



## ALPINE CITY COUNCIL PUBLIC MEETING AGENDA

NOTICE is hereby given that the **CITY COUNCIL** of Alpine City, Utah will hold a Public Meeting on **Tuesday, September 28, 2021, at 5:30 pm** **\*(Note time change)**, 20 North Main Street and can be viewed on the **Alpine City YouTube Channel**. A direct link to the channel can be found on the home page of the Alpine City website: [alpinecity.org](http://alpinecity.org) Public Comments will be accepted during the Public Comment portion of the meeting.

- I. **Field Trip 5:30PM – 6:45PM Joint Field Trip with City Council and Planning Commission: Grading and Setbacks - Public is welcome, we will begin at City Hall.**
- II. **CALL MEETING TO ORDER**
  - A. **Roll Call** **Mayor Troy Stout**
  - B. **Prayer:** **Jessica Smuin**
  - C. **Pledge:** **By Invitation**
- III. **WORK SESSION: Lambert Park Conservation Easement - Discuss elements to be considered in drafting the conservation easement.**
- IV. **CONSENT CALENDAR**
  - A. **Approve City Council minutes of September 14, 2021**
  - B. **Purchase of New Dump Truck Cab/Chassis (2022 Western Star 4700 SB), Premier Truck Group: \$124,750**
- V. **PUBLIC COMMENT**
- VI. **REPORTS AND PRESENTATIONS**
  - A. **Introduction of Deputy Fire Chief Jake Beck**
  - B. **Lone Peak Police Chief Brian Gwilliam - Report on Officer Training for Dealing with People with Mental Health Issues**
- VII. **ACTION/DISCUSSION ITEMS**
  - A. **Site Plan – Alpine Animal Hospital Addition, 424 S. Alpine Highway**
  - B. **Site Plan - Links and Kings Heindorff Building, 62 S. Main Street**
  - C. **Site Plan – Crossfire Trail Information Sign**
  - D. **Appointment of New Planning Commission Member**
  - E. **Three Falls Upper Parking Lot Concept**
- VIII. **STAFF REPORTS**
- IX. **COUNCIL COMMUNICATION**
- X. **EXECUTIVE SESSION:** Discuss litigation, property acquisition, or the professional character, conduct or competency of personnel.

Mayor Troy Stout  
September 24, 2021

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY COUNCIL MEETINGS. If you need a special accommodation to participate, please call the City Recorder's Office at (801) 756-6347 x 4.

CERTIFICATE OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was on the bulletin board located inside City Hall at 20 North Main and sent by e-mail to The Daily Herald located in Provo, UT, a local newspaper circulated in Alpine, UT. This agenda is also available on our web site at, and on the Utah Public Meeting Notices website at [www.utah.gov/pmn/index.html](http://www.utah.gov/pmn/index.html)



# PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

Please remember all public meetings and public hearings are now recorded.

- All comments **must** be recognized by the Chairperson and addressed through the microphone.
- When speaking to the Planning Commission/City Council, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversation with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction of the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, beepers, pagers, or other noise making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length and avoiding repetition of what has already been said. Individuals may be limited to two minutes and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the lobby area outside the council room to talk as it can be very noisy and disruptive. If you must carry on conversation in this area, please be as quiet as possible. (The doors must remain open during a public meeting/hearing.)

## Public Hearing vs. Public Meeting

If the meeting is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY COUNCIL MEETINGS. If you need a special accommodation to participate, please call the City Recorder's Office at (801) 756-6347 x 4.

CERTIFICATE OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was on the bulletin board located inside City Hall at 20 North Main and sent by e-mail to The Daily Herald located in Provo, UT, a local newspaper circulated in Alpine, UT. This agenda is also available on our web site at, and on the Utah Public Meeting Notices website at [www.utah.gov/pmn/index.html](http://www.utah.gov/pmn/index.html)

## **ALPINE CITY COUNCIL AGENDA**

**SUBJECT: Work Session – Lambert Park Conservation Easement**

**FOR CONSIDERATION ON: 28 September 2021**

**PETITIONER: Mayor Stout**

**ACTION REQUESTED BY PETITIONER: Discuss potential elements to be included when the Lambert Park Conservation Easement is drafted.**

### **BACKGROUND INFORMATION:**

In this work session, the City Council will discuss potential elements to be included in drafting the proposed Lambert Park Conservation Easement. Following is the proposed timeline for consideration of approving the proposed conservation easement:

- September 28, City Council Meeting: work session to discuss results of survey and to formulate conditions to draft easement
- October 12, City Council Meeting: introduction of draft easement and public hearing.
- November 9, City Council Meeting: final vote

### **STAFF RECOMMENDATION:**

**Create a list of elements to be included in drafting the Lambert Park Conservation Easement.**

**ALPINE CITY COUNCIL PUBLIC MEETING**  
**on Tuesday, September 14, 2021**

Mayor Troy Stout called the meeting to order at 6:05 pm. Mayor Troy Stout joined via Zoom. He explained he would conduct most of the meeting with the help of Mayor Pro Tem Lon Lott who is present at the anchor location at City Hall.

**I. Roll Call:** The following were present and constituted a quorum: Jessica Smuin, Carla Merrill, Jason Thelin, Greg Gordon, Lon Lott

**A. Prayer:** Jason Thelin  
**B. Pledge:** Jessica Smuin

Staff: Shane Sorensen, Austin Roy, Chief Brian Gwilliam, Chief Brian Patten, Craig Hall, Bonnie Cooper

Others: Paul Kroff, Carman Zapata, Norine Garrett, Colleen Turner, Boyd Turner, Alan Gillman, Andrew Young, Tami Seipert, Ray West, Beth West, Kathleen Lewis, Ed Bush, James Anderson, Carlyn Anderson, Will Jones, Whitey Anson, Shahbaz Janjua, Craig Skidmore, Wanne Roberts, Davey Breinholt, Darcie Smith, Shalayna Fuller, Alan Neves, John Magnusson, Kelli Law, Todd Smith, Jane Griener, Brandon Allred

**II. WORK SESSION: General Plan**

Austin Roy, City Planner, said based on the feedback from the last City Council meeting he had updated the Economic Development section of the General Plan. He had restructured some of the language. He said he combined policy items 1.2 and 1.4 into policy 1.1. (Making policy 1.1 now 1.2) He said the idea being having this policy (1.1) being the city's main guiding policy for this section. He said some of the language was modified in policy 1.2. He said the policy used to say big box store, council did not feel like met the city's goals and instead changed the wording to stable retail business.

Austin Roy said staff recommends removing street improvement on the General Plan with cost estimates. He said staff believe removing this list because most projects have been done or otherwise will be done. He said Horrock Engineering is working on a Street Master Plan. He said staff feels like that that should go under Transportation and not Economic Development.

He said other changes that have been made in the table of contents are the Master Plan are labeled as exhibits within the General Plan. He said the council had before them tonight the most recent General Plan with all updates for the council final review.

He said the plan is on October 26, 2021, City Council meeting to hold a public hearing and get public feedback and comments and their input about the General Plan. He said the goal is to adopt the General Plan before the end of the year.

Jason Thelin, City Council member, said he had some concerns and asked if he could go over each with the council and see if this is what they wanted with the following items:

1) Land Use (page 3) – on policy 3.1 it says, “preserve animal rights and maintain lenient level of regulations”. He asked the council if they would rather have it say, “preserve animal rights and maintain legal level of regulations”. He thinks it is simple enough to say, “preserve animal rights”. Greg Gordon and Carla Merrill, City Council members, agreed with Jason Thelin. Mayor Troy Stout asked instead of “maintaining leniency” it could say, “maintain the historical value maintain agricultural and livestock in our city”. He said that way it forces us to continue to allow it but does not control the level at which it is allowed. Carla Merrill said she feels like just saying, “preserve animal rights” would be sufficient. Greg Gordon said a regulation is a limitation essentially on rights so does that need to be stated. Jason Thelin suggested going one by one and saying we approve or make a motion on Land Use policy 1 with the following changes.

2) Land Use (page 4) - on 1.7 it says, “promote and preserve access to trails mountains and open space”. He asked if promote means promote creation of trails or promoting access. Lon Lott, City Council member, said when a development comes into the city, we talk to the developer and promote access to the trails. Shane Sorensen, City Administrator, said the policy could say, “promote and preserve grow access to mountains and trails”. Lon Lott suggested changing the word promote to develop.



3) Land Use (page 5) policy 2.3 – on TR10,000 - It says, “10,000 square foot minimum lot size shall include, not exclusive to the area generally located within the regional sense settled town center”. He suggested removing “not exclusive to”. He said by leaving in “not exclusive to” goes against policy 2.8, that we are trying to create this center of lower density on the outer sides and higher density housing. He thinks the word “generally” covers that in policy 2.3. Craig Hall, City Attorney agreed with Jason Thelin saying the policy did not need the exclusivity component. He said council is maintain the desire and structure of the 10,000 square foot area.

4) Land Use (page 6) policy 2.7 – Jason Thelin asked for clarification on the Annexation Plan what the policy plan is and that the council understands it all before voting on this portion. Greg Gordon said on policy 2.2, mixed use is not in the General Plan, and he does not think we need to add it. Jessica Smuin, City Council member, said she remember a previous discuss about mixed use was around commercial building that had apartments in them. Lon Lott said this is because the city had homes in our business commercial zone. Austin reminded the council that the city allows apartments within a business commercial building. Jessica Smuin said because of what Austin just referred to is why council did not want to remove policy 2.2. She said if policy 2.2 is removed then council need to look at a different designation. Austin asked how the council would like him to proceed. Carla Merrill said we are talking about two different things because when you’re talking about an apartment within a commercial type building that is not high-density residential type. She said so when you’re talking about mixed use at least what is outlined in 2.2 is having commercial buildings combined with high density. Austin Roy said the senior living overlay within the business commercial and is not mixed use.

5) Transportation Traffic Circulation (page 10 & 11) – policy 1.6 - Jason Thelin said it says, “limiting inner municipal and unincorporated county street connections to the existing planned connections only”. He said the city has laid down a firm line that the city has laid out our connections to outside the city and this is what the city is going to follow. But then it follows up after that to say, “ensure that street connections to other municipalities or other areas of city boundaries are compatible with the goals and policies of the General Plan”. He asked if that is talking about the few street connections that the city has agreed to already in the General Plan. He said because in the third line of policy 1.6 it says, “any additional street connections would require City Council approval”. He asked if the last sentence says, but when we do allow additional street connections here is the process. Shane Sorensen said on (page 12) shows the map that was adopted on September 8, 2020. He said they are termed planned intermunicipal connections. He said maybe that terminology needs to incorporate into the policy. He suggested 1.6 to say “limit intermunicipal and unincorporated county street connections to those identified on Alpine City Transportation Master Plan” and add exhibit A. Craig Hall suggested “approved connections” because the Master Plan does have a sense of approval. Jason Thelin said he thought the goal here and the policies behind would be that the city would establish the city’s exits. He the policies are there to give the city and council directions for the next seven to ten years. Shane Sorensen said policy 1.6 doesn’t refer to the street connection map, so that connection probably should be made. Carla Merrill said the language in policy 1.6 is too loose for what the intent or what the city wants to convey. She asked Craig Hall to work with Austin Roy to come up with wording, so we do not have another Blue Bison situation. Craig Hall said the purpose is to comply with the adopted street map from September 2020 he will go off and rewrite policy 1.6.

6) Jason Thelin asked if accessory apartments and apartments in the business commercial zone need to list here as well. (Referring to page 16) Shane Sorensen said they are different. Jason Thelin asked if accessory apartment can be added. Jessica Smuin asked if 1.1 does not say it allows accessory apartments on (page 16).

7) Jason Thelin said on (page 17) the goal is to “promote moderate income housing that meets the needs of those desiring to live in Alpine.” Jason Thelin asked is the city able to offer this. He said based on how much build out that Alpine has left is this goal unattainable. Greg Gordon asked if this language was mandated by the State. Austin Roy said the items that come from the state are state guideline the city had to choose three. Jason Thelin said the policies are just the state’s guidelines. Shane Sorensen said if our goal is to have moderate income housing based on the state guidelines. Austin Roy asked if council wants to remove 2.2 on the density.

Greg Gordon asked for a spelling correction on (page 9) the word Alpine is spelled wrong. He said goal number three on (page 7) and in a map on (page 9) the urban wildland interface is now called the wild urban interface and needs to be changed.

Lon Lott said would like to see the changes in a clean copy of the General Plan one more time prior to our public hearing. Shane said all maps that are included as exhibit were no created for the General Plan, so they are not labeled exhibit A etc. but will be in the final copy.

Mayor Troy Stout asked in item 2.1 how Alpine keeps undesirable businesses or of poor morals out of Alpine. Craig Hall said with another city he represents had adult boutique going in on their Main Street, it is in the eye of the beholder of what is considered undesirable. He said he will need to go over Alpine's development code. He said the city of Holladay wanted to move the local liquor store out of a residential area. He said to his surprise the residents were not in favor of moving it to a commercial area. Mayor Troy Stout asked about tobacco shops and if they can come into Alpine. Craig Hall said Alpine's business commercial zone is so small that these types of business cannot build in Alpine. He said the shops must be so many feet from a school or public park and we have both in our small business commercial district.

Austin Roy said he will get everyone an updated copy to review before the next City Council meeting. Lon Lott page 15 should update, and can we update that, we can update those in a year.

### III. CONSENT CALENDAR

- A. Approve City Council minutes of August 24, 2021
- B. Bond Release No. 5 – The Ridge at Alpine Phase 5: \$387,032.55
- C. Bond Release No. 8 – The Ridge at Alpine Phase 4: \$2,850.00

**Motion:** Lon Lott Moved to approve the consent calendar as proposed with the edits made by Lon Lott and Greg Gordon to the minutes of August 24, 2021. Greg Gordon seconded the motion. There were 5 Ayes and 0 Nays, as recorded below. The motion passed unanimously.

#### Ayes

Jessica Smuin  
Carla Merrill  
Lon Lott  
Jason Thelin  
Greg Gordon

#### Nays

### IV. PUBLIC COMMENT

#### ***Shahbaz Janjua*** ***549 W Lupine Dr***

*Shahbaz Janjua said in June 2019 PRD trail. He said he has approached city officials many times to finish the trails. He said now that lot #11 is being built they have taken all the dirt and blocked off the entrance of the trailhead. He reminded the council that this is all against city codes. He also reminded the council that all city trails should be labeled according to city code. He requested that the city enforce these codes and even though this subdivision is a PRD or not. He said the city should not allow this. He said if the city continues to allow PRD subdivisions it means the city is allowing more people and more cars in. He encouraged all the council to walk that trail to see it and see how it can be improved. He said his emails are not being responded to. He asked if he could help clean up the trail. He said with the trail not clearly marked residents cannot tell that they are trespassing though lot #12.*

Mayor Troy Stout said he would welcome Mr. Janjua's help in maintaining the trail, if it is not altered in any way by removing things. Jason Thelin asked Mr. Janjua what he was asking the city to do tonight. Mr. Janjua said he was asking for signage, enforcing city codes when residents violate the use of the trails and when someone comes in for a building permit that they and their contractor are made aware of the city ordinance and open space. Mayor Troy Stout said asked if staff could investigate the dirt blocking the entrance. Shane Sorensen said he would. He said the city keeps getting signs and putting them up and it is not long before the signs are stolen or vandalized. He said the trails will be better maintained with the more people using it. He told Mr. Janjua that action would be taken on this matter by the city.

#### ***Andrew Young*** ***998 Stonehenge Road***

*Andrew Young said he has lived in Alpine his entire life. He came to the meeting tonight to represent his neighbors. He said the pickleball courts affects all the neighbors, and he has a solution for the council to consider instead of Healey Park. He asked the audience how many of them were there because of the pickleball courts. Most of the audience raised their hand to say they were here and against the pickleball courts going in at Healey Park. He suggested behind the City Hall or Creekside Park.*

**Charlyn Anderson**  
**834 Healey Blvd**

Charlyn Anderson said how when she first drove in to Alpine on Healey Boulevard and seeing how beautiful it was, she knew she wanted to live here. She said she wants to preserve that beauty and feeling as much as possible. She said she feels like the beauty and feeling are going away because the soccer people have come to use the park. She said and now, she feels like the pickleball courts are going to bring in more traffic and noise. She said she wants the park to remain quiet. She said when the games are over that chaos feeling remains even after everyone leaves.

**Tami Seipert**  
**807 Stone Henge Lane**

Tami Seipert said Farmer Healey he donated the land that the church and park are on. He also used that little farmhouse, and she believes Farmer Healey would not be excited about the changes that were happening in the city. She said her husband works at the church. She said the church cannot have an event or even a funeral on a Saturday because of the soccer games and parking. She said the soccer participants and spectators want to use the restrooms inside of the church and now with COVID -19 that is not really a safe option. She said the council should see how trash is left on any given Saturday. She said she and her husband spend their time picking up the trash when the games are over. She asked the council to please consider removing soccer and pickleball courts.

**Beth West**  
**926 Healey Homestead Circle**

Healey Park there is a new plan that Carla Merrill north south along the church and the soccer field will be moved and spreading diversity and recreation throughout the city and parks. Creekside Park can't have cement over because of sewer line but it makes more sense because of the parking. She said in the minutes of a city council meeting Lon Lott said he was approached by a pickleball community, and a staff member said they had reached out to the soccer community. She asked why no one from the city reached out to the neighbors next to the park. She said she is hoping that the neighbors and City Council can still talk before a final decision is made.

Lon Lott said he wanted to clarify that he had been approach by both the pickleball community and the people want the location of the pickleball court to change from Healey Park.

**Brandon Allred**  
**891 S Healey Homestead Circle**

Brandon Allred said he is new to Alpine and moved her from Heber City because it has grown too much. He said he moved to Alpine because Alpine will not be growing a lot more. He said he has an autistic son, and that is part of the reason why he moved here. He said his son is adversely affected by loud sounds. He said he has had to take his son emergency room because of the noise from the park. He said he has concerns about the traffic and parking on both sides of the Healey Blvd. He said his son has nearly gotten hit on that road. He asked council to please consider the next generations that will be coming in to Alpine to bring up their families.

**Whitey Hansen**  
**484 Westfield Road**  
**and**  
**Chis Thackery**  
**215 W Estate Drive**

Whitey Hansen said he represents the pickleball community and they would like to expand the pickleball courts at Burgess Park. He suggested adding pickleball lines to the tennis courts, but still use the tennis courts when needed. He said he has gotten a bid that would cost about \$36,000 - \$40,000 for the tennis court option. He said he is aware of people that are against pickleball, but it is a growing sport. He said he has spoken with members of the City Council about the growth of the sport and parks and recs communities putting groups of people together creates socialization. Older people to expand and how it is run and enforce and facilitate it.

**V. REPORTS AND PRESENTATIONS**

**A. Financial Report**

Shane Sorensen said we have over the last week completed out audit and that will be brought at a future meeting.

**B. Mountain Point Medical Center – Amelia Thorn, Business Development Director 7pm (10min)**

Shane Sorensen said Kent Loosely from Mountain Point Medical Center came to introduce himself and the Medical Center to the council and city and let them know what they have available at their hospital. The Mountain Point

1 Metal Center is in Lehi Utah. Has been here for 6 and ½ years we have participated in Alpine Days parade with  
 2 heart cath lab in Utah County. We also have investing in the community with a robot with laparoscopically. Baby  
 3 rooms are big, and you can stay in the same room. You may have to choose based on what type of insurance you  
 4 have but if it is an emergency you can come to Mountain Point Medical Center. Lon Lott said Kent is also in the  
 5 chamber of commerce

### 7 C. Lambert Park Conservation Easement Schedule

9 Mayor Troy Stout said we have had an open house about a month ago and the surveys have shown that a lot of the  
 10 residents agree to having a conservation easement. He said staff did call out and text message to the residents about  
 11 the next open house. The next meeting will be September 15, 2021 and will be just a mingle and informational only.  
 12 Shane Sorensen asked if the draft of the conservation easement will be ready the end of September. Craig Hall said  
 13 he was concerned because he had not heard from Wendy Fisher from the Utah Open Lands, and he did not think the  
 14 conservation easement draft would be ready by September 28, 2021. Mayor Troy Stout said he had spoken with  
 15 Wendy Fisher that afternoon and Craig Hall should be expecting a call and email. The following is the planned  
 16 schedule for consideration of the Lambert Park Conservation Easement:

- 18 • September 15: Open House, 5:30-7:00 pm at City Hall
- 19 • Second week of September: Draft Conservation Easement distributed for review
- 20 • October 12: Introduction of Draft Conservation Easement and City Council Work Session
- 21 • November 9: Public Hearing and Final Vote on Conservation Easement

### 23 D. Grove Drive Realignment Project

25 Shane Sorensen said the City Council asked staff to look at possibilities for making Box Elder Dr and Grove Drive  
 26 safer. The concept that we have come up with would essentially take two three-way intersections and make one  
 27 four-way intersection. He said at some point in time, the double barrel pipe culvert at the creek crossing for Dry  
 28 Creek should be replaced with a box culvert. **Box culverts let debris better** during flood events. When the crossing  
 29 is reconstructed, the alignment of the intersections could be part of the project. Engineering studies would determine  
 30 what type of stop or yield signs would control the four-way intersection. In addition, the city could determine as  
 31 part of a realignment what curb and gutter, sidewalk or other trail improvements would be constructed in the future  
 32 on Grove Drive and surrounding streets.

34 Shane Sorensen said this project will only impact one home and their driveway. He said it would be an extension of  
 35 their driveway to the road and the city would be able to remove the asphalt from that point going northeast. The city  
 36 would maintain that area, the cove has a waterline in that road and the city has a sewer line. Mayor Troy Stout asked  
 37 how soon we could get started on this project. Shane Sorensen said we could do this in phases on how we could fit it  
 38 in our budget, and he thinks we can do it over the next two years or even have it in the budget next year. Jason  
 39 Thelin asked about including sidewalks. Shane Sorensen said if the city had from these intersections an asphalt trail  
 40 off the side of the road to go up to the bowery or the city could do curb and gutter. He said this could be a  
 41 connection between the Ridge area and Lambert Park. Mayor Troy Stout asked if the city could just put in a divider  
 42 so people would know where it was safe for pedestrians. Shane Sorensen reminded the council when curb and gutter  
 43 are put in you will have to think about storm drains and water.

45 Shane Sorensen said if the City Council wants to consider an alignment like this concept, staff will look closer at the  
 46 proposal and consider existing utilities and other potential issues.

48 Jessica Smuin said she thinks this is a good solution. Greg Gordon asked since this is a primary route to a trailhead,  
 49 maybe the county would be willing to help with cost. Shane Sorensen said his guess would be no, but the city could  
 50 ask. Lon Lott asked if MAG could help with trail funds. Shane Sorensen said the trail money from MAG projects  
 51 are about 5 years out. He said he has gone over this with Will Jones from the Trail Committee, and they are going  
 52 after grant opportunity that the city may benefit from. He said these grants have a quicker turnaround time. Carla  
 53 Merrill asked if the city is prioritizing this above the city's Central Corridor area. Shane Sorensen said yes because  
 54 the city already owns this land. He said the right-of-way is there through the Alpine Cove subdivision being annexed  
 55 into the city. Shane Sorensen said Box Elder will need to be overlaid at some time next year.

57 Jason Thelin said it looks good having it be a four-way stop but is this the best way to address the safety issue.

58 Shane Sorensen said we are eliminating two entrances and from an engineering standpoint a 4-way stop is the most  
 59 desirable. Jason Thelin said one other safety issue is that the culvert is too narrow. Shane Sorensen said the covert  
 60 can be rebuilt. Mayor Troy Stout asked if the city could soften that turn at the 4-way stop. Carla Merrill said she  
 61 likes the sharp turn because it forces people to slow down. She said long straight roads increase speed. Jessica  
 62 Smuin said our ordinance says to have curved streets where we can. Greg Gordon thinks the pavement is better that

concrete. Lon Lott said he is for getting on with this project. Shane Sorensen said he will bring a proposal back to the next meeting.

#### **E. Chief Brian Gwilliam – Report on Officer Training for Dealing with People with Mental Health Issues**

Shane Sorensen said Chief Brian Gwilliam could not attend tonight so this item will be move to next City council meeting.

Mayor Troy Stout said he had spoken with Chief Gwilliam and that several citations have been written. He said as soon as one ticket is written around the school area and in Smoot Canyon Park word gets out and people start moving their vehicles. Jason Thelin said they should not be allowed to host that many games if they don't have sufficient parking. Greg Gordon said they had three games this last Saturday and this is a work in progress. He said Chief Gwilliam told the leagues that they would be issuing citations. Greg Gordon said the leagues have a sign posted at the entrance to let people know where they can park and where they cannot.

### **VI. ACTION/DISCUSSION ITEMS**

#### **A. The Ridge at Alpine – Oak View Drive Connection Options**

Shane Sorensen said the development of The Ridge at Alpine Subdivision is progressing, with work beginning on the connection of Oak Ridge Drive to Alpine Cove Drive. The construction of this street connection was a condition of approval of the development. The connection is important as another access for Alpine Cove residents and as an alternative access for all residents in the northeast part of the city in the event of an emergency or a road closure on certain sections of Grove Drive.

As construction has begun on the street connection, construction staking has raised some concerns for the adjacent residents, particularly for Todd Smith, who is the homeowner south of the street connection. For background, the 56-foot-wide right-of-way for this street connection has been in existence since the Alpine Cove Plat C was recorded, May 5, 1988. It appears that when the concrete driveway was poured, for the home now owned by Mr. Smith, that it encroached onto the platted right-of-way by several feet. In addition, over time landscape feature including trees and an irrigation system, have been placed within the right-of-way.

The approved plans for the street connection showed a 30-foot-wide paved section with no curb, gutter, or sidewalk though the Alpine Cove part of the right-of-way. This construction requires removal of trees within the right-of-way for a minimum of 30 feet of width for the pavement, in addition to the area necessary for the shoulder on each side.

At Mr. Smith's request, some of our staff, Paul Kroff, Craig Skidmore (property owner to the north of the connection, and two members of the City Council meet on site to review the plans. Mr. Smith is concerned about not having trees as a buffer between his house and the new street. As proposed, in some areas trees would need to be removed to the edge of his concrete driveway, some of which are native, and others have been planted. A few different options were discussed for construction of the street discussion while we were on site. Following are some of those options:

- Construct a narrower pavement section: Section 4.07.040.6.d of the development code provides the possibility of a rural road with a 26-foot pavement width. This section of code reads as follows: "*Rural roads: 26 feet, paved*) – Requires a recommendation by the Planning Commission and approval by the City Council through the Subdivision exception procedure." If this option were approved, there are several ways that it could be done including shifting the pavement north with either a taper or some horizontal curves. The developer had a drawing prepared showing their preferred option with 26 feet of pavement.
- Shift right-of-way to the north: An idea was discussed that would involve Mr. Smith purchasing right-of-way from Mr. Skidmore which would potentially allow the right-of-way to shift to the north. There would be quite a bit involved with this option including a plat amendment, preparation of deeds, one property owner being willing to sell property and the other being willing to purchase it, etc.
- Construct the street connection as per the approved plans.

Staff recommends to the City Council that if an alternative plan is recommended, that the pavement section be centered in the right-of-way and that it is not simply shifted within the existing right-of-way. For this to happen, Mr. Smith would need to acquire property from Mr. Skidmore. It is also our opinion that if the pavement section is to be centered within the right-of-way, that narrowing the pavement width by two feet on the south side of the street will not save many trees that are of concern. For this reason, we recommend maintaining the 30-foot pavement width.

Shane Sorensen said curb and gutter are supposed to go in on September 22<sup>nd</sup>, so the developer needs an answer soon. He said this is a safety issue because it is a second access road. He said Moyle Drive does not have curb and gutter because the street is not wide enough and is not centered. He said to center Moyle Drive, the city would need to remove and replace residents' brick walls.

Lon Lott said he visited the property to see which trees could be saved. He said the grades are a little different and would be hard to get up to the street and keep the road from the Smith's driveway. He said back when the city worked on the annexation on this subdivision this access road was a key component. He said even shifting the road over he did not think all trees will be able to be saved. He said the Smiths asked for a variance and that would need to go to a variance process. Greg Gordon asked if the city were to put a sidewalk in and if it could be put on just one side. Shane Sorensen said yes. Greg Gordon said he would be in favor of protecting as many trees as possible. Carla Merrill said it is hard to visualize where the road is going.

*Mr. Smith said there is no agreement made with the Skidmore's but he would like to have the road staked off first so he and his wife could visualize where it is going.* Shane Sorensen said the pavement needs to be in by October 15<sup>th</sup>. He said the city should not have to hold up the work because this has been on the city plans and the easement has always been there.

Shane Sorensen said Paul Kroff's proposal to consider from his engineers was to start the road at 30 feet and narrow it down to 26 feet. Carla Merrill said this shows the road going off center and it would work if Paul Kroff gets the right of way or Mr. Smith purchases property from Mr. Skidmore. Shane Sorensen said the road is six feet off center. Lon Lott said it still shows 10 feet from edge of asphalt even though it is a 26-foot asphalt. Shane Sorensen said the hatched area is three feet wide. Greg Gordon asked if three feet is what would need to be acquired and then be offset. Shane Sorensen said the city would need to do something about the water and grading to the west. He said the fill would be deeper and the need of retaining walls have not been determined. Jason Thelin asked how far driveways need to be away from the road. Shane Sorensen said 25 feet, but that is just a guideline. Lon Lott said the Smiths would prefer a buffer but if a fence went in and where snow would go. Carla Merrill asked if any new trees were planted. *Mr. Smith said just blue spruce were planted after.* Lon Lott said he thinks some of the trees could be replanted and used as a buffer. Shane Sorensen said he is concerned that some trees could be an issue 20 years down the road.

