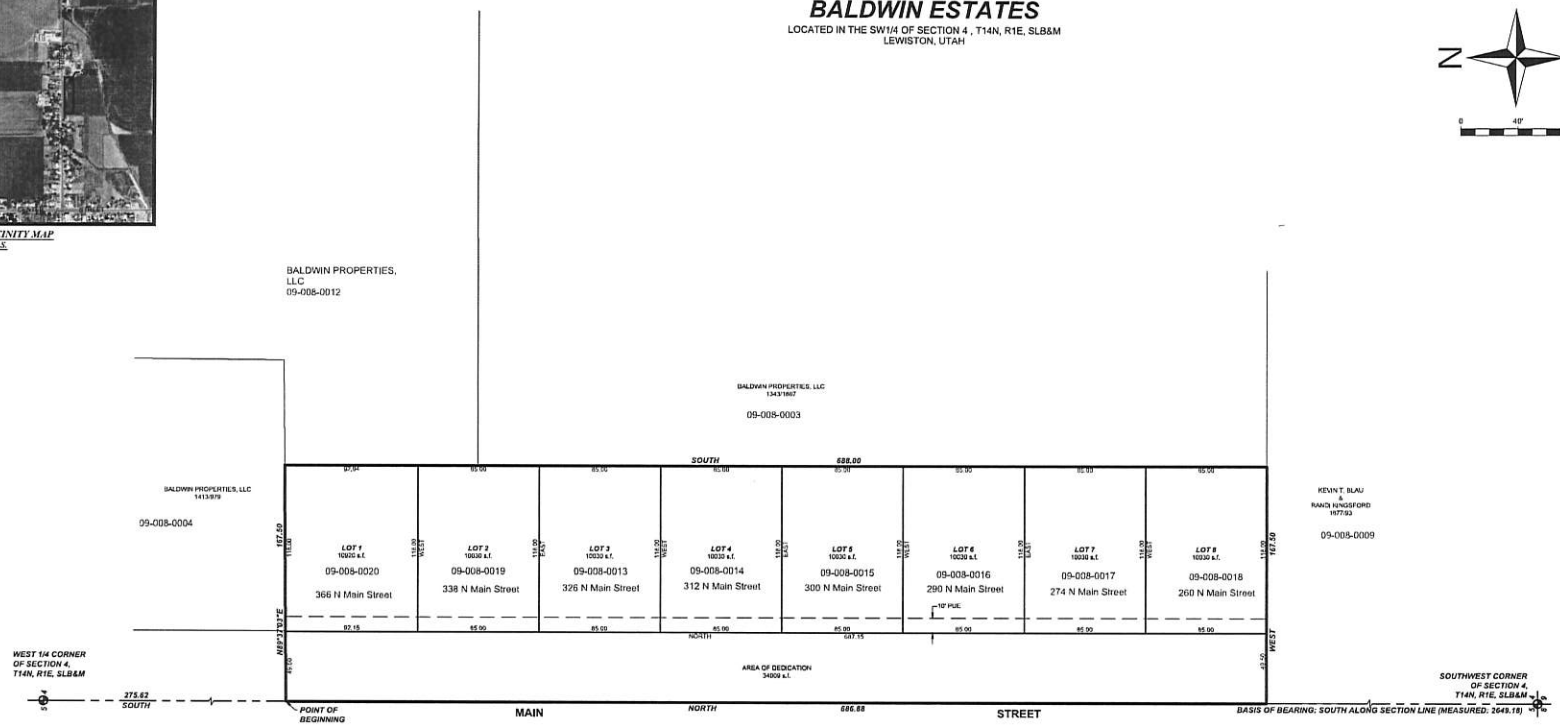
FINAL PLAT
OF
BALDWIN ESTATES
LOCATED IN THE SW1/4 OF SECTION 4 , T14N, R1E, SLB&M
LEWISTON, UTAH

VICINITY MAP
N.T.S.



SURVEYOR'S CERTIFICATE

I, DENNIS P. CARLISLE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 172675 IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S) THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF SAID CODE, AND HAVE ALSO SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE CORRECTLY SURVEYED, STAKED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

DENNIS P. CARLISLE — DATE
PROFESSIONAL LAND SURVEYOR
CERTIFICATE NO. 172675

BOUNDARY DESCRIPTION

A portion of those Real Properties described in Deed Book 1343 Page 1887 of the Official Records of Cache County located in the SW1/4 of Section 4, Township 14 North, Range 1 East, Salt Lake Base & Meridian, Amalga, Utah, more particularly described as follows:

Beginning at a point located South along the Section line 275.62 feet from the West 1/4 Corner of Section 4, T14N, R1E, S.L.B. & M.; thence N89°37'03"E 167.50 feet along the extension of, and along the southerly line of that Real Property described in Deed Book 1413 Page 979 of the Official Records of Cache County; thence South 688.00 feet; thence West 167.50 feet to a point on the Section line located 59.33 rods south of said West 1/4 Corner; thence North along the Section line 686.88 feet to the point of beginning.

Contains: 2.64+/- acres

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENT THAT WE, THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, AND STREETS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOW AS:

BALDWIN ESTATES

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL STREETS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY ANY OTHER EASEMENTS AS SHOWN ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN HEREON.

_____ (SIGNATURE)
BALDWIN PROPERTIES, LLC

BY: _____ (PRINTED NAME)

ITS: _____

CORPORATE ACKNOWLEDGMENT

ON THIS _____ DAY OF _____, 20____, BEFORE ME _____, A NOTARY PUBLIC, PERSONALLY APPEARED BEFORE ME _____ WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORE/AFFIRMED, DID SAY THAT HE/SHE IS THE _____ OF BALDWIN PROPERTIES, LLC, A UTAH CORPORATION, AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, HE/SHE ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.

MY COMMISSION EXPIRES: _____ _____
NOTARY PUBLIC (SIGNATURE)

RESIDING IN _____ COUNTY

MY COMMISSION NO. _____ _____
(PRINTED FULL NAME OF NOTARY)
A NOTARY PUBLIC COMMISSIONED IN UTAH

PLANNING COMMISSION APPROVAL

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT, THE DEDICATION OF STREETS AND OTHER PUBLIC WAYS AND FINANCIAL GUARANTEE OF PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, THEREON ARE HEREBY APPROVED AND ACCEPTED BY THE COMMISSIONERS OF LEWISTON CITY, UTAH THIS _____ DAY OF_____, 20___.

CHAIRMAN, LEWISTON CITY COMMISSION

ATTEST:_____

TITLE:_____

CITY COUNCIL APPROVAL AND ACCEPTANCE

THIS IS TO CERTIFY THAT THIS SUBDIVISION PLAT WAS DULY APPROVED BY THE LEWISTON CITY COUNSEL ON THIS _____ DAY OF _____, 20____.

MAYOR — DATE

CITY RECORDER — DATE

CITY ENGINEER

I HEREBY CERTIFY THAT THE DATA ON THIS PLAT HAS BEEN REVIEWED AND FOUND TO BE IN CONFORMANCE WITH THE INFORMATION ON FILE IN THIS OFFICE. SIGNED THIS _____ DAY OF _____, 20___.

LEWISTON CITY ENGINEER

LEWISTON CITY ATTORNEY

I HAVE EXAMINED THE FINANCIAL GUARANTEE AND OTHER DOCUMENTS ASSOCIATED WITH THIS SUBDIVISION PLAT AND IN MY OPINION THEY CONFORM WITH THE CITY ORDINANCE APPLICABLE THERETO AND NOW IN FORCE AND AFFECT.
SIGNED THIS_____DAY OF_____, 20___.

LEWISTON CITY ATTORNEY

BEAR RIVER HEALTH DEPARTMENT

I HEREBY CERTIFY THAT THE SOILS, PERCOLATION RATES, AND SITE CONDITIONS FOR THIS SUBDIVISION HAVE BEEN INVESTIGATED BY THIS OFFICE AND ARE APPROVED FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS.
SIGNED THIS _____ DAY OF _____, 20___.

DIRECTOR, BEAR RIVER HEALTH DEPARTMENT

CACHE COUNTY SURVEYOR

I HEREBY CERTIFY THAT THE CACHE COUNTY SURVEYOR'S OFFICE HAS REVIEWED THIS PLAT AND ALL CONDITIONS FOR APPROVAL BY THIS OFFICE HAVE BEEN SATISFIED. THE APPROVAL OF THIS PLAT BY THE CACHE COUNTY SURVEYOR DOES NOT RELIEVE THE LICENSED LAND SURVEYOR WHO EXECUTED THIS PLAT FROM THE RESPONSIBILITIES AND/OR LIABILITIES ASSOCIATED THEREWITH.
SIGNED THIS _____ DAY OF _____, 20___.

CACHE COUNTY SURVEYOR

FINAL PLAT
OF
BALDWIN ESTATES
LOCATED IN THE SW1/4 OF SECTION 4 , T14N, R1E, SLB&M
LEWISTON, UTAH

civilsolutionsgroup inc.
CACHE VALLEY | P: 435.213.3762
SALT LAKE | P: 801.216.3192
UTAH VALLEY | P: 801.874.1432
info@civilsolutionsgroup.net
www.civilsolutionsgroup.net

UTILITY COMPANIES

THE UTILITY EASEMENTS SHOWN ON THIS PLAT HAVE BEEN REVIEWED AND ARE APPROVED.

DOMINION ENERGY* _____ DATE _____ ROCKY MOUNTAIN POWER _____ DATE _____

COMCAST CABLE _____ DATE _____ CENTURYLINK COMMUNICATIONS _____ DATE _____

*DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THIS PLAT, INCLUDING THOSE SET IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. § 53-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.

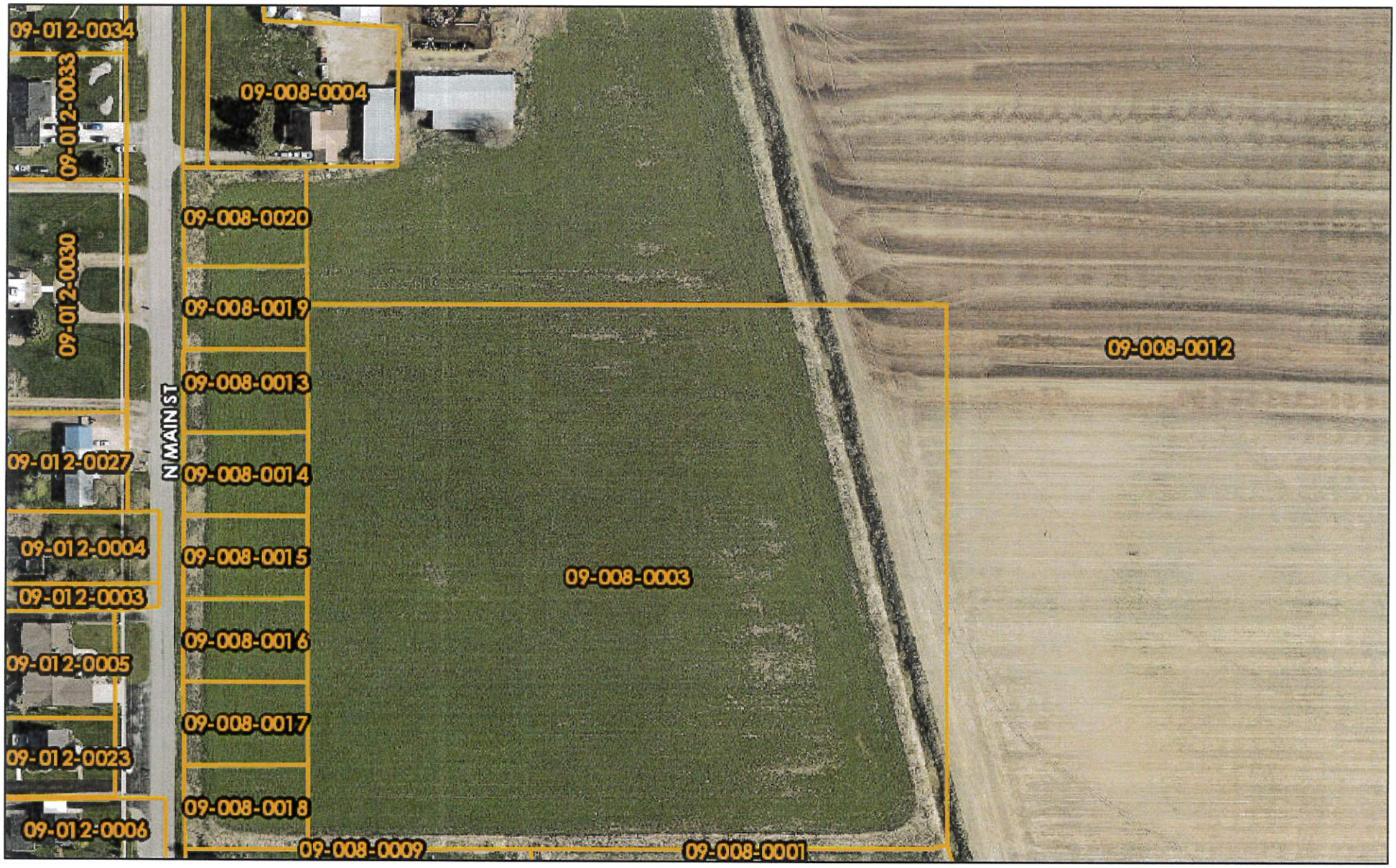
2. PURSUANT TO UTAH CODE ANN. § 17-27A-603(4)(c)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
(1) A RECORDED EASEMENT OR RIGHT OF WAY
(2) THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
(3) TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND FACILITIES OR
(4) ANY OTHER PROVISION OF LAW.

RECORDED # _____
STATE OF UTAH, COUNTY OF CACHE, RECORDED AND FILED AT THE REQUEST OF:

DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

$ _____ _____
FEE CACHE COUNTY RECORDER

Parcel Map



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Maxar, Microsoft

Class B Surface Type

ASPHALT

GRAVEL

DIRT

Municipal Boundaries

County Boundary

Cache Parcels

Web AppBuilder for ArcGIS

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Baldwin Properties

09-008-0013-20

Lewiston Building Permit

Permit #: LEW082100029
Issue Date: 09/16/2021

Application Accepted Date: 08/13/2021
Type of Improvement: Other
Description: High Tunnel building permit.... similar to a green

Bldg. Address: 557 S 800 East, Lewiston
City: Hyde Park State: UT Zip: 84318
Subdivision: no Phase:
Block: Lot #: Parcel #: 09-025-0090
Zone: A
Property Owner: Lori J Bowcutt P:(435) 757-9655
City: Lewiston State: UT Zip: 84320
Permit Contact: Lori J Bowcutt P:(435) 757-9655
Email: loribowcutt@gmail.com

CONTACT INFORMATION

Email: loribowcutt@gmail.com P: (435) 757-9655

General Contractor: Lori Bowcutt
License #: P: (435) 757-9655
City: State: Zip:
Email: loribowcutt@gmail.com

Electrical Contractor: n/a
License #: P:
City: State: Zip:

Plumbing Contractor: n/a
License #: P:
City: State: Zip:
Email:

Mechanical Contractor: n/a
License #: P:
City: State: Zip:
Email:

APPLICATION DETAILS

Other:	1248 sq. ft.	VB	U Utility, miscellane..

