



**RIVERDALE CITY PLANNING COMMISSION AGENDA
CIVIC CENTER - 4600 S. WEBER RIVER DR.
TUESDAY – AUGUST 10, 2021**

6:00 p.m. – Planning Commission Work Session Meeting (Council Chambers)

The purpose of the work session is to review maps, plans, paperwork, etc. No motions or decisions will be considered during this session, which is open to the public.

Planning Commission Work Session Items -Planning Commission Training *to be determined*

6:30 p.m. – Planning Commission Meeting (Council Chambers)

A. Welcome & Roll Call

B. Public Comment

This is an opportunity to address the Planning Commission regarding your concerns or ideas. Please try to limit your comments to three minutes. No action will be taken during public comment.

C. Presentations and Reports

D. Consent Items

1. Consideration of Meeting Minutes from:
July 27, 2021 Work Session
July 27, 2021 Regular Meeting

E. Action Items

1. a. **Public hearing** to receive and consider comments regarding proposed amendments to Title 10 of the Riverdale Municipal Code, specifically Chapters 2, 9, and 14 regarding proposed changes to definitions, roofline setbacks, and internal accessory dwelling units.

b. Consideration to forward a recommendation to the City Council regarding proposed amendments to Title 10 of the Riverdale Municipal Code, specifically Chapters 2, 9, and 14 regarding proposed changes to definitions, roofline setbacks, and internal accessory dwelling units.
2. Consideration to forward a recommendation to the City Council of a proposed Site Plan Amendment for Walmart Supercenter, property located approximately 4848 South 900 West, Riverdale Utah 84405, as requested by Walmart and Galloway & Company, Inc.
3. a. Consideration to forward a recommendation to the City Council of a proposed Subdivision Amendment for Riverdale Center VI Subdivision, property located approximately 4171 South Riverdale Road, Riverdale Utah 84405, as requested by Riverdale Center North, LLC and AWA Engineering Group.

b. Consideration of Preliminary Site Plan approval for proposed Cheddar's Scratch Kitchen, property located approximately 4171 South Riverdale Road, Riverdale, Utah 84405; as requested by Riverdale Center North, LLC/Cheddar's and AWA Engineering Group.
4. Consideration of Preliminary Site Plan approval for proposed Take 5 Automotive Service and Drive-thru Food Service Building, property located approximately

4021-4023 South Riverdale Road, Riverdale, Utah 84405; as requested by Blue Lube, LLC and Reeve & Associates, Inc.

All items presented by: Michael Eggett, Community Development

F. Discretionary Items

G. Adjournment

In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Offices (801) 394-5541 at least 48 hours in advance of the meeting.

Certificate of Posting

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Riverdale City limits on this 6th day of August, 2021 at the following locations: 1) Riverdale City Hall Noticing Board 2) the City website at <http://www.riverdalecity.com/> 3) the Public Notice Website: <http://www.utah.gov/pmn/index.html> and 4) A copy was also provided to the Standard-Examiner.

Michelle Marigoni
Riverdale City Recorder

Minutes of the **Work Session** of the Riverdale City **Planning Commission** held Tuesday, July 27, 2021, at 6:00 p.m., at the Civic Center in the Council Chambers, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

Present:

Commissioners: Amy Ann Spiers, Chairman
Blair Jones, Commissioner
Rikard Hermann, Commissioner
Wanda Ney, Commissioner (present via telephone)
Suzette DeMar, Commissioner
Kent Anderson, Commissioner

City Employees: Mike Eggett, Community Development
Michelle Marigoni, City Recorder

Excused: Robert Wingfield, Commissioner

The Planning Commission Work Session meeting began at 6:08 p.m. Chairman Spiers welcomed the Planning Commissioners to the Work Session and stated for the record that all were in attendance except for Commissioner Wingfield.

Presentations and Reports:

Mike Eggett provided an update on the progress of new businesses in the area, including Café Rio, which is experienced delays of up to two weeks, and Mo Bettah's which is approximately 40% completed. He also informed the Commissioners of two new site plan submittals.

Consent Items:

Consideration of Meeting Minutes from:
July 13, 2021 Work Session
July 13, 2021 Regular meeting

Chairman Spears asked if there were any changes to be made to the minutes. There were no changes.

Action Items:

1. **a. Public hearing to receive and consider comments regarding a rezone request for properties located at approximately 4804 South, 4816 South, 4844 South, and 4900 South 1500 West, Riverdale, Utah 84405; a zoning change from Agricultural (A-1) zoning to Regional Commercial (C-3) zoning; as requested by AWA Engineering Group (Jake Tate).**

Mr. Eggett reported there had been no public comment regarding this matter and briefed the Commissioners on the contents of the packet for this meeting.

- b. Consideration to forward a recommendation to the City Council regarding a proposed rezone request from Agricultural (A-1) Zoning to Regional Commercial (C-3) Zoning for properties located at approximately 4804 South, 4816 South, 4844 South, and 4900 South 1500 West, Riverdale, Utah 84405; as requested by AWA Engineering Group (Jake Tate).**

Mr. Eggett asked the Commission if there were any questions regarding this matter. There were none.

2. **Consideration to forward a recommendation to the City Council for proposed Final Subdivision and Site Plan for Maverik Store, property located approximately 1472 West Riverdale Road, Riverdale Utah 84405, as requested by Maverik, Inc and AWA Engineering Group.**
3. **Consideration of Preliminary Site Plan approval for proposed Riverdale Apartments Building, property located approximately 690 West 4400 South, Riverdale, Utah 84405; as requested by Colliers International (Brad Brown).**

Mr. Eggett went over the details of the site plan and explained the site drawings, as well as the packet attachments. Commissioner Spiers asked questions regarding the location and zoning, which were answered by Mr. Eggett.

4. a. **Review of proposed amendments to Title 10 of the Riverdale Municipal Code, specifically Chapters 2, 9, and 14 regarding proposed changes to definitions, roofline setbacks, and internal accessory dwelling units.**

Mr. Eggett gave a brief overview of the proposed changes and encouraged those interested to refer to the previous Planning Commission meeting for more details. He noted the City Attorney agrees with the changes and deferred to the Commission for any questions. There were none.

- b. **Consideration to set Public Hearing for proposed amendments to Title 10 of the Riverdale Municipal Code, specifically Chapters 2, 9, and 14 regarding proposed changes to definitions, roofline setbacks, and internal accessory dwelling units.**

Discretionary Items:

Chairman Spiers asked the Commissioners if there were any discretionary items. There was no discretionary.

Adjourn:

Having no further business to discuss, the Planning Commission adjourned at 6:32 p.m. to convene into their Regular Planning Commission Meeting located in the Council Chambers.

Amy Ann Spiers
Planning Commission Chair

Michelle Marigoni
City Recorder

Date Approved: _____

DRAFT

Minutes of the **Regular Meeting** of the Riverdale City **Planning Commission** held Tuesday, July 27, 2021, at 6:30 p.m., at the Civic Center, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

Present:

Commissioners: Amy Ann Spiers, Chairman
Blair Jones, Commissioner
Rikard Hermann, Commissioner
Wanda Ney, Commissioner (present via telephone)
Suzette DeMar, Commissioner
Kent Anderson, Commissioner

City Employees: Mike Eggett, Community Development
Michelle Marigoni, City Recorder

Excused: Robert Wingfield, Commissioner

Visitors: Joe Terberg Paul Willie Tamra Ellis Brent Ellis
Jeff Randall Brad Brown Lori Fleming

A. Welcome & Roll Call

The Planning Commission Meeting began at 6:41 p.m. Chairman Spiers welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present except for Mr. Wingfield.

B. Public Comment

Chairman Spiers asked for any public comments. There were no comments from the public.

C. Presentations and Reports

Mike Eggett provided an update on the progress of new businesses in the area, including Café Rio and Mo Bettah's.

D. Consent Items

Consideration of Meeting Minutes from:
July 13, 2021 Work Session
July 13, 2021 Regular meeting

Chairman Spears asked if there were any changes to be made to the minutes. There were no changes. Commissioner Jones motioned to approve the minutes. Commissioner Hermann seconded the motion. All Commissioners were in favor.

E. Action Items

1. **a. Public hearing to receive and consider comments regarding a rezone request for properties located at approximately 4804 South, 4816 South, 4844 South, and 4900 South 1500 West, Riverdale, Utah 84405; a zoning change from Agricultural (A-1) zoning to Regional Commercial (C-3) zoning; as requested by AWA Engineering Group (Jake Tate).**

Mr. Eggett reported there had been no public comment regarding this matter. He explained the proposed rezone follows the Riverdale City General Plan. All proper notifications had been made and all signatures and supporting documents were included in the packet for this meeting.

Commissioner Jones moved to open the public hearing. Commissioner Spiers seconded the motion. The public hearing was opened. Commissioner Spiers invited any comments from the public. As there were none, Commissioner Jones moved to close the public hearing, which was seconded by Commissioner Anderson. The public hearing was closed.

b. Consideration to forward a recommendation to the City Council regarding a proposed rezone request from Agricultural (A-1) Zoning to Regional Commercial (C-3) Zoning for properties located at approximately 4804 South, 4816 South, 4844 South, and 4900 South 1500 West, Riverdale, Utah 84405; as requested by AWA Engineering Group (Jake Tate).

Mr. Eggett deferred to the Commission for questions regarding this matter. There were none.

MOTION: Commissioner Jones moved to forward the recommendation to City Council. Commissioner Ney seconded the motion.

ROLL CALL VOTE: All Commissioners voted in favor. Motion passes.

2. Consideration to forward a recommendation to the City Council for proposed Final Subdivision and Site Plan for Maverik Store, property located approximately 1472 West Riverdale Road, Riverdale Utah 84405, as requested by Maverik, Inc and AWA Engineering Group.

Mr. Eggett noted that representatives from Maverik and AWA were present. He went over comments the City staff had provided and mentioned that measures are being taken to ensure there are adequate water rights for this project.

Commissioner Anderson made a motion to forward the recommendation to the City Council. Commissioner Jones seconded the motion. The Commission was polled and voted unanimously.

3. Consideration of Preliminary Site Plan approval for proposed Riverdale Apartments Building, property located approximately 690 West 4400 South, Riverdale, Utah 84405; as requested by Colliers International (Brad Brown).

Mr. Eggett went over the details of the site plan and described the current lot. He said the site is currently in an R-5 zone, which allows 49 or less units, though the General Plan needs to be updated to reflect this zoning. The requested number of units for this plan is 48. Mr. Eggett also went over the preliminary site plan, noting the signage is unknown at this time, and that the height of the building is unknown but expected to be approximately 40 feet as it is a three-story building. Lastly, he mentioned there will still need to be a review by the Design Review Committee.

Commissioner Hermann asked Brad Brown to approach the podium. Mr. Hermann asked questions regarding parking stalls and on-street parking and asked if there is any way to mitigate the problem of overflow parking. Mr. Brown noted that, as a resident who lives nearby, he is also concerned about the parking. However, he stated he feels the requirement set by the City is generous and that parking should be adequate for the amount of one-bedroom apartments on site.

There were further questions from the Commission regarding management, ADA compliance and rent prices, which were all addressed by Mr. Brown.

Commissioner Hermann moved to approve the site plan, which was seconded by Commissioner Jones. The Commission was polled at the request of Mrs. Spiers and all voted in favor.

4. a. Review of proposed amendments to Title 10 of the Riverdale Municipal Code, specifically Chapters 2, 9, and 14 regarding proposed changes to definitions, roofline setbacks, and internal accessory dwelling units.

Mr. Eggett gave a brief overview of the proposed changes and encouraged those interested to refer to the previous Planning Commission meeting for more details. He noted the City Attorney agrees with the changes and deferred to the Commission for any questions. There were none.

b. Consideration to set Public Hearing for proposed amendments to Title 10 of the Riverdale Municipal Code, specifically Chapters 2, 9, and 14 regarding proposed changes to definitions, roofline setbacks, and internal accessory dwelling units.

MOTION: Commissioner Jones moved to set the Public Hearing for August 10, 2021. Commissioner DeMar seconded the motion. All Commissioners voted in favor.

1. Discretionary Items

Mr. Eggett informed the Commissioners of upcoming changes in the landscape code for drought conditions.

2. **Adjournment**

MOTION: There being no further business to discuss, Commissioner Hermann moved to adjourn the meeting. Commissioner Jones seconded the motion; All voted in favor.

The meeting adjourned at 7:29 p.m.

Amy Ann Spiers
Planning Commission Chair

Michelle Marigoni
City Recorder

Date Approved: _____

DRAFT

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
August 10, 2021**

AGENDA ITEM: E1

SUBJECT: Consideration to forward a recommendation to the City Council regarding proposed amendments to Title 10 of the Riverdale Municipal Code, specifically Chapters 2, 9, and 14 regarding proposed changes to definitions, roofline setbacks, and internal accessory dwelling units.

PRESENTER: Mike Eggett, Community Development

INFORMATION:

- a. Executive Summary Title 10 Updates (Chapters 2, 9, and 14)
- b. ULCT Legislative Update Guidance to Land Use Codes
- c. Redline Changes to Code – 10-14 (IADU’s, Roofline Setbacks)
- d. Proposed Changes to Code – 10-14 (IADU’s, Roofline Setbacks) Clean Version
- e. Standard Examiner AD-8287

[BACK TO AGENDA](#)



Planning Commission Executive Summary

For the Commission meeting on: 8-10-2021

Petitioner: Community Development Dept

Summary of Proposed Action

Earlier this year, the State Legislature passed a few major updates to State land use codes that significantly changes some of the Riverdale land use codes. Therefore, the Community Development Department and City Administration have been discussing these changes and ways to amend affected City Codes as found in Title 10 regarding language found in various chapters therein. Additionally, there was a section of City Code found in Title 10, Chapter 14, Section 4 that has proven itself to be confusing in how the language has been recently applied to a test of this Code. Therefore, the Community Development Department is suggesting a proposed update to this language, in order to better clarify the intent of this language and more appropriately match it up to zoning codes found otherwise in Title 10. As a result of these discussion and the changes to State Codes, the Community Development Department has brought forward proposed City Code amendments to the associated sections of City Code.

On July 27, 2021, the Planning Commission scheduled a public hearing to review these proposed Municipal Code amendments to various chapters and sections of Title 10. This public hearing, regarding this proposed code amendments, was posted and advertised in accordance with State Code. No public comments have been provided prior to this public hearing. At the conclusion of the public hearing, the Planning Commission may discuss the proposed land use codes amendments.

Following discussion of the matter, the Planning Commission may take action to recommend City Council approval of the proposed City Code change to the suggested Title 10 ordinances (as found in Title 10, Chapters 2, 9, and 14), approval of the proposed code changes with recommended modifications, table the matter to allow more time to gather additional information, or not recommend approval of the proposed City Code change to the above noted Title 10 ordinances, subject to outlining the appropriate findings of facts to support the conclusion. If the Planning Commission provides a recommendation to City Council, then the proposed code amendments would be directed to the City Council for their final approval consideration.

Title 10 Ordinance Guidelines (Code Reference)

Suggested Code revisions are regulated under City Code Title 10, Chapter 2, 9, and 14. Documentation outlining the existing language and the proposed amendments to these chapters has been provided in your packet for review and commentary.

The City Attorney has also reviewed the proposed City Code amendments and his commentary has directed additional changes regarding the code amendments as found in the packet.

Staff would encourage the Planning Commission to discuss this matter and then recommend that the Council take action to recommend City Council approval of the proposed City Code change to the suggested Title 10 ordinances (as found in Title 10, Chapters 2, 9, and 14), approval of the proposed code changes

with recommended modifications, table the matter to allow more time to gather additional information, or not recommend approval of the proposed City Code change to the above noted Title 10 ordinances, subject to outlining the appropriate findings of facts to support the conclusion.

General Plan Guidance (Section Reference)

There is no General Plan Guidance for this request.

Legal Comments - City Attorney

Steve Brooks, Attorney

Administrative Comments - City Administrator

Bill Cobabe, City Administrator



HB 82 Single-family Housing Modifications

Sponsor: ^{Rep.} Ward, Ray ^{Senator} Anderson

<https://le.utah.gov/~2021/bills/static/HB0082.html>

Legislative purpose of the bill

This bill mandates internal accessory dwelling units (IADUs) as a permitted use with certain exceptions, enacts enforcement mechanisms, modifies the building code to exempt IADUs, establishes a loan program for IADUs, and prohibits a homeowner association from banning IADUs.

Municipal impact/what you need to do:

The bill defines IADU as an accessory dwelling unit created within a primary dwelling, within the primary dwelling's footprint, and for the purpose of renting for 30 consecutive days or longer. The primary dwelling is a single-family dwelling in which the owner occupies the primary residence and the dwelling is detached. In areas zoned primarily for residential use (a determination up to the municipality), IADUs are permitted uses. However, a municipality may prohibit IADUs in 25% or less of the total area in the municipality zoned for primarily residential, or, if a state or private university with a student population of 10,000 or more is located in the municipality, 67% or less.

LAND USE, BUILDING CODE

A municipality may not establish restrictions on the construction or use of an IADU, including IADU size within the primary dwelling, total lot size, or street frontage. However, HB 82 allows a municipality to adopt the following IADU restrictions and requirements: require bedroom window egress, prohibit installation of a separate utility meter, require that the IADU design not change the appearance of the primary dwelling, require one additional on-site parking space and replace any garage or carport parking spaces if the IADU is created in the garage or carport, prohibit an IADU in a mobile home, require an IADU permit or license, prohibit an IADU if the primary dwelling is served by a failing septic tank, prohibit an IADU if the lot is 6,000 sq. ft. or less, prohibit the renting of the IADU for less than 30 consecutive days, and prohibit renting an IADU that is not in an owner-occupied primary dwelling.

To enforce IADU regulations, a municipality may file a lien recorded with the county recorder if the property owner violates IADU regulations, the municipality holds a hearing to determine that a violation has occurred, and the owner fails to cure the violation. A municipality may also record with the county recorder a notice of a permitted or licensed IADU. Finally, a municipality may prosecute or fine an individual who advertises an IADU as a short-term rental on a short-term rental website.

The above IADU provisions go into effect October 1, 2021.

HB 82 also modifies the definition of "single-family limit" in LUDMA so that whether individuals occupying a dwelling are related or not is irrelevant. HB 82 also modified the State Construction Code to create certain exemptions for IADUs for wall thickness, ventilation, and other changes.

LAND USE, BUILDING CODE

By October 1, 2021, a municipality should review those zones that are primarily residential and adopt an ordinance permitting IADUs if they are not permitted already. However, if the municipality chooses to, the municipality should also identify a zoning district covering, as applicable, an area equivalent to 25% or less, or 67% or less, of the total area in the municipality that is zoned primarily residential and exclude IADUs in those areas. The IADU ordinance should also adopt any restrictions that the municipality finds necessary and appropriate under HB 82. A municipality should also amend an ordinance setting a single-family limit based on whether individuals are related to each other and note the changes in the building code for IADUs.

ULCT POSITION: NEUTRAL

HB 98 Local Government Building Regulation Amendments

Sponsor: Ray, Paul ^{Rep.} Senator Sandall

<https://le.utah.gov/~2021/bills/static/HB0098.html>

Legislative purpose of the bill

This bill establishes, for a one or two family dwelling or townhome, clear timelines for a municipality to complete plan reviews and inspections and prohibits a municipality from requiring certain design elements.

Municipal impact/what you need to do

Under HB 98, if a municipality fails to provide a building inspection within three business days an applicant may engage an independent third-party licensed building inspector. The independent inspector must be licensed by DOPL, carry the appropriate liability insurance, and is responsible for issuing the certificate of occupan-

Proposed Title 10 Code Changes - DRAFT

CHAPTER 14

REGULATIONS APPLICABLE TO ALL ZONES

10-14-4: YARD REGULATIONS:

L. When a patio roof cover is attached to a dwelling in the rear yard, the edge of the roof shall not be located closer than twenty feet (20') to the rear property line; and the roofline of the patio roof cover cannot exceed the height of the existing roofline of the dwelling. Any attached patio roof that is lower located closer than thirty twenty-five feet (30'25') to the rear property lot line shall not be enclosed with walls in any manner so as to make the patio interior habitable space. (Ord. 577, 5-24-2000; amd. Ord. 772, 10-19-2010)

CHAPTER 9

RESIDENTIAL ZONES

ARTICLE C. SINGLE-FAMILY AND SINGLE-FAMILY WITH RENTAL UNIT RESIDENTIAL ZONE (R-2)

10-9C-3: ~~CONDITIONAL USES~~; 10-14-14: INTERNAL ACCESSORY DWELLING UNITS (IADU's):

Internal Accessory Dwelling Units (IADUs's) are conditionally permitted in the following residential zones: A-1, A-2, RE-15, RE-20, R-1-10, and R-2 zones. Internal accessory dwelling units are not permitted or allowed in the following residential zones: R-1-8, R-1-6, R-1-4.5, R-3, R-4, R-5, and RMH-1 zones.

Single rental unit~~Internal accessory dwelling units may only be established within~~ ~~created only~~ ~~by~~ owner occupied homes, located within, underneath or above the primary single-family dwelling unit. Any conditionally permitted ~~rental and approved internal accessory dwelling~~ unit shall be incidental to the primary residential use and shall meet the following minimum standards:

All bedrooms shall have available a mode of window egress for residents occupying the primary residence and also a mode of window egress for residents occupying internal accessory dwelling unit bedrooms;

The square footage of the rental unit shall not exceed fifty percent (50%) of the overall square footage of the dwelling structure; The internal accessory dwelling unit shall not change or alter in anyway the exterior appearance of the primary dwelling;

The ~~rental~~ internal accessory dwelling unit shall be designed with a secondary entrance in a manner that the primary dwelling appears visually and functionally as if it were a single-family dwelling without a rental unit;

No internal accessory dwelling unit will be conditionally permitted for a primary dwelling receiving service from a failing septic tank on the residential property;

The ~~rental-internal accessory dwelling~~ unit shall have its own off-street parking provided on the primary dwelling premises. Existing units will be grandfathered until the property is sold and the new owner must be a residence of one of the units. (Ord. 655, 4-4-2006)

CHAPTER 2 DEFINITIONS

10-2-2: DEFINITIONS:

FAMILY: A. ~~Two (2) persons and their children, grandchildren, foster children, legally established children or other similar family members living together as a single housekeeping unit in a dwelling unit; One or more persons related by blood, marriage, adoption, or legal guardianship, including foster children, living together as a single housekeeping unit in a dwelling unit; or~~

B. A group of not more than four (4) persons ~~not related by blood, marriage, adoption, or legal guardianship~~ living together as a single housekeeping unit in a dwelling unit; ~~or~~

C. ~~Two (2) unrelated persons and their children living together as a single housekeeping unit in a dwelling unit.~~

The term "family" shall not be construed to mean a club, group home, transitional victim home, substance abuse home, transitional home (all types), a lodge or a fraternity/sorority house.

INTERNAL ACCESSORY DWELLING UNIT: An accessory dwelling unit created within a primary dwelling and is located within the footprint of the primary dwelling at the time the internal accessory dwelling unit is created. This accessory dwelling unit may only be established for the purpose of offering a long-term rental use of 30 consecutive days or longer.

PRIMARY DWELLING: A single-family dwelling that is detached and is occupied as the primary residence of the owner of record for the associated residential property.

Proposed Title 10 Code Changes – DRAFT CLEAN

CHAPTER 14

REGULATIONS APPLICABLE TO ALL ZONES

10-14-4: YARD REGULATIONS:

L. When a patio roof cover is attached to a dwelling in the rear yard, the edge of the roof shall not be located closer than twenty feet (20') to the rear property line; and the roofline of the patio roof cover cannot exceed the height of the existing roofline of the dwelling. Any attached patio roof that is located closer than twenty-five feet (25') to the rear property lot line shall not be enclosed with walls in any manner so as to make the patio interior habitable space. (Ord. 577, 5-24-2000; amd. Ord. 772, 10-19-2010)

10-14-14: INTERNAL ACCESSORY DWELLING UNITS (IADU's):

Internal Accessory Dwelling Units (IADUs's) are conditionally permitted in the following residential zones: A-1, A-2, RE-15, RE-20, R-1-10, and R-2 zones. Internal accessory dwelling units are not permitted or allowed in the following residential zones: R-1-8, R-1-6, R-1-4.5, R-3, R-4, R-5, and RMH-1 zones.

Internal accessory dwelling units may only be established within owner occupied homes, located within, underneath or above the primary single-family dwelling unit. Any conditionally permitted and approved internal accessory dwelling unit shall be incidental to the primary residential use and shall meet the following minimum standards:

All bedrooms shall have available a mode of window egress for residents occupying the primary residence and also a mode of window egress for residents occupying internal accessory dwelling unit bedrooms;

The internal accessory dwelling unit shall not change or alter in anyway the exterior appearance of the primary dwelling;

The internal accessory dwelling unit shall be designed with a secondary entrance in a manner that the primary dwelling appears visually and functionally as if it were a single-family dwelling without a rental unit;

No internal accessory dwelling unit will be conditionally permitted for a primary dwelling receiving service from a failing septic tank on the residential property;

The internal accessory dwelling unit shall have its own off-street parking provided on the primary dwelling premises. Existing units will be grandfathered until the property is sold and the new owner must be a residence of one of the units. (Ord. 655, 4-4-2006)

CHAPTER 2

DEFINITIONS

10-2-2: DEFINITIONS:

FAMILY: A. Two (2) persons and their children, grandchildren, foster children, legally established children or other similar family members living together as a single housekeeping unit in a dwelling unit; or

B. A group of not more than four (4) persons living together as a single housekeeping unit in a dwelling unit.

The term "family" shall not be construed to mean a club, group home, transitional victim home, substance abuse home, transitional home (all types), a lodge or a fraternity/sorority house.

INTERNAL ACCESSORY DWELLING UNIT: An accessory dwelling unit created within a primary dwelling and is located within the footprint of the primary dwelling at the time the internal accessory dwelling unit is created. This accessory dwelling unit may only be established for the purpose of offering a long-term rental use of 30 consecutive days or longer.

PRIMARY DWELLING: A single-family dwelling that is detached and is occupied as the primary residence of the owner of record for the associated residential property.

Standard-Examiner/Daily Herald Legals Print Ad Proof

ADNo: 8287 Customer Number: U00310
Customer Name: Company: RIVERDALE CITY CORP
Address: 4600 SOUTH WEBER RIV
City/St/Zip: RIVERDALE ,UT 84405
Phone: (801) 436-1232 Solicitor: JR
Category: 10 Class: 1000 Rate: LE-0 Start: 7-31-2021 Stop: 7-31-2021
Lines: 37 Inches: 3.85 Words: 165

Credit Card: Expire:
Order Number:
Cost: 140.40 Extra Charges: .00 Adjustments: .00
Payments: .00 Discount: .00
Balance: 140.40

**RIVERDALE CITY
PUBLIC HEARING NOTICE**

Riverdale City gives notice that on Tuesday, **August 10, 2021** during the regular **Planning Commission Meeting**, which begins at 6:30 p.m., at the Riverdale City Civic Center, 4600 South Weber River Drive, Riverdale, Utah, the Planning Commission will hold a public hearing to receive and consider public comments regarding proposed amendments to Title 10 of the Riverdale Municipal Code, specifically Chapters 2, 9, and 14 regarding proposed changes to definitions, roof-line setbacks, and internal accessory dwelling units.

The proposed amendments may be viewed on the Riverdale City Website: www.riverdalecity.com.

The public is invited to review and inspect all information available concerning such proposal(s) at the Riverdale City Offices during the regular office hours, 8:00 a.m. to 5:00 p.m. Monday through Friday. The public or any interested parties may present written or oral testimony to the Riverdale City Council concerning the proposed action at the aforementioned time and place.

Legal Notice 8287 Published in The Standard Examiner on July 31, 2021

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
August 10, 2021**

AGENDA ITEM: E2

SUBJECT: Consideration to forward a recommendation to the City Council of a proposed Site Plan Amendment for Walmart Supercenter, property located approximately 4848 South 900 West, Riverdale Utah 84405, as requested by Walmart and Galloway & Company, Inc.

PRESENTER: Mike Eggett, Community Development

INFORMATION:

- a. Exec Summ Walmart Amend Site Plan – PC [20210810]
- b. Walmart Amend Site Plan Review – 20210802
- c. Dept Staff Reports – Walmart Amend PC [20210804]
- d. City Engineer Walmart Design review #3 – 4 August 2021
- e. Walmart Amend Site Plan App Update – 20210726
- f. Walmart 1708 Riverdale_UT_Exterior Elevations 07-26-2021
- g. Walmart 1708 Riverdale_UT_Site Plan Dwgs 07-26-2021

[BACK TO AGENDA](#)



Planning Commission Executive Summary

For the Commission meeting on: 8-10-2021

Petitioner: *Walmart*
represented by Zell Cantrell, Galloway & Company

Summary of Proposed Action

Walmart, as represented by Zell Cantrell with Galloway and Company Engineering, has applied for an Amended Site Plan review of an add-on and alteration portion of the existing Walmart retail store at approximately 4848 South 900 West. The affected parcel is zoned in the Retail Commercial Park Overlay (RCP) zone. This amended site plan is being proposed for development on the Walmart site in the current lawn and garden area of the store. Walmart is also working on a smaller interior remodel of this retail store as a component of this process. The property is currently owned by Walmart Real Estate Business Trust et al. A public hearing is not required to consider this site plan proposal. Following the presentation and discussion of the proposal, the Planning Commission may make a motion providing a recommendation to City Council for approval of the Walmart amended site plan proposal, approval of the proposed amended site plan with any requested modifications, tabling the matter to a later date to allow time to resolve outstanding concerns, or not recommending approval of the proposed amended site plan with the appropriate findings of facts. If an amended site plan recommendation to City Council is provided, then this matter could move forward to a future Final Amended Site Plan approval consideration process with the City Council.

Title 10 Ordinance Guidelines (Code Reference)

This Amended Site Plan review is regulated under City Code 10-25 "Development in All Zones" and is affected by City Codes 10-13B "Retail Commercial Park Overlay Zone (RCP)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".

The proposed development parcels are located on property east of Riverdale Road along 900 West on property currently owned by Walmart Real Estate Business Trust et al. The property is located in a RCP zoned area and the continued use of retail goods establishment and retail services establishment is a permitted use in this zone per the development agreement for this retail commercial area.

Attached with this executive summary is a document entitled "Amended Site Plan Review - Walmart"; this is a supplementary document addressing items on the Site Plan application document. Also attached, following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The Planning Commission should discuss any concerns raised by these summaries.

There is no updated landscaping plan submitted for this project, as required by City Code 10-14-12 and this is a crucial component to better understand how the landscaping will be altered on the site as it relates to the proposed Amended Site Plan for this site and applicable City Codes.

Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner

concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission make a motion providing a recommendation to City Council for approval of the Walmart amended site plan proposal, approval of the proposed amended site plan with any requested modifications, tabling the matter to a later date to allow time to resolve outstanding concerns, or not recommending approval of the proposed amended site plan with the appropriate findings of facts.

General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as "Planned Commercial - High" and this proposed project would comply with this land use.

Legal Comments - City Attorney

Steve Brooks, Attorney

Administrative Comments - City Administrator

Bill Cobabe, City Administrator



Amended Site Plan Review – Walmart, 4848 South 900 West

Completed by Mike Eggett, Community Dev. Director on 7/30/2021, 8/2/2021

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this proposed amended site plan review. Items of consideration or note (if any) have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to recommend approval for the amended site plan or not recommend approval for the proposed amended Walmart site plan with any additional comments, requirements, or concerns to be addressed by the developer.

Date Plan Submitted to City: <small>(Must be at least two weeks prior to Planning Commission meeting)</small>	July 26, 2021
Date Application Submitted to City:	July 26, 2021
Date Fee Paid:	Paid on July 26, 2021 (see receipt for detail)
Site Plan – Preliminary Requirements	Departmental Review Comments
<i>COVER SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	Project name and address location shown; address location reflects correct address of 4848 South 900 West
Property Owner’s name, address, and phone number	Shown on cover page: Walmart, 702 S.W. 8 th Street, Bentonville, Arkansas 72716, 800-925-6278
Property Developer’s name, address, and phone number	Shown on cover page: Walmart, 702 S.W. 8 th Street, Bentonville, Arkansas 72716, 800-925-6278
Approving agency’s name and address: Utility companies if applicable	Shown, Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; other utility agencies name and contact info not provided, as applicable
Consulting Engineer’s name, address, and phone number	Galloway & Company, Inc., 6162 S. Willow Drive, Suite 320, Greenwood Village, Colorado 80111, 303-770-8884
Licensed Land Surveyor’s name, address, phone number, signature, and seal	Name, address, phone number, seal and signature not provided at this time
Date	Yes – 7/21/2021
Revision block with date and initials	Revision blocks shown and notes block provided
Sheet number and total sheets	Shown (6 total sheets)

<u>General</u>	
Street names	Shown – 900 West, 700 West should be River Park Drive
Layouts of lots with lot numbers	Yes, shown; one lot shown
Adjacent tract ownership and tax identification numbers	<u>Neighboring tract ownership names and tax ID not shown or provided, but due to lot size this is not applicable</u>
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown, 1" = 20'
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements not identified on site plan if they exist, existing structures shown on plan, existing utility lines shown on sheet CS1; <u>unknown if approvals provided to cross, use, relocate</u>
Space for notes	Yes, provided
Contours	Yes, shown on grading plan
Public areas	Existing and planned open areas (parking lot, etc) shown on multiple sheets
<u>Vicinity Map</u>	
Street names	Yes, 700 West should be River Park Drive
Site location	Yes
North arrow	Yes
Scale	Yes, scale is shown, 1" = 150'
<u>Layout</u>	
Landscaping (location and type with area calculations)	No landscaping plan has been provided in compliance with City Code 10-14-12(B)(1), discuss with project team more about this plan and landscape plan sheets needed
Location of exterior lighting devices, signs, and outdoor advertising	Yes, location of existing lighting and signage shown in packet; no new proposed onsite lighting devices shown, if any planned; new signage plans and locations provided
Location of underground tanks, dumpsters, etc	<u>No tanks present on site; existing dumpster and dumpster enclosure location not shown but no dumpsters found in location of site plan amendment found in packet</u>
<u>Additional Information</u>	
Benchmark	Not shown or provided

Basis of bearings	Not shown or provided
Legend	Shown on multiple sheets
<i>PLAN AND PROFILE SHEETS</i>	Site plan and profile sheets provided
<u>Title Block</u>	
Project name and address	Project name and address location shown; address location reflects correct address of 4848 South 900 West
Approving Agency's name and address	Shown, Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	Galloway & Company, Inc., 6162 S. Willow Drive, Suite 320, Greenwood Village, Colorado 80111, 303-770-8884
Date	Yes – 7/21/2021
Scale	Yes, scale is shown
Revision block with date and initials	Revision blocks shown and notes block provided
Sheet number and total sheets	Shown (6 total sheets)
<u>General</u>	
North arrow	Yes
Street names	Shown – 900 West, 700 West should be River Park Drive
Lot numbers	Yes, shown; one lot shown
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on grading plan and demo plan
<u>Signage</u>	Updated building signage concepts provided; <u>may inquire more regarding future signage intent if desired</u>
Height	Shown in sign packet
Size	Shown in sign packet
Locations	Existing locations shown; new shown in sign packet
Colors	New signage concepts shown in packet
Lighting	New signage concepts shown in packet
<u>New and Existing Buildings</u>	

Height and Size	Add-on building - Height = <u>unknown</u> ; Building size = <u>unknown</u>
Location, setbacks, and all dimensions	Setbacks not provided, may not be applicable for <u>this process</u> ; approximates: front setback – <u>unknown</u> at nearest point; rear setback – <u>unknown</u> at nearest point; south side setback – <u>unknown</u> at nearest point; north side setback – <u>unknown</u> at nearest point
Type of construction	Updated plans for color and appearance provided; <u>updated materials for structure and texture not provided</u> ; Design Review Committee review will be <u>required for changes proposed</u>
Type of occupancy and proposed uses	Regional retail fulfillment center and pick-up
Show handicapped access	ADA accessible ramp and access areas shown and handicapped parking stalls shown, where applicable to the add-on area
<u>New and Existing Landscaping & Percentage</u>	<u>No updated landscaping plan has been provided in compliance with City Code 10-14-12(B)(1), therefore unknown if meet minimum requirement of 20% or more landscaping coverage per City Code 10-14-12(B).(1.)</u>
Number of trees	<u>Landscaping counts unknown; trees required to be shown and planted per City Code 10-14-12(B)(2)(e)</u>
Landscape plan showing all planting, hardscaping, berming, and watering	<u>Planting, hardscaping not shown; irrigation plan not provided</u>
Xeriscaping alternatives being considered	<u>Unknown landscape/xeriscape plans at this time; for more info inquire of the developer</u>
<u>New and Existing Walls and Fences</u>	
Location, design, and height	Existing fences shown; no new fences appear to be planned for site
Materials proposed for construction	No new fences planned for site
<u>New and Existing Parking</u>	
Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	Associated dedicated stalls are provided and shown; handicapped parking space applied where appropriate; size meets city requirements
Location of employees' parking, customer parking, and handicapped parking	Established as shown in drawings; employee parking and customer parking appear shared
Internal circulation pattern	Pick up area shown; parking area circulation shown
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown

Circulation pattern	Yes, internal access and circulation shown with arrows; inquire more if desired
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown where applicable
Right-of-way lines	Not applicable
Face of curb lines	Yes, this is shown where applicable
Centerline slope	Shown on drawings and established per previous and other project road development
Signing and striping	On site existing and new signage shown; no public signs applicable; no public roadway striping applicable; on site striping shown
Light poles	Yes, location of existing light poles and power equipment shown; no new onsite proposed light poles and equipment shown in packet, if any
Street lights	Not applicable to add-on area
Street name signs	Location of street name signs on site not applicable to this location
Stop signs	On site stop signs shown
UDOT approval (if required for project)	Not applicable
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown on multiple sheets
Planting Strip	Not applicable to add-on area
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown on multiple sheets, in detail on sheet CS4
Slope of gutter	Shown on CS4 (2 nd page), there are two CS4 pages and this needs correction, in detail on sheet CS4 (1 st page)
Manholes	Existing shown on multiple sheets
Invert elevations	<u>This is not shown, defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on CS1, <u>no detail provided, defer to City Engineer</u>
Location of catch basins	<u>This is not shown or referenced in packet</u>
Ditches, location and ownership	Not applicable
Approval to pipe, reroute or use	Other than future City approval, <u>unknown if other approval required, defer to City Engineer</u>

Calculations for retention system	No updated calculations provided; defer to City Engineer
Method of storm water clean-up	Existing method noted on CS1; erosion control plan provided; defer to City Engineer
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	This is not shown, defer to City Engineer
Length, size, type, and slope of mains and laterals	Shown on CS1, no detail provided, defer to City Engineer
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on CS1, no detail provided, defer to City Engineer
Location, size, and type of water meters, valves, and fire hydrants	Existing water location shown; water meter size, and type not identified, where applicable; location of existing valves shown; existing fire hydrants for site shown; no new hydrants planned for this site plan
<u>New and Existing Gas Lines</u>	
Size and type	Existing and new gas lines not shown, where applicable; size and type not shown
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Existing and new power lines locations not shown, size and type not identified
Location of power poles	Existing power poles and overhead lines location not shown; new power poles location not planned
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	Existing location of telephone boxes and new telephone utility lines, poles and associated manholes not shown, where applicable
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	Cable TV lines not shown, where applicable
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Refer to sheet CS4 for pavement cross section and connection to curb, gutter, and sidewalk areas
Cross section of curb and gutter (standard 30" high back)	Shown on sheet CS4, defer to City Engineer
Gutter inlet box with bicycle safe grate	Existing shown and identified on multiple sheets; not identified as bicycle safe grates on gutter inlet boxes; defer to City Engineer

Cleanout box	<u>Not shown, if any; defer to City Engineer</u>
Thrust blocking	<u>Not shown, if any; defer to City Engineer</u>
Special energy dissipating or drop manholes	None showing and may not be applicable; <u>defer to City Engineer</u>
<i>ADDITIONAL INFORMATION</i>	
Soils report	Add-on site Geotechnical report has not been provided for this project
Drainage and runoff calculations	No updated calculations provided; <u>defer to City Engineer</u>
Water right transfer documentation	Applicant needs to work with Public Works Department to provide adequate water rights for this site per 8-6-3 of City Code, where applicable
Copy of protective covenants, codes, and regulations for development	Not applicable for this project
Three (3) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Yes, provided
Corp of Engineers approval (if required)	No approval required
Zoning compliance	Yes, Retail Commercial Park Overlay (RCP) Zone meets intended uses for amended site design
RDA compliance (if applicable)	No applicable RDA regulations for this project area
Use compliance	Yes, this use complies with the zoning for this RCP zoned area
Engineering comments and letter of approval recommendation	Engineering comments, along with Public Works, Police Department, Fire Department provided
Traffic study	Not currently required
All Planning Commission and City Staff conditions for approval have been met	<u>Currently Amended Submission approval recommendation consideration being reviewed by Planning Commission</u>

DEPARTMENTAL STAFF REPORTS – 7/28/2021 to 8/4/2021

From: Shawn Douglas
Sent: Wed 8/4/2021 9:49 AM
To: Mike Eggett
Subject: Review

Mike,

I have included my review comments for the three projects. Thanks

Plan Review For Walmart

Storm Water

- 1-Drainage system operation and maintenance plan and BMPS approved and recorded with plat.
- 2-Show existing storm drain lines, retention ponds, orifice plates, catch basins, gutter inlet boxes, etc. Calculator new storm water flows to ensure detention and release rates still meet city specifications.
- 3-Storm water prevention plan for construction site including BMP's. All storm water inspections will need to completed on Compliance Go. Include concrete washout BMP.

Other

- 1-Note requiring all construction and materials shall meet Riverdale City standards.
- 2-Note requiring all missing, nonfunctioning, and or damage surface improvements shall be replaced. (sidewalk, curb and gutter, fencing, etc.)
- 3-Calculate new Square footage of impervious surface for entire lot.

Shawn Douglas
Riverdale City Public Works
Sdouglas@Riverdalecity.com
801-394-5541 ext.1217

From: Scott Brenkman
Sent: Wed 7/28/2021 4:47 PM
To: Mike Eggett
Subject: RE: Review needed - Walmart Fulfillment Center Site Plan Amend Proposal

I have no concerns.

Scott

Chief Scott Brenkman
Riverdale Police Department
4580 S. Weber River Dr.
Riverdale, UT 84405
(801)394-6616
sbrenkman@riverdalecity.com

From: Jared Sholly
Sent: Thu 7/29/2021 9:00 AM
To: Mike Eggett
CC: Randy Koger
Subject: RE: Review needed - Walmart Fulfillment Center Site Plan Amend Proposal

Randy, is this a good time to see if we can get Walmart to update their alarm system?

*Jared Sholly
Fire Chief
Riverdale City Fire Department
Cell: 801-628-6562
Office: 801-394-7481*

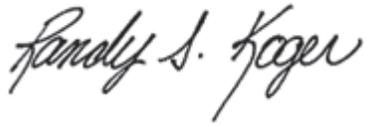
From: Randy Koger
Sent: Tue 8/3/2021 7:33 AM
To: Mike Eggett
CC: Jared Sholly
Subject: RE: Review needed - Walmart Fulfillment Center Site Plan Amend Proposal

REVIEW COMMENTS:

The following review comments are based on information provided on the Preliminary Site Plan Proposal, and shall not extend to means, methods, techniques, sequences, or procedures of construction nor conformance to any specifications. Acceptance of the project is the prerogative of the Authority Having Jurisdiction.

1. Provide Knox Box at front entrance and at back door to risers.
2. Keep all vegetation clear 3 feet around hydrants.
3. **PLAN REVIEW FORMS:**
 - [Peer Review for Fire Protection Systems \(PDF\)](#)
 - [Automatic Fire Sprinkler System Submittal \(PDF\)](#)
 - [Fire Alarm and Detection System Submittal \(PDF\)](#)

Comments made during this review are advisory and do not prevent the necessity of conforming with requirements which might have been overlooked in the review process. Ultimate responsibility for compliance rests with the owner/developer.

A handwritten signature in black ink that reads "Randy S. Keger". The signature is written in a cursive style with a large, sweeping 'R' and 'K'.

Fire Marshal/Code Enforcement Officer

Riverdale City

801-436-1241

4 August 2021

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Walmart – Construction of new Pickup Lanes with a Canopy.**
Subj: Improvement Drawing Review

Dear Mike,

Attached for consideration is my engineering review of the above referenced project. The following items will need to be considered and addressed prior to receiving recommended approval from our office.

General Note:

Please request the Developer or his Engineer, submit a response letter with their re-submittal of drawings answering all Engineering review comments contained herein.

1. An **electronic copy** of the final drawings must be submitted to the Public Works Department for record keeping upon design completion, and prior to approval of the final drawings from our office.

Improvement Drawings

1. The new asphalt finish surface grades, in the proposed pickup zone, are very flat, and below general construction standards. I would recommend the minimum surface slope, on the new asphalt, (to avoid birdbath depressions of standing water/ice), be adjusted to 2% slope, at minimum.
2. The roof drainage down-spouts should be piped and tied directly into the underground collection storm drain box.

3. A "Storm Water Maintenance Plan" will need to be developed and placed upon the drawings and submitted separate to the Walmart Management to implement.

We would be happy to meet with the Developer and/or his Engineer to review the above items should they have any questions.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.

A handwritten signature in black ink, appearing to read "N. Scott Nelson", written over a light gray rectangular background.

