



AGENDA – Planning Commission Meeting

Planning Commissioner Troy Cunningham, Chair
Planning Commissioner Ken Kilgore – Vice Chair
Planning Commissioner Bryce Anderson
Planning Commissioner Audrey Barton
Planning Commissioner Bryce McConkie
Planning Commissioner Reed Ryan
Planning Commissioner Josh Wagstaff

CITY OF SARATOGA SPRINGS

Thursday, May 13, 2021 6:00 pm

City of Saratoga Springs 1307 North Commerce Drive, Saratoga Springs, UT 84045

<https://www.youtube.com/c/CityofSaratogaSprings>

Pursuant to State and Federal Guidelines concerning COVID-19, this meeting will be conducted electronically.

**Questions and comments to Staff and/or Commissioners may be submitted to
comments@saratogaspringscity.com**

I, Troy Cunningham, Planning Commission Chair, hereby determine that conducting the Planning Commission meeting at an anchor location presents a substantial risk to the health and safety of those who may be present at the anchor location. The World Health Organization, the President of the United States, the Governor of Utah, and the County Health Department have all recognized a global pandemic exists related to the new strain of the coronavirus, SARS-CoV-2 (COVID-19). Due to the State of emergency caused by the global pandemic, I find that conducting a meeting at an anchor location under the current state of public health emergency constitutes a substantial risk to the health and safety of those who may be present at the location. This written declaration expires 30 days from the date signed.

Signed: *Troy Cunningham*, Saratoga Springs Planning Commission Chair

Dated: *April 15, 2021*

AGENDA

1. Pledge of Allegiance.
2. Roll Call.
3. Business Item: Secret Springs Preliminary Plat. Located approximately McGregor Ln. and Redwood Road. Firefly Homes as applicant. Presented by Rachel Day, Planner I.
4. Business Item: Central Bank of Utah Site Plan located at Riverside Dr. and Thrive Dr. Central Bank of Utah as applicant. Presented by Gina Grandpre, Planner II.
5. Public Hearing: North Lake Meadow Rezone from Agriculture to R1-9, located approximately 1600 E 145 N, Keaton Morton as applicant. Presented by Gina Grandpre, Planner II.
6. Public Hearing: Wildflower Village Plan 4 located approximately Mountain View Corridor and Harvest Moon Dr., Nate Shipp as applicant. Presented by Tippe Morlan, Senior Planner.
7. Public Hearing: Westport Business Park General Plan Amendment from Office and Regional Commercial to Office Warehouse, and Rezone from Agriculture to Office Warehouse. Located at 2000 N. Redwood Road. Mark Johnson as applicant. Presented by David Stroud, Planning Director.
8. Public Hearing: Alpine Acres General Plan Amendment from Institutional/Civic and Medium Density Residential to Low Density Residential, and Rezone from Agriculture to R1-10. Located approximately 800 W. Marie Way. Randy Smith as applicant. Presented by David Stroud, Planning Director.
9. Public Hearing: D2D Real Estate General Plan Amendment from Office to Regional Commercial, and Rezone from Agriculture to Regional Commercial. Located approximately Aspen Hills Blvd. and Redwood Road. Mike Muehlmann as applicant. Presented by David Stroud, Planning Director.

PLEASE NOTE: The order of items may be subject to change with the order of the planning commission chair. One or more members of the Commission may participate electronically via video or telephonic conferencing in this meeting.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801.766.9793 at least one day prior to the meeting.

10. Approval of Minutes: April 22, 2021.
11. Commission Items.
 - a. Decision for return to in-person meetings.
 - b. Commissioner Comments.
12. Director's Report.
13. Possible motion to enter into closed session for the purchase, exchange, or lease of property; pending or reasonably imminent litigation; the character, professional competence, or the physical or mental health of an individual; or the deployment of security personnel, devices, or systems.
14. Adjourn.



Planning Commission Staff Report

**Preliminary Plat
Secret Springs Subdivision
Thursday, May 13, 2021
Public Meeting**

Report Date:	May 6, 2021
Applicant:	Firefly Homes
Owner:	Security Home Mortgage LLC
Location:	Corner of McGregor Lane and Redwood Road
Major Street Access:	McGregor Lane
Parcel Number(s) & Size:	45:228:0025, 5.25 acres
Parcel Zoning:	R1-10
Parcel General Plan:	Low Density Residential
Adjacent Zoning:	R1-10, A
Current Use of Parcel:	Undeveloped
Adjacent Uses:	Residential
Previous Meetings:	None
Previous Approvals:	12/1996 County Plat "B" Lake Mountain Estates
Type of Action:	Administrative
Land Use Authority:	City Council
Future Routing:	City Council
Author:	Rachel Day, Planner I

A. Executive Summary:

The applicant requests Preliminary Plat approval of a fourteen-lot subdivision to be located at the corner of McGregor Lane and Redwood Road. The project consists of approximately 5.25 acres within the R1-10 zone.

Recommendation:

Staff recommends the Planning Commission review the proposal, consider the application, and forward a recommendation to the City Council for the Secret Springs Subdivision as outlined in Section H. Alternatives include continuation of the item, or denial.

Rachel Day, Planner I
rday@saratogaspringscity.com

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B. Background:

Lake Mountain Estates Plat "B" was approved by the County in December of 1996. The portion included in the Secret Springs submittal is a lot created in the original plat. Surrounding developments are already underway and this subdivision will connect the Heron Hills and Catalina Bay subdivisions. The Final Plat is also under review and needs to be recorded before August 1, 2021 in order to have sewer connections available.

C. Specific Request:

The applicant requests fourteen single-family residential lots all over 10,000 square feet in size in the R1-10 zone. The preliminary plat is attached as Exhibit D. The applicant is requesting that the City take ownership of the Redwood Road Trail open space area in order to avoid an HOA for the community.

D. Process:

Pursuant to Section 19.13 of the Saratoga Springs Code, the City Council is the Land Use Authority for preliminary plats following a recommendation from the Planning Commission. No public hearing is required.

E. Community Review:

No public hearing is required for preliminary plats.

F. General Plan:

The General Plan designation for this property is Low Density Residential and is described as follows:

Single-family neighborhoods built on a highly connected street pattern and interspersed with schools, public facilities, walkable neighborhood amenities, parks and trails. The Low Density Residential designation is expected to be the City's most prevalent land-use designation.

Staff conclusion: Consistent. The proposed plat is consistent with this Land Use Designation.

G. Code Criteria:

The land use authority must find that the preliminary plat meets state law, federal law, and City standards, resolutions, and ordinances.

Finding: Complies (see the Planning Review Checklist in Exhibit C). The proposed design of the subdivision meets the requirements of the existing R1-10 zone and complies with applicable sections of Title 19 of the Land Development Code as detailed in the attached Planning Review Checklist (Exhibit C).

H. Recommendation and Alternatives:

Staff recommends the Planning Commission discuss the application, and choose from the following options:

Option 1 – Approval

“I move that the Planning Commission forward a recommendation of ***approval*** to the City Council for the Secret Springs Preliminary Plat, located at the corner of McGregor Lane and Redwood Road, based on the following findings and subject to the following conditions:

Findings

1. The application complies with the Land Development Code, as articulated in Section G of the staff report, which is incorporated by reference herein.
2. The application is consistent with the General Plan, as articulated in Section “F” of the staff report, which section is incorporated by reference herein.

Conditions:

1. All conditions of the City Engineer shall be met, including but not limited to those in the Staff report in Exhibit A.
2. The Developer will install the Redwood Road Trail before school begins in the Fall and may receive either amenity point credit or impact fee credit for the trail.
3. All other code criteria shall be met as determined in Final Plat approval.
4. Any other conditions or changes as articulated by the Planning Commission:

Option 2 - Continuance

“I move to ***continue*** action on the Secret Springs Preliminary Plat with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. _____
2. _____

Option 3 – Denial

“I move that the Planning Commission forward a recommendation of ***denial*** to the City Council for the Secret Springs Preliminary Plat based on the following findings:

1. The Secret Springs Preliminary Plat is not consistent with the General Plan, as articulated by the Planning Commission: _____, and/or,
2. The Secret Springs Preliminary Plat is not consistent with Sections [XX.XX] of the Code, as articulated by the Planning Commission: _____.

Exhibits:

- Exhibit A: Engineering Staff Report
- Exhibit B: Location and Zoning Map
- Exhibit C: Planning Review Checklist
- Exhibit D: Secret Springs Preliminary Plat

Staff Report

Author: Gordon Miner, City Engineer
Subject: Secret Springs – Preliminary Plat
Date: 05/18/21
Type of Item: Preliminary Plat Approval



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Description:

A. Topic: The Applicant has submitted a Preliminary Plat Application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: *Travis Barker – Firefly Homes*
Request: *Preliminary Plat Approval*
Location: *SR 68 & McGregor Lane*
Acreage: *5.25 acres*

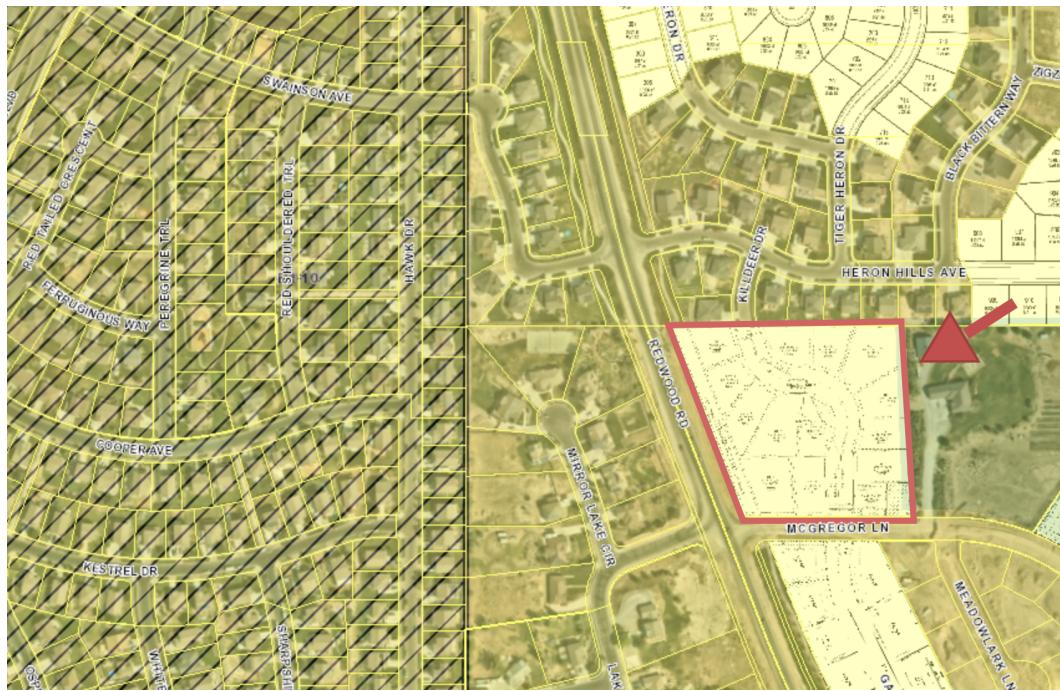
C. Recommendation: Staff recommends the approval of preliminary plat subject to the following conditions:

1. The developer shall comply with all review comments and redlines, prepare final construction drawings as outlined in the most recent edition of the City of Saratoga Springs Standards Technical Specifications, and receive approval from the City Engineer on those drawings prior to commencing construction.
2. These are preliminary-level plans which are not ready for construction. The applicant understands that full engineering review will need to occur on final-level engineering plans to comply with City Standards. The applicant also understands that preliminary plans do not entitle the applicant to any approvals, including lot yields, and that approvals are not granted until final-level engineering plans are accepted by the City for construction.
3. Provide a Storm Water Pollution Prevention Plan (SWPPP) following the State template prior to the pre-construction meeting.
4. Owner to record a Long-Term Storm Water Management Agreement and provide a Long-Term Storm Water Management Plan for the project.
5. Developer shall bury the power lines less than 46 kV that are within this plat.
6. Developer shall provide end of road and end of sidewalk signs per MUTCD at all applicable locations.
7. Developer shall prepare and provide easements for all public facilities not located in

the public right-of-way, including a storm water discharge agreement. This agreement must be recorded prior to plat recordation.

8. Project shall comply with all ADA standards and requirements.
9. The required PUE's shall be shown in plan view on the plat.
10. The City has insufficient information at this time to determine what project and system improvements will be necessary to service the developer's property. As a result, this approval does not reserve utility system capacity. Prior to, concurrent with, or subsequent to Final Plat Approval, the developer will be required to install all required infrastructure to service the property. In addition to all required project improvements, the developer may also be required to install any and all system improvements, subject to required impact fee credits.
11. A Reimbursement Agreement must be approved by City Council for master planned projects before acceptance of the construction plans. If the applicant wishes to begin construction before there is an agreement in place with the City, he must sign and record a waiver stating he accepts the risk that he may not be reimbursed for any improvements installed, even if they are system improvements.
12. A UDOT permit is required for improvements of Redwood Rd prior to plan acceptance. Redwood Road frontage improvements must be completed and include landscaping and public sidewalk.
13. The plat shall note that the future homeowner of Lot 7 is responsible for the maintenance of the detention pond surface improvements. Easements shall be granted to the City for the maintenance of all underground improvements. An easement to discharge stormwater onto the lot must be granted to the city and recorded prior to final plan acceptance.
14. Pursuant to the engineering checklist, a trip generation report is required prior to preliminary plat approval.

Exhibit B: Location and Zoning Map





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APPLICATION REVIEW CHECKLIST

Application Information

Date Received:	2/16/2021
Date of Review:	4/30/2021
Project Name:	Secret Springs Subdivision
Project Request / Type:	Preliminary Plat
Applicant:	Firefly Homes, Travis Barker
Owner:	Security Mortgage, LLC
Location:	Corner of McGregor and Redwood
Major Street Access:	McGregor Lane
Parcel Number(s) and size:	45:228:0025, 5.25 acres
Land Use Designation:	Low Density Residential
Parcel Zoning:	R1-10
Adjacent Zoning:	R1-10, A
Current Use:	Undeveloped
Adjacent Uses:	Residential
Previous Meetings:	Meetings
Previous Approvals:	12/1996 County Plat "B" Lake Mountain Estates
Type of Action:	Administrative
Land Use Authority:	City Council
Future Routing:	Planning Commission
Planner:	Rachel Day, Planner I

Section 19.13 – Application Submittal

- Application Complete: **Yes**.
- Rezone Required: **No**.
- General Plan Amendment required: **No**.
- Additional Related Application(s) required: **No**.

Section 19.13.04 – Process

- DRC: 4/26/21
- PC: TBD
- CC: TBD

General Review

Building Department

- Setback detail
- Lot numbering – per phase (i.e. Phase 1: 100, 101, 102. Phase 2: 200, 201, 202, etc.)
- True buildable space on lots (provide footprint layout for odd shaped lots)
- Lot slope and need for cuts and fills

Fire Department

- Residential:
 - Fire flows shall be met for this development and future development in the area.
 - Hydrants shall not exceed 500' spacing in R3-6 and lower areas.
 - Higher than R3-6, hydrants shall not exceed 300' spacing.
 - All three story structures above grade shall be fire sprinkled and meet NFPA 13 requirements where required.
 - All access roads shall support 26' of un-obstructed drive isle with parking on the streets.
 - The 59' road cross-section shall be used if applicable. If the streets are not able to support such movement, fire lane signage shall be posted by the developer.
 - All cul-de-sacs shall meet our current standard and shall have hydrants in them. All cul-de-sacs shall be a minimum of 96' in diameter from curb face to curb face and have a hydrant located within the cul-de-sac.
 - Third party review required for sprinkler systems
 - Dimension street and cul-de-sac widths on plat
 - Turnarounds on cul-de-sacs and dead-ends more than 150' in length

GIS / Addressing

Additional Recommendations:

- Required to underground the three existing power poles on the property.
- The final plat must be recorded by August 1st to get the sewer connections.

Code Review

19.04, Land Use Zones

- Zone: R1-10
- Use: Low Density Residential

19.04.010 Requirements		R1-10	
Category To Be Reviewed	Regulation	Compliance	Findings
Maximum Units per Acre	3 unit/acre	Complies	2.66 units per acre.
Lot Size, Residential (Minimum)	10,000 sq. ft.	Complies	All lots above 10,000 sf.
Lot Size, Residential (Corner)	11,000 sq. ft.	Complies	All corner lots above 11,000 sf.
Lot Coverage (Maximum)	50%	TBD	TBD with building permits.
Structure Height (Minimum)	35'	TBD	TBD with building permits.
Dwelling Size (Minimum)	1,250 sq. ft.	TBD	TBD with building permits.
Lot Width (Minimum)	70'	Complies	All lots meet width minimum.
Lot Frontage*** (Minimum)	35'	Complies	All lots meet lot frontage minimum.
Open Space Frontage (Minimum)	35'	Complies	Parcel A for trail meets requirements.
Front Setback* (Minimum)	25', 20' for enclosed entry or porch	Complies	Meets requirements.
Street Side Setback (Minimum)	20'	Complies	Meets requirements.

Interior Side Setback, Residential(Minimum)	8'/20'(min/combined)	Complies	<i>Proposed at 10'.</i>
Rear* Setback, Residential(Minimum)	25'	Complies	<i>Meets requirements.</i>

19.05 Supplemental Regulations

Regulation	Compliance	Findings
Flood Plain: Buildings intended for human occupancy shall be constructed at least one foot above the base flood elevation.	Complies.	<i>Not in a flood plain.</i>
Water & Sewage: Each lot shall be connected to City water and sewer.	Complies.	<i>Meets requirements.</i>
Transportation Master Plan: Lots shall not interfere with the Transportation Master Plan.	Complies.	<i>Does not interfere with TMP.</i>
Property Access - All lots shall abut a dedicated public or private road.	Complies.	<i>All lots abut a public road.</i>

19.06 Landscaping and Fencing

Landscape Plans

Regulation	Compliance	Findings
Landscape Architect: Landscaped plans shall be prepared by a licensed landscape architect.	Complies.	<i>Provided.</i>
Existing Conditions: Show the location and dimension of all existing and proposed structures, property lines, easements, parking lots, power lines, rights-of-way, ground signs, refuse areas, and lighting.	Complies.	
Planting Plan: Show location and planting details for all proposed vegetation and materials. Indicate the size of the plant material at maturation. All existing vegetation that will be removed or remain must be identified.	Complies.	
Plants: The name (both botanical and common name), quantity, and size of all proposed plants.	Complies.	
Topography: Existing and proposed grading of the site indicating contours at two-foot intervals.	Complies.	
Irrigation: Irrigation plans showing the system layout and details.	Complies.	<i>Included on plans.</i>
Fencing: Location, style, and details for proposed and existing fences and identification of the fencing materials.	Complies.	<i>Semi-private fence proposed.</i>
Data Table: Table including the total number of each plant type, and total square footage and percentage of landscaped areas, domestic turf grasses, decorative rock, mulch, bark, and drought tolerant plant species.	Complies.	<i>Percent in data table for site overview.</i>
Completion of Landscape Improvements: All required landscaping improvements shall be completed in accordance with the approved landscape plans.	Can Comply.	<i>Condition of Approval.</i>

Planting Standards

Deciduous Trees: 2" in caliper.	Complies.	<i>2" in caliper.</i>
Evergreen Trees: 6' in height.	Complies.	<i>6' in height.</i>
Tree Base Clearance: 3' diameter around every tree must be kept clear of turf and rock mulch.	Complies.	
Shrubs: 25% of required shrubs must be a minimum of 5 gallons in size.	N/A.	
Turf: No landscaping shall be comprised of more than seventy percent turf, except within landscaped parks.	Complies.	

Artificial Turf: Not allowed.	Complies.
Drought Tolerant Plants: 50% of all plants shall be drought tolerant.	Complies.
Rock Mulch: Rock mulch shall be two separate colors and separate sizes and must be contrasting in color from the pavement and other hard surfaces. All colors used must be earth tones.	N/A.

Design Requirements

Evergreens: Evergreens shall be incorporated into landscaped treatment of sites where screening and buffering are required.	Complies.	
Softening of Walls and Fences: Plants shall be placed intermittently against long expanses of building walls, fences, and barriers to create a softening effect.	Complies.	
Planting and Shrub Beds: Planting and shrub beds are encouraged to be used in order to conserve water.	N/A.	
Water Conservation: Water-conserving sprinkler heads and rain sensors are required. Drip lines should be used for shrubs and trees.	Complies.	<i>Included on plans.</i>
Energy Conservation: Placement of plants shall be designed to reduce energy consumption. Deciduous trees are encouraged to be planted on the south and west sides of structures. Evergreens are encouraged to be planted on the north side of structures.	Complies.	
Placement: Whenever possible, landscaping shall be placed immediately adjacent to structures, particularly where proposed structures have large empty walls.	Complies.	
Trees and Power Poles: No trees shall be planted directly under or within 10' of power lines, poles, or utility structures unless: <ol style="list-style-type: none"> The City Council gives its approval. The Power Company or owner of the power line gives written consent. The maximum height or width at maturity of the tree species planted is less than 5' to any pole, line, or structure. 	Complies.	

Preservation of Existing Vegetation

Where possible and appropriate, existing native vegetation must be incorporated into the landscape treatment of the proposed site.	Complies.	
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Fencing and Screening

Front Yards: Fences exceeding 3' in height shall not be erected in any front yard space of any residential lot.	Complies.	<i>3' proposed at street corner.</i>
Clear Sight Triangle: All landscaping and fencing shall be limited to a height of not more than 3' and the grade at such intersections shall not be bermed or raised. Clear sight is located at all intersections of streets, driveways, or sidewalks, for a distance of 20' back from the point of curvature of curved ROWs and property lines or 30' back from the intersection of straight ROWs and property lines, whichever is greater. Landscaping shall not exceed 3' in height and the area shall not be bermed or raised within clear sight triangles.	Complies.	<i>Out of CST.</i>
Required Residential Fencing: Fencing in residential development shall be placed along property lines abutting open space, parks, canals, and trails. In addition, fencing may also be required adjacent to undeveloped properties.	Complies.	<i>Semi-private fence proposed.</i>
Fences along open space, parks, canals, and trails shall be semi-private. Exception: privacy fencing is permitted for property lines abutting trail corridors that are not City maintained and are both adjacent to and visible from an arterial.	Complies.	<i>Semi-private fence proposed.</i>
Fencing along arterial roads shall be of a consistent material and color within each development.	Complies.	

Fencing along open space, parks, and trails may be less than 6' in height but shall not be less than 3' in height, at the discretion of the property owner or HOA as applicable.	Complies.	6' along lots and 3' near intersection.
Screening at Boundaries of Residential Zones: For residential developments abutting active agricultural property or operations, a solid fence or wall shall be installed and maintained along the abutting property line.	Complies.	Fencing provided.
Amount of Required Landscaping		
Portions of the property that are not developed with structures, rights of ways, or parking areas shall be landscaped.	Complies.	Landscaping provided.
Multi-family, common space not including parks, and nonresidential development in all zones shall be required to adhere to the minimum landscaped standards in 19.06.07 of the Land Development Code.	Can Comply.	If to be accepted by CC, then plans need to be reviewed by the Parks Department for Final Plat approval.
At least 50% of the landscaped area shall be covered with live vegetation at maturity. The percentage may be reduced to 40% in areas where bark mulch, wood or plant fiber mulch, or rubber mulch is used instead of rock mulch.	Complies.	