# Bedrooms: 0	# Bathrooms: 0
# Covered Parking: 0	# Stories: 0
Max Occupancy: 0	Fire Sprinkler: No

Valuation	$	6,500.00

PERMIT FEES

Application Fee	$	200.00
Building Fees	$	171.90
Plan Review Fees	$	0.00
State Fee	$	1.72
Total Fees:	**$**	**373.62**

APPROVALS		DATE	INFO
Fire Dept. Approved:	No		
Zoning Approved:	Yes	08/03/21	lewiston city appr
Health Dept. Approved:	No		
Water Verification:	No		
Geotechnical Approved:	No		
Plan Review Finalized:	Yes	09/16/21	Christina Atkinson

Corner Lot: no

Setbacks	Front:	Rear:	Left:	Right:
Min.	30'	10'	20'	20'
Actual:	30'	n/a	n/a	15'

APPLICATION NUMBER: PEND21-024

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I here-by certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be compiled with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.

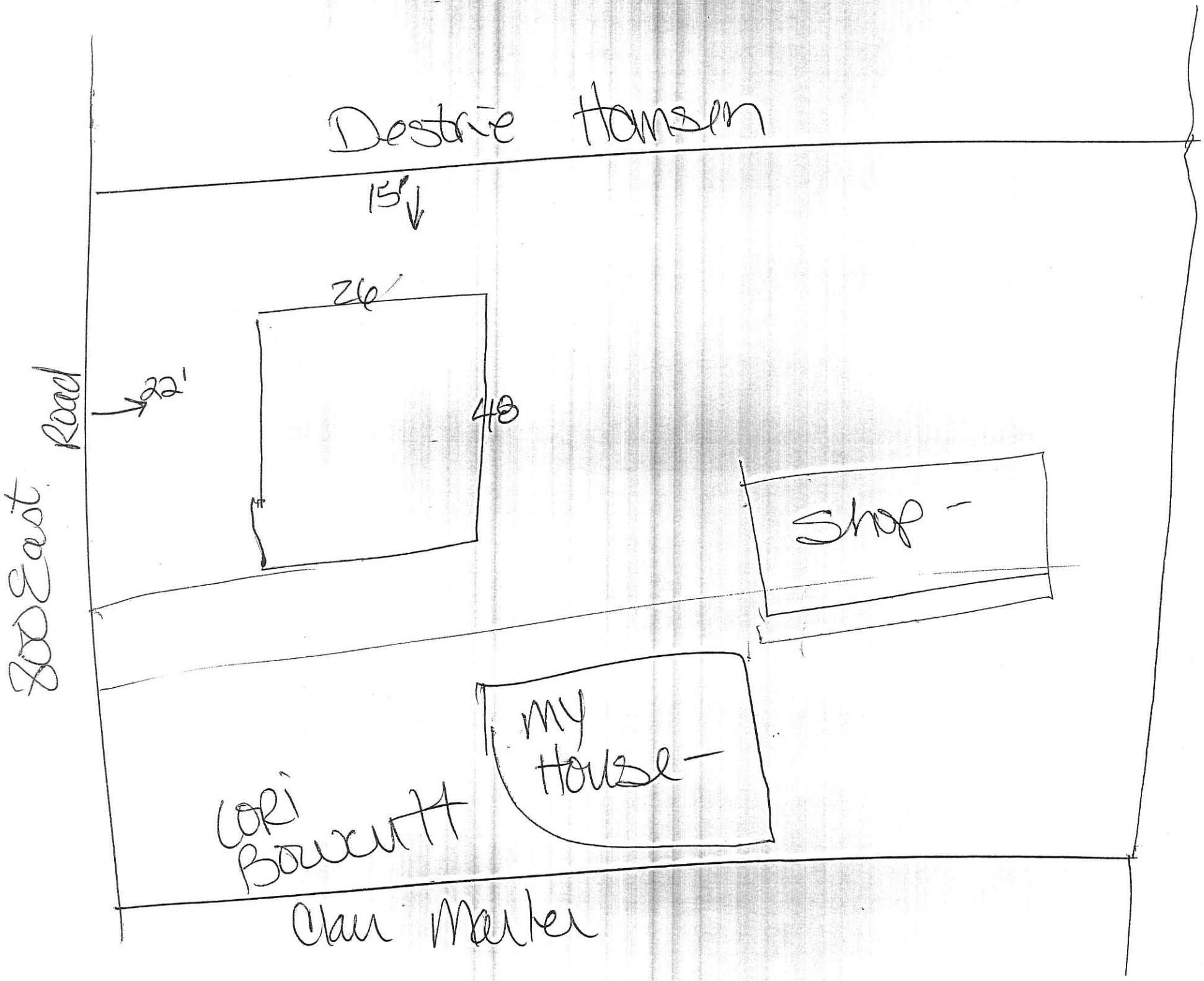
Applicant Name: Lori Bowcutt

Signature of Builder/Authorized Agent or Owner: Date:

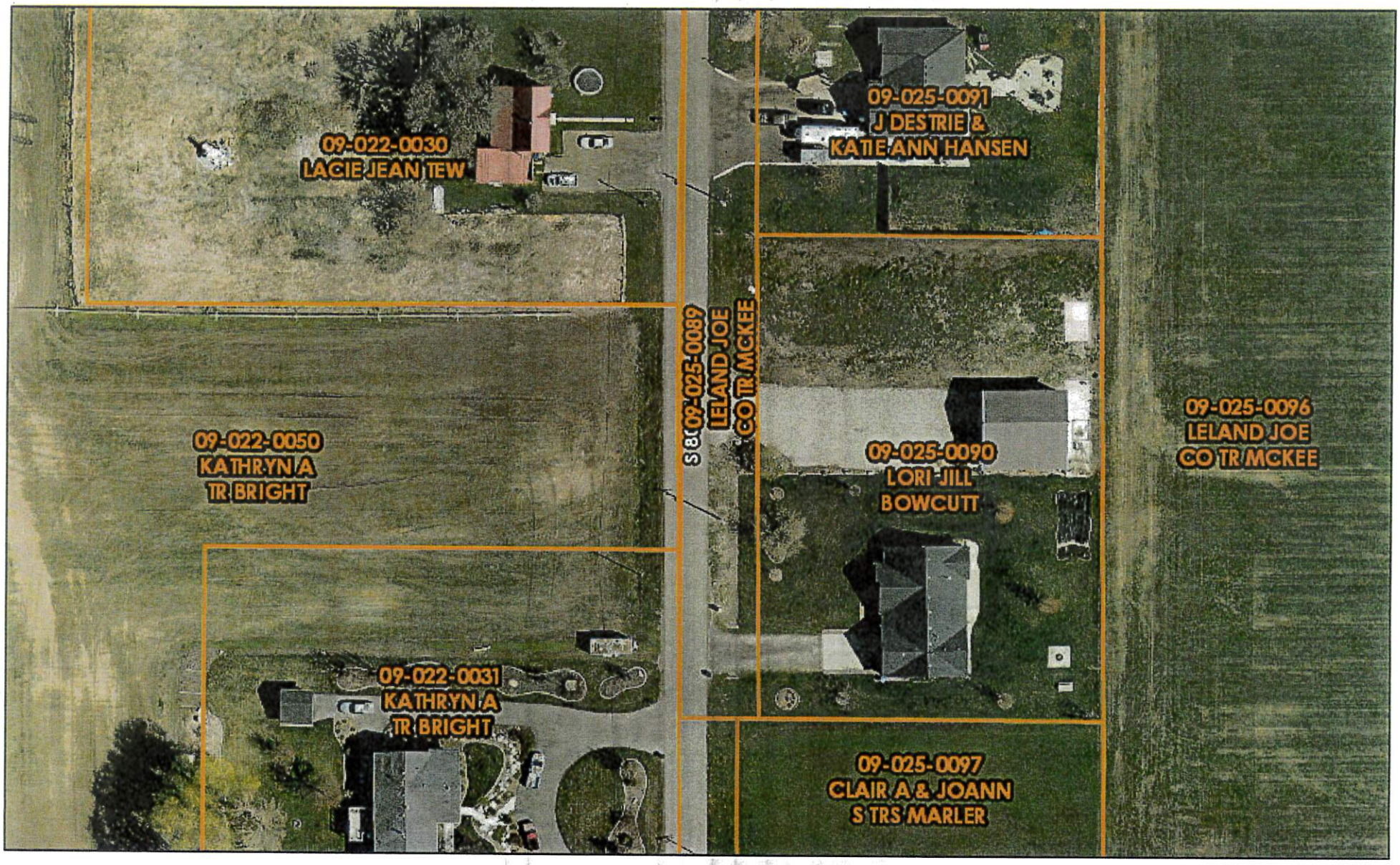
Application Approved By: Date:
Christina Atkinson 09/16/2021

Permit Issued By: Date:
Darrin Hancey 09/16/2021

Receipt #: Date:


Destrie Hansen
15'
26'
22'
48
800 East Road
Shop -
my House -
Lori Bowcutt
Clair Marler

Parcel Map



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Maxar, Microsoft

Web AppBuilder for ArcGIS

Maxar, Microsoft | Copyright:© 2013 National Geographic Society, i-cubed | National Geographic, Esri, Garmin, HERE, UNEP-WCMC, USGS, NASA, ESA, METI, NRCAN, GEBCO, NOAA, increment P Corp. | Maxar, Microsoft | Earthstar Geographics | Earthstar

LORI
Bowsta

GROWspan™
greenhouse structures

26' wide
12' tall @ high point
48' length

GrowSpan™
Round Premium Vent High Tunnel

Photo may show a different but similar model.

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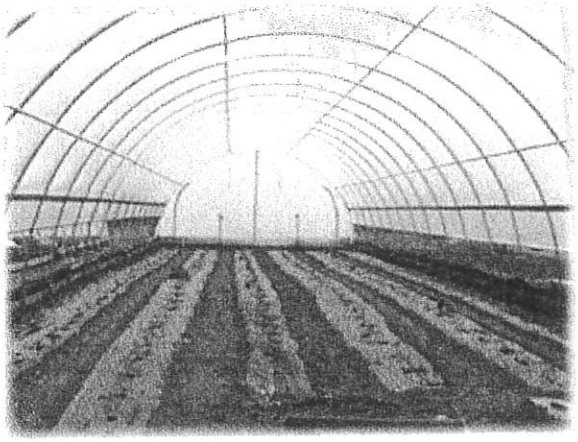
STK#	DIMENSIONS
106417	26' W x 12' H x 48' L
106418	26' W x 12' H x 72' L
106419	26' W x 12' H x 96' L