N. Scott Nelson, PE.

City Engineer

Cc. Shawn Douglas, Public Works Director
Jeff Woody, Building Official



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405
Acct #10-34-1500

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL OR MANUFACTURING SITE PLAN AMENDMENT APPROVAL

CASE NO: 2021-07 DATE SUBMITTED: 7/26/2021

APPLICANT'S NAME: Galloway & Company attn: Zell Cantrell

BUSINESS ADDRESS: 6162 S Willow Dr. Greenwood Village CO 80111

BUSINESS PHONE: 303-770-8884

ADDRESS OF SITE: 4848 900 W, Riverdale UT 84405

APPLICANT'S INTEREST: Engineering consultant

Application is hereby made to the Riverdale City Planning Commission requesting that the following permitted use, be approved on 224,961 sq.ft (5.16ac) of property in the RCP zone in (sq. ft./acreage)

accordance with the attached site


Signature of Applicant

Brian Brody

Signature of Property Owner

I authorize Galloway & Company relating to this application.

to act as my representative in all matters

Brian Brody

Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$400 per acre or portion of
Fee: \$ 2,064.00 Date paid: 7/26/2021

Planning Commission set public hearing: Yes No Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for amended site plan approval on:
Date: 8/10/2021 Decision of Commission: _____

City Council set public hearing: Yes No Date of Public Hearing: _____

City Council scheduled to hear this application for amended site plan approval on:
Date: _____ Decision of Council: _____



Riverdale City
 4600 South Weber River Drive
 Riverdale, UT 84405
 (801) 394-5541

XBP Confirmation Number: 103585058

▶ Transaction detail for payment to Riverdale City.		Date: 07/26/2021 - 2:06:37 PM MT	
Transaction Number: 153367263PT Visa — XXXX-XXXX-XXXX-7221 Status: Successful			
Account #	Item	Quantity	Item Amount
10341500	Zoning ampamp Subdiv. Fee	1	\$2064.00
Notes: SITE PLAN AMENDMENT 4848 S 900 W			

TOTAL: \$2064.00

Billing Information
 JACLYN MILLICAN
 , 84405

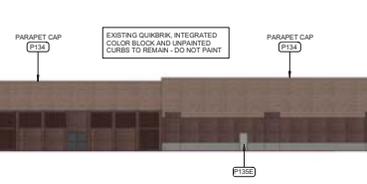
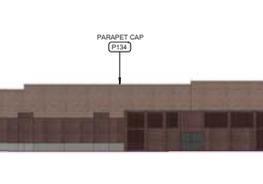
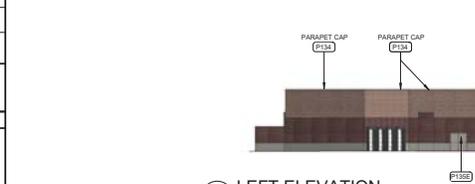
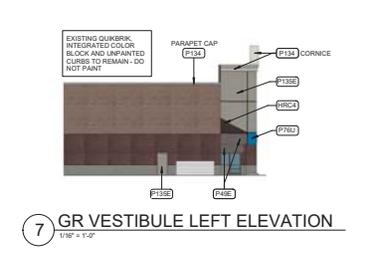
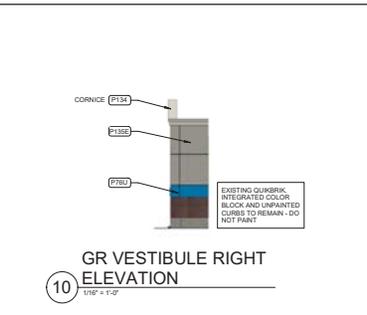
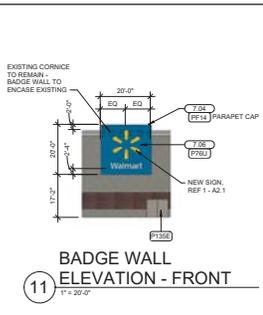
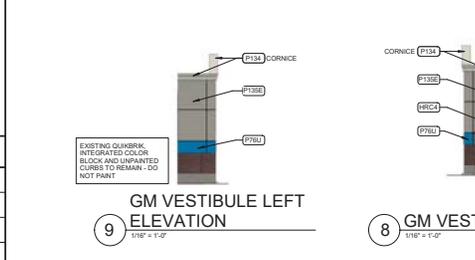
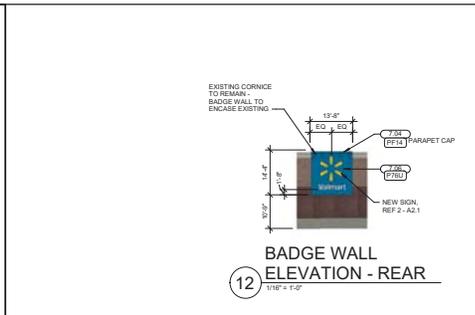
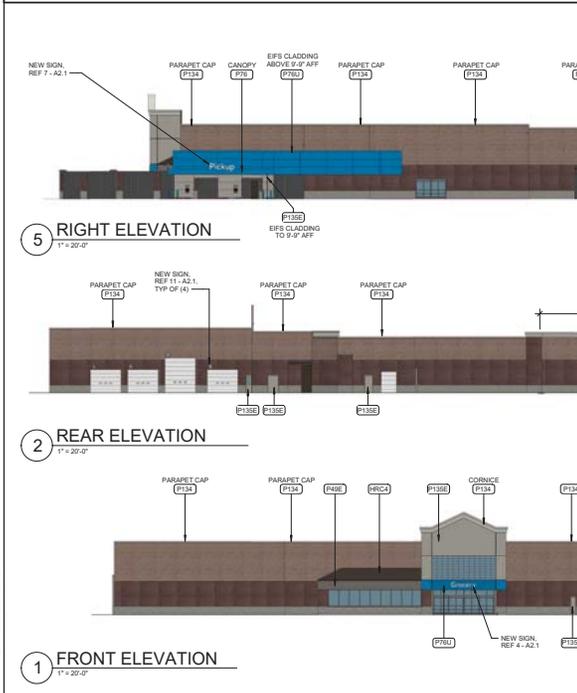
Transaction taken by: cjacobsen



COLOR LEGEND	
P#	COLOR NAME
P49E	DARK GRAY
P76U	WALMART BLUE (URETHANE-LIKE)
P134E	LIGHT GRAY
P135E	MEDIUM GRAY
HRC4	HEAT RESISTANT COATING TO MATCH DARK GRAY

DISCLOSURES

- PAINT RESTRICTIONS: TRD, PRELIMINARY APPROVAL ON PHOTO GRAYS AND BLUES PRIOR TO BOB SUBMITTAL.
- ALLOWED SIGNAGE SF: 805.97 SF (GRANDFATHERED SIGNAGE AREA)
- EXISTING SIGNAGE SF: 865.37 SF
- PROPOSED SIGNAGE SF: 465.74 SF
- VARIANCE PROCESS: NO SIGNAGE VARIANCE ALLOWED. EXISTING SIGNAGE AREA HAS BEEN TAKEN INTO CONSIDERATION AND HAS BEEN GRANDFATHERED INTO SUPERSEDE CURRENT SIGNAGE RESTRICTIONS.



- SHEET NOTES**
- PATCH AND REPAIR EXTERIOR WALL SURFACES DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS TO MATCH ADJACENT AS REQUIRED.
 - REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
 - SEE SURFACE EXISTING EPS WHERE SHOWN HATCHED AREA.
 - NOT USED.
 - PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT (SOLID) SIGNS, COORDINATE SCOPE OF WORK WITH WALMART CM.
 - IF PAINTING ADJACENT WALLS PAINT HOLLOW METAL STEEL DOORS, FRAMES, AND DOWNROPTS, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MICRO-LINCOB STEEL TO MATCH ADJACENT BUILDING COLOR UND.
 - PAINT ANY NEW ROOFTOP GAS PIPING (RFP) WHERE EXTERIOR WALL IS BEING PAINTED. GAS PIPE ALONG SIDE WALL TO GRADE SHOULD MATCH ADJACENT BUILDING. DO NOT PAINT METER OR VALVES.
 - IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL.
 - NOT USED.
 - PAINT ALL EXTERIOR ENTRY BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD BLEND.
 - PAINT SECURITY WALL PACK HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LENSES.
 - PAINT CENTER STEEL DOORS AND FRAMES.
 - PAINT LEAD WALL PACK HOUSINGS AND FRAMES.
 - NOT USED.
 - DO NOT PAINT UNPAINTED QUIKRIK OR INTEGRATED COLOR BLOCK AND UNPAINTED CURBS TO REMAIN. DO NOT PAINT.
 - AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, REMOVE AND PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR. REF SPEC 09060.

- DEMOLITION NOTES**
- NOT USED.
 - REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK TO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.

brr
ARCHITECT OF RECORD
NEW ARCHITECTURAL, INC.
1115 WEST 10TH AVENUE
DENVER, CO 80202
TEL: 303-733-8884
WWW.BRR-ARCH.COM

Walmart UT RIVERDALE
4848 S. 500 W. RD
RIVERDALE, UT 84053
STORE #69001 | PROJECT # 2022-0052C

CHECKED BY: BR
DRAWN BY: BR
PROTO CYCLE: 028201
DOCUMENT DATE: 06/21/21

EXTERIOR ELEVATIONS

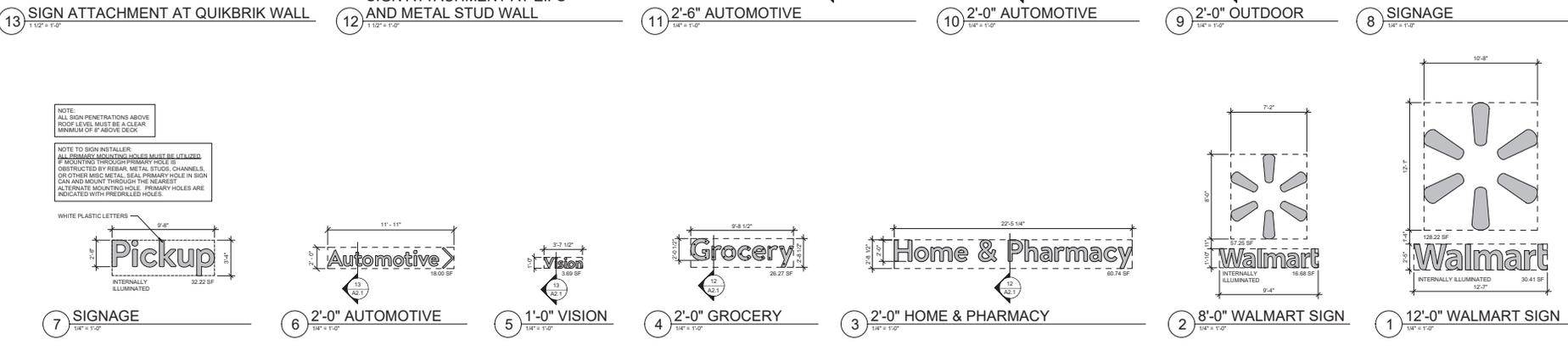
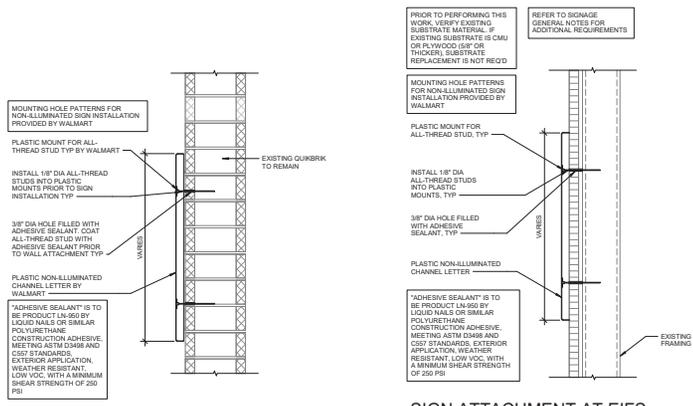
SHEET: **A2**

EXISTING SIGNAGE SCHEDULE						NEW SIGNAGE SCHEDULE						SIGNAGE GENERAL NOTES		
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA	SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA	
FRONT SIGNAGE							FRONT SIGNAGE							
Wal-Mart	1	LED	WHITE	8'-6"		298.00 SF	Wal-Mart	1	LED	WHITE	2'-6"	30.41 SF	30.41 SF	1. SIGNAGE FURNISHED BY WALMART AND INSTALLED BY GC.
Spak (1)	1	LED	YELLOW	2'-0"	298.00 SF	298.00 SF	Spak (1)	1	LED	YELLOW	12'-0"	126.22 SF	126.22 SF	2. ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE GC SIGN COMPANY IS ON SITE. THE EXISTING SIGNAGE WILL THEN BE REMOVED. PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATION. AND NEW SIGNAGE WILL BE INSTALLED PER PLAN.
Home & Pharmacy	1	N/A	WHITE	2'-0"	66.44 SF	66.44 SF	Home & Pharmacy	1	N/A	WHITE	2'-0"	66.74 SF	66.74 SF	A. A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS B. AND/OR REPAIRS HAVE BEEN COMPLETED AND NEW SIGNAGE IS INSTALLED.
Grocery & Pharmacy	1	N/A	WHITE	2'-0"	66.35 SF	66.35 SF	Grocery	1	N/A	WHITE	2'-0"	26.27 SF	26.27 SF	C. EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEKS OF THE CONSTRUCTION SCHEDULE.
Outdoor Living	1	N/A	WHITE	2'-0"	49.47 SF	49.47 SF	Outdoor	1	N/A	WHITE	2'-0"	20.93 SF	20.93 SF	3. GENERAL CONTRACTOR RESPONSIBILITIES
Auto Center >	1	N/A	WHITE	1'-6"	19.47 SF	19.47 SF	Automotive >	1	N/A	WHITE	1'-6"	18.00 SF	18.00 SF	A. BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGNAGE WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS, SUBMIT REQUEST FOR PROCEED APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 0226. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
Pickup	1	LED	WHITE	2'-0"	65.43 SF	65.43 SF	Vision	1	N/A	WHITE	1'-0"	1.89 SF	1.89 SF	B. PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO SIGN DETAILS FOR LIGHTED DO-LOAD SIGNS.
Spak (1)	1	LED	YELLOW	4.5-7.75"	65.43 SF	65.43 SF							C. DETAILS FOR LIGHTED DO-LOAD SIGNS.	
TOTAL FRONT SIGNAGE						547.16 SF	TOTAL FRONT SIGNAGE						287.83 SF	D. PROVIDE JUNCTION BOXES AND CIRCUTRY TO TENANT SIGNAGE LOCATION. SIGNAGE, EXISTING (B) BODES FROM "WALMART" SIGNAGE MAY BE REUSED.
REAR SIGNAGE							REAR SIGNAGE							
Wal-Mart	1	LED	WHITE	2'-0"	298.00 SF	298.00 SF	Wal-Mart	1	LED	WHITE	4'-0"	18.88 SF	18.88 SF	E. INSTALL ACCESSORIES AND FRAMES IN OPTIMAL BOARD CEILING IF REQUIRED BY RELOCATION OF EXISTING TENANT SIGNAGE.
Spak (1)	1	LED	YELLOW	8'-0"	298.00 SF	298.00 SF	Spak (1)	1	LED	YELLOW	6'-2"	57.25 SF	57.25 SF	F. VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
TOTAL REAR SIGNAGE						298.00 SF	TOTAL REAR SIGNAGE						73.93 SF	G. MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
AUTO CENTER SIGNAGE							AUTO CENTER SIGNAGE							
Auto Center	1	N/A	WHITE	1'-0"	17.25 SF	17.25 SF	Automotive	8	N/A	WHITE	2'-0"	27.82 SF	27.82 SF	H. REMOVE ALL IT BRIDGE SIGNS AND LIMIT EXTERIOR STUD MOUNTED BUILDING SIGNS, UNLESS NOTED OTHERWISE.
Tire	2	N/A	WHITE	1'-0"	2.98 SF	4.96 SF	Automotive Numerals (1-8)	8	N/A	WHITE	4'-12"	4.12 SF	4.12 SF	I. MAINT REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07600.
Lube	1	N/A	WHITE	1'-0"	3.33 SF	3.33 SF							J. INSTALL SIGNAGE PER DETAILS.	
TOTAL AUTO CENTER SIGNAGE						25.54 SF	TOTAL AUTO CENTER SIGNAGE						69.88 SF	
TOTAL BUILDING SIGNAGE						870.80 SF	TOTAL BUILDING SIGNAGE						495.74 SF	

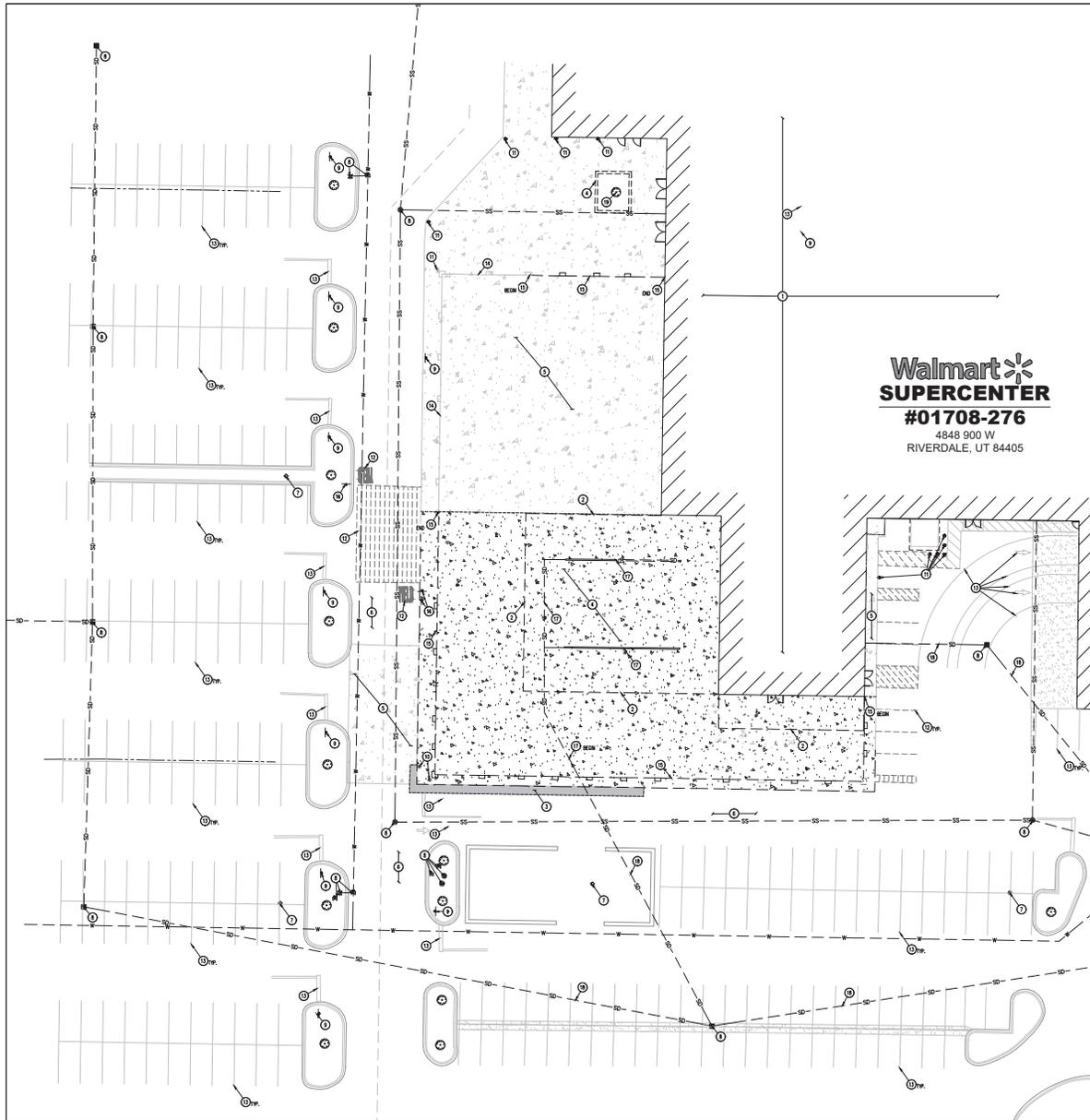
brr
ARCHITECT OF RECORD
NEW ARCHITECTURE, INC.
1115 WEST 700 AVENUE
SALT LAKE CITY, UT 84119
PHONE: 801-488-8888
WWW.BRR.COM

CONTRACTOR
WALMART STORE DEVELOPMENT PROJECT
2022 SPS#B-A
ISSUE BLOCK
CHECKED BY: BR
DESIGNED BY: BR
PHOTO CYCLE: 02/28/21
DOCUMENT DATE: 05/21/21

EXTERIOR DETAILS AND SIGNAGE
SHEET
A2.1



03/20/2018 10:27:14 AM
 C:\Users\jbradford\Desktop\02_SPS#B-A\02_SPS#B-A.dwg
 2/28/2021 10:27:14 AM



Walmart
SUPERCENTER
#01708-276
 4848 900 W
 RIVERDALE, UT 84405



KEY MAP
 APPROX. 1" = 500'

LEGEND

	EXISTING PROPERTY BOUNDARY
	EXISTING FENCE TO BE REMOVED
	SERVICE LINE
	EXISTING STORM DRAIN LINE TO REMAIN
	EXISTING SANITARY SEWER LINE TO REMAIN
	EXISTING WATER LINE TO REMAIN
	EXISTING ASPHALT PAVEMENT TO REMAIN
	EXISTING ASPHALT TO BE REMOVED
	EXISTING CONCRETE PAVEMENT TO REMAIN
	EXISTING CONCRETE TO BE REMOVED
	EXISTING LIGHT POLE TO REMAIN
	EXISTING STORM DRAIN STRUCTURE TO REMAIN
	EXISTING SANITARY SEWER STRUCTURE TO REMAIN
	EXISTING WATER METER TO REMAIN
	EXISTING MANHOLE TO REMAIN

DEMOLITION PLAN SCHEDULE NOTES

- EXISTING BUILDING TO REMAIN.
- EXISTING GARDEN CENTER STRUCTURES TO BE REMOVED.
- EXISTING ASPHALT PAVEMENT TO BE REMOVED.
- EXISTING CONCRETE TO BE REMOVED.
- EXISTING CONCRETE PAVEMENT TO REMAIN.
- EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING STORM DRAIN STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- EXISTING SANITARY SEWER STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- EXISTING SIGN TO BE REMOVED.
- EXISTING HOLLAND TO BE REMOVED.
- EXISTING HOLLAND TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- EXISTING SIGNING TO BE REMOVED.
- EXISTING SIGNING TO REMAIN.
- EXISTING FENCE TO REMAIN.
- EXISTING FENCE TO BE REMOVED.
- EXISTING SIGN TO BE REMOVED.
- STORM DRAIN TO BE REMOVED.
- STORM DRAIN TO REMAIN.
- EXISTING TREE TO BE REMOVED.

SWEEP NOTE:
 CONTRACTOR SHALL PREVENT ANY EROSION AND/OR SEDIMENTATION TRANSPORT FROM BEING RELEASED FROM THE REPAIR AREAS THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL UTILIZE BMP'S (STREAM MATS, SILT LINE ON PAVEMENT, ETC.) AS NECESSARY TO PREVENT RUNOFF FROM THE REPAIR AREAS.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANIES AND FIELD SURVEY EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, BEFORE SHOVING ON THE PLANS OR ANY OTHER TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE OWNER PRIOR TO CONSTRUCTION.
- BEFORE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE POSITION AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH FIELDWORK OR ALTERNATIVE METHOD. REPORT DISCREPANCIES TO THE OWNER PRIOR TO CONSTRUCTION.



STIPULATION FOR INSURE
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE FOR THIS PROJECT. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY PERMITS AND INSURANCE COVERAGE THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE THROUGHOUT THE PROJECT.



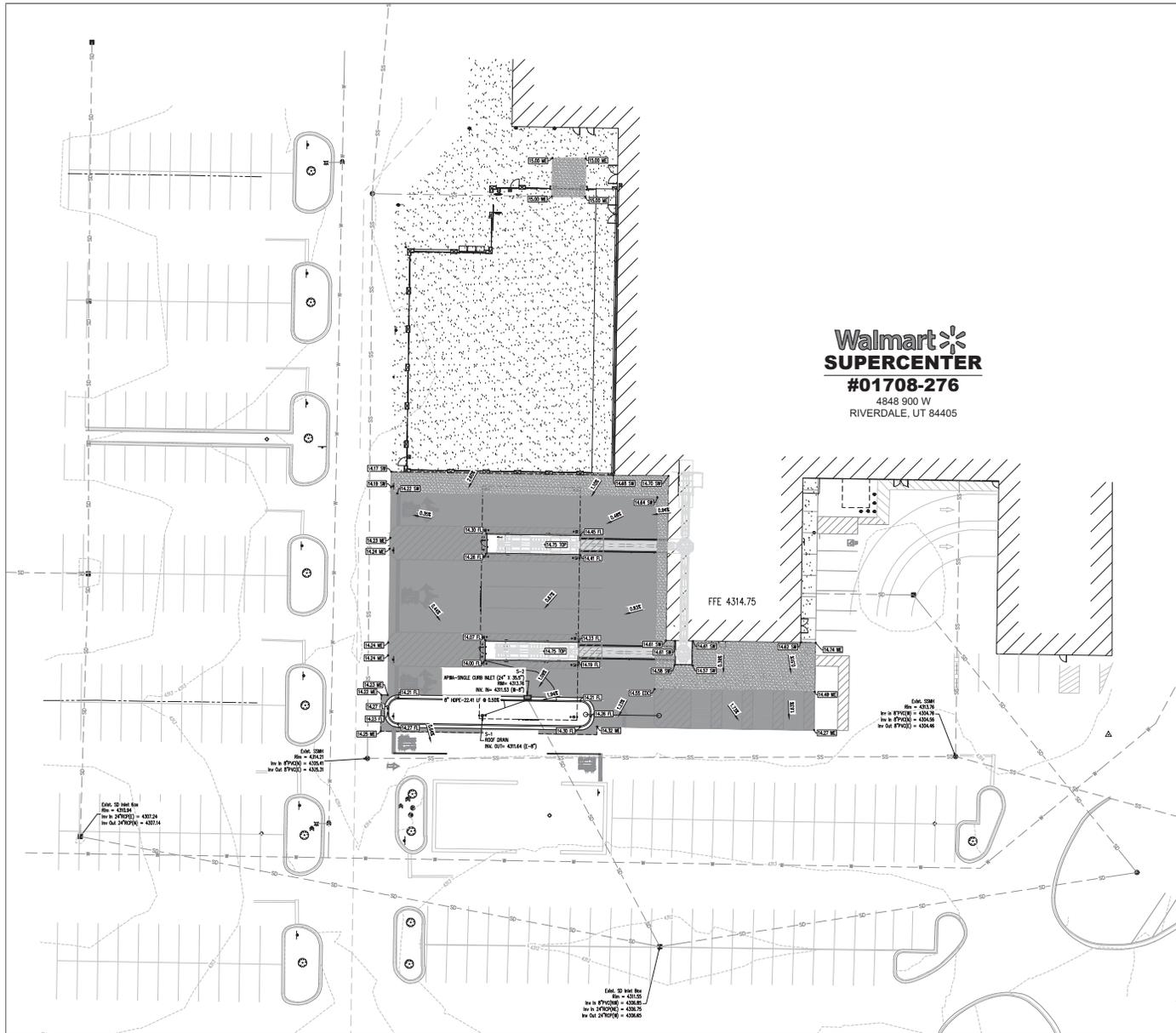
ISSUE BLOCK

NO.	DATE	DESCRIPTION

CHECKED BY: RCL
 DRAWN BY: DLS
 PHOTO CHIEF:
 DOCUMENT DATE: 07/21/2021

SITE DEMOLITION PLAN

SHEET: CS1



Walmart
SUPERCENTER
#01708-276
 4848 900 W
 RIVERDALE, UT 84405

FFE 4314.75

Exam. 3D 3/26/21 Rev = 4321.4
 Inv. by P7P(CM) = 4307.24
 Inv. by SVP(CM) = 4321.14

Exam. 3D 3/26/21 Rev = 4321.1
 Inv. by P7P(CM) = 4320.41
 Inv. by SVP(CM) = 4321.11

Exam. 3D 3/26/21 Rev = 4321.0
 Inv. by P7P(CM) = 4320.85
 Inv. by SVP(CM) = 4321.75
 Inv. by SVP(CM) = 4320.85



KEY MAP
 APPROX. 1" = 300'

GRADING LEGEND

	EXISTING PROPERTY BOUNDARY
	PROPOSED RIDGE LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	FINISHED FLOOR
	FLOW LINE
	TOP BACK CURB
	SIDEWALK
	TOP OF PAVEMENT
	MATCH EXISTING
	TOP OF GRATE
	HIGH POINT
	LOW POINT
	EDGE OF CONCRETE
	TOP OF GRATE
	SAWCUT LINE
	PROPOSED STORM PIPE
	EXISTING STORM PIPE
	EXISTING ASPHALT PAVING TO REMAIN
	PROPOSED ASPHALT PAVING
	EXISTING CONCRETE PAVING TO REMAIN
	PROPOSED CONCRETE PAVING
	EXISTING LIGHT POLE TO REMAIN
	EXISTING STORM DRAIN STRUCTURE TO REMAIN
	EXISTING SEWER STRUCTURE TO REMAIN
	EXISTING WATER METER TO REMAIN
	PROPOSED AREA INLET
	EXISTING AREA INLET
	PROPOSED CANOPY COLUMN
	PROPOSED BOLLARD

- NOTES:**
- ELEVATIONS ON THIS PLAN MAY BE EXPRESSED WITH THE FIRST TWO DIGITS TRUNCATED. ADD 4500 TO THESE ELEVATIONS.
 - ALL GRADES SHOWN ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 - ALL PEDESTRIAN SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPE OR 0% LONGITUDINAL.
 - ADA PARKING SPACES AND REFUGE GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - CONTRACTOR TO INSTALL ROOF DRAIN LEADERS FROM PROPOSED CANOPY TO STORM DRAIN WITH A MINIMUM 0% SLOPE. USE INSERT-A-TIE TO MAKE CONNECTION TO EXISTING STORM PIPE. REF. SEE DETAILS FOR INSERT-A-TIE DETAIL.

CAUTION - NOTICE TO CONTRACTOR

ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE COUNTY, CITY AND PUBLIC UTILITIES. IT IS THE USER'S RESPONSIBILITY TO VERIFY THE APPROXIMATE LOCATIONS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, BEFORE SHOWN ON THE PLANS OF ANY FIELD TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

BEFORE A PROPOSED UTILITY CROSSING AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY. OTHER THAN THROUGH TRENCHING, AN ALTERNATE METHOD REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



DISCLAIMER FOR REUSE
 THIS PLAN IS THE PROPERTY OF GALWAY ENGINEERS ARCHITECTS PLANNERS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GALWAY ENGINEERS ARCHITECTS PLANNERS. ANY REUSE OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF GALWAY ENGINEERS ARCHITECTS PLANNERS IS STRICTLY PROHIBITED.



ISSUE BLOCK

NO.	DATE	DESCRIPTION

CHECKED BY: RCL
 DRAWN BY: DLS
 PROJECT CHIEF: -
 DOCUMENT DATE: 07/21/2021

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
August 10, 2021**

AGENDA ITEM: E3

- SUBJECT:**
- a. Consideration to forward a recommendation to the City Council of a proposed Subdivision Amendment for Riverdale Center VI Subdivision, property located approximately 4171 South Riverdale Road, Riverdale Utah 84405, as requested by Riverdale Center North, LLC and AWA Engineering Group.
 - b. Consideration of Preliminary Site Plan approval for proposed Cheddar's Scratch Kitchen, property located approximately 4171 South Riverdale Road, Riverdale, Utah 84405; as requested by Riverdale Center North, LLC/Cheddar's and AWA Engineering Group.

PRESENTER: Mike Eggett, Community Development

INFORMATION:

- a. Exec Summary Cheddar's Prelim Site Plan and Amended Subdiv – PC [20210810]
- b. Cheddar's Amended Subdiv & Prelim Site Plan Review – 20210804
- c. Dept Staff Reports – Cheddar's Prelim Site Plan & Amended Subdiv PC [20210804]
- d. City Eng Cheddar's Design review #1 – 3 August 2021
- e. Cheddar's Site Plan & Amend Subdiv App - 20210722
- f. 03_Color Elevations
- g. 04_Sign Package [redacted]
- h. 01_Prelim Subdivision Plat
- i. 02_Cheddar's Scratch Kitchen – Civil Drawings[r]

[BACK TO AGENDA](#)



Planning Commission Executive Summary

For the Commission meeting on: 8-10-2021

Petitioner: *Riverdale Center North, LLC/Cheddar's*
represented by AWA Engineering, Jake Tate

Summary of Proposed Action

Riverdale Center North, LLC and Cheddar's Scratch Kitchen, as represented by Jake Tate with AWA Engineering, have submitted Preliminary Site Plan documentation and the Riverdale Center VI Amended Subdivision Plat for a restaurant site with supporting services for real estate located at approximately 4173 South Riverdale Road (on the old Best Buy parking lot site). The affected parcels are zoned in the Retail/Commercial Park Overlay (RCP) zone and this location is subject to a previously established development agreement for this area. This site plan and amended subdivision is being proposed for development on property that located in an old parking lot for Best Buy. The property is currently owned by Riverdale Center North, LLC. A public hearing is not required to consider this site plan proposal.

As it relates to the amended subdivision proposal, following the presentation and discussion of the proposal, the Planning Commission may make a motion providing a recommendation to City Council for approval of the proposed Riverdale Center VI Amended Subdivision, approval of the proposed subdivision amendment with any requested modifications, tabling the matter to a later date, or not recommending approval of the proposed subdivision amendment with the appropriate findings of facts. If a recommendation to City Council for approval is provided, then this matter could move forward to a future Final Amended Subdivision consideration process with the City Council.

As it relates to the Preliminary Site Plan proposal, following the presentation and discussion of the proposal, the Planning Commission may make a motion providing approval of the proposed Cheddar's Scratch Kitchen Preliminary Site Plan, approval of the proposed preliminary site plan with any requested modifications, tabling the matter to a later date, or not providing approval for the proposed preliminary site plan with the appropriate findings of facts. If an approval is provided, then this matter could move forward to a future final site plan consideration process with the Planning Commission.

Title 10 Ordinance Guidelines (Code Reference)

This Final Subdivision and Site Plan review is regulated under City Code 10-21 "Subdivisions", 10-25 "Development in All Zones" and is affected by City Codes 10-13B "Retail/Commercial Park Overlay Zone (RCP)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".

The proposed development parcels are located on property west of Riverdale Road on property currently owned by Riverdale Center North, LLC. The property is located in an RCP zoned area and the requested use of regional restaurant is a permitted use in this zone.

Attached with this executive summary is a document entitled "Preliminary Site Plan and Amended Subdivision Review - Cheddar's Scratch Kitchen and Riverdale Center VI Amended Subdivision"; this is a

supplementary document addressing items on the Preliminary Site Plan application documents. Also attached, following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The Planning Commission should discuss any concerns raised by these summaries.

Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission make a motion providing a recommendation to City Council for approval of the proposed Riverdale Center VI Amended Subdivision, approval of the proposed subdivision amendment with any requested modifications, tabling the matter to a later date, or not recommending approval of the proposed subdivision amendment with the appropriate findings of facts.

Thereafter, Staff would recommend that the Planning Commission make a motion providing approval of the proposed Cheddar's Scratch Kitchen Preliminary Site Plan, approval of the proposed preliminary site plan with any requested modifications, tabling the matter to a later date, or not providing approval for the proposed preliminary site plan with the appropriate findings of facts.

General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as "Planned Commercial - High" and this proposed project would comply with this land use.

Legal Comments - City Attorney

Steve Brooks, Attorney

Administrative Comments - City Administrator

Bill Cobabe, City Administrator



Preliminary Site Plan and Amended Subdivision Review – Cheddar’s Scratch Kitchen and Riverdale Center VI Amended Subdivision, 4173 South Riverdale Road

Completed by Mike Eggett, Community Dev. Director on 8/4/2021

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this proposed amended subdivision and preliminary site plan review. Items of consideration or note (if any) have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to approve the preliminary site plan or not approve the proposed Cheddar’s preliminary site plan with any additional comments, requirements or concerns to be addressed by the developer. Further, City staff recommends that the Planning Commission act accordingly to recommend City Council approval of the amended subdivision, table the matter to allow resolution of concerns, or not recommend City Council approval of the Riverdale Center VI Amended Subdivision with any additional comments, requirements or concerns to be addressed by the developer.

Date Plan Submitted to City: <small>(Must be at least two weeks prior to Planning Commission meeting)</small>	July 22, 2021
Date Application Submitted to City:	July 22, 2021
Date Fee Paid:	July 22, 2021 (see receipt for detail)
Site Plan – Preliminary Requirements	Departmental Review Comments
<i>COVER SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	Project name and address location shown; other lot addressing shown as well; addressing with subdivision lot do not link up – is Cheddar’s going to have address of 4173 or 4171? In either case the address needs to be the same on site plan and amended subdivision plat for this project area.
Property Owner’s name, address, and phone number	Riverdale Center North, LLC., 5760 Wilshire Blvd, Suite 1250, Los Angeles, CA 90036 Contact: Steve Usdan, 323-965-1510
Property Developer’s name, address, and phone number	Shown on cover page and application: Riverdale Center North, LLC., 5760 Wilshire Blvd, Suite 1250, Los Angeles, CA 90036 Contact: Steve Usdan, 323-965-1510

Approving agency's name and address: Utility companies if applicable	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; <u>other utility agencies name and contact info not provided, where applicable</u>
Consulting Engineer's name, address, and phone number	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529
Licensed Land Surveyor's name, address, phone number, signature, and seal	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529; seal and signature provided
Date	Yes – 15 July, 2021
Revision block with date and initials	Revision blocks shown and no notes yet
Sheet number and total sheets	Shown (18 total sheets), elevations and signage plans submitted as well
<u>General</u>	
Street names	Shown – Riverdale Road, 300 West
Layouts of lots with lot numbers	Yes, shown
Adjacent tract ownership and tax identification numbers	Tract ownership names and tax ID shown
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown, 1"=40' and 1" = 30' respectively
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements identified, existing structures currently on site shown, existing utility lines shown on sheet C3.1 and other sheets; CCR's provided to show approvals to cross, use, relocate
Space for notes	Yes, provided
Contours	Yes, shown on multiple sheets
Public areas	Existing and planned sidewalks and curb/gutter shown on multiple sheets, newly dedicated public areas shown as well
<u>Vicinity Map</u>	
Street names	Yes
Site location	Yes
North arrow	Yes
Scale	Note of "Not to Scale"
<i>PLAT SHEET</i>	Provided
<u>Title Block</u>	

Project name and address	Project name and address location shown; other lot addressing shown as well; addressing with subdivision lot do not link up – is Cheddar’s going to have address of 4173 or 4171? In either case the address needs to be the same on site plan and amended subdivision plat for this project area.
Approving Agency’s name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer’s name, address, and phone number	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529
Consulting Engineer’s stamp, signature, and license expiration date	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529; engineer’s stamp and signature provided
Date	Yes – 15 July, 2021
Names of approving agents with titles, stamps, signatures, and license expiration dates	<u>No names of approving agents, titles, stamps, signatures shown, may not be applicable</u>
Names of approving departments (Attorney, Planning Commission, Mayor, Engineer)	Shown on plat
<u>Layout</u>	
Landscaping (location and type with area calculations)	Yes, provided on sheet L1.1-L2.2, area calculations shown on L1.1
Location of exterior lighting devices, signs, and outdoor advertising	Yes, location of existing lighting and signs shown in packet; location of proposed onsite lighting devices shown; proposed signage locations shown; architectural elevations provided; planned building lighting provided
Location of underground tanks, dumpsters, etc	No tanks present on site; dumpster and dumpster enclosure location shown in packet
<u>Additional Information</u>	
Benchmark	Shown on cover sheet
Basis of bearings	Shown on cover sheet
Legend	Shown on cover sheet
<i>PLAN AND PROFILE SHEETS</i>	Site plan and profile sheets provided
<u>Title Block</u>	
Project name and address	Project name and address location shown; other lot addressing shown as well; addressing with subdivision lot do not link up – is Cheddar’s going to have address of 4173 or 4171? In either case the address needs to be the same on site plan and amended subdivision plat for this project area.

Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405
Consulting Engineer's name, address, and phone number	Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529
Date	Yes – 15 July, 2021
Scale	Yes, scale is showing
Revision block with date and initials	Revision blocks shown and no notes yet
Sheet number and total sheets	Shown (18 total sheets), elevations and signage plans submitted as well
<u>General</u>	
North arrow	Yes
Street names	Shown – Riverdale Road, 300 West
Lot numbers	Yes, shown
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet C0.1
<u>Signage</u>	Building signage concepts shown on arch drawings and on plan sheets; <u>may inquire more regarding future signage intent if desired</u>
Height	Pole sign is unknown
Size	Pole sign is 297.39 sf; building signs are 155.60 sf as shown on plans
Locations	Building signage concepts shown on arch drawings and on plan sheets; on site sign locations shown
Colors	Building signage concepts shown on arch drawings; pole signage not provided at this time
Lighting	Halo illuminated letters signage and internal lit signage in most cases
<u>New and Existing Buildings</u>	
Height and Size	New building - Height = approximately 23 feet at highest point; Building size = 7,895 sf
Location, setbacks, and all dimensions	Building setbacks not provided; approximates: front (south) setback – minimum unknown at nearest point; rear (north) setback – minimum unknown at nearest point; west side setback – unknown at nearest point; east side setback – minimum unknown at nearest point

Type of construction	Materials for structure, texture, color appearance provided on architectural drawings; DRC will need to approve the building colorations and material, signage concepts, and landscape plan
Type of occupancy and proposed uses	Regional restaurant
Show handicapped access	ADA accessible ramp and access areas shown and handicapped parking stalls shown
<u>New and Existing Landscaping & Percentage</u>	Landscaping identified on sheet L1.1; Percentage of landscaping provided for site is unclear based on sheet L1.1 table, therefore it is unknown if landscaping plan meets minimum requirement of 20% or more landscaping coverage per City Code 10-14-12(B.)(2.); does appear to meet plan just unsure of what percentage is applied in order to clear 20% requirement
Number of trees	30 trees, 310 shrubs, 27 ornamental grasses, 100 perennials
Landscape plan showing all planting, hardscaping, berming, and watering	Planting, hardscaping shown; new site development requires gentle berming locations, as required in 10-14-12 (B.)(2.), which is shown and identified in landscaping plan, irrigation plan provided
Xeriscaping alternatives being considered	Yes, xeriscaping seems to be applied in the rock mulch and ground cover areas of landscape plan; for more, inquire of the developer
<u>New and Existing Walls and Fences</u>	
Location, design, and height	No existing fences on site; no new fences appear to be planned for site
Materials proposed for construction	No new fences planned for site
<u>New and Existing Parking</u>	
Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	170 dedicated stalls are provided and shown; handicapped parking space provided and shown; size meets city requirements
Location of employees' parking, customer parking, and handicapped parking	Established as shown in drawings; employee parking and customer parking appear shared
Internal circulation pattern	<u>Internal circulation no identified but can be inferred by site plan documents</u>
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown
Circulation pattern	<u>Internal circulation no identified but can be inferred by site plan documents; inquire more if desired</u>

<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Yes, this is shown
Right-of-way lines	Shown, dedicated right-of-way identified
Face of curb lines	Yes, this is shown
Centerline slope	Shown on drawings and established per previous and other project road development
Signing and striping	<u>Public signing installation should be coordinated with public works dept and paid for by applicant, where applicable; roadway striping should be coordinated with public works, where applicable</u>
Light poles	Yes, location of existing light poles and power equipment shown; location of onsite proposed light poles and equipment shown in packet
Street lights	Yes, location of existing street light poles and power equipment shown; <u>no newly proposed street light poles or devices appear to be planned</u>
Street name signs	Location of street name signs on site not applicable to this location
Stop signs	Location of stop signs on site shown
UDOT approval (if required for project)	This project does not require UDOT approval
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown and details on sheet C4.1
Planting Strip	Yes, planting strips are shown along Riverdale Rd and internal private drive
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown on C2.1, in detail on sheet C4.1 and C4.5
Slope of gutter	Shown on C2.1, in detail on sheet C4.1 and C4.5
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	Shown on C2.1, in detail on sheet C4.1, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on C3.1, in detail on sheets C4.1-4.3, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets in packet
Ditches, location and ownership	No waterways or ditches located on this site or planned for this project
Approval to pipe, reroute or use	Other than future City approval, <u>unknown if other approval required, defer to City Engineer</u>

Calculations for retention system	Not provided; defer to City Engineer
Method of storm water clean-up	Shown on sheet C3.1; erosion control plan provided as well on sheets C5.1-C5.3
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	Shown on C.3.1, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on C3.1, detail provided on sheets C4.1-4.3, <u>defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on C3.1, detail provided on sheets C4.1-4.3, <u>defer to City Engineer</u>
Location, size, and type of water meters, valves, and fire hydrants	Shown on C3.1, water meter location shown, <u>size and type not identified</u> ; Location of existing valves shown; Location of new valves shown; existing fire hydrants on site shown; no new hydrants planned for this site plan
<u>New and Existing Gas Lines</u>	
Size and type	Existing gas lines shown, note on C3.1; <u>size and type not shown</u> ; new lines not shown, where <u>applicable</u>
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Existing power lines locations shown, <u>new power lines not shown</u> , <u>size and type not identified</u>
Location of power poles	Existing power poles and overhead lines location; new power poles location not planned
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	Existing location of telephone lines shown, <u>new telephone utility lines not shown-note on C3.1</u> , poles and associated manholes shown on C3.1 where applicable
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	Cable TV lines shown, note on C3.1, where applicable
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	Refer to sheets C4.1 for roadway cross section connection to curb, gutter, and sidewalk areas
Cross section of curb and gutter (standard 30" high back)	Shown on sheets C4.1, <u>defer to City Engineer</u>

Gutter inlet box with bicycle safe grate	Detail drawing provided on sheet C4.2-4.3, locations identified on multiple sheets; gutter inlet boxes not identified as having bicycle safe grates; defer to City Engineer
Cleanout box	Detail shown on sheets C4.2, location identified on multiple sheets; defer to City Engineer
Thrust blocking	Locations and detail not shown, if applicable; defer to City Engineer
Special energy dissipating or drop manholes	None showing and may not be applicable; defer to City Engineer
<i>ADDITIONAL INFORMATION</i>	
Soils report	Geotechnical report has been provided as completed by Terracon Consultants, Inc on June 17, 2021 for this site
Drainage and runoff calculations	Not provided; defer to City Engineer
Water right transfer documentation	Applicant needs to work with Public Works Department to provide adequate water rights for this site per 8-6-3 of City Code
Copy of protective covenants, codes, and regulations for development	Applicable CC&R's for this larger commercial project area have been provided
Three (3) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Provided with packet, along with full sign package
Corp of Engineers approval (if required)	Noted as FEMA flood zone determination outside of the 0.2% annual floodplain; no approval req.
Zoning compliance	Yes, Retail/Commercial Park Overlay (RCP) Zone meets intended uses for site design; project is in compliance with applicable development agreement as well
RDA compliance (if applicable)	No applicable RDA regulations for this project area
Use compliance	Yes, this use complies with the and zoning for this RCP zoned area; project is in compliance with applicable development agreement as well
Engineering comments and letter of approval recommendation	Engineering comments, along with Public Works, Police Department, Fire Department provided
Traffic study	Not currently required, unless deemed otherwise appropriate by City or UDOT
All Planning Commission and City Staff conditions for approval have been met	Currently Preliminary Site Plan approval and Amended Subdivision submittals recommendation consideration being reviewed by Planning Commission

DEPARTMENTAL STAFF REPORTS – 7/29/2021 to 8/4/2021

From: Shawn Douglas
Sent: Wed 8/4/2021 9:49 AM
To: Mike Eggett
Subject: Review

Mike,

I have included my review comments for the three projects. Thanks

Plan Review For Take 5

Storm Water

- 1-Drainage system operation and maintenance plan and BMPS approved and recorded with plat.
- 2-Orifice size, location and plan detail, free board on detention/retention structure, free board on structure, and emergency overflow. Requirements for detention/retention will need to be met.
- 3-Hydraulic separator or BMP's to treat storm water before water enters underground retention/detention or city system.
- 4-The location and method of connection to the city line.
- 5-Provide proposed flows gpm/gpd.
- 6-Storm water prevention plan for construction site including BMP's. All storm water inspections will need to be completed on Compliance Go. Construction entrance needs to be limited to one spot with fence or other BMP.
- 7-Note to certify retention/detention structure size after construction.
- 8-Retention/Detention structure design and materials shown.
- 9-Injection well permit if required.