Greg Gordon said he is fine with the width being 26-foot unless the Skidmores wanted to get rid of their property. Jessica Smuin asked if the developer is paying for a road and if the city ends up going narrower then we need to look at that financial piece for the future. Jason Thelin said if the city put the road straight and did not need to go to the Skidmore's for the right of way and went from 30 down to 26-foot road that still could be an option, or the two parties trade some land to move things around a little bit. He said that at the end it would just be a two foot difference. Lon Lott said when he went out to the property, he looked at that and the two feet hardly makes any difference at all. He said on the southside in the Smith's minds is that they would get four feet on one side. He said if the road is just 26 feet and is a straight line, they would get an additional four feet. He said two feet is hardly significant. Shane Sorensen said where we go from here depends on the council's willingness to allow the asphalt to shift within the right of way. He said the city would need to stay within the easement and lose the right of way for a possible sidewalk. Carla Merrill said as the city staff looks at it as a bigger picture and even though she may want to have a 26-foot road to save trees, right now a developer is willing to pay for the road and do it down the middle just in case.

***Craig Skidmore***  
***13447 N Alpine Cove Drive***

*Craig Skidmore, property owner, showed a power point presentation. He said the developer took out 10 feet of land and some 30 feet tall trees. He said there are other options such as, revert to a trail instead. He said when Mr. Melby put in the Cove, he wanted to buy the Pack Farm and "Roberts Concept" was the 1<sup>st</sup> development. The developer wanted three developments but the Chappell's wanted to keep it a farm. Mr. Smith said they have only one road and the current concept had four roads. He said this is the only development that needs 2 access roads.*

Shane Sorensen said because of the size of the development it is big enough to have these many entrances. He said the new development must meet the current fire code. *Craig Skidmore said the additional access points are needed because of the 35 homes in Patterson and 40 homes in Melby. He asked after the developer takes out of the trees and the soil and how does he mitigate that.*

Shane Sorensen said the city did not give permission to the developer to remove any dirt or trees. Paul Kroff, developer, said he can save two mobilization fees if he gets this project done before October 15<sup>th</sup>. He said that is the latest date paving could be done. He said he would work with any agreement of realignment of the pavement the city



comes up with. Lon Lot said to have the road staked out at 26-feet, so that the two homeowners can see where it will be going. Jessica Smuin asked if the city could get excess money that would have been used for the additional 4 feet of road to help with the cost of trees. Paul Kroff said he would be willing to do that for the city.

*Mrs. Skidmore asked if the road alignment what the developer has already cleared or are they going to be moving it.* Lon Lott asked if the Skidmore's and Smiths are willing to have it staked out at the 26 feet. Both residents agreed.

**Motion:** Carla Merrill moved to reduce the road from 30 feet to 26 feet, with the following conditions: any excess of the funds that would have been spent on the difference be put into an escrow account for the city and if the city does go off center alignment for the road that the city has the right of way to the north be acquired by Mr. Smith by next City Council meeting on Tuesday September 28, 2021. Greg Gordon seconded the motion. There were 5Ayes and 0 Nays, as recorded below. The motion passed unanimously. As recorded below.

Ayes

Nays

Jessica Smuin  
Carla Merrill  
Lon Lott  
Jason Thelin  
Greg Gordon

**B. Three Falls Secondary Access Update**

Greg Gordon asked what timeline is for the Three Falls secondary access. Will Jones said the access should be done by the end of September and October 2<sup>nd</sup> start asphalt. He said he has scheduled hydro seeding and have the trails done this fall. He said the hydro seeder can reach over 250 feet when seeding. He said he would like to get the hydro seeding done on the 30<sup>th</sup> of September. He said the mesh that will be going up on the rock walls will hold the rock and it is also UV protected and it will be brown in color. He said the road project had cost \$6.2 million much more than he had planned. Mayor Troy Stout asked if the mesh product was the same as what you see in Provo Canyon. Will Jones said no, it is the same as what you would see in Cascade Springs. **Name?** explain what the purpose the mesh material like what is up Fort Canyon Road and vegetation will be able to grow through it. Will Jones said as soon as the curb and gutter go in, the mesh will go up.

Motion: Lon Lott moved to extend the City Council meeting to 9:20PM. Carla Merrill second the motion. There were 3 Ayes and 2 Nays. The motion passed. As recorded below.

Ayes

Nays

Carla Merrill  
Lon Lott  
Greg Gordon

Jason Thelin  
Jessica Smuin

**C. Three Falls Upper Parking Lot Concept**

**Motion:** Jason Thelin moved to table the discussion on item C, Three Falls Upper Parking Lot Concept until next City council meeting. Lon Lott seconded the motion. There were 4 Ayes and 1 Nay. The motion passed. As recorded below.

Ayes

Nays

Carla Merrill  
Lon Lott  
Greg Gordon  
Jason Thelin

Jessica Smuin

**D. Consideration for Approval of Fall Burn Permits**

Mayor Troy Stout said Fire Chief Brian Patten has requested that the City Council determine whether burn permits will be allowed this fall. He said the permits are issued through Lone Peak Fire Department and are typically allowed beginning September 15th. Greg Gordon said it's still dry. Mayor Troy Stout said the air quality has been bad too. The council agreed to keep the fireworks/fire ban in place until the end of 2021. The council said this also includes recreational fires.

**Motion:** Lon Lott moved to follow the recommendation of the fire chief and to not issue any burn permits throughout this burn permit season. Jessica Smuin seconded the motion. There were 5 Ayes and 0 Nays. The motion passed unanimously. As recorded below.

Ayes

Nays

Carla Merrill  
Jessica Smuin  
Greg Gordon  
Jason Thelin  
Lon Lott

**E. ARPA Fund Projects**

Shane Sorensen said the City has been awarded ARPA Funds in the amount of \$1,242,445. We have received the first tranche of funds in the amount of \$621,22.50. The second tranche of funding is anticipated in 2022. From the federal interim final rule, the funds can be used as follows:

*USE OF FUNDS*

*The Coronavirus State and Local Fiscal Recovery Funds provide eligible state, local, territorial, and Tribal governments with a substantial infusion of resources to meet pandemic response needs and rebuild a stronger, and more equitable economy as the country recovers. Recipients may use these funds to:*

- *Support public health expenditures, by, for example, funding COVID-19 mitigation efforts, medical expenses, behavioral healthcare, and certain public health and safety staff*
- *Address negative economic impacts caused by the public health emergency, including economic harms to workers, households, small businesses, impacted industries, and the public sector*
- *Replace lost public sector revenue, using this funding to provide government services to the extent of the reduction in revenue experienced due to the pandemic*
- *Provide premium pay for essential workers, offering additional support to those who have and will bear the greatest health risks because of their service in critical infrastructure sectors*
- *Invest in water, sewer, and broadband infrastructure, making necessary investments to improve access to clean drinking water, support vital wastewater and stormwater infrastructure, and to expand access to broadband internet*

*Within these overall categories, recipients have broad flexibility to decide how best to use this funding to meet the needs of their communities.*

Shane Sorensen said the city has some project ideas that we are still seeking clarification on if we can use the ARPA funds. He said those ideas will be discussed with the City Council at a future meeting.

He said the city would be using some of the ARPA funds for a new water tank by the bowery to replace the old one. The city will also be applying for a grant funds before the end of the year. Jason Thelin asked if residents in higher annexations locations could use the water in these tanks. Shane said those residents would need to have water pumped to them. He said the city could use the old tank for PI (pressurized irrigation) and the new tank would be culinary water. He said we will be bringing that in as part of the city's Master Plan.

Motion: Lon Lott motioned to give staff direction for the ARPA funds to be used for the water tank. Carla Merrill seconded the motion. There were 5 Ayes and 0 Nays. The motion passed unanimously. As recorded below.

Ayes

Nays

Carla Merrill  
Jessica Smuin  
Greg Gordon  
Jason Thelin  
Lon Lott

**F. Lambert Park Trail Construction**

Shane Sorensen said the city adopted an updated Trail Master Plan November 10, 2020. This plan included the construction of a walking trail loop in Lambert Park. The City Council previously discussed some additional trails,



which included wood structures near the area of the Cross Fire Trail. After talking with some trail consultants, they indicated that the wood structures are a high maintenance item. It has been suggested as an alternative that the “Ziggy” trail be converted to a flow trail and to create a similar flow trail on the south boundary of Lambert Park. Some additional changes have also been recommended to get more traffic to the Cross Fire trail.

Will Jones, Trail Committee Chair, said the trail consultant from Park City suggested Crossfire trail would be the best way to draw people in is to create something better than Rodeo Downs trail. Mayor Troy Stout said the city owes a big thanks to the Devey brothers, Ron, and Daryl, for all their hard work on the trails in Alpine. Will Jones said he needs to know if he can proceed with taking Ziggy and Zag and taking some uphill trails in order to modify them into one trail. Jason Thelin asked if this will have any effect on the people target shooting in the area. Will Jones said he would like to put a sign, structure, and a bike repair station. Carla Merrill said she would love to see some purposeful trails. Will Jones said with as much traffic that will be going through that area people are not going to want to be shooting. He said he need the council’s permission to have funds to get designs process started. Shane Sorensen said the city already has the funds set aside in the budget to do this. He said right now we are in the design phase. Will Jones said he would have the design done in a few weeks.

## VII. STAFF REPORTS

### Shane Sorensen

Shane Sorensen said the city will be participating in an active transportation plan with Highland City and MAG and Bike Utah. He said MAG and Bike Utah will help prepare the grant and there would be a 6.77% match. He said it seemed to make sense to tie our systems together with Highland City. He said each city will have a chapter in the document in order to have separation but would work together.

Shane Sorensen asked council if they would all be available for a field trip on September 28, 2021 at the beginning of the City Council meeting from 5:30PM – 6:45PM. He said the council and staff will be looking a grading and measuring of homes throughout Alpine City in real life situations. All council members agreed that the field trip would work for their schedules. The public is invited, we will start at City Hall.

Shane Sorensen asked if the City Council wanted to participate in Trick or Treating on Main Street this year. The council all agreed that they would like to participate.

### Craig Hall

Craig Hall said the ruling on the Blue Bison hearing will be October 4, 2021, at 9:00AM. He will send the city the zoom link to be able to watch.

## VIII. COUNCIL COMMUNICATION

none

## IX. EXECUTIVE SESSION

None held

**Motion:** Lon Lott moved to adjourn. Jason Thelin seconded the motion. There were 5Ayes and 0 Nays, as recorded below. The motion passed. As recorded below.

### Ayes

Greg Gordon  
Carla Merrill  
Lon Lott  
Jason Thelin

### Nays

Jessica Smuin

Adjourned at 9:24 pm

# Purchase Agreement and Acknowledgement



## PREMIER TRUCK - SALT LAKE CITY

2240 S 5370 W  
SALT LAKE CITY UT 84120

Department: NEW  
Contract Date: 09/14/2021  
INVOICE #: DE-26617  
Branch: 775  
Salesperson: Skylar Dyreng

Bill To: 77532895  
ALPINE CITY  
181 E 200 N  
ALPINE UT 84004-1625  
P:(801) 756-6347

Ship To:  
ALPINE CITY  
181 E 200 N  
ALPINE, UT 84004-1625

Stock#:NN2180 VIN:SKKHAXFM2NPNN2180 New 2022 WESTERN STAR 4700SB

Price:	\$124,740.00
Tire Tax	\$10.00
Per Unit:	\$124,750.00
<b>Total Price</b>	<b>\$124,740.00</b>
<b>Total</b>	<b>\$124,750.00</b>
<b>Net Total</b>	<b>\$124,750.00</b>

A DOCUMENTARY FEE IS NOT AN OFFICIAL FEE. A DOCUMENTARY FEE IS NOT REQUIRED BY LAW, BUT MAY BE CHARGED TO BUYERS FOR HANDLING DOCUMENTS RELATING TO THE SALE. A DOCUMENTARY FEE MAY NOT EXCEED A REASONABLE AMOUNT AGREED TO BY THE PARTIES.

THIS NOTICE IS REQUIRED BY LAW.

The Dealer's Inventory Tax charge is intended to reimburse the Dealer for ad valorem taxes on its motor vehicle inventory. The charge, which is paid by the Dealer to the county tax assessor-collector, is not a tax imposed on a Customer by the government, and is not required to be charged by the Dealer to the Customer.

THE UNDERSIGNED PURCHASER HEREBY OFFERS TO PURCHASE FROM YOU, THE SELLER, FOR THE STATED PRICE THE NEW TRUCK(S) DESCRIBED HEREIN, SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN THIS PURCHASE AGREEMENT AND ACKNOWLEDGEMENT.

IMPORTANT: Read additional Terms and Conditions attached to this agreement.

EXECUTED BY THE PARTIES IN DUPLICATE, ONE COPY OF WHICH HAS BEEN DELIVERED TO THE PURCHASER WHO ACKNOWLEDGES AND ACCEPTS, SUBJECT TO LIMITED WARRANTY, WARRANTY DISCLAIMER AND LIMITATIONS OF LIABILITY AS SHOWN ON THE NEW TRUCK OWNER'S WARRANTY REGISTRATION FORM.

**Your business is always appreciated!**

PURCHASER'S SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

CO-SIGNER'S SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

ACCEPTED BY \_\_\_\_\_

AUTHORIZED SIGNATURE \_\_\_\_\_ DATE 09/14/2021

## **ALPINE CITY COUNCIL AGENDA**

**SUBJECT:** Site Plan – Alpine Animal Hospital Addition – 424 South Alpine Highway

**FOR CONSIDERATION ON:** 28 September 2021

**PETITIONER:** Michael Kendig, Alpine Animal Hospital

**ACTION REQUESTED BY PETITIONER:** Approve the proposed addition.

### **BACKGROUND INFORMATION:**

The applicant is seeking to build an addition onto the existing facility. The site is located within the Business Commercial Zone and the Gateway Historic District. The new proposed addition would increase the square footage of the building from approximately 2,528 square feet to approximately 5,849 square feet. The overall size of the property is 1.01 acres. The developer is seeking approval of the proposed site plan.

On September 21, 2021, the Planning Commission recommended that the addition be approved with the condition that:

- The Brick be extended to cover the entire length of the front of the building; and
- The front fence be moved away from the front of the building and that it begin at the edge of the building instead; and
- The parking lot lighting meet the City standards.

### **MODEL MOTIONS**

#### **SAMPLE MOTION TO APPROVE:**

I move that the site plan for the Alpine Animal Hospital addition be approved as proposed.

#### **SAMPLE MOTION TO APPROVE WITH CONDITIONS:**

I move that the site plan for the Alpine Animal Hospital addition be approved with the following conditions/changes:

- \*\*\*Insert Finding\*\*\*

#### **SAMPLE MOTION TO TABLE/DENY:**

I move that the site plan for the Alpine Animal Hospital addition be tabled/denied based on the following:

- \*\*\*Insert Finding\*\*\*



**ALPINE CITY  
STAFF REPORT**  
September 17, 2021

**To:** Alpine City Planning Commission & City Council

**From:** Staff

**Prepared By:** Austin Roy, City Planner  
Planning & Zoning Department

Jed Muhlestein, City Engineer  
Engineering & Public Works Department

**Re: Site Plan Review – Alpine Animal Hospital Addition**

Applicant: Michael Kendig, Alpine Animal Hospital  
Project Location: 424 South Alpine Highway  
Zoning: Business Commercial Zone  
Acreage: Approximately 1.01 Acres  
Building Area: 5,849 Sq. Ft.  
Request: Approval of the site plan

**SUMMARY**

The applicant is seeking to build an addition onto the existing facility. The site is located within the Business Commercial Zone and the Gateway Historic District. The new proposed addition would increase the square footage of the building from approximately 2,528 square feet to approximately 5,849 square feet. The overall size of the property is 1.01 acres. The developer is seeking approval of the proposed site plan.

**BACKGROUND**

On January 14, 2020, the City Council approved the Alpine Animal Lodge, which was to be a separate accessory building for the Alpine Animal Hospital to host a dog boarding facility. However, the Animal Lodge was never built. The proposed addition is to be built instead of the Animal Lodge and will be built in approximately the same location that was planned for the Animal Lodge.

**ANALYSIS**

**Location**

The minimum side and rear setback (3.07.050) for a building in the Business Commercial zone adjacent to another Business Commercial property is 10 feet. The proposed plans show a side setback of 10.5 feet, which meets the setback requirement.

#### Off-Street Parking

City code requires (3.24.030) less intensive commercial business to have three and a half (3.5) stalls for every 1,000 square feet. Based on the proposed total square footage (5,849 square feet) 20 off-street parking spaces are required. The proposal exceeds the off-street parking requirement, with 30 total parking stalls (28 standard stalls and 2 ADA accessible stalls).

#### Screening

“The sides and rear of any off-street parking area that adjoins a residence or residential zone shall be required to be screened by a masonry wall or solid visual barrier fence” (3.24.020). The off-street parking area does not adjoin a residence or the residential zone.

#### Landscaping

All areas of a site which are not devoted to buildings or off-street parking are required to be landscaped, with a minimum of twenty (20) percent of the total area to be landscaped (3.07.080). The site plan shows that 23,196 square feet of the property is landscaped, or 53 percent of the total lot. The site plan meets the landscaping area requirement.

#### Trash Storage

The plans show a vinyl fence trash enclosure with 6-inch-thick concrete apron, which meets the trash storage requirement.

#### Height of Building

The height of the proposed building meets the requirements of the Business Commercial zone, measuring 20 feet 4 inches to the highest point of the building. Maximum height for the zone is 34 feet.

#### Design

The proposed building will use the same siding, materials, and colors as the recently renovated Alpine Animal Hospital that were previously approved by the Planning Commission and City Council. Architectural style seems to be consistent with other buildings in the business district.

#### NOTICING

Notice has been properly issued in the manner outlined in City and State Code

#### **REVIEWS**

##### PLANNING AND ZONING DEPARTMENT REVIEW

The analysis section in the body of this report serves as the Planning and Zoning Department review.

##### ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW

#### Streets

The application is for a new building on an existing site. All site plans must adhere to the Off-Street Parking Ordinance (Article 3.24). Number of parking stalls was covered in the Planner's section of this staff report. The parking plan has been reviewed and appears to meet all sections of ordinance (paved surface, wheel stops/curbs, striping, size of parking stalls, grading, etc.).

A lighting plan for the parking area was submitted with the application. It shows five new lights for the updated parking lot. The lighting plan appears to adequately light the parking area without shining upward or outward on neighboring properties. The lighting plan appears to meet ordinance.

### Utilities

There are no new City services such as culinary, pressurized irrigation, or sewer requested for the new building.

A storm water plan consists of small retention basins on the low side of the property with associated piping. The plan shows the property will retain all storm water from the 100-yr storm event. The plan was reviewed and meets the requirements as set forth in the stormwater design manual.

### Other

The water policy has been previously met for the site.

The plan shows details for a small retaining wall, being 3-feet or less in height. Any wall greater than 4-feet in height would require a retaining wall permit.

## **STAFF RECOMMENDATION**

Review staff report and findings and make a recommendation of approval of the proposed site plan.

## **MODEL MOTIONS**

### **SAMPLE MOTION TO APPROVE**

I move to recommend that the site plan for the Alpine Animal Hospital addition be approved as proposed.

### **SAMPLE MOTION TO APPROVE WITH CONDITIONS:**

I move to recommend that the site plan for the Alpine Animal Hospital addition be approved with the following conditions/changes:

- \*\*\*Insert Finding\*\*\*

### **SAMPLE MOTION TO TABLE/DENY**

I move to recommend that the site plan for the Alpine Animal Hospital addition be tabled/denied based on the following:

- \*\*\*Insert Finding\*\*\*

# Alpine Animal Clinic Drainage Report

*Project:*

**Alpine Animal Clinic**

424 Alpine Highway

Alpine, UT 84004

*Project Number:* 9164

*Prepared For:*

**Alpine Animal Clinic**

424 Alpine Highway

Alpine, UT 84004

*Date:*

September 1<sup>st</sup>, 2021

*Prepared By:*

**Ian Maerki, E.I.T.**

*Reviewed By:*

**Brady Morris, P.E.**

**ENSIGN**  
THE STANDARD IN ENGINEERING

**Ensign Engineering**

45 West 10000 South, Suite 500

Sandy, Utah 84070

P: (801) 255-0529

F: (801) 255-4449

ensigneng.com

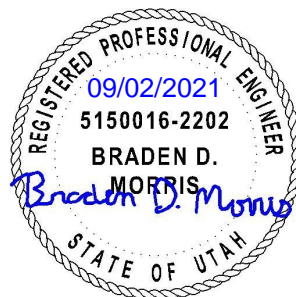


TABLE OF CONTENTS

TABLE OF CONTENTS ..... 1

LIST OF TABLES..... 1

1.0 PROJECT OVERVIEW/LOCATION..... 2

2.0 EXISTING DRAINAGE CONDITIONS ..... 2

3.0 DESIGN OBJECTIVES AND METHODOLOGY ..... 2

4.0 PROPOSED DRAINAGE CONDITIONS ..... 2

5.0 CONCLUSIONS..... 3

6.0 APPENDIX A – NRCS SITE SOIL MAP ..... 4

6.1 APPENDIX B – FEMA FLOODPLAIN INFORMATION ..... 5

LIST OF TABLES

Table 4-1: STORMWATER STORAGE REQUIREMENT CALCULATIONS..... 3



## 1.0 PROJECT OVERVIEW/LOCATION

The Alpine Animal Clinic project is located in Alpine Utah, in the northeast corner of Section 25, Township 4 south, Range 1 East, Salt Lake Base and Meridian, Salt Lake County, Utah. The project is bounded by privately owned properties to the north, east, and west, and a public road on the south. The project will consist of the construction of a building connected to an existing one, parking lot expansion, select site amenities, open space, and utilities. The project storm runoff will discharge into a retention pond on site.

## 2.0 EXISTING DRAINAGE CONDITIONS

The Alpine Animal Clinic project is located on property containing approximately 1.014 acres. In general, the site slopes gently down to the northwest and storm water percolates into the existing soil. Slopes in this area range from about 2% to 50%. According to Appendix A, about 42% of the soils fall into Hydrologic Soil Group B, with the rest categorized under Group C. They are described as follows:

*Group B - Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.*

*Group C - Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.*

The existing site is sloped towards the northwest, with the on-site runoff designed to fall into an existing retention basin located in the proposed building's footprint, and to another retention basin at the north corner of the project.

The property is located in FEMA zone X, map panel ID #49049C0159F. More information regarding the FEMA floodplain can be found in Appendix B.

## 3.0 DESIGN OBJECTIVES AND METHODOLOGY

The proposed site will have all runoff from the 100 year 24 hour storm event retained on site, into retention ponds along the northwest boundary. The proposed design will remove the existing retention basin at the proposed building, and modify the existing retention basin on the north corner to run along the northwest project boundary.

Design criteria include the following:

- Per city requirements, the 100 year-24 hour storm event was utilized for drainage calculations and design purposes, as the intention is to retain 100% of the runoff from this storm event on site.
- All drainage design is to follow the criteria listed in Section 3 of Alpine City's Storm Water Drainage Design Manual

## 4.0 PROPOSED DRAINAGE CONDITIONS

The area contributing to the storm drain runoff for this project totals around 1.014 acres. The proposed site will be designed to direct runoff from paved and other hardscape areas to the northwest, across the site and into a curb inlet catch basin at the north end of the parking lot. Once in the pipe system, storm water will be routed to an above ground retention basin along the northwest side of the site. The retention basins are connected with storm drain pipes, complete with flared end sections. Using the 100 year 24 hour storm event, the required storage for the site was calculated and is shown below in Table 4-1.

TABLE 4-1: STORMWATER STORAGE REQUIREMENT CALCULATIONS

<b>ENSIGN</b> engineering × planning × surveying			
Project :	Alpine Animal Clinic	Project No. :	9164
By :	B. Morris	Checked By :	B. Morris
Date :	30-Jun-2021	Sheet :	1 of 1

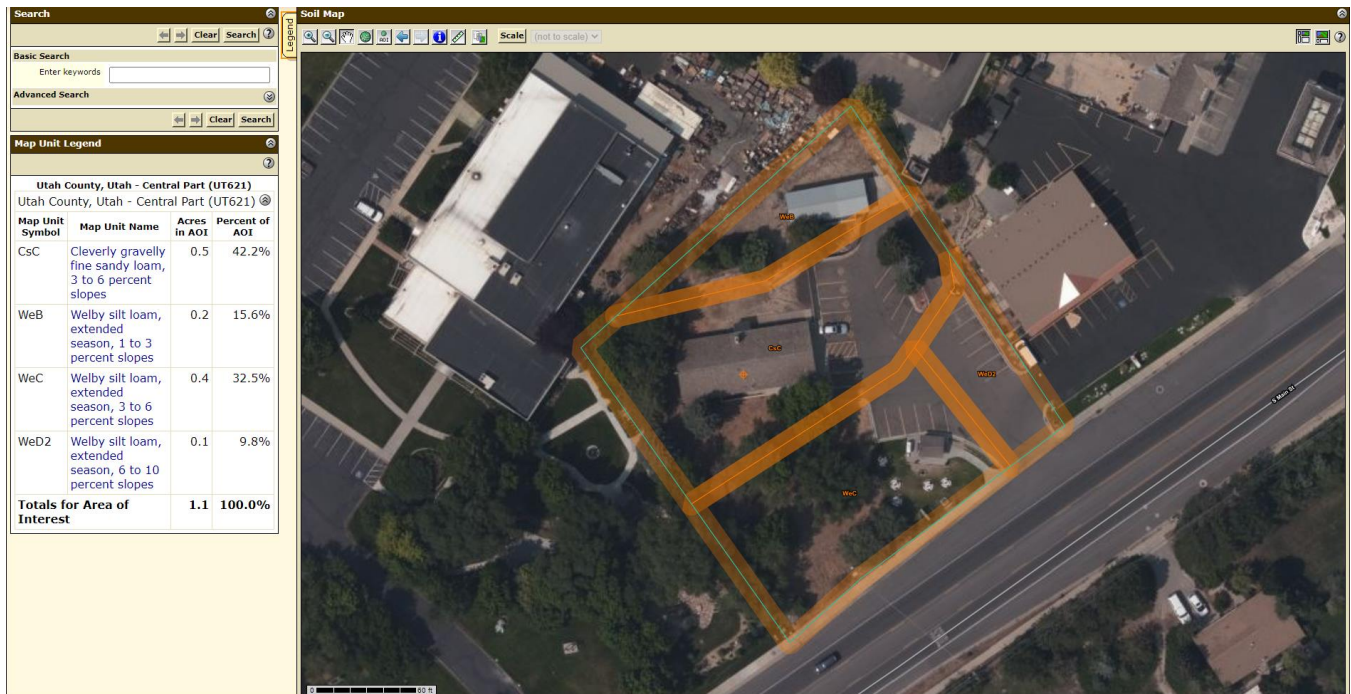
## DRAINAGE CALCULATION

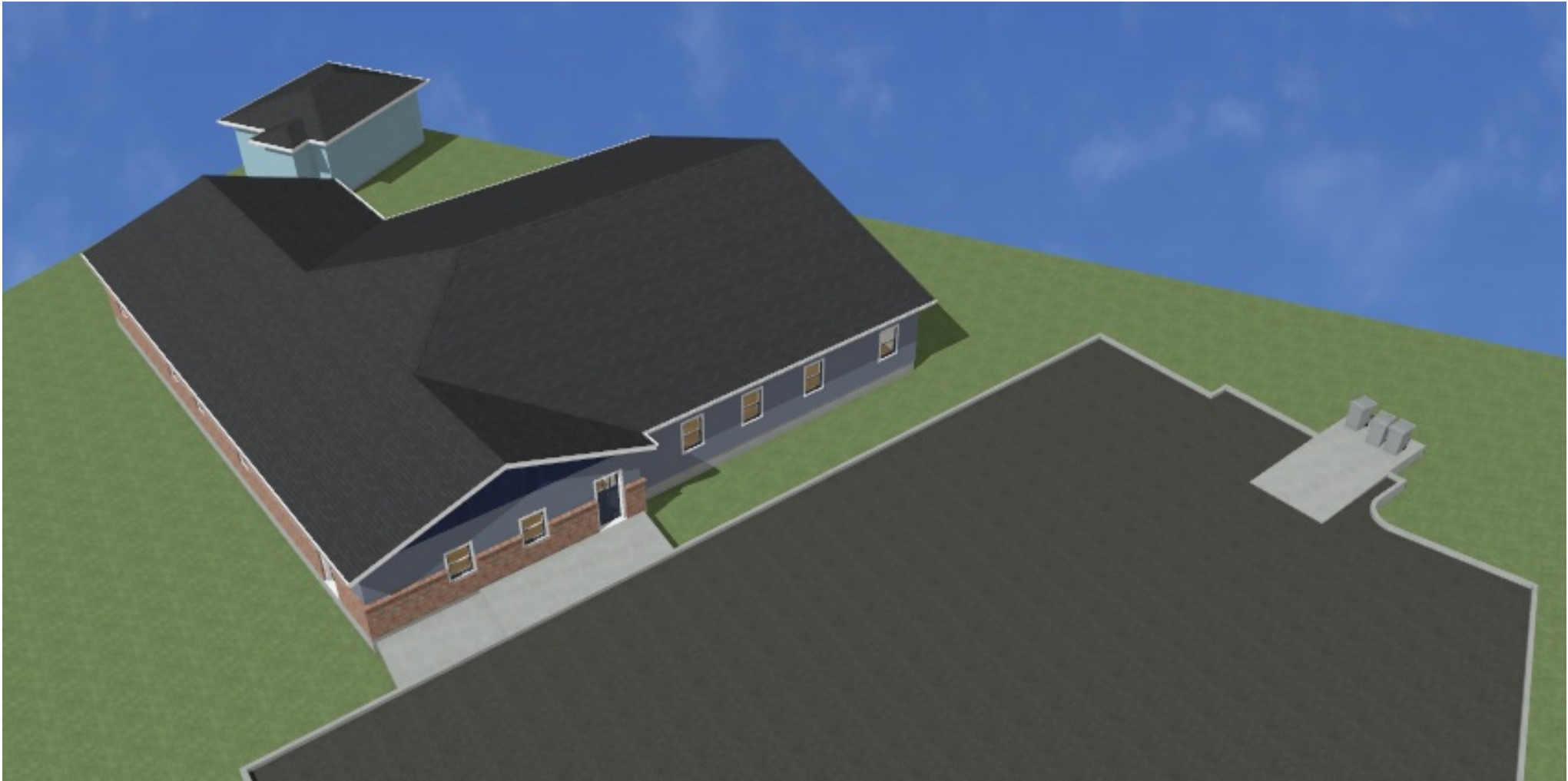
Area Calculations						
Hardscaped Area (Ap):			0.48	acres	Cp :	0.90
LANDSCAPE AREA (AI):			0.53	acres	CI :	0.15
TOTAL AREA (A):			1.01	acres	WEIGHTED C:	0.51
Runoff Calculations						
				Allowable Runoff	0	cfs/ac
				Total Allowable Runoff	0.000	cfs
Time (min)	CA (Acres)	Intensity (in/hr)	Time (sec)	Cumulative Runoff (ft³)	Allowed Runoff (ft³)	Storage (ft³)
5	0.51	6.97	300	1073	0	1,073
10	0.51	5.30	600	1632	0	1,632
15	0.51	4.38	900	2022	0	2,022
30	0.51	2.95	1800	2724	0	2,724
60	0.51	1.82	3600	3362	0	3,362
120	0.51	1.02	7200	3768	0	3,768
180	0.51	0.71	10800	3934	0	3,934
360	0.51	0.41	21600	4544	0	4,544
720	0.51	0.26	43200	5763	0	5,763
1440	0.51	0.14	86400	6206	0	6,206
<b>NOTE: 100 Year Storm</b>				STORAGE REQUIRED :		6,206
				STORAGE PROVIDED :		6,441

## 5.0 CONCLUSIONS

The drainage system as outlined will safely convey storm water to proposed storm drain infrastructure in the north end of the site, and into proposed retention basins running along the northwest boundary. The basins are designed with the aforementioned storage requirements in mind.