WARNING: Cancer and Reproductive Toxicity - P65Warnings.ca.gov

Revision date: 05.28.19



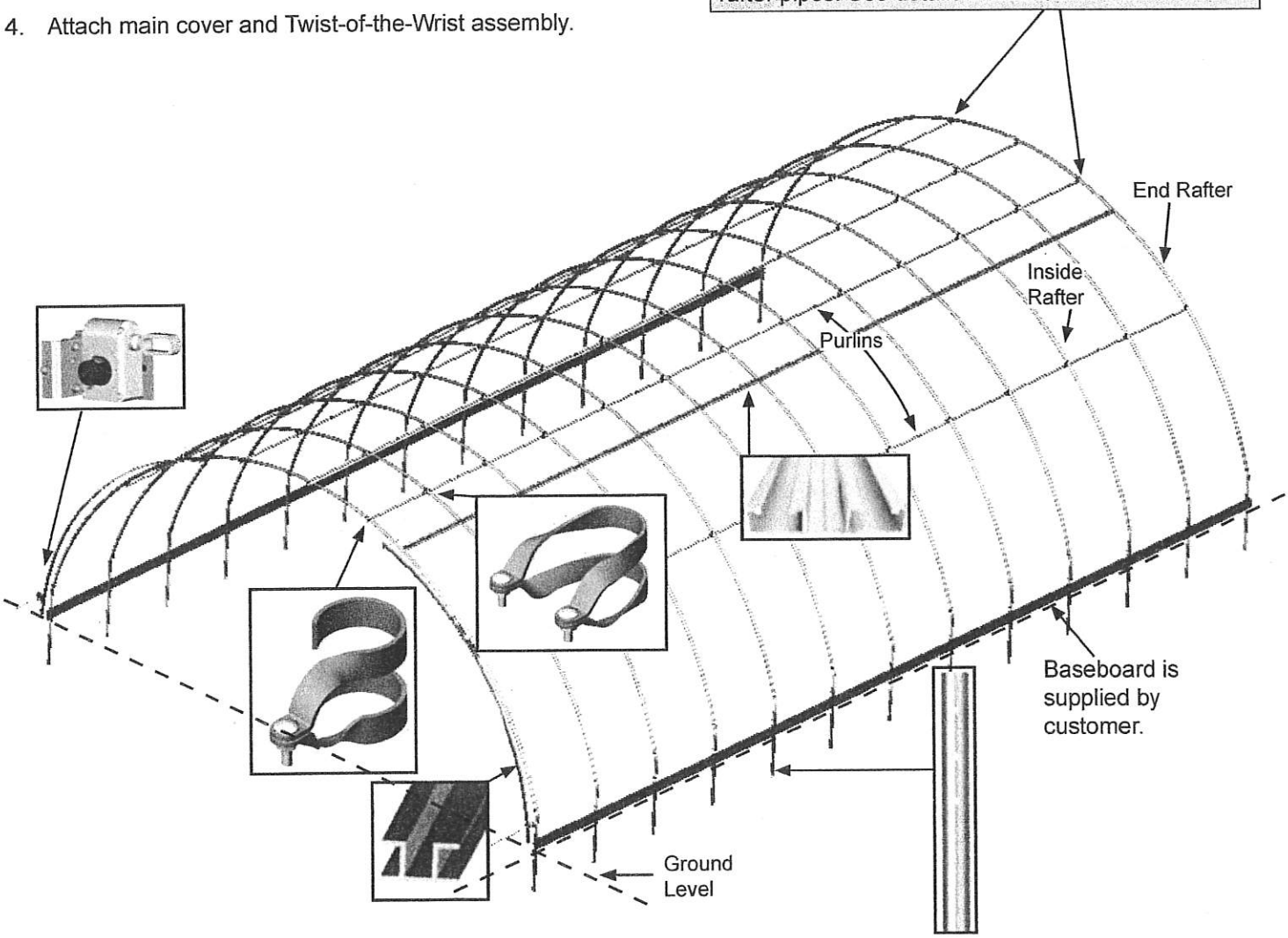
ROUND PREMIUM VENT HIGH TUNNELS

OVERVIEW

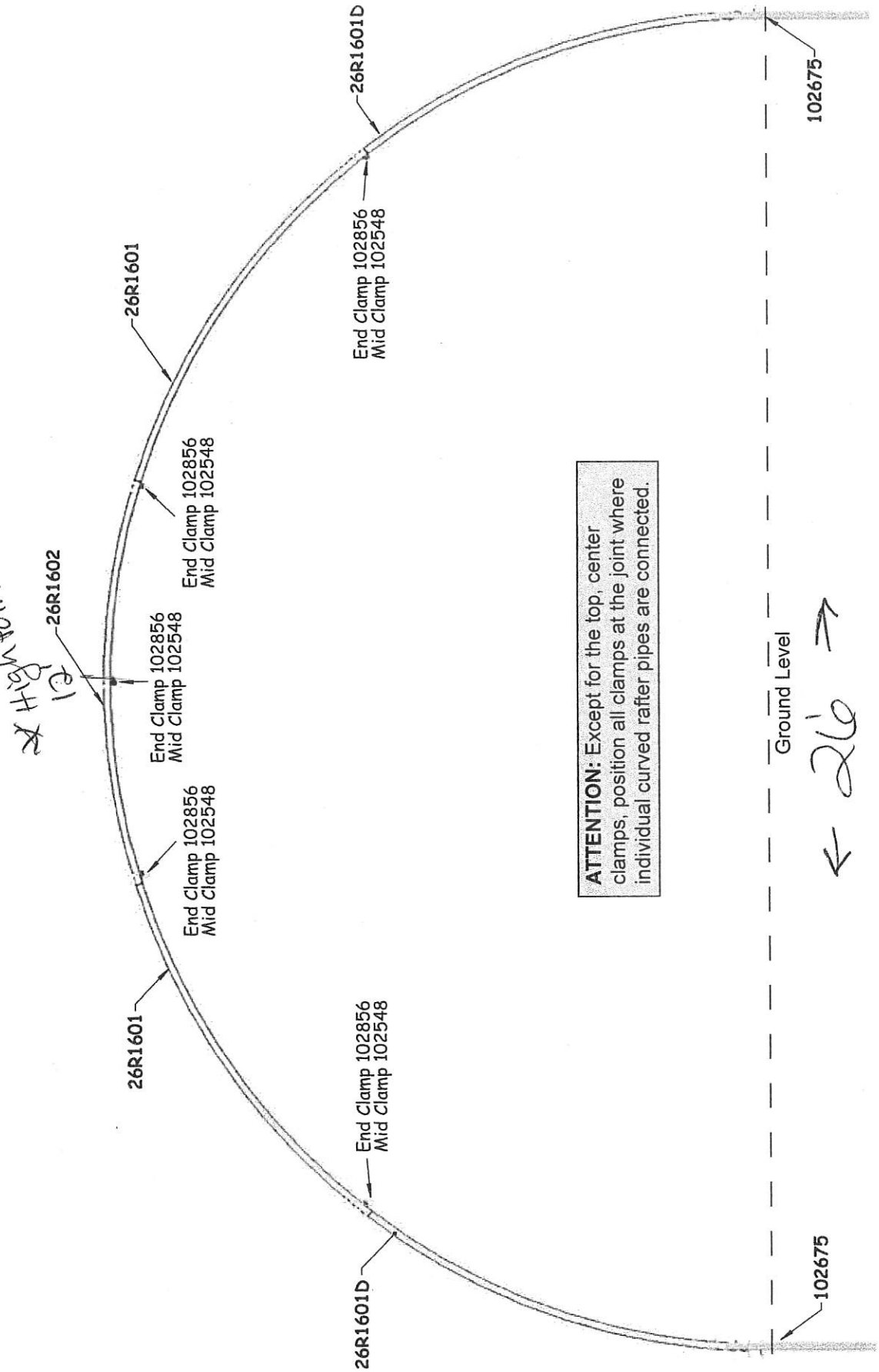
This section describes how to assemble your high tunnel shelter. See illustration below to identify main parts of high tunnel.

1. Locate the required parts for each assembly procedure.
2. Assemble the rafters and frame, and square the frame.
3. Prepare and attach end panels.
4. Attach main cover and Twist-of-the-Wrist assembly.

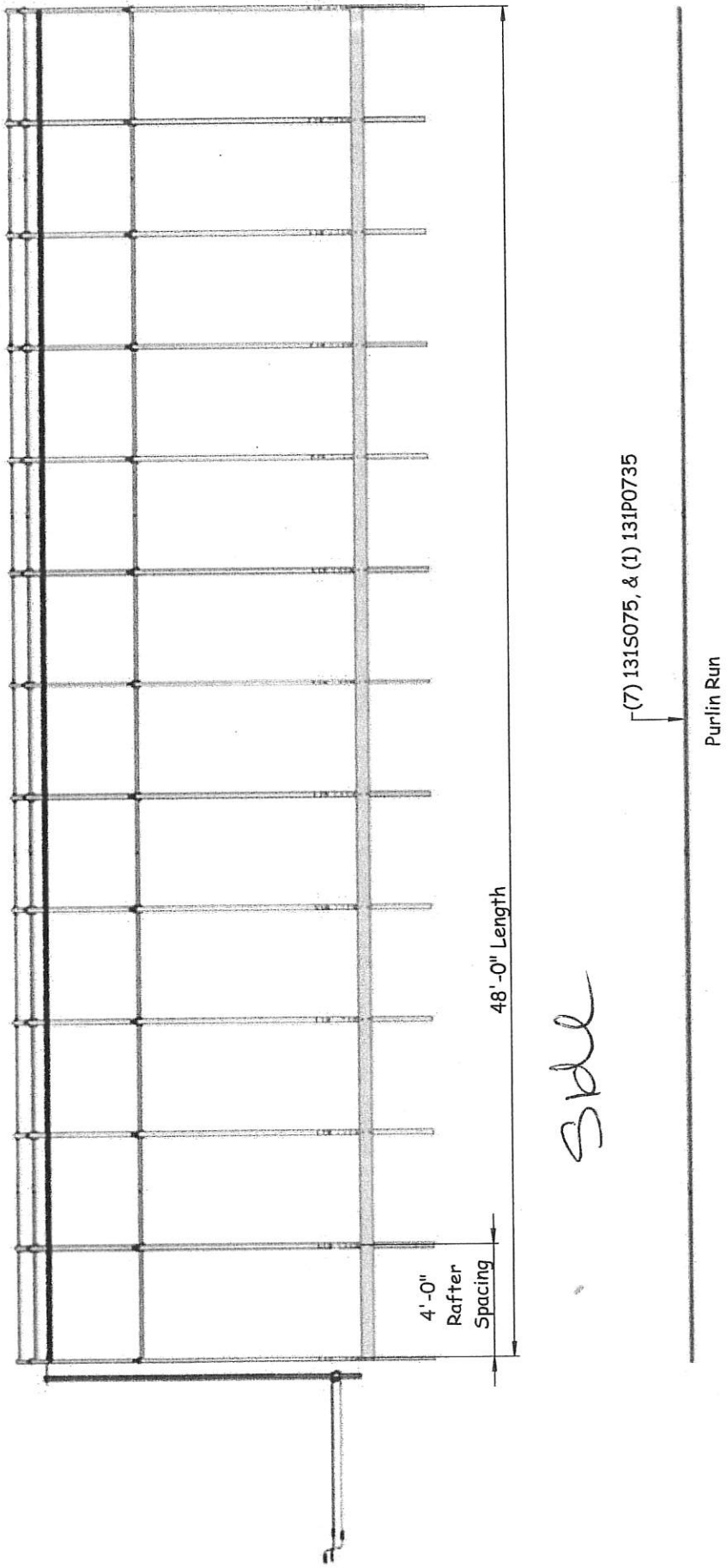
ATTENTION: Position purlins evenly during the frame assembly. Use the rafter pipe joints as guides when installing the end clamps, cross connectors, and purlins. Saddle all purlins (except the top, center purlin) in the joint created by the separate rafter pipes. See details in the Quick Start Guide.



FRONT PROFILE



SIDE PROFILE - 106417



Building Permit
Stub -

Lori
Bowcutt

for planning & zoning
Aug 3 - tues

Lewiston
Building Permit

Application Accepted Date: 08/06/2021
Type of Improvement: Accessory Building
Description: I am looking to build a storage building behind ho

Bldg. Address: 181 W 200 S
City: Hyde Park State: UT Zip: 84318
Subdivision: Phase:
Block: Lot #: Parcel #: 09-021-0005
Zone: R-1-10
Property Owner: Mark Sowder P:(435) 740-4090
City: Lewiston State: UT Zip: 84320
Permit Contact: Mark Sowder P:(435) 740-4089
Email: markso125@netscape.net

CONTACT INFORMATION

General Contractor:
License #: P:
City: State: Zip:
Email:

Electrical Contractor:
License #: P:
City: State: Zip:

Plumbing Contractor:
License #: P:
City: State: Zip:
Email:

Mechanical Contractor:
License #: P:
City: State: Zip:
Email:

APPLICATION DETAILS

Other: 1200 sq. ft. VB

# Bedrooms: 0	# Bathrooms: 0
# Covered Parking: 1	# Stories: 1
Max Occupancy:	Fire Sprinkler: No
Const. Material: Steel	

Valuation $ 0.00

PERMIT FEES

Total Fees: $ 0.00

APPROVALS		DATE	INFO
Fire Dept. Approved:	No		
Zoning Approved:	No		
Health Dept. Approved:	No		
Water Verification:	No		
Geotechnical Approved:	No		

Corner Lot: no

Setbacks	Front:	Rear:	Left:	Right:
Min.	30'	30'	10'	10'
Actual:	158'		10'	

APPLICATION NUMBER: LEW082100027

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I here-by certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be compiled with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.

Applicant Name: Mark Sowder

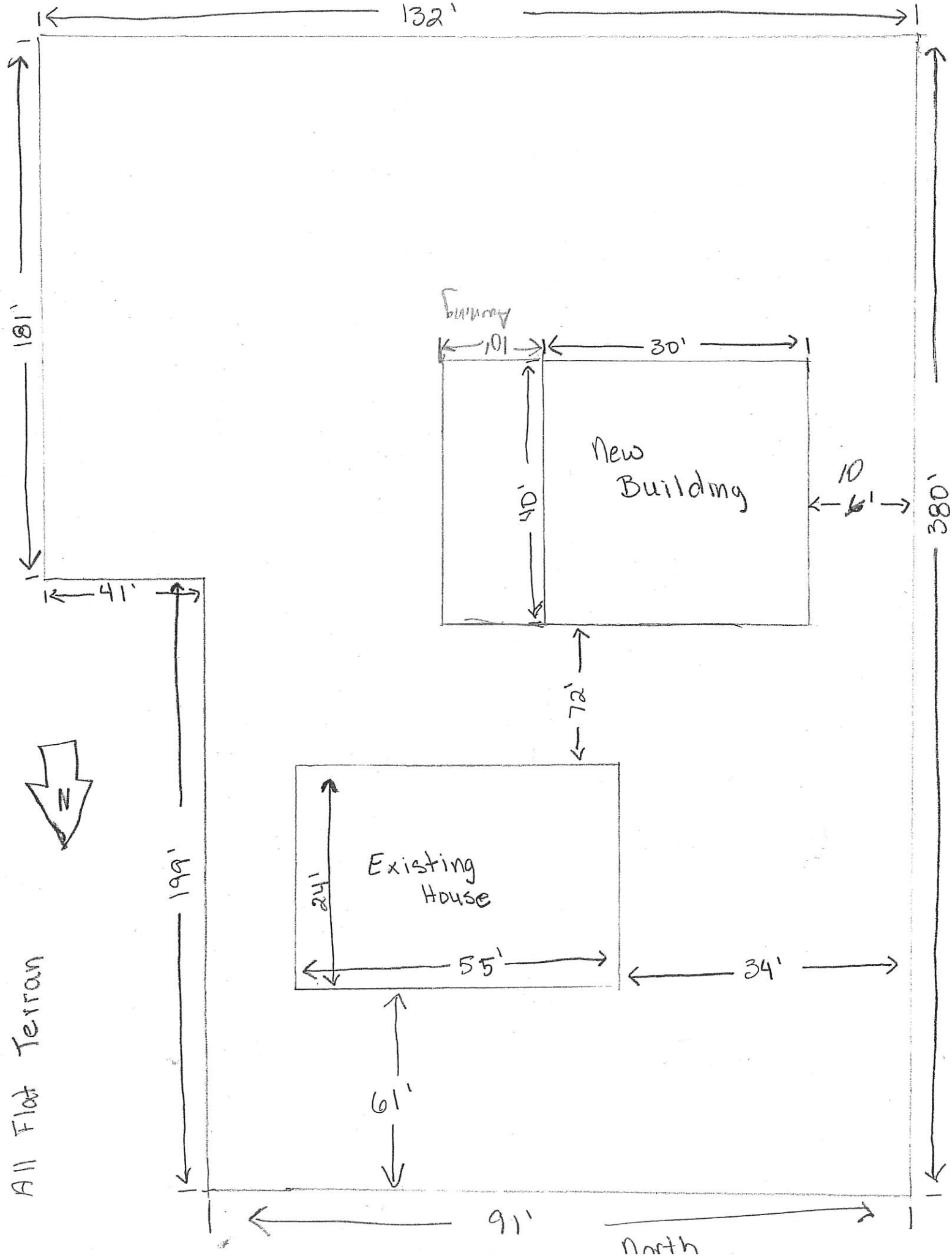
Signature of Builder/Authorized Agent or Owner: Date:

Application Approved By: Date:

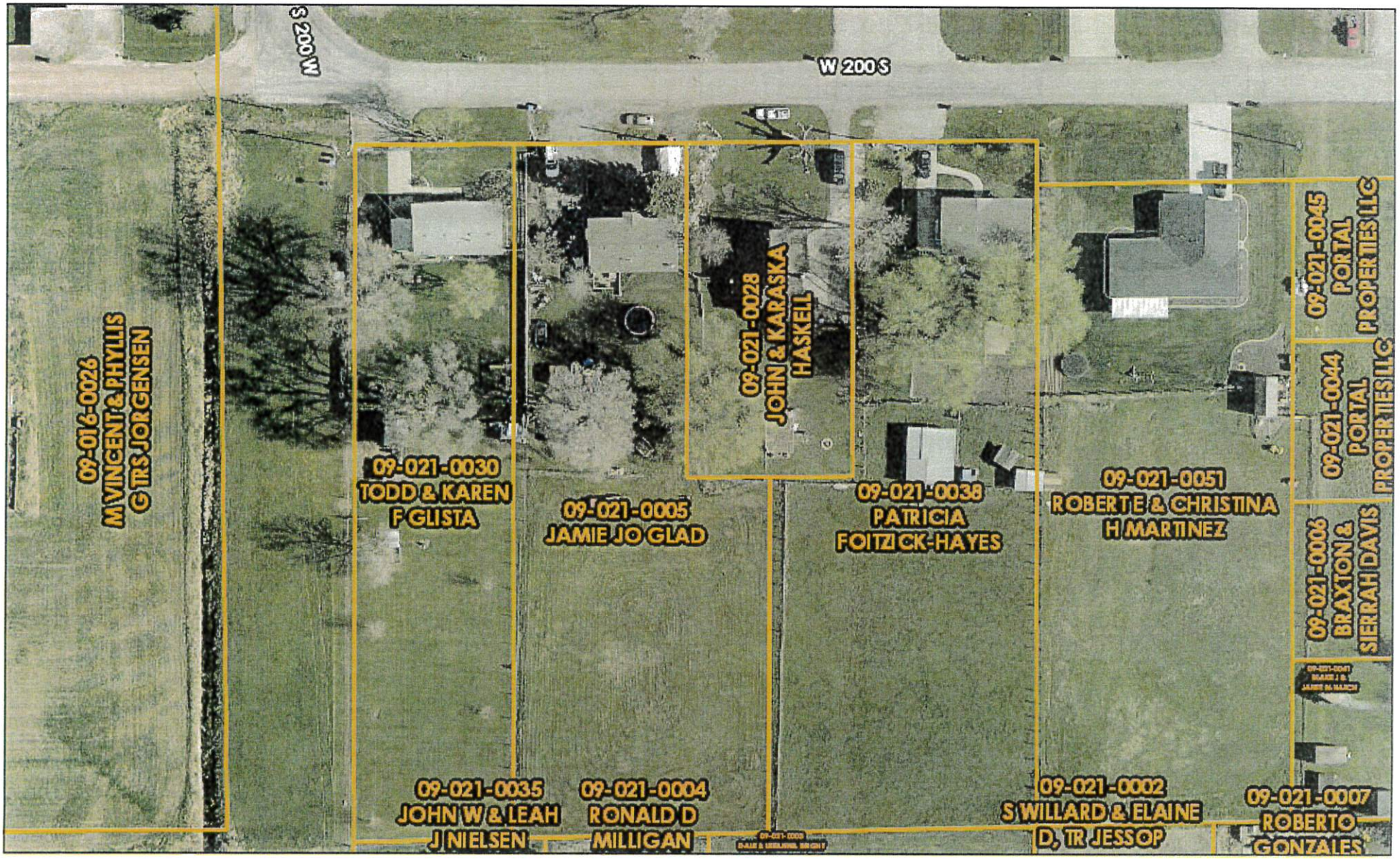
Permit Issued By: Date:

Receipt #: Date:

DRAFT


132'
181'
380'
Awning
10'
30'
New Building
40'
10
6'
41'
72'
N
199'
Existing House
24'
55'
34'
61'
91'
North
All Flat Terran

Parcel Map



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0 0.01 0.02 0.04 km

Maxar, Microsoft

Class B Surface Type

ASPHALT

GRAVEL

DIRT

Municipal Boundaries

County Boundary

Cache Parcels

Web AppBuilder for ArcGIS

Maxar, Microsoft | Copyright:© 2013 National Geographic Society, i-cubed | National Geographic, Esri, Garmin, HERE, UNEP-WCMC, USGS, NASA, ESA, METI, NRCAN, GEBCO, NOAA, increment P Corp. | Maxar, Microsoft | Earthstar Geographics | Earthstar

VersaTube Building Systems
50 Eastley Street
Collierville, TN 38017

800-810-2993 (dialpad://800-810-2993)
sales@versatube.com
support@versatube.com

Custom Structure Technical Specification

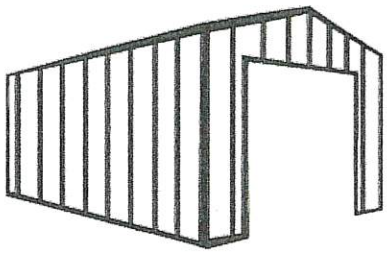
Wednesday, July 14th 2021, 10:28 AM

Design ID: 958232

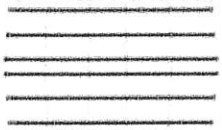
PRICE
$35,406

STRUCTURE TYPE

Summit - Fully Enlosed



With Side Hat Channel (Girts)

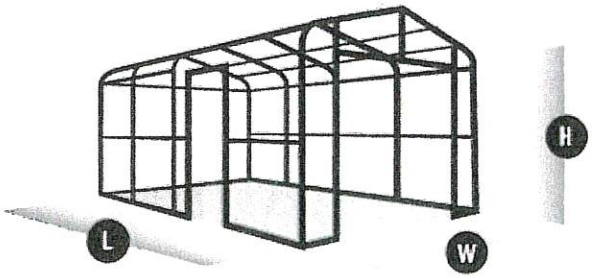


With Roof Hat Channel (Purlins)

Description:

30'x40'x16' Summit Fully Enlosed, 5' on center , (1) 12'x9' garage door opening, (1) 12'x13' garage door opening, (1) 8'x7' garage door opening, (2) walk door opening, (3) 3'x4' window opening

FRAME SPECS



WIDTH	LENGTH	HEIGHT (SIDEWALL)
30'	40'	16'

This structure is engineered to meet or exceed your local building code requirements of:

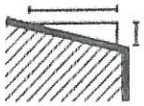
?lbs	35lbs	90MPH
GROUND SNOW LOAD	ROOF SNOW (LIVE) LOAD	WIND LOAD

Structure will be anchored to:

Concrete

Left Lean-to

TYPE / WIDTH
Continuous / 10'



ROOF PITCH
3:12

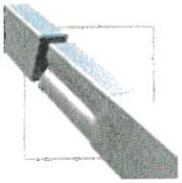
ON CENTER SPACING
5'

TRUSS BRACE TYPE
Type 5R

GROUND-TO-TRUSS CLEARANCE
15' 10 1/2"

FRAME WEIGHT
6050 lbs

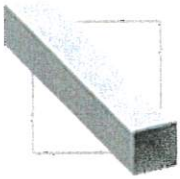
Steel Specifications



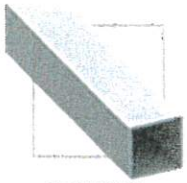
FRAME
2" x 4"
14 Gauge Galvanized Tube
Domestic Steel - 67% Recycled

ROOF PURLINS
18 Gauge Galvanized Roof Purlins
2' 11 3/8" On Center Spacing

SIDEWALL GIRTS
18 Gauge Galvanized Roof Purlins
3' 10 11/16" On Center Spacing



FRONT/BACK WALL GIRTS
1.5" Square 18 Gauge Galvanized Flush Mount Girts
5' 1 1/4" On Center Spacing



FRONT/BACK WALL VERTICALS
2" x 3" 14 Gauge Galvanized Front / Back Wall Verticals

BUILDING OPENINGS

Front

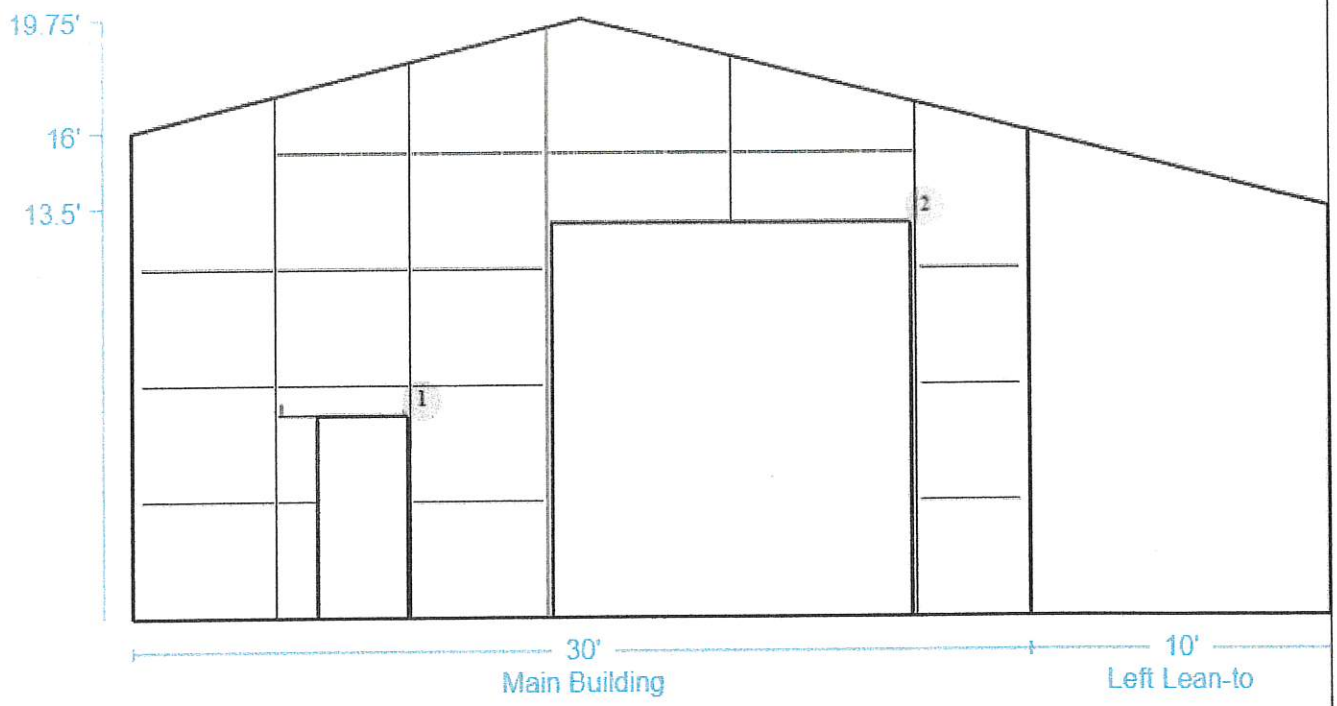
(1) Window Frame

3' x 4' DIMS	9'8" FROM LEFT	17'4" FROM RIGHT
3'8" FROM GROUND		

(2) Garage Door Frame

12' x 9' DIMS	14' FROM LEFT	4' FROM RIGHT

Back



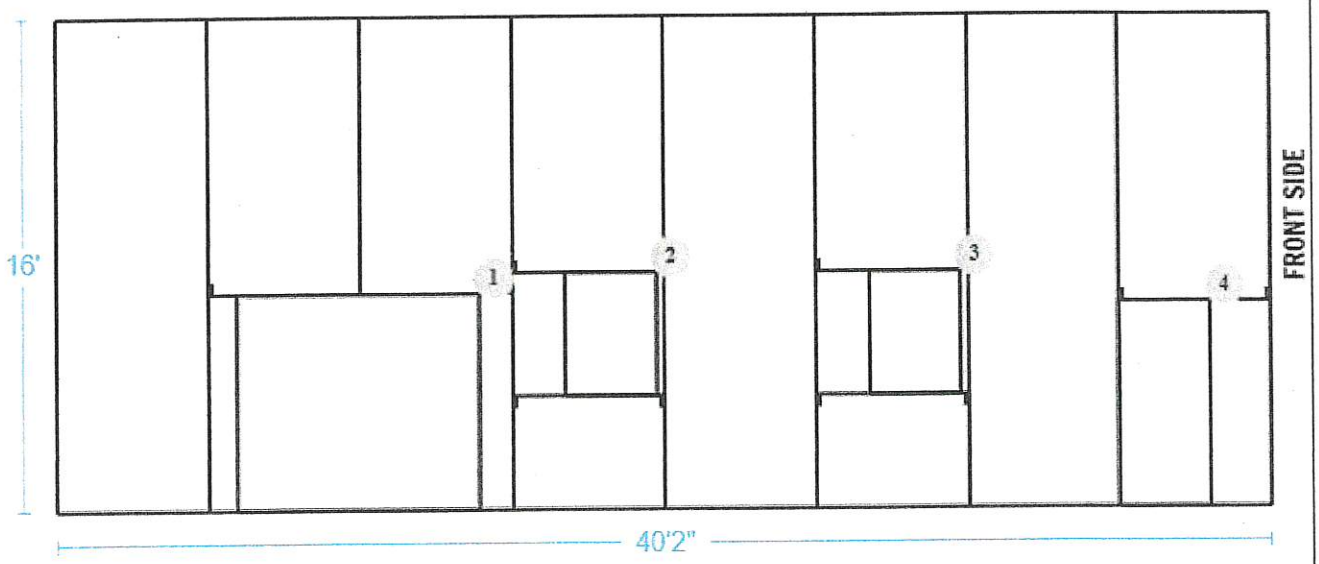
1 Walk Door Frame

3' x 6'8" DIMS	6'2" FROM LEFT	20'10" FROM RIGHT

2 Garage Door Frame

12' x 13' DIMS	14' FROM LEFT	4' FROM RIGHT

Left



1 Garage Door Frame

8' x 7' DIMS	6' FROM LEFT	26'2" FROM RIGHT

2 Window Frame

3' x 4' DIMS	16'10" FROM LEFT	20'4" FROM RIGHT
3'8" FROM GROUND		

3 Window Frame

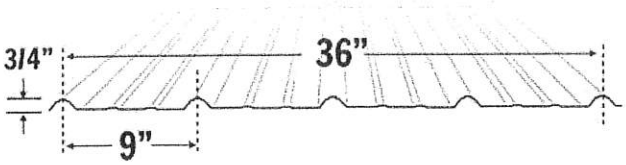
3' x 4' DIMS	26'10" FROM LEFT	10'4" FROM RIGHT
3'8" FROM GROUND		

4 Walk Door Frame

3' x 6'8" DIMS	35'1" FROM LEFT	2'1" FROM RIGHT

SHEET METAL SPECS

29 Gauge Sheet Metal



RIB SPACING	RIB HEIGHT		
9" with 5 major ribs & minor ribs	3/4" with 36" coverage	Anti-siphon feature	Durable, baked-on paint finish

Selected Sheet Metal & Trim

Roof Sheet Metal

STONE

Eave Trim

TAN

Gable Trim

TAN

Ridge Cap

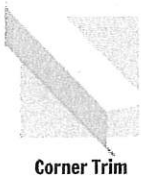
STONE

Side Sheet Metal

STONE

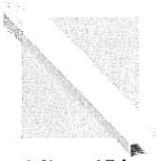
Door Trim

TAN



Corner Trim

TAN



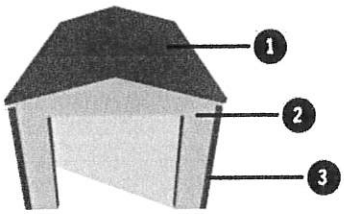
J-Channel Trim

TAN

Inside Closure Strip

Outside Closure Strip

SHEET METAL COLORS



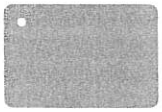
(1) ROOF COLOR

Stone

(2) WALL COLOR

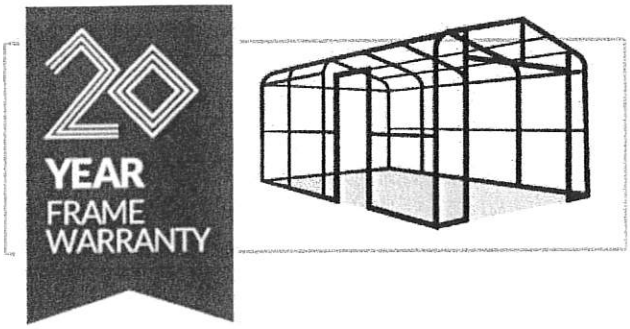
Stone

(3) TRIM COLOR



Tan

WARRANTY DETAILS



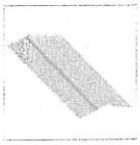
The VersaTube Product Pledge

Pledge is our way of showing that we're proud of our products and the level of quality that they represent. Your structure will go through an extensive inspection process prior to leaving our plant, but if any component should not meet your expectations, we'll be glad to replace the part at no charge within 30 days of purchase.