Water

- 1-Provide water usage peak demands.
- 2-Provide what water shares will be used to meet water requirements.

Sewer

- 1-Grease trap or separator.

Other

- 1-Note requiring all construction and materials shall meet Riverdale City standards.
- 2-Note requiring all missing, nonfunctioning, and or damage surface improvements shall be replaced. (sidewalk, curb and gutter, fencing, etc.)
- 3-Note for flowlines in sewer manholes, storm drain manholes and catch basins.
- 4-Dimensions and square footage of each lot. Including impervious surface area of each lot.

Shawn Douglas
Riverdale City Public Works
Sdouglas@Riverdalecity.com
801-394-5541 ext.1217

From: Scott Brenkman
Sent: Thu 7/29/2021 4:16 PM
To: Mike Eggett
Subject: RE: Review needed - Prelim Site Plan Submittal for Take 5 and Drink Shop

I have no concerns.

Scott

Chief Scott Brenkman
Riverdale Police Department
4580 S. Weber River Dr.
Riverdale, UT 84405
(801)394-6616
sbrenkman@riverdalecity.com

From: Jared Sholly
Sent: Tue 8/3/2021 10:42 AM
To: Mike Eggett
CC: Randy Koger
Subject: RE: Review needed - Prelim Site Plan Submittal for Take 5 and Drink Shop

After working with Randy, I no additional recommendations.

*Jared Sholly
Fire Chief
Riverdale City Fire Department
Cell: 801-628-6562
Office: 801-394-7481*

From: Randy Koger
Sent: Tue 8/3/2021 10:19 AM
To: Mike Eggett
CC: Jared Sholly
Subject: RE: Review needed - Prelim Site Plan Submittal for Take 5 and Drink Shop

I have no additional recommendations.

Comments made during this review are advisory and do not prevent the necessity of conforming with requirements which might have been overlooked in the review process. Ultimate responsibility for compliance rests with the owner/developer.

A handwritten signature in black ink that reads "Randy S. Koger". The signature is written in a cursive style with a large, stylized 'R' and 'K'.

Fire Marshal/ Code Enforcement Officer
Riverdale City
801-436-1241



3 August 2021

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Riverdale Center VI Subdivision Amended Plat & Cheddar's Scratch Kitchen Site**
Subj: Plat Review & Cheddar's Scratch Kitchen Improvement Drawing Review

Dear Mike,

Attached for consideration is my engineering review of the above referenced project. The following items will need to be considered and addressed prior to receiving recommended approval from our office.

General Note:

Please request the Developer or his Engineer, submit a response letter with their re-submittal of drawings answering all Engineering review comments contained herein.

1. An **electronic copy** of the Plat drawing must be submitted to the Public Work Department for record keeping upon design completion and prior to approval of the final drawings from our office.

Plat - Riverdale Center VI Subdivision Amended

1. The Plat closes to the tolerance and standards of Riverdale City.
2. The date of the Plat will need to be placed on the drawing.
3. On the Plat drawing there are six (6) "Existing Agreements" noted. There needs to be a short explanation following each "Entry Number" as to the agreements purpose. If the agreement involves an easement, then that easement must be shown on the Plat.

4. The language for the “Riverdale City Engineer” approval/compliance signature block must be written to match the following:

I hereby certify that the “Office of the City Engineer” has examined the foregoing Plat and in our opinion the information conveyed herewith, complies with the Public Works Standards and Specifications of Riverdale City.

Improvement Drawings – Cheddar’s Scratch Kitchen

1. The Geotechnical Report will need to address the percolation valve of the soils in the underground retention basin.
2. The surface pavement depths (asphalt & roadbase) will need to be shown in the geotechnical report and placed in the drawings for construction.
3. No product substitution of the proposed underground storage facilities will be allowed without written approval from the Riverdale City Public Work Director.
4. The calculations of the time it will take to drain (percolate) into the ground the 100-year storm event will need to be submitted for review.
5. The design of the storm water orifice control structure will need to be submitted for review.
6. The details on the 85th percentile storm water storage basin – (volumes, flowlines, structures, overflow elevation, orifice calculations, etc.) will need to be added to the drawings and submitted for review.
7. Document submittal and approval with the State of Utah of injection of storm water into the ground at this site will need to be submitted and approved by the State of Utah.
8. The minimum diameter for the on-site storm water collection piping will need to be adjusted on the drawings to 10-inches in diameter, piping.
9. The concrete drainage apron shown for the inlet storm water boxes should be tied by rebar into the box walls to control settlement.
10. In the parking lot several pavement slopes are below the minimum grade of 2%. These flatter slopes should be adjusted to avoid icy birdbaths, in the winter.
11. Show the site location and details for the irrigation backflow device (RP-backflow).
12. All storm water grates will need to be sized for traffic loads and will need to be able to be removed by work men (less than 125 pounds).
13. A storm water maintenance plan will need to be developed and shown on the improvement drawings.

14. An additional fire hydrant should be considered on the south side of the building. Also, a control gate valve should be utilized at the fire-line / main line connection on the easterly side of the building.

We would be happy to meet with the Developer and/or his Engineer to review the above items should they have any questions.

Sincerely,
CEC, Civil Engineering Consultants, PLLC.

A handwritten signature in black ink, appearing to read "N. Scott Nelson". The signature is fluid and cursive, with a long horizontal stroke at the end.

N. Scott Nelson, PE.
City Engineer

Cc. Shawn Douglas, Public Works Director
Jeff Woody, Building Official



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL SUBDIVISION SITE PLAN APPROVAL - AMENDED

CASE NO: 2021-08 DATE SUBMITTED: 7-22-2021

APPLICANT'S NAME: Anderson Wahlen & Associates - Jake Tate

ADDRESS: 2010 North Redwood Road, SLC, UT 84116

PHONE: 801-410-8505 TAX I.D. No: 06-342-0001 & 06-342-0002

ADDRESS OF SITE: 4171 Riverdale Road and 4163 Riverdale Road

APPLICANT'S INTEREST: Owner's Authorized Agent

Application is hereby made to the Riverdale City Planning Commission requesting that a
(Consolidating 2 Lots into 1)
commercial subdivision consisting of _____ lots be approved on 2.71 Acres of
(number of lots) (sq. ft./acreage)
property in the RCP zone in accordance with the attached site plan.

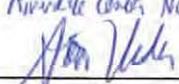


Signature of Applicant

Riverdale Center North, LLC


Signature of Property Owner

I authorize Anderson Wahlen & Associates - Jake Tate to act as my representative in all matters relating to this application.

Riverdale Center North, LLC


Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$50 per lot/unit
Fee: \$ 100.00 Date paid: 7-22-2021

Planning Commission set public hearing: Yes No Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for amended subdivision site plan approval on:

Date: 8/10/2021 Decision of Commission: _____

City Council scheduled to hear this application for amended subdivision site plan approval on:

Date: _____ Decision of Council: _____



Riverdale City
 4600 South Weber River Drive
 Riverdale, UT 84405
 (801) 394-5541

XBP Confirmation Number: 103343710

▶ Transaction detail for payment to Riverdale City.		Date: 07/22/2021 - 4:26:29 PM MT	
Transaction Number: 153063471PT Visa — XXXX-XXXX-XXXX-6181 Status: Successful			
Account #	Item	Quantity	Item Amount
10341500	Zoning ampamp Subdiv. Fee	1	\$100.00
Notes: SITE PLAN FEE			

TOTAL: \$100.00

Billing Information
 EARL TATE
 , 84405

Transaction taken by: cjacobsen



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL OR MANUFACTURING SITE PLAN APPROVAL

CASE NO: 2021-08 DATE SUBMITTED: 7-22-2021

APPLICANT'S NAME: Anderson Wahlen & Associates - Jake Tate

ADDRESS: 2010 North Redwood Road, SLC, UT 84116

PHONE: 801-410-8505 TAX I.D. NO: 06-342-0001 & 06-342-0002

ADDRESS OF SITE: 4171 Riverdale Road & 4163 Riverdale Road

APPLICANT'S INTEREST: Owner's Authorized Agent

Application is hereby made to the Riverdale City Planning Commission requesting that the following permitted use, be approved on 2.71 Acres of property in the RCP zone in (sq. ft./acreage)

accordance with the attached site plan.


Signature of Applicant

Riverdale Center North, LLC

Signature of Property Owner

I authorize Anderson Wahlen & Associates - Jake Tate to act as my representative in all matters relating to this application.

Riverdale Center North, LLC

Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$200 per acre or portion of Fee: \$ 542.00 Date paid: 7-22-2021

Planning Commission set public hearing: Yes No Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:
Date: 8/10/2021 Decision of Commission: _____

City Council set public hearing: Yes No Date of Public Hearing: _____

City Council scheduled to hear this application for site plan approval on:
Date: _____ Decision of Council: _____



Riverdale City
 4600 South Weber River Drive
 Riverdale, UT 84405
 (801) 394-5541

XBP Confirmation Number: 103343745

Transaction detail for payment to Riverdale City.		Date: 07/22/2021 - 4:27:52 PM MT	
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Account #	Item	Quantity	Item Amount
10341500	Zoning ampamp Subdiv. Fee	1	\$542.00
Notes: SUB DIV. FEE			

TOTAL: \$542.00

Billing Information
 EARL TATE
 , 84405

Transaction taken by: cjacobsen



Front Elevation



Left Elevation



Rear Elevation



Right Elevation

Site:

Cheddar's Scratch Kitchen
Riverdale Shopping Center
4027 Riverdale Road
Riverdale, UT 84405

Date:

07.13.2021 R02



✉ j.mueller@firstandmain signs.com

☎ 234.458.0990

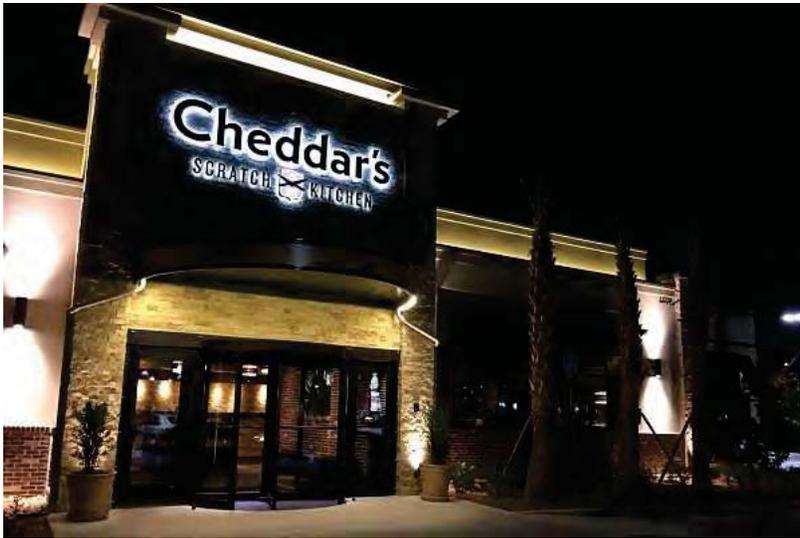
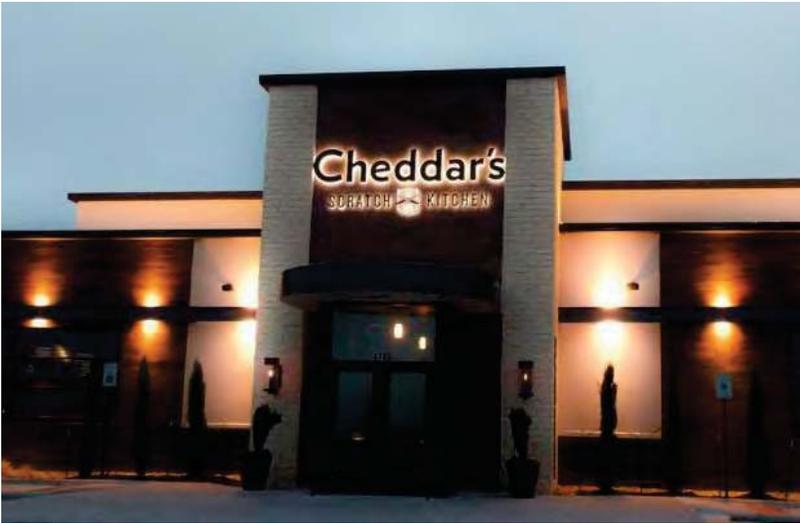
Prepared for:

Cheddar's

SCRATCH  KITCHEN



SIR Brand Book

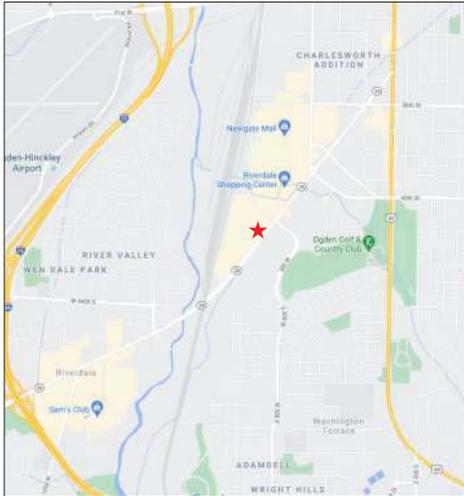


PROPOSED SIGNAGE SUMMARY:

- CODE HAS A PRETTY GENEROUS ALLOWANCE OF A 3:1 RATIO FOR SF FOR THE BUILDING. WALL SIGNS. SIGN TOTAL IS 154.76 SF.
- SIGNAGE IS ALSO ALLOWED ON EACH ELEVATION.
- USING CHEDDAR'S STANDARD SIZES, TENENAT IS AT AN APPROX. COMBINED 155 SF.
- PYLON SIGNS ARE ALLOWED AND CAN BE 40 OAH AND UP TO 300 SF MAX.
- PYLON SIGN REQUIRED TO MEET 10' SETBACK.

CRITICAL ISSUES

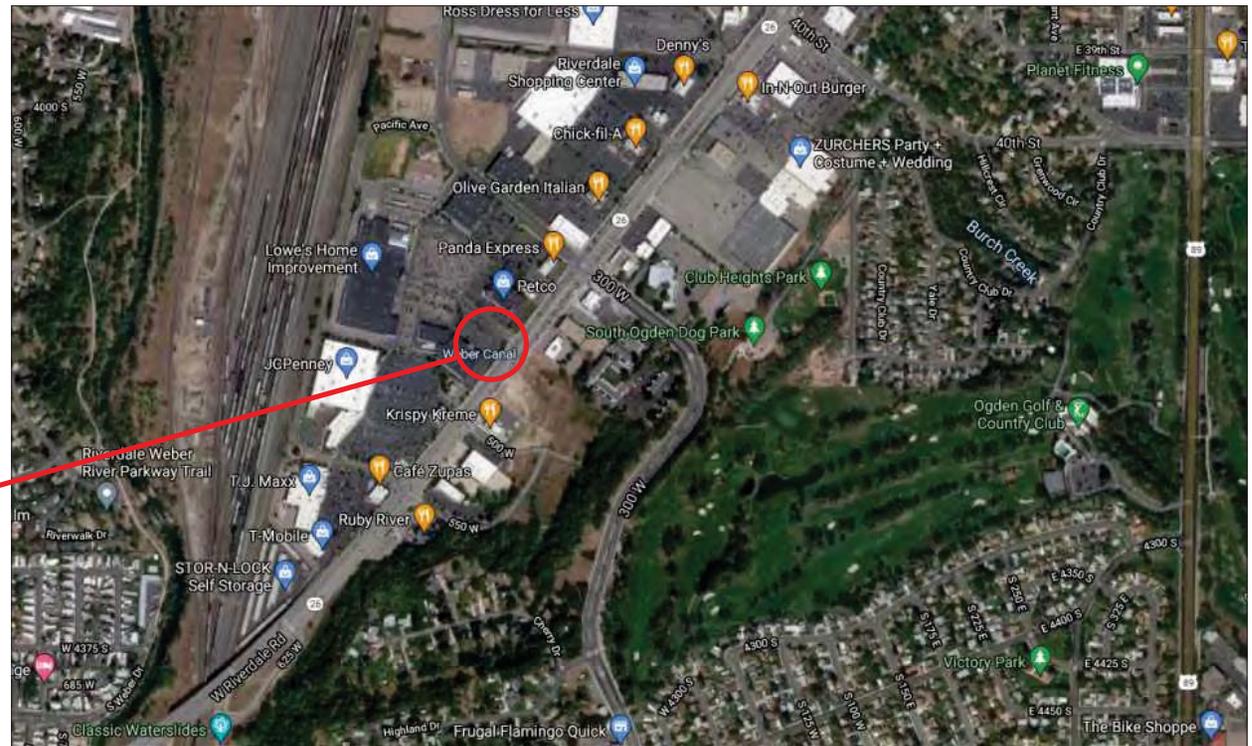
- PLACEMENT FOR THE PYLON TO BE VERIFIED IN RELATION TO BUILDING AND OVERHEAD POWER LINES BUT WILL OFFER SIGNIFICANT VISIBILITY AND AWARENESS.
- POSSIBLE PROXIMITY ISSUE WITH NEW PROPOSED PYLON LOCATION IN CONJUNCTION WITH FUTURE DUTCH BROS. PYLON.
- THERE ARE OTHER OBSTRUCTIONS LIKE TREES, LANDSCAPE, AND BUS STOP ALONG RIVERDALE RD. THAT WILL NEED TO BE ADJUSTED AND TAKEN INTO CONSIDERATION. WE RECOMMEND REMOVING OR ADJUSTING LANDSCAPING AT SOUTHEAST CORNER AS WELL AS TREES ALONG RIVERDALE RD.
- INITIAL SITE DESIGNS HAD VISIBILITY CONCERNS FOR CERTAIN WALL SIGNS BUT NEW ELEVATIONS HELP TO ALLEVIATE SOME OF THIS. NORTH ELEVATION SIGN MAY HAVE LIMITED VISIBILITY FOR INTERIOR OF SHOPPING CENTER DUE TO LOWER LOCATION.
- SIGN C, ON THE EAST ELEVATION SITS LOW UNDER THE ROOF LINE SO IT HAS LESS IMPACT THAN IF PLACED ON A TOWER BUT THE PYLON SIGN SHOULD MAKE UP FOR IT.
- ELEVATIONS WE RECEIVED SHOW "SCRATCH KITCHEN" COPY W/ ORANGE / COPPER FACES. THIS DOES NOT CREATE ENOUGH CONTRAST FROM THE WALL / STONE FINISHES BEHIND SO WE RECOMMEND USING THE BLACK AS SHOWN.



1 VICINITY MAP
SCALE: NTS

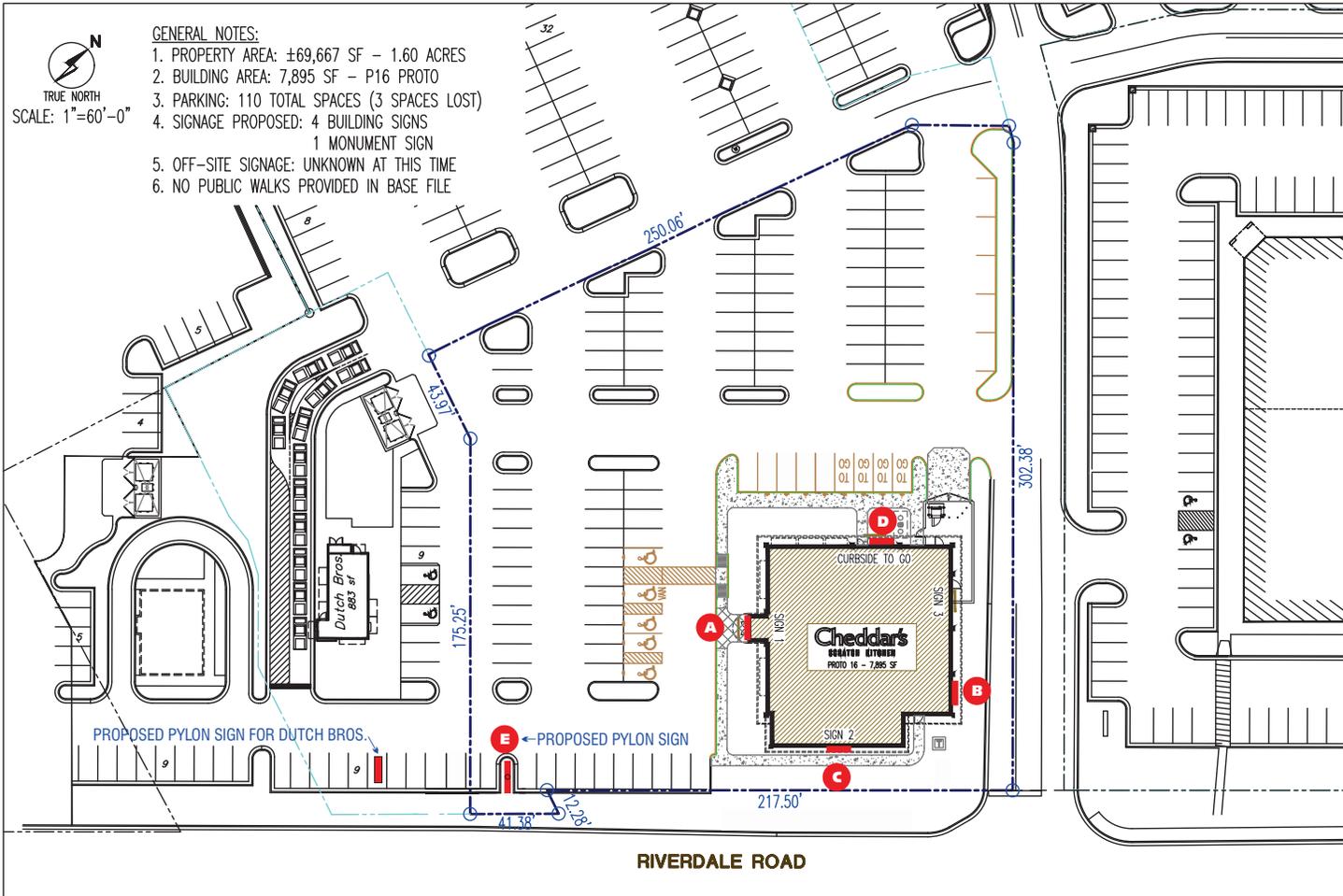


STORE LOCATION



2 AERIAL VIEW
SCALE: NTS





SQUARE FOOTAGE CHART	
WEST ELEVATION	SIGN "A" = 47.90 Sq. Ft.
EAST ELEVATION	SIGN "B" = 35.90 Sq. Ft.
SOUTH ELEVATION	SIGN "C" = 35.90 Sq. Ft.
NORTH ELEVATION	SIGN "D" = 35.90 Sq. Ft.
TOTAL BUILDING SQUARE FOOTAGE	SIGNS "A" + "B" + "C" + "D" = 155.60 Sq. Ft.
PYLON SIGN	SIGNS "E" = 297.39 Sq. Ft.
TOTAL BUILDING SQUARE FOOTAGE PLUS PYLON SIGN	SIGNS "A" + "B" + "C" + "D" + "E" = 453 Sq. Ft.
TOTAL BUILDING SQUARE FOOTAGE ALLOWED 600 SQ. FT.	
TOTAL PYLON SQUARE FOOTAGE ALLOWED 300 SQ. FT.	

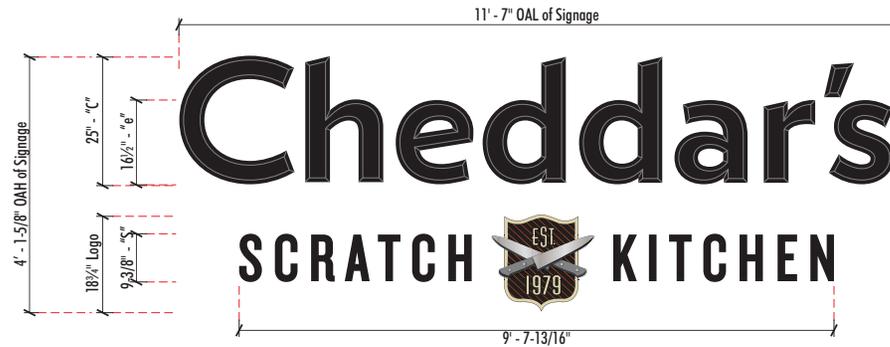
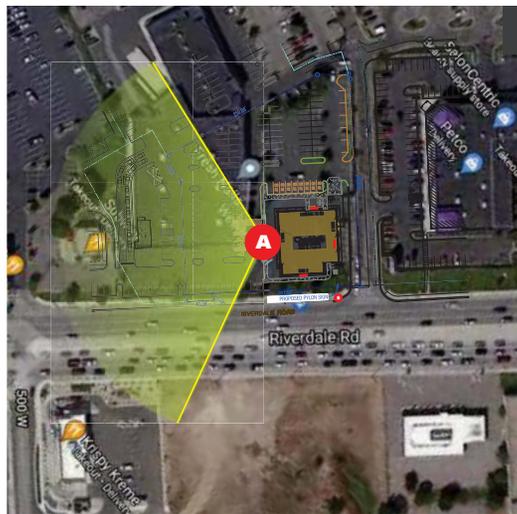
1 SITE PLAN
SCALE: NTS





1 WEST ELEVATION (FRONT ELEVATION) SIGN SQUARE FOOTAGE FOR ELEVATION = 47.90 SQ. FT. (MAX ALLOWED @ 3 SF PER 1 FT. LINEAR, 248 SF)
SCALE: 3/32" = 1' - 0"

NOTE: Elevations for sign placement only. May not reflect final design of building

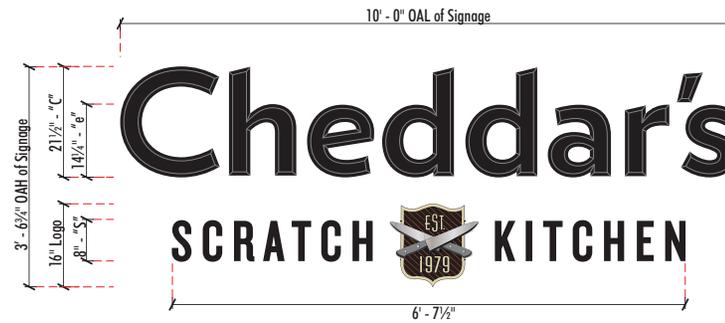
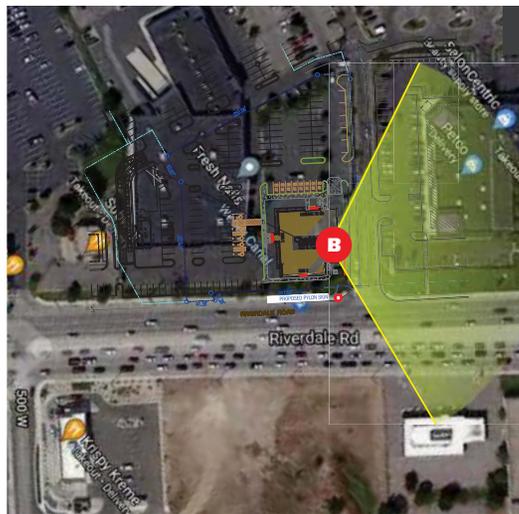


A 2 WEST ELEVATION (FRONT ELEVATION / FACES PARKING LOT) (SEE SIGN DETAILS PAGES 9-13)
SCALE: 3/32" = 1' - 0"



1 EAST ELEVATION (FACES ENTRANCE INTO SHOPPING CENTER) SIGN SQUARE FOOTAGE FOR ELEVATION = 35.90 SQ. FT. (MAX ALLOWED @ 3 SF PER 1 FT. LINEAR, 248 SF)
SCALE: 3/32" = 1' - 0"

NOTE: Elevations for sign placement only. May not reflect final design of building

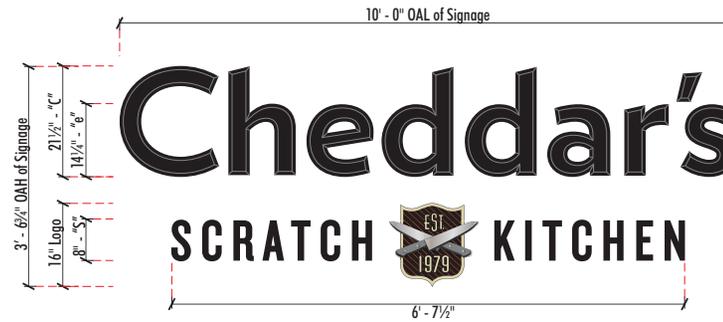
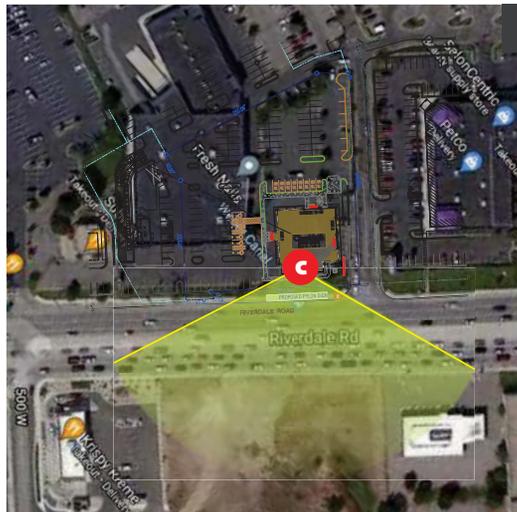


B 2 EAST ELEVATION (ENTRANCE TO SHOPPING CENTER) (SEE SIGN DETAILS PAGES 9-13)
SCALE: 3/32" = 1' - 0"



2 SOUTH ELEVATION (FACES RIVERDALE ROAD) SIGN SQUARE FOOTAGE FOR ELEVATION = 35.90 SQ. FT. (MAX ALLOWED @ 3 SF PER 1 FT. LINEAR, 248 SF)
 SCALE: 3/32" = 1' - 0"

NOTE: Elevations for sign placement only. May not reflect final design of building

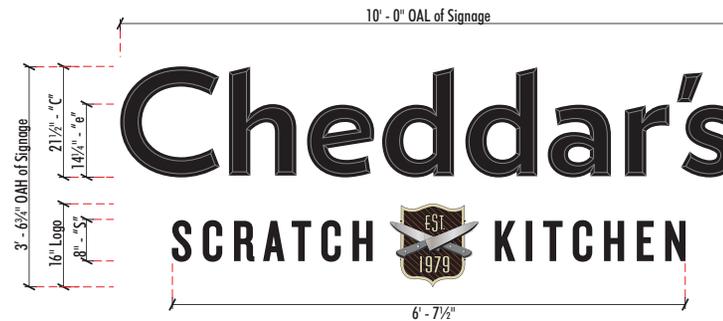
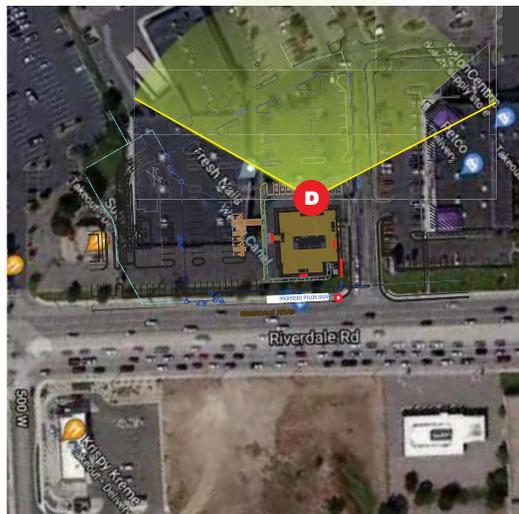


C **2** SOUTH ELEVATION (FACES RIVERDALE RD.) (SEE SIGN DETAILS PAGES 9-13)
 SCALE: 3/32" = 1' - 0"

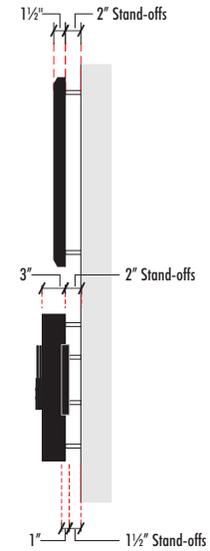
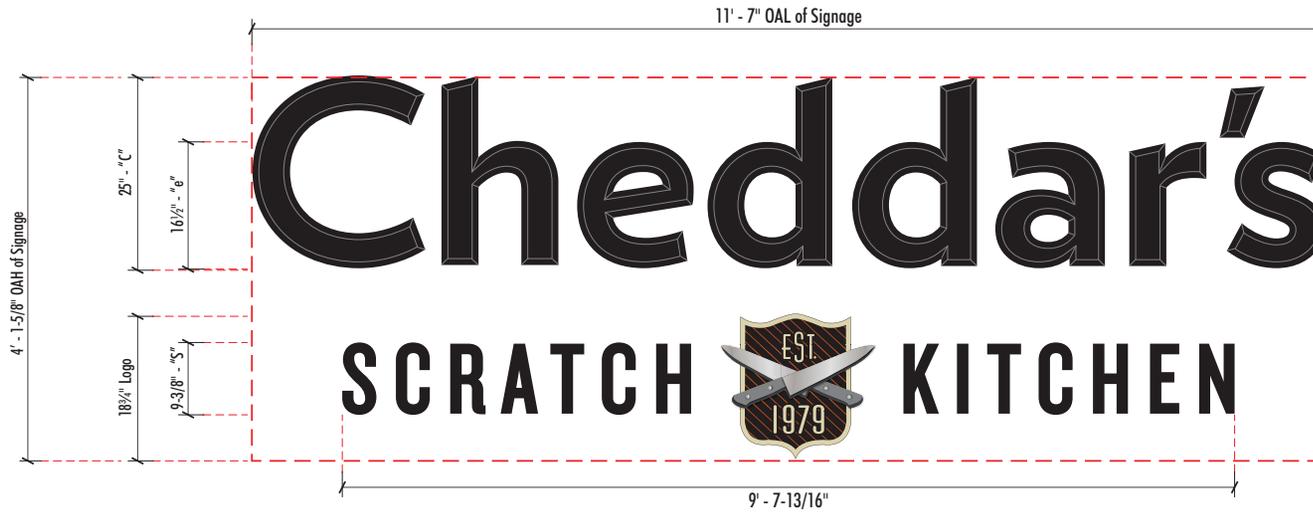


2 NORTH ELEVATION (SHOPPING CENTER) SIGN SQUARE FOOTAGE FOR ELEVATION = 35.90 SQ. FT. (MAX ALLOWED @ 3 SF PER 1 FT. LINEAR, 248 SF)
 SCALE: 3/32" = 1' - 0"

NOTE: Elevations for sign placement only. May not reflect final design of building



D 2 NORTH ELEVATION (FACES SHOPPING CENTER) (SEE SIGN DETAILS PAGES 9-13)
 SCALE: 3/32" = 1' - 0"



A HALO ILLUMINATED CHANNEL LETTERS w/DUAL-LIT CHANNEL LOGO w/FCO KNIVES QTY: ONE (1) SET
 SCALE: 3/4" = 1' - 0" SIGN AREA = 47.90 Sq. Ft.(Ea. Set)

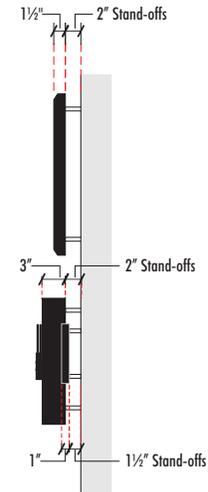
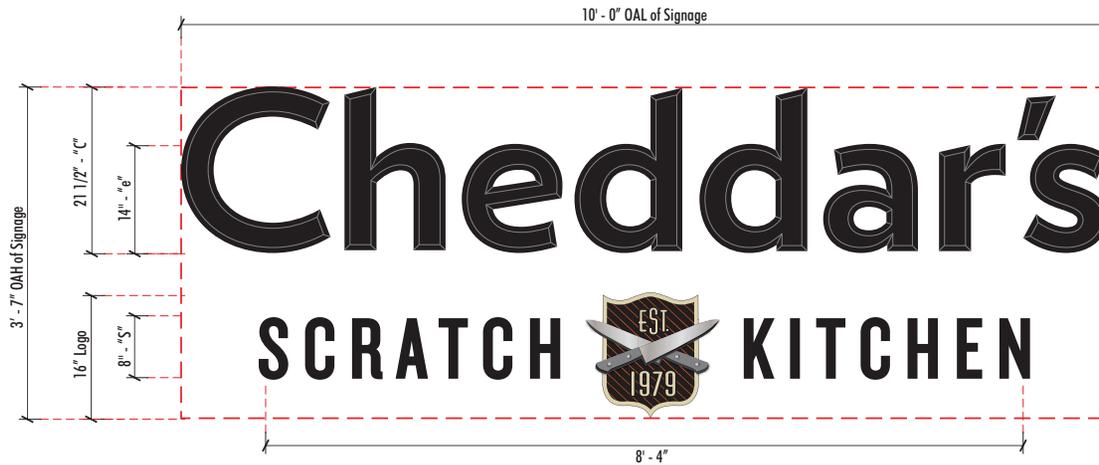
SPECIFICATIONS

- "CHEDDAR'S" - 1 1/2" deep, formed polycarbonate letters with beveled faces (as shown).
 Face and Returns painted black (satin finish)
 Backs - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
 Halo illuminate with 7100k white LED's, with remote LED (12v) power supplies
 Letters stand-off fascia 2" with 1/2" Ø aluminum spacers. Spacers painted white.
- "SCRATCH KITCHEN" - Fabricated 1" deep aluminum reverse channel letters
 Face and returns painted black (satin finish)
 Backs - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
 Halo illuminated with 7100k white LED's, with remote LED (12v) power supply
 Letter stand-off fascia 1 1/2" with 1/2" Ø aluminum spacers. Spacers painted white.
- "LOGO SHIELD" - Fabricated 3" deep aluminum dual-lit channel logo
 Returns painted black (satin finish)
 Trimcap - 1" black Jewelite
 Face - White (2447) acrylic face with 1st surface UV digitally printed graphics
 Back - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
 Face and halo illuminated with 7100 white LED's with remote LED (12v) power supply
 Logo stand-off fascia 2" with 1/2"
- FCO KNIVES - HANDLES - 1/8" thick clear acrylic handles painted matte black. Handles mount to both sides of steel blade
 BLADE - 1/8" thick brushed aluminum blades with ground beveled edge
 Knives crisscross over each other on front of "logo shield". Mount thru knife handles to logo shield leaving exposed aluminum screw head (2 each)

NOTE: INTERIORS OF LETTERS AND LOGO TO BE PAINTED WITH LIGHT ENHANCING PAINT
 G.C. TO PROVIDE ALL BLOCKING FOR SIGNAGE



NIGHT TIME VIEW



END VIEW



B C D HALO ILLUMINATED CHANNEL LETTERS w/DUAL-LIT CHANNEL LOGO w/FCO KNIVES

QTY: FOUR (4) SETS

SCALE: 3/4" = 1' - 0"

SIGN AREA = 35.90 Sq. Ft. (Ea. Set)

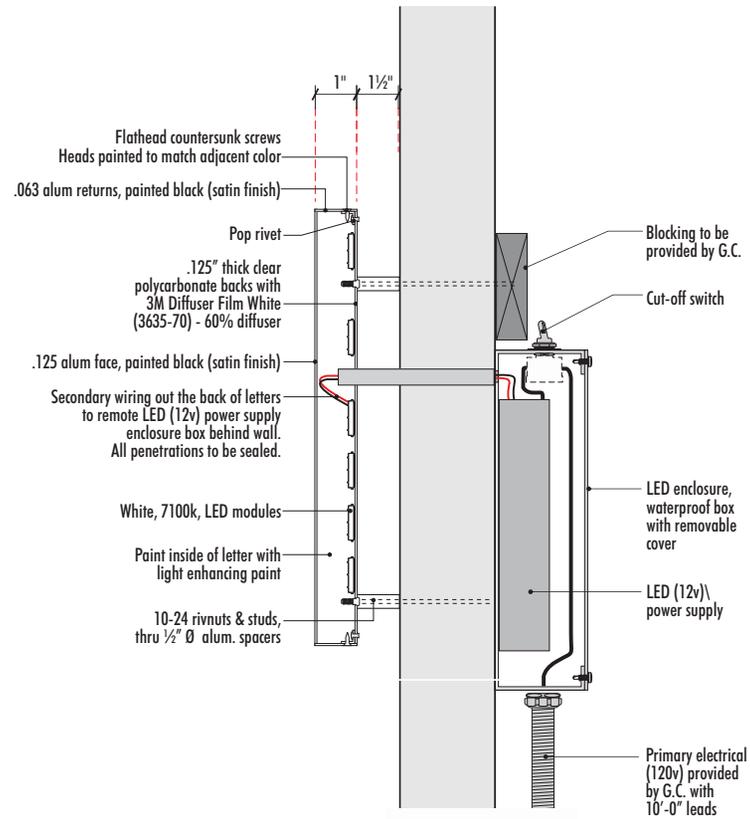
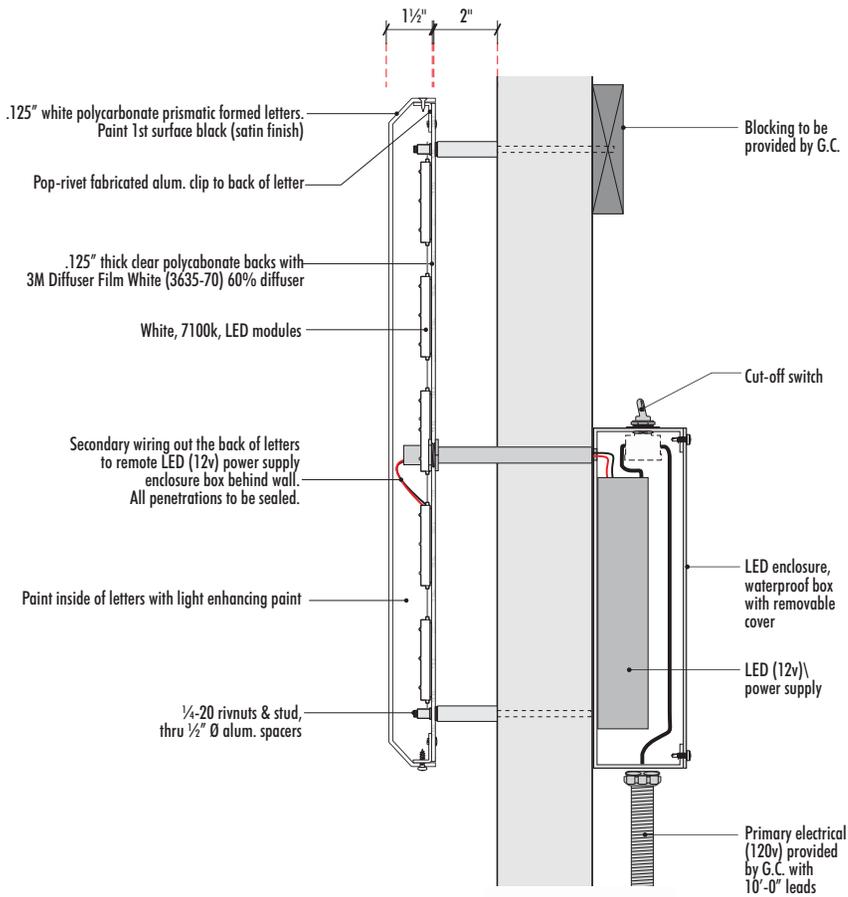
SPECIFICATIONS

- "CHEDDAR'S" - 1 1/2" deep, formed polycarbonate letters with beveled faces (as shown).
Face and Returns painted black (satin finish)
Backs - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
Halo illuminate with 7100k white LED's, with remote LED (12v) power supplies
Letters stand-off fascia 2" with 1/2" Ø aluminum spacers. Spacers painted white.
- "SCRATCH KITCHEN" - Fabricated 1" deep aluminum reverse channel letters
Face and returns painted black (satin finish)
Backs - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
Halo illuminated with 7100k white LED's, with remote LED (12v) power supply
Letter stand-off fascia 1 1/2" with 1/2" Ø aluminum spacers. Spacers painted white.
- "LOGO SHIELD" - Fabricated 3" deep aluminum dual-lit channel logo
Returns painted black (satin finish)
Trimcap - 1" black Jewelite
Face - White (2447) acrylic face with 1st surface UV digitally printed graphics
Back - clear polycarbonate with 3M Diffuser Film White (3635-70) - 60% diffuser
Face and halo illuminated with 7100 white LED's with remote LED (12v) power supply
Logo stand-off fascia 2" with 1/2"
- FCO KNIVES - HANDLES - 1/8" thick clear acrylic handles painted matte black. Handles mount to both sides of steel blade
BLADE - 1/8" thick brushed aluminum blades with ground beveled edge
Knives crisscross over each other on front of "logo shield". Mount thru knife handles to logo shield leaving exposed aluminum screw head (2 each)

NOTE: INTERIORS OF LETTERS AND LOGO TO BE PAINTED WITH LIGHT ENHANCING PAINT
G.C. TO PROVIDE ALL BLOCKING FOR SIGNAGE



NIGHTTIME VIEW



ELECTRICAL ILLUMINATION REQUIREMENTS

1 Dedicated 20 Amp Circuit at 120 Volts (FOR EACH SIGN)

NOTE: All primary electrical to sign location to be provided by others. A dedicated circuit with NO shared neutrals and a ground returning to the panel is required for installation.

This sign is intended to be installed in accordance with Article 600 or the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

All power supplies to be Ground-Fault Interrupted (GFI)

Signage to have a dedicated branch circuit, three (3) wires (Line, Neutral and Ground)

Wire sizes to be a minimum of 12 Ga. THHN copper wire. Gauge of wire is determined by the length of run and amperage as per NED Article 300

Voltage should read no more than 3 volts between ground and neutral

Conduit can not be used as ground path

Power to sign to be done by a electrical contractor or licensed electrician

Ground wire must be continuous and go from sign to panel board ground bus.

