnus 'Nivea' / Nivea Shrub	2" Cal. / 8-10" Ht.
	5	Juniperus squarrosa 'Grey Green' / Grey Green Juniper	6-8" Ht.
	8	Kalmia latifolia 'Nana' / Golden Rule Tree	2" Caliper
	1	Pyrus calleryana 'Chanticleer' / Chanticleer Pear	2" Cal. / 6-8" Ht.
	10	Syringa villosa 'Nana' / Nana Japanese Tree Lilac	2" Caliper
DECIDUOUS	QTY	SYMBOL / COMMON NAME	SIZE
	52	Buxus 'Savannah' / Chippendale Green Boxwood	5 gal
	4	Parthenocissus 'Gold Tides' / Golden Tide Parthenocissus	5 gal
	75	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper	5 gal
	5	Picea pungens 'Glauca' / Dwarf Blue Spruce	5 gal
	4	Prunus x cistena 'Purple Leaf Sand Cherry' / Purple Leaf Sand Cherry	5 gal
	61	Rhus aromatica 'Crispa' / Dwarf Fragrant Sumac	5 gal
	116	Ribes alpinum 'Green Mount' / Green Mount Alpine Currant	5 gal
	34	Rosa x 'Walter Pater' / Red Drift Rose	5 gal
	28	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	5 gal
	64	Spiraea x bumalda 'Neon Flash' / Neon Flash Spirea	5 gal
	15	Taxus x media 'Dark Green Spreading' / Yew	5 gal
PERENNIALS	QTY	SYMBOL / COMMON NAME	SIZE
	16	Colonyopsis x 'Savannah' / Savannah Feather Reed Grass	1 gal
	12	Helleborus x 'Savannah' / Savannah Blue Bell	1 gal
	32	Hemerocallis x 'Savannah' / Savannah Day Lily	1 gal
	9	Hebe x 'Savannah' / Savannah Heath	1 gal
LAWN	QTY	SYMBOL / COMMON NAME	SIZE
	4,592 sf	Poa pratensis / Kentucky Bluegrass Lawn	seed

MATERIAL SCHEDULE

	Decorative Stone #1 - Install a (3) Three inch Depth over Swift Pro's Wood Barrier. Stone shall be used in Shrub Planters where shown on Plans. Stone shall be Weathered. Stone to Installation Stone shall be 1 1/2" Diameter South Facing. Stone from a Local Source.	Detail: 3/1.2
	Decorative Stone #2 - Install a (6) Six inch Depth over Swift Pro's Wood Barrier. Stone shall be used in Shrub Planters where shown on Plans. Stone shall be Weathered. Stone to Installation Stone shall be 2-4" Diameter South Facing. Stone from a Local Source.	Detail: 3/1.2
	3-4' Dia. Min. Landscape Boulder - Boulder shall be Angular, Earth Tone Color and Shall Match Decorative Stone. All Boulder shall be Recessed (3) Three inches into Ground and Blended upon Completion.	Detail: 4/1.2

General Landscape Notes

- Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified materials. The contractor shall provide sufficient quantities of plants noted in the symbol count or to fit the area shown on the plan using the specified species. Plant late possession over plant schedule quantities.
- Contractor shall install Blue Stone before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, alterations, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall assume the sole conditions under which the work is to be performed and notify the general contractor at writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See all civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Cleanup must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock. Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.

- It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary precautions to avoid water, electric, utility, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee its or plants.
- The contractor shall install all landscape material per plan, notes and details.
- All existing and relocated trees shall be properly protected. Trees damaged during construction shall be replaced at no cost to the owner.
- Plant names are abbreviated in the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimator quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Imported topsoil shall be used for landscape areas. The landscape contractor shall perform a soil test on imported topsoil and amend per soil test recommendations. Soil test to be done by certified and testing agency. Provide new imported topsoil from a local source. Imported topsoil must be a premium quality silt loam, free of rocks, clods, roots, and plant material.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by working the soil to a depth of 6 inches in order to create a topsoil layer between existing and new soils.
- Provide a 12" depth of imported topsoil in parking islands and on 6 inch depth in all other shrub areas.
- All plant material shall be dug twice the diameter of the rootball and 6 inches deeper. Excess material shall be removed from the site and replaced with plant quality material. The top of the root ball, shall be planted flush with the finish grade.
- Plant quality mix shall be composed of 3 parts topsoil to 1 part soil mix and shall be mixed at the planting hole. Dress water of plant material immediately after planting. Add fertilizer mixture to depressures as needed.

- All new plants to be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the burlap removed and shall be cut and balled from the trunk upwards 1/3 of the root ball. (Do not cut the burlap and remove the soil inside).
- Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Swift Pro's Wood Barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
- All deciduous trees shall be double staked per tree staking detail. It is the contractor's responsibility to remove tree staking in a timely manner once staked trees have taken root. Deciduous tree size to be V.L.T. Crotch Tree JCT32.
- Install landscape concrete curbing between lawn and shrub areas. Curbing shall be installed level and uniform and shall match top finish grade of concrete walks and curbs. See landscape concrete curbing detail.
- Provide a 4 inch depth of imported topsoil in all lawn areas.
- Soil must be premium quality, evenly cut, established, healthy, weed and disease free, and from an approved source.
- All lawn areas to have uniform grades by final grading. Prior to laying sod, apply a starter fertilizer at a rate recommended by the manufacturer. Sod shall be laid with no gaps between pieces on a carefully prepared topsoil layer. Sod to be slightly below finish grade and concrete walks and curbing. The sod must be immediately watered after installation. Any burned areas will require replacement. Aligned sod shall be placed in a healthy green sodded area of the sod without water waste.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.