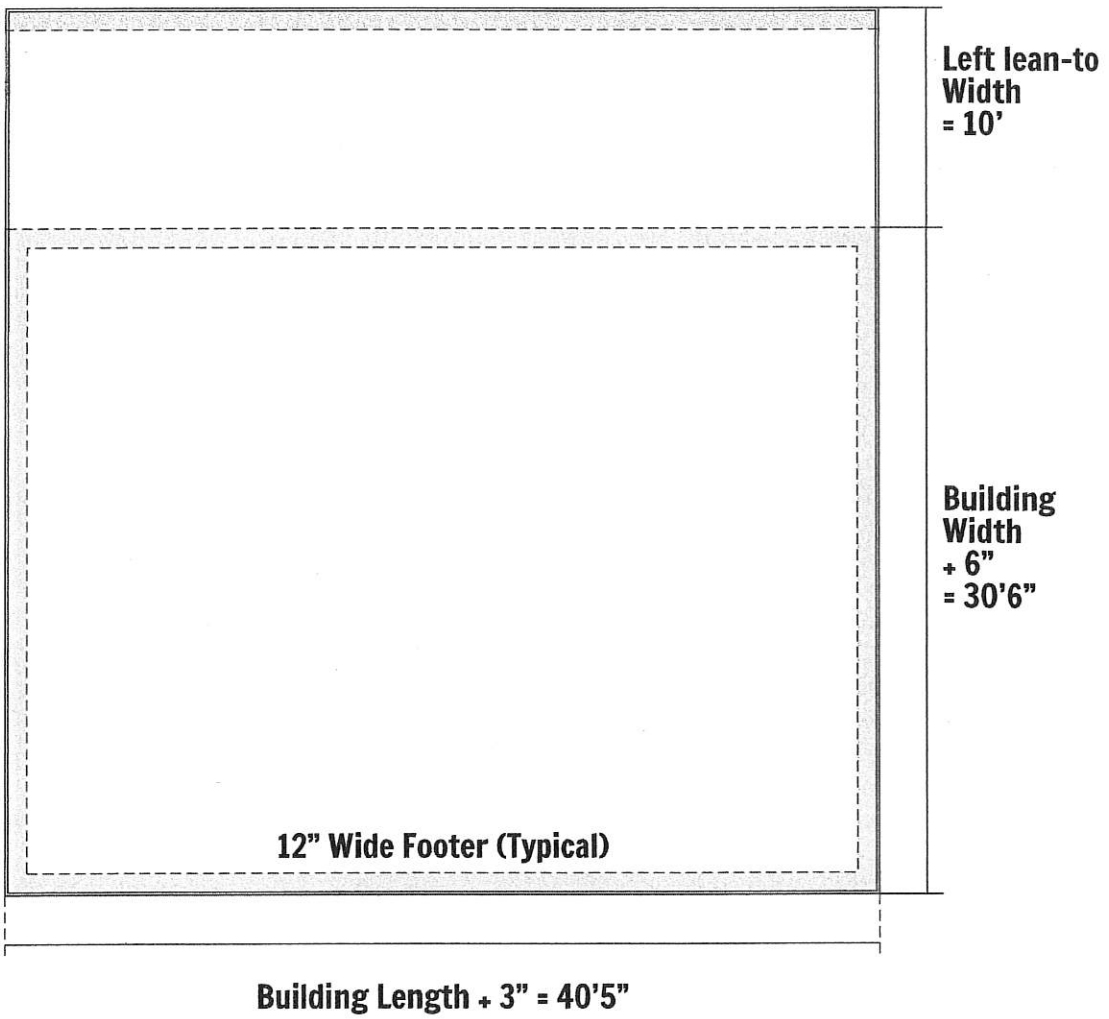
The only criteria that must be met is that you bought the structure from VersaTube, the damage wasn't caused by customer modifications or mishandling, and that the structure was erected within 30 days of purchase.

The second part of the VersaTube Product Pledge provides a 20 year structural warranty on all framing components of our structures from the date of purchase. Of course, the defect can't be caused by customer modifications or negligence, an unanticipated Act of God

The customer is responsible for performing standard structure maintenance and inspections on a regular basis. We reserve the right to repair or replace any part that might not meet expectations.

PART	LEGACY	COUNT	INCHES OF MATERIAL	CHECK
 ridge cap 10.5ft-Stone	LG101B Ridge Cap 3:12 Pitch 10'6"	4		☐

FOUNDATION REQUIREMENTS



General foundation notes:

① Maximum allowable soil bearing pressure is 1000psf in accordance with Applicable code. Owner to verify that soil is stable and compacted to a Minimum of 95% relative optimum value.

② Maximum size concrete aggregate shall be 1" dia.

③ Minimum compressive strength of concrete at 28 days shall be 2500 psi.

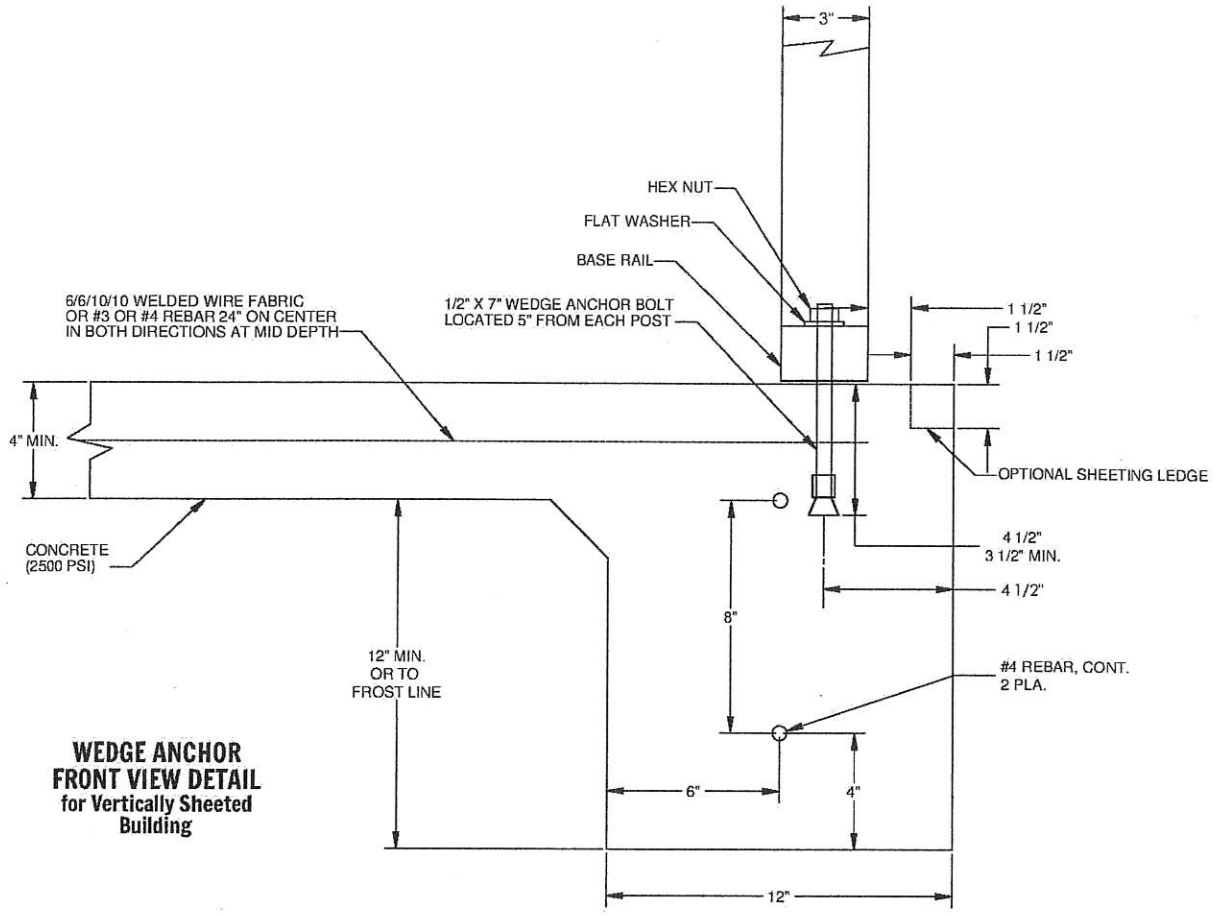
⑤ All splices in continuous reinforcement or reinforcing shall have a minimum lap of 40 diameters. Splices in adjacent bars shall not be less than 4'-0" apart. Vertical wall bars shall be spliced at or near floor lines. Bars may be wired together at splices or laps except for top reinf. Of beam and slabs, or where specifically detailed to be separated.

This is strictly a suggested foundation design. Other engineered designs may be substituted or dictated by your municipality or inspector.

④ Place reinforcement at mid depth for slabs on grade.

⑥ Concrete shall be placed in accordance with the latest aci specifications.

INSTALLATION: USING HAMMER DRILL AND A 1/2" CONCRETE DRILL BIT, DRILL A HOLE INTO THE CONCRETE 5" TO 5 1/2" DEEP. PLACE THE FLAT WASHER ON THE BOLT AND INSTALL THE NUT UNTIL ABOUT 2 THREADS ARE EXPOSED ABOVE THE NUT. TAP THE ANCHOR THROUGH THE BASE RAIL INTO THE HOLE UNTIL THE WASHER TOUCHES THE TOP OF THE BASE RAIL. NOW, TIGHTEN THE NUT TO SET THE ANCHOR. DO NOT OVER TIGHTEN AND CRUSH THE TUBE.



WEDGE ANCHOR FRONT VIEW DETAIL for Vertically Sheeted Building

THIS IS STRICTLY A SUGGESTED FOUNDATION DESIGN. OTHER ENGINEERED DESIGNS MAY BE SUBSTITUTED OR DICTATED BY YOUR MUNICIPALITY OR INSPECTOR.

TRUSS ASSEMBLY (Type 5R)

Lewiston Building Permit

Permit #: LEW072100025
Issue Date: 09/01/2021

Application Accepted Date: 08/03/2021
Type of Improvement: SFD
Description:
Bldg. Address: 188 West 200 South, Lewiston UT 84320
City: Hyde Park State: UT Zip: 84318
Subdivision: Vera Subdivision Phase: 1
Block: Lot #: 2 Parcel #: 09-018-0071
Property Owner: Jesse Vega P:(435) 757-6916
City: Smithfield State: Utah Zip: 84335
Permit Contact: Jesse Vega P:(435) 757-6916
Email: jessemvega@yahoo.com

CONTACT INFORMATION

Engineer of Record: Dean Martineau
Email: dean_martineau@comcast.net P: (435) 770-2135

Design Professional: PE

General Contractor: Vega Homes LLC
License #: 10339365-5501 P: (435) 757-6916
Address: 470 South 980 East
City: Smithfield State: UT Zip: 84335
Email: jessemvega@yahoo.com

Electrical Contractor: Gilmore Electric LLC
License #: 10528058-5501 P: (801) 940-0085
Address: 2127 North 500 West
City: Ogden State: Utah Zip: 84414
Email: kelly@gilelec.com

Plumbing Contractor: Northern Thunder Plumbing Inc
License #: 6835207-5501 P: (435) 994-1159
Address: 5135 South 800 East
City: Preston State: Idaho Zip: 83263
Email: northernthunderplumbing@msn.com

Mechanical Contractor: Cisco Heating
License #: 8911088-5501 P: (435) 760-1543
Address: 1265 North 600 East
City: Logan State: 84321 Zip: 84321
Email: ciscoheating72@gmail.com

APPLICATION DETAILS

Main Floor:	1568 sq. ft.	VB
Garage:	436 sq. ft.	VB

# Bedrooms: 3	# Bathrooms: 2
# Covered Parking: 2	# Stories: 1
Max Occupancy: 6	Fire Sprinkler: No
Const. Material: Stick Build	

Valuation	$	271,100.00

PERMIT FEES

Application Fee	$	200.00
Building Fees	$	2,537.49
State Fee	$	25.37
Water Impact	$	3,000.00
Water Connection	$	2,000.00
Sewer Impact	$	2,278.00
Sewer Connection	$	350.00
Parks & Recreation	$	1,317.00
Certificate of Occupancy	$	500.00
Utility Deposit	$	150.00
Total Fees:	**$**	**12,357.86**

APPROVALS		DATE	INFO
Water Verification:	No		
Geotechnical Approved:	No		
Geologic Condition Form:	No		
Plan Review Finalized:	Yes	08/19/21	Christina Atkinson
Conditional Use Permit:	No		
Admin. Land Use Permit:	No		

Setbacks	Front:	Rear:	Left:	Right:
Min.	30	30	15	15
Actual:	30	30	15	15

APPLICATION NUMBER: LEW072100025

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I here-by certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be compiled with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury. Maintenance Deposit is refundable after final inspection if: 1) site is kept clean 2) building is NOT occupied prior to final inspection and issuance of Certificate of Occupancy.

Applicant Name: Jesse M Vega

Signature of Builder/Authorized Agent or Owner: Date:

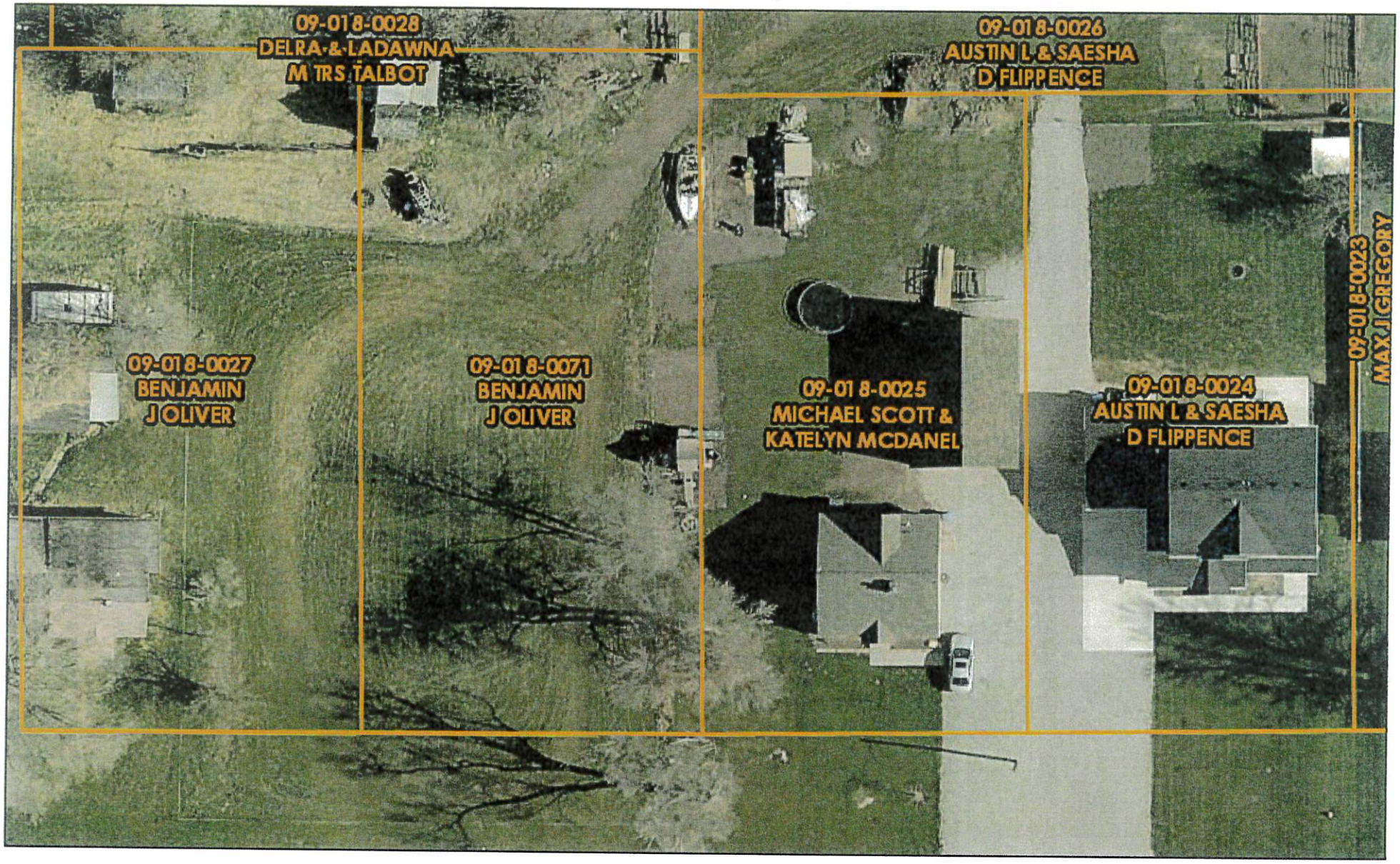
Application Approved By: Christina Atkinson Date: 08/19/2021

Permit Issued By: Darrin Hancey Date: 09/01/2021

Receipt #: Date:

☐ Cash ☑ Check # [] ☐ Credit Card

Parcel Map



7/19/2021, 2:58:59 PM

1:564

Class B Surface Type

ASPHALT

GRAVEL

DIRT

Municipal Boundaries

County Boundary

Cache Parcels

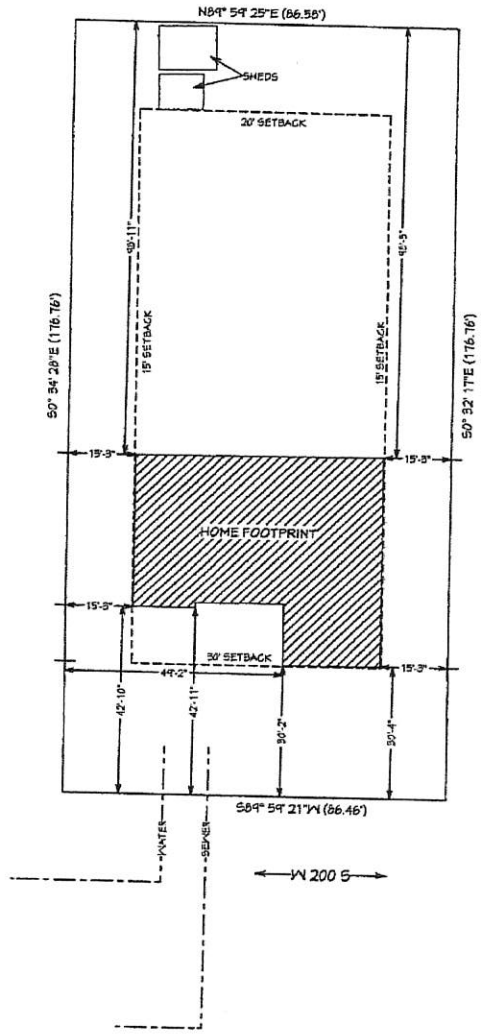
0 0 0.01 0.01 mi

0 0.01 0.01 0.02 km

Maxar, Microsoft

Web AppBuilder for ArcGIS

Maxar, Microsoft | Copyright:© 2013 National Geographic Society, i-cubed | National Geographic, Esri, Garmin, HERE, UNEP-WCMC, USGS, NASA, ESA, METI, NRCAN, GEBCO, NOAA, increment P Corp. | Maxar, Microsoft | Earthstar Geographics | Earthstar



JESSE VEGA
LOT#: 2
LOT SF: 15,293 SF
LOT ACRE: 0.35
PARCEL: 09-018-0071
ADDRESS: 188 W 200 S, LEWISTON, UT 84320

N

SCALE: 1" = 12'

NOTE: ALL DIMENSIONS ARE DIRECTLY NORTH, SOUTH, EAST, AND WEST

IF PLANS ARE PRINTED ON 11 X 17 SHEETS (ARCH B) USE 1/2 THE SCALE NOTED

SHEET TITLE:					
SITE PLAN					
CLIENT:	JESSIE VEGA	JOB #:	028	PLAN #:	CUSTOM
DRAWINGS PROVIDED BY:		REVISION #	REV. BY	NOTE	SHEET:
NAME:	KADE CARLISLE				
Contact: E-mail	CDHOUSEPLANS.CONTACT@GMAIL.COM	DATE:	7/7/2021		9
Contact: Phone:	435-890-0432 CALL OR TEXT				
Contact: Web:	WWW.BUYCDHOUSEPLANS.COM	SCALE:	1" = 12'		

C.D. House Plans

HOME OWNER: JESSE VEGA

SUBDIVISION: N/A

PHASE #: N/A

LOT #: 2

LOT SQUARE FOOTAGE: 15,293 SF

LOT ACRE: 0.35

PARCEL: 09-018-0071

ADDRESS: 188 W 200 S, LEWISTON, UT 84320

PLAN RIGHTS: CD HOUSE PLANS - BUILD PERMISSIONS: ONCE
PRINTS: UNLIMITED - MODIFICATIONS TO PLAN ARE ALLOWED

TABLE OF CONTENTS

1	COVER SHEET
2	ELEVATIONS - FRONT & BACK
3	ELEVATIONS - SIDES
4	FOUNDATION PLAN
5	MAIN LEVEL - DIMENSION PLAN
6	MAIN LEVEL - ELECTRICAL PLAN
7	MAIN LEVEL - DETAILS & FINISHES
8	ROOF PLAN & DETAILS
9	SITE PLAN

SQUARE FOOTAGES

MAIN LEVEL	1,590 SF	GARAGE	516 SF
		PORCH	120 SF
TOTAL LIVING SQ FT	1,590 SF		

Must have a copy of the Engineer sheets on site with the plans for all inspections.

Please call 435-563-6507 x 25 a minimum of 24 hours prior to inspections

THIS PLAN TO REMAIN ON CONSTRUCTION SITE AT ALL TIMES

Reviewed for Code Compliance
Hyde Park Building Dept
08/18/2021

REGISTERED PROFESSIONAL ENGINEER 156045 L. DEAN MARTINEAU State of Utah
7/15/21

IF PLANS ARE PRINTED ON 11 X 17 SHEETS (ARCH B) USE 1/2 THE SCALE NOTED

GENERAL CONSTRUCTION NOTES

-IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DETAILS AND DIMENSIONS

-ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND REGULATIONS.

-ALL DIMENSIONS ARE TO ROUGH FRAME OF STUDS

-ALL FOOTING TO BE BELOW THE FROST LINE AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE WEIGHT OF THE BUILDING

FOUNDATION & BELOW GRADE

-FOOTINGS AND STEM WALL SIZE AND DEPTH TO BE DETERMINED BY LOCAL FREEZE LINE/ LOCAL ENGINEER

-BASEMENT/SLAB ON GRADE INSULATION R-VALUE WILL MEET STATE CODE REQUIREMENTS
-ANY PLUMBING THAT IS AT RISK OF FREEZING IS TO BE INSULATED

-CONCRETE SLAB THICKNESS IS 4", UNLESS OTHERWISE NOTED

-MONO FOOTING SIZES DETERMINED BY ENGINEER

FRAMING & STRUCTURAL

- FRAMING MEMBER SIZES AND LAYOUT TO BE DETERMINED BY ENGINEERING TO ACCOMMODATE FOR THE LOAD OF THE STRUCTURE

-OPENING HEADER SIZES TO BE DETERMINED BY ENGINEERING TO ACCOMMODATE FOR THE LOAD OF THE STRUCTURE

-STEEL VS LUMBER FRAMING WILL CHANGE LOAD REQUIREMENTS. ENGINEER WILL NEED TO KNOW WHAT THE STRUCTURE IS BEING BUILT WITH.

-TRUSS LAYOUT AND ENGINEERING MAY BE PROVIDED BY TRUSS COMPANY

OPENING HEIGHTS & LOCATIONS

-WINDOW & DOOR HEADER HEIGHT TO BE 80" AFF, UNLESS NOTED OTHERWISE (SEE ELEVATION SHEET FOR SPECIFIC HEADER HEIGHTS)

- IF APPLICABLE, GARAGE WINDOW HEIGHT TO MATCH HOUSE WINDOW HEIGHTS (80" AFF)

-INTERIOR DOOR ROUGH FRAMING IS TO BE 6" FROM ANOTHER WALL (IF POSSIBLE) OR CENTER WITHIN ITS OWN WALL, UNLESS NOTED OTHERWISE.

-STANDARD HEIGHT FOR INTERIOR DOOR FRAMING ARE TO BE 80", UNLESS NOTED OTHERWISE

-AT LEAST ONE EGRESS WINDOW TO BE ADDED IN EACH ROOM

-TEMPERED WINDOWS TO BE PLACED WHERE CODE REQUIRES

-OBSCURED WINDOWS IN BATHROOMS OR OTHER AREAS WILL BE DETERMINED BY HOME OWNER

-WINDOW GRID PATTERN WILL BE DETERMINED BY HOME OWNER IF CURRENT WINDOW PATTERN IS NO DESIRED

ELECTRICAL

-ELECTRICAL PANEL TO BE PLACED ACCORDING TO ELECTRICIANS SUGGESTION, AVOID PLACING IN EASILY SEEN AREA

-SMART HOME PANEL TO BE PLACED ACCORDING TO ELECTRICIANS SUGGESTION

-IT IS SUGGESTED TO USE HOUSING FOR SMART HOME WIRING AND CONSOLE

-USE CERTIFIED SMART HOME INSTALLER BEFORE DRYWALL/DURING ELECTRICAL INSTALLATION.

-IF HOUSE HAS HANGING DINING LIGHT, PLACE LIGHT CENTERED WHERE THE TABLE WILL GO

-EXTERIOR WALL LIGHTS HEIGHT IS TO BE 80" AFF

-GFCI TO BE 48" AFF FOR KITCHEN CABINETS, AND VANITIES

-IF SWITCH IS NEAR RAILING, PLACE HIGHER THAN USUAL TO AVOID RAILING

- ADDED ELECTRICAL ITEMS MAY BE DRAWN INTO THE PLAN WITH ELECTRICIAN (UNDER CABINET LIGHTING, SOFFIT LIGHTING, EXTERIOR LIGHTING, ETC.

-CHANDELIERS MAY BE REGULAR FIXTURES OR CEILING FANS ACCORDING TO THE HOME OWNERS CHOICE.

FLOORS, FINISHES, AND DECOR

-IT IS HIGHLY SUGGESTED TO USE LOCAL INTERIOR DESIGNER TO HELP DETERMINE FLOORING, COUNTERTOPS, CABINETS, FINISHES, ETC.

-IT IS SUGGESTED TO DO QUALITY CHECKS DURING FOR THE FINISHES PHASE OF BUILDING.

-EXTERIOR AND INTERIOR COLORS SHOWN FOR SIDING, CARPET, FLOORING, ETC DO NOT NEED TO MATCH WEB SITE PICTURES. AGAIN, IT IS SUGGESTED TO USE A DESIGNER TO HELP STYLE THE HOME

SHEET TITLE:

COVER SHEET

CLIENT:	JESSIE VEGA	JOB #:	028	PLAN #:	CUSTOM

DRAWINGS PROVIDED BY:

NAME:		KADE CARLISLE
Contact:	E-mail	CDHOUSEPLANS.CONTACT@GMAIL.COM
	Phone:	435-890-0432 CALL OR TEXT
	Web:	WWW.BUYCDHOUSEPLANS.COM

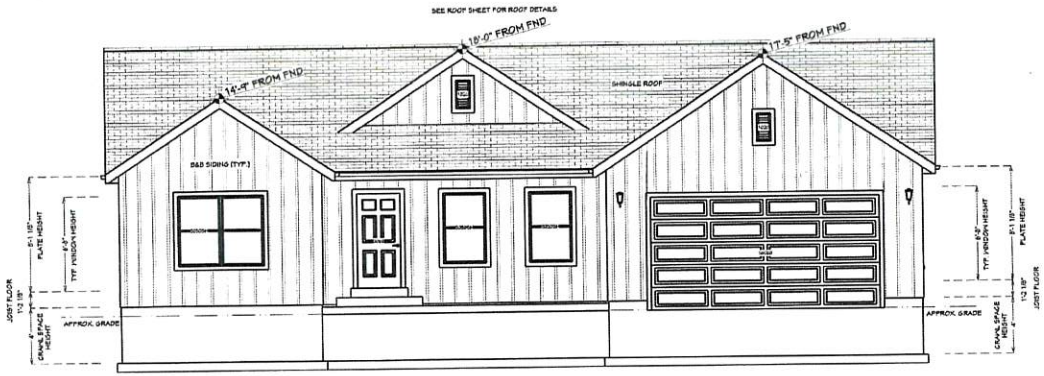
REVISION #	REV. BY	NOTE

DATE: 7/7/2021

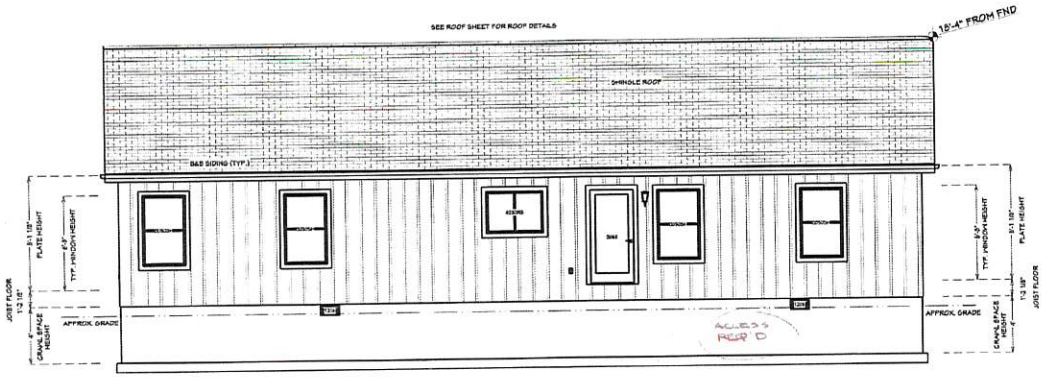
SCALE: 1/4" = 1'-0"

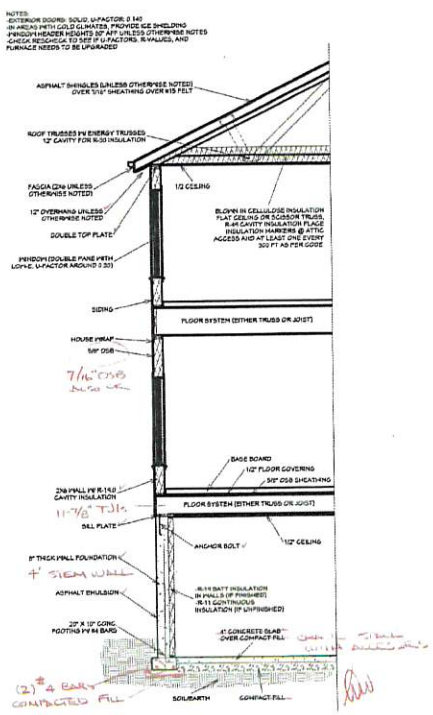
SHEET: 1

FRONT



BACK





TYPICAL WALL/TRUSS SECTION

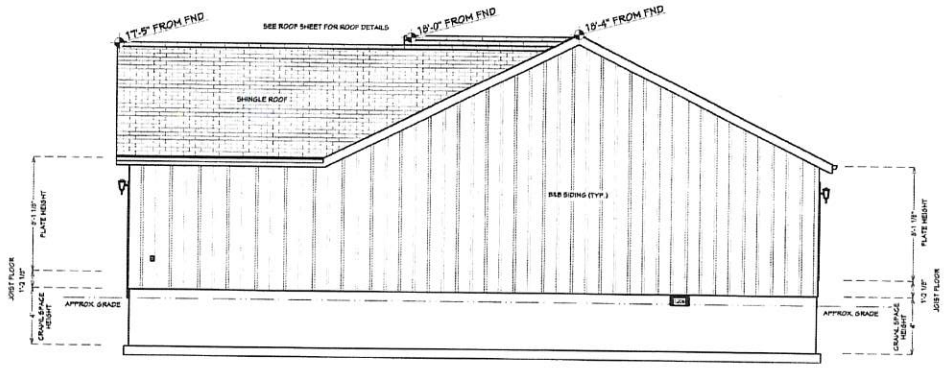
REGISTERED PROFESSIONAL ENGINEER
156045
L. DEAN MARTINSAU
State of Utah
7/15/21