ALL COMPONENTS TO BE APPROVED

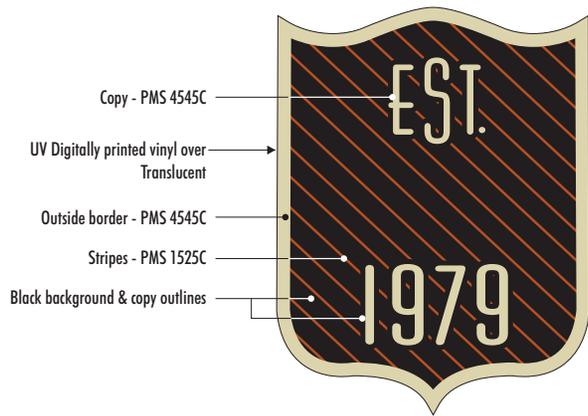
U.L. LABELS REQUIRED
INSTALL IN ACCORDANCE W/ NATIONAL ELECTRIC CODES

A B C D 1 SECTION DETAIL - FORMED-HALO ILLUM REVERSE CHANNEL LETTERS
 SCALE: NTS

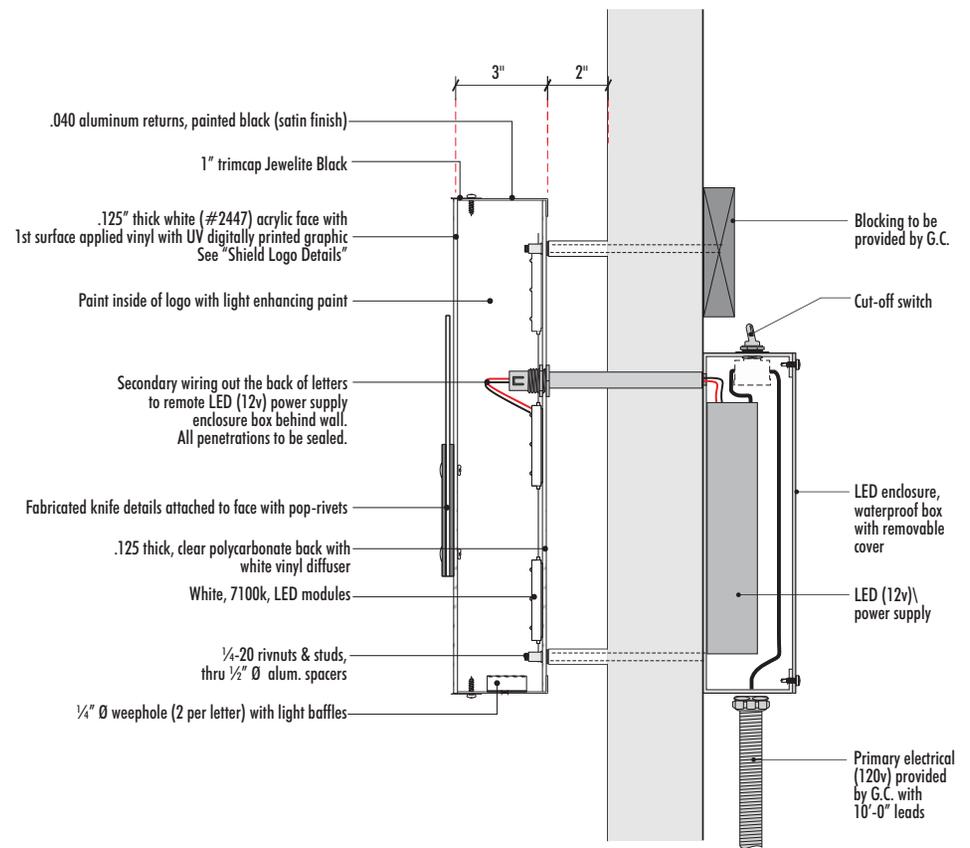
A B C D 2 SECTION DETAIL - HALO ILLUM REVERSE CHANNEL LETTERS
 SCALE: NTS

Cheddar's

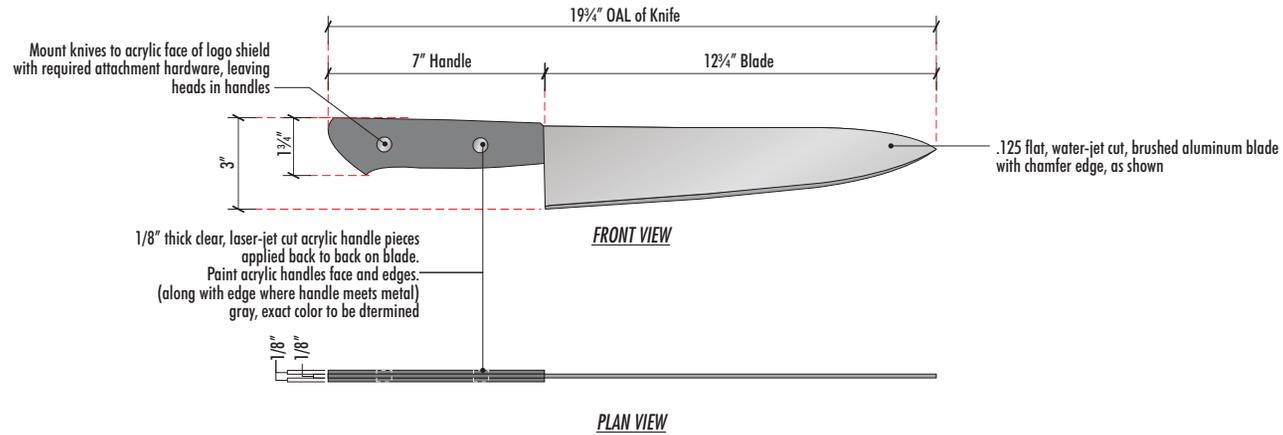
SCRATCH KITCHEN



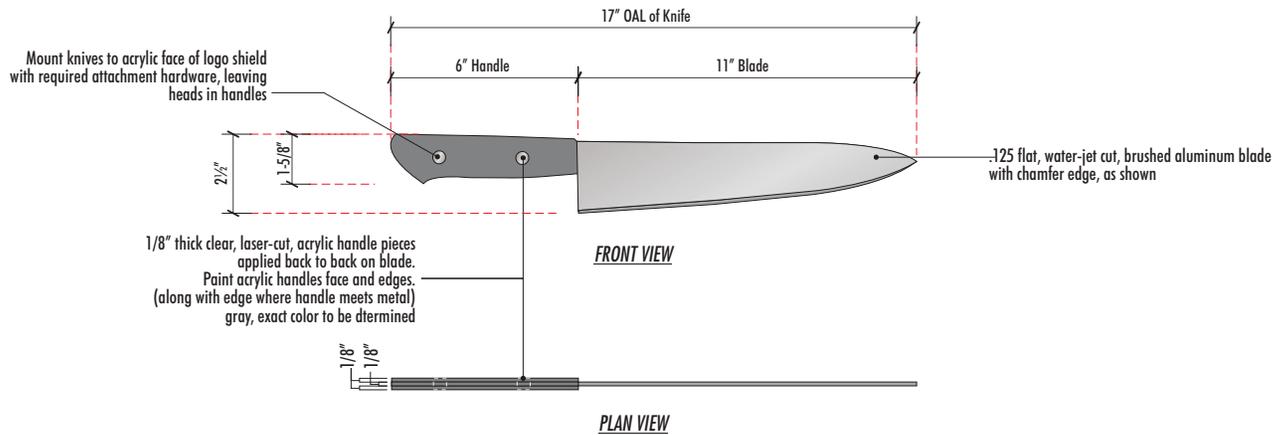
A B C D 1 SHIELD LOGO DETAILS
SCALE: NTS



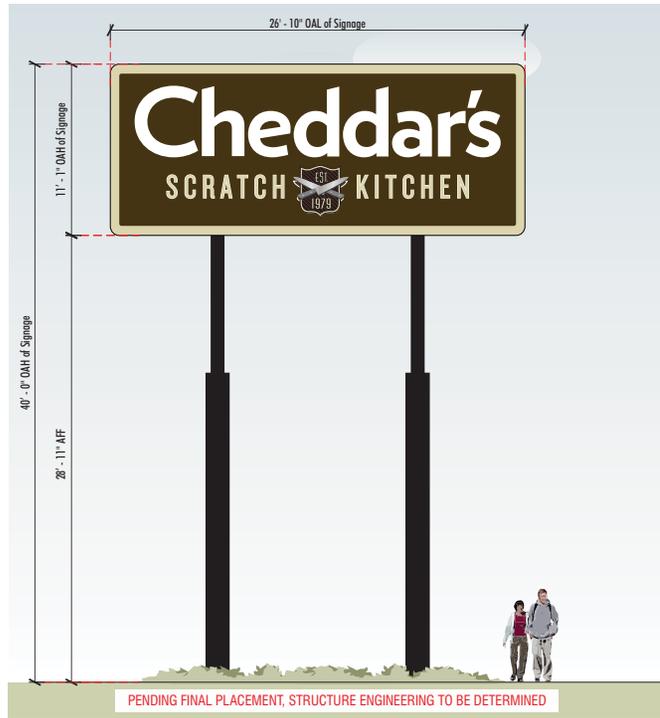
A B C D 2 SECTION DETAIL - DUAL-LIT SHIELD LOGO
SCALE: NTS



A **1** KNIVES LOGO DETAIL QTY: TWO (2) KNIVES per LOGO SHIELD CABINET
 SCALE: 3" = 1' - 0" TOTAL - 2 KNIVES AT THIS SIZE



B **C** **D** **2** KNIVES LOGO DETAIL QTY: TWO (2) KNIVES per LOGO SHIELD CABINET
 SCALE: 3" = 1' - 0" TOTAL - 6 KNIVES AT THIS SIZE



E D/F INTERNALLY ILLUMINATED PYLON SIGN
SCALE: 1/8" = 1' - 0"

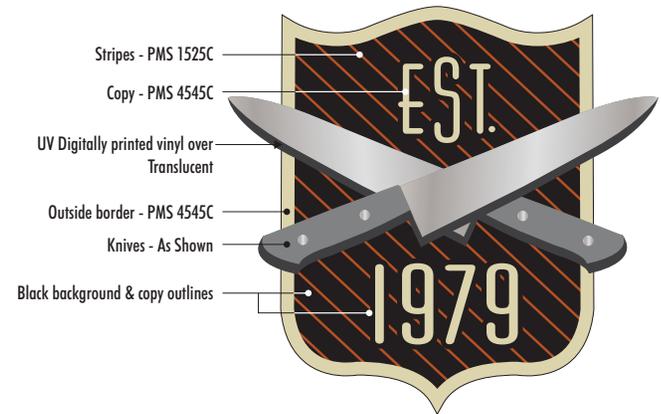
QTY: ONE (1)

SIGN AREA = 297.39 Sq. Ft.(Ea. Set) (MAX.ALLOWED 300 SF)



SPECIFICATIONS

- Fabricated aluminum D/F sign cabinet w/reveal & aluminum faces painted to match SW7510 Chateau Brown.
Reveal of cabinet painted to match PMS 462u Brown
Face border stripe painted to match PMS 4545u Beige
Illuminated with LED White (7100k) LED modules
- "Cheddar's" - 1" thick clear acrylic, routed-out / pushed-thru (3/4" proud).
Apply 1st surface 3M White (3630-20) vinyl and 2nd surface white diffuser
- "SCRATCH KITCHEN" - 1" thick clear acrylic, routed-out / pushed-thru (3/4" proud).
Apply 1st surface 30% white diffuser film and 3M Light Beige (3630-149) vinyl inset overlay, (Leaving white outline) and 2nd surface 60% white diffuser
- "Logo Shield & Knives (One Unit)" - 1" thick clear acrylic, routed-out / pushed-thru (3/4" proud)
Apply 1st surface UV digitally printed vinyl overlay and 2nd surface white diffuser
- Pole supports - Steel poles (engineering to be done)
- Primary electrical to run up thru columns. Primary power (120v / 277v) to be supplied by G.C.



1 SHIELD LOGO DETAILS
SCALE: NTS

Municipality & Zoning Information:

Jurisdiction: City of Riverdale Confirm Zoning: RCP (Retail Commercial Park Overlay)
 Department: Community Development Website: www.riverdalecity.com
 Department Contact: Mike Eggett Contact Title: Community Develop. Director
 Contact Phone: 801-394-5541 x1215 Contact Email: meggett@riverdalecity.com
 Additional Contacts: No Additional Jurisdictions Y/N: Y
 If so, what: Development Agreement for the Riverdale Center II Project
 Special Circumstances: No
 Special / Additional Approvals: _____

Examples: Planned Urban Development (PUD), Historical District, DRB, MSP
 Special Requirements: Signs are required to be included in the building Site Plan Review. This includes Planning Commission and DRC. Should be included in developer submittal.
 Estimated Timeframes: Estimated 12 weeks Estimated Fees: Valuation based
 Additional Notes: _____

Permitting Information:

Department Contact: Mike Eggett Contact Phone: 801-394-5541 x1215
 Contact Email: meggett@riverdalecity.com How Many Sets Required: _____
 Permit Process / Requirements: Standard submittal per documents below

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> Sign Application | <input checked="" type="checkbox"/> Installer Info | <input type="checkbox"/> NOC |
| <input type="checkbox"/> Bldg Permit | <input checked="" type="checkbox"/> Installer License | <input type="checkbox"/> LOA |
| <input type="checkbox"/> Electrical Permit | <input type="checkbox"/> Materials Board | <input type="checkbox"/> Insurance |
| <input type="checkbox"/> LL Signature | <input type="checkbox"/> UL Info | <input type="checkbox"/> Lease Info |
| <input type="checkbox"/> Notary Required | <input type="checkbox"/> Engineering | <input type="checkbox"/> Job Valuation |

Estimated Fees: Total fees based on job valuation
 Estimated Timeframes: After Site Plan approval, 1 - 2 weeks
 Additional Notes: _____

Center / Development Information:

Center / Development Name: Riverdale Shopping Center
 Address: 4027 Riverdale Rd., Ogden, UT 84405 New Construction / TI: New
 Owner: Kornwasser Shopping Center Properties, LLC Phone: 323-965-1510
 Owner Contact: Steven Usdan Contact Phone: 323-974-5200
 Contact Email: stevenu@kornwasser.net Center Sign Criteria Y/N: N*
 Does site adhere to center criteria / municipal code / both: *See note - Develop. Agreement
 Submittal Requirements: Standard email submittal. 2 - 3 day review.

Sign Allowances:

Temp Signage:
 Are Banners Allowed Y/N: Y Is Permit Required Y/N: Y
 How Many Signs Allowed: N/A Max Size Allowed: N/A
 How Long Is Permit Good For: 45 days Location Restrictions Y/N: _____
 Comments: When located 10' above grade, max projection is 6"

Wall Signage:
 How Many Signs Allowed: 1 per elevation Is Permit Required Y/N: Y
 Is Illuminated Allowed Y/N: Y Location Restrictions Y/N: Not per code
 Type of Illumination Allowed: Cheddar's standard halo lit is allowed
 Formula Used for Allowance: For every 1 LF of frontage (Riverdale) allowed x 3 total SF
 Max Height Allowed: Not per code Max Area Allowed: Frontage - 89.83 x 3 = 269.49
 Comments: Per Code: Max individual sign is 300 SF while total site is 600 SF (if above formula complies)

Canopy Signage:
 How Many Signs Allowed: _____ Is Permit Required Y/N: _____
 Is Illuminated Allowed Y/N: _____ Location Restrictions Y/N: _____
 Type of Illumination Allowed: _____
 Formula Used for Allowance: _____
 Max Height Allowed: _____ Max Area Allowed: _____
 Comments: There are no specifics in the code for canopy type signs.

Sign Allowances Continued:

Projecting Signage:

How Many Signs Allowed: N/A Is Permit Required Y/N: _____
 Is Illuminated Allowed Y/N: _____ Location Restrictions Y/N: _____
 Type of Illumination Allowed: _____
 Formula Used for Allowance: _____
 Max Height Allowed: _____ Max Area Allowed: _____
 Comments: There are no specifics in the code for projecting type signs.

Freestanding Signage:

How Many Signs Allowed: 1 Is Permit Required Y/N: Y
 Is Illuminated Allowed Y/N: Y Location Restrictions Y/N: Y
 Type of Illumination Allowed: Internal illumination
 Formula Used for Allowance: Size allowance is 300 SF and 40' max height.
 Max Height Allowed: 40' Max Area Allowed: 300 SF
 Setback Info: 10' from property line
 Comments: Freestanding sign to be located in landscape area.

Windor / Door Signage:

How Many Signs Allowed: _____ Is Permit Required Y/N: _____
 Formula Used for Allowance: _____
 Max Height Allowed: _____ Max Area Allowed: _____
 Comments: There are no specifics in the code for window type signs.

To Go Signage:

Are Specific Signs Allowed: _____ Is Permit Required Y/N: _____
 Is Illuminated Allowed Y/N: _____ Location Restrictions Y/N: _____
 Type of Illumination Allowed: _____
 Formula Used for Allowance: _____
 Max Height Allowed: _____ Max Area Allowed: _____
 Comments: There are no specifics in the code for To Go type signs.

Additional Municipality & Zoning Information:

Variance Process:

Does city provide process for signage: City offers variance process but signs not supported
 Describe Requirements: _____
 Documentation Required: _____
 Estimated Fees: _____
 Estimated Timeframes: _____
 What is typical % for approval: _____
 Submittal Requirement Deadline: _____
 Hearing Schedules: _____
 Is in person required for hearing: _____ City provide virtual alternative: _____
 Additional Notes: _____

Additional Code Notes: Development Agreement for the Riverdale Center II Project
Main entry sign allowed max size of 2 SF per 1 LF of building frontage, 1.5 SF per 1 LF of end cap, and 1 SF per 1 LF for rear elevation. This equates to 166 SF for storefront (west), 135.87 SF for side elevations (north and south), and 83.08 SF for rear (east). We are well under on all accounts. Wall signs allowed corporate colors, individual letters and font. Lighting can be internally illuminated, individual letters and logos allowed to be in pan channel cabinets. This also allows the use of directional signs but only for controlling traffic.

Projected Proposed Signage Summary:

Wall Signs Proposed Y/N: Y Number of Signs: 3
 Square Feet for Each Sign: A, B - 34.34 / C - 22.54 Combined Square Footage: 91.22
 Conflicts: None

Canopy Signs Proposed Y/N: No Number of Signs: _____
 Square Feet for Each Sign: _____ Combined Square Footage: _____
 Conflicts: None

Projecting Signs Proposed Y/N: No Number of Signs: _____
 Square Feet for Each Sign: _____ Combined Square Footage: _____
 Conflicts: None

Freestanding Signs Proposed Y/N: Y Number of Signs: 1
 Square Feet for Each Sign: 300 SF Combined Square Footage: 300 SF
 Conflicts: Could be possible landscaping that will need to be removed where proposed pylon is to be located. There may also be opportunities for spot(s) on existing multi-tenant signs.

Overall Findings Summary: Code has a pretty generous allowance of a 3:1 ratio for sf for the building.

Wall signs. Sign total is 154.76 sf.

Signage is also allowed on each elevation.

Using Cheddar's standard sizes, tenant is at an approx. Combined 155 sf.

Pylon signs are allowed and can be 40 oah and up to 300 sf max.

Pylon sign requires a 10' set back

Critical Issues:

Placement for the pylon to be verified in relation to building and overhead power lines but will offer significant visibility and awareness.

Possible proximity issue with new proposed pylon location in conjunction with future Dutch Bros. pylon.

There are other obstructions like trees, lanscape, and bus stop along Riverdale Rd. that will need to be adjusted and taken into consideration. we recommend removing or adjusting landscaping at southeast corner

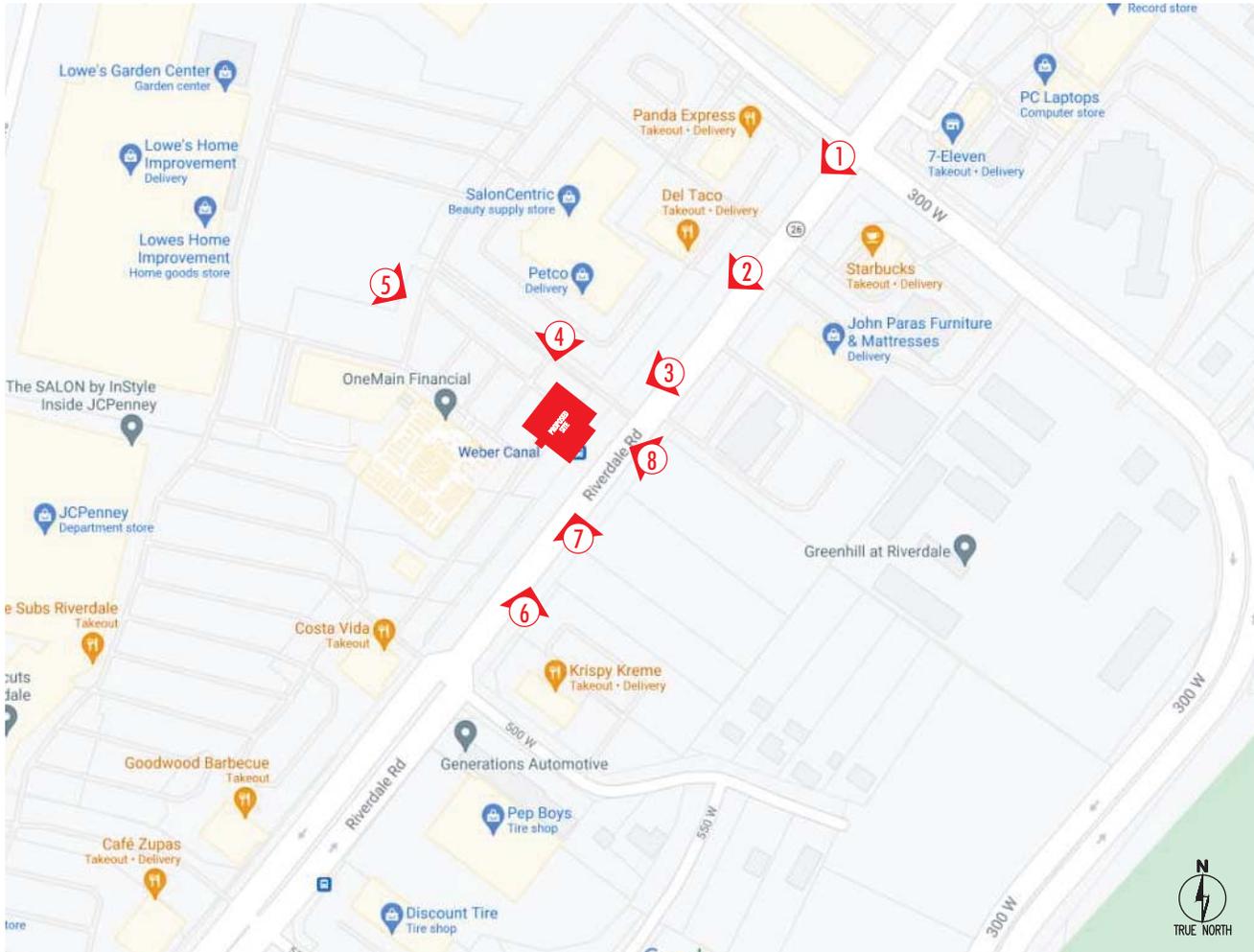
As well as trees along Riverdale Rd.

Initial site designs had visibility concerns for certain wall signs but new elevations help to alleviate some of this. North elevation sign may have Limited visibility for interior of shopping center due to lower location.

Sign C, on the east elevation, sits low under the roof line so it has less impact than if placed on a tower but the pylon sign should make up for it.

Elevations we received show "SCRATCH KITCHEN" copy w/ orange / copper faces.

This does not create enough contrast from the wall / stone finishes behind so we recommend using the black as shown.



Vicinity Map:

Site Needs:

Site Line Visibility Info:

- Identify Obstructions
 - Trees that block building or freestanding sign
 - Buildings that block site or freestanding sign
- Identify visibility to all four building elevations

Surrounding signage:

- Need samples of surrounding building signage
 - Need samples of surrounding freestanding signs
- Identify any shared center signage

Notes:

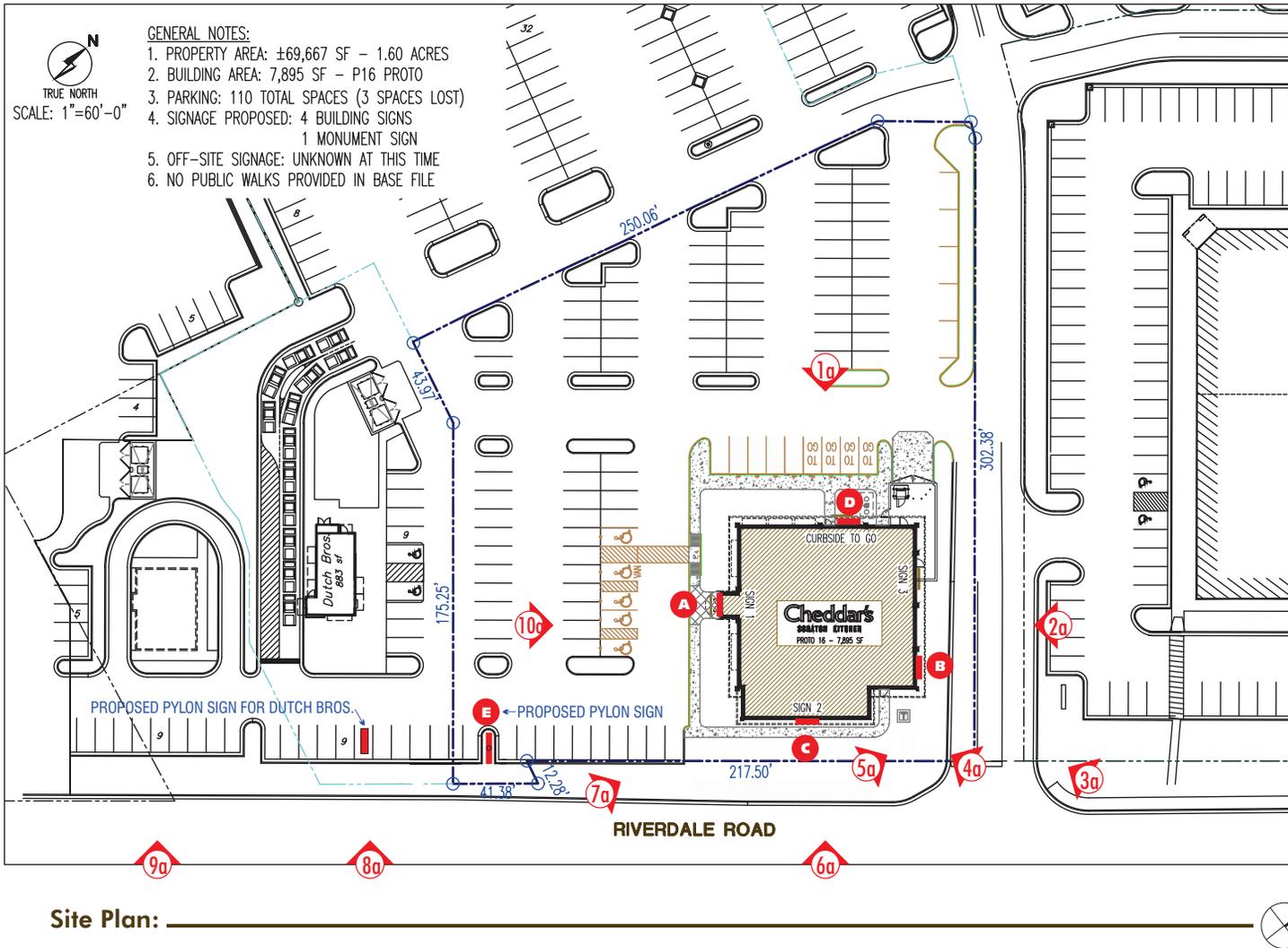
Current Best Buy building to be removed
 Identify nearby bus station at street
 Identify nearby pole signs south of property

- Freestanding
- Dutch Bros.
- Subway

Cheddar's will want pylon sign so ID possible locations

Site Location:

Cheddar's Scratch Kitchen
 Riverdale Shopping Center
 South of Riverdale Rd & 300 W
 Riverdale, UT



Site Plan:

Site Needs:

Site Line Visibility Info:

- Identify Obstructions
- Trees that block building or freestanding sign
- Buildings that block site or freestanding sign
- Identify visibility to all four building elevations

Surrounding signage:

- Need samples of surrounding building signage
- Need samples of surrounding freestanding signs
- Identify any shared center signage

Notes:

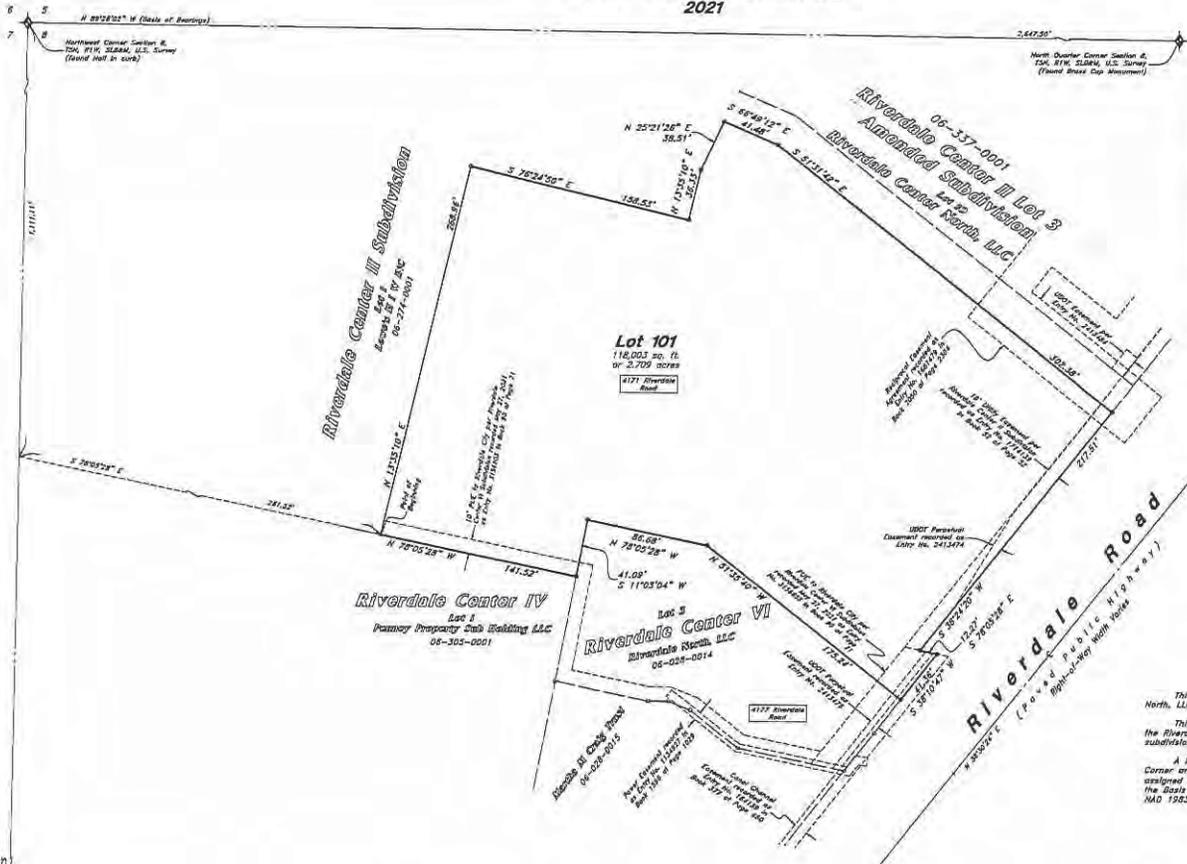
- Current Best Buy building to be removed
- Identify nearby bus station south of property
- Identify nearby pole signs south of property
- Freestanding
- Dutch Bros.
- Subway
- Cheddar's will want pylon sign so ID possible
- locations in landscape or planters

Site Location:

Cheddar's Scratch Kitchen
Riverdale Shopping Center
South of Riverdale Rd & 300 W
Riverdale, UT

Riverdale Center VI Subdivision Amended

Amending Lots 1 and 2, Riverdale Center VI Subdivision Located within the Northwest Quarter of Section 8, Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey
Riverdale City, Weber County, Utah
2021



Scale: 1" = 40'

Surveyor's Certificate

I, Ken B. Hawkes, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold Certificate No. 8707113 in accordance with Title 26, Chapter 22, of the Professional Engineers and Land Surveyors Act. I further certify that, on behalf of Anderson Whalen & Associates, Inc., I have completed a survey of the property described on this Subdivision Plat in accordance with Sections 17-2-17 and 17-2-18 of the Utah Code. The information shown herein is sufficient to retrace or reestablish this plat and that the boundaries of the herein described tract of real property, hereinafter known as **Riverdale Center VI Subdivision Amended**

Boundary Description

All of Lot 1 and 2, Riverdale Center VI Subdivision filed as Entry No. 2256603 in Book 90 of Plats, Page 71 of the Official Records of Weber County, being all of said Lots 1 and 2, located in the Northwest Quarter of Section 8, Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey, in Riverdale City, Weber County, Utah, being temporarily described males and bounds as follows:

Beginning at a point on the Northern Line of Lot 1, Riverdale Center IV Subdivision, recorded as Entry No. 2238519 in Book 65 of Page 47, Official Records of Weber County, also being the most Southerly Corner of Lot 1 of said Riverdale Center II Subdivision, located 1111.11 feet South 1°00'35" West along the Section Line to a point on the Northern Line of Lot 4 of said Riverdale Center II Subdivision; and 261.52 feet South 78°05'28" East to and along said Northern Line, and the Southern Line of said Riverdale Center II Subdivision, from a nail in a surs found marking the Northwest Corner of said Section 8, said nail is located 2647.50 feet North 85°26'02" West from a Brass Cap Monument found marking the North Quarter Corner of said Section 8; and running thence along the Eastern, Southern, and Southeasterly Lines of said Lot 1 of said Riverdale Center II Subdivision the following acre courses: North 13°15'10" East 268.36 feet; South 78°05'28" East 158.53 feet; North 13°25'10" East 36.33 feet; North 25°21'30" East 38.51 feet; South 65°43'12" East 41.48 feet; and South 51°31'42" East 302.38 feet in the Northwesterly Line of Riverdale Road as designated per said Riverdale Center II Subdivision; thence along said Northwesterly Line as designated the following two courses: South 33°24'20" West 217.51 feet to the Southwest Corner of said Road Dedication; and South 78°05'28" East 12.27 feet to the Northwesterly Line of said Riverdale Road as designated per Entry No. 2216205 of the Official Records of Weber County; thence South 38°10'47" West 41.36 along said Northwesterly Line as designated to the most Easterly Corner of Lot 5 of said Riverdale Center IV Subdivision; thence the following three courses along the Northwesterly and Westerly Lines of said Lot 5: North 31°55'40" West 175.24 feet; North 78°05'28" West 86.68 feet to the Northwest corner of said Lot 3; and South 1°02'54" West 41.89 feet to said Northern Line of Lot 1, Riverdale Center IV Subdivision; thence North 28°05'28" West 141.32 feet along said Northern Line to the point of beginning.

Contains 118,003 sq. ft. or 2.709 acres

Signed this 14th day of July, 2021

8707113
License No.

Owner's Dedication

Know all by these presents that we, the undersigned owners of the described tract of land hereon, having caused the same to be subdivided into a lot to hereinafter be known as RIVERDALE CENTER VI SUBDIVISION AMENDED, do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for public use, and do warrant, defend, and save the City harmless against any assessments or other encumbrances on the dedicated streets which will interfere with the City's use, operation, and maintenance of the streets and do further dedicate the easements as shown for the use by all suppliers of utility or other necessary services.

In witness whereof I have hereunto set my hand and the seal of my office, this 14th day of July, 2021.

Riverdale Center North, LLC
by: Steven Udson
Its: Manager

Acknowledgment

State of _____
County of _____

I, _____, of _____, 2021 personally appeared before me, Steven Udson, the signer of the foregoing instrument, who has acknowledged to me that he is the manager of Riverdale Center North, LLC, and that he executed the foregoing Dedication in his behalf and that he executed it in such capacity.

History Public Full Name: _____
Commission Number: _____
My Commission Expires: _____
A History Public Commissioned in Utah.
(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16.)

A History Public:

A history public or other officer completing this certificate certifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

Sheet 1 of 1

Approving Agency Riverdale City 4500 S. Weber River Dr. Riverdale, UT 84465	Owner/Developer Riverdale Center North, LLC 3870 Wilshire Blvd., Ste. 1250 Los Angeles, CA 90010 323-985-1510	Weber County Recorder ENTRY NO. _____ FILED FOR RECORD AND RECORDED BOOK _____ OF OFFICIAL RECORDS FOR _____ WEBER COUNTY RECORDER BY: _____ CLERK
---	--	---

Notes

Culinary Water Facilities: All facilities (i.e., pipes, service laterals, valves, bends, flanged blocks, fire hydrants, miscellaneous fittings) are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Sanitary Sewer Facilities: All facilities (i.e., pipes, manholes, laterals, piping, cleaning, sewer backups) are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Storm Water Facilities: All facilities (i.e., pipes, manholes, inlet catch basins, outlet and outlet control structures, detention storage basins, overflow spillways) are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Roadways and Sidewalks Facilities: All hard-surfacing facilities (i.e., are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Legend

Property Line
Easement Line
Adjoining Line
Corner
Section Corner
3/4" x 3/4" rebar with plastic cap or nail with Brass Tag stamped "1111"

ANA
ANDERSON WHALEN & ASSOCIATES
3010 North Freedom Road, Salt Lake City, Utah 84118
801-531-1628 - info@ana.com

Riverdale City Planning Commission
Approved by the Riverdale City Planning Commission on this _____ day of _____, 2021.

Chair, Riverdale City Planning Commission

Riverdale City Engineer
I hereby certify that I have carefully investigated the files of Survey of the foregoing plat and find that the same are in accordance with the laws and ordinances of the State of Utah and that the same are in accordance with the laws and ordinances of the State of Utah and that the same are in accordance with the laws and ordinances of the State of Utah.

Signed this _____ day of _____, 2021.

Riverdale City Engineer

Riverdale City Approval
This is to certify that this plat and subdivision of this plat were duly approved and accepted by the City Council of Riverdale City, Utah this _____ day of _____, 2021.

Riverdale City Mayor

Riverdale City Attorney
Approved by the Riverdale City Attorney on this _____ day of _____, 2021.

Riverdale City Attorney

Chair, Riverdale City Planning Commission

Riverdale City Engineer

Riverdale City Mayor

Riverdale City Attorney



Scale: 1" = 20'
 0 20 40

General Demolition Notes:

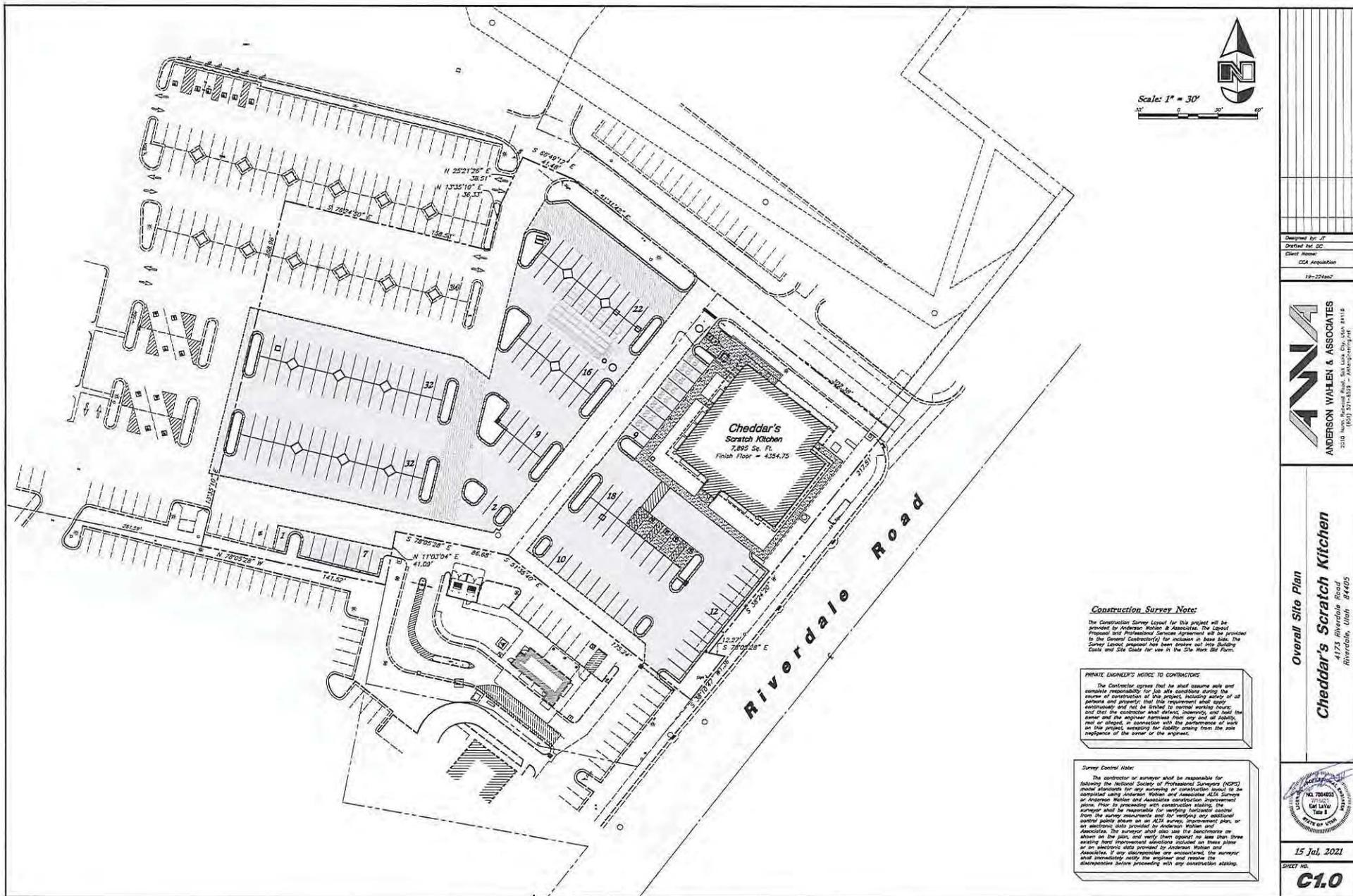
1. Demolition and site clearing for this contract are to include all areas shown within demolition limits on this plan.
2. Refer to site improvement plans for more details on limits of removal.
3. All utility gutters, walls, slabs, walls, fences, retaining walls, receptacles and meters, gas lines, sewer lines, fuel lines, buried cables, storm drain piping and structures to be checked first and removed otherwise.
4. All existing sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
5. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum dry density as determined by ASTM D 1557-02. (Test results to be given to owner). Excavated areas should be backfilled per the geotechnical report prepared for the project.
6. Clear and grub trees, stumps, and vegetation within construction limits, disposal to be off-site except where noted otherwise.
7. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
8. Remove debris, rocks, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall conduct satisfactory boring operations for field locations. Contractor shall be responsible for protection of all pipes and manholes during construction.
10. Structures shall be grouted to foundation unless not greater than 2' maximum in 1' vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
11. Contractor shall be responsible for disposal of all waste material. Dispose shall be at an approved site for each material. During waste is not permitted.
12. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
13. Install traffic warning devices as required in accordance with local standards.
14. Contractor shall obtain all permits necessary for demolition from CO, County, State or Federal Agencies as required.
15. Demolish existing buildings and clear them site, (including removal of all footings and foundations.)
16. If ASBESTOS is found in existing structures, the Asbestos must be removed in a legal manner by a contractor licensed to handle asbestos material. (Not a part of contract)
17. If Contractor observes evidence of hazardous materials or contaminated soil, he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of soil materials or contaminated soil.
18. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine areas of construction impact. The contractor is responsible to remove all prohibited trees and all restoration shall be part of the contract bid.

CAUTION:

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete.



 AMBERSON WAHLEN & ASSOCIATES 3210 North Redwood Road, Salt Lake City, Utah 84116 (801) 331-8327 - FAX: (801) 331-9191	
Demolition Plan Cheddar's Scratch Kitchen 4173 Riverdale Road Riverdale, Utah 84405	DESIGNED BY: JZ DRAWN BY: EC CLIENT NAME: CCA Acquisition 19-2244-C
	
15 Jul, 2021 CO.1	



Construction Survey Note:
The Construction Survey Layout for this project will be provided by Anderson Whalen & Associates, The Licensed Professional Surveyor registered and in good standing with the State of Utah. The Survey Layout prepared has been reviewed and approved by the Surveyor and is intended for use in the Site Work Set Form.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS:
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction at this project. Accuracy, safety, of all features and aspects of this instrument shall apply exclusively and not be limited to, contract markings, notes, and their own contracts and terms, conditions, and hold the owner and the engineer harmless from any and all liability, loss or damage, in connection with the performance of work on the project, excepting any liability arising from the sole negligence of the owner or the engineer.

Survey Control Note:
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Whalen and Associates ALTA Survey or Anderson Whalen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or an additional ALTA provided by Anderson Whalen and Associates. The surveyor shall also use the benchmarks or monuments on the plan, and verify them against no less than three existing fixed, permanent monuments located on these plans or on electronic data provided by Anderson Whalen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

DATE	02/22/2021
BY	DC

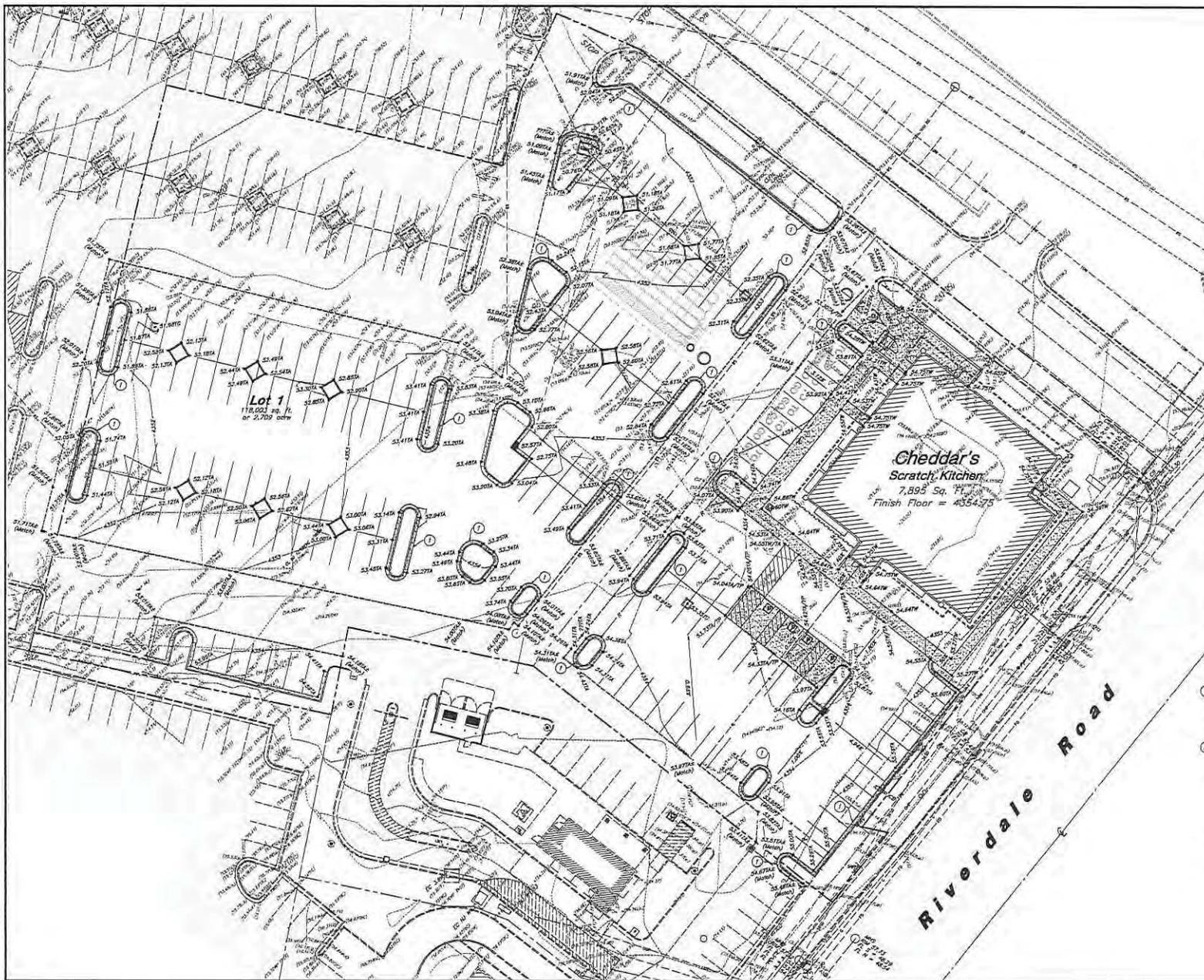
Designed by: JF
 Drafted by: DC
 Client Name: C2A Acquisition
 19-22402

AWA
ANDERSON WAHLEN & ASSOCIATES
 2210 West Rowland Road, Salt Lake City, Utah 84119
 (801) 211-1337 - 2100 West Rowland Rd.

