



PLANNING COMMISSION MEETING AGENDA

October 5th 2021

City Council Chambers – 4580 S 2300 E

Interested parties are encouraged to watch the video stream of the meeting on the City of Holladay webpage.

Participation in *public hearing(s)* portions of the meeting can be accomplished in either of the following ways:

- In-person attendance: at Holladay City Hall – space is limited to pre-arranged socially distanced seating
- Emailed comments: must be received by 5:00 pm, October 4th 2021 to the Community and Economic Development Department; iteerlink@cityofholladay.com

AGENDA

5:30 PM **WORK SESSION** – The Commission may discuss any or all agenda items. No decisions or voting to occur.

6:00 PM **CONVENE REGULAR MEETING** – Public Welcome & Chair, Howard Layton Opening Statement

1. **Presentation** – Highland Drive Corridor Study update from Katie Kourianos and Alexis Verson of Horrocks Engineering

PUBLIC HEARINGS

2. **“6121 S Highland Mixed-Use” – Site plan Concept/Preliminary – 6121 South Highland Drive (HCR zone)**

Review and action on a presentation by property owner, Chris Ensign of site development plans and architectural design details for a mixed-use, residential/retail redevelopment on approximately .96 acres, in accordance with the HCR zone development standards as codified Holladay Ord. §13.08.080 & 13.66 File #21-9-01

3. **“Viewmont Cove” Residential Subdivision, Concept – 4813 South Viewmont (R-1-15)**

Review and action on a presentation by property owner, David Haynie and Denise Hurst of conceptual plan details for a two-lot residential subdivision of approximately .95 acres into 2, single family home lots (2 units) in accordance with the R-1-15 zoning standards and as per Holladay Ord. §13.10 File #21-1-13

ACTION ITEMS

4. **“Hope Ranch” Subdivision, Preliminary/Final – 4411 South Wander Lane (R-1-10)**

Review and action on a Preliminary development details of a residential subdivision by Benjamin & Alexandria Wade to subdivide approximately .75 acres into 2, single-family home lots (2 units) in accordance with the R-1-10 zoning standards and as per Holladay Ord. §13.10 File #20-1-16

5. **Approval of Minutes** – 08/03 & 09/07

ADJOURN

CERTIFICATE OF POSTING

I, Stephanie N. Carlson, the City Recorder of the City of Holladay, certify that the above agenda notice was posted at City Hall, the City website www.cityofholladay.com, the Utah Public Notice website www.utah.gov/pmn, and was emailed to the Salt Lake Tribune and Deseret News and others who have indicated interest.

DATE POSTED: *Stephanie N. Carlson MMC, City Recorder
City of Holladay

Reasonable accommodations for individuals with disabilities or those in need of language interpretation service can be provided upon request. For assistance, please call the City Recorder's office at 272-9450 at least three days in advance. TTY/TDD number is (801)270-2425 or call Relay Utah at #7-1-1

The Chair shall call the meeting to order at the appropriate time, greet the people, and read the following statement:

- *The City of Holladay Planning Commission is a volunteer citizen board whose function is to review land use plans and other special studies, make recommendations to the City Council on proposed zoning map and ordinance changes, and approve conditional uses and subdivisions.*
- *The Planning Commission does not initiate land use applications; rather acts on applications as they are submitted. Commissioners do not meet with applicants except at publicly noticed meetings.*
- *Commissioners attempt to visit each property on the agenda, where the location, the nature of the neighborhood, existing structures and uses related to the proposed change are noted.*
- *Decisions are based on observations, recommendations from the professional planning staff, the City's General Plan, zoning ordinance and other reports, by all verbal and written comments, and by evidence submitted, all of which are part of the public record.*
- *Meeting procedure can be found on the back of the agenda.*

Rules of the City of Holladay Planning Commission for Public Hearings

The Planning Commission Chair or Vice Chair is the Presiding Officer and will conduct the hearing.

1. **Introduction.** The Presiding Officer informs those attending of the procedure and order of business for the hearing.
2. **Staff Presentation.** City Staff briefly introduces the request that prompted the public hearing. The presentation shall not last more than five minutes.
3. **Sponsor Presentation.** If desired, the applicant or his/her representative may also make a presentation. The presentation shall not last more than fifteen minutes.
4. **Public Comment.** The Presiding Officer asks for public comment on the matter before the Commission. Comments are limited to three minutes and speakers are allowed to speak only once. Speakers are requested to:
 - (a) Complete the Citizen Comment Form
 - (b) Wait until recognized before speaking
 - (c) Come to the microphone and state their name and address for the record
 - (d) Be brief and to the point
 - (e) Not restate points made by other speakers
 - (f) Address questions through the Presiding Officer
 - (g) Confine remarks to the topic
 - (h) Avoid personalities

After each citizen has spoken, Commission members may ask questions of the participant before the Presiding Officer resumes or closes the hearing.

5. **Applicant Summation/Response.** Following citizen comment and questions by the Commission, the applicant shall be given an opportunity to give up to fifteen minutes summation and/or response prior to closing of the public hearing.
6. **Closing the Hearing.** If there is no further public comment, questions by Commission members, or final response by the applicant, the Presiding Officer shall conclude the hearing at least ten minutes in advance of a subsequently scheduled public hearing. The Commission may vote to extend the public hearing past the starting time of a subsequent public hearing.
7. **Consideration of Item.** At the close of the public hearing, the Commission shall consider the item, discuss its merits and vote on the matter or vote to continue it at a future meeting.

FILE# n/a

PRESENTATION- Highland Drive Study

ADDRESS:

n/a

LEGAL DESCRIPTION: n/a

APPLICANT/REPRESENTATIVE:

Horrocks Engineering

PROPERTY OWNER:

City of Holladay

ZONING:

n/a

GENERAL PLAN DISTRICT:

Highland Drive Masterplan

CITY COUNCIL DISTRICT:

District #1

PUBLIC NOTICE DETAILS:

n/a

REQUEST:

N/A

APPLICABLE REGULATIONS:

EXHIBITS:

Provided Powerpoint Slides

STAFF:

LaNiece Davenport, CED. Dir.

DECISION TYPE:

No action required

SITE VICINITY MAP



CITY of HOLLADAY

Notes:



Highland Drive Corridor Study Update

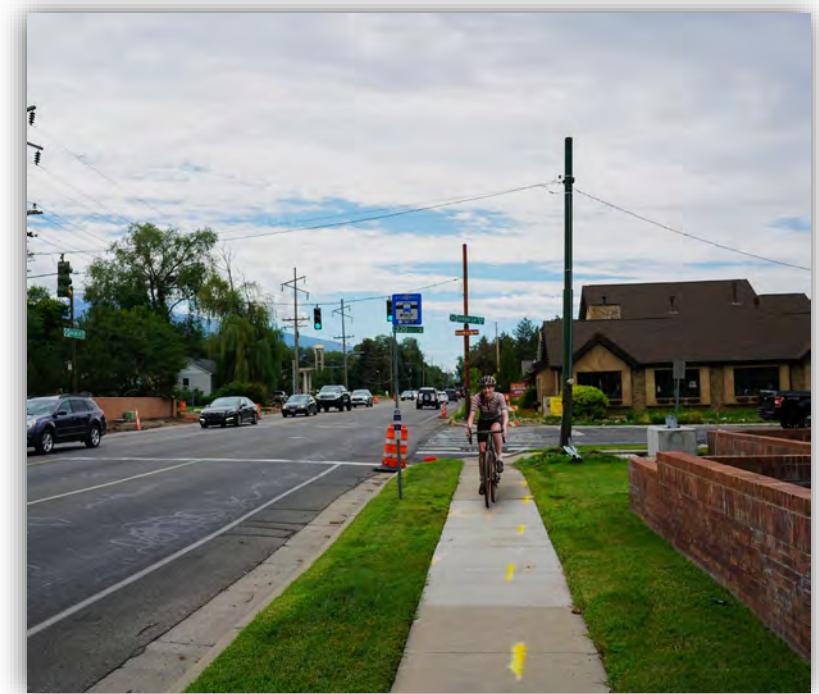
City of Holladay Planning Commission
Sept. 7, 2021





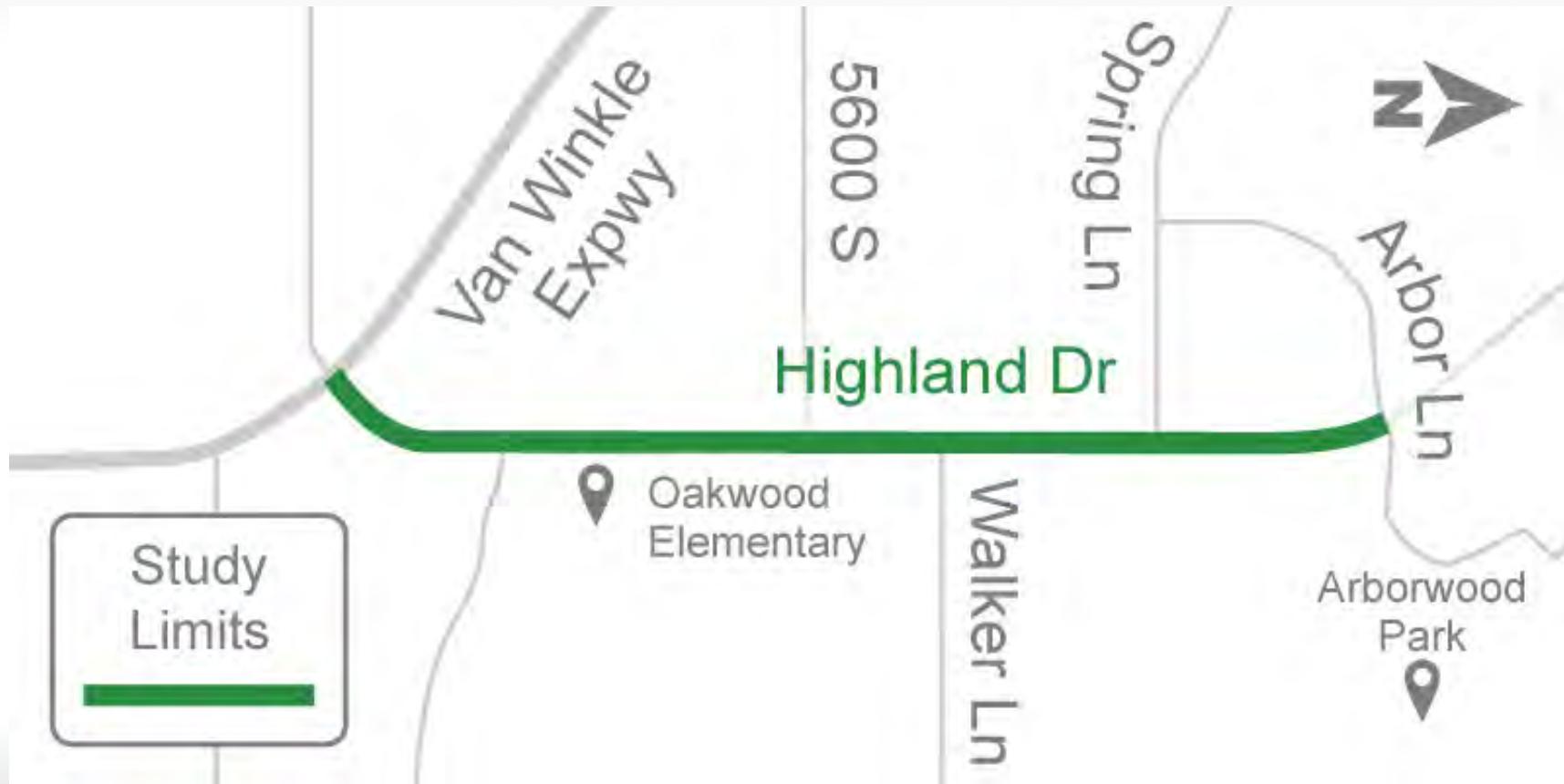
Agenda

1. Study Overview
2. Timeline
3. Existing Conditions
4. In-Depth-Interview Findings
5. Cross-Section Overview
6. Next Steps





Study Area





Study Timeline





Corridor Vision

Compiled from existing studies and plans:

- Corridor is a vital artery for the city
- Enhance the historic, beautiful, vibrant community
- Safety concerns due to speeds
- Regional connectivity must be considered
- Needs to accommodate all modes – emphasis on transit, walkability, personal vehicles
- Redevelopments will add vibrancy, and capture many short trips within the project areas





Data Driven Decisions

Leveraging existing data to tell a story

- Traffic volumes, existing and future
- Bicycle and pedestrian counts
- Crash data
- Transit stations and ridership numbers
- Safe Routes to School
- Review of previous planning efforts and studies

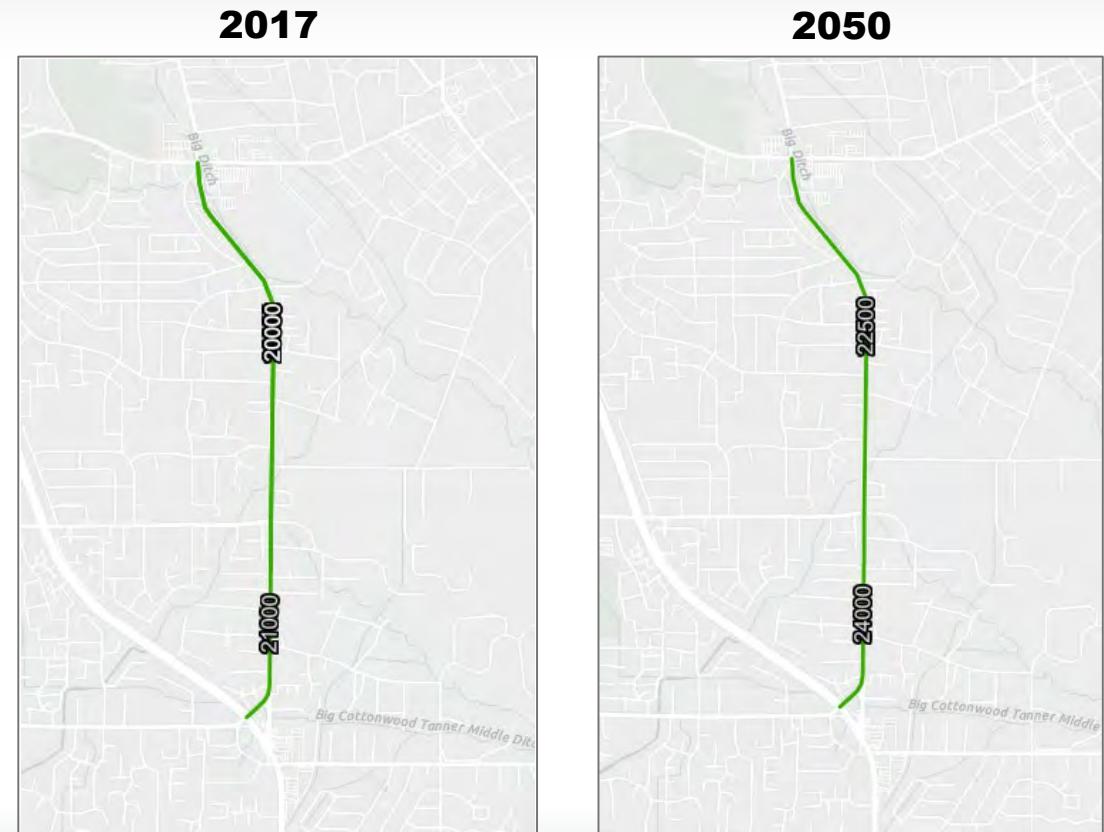




Existing Conditions

Traffic Volumes:

- Fairly stable
- HDMP has slightly higher projections
- Holladay Hills TIS indicates new trips will often be captured internally within the site



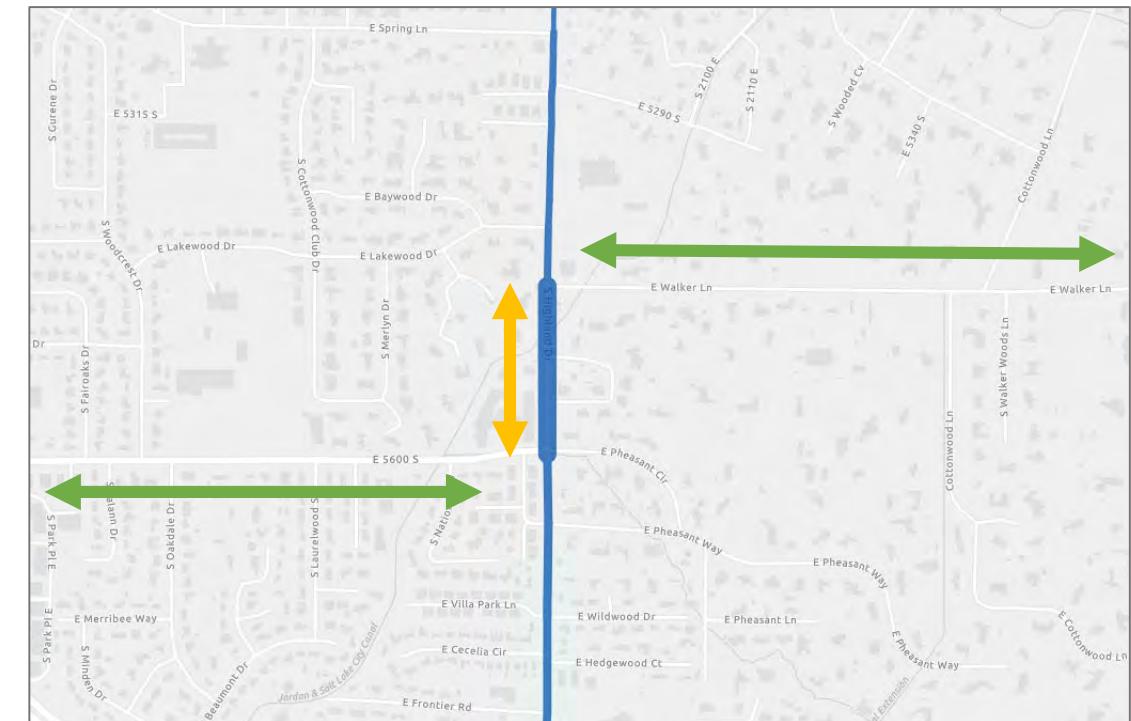
Source: WFRC's Travel Demand Model



Existing Conditions

Bicycle and Pedestrian Data:

- Using Highland Drive to make that east-west connection
- Stakeholder In-depth Interviews suggest on-street bicycle facilities are better warranted elsewhere
- Traffic speeds/volumes indicate the same



Source: Strava data



In Depth Interviews

Stakeholders Interviewed:

- Murray City
- Utah Transit Authority
- Salt Lake County Bicycle Advisory Committee
- Granite School District
- Holladay Hills Development





In Depth Interviews

Key Themes:

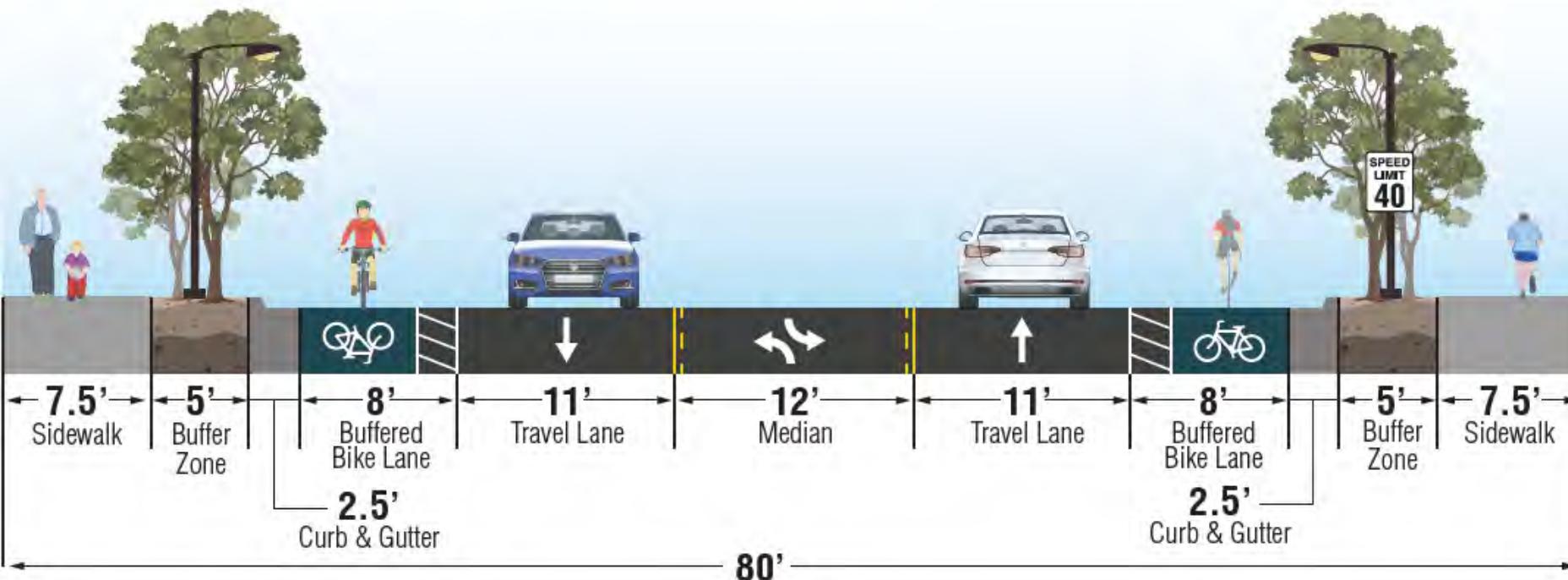
- Highland Drive feels unsafe on a bicycle, even for confident riders
- Use it as an east-west connection when no other alternative
- Need for better sidewalks, desire to make a comfortable walking environment for students
- Center turn lane a priority
- Beautification a priority
- Q: Are five lanes warranted in the future – could it be fewer?



Draft Cross Section Discussion

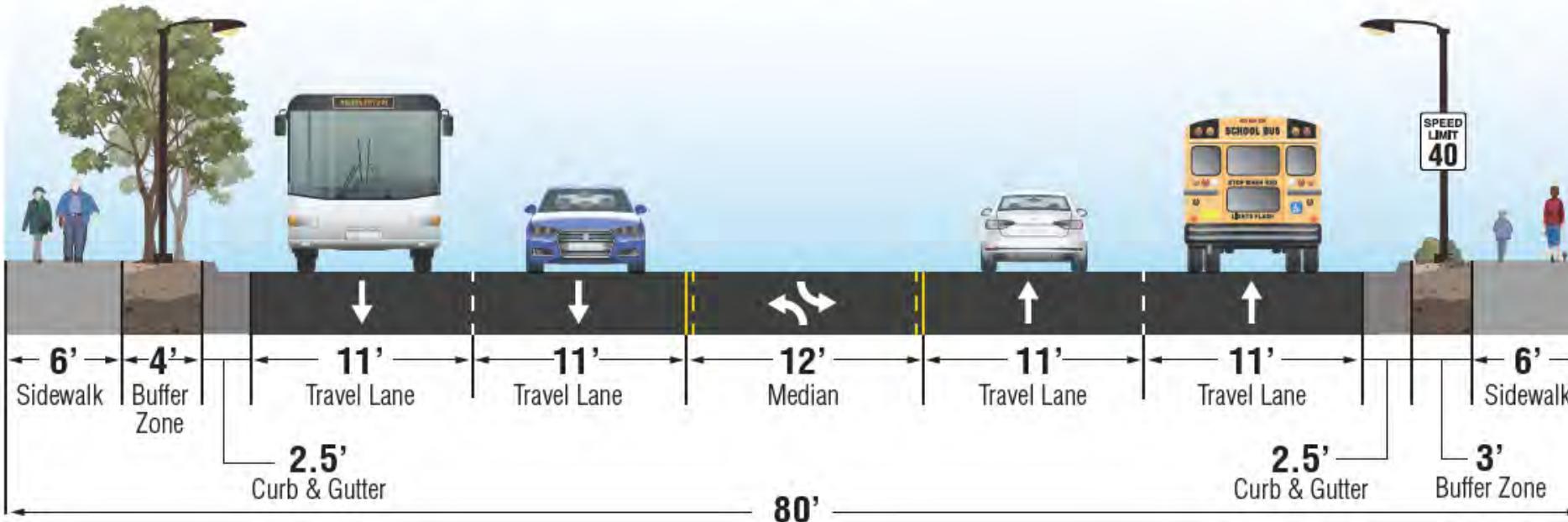


ALTERNATIVE 1: COMPLETE STREET



- ✓ Meets multi-modal goals
- ✓ Center turn lane
- ✗ Does not accommodate traffic volumes at intersections
- ✗ Does not align with regional transportation plan

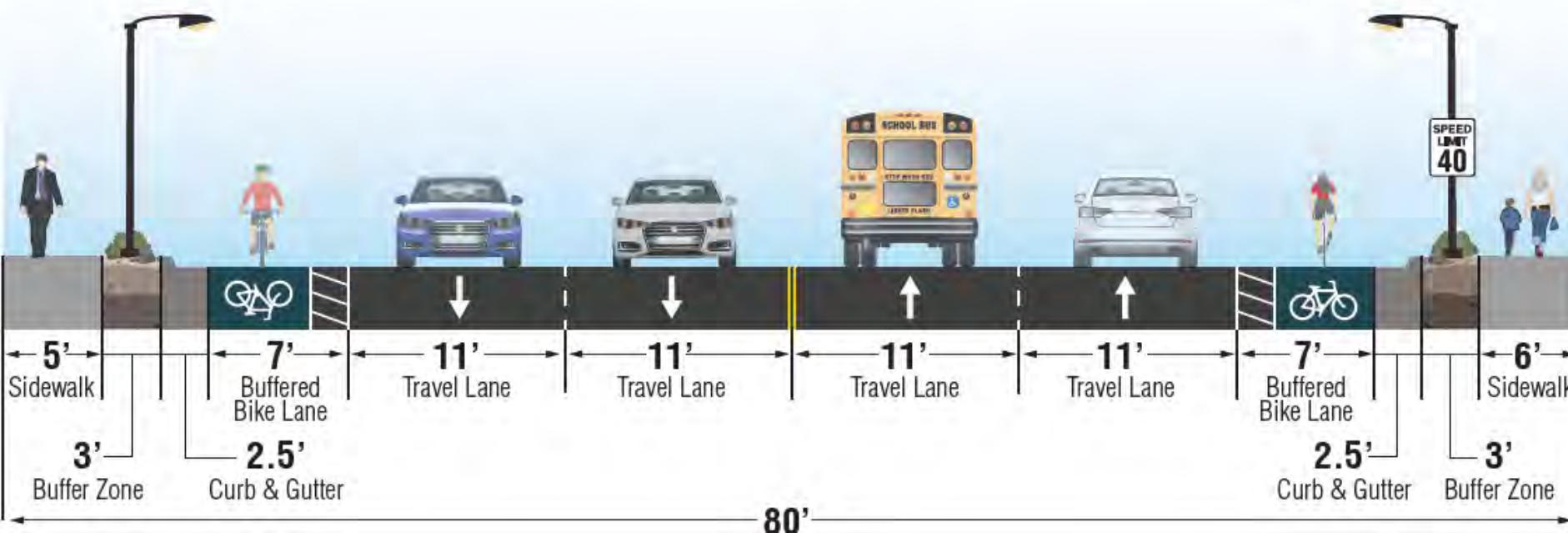
ALTERNATIVE 2: FIVE LANE CROSS SECTION



- ✓ Center turn lane
- ✓ Standard sidewalk widths
- ✗ Does not accommodate active transportation users

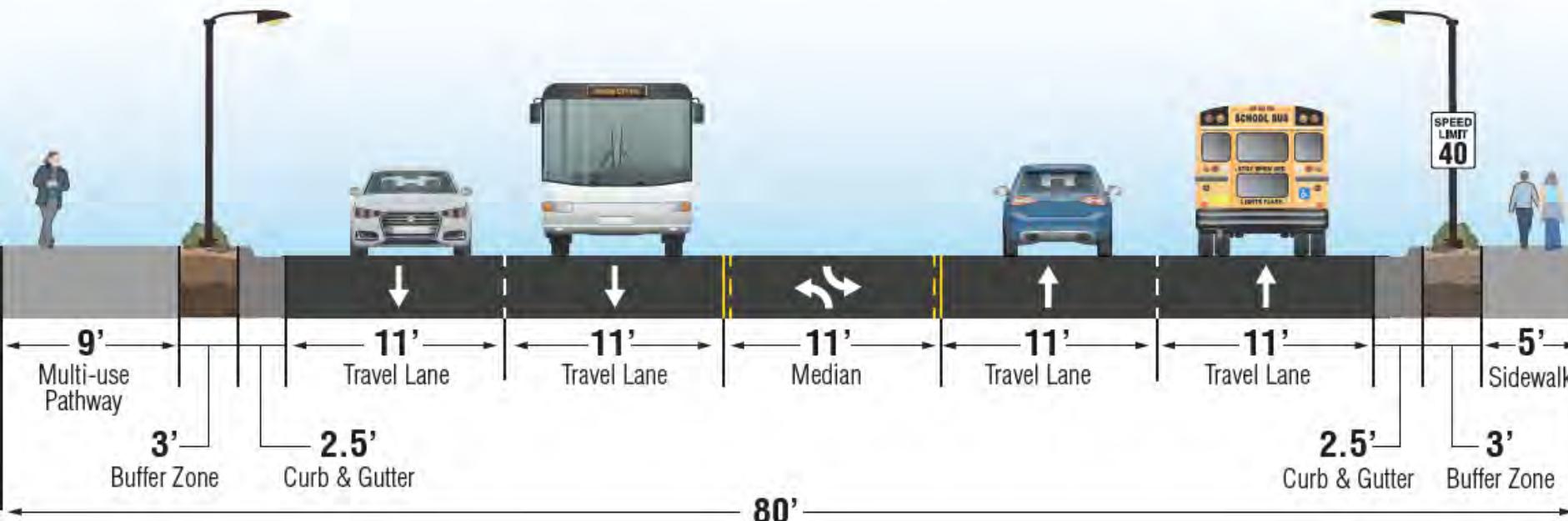


ALTERNATIVE 3: BUFFERED BIKE LANES



- ✓ Meets multi-modal goals
- ✓ Appropriate bicycle facility for vehicle volumes and speeds
- ✗ Does not meet center turn lane need

ALTERNATIVE 4: FIVE LANE CROSS SECTION WITH MULTI-USE PATHWAY



- ✓ Meets multi-modal goals
- ✓ Center turn lane
- ✗ Mixed-use pathway is narrower than recommended width (10')



NEXT STEPS

1. Narrow design alternatives
2. Launch public story map and survey (Sept. 13 – Oct. 13)
3. Send mailers
4. Participate in public events
5. Select preferred alternative
6. Develop concept-level design & cost estimates
7. Compile funding applications



FILE# 21-9-01

ADDRESS:

6121 South Highland Drive

LEGAL DESCRIPTION: 41,817 sq ft

PARCEL ID# 222-15-352-043
BEG 3.26 CHINS W & 463.8 FT N FR SE COR OF SEC 16, T 2S,
R 1E, S L M; S 88°30' E 274.68 FT; N 01°12' E 151.98 FT; N 88°
30' W 277.86 FT M OR L TO E LINE OF STREET; SLY ALG SD
STREET 150 FT M OR L TO BEG. 0.96 AC. 5404-2837
6125-0567 6156-1307 6152-2716 9201-6567

APPLICANT/REPRESENTATIVE:

Chris Ensign

PROPERTY OWNER:

DANDA LLC

ZONING:

HCR - Holladay Crossroads Zone

GENERAL PLAN DISTRICT:

Holladay Crossroads SAMP

CITY COUNCIL DISTRICT:

District #5

PUBLIC NOTICE DETAILS:

Hearing notice mailed 09/24/2021

REQUEST:

Site Plan Review- CONCEPT/PRELIMINARY

APPLICABLE REGULATIONS:

13.08.080: Review and approval procedures
13.66.080: Project Approval Procedures
13.66.090: Design Standards

EXHIBITS:

Staff Report
Applicant Narrative
DRB recommendation:
Architectural Designs
Site Plan

STAFF:

Jonathan Teerlink, City Planner

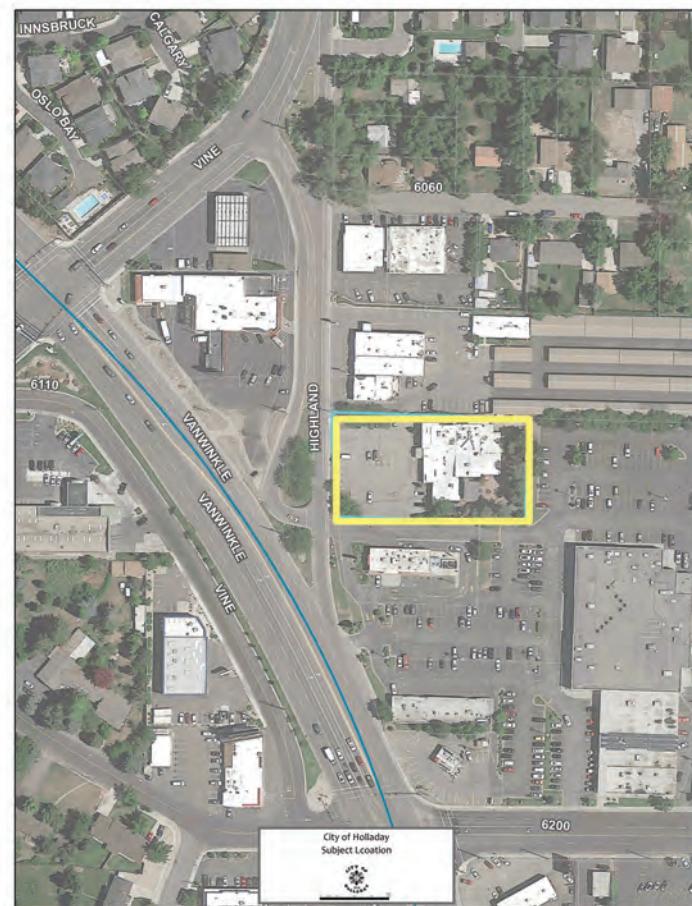
"6121 Highland" Site Plan

DECISION TYPE:

Administrative:

Public hearing required. PC shall make a motion of either, denial, approval or to continue. All motions require findings which support the decision. As directed by ordinance, applications shall be approved if the Land Use Authority finds Substantial Evidence of compliance with applicable requirements. Holladay Ord. 13.06.050.B2 and 13.08

SITE VICINITY MAP



Notes:

Recent Rezone approved C-2 to HCR



CITY of HOLLADAY

NOTICE OF A PUBLIC HEARING MIXED USE REDEVELOPMENT

Date: Tuesday, October 5th 2021
Time: As close to 6:00 pm as possible
Location: City Hall – City Council Chambers
Hearing Body: Planning Commission

Notice is hereby given that the City of Holladay Planning Commission will review a Conceptual/Preliminary site plan application submitted by the property owner, Chris Ensign to redevelop property located at approximately 6121 South Highland Drive in the HCR zone, into mixed use retail/residential development. As per Holladay Ordinance 13.08

Please submit comments via email by 5:00 pm 10/04/2021 to Jonathan Teerlink, jteerlink@cityofholladay.com Emailed comments received by the designated times will be forwarded to the Commission prior to the meeting.