Reviewed for Code Compliance
Hyde Park Building Dept
08/18/2021

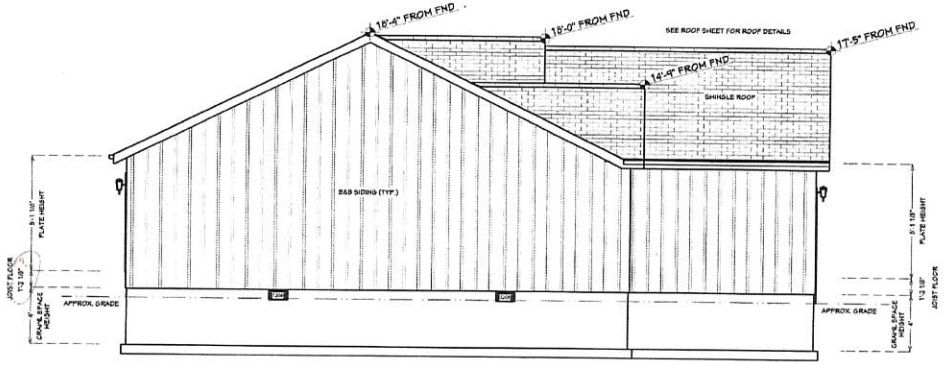
IF PLANS ARE PRINTED ON 11 X 17 SHEETS (ARCH B) USE 1/2 THE SCALE NOTED

SHEET TITLE:					
ELEVATIONS - FRONT & BACK					
CLIENT:	JESSIE VEGA	JOB #:	028	PLAN #:	CUSTOM
DRAWINGS PROVIDED BY:		REVISION # / REV. BY / NOTE		SHEET:	
NAME:	KADE CARLISLE				
Contact: E-mail	CDHOUSEPLANS.CONTACT@GMAIL.COM	DATE:	7/7/2021	2	
Contact: Phone:	435-890-0432 CALL OR TEXT				
Contact: Web:	WWW.BUYCDHOUSEPLANS.COM	SCALE:	1/4" = 1'-0"		

RIGHT



LEFT



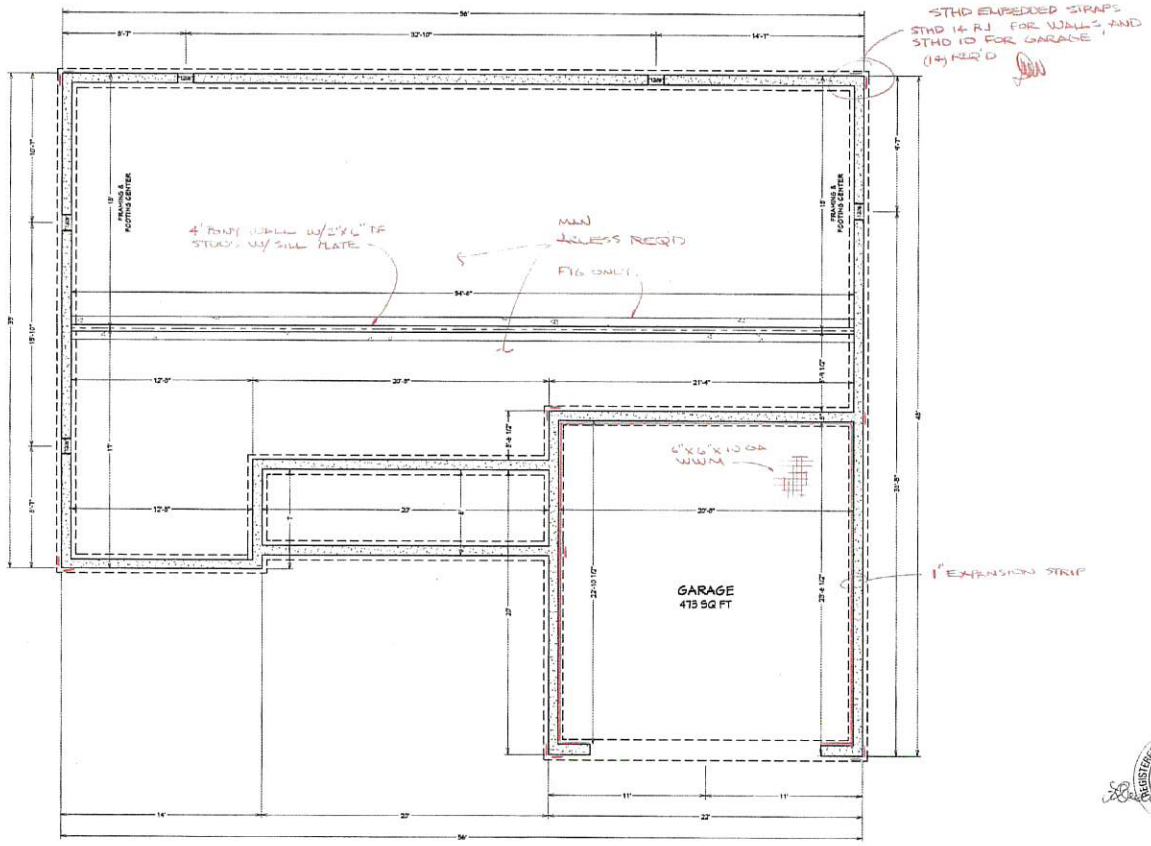
REGISTERED PROFESSIONAL ENGINEER
156045
L. DEAN MARTINEAU
State of Wash
7/15/21

Reviewed for Code Compliance
Hyde Park Building Dept
08/18/2021

IF PLANS ARE PRINTED ON 11 X 17 SHEETS (ARCH B) USE 1/2 THE SCALE NOTED

SHEET TITLE:					
ELEVATIONS - SIDES					
CLIENT:	JESSIE VEGA	JOB #:	028	PLAN #:	CUSTOM

DRAWINGS PROVIDED BY:			REVISION #	REV. BY	NOTE	SHEET:
NAME:	.	KADE CARLISLE				
Contact:	E-mail	CDHOUSEPLANS.CONTACT@GMAIL.COM	DATE:	7/7/2021		3
	Phone:	435-890-0432 CALL OR TEXT				
	Web:	WWW.BUYCDHOUSEPLANS.COM	SCALE:	1/4" = 1'-0"		



NOTES:

-DOUBLE CHECK FIELD MEASURMENTS FOR PLUMBING AND APPLIANCES

-ENGINEERING SHEETS FOR FOUNDATION TAKE PRECEDENCE

-THICKNESS, LOCATION, AND HEIGHT OF FND WALLS AND FOOTINGS SHOWN MAY CHANGE PER AREA AND STATE CODE

20" x 10" footings - 2 #4 continuous - 15" laps on continuous bars. See engineering calcs for details.

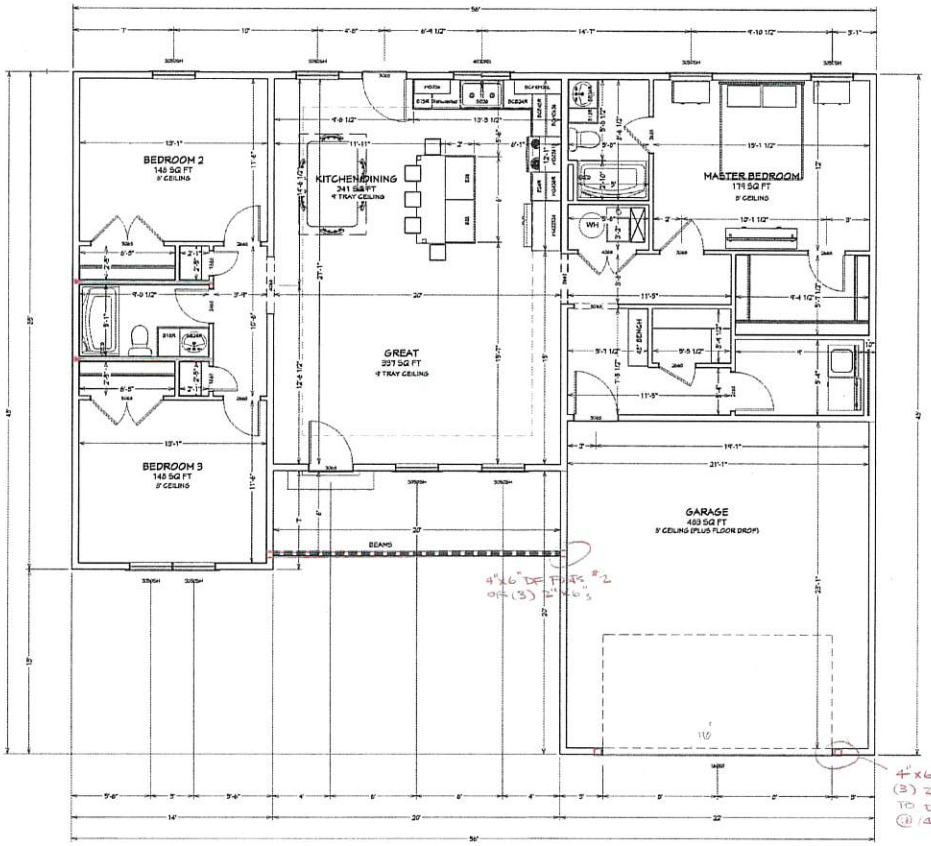
REGISTERED PROFESSIONAL ENGINEER 156045 L DEAN MARTINEAU State of Utah 7/15/21

Reviewed for Code Compliance
Hyde Park Building Dept
08/18/2021

IF PLANS ARE PRINTED ON 11 X 17 SHEETS (ARCH B) USE 1/2 THE SCALE NOTED

SHEET TITLE:					
FOUNDATION PLAN					
CLIENT:	JESSIE VEGA	JOB #:	028	PLAN #:	CUSTOM

DRAWINGS PROVIDED BY:			REVISION #	REV. BY	NOTE	SHEET:
NAME:	KADE CARLISLE					4
Contact:	E-mail	CDHOUSEPLANS.CONTACT@GMAIL.COM	DATE:	7/7/2021		
	Phone:	435-890-0432 CALL OR TEXT	SCALE:	1/4" = 1'-0"		
	Web:	WWW.BUYCDHOUSEPLANS.COM				



NAILING SCHEDULE

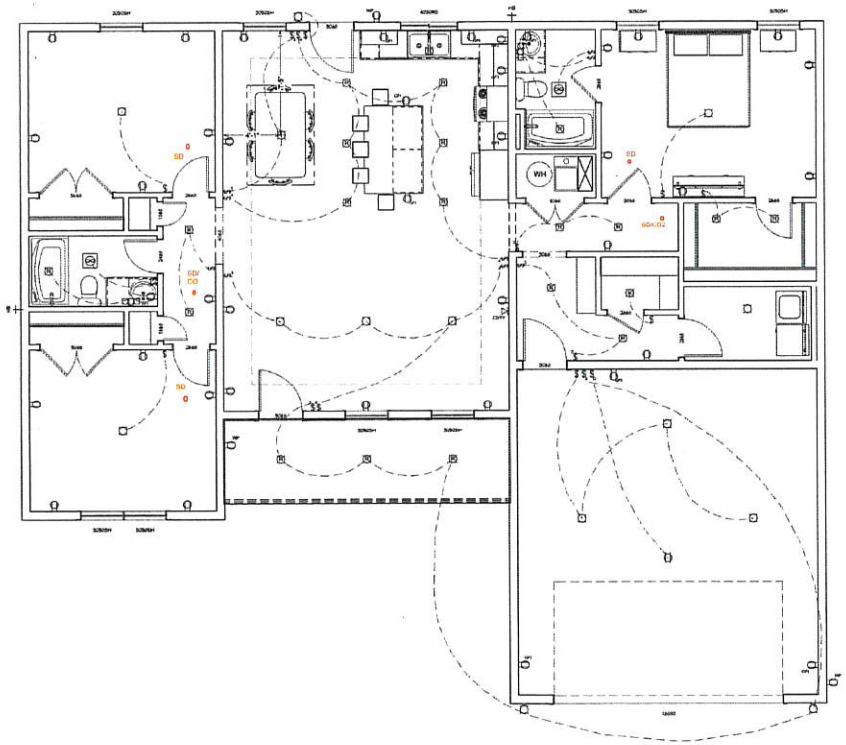
1) ALL EXT. WALLS ARE SHEAR WALLS + (2) INT WALLS (MARKED K.W.)
2) USE 8d NAILS w/ 1-3/8" PENETRATION
3) SPACE NAILS 6" O.C. AT EDGES AND 12" O.C. IN FIELD OF SHEETS
4) USE 7/16" OSB THROUGHOUT

REGISTERED PROFESSIONAL ENGINEER
156045
L. DEAN MARTINEAU
State of Utah
7/15/21

Reviewed for Code Compliance
Hyde Park Building Dept
08/18/2021

IF PLANS ARE PRINTED ON 11 X 17 SHEETS (ARCH B) USE 1/2 THE SCALE NOTED

SHEET TITLE:					
MAIN LEVEL - DIMENSION PLAN					
CLIENT:	JESSIE VEGA	JOB #:	028	PLAN #:	CUSTOM
DRAWINGS PROVIDED BY:		REVISION #	REV. BY	NOTE	SHEET:
NAME:	KADE CARLISLE				
Contact: E-mail	CDHOUSEPLANS.CONTACT@GMAIL.COM	DATE:	7/7/2021		5
Contact: Phone:	435-890-0432 CALL OR TEXT				
Contact: Web:	WWW.BUYCDHOUSEPLANS.COM	SCALE:	1/4" = 1'-0"		



ELECTRICAL, DATA, & AUDIO NOTES:
HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:
1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. ORG.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
5. FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO:
1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
3. LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

DATA / CABLE:
LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

SMART HOUSE (IF APPLICABLE)
1. SMART HOME PACKAGE IS OPTIONAL
2. INSTALL SMART PACKAGE DURING ELECTRICAL INSTALLATION PHASE
3. USE CERTIFIED SMART HOME INSTALLER

ELECTRICAL - DATA - AUDIO LEGEND

SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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08/18/2021

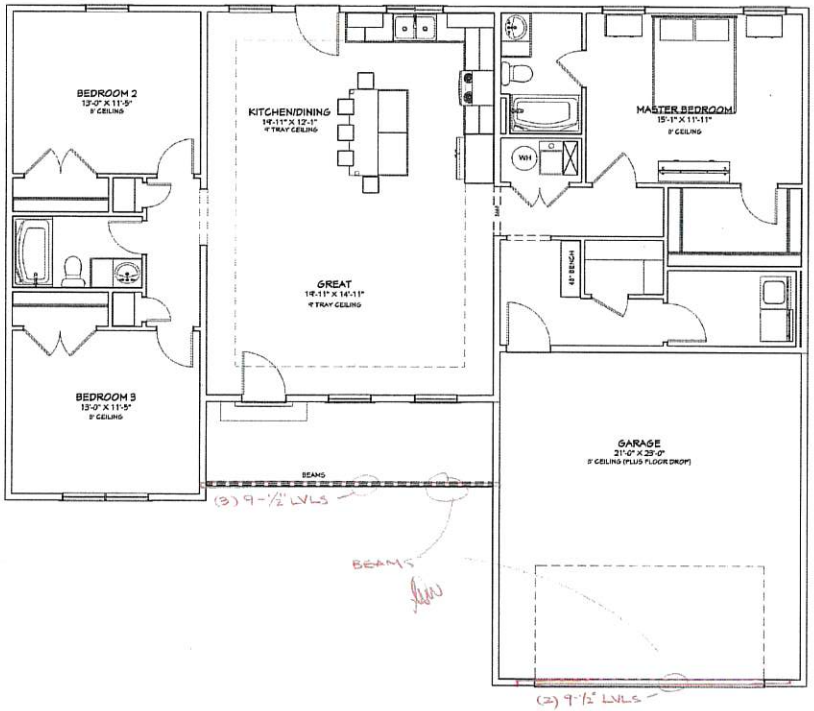
IF PLANS ARE PRINTED ON 11 X 17 SHEETS (ARCH B) USE 1/2 THE SCALE NOTED

SHEET TITLE:

MAIN LEVEL - ELECTRICAL PLAN

CLIENT:	JESSIE VEGA	JOB #:	028	PLAN #:	CUSTOM

DRAWINGS PROVIDED BY:			REVISION #	REV. BY	NOTE	SHEET:
NAME:	KADE CARLISLE					
Contact:	E-mail	CDHOUSEPLANS.CONTACT@GMAIL.COM	DATE:	7/7/2021		6
	Phone:	435-890-0432 CALL OR TEXT				
	Web:	WWW.BUYCDHOUSEPLANS.COM	SCALE:	1/4" = 1'-0"		



NOTES:

-THIS IS AN EXTRA SHEET TO BE USED FOR ANY EXTRA PLANNING

-THIS SHEET CAN BE USED FOR: FLOORING LINES, THEME WALLS, THEME CEILINGS, FURNITURE LAYOUTS ETC.