19.11 Lighting		
Residential Lighting		
Floodlights: Floodlights are prohibited.	Complies.	<i>None proposed.</i>
Street Lighting: All street lighting fixtures shall be metal and black and also include an arm and bell shade or a pole and lantern configuration and meet the City Standards.	Complies.	<i>Proposed to match City Standards.</i>
Building Lighting: Building lighting shall be full cutoff and downward directed, and only for the illumination of vertical surfaces such as building facades and signs, and shall not cast illumination beyond the surface being illuminated.	Can Comply.	<i>TBD with building permits.</i>

19.12 Subdivision		
Preliminary Plat Requirements		
Regulation	Compliance	Findings
Standard Plat Format followed.	Complies.	<i>Follows standard format.</i>
Name and address of property owner and developer.	Complies.	<i>Provided.</i>
Name of land surveyor.	Complies.	<i>Provided.</i>
The location of proposed subdivision with respect to surrounding property and street.	Complies.	<i>Provided.</i>
The name of all adjoining property owners of record, or names of adjoining developments.	Complies.	<i>Provided.</i>
The names and location of ROW widths of adjoining streets and all facilities within 100' of the platted property.	Complies.	<i>Provided.</i>
Street and road layout with centerline bearing and distance labels, dimensions, and names of existing and future streets and roads, (with all new names cleared through the City GIS Department).	Complies.	<i>Provided.</i>
Subdivision name cleared with Utah County.	Complies.	<i>Secret Springs Subdivision.</i>
North arrow.	Complies.	<i>Provided.</i>
A tie to a permanent survey monument at a section corner.	Complies.	<i>Provided.</i>
The boundary lines of the project with bearings and distances and a legal description.	Complies.	<i>Provided.</i>
Layout and dimensions of proposed lots with lot area in square feet.	Complies.	<i>Provided.</i>
Location, dimensions, and labeling of roads, structures, irrigation features, drainage, parks, open space, trails, and recreational amenities.	Complies.	<i>Provided.</i>

Location of prominent natural features such as rock outcroppings, woodlands, steep slopes, etc.	Complies.	<i>Provided.</i>
Proposed road cross sections.	Complies.	<i>Provided.</i>
Proposed fencing.	Complies.	<i>Semi-private on plans.</i>
Vicinity map.	Complies.	<i>Provided.</i>
All required signature blocks are on the plat.	Complies.	<i>Provided.</i>
Prepared by a professional engineer licensed in Utah.	Complies.	<i>Provided.</i>
Proposed methods for the protection or preservation of sensitive lands.	N/A.	
Location of any flood plains, wetlands, and other sensitive lands.	Complies.	<i>Provided.</i>
Location of 100-year high water marks of all lakes, rivers, and streams.	N/A.	
Projected Established Grade of all building lots.	Complies.	<i>Provided.</i>

A data table.		
<ol style="list-style-type: none"> 1. total project area; 2. total number of lots, dwellings, and buildings; 3. where buildings are included, square footage of proposed building footprints and, if multiple stories, square footage by floor; 4. percentage of buildable land; 5. acreage of sensitive lands and percentage sensitive lands comprise of total project area and open space area; 6. area and percentage of open space or landscaping; 7. area to be dedicated as right-of-way (public and private); 8. net density of dwellings by acre (sensitive lands must be subtracted from base acreage). 	Complies.	<i>Provided.</i>

Phasing Plan: Including a data table with the following Information for each phase:		
<ol style="list-style-type: none"> i. Subtotal area in square feet and acres; ii. number of lots or dwelling units; iii. open space area and percentage; iv. utility phasing plan; v. number of parking spaces; vi. recreational facilities to be provided; vii. overall plan showing existing, proposed, and remaining phases. 	N/A.	<i>No phasing proposed.</i>

Subdivision Layout

Layout: The subdivision layout should be generally consistent with the City's adopted Land Use Element of the General Plan, and shall conform to any land use ordinance, any capital facilities plan, any impact fee facilities plan, and the transportation master plan.	Complies.	<i>Generally consistent with City plans.</i>
Block Length: The maximum length of blocks shall be 1,000'. In blocks over 800' in length, a dedicated public walkway through the block at approximately the center of the block will be required.	Complies.	<i>Block just under 800'.</i>
Such a walkway shall not be less than 15' in width unless otherwise approved by the City in accordance with other applicable standards approved by the City Council.	N/A.	
Connectivity: The City shall require the use of connecting streets, pedestrian walkways, trails, and other methods for providing logical connections and linkages between neighborhoods.	Complies.	<i>Meets requirements.</i>
Mailboxes: Group mailboxes shall be accessed only from a local street, and shall not be placed on a collector or arterial street, unless a bulbout is provided with space for a minimum of three vehicles to park outside the lane of travel and shoulder.	Complies.	<i>Each home to have a mailbox according to the Lehi USPS.</i>
Private Roads: Private roads may be constructed as approved as part of the Preliminary Plat approval and so long as such roads meet the same standards identified in the Saratoga Springs Standard Street Improvement Details.	N/A.	<i>Road to be public.</i>

Access: Where the vehicular access into a subdivision intersects an arterial road as defined in the Transportation Master Plan, driveways shall not be placed on the intersecting road within 100' of the arterial connection.	Complies.	<i>Connects to north and south. Note added for Lot 14 that the driveway cannot be too close to Redwood.</i>
Two separate means of vehicular access onto a collector or arterial road shall be required when the total number of equivalent residential units (including adjacent developments and neighborhoods) served by a single means of access will exceed fifty. Access Exception: Where no point of second access is available within 500' and where all units are provided with an approved sprinkler system, a second access shall not be required until the number of units reaches double the above limits.	N/A.	
Where two means of access are required, the points of access shall be placed a minimum of 500' apart, measured along the center of the driving lane from center of right-of-way to center of right-of-way.	N/A.	
Shared Driveways: Shared driveways shall be a minimum of 26' in width and shall direct all runoff to a public or private drainage system. All dwellings on shared driveways shall provide enclosed garages or other covered parking. Shared driveways accessing more than four dwellings shall also provide a minimum of 25' of parking space between the garage and shared driveway. Shared driveways with four or fewer dwellings, if not providing a minimum of 20' of parking space, shall install a remote garage door opener prior to issuance of Certificate of Occupancy. All requirements of the Fire Code shall also be met.	N/A.	<i>No shared driveways proposed.</i>
Lot Design		
All subdivisions shall result in the creation of lots that are developable and capable of being built upon.	Complies.	<i>Meets requirements.</i>
All lots or parcels created by the subdivision shall have frontage on a street or road that meets the City's ordinances, regulations, and standards for public roads.	Complies.	<i>All lots have frontages.</i>
Flag lots may be approved with less frontage when the Planning Commission determines that the creation of such a lot would result in an improved design or better physical layout for the lot based on the following criteria: <ol style="list-style-type: none"> i. For subdivisions with 20 or less lots: no more than 10% (rounding down) of the total lots are allowed to be flag lots; ii. For subdivisions with 50 or less lots: no more than 7.5% (rounding down) of the total lots are allowed to be flag lots; and iii. For subdivision with more than 50 lots: no more than 5% (rounding down) of the total lots are allowed to be flag lots. 	N/A.	<i>No flag lots proposed.</i>
Land dedicated as public roads and rights-of-way shall be separate and distinct from land included in lots adjacent to public roads and rights-of-way.	Complies.	<i>ROW clearly identified.</i>
Side property lines shall be at approximately right angles to the street line or radial to the street line.	Complies.	<i>Meets requirements.</i>
Corner lots for residential use shall be 10% larger than the required minimum lot.	Complies.	<i>All corner lots above 11,000 sf.</i>
No lot shall be created that is divided by a municipal or county boundary line.	Complies.	<i>All lots in SS.</i>
Remnants of property shall not be left in the subdivision that do not conform to lot requirements or are not required or suitable for common open space, private utilities, public purposes, or other purpose approved by the City Council.	Complies.	<i>No remnants left.</i>
Double access lots are not permitted with the exception of corner lots.	N/A.	<i>TBD with building permits.</i>

Driveways for residential lots or parcels shall not be allowed to have access on major arterials.	Complies.	<i>None on Redwood.</i>
Exception: Exceptions may be made for large lots (at least 1 acre in size) or for lots where the home is set back over 150' from the arterial roadway. Approval by UDOT may be required.		
All subdivisions along arterial roadways shall conform to the City's requirements and adopted street cross-section including pedestrian walkways, park strips, landscaping, and fencing.	Complies.	<i>Landscaping plans provided.</i>

19.13 Process

Regulation	Findings
Neighborhood Meeting.	<i>N/A</i>
Notice/Land Use Authority.	<i>No, City Council - Preliminary Plat</i>
Master Development Agreement.	
Phasing Improvements.	<i>No phases proposed.</i>
Payment of Lieu of Open Space.	<i>Proposed to meet open space requirements on top of the area provided for the trail. See bottom of document for explanation.</i>

19.19 Open Space

Minimum Required Open Space

Regulation	Compliance	Findings
Open Space Required: A minimum of one Equivalent Acre of park space is required for every 40 residential units in a development, or fraction thereof.	Complies.	<i>0.35 EA required. 0.35 provided.</i>
Minimum Percentage by Development: In addition to the minimum Equivalent Acres, to ensure a livable community, in no case shall the percentage of total open space acreage provided in the following types of development be less than the listed percentage: <ol style="list-style-type: none"> Single family developments: 10% of overall development acreage Multi-family developments: 15% of overall development acreage Mixed Use and Mixed Waterfront developments: 25% of overall development acreage Developments with both single family and multi-family: combination of the requirement based on the acreage for each type of housing. 	Can Comply.	<i>0.53 acres required. 0.46 acres are provided. Would recommend increasing to meet the requirement if the CC decides not to take Parcel A in order to not pay a fee in lieu at all.</i>
Other Limitations: In no case may the cumulative total of the following categories qualify for more than 50% of a development's Equivalent Acre requirement. <ol style="list-style-type: none"> Unimproved, not Sensitive Lands Open space with no access 	Complies.	<i>Meets requirements.</i>

Minimum Required Amenities

Minimum Points: Minimum required points are based on the number of required Equivalent Acres provided in a contiguous park and are outlined in the table in 19.19.05(2).	Can Comply.	<i>35 points required. About 16 points due to trail.</i>
Mixture of Amenities and Required Amenities: All parks are required to provide a mixture of amenities, including at least one separate item each from Categories C, D, and E.	Can Comply.	<i>Points or fee in lieu must be provided.</i>
No more than 25% of the points may be met by one specific item type in any one category.	Can Comply.	<i>Points or fee in lieu must be provided. Currently, only the trail is provided, and so can only account for 8.75 points.</i>

All parks over 5 Equivalent Acres are also required to provide at least one item from Category A or B, and three items from category P, and a minimum one toilet restroom per each 5 acres or fraction thereof.	N/A.	
Items in Categories A and B may qualify for impact fee credits, if identified in the Parks and Trails Master Plan.	Complies.	<i>The trail is in Category B and in Trails Master Plan.</i>
Payment in Lieu of Open Space		
Applicability: the City's Payment in Lieu of Open Space Program may be utilized for all or a portion of the requirement for developments that meet one or more of the following criteria:		
<ol style="list-style-type: none"> i. any single-family development where a minimum of 75% of the lots are 10,000 square feet or larger, or ii. any single-family development with a park requirement of less than one acre, or iii. any development in the MW zone where such fee will aid in the creation of large clustered open spaces near the waterfront, or iv. that portion of a development that is located within 1/4 mile of an existing improved regional public park. 	Complies.	<i>All lots are over 10,000 sf and there would be a park requirements of less than one acre.</i>
Total Cost:	Can Comply.	<p><i>Payment in Lieu of Open Space Calculation</i></p> <p><i>Equivalent Acres required = 0.35</i></p> <p><i>Actual Acres provided = 0.46</i></p> <p><i>Minimum # Amenity Points required = 35</i></p> <p><i>Minimum Amenity Points provided per 25% rule = 8.75</i></p> <p><i>26.25 x 2000 = \$52,500</i></p> <p><i>Total = \$52,500</i></p> <p><i>Developer to decide if receiving amenity points for the trail, or if receiving impact fee credits. If receiving impact fee credits, then amount due is 35 x 2000 = \$70,000.</i></p>

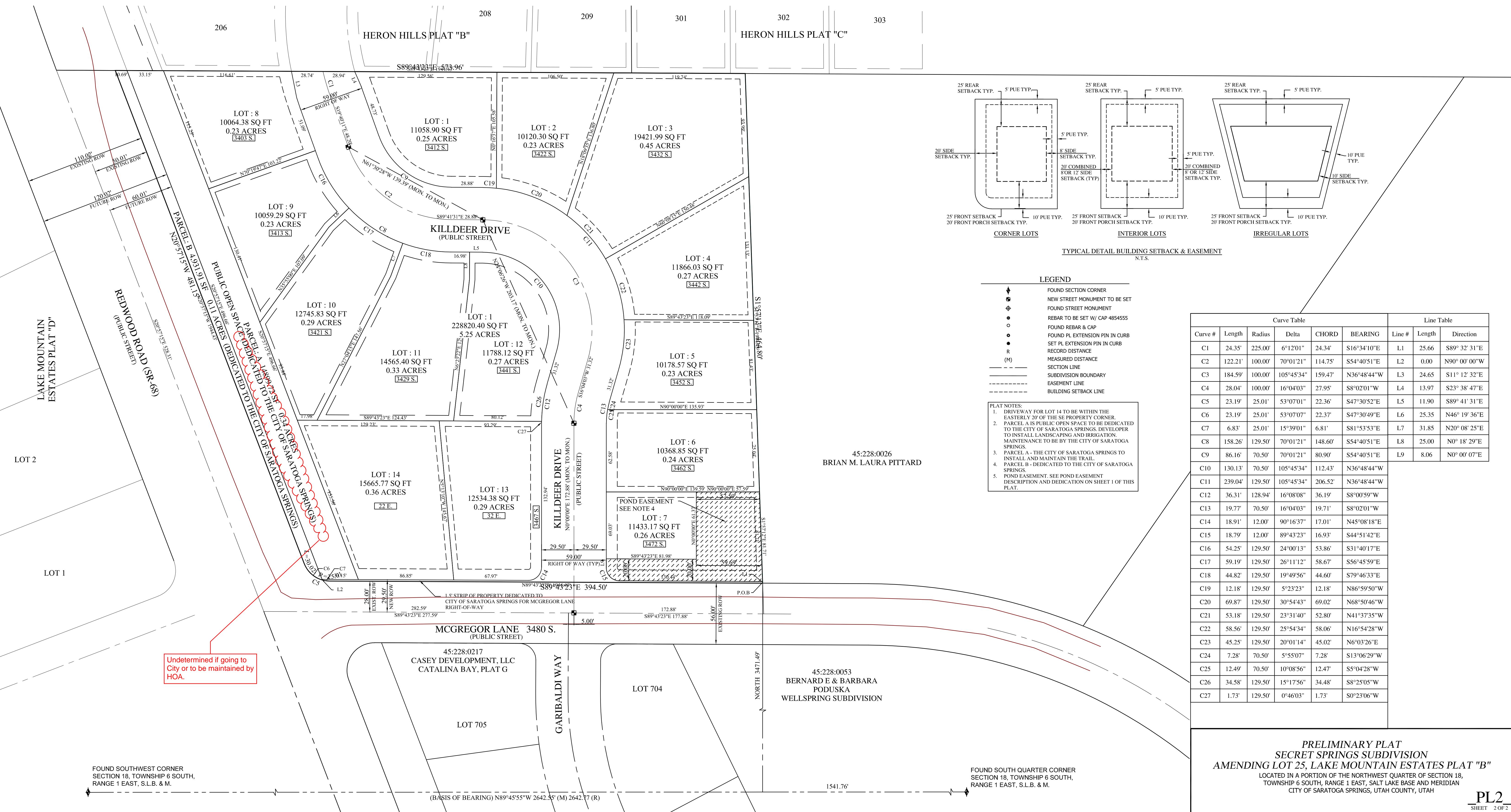
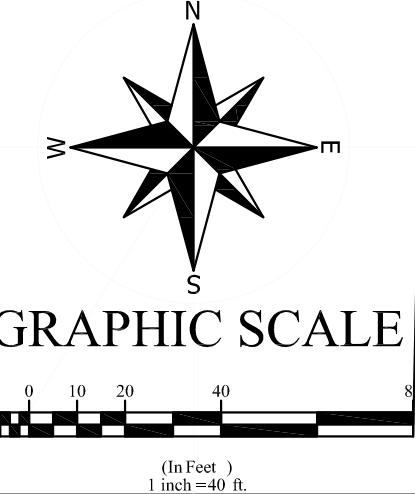
Fiscal Impact	
Regulation	Findings
Is there any City maintained open space?	<i>Up to CC to take Parcel A.</i>
What is the anticipated cost to the City?	<i>Up to CC to take Parcel A.</i> <i>Parcel B dedicated for Redwood Road.</i>
When will City maintenance begin?	<i>Up to CC to take Parcel A.</i> <i>Upon plat recordation.</i>

Regarding Parcel A:

- 1) Developer needs to determine if wants impact fee credits or open space amenity points for the trail.
- 2) The Developer will pave the trail and receive credit for doing so. Must be done before school begins in the fall.
- 3) It is still up to the City Council to decide to take the open space or not. If not, a HOA is required for its maintenance.

**PRELIMINARY PLAT
SECRET SPRINGS SUBDIVISION
AMENDING LOT 25, LAKE MOUNTAIN ESTATES PLAT "B"**

LOCATED IN A PORTION OF THE NORTHWEST QUARTER OF SECTION 18,
TOWNSHIP 6 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



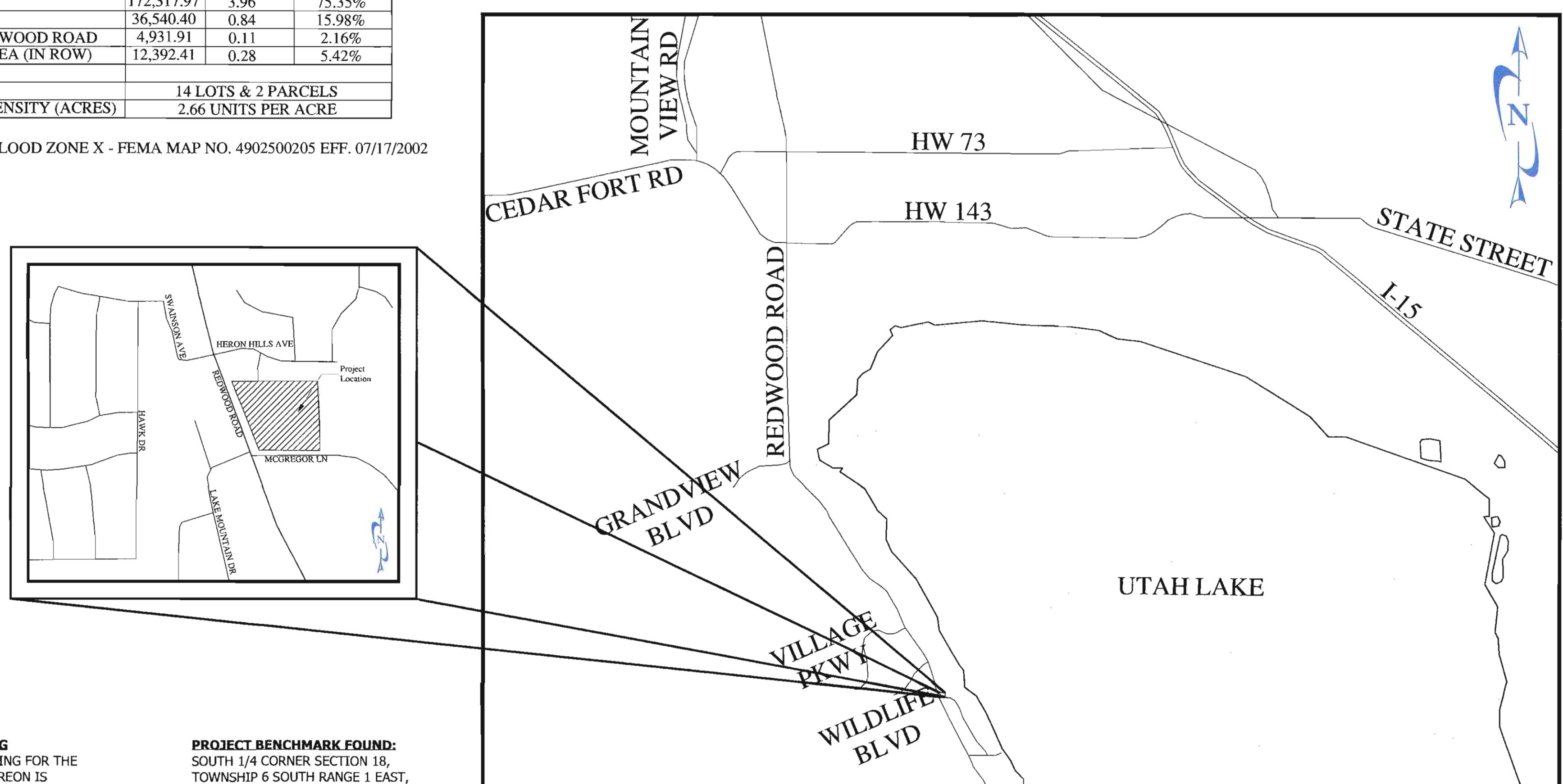
SECRET SPRINGS SUBDIVISION FINAL DRAWINGS

LOCATED IN THE NORTHWEST QUARTER OF SECTION 18,
TOWNSHIP 6 SOUTH, RANGE 2 WEST,
SALT LAKE BASE AND MERIDIAN,
SARATOGA SPRINGS, UTAH

PROJECT DATA TABLE:

INFORMATION	SQ FT	ACRES	%TOTAL
TOTAL PROJECT AREA	228,690	5.25	100%
SENSITIVE LANDS	0.00	0.00	0.00%
OPEN SPACE	15,349.72	0.35	6.71%
BUILDABLE AREA	172,317.97	3.90	75.35%
ROW AREA	36,540.40	0.84	15.98%
FUTURE ROW REDWOOD ROAD	4,931.91	0.11	2.16%
LANDSCAPING AREA (IN ROW)	12,392.41	0.28	5.42%
LOTS/PARCELS	14 LOTS & 2 PARCELS		
DWELLING NET DENSITY (ACRES)	2.66 UNITS PER ACRE		

PROJECT LIES IN FLOOD ZONE X - FEMA MAP NO. 4902500205 EFF. 07/17/2002



BASIS OF BEARING
THE BASIS OF BEARING FOR THE SURVEY SHOWN HEREON IS N69°45'55"E 2,642.55' FROM THE FOUND SOUTH QUARTER CORNER OF SECTION 18, TOWNSHIP 6 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN TO THE FOUND SOUTHWEST CORNER OF SAID SECTION 18.

PROJECT BENCHMARK FOUND:
SOUTH 1/4 CORNER SECTION 18,
TOWNSHIP 6 SOUTH RANGE 1 EAST,
SALT LAKE BASE &
MERIDIAN. BENCHMARK EL. = ----
(BRASS DISC MONUMENT)

OWNED/DEVELOPED BY:
FIREFLY HOMES
TRAVIS & EDEN BARKER
7895 N. SECRETARIAT ROAD
EAGLE MOUNTAIN, UT 84005
801-786-9817

PLANS PREPARED BY:
PROTERRA GROUP
DAVE REDDISH - PROJECT MANAGER
1307 N. COMMERCE DRIVE SUITE 200
SARATOGA SPRINGS, UT 84045
(801) 766-9793 TEL
(801) 253-0248 FAX

MUNICIPALITY:
CITY OF SARATOGA SPRINGS
1307 N. COMMERCE DRIVE SUITE 200
SARATOGA SPRINGS, UT 84045
(801) 766-9793 TEL

SHEET INDEX

- PL1 SECRET SPRINGS SUB. PLAT - SHEET 1 OF 2
- PL2 SECRET SPRINGS SUB. PLAT - SHEET 2 OF 2
- CV1 COVER SHEET
- NT1 GENERAL NOTES
- AL1 ALTA SURVEY
- SP1 OVERALL SITE PLAN
- DM EXISTING TOPOGRAPHY/DEMOLITION PLAN
- GP1 GRADING PLAN
- GP2 GRADING PLAN
- UT1 UTILITY PLAN
- PP1 PLAN & PROFILE - KILLDEER DRIVE
- PP2 PLAN & PROFILE - McGREGOR LANE
- SS1 SIGNING AND STRIPING PLAN
- LS1 LANDSCAPING PLAN
- LS2 IRRIGATION PLAN
- DT1 DETAIL SHEET
- DT2 DETAIL SHEET
- DT3 DETAIL SHEET
- DT4 DETAIL SHEET
- DT5 DETAIL SHEET
- DT6 DETAIL SHEET

SARATOGA CITY STANDARD NOTES:

1. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING STORM DRAIN STRUCTURES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING NEW STORM DRAIN LINES.
3. ALL CONSTRUCTION SHALL COMPLY WITH THE STANDARD TECHNICAL SPECIFICATION AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS, UTAH.
4. EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF ENGINEERS KNOWLEDGE, HOWEVER IT IS OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES IN FIELDS AND NOTIFY CITY ENGINEER AND CITY IF DISCREPANCIES EXIST PRIOR TO CONTINUING ANY CONSTRUCTION.
5. POST-ACCEPTANCE ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR ACCEPTED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND ACCEPTANCE.
6. THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND ACCEPTED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
7. ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA.

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SECRET SPRINGS
COVER SHEET
FINAL CONSTRUCTION DRAWINGS

PROTERRA
GROUP
1654 Reunion Ave Suite 10A, South Jordan, Utah 84095
Phone: (801) 253-0248 Fax: (801) 253-6139
www.proterra-group.com



SHEET

CV1

GENERAL NOTES

1. FOR THE PURPOSES OF THIS PROJECT, LANDERSON SURVEYING AND LAND DEVELOPMENT AND PROTERRA GROUP RETAIN COMPLETE OWNERSHIP OF THIS DESIGN. ANY REPRODUCTION, OR USE OF THESE PLANS WITHOUT WRITTEN CONSENT OF LANDERSON SURVEYING AND PROTERRA GROUP IS STRICTLY PROHIBITED.
2. ALL CONSTRUCTION WORK ASSOCIATED WITH THIS DESIGN SHALL CONFORM TO CURRENT PUBLISHED STANDARDS OF SARATOGA SPRINGS. ANY CONFLICT BETWEEN THE DESIGN AND THE REQUIREMENTS OF SARATOGA SPRINGS, SHALL BE BROUGHT TO THE ATTENTION OF PROTERRA GROUP.
3. LANDERSON SURVEYING AND PROTERRA GROUP WILL NOT BE HELD LIABLE WHEN CONTRACTOR PROCEEDS WITH ANY PROPOSED CHANGE, MODIFICATION AND/OR SUBSTITUTION FROM THE APPROVED PLANS WITHOUT PRIOR EXPRESS WRITTEN AUTHORIZATION FROM LANDERSON SURVEYING AND PROTERRA GROUP.
4. IN THE EVENT OF ANY DISCREPANCY BETWEEN THE APPROVED PLANS AND THE REQUIREMENTS OF SARATOGA SPRINGS, THE MORE RESTRICTIVE FROM THE STANDPOINT OF SAFETY AND PHYSICAL SECURITY SHALL APPLY.
5. DESIGN IS GENERALLY PREDICATED UPON PROVISIONS OF THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AND/OR AMENDMENTS AS MAY HAVE BEEN LOCALLY ENACTED. THIS DESIGN AND CONSEQUENT CONSTRUCTION SHALL ACCOMMODATE ALL REQUIREMENTS OF SARATOGA SPRINGS FIRE SAFETY/PREVENTION.
6. ANY DAMAGE, DISRUPTION OR COMPROMISE OF AMBIENT RIGHTS-OF-WAY, UTILITIES, OR ENVIRONMENTAL QUALITY SHALL BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR TO THE SATISFACTION OF SARATOGA SPRINGS CITY, PROTERRA GROUP AND LANDERSON SURVEYING.
7. ALL CONSTRUCTION WORK SHALL BE INSPECTED ACCORDING TO THE REQUIREMENTS OF SARATOGA SPRINGS. APPROVAL BY SARATOGA SPRINGS SHALL BE SECURED BEFORE PROCEEDING WITH ANY CONSTRUCTION ACTIVITIES.