Additional information regarding this item & instructions how to join this meeting remotely can be found on the City's website and on the posted agenda, prior to the meeting. Interested parties are encouraged to watch the video stream of the meeting on the City of Holladay Facebook page.

ATTENTION: This notice was mailed on 09/24/2021 by order of the Community and Economic Development Director, LaNiece Davenport, to all residents within 500 feet from the subject property. If you are not the owner of your residence, please notify the owner regarding this matter. Thank you.



CITY of HOLLADAY

NOTICE OF A PUBLIC HEARING RESIDENTIAL SUBDIVISION – 2 LOT

Date: Tuesday, October 5th 2021
Time: As close to 6:00 pm as possible
Location: City Hall – City Council Chambers
Hearing Body: Planning Commission

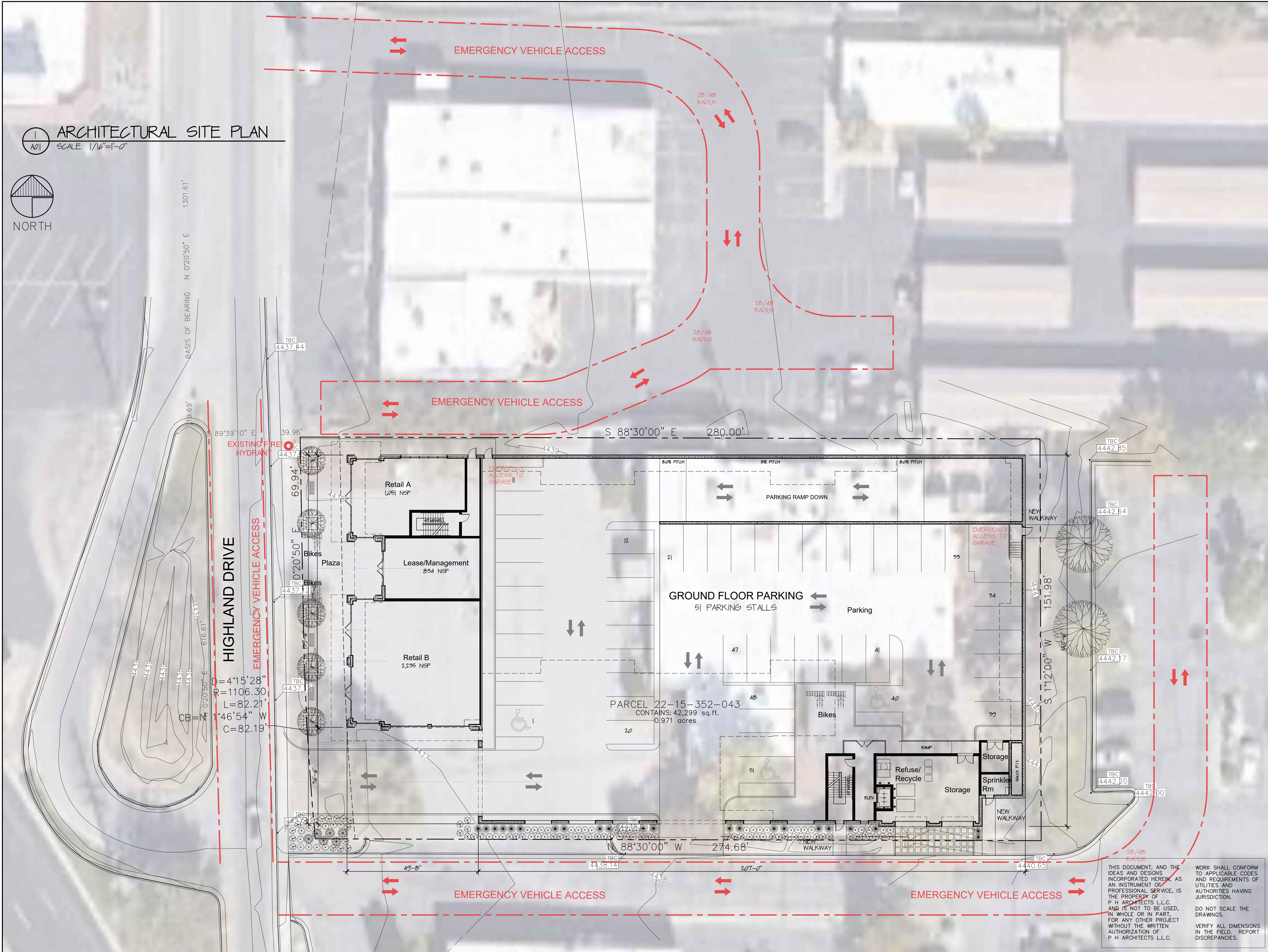
Notice is hereby given that the City of Holladay Planning Commission will review a Conceptual/Preliminary site plan application submitted by the property owner, Chris Ensign to redevelop property located at approximately 6121 South Highland Drive in the HCR zone, into mixed use retail/residential development. As per Holladay Ordinance 13.08

Please submit comments via email by 5:00 pm 10/04/2021 to Jonathan Teerlink, jteerlink@cityofholladay.com Emailed comments received by the designated times will be forwarded to the Commission prior to the meeting.

Additional information regarding this item & instructions how to join this meeting remotely can be found on the City's website and on the posted agenda, prior to the meeting. Interested parties are encouraged to watch the video stream of the meeting on the City of Holladay Facebook page.

ATTENTION: This notice was mailed on 09/24/2021 by order of the Community and Economic Development Director, LaNiece Davenport, to all residents within 500 feet from the subject property. If you are not the owner of your residence, please notify the owner regarding this matter. Thank you.





MIXED USE DEVELOPMENT

6121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121

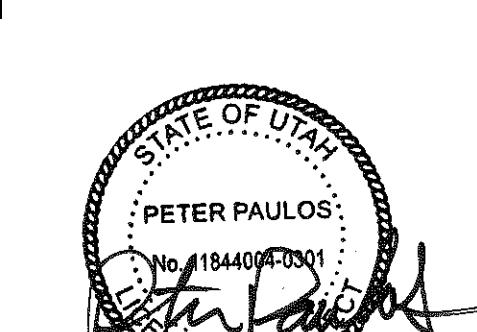
Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P | H

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax



A circular seal for a licensed architect. The outer ring contains the text "STATE OF UTAH" at the top and "LICENSED ARCHITECT" at the bottom, separated by a dotted line. The inner circle contains the name "PETER PAULOS" in the center and "No. 1844004-0301" below it. The seal is signed with a cursive signature "Peter Paulos" over the bottom. The entire seal is enclosed in a decorative scalloped border.

Revisions		
No.	Date	Issue
I.	2021/09/20	DESIGN REVIEW BOARD SUBMISSION

ARCHITECTURAL SITE PLAN & EMERGENCY ACCESS PLAN

Date:	<u>2021/09/16</u>	Project No.:	
Scale:	<u>1/16"=1'-0"</u>	CAD File Name:	<u>Base-Master</u>
Design:	<u>pep</u>	Checked:	
Sheet No.:			

A 0.1

© P H ARCHITECTS, LLC

MIXED USE DEVELOPMENT

6121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P | H

A R C H I T E C T S

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

Site Plan



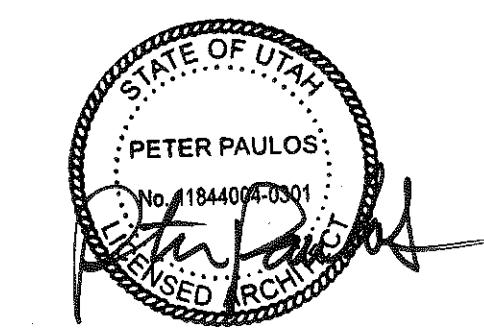
Project Team:

Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:

ENSIGN
THE STANDARD IN ENGINEERING
SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.253.5529

Seal



Revisions
No. Date Issue
I. 2021/09/20 DESIGN REVIEW BOARD
SUBMISSION

SUMMARY

THIS DOCUMENT, AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE PROPERTY OF
P H ARCHITECTS LLC,
AND IS NOT TO BE USED,
IN WHOLE OR IN PART,
FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN
AUTHORIZATION OF
P H ARCHITECTS LLC.
DO NOT SCALE THE
DRAWINGS.
VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

Date: 2021/05/18 Project No.:
Scale: N/A CAD File Name:
Design: pep Base-Master
Sheet No.: Checked:

A0.2

© P H ARCHITECTS, LLC

SUMMARY				
BUILDING	GROSS SQUARE FOOTAGE PER AREA	GROSS SQUARE FOOTAGE (FLR PLATE)	UNITS/ BEDROOM COUNT	REMARKS
SUB-PARKING	2,406 SQ. FT./RAMP 27,196 SQ. FT./PARKING 1,941 SQ. FT./STORAGE/MECHANICAL AREA 235 SQ. FT./LOBBY	31,697 SQ. FT. (RAMP INCLUDED, STAIRS/ELEVATOR EXCLUDED)	N/A	
MAIN LEVEL	23,785 SQ. FT./PARKING 4,120 SQ. FT./RETAIL 269 SQ. FT./LOBBY 777 SQ. FT./CIRCULATION 11,893 SQ. FT./COMMON/REFUSE/MECH	30,140 SQ. FT. (RAMP NOT INCLUDED, STAIRWELLS/ELEVATOR INCLUDED)	N/A	
SECOND LEVEL	17,122 SQ. FT./LIVING 2,055 SQ. FT./CORRIDOR-COMMON AREA 5,606 SQ. FT./POOL TERRACE 3,671 SQ. FT./AMENITIES	23,554 SQ. FT. (STAIRS/ELEVATOR EXCLUDED)	(12)- 1 BEDROOM UNITS (8)- 2 BEDROOM UNITS	
THIRD LEVEL	19,516 SQ. FT./LIVING 2,243 SQ. FT./CORRIDOR-COMMON AREA 369 SQ. FT./COM. ROOF TERRACE	21,764 SQ. FT. (STAIRS/ELEVATOR EXCLUDED)	(13)- 1 BEDROOM UNITS (8)- 2 BEDROOM UNITS	
FOURTH LEVEL	19,516 SQ. FT./LIVING 2,243 SQ. FT./CORRIDOR-COMMON AREA	21,764 SQ. FT. (STAIRS/ELEVATOR EXCLUDED)	(13)- 1 BEDROOM UNITS (8)- 2 BEDROOM UNITS	
FIFTH LEVEL	16,412 SQ. FT./LIVING 2,223 SQ. FT./CORRIDOR-COMMON AREA	18,641 SQ. FT. (STAIRS/ELEVATOR EXCLUDED)	(16)- 1 BEDROOM UNITS (5)- 2 BEDROOM UNITS	
	50,981 SQ. FT./PARKING 4,120 SQ. FT./RETAIL 504 SQ. FT./LOBBY 72,666 SQ. FT./LIVING 3,671 SQ. FT./AMENITIES 9,380 SQ. FT./CORRIDOR-COMMON AREA	TOTAL 147,560 SQ. FT.	(54)- 1 BEDROOM UNITS (29)- 2 BEDROOM UNITS (83) UNITS TOTAL	
PARKING COUNT				
(83) RESIDENTIAL UNITS		REQUIRED		
1 BEDROOM UNITS	(54)- 1 BEDROOM UNITS	10 PARKING/UNIT	54 PARKING	
2 BEDROOM UNITS	(29)- 2 BEDROOM UNITS	15 PARKING/UNIT	43.5 PARKING	
			98 TOTAL (LIVING) PARKING REQUIRED	
RETAIL/OFFICE	4,120 SQ. FT. NET RETAIL	2.5 PARKING/ 1000 NET SQ. FT.	10.3 PARKING	
			II TOTAL (RETAIL) PARKING REQUIRED	
		TOTAL PARKING REQUIRED	109 PARKING SPACES	
		PROVIDED		
UNDERGROUND PARKING		58 PARKING	58 PARKING DEDICATED FOR LIVING, 2 OF WHICH ARE HANDICAP	
ON-GRADE PARKING (UNDER BLDG.)		51 PARKING	II PARKING DEDICATED FOR RETAIL, 1 OF WHICH IS HANDICAP, 40 PARKING DEDICATED TO LIVING, 2 OF WHICH ARE HANDICAP	
ON STREET PARKING		N/A		
		TOTAL PARKING PROVIDED	109 PARKING SPACES	

LAND USE/ COVERAGE		
PARCEL	ACRES (SQ. FT.)	DWELLING
PARCEL	971 ACRES (42,299 SQ. FT.)	83 APARTMENTS PROVIDED
LAND USE SUMMARY	ACRES (SQ. FT.)	SITE COVERAGE %
PROPOSED BLDG FOOTPRINT	0.768 ACRES (33,433 SQ. FT.)	79.04%
DRIVE	0.038 ACRES (1,660 SQ. FT.)	3.94%
PLAZA/TERRACE	0.048 ACRES (2,088 SQ. FT.)	4.94%
O.S. SIDEWALK/RAMPS	0.025 ACRES (1,073 SQ. FT.)	2.54%
TOTAL IMPERVIOUS	0.879 ACRES (38,260 SQ. FT.)	90.46%
O.S. LANDSCAPE	0.092 ACRES (4,039 SQ. FT.)	9.54%
TOTAL LANDSCAPE	0.092 ACRES (4,039 SQ. FT.)	9.54%

Date: 2021/05/18 Project No.:
Scale: N/A CAD File Name:
Design: pep Base-Master
Sheet No.: Checked:
A0.2

MIXED USE DEVELOPMENT

6121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P|H

A R C H I T E C T S

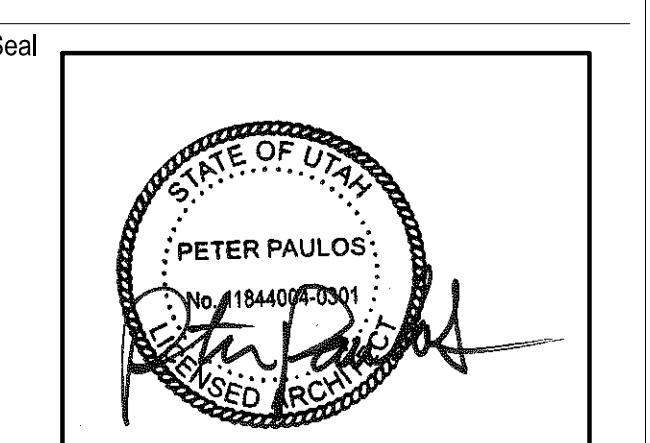
38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

Site Plan



Project Team:
Architect and Planner:
P|H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:



Revisions No. Date Issue

LANDSCAPE SITE PLAN—GROUND FLOOR

Date: 2021/09/20 Project No.:

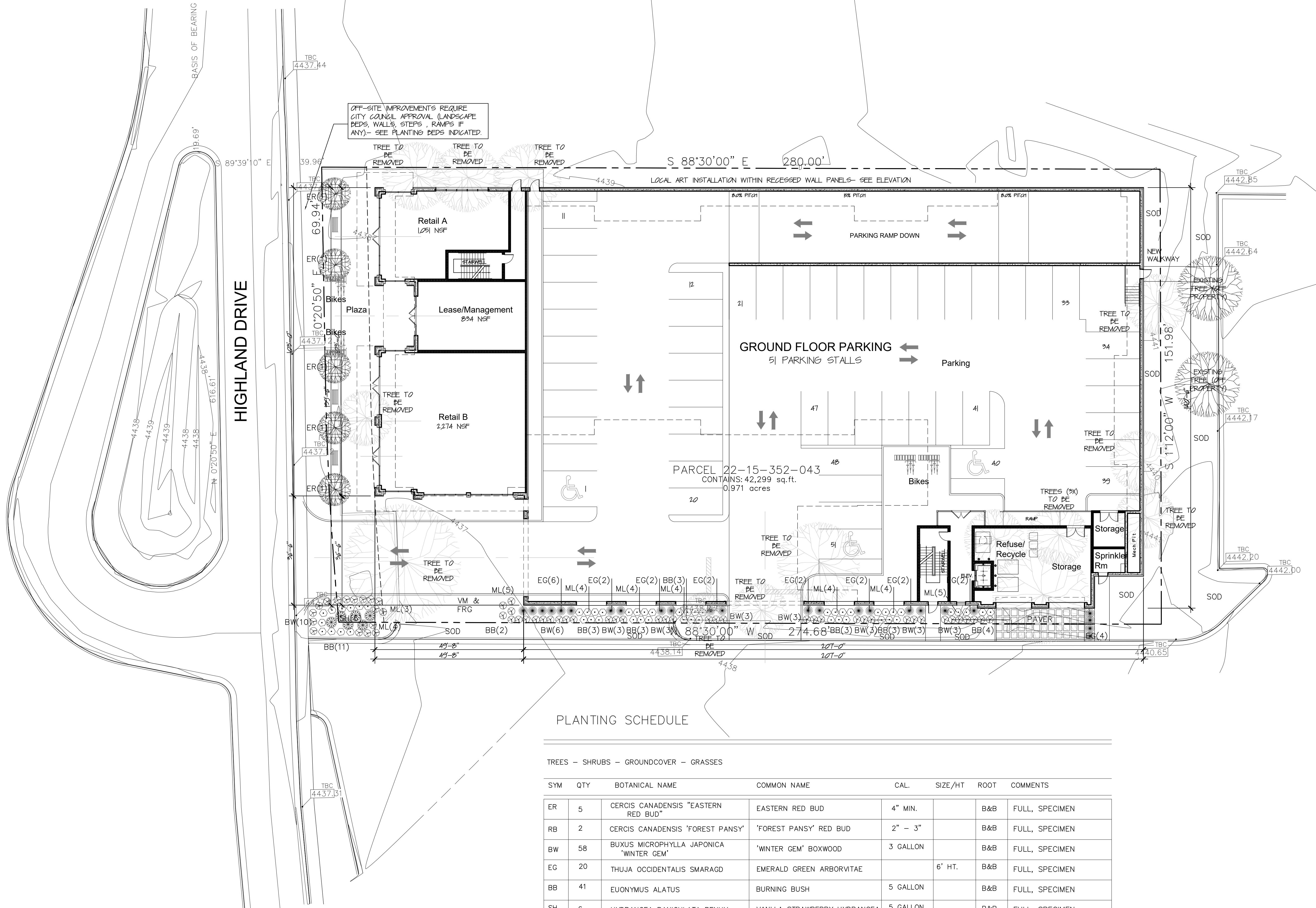
Scale: 1/16"=1'-0" CAD File Name:

Design: pep Base-Master Checked:

Sheet No.:

L0.1

© P ARCHITECTS, LLC



THIS DOCUMENT, AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE PROPERTY OF
P|H ARCHITECTS, LLC,
AND IS NOT TO BE USED,
IN WHOLE OR IN PART,
FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN
AUTHORIZATION OF
P|H ARCHITECTS, LLC.

WORK SHALL CONFORM
TO APPLICABLE CODES
AND REQUIREMENTS OF
UTILITIES AND
AUTHORITIES HAVING
JURISDICTION.

DO NOT SCALE THE
DRAWINGS.

VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

© P ARCHITECTS, LLC

**MIXED USE
DEVELOPMENT**
6121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P | H

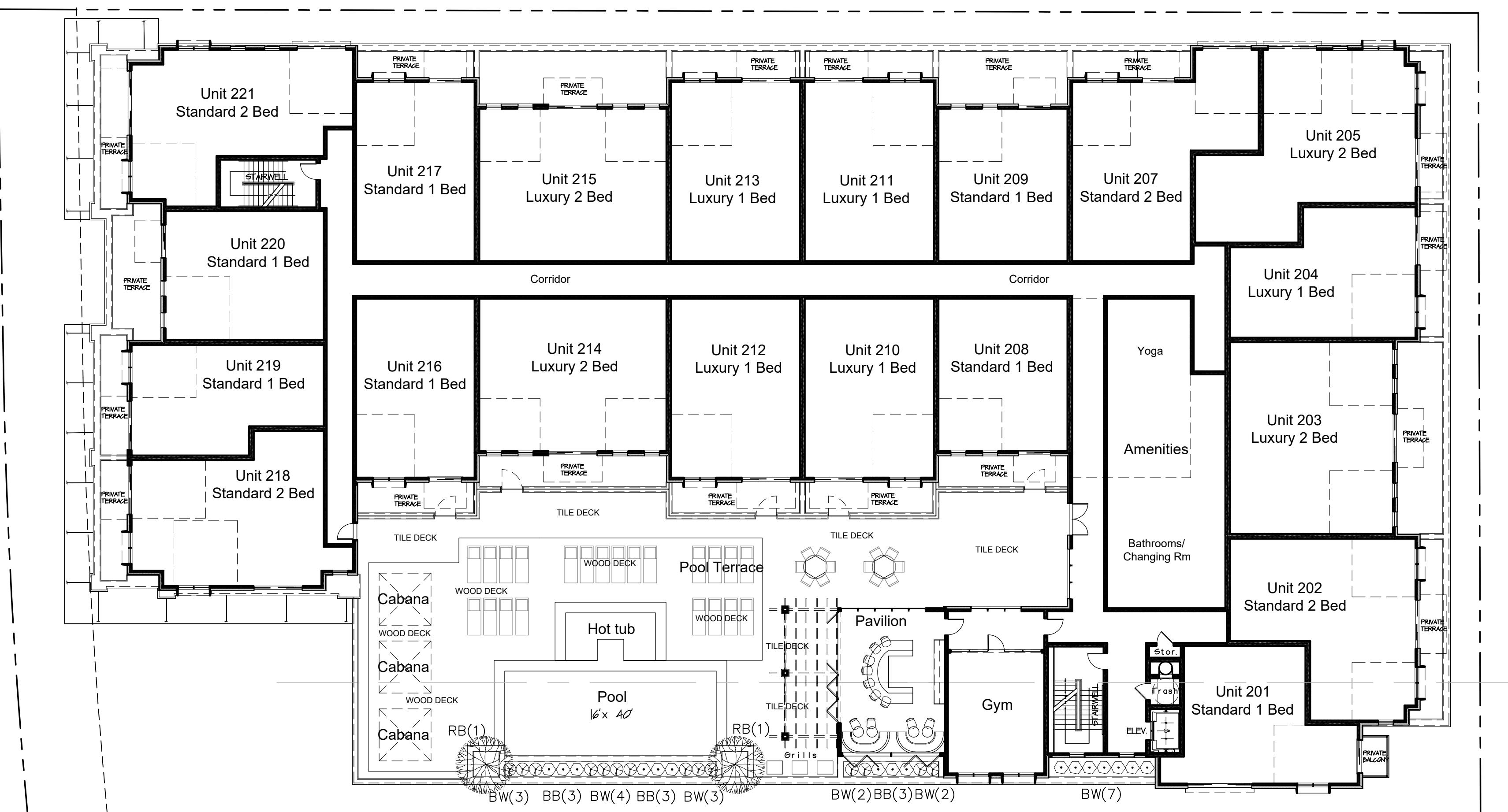
A R C H I T E C T S

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

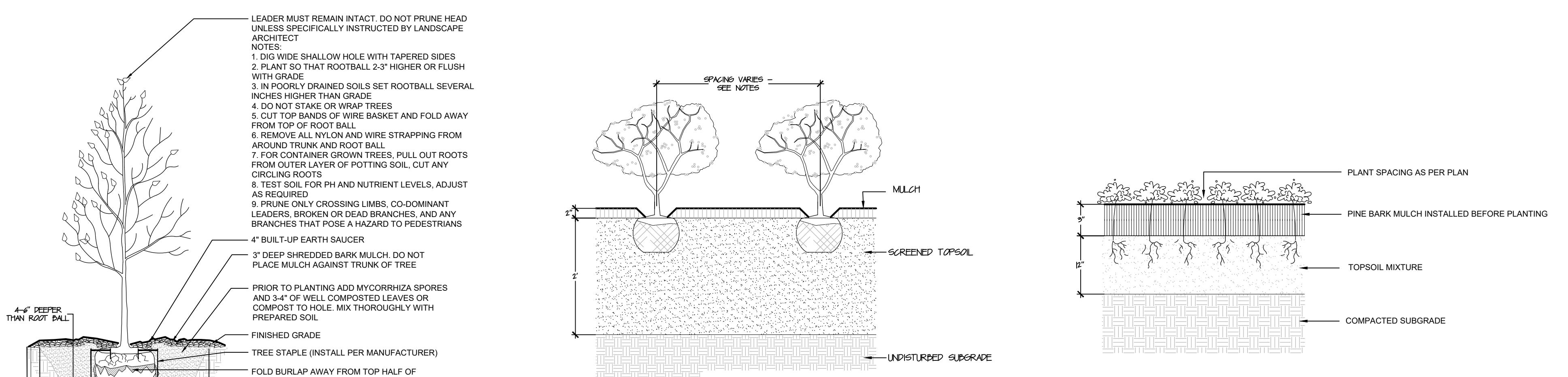


Project Team:
Architect and Planner:
P | H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:
ENSIGN
THE STANDARD IN ENGINEERING
SALT LAKE CITY
45 W, 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.253.5529

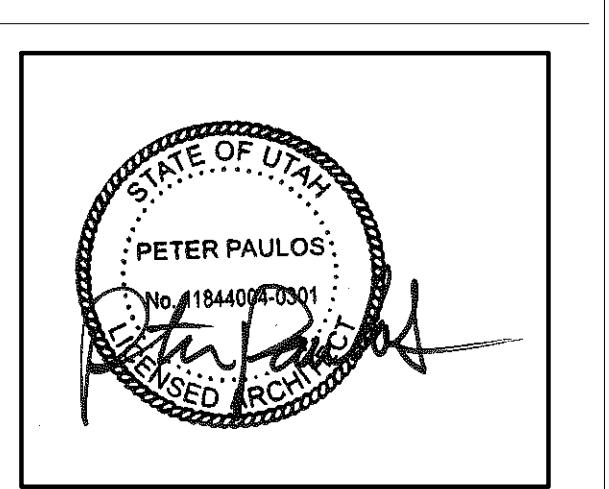


1
LO2 LANDSCAPE PLAN- SECOND FLOOR TERRACE
SCALE: 1/16"=1'-0"
NORTH



2
LO2 PLANTING DETAILS
SCALE: NTS

THIS DOCUMENT, AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE PROPERTY OF
P | H ARCHITECTS, LLC.
AND IS NOT TO BE USED,
IN WHOLE OR IN PART,
FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN
AUTHORIZATION OF
P | H ARCHITECTS, LLC.
DO NOT SCALE THE
DRAWINGS.
VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.