## 6.0 APPENDIX A – NRCS SITE SOIL MAP





--

REVISION TABLE	
NUMBER	DESCRIPTION

--

Architectural Renderings  
By JLR Contractors

DRAWINGS PROVIDED BY:
-----------------------

DATE:
-------

9/21/2021

SCALE:
--------

--

SHEET:
--------

P-1





--

REVISION TABLE	
NUMBER	DESCRIPTION

--

Architectural Renderings  
By JLR Contractors

DRAWINGS PROVIDED BY:
-----------------------

DATE:
-------

9/21/2021

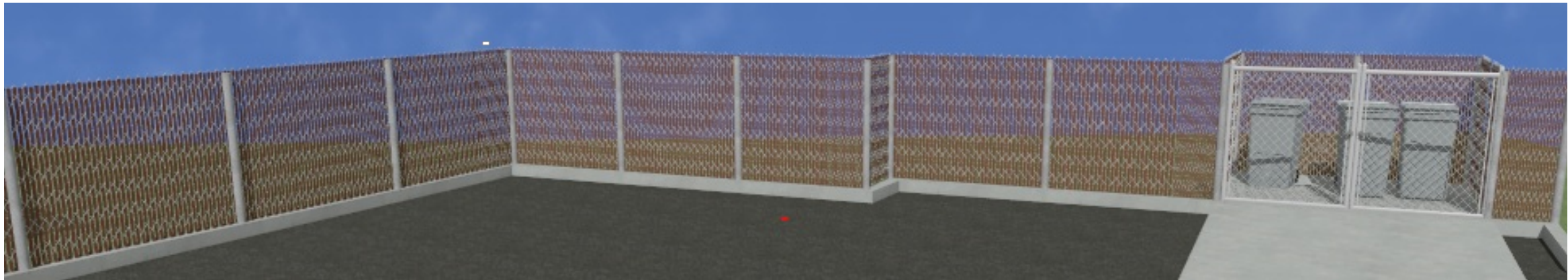
SCALE:
--------

--

SHEET:
--------

--





--

REVISION TABLE	
NUMBER	DATE

--

Architectural Renderings  
By JLR Contractors

DRAWINGS PROVIDED BY:
-----------------------

DATE:
-------

9/21/2021
-----------

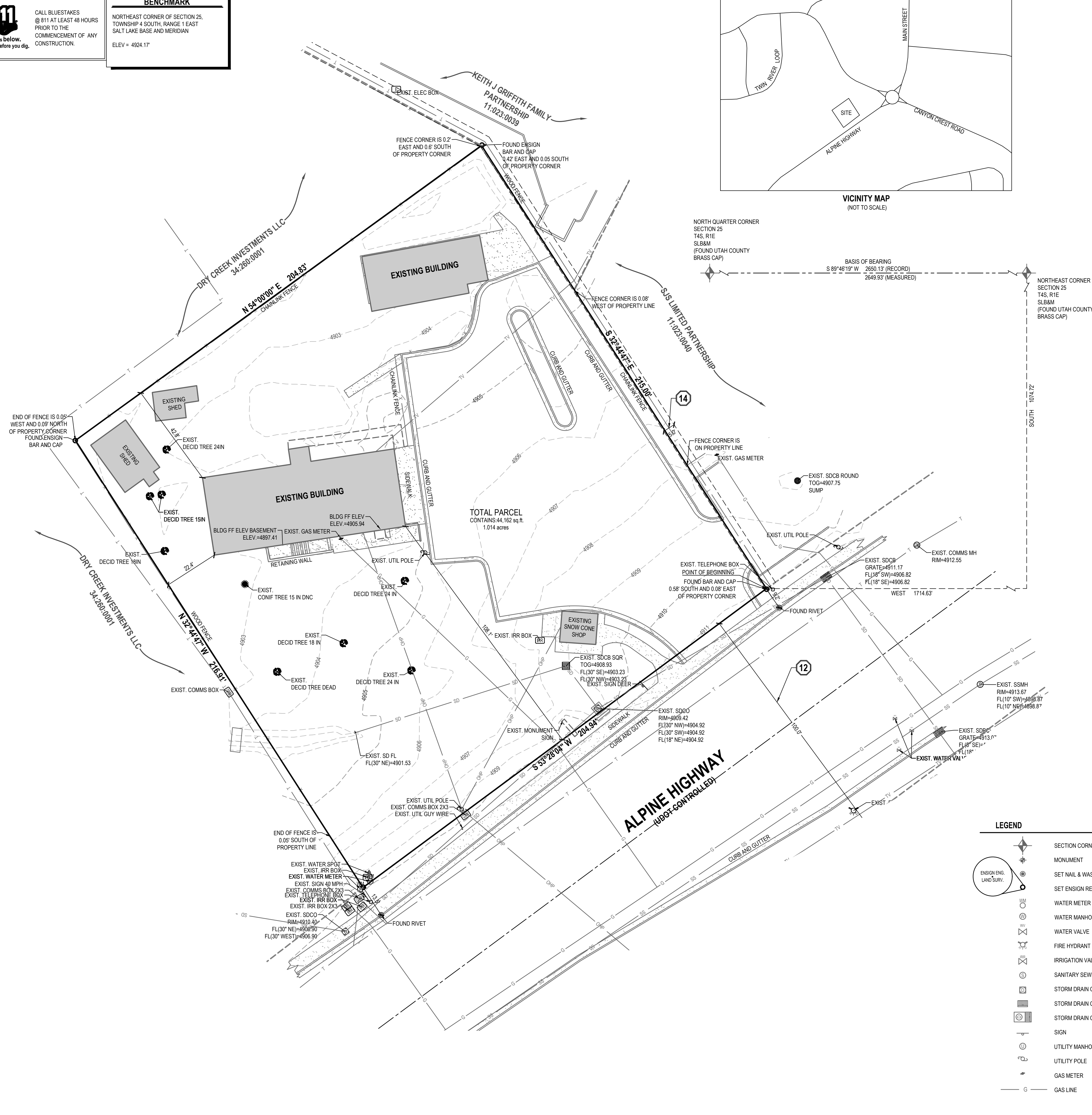
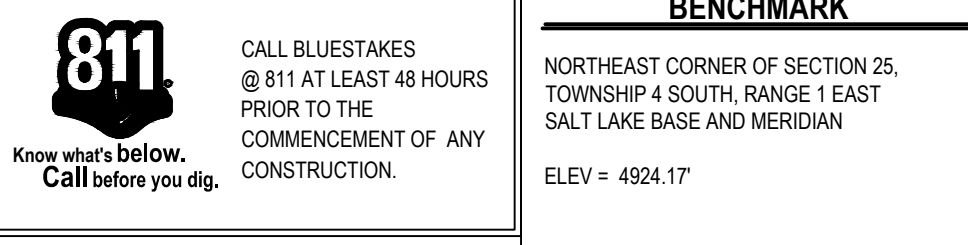
SCALE:
--------

--

SHEET:
--------

--





**SURVEYOR'S NARRATIVE**

I, Patrick M. Harris, do hereby state that I am a Professional Land Surveyor and that I hold certificate no. 266882 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The Purpose of this survey is to provide a boundary and topography survey to our client. The Basis of Bearing is the line between the Northeast Corner and the North Quarter Corner of Section 25, Township 4 South, Range 1 East, Salt Lake Base and Meridian, and measures South 89°46'19" West 2,649.93 feet.

	COMMITMENT DESCRIPTION
Parcel 1:	Beginning at a point 1074.72 feet South and 1714.63 feet West from the Northeast corner of Section 25, Township 4 South, Range 1 East, Salt Lake Base and Meridian; thence North 32°44'47" West 215.00 feet; thence South 54° West 204.826 feet; thence South 32°44'47" East 216.907 feet; thence North 53°29'04" East 294.942 feet to the point of beginning.
Parcel 2:	Commencing at a point located South 02°02'38" East along the Section line 899.99 feet and 1593.95 feet from the Northeast corner of Section 25, Township 4 South, Range 1 East, Salt Lake Base and Meridian; thence South 55°24' West 148.07 feet; thence North 32°44'47" East 144.25 feet; thence North 28°45'34" East 99.95 feet; thence South 68°52'57" East 105.58 feet; thence South 34°36" East 102.38 feet to the point of beginning.

**AS-SURVEYED DESCRIPTION**

A parcel of land situate in the Northeast Quarter of Section 25, Township 4 South, Range 1 East, Salt Lake Base and Meridian, being more particularly described as follows:

Beginning at a point on the Westerly Right-of-Way of Alpine Highway, said point being South 1,074.72 feet and West 1,714.63 feet from the Northeast Corner of Section 25, Township 4 South, Range 1 West, Salt Lake Base and Meridian, and running:

thence South 53°28'04" West 204.94 feet along said Westerly Right-of-Way;

thence North 32°44'47" West 216.91 feet;


thence North 54°00'00" East 204.83 feet;

thence South 32°44'47" East 215.00 feet to the point of beginning.

Contains 44,162 square feet or 1.014 acres.

8/31/21

Date



Patrick M. Harris  
License no. 286882

SCHEDULE B-2 EXCEPTIONS

9. The land described herein is located within the boundaries of Alpine (801-756-6347), North Utah County Water Conservancy District (801-756-7039) and Central Utah Water Conservancy District (paid through property taxes), and is subject to any assessments levied thereby. (Blanket in nature)

10. Agreement, including the terms and conditions thereof:  
Between: The State of Utah, acting through the Utah Water and Power Board And: Lohi Irrigation Company. (Blanket in nature)  
Recorded: November 09, 1956  
Entry No.: 15991  
Book/Page: 729 / 352  
Purpose: To promote a water conservation project

11. Conveyance of Easement, in favor of the Utah Water and Power Board, Grantee, an easement to the full use of the irrigation, collection and distribution system of the Lohi Irrigation Company, recorded November 9, 1956, as Entry No. 15993, in Book 729, at Page 359, of Official Records. (Blanket in nature)






























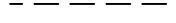
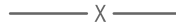




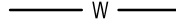

12. The Grantors also hereby grant to the Grantee permission to locate and construct within the Grantors land and outside the limits of the highway right of way all irrigation and/or waste water ditches made necessary by the construction of said project, as shown in that certain Warranty Deed, between George E. Heaton and Bertha Heaton, his wife, Grantors, and the State Road Commission of Utah, Grantee, recorded November 24, 1958, as Entry No. 15764, in Book 795, at Page 310, of Official Records. (Shown on survey)

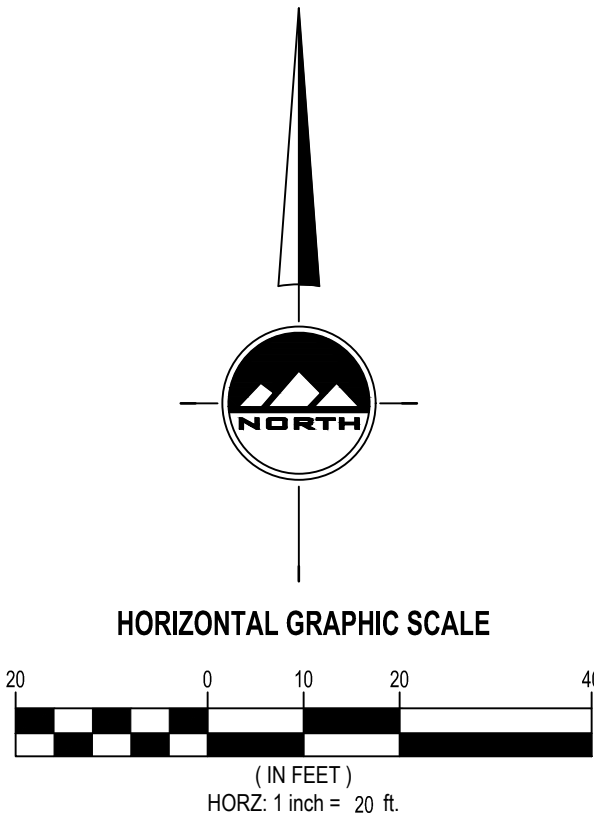
13. Conveyance of Easement and Water Right in favor of the Utah Water and Power Board, an agency of the State of Utah, Grantee, an easement to the full use of that certain irrigation system known as the Alpine Irrigation Company Distribution System, recorded January 28, 1960, as Entry No. 12241, in Book 834, at Page 127, of Official Records. (Blanket in nature)

14. Right-of-Way Easement, and the terms and conditions thereof: (Shown on survey)  
Grantee: Mountain States Telephone and Telegraph Company, a Colorado corporation  
Purpose: A right of way and the right to construct, operate, maintain and remove such communication line facilities.  
Recorded: November 05, 1985  
Entry No.: 32428  
Book/Page: 2259 / 2

15. Subject to the rights of parties in possession of the subject property under unrecorded leases, rental or occupancy agreements and any claims thereunder. (Non survey related)

16. The following affects Parcel 2: (Non survey related)  
  
A Deed of Trust, and the terms and conditions thereof: Stated Amount: \$249,000.00  
Trustor: SJS Limited Partnership Trustee: Bank of American Fork Beneficiary: Bank of American Fork Dated: March 3, 2009  
Recorded: March 4, 2009  
Entry No.: 23139:2009  
  
Assignment of Rents:  
By: SJS Limited Partnership Assigned to: Bank of American Fork Dated: March 03, 2009  
Recorded: March 04, 2009  
Entry No.: 23140:2009

LEGEND	
	SECTION CORNER
	MONUMENT
	SET NAIL & WASHER
	SET DESIGN REBAR AND CAP
	WATER METER
	WATER MANHOLE
	WATER VALVE
	FIRE HYDRANT
	IRRIGATION VALVE
	SANITARY SEWER MANHOLE
	STORM DRAIN CLEAN OUT
	STORM DRAIN CATCH BASIN
	STORM DRAIN COMBO BOX
	SIGN
	UTILITY MANHOLE
	UTILITY POLE
	GAS METER
	GAS LINE
	MINOR CONTOURS 1' INCREMENT
	MAJOR CONTOURS 5' INCREMENT
	CONCRETE
	ADJACENT RIGHT OF WAY
	RIGHT OF WAY
	SECTION LINE
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	DEED LINE
	TANGENT LINE
	FENCE
	EDGE OF ASPHALT
	SANITARY SEWER
	STORM DRAIN LINE
	WATER LINE
	IRRIGATION LINE
	TELEPHONE LINE
	OVERHEAD POWER
	SCHEDULE B-2 TITLE EXCEPTION



LOCATED IN THE NORTHEAST QUARTER  
OF SECTION 25  
TOWNSHIP 4 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
ALPINE, UTAH COUNTY, UTAH



**SALT LAKE CITY**  
45 W. 10000 S., Suite 500  
Sandy, UT 84070  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2983

**WWW.ENSIGNENG.COM**

---

**FOR:**  
ALPINE ANIMAL CLINIC  
424 ALPINE HIGHWAY  
ALPINE, UTAH 84004

**CONTACT:**  
MICHAEL KENDIG  
PHONE: 801-318-4406

---

**ALPINE ANIMAL CLINIC**  
**ALTA/NSPS LAND TITLE SURVEY**  
**424 ALPINE HIGHWAY**  
**ALPINE, UTAH**



# ALTA/NSPS LAND TITLE SURVEY

---

PROJECT NUMBER 9164	PRINT DATE 8/31/21
DRAWN BY C.ANDERSON	CHECKED BY P.HARRIS
PROJECT MANAGER P.HARRIS	

1 OF 1



GENERAL NOTES

1. ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY, JURISDICTION, APWA (UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)), THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
2. CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
3. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
4. CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
9. ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
10. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
11. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
12. ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
13. NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
14. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
16. EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW:
- 16.1. CONTRACTOR IS REQUIRED TO LOCATE AND POTHOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY) THAT AFFECT THE PROJECT. IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
- 16.2. CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE.
- 16.3. IN ADDITION TO 16.1 AND 16.2 ABOVE THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POTHOLING" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
- 16.4. IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
- 16.5. IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POTHOLE" EXISTING UTILITIES AS REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
17. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
18. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
19. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
20. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
21. CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
22. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
24. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
25. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
26. CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWINGS SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
27. WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
28. ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
29. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
30. ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY PRIOR TO THE PLACEMENT.
31. CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
32. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
2. CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
3. EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE NECESSARITY OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
4. CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
5. TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (CURRENT EDITION), SECTION 02320- BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
6. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
7. THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
9. ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
10. ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (CURRENT EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
11. CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
12. SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
13. CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
14. EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
15. CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
16. ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, EDGE TO EDGE, FROM THE WATER LINES. IF A 10' FEET SEPARATION CAN NOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
17. CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
18. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
19. CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

1. TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
2. BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
3. NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
4. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
5. DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
6. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
7. TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
8. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
9. THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

1. EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
2. THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
3. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
2. THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
3. THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREAS SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS, WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
4. ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
5. THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
6. THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
8. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
9. THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
10. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
12. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
13. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
14. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
15. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
16. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BOS	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH BASIN
CF	CURB FACE OR CUBIC FEET
CL	CENTER LINE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EOA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GF	GARAGE FLOOR
GV	GATE VALVE
HV	HANDICAP
HP	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAR FEET
LP	LOW POINT
LEX	MATCH EXISTING
MH	MANHOLE
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NIC	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OHP	OVERHEAD POWER
PC	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROOF DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TG	TOP OF GRATE
TOA	TOP OF ASPHALT
TCC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WV	WALL INDICATOR VALVE
W	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET ENSIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		PROPOSED STORM DRAIN LINE
	PROPOSED WATER VALVE		ROOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		HIGHWATER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CULVERT		EXISTING TELEPHONE LINE
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW CUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BERM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		EXISTING WALL
	EXISTING UTILITY POLE		PROPOSED WALL
	EXISTING LIGHT		EXISTING CONTOURS
	PROPOSED LIGHT		PROPOSED CONTOURS
	EXISTING GAS METER		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS MANHOLE		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS VALVE		EXISTING ASPHALT TO BE REMOVED
	EXISTING TELEPHONE MANHOLE		PROPOSED ASPHALT
	EXISTING TELEPHONE BOX		EXISTING CURB AND GUTTER
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED CURB AND GUTTER
	EXISTING CABLE BOX		PROPOSED REVERSE PAN CURB AND GUTTER
	EXISTING BOLLARD		TRANSITION TO REVERSE PAN CURB
	PROPOSED BOLLARD		CONCRETE TO BE REMOVED
	EXISTING SIGN		EXISTING CONCRETE
	PROPOSED SIGN		PROPOSED CONCRETE
	EXISTING SPOT ELEVATION		BUILDING TO BE REMOVED
	PROPOSED SPOT ELEVATION		EXISTING BUILDING
	EXISTING FLOW DIRECTION		PROPOSED BUILDING
	EXISTING TREE		
	DENSE VEGETATION		

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



**SALT LAKE CITY**  
45 W. 10000 S., Suite 500  
Sandy, UT 84070  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

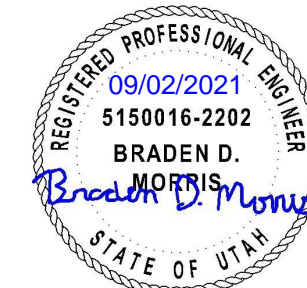
**RICHFIELD**  
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:  
ALPINE ANIMAL CLINIC  
424 ALPINE HIGHWAY  
ALPINE, UTAH 84004

CONTACT:  
MICHAEL KENDIG  
PHONE: 801-318-4406

ALPINE ANIMAL CLINIC  
424 ALPINE HIGHWAY  
ALPINE, UTAH



GENERAL NOTES

PROJECT NUMBER  
9154

PRINT DATE  
8/31/21

DRAWN BY

CHECKED BY

PROJECT MANAGER  
P. HARRIS

C-001



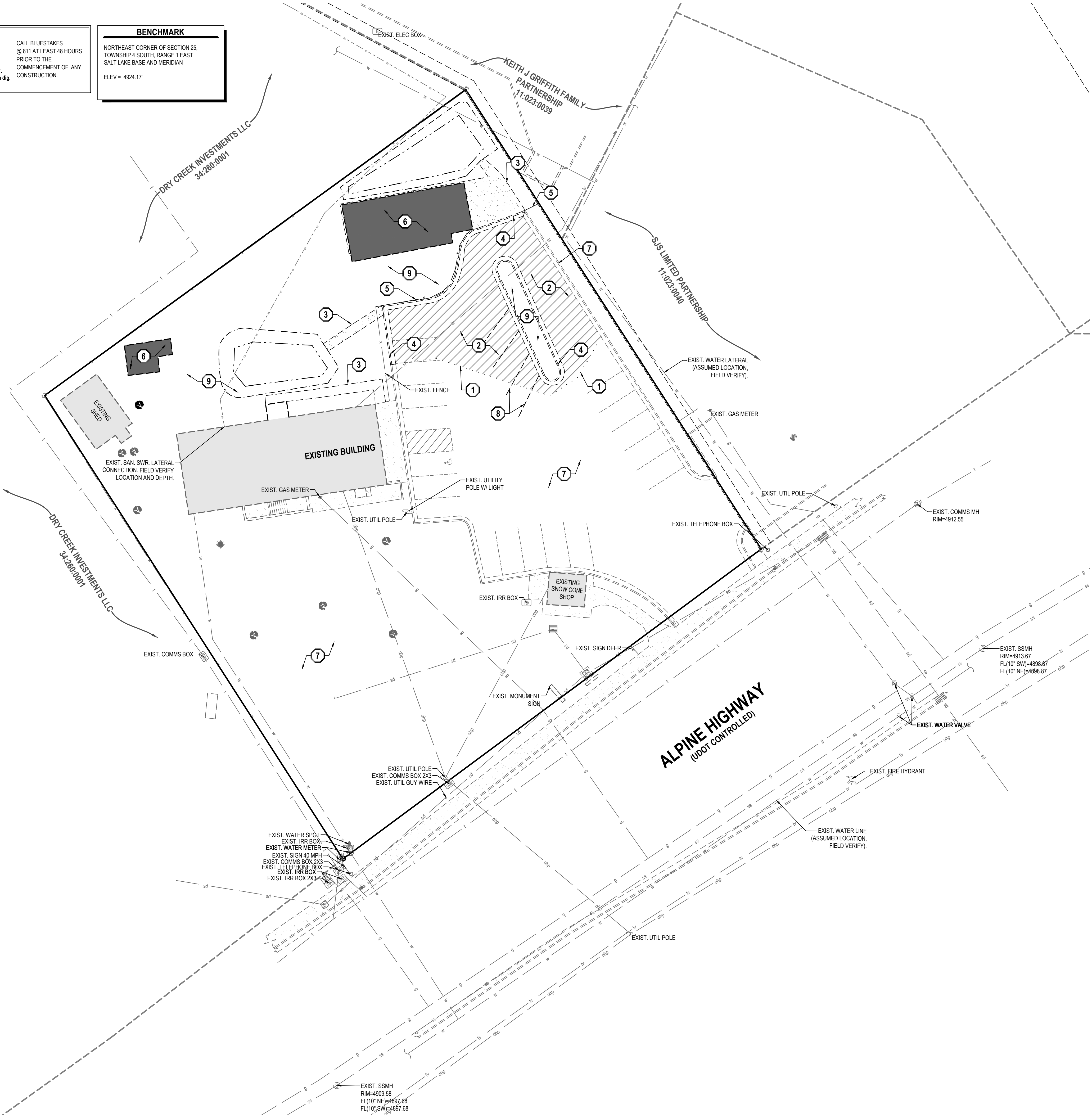
811

Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

BENCHMARK

NORTHEAST CORNER OF SECTION 25,  
TOWNSHIP 4 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
  
ELEV = 4924.17'



GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
- SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
- REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
- REMOVE AND PROPERLY DISPOSE OF EXISTING CONCRETE.
- SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
- REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE.
- REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, CONCRETE SLABS, STAIRS, ETC., INCLUDING ALL ELECTRICAL APPURTENANCES, IN THIS AREA WHETHER OR NOT IDENTIFIED ON PLANS. CONTRACTOR TO FILL IN ALL HOLES CREATED DURING DEMOLITION WITH STRUCTURAL FILL TO PROPER SUBGRADE ELEVATION.
- PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).
- REMOVE EXISTING PAVEMENT MARKINGS FROM EXISTING ASPHALT PAVEMENT BY GRINDING OR WATER BLASTING, OR APPROVED EQUAL, TO MINIMIZE SURFACE SCARRING.
- REMOVE EXISTING LANDSCAPING IN THIS AREA. RETROFIT AND REPAIR IRRIGATION SYSTEM AS NEEDED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.



**SALT LAKE CITY**  
45 W. 10000 S., Suite 500  
Sandy, UT 84070  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:  
ALPINE ANIMAL CLINIC  
424 ALPINE HIGHWAY  
ALPINE, UTAH 84004

CONTACT:  
MICHAEL KENDIG  
PHONE: 801-318-4406

ALPINE ANIMAL CLINIC

424 ALPINE HIGHWAY  
ALPINE, UTAH



DEMOLITION PLAN

PROJECT NUMBER  
9154  
PRINT DATE  
8/31/21  
DRAWN BY  
CHECKED BY

PROJECT MANAGER  
P. HARRIS

C-100



811

Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

BENCHMARK

NORTHEAST CORNER OF SECTION 25,  
TOWNSHIP 4 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
  
ELEV = 4924.17'

EXIST. SAN. SWR.  
LATERAL EXTENDS  
TO SEWER MAIN  
LINE APPROX. 96.5'

EXIST. ELEC BOX

KEITH J GRIFFITH FAMILY  
PARTNERSHIP  
11-023-0039

SJS LIMITED PARTNERSHIP  
11-023-0040

5.0' MOUNTAIN STATES TELEPHONE  
AND TELEGRAPH COMPANY.  
A COLORADO CORPORATION EASEMENT

EXIST. WATER LATERAL  
(ASSUMED LOCATION,  
FIELD VERIFY).

EXIST. GAS METER

EXIST. TELEPHONE BOX

EXIST. COMMS MH  
RIM=4912.55

EXIST. SSMH  
RIM=4913.67  
FL(10" SW)=4898.87  
FL(10" NE)=4898.87

EXIST. FIRE HYDRANT

EXIST. WATER LINE  
(ASSUMED LOCATION,  
FIELD VERIFY).