CONSTRUCTION NOTES

1. ALL WORK WITHIN THE SITE TO CONFORM TO THE APWA AND CITY OF SARATOGA SPRINGS SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL OF THE REQUIREMENTS ESTABLISHED FOR SAFE TRENCHING. (SEE OSHA AND UOSHA REQUIREMENTS, LATEST EDITIONS).
3. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE LAYING PIPE WITHIN 200 FEET OF SAID UTILITIES WHICH MAY BE EXPOSED, DAMAGED OR CROSSED AS SHOWN ON THE DRAWINGS OR AS "BLUE STAKED". THE CONTRACTOR WILL MAKE ARRANGEMENTS WITH THE UTILITY COMPANY TO MOVE THE UTILITY IF NECESSARY OR OBTAIN PERMISSION FROM THE PROJECT ENGINEER TO MODIFY GRADES OF PROJECT LINES IN ORDER TO GO AROUND EXISTING UTILITIES.
4. SEWER MAINS, WATER LINES, GAS MAINS AND OTHER UTILITIES ARE SHOWN ON THE PLANS IN A GENERAL SCHEMATIC WAY ACCORDING TO INFORMATION RECEIVED FROM OTHERS AND SOMETIMES FROM FIELD MEASUREMENTS. THE ACCURACY OR COMPLETENESS OF THE LOCATIONS SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE ACTUAL LOCATION OF EXISTING SERVICE CONNECTIONS AND UTILITIES, VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS AND TAKE THE NECESSARY STEPS TO AVOID THEM.
5. SPECIFIC INFORMATION PROVIDED IN THE CONTRACT DOCUMENTS SHALL SUPERSEDE ITEMS COVERED IN THESE DRAWINGS.

FINAL ON-SITE INSPECTION NOTES:

1. AFTER A SYSTEM IS INSTALLED, BUT BEFORE IT IS BACKFILLED, THE ENTIRE SYSTEM MUST BE INSPECTED BY AN ENVIRONMENTAL HEALTH SCIENTIST FROM THE UTAH COUNTY HEALTH DEPARTMENT.
2. ALL COMPONENTS OF THE SYSTEM SHOULD BE IN PLACE AT THE TIME OF THE FINAL INSPECTION.
3. TRENCHES DEEPER THAN 5-FEET REQUIRE SHORING OR A TRENCH BOX.

** CAUTION NOTICE TO CONTRACTOR **

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS; AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

CONSTRUCTION NOTES

1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL FACILITIES SHOWN ON THE PLAN.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED. STREETS SHALL BE KEPT CLEAN OF DEBRIS FROM TRAFFIC FROM THE SITE.
3. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY, AND REMOVED WHEN THE SITE IS PAVED.
4. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.
5. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.
6. FUGITIVE DUST AREAS SHALL BE CONTROLLED BY SPRAYING WATER ON THE DRY AREAS OF THE SITE.
7. NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
8. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES OR OTHER UNFORESEEN CONDITIONS DURING DEVELOPMENT OF THE PROJECT.

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ALTA/NSPS LAND TITLE SURVEY OF
LOT 25 LAKE MOUNTAIN ESTATES PLAT 'B'

LOCATED IN THE NORTHWEST QUARTER OF SECTION 18,
TOWNSHIP 6 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN
SARATOGA SPRINGS, UTAH



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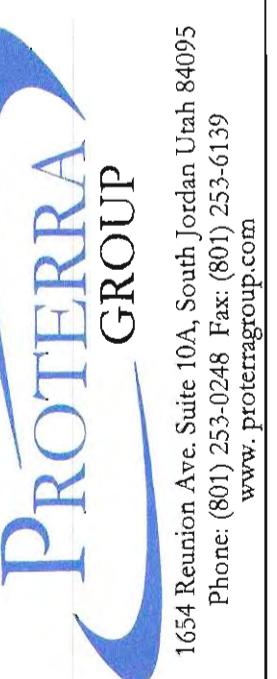
Proterra Group, Inc. 2020

SECRET SPRINGS

OVERALL SITE PLAN

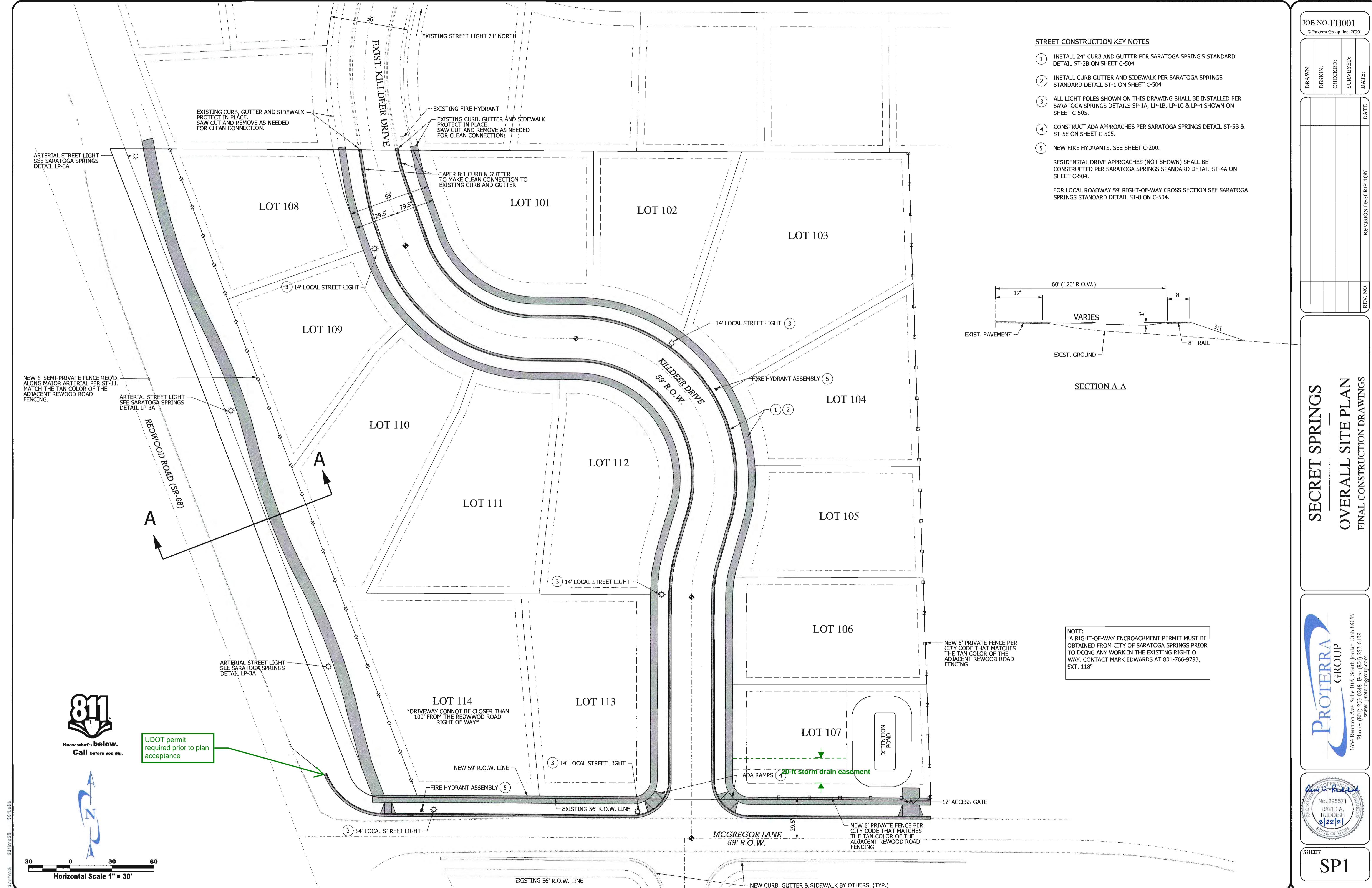
FINAL CONSTRUCTION DRAWINGS

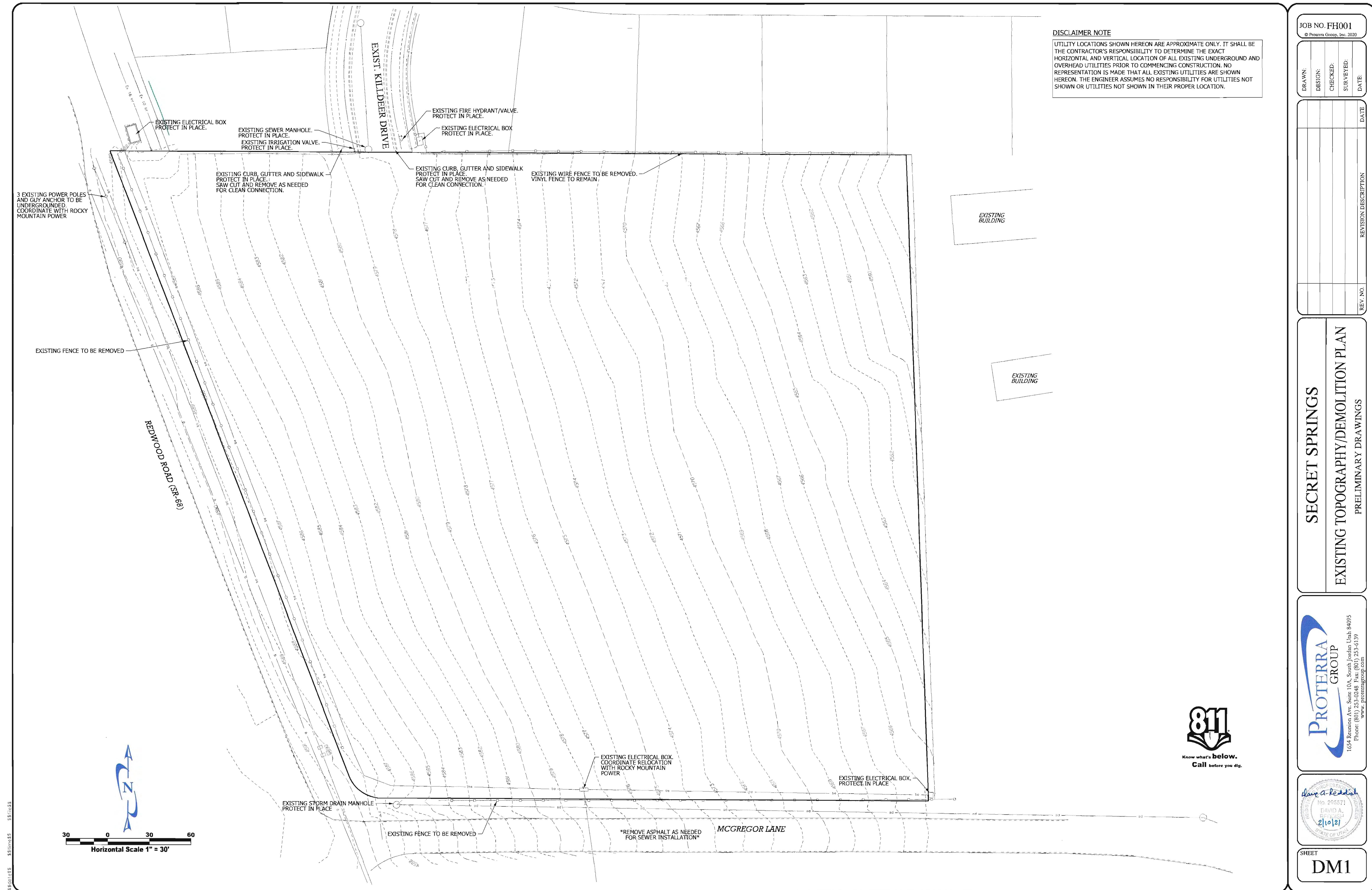
OVERALL SITE PLAN FINAL CONSTRUCTION DRAWINGS

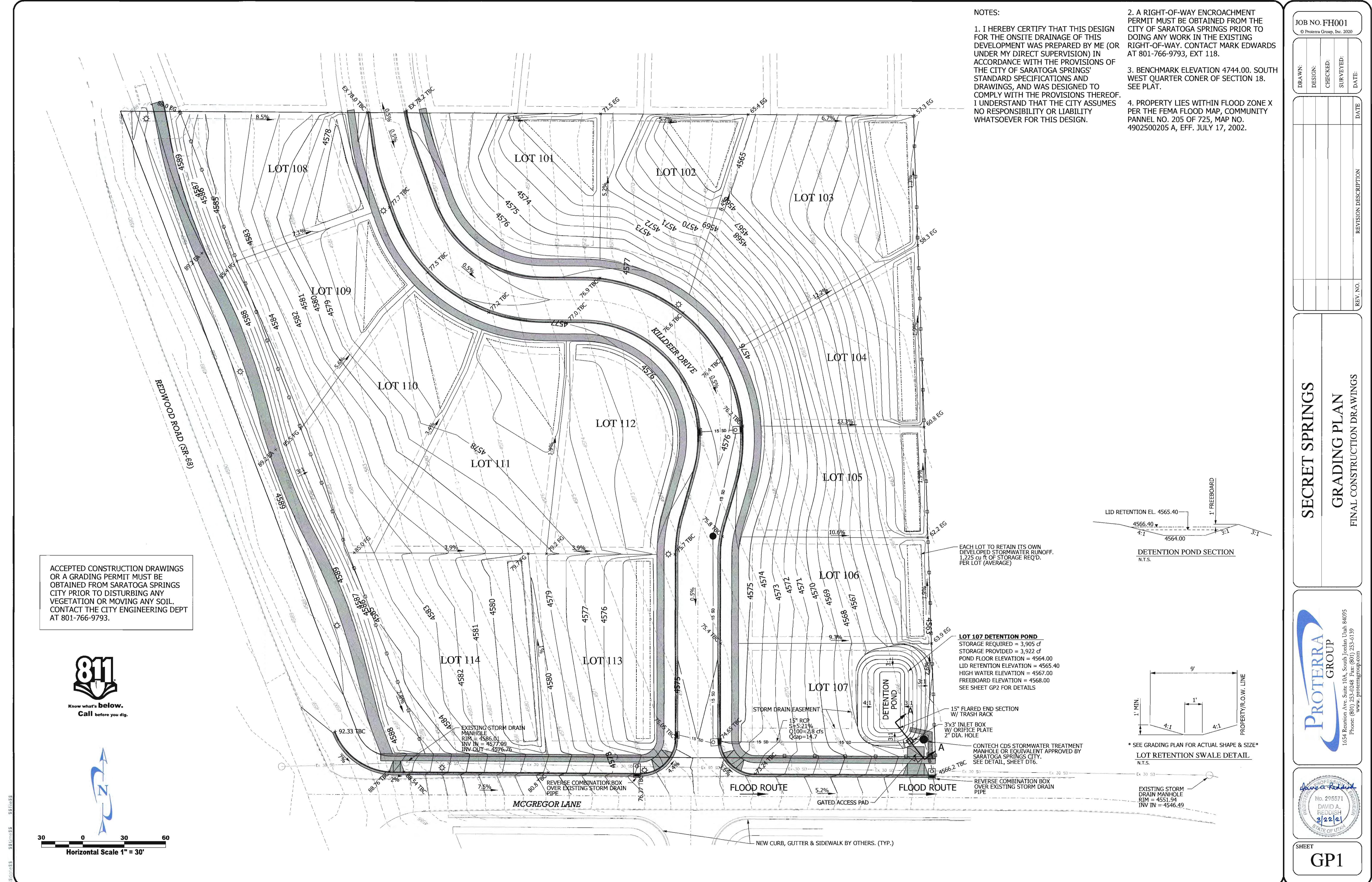


A circular state seal of Utah, featuring a central shield with a plow, a sheaf of wheat, and a beehive, surrounded by the words "THE STATE OF UTAH". Overlaid on the seal is a red handwritten signature that reads "Use a Reddish". Below the signature, the text "No. 295571" is printed. To the left of the signature, the name "DAVID A. REDDISH" is printed. At the bottom of the seal, the date "3/22/21" is handwritten. The entire seal is set against a white background.

EEET

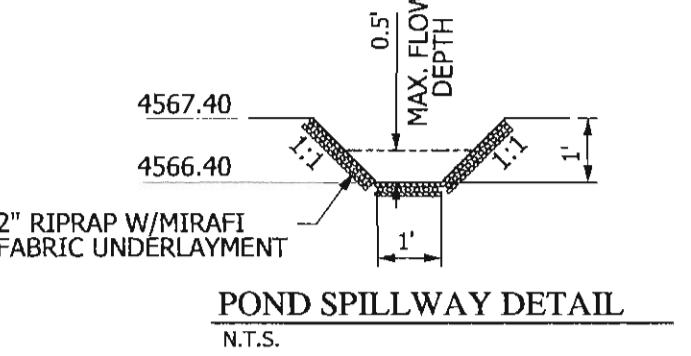
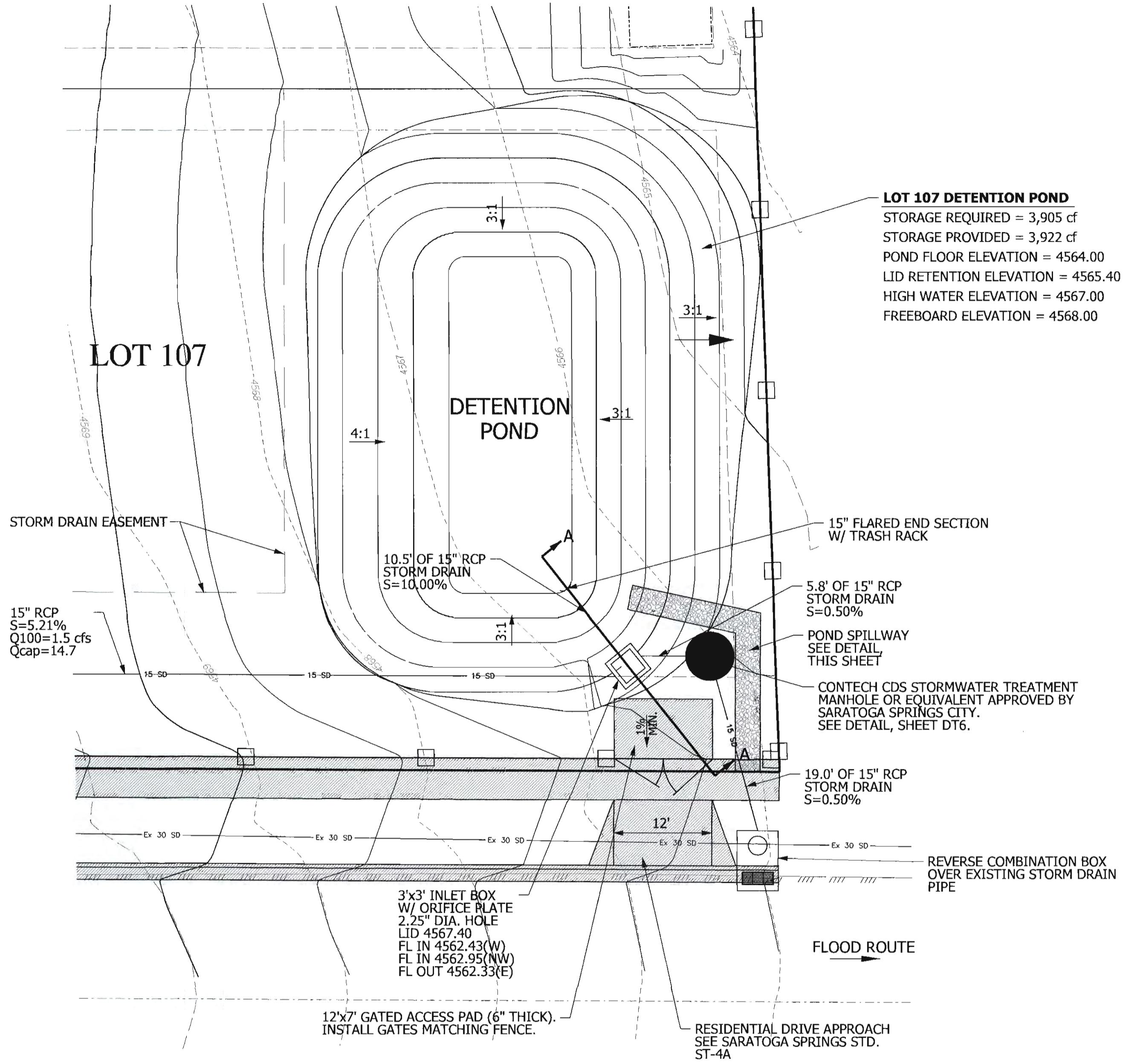






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NOTES:

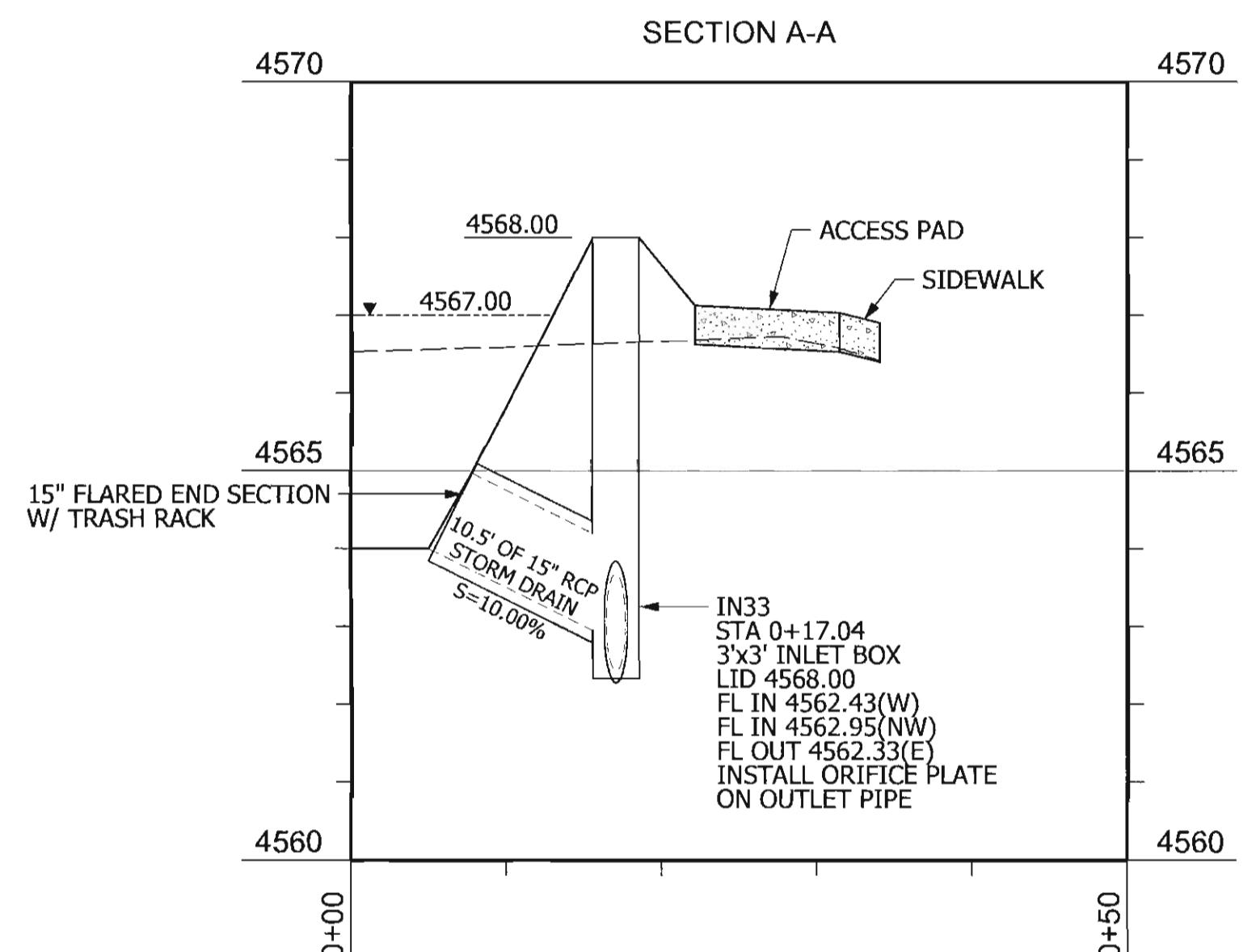
1. I HEREBY CERTIFY THAT THIS DESIGN FOR THE ONSITE DRAINAGE OF THIS DEVELOPMENT WAS PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF SARATOGA SPRINGS' STANDARDS, SPECIFICATIONS AND DRAWINGS, AND WAS DESIGNED TO COMPLY WITH THE PROVISIONS THEREOF. I UNDERSTAND THAT THE CITY ASSUMES NO RESPONSIBILITY OR LIABILITY WHATSOEVER FOR THIS DESIGN.