Revisions
No. Date Issue

LANDSCAPE SITE PLAN-
SECOND FLOOR TERRACE

Date: 2021/09/20 Project No.:
Scale: 1/16"=1'-0" CAD File Name:
Design: pep Base-Master
Sheet No.: Checked:
© P | H ARCHITECTS, LLC

L0.2

MIXED USE DEVELOPMENT

6121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P | H

A R C H I T E C T S

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

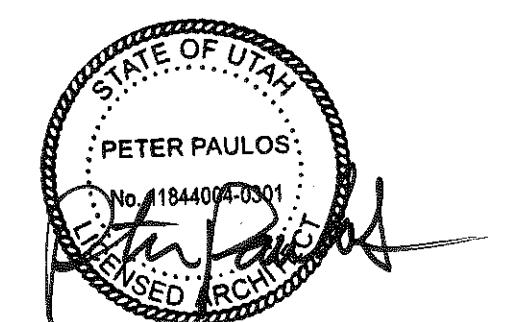
Site Plan



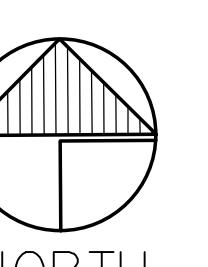
Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:
ENSIGN
THE STANDARD IN ENGINEERING
SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.253.0529

Seal



Revisions
No. Date Issue
I. 2021/03/20 DESIGN REVIEW BOARD
SUBMISSION

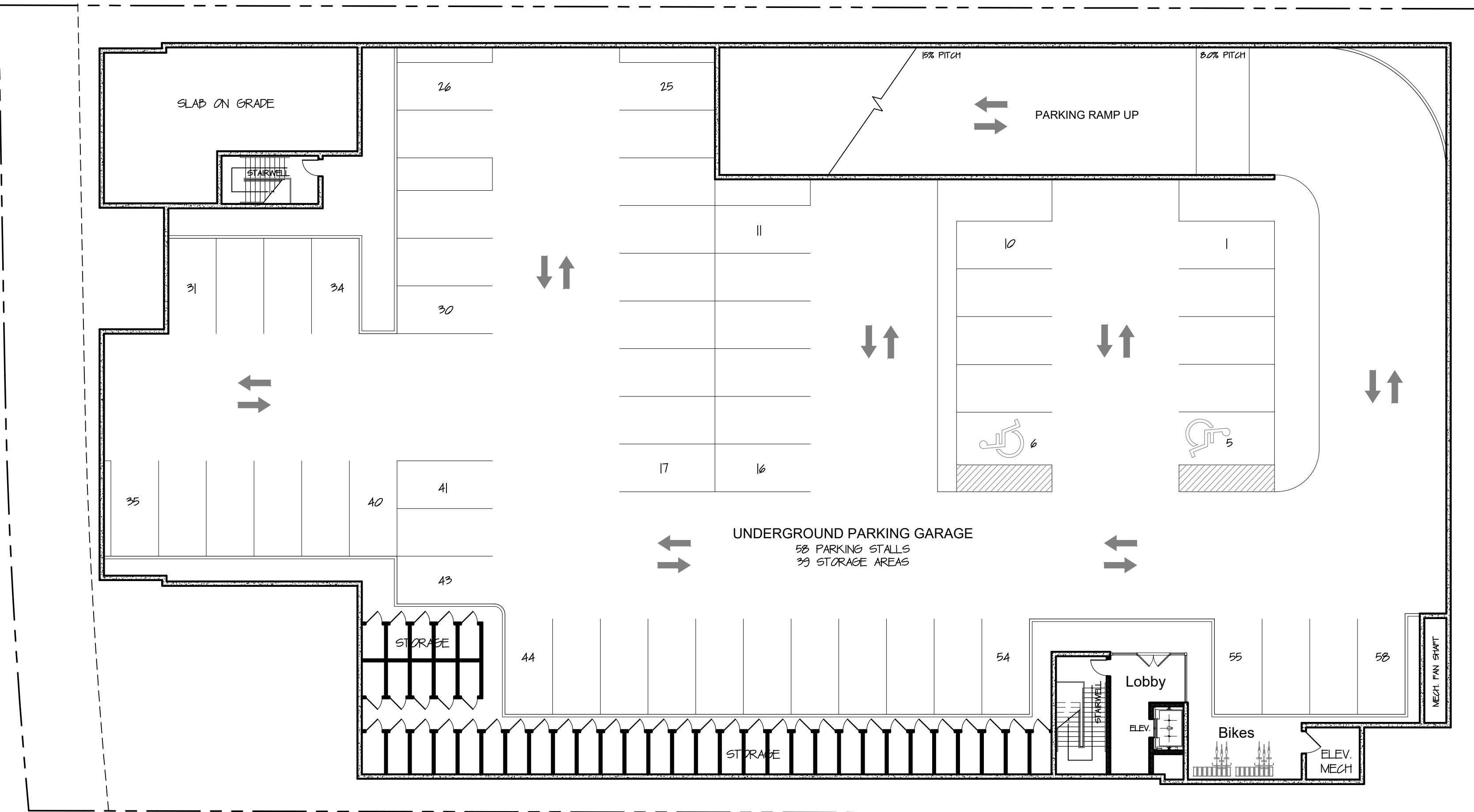


PROPOSED
FLOOR PLANS

THIS DOCUMENT, AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE PROPERTY OF
P H ARCHITECTS LLC,
AND IS NOT TO BE USED,
IN WHOLE OR IN PART,
FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN
AUTHORIZATION OF
P H ARCHITECTS LLC.
DO NOT SCALE THE
DRAWINGS.
VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

Date: 2021/03/18 Project No.:
Scale: 1/16"=1'-0" CAD File Name:
Design: pep Base-Master
Sheet No.: Checked:

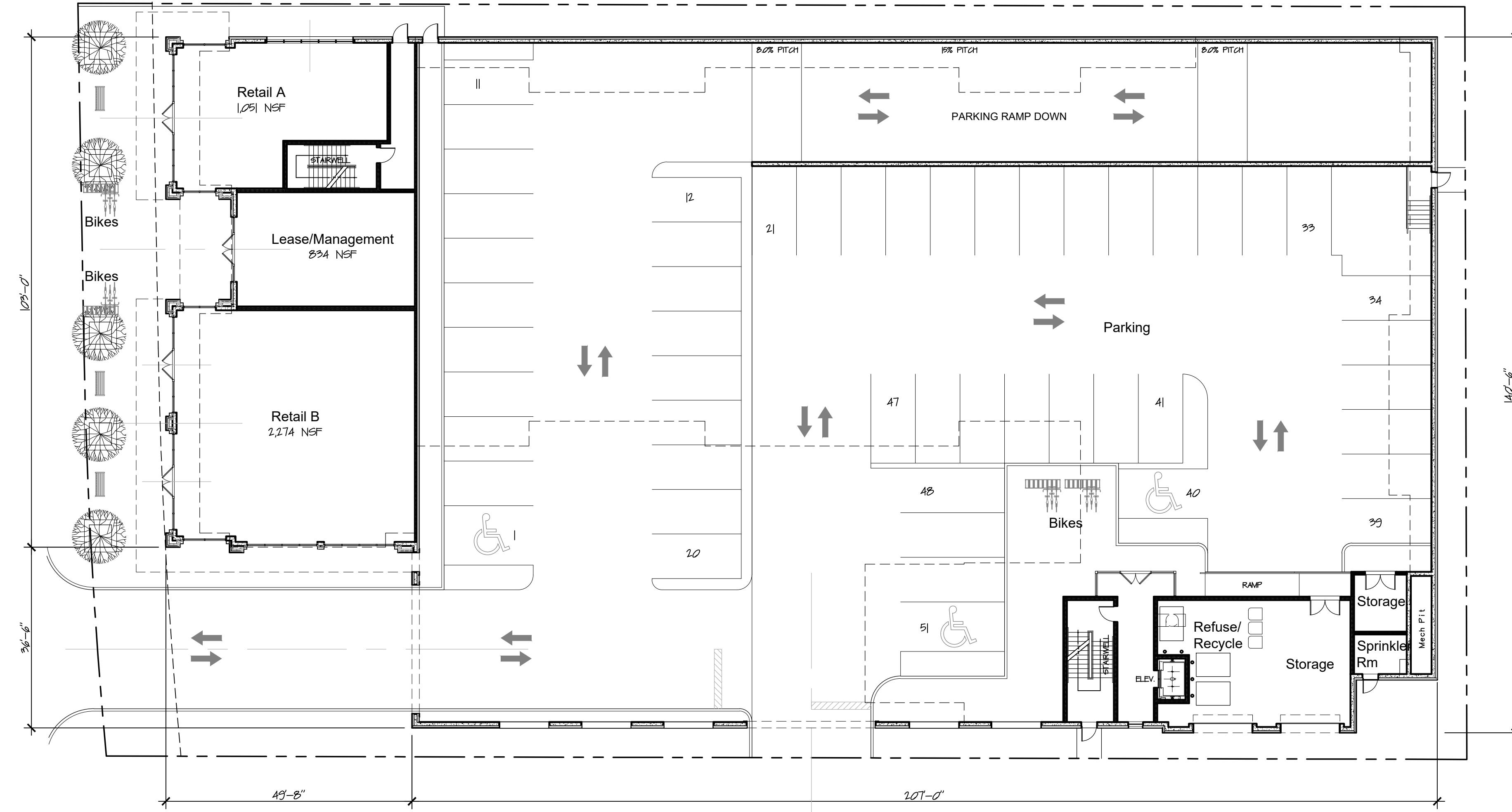
A1.1



1 PARKING GARAGE FLOOR PLAN

All

SCALE: 1/16"=1'-0"



2 MAIN LEVEL FLOOR PLAN

All

SCALE: 1/16"=1'-0"

MIXED USE DEVELOPMENT

121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

PH

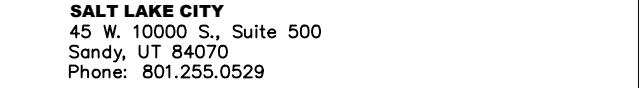
A R C H I T E C T S

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

Site Plan

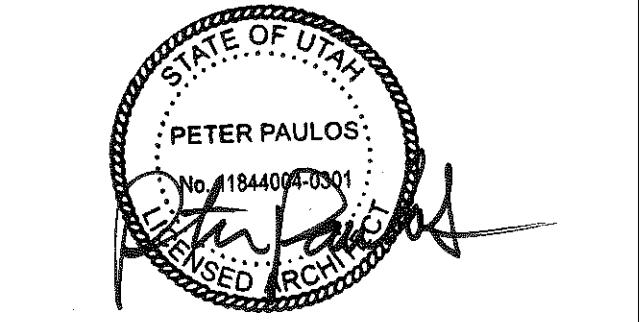


Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

Seal



Revisions		
No.	Date	Issue
	2021/09/20	DESIGN REVIEW BOARD

PROPOSED FLOOR PLANS

THIS DOCUMENT, AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE PROPERTY OF
P H ARCHITECTS L.L.C.
AND IS NOT TO BE USED,
IN WHOLE OR IN PART,
FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN
AUTHORIZATION OF
P H ARCHITECTS L.L.C.

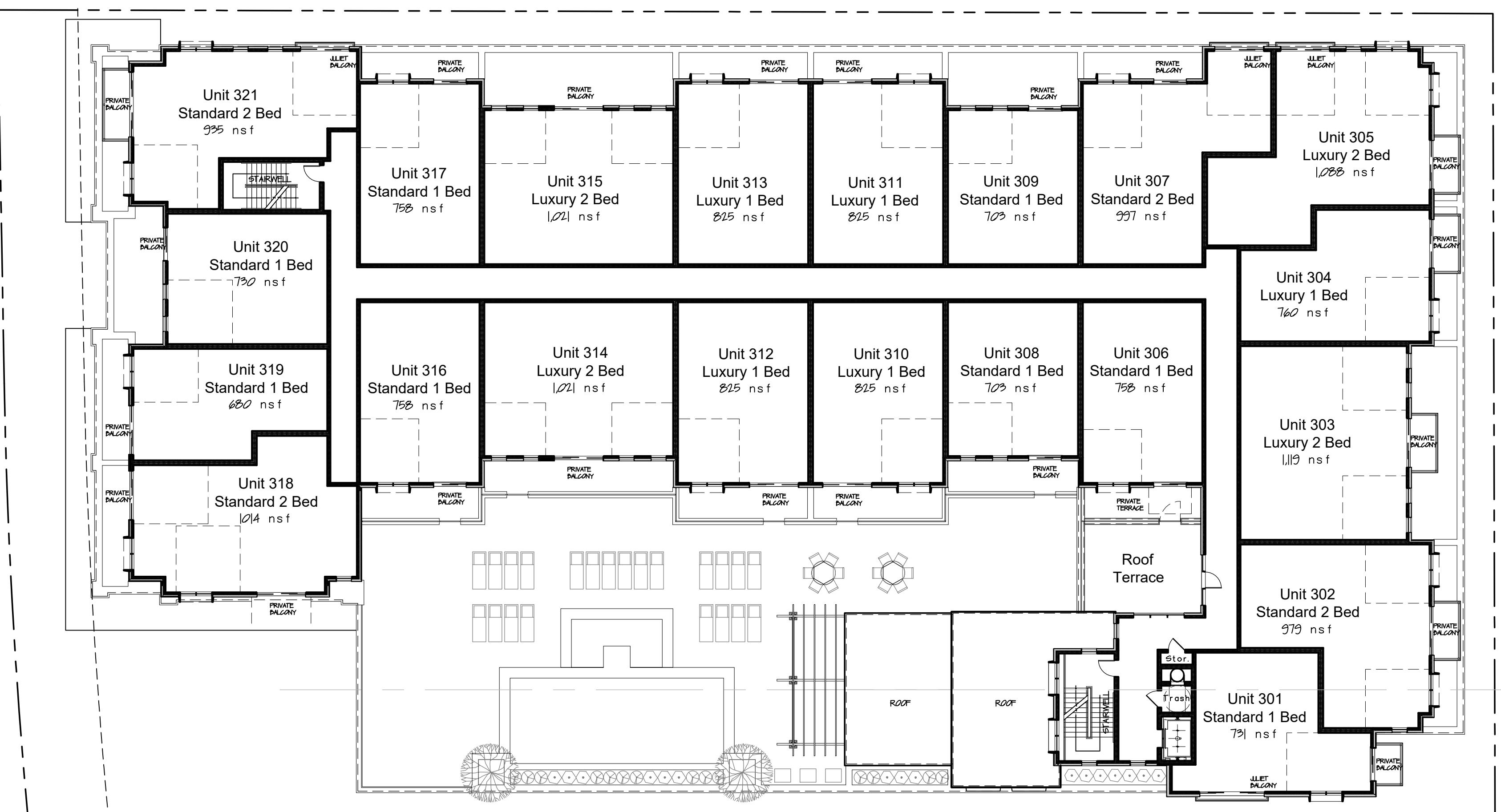
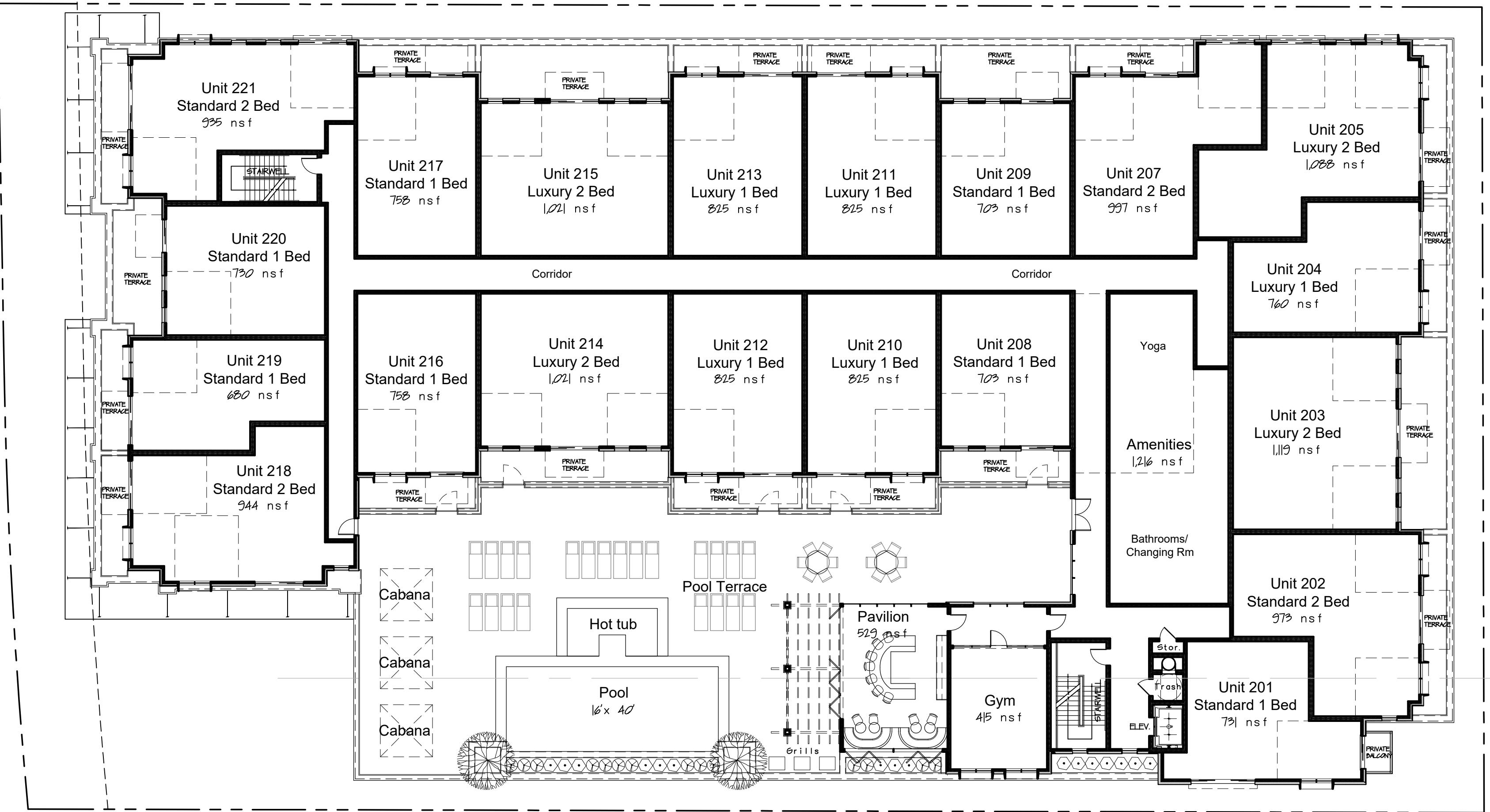
WORK SHALL CONFORM
TO APPLICABLE CODES
AND REQUIREMENTS OF
UTILITIES AND
AUTHORITIES HAVING
JURISDICTION.

DO NOT SCALE THE
DRAWINGS.

VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

SECOND LEVEL FLOOR PLAN

1 A1.2 SCALE: 1/16"=1'-0"



2 THIRD LEVEL FLOOR PLAN

A1.2 SCALE: 1/16"=1'-0"

© P H ARCHITECTS, LLC

TECTS, LLC

1.2

**MIXED USE
DEVELOPMENT**
6121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121
Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P|H

A R C H I T E C T S

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

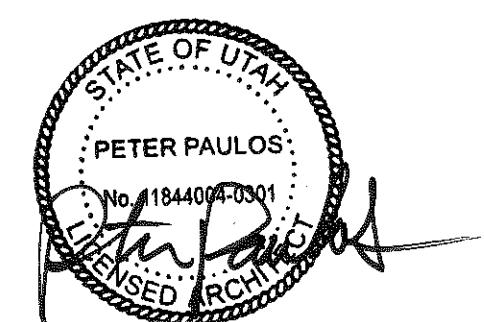


Project Team:
Architect and Planner:
P|H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

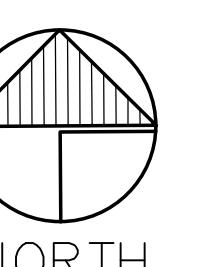
Civil Engineer:



Seal



Revisions
No. Date Issue
I. 2021/03/20 DESIGN REVIEW BOARD
SUBMISSION



PROPOSED
FLOOR PLANS

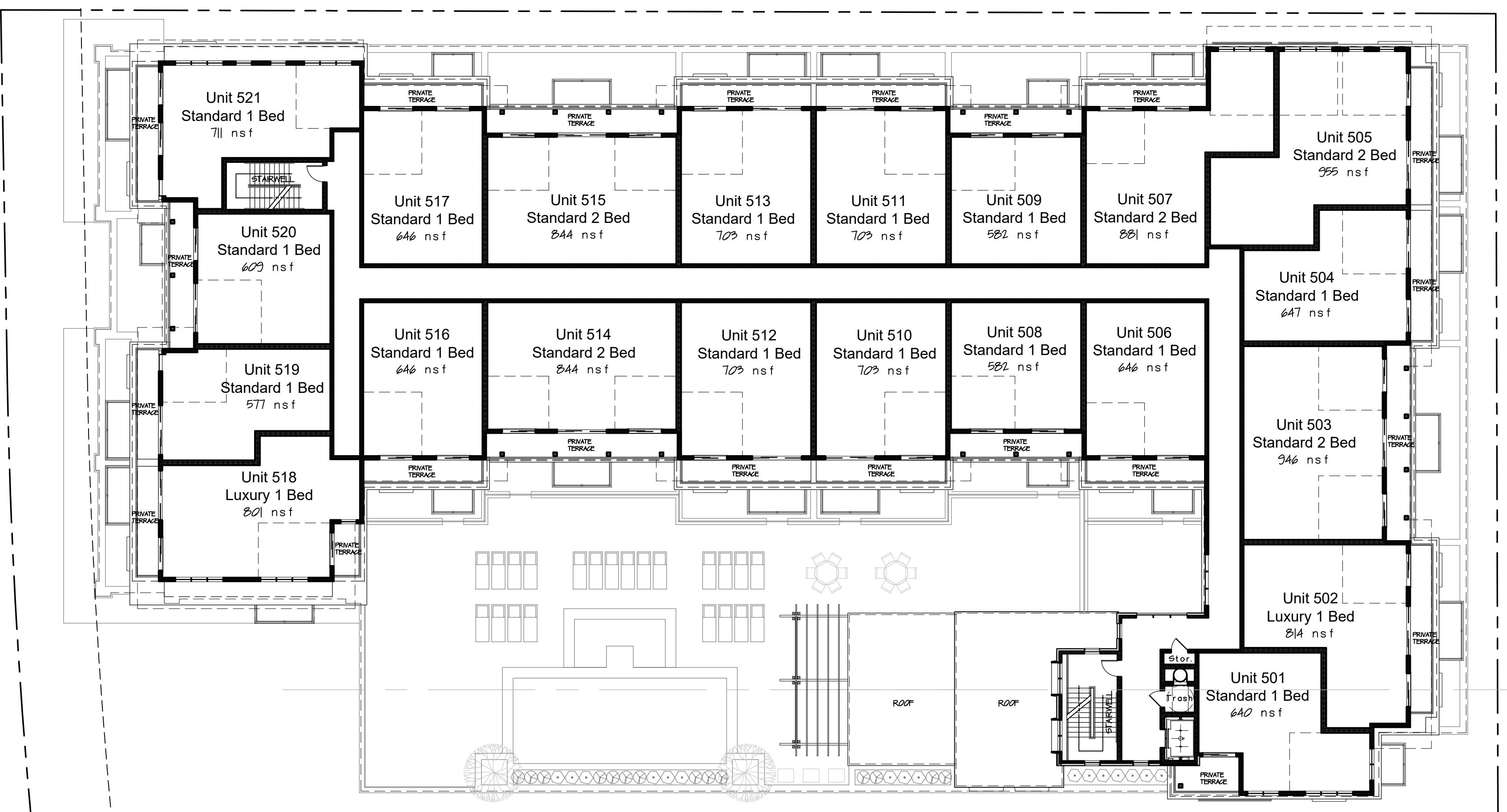
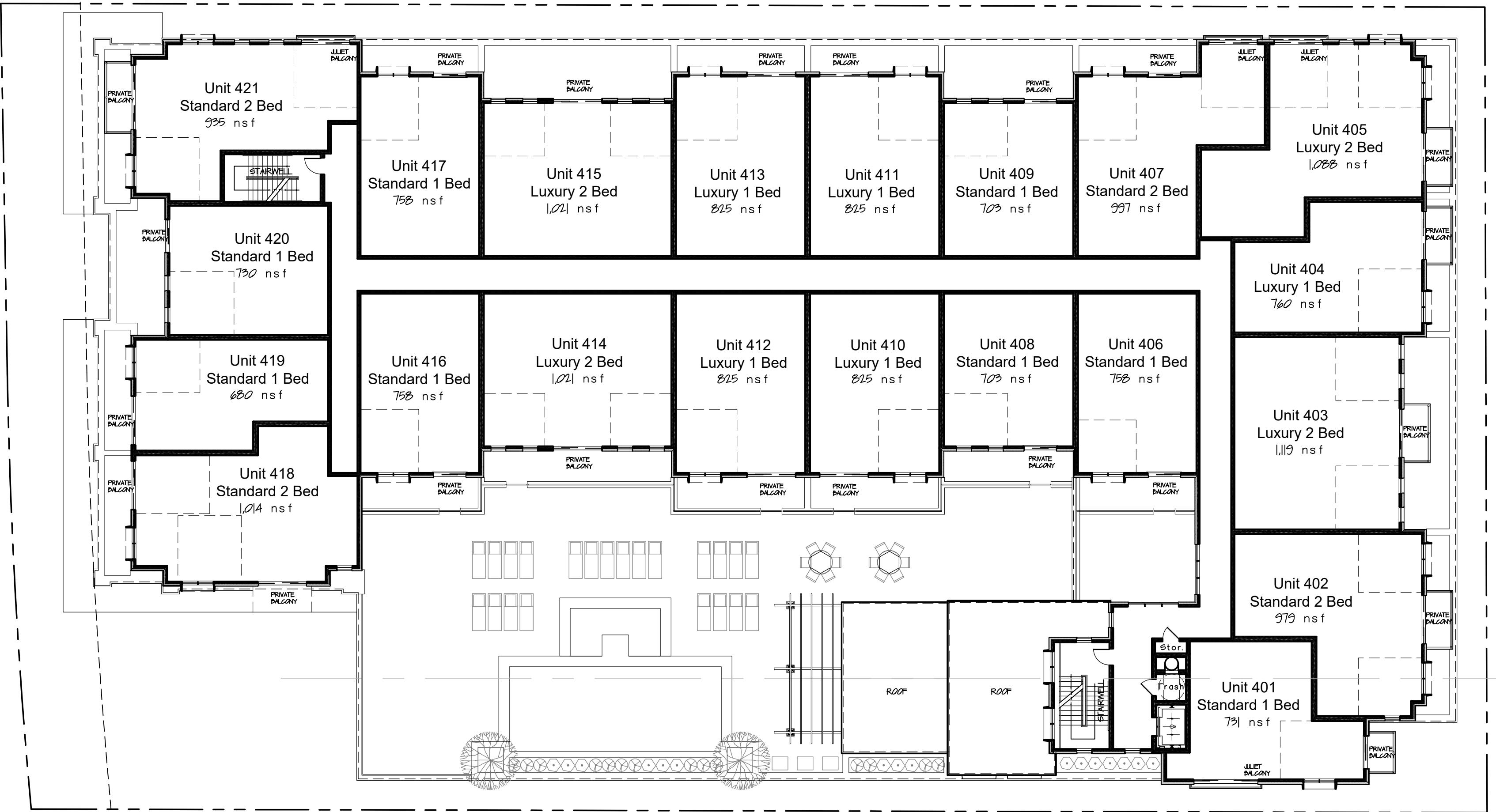
THIS DOCUMENT, AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE PROPERTY OF
P|H ARCHITECTS, LLC,
AND IS NOT TO BE USED,
IN WHOLE OR IN PART,
FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN
AUTHORIZATION OF
P|H ARCHITECTS, LLC.
DO NOT SCALE THE
DRAWINGS.
VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

WORK SHALL CONFORM
TO APPLICABLE CODES
AND REQUIREMENTS OF
UTILITIES AND
AUTHORITIES HAVING
JURISDICTION.

DO NOT SCALE THE
DRAWINGS.

VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

Date: 2021/03/18 Project No.:
Scale: 1/16"=1'-0" CAD File Name: Base-Master
Design: pep Checked:
Sheet No.: A1.3



A1.3

© P|H ARCHITECTS, LLC

**MIXED USE
DEVELOPMENT**

6121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P | H

A R C H I T E C T S

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

Site Plan



Project Team:

Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:

EN SIGN
THE STANDARD IN ENGINEERING
SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.253.0529



FRONT EXTERIOR ELEVATION (WEST)

SCALE: 3/32"=1'-0"

A2.1



SIDE EXTERIOR ELEVATION (SOUTH)

SCALE: 3/32"=1'-0"

A2.1

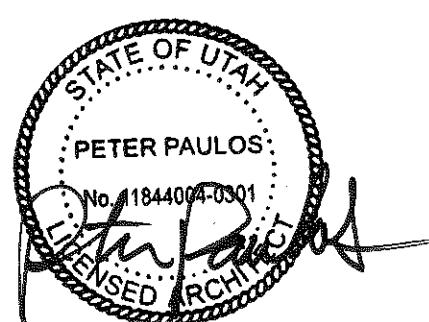
THIS DOCUMENT, AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE PROPERTY OF
P H ARCHITECTS LLC,
AND IS NOT TO BE USED,
IN WHOLE OR IN PART,
FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN
AUTHORIZATION OF
P H ARCHITECTS LLC.

WORK SHALL CONFORM
TO APPLICABLE CODES
AND REQUIREMENTS OF
UTILITIES AND
AUTHORITIES HAVING
JURISDICTION.

DO NOT SCALE THE
DRAWINGS.

VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

Seal



Revisions
No. Date Issue
1. 2021/03/20 DESIGN REVIEW BOARD
SUBMISSION

**PROPOSED
EXTERIOR ELEVATIONS**

Date: 2021/03/18 Project No.:
Scale: 3/32"=1'-0" CAD File Name:
Design: pep Base-Master
Sheet No.: Checked:
A2.1

MIXED USE DEVELOPMENT

6121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117



ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

Site Plan



Project Team:

Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:

EN SIGN
THE STANDARD IN ENGINEERING
SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.253.0529



REAR EXTERIOR ELEVATION (EAST)

A2.2

SCALE: 3/32"=1'-0"



SIDE EXTERIOR ELEVATION (NORTH)

A2.2

SCALE: 3/32"=1'-0"

THIS DOCUMENT, AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE PROPERTY OF
P H ARCHITECTS, LLC,
AND IS NOT TO BE USED,
IN WHOLE OR IN PART,
FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN
AUTHORIZATION OF
P H ARCHITECTS, LLC.

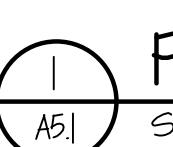
WORK SHALL CONFORM
TO APPLICABLE CODES
AND REQUIREMENTS OF
UTILITIES AND
AUTHORITIES HAVING
JURISDICTION.

DO NOT SCALE THE
DRAWINGS.

VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

Date: 2021/05/18 Project No.:
Scale: 3/32"=1'-0" CAD File Name: Base-Master
Design: pep Checked:
Sheet No.:
© P H ARCHITECTS, LLC

A2.2



PERSPECTIVE RENDERING

SCALE: N/A

MIXED USE DEVELOPMENT

6121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117



A R C H I T E C T S

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

Site Plan



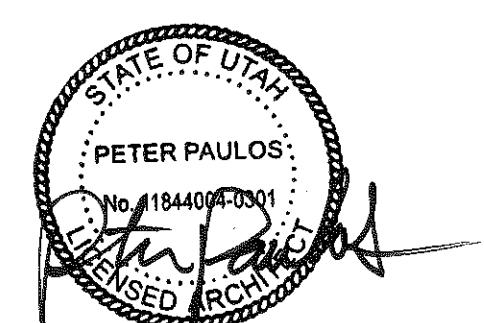
Project Team:

Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:

ENSIGN
THE STANDARD IN ENGINEERING
SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.253.0529

Seal



Rewards
No. Date Issue
I. 2021/09/20 DESIGN REVIEW BOARD SUBMISSION

Date: 2021/05/18 Project No.:
Scale: N/A CAD File Name:
Design: pep Rendered: Checked:
Sheet No.:
© P H ARCHITECTS, LLC

THIS DOCUMENT, AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE PROPERTY OF
P H ARCHITECTS LLC.
AND IS NOT TO BE USED,
IN WHOLE OR IN PART,
FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN
AUTHORIZATION OF
P H ARCHITECTS LLC.
DO NOT SCALE THE
DRAWINGS.
VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

A5.1

© P H ARCHITECTS, LLC

**MIXED USE
DEVELOPMENT**
6121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P | H

A R C H I T E C T S

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

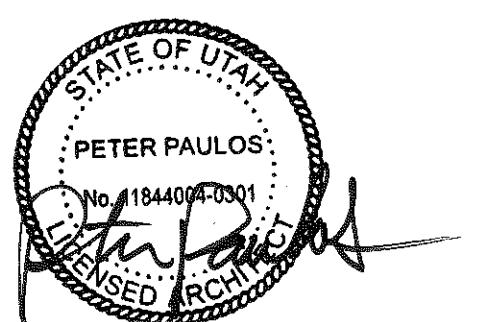
Site Plan



Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

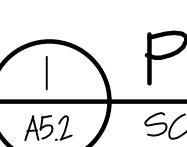
Civil Engineer:
ENSIGN
THE STANDARD IN ENGINEERING
SALT LAKE CITY
45 W, 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.253.5529

Seal



Rewards
No. Date Issue
I. 2021/09/10 DESIGN REVIEW BOARD
SUBMISSION

PERSPECTIVE RENDERING



PERSPECTIVE RENDERING

SCALE: N/A

THIS DOCUMENT, AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE PROPERTY OF
P. H. ARCHITECTS, LLC.
AND IS NOT TO BE USED,
IN WHOLE OR IN PART,
FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN
AUTHORIZATION OF
P. H. ARCHITECTS, LLC.
DO NOT SCALE THE
DRAWINGS.
VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

WORK SHALL CONFORM
TO APPLICABLE CODES
AND REQUIREMENTS OF
UTILITIES AND
AUTHORITIES HAVING
JURISDICTION.

DO NOT SCALE THE
DRAWINGS.

VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

Date: 2021/09/10 Project No.:
Scale: N/A CAD File Name:
Design: pep Rendered: Checked:
Sheet No.:

A5.2

© P H ARCHITECTS, LLC

MIXED USE DEVELOPMENT

6121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P | H

A R C H I T E C T S

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



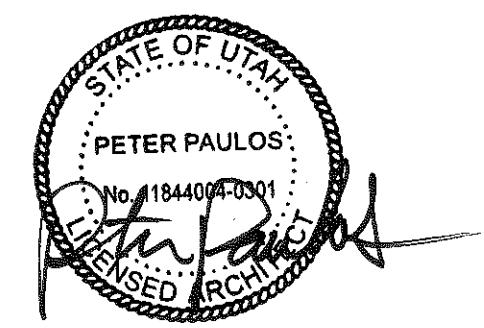
Project Team:

Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:

EN SIGN
THE STANDARD IN ENGINEERING
SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.253.5529

Seal



Revisions
No. Date Issue
I. 2021/05/18 DESIGN REVIEW BOARD SUBMISSION

PERSPECTIVE RENDERING ALTERNATE OPTIONS

THIS DOCUMENT, AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE PROPERTY OF
P H ARCHITECTS L.L.C.
AND IS NOT TO BE USED,
IN WHOLE OR IN PART,
FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN
AUTHORIZATION OF
P H ARCHITECTS L.L.C.

WORK SHALL CONFORM
TO APPLICABLE CODES
AND REQUIREMENTS OF
UTILITIES AND
AUTHORITIES HAVING
JURISDICTION.

DO NOT SCALE THE
DRAWINGS.

VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

Date: 2021/05/18 Project No.:
Scale: N/A CAD File Name:
Design: pep Rendered Vol.:
Sheet No.: Checked:

A5.3



2
A53 PERSPECTIVE RENDERING- OPTION 2
SCALE: N/A



1
A53 PERSPECTIVE RENDERING- OPTION 1
SCALE: N/A



MIXED USE DEVELOPMENT

121 SOUTH HIGHLAND DRIVE
HOLLADAY, UTAH 84121

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

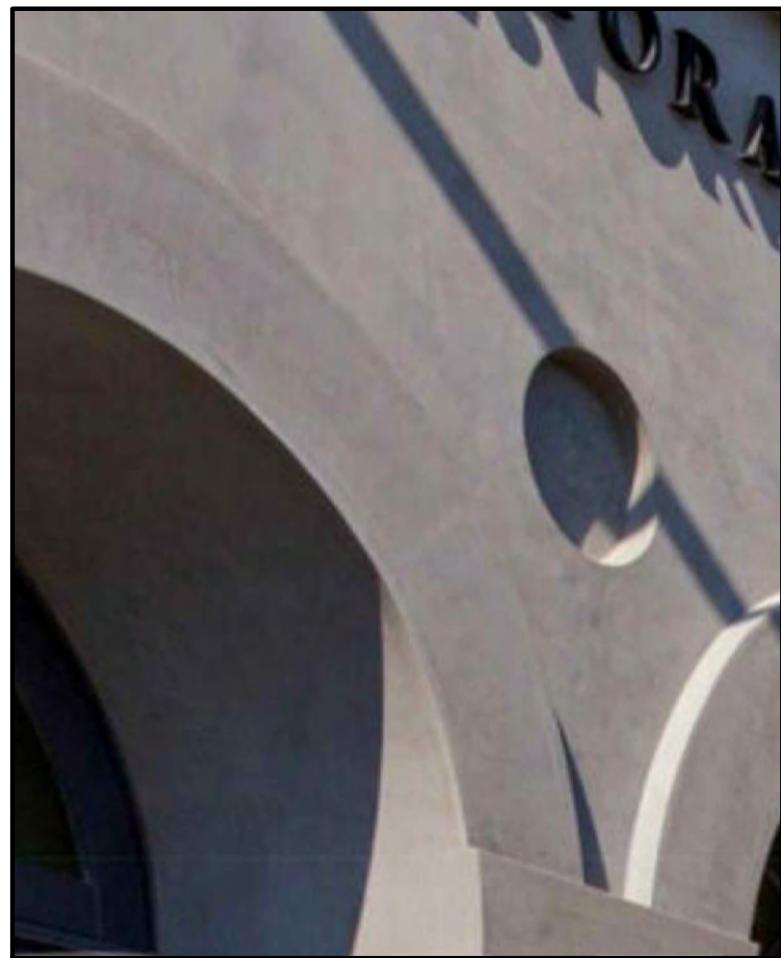
PH

A R C H I T E C T S

38 Taunton Hill Road
Newtown, Connecticut 06470
03-426-6500 tel. 203-426-6503 fax
ph-archs.com



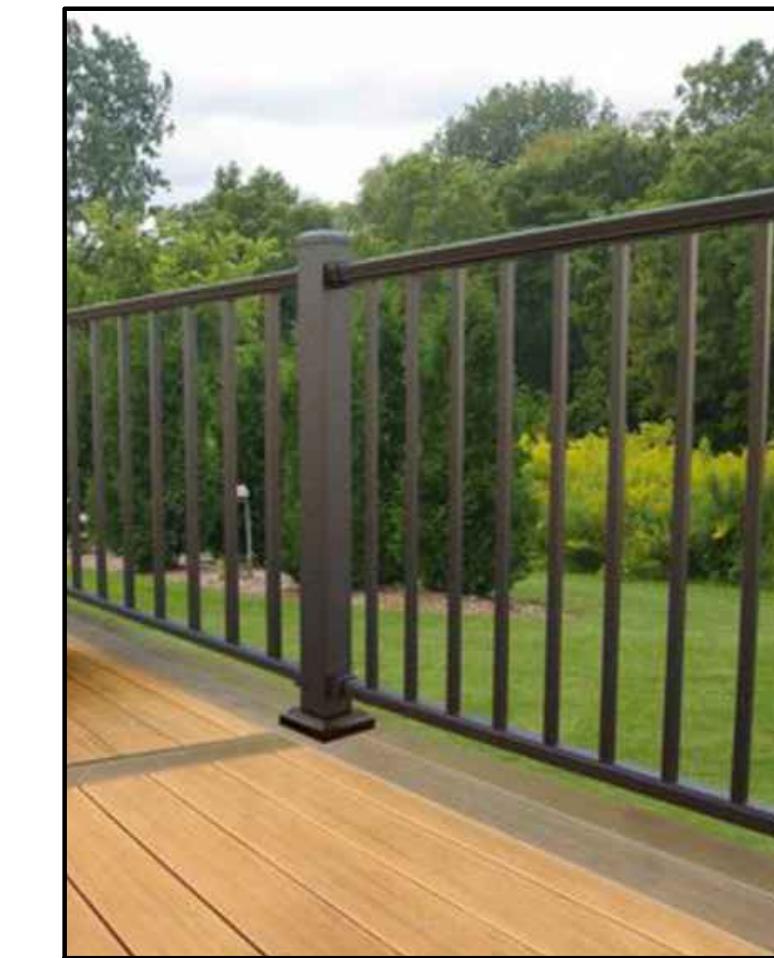
Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax



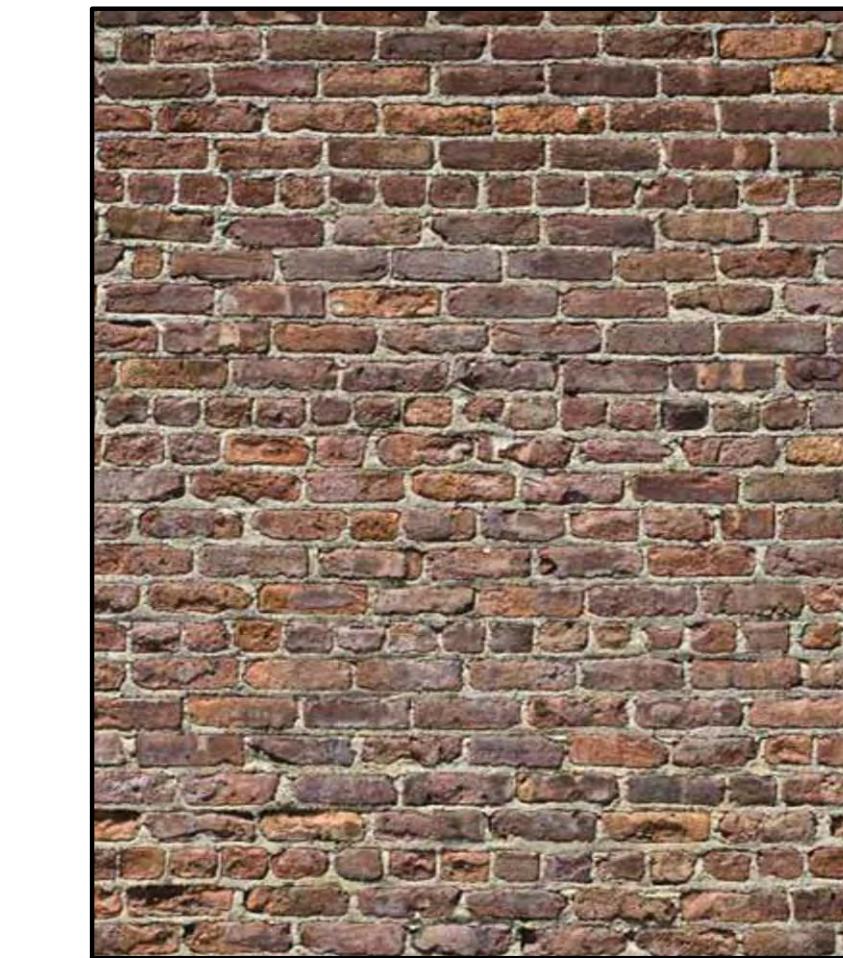
PLASTER



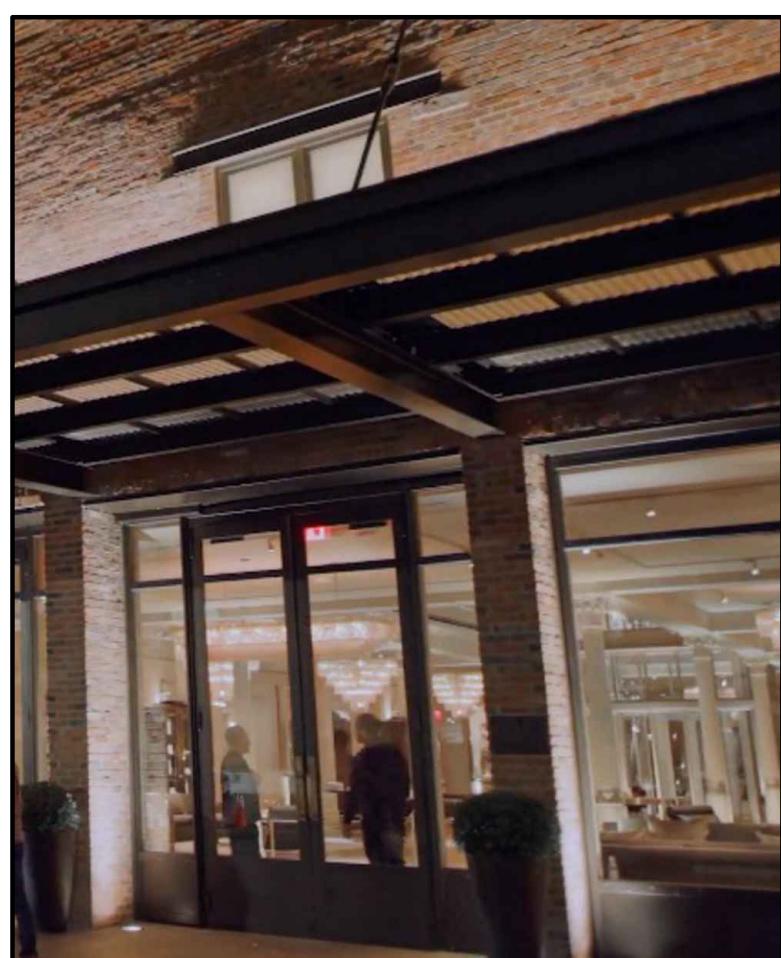
HORIZONTAL THERMORY WOOD SIDING (OR APPROVED EQUAL)



PAINTED METAL RAILING



DISTRESSED BRICK VENEER



PAINTED METAL





MATERIAL SELECTIONS

SCALE: N/A

1 MATER
151 SCALE: N/A

THIS DOCUMENT, AND THE
IDEAS AND DESIGNS
INCORPORATED HEREIN, AS
AN INSTRUMENT OF
PROFESSIONAL SERVICE, IS
THE PROPERTY OF
P H ARCHITECTS L.L.C.
AND IS NOT TO BE USED,
IN WHOLE OR IN PART,
FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN
AUTHORIZATION OF
P H ARCHITECTS L.L.C.

WORK
TO AP
AND R
UTILITI
AUTHO
JURISD
DO NO
DRAWI
VERIFY
IN THE
DISCRE

WORK SHALL CONFORM
TO APPLICABLE CODES
AND REQUIREMENTS OF
UTILITIES AND
AUTHORITIES HAVING
JURISDICTION.

DO NOT SCALE THE
DRAWINGS.

VERIFY ALL DIMENSIONS
IN THE FIELD. REPORT
DISCREPANCIES.

For more information, contact the National Institute of Child Health and Human Development (NICHD) at 301-435-0911 or 1-800-377-1326, or visit the NICHD website at www.nichd.nih.gov.

ate: 2021/05/18 Project No.: _____
cale: N/A CAD File Name: _____
esign: pep Rendering Vol _____
heet No.: _____

A5.4

A5.4



FILE# 21-1-13

"VIEWMONT COVE" 2-Lot Subdivision

ADDRESS:

4813 South Viewmont

LEGAL DESCRIPTION: 39,639 sqft

PARCEL ID# 22-10-127-053
BEG W 1863 FT & S 654.1 FT & S 44° E 429.1 FT FR N 1/4 COR SEC 10, T 2S, R 1E, SLM; S 44° E 91.85 FT; N 58° E 125 FT; S 44° E 91.85 FT; N 58° E 211.86 FT; N 44° W 91.85 FT; S 58° W 87.65 FT; N 44° W 91.66 FT; S 58° W 248.9 FT M OR L TO BEG. 0.91 AC M OR L. 6995-0459

APPLICANT/REPRESENTATIVE:

David Haynie & Denise Hurst

PROPERTY OWNER:

David Haynie & Denise Hurst

ZONING:

R-1-15

GENERAL PLAN DISTRICT:

Low Density Residential-Stable (LDR-S)

CITY COUNCIL DISTRICT:

District #2

PUBLIC NOTICE DETAILS:

Hearing notice mailed 09/24/2021

REQUEST:

Subdivision - CONCEPT REVIEW

APPLICABLE REGULATIONS:

13.08.010: Review and approval procedures

13.10.050: submission requirements

EXHIBITS:

Staff Report

Applicant Narrative

Neighborhood Meeting Minutes/attendance

Conceptual Plan

STAFF:

Jonathan Teerlink, City Planner

DECISION TYPE:

Administrative:

Public hearing required. PC shall make a motion of either, denial, approval or to continue. All motions require findings which support the decision. As directed by ordinance, applications shall be approved if the Land Use Authority finds Substantial Evidence of compliance with applicable requirements. Holladay Ord. 13.06.050.B2 and 13.08

SITE VICINITY MAP



Notes:

Recent Rezone approved R-1-10 to R-1-15



CITY of HOLLADAY

NOTICE OF A PUBLIC HEARING

RESIDENTIAL SUBDIVISION – 2 LOT

Date: Tuesday, October 5th 2021
Time: As close to 6:00 pm as possible
Location: City Hall – City Council Chambers
Hearing Body: Planning Commission

Notice is hereby given that the City of Holladay Planning Commission will review a Conceptual/Preliminary subdivision plan application submitted by the property owner, David Haynie to subdivide the property located at approximately 4813 South Viewmont in the R-1-15 zone, into 2 single family home lots (2 homes total). As per Holladay Ordinance 13.08

Please submit comments via email by 5:00 pm 10/04/2021 to Jonathan Teerlink, jteerlink@cityofholladay.com Emailed comments received by the designated times will be forwarded to the Commission prior to the meeting.

Additional information regarding this item & instructions how to join this meeting remotely can be found on the City's website and on the posted agenda, prior to the meeting. Interested parties are encouraged to watch the video stream of the meeting on the City of Holladay Facebook page.

ATTENTION: This notice was mailed on 09/24/2021 by order of the Community and Economic Development Director, LaNiece Davenport, to all residents within 500 feet from the subject property. If you are not the owner of your residence, please notify the owner regarding this matter. Thank you.



CITY of HOLLADAY

NOTICE OF A PUBLIC HEARING

RESIDENTIAL SUBDIVISION – 2 LOT

Date: Tuesday, October 5th 2021
Time: As close to 6:00 pm as possible
Location: City Hall – City Council Chambers
Hearing Body: Planning Commission

Notice is hereby given that the City of Holladay Planning Commission will review a Conceptual/Preliminary subdivision plan application submitted by the property owner, David Haynie to subdivide the property located at approximately 4813 South Viewmont in the R-1-15 zone, into 2 single family home lots (2 homes total). As per Holladay Ordinance 13.08

Please submit comments via email by 5:00 pm 10/04/2021 to Jonathan Teerlink, jteerlink@cityofholladay.com Emailed comments received by the designated times will be forwarded to the Commission prior to the meeting.

Additional information regarding this item & instructions how to join this meeting remotely can be found on the City's website and on the posted agenda, prior to the meeting. Interested parties are encouraged to watch the video stream of the meeting on the City of Holladay Facebook page.

ATTENTION: This notice was mailed on 09/24/2021 by order of the Community and Economic Development Director, LaNiece Davenport, to all residents within 500 feet from the subject property. If you are not the owner of your residence, please notify the owner regarding this matter. Thank you.





CITY OF HOLLADAY

Planning Commission

October 5th 2021

Item #3

Request: **RESIDENTIAL SUBDIVISION – CONCEPT PLAN**
Project: Viewmont Cove Subdivision
Address: 4855 South Wander Lane
Zone: R-1-15
Applicant: David Haynie and Denise Hurst
File No: 21-1-13
Notice: Mailed 09/24/2021
Staff: Jonathan Teerlink

GOVERNING ORDINANCES:	13.08.10C	SUBDIVISION PLAN APPROVAL STANDARDS
	13.10.50	SUBDIVISIONS SUBMISSION REQUIREMENTS

REQUIRED PLANNING COMMISSION ACTION: *Administrative*

Administrative: Creation and/or amendments of a subdivision plat requires Administrative review and approval by the Land Use Authority (Planning Commission) in a three-step process; Concept, Preliminary and Final plat. Decisions and approval must be during public meeting. The notice for the required public hearing of this first step has been mailed to all properties within 500' of the subject parcels. The applicant held the required neighborhood meeting on 05/21/2021

SUMMARY

- A recent rezone approval allows the division of this .95 acre property into two single family lots
- *Density and Lot Area* – Current zoning allows single family residences on 15,000 sq. ft. minimum sized lots. This project exceeds minimum lot area requirements for the R-1-15 zone.
- *Geotechnical Considerations* – The proposed subdivision is not located in a fault hazard study area.
- *Topography* - The property relatively flat. Grading will be addressed in greater detail during the Preliminary Plat process.
- *General Plan* - The City's General Plan specifies Low Density Residential (LDR) for this area. It allows a maximum of four dwelling units per acre. This request, with 2 dwelling units per acre, is less than the maximum density indicated by the General Plan. (See General Plan, Page 10 and GP Appendix A, Page 2)
- *Drainage and Water Retention* – The City Engineer has indicated that an acceptable drainage and water retention plan can be provided and will be requirement of Preliminary Plat approval.
- *Road and Traffic Considerations* – Viewmont is classified as Residential street with a 50 foot right-of-way. (Please reference the General Plan, page 33 and Appendix A, page 3.) The addition of one additional residence would have minimal impact on current traffic volume and does not require a traffic study.
- *Utility Easement* – Utility service easements are proposed to be available for the rear lot.
- *Access and Right-of-Way* – A shared Right-of-Way Easement and Driveway Maintenance agreement for the new deep lot (Lot #2) must be recorded with the Final Plat.
- *Fire Access* –The UFA has approved the Conceptual Plan with regard to fire access and protection.

TECHNICAL REVIEW COMMITTEE ANALYSIS

At the time of writing this report, various minor comments requested of the applicant by the TRC have yet to be provided. These comments include, Tree preservation and replacement plan, verification from Salt Lake County Recorders that "Viewmont Cove" is an available subdivision name and clarification of the required 25 foot dedication of Viewmont Street (shown at 21.5 feet)

Primarily, for the purposes of this meeting the TRC has reviewed the Conceptual Plan for land use and area density compliance with the R-1-15 zone.

RECOMMENDATION

All required *conceptual* level elements of a residential subdivision proposal have been reviewed by the TRC and have been determined to be substantially complete as per the City's submission requirements. Staff recommends that the Planning Commission conduct a Public Hearing and consider the merits of this application for **Conceptual Plan approval**

The TRC recommends that the commission approve the **CONCEPTUAL SUBDIVISION**, Viewmont Cove located at 4813 South Viewmont Street in the R-1-15 zone with the following findings:

FINDINGS:

- The requirements for conceptual subdivision have been reviewed and recommended by the Holladay TRC
- The development exceeds the minimum dimensional standards of a detached, single-family development in the R-1-15 zone.
- The development complies with the General Plan

REQUIRMENTS FOR PRELIMANRY CONSIDERATION:

- Utility service letters
- Preliminary level construction drawings.
- Dedication of Viewmont at the required 25-foot half width
- Tree canopy preservation plan – restoration plan

Neighborhood Meeting Minutes

July 29, 2021, 7pm

Holladay City Hall Pavilion

Notification: 88 homeowners within 500 feet (as provided by Salt Lake County Recorder's office) were notified by mail. List provided separately.

Attendees:

Owner (3)

David Haynie & Denise Hurst, Nora Haynie (daughter)

Neighbors (6)

Byron & Connie Smith (4825 S Viewmont, 801-278-2285)

Doug & Tess Boone (4829 S Viewmont, 801-979-7899)

Kwin Peterson (4798 S 2124 E, condo HOA president, 801-558-5463)

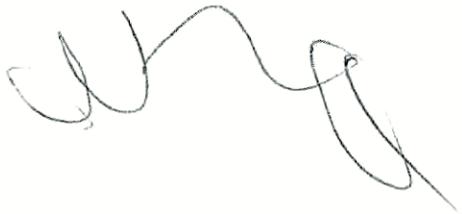
Thomas Leishman (4833 Viewmont, 801-272-4500)

Meeting:

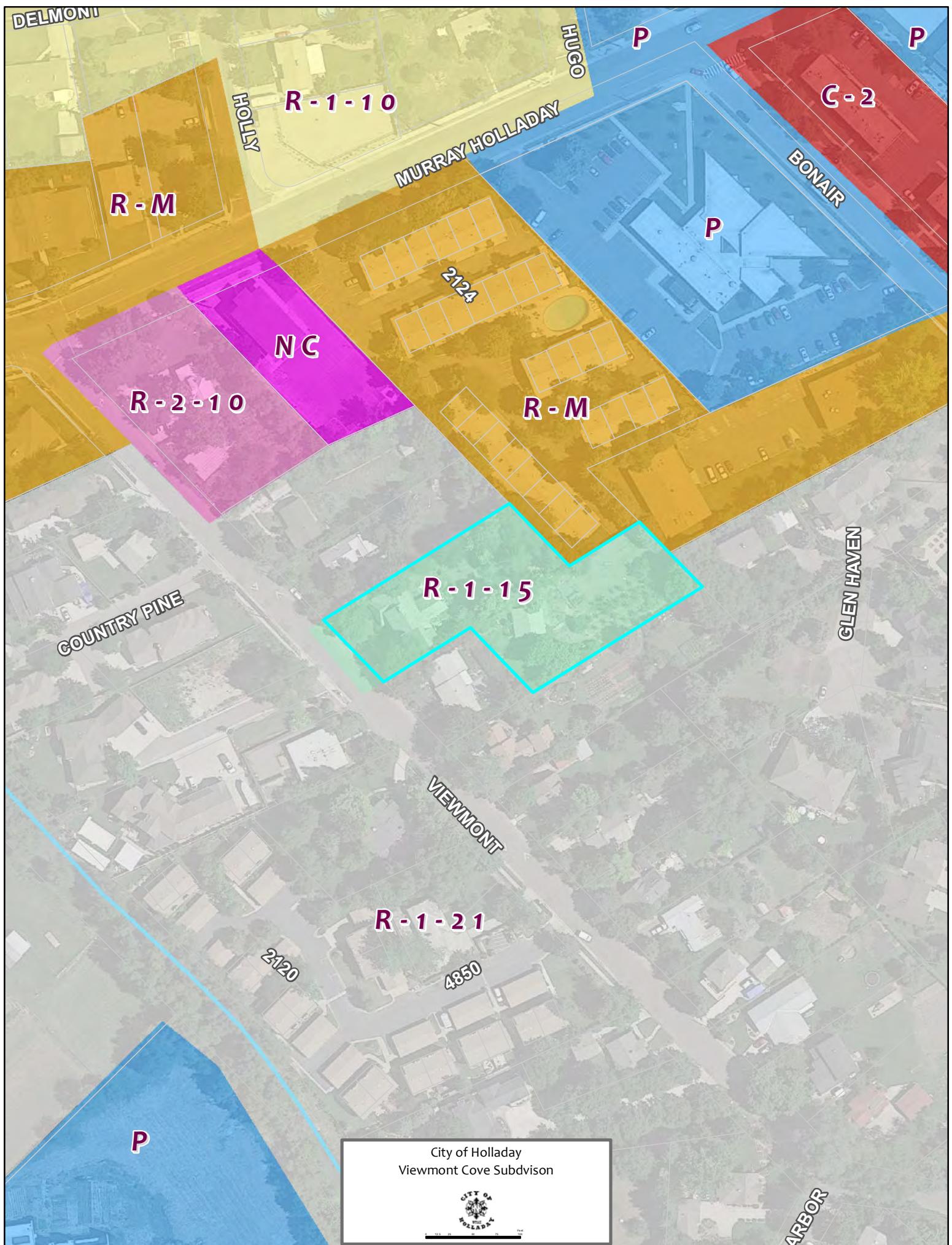
1. Welcome and personal introductions
2. Project overview
 - a. History—rezoning and sale/purchase
 - b. Description of proposed subdivision and access
 - c. Circulation of maps with proposed property lines and easements
3. Discussion and feedback
 - a. Access
 - i. Discussed how driveway/fire access would be handled—by removing the attached garage
 - ii. Suggested that fire access and/or driveway through the condos in back could be considered (suggested by condo HOA president), requiring two parking spaces to be relocated
 - iii. Existing fire hydrant access and location
 - iv. Encouraged by attendees to consider variance to reduce unnecessary pavement, increase green space, and potentially allow some trees to be kept
 - b. Subdivision process
 - i. Discussion regarding what is required by the city, where we are, and next steps
 - ii. Reiterated that the neighborhood meeting is a preliminary step before an application can even be submitted to the city
 - c. Owner's intent
 - i. Discussion of owner's plans with the property—to remodel and move into the existing home and to sell the (new) vacant lot
 - d. Property taxes
 - i. Question asked about the current property taxes for the property; the amount was much higher than neighbors had expected
 - ii. Owners were encouraged by attendees to appeal the county's assessment
4. Adjournment