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21 Sep, 2021
SHEET NO.
L12

Landscape Schedules, Notes & Details
Cheddar's Scratch Kitchen
4173 Riverview Road
Riverside, Utah 84405

Designed by: JF
Drafted by: SC
Client Name:
OGA Acquisition
19-2746-2
ANDERSON WAHLEN & ASSOCIATES
2010 North River Road, Salt Lake City, Utah 84116
(801) 521-8833 - andersonwahlen.com

REV. DATE DESCRIPTION
1 11/1/2019

	Manufacturer's Model #	Description	Note	Dish#
Sprayside				
	Rain Bird 1824 w/ Nuttall MP7000 Nozzle	*† Plug-Up Ratchet with Adjustable Nozzle as Shown on Plan	Adjust Radial Reduction Screw as Installed In Achieve Approximate Road Changes	13/
	Rain Bird 1824 w/ Nuttall MF7000 Nozzle	*† Plug-Up Ratchet with Adjustable Nozzle as Shown on Plan	Adjust Radial Reduction Screw as Needed In Achieve Approximate Road Changes	13/
	Rain Bird 1824 w/ Nuttall AF7000 Nozzle	*† Plug-Up Ratchet with Adjustable Nozzle as Shown on Plan	Adjust Radial Reduction Screw as Needed In Achieve Approximate Road Changes	13/
Valves				
	Rain Bird 10D-PCB Rain Bird 12D-PCB	Learn Remote Control Valve	If B 1 1/2 Inch Size Install in Standard Valve Box With "J" Depth of Ground over Wead Barrier; install with Water Proof Wire Connectors Required Valves Shall Be Installed Inside of a Pressure Reducer Valve	12/
	Rain Bird XCE-190-MPB-COM	Drop Remote Control Valve KZ	1 Inch Size install in Standard Valve Box With "J" Depth of Ground over Wead Barrier; install with Water Proof Wire Connectors	1/2
	Rain Bird 64KIC	Quick Coupler with Swing Joint	1 Inch Size install in 10" Round Valve Box With "J" Depth of Ground over Wead Barrier	2A/
	Metro-Hanna TSS	Manual Drain Ball Valve	1 inch Size install at End of the Mainline in a 10" Round Valve Box With wead Barrier and a Cover Cap.	11/
Drip				
	PVC Pipe To Drip Tubing	Provide Connection Fittings	Install 17' feeder Line To All Drip Areas	8/
	Rain Bird MTS-100 Rain Bird MTG-100 Rain Bird CDS-100 Rain Bird SCS-100 Rain Bird DSX-100 Rain Bird DRX-100C/P	1) Distribution Tubing - Flow shown on plan is Scientific Adjust as needed. 2) Distribution tubing - install one per emitter. 3) Emitter Spacing (2 1/2") = 1 per Footwork/Covermental Groove, 2 per Strich, & 4 per Tree If Down Steps - Tubing Is to Extend every 3' Officer Day Gap - Install one per Center Remountable Flank Cap - install at Each End of each Line		48E/
P.O.C Components				
	Master Orinal Mask # 1	Stop & Waste Valve	1 1/2 inch Size install in 10" Round Valve Box With Wead Barrier and Groud Cap	7A/
	Hillside JTRSC	Reduce Pressure Backflow Assembly (State Approved Backflow Device)	1 1/2 inch Size backflow Check Be Properly installed & Tested to Meet County Requirements, and Weld of Steel and Copper Health Guard Lines and Submittals; install in Gunshield Enclosure (#GS-2) on Poured Concrete Pad with Final Gravel (#S-2) & 2 Layer (#CD-WPWS); Enclosure Cover Is to Be Mounted Top	10/
Pipes				
	Schedule 40 PVC	Mainline Pipe	1 1/2 x 1 inch Size See Plan for Location Schedule 40 FITING shall Be Used for Mainline Components	1A/
	Schedule 40 PVC	Lateral Line Pipe	See Plan for Pipe Sizes Pipes Unvented Shall Be 1 inch, Minimum Pipe Size Shall Be 1 inch for PVC Pipe	
Controller & Accessories				
	Rain Bird ESP-AMMO Rain Bird DSP-MSU	4 Zone Station Indoor Controller or Digital Expansion Module	See Plan for Location of Controller; Consider Power Supply With Building Electrical Contractor	6A/
Sleeving				
	Schedule 40 PVC	Provides for Ht. Manholes, Laterals, and Controller Wire Located Under Concrete and Asphalt Pavement or Limited Drains	Contractor Shall Coordinate the Installation of Slewing with the Installation of Obstacles Features and Asphalting during all Construction Phases. If Necessary, Contractor Utilizes Other Methods as Directed by Engineer	5A/
		Vine Canal	Vine Aerator Vine Hole	

WASTE STREAM	WASTE SIZE	IRIGATION TYPE	FLOW (GPM)	PSI	PSI at POC	PRECIP. RATE
1	1/2"	Turf Rotary	17.89	44.13	64.33	0.38 in/h
2	1"	Area for Drip Emitters	48.54	46.12	6.87	in/h
3	1"	Area for Drip Emitters	6.19	35.05	50.49	0.7 in/h
4	1"	Area for Drip Emitters	7.26	33.01	51.68	0.71 in/h
5	1"	Area for Drip Emitters	3.93	33.01	47.22	0.62 in/h
6	1"	Area for Drip Emitters	4.41	35.15	43.49	0.77 in/h
7	1"	Turf Rotary	5.56	51.88	58.62	0.59 in/h
8	1"	Turf Rotary	8.75	44.48	58.96	0.45 in/h
9	1"	Area for Drip Emitters	48.00	34.14	28.93	7.73 in/h