2. A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. CONTACT MARK EDWARDS AT 801-766-9793, EXT 118.

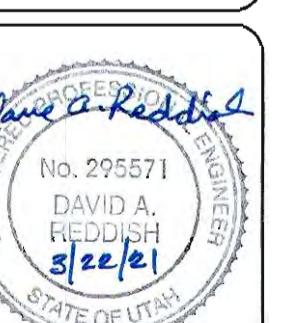
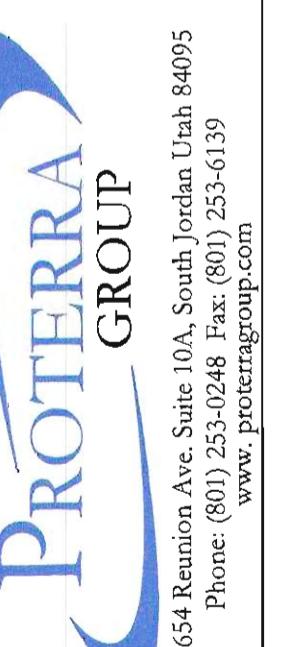
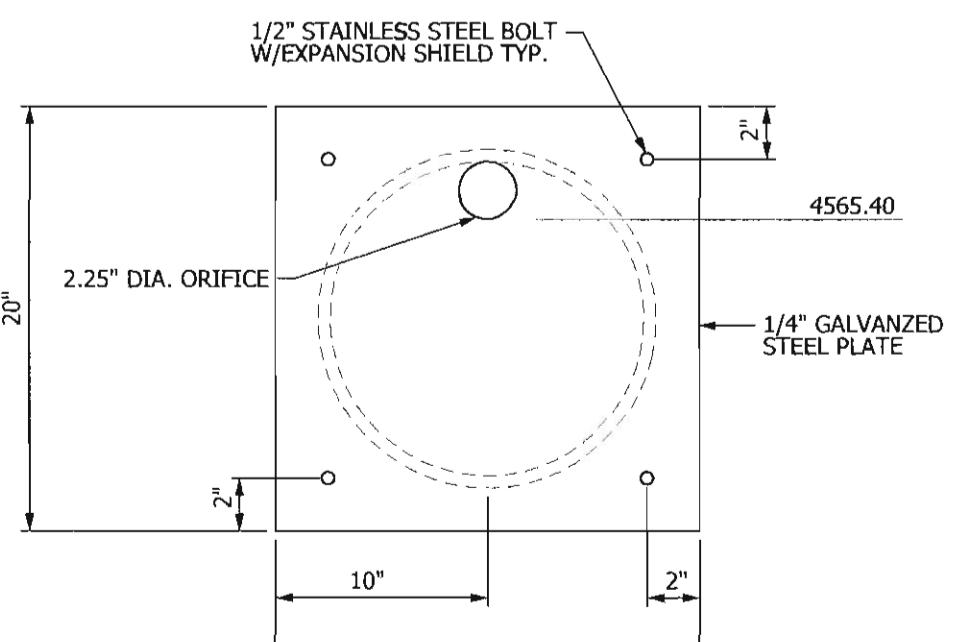
3. BENCHMARK ELEVATION 4744.00. SOUTH WEST QUARTER CORNER OF SECTION 18. SEE PLAT.

4. PROPERTY LIES WITHIN FLOOD ZONE X PER THE FEMA FLOOD MAP, COMMUNITY PANEL NO. 205 OF 725, MAP NO. 4902500205 A, EFF. JULY 17, 2002.

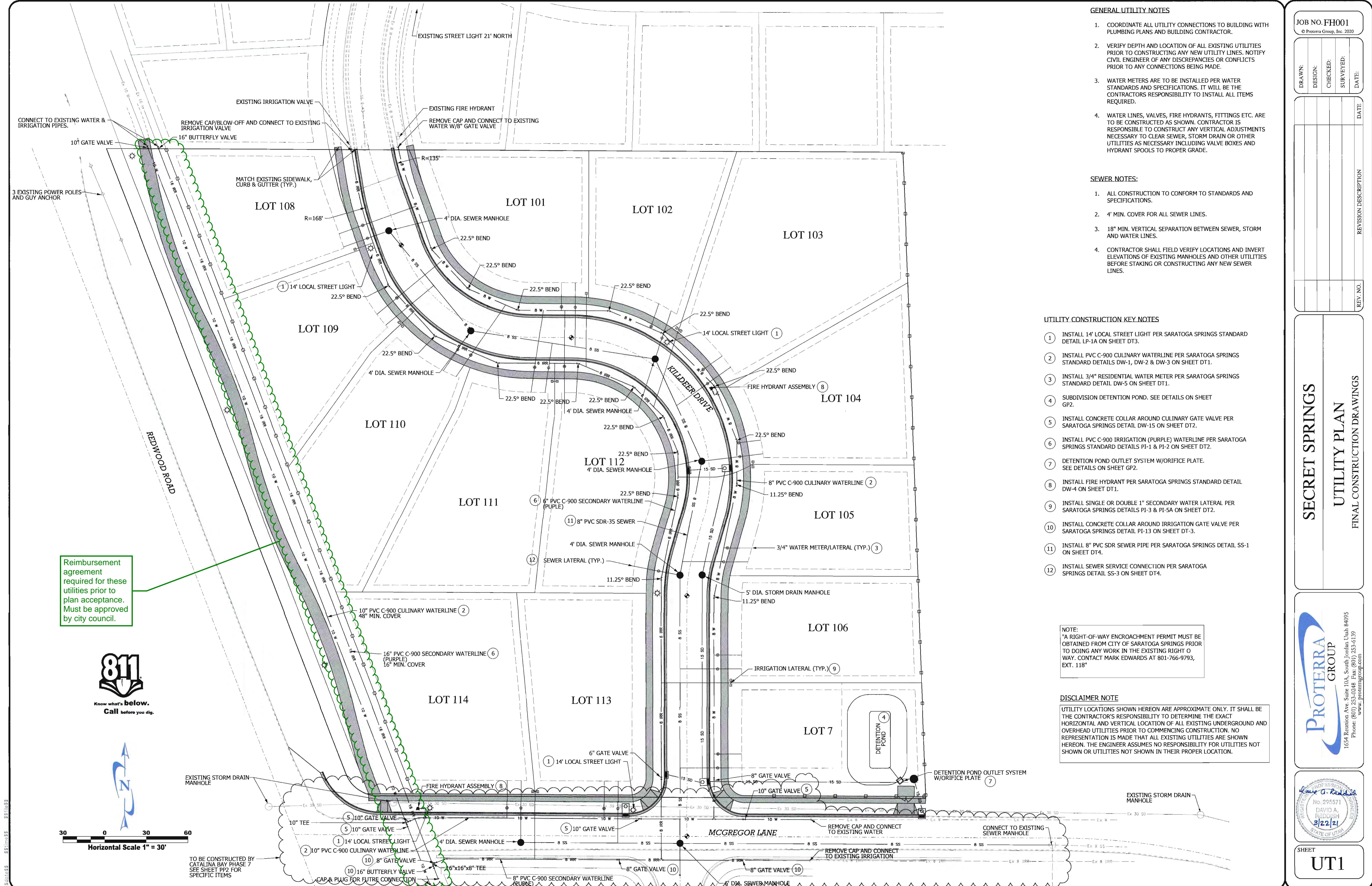
ACCEPTED CONSTRUCTION DRAWINGS OR A GRADING PERMIT MUST BE OBTAINED FROM SARATOGA SPRINGS CITY PRIOR TO DISTURBING ANY VEGETATION OR MOVING ANY SOIL. CONTACT THE CITY ENGINEERING DEPT AT 801-766-9793.

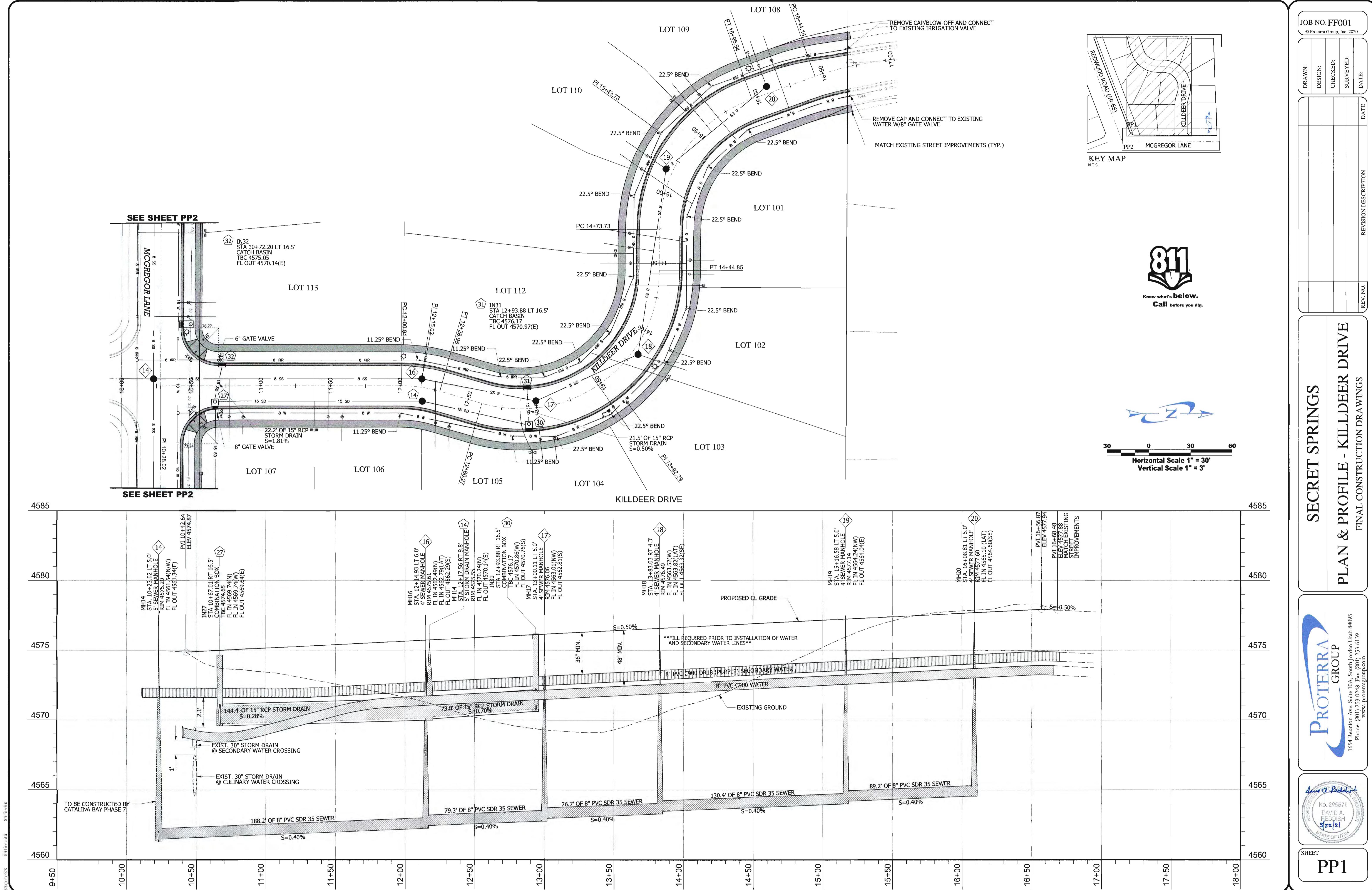
Orifice
 $Q=KA(2GH)^{0.5}$

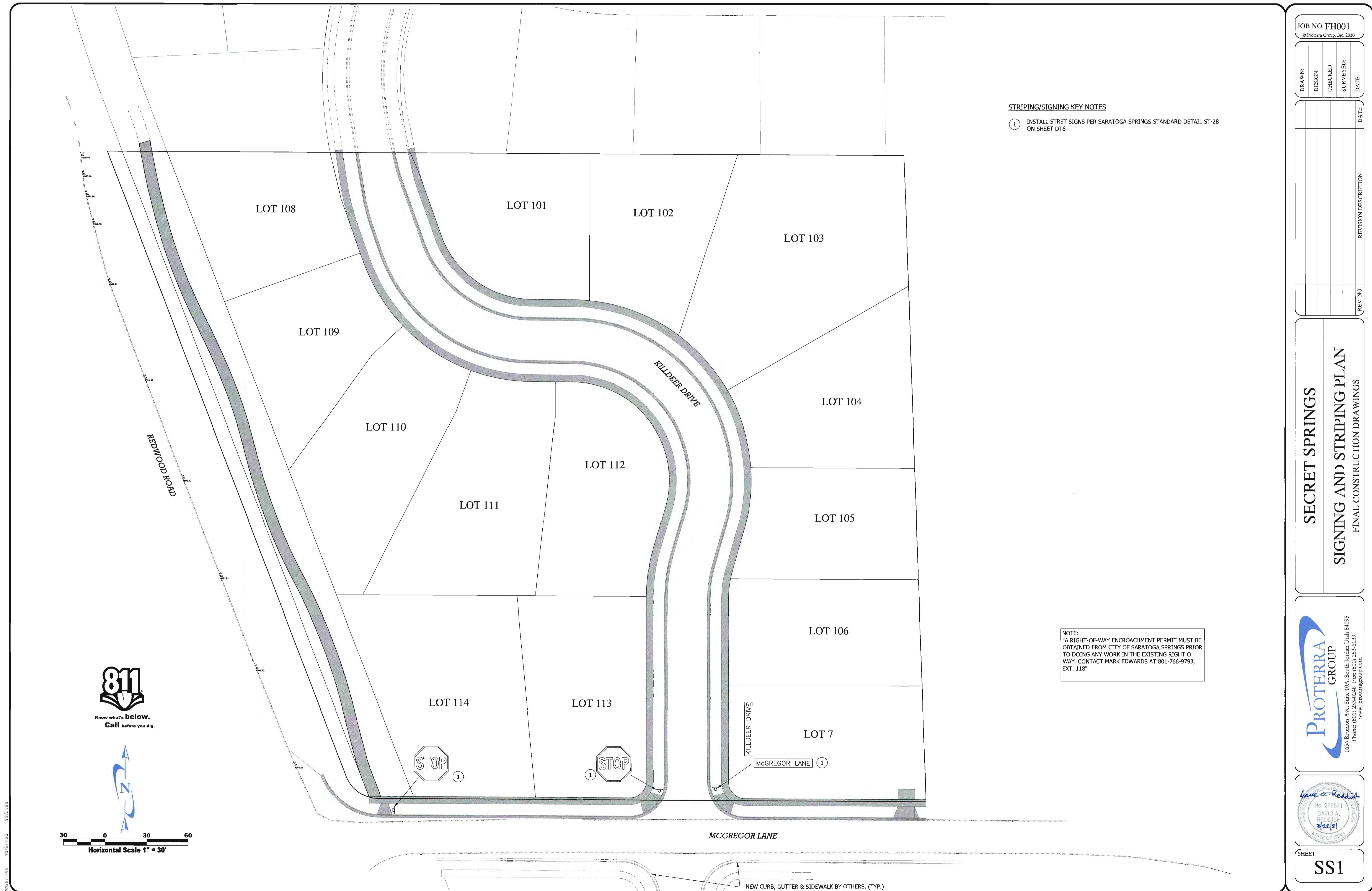
$Q=0.17$ cfs
K= 0.65
A= 0.03 ft-sq
G= 32.2 ft-sq/sec
H= 1.6 ft - measured from thebc to flowline of pipe

SHEET
GP2

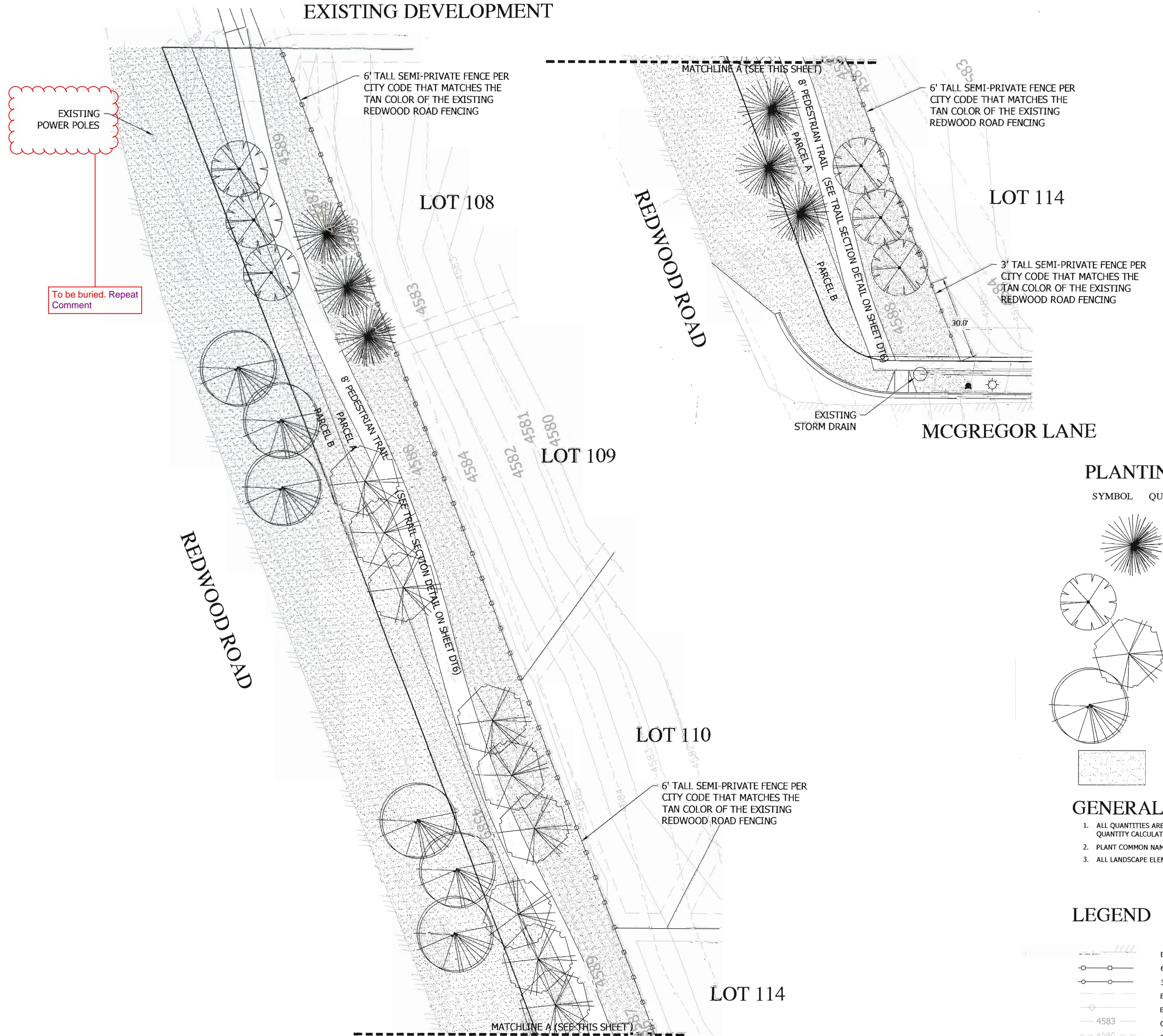
10 0 10 20
Horizontal Scale 1" = 10'



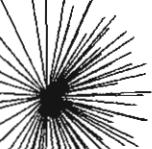




EXISTING DEVELOPMENT



PLANTING LEGEND

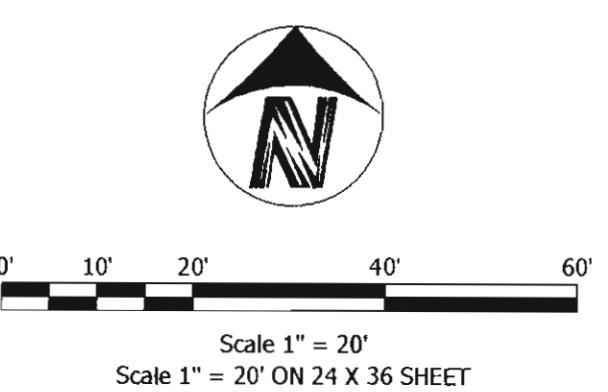
SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
	6	COLORADO BLUE SPRUCE	<i>Picea pungens glauca 'Baker'</i>	6' Tall min.	
	6	BIG TOOTH MAPLE	<i>Acer grandidentatum</i>	2" Caliper	
	9	VILLAGE GREEN ZELKOVA	<i>Zelkova serrata 'Village Green'</i>	2" Caliper	
	6	COMMON HACKBERRY	<i>Celtis occidentalis</i>	2" Caliper	
	31,790 SF	TURF-GRASS			Use "Blue Ribbon Seed Blend" from Granite Seed, "Drought Tolerant Sod/Seed" from Chanshare Farms, "Bioblue Sod/Seed" from Biograss Sod Farms, or approved equal.

GENERAL NOTES

1. ALL QUANTITIES ARE SHOWN AS AN AID ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR ALL ACTUAL QUANTITY CALCULATIONS.
2. PLANT COMMON NAMES ARE SHOWN AS AN AID ONLY. USE BOTANICAL NAME WHEN PURCHASING ALL PLANT MATERIAL.
3. ALL LANDSCAPE ELEMENTS MUST BE INSTALLED PER SARATOGA SPRINGS CITY REQUIREMENTS.

LEGEND

 EDGE OF ASPHALT
 6' TALL PRIVATE FENCE (MATCH EXISTING TAN COLOR)
 3' TALL PRIVATE FENCE (MATCH EXISTING TAN COLOR)
 EASEMENT
 EXISTING POWER POLES TO REMAIN
 4583 CONTOUR LINES (PROPOSED)
 4590 CONTOUR LINES (EXISTING)
 MATCHLINE
 FIRE HYDRANT
 STREET LIGHT



MEET

SECRET SPRINGS

LANDSCAPE PLAN

FINAL CONSTRUCTION DRAWINGS

AMANDA
WIBERG
3-22-21
694-3115-5301
STATE OF UTAH

If the City Council decides to take the trail area, the Parks Department will have to review the landscaping one more time.