<u>Name</u>	<u>Address</u>	<u>Phone</u>
David Haynie	1737 E Imperial, Millcreek	801-673-3286
Doug & Tess Boone	4829 S. Viewmont	801-979-7899
Byron & Connie Smith	4825 S. Viewmont	801-278-2285
Karin Peterson	4798 S 2124 E	801-558-5463
Thomas Leoshman	9833 VIEWMONT ST	801-272-4500

neighborhood meeting attendees





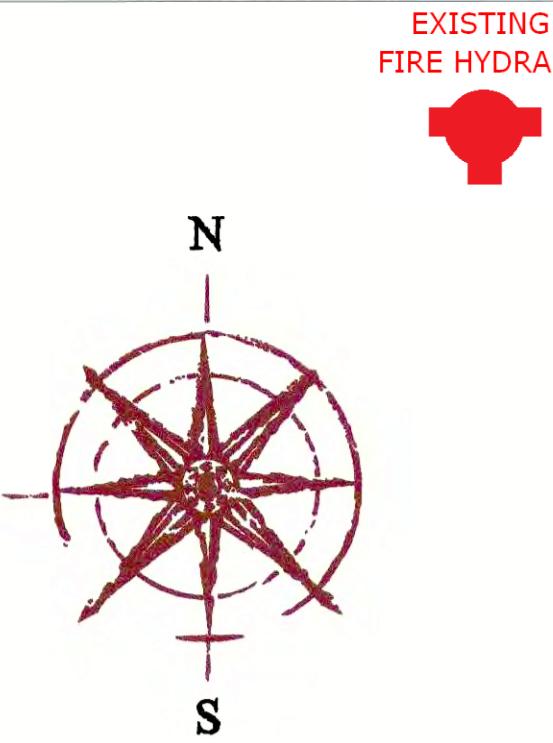




City of Holladay
Viewmont Cove Subdivision



0 5 10 15 20 feet

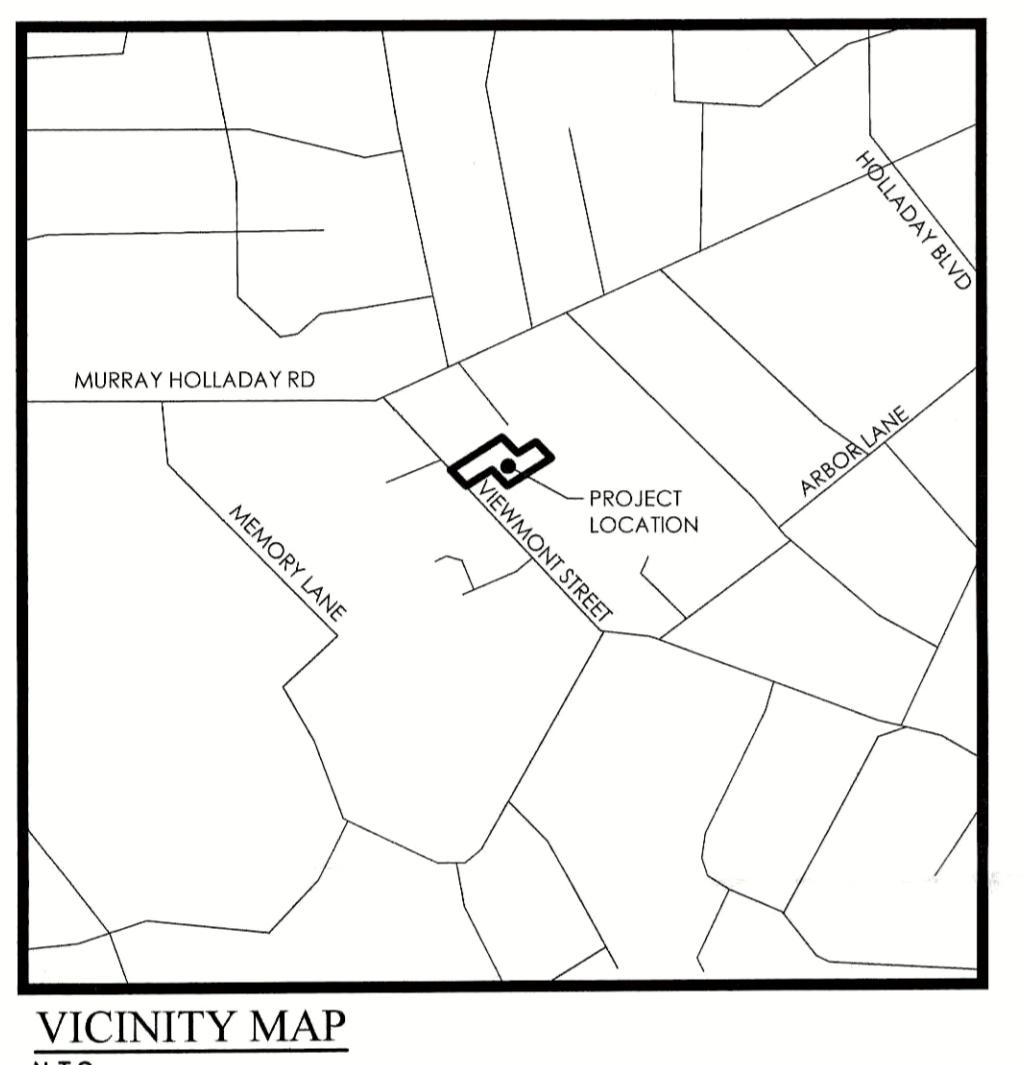


CONCEPT TABULATIONS

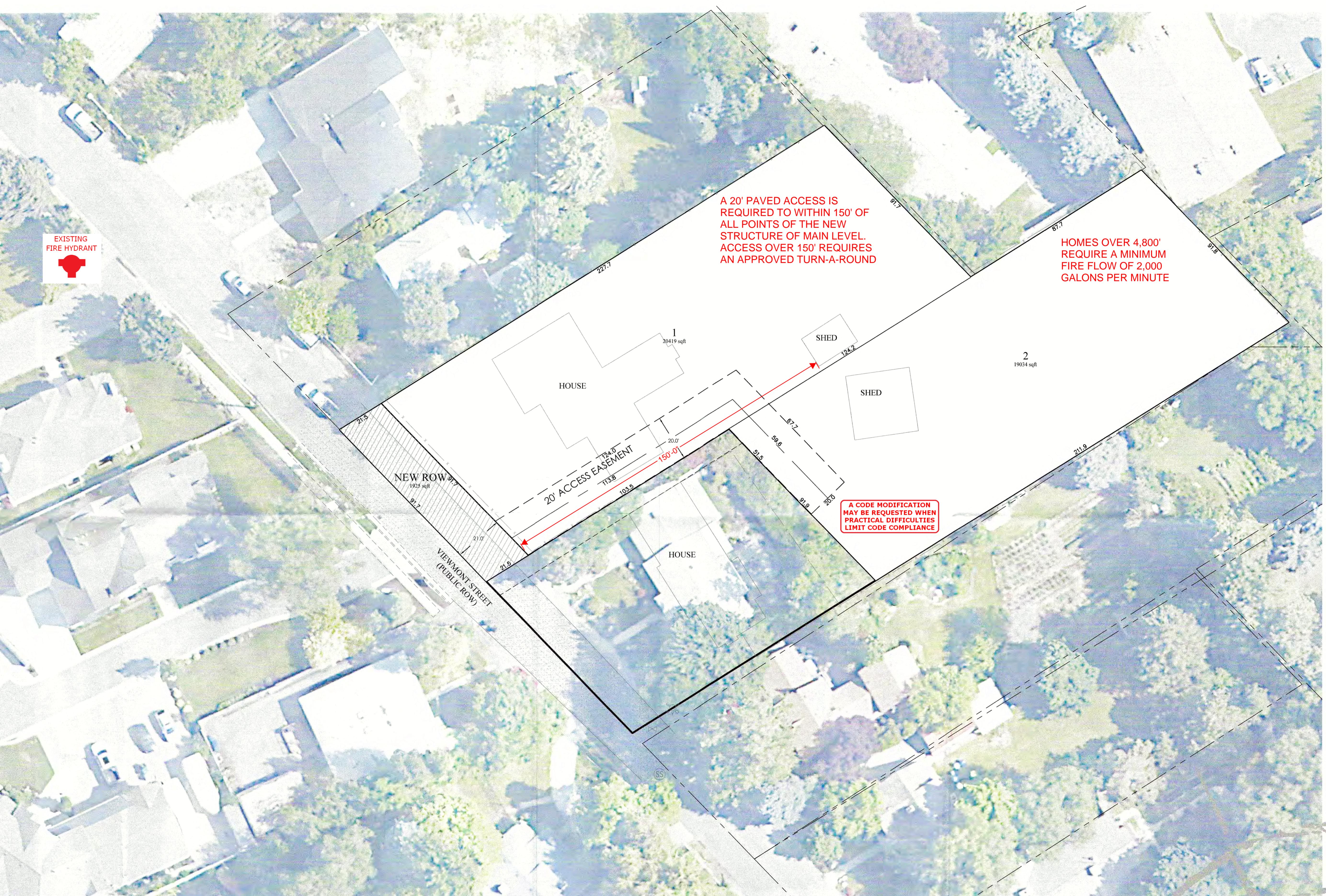
TOTAL ACREAGE ± 0.95 ACRES
SINGLE FAMILY LOTS 2
TOTAL DENSITY 2.10 UNITS/ACRE

R-1-15 ZONE REQUIREMENTS

MINIMUM LOT SIZE: 15,000 SQFT
MAXIMUM LOT SIZE: 30,000 SQFT
FRONTAGE: 60' (75% OF WIDTH)
LOT WIDTH: 80'



VICINITY MAP
N.T.S.



OWNER/DEVELOPER
DAVID HAYNIE & DENISE HURST
1737 E IMPERIAL PARK SQ,
MILLCREEK, UTAH 84106
CONTACT: DAVID HAYNIE

VIEWMONT COVE concept plan A

4813 S VIEWMONT STREET, HOLLADAY CITY, SALT LAKE COUNTY

9/3/2021

19-0289

09/22/2021

Note: This plan is for illustrative purposes only. Boundaries may be based on parcels obtained through public GIS data. It is recommended that a survey be performed to determine actual boundary size and dimensions as well as other potential boundary conflicts.



FILE# 20-1-16

ADDRESS:

4411 S Wander Lane

LEGAL DESCRIPTION: 32,103 sqft

PARCEL ID# 22-03-277-003COM 10.4 RDS N & 76.4 RDS E FR CEN SEC 3 T 2S R 1E SL MER N 68°45' E 19.3 RDS N 52°30' W 7.9 RDS S 65°30' W 18.3 RDS S 43°30' E 6.6 RDS TO BEG 0.75 AC

APPLICANT/REPRESENTATIVE:

Benjamin and Alexandra Wade

PROPERTY OWNER:

Benjamin and Alexandra Wade

ZONING:

R-1-10

GENERAL PLAN DISTRICT:

Low Density Residential-Stable (LDR-S)

CITY COUNCIL DISTRICT:

District #2

PUBLIC NOTICE DETAILS:

Hearing closed 9/15/2020

REQUEST:

Subdivision

APPLICABLE REGULATIONS:

13.08.010.D-E: Prelim/Final Review Approval

13.10.050.B: Submissions Requirements

EXHIBITS:

Concept Approval Letter - PC Conditions
Preliminary Plans

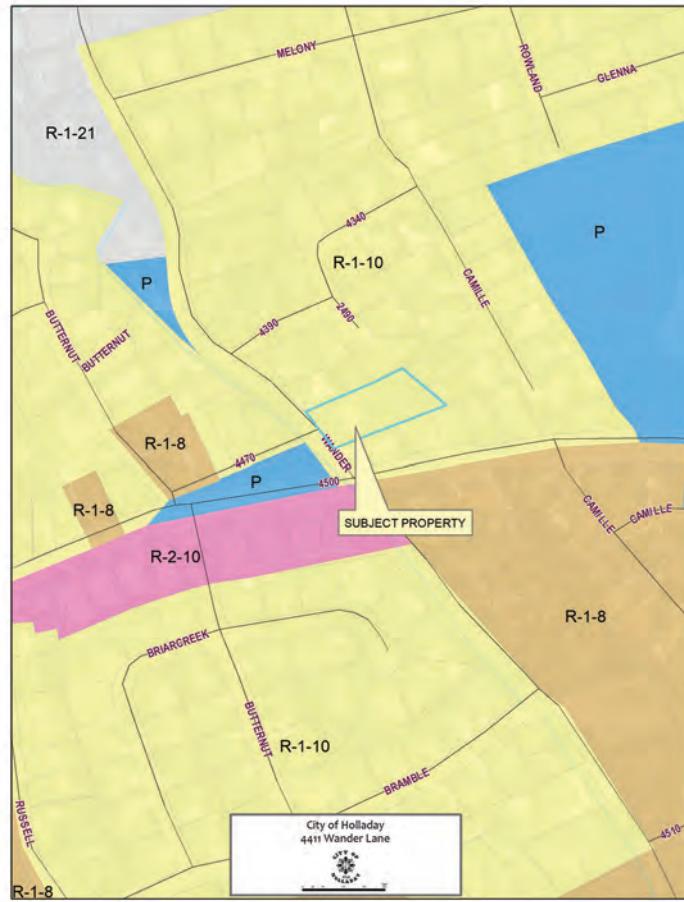
"HOPE RANCH" 2-Lot Subdivision

DECISION TYPE:

Administrative/Procedural:

Commission shall approve, approve with changes or continue to a later date the agenda item

SITE VICINITY MAP



Notes:

PC GRANTED CONCEPT APPROVAL ON 09/15/2021

STAFF:

Jonathan Teerlink, City Planner



CITY OF HOLLADAY
Planning Commission
October 5th 2021
Item #4

Request: **RESIDENTIAL SUBDIVISION – PRELIMINARY REVIEW**

Project: "Hope Ranch" 2-Lot Subdivision

Address: 4411 S Wander Lane

Applicant: Benjamin and Alexandra Wade

GOVERNING ORDINANCES:	13.08.10B	PRELIMINARY PLAN APPROVAL STANDARDS
	13.10.050	PRELIMINARY SUBDIVISIONS SUBMISSION REQUIREMENTS
	13.10.080	SUBDIVISION APPROVAL STANDARDS

PLANNING COMMISSION ROLE: ADMINISTRATIVE

Administrative: Creation of a subdivision plat requires Administrative review and approval by the Land Use Authority (Planning Commission) in a three-step process; Concept, **Preliminary** and Final plat.

SUMMARY

- Concept subdivision approval was granted by the Planning Commission on September 15th 2020.
- An existing 32,103 square foot lot fronting on Wander Lane, a public street, is proposed to be divided into a total of two lots (One new lot) as per existing **R-1-10** zone standards.
- The proposal will add one new detached single-family home, located behind the existing home via private driveway.

TECHNICAL REVIEW COMMITTEE ANALYSIS

Primarily the TRC review this preliminary plan in light of the concerns listed by the PC from the previous meeting, specifically (see the Concept Approval Letter);

- All connection letter have all been provided
- Detailed grading plan of the access driveway is unclear; however, a full 20-foot-wide access has been provided
- The applicant has explained that a resolution of the property line dispute has been resolved

Preliminary subdivision development plans were also reviewed by the TRC and found to be adequate for PC review. At the time of writing this report, the following minor comments made by the TRC on 9/22/2021 have yet to be addressed

- Clarify that no dedication of Wander is needed at 25' – centerline unclear on survey
- Provide existing utility connection locations
- Location of any/all hydrants within 500'
- Existing tree canopy location; and,
- Tree replacement plan – if removing trees >4" caliper

RECOMMENDATION

All required **Preliminary** level elements of a residential subdivision proposal have been reviewed by the TRC and have been determined to be substantially complete as per the City's submission requirements. Staff recommends that the Planning Commission moderate a discussion with the applicant regarding updated development details, specifically:

- Lot line dispute resolution with the neighboring property owner
- 20 foot wide and 13.5' tall clearance area of the drive access – being in close proximity to the existing home.

The TRC recommends that the commission may approve this application for a **Preliminary Plan** to create the proposed Hope Ranch a 2-Lot subdivision located at 4411 S Wander Lane in an R-1-10 zone with the following findings:

Suggested motion format:

"I _____ motion for approval of the Preliminary development plans for "Hope Ranch" a residential subdivision in the R-1-10 zone located at 4411 South Wander Lane, finding that the proposal;

- 1) Complies with conceptual plan approved 09/15/2020
- 2) Construction elements and details are found to be acceptable by all divisions the Technical Review Committee
- 3) The development complies with the underlying zone and General Plan

Conditions:

Prior to returning to the Planning Commission for Final plat review, the following shall be submitted;

- I. Final plat prepared and formatted as per Holladay plat requirements
- II. All outstanding TRC comments
- III.



CITY of HOLLADAY

09/18/2020

**RE: "Hope Ranch" Residential 2-lot Subdivision
Conceptual Approval
4411 South Wander Lane
File #20-1-16**

Benjamin and Alexandra Wade

THIS LETTER AND THE ATTACHED DOCUMENTS CONSTITUTE CONCEPTUAL PLAN APPROVAL BY THE CITY OF HOLLADAY PLANNING COMMISSION FOR, "HOPE RANCH" SUBDIVISION IN THE R-1-10 ZONE.

On September 15th 2020 the City of Holladay Planning Commission unanimously moved to approve your conceptual subdivision plan for 2 lots at the above mentioned address and zone. Approvals are based upon finding project proposals

1. The plans are in accordance with the intent, standards, and criteria specified in the Holladay City General Plan, Title 13 of the Holladay zoning ordinance, and all applicable ordinances
2. The subdivision as proposed creates no financial hardship to the city; and
3. It creates no environmental consequence that will adversely impact the health, safety, or welfare of residents

CONDITIONS:

Prior to returning to the Planning Commission for Preliminary plan review, submit to the TRC the following:

- i. All utility connection service letters – gas, electrical, sewer and water
- ii. A detail grading plan of the drive access, i.e. retaining wall, overall emergency access clearances.
- iii. Resolution of claimed property line disputes

This letter is not a final approval. Accompanying this letter is a check list of Preliminary level submittals; please follow them closely prior to applying for this next stage of the approval process outlined in your application packet.

If you should have any questions, please call me at 527-3890, and I will be happy to assist you.

Sincerely,


Jonathan Teerlink
City Planner



make a payment in lieu where the cost of future curb and gutter is paid in advance with the understanding that it will be installed in the future by the City. Another option would be to enter into a Deferral or Extension Agreement where the property owner agrees at some point in the future to install it at the request of the City.

The Cottonwood Lane PUD was next addressed. Mr. Allred stated that it is a preliminary plat. The proposed PUD Conditional Use was approved while a wider side yard was required for Lot 1. Staff was satisfied with the submittals to this point. He explained that the PUD approval included a specific drawing that met the setback requirement for Lot 1. There were no other conditions imposed on the project other than the drawing being amended to show the 40-foot setback. Since then, a family member who wants to build on the property to the north moved the building pad close to the street. Staff informed them that they need to adhere to what was approved at the PUD stage or seek an amendment. Mr. Allred had spoken to the applicant who preferred to move the home up but was not sure how to proceed. The applicant's preference was to get approval tonight but Mr. Allred suggested that it be continued.

Mr. Allred explained that the reason the applicant wants to move the home closer to the street is that the neighbors to the north prefer it. There is an extensive pond and irrigation system on this Lot (3) and pushing the building to the back as approved, will push into some of the rocks. Staff recommended approval unless the applicant decides to continue the matter.

Chair Bradshaw noted that the City Attorney will likely be present at most Planning Commission Meetings going forward and she and Vice-Chair Chris Layton will meet with him before each meeting.

Commissioner Lloyd moved to close the work session. Commissioner Mackin seconded the motion. The motion passed with the unanimous consent of the Commission.

The Work Session adjourned at approximately 6:30 p.m.

CONVENE ELECTRONIC MEETING – Public Welcome and Chair Opening Statement.
Chair Jan Bradshaw called the Regular Meeting to order at approximately 6:30 p.m.

Chair Bradshaw read the Commission statement in addition to a statement regarding the emergency conditions that exist due to the COVID-19 pandemic and the reason for holding remote meetings.

PUBLIC HEARING

1. Hope Ranch Subdivision – Conceptual Plan – 4411 South Wander Lane – (R-1-10 Zone).

Community Development Director, Paul Allred presented the staff report and stated that this is an administrative item. He explained that if it complies with the ordinance, the Planning Commission is obligated to grant approval. The subject property is a deep lot subdivision that involves the simple division of one property into two. The property is zoned R-1-10, which requires a minimum lot size of 10,000 square feet. What is proposed is 32,000 square feet for

two lots. No rezone was required nor a request to increase the natural density that already exists on the property. Staff's concerns included a property line issue that will need to be dealt with at the preliminary plat stage. Consideration will also be given to whether curb, gutter, and sidewalk are needed. Staff recommended approval subject to the findings and conditions set forth in the staff report.

The applicant, Alexandra Wade, stated that they would like to split the lot and allow a home to be built on a lot that conforms better with the area. She noted that the surrounding lots are substantially smaller than what is proposed. She reported that they have planted over 30 trees on the property.

Howard Layton asked Mrs. Wade what she can do to accommodate the concerns of the neighbors. She stated that the views of the neighbors vary. Some are extremely supportive while those with concerns will hopefully be happy with the outcome as long as they adhere to the restrictions imposed. Mrs. Wade reported that a neighborhood meeting was held on August 6, 2020.

Chair Bradshaw opened the public hearing. Written comments submitted were made part of the record.

Kara Houck gave her address as 4382 South Camille Street and stated that her property is located behind the subject property. She was concerned about the driveway that was constructed before approval was granted. She questioned whether it meets all of the ordinance requirements.

Ryan Oldroyd gave his address as 4385 South 2490 East and stated that he owns the northeastern most property next to the proposed subdivision. He agreed with Ms. Houck and purchased his property nine months earlier with the expectation that they would have privacy. What is proposed will likely result in a driveway near their back window. Mr. Oldroyd wanted to ensure that the property line is correct.

With regard to the driveway, Mr. Allred stated that they will not know if the requirements have been met until they get to the preliminary stage. He explained that the driveway can be close to the property line. In terms of width, the City requires 20 feet unless the Unified Fire Authority ("UFA") grants a Code modification. This can be done with justification.

Nikki Card gave her address as 4395 Wander Lane and was concerned about where the driveway is being placed. She stated that the applicants are parking in the driveway, which is higher than her lot. She stated that her privacy is at risk.

Mr. Allred reiterated that no construction, demolition, or remodeling can be done without permits from the City, however, retaining and moving dirt is permitted. He stated that currently, the applicants do not appear to violate any law.

Commissioner Lloyd asked about the grade difference between the subject property and the neighboring property and if fill dirt was brought in. Mr. Allred's understanding was that they are manipulating grades that already exist and that not fill was brought in.

Julia Klein gave her address 4390 South Camille Street stated that Nikki Card witnessed fill and gravel being brought to the site construct the alleged landscaping path.

Mrs. Card stated that there has been a significant amount of grading taking place on the site and gravel and/or road base was brought in. She estimated the Wade property to be approximately five feet higher than hers. Her recollection was that the property was that high originally. They did some grading to bring it down and then added gravel/road base, which was of concern to her as it caused her home to shake. She noted that the proposed entrance is on the retaining wall that the existing fence sits on. She stated that the retaining wall has cracked more and they have brought in road base for which she wondered if a permit was necessary.

Chris Layton stated that several of the written and verbal comments reference privacy. Mr. Allred's understanding was that the applicants had not changed the grade to the extent necessary to require a permit. He also wanted to ensure that the retaining wall is engineered and repaired. In terms of privacy, the height of a fence or wall is based on the grade that existed prior to manipulation. To go higher than six feet in a side or rear yard requires the permission of the abutting property owners. Even if fill material is brought in, an applicant would be limited in terms of what they can do based on the ordinance. They would not be allowed to construct a taller home if fill were bought in because the height of a home is measured from the grade that existed before fill material was brought in.

There were no further public comments. Chair Bradshaw closed the public hearing.

Commissioner Ricks moved that the Planning Commission approve the conceptual subdivision plan for the Hope Ranch Subdivision at 4411 South Wander Lane as recommended in the staff report subject to the following:

Findings:

1. *The plans are in accordance with the intent, standards, and criteria specified in the Holladay City General Plan, Title 13 of the Holladay zoning ordinance, and all applicable ordinances;*
2. *The subdivision as proposed creates no financial hardship to the City; and*
3. *It creates no environmental consequence that will adversely impact the health, safety, or welfare of residents.*

Conditions:

1. *Prior to returning to the Planning Commission for Preliminary Plan Review, submit to the TRC the following:*
 - i. *All utility connection service letters;*
 - ii. *A detailed Grading Plan of the drive access, i.e. retaining wall, overall emergency access clearances, and the concern with the overhang of the existing house as the driveway to the rear lot must also have a minimum height clearance of 13.5 feet; and*
 - iii. *Any property line disputes would need to be resolved at that stage.*

Commissioner Howard Layton seconded the motion. Vote on motion: Ann Mackin-Aye, Alyssa Lloyd-Aye, Marianne Ricks-Aye, Howard Layton-Aye, Troy Holbrook-Aye, Chris Layton-Aye, Chair Jan Bradshaw-Aye. The motion passed unanimously.

Mr. Allred clarified that this is the only stage of the review process where public notice is sent out. Those interested were encouraged to monitor the City's website for further information and action on the request.

ACTION ITEM

2. “5420 South Cottonwood Lane PUD” – Preliminary/Final Subdivision – 5420 South Cottonwood Lane – (R-1-43 Zone).

Mr. Allred presented the staff report and stated that the request involves preliminary plat review of a three-lot PUD approved in July for the 5420 South Cottonwood Lane PUD. The PUD involved the subdivision of nearly five acres of property into three lots. A restriction was placed on Lot 1 requiring at least a 40-foot setback from the south and west property lines. Staff recommended approval based on the findings and conditions set forth in the staff report. The amended staff report referenced an issue regarding the proposed setback for Lot 3 as it relates to Cottonwood Lane.

Mr. Allred stated that the applicant likely would prefer to get approval tonight and follow the setback that is required from the PUD drawing. He would then come back to the Planning Commission with a request to amend the setback for the northernmost lot at a future date based on discussions they have had with the proposed property owner of Lot 3 and property owners to the north of the subdivision. Procedural issues were discussed.

The applicant, Steve Hopkins, described the issue regarding where the home is to be placed on the lot. He was optimistic that they can fit it into the conceptual approval but if not they will come back and seek a change.

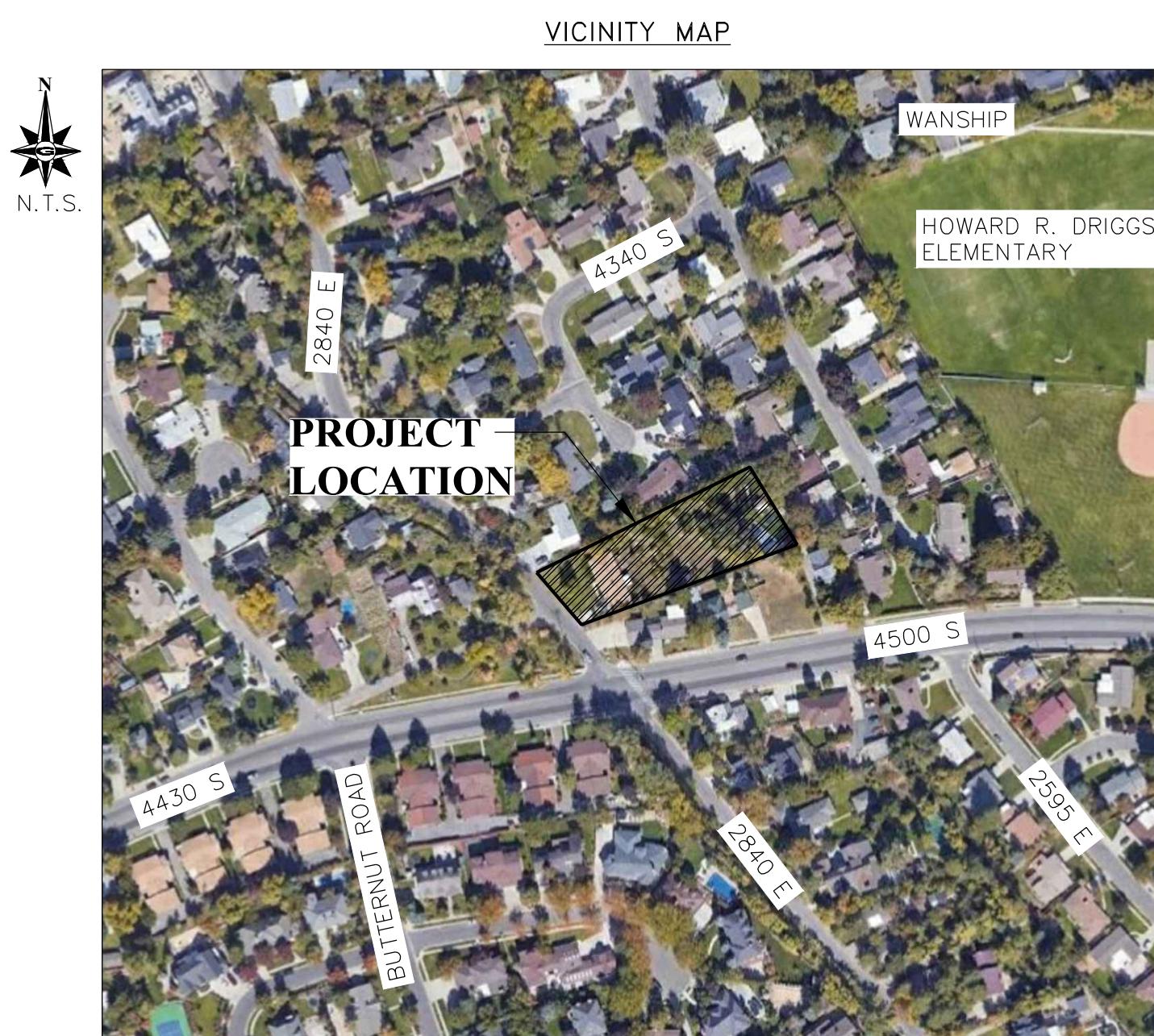
Commissioner Holbrook moved to approve the Preliminary Subdivision Plat for the 5420 South Cottonwood Lane PUD as recommended in the staff report subject to the following:

Findings:

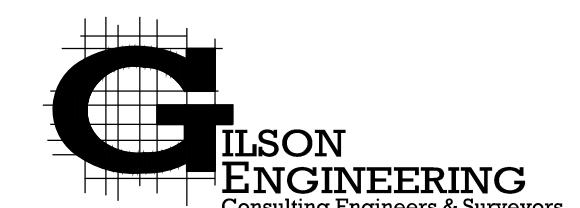
HOPE RANCH SUBDIVISION

PROPOSED SPLIT LOT PLANS
WAD.011.21

SHEET INDEX	
SHEET NO.	NAME
	COVER SHEET
G.101	GENERAL NOTES
C.101	EXISTING SITE & DEMO PLAN
C.201	SITE, UTILITY & GRADING PLAN
D.101	DETAILS
ER.101	EROSION CONTROL PLAN
ER.102	EROSION CONTROL DETAILS



LOCATION: 4411 S WANDER LANE IN HOLLADAY, UTAH 84124



12401 SOUTH 450 EAST BUILDING C, UNIT 2, DRAPER, UT 84020
PHONE: (801) 571-9414 FAX: (801) 571-9449

ENGINEER
GILSON ENGINEERING, INC.
12401 SOUTH 450 EAST, UNIT C2
DRAPER, UTAH 84020-7937

CONTACT: BRAD GILSON
PHONE: (801) 571-9414

OWNER
CONTACT: BEN WADE
PHONE: (407) 907-0031
CONTACT: ALEXANDRA WADE
PHONE: (863) 224-0247

WAD.011.21

HOPE RANCH SUBDIVISION

ABBREVIATIONS

ADJ	ADJUST
ADS	ADVANCE DRAINAGE SYSTEM
ARV	AIR RELEASE VALVE
BC	BAR AND CAP
BOW	BACK OF WALK
BVCE	BEGINNING VERTICAL CURVE ELEV.
BVCS	BEGINNING VERTICAL CURVE STATION
CB	CATCH BASIN
CBL	CABLE
CH	CHORD BEARING
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CONC	CONCRETE
COR.	SECTION CORNER
D	DELTA ANGLE
DET	DETAIL
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DWG	DRAWING
EG	EXISTING GRADE
ELEV	ELEVATION
EOC	EDGE OF CONCRETE
EP	EDGE OF PAVEMENT
EVCE	END VERTICAL CURVE ELEV.
EVCS	END VERTICAL CURVE STATION
EW	EACH WAY
EX	EXISTING
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FO	FIBER OPTICS
FT	FOOT
GB	GRADE BREAK
HC	HANDICAP
HDPE	HIGH DENSITY POLY ETHYLENE
HP	HIGH POINT
INV.	INVERT
IRR.	IRRIGATION
LF	LINEAR FEET
LIP	LIP OF CURB
LP	LOW POINT
LT.	LEFT
MAX.	MATERIAL
MH	MANHOLE
MIN.	MINIMUM
MON	MONUMENT
NTS	NOT TO SCALE
OC	ON CENTER
OHP	OVER HEAD POWER
PC	POINT OF CURVE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PP	POWER POLE
PRC	POINT OF REVERSE CURVE
PRV	PRESSURE REDUCING VALVE
PT	POINT OF TANGENCY
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
ROW	RIGHT OF WAY
RT.	RIGHT
S	SEWER
SD	STORM DRAIN
SER	SOUTH END RADIUS
SSMH	SEWER MANHOLE
STA	STATION
STD	STANDARD
SW	SECONDARY WATER
TBC	TOP BACK OF CURB
TOA	TOP OF ASPHALT
TOE	TOE OF SLOPE
TOP	TOP OF SLOPE
TOW	TOP OF WALL
TYP	TYPICAL
UG	UNDER GROUND POWER
VPC	VERTICAL POINT OF CURVE
VPI	VERTICAL POINT OF INTERSECTION
VPT	VERTICAL POINT OF TANGENCY
W	WATER
WM	WATER METER
WV	WATER VALVE