EXIST. UTIL POLE

EXIST. SSMH  
RIM=4909.58  
FL(10" NE)=4897.88  
FL(10" SW)=4897.88

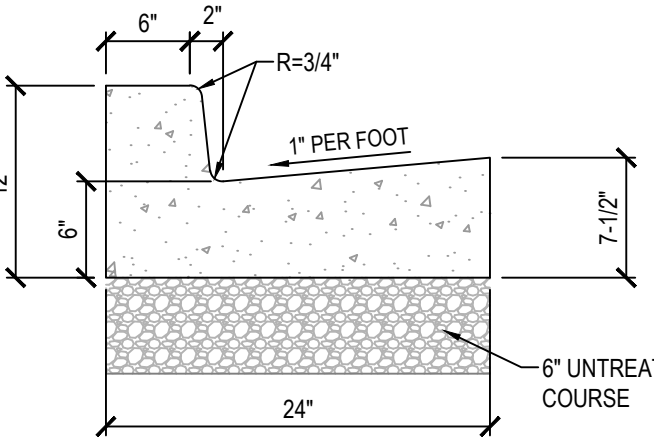
GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
- ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
- THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES, PIPES, CONCRETE OR ASPHALT.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ASPHALT PAVEMENT. 3" ASPHALTIC CONCRETE PER SPECIFICATIONS, DM-1/2, PG 64-22, MAX RAP=15% OVER 8" UNTREATED BASE COURSE COMPACTED PER GEOTECHNICAL REPORT AND SPECIFICATIONS OVER PROPERLY PREPARED SUBGRADE OR FILL COMPACTED PER GEOTECHNICAL REPORT AND SPECIFICATIONS.
- FENCE. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- 24" COLLECTION CURB AND GUTTER PER DETAIL 1/C-200.
- SAWOUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
- 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
- PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- VINYL FENCE W/ SLATS TRASH ENCLOSURE WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" O.C. E.W. ON 6" GRAVEL BASE.
- LIGHT. SEE PHOTOMETRIC PLAN.



NOTE:

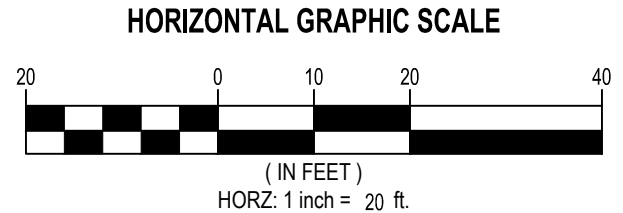
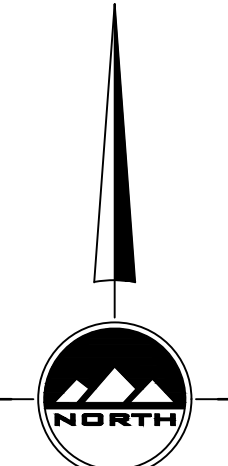
- CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA STANDARD PLAN NO. 205.

1 24" COLLECTION CURB AND GUTTER

SCALE: NONE

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	15,117	34%
ROOF	5,849	13%
LANDSCAPING	23,196	53%
TOTAL SITE	44,162 1.014 ACRES	100%

PARKING DATA TABLE	
STANDARD STALLS	28
ADA - ACCESSIBLE STALLS	2
TOTAL STALLS	30



**SALT LAKE CITY**  
45 W. 10000 S., Suite 500  
Sandy, UT 84070  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**TOOELE**  
Phone: 435.843.3590

**CEDAR CITY**  
Phone: 435.865.1453

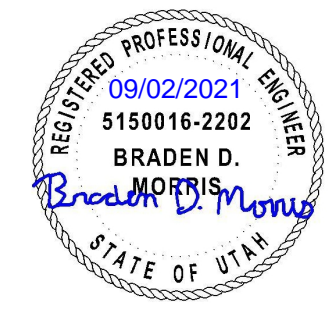
**RICHFIELD**  
Phone: 435.896.2983

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

FOR:  
ALPINE ANIMAL CLINIC  
424 ALPINE HIGHWAY  
ALPINE, UTAH 84004  
CONTACT:  
MICHAEL KENDIG  
PHONE: 801-318-4406

ALPINE ANIMAL CLINIC

424 ALPINE HIGHWAY  
ALPINE, UTAH



SITE DIMENSION AND UTILITY PLAN

PROJECT NUMBER  
9154  
PRINT DATE  
8/31/21  
DRAWN BY  
CHECKED BY

PROJECT MANAGER  
P. HARRIS

C-200



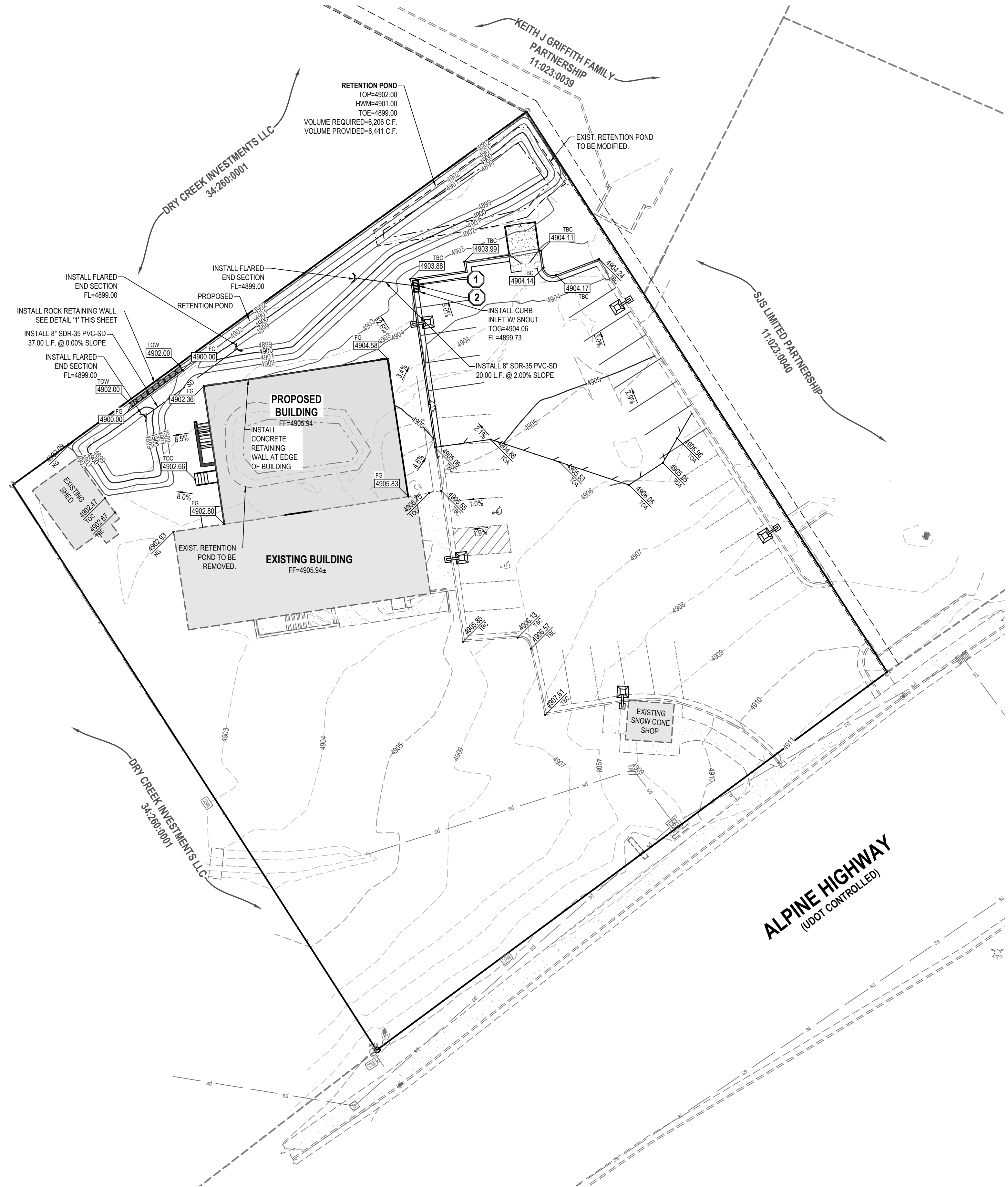
811

Know what's below.  
Call before you dig.

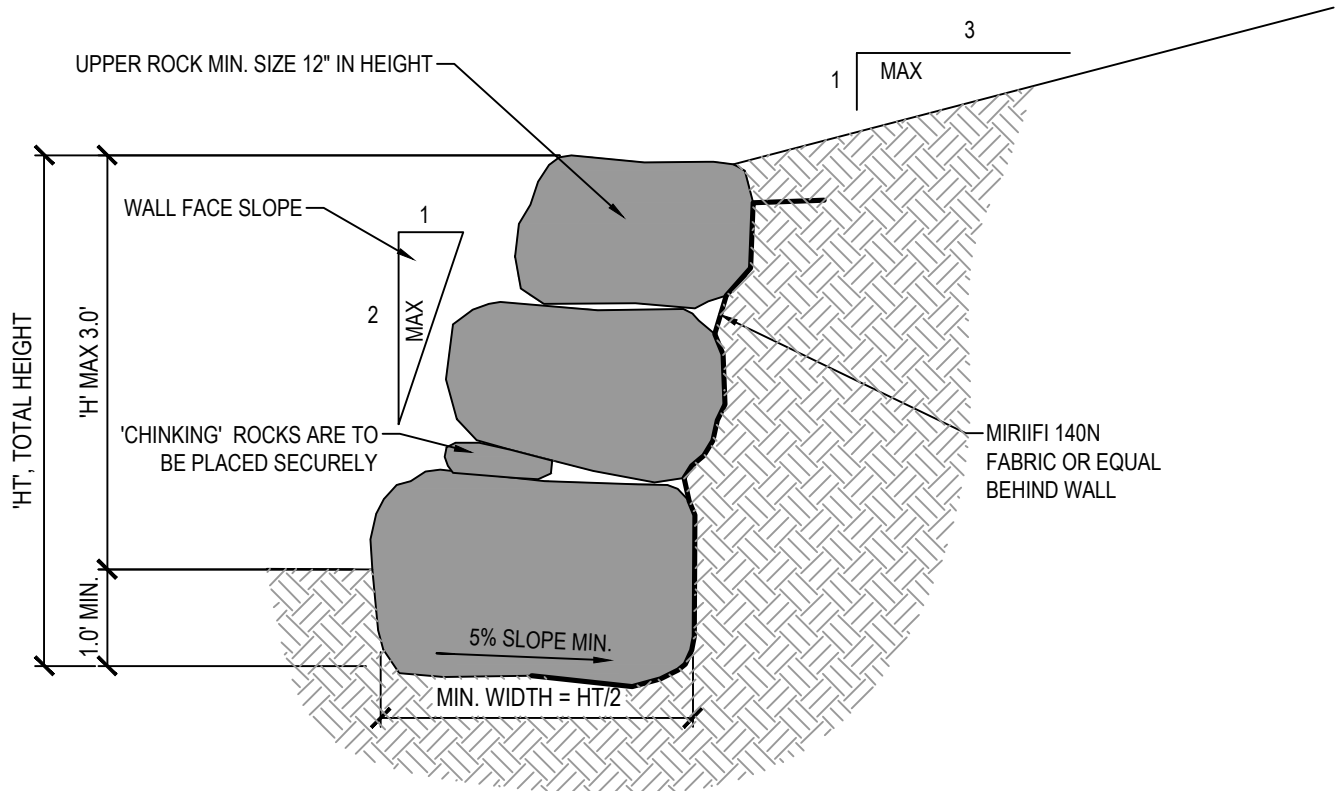
CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

BENCHMARK

NORTHEAST CORNER OF SECTION 25,  
TOWNSHIP 4 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
  
ELEV = 4924.17'



- NOTES:
- EACH ROCK IS TO BE PLACED INDIVIDUALLY OF THE SIZE AND SHAPE SPECIFIED. ENSURE THAT EACH ROCK IS SET AND SUPPORTED BY UNDERLYING MATERIALS AND ADJACENT ROCKS. REPOSITION OR REPLACE LOOSE ROCKS.
  - UPPER ROCKS ARE TO BE SUPPORTED BY (2) ROCKS IN ROW BELOW. ROCKS ARE TO BE OFFSET SO THAT VERTICAL SEAMS ARE NOT CONSTRUCTED IN WALL.
  - PLACE BASE, FACING, AND CAP ROCKS SO THAT THEIR HEIGHT DIMENSION IS NOT GREATER THAN THEIR WIDTH. THE LONGEST DIMENSION OF THE BASE, FACING, AND CAP ROCKS IS PERPENDICULAR TO THE FACE OF ROCKERY. TYPICAL BASE DIMENSION IS 1.5 x HEIGHT OF ROCK.
  - ROCKS ARE TO BE PLACED SO THAT SLOPE BACK INTO HILLSIDE AT A MIN. OF 5%. PROVIDE 'CHINKS' AS NECESSARY BETWEEN ROCKS TO SLOPE UPPER ROCKS ADEQUATELY.
  - ALL FILL TO BE COMPACTED TO 90% MAX DRY DENSITY PLACED IN 8" LIFTS.
  - STABILITY OF TEMPORARY CUT SLOPES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - DO NOT CONSTRUCT ROCK WALLS OR SLOPES EXCEEDING THE HEIGHTS SHOWN HERE WITHOUT CONSULTING WITH ENGINEER.
  - ROCKS ARE TO BE ANGULAR TO PROVIDE ADEQUATE 'FLAT SURFACE' FOR ROCK TO ROCK CONNECTION. ROUND SHAPED ROCKS ARE NOT ACCEPTABLE.
  - ROCKS ARE TO QUARRIED BY NON-EXPLOSIVE METHODS. ROCKS QUARRIED BY BLASTING METHODS ARE PRONE TO CRACKING AND ARE NOT ACCEPTABLE.
  - MAINTENANCE OF ROCK-PROTECTED SLOPES WILL BE REQUIRED AS THE ROCKS SETTLE AND MOVE OVER TIME. LOCALIZED AREAS OF ROCK-PROTECTED SLOPE MAY NEED ADJUSTMENTS TO IMPROVE ROCK INTERLOCKING OVER TIME. ADEQUATE BACKFILL OR ROCK TO ROCK CONTACT SHOULD BE MAINTAINED TO PREVENT SIGNIFICANT MOVEMENT OF THE TOP ROW OF ROCKS.
  - CARE SHOULD BE TAKEN NOT TO OVER WATER THE SOIL LOCATED ABOVE AND BEHIND THE ROCK-PROTECTED SLOPES. OVER WATERING WILL LIKELY RESULT IN SOIL ERODING THROUGH THE JOINTS BETWEEN THE ROCKS. GOOD SURFACE DRAINAGE SHOULD BE PROVIDED UPSLOPE OF THE ROCK-PROTECTED SLOPES TO DIRECT RUNOFF AWAY FROM THE ROCK PROTECTED SLOPES.

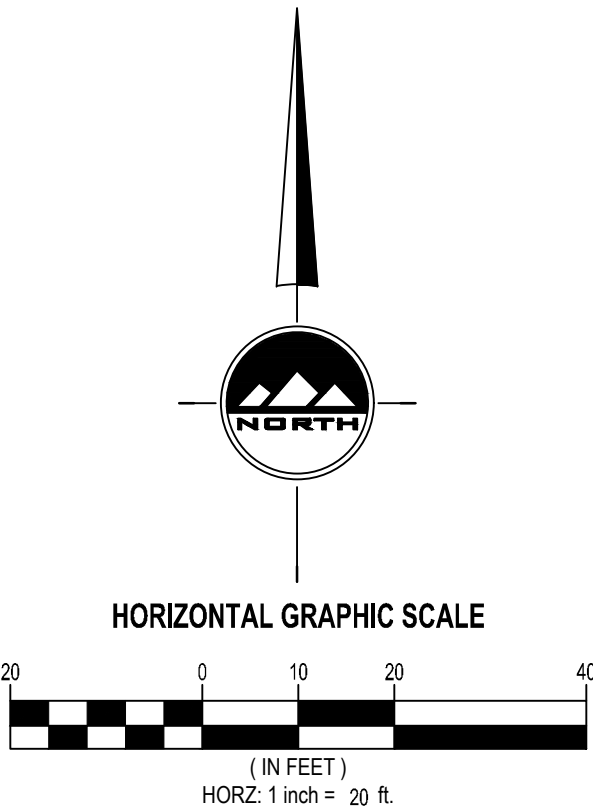


1 ROCK RETAINING WALL

SCALE: NONE

- GENERAL NOTES
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
  - ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
  - THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
  - ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XX.XX REPRESENTS AN ELEVATION OF 48XX.XX ON THESE PLANS.
  - LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
  - SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
  - EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
  - ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
  - ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
  - ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
  - THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
  - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- SNOUT 12" OR APPROVED EQUAL. CUT PIPE FLUSH WITH STRUCTURAL WALL. ENSURE PIPE/STRUCTURE INTERFACE IS SMOOTH AND FREE OF DEBRIS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. INSTALL ON WEST SIDE OF STORM DRAIN BOX.
  - CATCH BASIN PER CITY STANDARDS AND SPECIFICATIONS.



EN SIGN

THE STANDARD IN ENGINEERING

SALT LAKE CITY

45 W. 10000 S., Suite 500  
Sandy, UT 84070  
Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

TOOELE

Phone: 435.843.3590

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:

ALPINE ANIMAL CLINIC  
424 ALPINE HIGHWAY  
ALPINE, UTAH 84004

CONTACT:

MICHAEL KENDIG  
PHONE: 801-318-4406

ALPINE ANIMAL CLINIC

424 ALPINE HIGHWAY  
ALPINE, UTAH

REGISTERED PROFESSIONAL ENGINEER

09/02/2021

5150016-2202

BRADEN D. Breda

STATE OF UTAH

GRADING PLAN

PROJECT NUMBER

9164

PRINT DATE

9/1/21

DRAWN BY

P. HARRIS

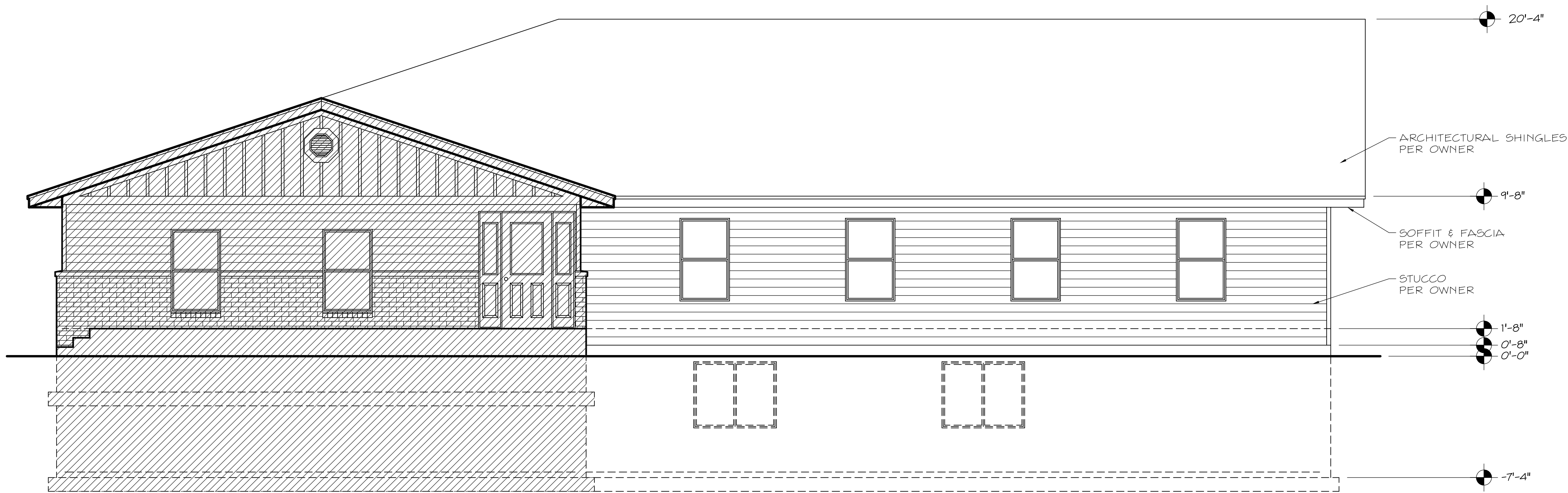
CHECKED BY

PROJECT MANAGER

P. HARRIS

C-300





FRONT ELEVATION

SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1' - 0"

NOTE:  
FLOOR HEIGHT, CEILING HEIGHT, ROOF PITCH AND  
EXTERIOR FINISH TO MATCH EXISTING.

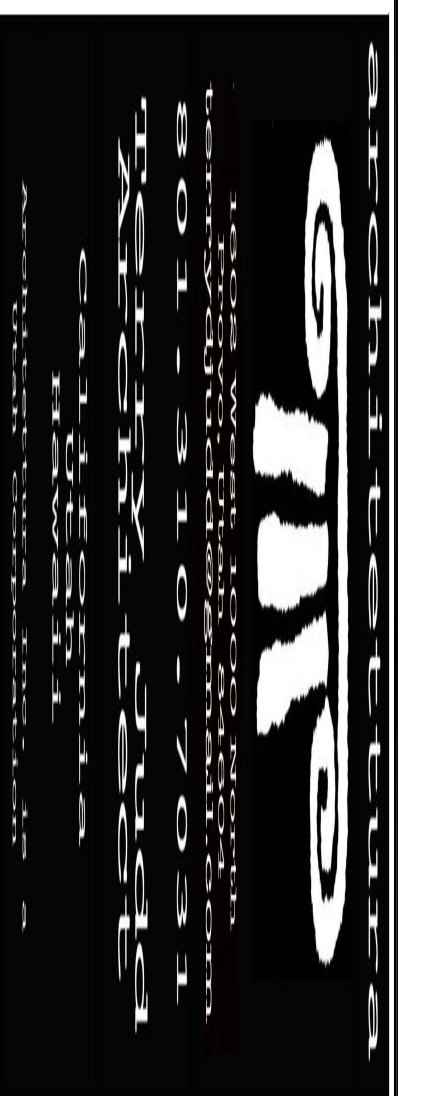
EXIST. BUILDING

REVISIONS

ALPINE ANIMAL CLINIC (ADDITION)

ELEVATIONS

ALPINE, UTAH



DRAWN BY:

JM

DATE:

7/20

SCALE:

1/4" = 1' - 0"

PROJECT #

2K2023

SHEET #

A5

REVISIONS

ALPINE ANIMAL CLINIC (ADDITION)

ELEVATIONS

ALPINE, UTAH

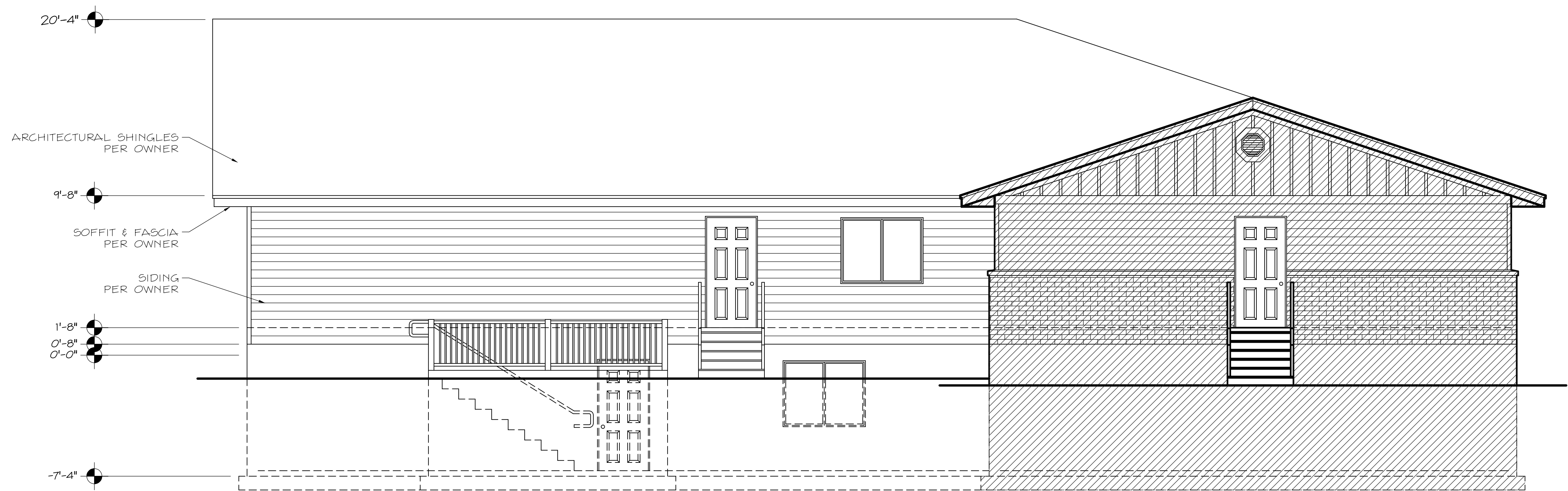
DRAWN BY: Jm

DATE: 7/20

SCALE: 1/4" = 1' - 0"

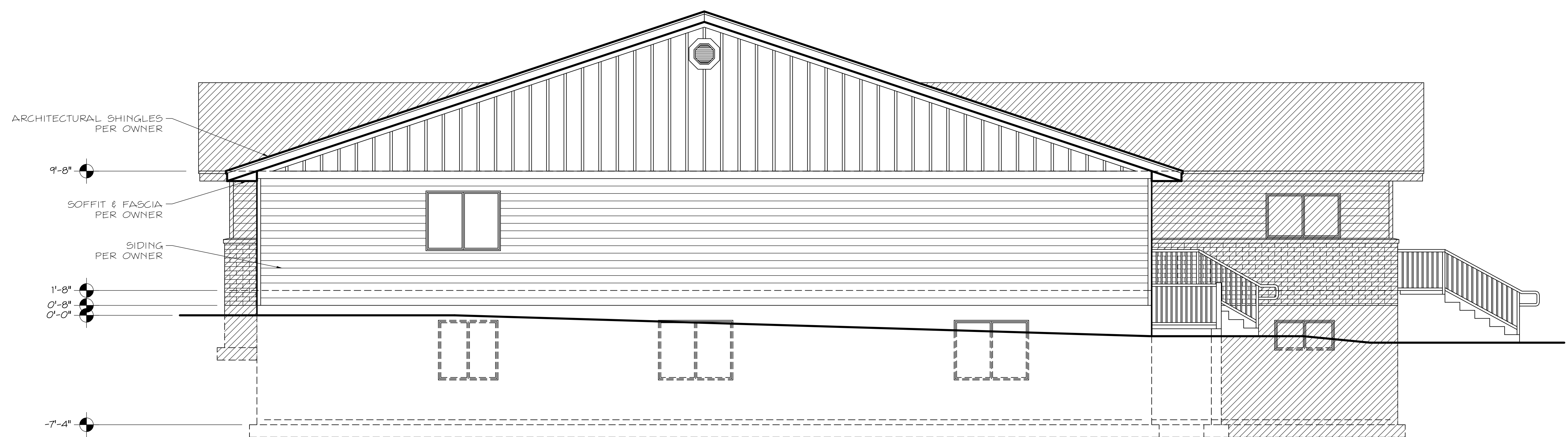
PROJECT # 2K2023

SHEET # A6



BACK ELEVATION

SCALE: 1/4" = 1' - 0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1' - 0"

NOTE:  
FLOOR HEIGHT, CEILING HEIGHT, ROOF PITCH AND  
EXTERIOR FINISH TO MATCH EXISTING.

= EXIST. BUILDING



## **ALPINE CITY COUNCIL AGENDA**

**SUBJECT: Site Plan – Links and Kings Heindorff Building – 62 South Main Street**

**FOR CONSIDERATION ON: 28 September 2021**

**PETITIONER: Patrick Todd with Holmes Homes**

**ACTION REQUESTED BY PETITIONER: Approve the proposed site plan.**

### **BACKGROUND INFORMATION:**

The applicant is seeking to build a new building on the west end of the Links and Kings property. The new building would serve as a residence on the upper floor, with a large garage on the ground floor. The site is located within the Business Commercial Zone and the Gateway Historic District. The proposed building measures 5,549 square feet in size and would be built on the same property as the existing Links and Kings building. The property is approximately 0.64 acres in size. The applicant is seeking approval of the proposed site plan.

On September 21, 2021, the Planning Commission recommended that the site plan be approved with the following conditions:

- That the City allow the access easement area to not be included in calculating the landscaping requirement; and
- That the front two parking stalls be converted to landscaping.

### **MODEL MOTIONS**

#### **SAMPLE MOTION TO APPROVE:**

I move that the site plan for the Links and Kings Heindorff Building be approved as proposed.

#### **SAMPLE MOTION TO APPROVE WITH CONDITIONS:**

I move that the site plan for the Links and Kings Heindorff Building be approved with the following conditions/changes:

- \*\*\*Insert Finding\*\*\*

#### **SAMPLE MOTION TO TABLE/DENY:**

I move that the site plan for the Links and Kings Heindorff Building be tabled/denied based on the following:

- \*\*\*Insert Finding\*\*\*



**ALPINE CITY  
STAFF REPORT**  
September 17, 2021

**To:** Alpine City Planning Commission  
Business Date: September 17, 2021

**From:** Staff

**Prepared By:** Austin Roy, City Planner  
Planning & Zoning Department

Jed Muhlestein, City Engineer  
Engineering & Public Works Department

**Re: Site Plan Review – Links and Kings Heindorff Building**

Applicant: Patrick Todd with Holmes Homes  
Project Location: 62 South Main Street  
Zoning: Business Commercial Zone  
Acreage: Approximately 0.64 Acres  
Building Area: 5,549 Square Feet  
Request: Approve the site plan

**SUMMARY**

The applicant is seeking to build a new building on the west end of the Links and Kings property. The new building would serve as a residence on the upper floor, with a large garage on the ground floor. The site is located within the Business Commercial Zone and the Gateway Historic District. The proposed building measures 5,549 square feet in size and would be built on the same property as the existing Links and Kings building. The property is approximately 0.64 acres in size. The applicant is seeking approval of the proposed site plan.