**LANDERSON SURVEYING
& LAND DEVELOPMENT**
2097 LONE TREE PARKWAY
EAGLE MOUNTAIN, UT 84005
(801)870-9678

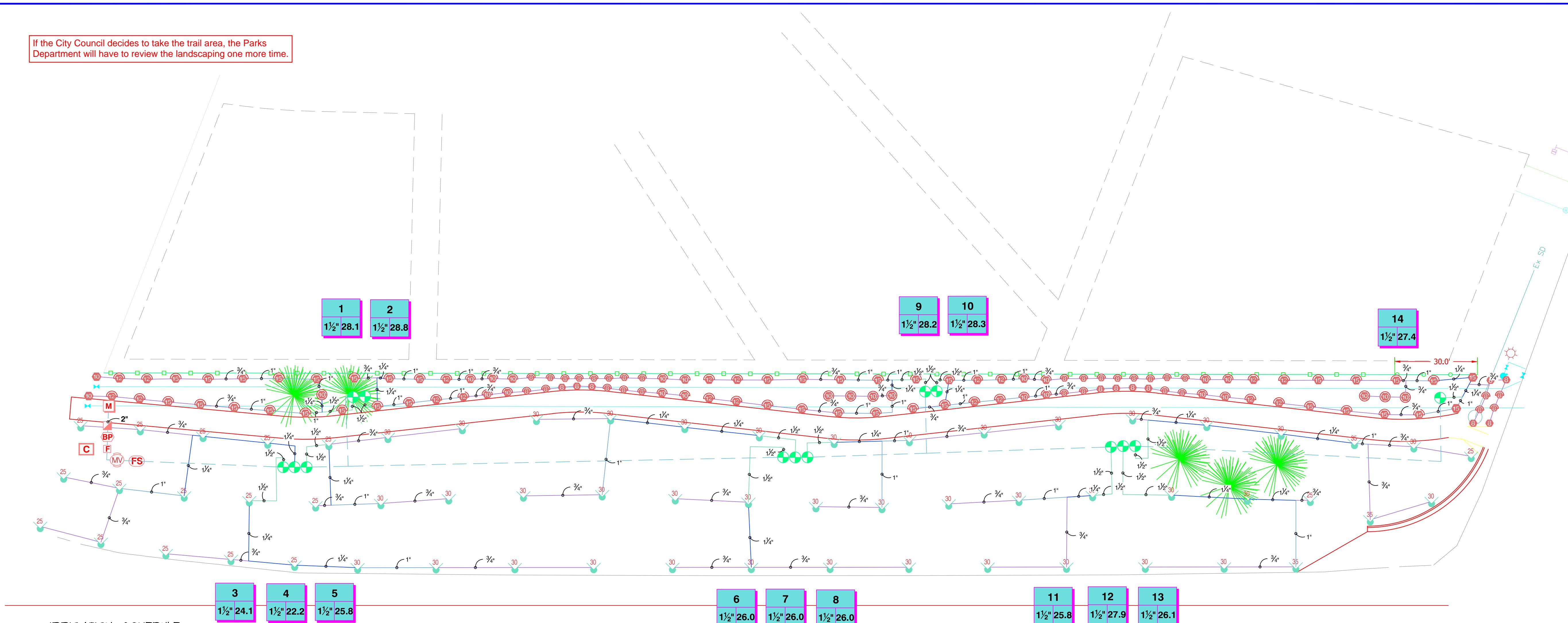
10 of 10

**ANDERSON SURVEYING
& LAND DEVELOPMENT**
2097 LONE TREE P.
EAGLE MOUNTAIN
(801)870-96

卷之三

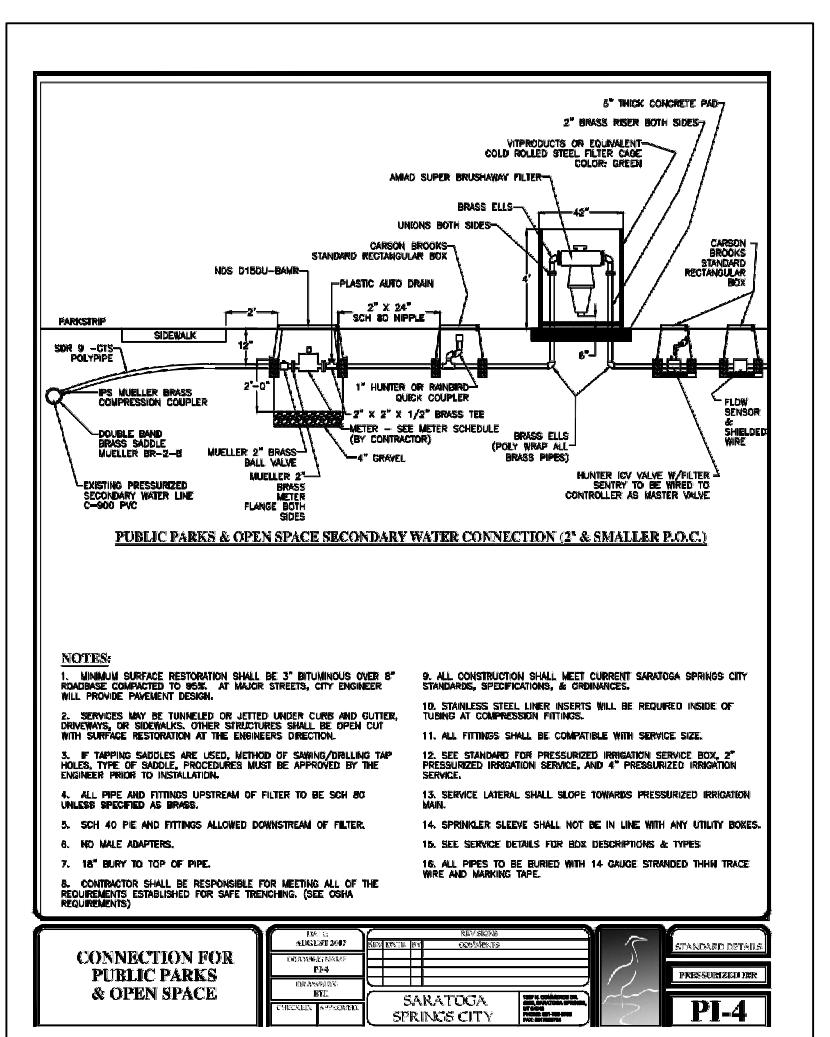
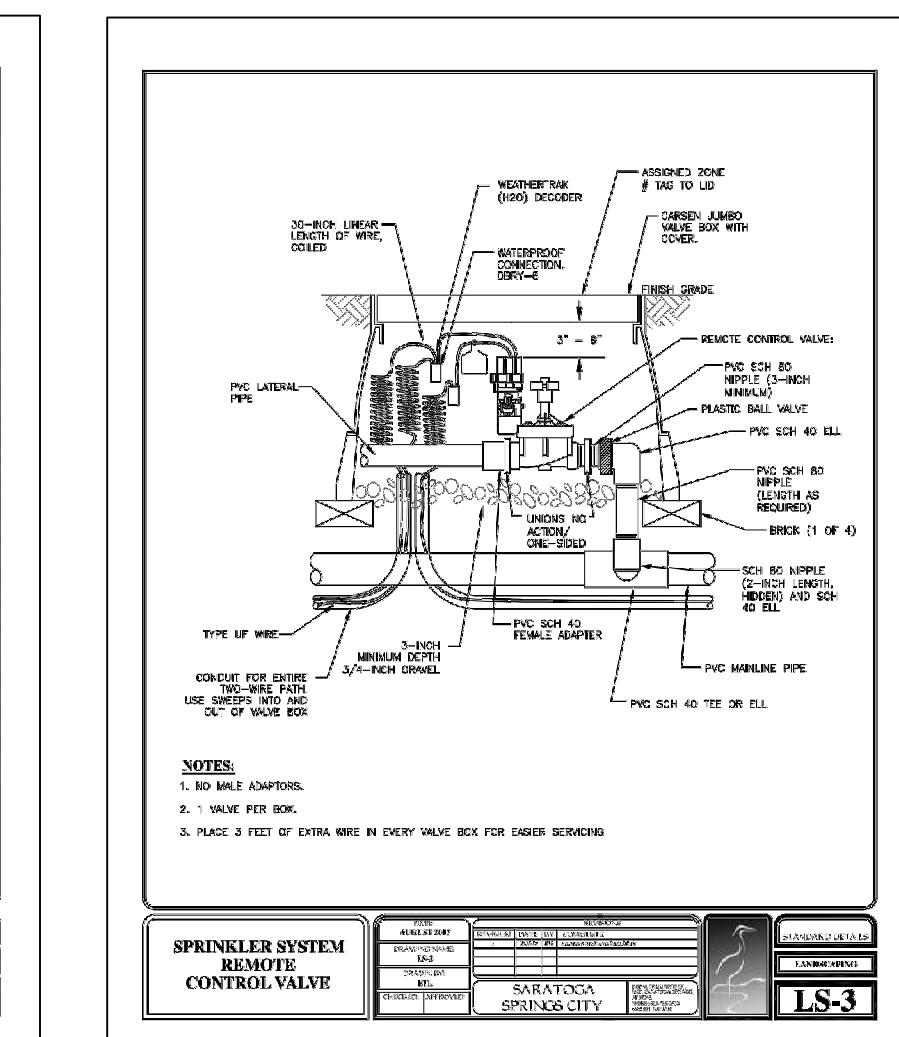
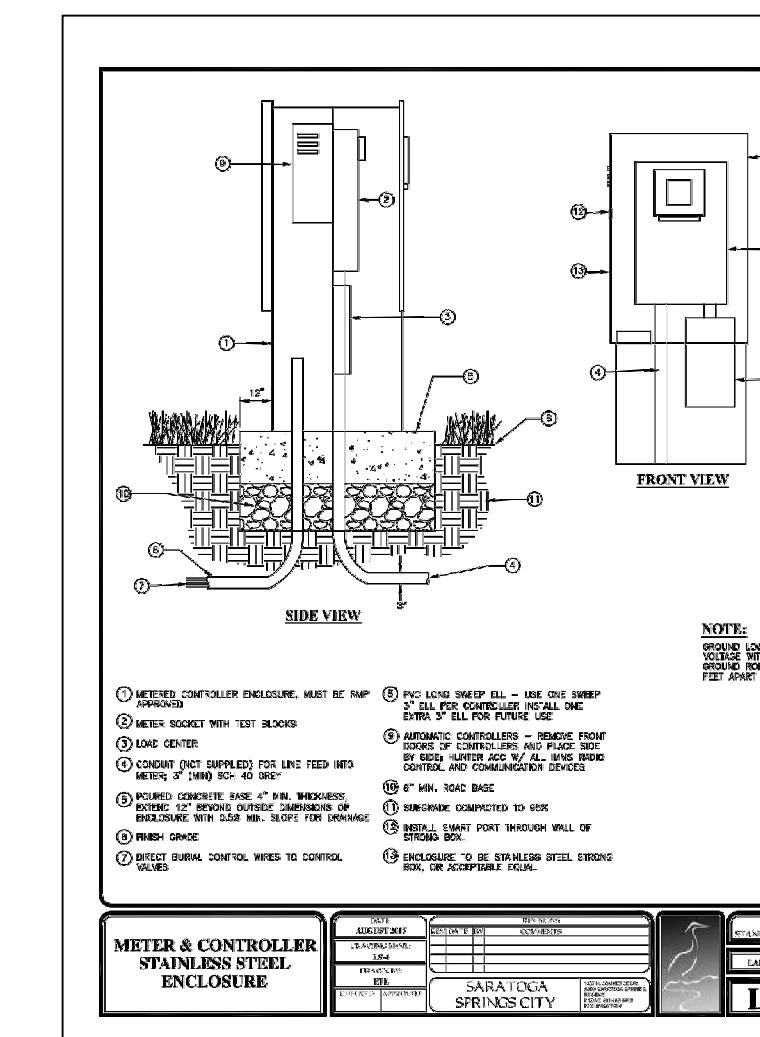
SECRET SPRING SUBDIVISION
SARATOGA SPRINGS, UTAH
UTAH COUNTY, UTAH

LS2
15 FEB 2021
SCALE 1"=20'



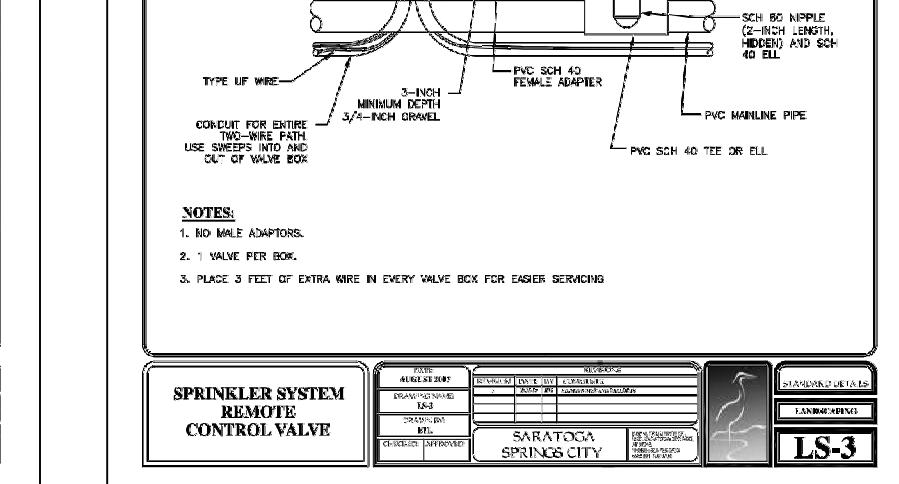
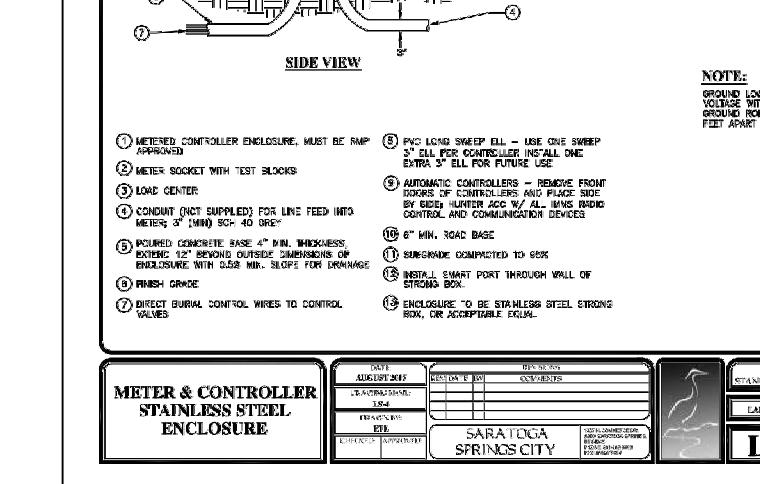
IRRIGATION SCHEDULE

<u>SYMBOL</u>	<u>MANUFACTURER/MODEL/DESCRIPTION</u>	<u>PSI</u>
 Q T H F	Rain Bird 1806-PRS 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	30



	Rain Bird 1806-PRS 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	30
	Rain Bird 1806-PRS 12 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	30

	Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	30
	Rain Bird 1806-PRS 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	30



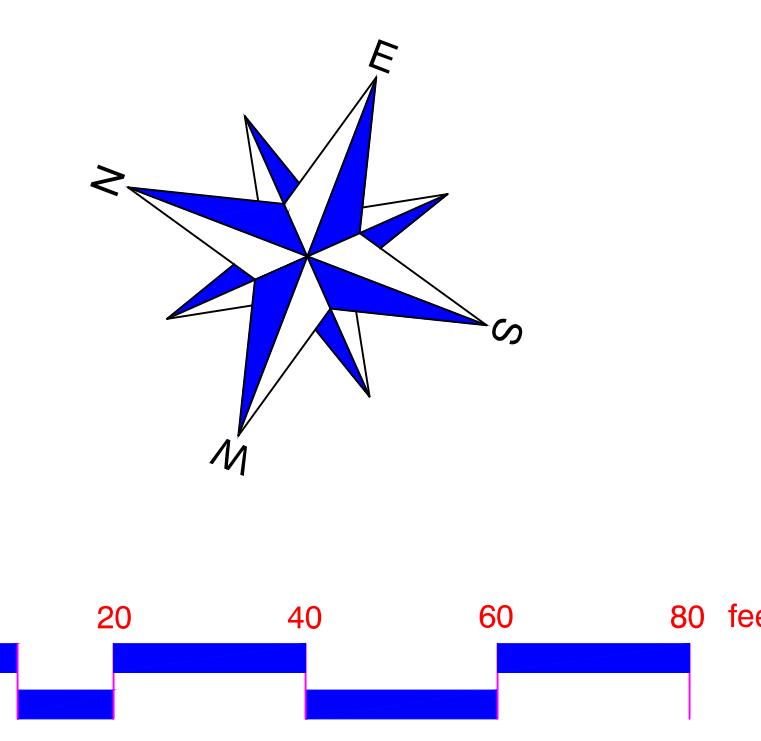
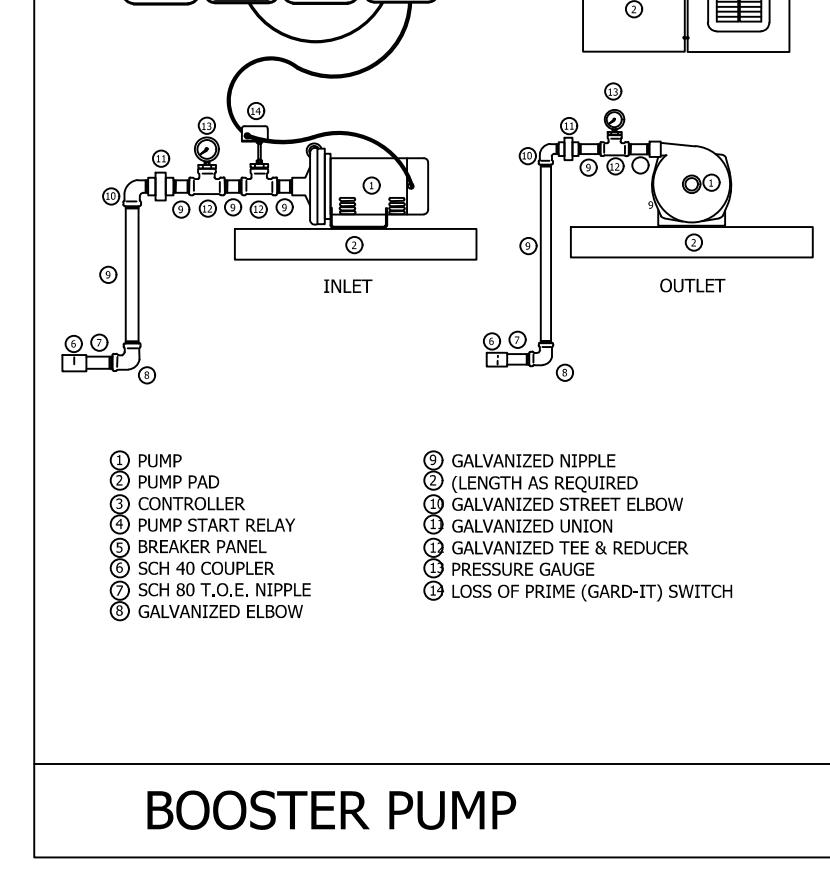
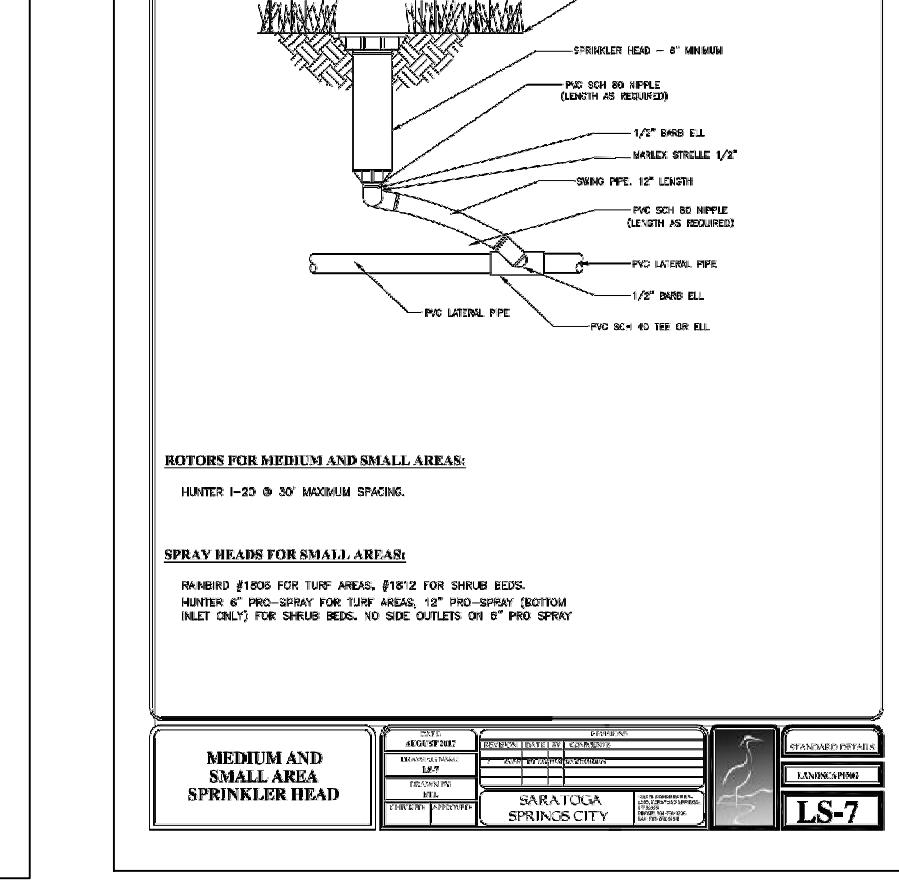
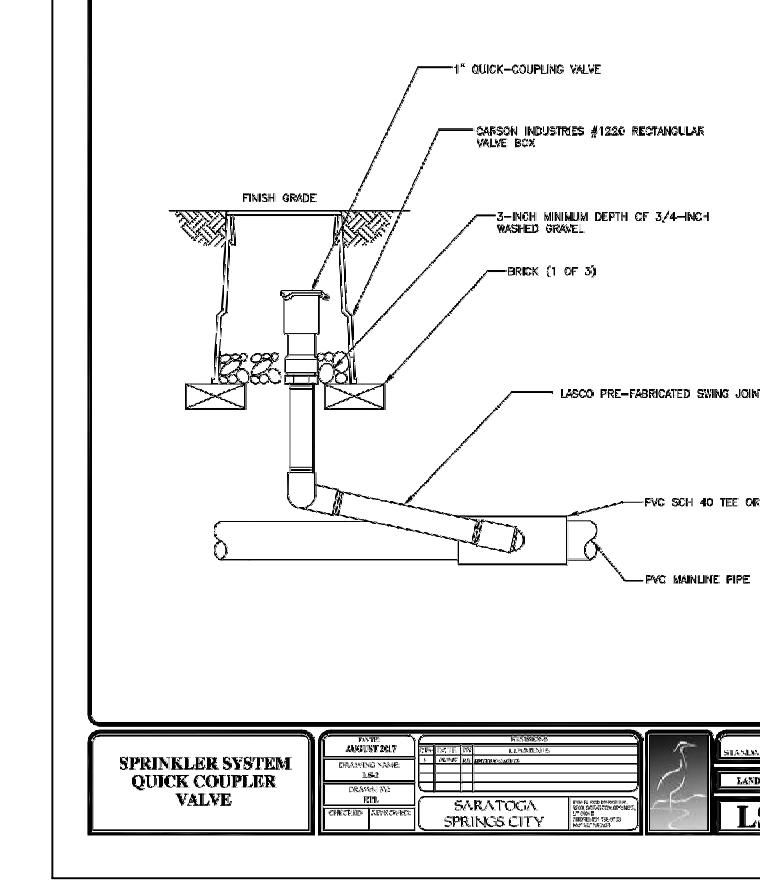
8 HE-VAN	12 HE-VAN	Rain Bird 1806-PRS HE-VAN Series	30
10 HE-VAN	15 HE-VAN	Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet, Pressure Regulating.	

 25	Hunter I-20-06-MPR Turf Rotor, 6.0" Pop-Up. Adjustable and Full Circle. Plastic Riser. Drain Check Valve. MPR Nozzle.	35	24'
 30	Hunter I-20-06-MPR Turf Rotor, 6.0" Pop-Up. Adjustable and Full Circle. Plastic Riser. Drain Check Valve. MPR Nozzle.	35	30'

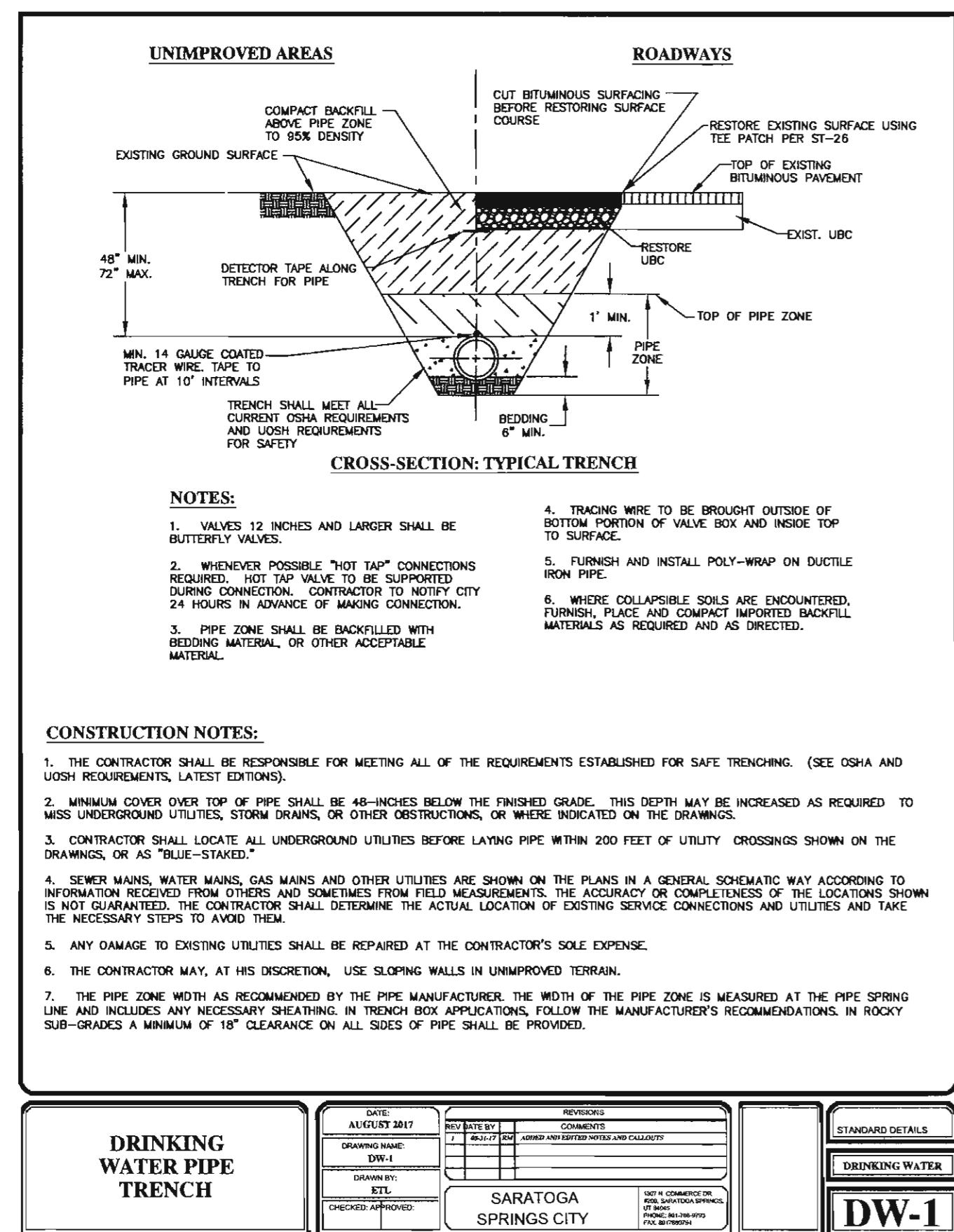


 35	Hunter I-20-06-MPR Turf Rotor, 6.0" Pop-Up. Adjustable and Full Circle. Plastic Riser. Drain Check Valve. MPR Nozzle.	35	34'
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-  Hunter ICV-G-FS 1-1/2"
1-1/2" Plastic Electric, Globe Configuration, with NPT Threaded
Inlet/Outlet, for Commercial/Municipal Use. With Filter Sentry.
-  Rain Bird 44-LRC
1" Brass Quick-Coupling Valve, with Corrosion-Resistant
Stainless Steel Spring, Locking Thermoplastic Rubber Cover,