GENERAL NOTES

1. THIS DESIGN IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED AND/OR USED WITHOUT THE WRITTEN CONSENT OF GILSON ENGINEERING, INC.
2. THESE SHEETS - LISTED BY DRAWING INDEX, ALL ACCOMPANYING SPECIFICATIONS FOR MATERIALS, WORKMANSHIP QUALITY, AND NOTES HAVE BEEN PREPARED SOLELY FOR THE CONSTRUCTION AND FINISH OF PROJECT IMPROVEMENTS, COMPLETE AND READY FOR USE.
3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH PERTINENT JURISDICTIONAL CODES, RESTRICTIONS, COVENANTS, AND/OR ORDINANCES. ANY CONFLICT BETWEEN DESIGN AND REQUIREMENT SHALL BE REPORTED TO GILSON ENGINEERING, INC. BEFORE PROCEEDING. FAILURE TO DO SO VOIDS THE DESIGN.
4. ANY AND ALL PROPOSED CHANGE, MODIFICATIONS AND/OR SUBSTITUTION SHALL BE REPORTED TO GILSON ENGINEERING, INC. BEFORE PROCEEDING. ANY DEVIATION FROM THE CONTRACT DOCUMENTS, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF GILSON ENGINEERING, INC. VOIDS THE DESIGN.
5. IN THE EVENT OF CONFLICT BETWEEN THE DESIGN DOCUMENTS AND/OR JURISDICTIONAL REQUIREMENTS, THE MORE RESTRICTIVE FROM THE STANDPOINT OF SAFETY AND PHYSICAL SECURITY SHALL APPLY.
6. ANY INSTALLATION OR WORK NECESSARY TO THE FUNCTIONING, SAFETY AND/OR PHYSICAL SECURITY OF DESIGN THAT IS TO BE ENCAPSULATED OR OTHERWISE PERMANENTLY OBSCURED FROM INSPECTION SHALL BE REPORTED TO GILSON ENGINEERING, INC. A MINIMUM OF TWO (2) WORKING DAYS BEFORE ENCLOSURE.
7. DESIGN IS GENERALLY PREDICATED UPON PROVISIONS OF THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AND/OR AMENDMENTS AS MAY HAVE BEEN LOCALLY ENACTED. THIS DESIGN AND ANY CONSEQUENT CONSTRUCTION SHALL ACCOMMODATE ALL REQUIREMENTS OF THE JURISDICTIONAL FIRE SAFETY/PREVENTION DISTRICT.
8. ANY DAMAGE, DISRUPTION OR COMPROMISE OF AMBIENT RIGHTS-OF-WAY, UTILITIES, OR ENVIRONMENTAL QUALITY SHALL BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR TO THE SATISFACTION OF GILSON ENGINEERING, INC. AT NO COST TO THE OWNER.
9. THIS DESIGN PURPORTS TO PERMIT FULL ACCESS TO HANDICAPPED PERSONS AS PROVIDED FOR BY PROVISIONS OF FEDERAL LAW. ANY DEVIATION OR COMPROMISE SHALL BE REPORTED TO GILSON ENGINEERING, INC. FOR RESOLUTION.
10. ALL WORK SHALL BE INSPECTED BY GOVERNING AGENCIES IN ACCORDANCE WITH THEIR REQUIREMENTS. JURISDICTIONAL APPROVAL SHALL BE SECURED BEFORE PROCEEDING WITH WORK.
11. ANY WORK THAT IS OUTSIDE OF THE LIMIT OF WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
12. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
13. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.
14. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
15. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFORE HAND.
16. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 72 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
17. ALL DIMENSIONS, GRADES, AND UTILITY DESIGNS SHOWN ON PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
18. CONTRACTOR IS RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAG MEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
19. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES, AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
20. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR ENGINEER.
21. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCHMARKS, CONTROL POINTS, REFERENCE POINTS, AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSE BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
22. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFELY OF ALL PERSONS ON THE PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.
23. ALL WORK WITHIN THE SITE TO CONFORM TO THE CURRENT CITY STANDARDS AND SPECIFICATIONS.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL OF THE REQUIREMENTS ESTABLISHED FOR SAFE TRENCHING. (SEE OSHA AND USHA REQUIREMENTS, LATEST EDITIONS).
25. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE LAYING PIPE WITHIN 200 FEET OF SAID UTILITIES WHICH MAY BE EXPOSED, DAMAGED OR CROSSED AS SHOWN ON THE DRAWINGS OR AS "BLUE STAKED". THE CONTRACTOR WILL MAKE ARRANGEMENTS WITH THE UTILITY COMPANY TO MOVE THE UTILITY IF NECESSARY OR OBTAIN PERMISSION FROM THE PROJECT ENGINEER TO MODIFY GRADES OF PROJECT LINES IN ORDER TO GO AROUND EXISTING UTILITIES.
26. SEWER MAINS, WATER MAINS, GAS MAINS AND OTHER UTILITIES ARE SHOWN ON THE PLANS IN A GENERAL SCHEMATIC WAY ACCORDING TO INFORMATION RECEIVED FROM OTHERS AND SOMETIMES FROM FIELD MEASUREMENTS. THE ACCURACY OR COMPLETENESS OF THE LOCATIONS SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE ACTUAL LOCATION OF EXISTING SERVICE CONNECTIONS AND UTILITIES, VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS AND TAKE THE NECESSARY STEPS TO AVOID THEM.
27. SPECIFIC INFORMATION PROVIDED IN THE CONTRACT DOCUMENTS SHALL SUPERSEDE ITEMS COVERED IN THESE DRAWINGS.

UTILITY NOTES

1. COORDINATE ALL UTILITY CONNECTIONS TO BUILDING WITH PLUMBING PLANS AND BUILDING CONTRACTOR.
2. VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTING ANY NEW UTILITY LINES. NOTIFY CIVIL ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO ANY CONNECTIONS BEING MADE.
3. WATER METERS ARE TO BE INSTALLED PER CURRENT CITY STANDARDS AND SPECIFICATIONS. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO INSTALL ALL ITEMS REQUIRED.
4. WATER LINES, VALVES, FIRE HYDRANTS, FITTINGS ETC. ARE TO BE CONSTRUCTED AS SHOWN. CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ANY VERTICAL ADJUSTMENTS NECESSARY TO CLEAR SEWER, STORM DRAIN OR OTHER UTILITIES AS NECESSARY INCLUDING VALVE BOXES AND HYDRANT SPOOLS TO PROPER GRADE.
5. FIELD VERIFY ALL EXISTING AND/OR PROPOSED ROOF DRAIN/ROOF DRAIN DOWN SPOUT CONNECTIONS TO STORM WATER SYSTEM WITH CIVIL, PLUMBING & ARCHITECTURAL PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
6. ALL CATCH BASINS AND INLET BOX GRATES ARE TO BE BICYCLE SAFE.
7. UNLESS OTHERWISE NOTED FOR EXISTING UTILITIES, ALL DRY UTILITIES ARE ASSUMED TO BE 3' BELOW EXISTING GRADE TO TOP OF CONDUIT. ALL WATER LINES ARE ASSUMED TO BE 4' BELOW EXISTING GRADE TO TOP OF PIPE. ALL STORM AND SANITARY LINES ARE BASED ON SURVEYED INVERT DATA. CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS, VERIFY ELEVATIONS AND CONTACT ENGINEER IF ELEVATIONS ARE DIFFERENT FROM THOSE SHOWN IN THESE PLANS.
8. ANY EXISTING VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
9. IF CONTRACTOR LOCATES ANY UNIDENTIFIED UTILITIES, CONTRACTOR SHALL CONTACT THE ENGINEER FOR VERIFICATION OF LOCATION BOTH HORIZONTAL AND VERTICAL.



CAUTION NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS. AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

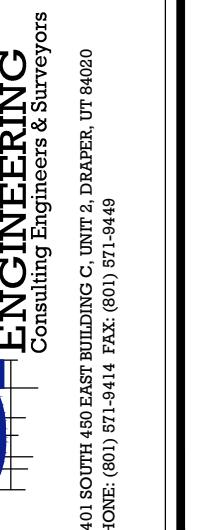
DATE	AUGUST 2021
REV. DATE	
BY	
COMMENTS	

DRAWING NAME: _____
GENERAL NOTES: _____
DESIGNED DRAWN BY: _____
TSPB
CHECKED: _____
APPROVED: _____

GENERAL NOTES

BEN & ALEXANDRA WADE
4411 S WANDER LANE
HOLLADAY, UTAH 84124
SALT LAKE COUNTY, UTAH

REVISION: -
PROJ. #: **WAD.011**
G.101





LEGEND

- EXISTING ASPHALT
- EXISTING CONCRETE

BENCHMARK

CENTER OF SECTION 3, T2S, R1E, SLB&M (FOUND COPPER RIVET)
BENCHMARK ELEVATION = 4521.63 FEET

DISCLAIMER NOTE

DISCLAIMER NOTE

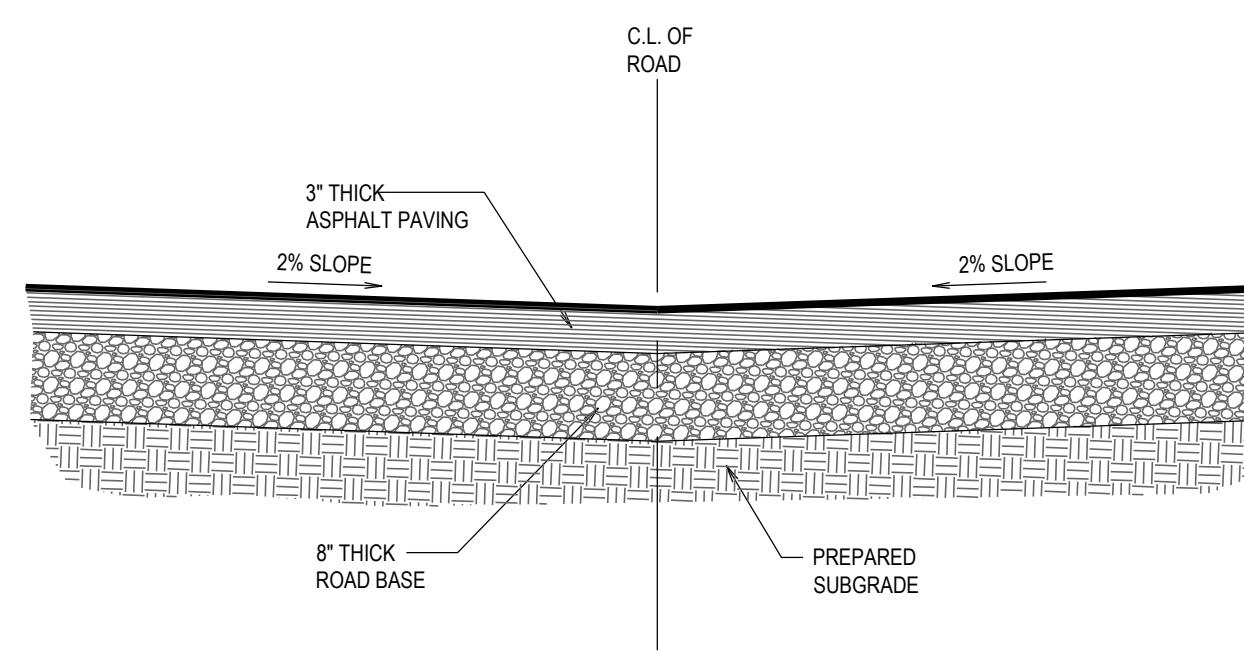
UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.



REVISION: -

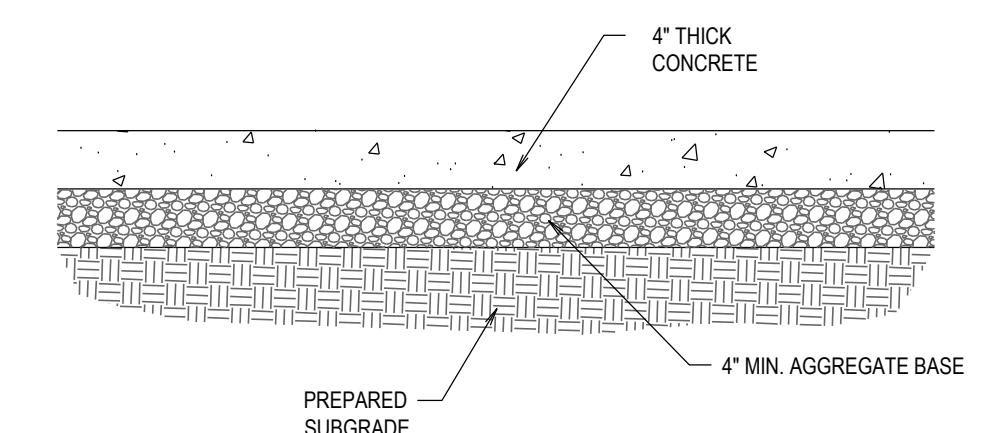
C.101

ANSWER



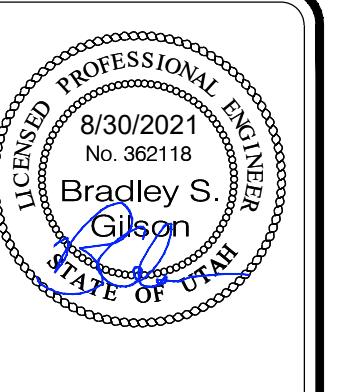
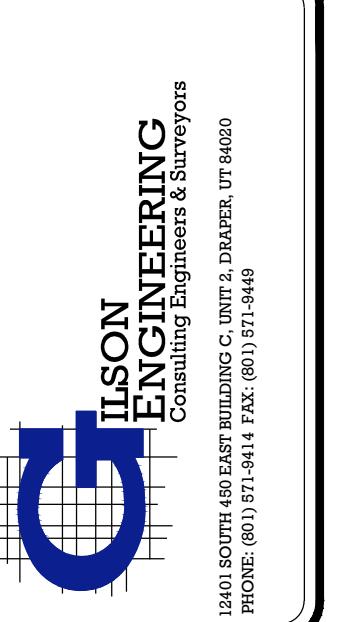
A ASPHALT PAVING

SCALE: N.T.S.



C PRIVATE CONCRETE DRIVEWAY

SCALE: N.T.S.



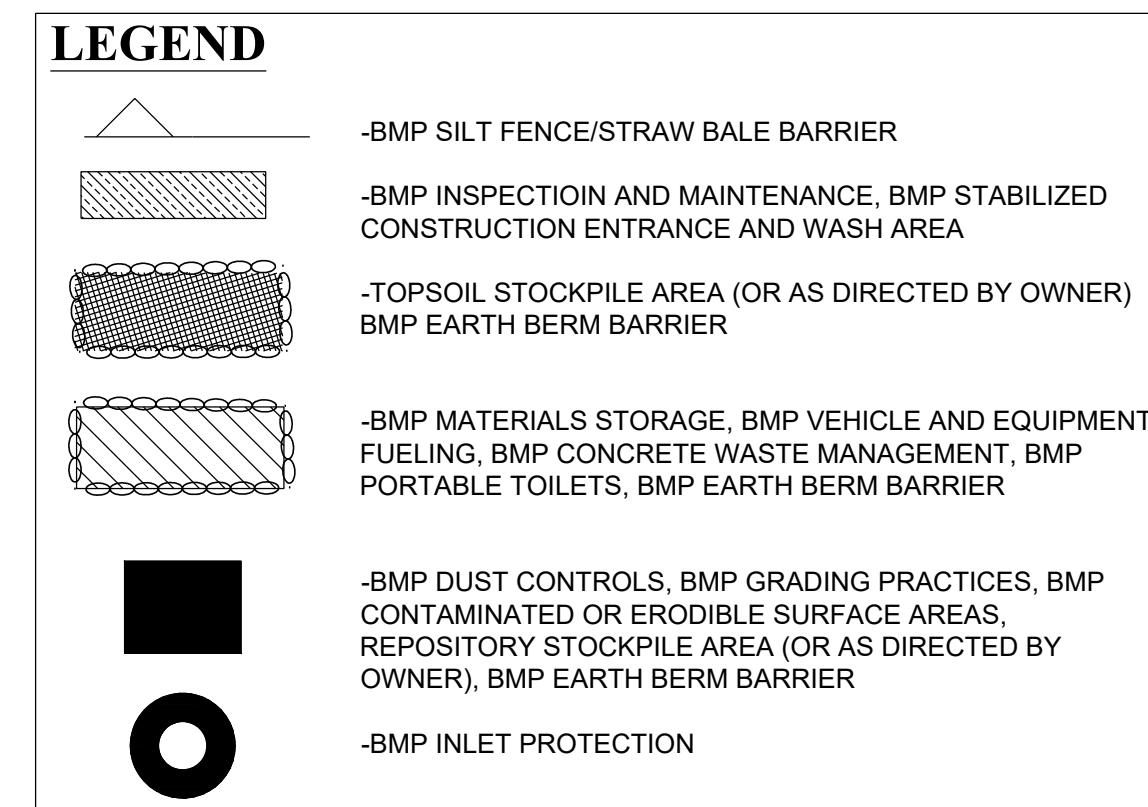
DATE	AUGUST 2021	REVISIONS
REV. DATE		BY COMMENTS
DETAILS		
DRAWING NAME:		
DETAILS		
DESIGNED DRAWN BY:		
TSBP		
CHECKED:		
APPROVED:		
1" SCALE MEASURES 1' ON FULL SIZE SHEET		
0 1 2 3 4 5 6 7 8 9		

DETAILS
BEN & ALEXANDRA WADE
4411 S WANDER LANE
HOLLADAY, UTAH 84124
SALT LAKE COUNTY, UTAH

REVISION: -
PROJ. # **WAD.011**
D.101

EROSION CONTROL NOTES

1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL FACILITIES SHOWN ON THE PLAN.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED. STREETS SHALL BE KEPT CLEAN OF DEBRIS FROM TRAFFIC FROM THE SITE.
3. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY, AND REMOVED WHEN THE SITE IS PAVED.
4. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.
5. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER MANAGEMENT PLAN AND THE STATE OF UTAH DISCHARGE PERMIT SYSTEM. GENERAL PERMIT FOR "STORM DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY" AND BECOME FAMILIAR WITH THEIR CONTENT.
6. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.
7. FUGITIVE DUST AREAS SHALL BE CONTROLLED BY SPRAYING WATER ON THE DRY AREAS OF THE SITE. CONTRACTOR WILL SUPPLY THE CITY WITH A DUST CONTROL PLAN AT THE TIME OF THE PRE-CONSTRUCTION MEETING.
8. NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
9. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES OR OTHER UNFORESEEN CONDITIONS DURING DEVELOPMENT OF THE PROJECT.
11. ALL INLETS WILL HAVE TEMPORARY INLET CONTROL.
12. TEMPORARY SANITATION FACILITIES REQUIRED.
13. CONTRACTOR TO COORDINATE WITH PUBLIC WORKS INSPECTOR ON ALL REQUESTS TO MODIFY OR MAKE CHANGES TO SWPPP/EROSION CONTROL PLAN.



NOTES:

1 - ALL PROPOSED AND EXISTING INLETS ARE TO BE PROTECTED. SEE BMP INLET PROTECTION ER.102, BMP CATCH BASIN CLEANING, BMP INSPECTION AND MAINTENANCE FOR INLET PROTECTION DETAILS.

2 - EXISTING GROUND COVER = 50% SEE BMP PRESERVATION OF EXISTING VEGETATION.

3 - SEQUENCE OF CONSTRUCTION

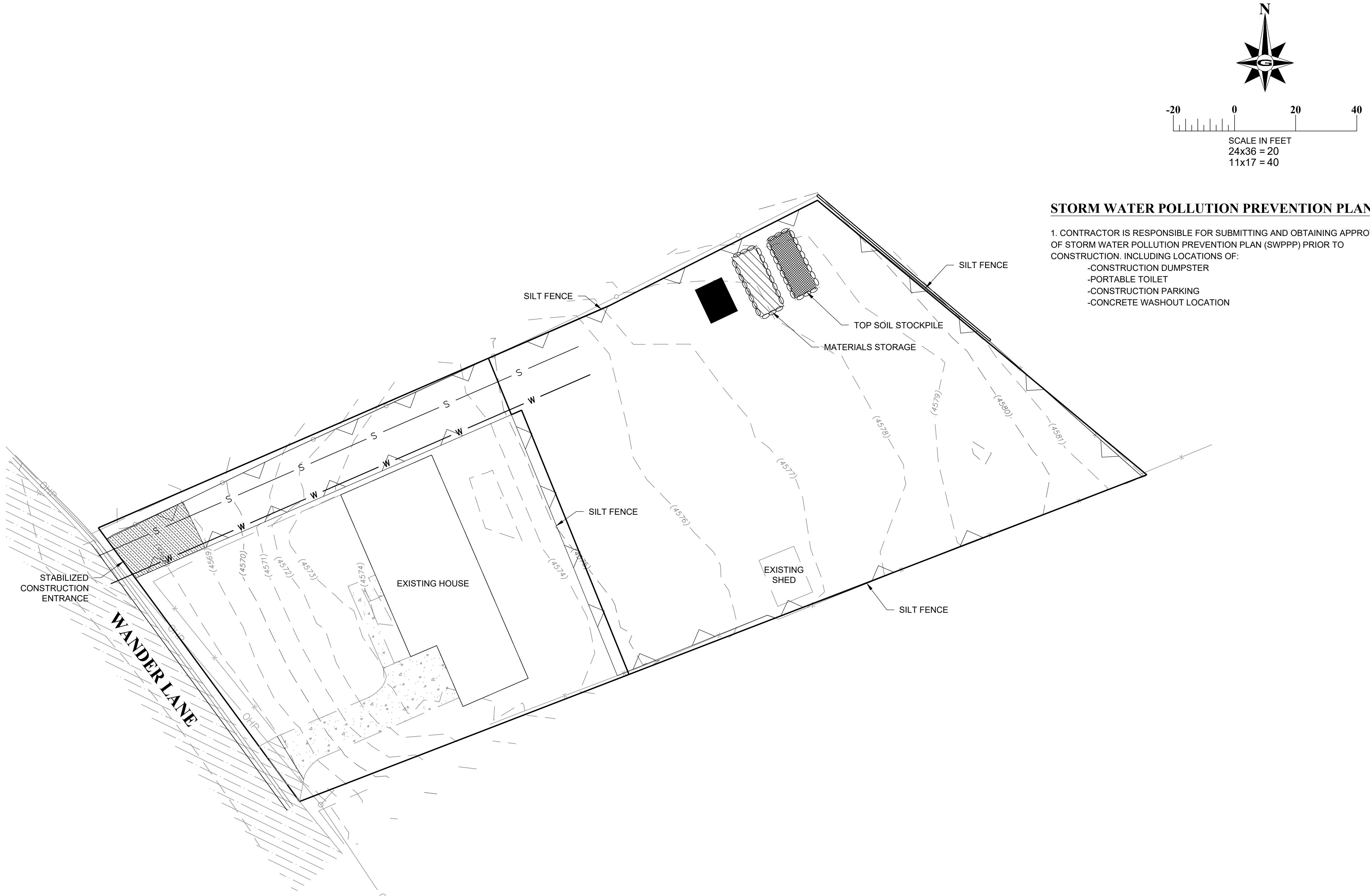
PHASE I

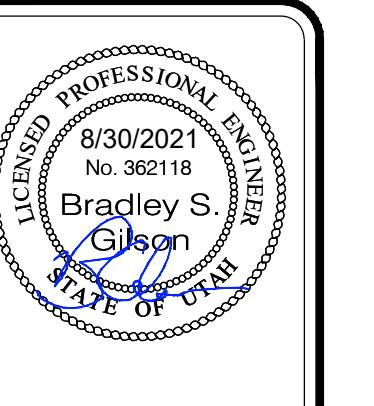
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. CONSTRUCT SILT FENCES ON THE SITE.
3. CONSTRUCT SEDIMENTATION PONDS WHERE NEEDED PER DISCRETION OF CONTRACTOR.
4. SIZE TO BE DETERMINED BY ENGINEER.
5. HALT ALL ACTIVITIES AND CONTACT CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PRECEDING WITH CONSTRUCTION.
6. PREPARE TEMPORARY PARKING AND STORAGE AREAS.
7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES. STORM DRAIN WATER DURING CONSTRUCTION WILL BE LOCATED IN RETENTION POND.
8. BEGIN GRADING THE SITE.

PHASE II

1. MAINTAIN SILT FENCE, INLET PROTECTION AND STABILIZED CONSTRUCTION EXITS INSTALLED DURING PHASE #1.
2. COMPLETE PERMANENT DETENTION POND CONSTRUCTION.
3. BEGIN CONSTRUCTION OF UNDERGROUND UTILITIES.
4. INSTALL INLET PROTECTION AT NEW STORM DRAIN INLETS, AS INSTALLED.
5. INSTALL PERMANENT VEGETATION AND PLANT MATERIALS.
6. REMOVE ALL TEMPORARY EROSION & SEDIMENTATION CONTROL DEVICES (ONLY AFTER FINAL STABILIZATION HAS BEEN ACHIEVED).

4 - DETAILS AND BMP'S ON DRAWINGS ER.102 ARE INCORPORATED INTO THIS PLAN BY REFERENCE.



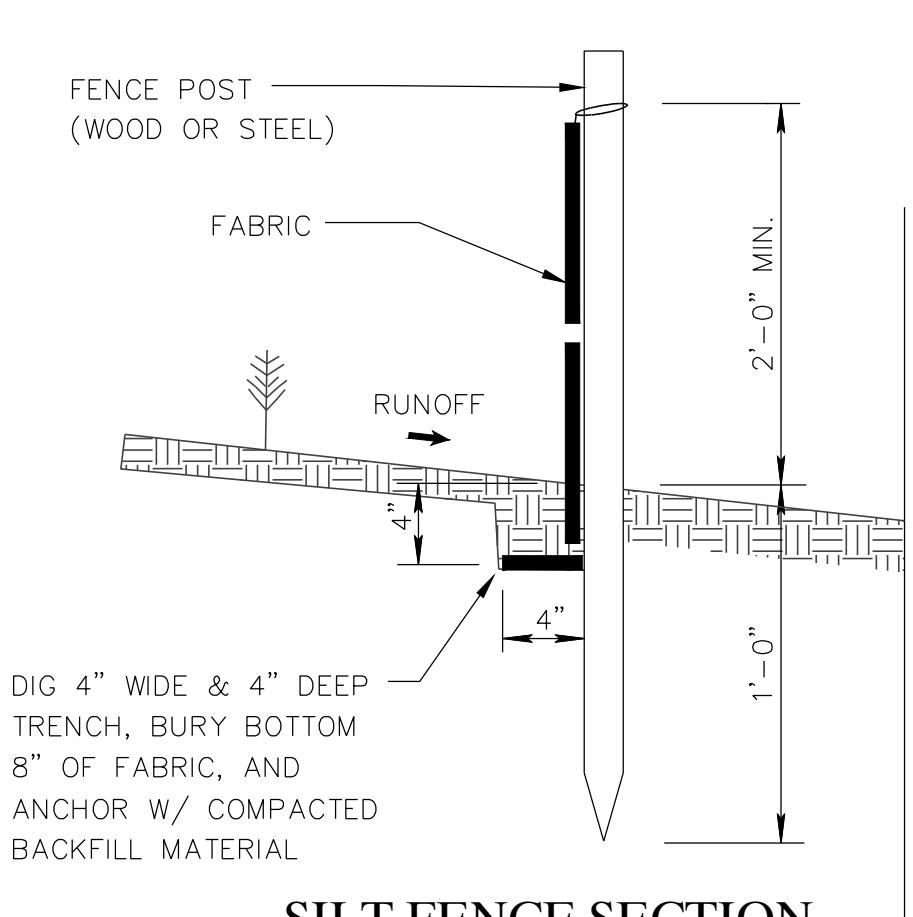


DATE: AUGUST 2021	REV. DATE: BY COMMENTS:
DRAWING NAME: EROSION CONTROL DETAILS	DESIGNED BY: BEN & ALEXANDRA WADE
PROD. BY: TSIBP	CHECKED: APPROVED: _____
1" SCALE MEASURES 1' ON FULL SIZE SHEET ADJUST FOR HALF SIZE SHEET'S	

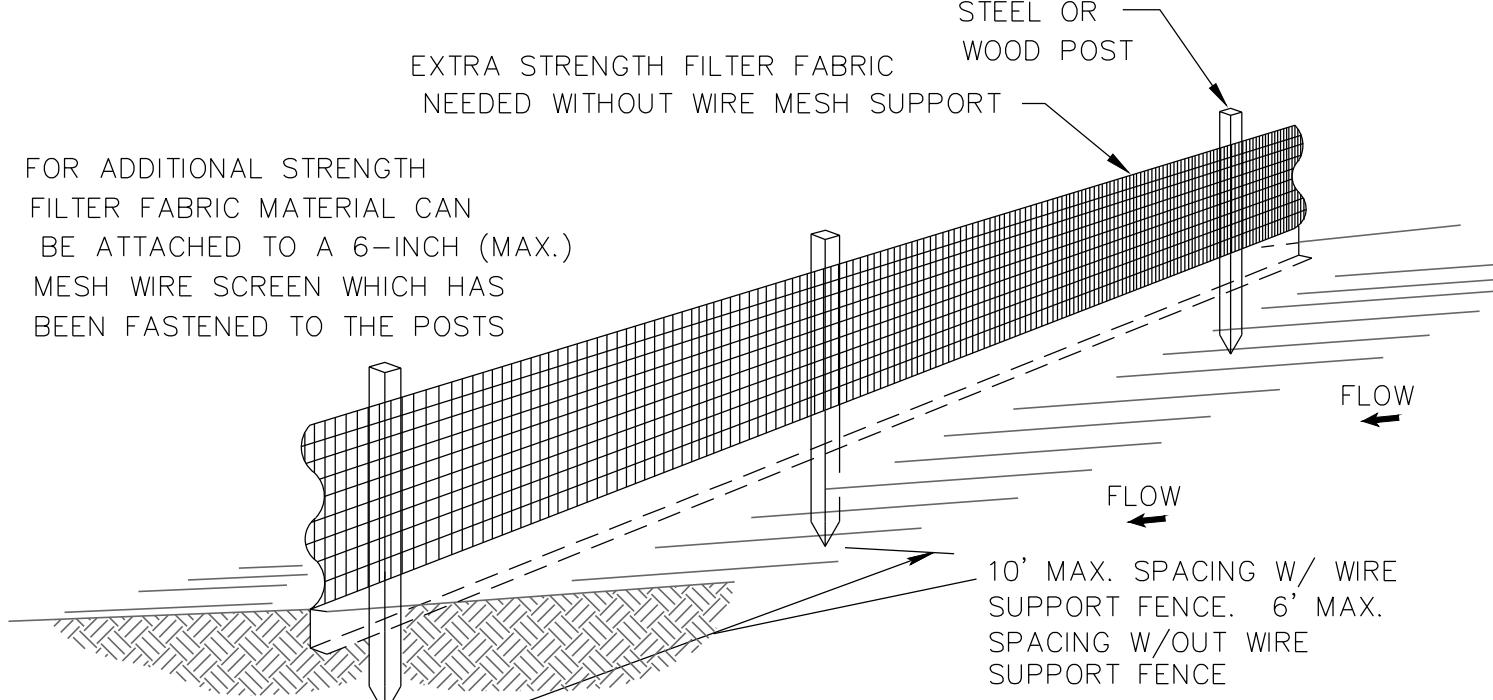
DATE: AUGUST 2021	REV. DATE: BY COMMENTS:
DRAWING NAME: ER.102	DESIGNED BY: BEN & ALEXANDRA WADE
PROD. BY: TSIBP	CHECKED: APPROVED: _____
1" SCALE MEASURES 1' ON FULL SIZE SHEET ADJUST FOR HALF SIZE SHEET'S	