Overall Site Plan
Cheddar's Scratch Kitchen
 4175 Riverdale Road
 Riverton, Utah 84405



15 Jul, 2021
 SHEET NO. **C1.0**



Scale: 1" = 20'

General Grading Notes:

1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. The plan shall be interpreted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fill shall be placed into compacted material as per specifications and geotechnical report.
7. All trench berms shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and final construction of the rough grading.
9. The final construction report and verification from a Geotechnical Engineer shall contain the type of soil testing performed, such test shall be certified with the method of obtaining the test data, density, moisture and other data and shall be in accordance with the test. Sufficient maximum density determinations shall be performed to verify the accuracy of specifying the density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the contractor.
12. Appropriate protective measures and temporary shoring provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleaned daily of all dirt, mud and debris generated on them as a result of the grading operation, cleaning to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and graded of all vegetation and deleterious matter prior to grading.
15. The contractor shall provide shoring in accordance with OSHA requirements for trench shoring.
16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
17. The requirements of the following Colorado Construction Codes by CDP Engineering Laboratories are included as a reference in specifying the Site Preparation. The Report is titled "Geotechnical Engineering - Final Addendum - Proposed Dutch Oven Coffee Riverdale Riverside, Utah".
Project No.: 12347
Date: November 25, 2020
18. As part of the construction documents, some less detailed contractor with a topographic survey performed by means of aerial means. Such survey may be prepared for project location purposes and is provided to the contractor as a reference. It is hereby understood that such survey may not accurately reflect existing topographic conditions.
19. If Contractor observes evidence of hazardous materials or contaminants, they shall immediately contact the project engineer to provide notification and obtain approval before proceeding with disturbance of such materials or contaminants and.

Curb and Gutter Construction Notes:

1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the contractor to adjust top of curb grades to line of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
5. Transitions from open face to standard curb and gutter are to be smooth, hand form these areas if necessary.
6. Spot elevations are shown on this plan with best missing. Contractors and verify site information with project drawings.

Sidewalk Construction Notes:

1. Concrete sidewalks shall be constructed with a cross slope of 1.5% (2.00% minimum) unless shown otherwise on plan.
2. Ramping slope of sidewalks shall be built per grades shown on this plan, where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.



Scale: 1" = 20'

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2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. The plan shall be interpreted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
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3. Refer to the Site Plan for sidewalk dimensions.



ANDERSON WAHLEN & ASSOCIATES
3000 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
(303) 733-4337

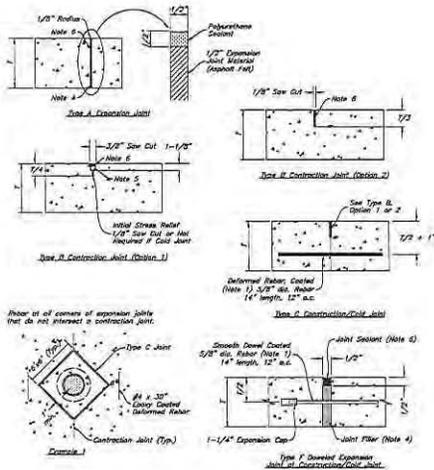
Grading Plan

Cheddar's Scratch Kitchen
4175 Riverdale Road
Riverdale, Utah 84403



15 Jul, 2021
SHEET NO.
C2.1

- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
 - Space rebar and dowels at 12 to 15 inches on center.
 - Grass dowels to provide moment in expansion joints.
 - Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
- FORMING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) and/or shrinkage expanding release joints. Do not leave rebar concrete during setting. In cold weather, the joint setting mix to be delayed only for the time required to prevent freezing and rewetting the concrete. Cut joints to dimensions recommended by rebar manufacturer and approved by DIVISION.
- JOINTS:** Lay out joints to old construction and control random cracking.
 - Joint spacing shall be 12 feet maximum on center in both directions.
 - Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
 - Make adjustments in joint locations to meet inlet or manhole locations.
 - Expansion joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
- JOINT FILL:** Bituminous (Asphalt or Tar) mastic, ASTM D334. Formed and enclosed between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
- BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
- JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3465. Remove dirt, oil and curing compounds from joint reservoir. Seal joints immediately after curing.



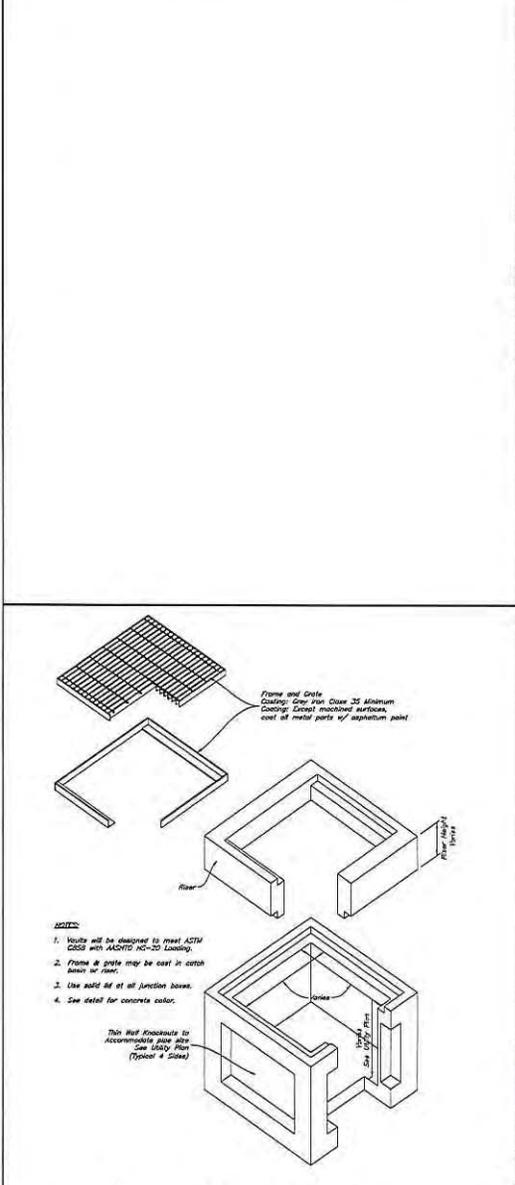
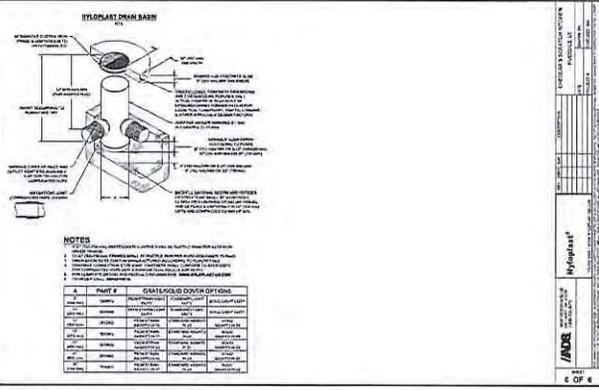
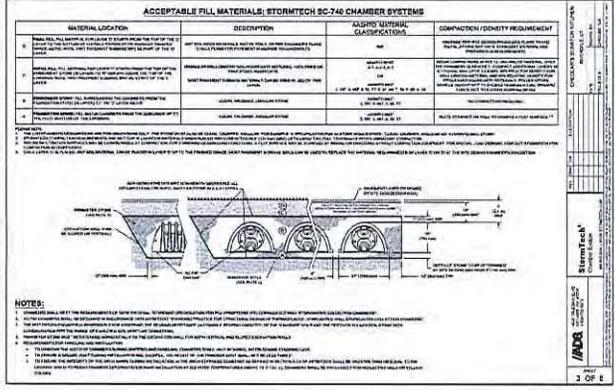
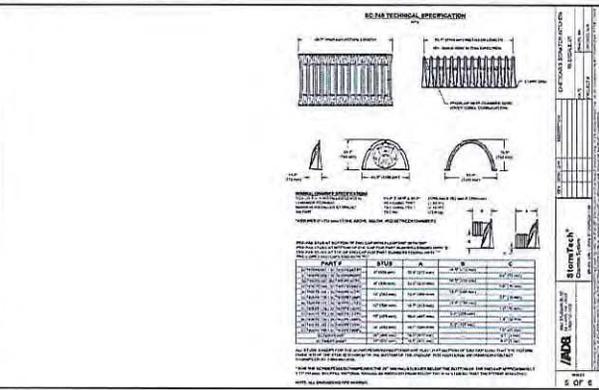
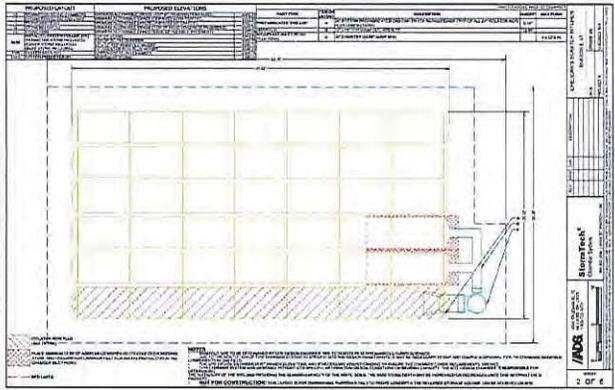
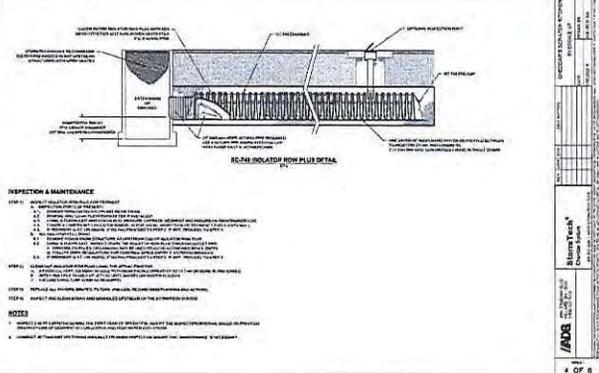
PROJECT INFORMATION	
Project Name	
Client Name	
Project No.	
Revision	



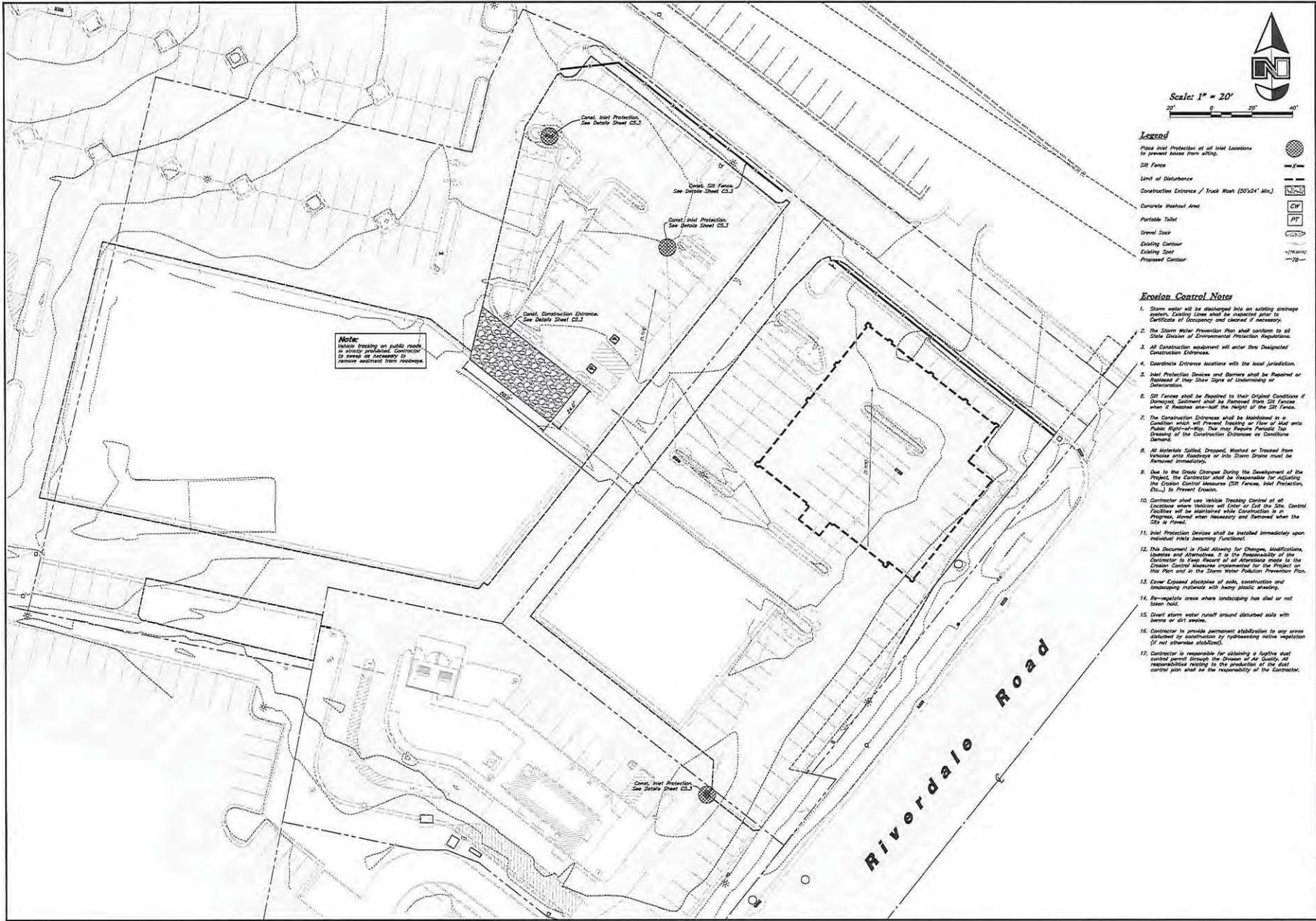
**CHEDDAR'S SCRATCH KITCHEN
RIVERDALE, UT**

SC-740 STORMTECH CHAMBER SPECIFICATIONS

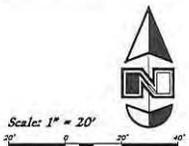
- IMPORTANT NOTES FOR THE DESIGN AND INSTALLATION OF THE SC-740 SYSTEM**
1. THE SC-740 SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION MANUAL AND THE FOLLOWING SPECIFICATIONS.
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Designed by: JT
 Drafted by: DC
 Client Name: CCA Acquisition
 18-27482
AWA
 ANDERSON WATLEN & ASSOCIATES
 2010 North Rockwell Street, Salt Lake City, Utah 84116
 (801) 331-8550 - anderson@awa.com
 Details
Cheddar's Scratch Kitchen
 4175 Riverdale Road
 Riverdale, Utah 84405
 NO. 786495
 Exp. 12/31/2021
 STATE OF UTAH
 15 Jul, 2021
 SHEET NO.
C4.3



Note:
Vehicle tracking on public roads is strictly prohibited. Contractor is advised as necessary to remove sediment from roadways.



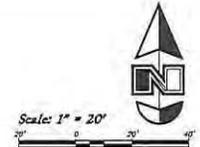
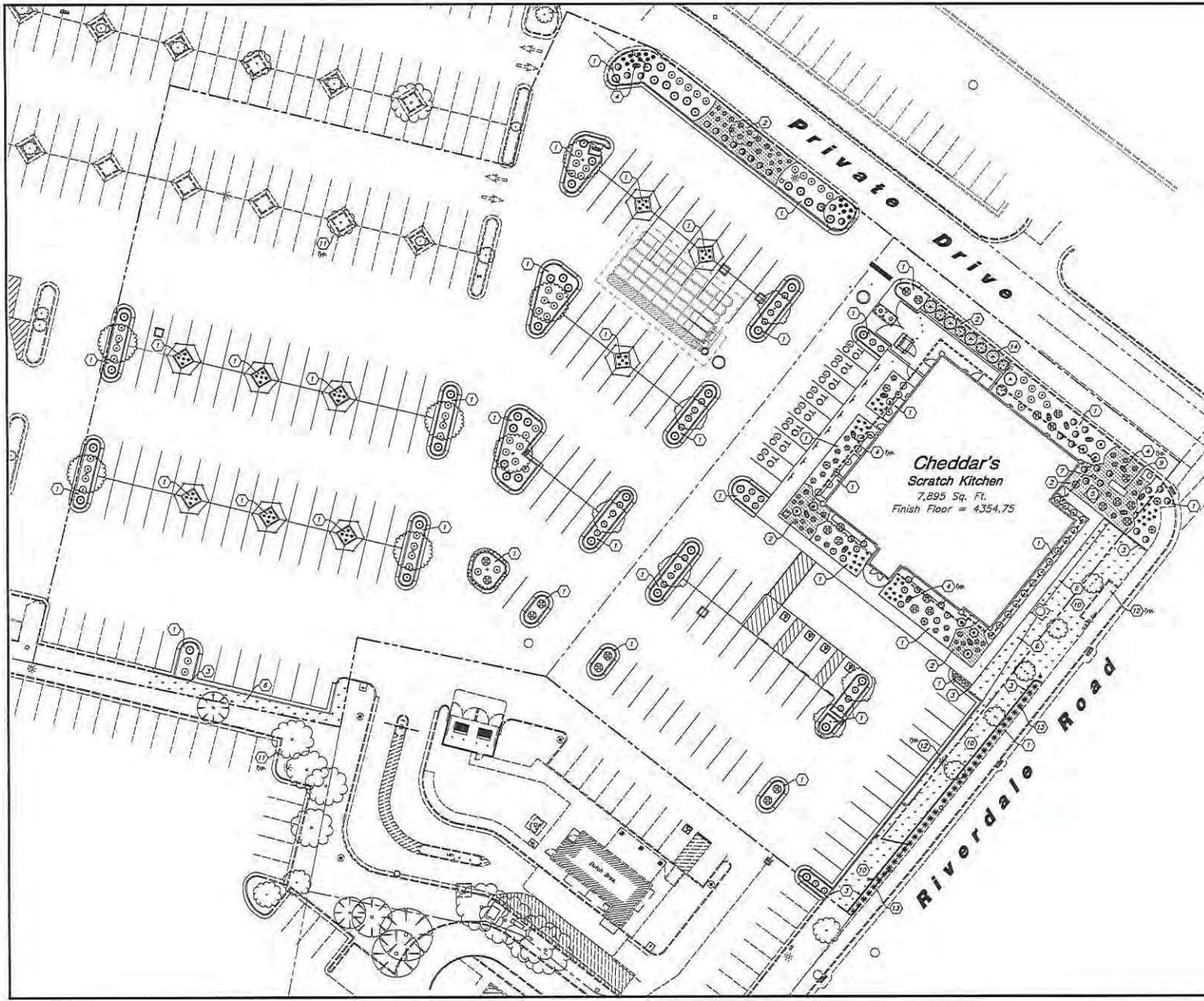
Legend

- Place Silt Protection at all Inlet Locations to prevent losses from siltting.
- Silt Fence
- Limit of Disturbance
- Construction Entrance / Truck Wash (50'x24' Min.)
- Concrete Washout Area
- Portable Toilet
- Gravel Stock
- Existing Contour
- Existing Spot
- Proposed Contour

Erosion Control Notes

1. Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
2. The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
3. All Construction equipment will enter New Designated Construction Entrances.
4. Coordinate Entrance Activities with the local jurisdiction.
5. Silt Protection Devices and Barriers shall be Replaced or Replaced if they Show Signs of Undermining or Distortion.
6. Silt Fences shall be Replaced to their Original Conditions if Damaged. Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
7. The Construction Entrance shall be Maintained in a Condition which will Prevent Tracking or Use of Silt into Public Right-of-Ways. They may Require Periodic Top Dressing of the Construction Entrance or Condition Sanding.
8. All Materials Spilled, Dropped, Washed or Traced from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
9. Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Acquiring the Erosion Control Measures (Silt Fences, Silt Protection, Etc.) to Prevent Erosion.
10. Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Aband when Necessary and Replaced when the Site is Placed.
11. Silt Protection Devices shall be Installed Immediately upon receipt of the necessary Function.
12. This Document is Void Allowing for Changes, Modifications, Deletions and Alterations. It is the Responsibility of the Contractor to Keep Records of all Alterations made to the Erosion Control Measures implemented for the Project or this Plan and in the Storm Water Pollution Prevention Plan.
13. Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
14. Re-vegetate areas where landscaping has died or not taken hold.
15. Direct storm water runoff around disturbed soils with berms or dirt mounds.
16. Contractor to provide permanent stabilization to any areas disturbed by construction by re-vegetating native vegetation (if not otherwise specified).
17. Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

 ANDERSON WAHLEN & ASSOCIATES 2210 North Riverside Road, Salt Lake City, Utah 84116 (801) 531-8339 - jw@awh.com
Erosion Control Plan - Phase 1 Cheddar's Scratch Kitchen 4173 Riverdale Road Riverdale, Utah 84405
15 Jul, 2021 SHEET NO. C5.1



Landscape Data
 Zone: U-3 Commercial Zone
 Site Area = 18,003 s.f. (2,709 ac.)
 Landscape Area Required = 23,601 s.f. (20%)
 Landscape Area Provided = 16,346 s.f. (14%)
 Existing Lawn Area = 3,534 s.f. (22%)
 Shrub Area Provided = 12,812 s.f. (78%)
 Site Trees: 1 Tree per 5,000 s.f. of Lot Area
 Site Trees Required = 24 Trees (30 Provided)
 No More Than 35% of all Newly Planted Trees May be the Same Variety
 Landscape Screening Shall be Used to Screen all Parking and Loading Areas Visible From Riverdale Road. Landscape Screening Shall Consist of a 6" High Berm in Shrub Planter with 3' Tall Plant Material. Landscaper Shall Provide the 6" High Berm Where Specified on Plan. See Landscape Plan for Location.
 * Xeriscape Areas Shall Consist of Shrub Areas with Drought Tolerant Plant Material!

Landscape Notes:
 1. See Sheet L2.2 for Plant Schedule and Details.
 2. All Landscape Material Shall be Fully Irrigated by an Automatic Irrigation System. See Site Plan and Sheet L2.2 for Layout and Details.
 3. Adjust Landscape Material as Needed to Allow Access to all Area of Existing Building. Irrigation Components Shall be Located Between Plant Material to Allow Easy Access for Maintenance.
 4. All Areas Disturbed by Construction Shall be Landscaped and Not Left Unshrub.

Landscape Keynotes
 (1) Install Gravel Planter with Descriptive Stone #1
 (2) Install Gravel Planter with Descriptive Stone #2
 (3) Install Landscape Concrete During
 (4) Install Landscape Boulder
 (5) Elect. Transformer - See Elect. Plan
 (6) Install Lawn Adjacent to New Classroom and Club & Gallery. Shrub New into Existing
 (7) Install Irrigation System. Precipitation: See Irrigation Plan for More Detail
 (8) New Light Pole - See Site Elect. Plan
 (9) Monument Sign by Granite Planet
 (10) Existing Lawn to Remove and be Protected. Lawn Damaged due to Construction Shall be Replaced. Shrub New into Existing
 (11) Existing Tree with Understory Shrub
 (12) Existing Street Tree to Remove
 (13) 3" High Stone Hedge and 6" Berm to Screen Parking Lot From Riverdale Road. Shrub Hedge with Dutch Elm, to the South
 (14) Landscape Plantings to Screen Dumpster Enclosure

 ANDERSON WAHLEN & ASSOCIATES 2010 North Second Street, Salt Lake City, Utah 84115 (801) 331-1337 • andw@andw.com	
Landscape Plan Cheddar's Scratch Kitchen 4173 Riverdale Road Riverdale, Utah 84405	
	
15 Jul, 2021 Know what's below. Call before you dig.	
L1.1	

15 Jul 2021 11:17:23 AM V1

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
A	0	Juniperus scopulorum 'Grey Glom' / Grey Glom Juniper	8-8" Ht.
B	0	Koeleria paniculata / Golden Rain Tree *	2" Caliper
C	0	Syringa reticulata 'Inuyasha' / Inuyasha Japanese Tree Lilac*	2" Caliper
D	0	Zakusei variegata 'Murasaki' / Murashou Zakusei	2" Caliper
E	0	Buxus x 'Greeno' / Obsequent Green Boxwood	5 gal
F	0	Forsythia x 'Gold Daze' / Golden Day Forsythia	5 gal
G	0	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Dwarfing Juniper	5 gal
H	0	Picea pungens 'Cobaea' / Dwarf Noble Blue Spruce	5 gal
I	0	Prunus x citrina / Purple Leaf Sand Cherry	5 gal
J	0	Rhus aromatica 'Cry-Loe' / Cry-Loe Fragrant Sumac	5 gal
K	0	Ribes oblatum 'Green Mount' / Green Mount Alpine Currant	5 gal
L	0	Rosa x 'Nooboo' / Red Outh Rose	5 gal
M	0	Spiraea x bumalda 'Goldflame' / Goldflame Spiraea	5 gal
N	0	Spiraea x japonica 'New Flare' / New Flare Spiraea	5 gal
O	0	Taxus x media 'Dark Green Spreading' / Yew	5 gal
P	0	Callunetum x variegata 'Vast Frontier' / Frontier Red Cream	1 gal
Q	0	Hebe x 'Forsyth' 'Decorous' / Ginkgo	1 gal
R	0	Populus x 'Kinky' / Kinky Bluepoplar Blend	and

MATERIAL SCHEDULE

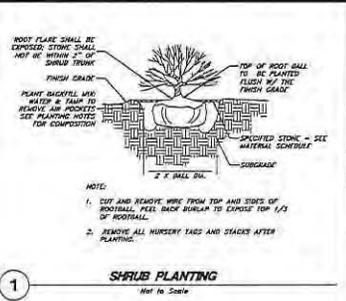
	Descriptive Stone #1 - Install a (2) Three Inch Depth over Driveway Pad Stone Barrier Stone Shall be Used in Stone Planters where Stone or Plant Stone Shall be Installed Prior to Installation. Stone Shall be 1 1/2" Diameter South Three Quarter Stone from a Local Source.	Detail: 3-1.1, 3
	Descriptive Stone #2 - Install a (6) Six Inch Depth over Driveway Pad Stone Barrier Stone Shall be Used in Stone Planters where Stone or Plant Stone Shall be Installed Prior to Installation. Stone Shall be 2-4" Diameter South Three Quarter Stone from a Local Source.	Detail: 3-1.1, 4
	3-4" Dia. Min. Landscape Boulder - Boulder Shall be Angular, Earth Tone Color and Shall Meet Descriptive Stone #1 Boulder Stone be Replaced (3) Three inches into Ground and Setback Upon Completion.	Detail: 4-1.2

General Landscaping Notes

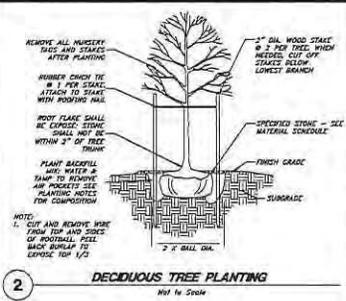
- Plant material quantities are based on existing site conditions. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant material and their condition when prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with any material. The contractor shall assume sufficient quantities of plants equal to the symbol count or to 10% of the area shown on the plan unless the symbol quantity. These quantities are based on plant material quantities.
- Contractor shall call Blue Sticks before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site improvements, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall assume the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. The soil present and condition shall be corrected.
- The contractor shall provide all extension, labor and equipment required for the proper completion of all landscape work to be installed and shown on the drawings.
- See site and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personal injury and property damage insurance. Cleanup must be performed daily, and all hardscape areas must be washed free of dirt and mud on their completion. Contractors must return all to their original condition.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.

- If it is the contractor's responsibility to furnish all plant material free of pests or plant diseases. It is the contractor's obligation to maintain the warranty of plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid noise, electric, utility, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee the life of plants.
- The contractor shall install all landscape material per plan, notes and details.
- All existing and related work shall be properly protected. These corrected during construction shall be replaced at no cost to the owner.
- Plant names are abbreviated on the drawings. See plant schedule for symbols, abbreviations, botanical, common names, sizes, restricted quantities and varieties.
- No grading or soil placement shall be undertaken until soils are corrected.
- Impacted topsoil shall be used for landscape areas. The landscape contractor shall perform a soil test on impacted topsoil and amend soil test recommendations. Soil test to be done per certified soil testing agency. Provide new impacted topsoil from a local source. Impacted topsoil must be a premium quality with enough humus. Free of rocks, sticks, nails, and plant matter.
- Prior to placement of topsoil in all landscaping areas, all impactive areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
- Provide a 12" depth of imported topsoil in parking basins and on 6 inch depth in all other outdoor areas.
- All plant material shall be dug using the diameter of the root ball and 8 inches deeper. Excess material shall be removed from the site and replaced with plant material. The top of the root ball shall be planted flush with the final grade.
- Plant basket mix shall be composed of 3 parts topsoil to 1 part soil mix, and shall be mixed at the planting site. Deep water of plant material immediately after planting. Add bacteria culture to decompose in media.

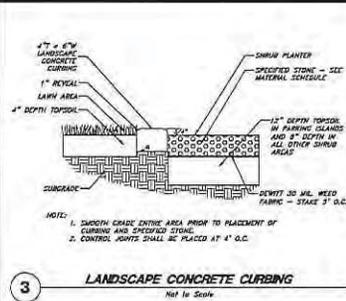
- All new plants to be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed from the site and buried away from the structure, utility or other site and water lines. The plant schedule, 1/2" of the root ball, 1/2" of the root ball, 1/2" of the root ball, 1/2" of the root ball.
- Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stress care Driveway Pad Stone Barrier Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be within three (3) inches of grade.
- All landscape trees shall be double staked per tree staking detail. It is the contractor's responsibility to remove tree staking in a timely manner once staked trees have taken root. Deciduous trees to be 3/4" VLT, Conifers 1/2" VLT.
- Install landscape concrete curbing between lawn and shrub areas. Curbing shall be installed level and uniform and shall match top grade grade of concrete walk and curbs. See landscape concrete curbing detail.
- Provide a 4 inch depth of imported topsoil in all lawn areas.
- Soil must be prepared quality, evenly cut, established, healthy, weed and disease free, and from an approved source.
- All lawn areas to have uniform grasses by final planting. Prior to seeding and apply a starter fertilizer at a rate recommended by the manufacturer. Soil must be dug with no plant remains present as a desirable prepared topsoil layer. Soil to be depth below finish grade and concrete walk and curbing. The soil and must be immediately reworked after installation. Any disturbed areas will require replacement. Adjust fertilizer application to receive healthy green turf that of the site within 60 days.
- The contractor shall comply with all applicable and pertinent city, state and federal laws and regulations and shall be held liable for any and all violations of such laws and regulations.



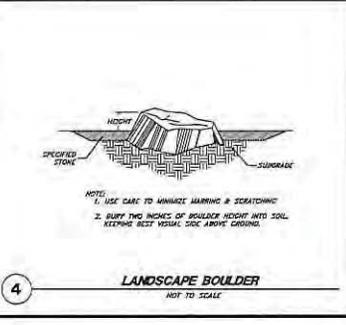
1 SHRUB PLANTING
Not to Scale



2 DECIDUOUS TREE PLANTING
Not to Scale



3 LANDSCAPE CONCRETE CURBING
Not to Scale



4 LANDSCAPE BOULDER
Not to Scale

DATE
SCALE
PROJECT NO.
CLIENT NAME
CONTRACT NO.
ISSUE NO.
DATE

Designed by: JT
 Drafted by: DC
 Client Name:
 CCA Acquisition
 10-27-16
AWA
 ANDERSON WALLEN & ASSOCIATES
 5210 West Orchard Road, Salt Lake City, Utah 84116
 (801) 331-8337 - anderson@awa.com

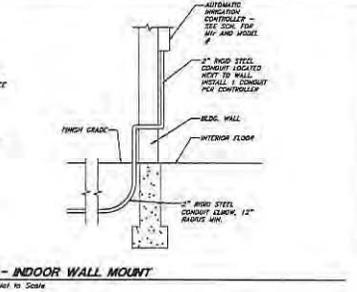
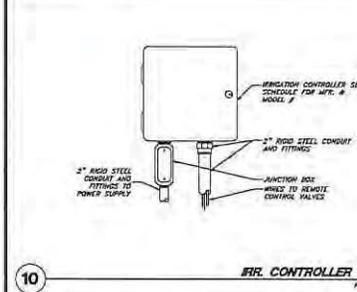
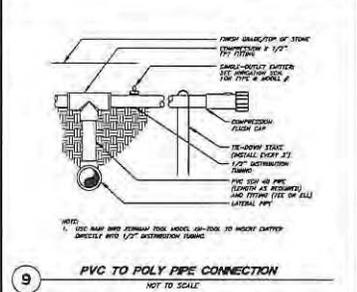
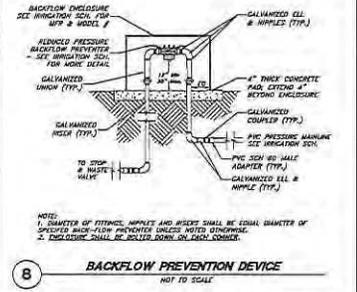
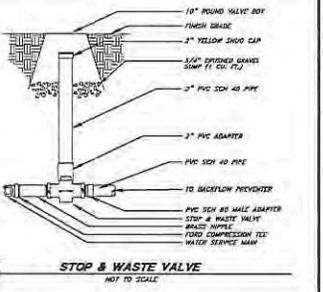
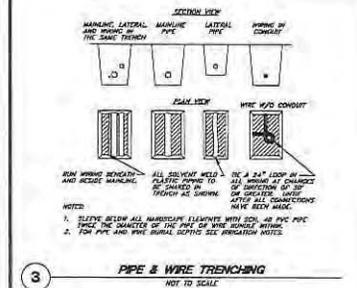
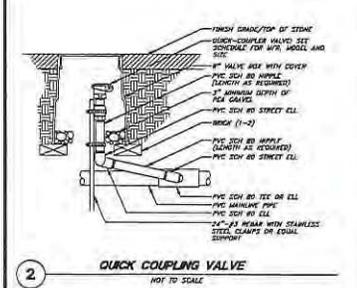
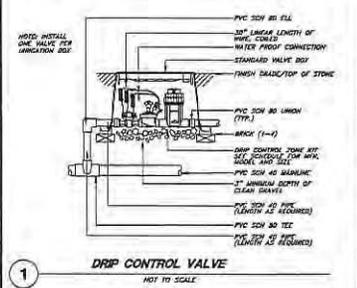
Landscape Schedules, Notes & Details
Cheddar's Scratch Kitchen
 4174 Riverview Road
 Riverton, Utah 84403

811
 Know what's below.
 Call before you dig.
 15 JUL 2021
 SHEET NO.
L1.2

2021-07-15 10:41:15 AM C:\Users\jordan\OneDrive\Documents\2021\10-27-16\10-27-16.dwg 7/15/2021 10:41:15 AM V.P.

IRRIGATION SCHEDULE

Symbol	Manufacturer/Model #	Description	Notes	Detail
Valve				
□	Rain Bird 102-100-PPS-SSM	Pop Remote Control Valve Kit	1 inch Size Install in Standard Valve Box with 3" Depth of Cover over Head. Install with Weather Proof Wire Connectors.	1/2,2.2
⊙	Rain Bird 44RC	Quick Coupler with Safety Joint	1 inch Size, Install in 10" Round Valve Box with 3" Depth of Cover over Head. Drive.	2/2,2.2
⊖	Walker-Waters 253	Manual Drain Ball Valve	1/2" Inch Size, Install at End of the Mainline in 10" Round Valve Box with 3" Depth of Cover over Head. Drive.	1/2,2.2
Drip				
○	PVC Pipe 1/2" Drip Tubing	Female Connection Fittings	Install 1" Leader Line to All Drip Areas.	6/2,2.2
○	Rain Bird 102-700 Rain Bird 102-100 Rain Bird 102-200 Rain Bird 102-300 Rain Bird 102-400	1/2" Distribution Tubing - Pipe shown on Plan is Schematic; Adjust as Needed. 1/4" Distribution Tubing - Install one per Emitters. Drip Spacing (2.5' @ 1/2") = 1 per 10' Run / Dimensional Cross. 2 per 20' @ 1/4" & 4 per 40' @ 1/8". To Drain Slope = Tubing to be Staked every 3' Between the Cap - Install one per Emitters. Removable Plug Cap - Install at the End of Each Line.		4/2,2.2
R.O.C. Components				
⊗	Master Control Valve #	Stop & Waste Valve	1 inch Size, Install in 10" Round Valve Box with 3" Depth of Cover over Head. Drive.	2/2,2.2
⊗	MSHA 37331	Reduce Pressure Restriction Assembly (State Approved Restriction Device)	1 inch Size, Backflow Check for Property Installed & Failed to Allow County Inspectors, and Meet all State and Local Health Safety Laws and Ordinance. Install in Concrete Enclosure (30"x30"x2") & 2" Lead (CS-APPD) Enclosure Color to be Matched to Top.	6/2,2.2
Pipes				
---	Schedule 40 PVC	Mainline Pipe	7 inch Size, See Plan for Location. Schedule 40 (Fittings) Shall be Used for Movable Components.	1/2,2.2
---	Schedule 40 PVC	Colored Line Pipe	See Plan for 1/2" and 3/4" Size. Minimum Pipe Size Shall be 1 inch for PVC Pipe.	1/2,2.2
Controller & Accessories				
⊗	Rain Bird ESP402	4 Zone Station Inboard Controller	See Plan for Location of Controller. Coordinate Firms Supply With Existing Electrical Contractor.	1/2,2.2
Steering				
---	Schedule 40 PVC			



General Irrigation Notes:

- The contractor shall be responsible for locating all underground utilities and avoid damage to or within the limits of the work. It shall be the responsibility of the contractor to verify the location of all utilities which occur as a result of the construction. Any problem or pipe discontinuity must be reported to the contractor's architect.
- The irrigation contractor shall assume the risk and liability which the work is to be performed and notify the general contractor in writing of installation/operation. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of an irrigation work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, foundations, grading, and drainage information.
- Contractor safety and shutoff must meet OSHA standards at all times. All contractors must have adequate safety equipment and training. Contractors must be equipped to undertake electrical, pressure system and maintenance personnel with sufficient manual and all products data to operate, clean, maintain, repair, and adjust system.
- Irrigation system guarantee for all materials and workmanship shall be one year from the date of final acceptance of the project (whichever is longer). Guarantee will include, but is not limited to, defective, missing, installation, repair, punch listing, scheduling, operation, and repairing traffic damage.

- Irrigation system check must be done before the system is backfilled. Irrigation contractor shall check cover and depth of cover and provide stamped. Assume the complete system has no discontinuities and will need to be laid coverage with adequate pressure for system operation. Adjust system to meet usage in building, foundation, and support structure. Any problem or pipe discontinuity must be reported to the contractor's architect.
- Irrigation materials must be schedule 40 PVC with schedule 40 fittings, one (1) inch with schedule 40 fittings. The maximum depth of water line shall be three (3) inches. Submit system to manual comparison of fittings.
- Irrigation materials that are 2" and smaller shall be schedule 40 PVC. All other materials shall be schedule 40 fittings. Submit with all joints as per manufacturer specifications for maximum depth pressure. Use letter size on all threaded joints. One-inch specification for length-four (4) inches minimum.
- Install electric fittings wherever electrical system are joined.
- Drain locations are constructed. Make minor adjustments necessary to avoid obstructions and obstructions such as pipe, valves, supports, etc. (200) percent irrigation coverage of areas indicated.
- Contractor shall be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, railing or drainage feature. Valve boxes to conform with these plans.
- Control valve shall be 1/4" single connector valve for common use. Red for hot water and blue for the clean water. Pressure (2) lbs. water with that size length of the mainline and to the controller. All wires shall be 1/4" L-100. All connections shall be made with either right connector (CRS) or equivalent and connected to control valve boxes. Pressure (2) lbs. water with that size length of mainline and to the controller. All wires shall be 1/4" L-100. All connections shall be made with either right connector (CRS) or equivalent and connected to control valve boxes.
- Control valve shall be type, quantity, and location to be approved by contractor architect. Install in heavy duty plastic (vented) under box. See these drawings for valve size and

- Use for areas of maintenance and repair. Install one (1) cubic foot of pea gravel for areas in base of boxes. Boxes to be covered.
- Quick couplers shall be a Rain Bird 44-100 (Non-Portable Cover) with a 1 inch Lead using joint assembly. Support with rebar in each rebar hole. Install where shown on the plans.
- Irrigation system approval must occur only after system check is completed as specified. Use only Rain Bird 44-100 (Non-Portable Cover) with a 1 inch Lead using joint assembly. Support with rebar in each rebar hole. Install where shown on the plans.
- All irrigation pipe running through walls, under slabs, eaves, or other hard surfaces shall be sleeved prior to being set in the irrigation contractor's responsibility. Sleeves shall be made of 2" rigid steel conduit and fittings. Sleeves shall be schedule 40 PVC. The depth for outside sleeves shall be four-inch (4) inches minimum. Depth for inside sleeves shall be within (18) inches minimum. Sleeves shall be a minimum of four inches larger than the pipe to be sleeved. All valve packing shall be contained in separate sleeves.
- Plan and separate and approximate due to make where possible, all piping to be installed within the building areas. No lines, any, or changes in direction shall occur under hardware.
- If it is the contractor's responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
- The irrigation contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent possible damage to emitters, nozzles, and/or buildings or areas to be irrigated. The contractor shall select the best emitter or nozzle to fit the site and to flush the line control valve prior to within the optimum operating pressure for each emitter. All nozzles shall be flushed prior to the installation of irrigation lines.
- All emitter heads shall be set perpendicular to drain pipe of the area to be irrigated and shall be installed 8"-8" from buildings walls, or within 4" of pavement, curbs, or hardscape.

- Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting with irrigated emitter areas. Poly tubing or any line that run off the main PVC is not allowed unless it is connected to a PVC to poly tubing adapter. All poly tubing shall run linear pavement.
- Emitters power source at the controller location shall be provided to electrical contractor. Contractor shall verify location of emitters prior to installation with owner.
- Provide and install all manufacturer's recommended seals and gasket protection (approved) on all controllers.
- All steel shall show a minimum finish (see details). If final conditions necessitate additional finish, three (3) coats shall be required for complete drainage of the entire exterior. Provide a ground wire under each steel. All steel shall be a minimum of 1/8" gauge steel.
- Iron controller and electrical of irrigation system, irrigation contractor to provide the owner with the sets of drawings including outdoor location of piping, valves, separator (vents, wiring, and notes).
- An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.
- It shall be the responsibility of the irrigation contractor to demonstrate to the Owner the proper installation and start-up procedures for the entire system prior to final payment.

VALVE SCHEDULE

VALVE SIZE	VALVE TYPE	IRRIIGATION TYPE	FLOW (GPM)	PSI	PSD	IRRIIGATION RATE
1"	Area for Drip Emitters	6.66	36.25	52.67	0.73	1/4"/hr
2"	Area for Drip Emitters	6.36	36.25	52.28	0.74	1/4"/hr
3"	Area for Drip Emitters	4.28	36.24	48.84	0.72	1/4"/hr
4"	Area for Drip Emitters	6.26	35.05	31.30	0.73	1/4"/hr

Anderson Wahlen & Associates
 210 West Second Street, Salt Lake City, Utah 84111
 (801) 331-5875 • www.awah.com

Prepared by: J. Wahlen
 Checked by: R. Wahlen
 Date: 07/15/2021

Client Name: CCA Acquisition
 15-21047

Anderson Wahlen & Associates
 4173 Riverside Road
 Riverton, Utah 84405

Irriigation Schedule, Notes & Details

**RIVERDALE CITY
PLANNING COMMISSION AGENDA
August 10, 2021**

AGENDA ITEM: E4

SUBJECT: Consideration of Preliminary Site Plan approval for proposed Take 5 Automotive Service and Drive-thru Food Service Building, property located approximately 4021-4023 South Riverdale Road, Riverdale, Utah 84405; as requested by Blue Lube, LLC and Reeve & Associates, Inc.

PRESENTER: Mike Eggett, Community Development

INFORMATION:

- a. Exec Summ Take 5-Drink Store Prelim Site Plan – PC [20210810]
- b. Take5-Drink Store Prelim Site Plan Review – 20210803
- c. Dept Staff Reports – Take 5-Drink Shop Prelim Site Plan PC [20210804]
- d. City Eng Take 5 Review letter #1 – 4 August 2021
- e. Take 5-Drink Shop App - 20210727
- f. 05-139-3
- g. Parcel E
- h. Development Agmt – Riverdale 210715
- i. Riverdale Take 5 Material Board
- j. Riverdale Take 5 Presentation
- k. Take 5 Building Signs
- l. A-201
- m. Fiiz Prototype with Materials – 210113
- n. Charcoal Gray Trim (002)
- o. Elevation D
- p. Concept Elevation 2[8]
- q. 2021.07.27 Take5 lube 4023 Riverdale

[BACK TO AGENDA](#)



Planning Commission Executive Summary

For the Commission meeting on: 8-10-2021

Petitioner: *Reeve and Associates and Blue Lube, LLC*
Represented by Jeremy Draper and Taber Cope

Summary of Proposed Action

Jeremy Draper, with Reeve and Associates (on behalf of Blue Lube, LLC), has applied for a Preliminary Site Plan review of a proposed oil change and automotive services shop located at approximately 4021 South Riverdale Road. Additionally, as a secondary component of this submittal they have also provided a proposed drink store drive-in location at approximately 4023 South Riverdale Road, which is located on the same lot. This site plan is being proposed for development on property that is located in a parking lot area north of Denny's and east of the Staples/Ross building. The property is currently owned by RSS UBSBB2012C4 CR NHM LLC Etal. A public hearing is not required to consider this site plan proposal.

Following the presentation and discussion of the proposal, the Planning Commission may make a motion giving preliminary approval of the Take 5 and Drink Store site plan proposal, approval of the proposed site plan with any requested modifications, tabling the matter to a later date, or not giving preliminary approval of the proposed site plan with the appropriate findings of facts. If preliminary approval is provided, then this matter could move forward to a future Final Site Plan recommendation consideration process with the Planning Commission.

Title 10 Ordinance Guidelines (Code Reference)

This Preliminary Site Plan review is regulated under City Code 10-25 "Development in All Zones" and is affected by City Codes 10-10B "Planned Commercial (CP-1, CP-2, CP-3) Zones", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-16 "Sign Regulations".