**BACKGROUND**

The existing Links and Kings building (4,153 square feet) is on the front end of the property directly on Main Street and was built in 1948. Since that time, the building has seen various uses but is currently used as the facility for Links and Kings. The property has an access easement (5,873 square feet) that runs the entire north boundary of the property. The access easement measures 22 feet wide and 0.134 acres of the total property.

**ANALYSIS**

**Location**

The proposed building shows a side setback of 10 feet from the side property line to the south and 22 feet from the rear property line to the west, which meets the setback requirements for the zone.

#### Off-Street Parking

City code requires (3.24.030) single-unit dwellings to have 2 off street parking stalls and offices and personal services to have 4 spaces for every 1,000 square feet. Based on the square footage and use of the proposed Heindorff building (5,549 square feet) and the square footage and use of the existing Links and Kings building (4,153 square feet) 17 off-street parking spaces are required. The proposal exceeds the off-street parking requirements with 28 parking stalls.

#### Screening

“The sides and rear of any off-street parking area that adjoins a residence or residential zone shall be required to be screened by a masonry wall or solid visual barrier fence” (3.24.020). The parking area is separated from residences by a 22-foot-wide access easement, and thus no screening is required.

#### Landscaping

All areas of a site which are not devoted to buildings or off-street parking are required to be landscaped, with a minimum of 20 percent of the total site to be landscaped (3.07.080). The landscaping plan shows that 4,524 square feet landscaped. The total property is 28,428 square feet. The proposed landscaping equals 16 percent of the total area.

**The applicant is asking that the 5,873 square foot access easement not be counted against the landscaping requirement** since it is not able to be developed and is required to be paved to preserve access to neighboring properties. If the total property square footage were adjusted accordingly, the net area equates to 22,555 square feet, and 4,524 square feet of landscaped area would equal 20.06 percent of the net area.

#### Trash Storage

Trash receptacles will be stored inside of the building, no outdoor trash enclosure is required.

#### Height of Building

The height of the proposed building meets the requirements of the Business Commercial zone, measuring 30 feet 10 inches to the midpoint of the roof. Maximum height allowed is 34 feet as measured to the midpoint of the roof.

#### Design

The proposed building is a combination of stone, stucco and metal. Architectural style appears to be consistent with other buildings in the business district.

### **REVIEWS**

#### **PLANNING AND ZONING DEPARTMENT REVIEW**

The analysis section in the body of this report serves as the Planning and Zoning Department review.



## ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW

### Streets

The application is for a new building on an existing site. The proposed building is essentially a garage with a small living space above the garage, an apartment. All site plans must adhere to the Off-Street Parking Ordinance (Article 3.24). The existing parking area consists of a paved parking lot as required by ordinance. The parking area is shown to be restriped. Parking is discussed in the Planner's Review.

A lighting plan for the new building was submitted and approved. The lighting plan consists of canned lights under the eaves of the new building, over the parking area only. This lighting is sufficient for the building being proposed and will not negatively affect neighboring properties.

### Utilities

Sewer and water services for the new building will connect to the services that already exist on the lot.

Stormwater facilities currently exist in the existing parking area. No new improvements to the stormwater system will be required.

### Other

The water policy has been previously met for the site.

## LONE PEAK FIRE DEPARTMENT REVIEW

The proposed building is being considered a residence and thus does not require a review from the fire department.

## NOTICING

Notice has been properly issued in the manner outlined in City and State Code

## **STAFF RECOMMENDATION**

Approve the site plan as proposed. Findings are outlined below.

## **MODEL MOTIONS**

### **SAMPLE MOTION TO APPROVE**

I move to recommend approval of the proposed site plan for the Links and Kings Heindorff Building with the following conditions:

- \*\*\*Insert Finding\*\*\*

### **SAMPLE MOTION TO TABLE/DENY**

I move to recommend that the site plan for the Links and Kings Hendorff Building be tabled/denied based on the following:

- \*\*\*Insert finding\*\*\*







GENERAL

1.

VISITS TO THE JOB SITE BY REPRESENTATIVES OF THE ARCHITECT OR ENGINEER DO NOT CONSTITUTE APPROVAL OF THE WORK PERFORMED BY THE CONTRACTOR OR HIS SUBCONTRACTORS AND ARE MERELY FOR THE PURPOSE OF OBSERVING THE WORK PERFORMED.
2.

CONTRACTOR AND/OR SUB-CONTRACTORS SHALL NOT SCALE THE DRAWINGS OR DETAILS; CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE JOB SITE AND SHALL BE RESPONSIBLE FOR CHECKING AND COORDINATING ALL DIMENSIONS, ELEVATIONS, ETC., PRIOR TO COMMENCING THE WORK.
3.

ALL DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE FACES OF CONCRETE FOUNDATION WALLS AND EXTERIOR STUD WALLS, AND INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OR SHOWN OTHERWISE.
4.

CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONSTRUCTION DRAWINGS AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN ALL CASES, UNLESS OTHERWISE DIRECTED, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN AND BE PERFORMED.
5.

ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL RESIDENTIAL CODE (IRC) FOR ONE- AND TWO-FAMILY DWELLINGS, LATEST EDITION.
6.

MECHANICAL AND ELECTRICAL INSTALLATIONS SHALL CONFORM TO THE LATEST EDITION OF THE IRC OR LOCAL AMENDED CODES.
7.

CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM THEIR TRADES AND DUTIES IN A MANNER CONFORMING TO THE PROCEDURES AND REQUIREMENTS AS STATED IN THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (OR LATEST ACCEPTED CODE ADOPTED BY THE LOCAL BUILDING OFFICIALS).
8.

CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION WITHIN AND ADJACENT TO THE JOB SITE.
9.

ANY SPECIAL INSPECTION REQUIRED BY THE BUILDING OFFICIAL OR THE INTERNATIONAL RESIDENTIAL CODE (IRC) ARE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
10.

TEMPORARY BRACING SHALL BE PROVIDED WHEREVER NECESSARY TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED, INCLUDING WIND. SUCH BRACING SHALL BE LEFT IN PLACE AS LONG AS IT DOES NOT INTERFERE WITH THE COMPLETION OF CONSTRUCTION OR THE FINISHED SPACE.
11.

FINISH GRADE SHALL SLOPE AWAY FROM BUILDING 5% MINIMUM. ALL DRAINAGE FROM THE LOT SHALL DRAIN INTO AN APPROVED DRAINAGE SYSTEM.
12.

ALL EARTH FILL TO RECIEVE CONCRETE FLOORS, WALKS, DRIVES, ETC., SHALL BE FULLY COMPACTED TO 95% MAXIMUM DENSITY.
13.

PROVIDE FIRE BLOCKING AT ALL PARTITIONS OVER 10'-0" IN HEIGHT AND AT SOFFITS, BEARING WALLS, FLOOR AND CEILING JOIST LINES, AND OTHER LOCATIONS THAT COULD ALLOW PASSAGE OF FLAMES.
14.

WINDOW SIZES MAY VARY WITH TYPE AND MANUFACTURER. CONTRACTOR SHALL VERIFY THAT WINDOWS USED COMPLY WITH EXIT, LIGHT AND VENTILATION REQUIREMENTS OF IRC.
15.

ALL WINDOWS SHALL BE DOUBLE-GLAZED WITH A MINIMUM 1/4" AIR SPACE AND SHALL CONFORM TO THE IRC. FRAMELESS GLASS DOORS, GLASS IN DOORS, AND ALL GLASS WITHIN 24" OF ANY DOOR AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH THE IRC.
16.

ALL WINDOWS AND DOORS SHALL BE FULLY FLASHED & CAULKED WATERTIGHT.
17.

PROVIDE FREEZEPROOF BACK-FLOW PREVENTION HOSE BIBS, PER LATEST EDITION OF IRC.
18.

PLUMBING VENTS SHALL BE AT LEAST 3' ABOVE OR 10' AWAY FROM ALL OUTSIDE AIR-INTAKE OPENINGS, PER LATEST EDITION OF IRC.
19.

PROVIDE EXPANSION TANK ON HOT WATER HEATER SUPPORTED AND SCURED, PER LATEST EDITION OF IRC.
20.

FLUE AND EXHAUST VENTS SHALL TERMINATE 4' BELOW, OR 4' HORIZONTALLY AND AT FLUE AND EXHAUST VENTS SHALL ALSO BE AT LEAST 3' ABOVE AN OUTSIDE AIR INLET LOCATED WITHIN 10' AND AT LEAST 4' FROM A PROPERTY LINE, PER LATEST EDITION OF IRC.
21.

PROVIDE GUARD RAILS AND HAND RAILS FOR PORCHES AND PATIOS WHEN THE FINISHED GRADE IS 30" OR MORE BELOW THE SLAB HEIGHTS OR DECK HEIGHTS IN COMPLIANCE WITH THE LATEST EDITION OF IRC.
22.

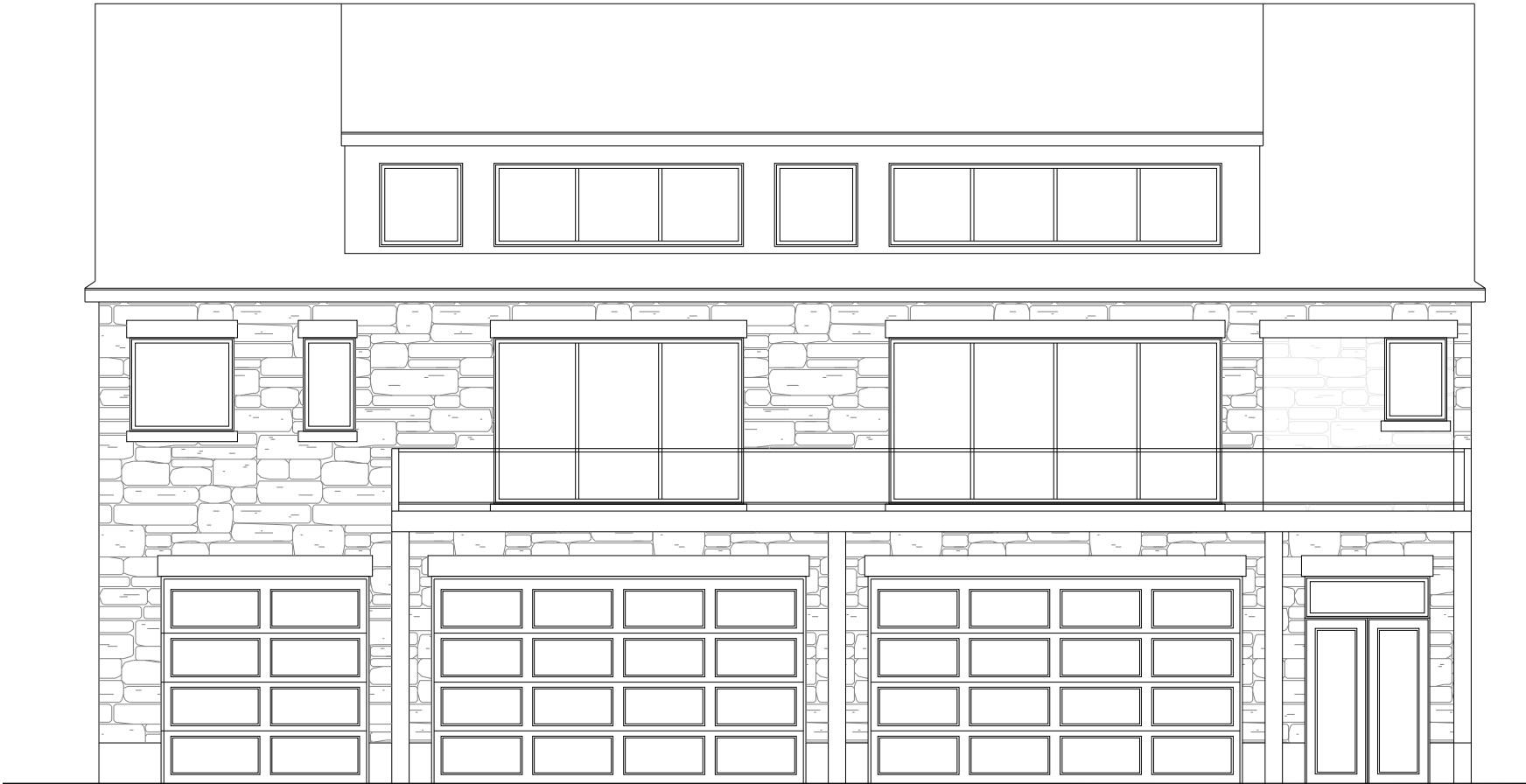
PROVIDE 1 HOUR RATED FIRE WALL AND EAVE CONSTRUCTION WHERE EAVE AND OR WALL ARE LESS THEN 5' AWAY FROM PROPERTY LINES AND AT LEAST 10' FROM ADJACENT BUILDINGS. EVES AT PARTY WALLS AND PARTY WALLS THEMSELVES MUST BE 2 HOUR RATED
23.

AIR DUCT LEAKAGE TESTING IS REQUIRED PER LATEST EDITION OF IRC.

CUSTOM PLAN

ALPINE

SQUARE FOOTAGE		
FLOOR	GROSS	
FIRST FLOOR (FIN.)		252
SECOND FLOOR (FIN.)		2506
TOTAL		2758
GARAGE		2371
DECK		420



SHEET INDEX

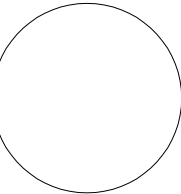
A0.0	COVER SHEET - INDEX
A1.0	FOUNDATION PLAN
A2.0	MAIN FLOOR PLAN OPT #1
A2.1	SECOND FLOOR PLAN OPT #1
A2.2	MAIN FLOOR PLAN OPT #2
A2.3	SECOND FLOOR PLAN OPT #2
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A4.0	SECTIONS
A4.1	SECTIONS
A5.0	ELECTRICAL PLANS
A6.0	FLOOR & ROOF FRAMING LAYOUT
AD1	ARCHITECTURAL DETAILS
AD2	ARCHITECTURAL DETAILS

S1	FOUNDATION PLAN
S2	FIRST FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN

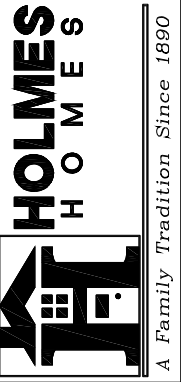
SD1	STRUCTURAL DETAILS & NOTES
SD2	STRUCTURAL DETAILS & NOTES

This use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction, or publication by any method, in whole or in part, is prohibited. This use of these plans remains with Holmes Homes without publication. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.

HOLMES HOMES  
© 2008 All Rights Reserved

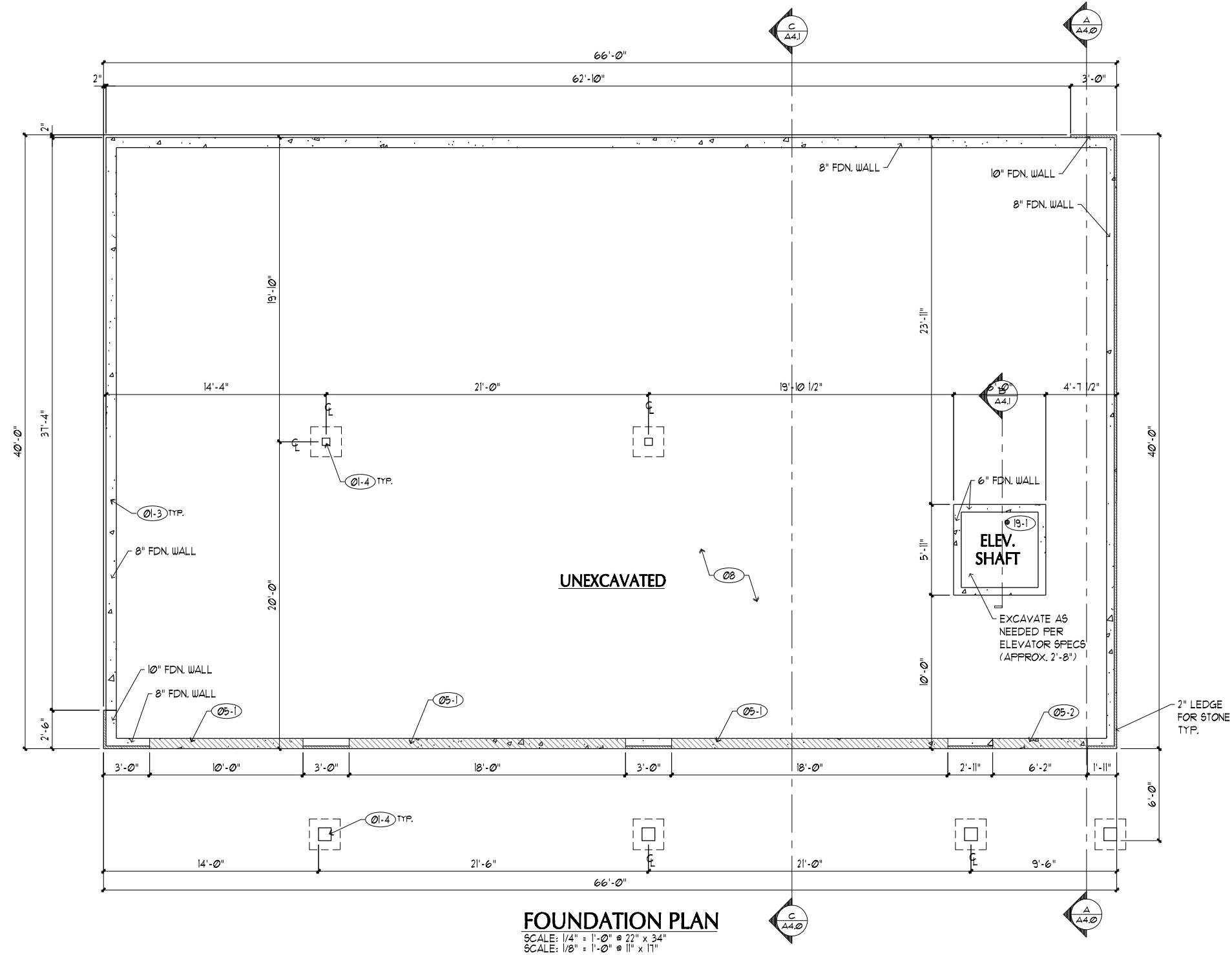


HEINDORFF RESIDENCE  
CUSTOM  
ALPINE, UTAH



Drawn by	JL
File	
Date	8.19.2021
Revisions	

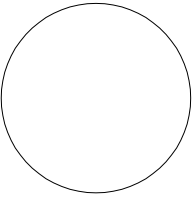
S  
H  
E  
E  
T  
  
A0.0



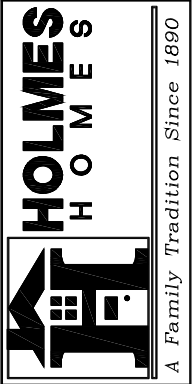
KEYNOTES	
01-3	5'-0" CONCRETE FOUNDATION WALL over 20" X 10" CONC. FOOTING REF. STRUC. DTL's
01-4	CONCRETE PIER and CONC. FOOTING REF. to STRUCURAL
05-1	BLOCK DOWN FOUNDATION WALL TO 8" BELOW DRIVEWAY FOR GARAGE SLAB ABV.
05-2	BLOCK DOWN FND. WALL 6" FOUR FLOOR SLAB OVER
08	4" CONCRETE SLAB O/H COMPACTED SUB-GRADE SLOPE 3" DOWN TO O'HEAD DOOR
19-1	PLUMBING DRAINS THIS LOCATION

This use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction, or publication by any method, in whole or in part, is prohibited. Title to the plans remains with Holmes Homes without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.

HOLMES HOMES  
© 2008 All Rights Reserved

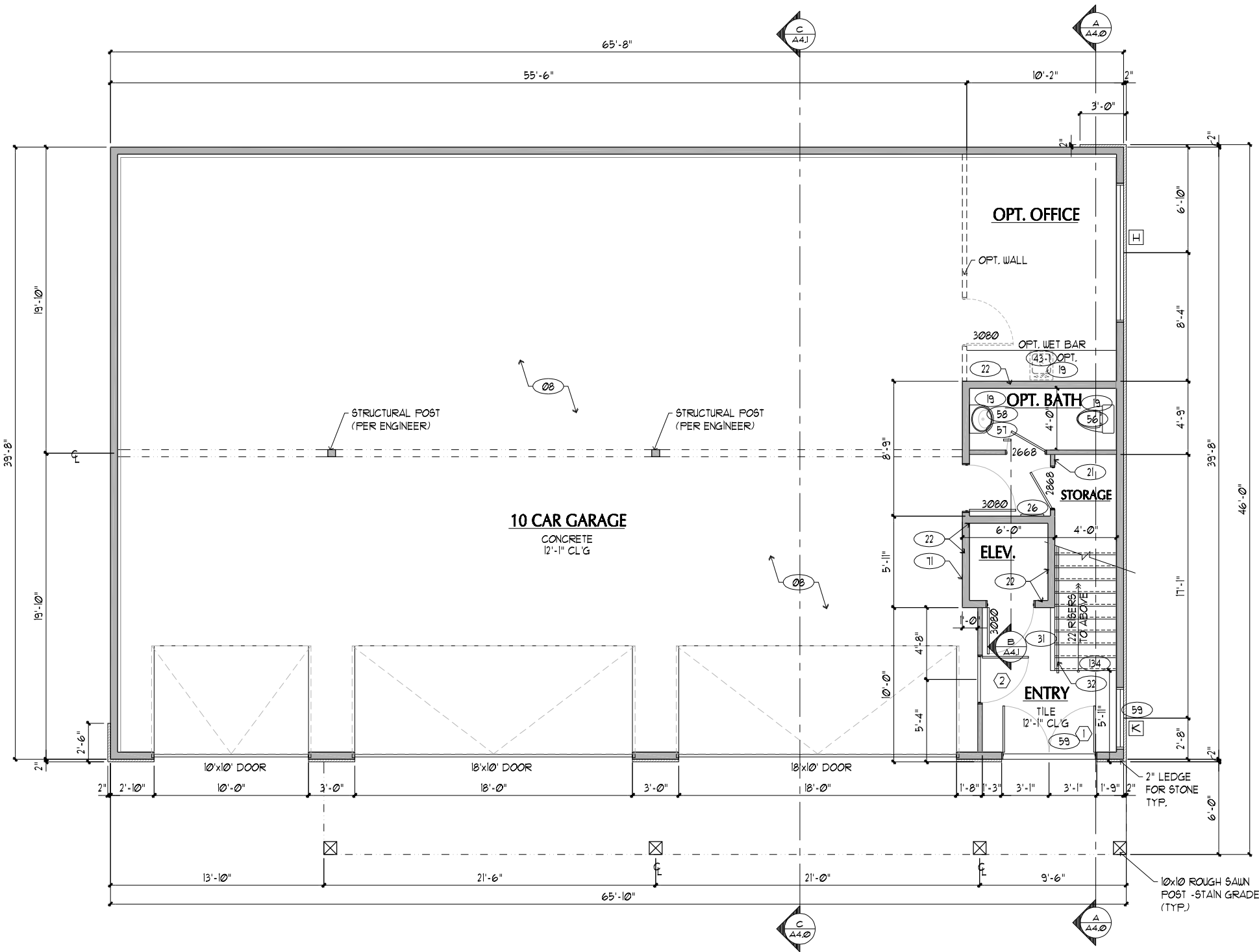


HEINDORFF RESIDENCE  
**CUSTOM**  
ALPINE, UTAH



Drawn by JL  
File  
Date 8.19.2021  
Revisions

S  
H  
E  
E  
T  
**A1.0**



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0" @ 22" x 34"  
SCALE: 1/8" = 1'-0" @ 11" x 17"

### KEYNOTES

- 08 4" CONCRETE SLAB O/H COMPACTED SUB-GRADE SLOPE 3" DOWN TO O'HEAD DOOR
- 134 2x4 PRESSURE TREATED LUMBER AS PER 2015 IRC R317.1.2
- 19 OPT. PLUMBING DRAINS THIS LOCATION
- 21 INTERIOR BEARING WALL with 2x4 STUDS @ 16" O.C. U.N.O.
- 22 INTERIOR BEARING WALL with 2x6 STUDS @ 16" O.C. U.N.O.
- 26 PROVIDE 30" W. x 6'-0" H. CLEAR ACCESS SPACE TO ELEC. PANEL
- 31 36" HIGH KNEE WALL. SLOPE with STAIRS: GYP. BD. CAP
- 32 2" TRADITIONAL SHAPED HANDRAIL, WALL MOUNTED @ 36" HIGH
- 43-1 PREP SINK with DISPOSAL
- 56 16 GALLON FLUSH WATER CLOSET 30" MIN. CLEARANCE.
- 57 24" x 36" MIRROR ABOVE LAVATORY / VANITY
- 58 PEDESTAL LAV.
- 59 TEMPERED GLASS
- 71 5/8" TYPE 'X' GYP. BD. ON GAR. /HOUSE COMMON WALLS AND (2) LAYERS 5/8" TYPE 'X' GYP. BD. AT GARAGE CEILING with FLOOR ABOVE.

### WINDOW & DOOR SCHEDULE

MARK	WINDOW OR DOOR SIZE	REMARKS
A	3040 FIXED	TEMPERED
B	2646 FIXED	TEMPERED
C	5046 FIXED	TEMPERED
D	4020 FIXED	-
E	2040 SINGLE HUNG	TEMPERED
F	5050 SL	-
G	4046 SL	-
H	3060 FIXED	(3) EQUAL PANELS, DIRECT SET
J	8060 FX TEMPERED	(2) EQUAL PANELS, DIRECT SET
K	4060 FIXED	TEMPERED
L	4040 FIXED	PAINT FLAT BLACK
M	12040 FIXED	(3) EQUAL PANELS, DIRECT SET
N	16040 FIXED	(4) EQUAL PANELS, DIRECT SET
1	6080 FULL LITE w/ 6020 TRANSOM	FRENCH DOORS, TEMPERED
2	3080 SC.	20 MIN. FIRE RATED with CLOSER and ALUM. THRESHOLD
3	8080 GLASS SLIDER	(2) EQUAL PANELS, TEMPERED (1) OPERABLE PANEL
4	16080 GLASS SLIDER (NANO)	(4) EQUAL PANELS, TEMPERED (3) OPERABLE PANELS
5	12080 GLASS SLIDER (NANO)	(3) EQUAL PANELS, TEMPERED (2) OPERABLE PANEL

The use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction, or publication by any method in whole or in part is prohibited. This is the plan remains with Holmes Homes without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.