REVISION: -
PROJ. #: WAD.011

ER.102

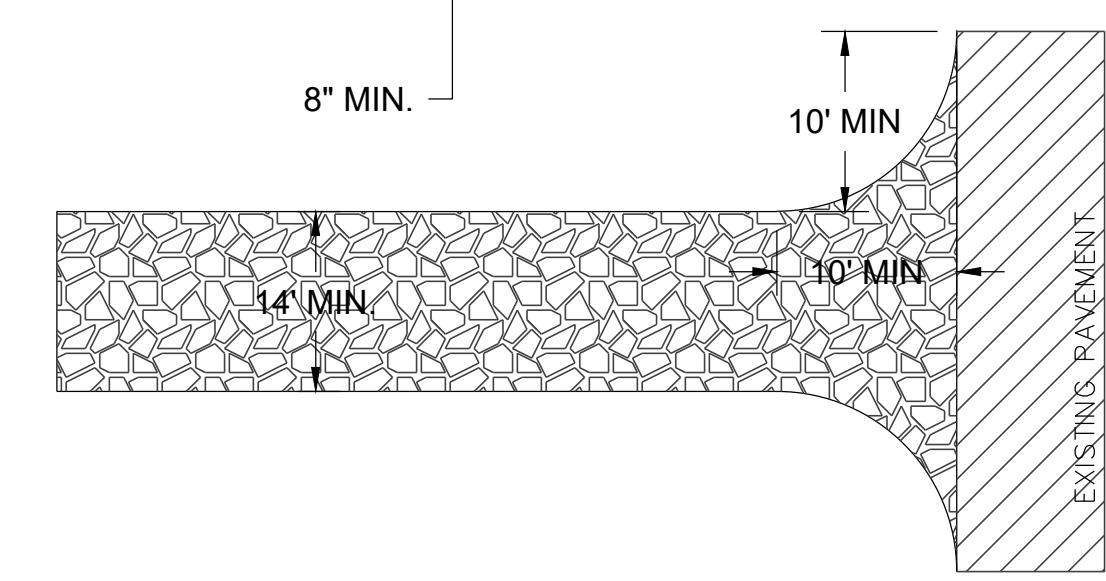
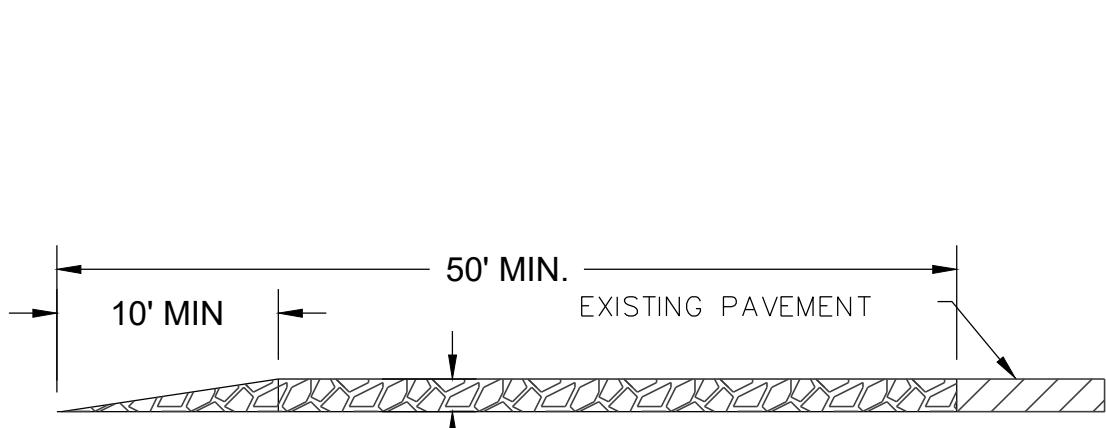


SILT FENCE SECTION



NOTES

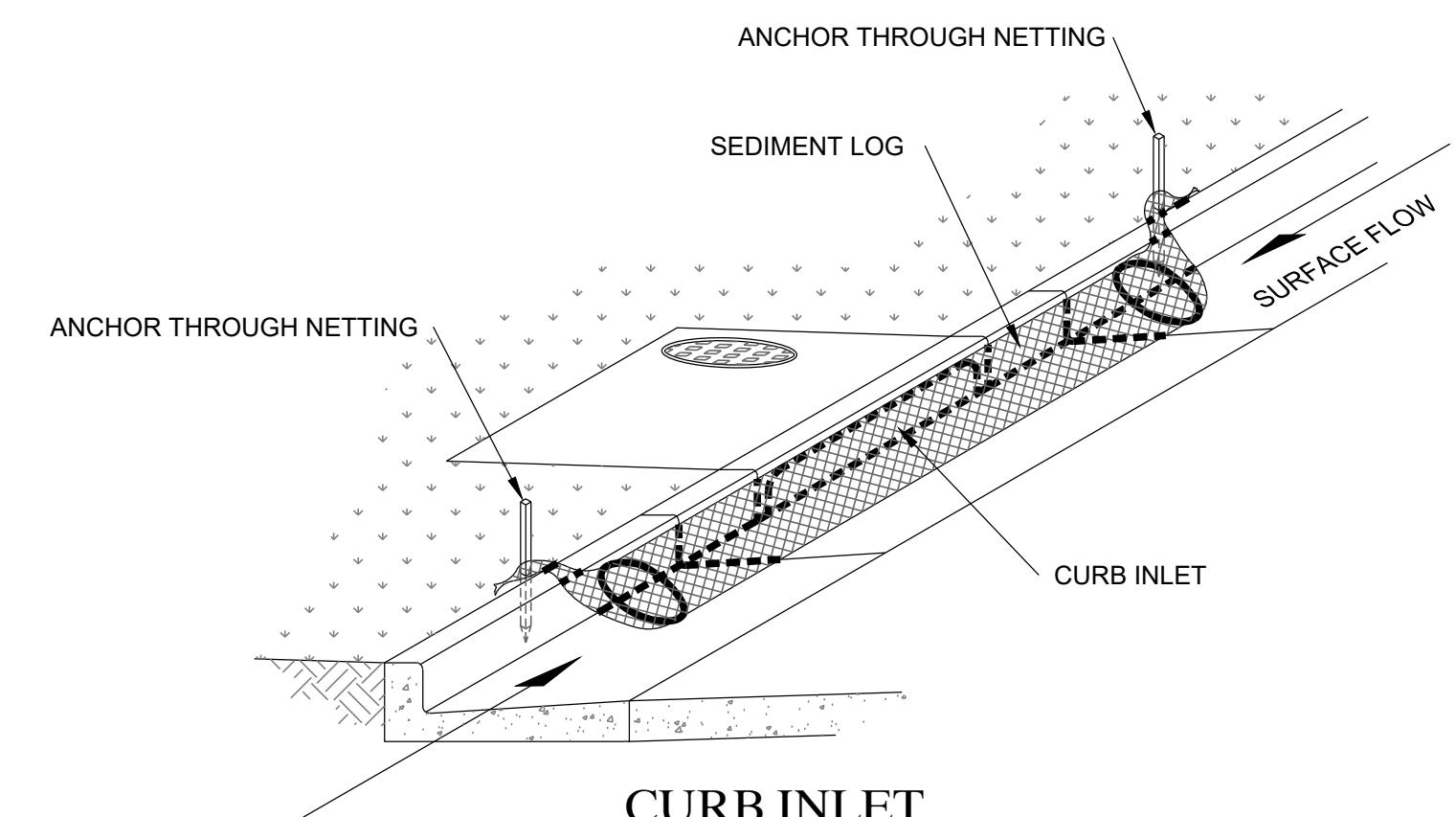
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF .2 INCHES (.5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
7. THE TRENCH SHALL BE BACK FILLED AND THE SOIL COMPACTION OVER THE FILTER FABRIC.
8. INSTALL PER MANUFACTURER'S SPECIFICATIONS



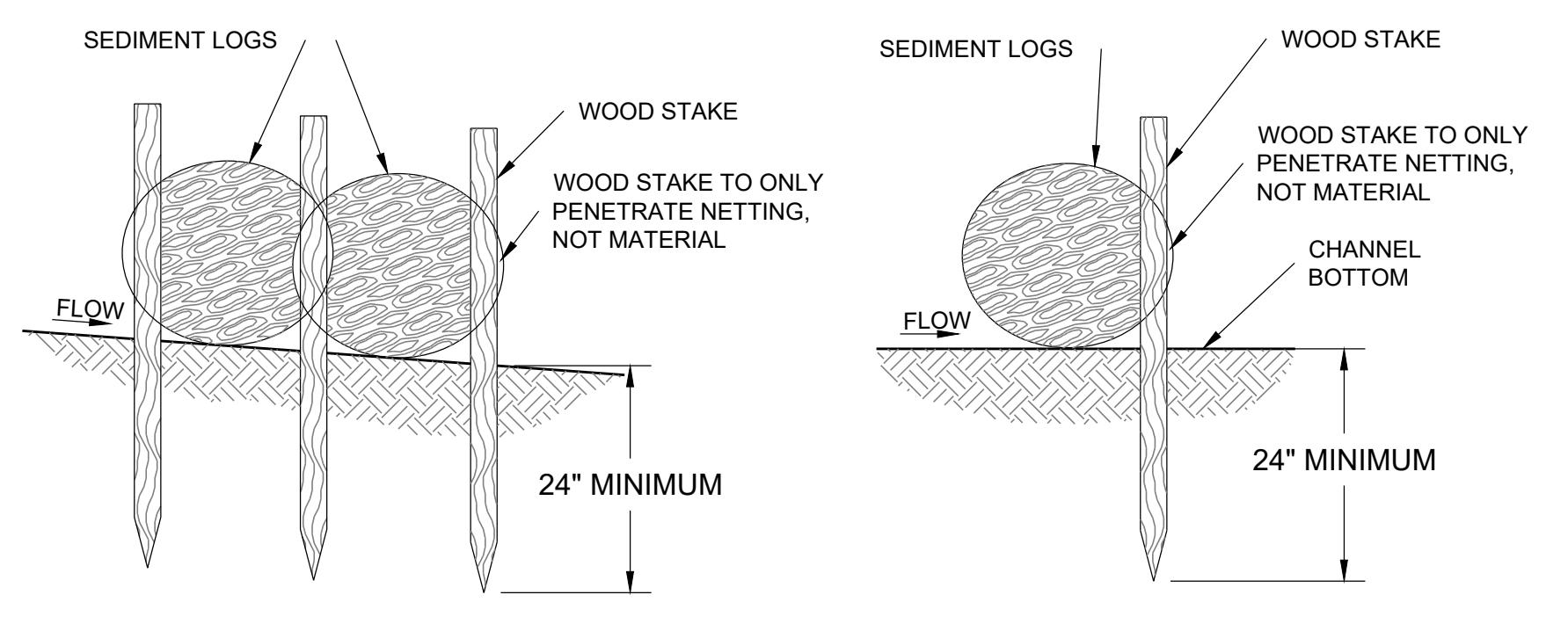
1. STONE SIZE- USE 4"-6" STONE OR RECLAIMED CONCRETE EQUIVALENT.
2. LENGTH- AS REQUIRED, BUT NOT LESS THAN 50 FEET.
3. THICKNESS- NOT LESS THAN EIGHT INCHES.
4. WIDTH- TEN FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OF EGRESS OCCURS.
5. SURFACE WATER- ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SIDE SLOPES WILL BE PERMITTED.
6. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO THE PUBLIC R.O.W. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC R.O.W.S MUST BE REMOVED IMMEDIATELY.
7. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVED AFTER EACH RAINFALL.
8. GEOTEXTILE UNDERLINER WILL BE INSTALLED UNDER STONE.

C CONSTRUCTION ENTRANCE

SCALE: N.T.S.



CURB INLET

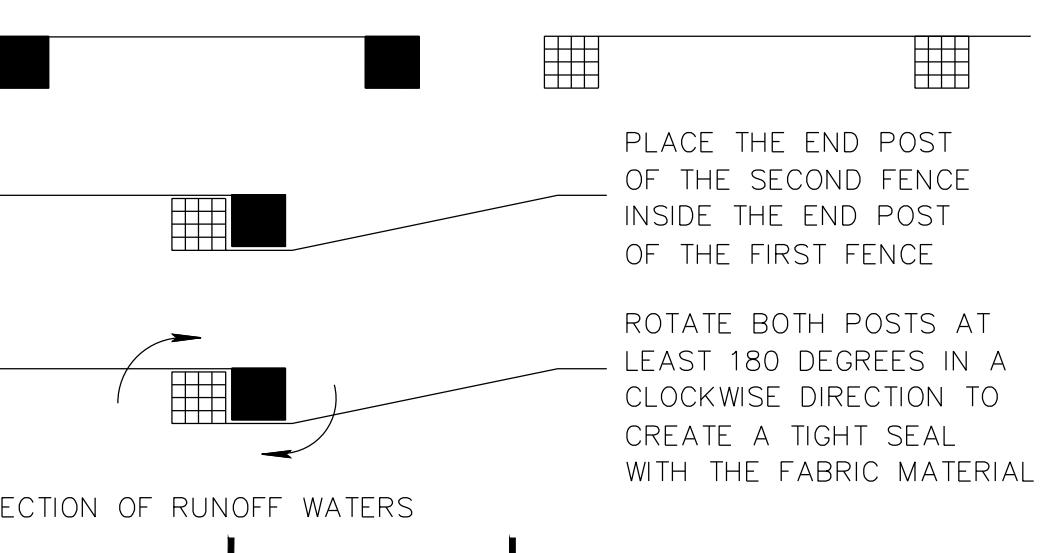


STAKING 'A'

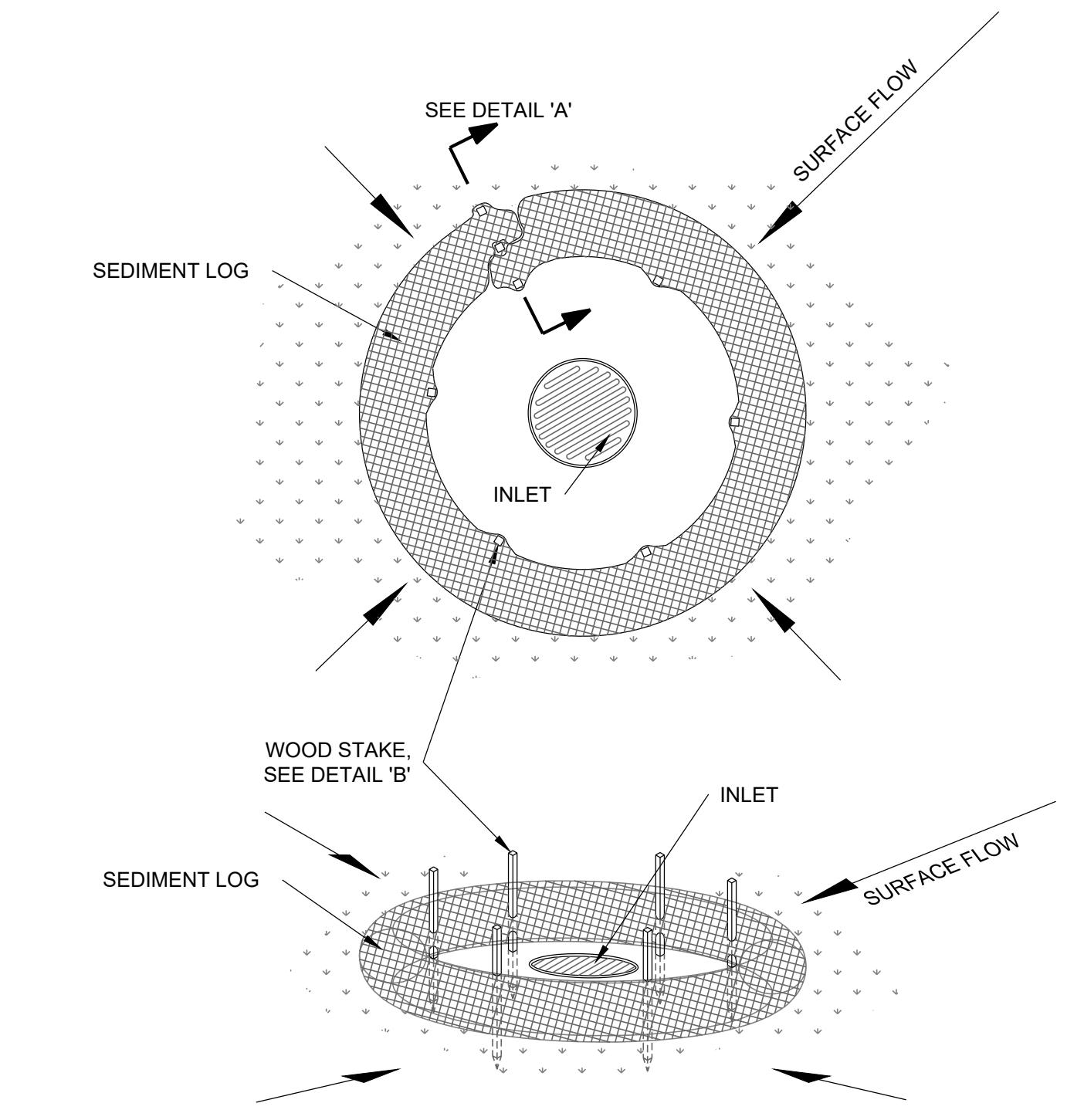
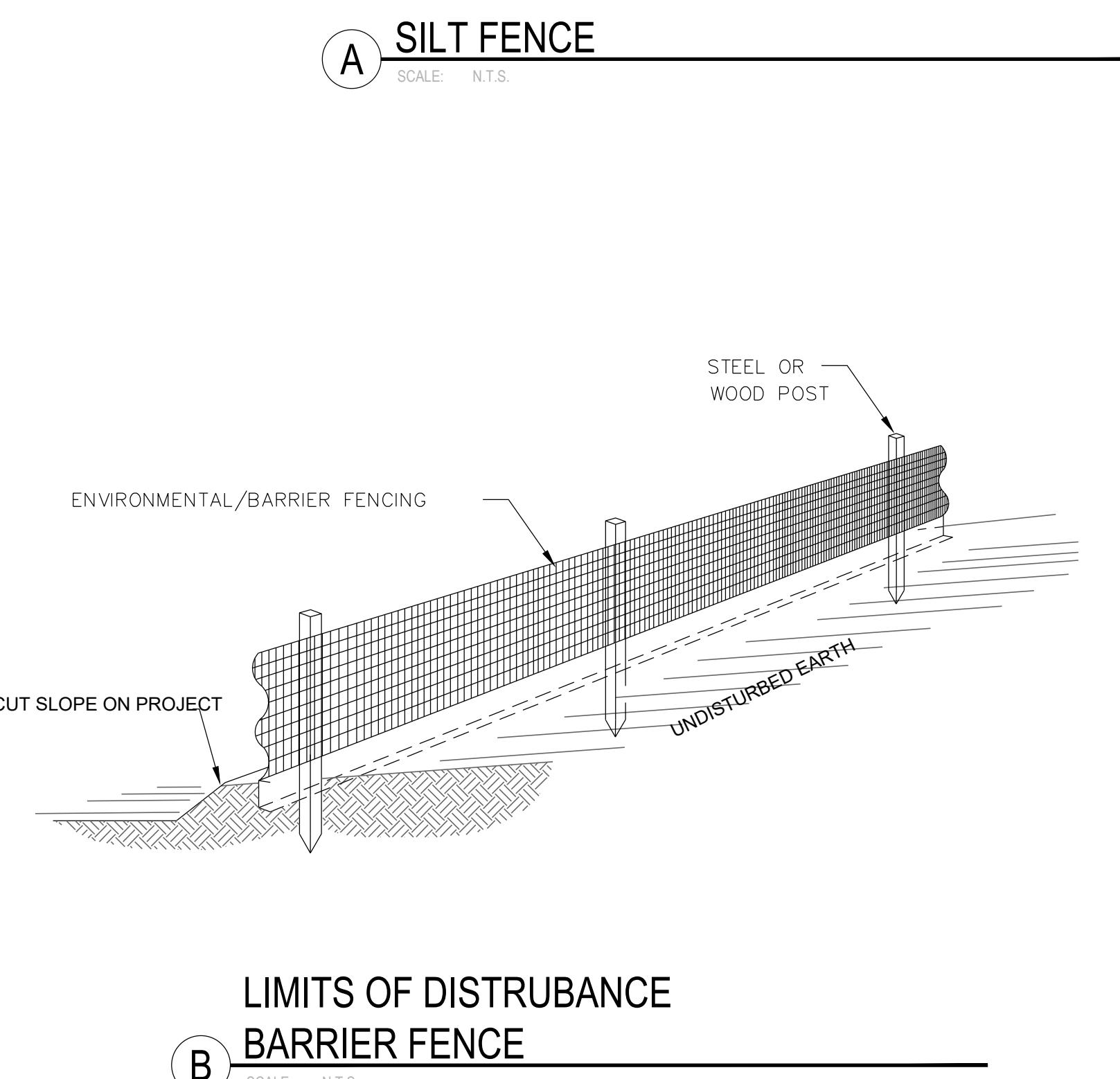
STAKING 'B'

D INLET PROTECTION

SCALE: N.T.S.



ATTACHING TWO SILT FENCES



INLET

D INLET PROTECTION

SCALE: N.T.S.

EROSION CONTROL DETAILS

BEN & ALEXANDRA WADE
4411 S WANDER LANE
HOLLADAY, UTAH 84124
SALT LAKE COUNTY, UTAH



FILE# n/a

COMMISSION MEETING MINUTES

ADDRESS:

n/a

LEGAL DESCRIPTION: n/a

APPLICANT/REPRESENTATIVE:

City of Holladay Planning Commission

PROPERTY OWNER:

n/a

ZONING:

n/a

GENERAL PLAN DISTRICT:

n/a

CITY COUNCIL DISTRICT:

N/A

PUBLIC NOTICE DETAILS:

n/a

REQUEST:

Adoption of Meeting Minutes

APPLICABLE REGULATIONS:

UCA§52-4-203, 206
2.01.080
13.06.030

DECISION TYPE:

Administrative/Procedural:

Commission shall approve, approve with changes or continue to a later date the agenda item

SITE VICINITY MAP

Effective 5/8/2018

52-4-203 Written minutes of open meetings -- Public records -- Recording of meetings.

(1) Except as provided under Subsection (7), written minutes and a recording shall be kept of all open meetings.

(2)

- (a) Written minutes of an open meeting shall include:
 - (i) the date, time, and place of the meeting;
 - (ii) the names of members present and absent;
 - (iii) the substance of all matters proposed, discussed, or decided by the public body which may include a summary of comments made by members of the public body;
 - (iv) a record, by individual member, of each vote taken by the public body;
 - (v) the name of each person who:
 - (A) is not a member of the public body; and
 - (B) after being recognized by the presiding member of the public body, provided testimony or comments to the public body;
 - (vi) the substance, in brief, of the testimony or comments provided by the public under Subsection (2)(a)(v); and
 - (vii) any other information that is a record of the proceedings of the meeting that any member requests be entered in the minutes or recording.

- (b) A public body may satisfy the requirement under Subsection (2)(a)(iii) or (vi) that minutes include the substance of matters proposed, discussed, or decided or the substance of testimony or comments by maintaining a publicly available online version of the minutes that provides a link to the meeting recording at the place in the recording where the matter is proposed, discussed, or decided or the testimony or comments provided.

EXHIBITS:

+

Notes:

Corrections made according to commission direction on 12-1-2020

STAFF:

Jonathan Teerlink, City Planner

DRAFT

MINUTES OF THE CITY OF HOLLADAY PLANNING COMMISSION MEETING

**Tuesday, August 3, 2021
6:00 p.m.
City Council Chambers
4580 South 2300 East
Holladay, Utah**

ATTENDANCE:

Planning Commission Members:

City Staff:

Howard Layton, Chair
Martin Banks
Chris Layton
Alyssa Lloyd
Ann Mackin
Dennis Roach
Karianne Prince

LaNiece Davenport, Community/Economic
Development Director
Todd Godfrey, City Attorney (via telephone)
Jared Bunch, City Engineer

WORK SESSION

Chair Howard Layton called the Work Session to order at 5:30 p.m.

27 The Agenda items were reviewed and discussed. Community and Economic Development
28 Director, LaNiece Davenport, reported on agenda item number two regarding the zone map
29 amendment from R-1-10 to R-2-10. The subject property is located at 4409 South 2300 East. The
30 amendment is a legislative item, which means that the Planning Commission makes a
31 recommendation to the City Council. The applicant, Jake Christensen, is seeking an amendment
32 to the zone map from R-1-10, which allows one home per 10,000 square feet to R-2-10 and one
33 duplex per 10,000 square feet. Mr. Christensen wishes to add the property to the development to
34 the south that was recently rezoned to R-2-10 by the City Council. Staff recommended that the
35 Planning Commission forward a favorable recommendation to the City Council for final
36 consideration based on the findings and conditions set forth in the staff report.

38 Commissioner Mackin expressed support for the project and considered it to be one more property
39 that will add to an existing plan and make it larger and potentially facilitate shifting the entrance
40 to the larger development further to the north away from the intersection. She lives close to the
41 subject property and drives by it every day. She considered what is proposed to be a great addition
42 to the area.

1 Commissioner Banks asked why the concept was not included and incorporated into the previous
2 rezone. Ms. Davenport stated that it was not part of the original development and has since been
3 sold to the developer.

4
5 Commissioner Lloyd recalled that the current owner of the property attended the previous meeting
6 and spoke as part of the public hearing. He was supportive of what happened with the other
7 property.

8
9 Chair Howard Layton stated that concern was expressed with changing the zoning, which would
10 increase the density by one unit and may impact the tree canopy.

11
12 Commissioner Roach asked how much of the tree canopy can be added back in and if the adjacent
13 residents will be looking at a cement wall with large homes and a few small trees once the site is
14 developed. Commissioner Chris Layton stated that the Commission will have an opportunity to
15 look at those issues at the conceptual site plan stage. The issue to be addressed tonight is to
16 determine whether this is an appropriate parcel to be zoned differently.

17
18 Ms. Davenport reported that at the last Planning Commission Meeting, the Commission approved
19 the concept plan that was presented by the developer, Steve Peterson for the Royal Holladay Hills,
20 Block L Project. At that meeting, Mr. Peterson mentioned that he might be back with a change to
21 the Concept Plan based on market response and conditions. He has since submitted an Amended
22 Concept Plan that reduces the number of units from 53 to 38 townhomes. The six one-half-acre
23 lots that border Arbor Lane will remain unchanged. Because the Amended Concept Plan does not
24 significantly alter the original approval and remains compliant with the requirements of the Site
25 Development Master Plan (“SDMP”) and the RM/U zone, staff recommended approval.

26
27 Chair Howard Layton stated that the proposed transition will likely be smoother than the slightly
28 higher density with stacked units. He considered what is proposed to be a positive direction.

29
30 Commissioner Lloyd commented that there is tremendous demand for townhomes in the area and
31 it will serve as a great transition between the single-family and multi-family units. She appreciated
32 the developer’s willingness to bring something better forward even though something else was
33 previously approved.

34
35 ***Commissioner Lloyd moved to adjourn the Work Session. Commissioner Mackin seconded the
36 motion. The motion passed with the unanimous consent of the Commission.***

37
38 **CONVENE REGULAR MEETING – Public Welcome and Opening Statement by
39 Commission Chair.**

40 Chair Howard Layton called the Regular Meeting to order at 6:00 p.m. and read the Commission
41 Statement.

1 1. **“Freeman” Residential Subdivision – 2175 East Panorama Way (R-1-8 Zone).**
2 **Review and Consideration of a Request by Colleen Freeman, for Conceptual and**
3 **Preliminary Plan Application to Subdivide .488 Acres of Land Located in the R-1-8**
4 **Zone (One Home Per 8,000 Square Feet) as Per Holladay Ordinance 13.10. File**
5 **#21-2-09).**

6
7 2. **Zone Map Amendment, R-1-10 to R-2-10 – 4409 South 2300 East (R-1-10).**
8 **Consideration and Recommendation of a Proposal by Jake Christensen, to Amend**
9 **the Holladay City Zoning Map from R-1-10 Zone (Residential One Home per 10,000**
10 **Square Feet) to R-2-10 (Residential, One Duplex Per 10,000) for Approximately .23**
11 **acres of Property. The Property is Proposed to be Added to the Development for**
12 **which a Recent Proposal was Approved by the Council. As per Holladay Ordinance**
13 **§ 13.07.030. File #21-4-05-1.**

14 Community and Economic Development Director, LaNiece Davenport, presented the staff report
15 and stated that the applicant, Jake Christensen, is seeking an amendment to the zoning from R-1-
16 10 to R-2-10 for property located at 4409 East 2300 East. Mr. Christensen would like to add the
17 property to the development to the south that was recently rezoned R-2-10 by the City Council.
18 Staff suggested that the Planning Commission send a favorable recommendation to the City
19 Council for final consideration.

20
21 Mr. Christensen gave his address as 13416 Banbury Park Lane and reported that he purchased all
22 seven of the properties. They are including this last parcel in the development as it was recently
23 acquired. He explained that the MDRT Overlay Zone is located along 2200 East and they have
24 utilized all of the available density in the R-1-10 zone. The request is consistent with the General
25 Plan and they are trying to eliminate the conflicting zones within the development. The proposal
26 will also allow for a better design and a more cohesive landscaping plan. With regard to the tree
27 canopy, they intend to maintain the majority of the trees and plant a greater tree canopy as part of
28 the site plan. In terms of access, it will be at least 200 feet from the intersection.

29
30 Mr. Christensen addressed density issues and challenges they have been faced with. He stated that
31 it is easier to combine the zones. Ms. Davenport stated that representatives from the water and
32 utility companies attended a recent City Council Meeting and were open to moving the pumphouse
33 so that it would be more attractive for redevelopment.

34
35 ***Commissioner Prince moved open the public hearing. Commissioner Mackin seconded the***
36 ***motion. The motion passed with the unanimous consent of the Commission.***

37
38 There were no public comments. Chair Howard Layton closed the public hearing.