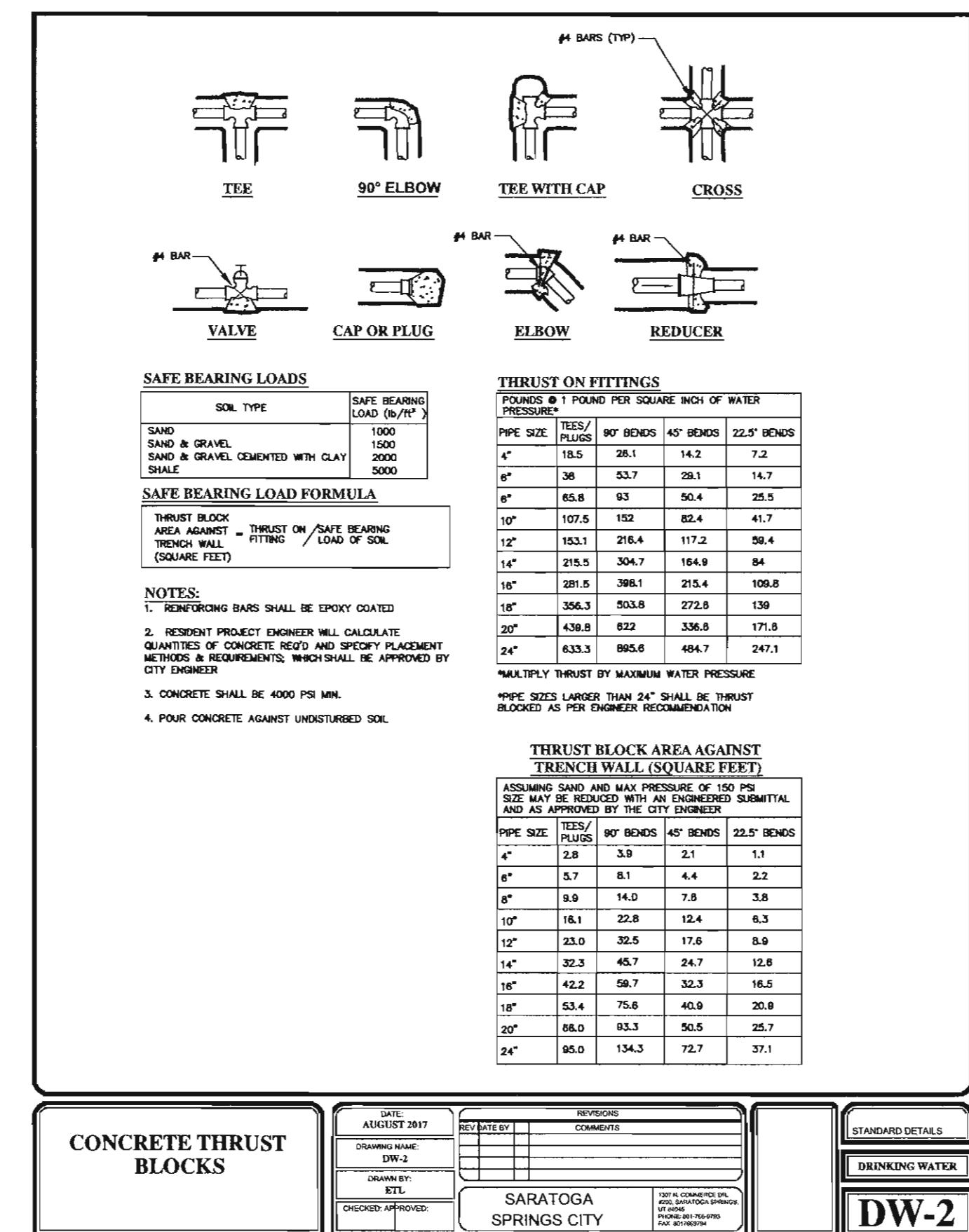


BOOSTER PUMP



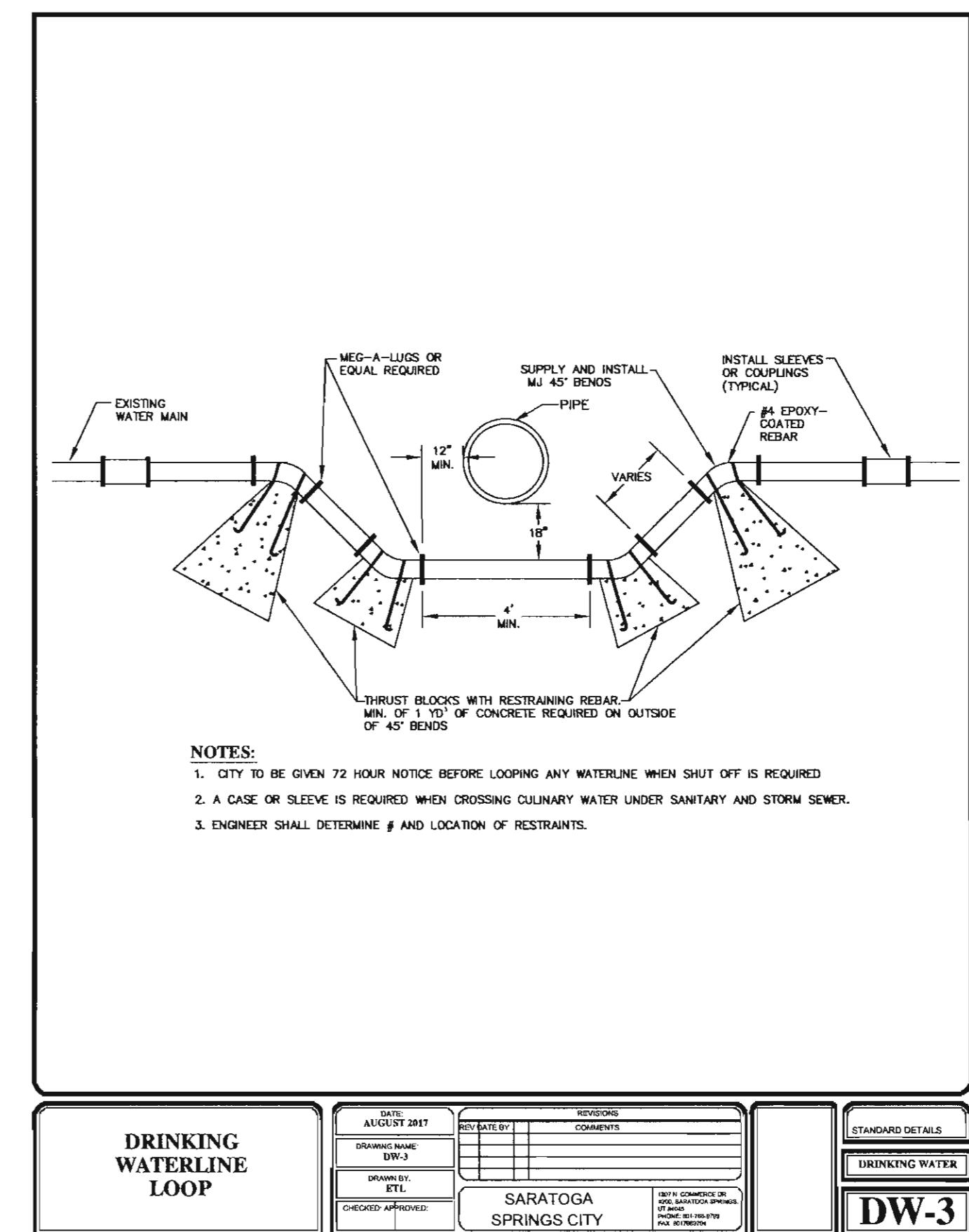
DRINKING WATER PIPE TRENCH			
DATE: AUGUST 2017	REVISIONS:	COMMENTS:	STANDARD DETAILS:
DRAWING NAME: DW-1	RE-DW-1	ARMED UNARMED HYDRAULIC	DRINKING WATER
DRAWN BY: ETL	RE-DRAWN BY:	RE-COMPILED BY:	RE-MADE BY:
CHECKED APPROVED:			

DW-1



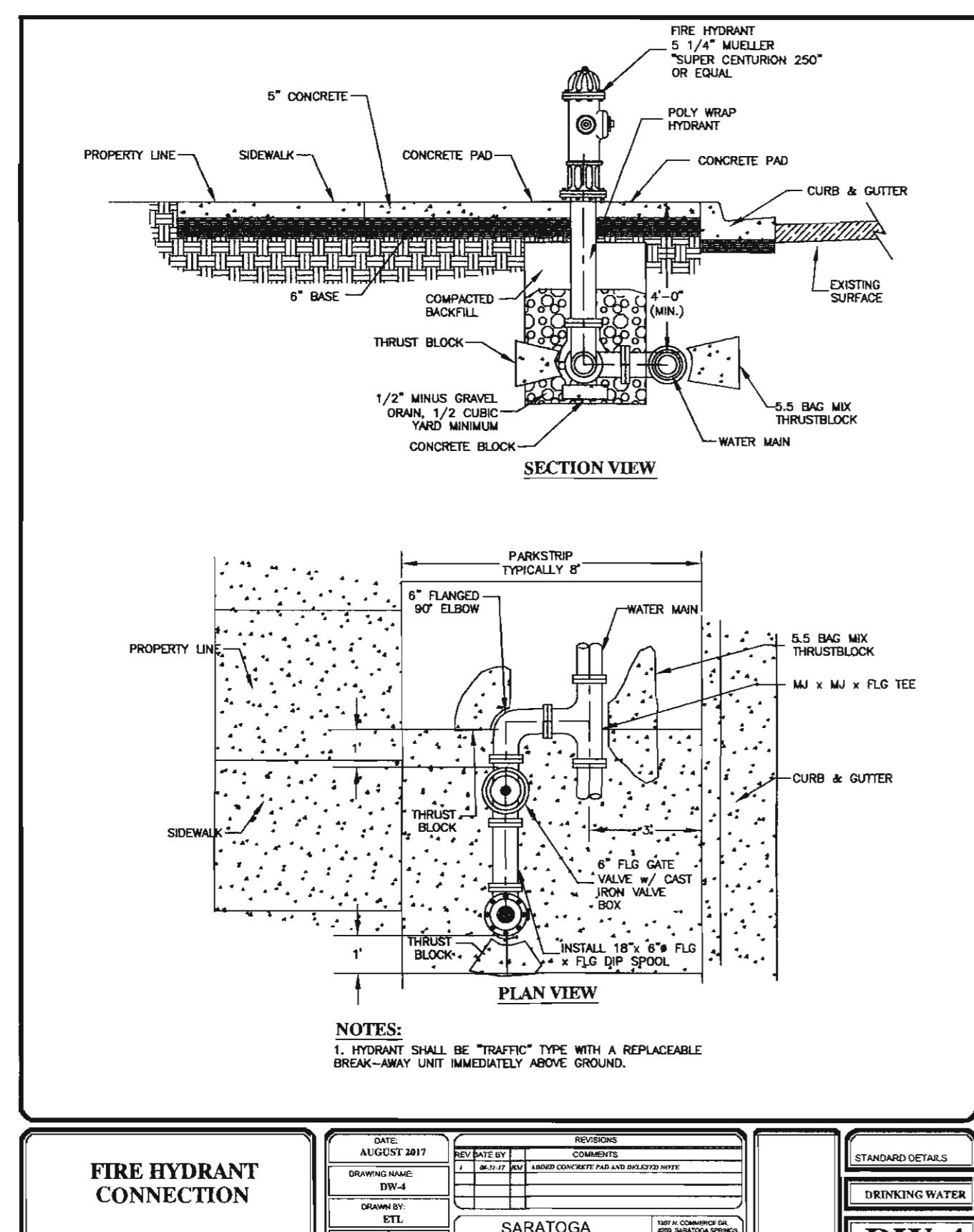
CONCRETE THRUST BLOCKS			
DATE: AUGUST 2017	REVISIONS:	COMMENTS:	STANDARD DETAILS:
DRAWING NAME: DW-2	RE-DW-2	ARMED UNARMED HYDRAULIC	DRINKING WATER
DRAWN BY: ETL	RE-DRAWN BY:	RE-COMPILED BY:	RE-MADE BY:
CHECKED APPROVED:			

DW-2



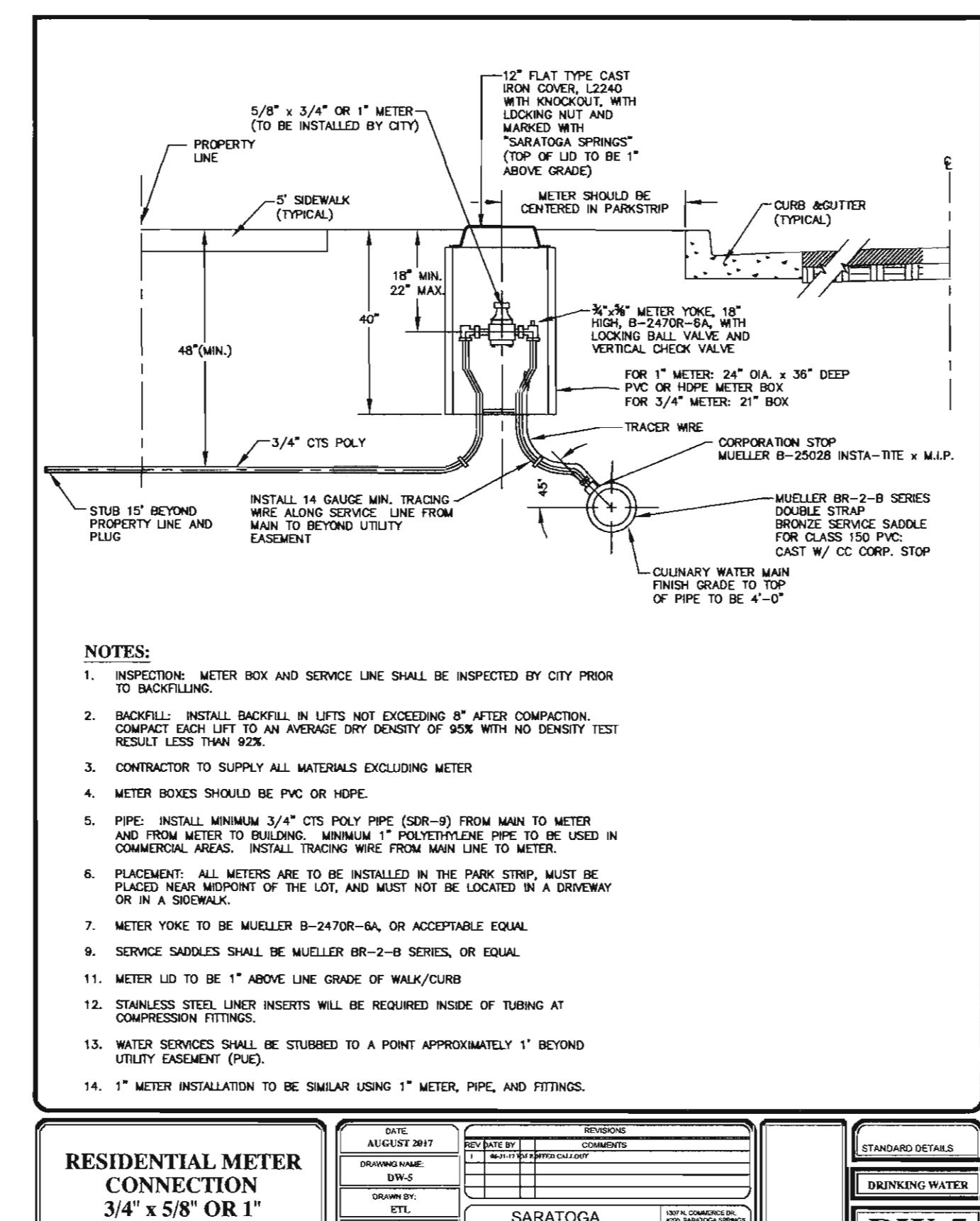
DRINKING WATERLINE LOOP			
DATE: AUGUST 2017	REVISIONS:	COMMENTS:	STANDARD DETAILS:
DRAWING NAME: DW-3	RE-DW-3	ARMED UNARMED HYDRAULIC	DRINKING WATER
DRAWN BY: ETL	RE-DRAWN BY:	RE-COMPILED BY:	RE-MADE BY:
CHECKED APPROVED:			

DW-3



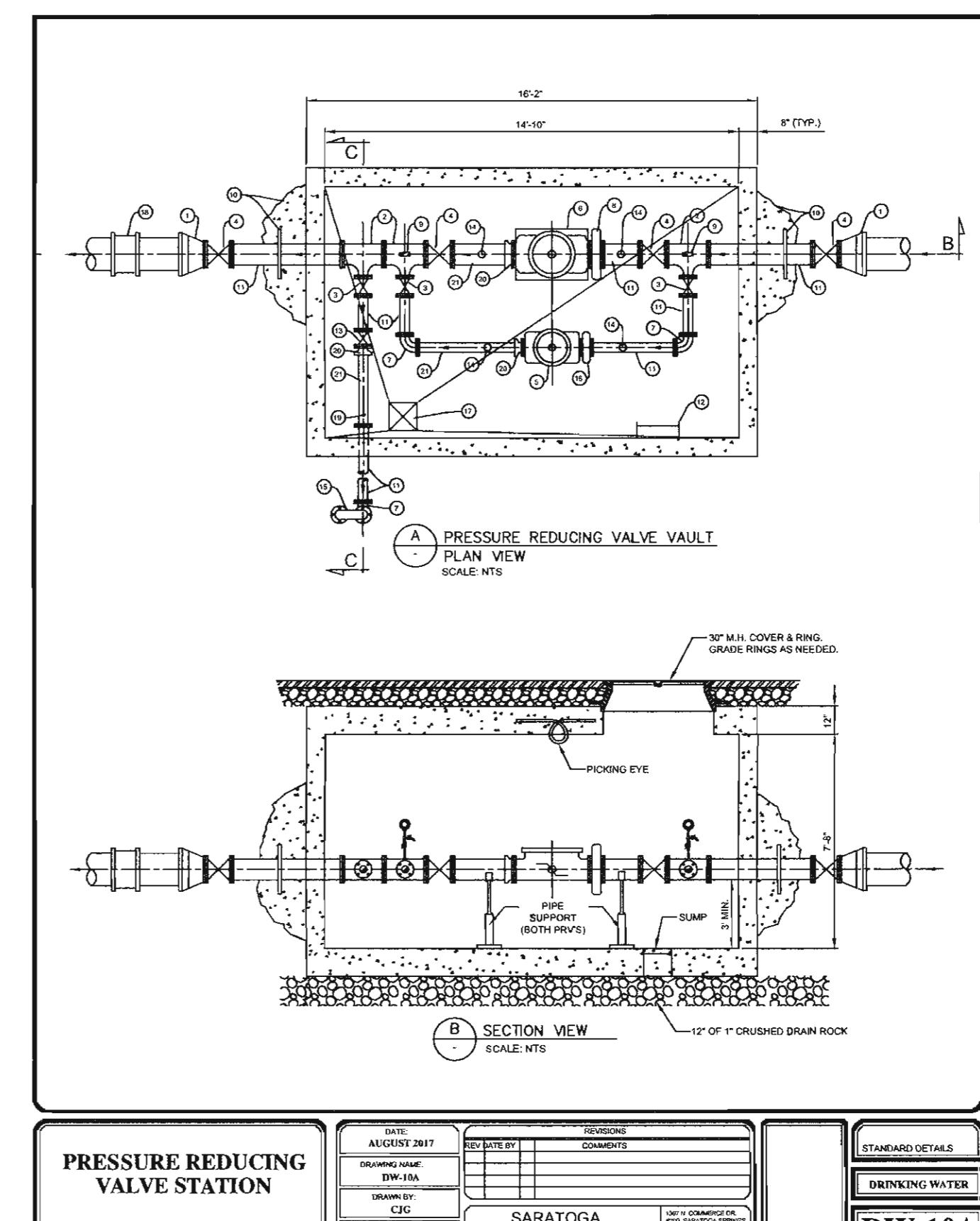
FIRE HYDRANT CONNECTION			
DATE: AUGUST 2017	REVISIONS:	COMMENTS:	STANDARD DETAILS:
DRAWING NAME: DW-4	RE-DW-4	ARMED UNARMED HYDRAULIC	DRINKING WATER
DRAWN BY: ETL	RE-DRAWN BY:	RE-COMPILED BY:	RE-MADE BY:
CHECKED APPROVED:			

DW-4



RESIDENTIAL METER CONNECTION			
DATE: AUGUST 2017	REVISIONS:	COMMENTS:	STANDARD DETAILS:
DRAWING NAME: DW-5	RE-DW-5	ARMED UNARMED HYDRAULIC	DRINKING WATER
DRAWN BY: ETL	RE-DRAWN BY:	RE-COMPILED BY:	RE-MADE BY:
CHECKED APPROVED:			

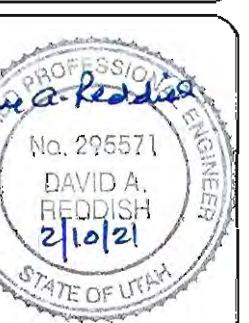
DW-5



PRESSURE REDUCING VALVE STATION			
DATE: AUGUST 2017	REVISIONS:	COMMENTS:	STANDARD DETAILS:
DRAWING NAME: DW-10A	RE-DW-10A	ARMED UNARMED HYDRAULIC	DRINKING WATER
DRAWN BY: CIG	RE-DRAWN BY:	RE-COMPILED BY:	RE-MADE BY:
CHECKED APPROVED:			