The proposed development parcels are found on property located along the Riverdale Road on the north end of the City as currently owned by RSS UBSBB2012C4 CR NHM LLC Etal. The property is located in a CP-3 zoned area which requires that the developer prepare a development plan and enter into a development agreement for the use of the property. The requested use of automotive services and repair is a conditional use in this zone and will require a conditional use permit approval. The requested use of a drive-in drink and food services is a permitted zone, but is subject to approval of the development agreement due to the CP-3 zoning on this site.

Attached with this executive summary is a document entitled "Preliminary Site Plan Review - Take 5 and Drink Store"; this is a supplementary document addressing items on the Preliminary Site Plan application document. Also attached, following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The Planning Commission should discuss any concerns raised by these summaries.

Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission make a motion giving preliminary approval of the Take 5 and Drink Store site plan proposal,

approval of the proposed site plan with any requested modifications, tabling the matter to a later date, or not giving preliminary approval of the proposed site plan with the appropriate findings of facts.

General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as "Planned Commercial - High" and this proposed project would comply with this land use.

Legal Comments - City Attorney

Steve Brooks, Attorney

Administrative Comments - City Administrator

Bill Cobabe, City Administrator



Preliminary Site Plan Review – Take 5 and Drink Store Bldg, 4021 South and 4023 South Riverdale Road

Completed by Mike Eggett, Community Dev. Director on 8/3/2021

Recommendation: City staff recommends that the Planning Commission examine and review items associated with this proposed preliminary site plan review. Items of consideration or note (if any) have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to approve the preliminary site plan or not approve the proposed Take 5 and drink store building site plan with any additional comments, requirements or concerns to be addressed by the developer.

Date Plan Submitted to City: (Must be at least two weeks prior to Planning Commission meeting)	July 27, 2021
Date Application Submitted to City:	July 27, 2021
Date Fee Paid:	Paid on July 28, 2021 (see receipt for detail)
Site Plan – Preliminary Requirements	Departmental Review Comments
<i>COVER SHEET</i>	Provided
<u>Title Block</u>	
Project name and address	Project name and address location shown; addressing needs to state 4023 South Riverdale Road for the drink store and 4021 South Riverdale Road for the Take 5 Automotive center, Riverdale
Property Owner’s name, address, and phone number	Property owner’s name, address, and phone number not shown on cover sheet
Property Developer’s name, address, and phone number	Shown on cover page and application: Blue Lube, LLC – Taber Cope, address not provided, 719-661-2075
Approving agency’s name and address: Utility companies if applicable	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405, city name and address not shown on cover sheet; other utility agencies name and contact info not provided, where applicable
Consulting Engineer’s name, address, and phone number	Reeve & Associates, Inc, 5160 South 1500 West, Riverdale, Utah 84405, 801-621-3100

Licensed Land Surveyor's name, address, phone number, signature, and seal	Trevor Hatch – Reeve & Associates, Inc., 5160 South 1500 West, Riverdale, Utah 84405, 801-621-3100; seal and signature not provided at this time, where applicable
Date	Yes – June 2021
Revision block with date and initials	Revision blocks shown with notes tracking
Sheet number and total sheets	Shown (11 total sheets), multiple elevation drawings submitted as well for both buildings
<u>General</u>	
Street names	Shown – Riverdale Road
Layouts of lots with lot numbers	Yes, shown one lot
Adjacent tract ownership and tax identification numbers	Adjacent tract ownership names and tax ID not shown
Scale (minimum 1"=50' to 1"=10')	Yes, scale is shown, 1" = 20'
North arrow	Yes
Existing easements, structures, and utility lines: Approval to cross, use, or relocate	Existing easements not identified, existing structures currently on site shown, existing utility lines shown on sheet C3 and other sheets; unknown if approvals provided to cross, use, relocate
Space for notes	Yes, provided
Contours	Yes, shown on multiple sheets
Public areas	Existing and planned sidewalks and curb/gutter shown on multiple sheets
<u>Vicinity Map</u>	
Street names	Yes
Site location	Yes
North arrow	Yes
Scale	Note of "Not to Scale"
<u>Layout</u>	
Landscaping (location and type with area calculations)	Yes, provided on sheets 9-11, area calculations shown on 1 and 9

Location of exterior lighting devices, signs, and outdoor advertising	Yes, location of existing lighting shown; existing signs not shown in packet; location of proposed onsite lighting devices not provided or shown, if any; proposed signage locations shown in sign packet submittal; architectural elevations provided; planned building lighting identified on architectural and signage submittals; signage and lighting for drink store unknown at this time
Location of underground tanks, dumpsters, etc	No tanks present on site; dumpster and dumpster enclosure location shown in packet
<u>Additional Information</u>	
Benchmark	Not provided, where applicable
Basis of bearings	Not provided, where applicable
Legend	Shown on multiple sheets
<i>PLAN AND PROFILE SHEETS</i>	Site plan and profile sheets provided
<u>Title Block</u>	
Project name and address	Project name and address location shown; addressing needs to state 4023 South Riverdale Road for the drink store and 4021 South Riverdale Road for the Take 5 Automotive center, Riverdale
Approving Agency's name and address	Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405, city name and address not shown on cover sheet;
Consulting Engineer's name, address, and phone number	Reeve & Associates, Inc, 5160 South 1500 West, Riverdale, Utah 84405, 801-621-3100
Date	Yes – June 2021
Scale	Yes, scale is showing
Revision block with date and initials	Revision blocks shown with notes tracking
Sheet number and total sheets	Shown (11 total sheets), multiple elevation drawings submitted as well for both buildings
<u>General</u>	
North arrow	Yes
Street names	Shown – Riverdale Road
Lot numbers	Yes, shown one lot
Reference to sheets showing adjacent areas	Not applicable
Center line stationing	Shown on plans
Existing natural ground	Shown on sheet 3

<u>Signage</u>	Building signage concepts shown on arch drawings and proposed signage submittals; <u>may inquire more regarding future signage intent if desired</u>
Height	See sign submittal packet
Size	See sign submittal packet
Locations	See sign submittal packet
Colors	See sign submittal packet
Lighting	<i>Signage lighting unknown at this time</i>
<u>New and Existing Buildings</u>	
Height and Size	Take 5: New building - Height = 19' 10" at highest point; Building Pad area = unknown at this time; Drink Store: New building – Height = unknown at this time; Building Pad area = unknown at this time
Location, setbacks, and all dimensions	Not shown on sheets for both buildings; approximates: front (south) setback – unknown at nearest point; rear (north) setback – unknown at nearest point; west side setback – unknown nearest point; east side setback – unknown at nearest point
Type of construction	Materials for structure, texture, color appearance provided on architectural drawings; DRC will be needed for this site plan
Type of occupancy and proposed uses	Retails services establishment and Drive-in food service
Show handicapped access	ADA accessible ramp and access areas shown and handicapped parking stalls shown
<u>New and Existing Landscaping & Percentage</u>	Landscaping identified on sheet 9-11; Percentage of landscaping provided for site is 25.2%, commercial landscaping plans subject to City Code 10-14-12B as applied to this project; project landscaping appears to be in compliance
Number of trees	11 trees, 119 shrubs, 38 Ornamental grasses, 92 perennials
Landscape plan showing all planting, hardscaping, berming, and watering	Planting, hardscaping shown; new site development requires gentle berming locations, as required in 10-14-12 (B.)(2.), not shown and identified in landscaping plan, gentle berms and/or vegetative screening should be identified along the Riverdale Road edge of site plan area to screen lights and traffic from impacting Riverdale Road; irrigation plan provided on sheets 10-11

Xeriscaping alternatives being considered	Yes, xeriscaping seems to be applied in the rock mulch and ground cover areas of landscape plan; for more, inquire of the developer
<u>New and Existing Walls and Fences</u>	
Location, design, and height	No existing on site fences in this area; <u>no new fences appear to be planned for site</u>
Materials proposed for construction	<u>No new fences planned for site</u>
<u>New and Existing Parking</u>	
Location, area, and layout of off-street parking (size of stalls, regular and handicapped)	28 dedicated stalls are provided and shown; handicapped parking space provided and shown; size meets city requirements; unsure what sf of drink store is, parking calcs are tied to sf of drink store floor space, minimum is 10 stalls; unsure how many employees auto service center, plus 5 spaces for customers; parking appears adequate without knowing these metrics
Location of employees' parking, customer parking, and handicapped parking	Established as shown in drawings; customer parking shared with employees, where applicable
Internal circulation pattern	<u>Circulation pattern not shown, but inferred to access points around buildings</u>
<u>New and Existing Ingress and Egress</u>	
Location and size of points of ingress and egress for motor vehicles and internal use	Yes, shown
Circulation pattern	<u>Circulation pattern not shown, but inferred to access points around buildings; inquire more if desired</u>
<u>New and Existing Streets</u>	
All access points	Yes, this is shown
Center lines	Appears to be shown
Right-of-way lines	Shown, dedicated right-of-way not labeled
Face of curb lines	Yes, this is shown
Centerline slope	Shown on drawings and established per previous and other project road development
Signing and striping	<u>Public signing installation, if any, should be coordinated with public works dept and paid for by applicant; roadway striping should be coordinated with public works if applicable</u>
Light poles	Existing light poles shown on site; existing power equipment shown; location of onsite proposed light poles and equipment not shown in packet, if applicable

Street lights	No existing street lights appear to be on site; does not appear to be any newly proposed street light poles or devices planned
Street name signs	Location of street name signs on site not applicable to this location
Stop signs	Location of stop signs on site not clearly shown, if any planned
UDOT approval (if required for project)	Not subject to UDOT review or approval
Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach)	Yes, shown and defined on sheet 6
Planting Strip	Yes, planting strips are landscaped and shown along Riverdale Road and private drive
<u>New and Existing Storm Drainage</u>	
Top of curb elevations	Shown on sheet 5, in detail on sheet 6
Slope of gutter	Shown on sheet 5, in detail on sheet 6
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	Shown on sheet 5, in detail on sheet 6, <u>defer to City Engineer</u>
Length, size, slope, and type of mains and laterals	Shown on sheet 5, in detail on sheet 6, <u>defer to City Engineer</u>
Location of catch basins	Shown on multiple sheets in packet
Ditches, location and ownership	No waterway or ditches on this site
Approval to pipe, reroute or use	Other than future City approval, <u>unknown if other UDOT approval required, defer to City Engineer</u>
Calculations for retention system	Update calculations for retention system not provided; <u>defer to City Engineer</u>
Method of storm water clean-up	Shown on sheets 7-8
<u>New and Existing Sanitary Sewers</u>	
Manholes	Existing shown on multiple sheets; new shown on multiple sheets;
Invert elevations	Shown on sheet 5, <u>defer to City Engineer</u>
Length, size, type, and slope of mains and laterals	Shown on sheet 5, <u>defer to City Engineer</u>
<u>New and Existing Water Lines</u>	
Length, size, type, and slope of mains and laterals	Shown on sheet 5, <u>defer to City Engineer</u>

Location, size, and type of water meters, valves, and fire hydrants	Shown on sheet 5, water meter size and location identified; type not identified ; Location of existing valves shown; <u>no new valves shown or anticipated</u> ; existing fire hydrants shown; location new fire hydrant planned site plan shown; unknown blue symbol of circle with plus sign through it
<u>New and Existing Gas Lines</u>	
Size and type	Existing and new gas lines location, size, and type not shown
<u>New and Existing Electrical Lines</u>	
Size, location, and type	Existing power lines locations shown, new power lines not shown , <u>size and type not identified</u>
Location of power poles	Existing power poles and overhead lines location; new power poles location not planned
<u>New and Existing Telephone Lines</u>	
Location of poles, junction boxes, and manholes	Existing location of telephone lines and poles not shown, new telephone utility lines and poles not shown , associated manholes shown on various sheets where applicable
<u>New and Existing Cable TV Lines</u>	
Location of lines (if applicable)	<u>Cable TV lines location not shown</u>
<i>DETAILED DRAWINGS</i>	
Cross section of roadway (minimum 8" road base and 3" asphalt)	No applicable roadway cross sections for this project; onsite asphalt cross section shown on sheet 6
Cross section of curb and gutter (standard 30" high back)	Refer to sheet 6 for roadway cross section connection for curb, gutter, and sidewalk areas, <u>defer to City Engineer</u>
Gutter inlet box with bicycle safe grate	Locations not shown or identified; not identified as bicycle safe grates on gutter inlet boxes ; <u>defer to City Engineer</u>
Cleanout box	Locations not shown or identified ; <u>defer to City Engineer</u>
Thrust blocking	Locations and detail not shown, where applicable ; <u>defer to City Engineer</u>
Special energy dissipating or drop manholes	None showing and may not be applicable; <u>defer to City Engineer</u>
<i>ADDITIONAL INFORMATION</i>	
Soils report	Geotechnical report has not been provided for this project
Drainage and runoff calculations	Update calculations for retention system not provided ; <u>defer to City Engineer</u>

Water right transfer documentation	Applicant needs to work with Public Works Department to provide adequate water rights for this site per 8-6-3 of City Code
Copy of protective covenants, codes, and regulations for development	This is not applicable
Three (3) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings	Yes, provided as requested
Building elevation renderings	Provided with packet (multiple sheets for both buildings)
Corp of Engineers approval (if required)	<u>Located inside of updated FEMA flood zone rated as 0.2% annual floodplain (Zone X – optional insurance); no Corp of Engineer’s approval req.</u>
Zoning compliance	Yes, Regional Planned Commercial (CP-3) Zone meets intended uses for site design; <u>development agreement with City required to back development plan for area per 10-10B</u>
RDA compliance (if applicable)	No applicable RDA regulations for this project area; this project is not in an RDA area
Use compliance	Yes, this use complies with the and zoning for this CP-3 zoned area, <u>subject to development plan and agreement approval by City</u>
Engineering comments and letter of approval recommendation	Engineering comments, along with Public Works, Police Department, Fire Department provided
Traffic study	<u>Not currently required, unless deemed otherwise appropriate by the City</u>
All Planning Commission and City Staff conditions for approval have been met	<u>Currently Preliminary Submission approval consideration being reviewed by Planning Commission</u>

DEPARTMENTAL STAFF REPORTS – 7/29/2021 to 8/4/2021

From: Shawn Douglas
Sent: Wed 8/4/2021 9:49 AM
To: Mike Eggett
Subject: Review

Mike,

I have included my review comments for the three projects. Thanks

Plan Review For Take 5

Storm Water

- 1-Drainage system operation and maintenance plan and BMPS approved and recorded with plat.
- 2-Orifice size, location and plan detail, free board on detention/retention structure, free board on structure, and emergency overflow. Requirements for detention/retention will need to be met.
- 3-Hydraulic separator or BMP's to treat storm water before water enters underground retention/detention or city system.
- 4-The location and method of connection to the city line.
- 5-Provide proposed flows gpm/gpd.
- 6-Storm water prevention plan for construction site including BMP's. All storm water inspections will need to be completed on Compliance Go. Construction entrance needs to be limited to one spot with fence or other BMP.
- 7-Note to certify retention/detention structure size after construction.
- 8-Retention/Detention structure design and materials shown.
- 9-Injection well permit if required.

Water

- 1-Provide water usage peak demands.
- 2-Provide what water shares will be used to meet water requirements.

Sewer

- 1-Grease trap or separator.

Other

- 1-Note requiring all construction and materials shall meet Riverdale City standards.
- 2-Note requiring all missing, nonfunctioning, and or damage surface improvements shall be replaced. (sidewalk, curb and gutter, fencing, etc.)
- 3-Note for flowlines in sewer manholes, storm drain manholes and catch basins.
- 4-Dimensions and square footage of each lot. Including impervious surface area of each lot.

Shawn Douglas
Riverdale City Public Works
Sdouglas@Riverdalecity.com
801-394-5541 ext.1217

From: Scott Brenkman
Sent: Thu 7/29/2021 4:16 PM
To: Mike Eggett
Subject: RE: Review needed - Prelim Site Plan Submittal for Take 5 and Drink Shop

I have no concerns.

Scott

Chief Scott Brenkman
Riverdale Police Department
4580 S. Weber River Dr.
Riverdale, UT 84405
(801)394-6616
sbrenkman@riverdalecity.com

From: Jared Sholly
Sent: Tue 8/3/2021 10:42 AM
To: Mike Eggett
CC: Randy Koger
Subject: RE: Review needed - Prelim Site Plan Submittal for Take 5 and Drink Shop

After working with Randy, I no additional recommendations.

*Jared Sholly
Fire Chief
Riverdale City Fire Department
Cell: 801-628-6562
Office: 801-394-7481*

From: Randy Koger

Sent: Tue 8/3/2021 10:19 AM

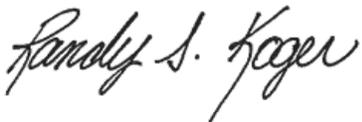
To: Mike Eggett

CC: Jared Sholly

Subject: RE: Review needed - Prelim Site Plan Submittal for Take 5 and Drink Shop

I have no additional recommendations.

Comments made during this review are advisory and do not prevent the necessity of conforming with requirements which might have been overlooked in the review process. Ultimate responsibility for compliance rests with the owner/developer.

A handwritten signature in black ink that reads "Randy S. Koger". The signature is written in a cursive style with a large, stylized 'R' and 'K'.

Fire Marshal/ Code Enforcement Officer

Riverdale City

801-436-1241

4 August 2021

Riverdale City
4600 South Weber River Drive
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director
Proj: **Take 5 – 4023 Riverdale City**
Subj: Preliminary Site Plan Improvement Drawings

Dear Mike,

Attached for consideration is our engineering review of the “Preliminary Plans” of the above referenced project. With the plans being preliminary additional engineering comments will be given upon submittal of completed drawings.

The following items should be considered and addressed prior to receiving recommended approval from our office.

General Note:

1. An **electronic copy** of the Site/Project drawings and details must be submitted to the Public Works Department via our office for record keeping upon design completion and prior to approval of the Site Project drawings from our office.

Plat – Considerations for a Plat

1. It appears that the two parcels will be apart of the existing development. Will an Amended Plat be submitted in regards to the two parcels?

With the drawings all easements and rights-of-way, should be shown with dimensions.

2. Show the Public Utility Easement around the perimeter of the site. And show the documentation for the 4-utilities going across the property as shown on Grading and Utility Plan. It appears that the utilities come close to the proposed structures. Actual location of the utilities is required with easements.

3. The following notes need to be added to the drawings and to an Amended Plat if one is to be prepared along with the Improvement Drawings and/or acknowledged by the overall property owner/developer:

All Onsite “Utilities and Facilities” – On Private Property:

- Culinary Water Facilities: All facilities i.e., pipes, service laterals, valves, bends, thrust blocks, fire hydrants, miscellaneous fittings are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
- Sanitary Sewer Facilities: All facilities i.e., pipes, manholes, laterals, pipeline cleaning, sewer backups are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
- Storm Water Facilities: All facilities i.e., pipes, manholes, inlet catch basins, orifice and orifice control structures, detention storage basins, overflow spillways are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
- Roadways and Sidewalks Facilities: All hard-surfacing facilities i.e., are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.

Site Plan – Improvement Drawings

1. Notes need to be placed on the Site Plan improvement drawings indicating all deteriorated, damaged, or missing surface improvements surrounding the perimeter of the development and on-site be replaced or installed i.e., curb and gutter, sidewalk, landscaping park strip improvements, asphalt patching, landscaping replacement, concrete improvement, etc.
2. The current Month and Year should be added to Cover Sheet above the Vicinity Map with the final drawing submittal. The site construction notes and details need to be reviewed and updated to match the callouts throughout the drawings.
3. The Geotechnical Report will need to be prepared and submitted.
 - The “Pavement Design” (depths of sub-base, roadbase, asphalt paving) for the site needs to be clearly referenced.

Storm Water Issues:

1. The Storm Water calculations for the entire site will need to be prepared and submitted.
2. The complete storm water detention system will need to be designed and submitted for review.
 - Riverdale City requires that the 85% percentile storm volume be managed.
 - Percolation test results must be furnished.
 - Show a plan & profile of the existing storm drain pipeline.

3. All open detention will require a 12” freeboard berm, overflow spillway, 85% percentile storm volume in the basin design, orifice control and the other typical design items.
 - The orifice should be located that when the orifice is plugged the maintenance workers will not have to go underwater to unplug the orifice. The orifice structure should have two 4’ x 4’ chambers that will provide a dry access to the orifice for cleaning.
4. Underground storage will require a full design with approval from the State for underground injection and once approved cannot be substituted by a different vender without written approval/acceptance by the Public Works Department.
 - All underground storm water storage facilities are classified as a “Class V – Injection Well” and must be permitted through the “State of Utah”. A copy of the approval permit must be submitted for review.
5. All underground storage facilities will require that storm water must go through a storm water cleaning manhole, (“storm-ceptor”, “Bay Saver” or similar – sizing calculations must be submitted) prior to the underground storage.
 - The underground storm water detention basins (basin floor) will need to be a minimum of 3’ above the seasonal high ground water elevation. Test pits and borings at the basin locations are required.
 - An observation manhole (4’ diameter) will need to be placed at the entrance/end of any underground storage chamber for physical inspection.
6. **A note** must be added to the storm water drawings that upon construction completion the detention basin storage volume must be checked by the design engineer and the volume actually constructed must be measured, and then certified in writing, by the design engineer, to the City Storm Water Manager.
7. There needs to be a note on the drawings that the storm water collection boxes in the parking lot need to be a “hooded” box.
8. Roof drains should be extended to the underground storm water piping or to the detention basin.
9. Upon construction completion the design engineer must verify in writing to the Public Works Department that the design storage volume has been correctly built. Please place this inspection note on the improvement drawings.
10. Provide the flow capacity design and details for the Barracuda filtering manhole.
 - Provide a “Storm Water Maintenance Schedule” and a “Maintenance Plan”. The storm water **“Maintenance Chart/Record”** needs to be revised and placed in the improvement drawings for the on-site maintenance workers to follow. The Maintenance Chart/Record must be available for the City Storm Water Manager to review upon request. The “Maintenance Chart/Record” must be updated with the drawing changes noted above and submitted to Weber County for recordation with notification back to Riverdale City.

Traffic Issues:

1. Show circulation directions with signage and pavement markings.
2. Show driveway widths, dimensions, storm water collection (all storm water must be collection from the site piped to the storm water facilities and managed.

Sanitary Sewer Issues:

1. Provide a plan and profile drawing showing the existing sanitary sewer pipelines and elevations.
2. The sanitary sewer grease interceptor vault and sampling manhole details will need to be included in the drawings. What is the capacity of the grease interceptor vault? What is the diameter and details for the "Sampling Manhole" ?

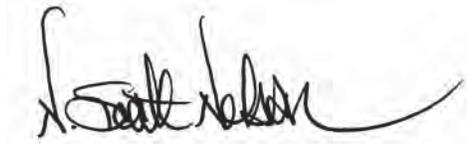
Culinary Water Issues:

1. Provide locations of all fire hydrants within 800 feet of the site.
2. The location of the irrigation connection and backflow device (RP) will need to be shown on the drawings along with a detail construction drawing.

We would be happy to meet with the Developer and/or his Engineer to review the above items should they have any questions.

Sincerely,

CEC, Civil Engineering Consultants, PLLC.

A handwritten signature in black ink, appearing to read "N. Scott Nelson". The signature is fluid and cursive, with a long horizontal stroke at the end.

N. Scott Nelson, PE., SE.

City Engineer

Cc. Shawn Douglas, Public Works Director
Jeff Woody, Building Official and Inspector



Riverdale City

Community Development
4600 So. Weber River Drive
Riverdale, Utah 84405
Acct #10-34-1500

RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL OR MANUFACTURING SITE PLAN APPROVAL

CASE NO: 2021-09 DATE SUBMITTED: July 27, 2021

APPLICANT'S NAME: Reeve & Associates, Inc c/o Jeremy Draper | jeremy@reeve.co

BUSINESS ADDRESS: 5160 S 1500 W, Riverdale, UT 84405

BUSINESS PHONE: 801-621-3100

ADDRESS OF SITE: 4023 Riverdale Road

APPLICANT'S INTEREST: New commercial development with oil change and co-tenant drive through.

Application is hereby made to the Riverdale City Planning Commission requesting that the following permitted use, be approved on 0.99 +/- acres of property in the CP-3 zone in (sq. ft./acreage)

accordance with the attached site plan.

Christy N. Kennedy
Signature of Applicant

DocuSigned by:
[Signature]
24DDBCB1842B4F1...
Signature of Property Owner

I authorize Reeve & Associates, Inc. to act as my representative in all matters relating to this application.

Refer to attached DocuSign Summary
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$400 per acre or portion of
Fee: \$ 396.⁰⁰ Date paid: 7-28-2021

Planning Commission set public hearing: Yes No Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:
Date: 8/10/2021 ^{Prelim.} Decision of Commission: _____

City Council set public hearing: Yes No Date of Public Hearing: _____

City Council scheduled to hear this application for site plan approval on:
Date: _____ Decision of Council: _____

Certificate Of Completion

Envelope Id: 5EBFBB77F6394CD6B805E3724DC8F4D2

Status: Completed

Subject: Please DocuSign: City site plan approval.pdf

Source Envelope:

Document Pages: 1

Signatures: 1

Envelope Originator:

Certificate Pages: 1

Initials: 0

Matthew Diamond

AutoNav: Enabled

200 S. Biscayne Blvd., Suit 3550

Envelope Stamping: Enabled

Miami, FL 33131

Time Zone: (UTC-08:00) Pacific Time (US & Canada)

matthew.diamond@rialtocapital.com

IP Address: 70.170.75.54

Record Tracking

Status: Original

Holder: Matthew Diamond

Location: DocuSign

7/27/2021 9:35:55 AM

matthew.diamond@rialtocapital.com

Signer Events

Adam Richard Singer

adam.singer@rialtocapital.com

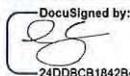
Managing Director

Rialto Capital

Security Level: Email, Account Authentication (None)

Signature

DocuSigned by:



24DD8CB184284F1...

Signature Adoption: Drawn on Device

Using IP Address: 107.77.215.162

Signed using mobile

Timestamp

Sent: 7/27/2021 9:37:37 AM

Viewed: 7/27/2021 9:52:39 AM

Signed: 7/27/2021 9:52:53 AM

Electronic Record and Signature Disclosure:

Not Offered via DocuSign

In Person Signer Events

Signature

Timestamp

Editor Delivery Events

Status

Timestamp

Agent Delivery Events

Status

Timestamp

Intermediary Delivery Events

Status

Timestamp

Certified Delivery Events

Status

Timestamp

Carbon Copy Events

Status

Timestamp

Witness Events

Signature

Timestamp

Notary Events

Signature

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Envelope Summary Events

Status

Timestamps

Envelope Sent

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Certified Delivered

Security Checked

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Signing Complete

Security Checked

7/27/2021 9:52:53 AM

Completed

Security Checked

7/27/2021 9:52:53 AM

Payment Events

Status

Timestamps



Riverdale City
4600 South Weber River Drive
Riverdale, UT 84405
(801) 394-5541

XBP Confirmation Number: 103671313

Transaction detail for payment to Riverdale City.		Date: 07/28/2021 - 9:53:56 AM MT	
Transaction Number: 153469422PT Visa — XXXX-XXXX-XXXX-9620 Status: Successful			
Account #	Item	Quantity	Item Amount
10341500	Sundry Revenues	1	\$396.00
Notes: SITE PLAN APPROVAL APPLICATION			

TOTAL: \$396.00

Billing Information
TAVER COPE
, 84020

Transaction taken by: rboman

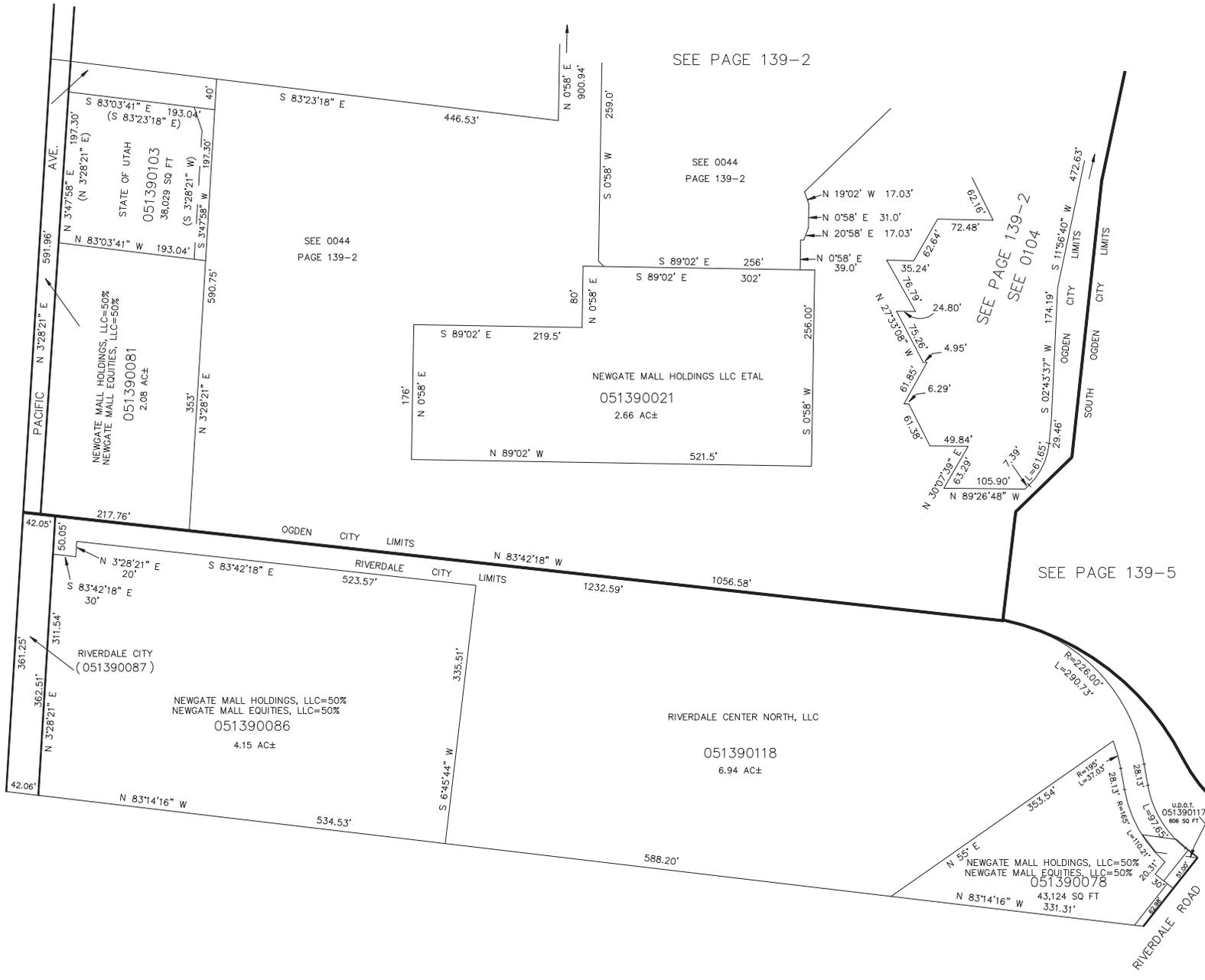
PART OF THE SW 1/4 OF
SECTION 5, T.5N., R.1W., S.L.B. & M.

139-3

IN OGDEN CITY & RIVERDALE CITY

TAXING UNIT: 26, 25

SCALE 1" = 100'



SEE PAGE 139

DEVELOPMENT AGREEMENT

This Development Agreement is entered into as of this ___ day of _____, 2021 by and between Blue Lube Properties – Riverdale, LLC, a Utah limited liability company, as the developer of a project known as “Take 5 - Riverdale” (the “Project”), located at _____ in the City of Riverdale, a municipality and political subdivision of the State of Utah, by and through its City Council (the “City”).

RECITALS:

A. Blue Lube Properties – Riverdale, LLC (“Developer”) is the developer of real property located in the City of Riverdale, Weber County, Utah, located at 4043 Riverdale Road, Ogden, Utah. The legal description of the property is attached as Exhibit A, parcels of which are zoned CP-3 (the “Property”).

B. Developer is willing to design and develop the Project in a manner that is in harmony with, and intended to promote, the long-range policies; goals; and objectives of the City’s general plan, zoning and development regulations, as more fully set forth below.

C. The City, acting pursuant to its authority under *Utah Code Annotated*, § 10-9a-101, *et seq.*, and in furtherance of its land use policies; goals; objectives; ordinances; resolutions; and regulations, has made certain determinations with respect to the proposed Project and, in the exercise of its legislative discretion, has elected to approve this Development Agreement.

NOW, THEREFORE, in consideration of the mutual covenants, conditions, and terms as more fully set forth below, Developer and the City hereby agree as follows:

1. Approval of Overall Development Plan for Project.

1.1 Property Affected by This Agreement. It is the intention and understanding of the parties that the development will comply with all requirements of zoning. The Project will be contained within the boundaries of the Property. No additional property may be added to this description for purposes of this Agreement, except by written amendment to this Agreement executed and approved by the parties hereto. In the event that circumstances change, the parties may agree to a deviation of the planned use and projected future phase site plans in a written amendment to this Agreement executed and approved by the parties hereto, with approval not unreasonably withheld.

1.2 Planned Uses. The planned uses in the Project, which have been approved as a part of the final site plan, include the following. All uses which are substantially similar or incidental to those listed below shall be considered approved planned uses.

a. Automobile including:

Parts sales

Repair including paint, body and fender, brake, muffler, upholstery or transmission work, provided conducted within completely enclosed building

Tire sales and service

- b. Antique, import or souvenir shop
 - c. Bakery: Manufacture limited to goods retailed on premises
 - d. Candy: Store, confectionery
 - e. Car wash: Automatic/drive-through type and/or Manual spray
 - f. Cleaning: Dry cleaning establishment and/or Laundromat
 - g. Electronic equipment sales and service
 - h. Express and transfer parcel service (store)
 - i. Financial institution: Bank, Credit union, Payday loans/check cashing/consumer loans/title loans
 - j. Food service: Cafe or cafeteria, Delicatessen, Ice cream parlor, Restaurant, drive-in
 - k. Gold buying store including all precious metals
 - l. Household appliance sales and incidental service
 - m. Retail goods establishments
 - n. Retail service establishments
 - o. Smoke shop
2. The Developer represents to the City that the Plat for this proposed Development complies with all City, county, state, and federal laws and regulations, including but not limited to: subdivision ordinances, zoning ordinances, and environmental regulations.
3. Specific Architectural and Design Standards. The Project shall comply with the specific architectural and design standards set forth below, in addition to the other applicable ordinances and regulations of Riverdale City.
- 3.1 Landscaping Requirements. The Landscaping requirements shall include landscaping in the areas adjacent to Project as set forth in the Site Plan attached as Exhibit B hereto (the "Site Plan").
- 3.2 Final Landscaping Plan. The final landscaping plan shall be in accordance with the Site Plan.
- 3.3 Architectural Standards. The Project shall comply with the architectural standards, which are intended to ensure that the front, side and rear exterior treatment of the buildings shall be as depicted on the Site pLan.
- 3.4 Parking. The Project shall comply with the proposed parking on the Site Plan and which shall be depicted on the final engineering and building plans.

3.5 Signs. The Developer represents to the City that all signage for this proposed Development complies with all City, county, state, and federal laws and regulations, including but not limited to: subdivision ordinances, zoning ordinances, jurisdictional codes, and environmental regulations.

3.6 Utilities. All utilities, including drainage systems; sewer; gas and water lines; electrical; telephone and communication wires and related equipment; irrigation ditches and/or pipes, shall, where possible, be installed and maintained underground. Developer shall, at developer's expense, prepare; grant; and deliver to the City, any and all necessary utility easements for any and all city owned utilities.

3.7 Equipment.

a. Mechanical equipment (including, but not limited to components of plumbing, processing, heating, cooling, and ventilating systems) shall be appropriately screened as depicted on the approved Site Plan and related exhibits referenced herein.

b. Equipment, mechanical devices, electric transformers, utility pads, cable television and telephone boxes shall be appropriately screened, where possible, by vegetation, walls, fences, or otherwise enclosed in a manner harmonious with the overall architectural theme and character of the Project.

3.8 Additional Use Restrictions. The Property shall not be used in such a manner as to create a nuisance to any adjacent sites such as, but not limited to, vibration; sound; electro-mechanical disturbance and radiation; air or water pollution; dust; emissions of noxious matter; lighting impacts; building dilapidation; signage dilapidation; overgrown/unsightly landscaping; or placement, dumping or blowing refuse, paper or other garbage.

3.9 Substructures, Storage/Refuse Collections, Flags and Flag Poles, Etc.

a. All outdoor storage shall be visually screened from access streets, freeways, and adjacent property. This screen shall be architecturally compatible with the buildings.

b. No outdoor storage shall be permitted between a street and the building line. No outdoor storage shall be located within 100 feet of any residential use.

c. Refuse removal, trash collection, and lot sweeping shall occur between the hours of 7:00 a.m. and 10:00 p.m.

4. Vested Rights and Reserved Legislative Powers.

4.1 Vested Rights. Subject to the provisions of this Agreement, the Developer shall have the right to develop and construct the Project in accordance with

the uses, densities, intensities, and general configuration of development approved by this Agreement, subject to compliance with the other applicable ordinances and regulations of Riverdale City.

- 4.2 Reserved Legislative Powers. Nothing in this Agreement shall limit the City's future exercise of its police power in enacting generally applicable land use laws after the date of this Agreement. Notwithstanding the retained power of the City to enact such legislation under the police powers, such legislation shall only be applied to modify the vested rights of Developer under this Agreement based upon policies; facts; and circumstances meeting the compelling, countervailing public interest exception to the vested rights doctrine in the State of Utah. Any such proposed change affecting the vested rights of the Project shall be of general application to all development activity in the City and, unless the City declares an emergency, Developer shall be entitled to prior written notice and an opportunity to be heard with respect to the proposed change and its applicability to the Project under the compelling, countervailing public policy exception to the vested rights doctrine.

5. Design Review Committee.

- 5.1 The Design Review Committee shall meet on an as-needed basis to review final engineering and building plans for the Project. The Design Review Committee is authorized to grant building permit approval if the final engineering and building plans are in compliance with the provisions of this Agreement. In the event of a dispute between the Design Review Committee and the Developer, the issue (s) in dispute shall be submitted for a decision to the City Council. The Design Review Committee must review all aspects of the Project to ensure that it meets the plans approved by the Planning Commission and City Council. The Developer shall pay for any additional professional review of the projects as necessary.
- 5.2 Design Review Committed Membership and Organization. Unless otherwise listed by code, the Design Review Committee shall be:
- a. Mayor (or his designee);
 - b. City Administrator;
 - c. Building & Zoning Official;
 - d. City Planner;
 - e. Planning Commission Chairman (or his designee);
 - f. Community Development Director; and
 - g. Public Works Director.

The mayor or in his absence, the City Administrator, shall serve as Chairman of the Design Review Committee. The City Building Official shall ensure developer compliance with all decisions of the Design Review Committee. The Design Review Committee may consult with other City staff and retain the services of other consultants (such as an architect,

landscape architect, or traffic engineer) as necessary to review technical compliance with the provisions of this Agreement.

6. Successors and Assigns.

6.1 Binding Effect. This Agreement shall be binding on the successors and assigns of Developer in the ownership or development of any portion of the Project.

6.2 Assignment. Neither this Agreement nor any of the provisions, terms, or conditions hereof can be assigned to any other party, individual or entity without assigning the rights, as well as the responsibilities, under this Agreement and without the prior written consent of the City, which consent shall not be unreasonably withheld. Any such request for assignment may be made by letter addressed to Riverdale City and the prior written consent of the City may also be evidenced by letter from the City to Developer. This restriction on assignment is not intended to prohibit or impede the sale of parcels of fully improved, partially improved, or unimproved land by Developer prior to construction of building improvement on the parcels, with Developer retaining all rights and responsibilities under this Agreement. Upon completion of the development project, as defined herein, Developer shall not be required to seek approval for alienation of the project.

7. General Terms and Conditions.

7.1 Term of Agreement. The terms of this Agreement shall be in place following the date of its adoption by the City Council, unless the Agreement is earlier terminated or its terms modified by written amendment to this Agreement.

7.2 Agreement to Run With The Land. This Agreement shall be recorded in the office of the Weber County Recorder against the Property and is intended to, and shall be, deemed to run with the land and shall be binding on all successors in the ownership of any portion of the Property.

7.3 Construction of Agreement. This Agreement shall be construed so as to effectuate the public purpose of implementing long-range planning objectives, obtaining public benefits, and protecting any compelling countervailing public interest, while providing reasonable assurances of continuing vested development rights.

7.4 State and Federal Law. The parties agree, intend and understand that the obligations imposed by this Agreement are only such as are consistent with state and federal law. The parties further agree that if any provision of this Agreement becomes, in its performance, inconsistent with state or federal

law, or is declared invalid, this Agreement shall be deemed amended to the extent necessary to make it consistent with state or federal law, as the case may be, and the balance of this Agreement shall remain in full force and effect.

7.5 Relationship of Parties and No Third-Party Rights. This Agreement does not create any joint venture, partnership, undertaking, or business arrangement between the parties hereto nor any rights or benefits to third parties.

7.6 Laws of General Applicability. Where this Agreement refers to laws of general applicability to the Project, this Agreement shall be deemed to refer to other laws of Riverdale City.

7.7 Integration. This Agreement contains the entire agreement between the parties with respect to the subject matter hereof and integrates all prior conversations, discussions or understandings of whatever kind or nature and may only be modified by a subsequent writing duly executed and approved by the parties hereto.

7.8 Applicable Law. This Agreement is entered into under and pursuant to, and is to be construed and enforceable in accordance with the laws of the State of Utah.

8. Miscellaneous provisions.

8.1 City Storm-Water Management Plan. To the extent allowable under the applicable Development Regulations, stormwater entering the subject Development will be collected and transported into the existing public drainage system in accordance with those standards and conditions approved and accepted by the City.

8.2 Development Site Clean Up. The Developer shall promptly clean up any and all dirt and debris deposited on public streets or public property as a result of construction activity on the Property. If Developer fails to clean up such dirt and debris within twenty-four (24) hours of notification by the City, the City shall clean-up said dirt and debris and Developer agrees to pay the City's costs of such cleanup within thirty (30) days of billing.

9. Default.

9.1 Events of Default. Upon the happening of one or more of the following events or conditions, Developer or City, as applicable, shall be in default ("Default") under this Agreement:

- a. A warranty, representation or statement made or furnished by Developer under this Agreement is intentionally false or misleading in any material respect when it was made;
- b. A determination by City made upon the basis of substantial evidence that Developer has not complied in good faith with one or more of the material terms or conditions of this Agreement;
- c. Any other act or omission, either by City or Developer, which (i) violates the terms of this Agreement, or (ii) materially interferes with the intent and objectives of this Agreement.

9.2 Procedure Upon Default.

a. Upon the occurrence of Default, the non-defaulting party shall give the other party thirty (30) days written notice specifying the nature of the alleged default and, when appropriate, the manner in which said Default must be satisfactorily cured. In the event that the Default cannot reasonably be cured within thirty (30) days, the defaulting party shall have such additional time as may be necessary to cure such default so long as the defaulting party takes action to begin curing such default within such thirty (30) day period and thereafter proceeds diligently to cure the default. After proper notice and expiration of said thirty (30) day or other appropriate cure period without cure, the non-defaulting party may declare the other party to be in breach of this Agreement and may take the action specified in Section 9.3.

b. Any Default or inability to cure a Default caused by strikes, lockouts, labor disputes, acts of God, inability to obtain labor or materials or reasonable substitutes therefore, governmental restrictions, regulations, or controls, enemy or hostile governmental action, civil commotion, fire or other casualty, and other similar causes beyond the reasonable control of the party obligated to perform an obligation under this Agreement, shall excuse the performance of such obligation by such party for a period equal to the period during which any such event prevented, delayed or stopped any required performance or effort to cure a Default.

9.3 Breach of Agreement. Following the occurrence of a Default by Developer, after the expiration of all application notice and cure periods set forth above, City may declare Developer to be in breach of this Agreement and City (i) may elect to withhold approval of any or all building permits or certificates of occupancy applied for in the Project, but not yet issued; and (ii) shall be under no obligation to approve or to issue any additional building permits or certificates of occupancy for any building within the Project until Developer has cured such Default. In addition to such remedies, either City

or Developer may pursue whatever additional remedies it may have at law or in equity, including injunctive and other equitable relief.

9.4 Enforcement. The parties to this Agreement recognize that City has the right to enforce its rules, policies, regulations, ordinances, and the terms of this Agreement by seeking an injunction to compel compliance, or by withholding building permits or any other lawful means. In the event Developer violates the rules, policies, regulations or ordinances of City applicable to the Property or otherwise violates the terms of this Agreement, City may, without declaring a Default hereunder or electing to seek an injunction, upon given thirty (30) days written notice to Developer specifying the nature of the alleged violation and, when appropriate, the manner in which said violation must be satisfactorily cured (or such longer period as may be reasonably required by Develop so long as Developer has commenced the cure of such violation within such thirty (30) day period and has thereafter diligently proceeded to cure such default), take such actions as shall be deemed appropriate under law until such violations have been rectified by Developer, including the withholding of building permits. City shall be free from any liability arising out of the proper exercise of its rights under this paragraph.

9.5 No Waiver. Failure of a party hereto to exercise any right hereunder shall not be deemed a waiver of any such right and shall not affect the right of such party to exercise at some future time said right or any other right it may have hereunder. Unless this Agreement is amended by vote of the City Council taken with the same formality as the vote approving this agreement, no officer, official or agent of City has the power to amend, modify or later this Agreement or waive any of its conditions as to bind City by making any promise or representation not contained herein.

9.6 Attorney's Fees. Should any party hereto employ an attorney for the purpose of enforcing this Agreement, or any judgment based on this Agreement, for any reason or in any legal proceeding whatsoever, including insolvency, bankruptcy, arbitration, declaratory relief or other litigation, including appeals or rehearings, and whether or not an action has actually commenced, the prevailing party shall be entitled to receive from the other party thereto reimbursement for all attorney's fees and all costs and expenses. Should any judgment or final order be issued in any proceeding, said reimbursement shall be specified therein.

9.7 Notices.

All notices hereunder shall be given in writing by certified mail, postage prepaid, at the following addresses:

If to the City: Riverdale City Council

4600 South Weber Drive
Riverdale, Utah 84405
Fax No.: (801) 399-5784

With a copy to: Riverdale City Attorney
4600 South Weber Drive
Riverdale, Utah 84405
Fax No.: (801) 399-5784

If to Developer: Blue Lube Properties – Riverdale, LLC
% Jared Whatcott
1413 E. Nashi Lane
Draper, Utah 84020

- 9.8 Effectiveness of Notice. Any notices sent by certified mail shall be effective on the date on which such notice is sent. Any party may change its address or notice by giving written notice to the other party in accordance with the provisions with this section.
- 9.9 Applicable Law. This Agreement is entered into under and pursuant to, and is to be construed and enforceable in accordance with, the laws of the State of Utah.

DATED as of the day and year first written above.