39
40 ***Commissioner Roach moved that the Planning Commission recommend approval to the City***
41 ***Council of the Zone Map Amendment from R-1-10 to R-2-10 for the property located at 4409***
42 ***South 2300 East – File #21-4-05-1. Commissioner Prince seconded the motion. Vote on***
43 ***motion: Commissioner Chris Layton-Aye, Commissioner Lloyd-Aye, Commissioner Mackin-***
44 ***Aye, Commissioner Prince-Aye, Commissioner Roach-Aye, Commissioner Banks-Aye, Chair***
45 ***Howard Layton-Aye. The motion passed unanimously.***

1
2 3. **“Holladay Hills, Block L” – Amended Concept Plan – 4980 South Beverly Park (R-**
3 **M/U Zone). Review and Consideration of a Proposal by Applicant, Steve Peterson to**
4 **Amend a Previously Approved Concept Plan for “Block L” of the Holladay Hills**
5 **Mixed-Use Development. This Amendment Proposes to Reduce the Number of**
6 **Approved Units within the Multi-Family Component from 53 Units to 38**
7 **Townhomes, as Per Regulatory Provisions of the Site Development Master Plan**
8 **(SDMP 2007) and Holladay Ordinance (13.65.070(C). File #19-9-19-04.**

9
10 Ms. Davenport presented the staff report and stated that based on market pressure and housing
11 needs the applicant, Steve Peterson, has submitted an amended concept plan that reduces the
12 number of housing units for the Royal Holladay Hills Block “L” Development. The number of
13 units was reduced from 53 to 38 townhomes. The six one-half-acre lots that border Arbor Lane
14 remained unchanged. Because the amended concept plan does not significantly alter the original
15 approval and remains compliant with all requirements of the SDMP and the R-M/U Zone, staff
16 recommended that the Planning Commission approve the amended concept site plan.

17
18 Mr. Peterson stated that after conducting market research and better understanding the existing
19 needs, they felt it would be better to go from the condominium units and reduce the density and
20 pursue townhomes. The second decision was to create a better transition from the estates to the
21 one-half acre estates to the townhomes and then to the more dense areas in future phases of the
22 project. This area allows for them to go up to 60 feet but they decided to limit it to 41 feet. Utilizing
23 only two-thirds of the height allowed in the area was important to create a transitional area.

24
25 In response to a question raised regarding the potential for rooftop decks for the townhomes,
26 Mr. Peterson stated that there will be some within the two and three-story units. He explained that
27 they came back for conceptual approval because he did not want there to be any outstanding
28 questions. He thought it would be appropriate to hold another public hearing.

29
30 Chair Howard Layton opened the public hearing.

31
32 *Jonathan Johnson* gave his address as 2070 Arbor Lane, directly across the street from Block L.
33 He was present as Chairman of Cottonwood, Inc., which is a non-profit group that can enforce the
34 restriction on the number of points of egress from the residential lots coming out of Block L. He
35 wanted the Planning Commission to know that the Cottonwood, Inc. Board met and unanimously
36 approved increasing the number of points of egress from four to six so that there will be one
37 allowed for each of the one-half acre lots. They also received a letter from the owners of the Mall
38 property stating that they would continue to support Cottonwood, Inc.’s request that the point of
39 egress from the south point of the Mall property include the ‘pork chop’ that will prohibit a left or
40 easterly turn onto Arbor Lane. Mr. Johnson’s understanding was that the modification to the
41 restriction to the points of egress was filed with the County Recorder the previous day.

42
43 Mr. Johnson stated that he also lives across the street from Block L and likes the plan. He supports
44 the fact that six homes are facing the neighborhood so that they see the front of unique homes. He
45 also liked the plan being submitted today more than the previous one for three large ‘condoplexes’.

1 The townhomes will provide sloped level units moving toward the center of the property. He
2 expressed his support for what was proposed.
3

4 A question was raised regarding the desire for more points of egress rather than less. Mr. Johnson
5 explained that having six lots that all face out was something they were supportive of. The
6 commitment for the slope of the development was also desired. Having six one-half acre lots
7 rather than several smaller lots pointing into the Mall where the residents will see the backside of
8 various homes was also preferred. The property owners have asked for input from the residents,
9 which they appreciated.
10

11 Commissioner Chris Layton was pleased with the developer and neighbors working together.
12 Mr. Johnson stated that with a nine-member board, there are nine different opinions on what should
13 be done. The developer has conceded and he felt the process had been constructive.
14

15 *Steve Glaser* gave his address as 2052 East Arbor Lane, across the street from Block L. He recalled
16 in the packet a drawing showing that townhomes will be up to 41 feet tall. He would not support
17 heights substantially taller than that. Traffic circulation issues were discussed. In addition to the
18 stop sign on Arbor Lane, he suggested there be a stop sign from the development coming out. He
19 also asked about the enforceability of a private agreement between the landowner and Cottonwood,
20 Inc. He suggested that the City's Planning Department retain a copy of the plans in the event a
21 future proposal that is not in accordance with the agreement.
22

23 Mr. Bunch commented that in terms of traffic planning, there are classifications for roads. These
24 would be considered major and minor roads with a 'T' intersection. Staff would not be able to
25 stop the northbound leg of the 'T' to make it a three-way stop. As a result, they would have to
26 allow it through on the southbound and stop the westbound direction only.
27

28 The comment was made that traffic should not back up onto Highland Drive. It was noted that
29 Arbor Lane will be a more major street than the minor street coming out from the Holladay Hills
30 development. If traffic starts to back up he asked if there would be a remedy. Mr. Bunch was
31 unsure as he had not studied the traffic volume but would be happy to review the traffic study. He
32 explained that a certain volume of traffic would have to be delayed a certain amount of time before
33 different types of improvements would be made. The most efficient would be to allow the thru-
34 street to not stop. A three-way stop would reduce the efficiency of the intersection and would not
35 be supported by the City's engineering staff.
36

37 Chair Howard Layton stated that some of the concerns identified may be beyond the scope of
38 tonight's public hearing with regard to changing the allowed density. Outstanding concerns should
39 be raised with the developer after the meeting.
40

41 *Camille Pearce* gave her address as 2052 East Arbor Lane and appreciated that the developer has
42 worked with the residents. She was originally not happy about six homes. She pointed out that
43 her driveway goes out onto Arbor Lane where others do not. They felt as a group that what is
44 proposed has the least impact. She stated that since the Mall was demolished in 2008, the
45 vegetation on the property has not been maintained. Her concern was that the remaining vegetation

1 be retained since the area long Cottonwood Creek is a wildlife corridor. She had witnessed new
2 homeowners scrape properties clean and she did not want that to continue. She was concerned
3 about access issues and very large homes being developed on undersized lots. She was also
4 worried about the ADA ramp across Arbor Lane and did not understand its purpose. She suggested
5 that it instead come out on the west side where there are sidewalks.

6
7 There were no further public comments. The public hearing was closed.
8

9 Commissioner Chris Layton reminded those present that the matter before the Commission tonight
10 is conceptual approval. Traffic patterns, sidewalks, and other details will be addressed at a later
11 date. Tonight's focus was on the conceptual layout of the use of the site and rather than the details
12 that will be addressed with the preliminary and final site plan.
13

14 ***Commissioner Banks moved to approve the Amended Conceptual Subdivision Plan for Lots 1***
15 ***through 3 of Block L within the Royal Holladay Hills Subdivision based on the following:***

16
17 ***Finding:***

18
19 1. ***The TRC finds that all amendments as proposed to the conceptual plan remains***
20 ***compliant with the requirements of the SDMP and the R-M/U Zone.***

21
22 ***The motion was seconded by Commissioner Chris Layton. Vote on motion: Karianne Prince-***
23 ***Aye, Dennis Roach-Aye, Martin Banks-Aye, Ann Mackin-Aye, Alyssa Lloyd-Aye, Chris Layton-***
24 ***Aye, Chair Howard Layton-Aye. The motion passed unanimously.***

25
26 **ACTION ITEMS**

27 4. **“Holladay Hills, Block L: Lots 1 thru 3” – Preliminary/Final Subdivision – 4980**
28 **South Beverly Park (R-M/U Zone). Review and Consideration of Construction**
29 **Details Presented by Applicant, Steve Peterson for Complete Development of All Lots**
30 **with “Block L” of Holladay Hills; Private Roadway, Utility and Landscaping Details**
31 **for 38 Townhomes and Six Single-Family Homes have been Finalized as Per**
32 **Regulatory Provisions of the Site Development Master Plan (SDMP) and Holladay**
33 **Ordinance 13.65.070(C). File #19-9-19-04.**

34 Ms. Davenport presented the staff report and stated that the creation of a subdivision plat takes
35 place in three steps. Step 1 includes the concept, Step 2 is the preliminary, and Step 3 is the final.
36 The request tonight is to take action on Steps 2 and 3 of Holladay Hills Block L Phases 1 and 2.
37 The applicant, Steve Peterson, has finalized the subdivision plans for Block L, which is a seven-
38 acre area located at the southernmost end of the Royal Holladay Hills project. Block L consists of
39 Lot 1, which is primarily single-family homes; Lot 2 is townhomes; and Lot 3 is not developable.
40 Phase 1 includes the single-family homes that are in a restricted district of the SDMP and capped
41 at 40 feet. The homes comply with this element.
42

43 Phase 2 is in the Limited District of the SDMP, which is capped at 60 feet with a maximum height
44 of 41 feet. The Technical Review Committee (“TRC”) looks at the use, health, and safety items,
45 and the plat all of which comply. Staff continued to wait for some of the utility letters to ensure

1 that the utility portion complies. In terms of the architecture and landscaping plans, they will
2 ensure that they comply with the SDMP when they are submitted. This will occur as each lot is
3 sold and developed. It was noted that the six one-half acre lots will be sold and developed
4 separately. Block L was found to comply with the SDMP.

5
6 Ms. Davenport noted that the SDMP gives leniency to the developer in terms of architectural
7 design and offers guidance while allowing the developer the ability to make the property unique.
8 Staff recommended approval of the preliminary plan and plat for Royal Holladay Hills Block L
9 Phases 1 and 2 and delegate final plat approval to staff for both the townhomes and single-family
10 lots.

11
12 Mr. Peterson commented on the 10-foot protective strip and stated that they are part of the lots,
13 however, because of the Agreement for the Development of Land (“ADL”) it had never been part
14 of the 58 acres of the Economic Development Area of the project. The ADL that was entered into
15 with the City by General Growth 10 years ago was recently modified after Mr. Peterson’s company
16 acquired the property. It addresses how taxes are used within the project area and does not allow
17 them to add any land to the project area. Mr. Peterson stressed the importance of having a good
18 transition. The previous plan included four lots. The property to the west allows for building
19 heights of up to 90 feet. Buildings along the river to the right can be up to 60 feet in height. They
20 are requesting heights drastically less than that at 41 feet. The homes in the individual lots are
21 allowed to be up to 40 feet tall but staff’s recommendation was 35 feet. Mr. Peterson agreed with
22 that since that is what is allowed across the street and provides a good transition.

23
24 Mr. Peterson reported that they identified within the SDMP certain architectural elements such as
25 flat roofs and patios that intrude into the sides of the buildings. The three building materials to be
26 used were described as brick, snap board, and a wood-type finish.

27
28 *Chris Longson* gave his address as 4954 Clearview Street and stated that the Cottonwood, Inc.
29 Agreement specifies that the 10-foot strip remain a separate parcel outside of the ADL. It will be
30 deeded to the lot owner and landscaped. For tax purposes, there will be two separate tax notices.

31
32 Mr. Peterson stated that they are seeking preliminary and final approval of Phases 1 and 2 to record
33 the subdivision plats subject to staff approval. Commissioner Chris Layton stressed the
34 importance of understanding what has been done in terms of traffic studies at that intersection
35 since it is a relevant part of the approval. He thought it was important for the public and the
36 Planning Commission to understand what has been done by way of traffic studies and design of
37 the intersection. Mr. Peterson stated that the intersection is not part of this application but was
38 approved. Their engineer worked with the City Engineer on the design of the ‘pork chop’. The
39 residents represented by Mr. Johnson wanted to make sure that there was an island there that would
40 not allow for left-hand turns. They agreed to that and it was designed that way. In terms of the
41 traffic studies, Mr. Peterson explained that they were done based on the amount of volume that
42 they would generate. Based on the studies conducted, the traffic generated will be less than that
43 because they will not have as much commercial square footage. As a result, they comply with the
44 traffic study conducted.

1 *Commissioner Mackin moved to approve Holladay Hills, Block L, Lots 1 through 3 Preliminary*
2 *and Final Subdivision Plat for property located at 4980 South Beverly Park, and approve the*
3 *preliminary plan and delegate final plat approval to staff for Phases 1 and 2. Commissioner*
4 *Lloyd seconded the motion. Vote on motion: Karianne Prince-Aye, Dennis Roach-Aye, Martin*
5 *Banks-Aye, Ann Mackin-Aye, Alyssa Lloyd-Aye, Chris Layton-Aye, Chair Howard Layton-Aye.*
6 *The motion passed unanimously.*

7
8 **ADJOURN**
9 *Commissioner Mackin moved to adjourn. Commissioner Prince seconded the motion. The*
10 *motion passed with the unanimous consent of the Commission.*

11
12 The Planning Commission Meeting adjourned at approximately 6:55 p.m.

DRAFT

1 *I hereby certify that the foregoing represents a true, accurate, and complete record of the City
2 of Holladay Planning Commission Meeting held Tuesday, August 3, 2021.*

3

4 Teri Forbes

5 Teri Forbes
6 T Forbes Group
7 Minutes Secretary
8
9 Minutes Approved: _____

DRAFT

DRAFT

MINUTES OF THE CITY OF HOLLADAY PLANNING COMMISSION MEETING

**Tuesday, September 7, 2021
6:00 p.m.
City Council Chambers
4580 South 2300 East
Holladay, Utah**

ATTENDANCE:

Planning Commission Members:

City Staff:

Chris Layton, Vice-Chair
Chris Layton
Ann Mackin
Dennis Roach

Jonathan Teerlink, Planning Manager
Robert Hobbs, Senior City Planner
Brad Christopherson, City Attorney

WORK SESSION

Planning Manager, Jonathan Teerlink, discussed the agenda items and reported that one public hearing involved sensitive lands development measures. Whenever there are applications for redevelopment or development on properties in the City of Holladay, they are primarily interested in life safety issues. The Federal Emergency Management Agency (“FEMA”) has made revisions to its flood insurance rate maps that impact areas along Big Cottonwood Creek. The maps have been updated and the City was asked in a very specific letter to update the ordinance based on the revision date of the mapping. The revision date was identified as November 2020.

31 The second amendment involved a recommendation to update the Geologic Hazard mapping
32 section. The Natural Hazard section has always been involved in fault lines that run through the
33 City. The Wasatch Fault Zone bisects the City in a few locations. Over the past five or six years,
34 the Utah Geologic Society has updated its fault study trace mapping. The various reports have
35 been collected and compiled into a revised Fault Line Study Map. Based on the new studies, the
36 fault study areas have increased in size based on the fact that the known Wasatch Fault Zone has
37 been expanded. Originally, the Fault Study Map was located in the General Plan but it needs to
38 be included in the ordinance. In addition, primary procedural standards are missing and are needed
39 when interacting with a property owner or geologist.

41 Mr. Teerlink reported that the FEMA map revision update is imperative and should be moved onto
42 the City Council as soon as possible. The geologic revisions are not as critical and can be tabled
43 if desired, by the Council.

1 In response to a question raised, City Attorney, Brad Christopherson stated that both decisions are
2 very safe. One of the concerns people have is that fault studies increase the cost of development
3 moving forward. While that is true, it can prevent problems in the future.

4
5 Senior City Planner, Robert Hobbs, described the proposed changes to the Landscape Ordinance,
6 which include a series of cleanup standards that are targeted primarily at commercial and multi-
7 family zones. The desire was to not require tree plantings along storefronts. A supplement was
8 provided that included a series of afterthoughts that could not be added back into the initial Code
9 amendment.

10
11 Mr. Teerlink reported that agenda item number three involves preliminary subdivision review and
12 approval for "Hadley Pines", which was previously noticed as "Holladay Commons". It is an
13 eight-unit Planned Unit Development ("PUD") on Murray Holladay Road. The applicant is
14 working within the confines of the R-2-10 zone. No rezone is requested. The subject parcel
15 consists of a small sliver of R-2-10 property between the Village and R-1-10 zoning. The desire
16 is to develop four twin homes for a total of eight units. The PUD request is for flexibility in
17 setbacks to allow one of the units to front Murray Holladay Road and provide a standard residential
18 feel rather than have the side be kicked out to the corner as is normally seen. To accomplish that
19 flexibility in the front yard is necessary.

20
21 Commissioner Roach noticed there was discussion of moving the driveway up and asked if the
22 applicant would have to come back with demolition plans before moving forward. Mr. Teerlink
23 stated that preliminary approval could be granted without those details being provided. Two
24 motions will be needed including a motion on the Conditional Use Permit for the PUD and another
25 for the Preliminary approval.

26
27 Commissioner Chris Layton indicated that he would need to recuse himself from the vote due to a
28 conflict of interest, which would result in three members voting. It was determined that three
29 members would constitute a quorum.

30
31 Agenda item four was introduced and includes consideration of the Wanderland Amended and
32 Extended Subdivision involving a two-lot split on Wander Lane. Staff reviewed the preliminary
33 development drawings and reported that the City Engineer is waiting on some corrections. Staff
34 recommended preliminary approval with final plat approval being deferred to staff. The concern
35 was that the subdivision is not yet in a recordable format.

36
37 **CONVENE REGULAR MEETING – Public Welcome and Opening Statement by**
Commission Chair.

38 Chair Howard Layton called the Regular Meeting to order at 6:04 p.m. and read the Commission
39 Statement.

1 **PUBLIC HEARINGS**

2 1. **Text Amendment – 13.75, 13.75 – Sensitive Lands Development Standards Update –**
3 **FEMA Floodplain and Fault Study. Review and Recommendation to the City**
4 **Council on Proposed Amendments to Title 13, Land Use and Development**
5 **Regulations as They relate to Flood Hazard and Geologic Hazard Mapping and**
6 **Related Study Revisions as Per Updates by the Federal Emergency Agency and Utah**
7 **Geologic Survey.**

8 Planning Manager, Jonathan Teerlink, reported that the above text amendment is a change that
9 needs to be made to the Sensitive Lands Ordinances, specifically as it relates to the flood plains
10 and fault study lines within the City. Two agencies have updated data based on studies conducted
11 that require the City of Holladay to update its ordinance accordingly. FEMA has updated its Flood
12 Insurance Rate Maps (“FIRM”) to amend areas along Big Cottonwood Creek as they relate to
13 flood plains. Those maps are date-specific and the versions have been updated periodically over
14 the past 10 or 15 years. The City ordinance needs to reflect that revision. Staff suggested that the
15 Planning Commission forward a recommendation to the City Council on the amendment.

16 With regard to sensitive lands and natural hazards, over the past several months, staff has compiled
17 information to amend its Fault Study Zones. Shortly after last year’s earthquake, the Utah
18 Geologic Society (“UGS”) prepared an amendment to extend and broaden the scope of the study
19 areas around the Wasatch Fault Zone, which they deem necessary to begin reviewing other
20 properties in the City as they relate to fault studies. The map was displayed with the updated fault
21 lines shown. The UGS has expanded the fault study areas. Previously they were confined by the
22 blue lines. They have since been extended to include the area shown in orange. Because
23 significantly more property has been included in the Fault Study Zone, it will require trench
24 studies, fault studies, and soils testing on properties prior to redevelopment going forward. Staff
25 recommended a minor update to some procedural items.

26 Commissioner Mackin asked if the City is required to notify property owners of this significant
27 expansion. Mr. Teerlink was unsure whether the City Council will notify the property owners
28 directly. While there are several, he thought it would be manageable for the City to notify them.

29 Chair Howard Layton opened the public hearing. There were no public comments. The public
30 hearing was closed.

31 *Commissioner Chris Layton moved that whereas the staff has generated changes intended as
32 finalized amendments, held a public hearing, gathered public comment, and moderated
33 discussion and questions, that this is not a subjective mandate and is very scientific and
34 necessary and recommended that the Planning Commission forward a positive recommendation
35 to the City Council. Commissioner Mackin seconded the motion. Vote on motion:
36 Commissioner Roach-Aye, Commissioner Mackin-Aye, Commissioner Chris Layton-Aye, Chair
37 Howard Layton-Aye. The motion passed unanimously.*

1 2. **Text Amendment – 13.77 Parking Lot Shade Tree Standards. Review and**
2 **Recommendations to the City Council on Proposed Amendments to Title 13, Land**
3 **Use and Development Regulations as They relate to Considerations for Shade Tree**
4 **Planting Requirements and Maintenance Requirements within Parking Lots.**

5 Senior City Planner, Robert Hobbs, presented the staff report and stated that with the passage of
6 the Holladay Crossroads Zone text amendment several months ago, there was discussion
7 pertaining to the issue of parking lot planters in commercial and multi-family zones. What is
8 before the Commission is a proposed modification to Title 13.77.40 and 60. A supplement was
9 provided to the Code amendments that were received initially. The purpose was to provide
10 additional corrections that staff would introduce into the ordinance but they were too late to be
11 included in the initial product. The initial material adds one definition to that body of language.
12 It specifies how a tree should be defined. Other corrections increased the number of trees slightly
13 from what was proposed in the original amendment.

14
15 Parking lot issues were addressed. It was noted that in many places, trees are required to be planted
16 in parking lots to provide shade and for beautification purposes. Photos of specific sites were
17 displayed. Planters can be in strip form or in islands, end caps, or parking banks. The standardized
18 and harmonious layout that is part of the proposal is intended to be in front of commercial
19 buildings. There was a concern that such requirements are inappropriate since they will interfere
20 with the precious and expensive parking that is often placed in front of buildings.

21
22 Reference was provided showing the type of plantings to go in the planters. Shade trees should be
23 medium-growing deciduous trees with a two-inch caliper. The intent was to cover 50% of the
24 parking lot once the trees are mature. It was noted that the proposed standards will apply to new
25 development.

26
27 Chair Howard Layton opened the public hearing. There were no public comments. The public
28 hearing was closed.

29
30 ***Commissioner Roach moved to recommend approval to the City Council of the text amendments
31 13.77 – Parking Lot Shade Tree Standards as outlined by staff and including the supplementary
32 language included in the packet. Commissioner Chris Layton seconded the motion. Vote on
33 motion: Commissioner Mackin-Aye, Commissioner Chris Layton-Aye, Commissioner Roach-
34 Aye, Chair Howard Layton-Aye. The motion passed unanimously.***

35
36 **ACTION ITEMS**

37 3. **“Hadley Pines Subdivision” – Preliminary/Final Subdivision – 2382, 2390, 2392, 2386-
38 2388 Murray Holladay Road – (R-2-10). Previously Known and Noticed as “Holladay
39 Commons”. Review and Action on Preliminary Plat Details for a Residential
40 Development as Proposed by Sequoia Development to Subdivide Approximately 1.10
41 Acres into Four, Twin-Home Lots (8 Units) in Accordance with the R-2-10 Zoning
42 Standards and as Per Holladay Ordinance §13.10.**

43 Mr. Teerlink presented the staff report and stated that the request is for preliminary and final plan
44 and plat approval for the Hadley Pines Townhomes. The matter was previously noticed as
45 “Holladay Commons”. The applicant has returned with a preliminary and final submittal to staff

1 that has been reviewed against the concept approval granted in July. The applicant has asked that
2 the Planning Commission review a Conditional Use Permit for a PUD as it relates to setbacks and
3 the orientation of Lots 1 and 2. Staff reviewed the application for utility connections, easements,
4 and development parameters that are required for preliminary subdivision construction. Staff
5 found the application to be complete apart from a Landscaping Plan that has been requested. Staff
6 recommended consideration of a Conditional Use Permit for the PUD specifically delineating what
7 is allowed as flexible standards pertaining to setbacks. In addition, preliminary subdivision
8 approval was requested for the eight-unit Hadley Pines development.

9
10 Ashley Atkinson was present representing Sequoia Development and gave her address 9055 South
11 1300 East. She explained that the primary reason for the PUD was to orient Lots 1 and 2 on
12 Murray Holladay Road. Most of the homes in the area face Murray Holladay Road and they would
13 like to keep that streetscape going. In their original concept plan, all of the homes were parallel.
14 The front of the property would have faced the side of another home. While they lost some square
15 footage on the front two units, they felt it was worth it to maintain the feel in the area.

16
17 With regard to setbacks, other than the first two units, the project will be shifted back and a seven-
18 foot landscape buffer added on the west side of the property. The original plan showed the road
19 along the west property line. There are several small trees in the buffer that they feel can be saved.
20 Ms. Atkinson reported that the landscape buffer will provide a nice separation from Murray
21 Holladay Road and a nice entrance into the project rather than a road next to the fence. The units
22 will be shifted further east, which will reduce the setback by about five feet from what is typically
23 required on the west end.

24
25 In response to a question raised by Chair Howard Layton, Ms. Atkinson stated that the length of
26 the driveway that fronts Murray Holladay Road from the street to the home is 18 feet to the
27 sidewalk. Fencing will be provided around the entire project and between Lots 1 and 2 to Lot 3
28 from the backyard. The rest of the fencing will be up to the owners to install. It was noted that
29 the west sides of Lots 1 and 2 will be private to the road. A rear fence will be constructed so that
30 there is a clear backyard from the side yard of Lot 3.

31
32 Commissioner Mackin asked her fellow Commission Members if they feel it is acceptable to allow
33 this kind of flexibility with the setbacks in this very specific area. Commissioner Chris Layton
34 considered it a fair tradeoff for turning the homes to keep the residential feel along the street.
35 Landscaping issues were discussed. Commissioner Roach felt that the preliminary and PUD make
36 sense and expressed his support.

37
38 ***Commissioner Mackin moved to approve a PUD for Hadley Pines, a residential twin homes
39 subdivision in the R-2-10 zone located at 2382 through 2390-2392, 2386-2388 Murray Holladay
40 Road finding that the proposal:***

41
42 1. ***Complies with the allowed land uses of the R-2-10 zone as a twin home residential
43 subdivision.***
44
45 2. ***The density and layout comply with the approved Concept Plan of June 5, 2021.***

1
2 3. *The plan granted flexibility to zone standards via the Planning Commission for*
3 *Lots 1 and 2.*

4
5 4. *Provides for the preservation and enhancement of desirable streetscape*
6 *characteristics as a redevelopment project in close proximity to the Holladay*
7 *Village.*

8
9 5. *The applicant shall submit a Landscape Plan to the Holladay City Planning Staff*
10 *with the following:*

11
12 • *All lot sizes are modified to maintain the minimum size shown on the*
13 *approved plan.*

14
15 • *The setbacks are modified as shown on the plan.*

16
17 • *Lots 1 and 2 are to provide front yard elements that are characteristic of the*
18 *Murray Holladay Neighborhood.*

19
20 • *Tree canopy replacement and Landscaping Plan will be submitted to staff.*

22 *Commissioner Roach seconded the motion. Vote on motion: Commissioner Mackin-Aye,*
23 *Commissioner Chris Layton-Abstained, Commissioner Roach-Aye, Chair Howard Layton-Aye.*
24 *The motion passed unanimously with one abstention.*

26 *Commissioner Mackin moved to approve the Preliminary Plat for Hadley Pines, a residential*
27 *Planned Unit Development in the R-2-10 Zone located at 2382, 2390-2392, 2386-2388 Murray*
28 *Holladay Road, finding that the proposal:*

30 1. *The request complies with the Conceptual Plan approved on June 1, 2021.*

31 2. *The PUD elements are found to be incorporated on the approved drawings.*

32 3. *Construction elements and details are found to be acceptable by various divisions*
33 *of the Technical Review Committee.*

34 4. *The development complies with the underlying zone and General Plan.*

35 5. *Final approval was deferred to staff.*

41 *The motion was seconded by Commissioner Roach. Vote on motion: Commissioner Mackin-*
42 *Aye, Commissioner Chris Layton-Abstained, Commissioner Roach-Aye, Chair Howard Layton-*
43 *Aye. The motion passed unanimously with one abstention.*

4. **“Wanderland Subdivision – Amended “ – Preliminary/Final – 4825 South Wander Lane (R-1-10). Review and Action on a Preliminary Plat Level Details for a Residential Subdivision Development Proposed by the Owner, Stephen Smylie, to Subdivide .76 Acres of Land in Two Single-Family Lots as Per Holladay Ordinance §13.10.**

Mr. Teerlink presented the staff report and stated that on July 13, 2021, the Planning Commission reviewed the Wanderland Amended and Extended request. The lot is .71 acres in size and was proposed to be subdivided into two lots. Each is larger than 14,000 square feet in size, which is much larger than the required minimum of 10,000 square feet. The applicant submitted a preliminary review of development for the subdivision including utility connections, the required dedication of Wander Lane, and an access road. Staff reviewed the request against the preliminary checklists and all divisions of the TRC recommended approval. Staff recommended approval of the preliminary plan approval for the two-lot subdivision and final delegation to staff for plat corrections and submittals.

The applicant, Stephen Smylie, gave his address as 4825 Wander Lane. He thanked the City and the Commission for their assistance. He reported that the property is next to another parcel that was part of the first Wanderland Subdivision. He purchased the property and intends to divide it down the middle. His son lives on one lot and his daughter will live on another. No trees will be impacted by the proposal and the access is existing. The lane will serve as an easement for all of the utilities.

Commissioner Chris Layton moved to approve the Preliminary Development Plans for Wanderland Subdivision Amended and Extended, a residential subdivision in the R-1-10 Zone located at 4855 South Wander Lane subject to the following:

Findings:

1. *The proposal complies with the Conceptual Plan approved on July 13, 2021.*
2. *The construction elements and details are found to be acceptable by all divisions of the Technical Review Committee.*
3. *The development complies with the underlying zone and General Plan.*

Requirements:

1. *Prepare and submit to the TRC for review a final ownership plan drawing indicating Wanderland Amended and Extended.*

Commissioner Mackin seconded the motion. Vote on motion: Commissioner Mackin-Aye, Commissioner Chris Layton-Aye, Commissioner Roach-Aye, Chair Howard Layton-Aye. The motion passed unanimously.

1 **5. Approval of Minutes – July 13 and July 20, 2021.**

2 The minutes of July 13 and 20, 2021, were reviewed and discussed.

3
4 *Commissioner moved to approve the minutes of July 13 and 20, 2021, with no changes.*
5 *Commissioner Roach seconded the motion. Vote on motion: Commissioner Mackin-Aye,*
6 *Commissioner Chris Layton-Aye, Commissioner Roach-Aye, Chair Howard Layton-Aye. The*
7 *motion passed unanimously.*

8
9 **ADJOURN**

10 *Commissioner Mackin moved to adjourn. Commissioner Roach seconded the motion. The*
11 *motion passed with the unanimous consent of the Commission.*

12
13 The Planning Commission Meeting adjourned at approximately 6:50 p.m.

DRAFT

1 *I hereby certify that the foregoing represents a true, accurate, and complete record of the City
2 of Holladay Planning Commission Meeting held Tuesday, September 7, 2021.*

3

4 Teri Forbes

5 Teri Forbes
6 T Forbes Group
7 Minutes Secretary
8
9 Minutes Approved: _____

DRAFT