-THIS SHEET CAN BE USED TO FOR ROUGH LANDSCAPE PLANNING.

REGISTERED PROFESSIONAL ENGINEER 156045 L. DEAN MARTINEAU State of Idaho

7/15/21

Reviewed for Code Compliance
Hyde Park Building Dept
08/18/2021

IF PLANS ARE PRINTED ON 11 X 17 SHEETS (ARCH B) USE 1/2 THE SCALE NOTED

SHEET TITLE:					
MAIN LEVEL-DETAILS & FINISHES					
CLIENT:	JESSIE VEGA	JOB #:	028	PLAN #:	CUSTOM

DRAWINGS PROVIDED BY:			REVISION #	REV. BY	NOTE	SHEET:
NAME:	KADE CARLISLE					7
Contact:	E-mail	CDHOUSEPLANS.CONTACT@GMAIL.COM	DATE:	7/7/2021		
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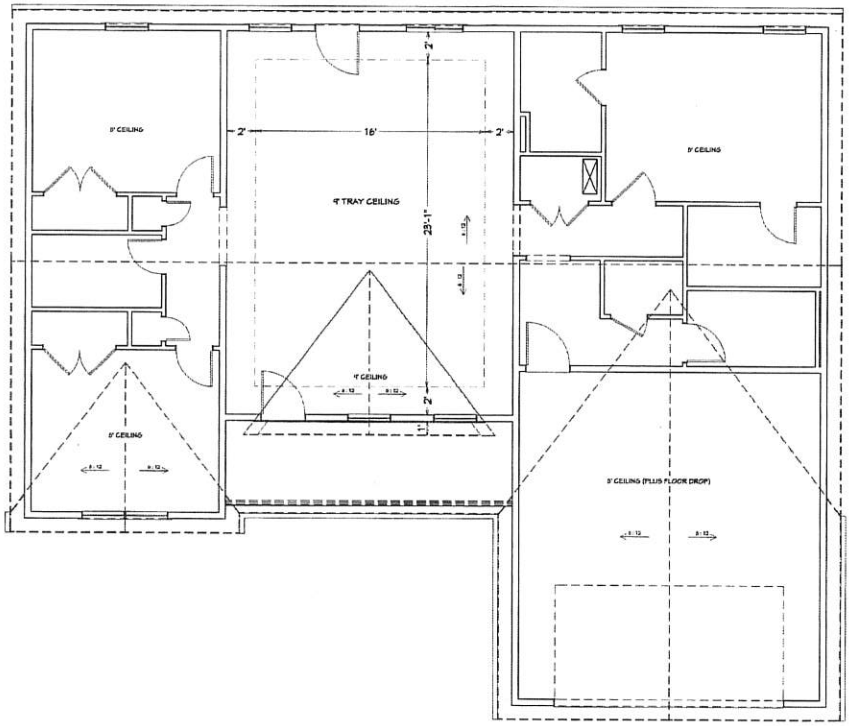

NOTES:

-12" OVERHANG

-ROOFING MATERIAL MAY CHANGE PER OWNERS DECISION

-CHECK ROOF PLAN FOR PITCHES

- PROVIDE RECOMMENDED AMOUNT OF ROOF VENTING

-(IF APPLICABLE) DECORATIVE GABLE VENTS ONLY. ACTUAL GABLE VENTILATION IS NOT RECOMMENDED DUE TO IT BEING EASIER FOR WEATHER AND MOISTURE TO GET INTO THE ATTIC.

REGISTERED PROFESSIONAL ENGINEER
156045
L. DEAN MARTINEAU
State of Nevada
7/15/21

Reviewed for Code Compliance
Hyde Park Building Dept
08/18/2021

IF PLANS ARE PRINTED ON 11 X 17 SHEETS (ARCH B) USE 1/2 THE SCALE NOTED

SHEET TITLE:					
ROOF PLAN & DETAILS					
CLIENT:	JESSIE VEGA	JOB #:	028	PLAN #:	CUSTOM

DRAWINGS PROVIDED BY:			REVISION #	REV. BY	NOTE	SHEET:
NAME:	KADE CARLISLE					8
Contact:	E-mail	CDHOUSEPLANS.CONTACT@GMAIL.COM	DATE:	7/7/2021		
	Phone:	435-690-0432 CALL OR TEXT	SCALE:	1/4" = 1'-0"		
	Web:	WWW.BUYCDHOUSEPLANS.COM				

Jeremy Wright - Lot Inquiry

Parcel Map

7/30/2021, 2:29:55 PM

1:9,028

0 0.05 0.1 0.2 mi

0 0.07 0.15 0.3 km

Class B Surface Type

- ASPHALT
- GRAVEL
- DIRT
- Municipal Boundaries
- County Boundary
- Cache Parcels

Maxar

Web AppBuilder for ArcGIS

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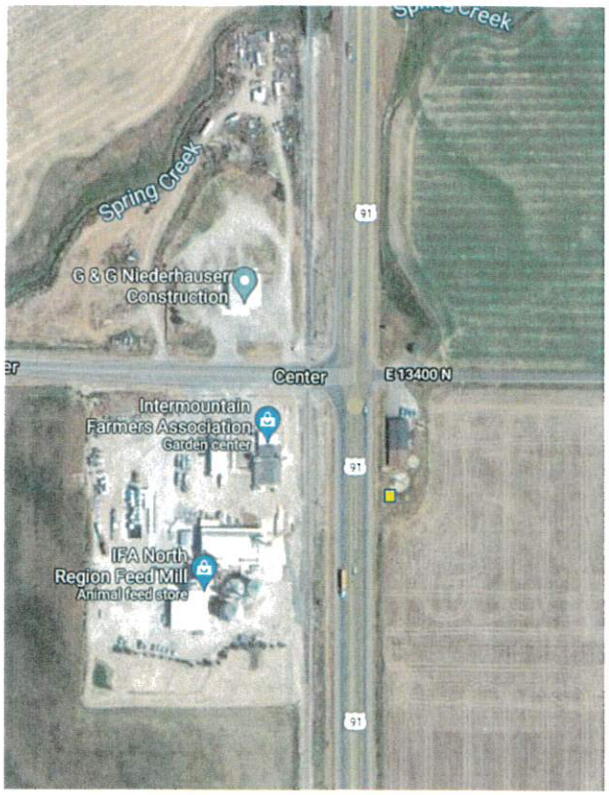
Presto Sign Permit Request
Located on the corner
Center Street, Lewiston, Utah & Hwy 91

Staffing Is Our #1 Challenge

- Problem Solving
- Learned that People don't know:
  - Who Presto Is
  - Where They are Located
  - Presto Products and Reynolds Consumer are the same
- We need to communicate better
- Provide a "visual sign" to communicate we are here and the quality jobs that we have available

Questions
- Is this a Lewiston City Zoning Sign Permit?
- Or UDOT Sign Permit?



- Temporary
- Two sided – V shaped
- Metal Stand, vinyl
- On land owned by Carl Sims (Millennium Machining) located within city limits

Presto Sign Permit Request
Located on the corner
1000 East Center Street, Lewiston, Utah

Staffing Is Our #1 Challenge

- Problem Solving
- Learned that People don't know:
  - Who Presto Is
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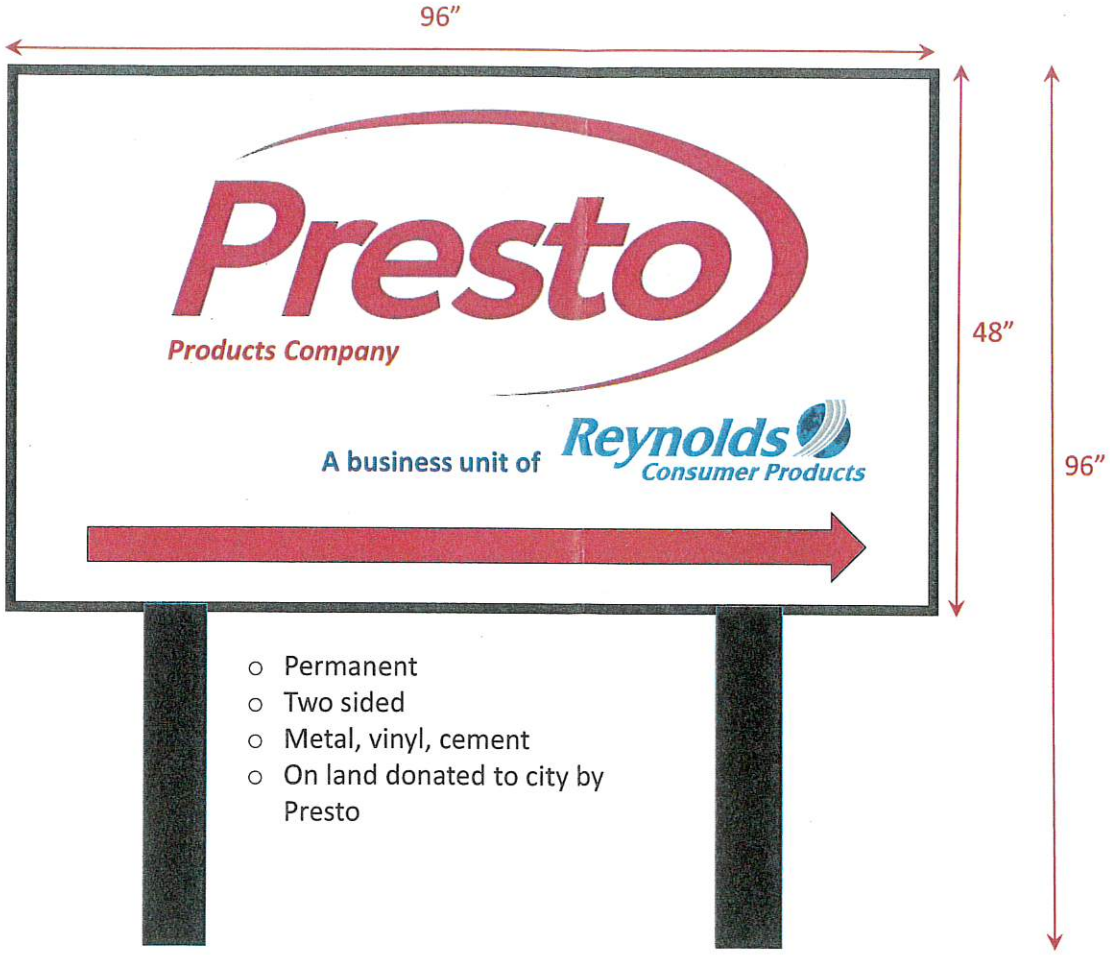
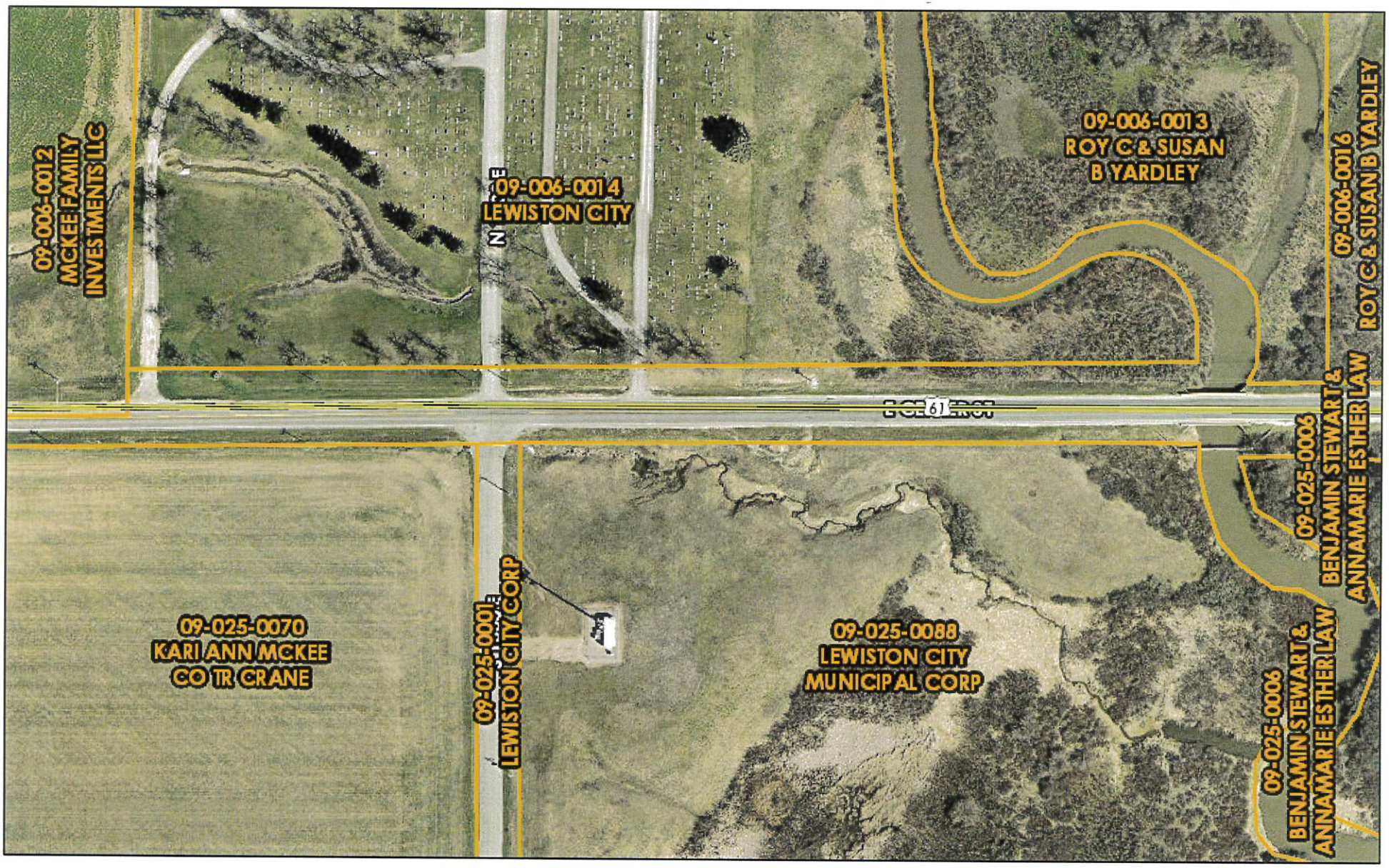


- Permanent
- Two sided
- Metal, vinyl, cement
- On land donated to city by Presto

Parcel Map



8/2/2021, 3:30:38 PM

1:2,257

0 0.01 0.03 0.05 mi

0 0.02 0.04 0.09 km

Maxar, Microsoft

Class B Surface Type

ASPHALT

GRAVEL

DIRT

Municipal Boundaries

County Boundary

Cache Parcels

Web AppBuilder for ArcGIS

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