Blue Lube Properties – Riverdale, LLC

By _____
Its _____

RIVERDALE CITY

Attest:

City Recorder

By
Mayor

EXHIBIT A Legal Description

PARCEL E:

Part of the Southwest Quarter of Section 5, Township 5 North, Range 1 West, Salt Lake Base and Meridian, Riverdale City, Weber County, Utah, described as follows:

Beginning at a point which bears East 404.57 feet, North 534.48 feet and South $83^{\circ}14'16''$ East 1164.79 feet from the Southwest Corner of said Section 5 and running thence North 55° East 353.54 feet; thence Southeasterly along the arc of a 195 foot radius curve to the right, a distance of 37.03 feet (L.C. bears South $15^{\circ}26'33''$ East 36.97 feet); thence South 10° East 28.13 feet; thence Southeasterly along the arc of a 165 foot radius curve to the left, a distance of 110.21 feet (L.C. bears South $29^{\circ}08'05''$ East 108.17 feet); thence South $38^{\circ}14'54''$ West 20.31 feet; thence South $51^{\circ}45'06''$ East 30.00 feet to the West Line of Riverdale Road; thence along said West Line South $38^{\circ}14'54''$ West 62.98 feet; thence North $83^{\circ}14'16''$ West 331.31 feet to the point of beginning.

The following is shown for information purposes only: Tax ID No. 05-139-0078

EXHIBIT B

SITE PLAN



EXTERIOR FINISH SCHEDULE

NO.	AREA	COATS	COLOR	FINISH
1	EFS MAIN COLOR	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #7693, STONEBRIAR	FINISH TO MATCH STD "MEDIUM SAND" OR DRYFIT "SANDPAPER FINE"
2	EFS ACCENT BAND AND FACE EFS CORNICE	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #7678, COTTAGE CREAM	FINISH TO MATCH STD "FINE SAND" OR DRYFIT "SANDBLAST"
3	EFS MANGROVE	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6097, STURDY BROWN	FINISH TO MATCH STD "MEDIUM SAND" OR DRYFIT "SANDPAPER FINE"
4	COPING	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO BE KYNAR 500 PRE-FINISHED
5	EFS SECONDARY COLOR	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO MATCH STD "MEDIUM SAND" OR DRYFIT "SANDPAPER FINE"
6				
7	BOLLARDS	SEE SPECIFICATION AND MANUFACTURER'S RECOMMENDATIONS	MATCH SW COLOR #6871, POSITIVE RED	

SOUTH ELEVATION

- EXTERIOR FINISH NOTES:**
1. EFS TO BE STD THEM O CLASSIC DRYFIT OUTLET/SLAT PLUS M0 OR APPROVED EQUAL.
 2. EFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFT.
 3. EFS TO HAVE HIGH IMPACT MESH FROM 4'-0" AFT TO 8'-0" AFT.
 4. EFS TO HAVE STANDBURD IMPACT MESH ABOVE 8'-0" AFT.
 5. METAL ROOF TO BE ATMS OUTDOOR SEAM OR BERTRUDE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS.
 6. METAL ROOF PANELS TO BE 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLUOROCARBON FINISH.
 7. METAL COPING TO BE PRE-FINISHED, 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLUOROCARBON FINISH.



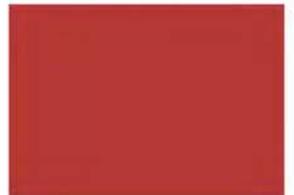
**COLOR 1: EFS FIELD:
SW 7693 STONEBRIAR**



**COLOR #2: EFS ACCENTS AND COPING
SW 7678 COTTAGE CREAM**



**COLOR 3: EFS BASE
SW 6097 STURDY BROWN**



**COLOR 4, 5, 7: EFS, COPING, AND
BOLLARDS:
SW 6871 POSITIVE RED**



**COLOR 8: H.M. DOOR AND FRAME,
DOWNSPOUTS , OVERHEAD DOORS
SW 6076 TURKISH COFFEE**

Take 5
4023 Riverdale Road
Riverdale, Utah





1 NORTH ELEVATION
A-200 1/4"=1'-0"



3 WEST ELEVATION
A-200 1/4"=1'-0"



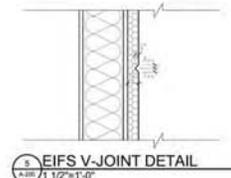
2 SOUTH ELEVATION
A-200 1/4"=1'-0"



4 EAST ELEVATION
A-200 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE				
NO.	AREA	EQS/TS	COLOR	FINISH
1	EFS MAIN COLOR	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SR COLOR #781L STONEBARK	FINISH TO MATCH STD "MEDIUM SAND" OR DRYVIT "SANDPERLE FINE"
2	EFS ACCENT BAND AND FACE EFS CORNICE	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SR COLOR #787L COTTAGE CREAM	FINISH TO MATCH STD "TINE SAND" OR DRYVIT "SANDBLAST"
3	EFS WINDOW	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SR COLOR #807L STURDY BROWN	FINISH TO MATCH STD "MEDIUM SAND" OR DRYVIT "SANDPERLE"
4	COPING	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SR COLOR #877L POSITIVE RED	FINISH TO BE KYNAR 500 PREFINISHED
5	EFS SECONDARY COLOR	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SR COLOR #877L POSITIVE RED	FINISH TO MATCH STD "MEDIUM SAND" OR DRYVIT "SANDPERLE FINE"
6	ROLLARDS	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SR COLOR #877L POSITIVE RED	

EXTERIOR FINISH NOTES:
 1. EFS TO BE STD TRIM D CLASSIC BRVMT OUSTULATION PLUS MG OR APPROVED EQUAL.
 2. EFS TO HAVE UL58A-HIGH IMPACT MESH TO 4'-0" HT.
 3. EFS TO HAVE HIGH IMPACT MESH FROM 4'-0" HT TO 8'-0" HT.
 4. EFS TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" HT.
 5. METAL ROOF TO BE ATAS OUTCH SEAM OR BERRIDGE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS.
 6. METAL ROOF PANELS TO BE 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOOR/CORNER FINISH.
 7. METAL COPING TO BE PREFINISHED 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOOR/CORNER FINISH.



5 EIFS V-JOINT DETAIL
A-200 1 1/2"=1'-0"

TAKE 5 / 5 MINUTE OIL CHANGE
 4023 RIVERDALE ROAD
 RIVERDALE, UT 84405
 FOR: BLUELUBE LLC, TABER COPE
 RIVERDALE, UT

1212 KENILWORTH AVENUE
 HOUSTON, TEXAS 77025
 CHILDREY ROBINSON ASSOCIATES

NO.	DESCRIPTION	DATE

6-23-2021
 SHEET NAME
 ELEVATIONS
 SHEET NUMBER

A-200

1 MONUMENT SIGN
QUANTITY

SCOPE OF WORK:
MANUFACTURE & INSTALL
ONE (1) D/F MONUMENT SIGN

JOB/MATERIAL DESCRIPTION:

BLACK ALUMINUM CONSTRUCTION
WHITE ACRYLIC FACES
CHANGEABLE COPY
INTERNALLY ILLUMINATED OIL CAN
INTERNALLY ILLUMINATED CABINET
DIRECT POLE EMBEDMENT INSTALL
ALUMINUM SKIRTING PAINTED TBD

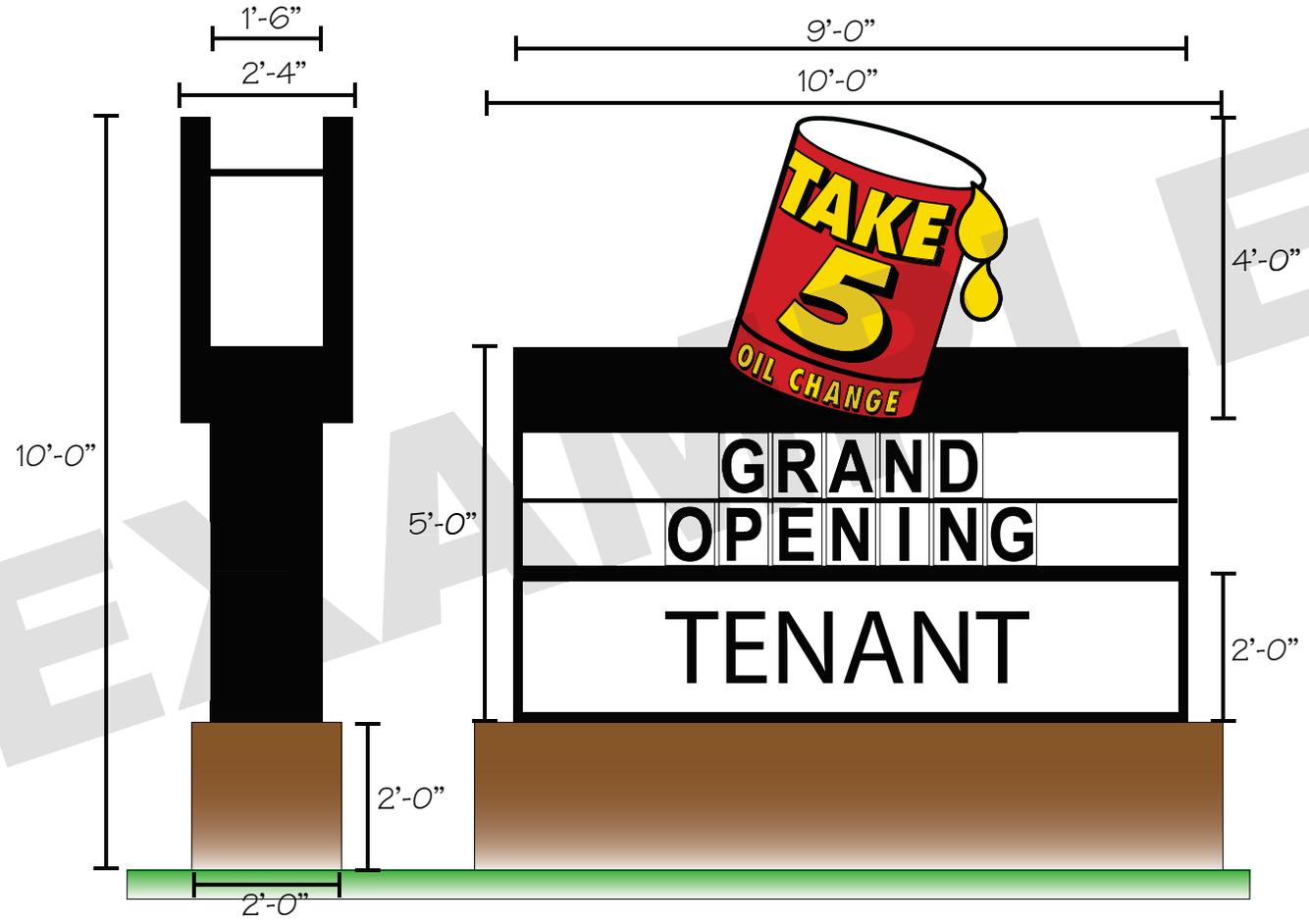
FILE NAME: 07 TAKE 5 MONUMENT.PDF

POWER REQUIREMENTS
(1) 20 AMP CIRCUIT
120 VOLTS



NOTE: COLORS ON THIS RENDERING ARE INDICATIONS ONLY & MAY NOT MATCH ACTUAL SIGN COLOR. SEE DESCRIPTION FOR ACTUAL COLOR SPECS.

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UNIVERSAL SIGNS
A FULL SERVICE SIGN SHOP

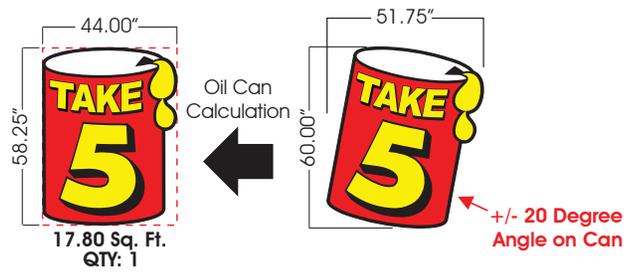
2451 S. 600 W. #100 SALT LAKE CITY, UT 84115
801-467-8700 • universalsign.com • Since 1982

TAKE 5
TABER COPE - 719-661-2075
tabercope@gmail.com
4023 Riverdale Road, Riverdale, UT



1 CHANNEL LETTERS

SCOPE OF WORK:
MANUFACTURE & INSTALL
CHANNEL LETTERS



ADDITIONAL ELEMENT

ALUMINUM PANS

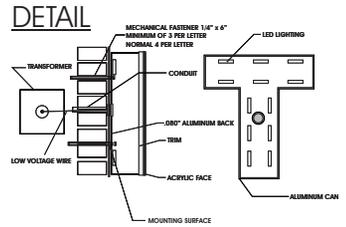
Quantity: 4
 Size: As in drawing
 Color: Black and White
 Returns: 1"
 Mounting: Angle into facade

NOTE: CENTERED UNDER LIGHTS AND 6" DOWN FROM THE BOTTOM OF SCENCE VERTICALLY



NOTES:

- *IF ELECTRICAL LINE/J-BOX IS WITHIN 6' OF ELECTRICAL CONNECTION TO BE HANDLED BY INSTALLER. IF NOT ELECTRICAL HANDLED BY OWNER/GC
- *IF ROOF PENETRATIONS ARE NECESSARY, THEY ARE TO BE SEALED BY A ROOFER. THIS IS HANDLED BY THE GC/OWNER
- *REMOVAL AND DISPOSAL OF EXISTING WALL SIGNS HANDLED BY GC/OWNER



SPECIFICATIONS

ILLUMINATED CHANNEL LETTERS

- Quantity: See Above
- Size: As in drawing
- Trim: 1"
- Trim Color: Black
- Return Color: Black
- Face Color: Red
- Face: 1/8" Acrylic
- Letter Interior: Gloss White
- Illumination: LED
- Mounting: Studded Letters

FILE NAME: 07 TAKE 5 MONUMENT.PDF

POWER REQUIREMENTS

(1) 20 AMP CIRCUIT
 120 VOLTS

NOTE: COLORS ON THIS RENDERING ARE INDICATIONS ONLY & MAY NOT MATCH ACTUAL SIGN COLOR, SEE DESCRIPTION FOR ACTUAL COLOR SPECS.

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4023 Riverdale Road, Riverdale, UT



1 CHANNEL LETTERS

**SCOPE OF WORK:
MANUFACTURE & INSTALL
CHANNEL LETTERS**

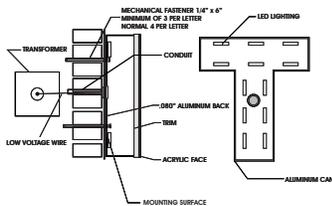
221.50"
18.00"
STAY IN YOUR CAR

INFORMATIVE/INSTRUCTIONAL MESSAGE
(NOT COUNTED TOWARD ALLOWANCE)
QTY: 1



NORTH ELEVATION
A.200 1/4"=1'-0"

DETAIL



SPECIFICATIONS ILLUMINATED CHANNEL LETTERS

Quantity:
See Above
Size:
As in drawing
Trim:
1"
Trim Color:
Black
Return Color:
Black
Face Color:
Red
Face:
1/8" Acrylic
Letter Interior:
Gloss White
Illumination:
LED
Mounting:
Studded Letters

SPECIFICATIONS

ILLUMINATED CHANNEL LETTERS

Quantity:
See Above
Size:
As in drawing
Trim:
1"
Trim Color:
Black
Return Color:
Black
Face Color:
Red
Face:
1/8" Acrylic
Letter Interior:
Gloss White
Illumination:
LED
Mounting:
Studded Letters

FILE NAME: 07 TAKE 5 MONUMENT.PDF

POWER REQUIREMENTS

(1) 20 AMP CIRCUIT
120 VOLTS



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4023 Riverdale Road, Riverdale, UT



1 CHANNEL LETTERS

QUANTITY

SCOPE OF WORK:
MANUFACTURE & INSTALL
ONE (1) D/F MONUMENT SIGN

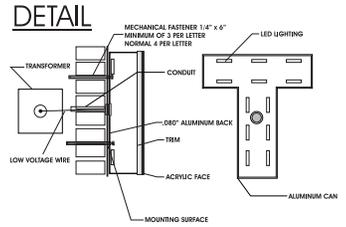


SPECIFICATIONS

ILLUMINATED CHANNEL LETTERS

- Quantity: See Above
- Size: As in drawing
- Trim: 1"
- Trim Color: Black
- Return Color: Black
- Face Color: Yellow
- Face: 1/8" Acrylic
- Letter Interior: Gloss White
- Illumination: LED
- Mounting: Studded Letters

FILE NAME: 07 TAKE 5 MONUMENT.PDF



POWER REQUIREMENTS

(1) 20 AMP CIRCUIT
 120 VOLTS

NOTE: COLORS ON THIS RENDERING ARE INDICATIONS ONLY & MAY NOT MATCH ACTUAL SIGN COLOR, SEE DESCRIPTION FOR ACTUAL COLOR SPECS.

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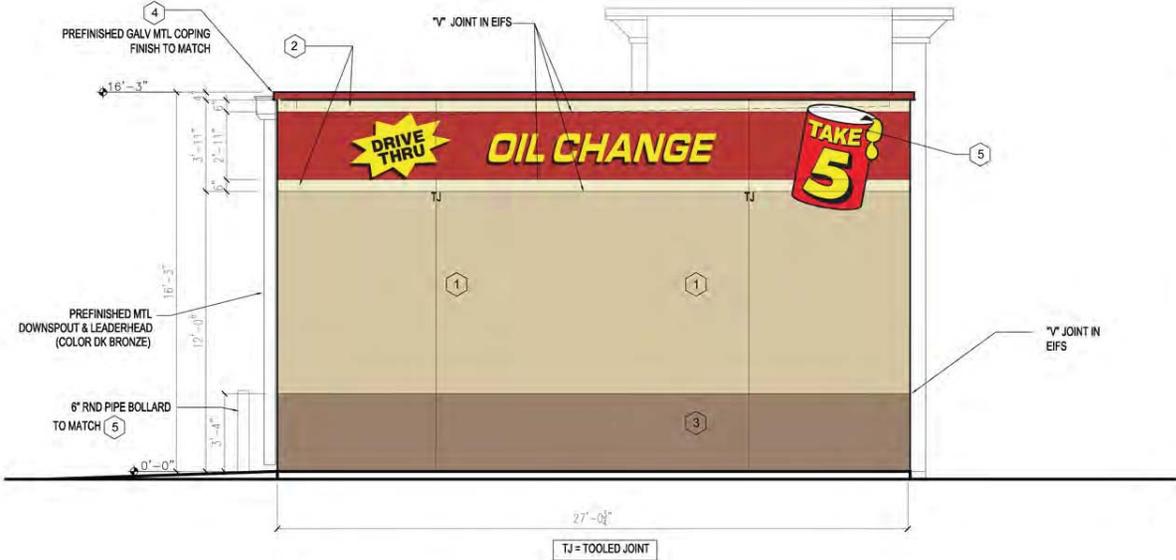
TAKE 5
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tabercope@gmail.com
4023 Riverdale Road, Riverdale, UT



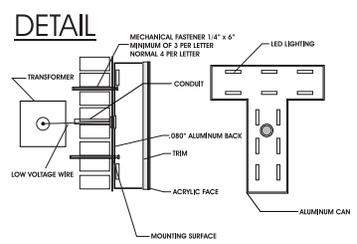
1 CHANNEL LETTERS

QUANTITY

SCOPE OF WORK:
MANUFACTURE & INSTALL
ONE (1) D/F MONUMENT SIGN



3 WEST ELEVATION
 A-200 1/4"=1'-0"



SPECIFICATIONS

ILLUMINATED CHANNEL LETTERS

- Quantity: See Above
- Size: As in drawing
- Trim: 1"
- Trim Color: Black
- Return Color: Black
- Face Color: Yellow
- Face: 1/8" Acrylic
- Letter Interior: Gloss White
- Illumination: LED
- Mounting: Studded Letters

FILE NAME: 07 TAKE 5 MONUMENT.PDF

POWER REQUIREMENTS
 (1) 20 AMP CIRCUIT
 120 VOLTS

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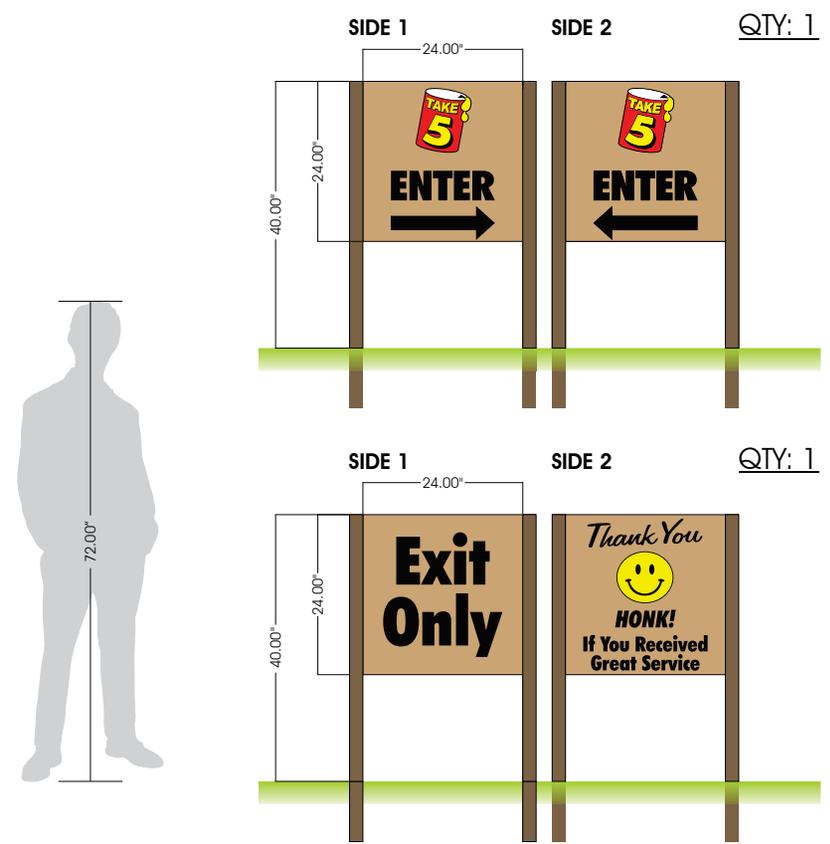
TAKE 5
TABER COPE - 719-661-2075
 tabercope@gmail.com
4023 Riverdale Road, Riverdale, UT



1 DIRECTIONAL SIGNS

QUANTITY

SCOPE OF WORK:
MANUFACTURE & INSTALL
D/F DIRECTIONAL SIGNS



SPECIFICATIONS

NON ILLUMINATED DOUBLE-SIDED POST & PANEL

- Quantity: See above
- Size: As in drawing
- Material: Aluminum square tubing and panels
- Face Color: SW 7693 Stonebriar and as determined by message
- Leg Color: SW 6076 Turkish Coffee
- Mounting: Into Earth
- Sq. Ft. Signage: 4.00

FILE NAME: 07 TAKE 5 MONUMENT.PDF

POWER REQUIREMENTS
 (1) 20 AMP CIRCUIT
 120 VOLTS

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tabercope@gmail.com
4023 Riverdale Road, Riverdale, UT



1 MONUMENT SIGN
 QUANTITY

**SCOPE OF WORK:
 MANUFACTURE & INSTALL
 ONE (1) D/F MONUMENT SIGN**

JOB/MATERIAL DESCRIPTION:

**BLACK ALUMINUM CONSTRUCTION
 WHITE ACRYLIC FACES
 CHANGEABLE COPY
 INTERNALLY ILLUMINATED OIL CAN
 INTERNALLY ILLUMINATED CABINET
 DIRECT POLE EMBEDMENT INSTALL
 ALUMINUM SKIRTING PAINTED TBD**

FILE NAME: 07 TAKE 5 MONUMENT.PDF

POWER REQUIREMENTS
 (1) 20 AMP CIRCUIT
 120 VOLTS



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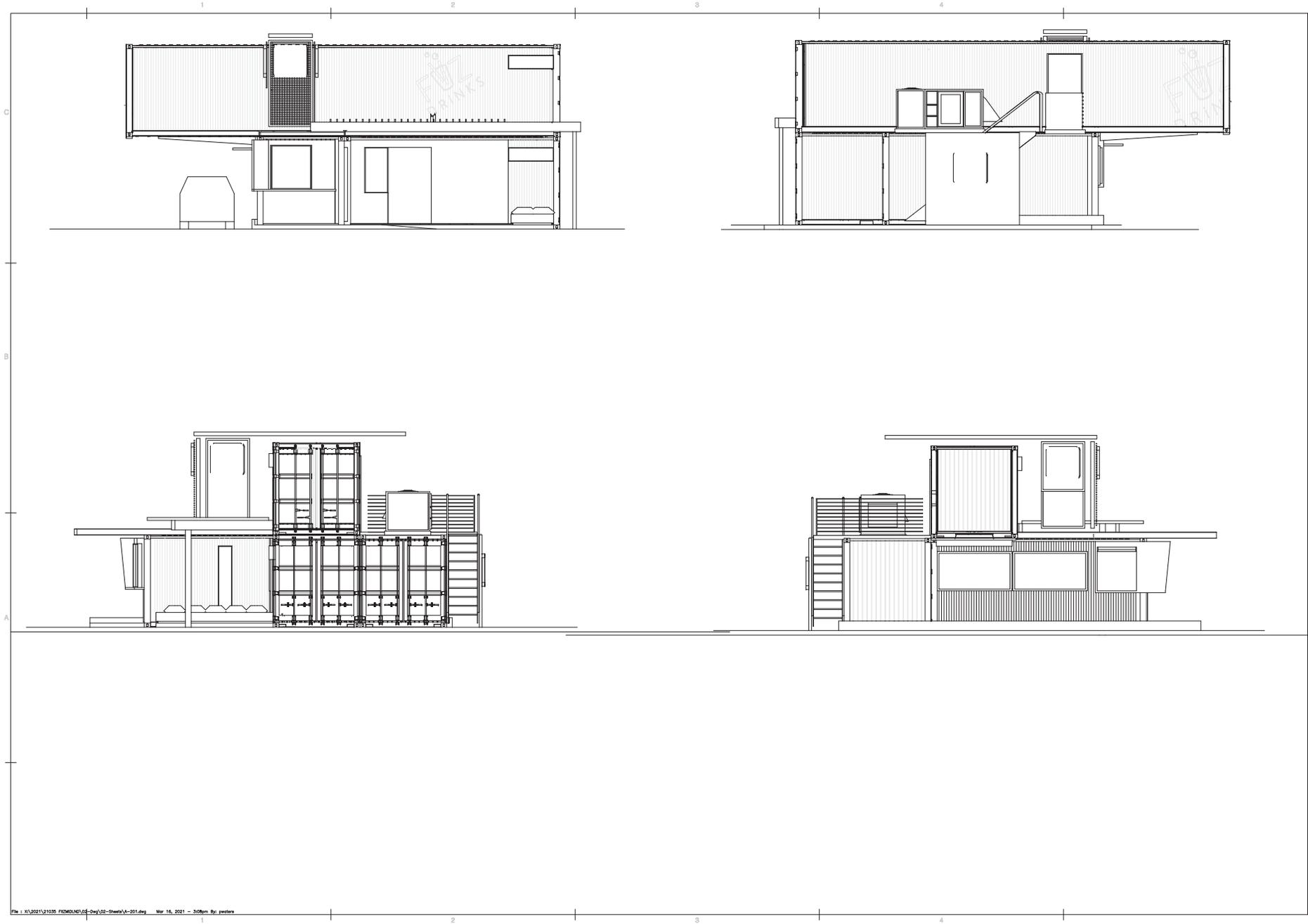


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4023 Riverdale Road, Riverdale, UT





FFKR ARCHITECTS
 700 Pacific Avenue / San Jose, CA 95128
 © 2011 FFKR Architects



PROJECT # 21035
 DATE 06/08

EXTERIOR
 ELEVATIONS

A-201









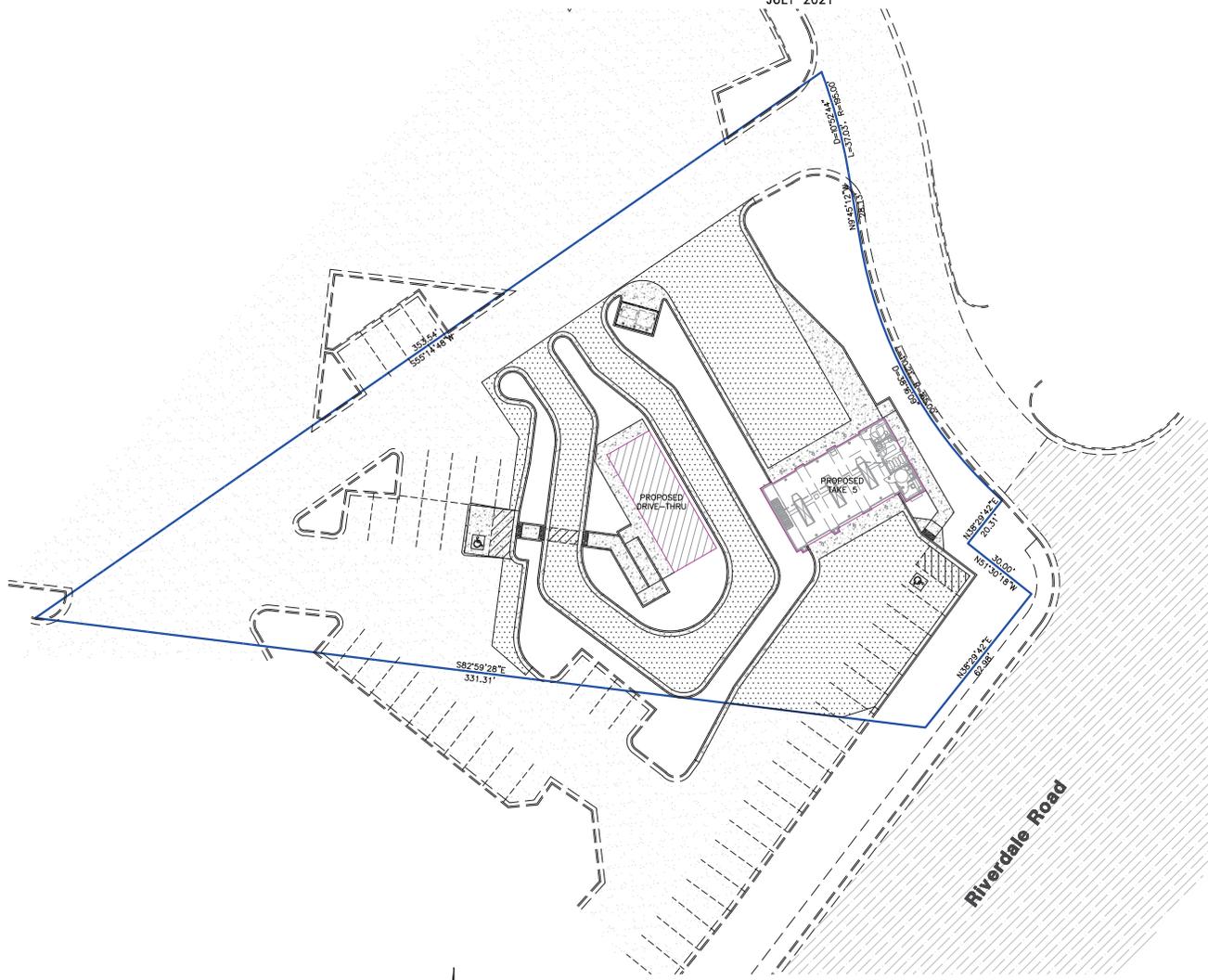


Project Narrative/Notes/Revisions

1. 07/27/2021 JM - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.

Take 5 4023 Riverdale Improvement Plans

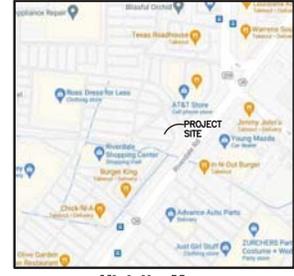
RIVERDALE, WEBER COUNTY, UTAH
JULY 2021



NOTICE:
THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER INFRASTRUCTURE. IF PRINTED IN, OR COPIED TO BLACK & WHITE, SOME LINE WORK MAY NOT SHOW UP PROPERLY.

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Reeve & Associates, Inc. - Solution You Can Build On



Vicinity Map
NOT TO SCALE

SITE DATA	
PARCEL AREA:	43,127 S.F. (0.99 ACRES)
BUILDING AREA:	2,348 S.F. 5.4%
TOTAL HARDSCAPE:	29,932 S.F. 69.4%
LANDSCAPE AREA:	10,874 S.F. 25.2%

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- Sheet 2 - Notes/Legend
- Sheet 3 - Existing/Demolition Plan
- Sheet 4 - Proposed Site Plan
- Sheet 5 - Grading/Utility Plan
- Sheet 6 - Civil Details
- Sheet 7 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 8 - Storm Water Pollution Prevention Plan Details

Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Elevation Datum:



Architect:

Geotechnical Report:

Surveyor:

Trevor Hatch
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Landscape Architect:

Nathan Peterson
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Developer Contact:

Blue Lube, LLC
Tober Cope
(719) 661-2075

Project Contact:

Jeremy Draper
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100



REVISIONS	DESCRIPTION
DATE	

Take 5
4023 Riverdale
WEBER COUNTY, UTAH
Cover/Index Sheet



Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafted: J. MEYERS
Begin Date: JUNE 2021
Name: TAKE 5
4023 RIVERDALE RD
Number: 7477-06

General Notes:

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY GOVERNING UTILITY MUNICIPALITY, GOVERNING CITY OR COUNTY (IF UN-INCORPORATED), INDIVIDUAL PRODUCT MANUFACTURERS, AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND THE DESIGN ENGINEER. THE DESIGN ENGINEER'S DESIGN IS APPROVED BY GENIORITY. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING DESIGNER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. ALL PERMITS INCLUDING, BUT NOT LIMITED TO, CUT, FILL, COMPACT, ASPHALT SECTION, SUBBASE, TECHNICAL EXAMINATION/BACKFILL, SITE GRUBBING, RETAINING WALLS AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH THE PROJECT GEOTECHNICAL ENGINEER.
- TRAFFIC CONTROL, SIGNAGE AND SIGNALING TO CURRENT GOVERNING AGENCIES TRANSPORTATION ENGINEER'S MANUAL AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF AIA ACCESSIBILITY GUIDELINES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR RECEIVES THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING DESIGNER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD, INCLUDING OBTAINING REQUIRED INSPECTIONS.
- ALL DIMENSIONS, GRADES & UTILITY CROSSINGS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR SPECIFICATION CHANGES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BEDDING AND BRING UP ANY QUESTIONS BEFOREHAND.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
- OTCH SLOPES SHALL BE GRADDED AS SPECIFIED ON GRADING PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAGMEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- CONTRACTOR SHALL, AT THE TIME OF BEDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SHALL BE BONDED FOR AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTAINED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY HIMSELF BY PERSONAL EXAMINATION OR BY CONSULTING WITH THE OWNER AND ENGINEER AS TO THE ACCURACY OF THE INFORMATION PROVIDED. CONTRACTOR SHALL BE RESPONSIBLE AT THE SITE OF WORK, DURING THE COURSE OF HIS EXAMINATION, A BODER FINDS FACTS OR CONDITIONS WHICH APPEAR TO BE IN CONFLICT WITH THE LETTERS FORTH OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE ENGINEER, AGENT, BIDDING AND EXPLANATION OF THE PROJECT PLANS AND SPECIFICATIONS, HE SHALL CONTACT THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARD OF THE CONTRACT, HE HAS RELIED AND IS RELYING ON HIS OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) THE SITE, AND (3) OTHER DATA AND MATTERS REQUIRED TO THE FULFILLMENT OF THE WORK AND ON HIS OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRED BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT HE HAS NOT RELIED SOLELY UPON OWNER- OR ENGINEER-FURNISHED INFORMATION REGARDING SITE CONDITIONS IN HIS BIDDING.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR CONSTRUCTION. USE DURING CONSTRUCTION. USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER, ENGINEER, ARCHITECT OR INSPECTING AUTHORITY.
- CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL OTHER SURVEY CONTROL POINTS. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE PROJECT. CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL IDENTIFY AND MAINTAIN ALL EXISTING UTILITIES, HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT; THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHenever EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER. THE ENGINEER SHALL BE RESPONSIBLE FOR THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGES, ADDITIONS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REFERRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND MODIFICATIONS REQUIRED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ALL MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY ARE TO BE USED.
- CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. HEREUNDER, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTAINED THEREIN AND THAT THE WORK IS COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS IN THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN REGULAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH REGULAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND ADOPT PROTECTIVE MEASURES TO PROSECUTE AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE, FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL SAFETY CODES, ORDINANCES, OR REGULATIONS FOR EXCAVATION AND TRENCHES.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.

Utility Notes:

- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "TYPICAL UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO TELEPHONE SERVICE, GAS SERVICE, CABLE, POWER, INTERNET.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS USING A COMBINATION OF ON-SITE SURVEYS (BY OTHERS), PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FUNDS ORDER NUMBER TO OWNER AND ENGINEER TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. ALL UTILITIES SHALL BE KEPT OPEN AND PROTECTED WITH OTHER CONTRACTORS' AND/OR COMPANY'S INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CONTRACTOR SHALL NOT USE ALL UTILITIES TO DETERMINE EXISTING PROXIMITY TO BEGINNING ANY EXCAVATION. NOTIFY ENGINEER OF ANY CONFLICTS. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES TO WHICH NEW UTILITIES WILL BE CONNECTED. PRIOR TO COMMENCING ANY EXCAVATION WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE REQUIRED PROCEDURES.
- CARE SHOULD BE TAKEN TO DETERMINE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION UTILITIES WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE.
- ALL VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE.
- CONTRACTOR SHALL CUT PIPES OFF FLUSH WITH THE INSIDE WALL OF THE BOX OR MANHOLE.
- CONTRACTOR SHALL GROUT AT CONNECTION OF PIPE TO BOX WITH NON-SHRINKING GROUT, INCLUDING PIPE VOIDS LEFT BY CUTTING PROGRESS TO A SMOOTH FINISH.
- CONTRACTOR SHALL GROUT WITH NON-SHRINK GROUT BETWEEN GRADE RINGS AND BETWEEN BOTTOM OF INLET AND FRAME AND TOP OF CONCRETE BOX.
- SILT AND DEBRIS IS TO BE CLEANED OUT OF ALL STORM DRAIN BODIES, CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, THE OTHER AGENCIES' CUT OF ALL MANHOLE LIDS AND INLET GATES TO ALLOW ACCESS TO THE TRENCH.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DRY-WATERED CONDITIONS.
- CONTRACTOR SHALL PROTECT AND MAINTAIN AT ALL TIMES AMBLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION DISTANCE BETWEEN ALL UTILITY CROSSINGS.
- CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL BOLTED FITTINGS MUST BE GREASED AND WIPED.
- UNLESS SPECIFICALLY NOTED OTHERWISE, MAINTAIN AT LEAST 2 FEET OF COVER OVER ALL STORM DRAIN LINES AT ALL TIMES (INCLUDING DURING CONSTRUCTION).
- ALL WATER LINES SHALL BE MAINTAINED A MINIMUM OF 60" BELOW FINISHED GRADE.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, PIPE EDGE TO PIPE EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, THE WATER LINE SHALL BE RELOCATED TO A DEPTH OF 18" BELOW FINISHED GRADE AND THE BOTTOM OF THE WATER LINE SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER LINE.
- CONTRACTOR SHALL INSTALL IMPROVED BLOCKING AND BRACING TO PROTECT EXISTING UTILITIES AND STRUCTURES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURBS, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MANHOLE LOCATIONS AND FITTINGS OVER ALL NEW MANHOLES.
- THURTY BLOCKS & RESTRAINED JOINTS WITH MEGA-LOK RAMMERS REQUIRED ON ALL BENDS AND FITTINGS USING BLUE BOLTS. PROTECT ALL BOLTS FROM BEING ENCASED IN CONCRETE. INSTALL PER MANHOLE RECOMMENDATIONS.

Notice to Contractor:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON RECORDS OF THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

THE CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL OBTAIN, IDENTIFY, AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

- NOTE:
- SAWCUT EXISTING ASPHALT INSIDE FROM OUTER EDGE FOR TACK SEAL OF NEW ASPHALT.
 - CONTRACTOR TO VERIFY 2% MIN. AND 1/8" MAX. SLOPE FROM EDGE OF ASPHALT TO LIP OF GUTTER.

Survey Control Note:

THE CONTRACTOR OR SURVEYOR SHALL BE FOLLOWING THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) MODEL STANDARDS FOR ANY SURVEYING OR CONSTRUCTION LAYOUT TO BE COMPLETED USING REEVE & ASSOCIATES, INC. SURVEY DATA OR CONSTRUCTION IMPROVEMENT PLANS. PRIOR TO PROCEEDING WITH CONSTRUCTION STAGING, THE SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON AN ALTA SURVEY. IMPROVEMENT PLANS OR ANY ELECTRONIC DATA PROVIDED BY THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN AND VERIFY THEM AGAINST NO LESS THAN FIVE (5) EXISTING HAD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY REEVE & ASSOCIATES, INC. AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION STAGING.

Erosion Control General Notes:

THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PREVENTING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY WATER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.

WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT OPEN FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN AND FILE A "NOTICE OF INTENT" WITH THE GOVERNING AGENCIES.

Maintenance:

ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.

THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY; CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.

SEDIMENT TRAPPED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRAPPED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.

EXPOSED SLOPES:

- ANY EXPOSED SLOPE THAT WILL REMAIN UNDOUBTED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:
- SPRINKLING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED
 - BRACING STORM PERPENDICULAR TO SLOPES
 - INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Legend					
	= PROPOSED SECONDARY WATER LATERAL		= PROPOSED WATER METER	PP	= POWER/UTILITY POLE
	= PROPOSED LAND DRAIN LATERAL		= EXISTING WATER METER	P.U.E.	= PUBLIC UTILITY BASSEMENT
	= PROPOSED WATER LATERAL		= PROPOSED CATCH BASIN	RCM	= REINFORCED CONCRETE PIPES
	= PROPOSED SEWER LATERAL		= EXISTING CATCH BASIN	RIP	= RIM OF MANHOLE
	= PROPOSED CULINARY WATER LINE		= DRAINAGE SWALS	R.O.W.	= RIGHT-OF-WAY
	= EXISTING CULINARY WATER LINE		= PLUG W/ 7" BLOCK-OFF	SD	= STORM DRAIN
	= PROPOSED SECONDARY WATER LINE		= FLUG & BLOW	SS	= SANTARY SEWER
	= EXISTING SECONDARY WATER LINE		= STREET LIGHT	TBC	= TOP BACK OF CURB
	= PROPOSED SANITARY SEWER LINE		= SIGN	TOA	= TOP OF ASPHALT
	= EXISTING SANITARY SEWER LINE		= BUILDING	TOC	= TOP OF CONCRETE
	= PROPOSED STORM DRAIN LINE		= CURB & GUTTER	TOFF	= TOP OF FINISHED FLOOR
	= EXISTING STORM DRAIN LINE		= CATCH BASIN	TOI	= TOP OF PUMP ISLAND
	= PROPOSED LAND DRAIN LINE		= CUBIC FEET	TSW	= TOP OF SIDEWALK
	= EXISTING LAND DRAIN LINE		= CUBIC FEET PER SECOND	W	= CULINARY WATER
	= PROPOSED IRRIGATION LINE		= FENCH CORNER	WM	= WATER METER
	= EXISTING IRRIGATION LINE		= FINISH FLOOR	FF	= EXISTING ROADWAY PAVEMENT
	= FENCE LINE		= FINISH FLOOR ELEVATION	FFE	
	= PROPOSED FIRE HYDRANT		= FINISHED GRADE	FG	
	= EXISTING FIRE HYDRANT		= FIRE HYDRANT	FH	
	= PROPOSED MANHOLE		= FLOW LINE	FL	
	= EXISTING MANHOLE		= GRADE BREAK	GB	
	= PROPOSED SEWER CLEAN-OUT		= INVERT	INV	
	= EXISTING GATE VALVE		= LINEAR FEET	L.F.	
	= PROPOSED GATE VALVE		= NATURAL GRADE	NG	

NOTICE: THESE PLANS WERE CREATED UTILIZING COLORS FOR UTILITIES & OTHER FEATURES. COLOR IS NOT TO BE RELIED UPON IF PRINTED IN, OR COPIED TO BLACK & WHITE. SOME LINE WORK MAY NOT PRINT.

Reeve & Associates, Inc.
 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84048
 (801) 466-1000
 FAX: (801) 466-1001
 WWW: WWW.REEVE-ASSOCIATES.COM

REVISIONS	DESCRIPTION	DATE

Take 5
4023 Riverdale
 WEBER COUNTY, UTAH

Notes/Legend

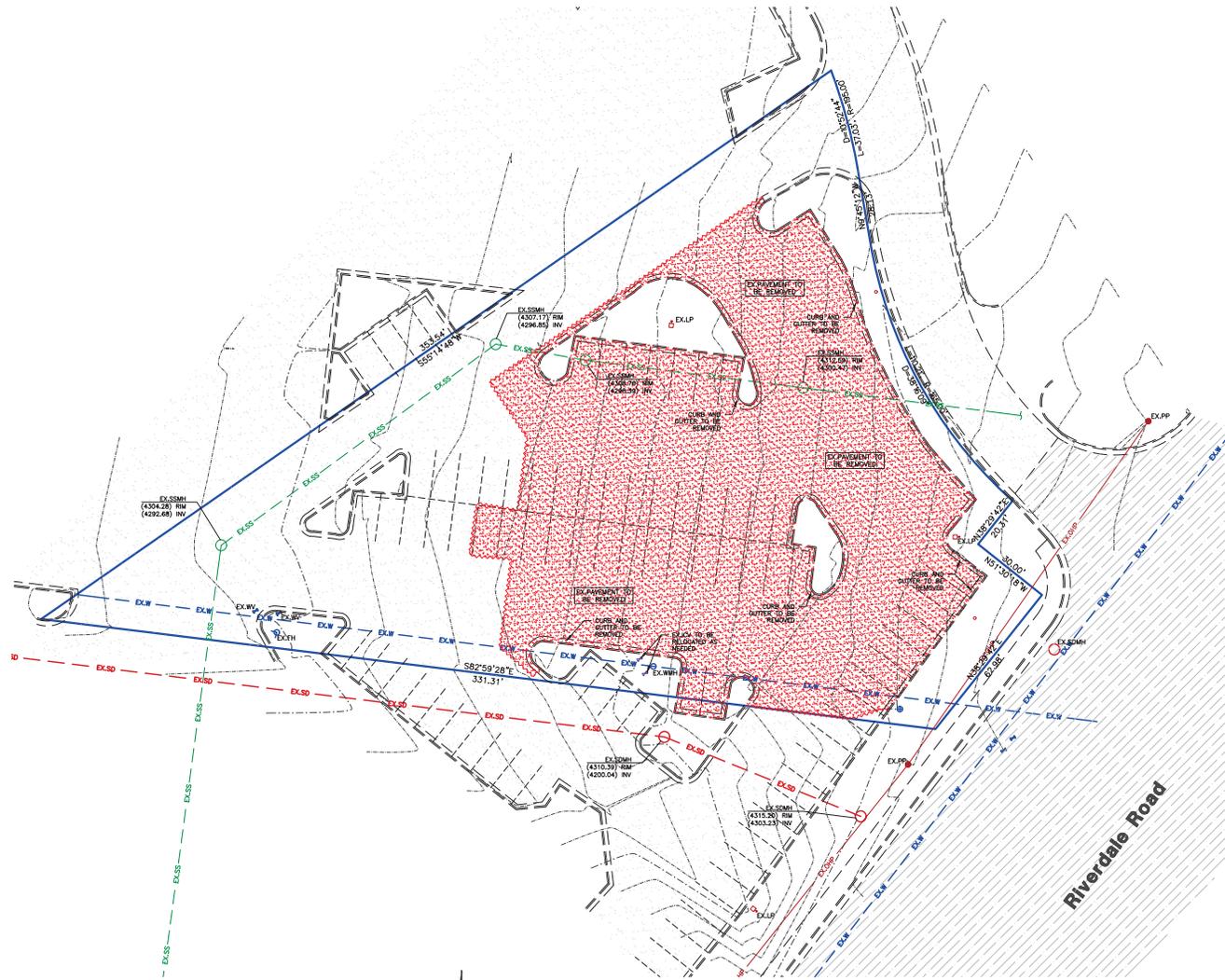
PROFESSIONAL SEAL
 JEREMY A. DRAPER
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 STATE OF UTAH
 855480
 07/27/2021

Project Info:
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: J. MEYERS
 Begin Date: JUNE 2021
 Name: TAKE 5
 4023 RIVERDALE RD

Number: 7477-06

2

11 Total Sheets



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 INFRASTRUCTURE.
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 WHITE, SOME LINE WORK MAY NOT
 SHOW UP PROPERLY.