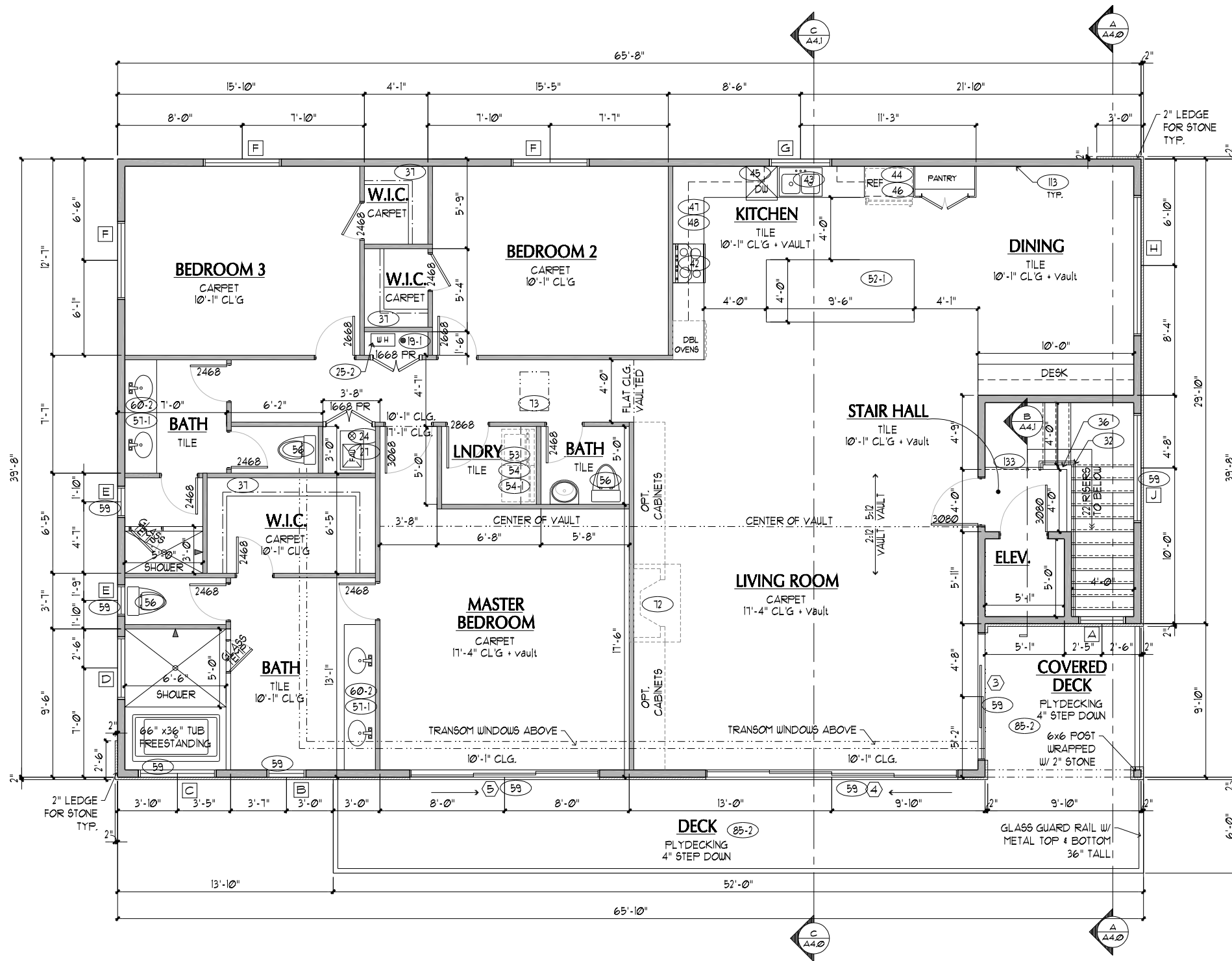
**HOLMES HOMES**  
© 2008 All Rights Reserved

HEINDORFF RESIDENCE  
**CUSTOM**  
ALPINE, UTAH



Drawn by **JL**  
File  
Date **8.19.2021**  
Revisions

**A2.0**



## SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0" @ 22" x 34"  
SCALE: 1/8" = 1'-0" @ 11" x 17"

## KEYNOTES

- Ø1-3 5'-0" CONCRETE FOUNDATION WALL over 20" x 10" CONC. FOOTING REF. STRUC. DTL's
- 113 INSULATION PER RESCHECK
- 133 STAIR STRINGER TO BE ATTACHED TO LANDINGS, SECURED AND PROTECTED TO COMPLY WITH IRC R311.5.1
- 19-1 PLUMBING DRAINS THIS LOCATION
- 24 DUCT (8" dia.) IN OUTSIDE AIR FOR COMBUSTION. PROVIDE 6" (MIN.) AIRSPACE ON COMBUSTION SIDE OF APPLIANCE. PROVIDE 30" WIDE (MIN.) CLEAR ACCESS SPACE TO APPLIANCE CONTROLS
- 25-2 TANKLESS D.V. WATER HTR. w/ HEAT CK. VALVES @ OUTLET & INLET, INSTALLED PER MANUFACTURER SPECIFICATIONS
- 21 FLU CHASE ABOVE - OFFSET FLUE IN ATTIC TO BACK SIDE OF RIDGE.
- 32 2" TRADITIONAL SHAPED HANDRAIL, WALL MOUNTED @ 36" HIGH
- 36 36" HIGH KNEE WALL with GYP. BD. CAP. UNO. - OPT. BALUSTERS
- 37 HANGING ROD & 16" SHELF
- 42 30" RANGE with EXHAUST HOOD ABOVE MAINTAIN 30" MIN. CLEARANCE BETW. RANGE TOP and COMBUSTIBLE MATERIALS
- 43 DOUBLE SINK with DISPOSAL
- 44 REFRIGERATOR - PROVIDE 36" CLEAR SPACE
- 45 DISHWASHER
- 46 24" DEEP CABINET ABOVE.
- 47 WALL CABINET ABOVE
- 48 PLASTIC LAMINATE COUNTER TOP with 4" BACKSPLASH
- 52-1 ISLAND CABS & CTR TOP SIZE PER PLAN
- 53 16" SHELF ABOVE.
- 54 WASHER & DRYER HOOK-UP. - 4" VENT DRYER TO OUTSIDE with RAINCAP. MAX LENGTH 15' with (2) 90 DEGREE OFFSETS
- 54-1 PROVIDE 100 SQ. IN. RETURN AIR TO LAUNDRY ROOM
- 56 16 GALLON FLUSH WATER CLOSET 30" MIN. CLEARANCE.
- 51-1 FULL WIDTH x 36" MIRROR ABOVE LAVATORY / VANITY
- 59 TEMPERED GLASS
- 60-2 VANITY CAB w/ LAV. and PLAS. LAM. TOP AND 4" BACK SPLASH - LENGTH PER PLAN
- 12 GAS FIREPLACE APPLIANCE - UL LISTED. STYLE & SIZE PER BUILDER. OPTIONAL TILE HEARTH & FACE. DIRECT VENT THROUGH WALL OR ROOF PER PLAN - OPTION
- 13 22" x 30" ATTIC ACCESS w/ WEATHER STRIPING ON ALL 4 SIDES AND INSULATION PER IRC 2012 N102.2.4
- 80 STUCCO FINISH SYSTEM
- 85-2 FLYDECK DECK SYSTEM PER MFR. SPECS.

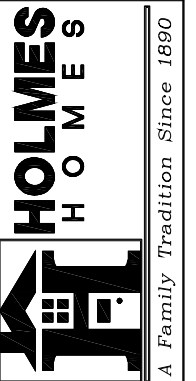
## WINDOW & DOOR SCHEDULE

MARK	WINDOW OR DOOR SIZE	REMARKS
A	3040 FIXED	TEMPERED
B	2646 FIXED	TEMPERED
C	5046 FIXED	TEMPERED
D	4020 FIXED	-
E	2040 SINGLE HUNG	TEMPERED
F	5050 SL	-
G	4046 SL	-
H	9060 FIXED	(3) EQUAL PANELS, DIRECT SET
J	8060 FX	TEMPERED (2) EQUAL PANELS, DIRECT SET
K	4060 FIXED	TEMPERED
L	4040 FIXED	PAINT FLAT BLACK
M	12040 FIXED	(3) EQUAL PANELS, DIRECT SET
N	16040 FIXED	(4) EQUAL PANELS, DIRECT SET
1	6080 FULL LITE w/ 6020 TRANSOM	FRENCH DOORS, TEMPERED
2	3080 SC.	20 MIN. FIRE RATED with CLOSER and ALUM. THRESHOLD
3	8080 GLASS SLIDER	(2) EQUAL PANELS, TEMPERED (1) OPERABLE PANEL
4	16080 GLASS SLIDER (NANO)	(4) EQUAL PANELS, TEMPERED (3) OPERABLE PANELS
5	12080 GLASS SLIDER (NANO)	(3) EQUAL PANELS, TEMPERED (2) OPERABLE PANEL

The use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. No use, reproduction, or publication in any medium, in whole or in part, is prohibited. Title to the plans remains with Holmes Homes without prejudice. Your contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.

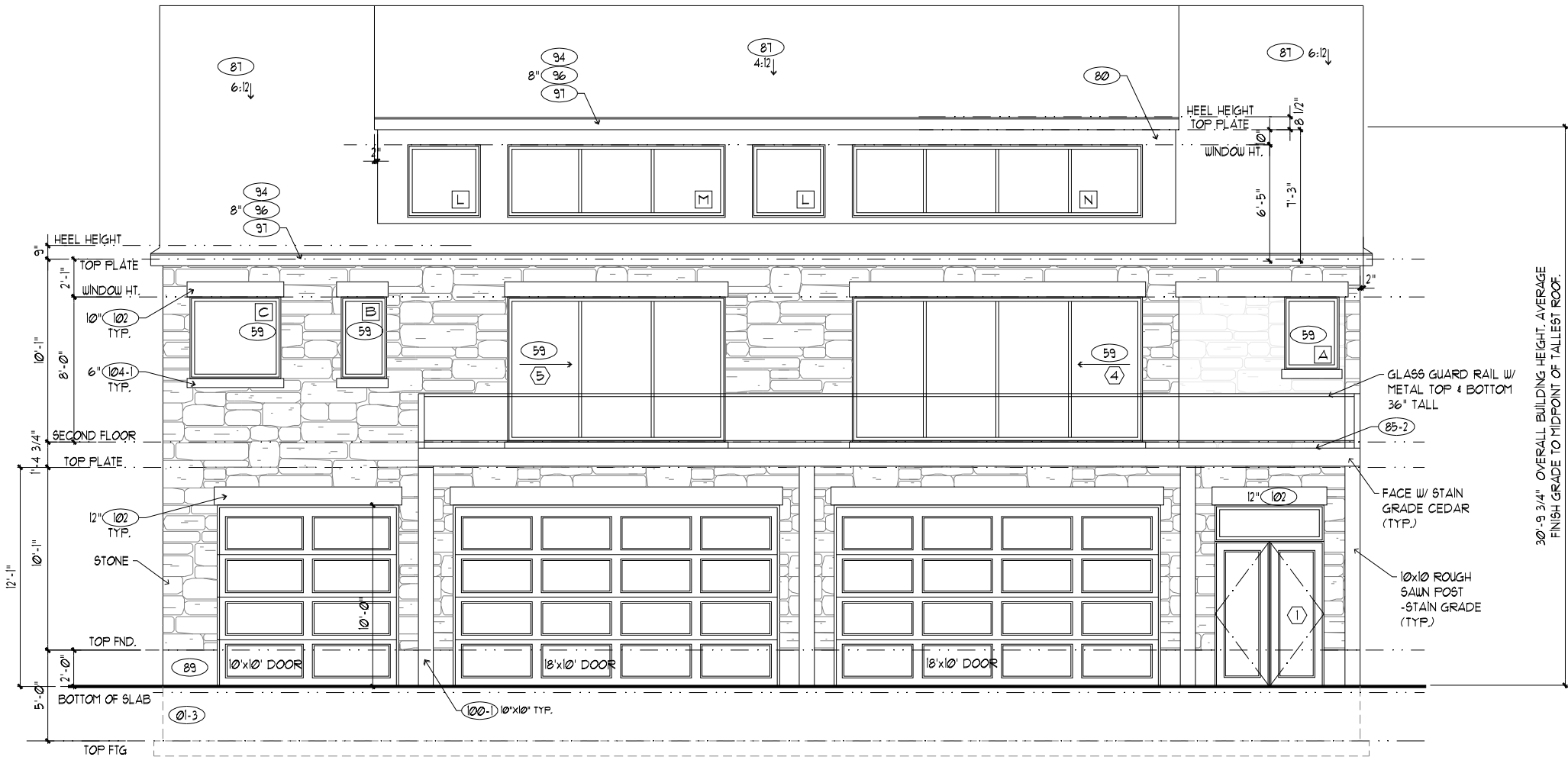
HOLMES HOMES  
© 2008 All Rights Reserved

HEINDORFF RESIDENCE  
**CUSTOM**  
ALPINE, UTAH



Drawn by JL  
File  
Date 8.19.2021  
Revisions

SHEET  
**A2.1**



### FRONT ELEVATION

SCALE: 1/4" = 1'-0" @ 22" x 34"  
SCALE: 1/8" = 1'-0" @ 11" x 11"

### KEYNOTES

01-3	5'-0" CONCRETE FOUNDATION WALL over 20" X 10" CONC. FOOTING REF. STRUC. DTL's
100-1	STRUCTURAL BRG. POST COMPOSITE WRAP TO SIZE NOTED
102	STUCCO over 1" FOAM INSULATION. DIMENSIONS PER ELEVATION
104-1	STUCCO over BUILT-UP 1" FOAM INSUL. SLOPE TOP EDGE 1" TYP. - SIZE NOTED
59	TEMPERED GLASS
80	STUCCO FINISH SYSTEM
85-2	PLYDECK DECK SYSTEM PER MFR. SPECS.
81	ARCHITECTURAL PROFILE, COMPOSITION SHINGLES PER IRC R905
89	PLASTER EXPOSED FOUNDATION
94	CONTINUOUS ALUMINUM DRIP EDGE
96	ALUMINUM FASCIA (SIZE AS NOTED)
91	VENTED ALUMINUM SOFFIT

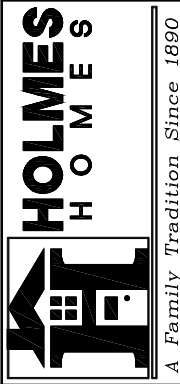
### WINDOW & DOOR SCHEDULE

MARK	WINDOW OR DOOR SIZE	REMARKS
A	3040 FIXED	TEMPERED
B	2646 FIXED	TEMPERED
C	5046 FIXED	TEMPERED
D	4010 FIXED	-
E	2040 SINGLE HUNG	TEMPERED
F	5050 SL	-
G	4046 SL	-
H	9060 FIXED	(3) EQUAL PANELS, DIRECT SET
J	8060 FX	TEMPERED (2) EQUAL PANELS, DIRECT SET
K	4060 FIXED	TEMPERED
L	4040 FIXED	PAINT FLAT BLACK
M	12040 FIXED	(3) EQUAL PANELS, DIRECT SET
N	16040 FIXED	(4) EQUAL PANELS, DIRECT SET
1	6080 FULL LITE w/ 6010 TRANSOM	FRENCH DOORS, TEMPERED
2	3080 SC.	20 MIN. FIRE RATED with CLOSER and ALUM. THRESHOLD
3	8080 GLASS SLIDER	(2) EQUAL PANELS, TEMPERED (1) OPERABLE PANEL
4	16080 GLASS SLIDER (NANO)	(4) EQUAL PANELS, TEMPERED (3) OPERABLE PANELS
5	12080 GLASS SLIDER (NANO)	(3) EQUAL PANELS, TEMPERED (2) OPERABLE PANEL

This use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction, or publication by any method, in whole or in part, is prohibited. Title to the plans remains with Holmes Homes without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.

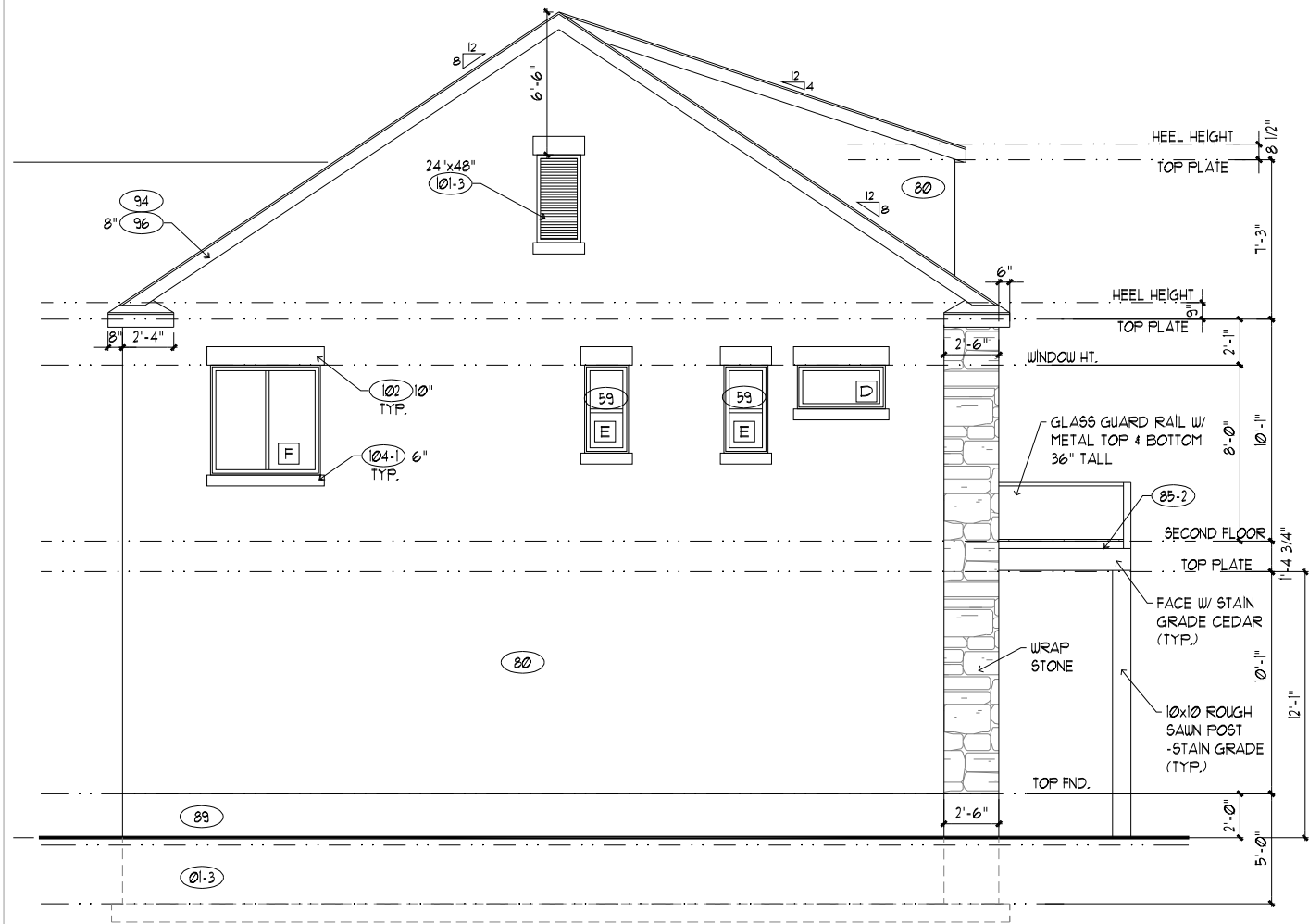
HOLMES HOMES  
© 2008 All Rights Reserved

HEINDORFF RESIDENCE  
CUSTOM  
ALPINE, UTAH



Drawn by JL  
File  
Date 8.19.2021  
Revisions

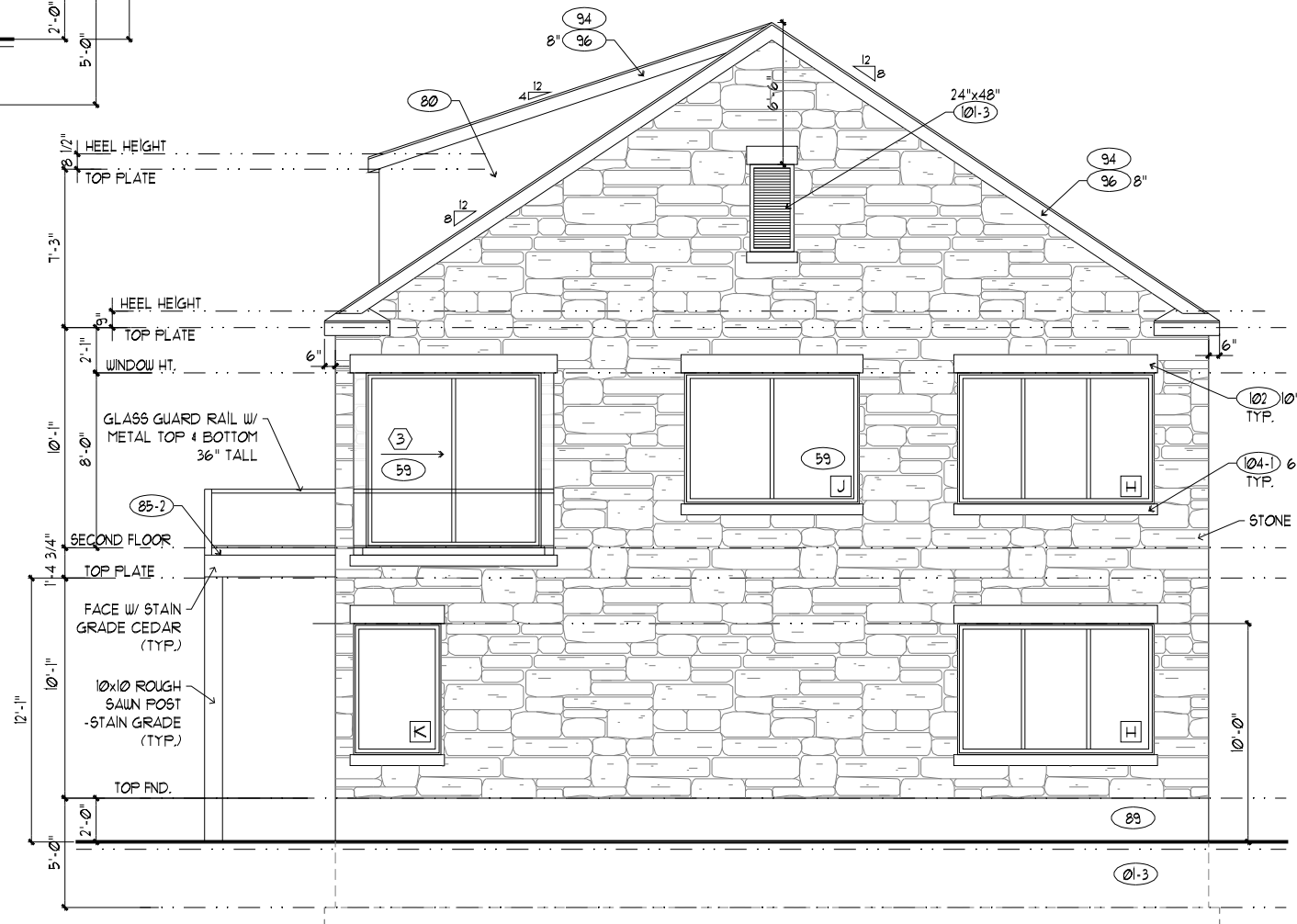
SHEET  
A3.0



LEFT ELEVATION  
SCALE: 1/4" = 1'-0" @ 22" x 34"  
SCALE: 1/8" = 1'-0" @ 11" x 17"

KEYNOTES	
Ø1-3	5'-0" CONCRETE FOUNDATION WALL over 20" x 10" CONC. FOOTING REF. STRUC. DTL's
Ø1-3	ARCHITECTURAL ALUMINUM ATTIC LOUVRE VENT PER MFR. - SIZE NOTED
Ø2	STUCCO over 1" FOAM INSULATION. DIMENSIONS PER ELEVATION
Ø4-1	STUCCO over BUILT-UP 1" FOAM INSUL. SLOPE TOP EDGE 1" TYP. - SIZE NOTED
59	TEMPERED GLASS
80	STUCCO FINISH SYSTEM
85-2	PLYDECK DECK SYSTEM PER MFR. SPECS.
81	ARCHITECTURAL PROFILE, COMPOSITION SHINGLES PER IRC R305
89	PLASTER EXPOSED FOUNDATION
94	CONTINUOUS ALUMINUM DRIP EDGE
96	ALUMINUM FASCIA (SIZE AS NOTED)

WINDOW & DOOR SCHEDULE		
MARK	WINDOW OR DOOR SIZE	REMARKS
A	3040 FIXED	TEMPERED
B	2646 FIXED	TEMPERED
C	5046 FIXED	TEMPERED
D	4020 FIXED	-
E	2040 SINGLE HUNG	TEMPERED
F	5050 SL	-
G	4046 SL	-
H	9060 FIXED	(3) EQUAL PANELS. DIRECT SET
J	8060 FX TEMPERED	(2) EQUAL PANELS. DIRECT SET
K	4060 FIXED	TEMPERED
L	4040 FIXED	PAINT FLAT BLACK
M	12040 FIXED	(3) EQUAL PANELS. DIRECT SET
N	16040 FIXED	(4) EQUAL PANELS. DIRECT SET
1	6080 FULL LITE w/ 6020 TRANSOM	FRENCH DOORS. TEMPERED
2	3080 SC.	20 MIN. FIRE RATED with CLOSER and ALUM. THRESHOLD
3	8080 GLASS SLIDER	(2) EQUAL PANELS. TEMPERED (1) OPERABLE PANEL
4	16080 GLASS SLIDER (NANO)	(4) EQUAL PANELS. TEMPERED (3) OPERABLE PANELS
5	12080 GLASS SLIDER (NANO)	(3) EQUAL PANELS. TEMPERED (2) OPERABLE PANEL

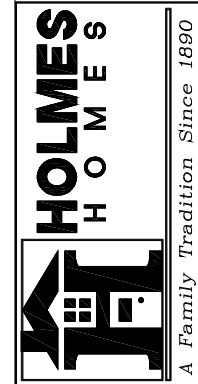


RIGHT ELEVATION  
SCALE: 1/4" = 1'-0" @ 22" x 34"  
SCALE: 1/8" = 1'-0" @ 11" x 17"

This use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction, or publication by any method, in whole or in part, is prohibited. This to the plans remains with Holmes Homes without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.

HOLMES HOMES  
© 2008 All Rights Reserved

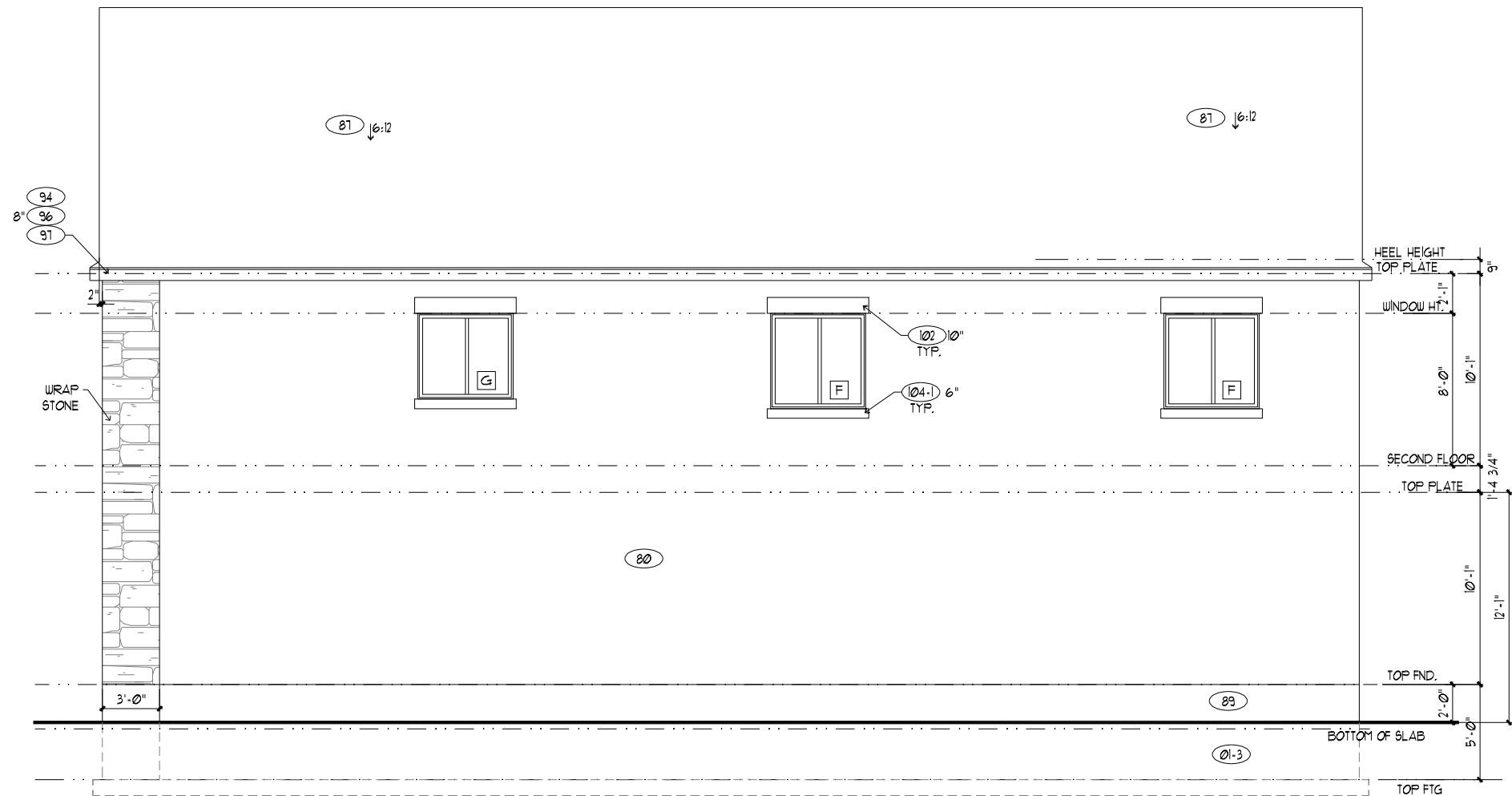
HEINDORFF RESIDENCE  
CUSTOM  
ALPINE, UTAH



Drawn by JL  
File  
Date 8.19.2021  
Revisions

SHEET  
A3.1





REAR ELEVATION  
SCALE: 1/4" = 1'-0" @ 22" x 34"  
SCALE: 1/8" = 1'-0" @ 11" x 11"

## KEYNOTES

01-3	5'-0" CONCRETE FOUNDATION WALL over 20" X 10" CONC. FOOTING REF. STRUC. DTL's
101-3	ARCHITECTURAL ALUMINUM ATTIC LOUVRE VENT PER MFR. - SIZE NOTED
102	STUCCO over 1" FOAM INSULATION. DIMENSIONS PER ELEVATION
104-1	STUCCO over BUILT-UP 1" FOAM INSUL. SLOPE TOP EDGE 1" TYP. - SIZE NOTED
59	TEMPERED GLASS
80	STUCCO FINISH SYSTEM
85-2	PLYDECK DECK SYSTEM PER MFR. SPECS.
81	ARCHITECTURAL PROFILE, COMPOSITION SHINGLES PER IRC R305
89	PLASTER EXPOSED FOUNDATION
94	CONTINUOUS ALUMINUM DRIP EDGE
96	ALUMINUM FASCIA (SIZE AS NOTED)

## WINDOW & DOOR SCHEDULE

MARK	WINDOW OR DOOR SIZE	REMARKS
A	3040 FIXED	TEMPERED
B	2646 FIXED	TEMPERED
C	5046 FIXED	TEMPERED
D	4020 FIXED	-
E	2040 SINGLE HUNG	TEMPERED
F	5050 SL	-
G	4046 SL	-
H	3060 FIXED	(3) EQUAL PANELS. DIRECT SET
J	8060 FX TEMPERED	(2) EQUAL PANELS. DIRECT SET
K	4060 FIXED	TEMPERED
L	4040 FIXED	PAINT FLAT BLACK
M	12040 FIXED	(3) EQUAL PANELS. DIRECT SET
N	16040 FIXED	(4) EQUAL PANELS. DIRECT SET
1	6080 FULL LITE w/ 6020 TRANSOM	FRENCH DOORS. TEMPERED
2	3080 SC.	20 MIN. FIRE RATED with CLOSER and ALUM. THRESHOLD
3	8080 GLASS SLIDER	(2) EQUAL PANELS. TEMPERED (1) OPERABLE PANEL
4	16080 GLASS SLIDER (NANO)	(4) EQUAL PANELS. TEMPERED (3) OPERABLE PANELS
5	12080 GLASS SLIDER (NANO)	(3) EQUAL PANELS. TEMPERED (2) OPERABLE PANEL

This use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction, or publication by any method, in whole or in part, is prohibited. Title to the plans remains with Holmes Homes without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.

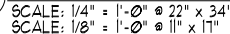
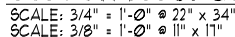
HOLMES HOMES  
© 2008 All Rights Reserved

HEINDORFF RESIDENCE  
CUSTOM  
ALPINE, UTAH

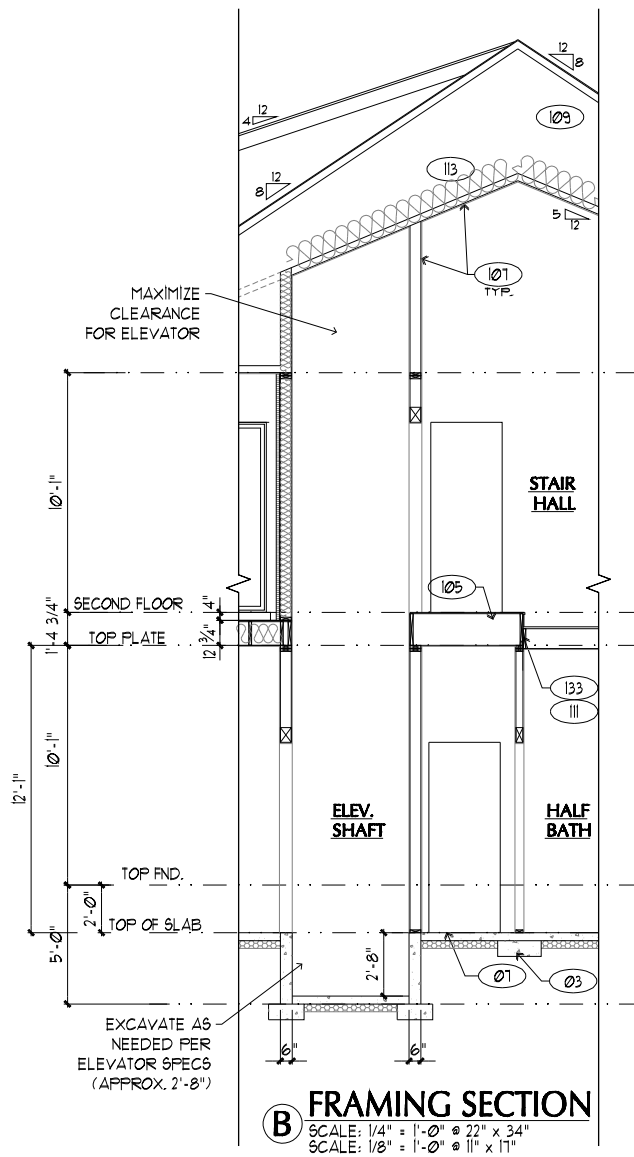


Drawn by JL  
File  
Date 8.19.2021  
Revisions

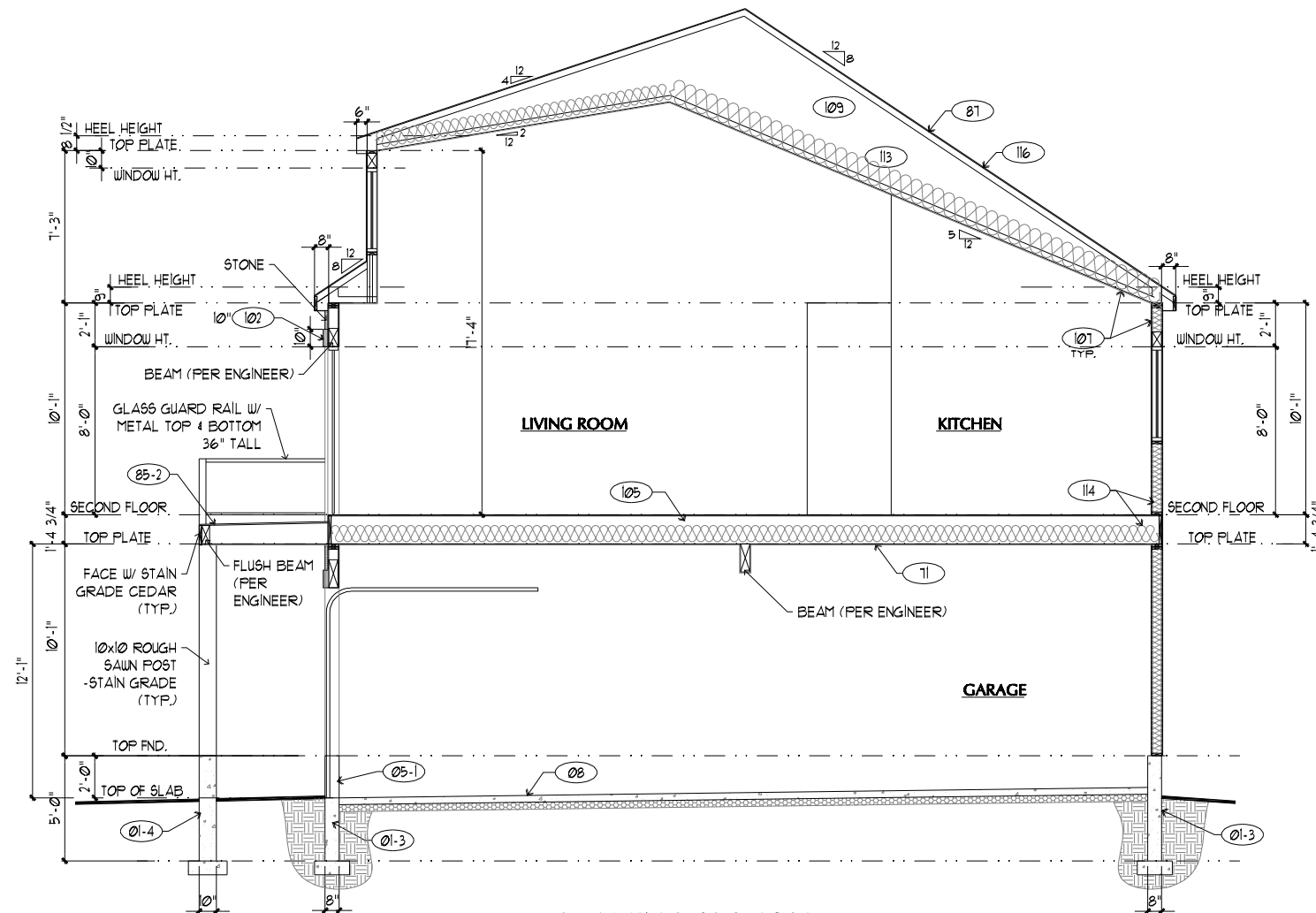
SHEET  
A3.2



**A4.0**



**B FRAMING SECTION**  
SCALE: 1/4" = 1'-0" @ 22" x 34"  
SCALE: 1/8" = 1'-0" @ 11" x 11"



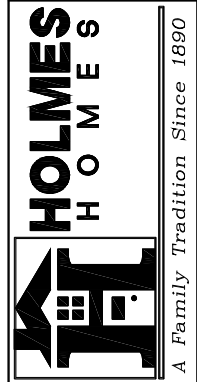
**C FRAMING SECTION**  
SCALE: 1/4" = 1'-0" @ 22" x 34"  
SCALE: 1/8" = 1'-0" @ 11" x 11"

KEYNOTES	
01-3	5'-0" CONCRETE FOUNDATION WALL over 20" x 10" CONC. FOOTING REF. STRUC. DTL's
01-4	CONCRETE PIER and CONC. FOOTING REF. to STRUCURAL
03	20" x 10" CONTINUOUS CONCRETE FOOTING OR 20" x 12" TOTAL DEPTH THICKENED SLAB with (2) #4's CONTINUOUS. REF: DTL's EXCEPT AS SHOWN ON PLANS.
05-1	BLOCK DOWN FOUNDATION WALL TO 8" BELOW DRIVEWAY FOR GARAGE SLAB ABV.
07	4" CONCRETE SLAB over 6 mil. POLY. VAPOR BARRIER lapped not less than 6" over 4" COMPACTED GRAVEL over COMPACTED SUB-GRADE
08	4" CONCRETE SLAB O/H COMPACTED SUB-GRADE SLOPE 3" DOWN TO O'HEAD DOOR
102	STUCCO over 1" FOAM INSULATION. DIMENSIONS PER ELEVATION
105	3/4" T&G OSB SUB-FLR. over FLOOR JOISTS/TRUSSES PER FRAMING PLAN
107	1/2" GYPSUM BOARD
109	PRE-MFGD. ROOF TRUSSES at 24"o.c.
111	SOLID BLOCKING and /or WEB STIFFENER PER MFGD. SPECS.
112	(3) 2x12 STRINGERS, (1) EACH SIDE & CENTER
113	INSULATION PER RESCHECK
114	INSULATION PER RESCHECK
116	7/16" OSB ROOF SHEATHING
133	STAIR STRINGER TO BE ATTACHED TO LANDINGS, SECURED AND PROTECTED TO COMPLY WITH IRC R311.5.1
134	2x4 PRESSURE TREATED LUMBER AS PER 2015 IRC R311.1.2
16	5/8" TYPE "X" GYP. BD. ON WALLS AND CEILING UNDER STAIRS
31	36" HIGH KNEE WALL. SLOPE with STAIR+ GYP. BD. CAP
32	2" TRADITIONAL SHAPED HANDRAIL, WALL MOUNTED @ 36" HIGH
36	36" HIGH KNEE WALL with GYP. BD. CAP, UNO. - OPT. BALUSTERS
71	5/8" TYPE "X" GYP. BD. ON GAR./HOUSE COMMON WALLS AND (2) LAYERS 5/8" TYPE "X" GYP. BD. AT GARAGE CEILING with FLOOR ABOVE.
85-2	PLYDECK DECK SYSTEM PER MFGD. SPECS.
81	ARCHITECTURAL PROFILE, COMPOSITION SHINGLES PER IRC R905
91	VENTED ALUMINUM SOFFIT

This use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. No use, reproduction, or publication by any method, in whole or in part, is prohibited. This set of plans remains with Holmes Homes without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.

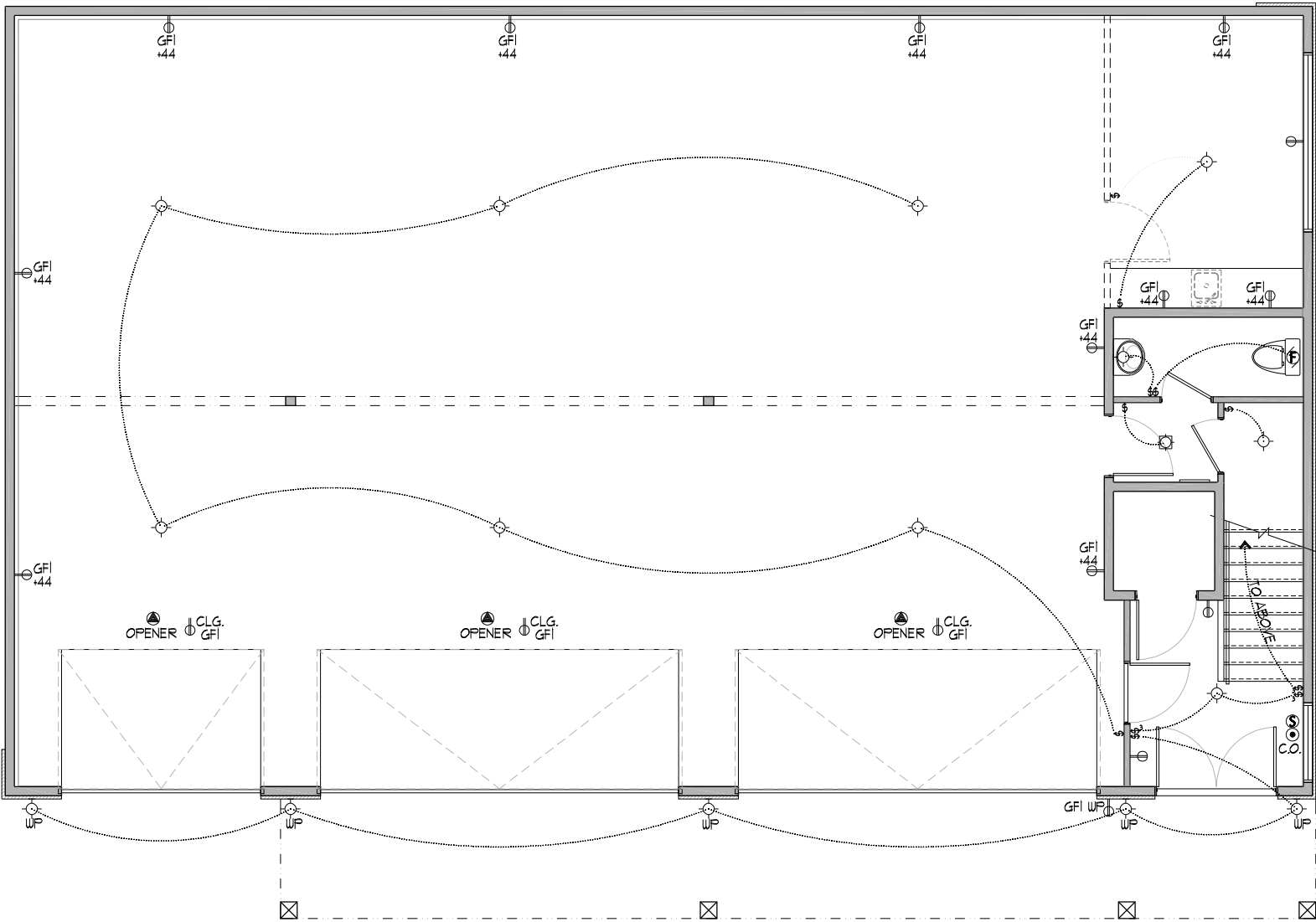
HOLMES HOMES  
© 2008 All Rights Reserved

HEINDORFF RESIDENCE  
CUSTOM  
ALPINE, UTAH



Drawn by JL  
File  
Date 8.19.2021  
Revisions

SHEET  
A4.1



FIRST FLOOR ELEC. / MECH. PLAN

SCALE: 1/4" = 1'-0" @ 22" x 34"  
SCALE: 1/8" = 1'-0" @ 11" x 11"

MECHANICAL & ELECTRICAL NOTES

- MECHANICAL SUB-CONTRACTOR SHALL PROVIDE/REVIEW ENERGY CALCULATIONS FOR SPECIFIC LOCATION, LOT AND BUILDING ORIENTATION AND SHALL SIZE AND DESIGN HEATING AND COOLING EQUIPMENT AND SYSTEMS IN ACCORDANCE THEREWITH. MECHANICAL SUB-CONTRACTOR SHALL PROVIDE EQUIPMENT/SYSTEMS SPECIFICATIONS INCLUDING PERFORMANCE CHARACTERISTICS, WARRANTY INFORMATION, TOTAL INSTALLED PRICE, ETC., FOR OWNER'S APPROVAL.
- ALL HEATING AND COOLING EQUIPMENT SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE (IMC), LATEST EDITION, OR PER GOVERNING LOCAL CODES.
- PROVIDE 6" CLEARANCE ON COMBUSTION AIR SIDE OF FURNACE ROOM AND 30" WORKING SPACE IN FRONT OF ALL HEATING CONTROLS. PER IMC, LATEST EDITION.
- PROVIDE FRESH AIR FOR COMBUSTION BY DUCTS LEADING FROM THE APPLIANCE ENCLOSURE TO THE OUTSIDE OF THE BUILDING. COVER THE INLET OF SUCH DUCTS WITH A CORROSION RESISTANT METAL SCREEN OF 1/4" MESH, PER IMC, LATEST EDITION.
- LAUNDRY TO BE GFI SUPPLIED WITH 15-20 AMP BRACH CIRCUIT, PROVIDE 100 SQ. IN. RETURN AIR.
- ELECTRICAL SUB-CONTRACTOR SHALL COORDINATE REQUIREMENTS AND SIZE ELECTRICAL SERVICE, PANELS AND EQUIPMENT WITH OWNER AND MECHANICAL SUB-CONTRACTOR. ELECTRICAL SUB-CONTRACTOR SHALL ALSO PROVIDE APPROPRIATE DEVICES FOR FUTURE OWNER EXPANSION OF ELECTRICAL SYSTEM. VERIFY WITH OWNER.
- ALL ELECTRICAL EQUIPMENT, FIXTURES AND WIRING DESIGN AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC), LATEST EDITION, OR PER GOVERNING LOCAL CODES.
- ELECTRICAL PANELS SHALL COMPLY WITH NEC, LATEST EDITION. PROVIDE MINIMUM CLEARANCE OF 30" IN WIDTH BY 6'-0" IN HEIGHT FOR PANEL AREA.
- SMOKE DETECTORS/ALARMS SHALL BE WIRED IN SERIES WITH BATTERY BACKUP AND SHALL CONFORM TO I.R.C. SECTION R317, LATEST EDITION.
- PROVIDE VENTILATING FAN CONFORMING TO I.R.C. SECTION R303.3, LATEST EDITION.
- BATHROOM CIRCUITS SHALL BE GFI SUPPLIED BY DEDICATED 15-20 AMP BRANCH CIRCUITS, PER CURRENT IRC CODE.
- SWITCH TOP HALF OF CONVENIENCE OUTLETS ONLY, UNLESS NOTED OTHERWISE.
- NO CLOTH TYPE DUCT TAPE OF ANY KIND IS ALLOWED. METALLIC TAPE WITH BUTYL N GLUE OR APPROVED MASTICS MUST BE USED.
- ALL JOINTS, TRANSVERSE AND LONGITUDINAL SEAMS AND CONNECTIONS MUST BE PROPERLY SEALED WITH TAPE OR MASTIC.
- GAS LINES SHALL NOT PASS THROUGH OR PENETRATE ANY DUCT OR PLENUM.
- GAS PIPING SHALL NOT PENETRATE A BUILDING FOUNDATION BELOW GRADE.
- PROVIDE ARCH-FAULT CIRCUIT INTERRUPTER, TO PROVIDE PROTECTION TO KITCHEN, BEDROOM, AND LAUNDRY ROOM CIRCUITS, PER STATE AMENDMENT TO I.R.C. SECTION E3902.16, LATEST EDITION.
- GARAGE CIRCUITS SHALL BE GFI SUPPLIED BY DEDICATED 15-20 AMP BRANCH CIRCUITS, PER CURRENT IRC CODE.
- 75% PERMANENTLY INSTALLED LIGHTING FIXTURES MUST CONTAIN ONLY HIGH EFFICIENCY LAMPS PER IECC 2015-R404 OR PER LOCAL AMENDED CODES.

! NOTE !  
THERE SHALL BE A CONCRETE ENCASED ELECTRODE AVAILABLE FOR USE AS A GROUNDING ELECTRODE FOR THE HOUSE WHICH MEETS 2012 I.R.C. SECTION E3608.12 REQUIREMENTS, AS REQUIRED BY THE LOCAL MUNICIPALITY.

MECHANICAL & ELECTRICAL LEGEND

- |                               |  |
|-------------------------------|--|
| <b>LIGHTS:</b>                | <b>MISCELLANEOUS:</b>                                  |
| ⊙ CEILING: RECESSED DOWNLIGHT | ☎ TELEPHONE  |
| ⊕ CEILING: SURFACE MOUNTED    | 📺 TELEVISION   |
| ⊕ CEILING: PENDENT MOUNTED    | 🌀 EXHAUST FAN  |
| ⊕ WALL MOUNTED                | 🚒 SMOKE ALARM  |
| <b>OUTLETS:</b>               | ⊕ CARBON MONOXIDE DETECTOR                             |
| ⊕ 115-V DUPLEX                | ⊕ JUNCTION BOX: SPECIAL PURPOSE CONNECTION. (SEE PLAN) |
| ⊕ 115-V WEATHER-PROOF DUPLEX  | ⊕ DOOR BELL BUTTON                                     |
| ⊕ 1/2 SWITCHED                |  |
| ⊕ 115-V FLOOR OUTLET          | <b>MECHANICAL:</b>                                     |
| ⊕ 220-V OUTLET                | ☐ REGISTER IN FLOOR                                    |
| <b>SWITCHES:</b>              | ☐ REGISTER IN CABINET TOE-KICK                         |
| ⊕ 2-WAY                       | ☐ REGISTER IN CEILING                                  |
| ⊕ 3-WAY                       | ⊕ HOSE BIBB W/ BACKFLOW AND ANTI-FREEZE PROTECTION     |
| ⊕ 4-WAY                       |  |

The use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction, or publication by any method in whole or in part is prohibited. This to the plans remains with Holmes Homes and shall constitute prima facie evidence of the acceptance of the restrictions.

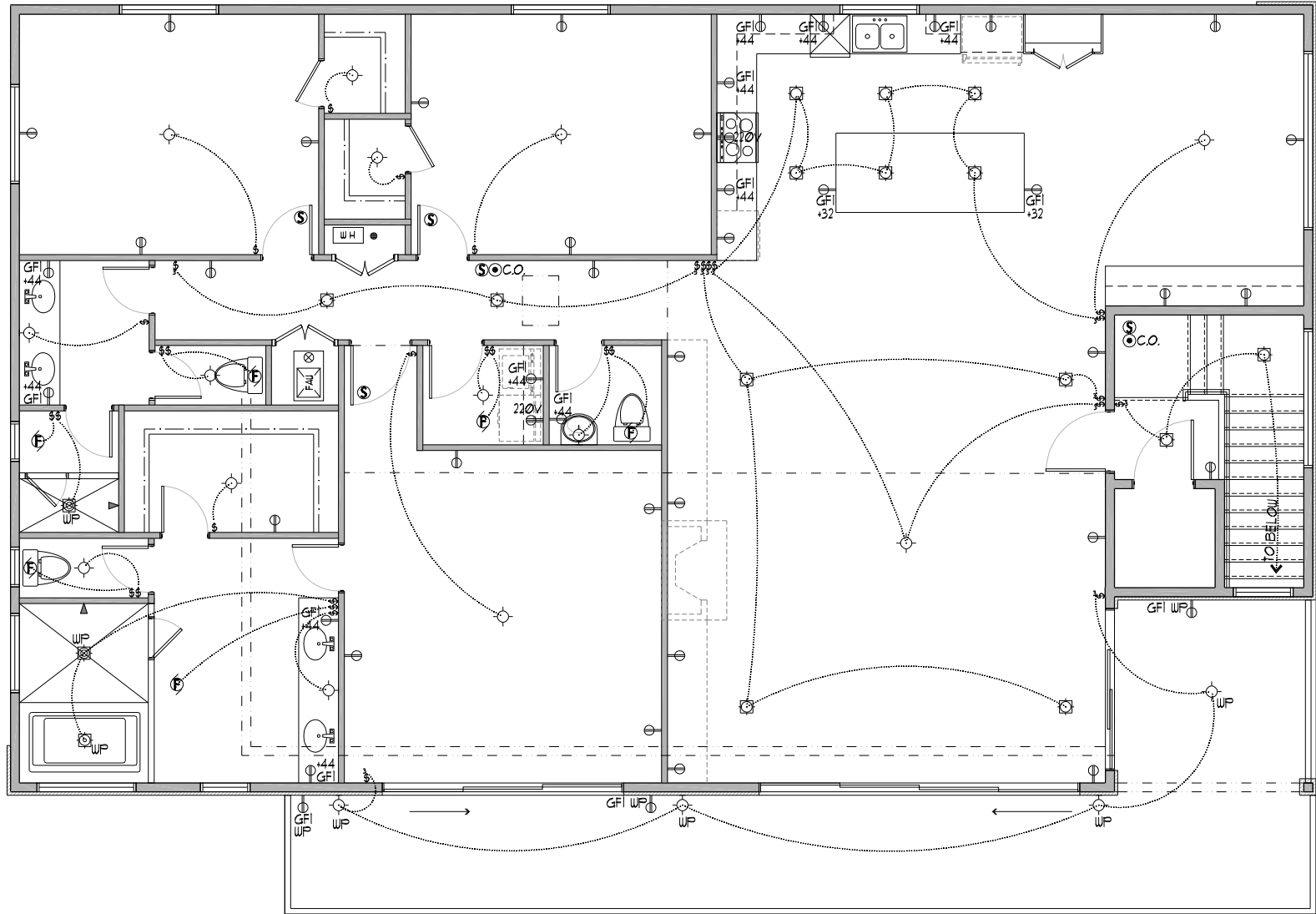
HOLMES HOMES  
© 2008 All Rights Reserved

HEINDORFF RESIDENCE  
CUSTOM  
ALPINE, UTAH

HOLMES HOMES  
A Family Tradition Since 1890

Drawn by JL  
File  
Date 8.19.2021  
Revisions

SHET  
A5.0



SECOND FLOOR ELEC. / MECH. PLAN

SCALE: 1/4" = 1'-0" @ 22" x 34"  
SCALE: 1/8" = 1'-0" @ 11" x 11"

MECHANICAL & ELECTRICAL NOTES

- MECHANICAL SUB-CONTRACTOR SHALL PROVIDE/REVIEW ENERGY CALCULATIONS FOR SPECIFIC LOCATION, LOT AND BUILDING ORIENTATION AND SHALL SIZE AND DESIGN HEATING AND COOLING EQUIPMENT AND SYSTEMS IN ACCORDANCE THEREWITH. MECHANICAL SUB-CONTRACTOR SHALL PROVIDE EQUIPMENT/SYSTEMS SPECIFICATIONS INCLUDING PERFORMANCE CHARACTERISTICS, WARRANTY INFORMATION, TOTAL INSTALLED PRICE, ETC., FOR OWNER'S APPROVAL.
- ALL HEATING AND COOLING EQUIPMENT SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE (IMC), LATEST EDITION, OR PER GOVERNING LOCAL CODES.
- PROVIDE 6" CLEARANCE ON COMBUSTION AIR SIDE OF FURNACE ROOM AND 30" WORKING SPACE IN FRONT OF ALL HEATING CONTROLS. PER IMC, LATEST EDITION.
- PROVIDE FRESH AIR FOR COMBUSTION BY DUCTS LEADING FROM THE APPLIANCE ENCLOSURE TO THE OUTSIDE OF THE BUILDING. COVER THE INLET OF SUCH DUCTS WITH A CORROSION RESISTANT METAL SCREEN OF 1/4" MESH, PER IMC, LATEST EDITION.
- LAUNDRY TO BE GFI SUPPLIED WITH 15-20 AMP BRACH CIRCUIT, PROVIDE 100 SQ. IN. RETURN AIR.
- ELECTRICAL SUB-CONTRACTOR SHALL COORDINATE REQUIREMENTS AND SIZE ELECTRICAL SERVICE, PANELS AND EQUIPMENT WITH OWNER AND MECHANICAL SUB-CONTRACTOR. ELECTRICAL SUB-CONTRACTOR SHALL ALSO PROVIDE APPROPRIATE DEVICES FOR FUTURE OWNER EXPANSION OF ELECTRICAL SYSTEM. VERIFY WITH OWNER.
- ALL ELECTRICAL EQUIPMENT, FIXTURES AND WIRING DESIGN AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC), LATEST EDITION, OR PER GOVERNING LOCAL CODES.
- ELECTRICAL PANELS SHALL COMPLY WITH NEC, LATEST EDITION. PROVIDE MINIMUM CLEARANCE OF 30" IN WIDTH BY 6'-0" IN HEIGHT FOR PANEL AREA.
- SMOKE DETECTORS/ALARMS SHALL BE WIRED IN SERIES WITH BATTERY BACKUP AND SHALL CONFORM TO I.R.C. SECTION R317, LATEST EDITION.
- PROVIDE VENTILATING FAN CONFORMING TO I.R.C. SECTION R303.3, LATEST EDITION.
- BATHROOM CIRCUITS SHALL BE GFI SUPPLIED BY DEDICATED 15-20 AMP BRANCH CIRCUITS, PER CURRENT IRC CODE.
- SWITCH TOP HALF OF CONVENIENCE OUTLETS ONLY, UNLESS NOTED OTHERWISE.
- NO CLOTH TYPE DUCT TAPE OF ANY KIND IS ALLOWED. METALLIC TAPE WITH BUTYLN GLUE OR APPROVED MASTICS MUST BE USED.
- ALL JOINTS, TRANSVERSE AND LONGITUDINAL SEAMS AND CONNECTIONS MUST BE PROPERLY SEALED WITH TAPE OR MASTIC.
- GAS LINES SHALL NOT PASS THROUGH OR PENETRATE ANY DUCT OR PLENUM.
- GAS PIPING SHALL NOT PENETRATE A BUILDING FOUNDATION BELOW GRADE.
- PROVIDE ARCH-FAULT CIRCUIT INTERRUPTER, TO PROVIDE PROTECTION TO KITCHEN, BEDROOM, AND LAUNDRY ROOM CIRCUITS, PER STATE AMENDMENT TO I.R.C. SECTION E3902.16, LATEST EDITION.
- GARAGE CIRCUITS SHALL BE GFI SUPPLIED BY DEDICATED 15-20 AMP BRANCH CIRCUITS, PER CURRENT IRC CODE.
- 75% PERMANENTLY INSTALLED LIGHTING FIXTURES MUST CONTAIN ONLY HIGH EFFICIENCY LAMPS PER IECC 2015-R404 OR PER LOCAL AMENDED CODES.