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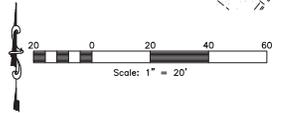
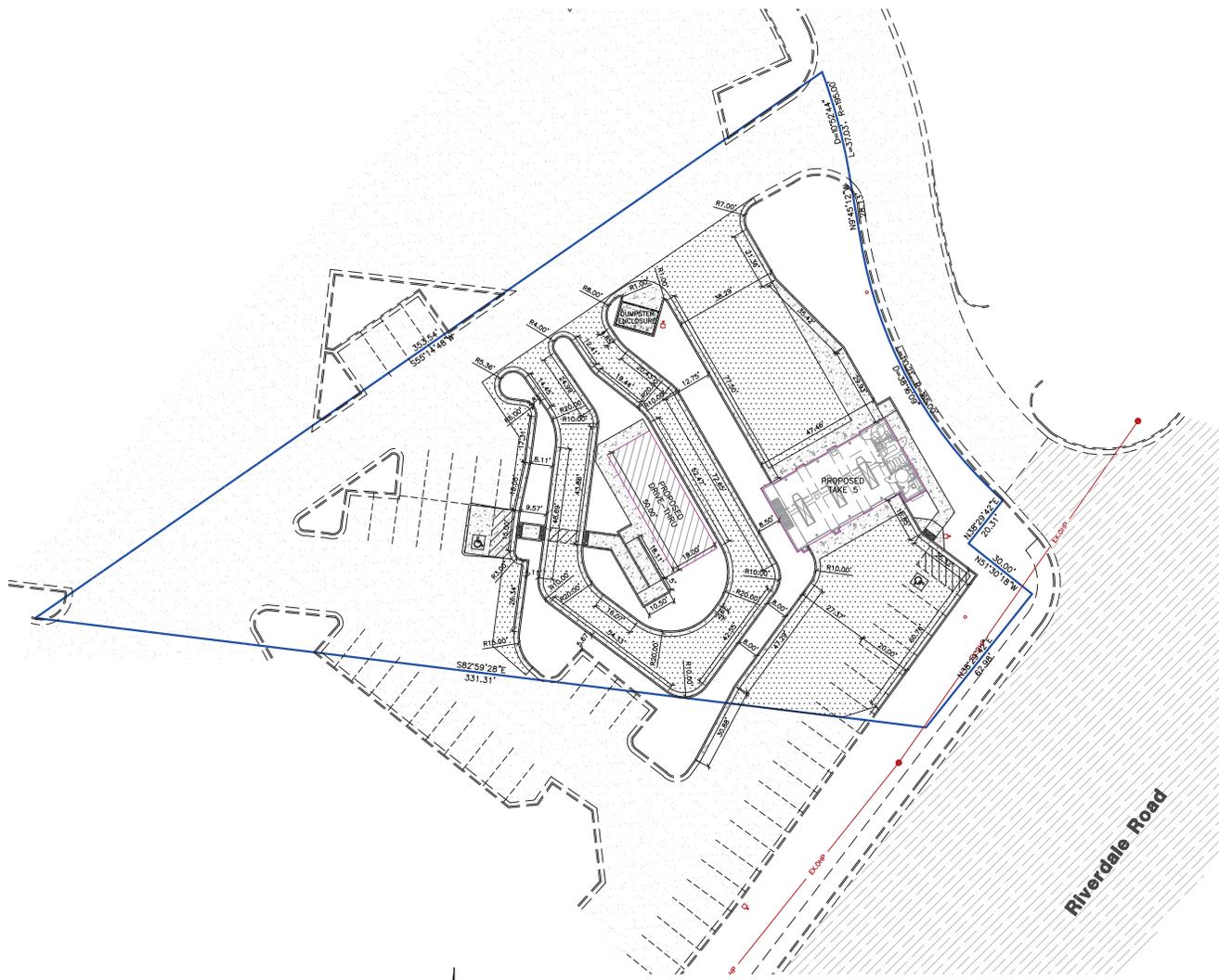
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 LAND SURVEYING • CIVIL ENGINEERING • LAND DEVELOPMENT • LANDSCAPE ARCHITECTURE

REVISIONS	DATE	DESCRIPTION

Take 5
4023 Riverdale
 WEBER COUNTY, UTAH
Existing/Demolition Plan



Project Info.
 Engineer: JEREMY A. DRAPER, P.E.
 Drafter: J. MEYERS
 Begin Date: JUNE 2021
 Name: TAKE 5
 4023 RIVERDALE RD
 Number: 7477-06



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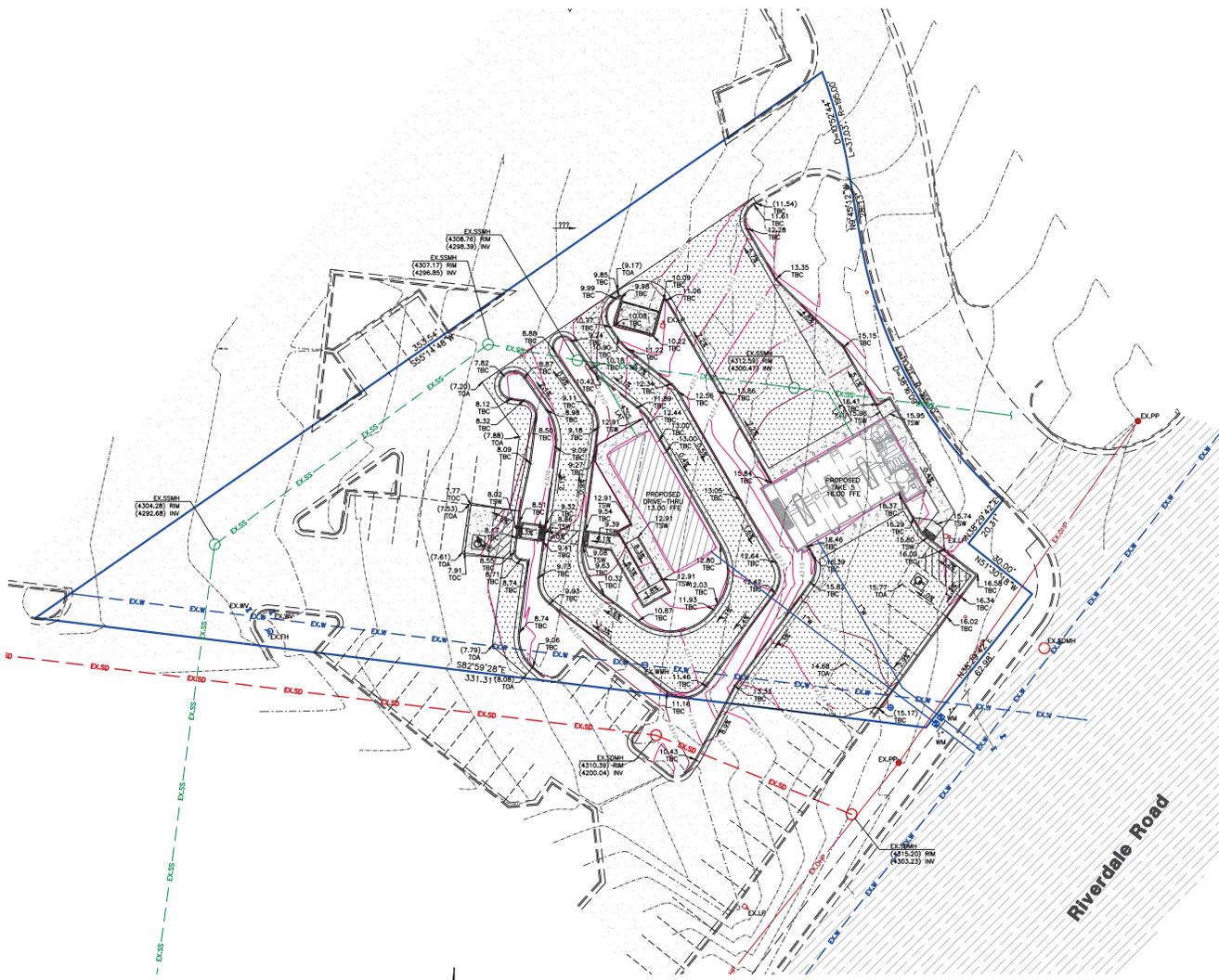
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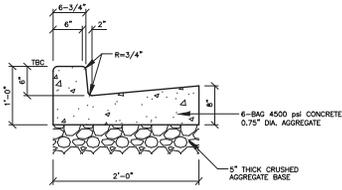
REVISIONS	DESCRIPTION
DATE	

Take 5
4023 Riverdale
WEBER COUNTY, UTAH

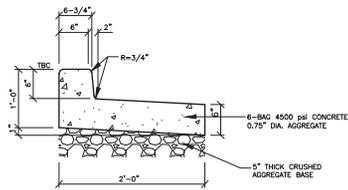
Grading/Utility Plan



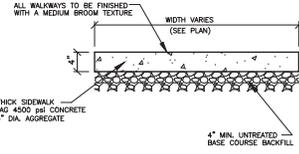
Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafted: J. MEYERS
Begin Date: JUNE 2021
Name: TAKE 5
4023 RIVERDALE RD
Number: 7477-56



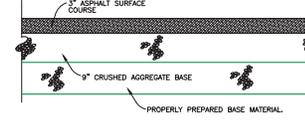
24' On-Site 'L' Type Curb & Gutter
SCALE: NONE



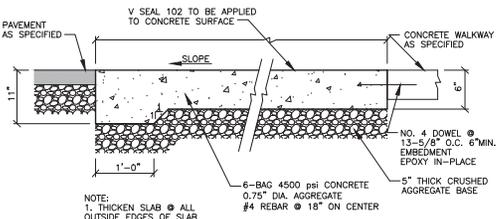
24' On-Site Outfall 'L' Curb & Gutter
SCALE: NONE



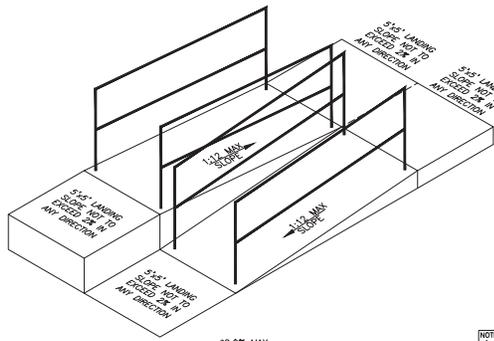
Concrete Walkway
SCALE: NONE



Typical On-Site Asphalt Paving
SCALE: NONE

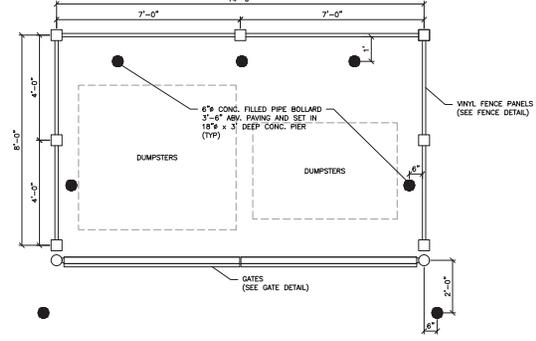


Concrete Parking Stall
SCALE: NONE

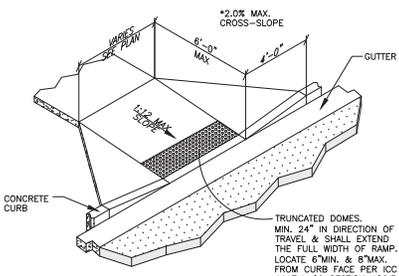


ADA Ramp With Rails
SCALE: NONE

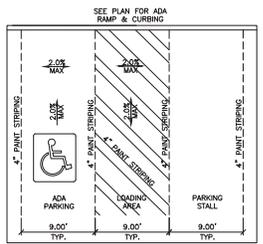
- NOTE:
1. ALL HARDWARE TO BE GALVANIZED UNLESS OTHERWISE NOTED
 2. ALL STEEL POSTS AND GATE FRAME TO BE PRIMED AND PAINTED WITH 2 COATS EACH. COLOR TO BE DARK BRONZE SW6076
 3. ALL STEEL MEMBERS TO BE SHOP WELDED. PROVIDED SHOP DRAWINGS FOR APPROVAL. PROOF TO FABRICATION. ALL STEEL TO BE PAINTED DARK BRONZE SW6076
 4. ALL METAL FRAMING, POST AND HARDWARE TO BE PRIMED AND PAINTED W/ MIN. 1 COAT PRIMER, AND 2 COATS FINISH PAINT TO BE OIL BASED AND COLOR TO BE DARK BRONZE SW6076



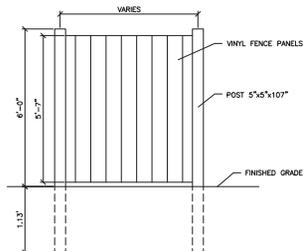
Dumpster Enclosure
SCALE: NONE



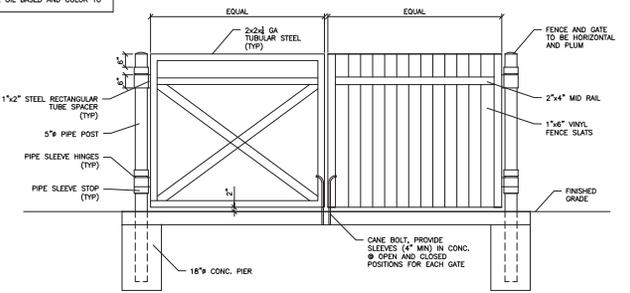
ADA Ramp Detail
SCALE: NONE



Typical ADA Parking Stall Detail
SCALE: NONE



Dumpster Enclosure Fence
SCALE: NONE



Dumpster Enclosure Gate
SCALE: NONE

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WATER TREATMENT • STRUCTURAL ENGINEERING • LANDSCAPE ARCHITECTURE

IRA

REVISIONS	DESCRIPTION
DATE	

Take 5
4023 Riverdale
WEBER COUNTY, UTAH

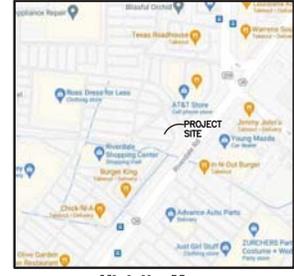
Civil Details

REGISTERED PROFESSIONAL ENGINEERING
No. 558480
JEREMY A. DRAPER
07/27/2021
STATE OF UTAH

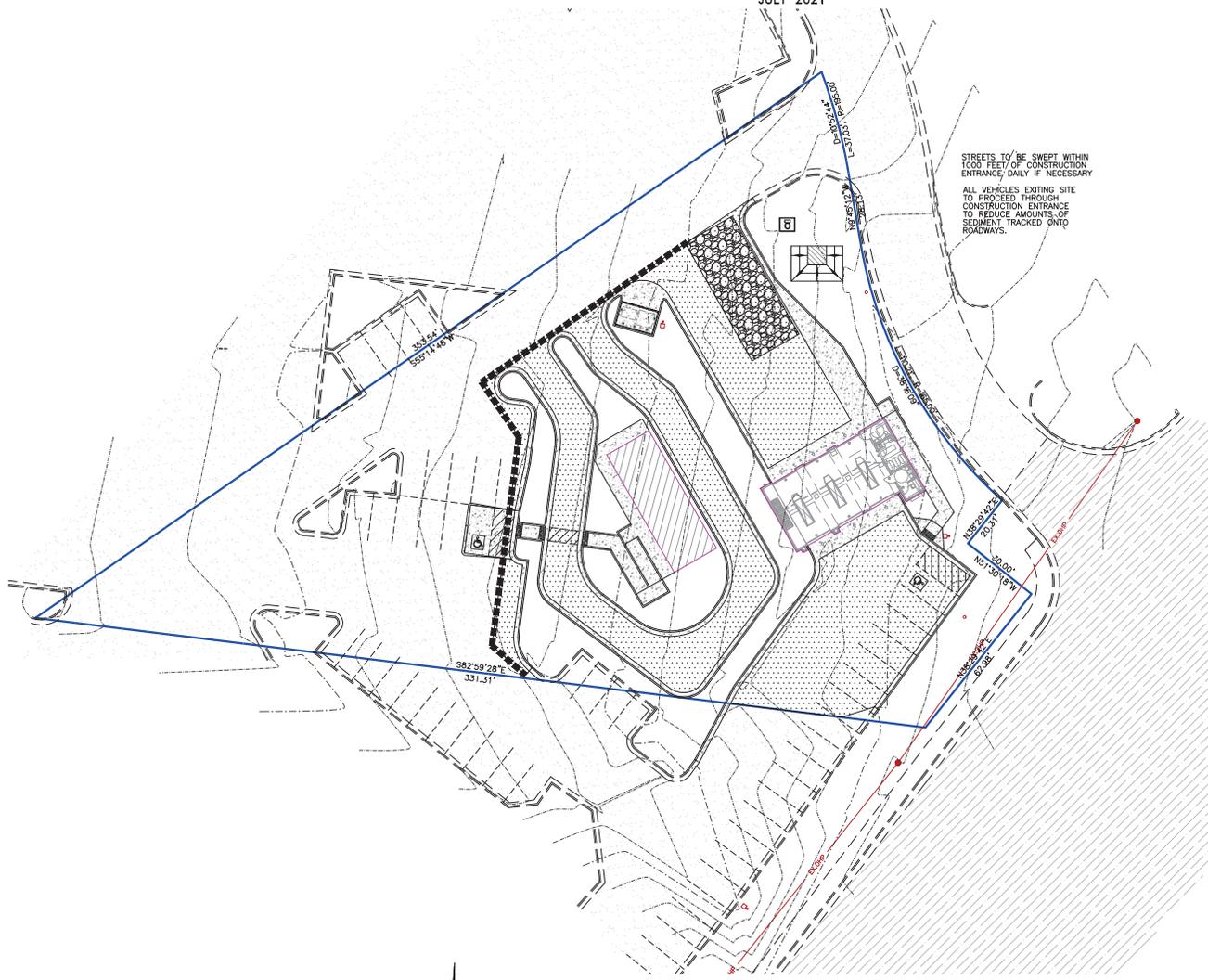
Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafted: J. MEYERS
Begin Date: JUNE 2021
Name: TAKE 5
4023 RIVERDALE RD
Number: 7477-06

Take 5 4023 Riverdale Storm Water Pollution Prevention Plan Exhibit

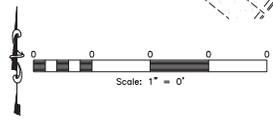
RIVERDALE, WEBER COUNTY, UTAH
JULY 2021



Vicinity Map
NOT TO SCALE



- PORTABLE TOILET
- INLET PROTECTION TYP. (SEE DETAIL)
- SILT FENCE (SEE DETAIL)
- 50'x20' CONSTRUCTION ENTRANCE W/8" CLEAN GRAVEL
- CONCRETE WASH AREA (SEE DETAIL) OR AS SELECTED BY CONTRACTOR



Construction Activity Schedule	
- PROJECT LOCATION.....	RIVERDALE CITY, WEBER COUNTY, UTAH
- PROJECT BEGINNING DATE.....	AUGUST 2021
- BMP'S DEPLOYMENT DATE.....	AUGUST 2021
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....	TBD
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER	

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REVISIONS	DESCRIPTION
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Take 5
4023 Riverdale
WEBER COUNTY, UTAH
Storm Water Pollution Prevention Plan Exhibit



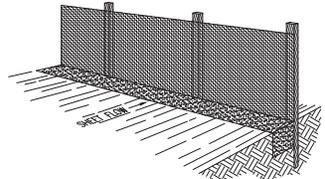
Project Info.

Engineer: **JEREMY A. DRAPER, P.E.**
 Drafter: **J. MEYERS**
 Begin Date: **JUNE 2021**
 Name: **TAKE 5**
4023 RIVERDALE RD
 Number: **7477-06**

7
11 Total Sheets

Notes:

- Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
 - Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - Soil contaminated by soil amendments:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - Service areas:
To be performed in designated areas only and surrounded with silt fence.
- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion
- Construction Vehicles and Equipment:
 - Maintenance
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Sagrate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
- Spill Prevention and Control
 - Minor Spills:
 - Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up and properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - Major Spills:
 - On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-9802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
- Post Roadway / Utility Construction
 - Maintain good housekeeping practices.
 - Enclose or cover building material storage areas.
 - Properly store materials such as paints and solvents.
 - Store dry and wet materials under cover, away from drainage areas.
 - Avoid mixing excess amounts of fresh concrete or cement on-site.
 - Perform washout of concrete trucks offsite or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
- Erosion Control Plan Notes
 - The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - Except as otherwise specified, all erosion protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the engineer of record of the governing agency.
 - The placement of additional devices to reduce erosion damage within the site is left to the discretion of the engineer of record.
 - Desalting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - Erosion control devices will be modified as need as the project progresses and plans of these changes submitted for approval by the engineer of record and the governing agency.
- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
 - Part III.D.4 of general permit UTR00000 identifies the minimum inspection requirements.
 - Part III.D.4.C identifies the minimum inspection report requirements.
 - Failure to complete and/or document storm water inspections is a violation of part III.D.4 of Utah General Permit UTR 000000.



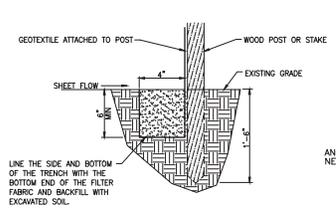
Perspective View
Figure 2

INSTALLATION
The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Richardson & Middlebrooks, 1991)		
Slope Steepness (%)	Max. Slope Length m (ft)	Max. Slope Length m (ft)
<2%	30.5m (100ft)	
2-5%	22.9m (75ft)	
5-10%	15.2m (50ft)	
10-20%	7.6m (25ft)	
>20%	4.5m (15ft)	

PREFABRICATED SILT FENCE ROLLS
*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
*Unroll the silt fence, positioning the post against the downstream wall of the trench.
*Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then abut the end posts to create a tight seal as shown in Figure 1.
*Drive posts into the ground until the required fence height and/or anchorage depth is obtained.
*bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

FIELD ASSEMBLY:
*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.
*Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8'-10ft). Post spacing



Section

INSPECTION
*Inspect the silt fence daily during periods of rainfall, immediately after significant rainfall event and weekly during periods of no rainfall. Make any repairs immediately.
*When sediment deposits behind the silt fence are one-third of the fence height, remove and properly dispose of the silt accumulations. Avoid damage to the fabric during cleanout.

REMOVAL
*Silt fence should not be removed until construction ceases and the upslope area has been properly stabilized and/or revegetated.

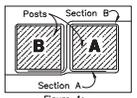
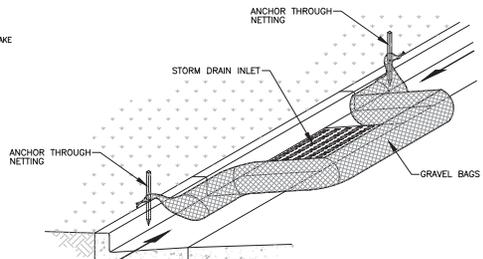
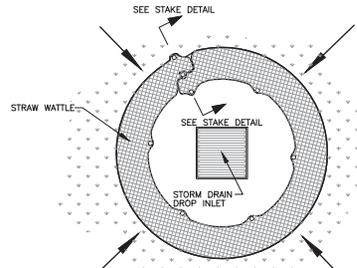


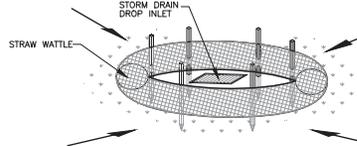
Figure 1:
Top View of Roll-to-Roll Connection



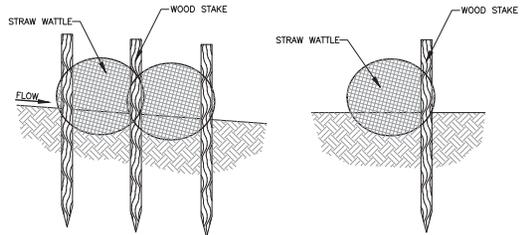
Inlet Box Protection



Plan View



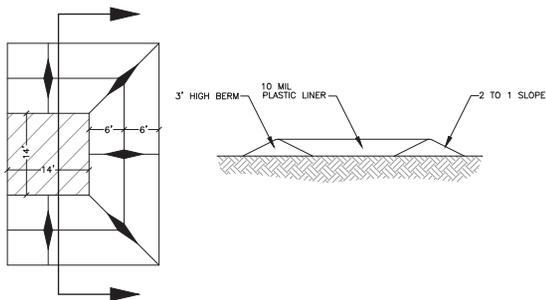
Drop Inlet Protection



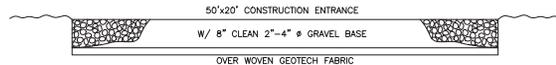
Stake Detail

Silt Fence Detail

SCALE: NONE



Concrete Washout Area w/ 10 mil Plastic Liner
SCALE: NONE



Cross Section 50' x 20' Construction Entrance

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
PH: 801.424.9800 FAX: 801.424.9802
WWW.REEVE-ASSOCIATES.COM

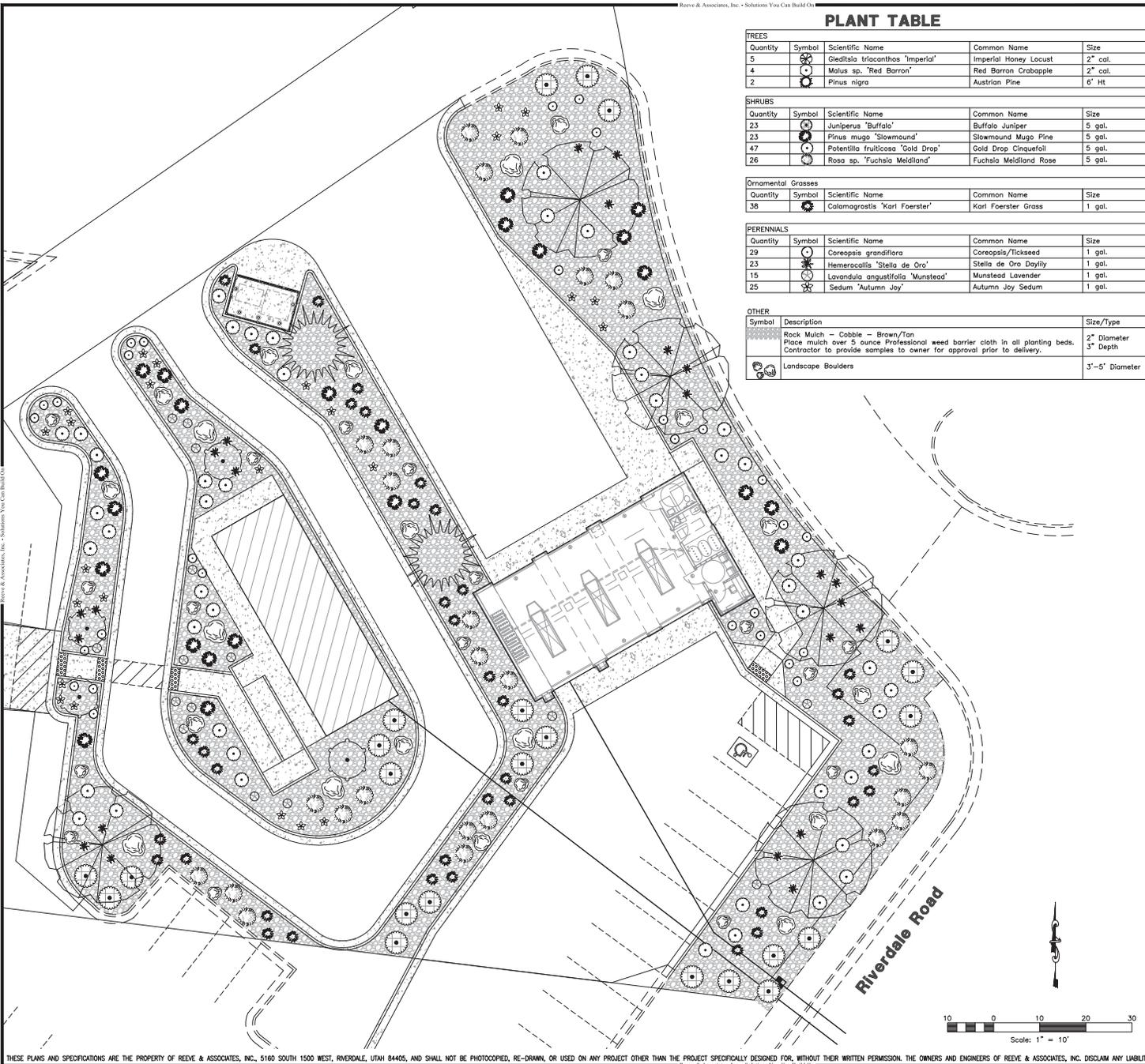


REVISIONS	DESCRIPTION	DATE

Take 5
4023 Riverdale
WEBER COUNTY, UTAH
Storm Water Pollution Prevention Plan Details



Project Info.
Engineer: JEREMY A. DRAPER, P.E.
Drafted: J. MEYERS
Begin Date: JUNE 2021
Name: TAKE 5
4023 RIVERDALE RD
Number: 7477-06



PLANT TABLE

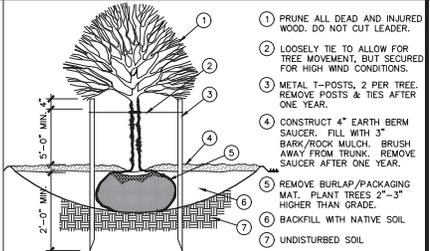
TREES				
Quantity	Symbol	Scientific Name	Common Name	Size
5		Gleditsia triacanthos 'Imperial'	Imperial Honey Locust	2" cal.
4		Malus sp. 'Red Barron'	Red Barron Crabapple	2" cal.
2		Pinus nigra	Austrian Pine	6" HT

SHRUBS				
Quantity	Symbol	Scientific Name	Common Name	Size
23		Juniperus 'Buffalo'	Buffalo Juniper	5 gal.
23		Pinus mugo 'Slowmound'	Slowmound Mugo Pine	5 gal.
47		Potentilla fruticosa 'Gold Drop'	Gold Drop Cinquefoil	5 gal.
26		Rosa sp. 'Fuchsia Meldiland'	Fuchsia Meldiland Rose	5 gal.

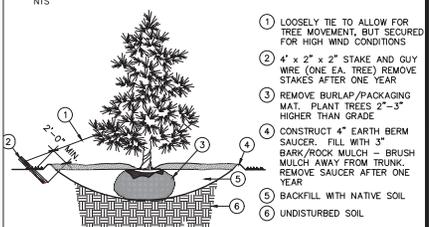
Ornamental Grasses				
Quantity	Symbol	Scientific Name	Common Name	Size
38		Calamagrostis 'Karl Foerster'	Karl Foerster Grass	1 gal.

PERENNIALS				
Quantity	Symbol	Scientific Name	Common Name	Size
29		Coreopsis grandiflora	Coreopsis/Tickseed	1 gal.
23		Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	1 gal.
15		Lavandula angustifolia 'Munstead'	Munstead Lavender	1 gal.
25		Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gal.

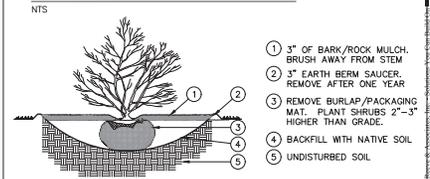
OTHER		
Symbol	Description	Size/Type
	Rock Mulch - Cobble - Brown/Tan Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	2" Diameter 3" Depth
	Landscape Boulders	3'-5' Diameter



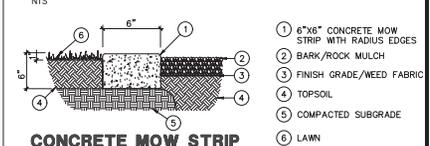
NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL.
DECIDUOUS TREE PLANTING
NTS



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL.
CONIFEROUS TREE PLANTING
NTS



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL.
SHRUB PLANTING
NTS



CONCRETE MOWER STRIP
NTS

PLANTING NOTES

- This planting plan is diagrammatic and plant locations are approximate.
- Field survey, stake, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done.
- Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owners representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
- Finish grade of soil in lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent edge.
- Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
- All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
- Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
- Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
- Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
- Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owners representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
- Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch.
- Provide a 3" minimum diameter circle "tree ring" around trees that are placed within lawn areas. Place a 3" minimum depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds.
- The contractor shall maintain all work until work is complete and accepted by the Owner. The contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.

Reeve & Associates, Inc.
5400 SOUTH WALKER AVENUE, SUITE 200
SALT LAKE CITY, UTAH 84119
LANDSCAPE ARCHITECTS • CIVIL ENGINEERS • LAND SURVEYORS

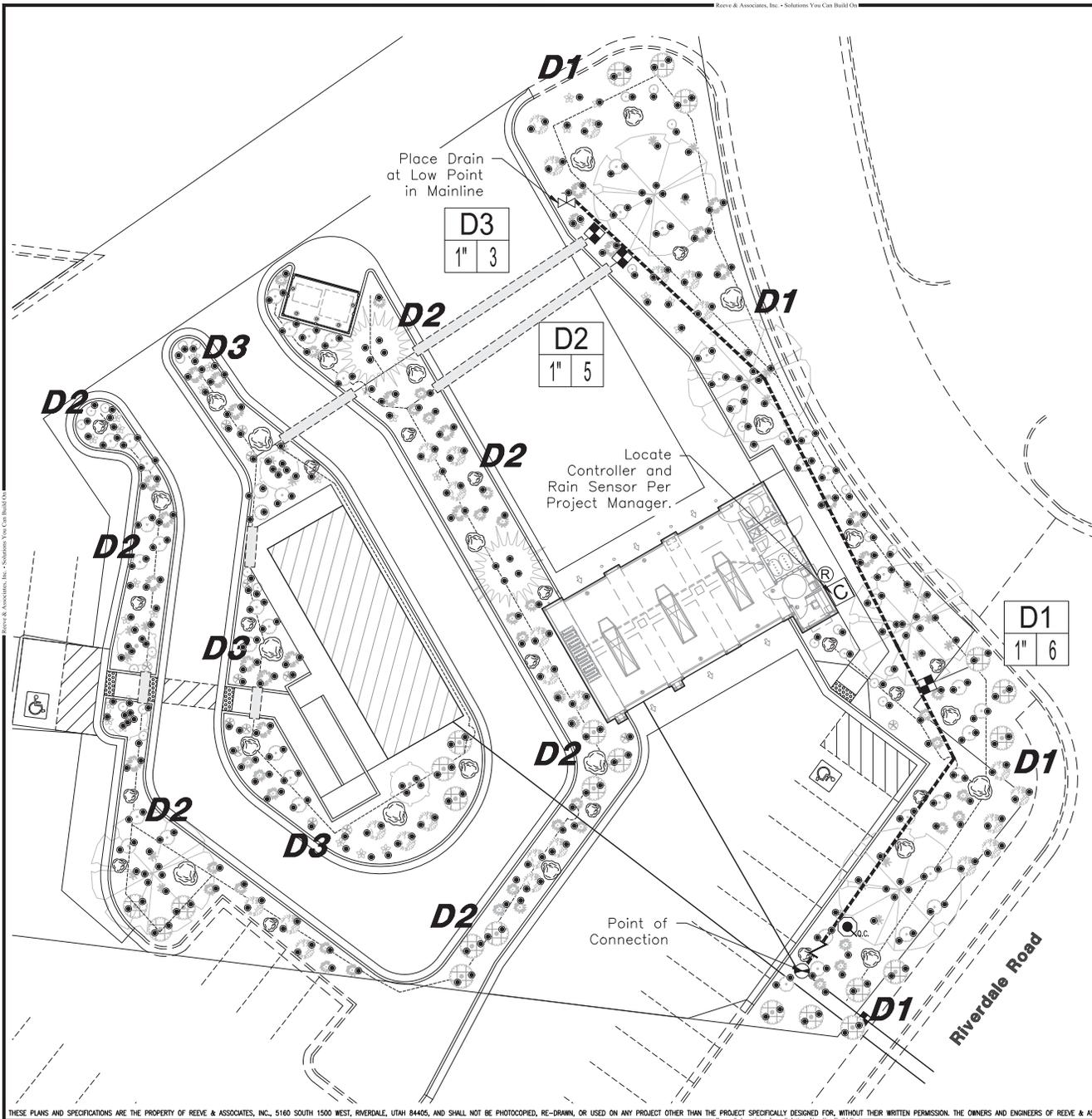


REVISIONS	DESCRIPTION	DATE

Take 5
4023 Riverdale
WEBER COUNTY, UTAH
Landscape Plan



Project Info.
Engineer:
NATHAN PETERSON
Drafted by:
N. PETERSON
Begin Date:
JUNE 2021
Name:
TAKE 5
4023 RIVERDALE RD
Number: **7477-06**



IRRIGATION SCHEDULE

EQUIP. SYMBOL	MANUFACT.	CATALOG #	DESCRIPTION
⊕	FORD	BC11-444SW-NL	STOP AND WASTE
⊖	WILKINS	975XL2	BACKFLOW PREVENTION ASSEMBLY
⊗	STRONGBOX	SBBC-30AL	ALUMINUM BACKFLOW ENCLOSURE
⊙	RAINBIRD	MODEL 44LRC	1" QUICK COUPLING VALVE
⊕	FORD	B111-333-NL 3/4"	MANUAL DRAIN VALVE ASSEMBLY
⊙	RAINBIRD	ESP LXME	120 VAC-INDOOR/OUTDOOR CONTROLLER
⊙	RAINBIRD	WR2-RC	WIRELESS RAIN SENSOR
⊕	RAINBIRD	XCZ-100-PRB-COM	DRIP REMOTE CONTROL VALVE

PIPE SYMBOL	CATALOG #	DESCRIPTION
—	SCH. 40	PVC MAIN LINE
---	SCH. 40	PVC LATERAL LINE
---	SCH. 40	PVC SLEEVE

DRIP SYMBOL	MANUFACT.	CATALOG #	DESCRIPTION
•	RAINBIRD	XB-T-20-PC	XERIBIRD DRIP EMITTERS, 2 GAL/HOUR
•			1 EMITTER PER 1 GALLON PLANT
•			2 EMITTERS PER 5 GALLON PLANT
•			4 EMITTERS PER TREE (OUTSIDE TURF AREAS)
---	PVC/POLY		1/2"-3/4" LATERAL SUPPLY LINE

LABELS	DESCRIPTION
D1	DRIP IRRIGATION ZONE NUMBER
D1 1" 6	DRIP VALVE NUMBER
D1 1" 5	GALLONS PER MINUTE
D1 1" 3	VALVE SIZE



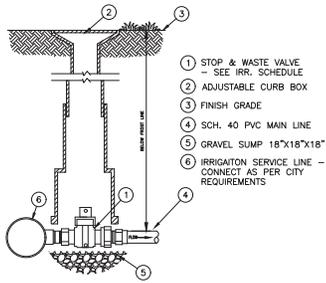
REVISIONS	DESCRIPTION

Take 5
4023 Riverdale
 WEBER COUNTY, UTAH
Irrigation Plan

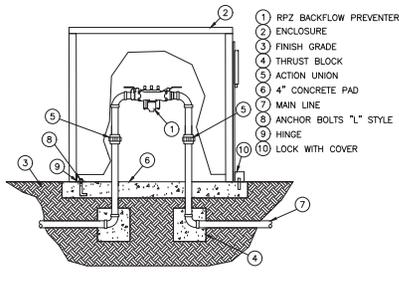


Project Info.
 Engineer: **NATHAN PETERSON**
 Drafter: **N. PETERSON**
 Begin Date: **JUNE 2021**
 Name: **TAKE 5**
4023 RIVERDALE RD
 Number: **7477-06**

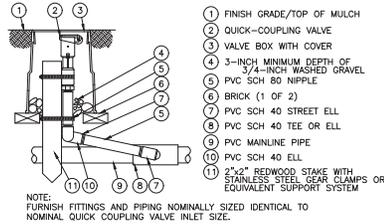
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.



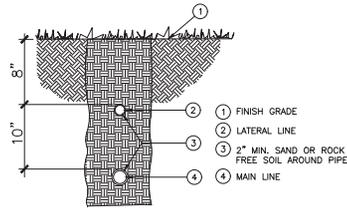
STOP & WASTE ASSEMBLY
N.T.S.



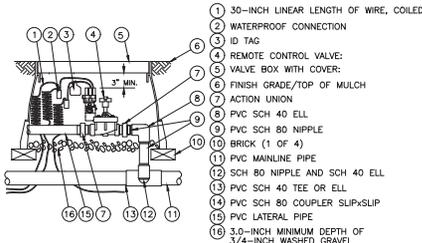
BACKFLOW PREVENTER
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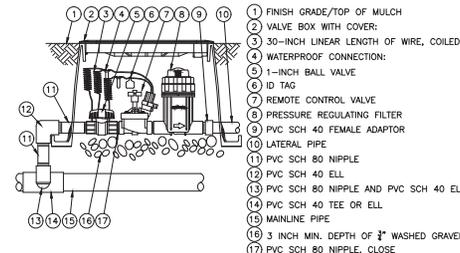
QUICK COUPLING VALVE
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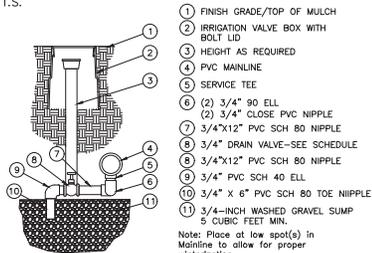
TRENCH SECTION
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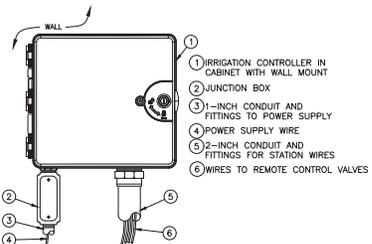
REMOTE CONTROL VALVE
N.T.S.



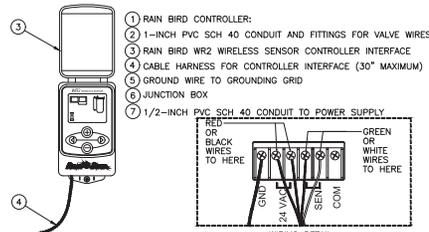
REMOTE CONTROL DRIP VALVE
N.T.S.



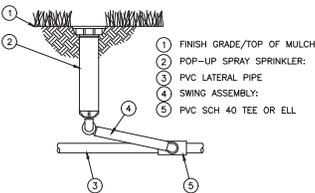
MANUAL DRAIN VALVE
N.T.S.



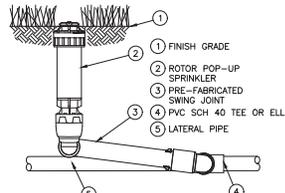
IRRIGATION CONTROLLER
N.T.S.



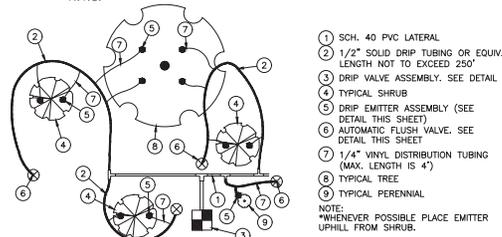
WIRELESS RAIN SENSOR
N.T.S.



POP-UP SPRAY HEAD
N.T.S.



ROTOR POP-UP HEAD
N.T.S.



DRIP ZONE LAYOUT
N.T.S.

IRRIGATION NOTES

- This irrigation plan is diagrammatic and equipment locations are approximate. Equipment and piping may be shown outside landscape areas for graphic purposes only.
- Place sleeves where piping crosses under paved areas prior to being paved. Sleeves shall be twice the diameter of the largest irrigation line to be sleeved.
- The intention of the Contracting Officer's rep and consultant is to have constructed, under the construction contract, a complete project ready for use. The general contractor and his sub-contractors should view these documents accordingly. Any apparent question, incomplete area, areas of discrepancy or contradiction in these documents should be brought to the attention of the Contracting Officer's rep prior to bidding. By submitting a bid on this project, the bidder certifies that he has fully informed himself of the requirements of the construction drawings, as they relate to his work, and has read and understands the notes and specifications. Also, that any questions, incomplete areas, discrepancies or contradictions have been brought to the attention of the Contracting Officer's rep and that they have been resolved.
- Willful installation of this work when it is obvious there exists job/site conditions or discrepancies on the plans that are detrimental to the project and that should be brought to the attention of the Contracting Officer's rep will be back-charged to the installer. The installer assumes full responsibility to correct the work at his own expense if he fails to give the required notification for resolution.
- Existing landscape outside the limits of disturbance shall be protected and repaired, if damaged, at no additional cost to the owner.
- Refer to irrigation schedule and details for more information.
- Hand trenching only shall occur within the drip line of existing trees. Machine trenching is strictly prohibited.
- Consult with General Contractor, in conjunction with the design team, before cutting through tree roots 2" or larger.
- Spray, rotor and rotary heads are intended to provide head to head coverage with minimal over-spray onto non-irrigated areas.
- Quantities provided are for convenience only. The contractor is required to verify quantities and adjust bid and construction accordingly. If major discrepancies exist, notify Contracting Officer's rep immediately.
- Water pressure shall be verified on site by landscape contractor.
- See Irrigation schedule for lateral line sizing, typical for all irrigated areas.

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