! NOTE !  
THERE SHALL BE A CONCRETE  
ENCASED ELECTRODE AVAILABLE  
FOR USE AS A GROUNDING ELECTRODE  
FOR THE HOUSE WHICH MEETS 2012 I.R.C.  
SECTION E3608.12 REQUIREMENTS, AS  
REQUIRED BY THE LOCAL MUNICIPALITY.

MECHANICAL & ELECTRICAL LEGEND

- |                               |  |
|-------------------------------|--|
| <b>LIGHTS:</b>                | <b>MISCELLANEOUS:</b>                                  |
| ☉ CEILING: RECESSED DOWNLIGHT | ☎ TELEPHONE  |
| ⊙ CEILING: SURFACE MOUNTED    | 📺 TELEVISION   |
| ⊙ CEILING: PENDENT MOUNTED    | 🌀 EXHAUST FAN  |
| ⊙ WALL MOUNTED                | 🚨 SMOKE ALARM  |
| <b>OUTLETS:</b>               | ⊙ CARBON MONOXIDE DETECTOR                             |
| ☎ 115-V DUPLEX                | ⊙ JUNCTION BOX: SPECIAL PURPOSE CONNECTION. (SEE PLAN) |
| ☎ 115-V WEATHER-PROOF DUPLEX  | ⊙ DOOR BELL BUTTON                                     |
| ⊙ 1/2 SWITCHED                | <b>MECHANICAL:</b>                                     |
| ⊙ 115-V FLOOR OUTLET          | ☐ REGISTER IN FLOOR                                    |
| ⊙ 220-V OUTLET                | ☐ REGISTER IN CABINET TOE-KICK                         |
| <b>SWITCHES:</b>              | ☐ REGISTER IN CEILING                                  |
| ⊙ 2-WAY                       | ⊙ HOSE BIBB W/ BACKFLOW AND ANTI-FREEZE PROTECTION     |
| ⊙ 3-WAY                       |  |
| ⊙ 4-WAY                       |  |

The use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Resale, reproduction, or publication by any method in whole or in part is prohibited. This to the plans remains with Holmes Homes and shall constitute prima facie evidence of the acceptance of the restrictions.

HOLMES HOMES  
© 2008 All Rights Reserved

HEINDORFF RESIDENCE  
CUSTOM  
ALPINE, UTAH

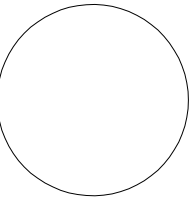
HOLMES  
HOMES  
A Family Tradition Since 1890

Drawn by JL  
File  
Date 8.19.2021  
Revisions


S  
H  
E  
E  
T  
A5.1

The use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Resale, reproduction, or publication by any method, in whole or in part, is prohibited. This to the plans remains with Holmes Homes without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.

HOLMES HOMES  
© 2008 All Rights Reserved



HEINDORFF RESIDENCE  
CUSTOM  
ALPINE, UTAH



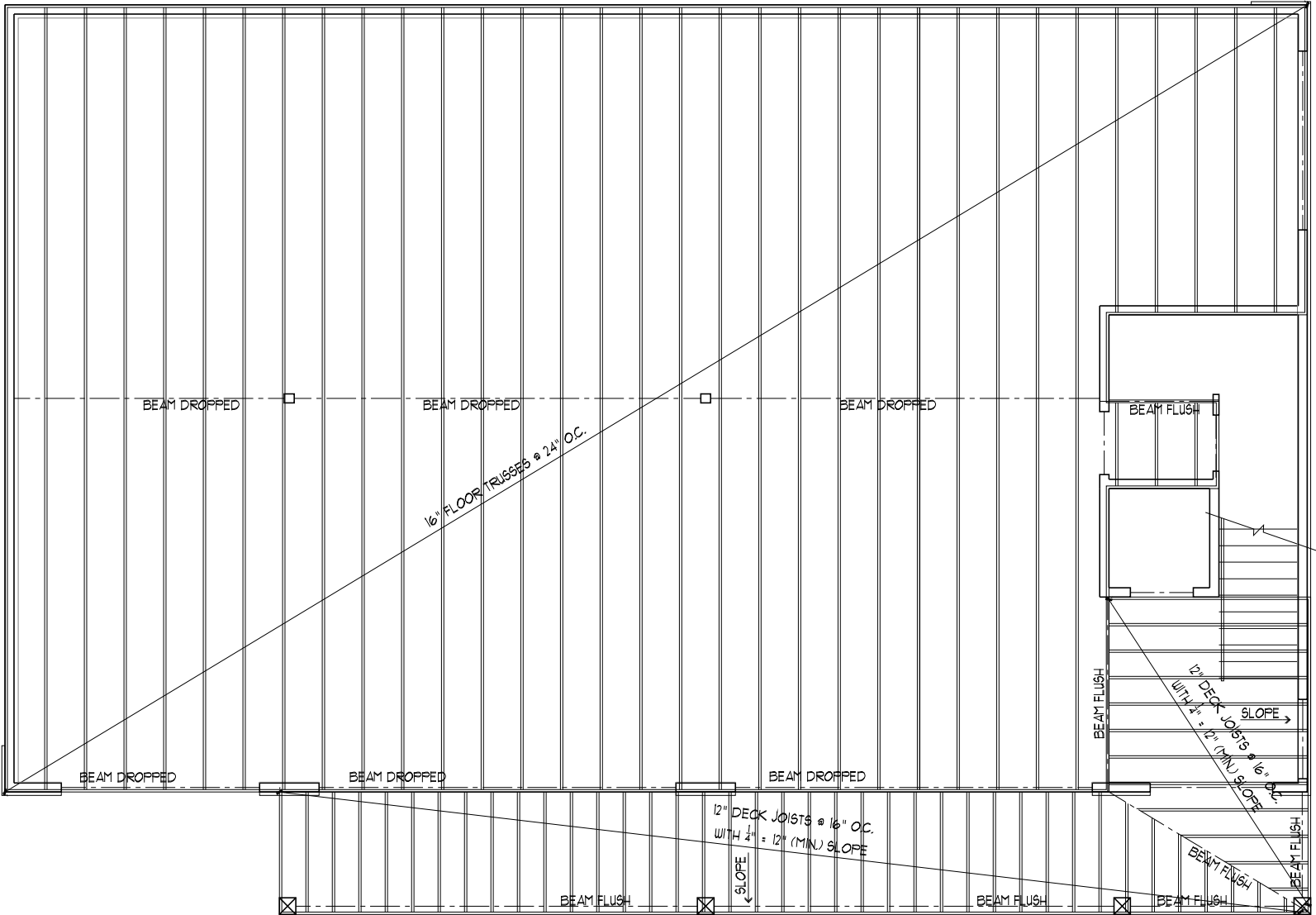
**HOLMES**  
H O M E S

A Family Tradition Since 1890

Drawn by	JL
File	
Date	8.19.2021
Revisions	

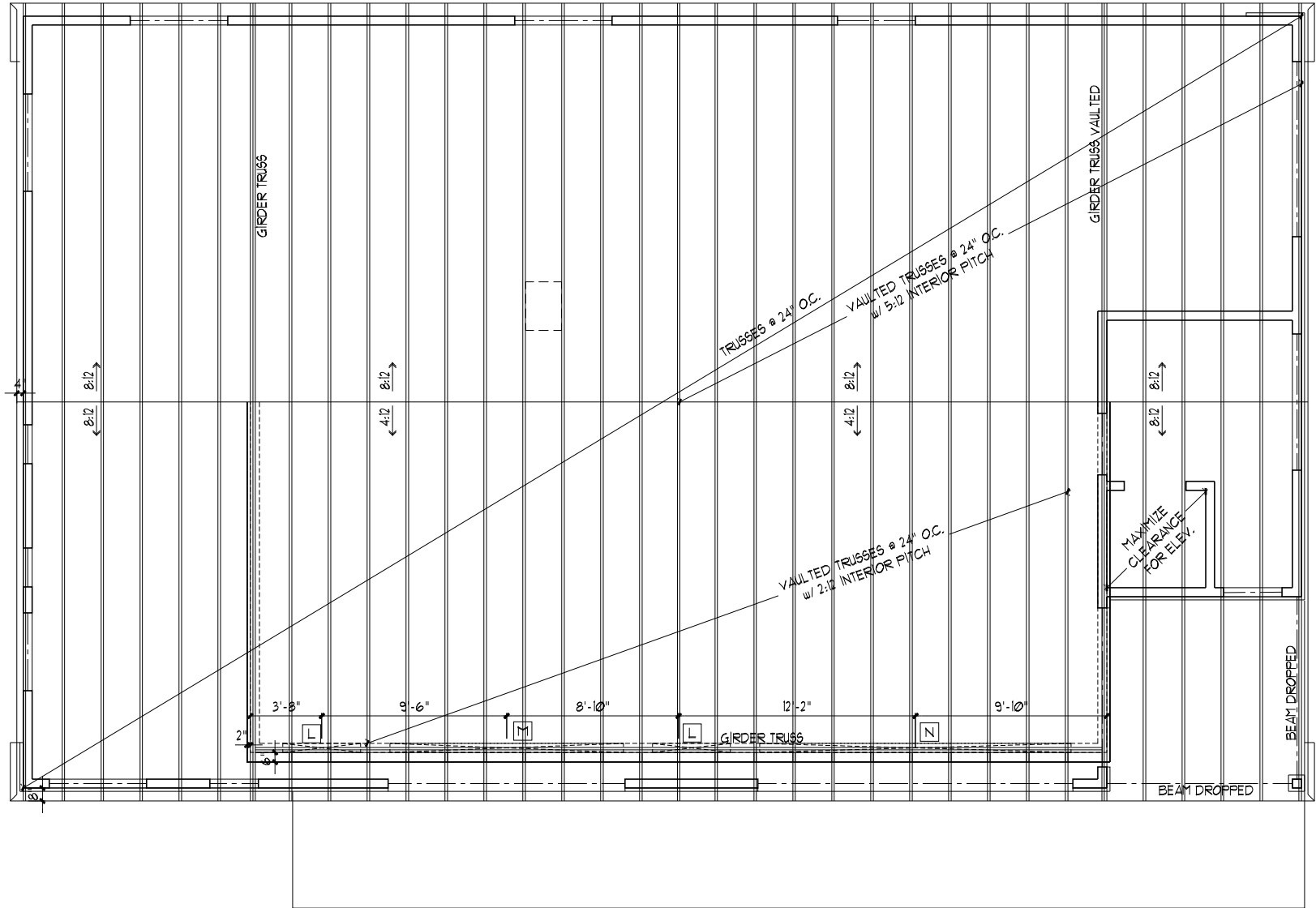
S  
H  
E  
E  
T

A6.0



FLOOR FRAMING LAYOUT

SCALE: 1/4" = 1'-0" @ 22" x 34"  
SCALE: 1/8" = 1'-0" @ 11" x 17"



ROOF TRUSS LAYOUT

SCALE: 1/4" = 1'-0" @ 22" x 34"

SCALE: 1/8" = 1'-0" @ 11" x 11"

The use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Resale, reproduction, or publication by any method, in whole or in part, is prohibited. This set of plans remains the property of Holmes Homes and shall constitute prima facie evidence of the acceptance of the restrictions.

HOLMES HOMES

© 2006 All Rights Reserved

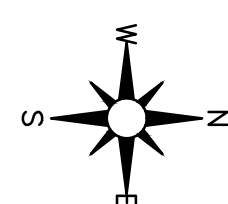
HEINDORFF RESIDENCE  
CUSTOM  
ALPINE, UTAH



Drawn by JL  
File  
Date 8.19.2021  
Revisions

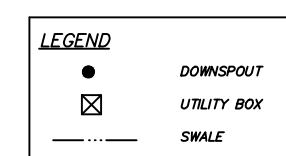
S  
H  
E  
E  
T

A6.1



LOT AREA LESS EASEMENT = 0.505 ACRES

- 



ABBREVIATIONS:

FF - MIN. FINISHED FLOOR	FL - FLOW LINE
TOW - MIN. TOP OF FOUNDATION	HP - HIGH POINT
BCW - BACK OF WALK	LP - LOW POINT
BOG - BACK OF GARAGE	GA/BP - GRADE BREAK
DW - DRIVEWAY	PE - PORCH ELEVATION
CAR - GARAGE	PC - PROPERTY CORNER
FG - FINISHED GROUND	PL - PROPERTY LINE
	FR - FING. OF BASEMENT

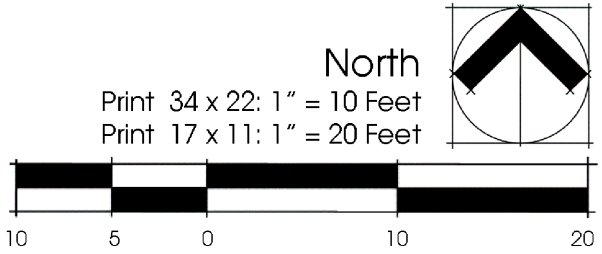
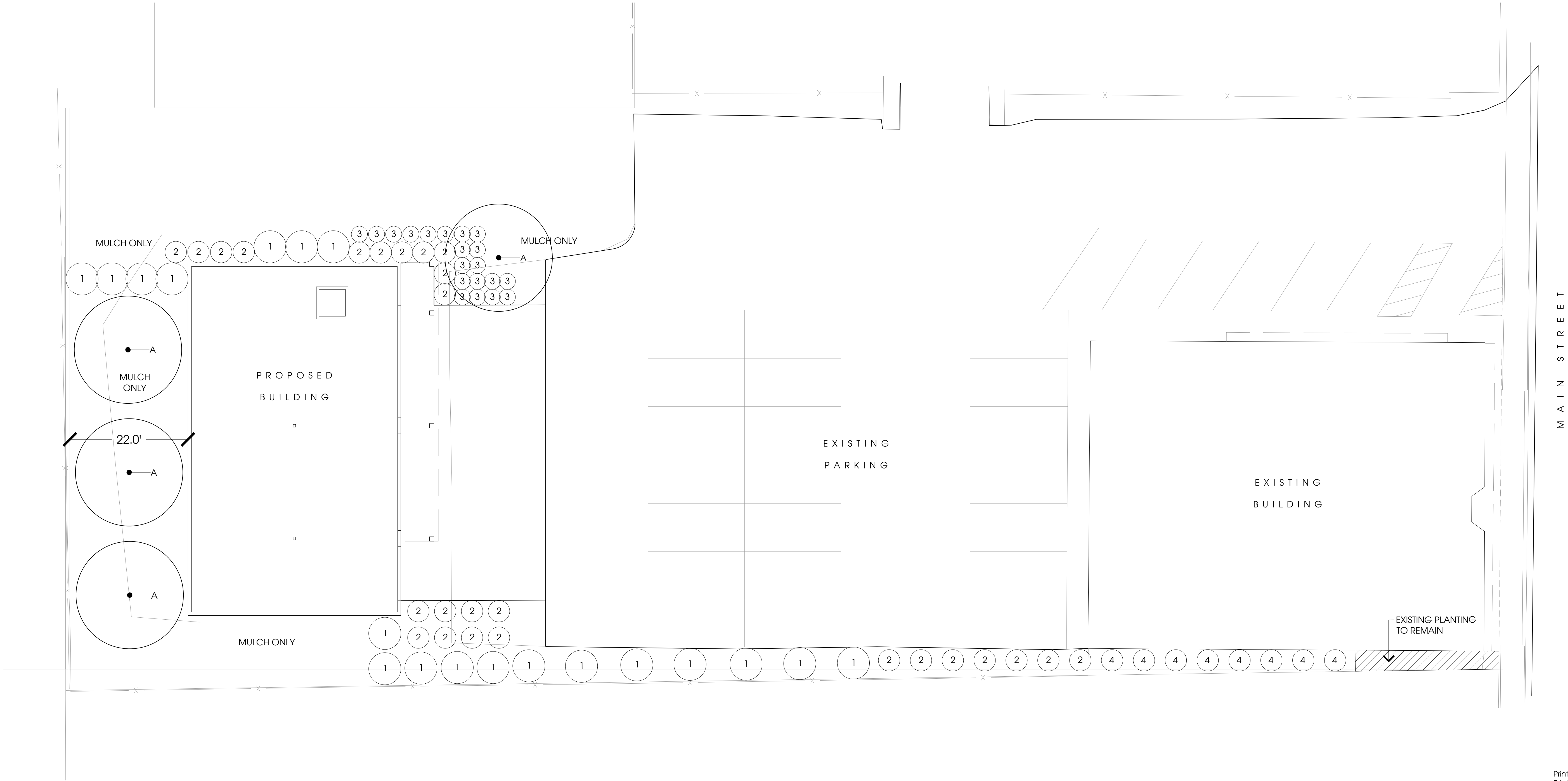
[illegible]

DESIGNED BY: XXX		DATE: XXX XXXX	REV:
DRAWN BY: XXX	CAD BY: XXX	SOLUTION NO.	
SUBMITTED BY:		CONTRACT NO. XXXXX	
FILE NAME:			
SIZE	ANSI D	PLOT DATE:	

HOLMES HOMES  
HEINDORFF 62 S MAIN ALPINE, UTAH

PREPARED FOR: HOLMES HOMES





Plant List . Heindorff Building, Alpine, Utah . Holmes Homes

KEY	PLANT TYPE	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
A	Accent Tree	Malus 'Prairie Fire'	Prairie Fire Crabapple	1 ½" cal	
1	Tall Shrub	Cotoneaster acutifolia	Peking Cotoneaster	5 gal.	
2	Ornamental Grass	Calamagrostis x a. 'Hello Spring'	Feather Grass	1 gal.	
3	Medium Shrubs	Spiraea japonica 'Double Play Red'	Dwarf Red Spiraea	1 gal.	Plant 3' o.c.
4		Prunus l. 'Otto Luyken'	Otto Luyken Laurel	1 gal.	

Planting Notes

1. Provide and place four (4) inches of topsoil over all planting areas prior to commencement of planting operations.
2. Backfill for all planting pits shall be native material excavated from the pit.
3. Following completion of shrub and groundcover plantings, treat beds with a pre-emergent herbicide.
4. Provide and install ¾" crushed rock mulch to a depth of three (3) inches over all exposed soil in completed shrub and groundcover beds.

Area Tabulations . Heindorff Building, Alpine, Utah

Site:	28,428 Square Feet	
Easement:	5,873 S.F.	
Net Area	22,555 S.F.	
Landscape Area	4524 S.F.	20.06 %

HEINDORFF BUILDING  
Holmes Homes . 126 West Sego Lily Drive, Suite 250 . Sandy, Utah



R. MICHAEL KELLY CONSULTANTS

Land Planning | Landscape Architecture

P.O. Box 469 Millville, Utah 84326 | (435)770-7312 | rmkellyconsultants@comcast.net

## **ALPINE CITY COUNCIL AGENDA**

**SUBJECT: Site Plan – Crossfire Trail Information Sign**

**FOR CONSIDERATION ON: 28 September 2021**

**PETITIONER: City Staff**

**ACTION REQUESTED BY PETITIONER: Review the proposed site plan for the signage at the Crossfire Trail Location.**

### **BACKGROUND INFORMATION:**

There has been some discussion about what to install in the area that was graded near the top of the Crossfire trail. Attached is a basic site plan showing what staff is recommending. The site plan essentially includes the installation of a trail sign kiosk, identical to the others that have been installed throughout Lambert Park. The south side of the kiosk would have an overall trail map for the city and a Lambert Park trail map installed on it. The north side could be used for other signage that the City felt was appropriate for the area. We have the kiosk sitting at the city shop ready to be installed. The trail signs would need to be ordered and could be installed within a few weeks.

### **STAFF RECOMMENDATION:**

#### **SAMPLE MOTION TO APPROVE:**

I move that the proposed site plan for the Crossfire Trail area be approved.

## Map Legend

### TRAILS

-  Alpine (existing)
-  Forest (existing)
-  City Boundary
-  Property Boundaries
-  Open Space - Public

2' TO 4' SIZED BOULDERS

COMPACTED ROADBASE PAD

TRAIL SIGN KIOSK

EXISTING CROSSFIRE  
TRAIL LOCATION

CITY BOUNDARY



## Crossfire Sign Site Plan

0 4.5 9 18 27 36 Feet







### ALPINE CITY TRAILS



STAY ON TRAILS DO NOT RIDE ON TRAILS WHEN MUDDY  
RESPECT PRIVATE PROPERTY BE COURTEOUS OF OTHER TRAIL USERS

### LAMBERT PARK



STAY ON TRAILS DO NOT RIDE ON TRAILS WHEN MUDDY  
RESPECT PRIVATE PROPERTY BE COURTEOUS OF OTHER TRAIL USERS

## **ALPINE CITY COUNCIL AGENDA**

**SUBJECT:** Appointment to the Planning Commission

**FOR CONSIDERATION ON:** 28 September 2021

**PETITIONER:** Staff

**ACTION REQUESTED BY PETITIONER:** Appoint a new member to the Planning Commission.

### **BACKGROUND INFORMATION:**

As of July 20, 2021, Sylvia Christiansen is no longer serving on the Planning Commission. The Planning Commission consists of seven members, with staggered terms.

A new member shall be appointed to the Planning Commission to serve out the remainder of Sylvia's term, which ends in January of 2022.

### **STAFF RECOMMENDATION:**

Appoint a new member to the Planning Commission.

### **SAMPLE MOTION TO APPROVE:**

I move that \_\_\_\_\_ be appointed to serve on the Planning Commission and serve the remainder of the term, which ends in January of 2022, at which time they may be appointed to serve another term.

### **SAMPLE MOTION TO TABLE/DENY:**

I move that the proposed appointment be tabled or denied based on the following:

- \*\*\*Insert Finding\*\*\*

**RESOLUTION No. R2021-16**

**A RESOLUTION GRANTING ADVICE AND CONSENT OF THE CITY  
COUNCIL FOR THE APPOINTMENT OF \_\_\_\_\_ TO THE  
PLANNING COMMISSION OF ALPINE CITY**

**WHEREAS**, the Mayor has the responsibility and authority pursuant to Section 2.02.010 Code of Ordinances of Alpine City to appoint individuals to various boards and commissions: and

**WHEREAS**, the Mayor has appointed \_\_\_\_\_ to serve as a member of the Planning Commission for a term as specified below; and

**WHEREAS**, the City Council has the responsibility pursuant to Section 2.02.010 Code of Ordinances of Alpine City to give advice and consent on all appointments to City boards and commissions: and

**WHEREAS**, the City Council has met in regular session to consider these appointments.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of Alpine City that it gives its advice and consent to the appointment of \_\_\_\_\_ to the Planning Commission for a term as specified. Said term shall be as follows:

NAME

DATE TERM BEGINS

DATE TERM ENDS

September 14, 2021

**PASSED AND APPROVED** this 14th day of Septmeber 2021.

**ALPINE CITY COUNCIL**

By: \_\_\_\_\_  
Troy Stout, Mayor

[SEAL]

**VOTING:**

Jessica Smuin	Yea ___	Nay ___
Lon Lott	Yea ___	Nay ___
Carla Merrill	Yea ___	Nay ___
Jason Thelin	Yea ___	Nay ___
Greg Gordon	Yea ___	Nay ___

**ATTEST:**

---

Bonnie Cooper  
City Recorder

**DEPOSITED** in the office of the City Recorder this 14th day of September, 2021.

**RECORDED** this 14th day of September, 2021.

## ALPINE CITY COUNCIL AGENDA

**SUBJECT:** Three Falls Upper Parking Lot Concept

**FOR CONSIDERATION ON:** 28 September 2021

**PETITIONER:** City Staff

**ACTION REQUESTED BY PETITIONER:** Review the concept plan for the Three Falls Upper parking lot.

### **BACKGROUND INFORMATION:**

The City Council asked staff to prepare a concept plan for a small parking lot, located in public open space above the existing pond. The parking lot would be built in what is currently a staging area for construction. A concept plan has been prepared showing 10 parking stalls. It is proposed that the parking lot surface be crusher fine gravel like the parking lot at the south end of Lambert Park.

The procedure for construction of a parking lot in open space is outlined in the City's Open Space Ordinance as follows:

#### **3.16.040 Special Provisions**

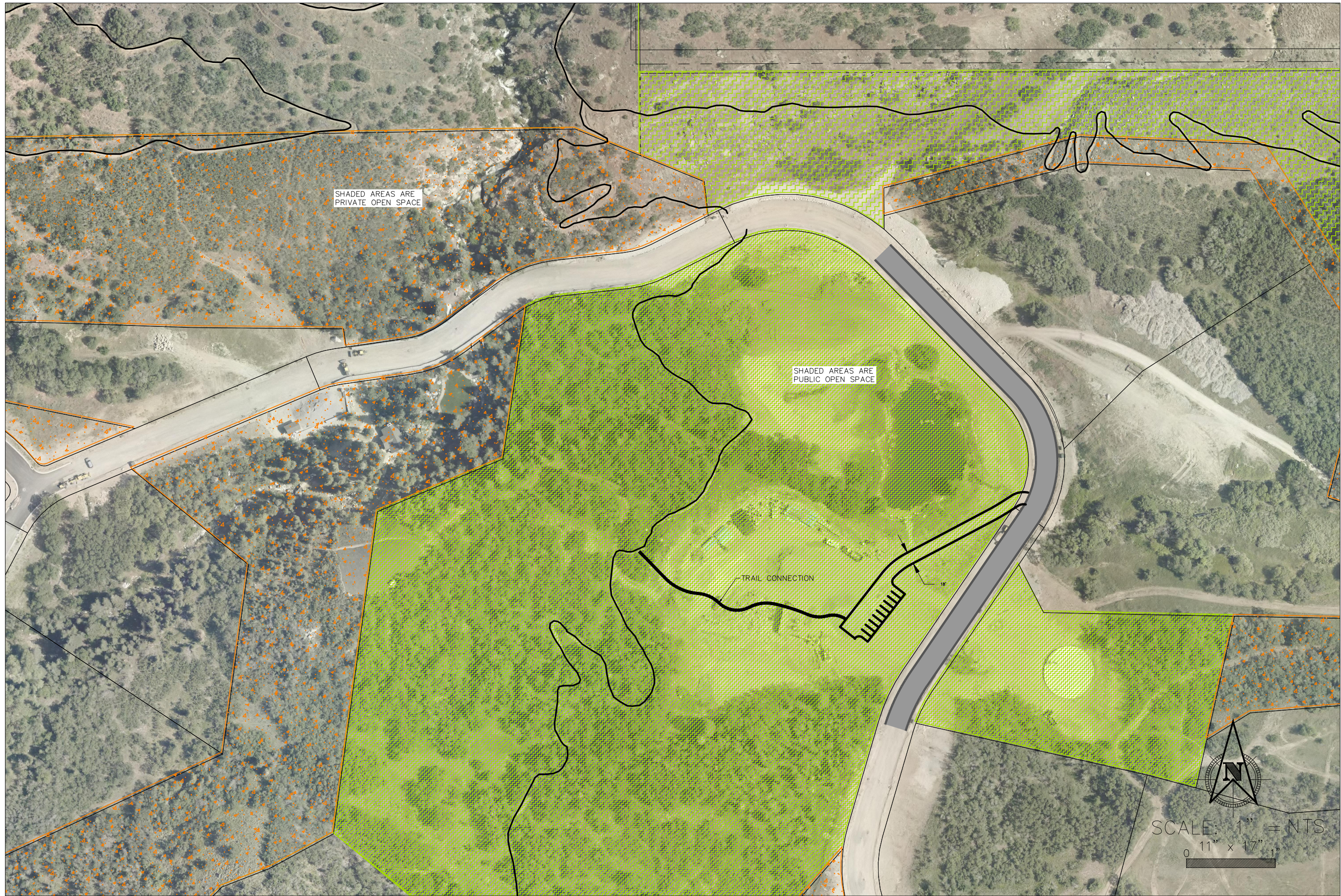
- 1. All public parks in the City of Alpine as noted on the attached map, hereby made a portion of this Ordinance, are included in this Zone and are subject to all of the provisions of this Zone.*
- 2. Land included in these parks shall not be materially changed, improved, altered, disposed of in any manner or used for any other purpose except after a recommendation of the Planning Commission following a public hearing and by a super majority vote of the City Council (4 positive votes out of 5 City Council members are required). A material change shall include, but is not limited to, a change to the park's present and essential defining characteristics, creation of or improvement of roadways or parking lots within the park.*

If the City Council is in favor of the proposed parking lot concept plan, City Staff will include the item on a future agenda and begin the approval process.

#### **STAFF RECOMMENDATION:**

Review the proposed concept plan for the Three Falls Upper Parking Lot and make a recommendation to send it through the approval process.





REMARKS

1. Revised (7-7-10) Profile Labels for SDMH-A2 & SDMH-B4

CONCEPT UPPER PARKING  
THREE FALLS

Overall View

Engineering File  
Number:

—

Drawing: —

Sheet: 1 of 1





SHADED AREAS ARE  
PUBLIC OPEN SPACE

TRAIL CONNECTION

18'



SCALE: 1" = 50'  
0 11" x 11" 1"

REMARKS
1. Revised (7-7-10) Profile Labels for SDMH-A2 & SDMH-B4

CONCEPT UPPER PARKING  
THREE FALLS

Plan View

Engineering File  
Number: —

Drawing: —

Sheet: 1 of 1