DW-10A

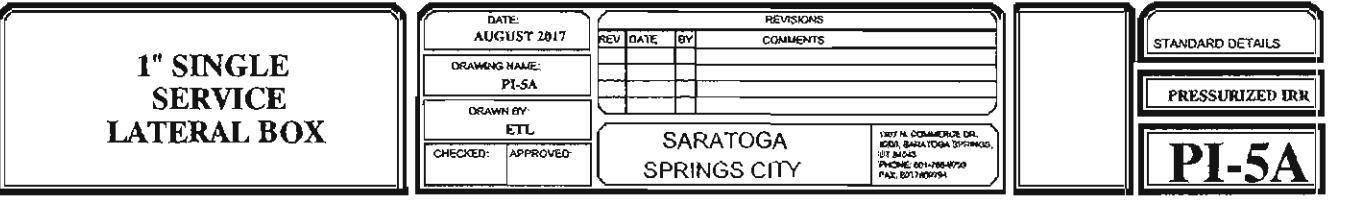
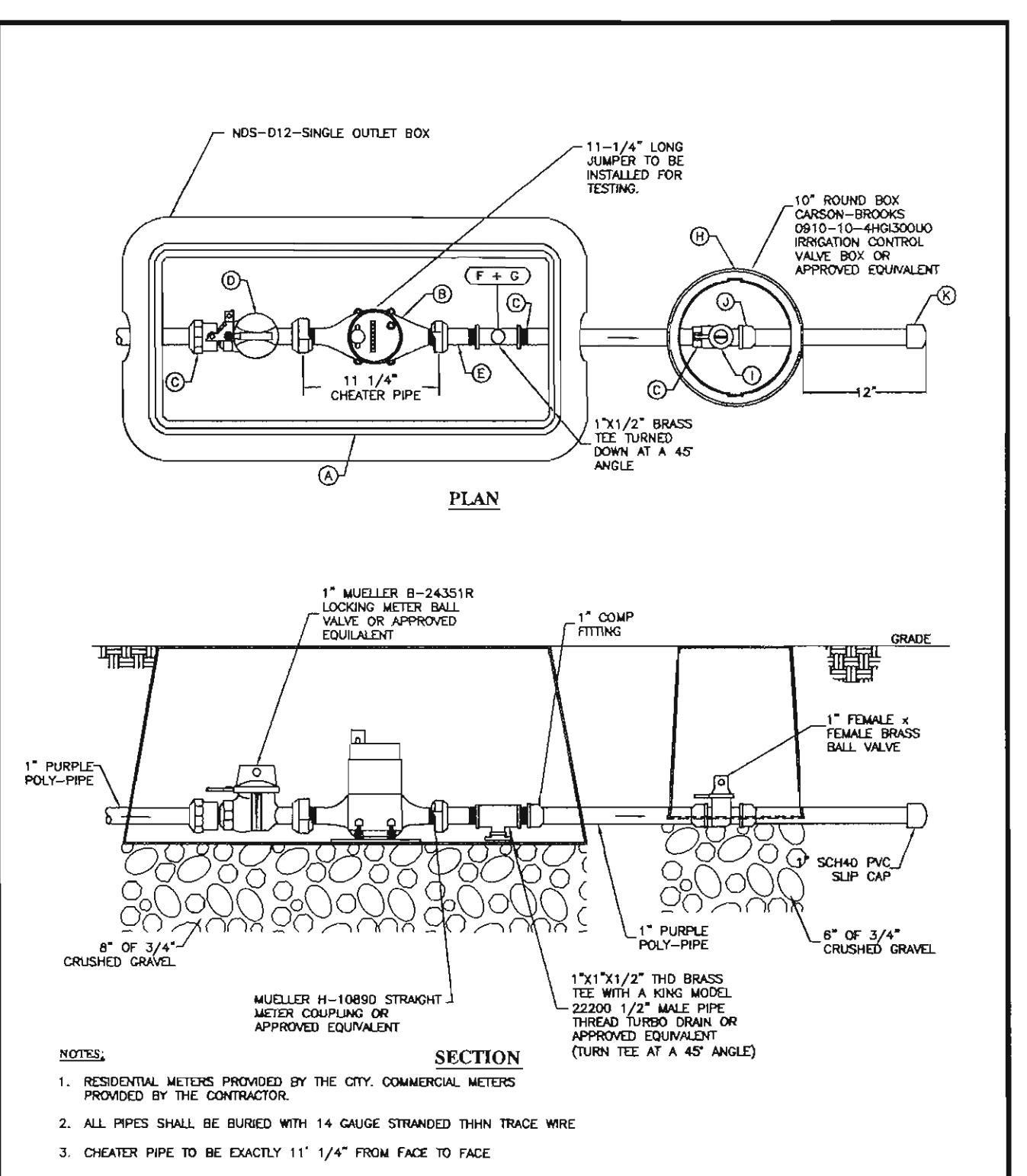
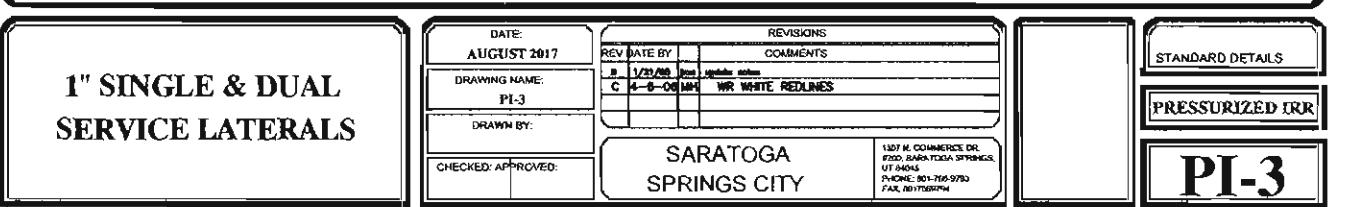
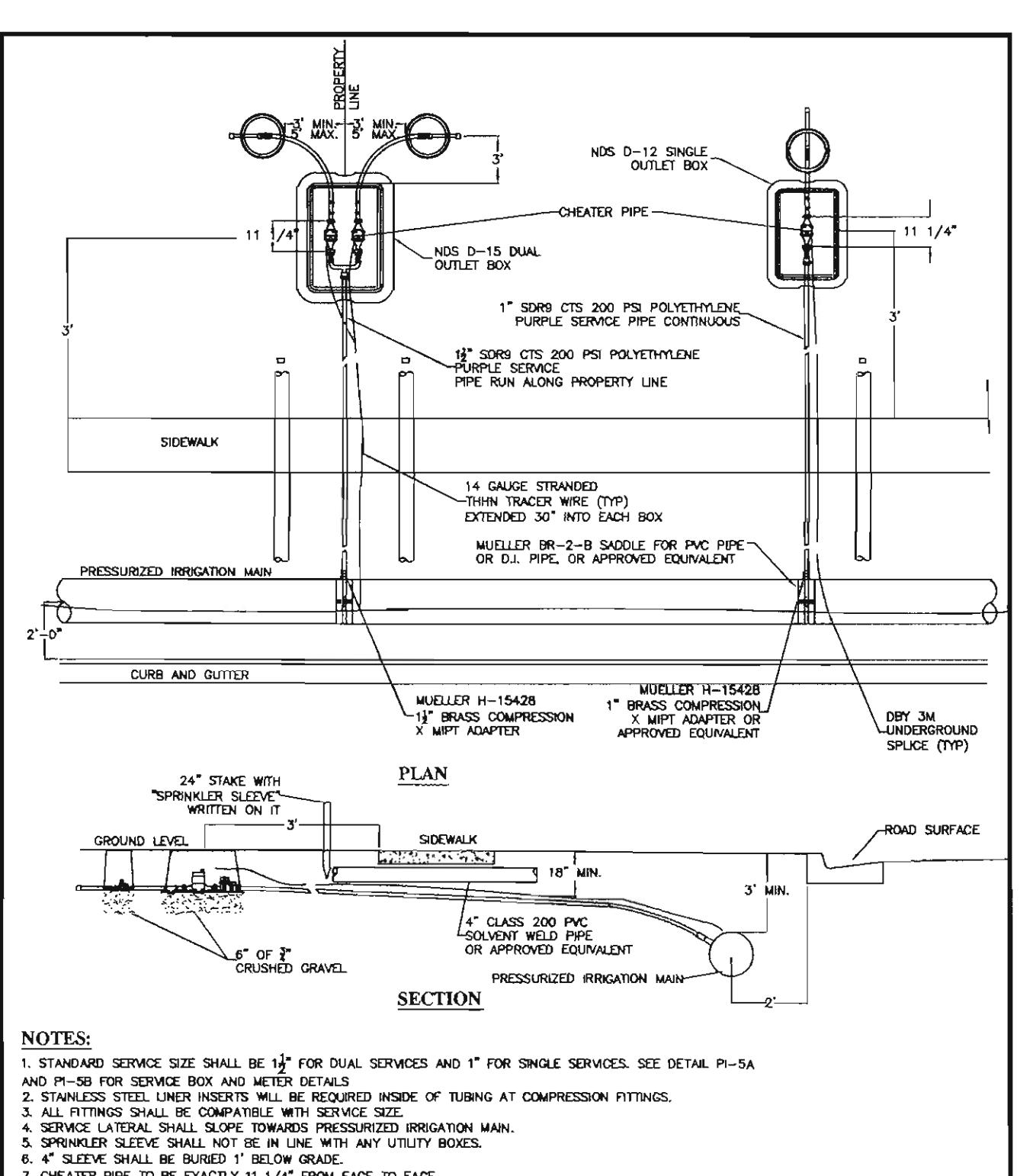
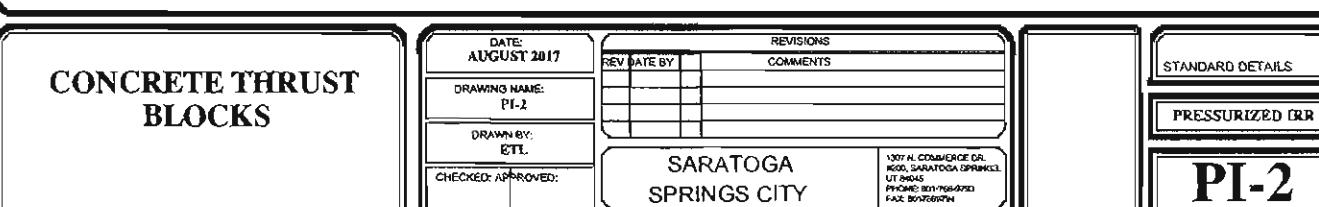
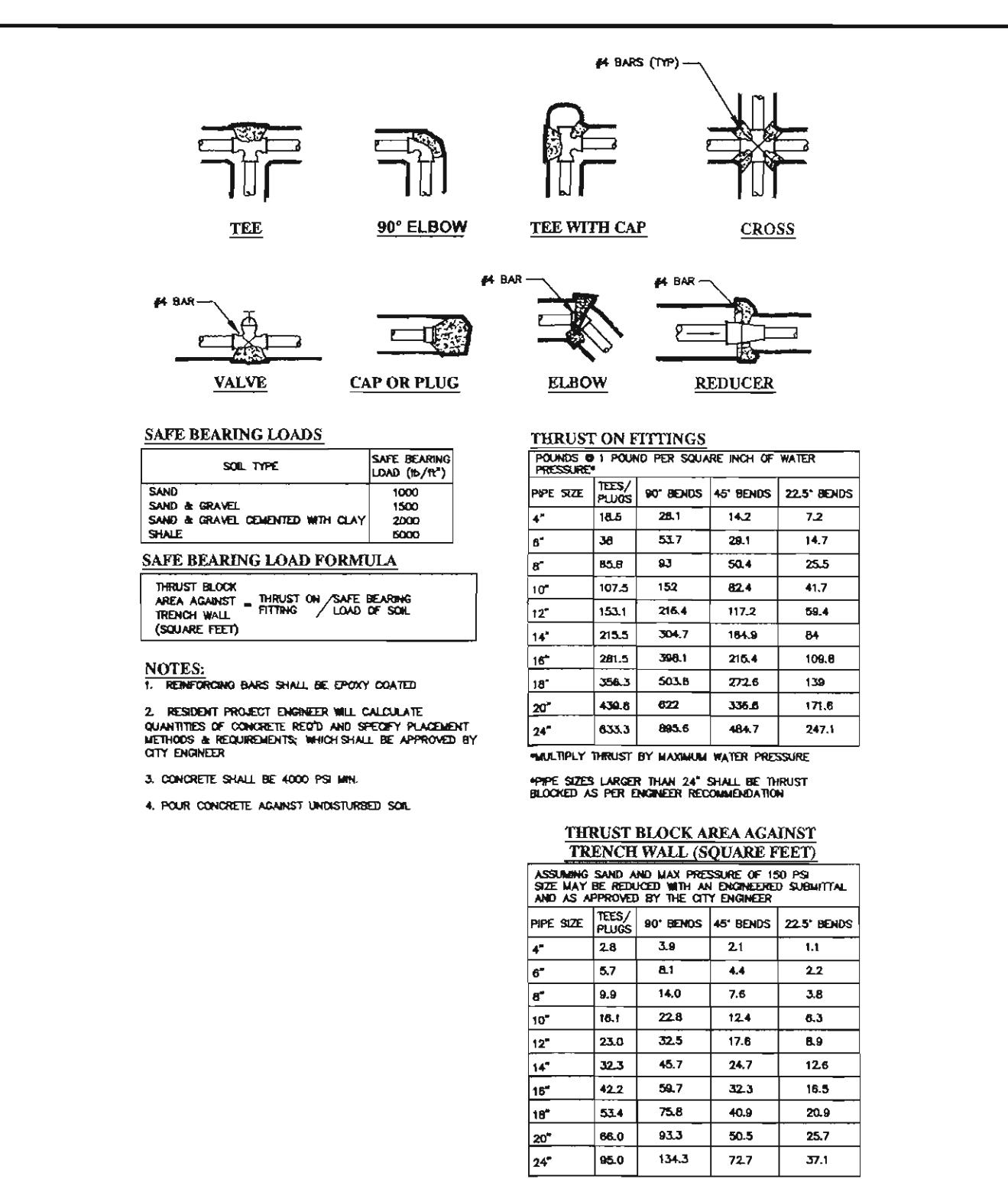
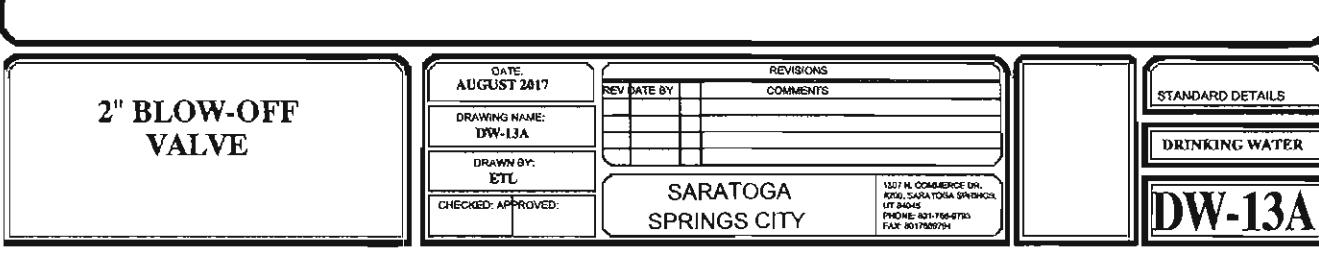
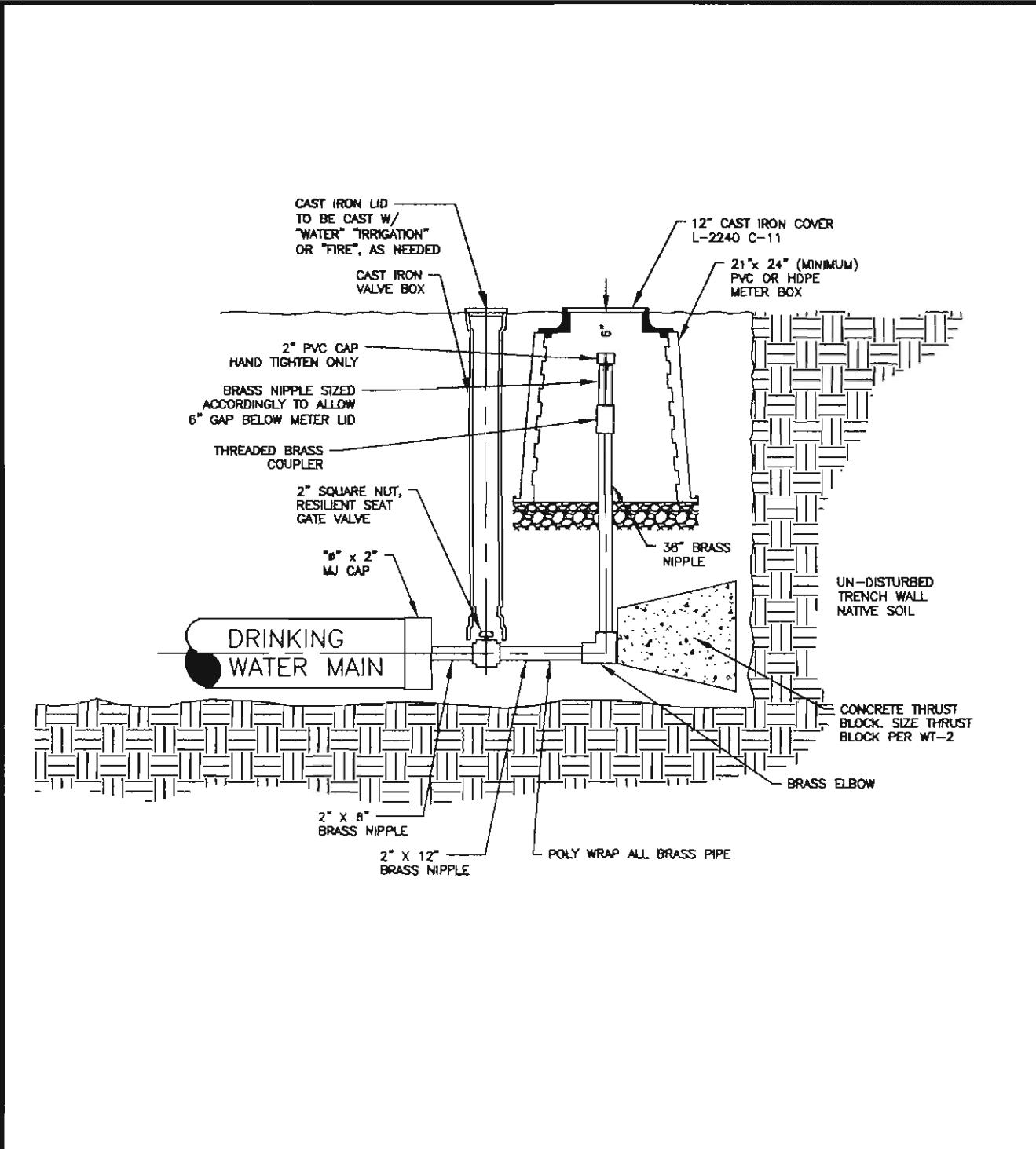
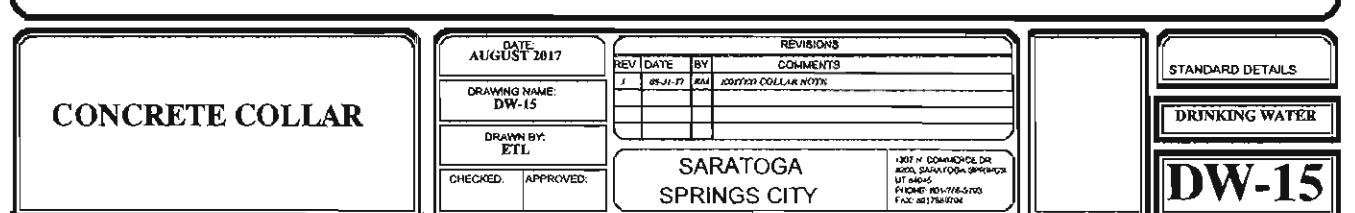
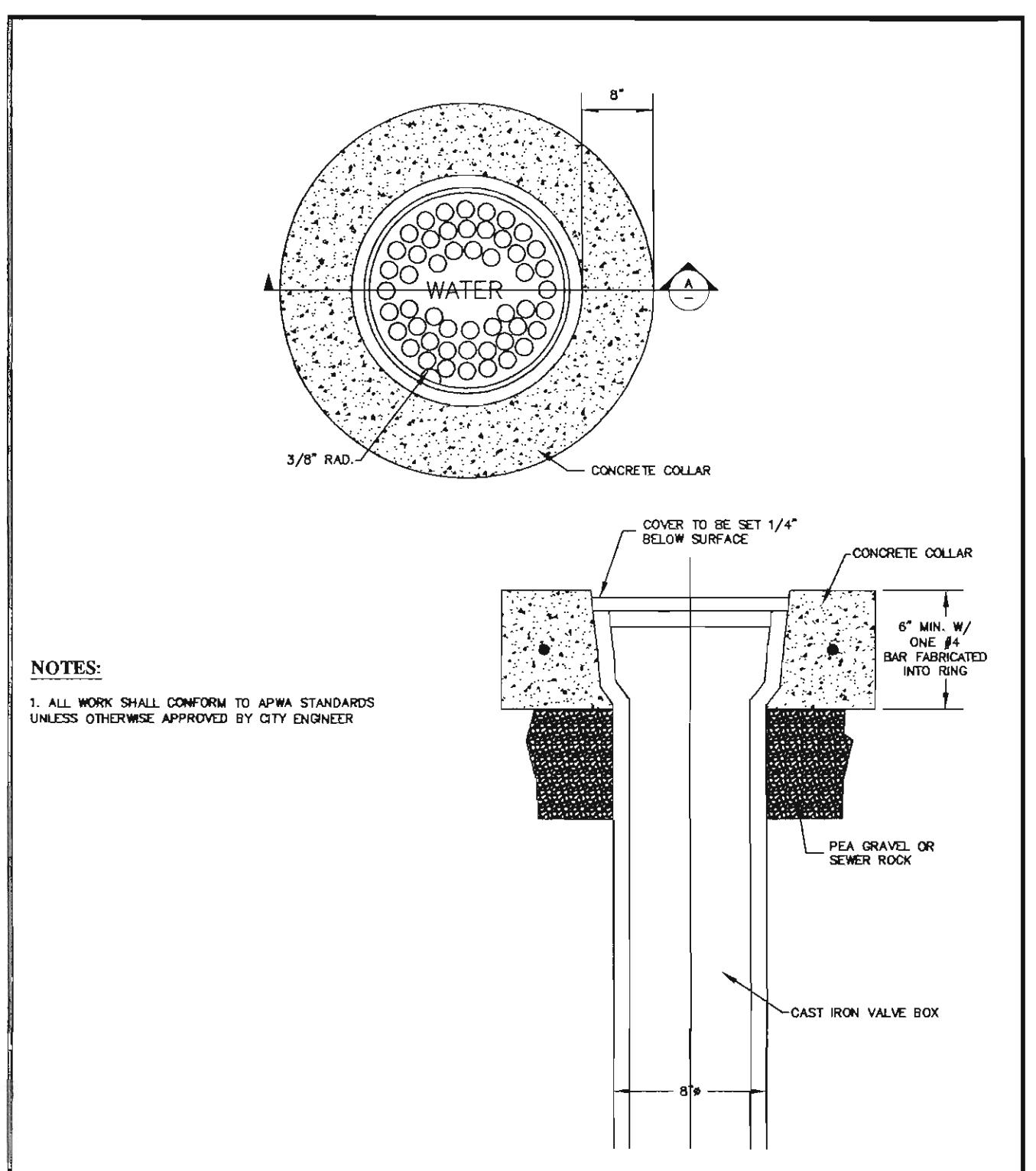
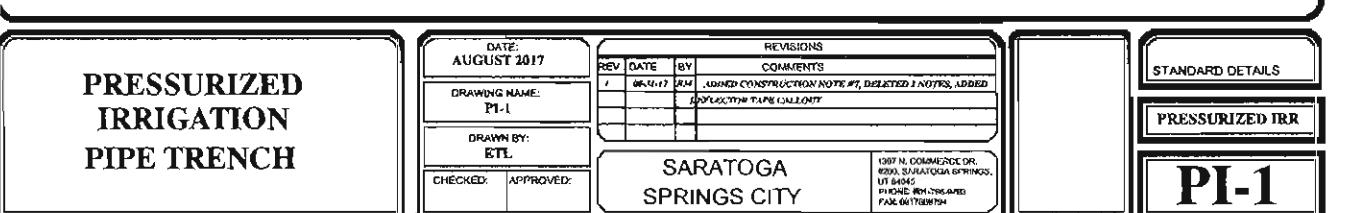
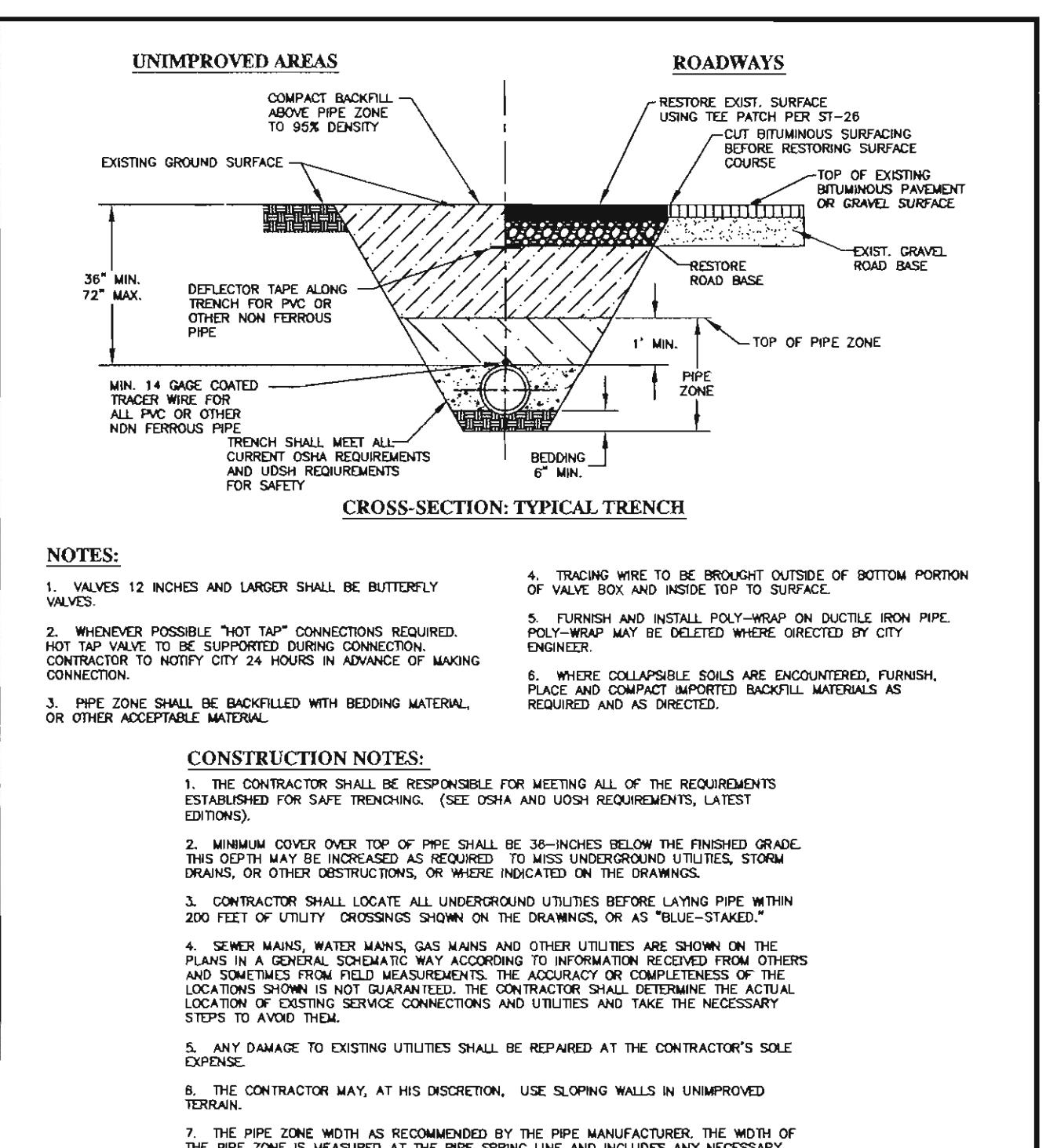
DETAIL SHEET
FINAL CONSTRUCTION DRAWINGS



SHEET



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DRAWN:
DESIGN:
CHECKED:
SURVEYED:
DATE:

DATE:

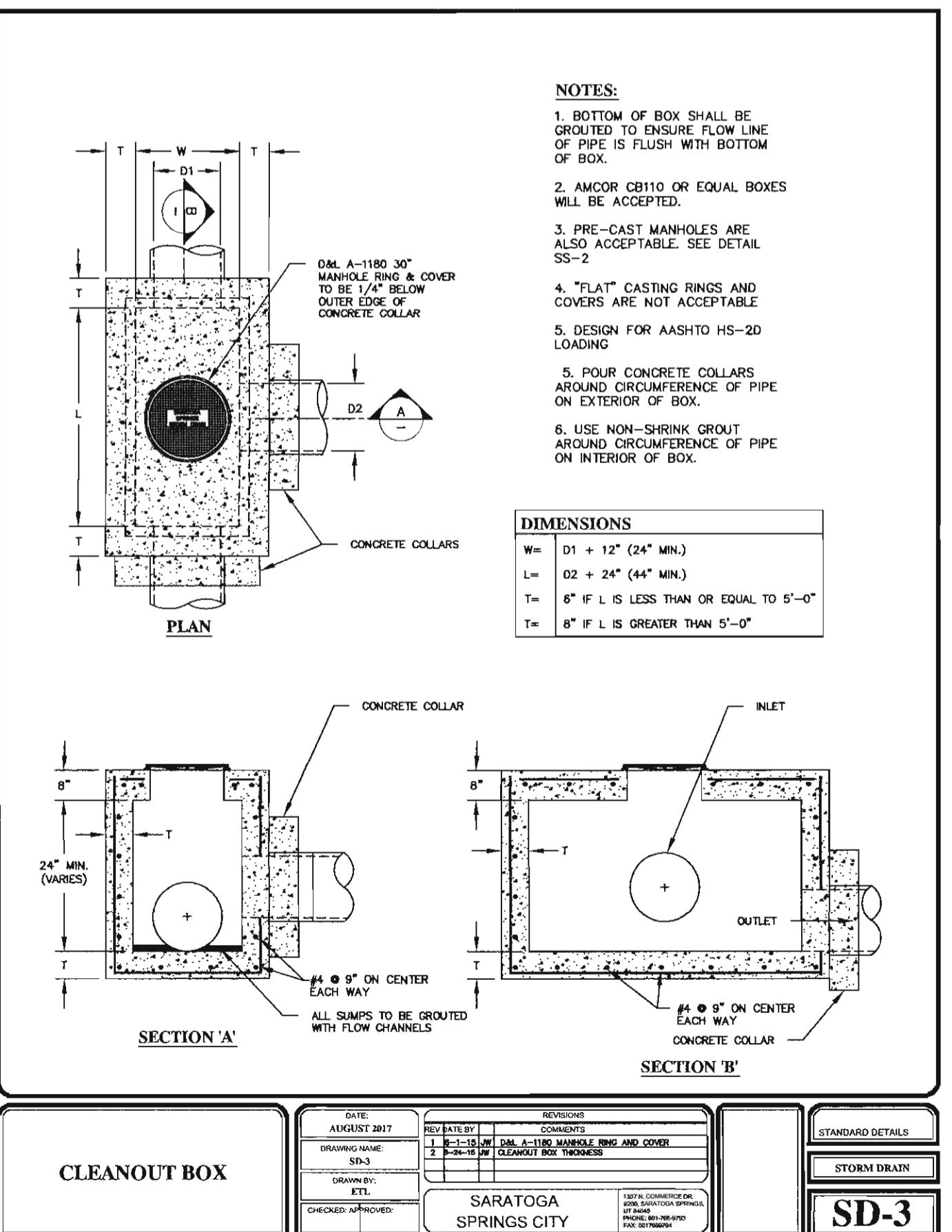
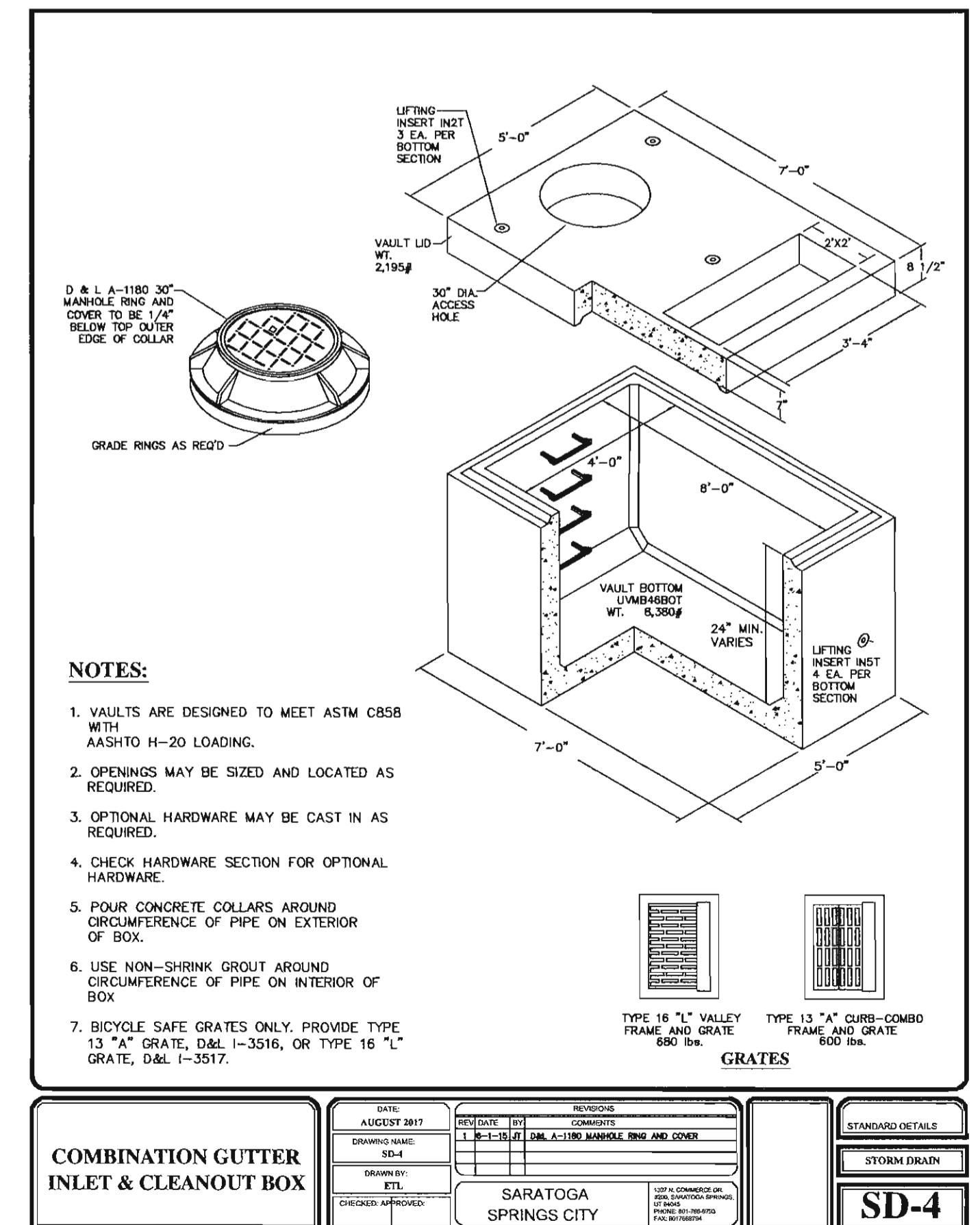
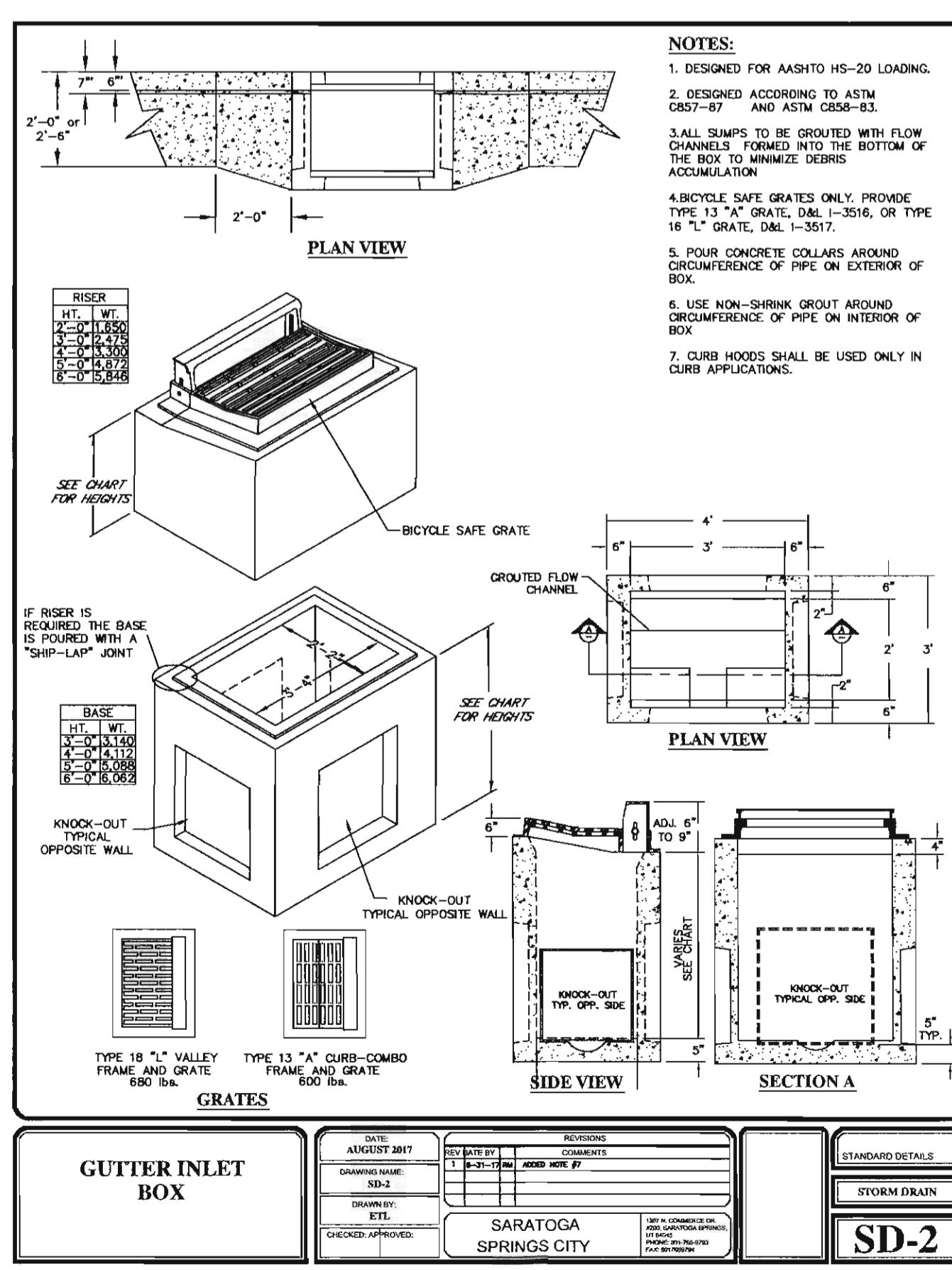
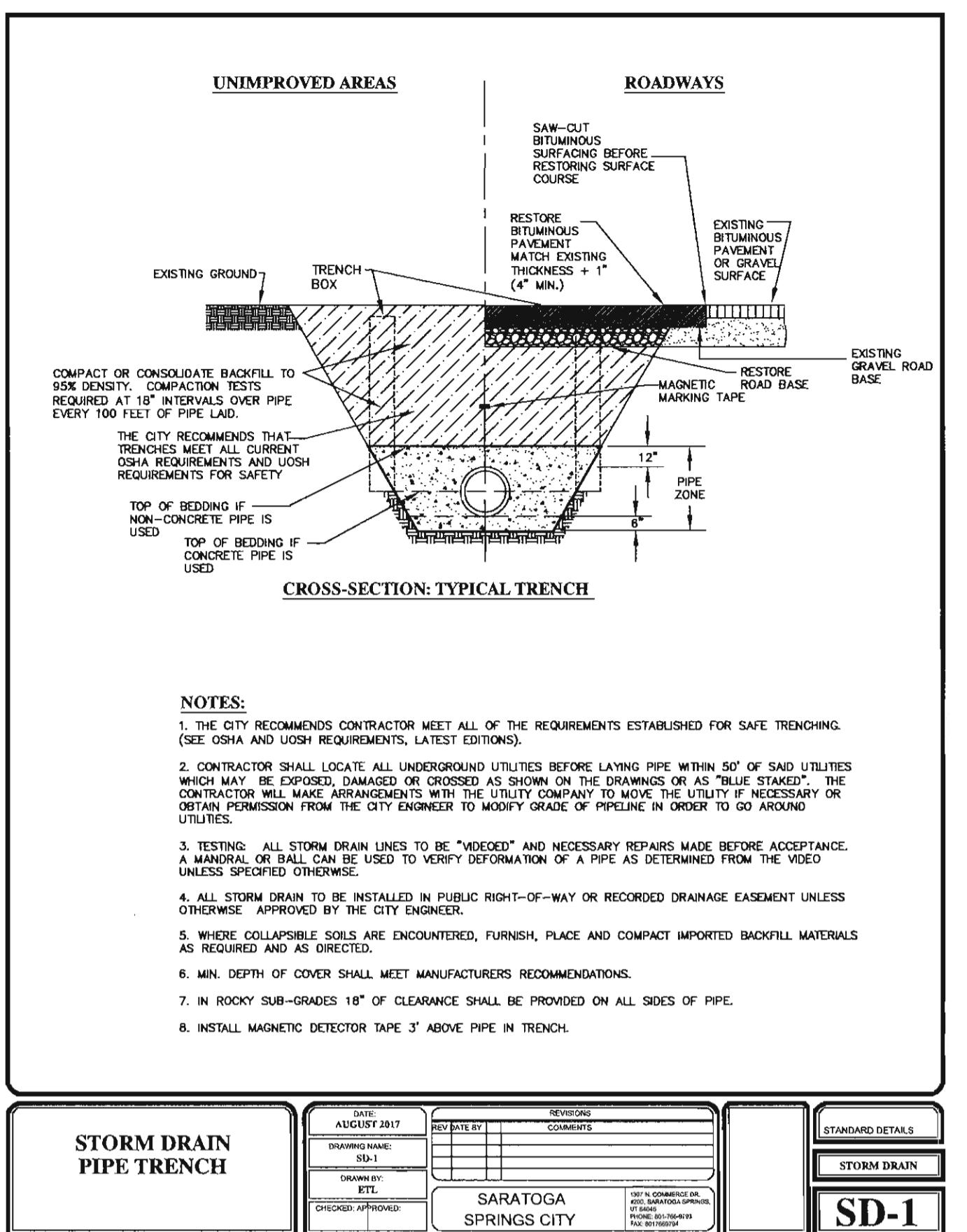
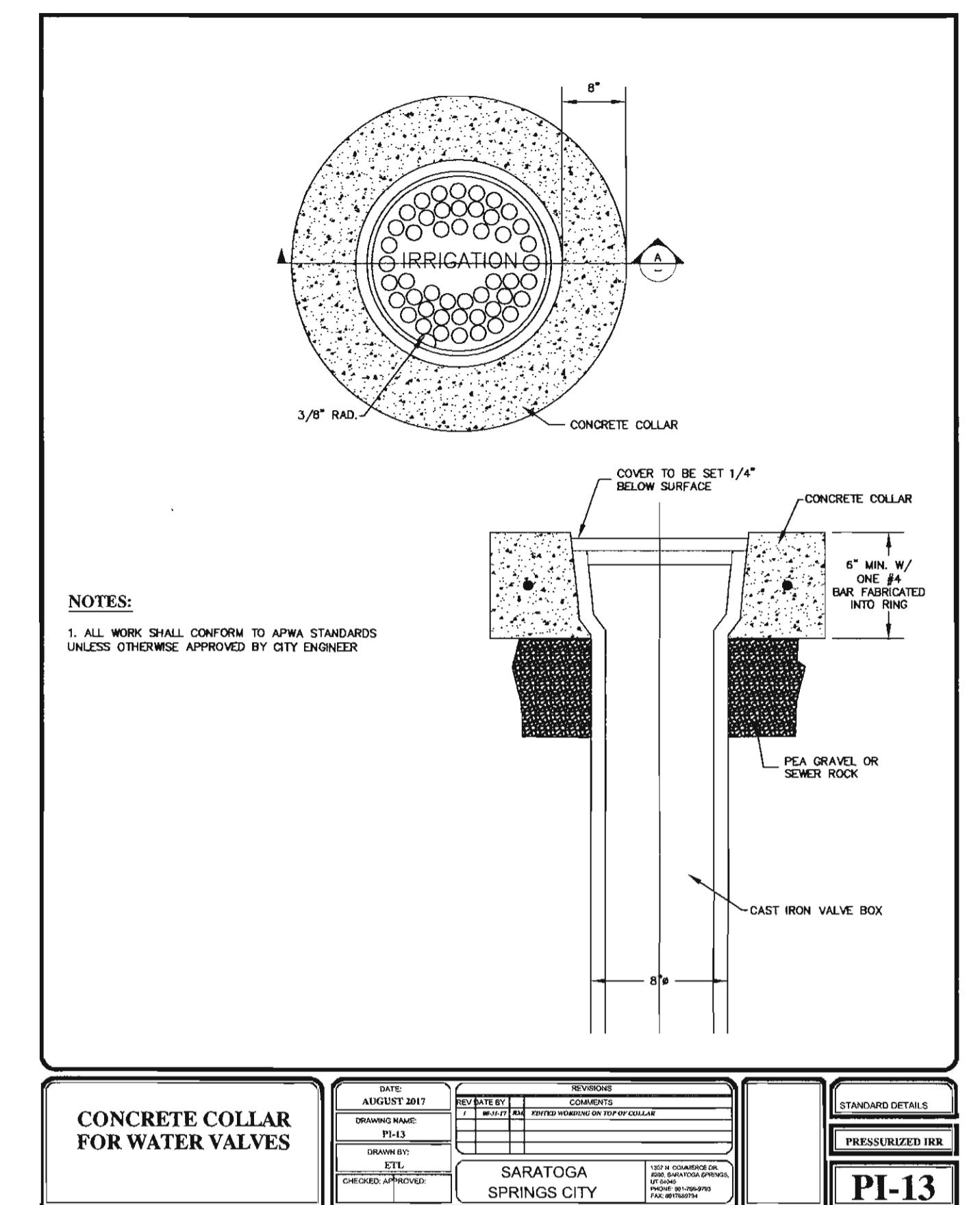
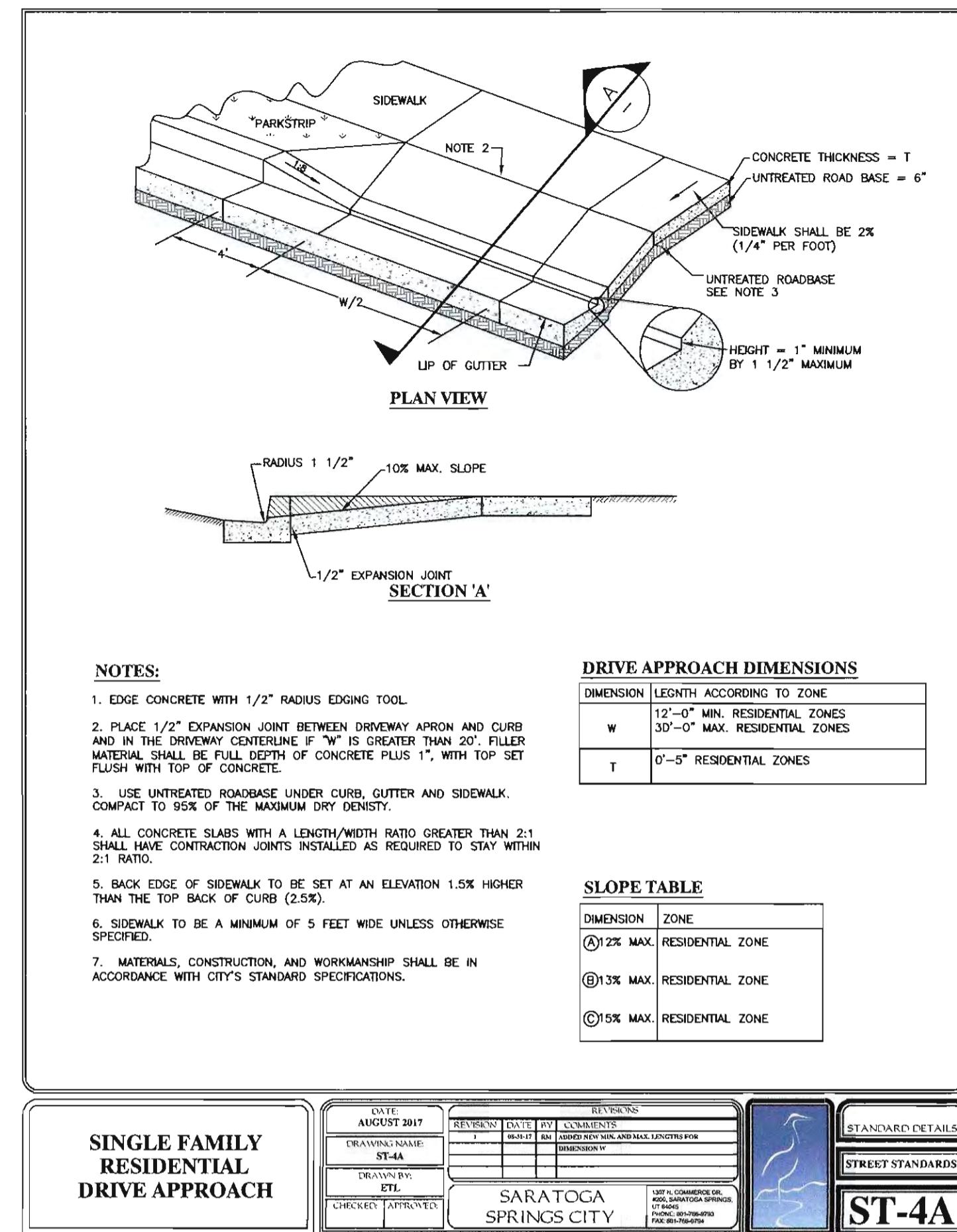
REVISION DESCRIPTION
REV. NO.REVISION DESCRIPTION
REV. NO.

DATE:

SECRET SPRINGS

DETAIL SHEET

FINAL CONSTRUCTION DRAWINGS

SHEET
DT3

PROTERRA
GROUP
1654 Reunion Ave Suite 104, South Jordan, Utah 84095
Phone: (801) 253-0148 Fax: (801) 553-6139
www.proterragroup.com

REGISTERED PROFESSIONAL
No. 295571
DAVID A. REEDISH
5/22/21
STATE OF UTAH

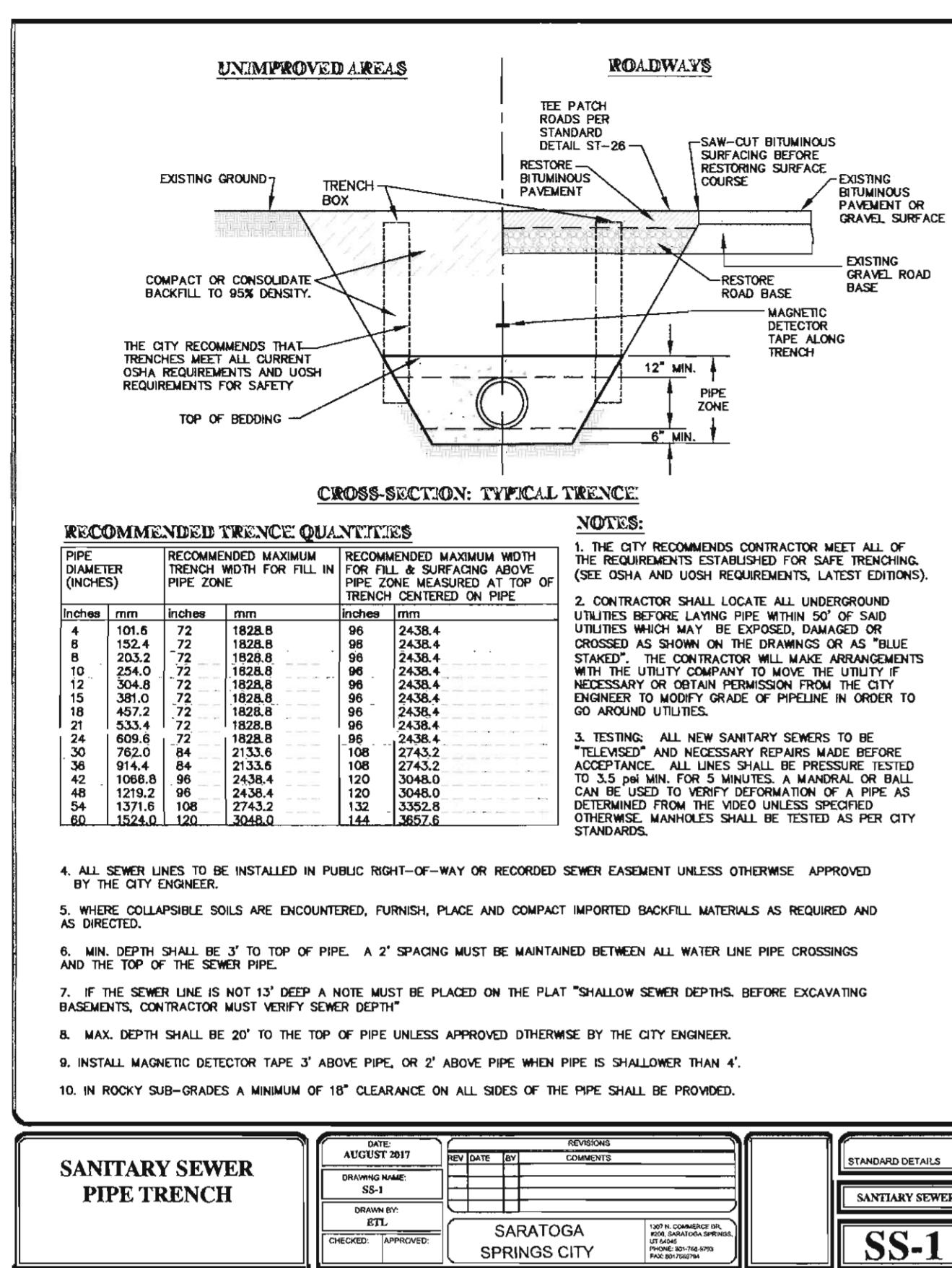
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DATE

SECRET SPRINGS

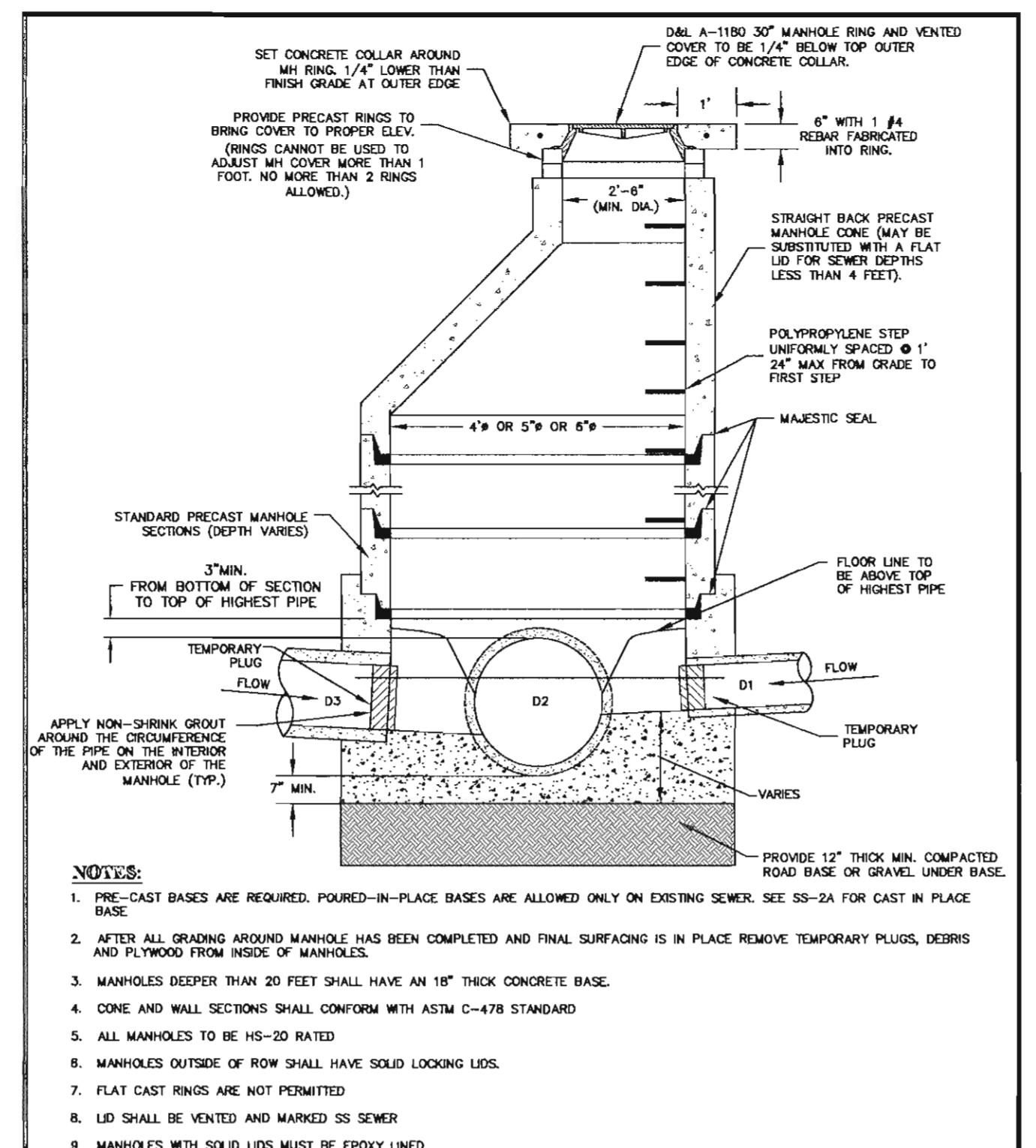
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FINAL CONSTRUCTION DRAWINGS

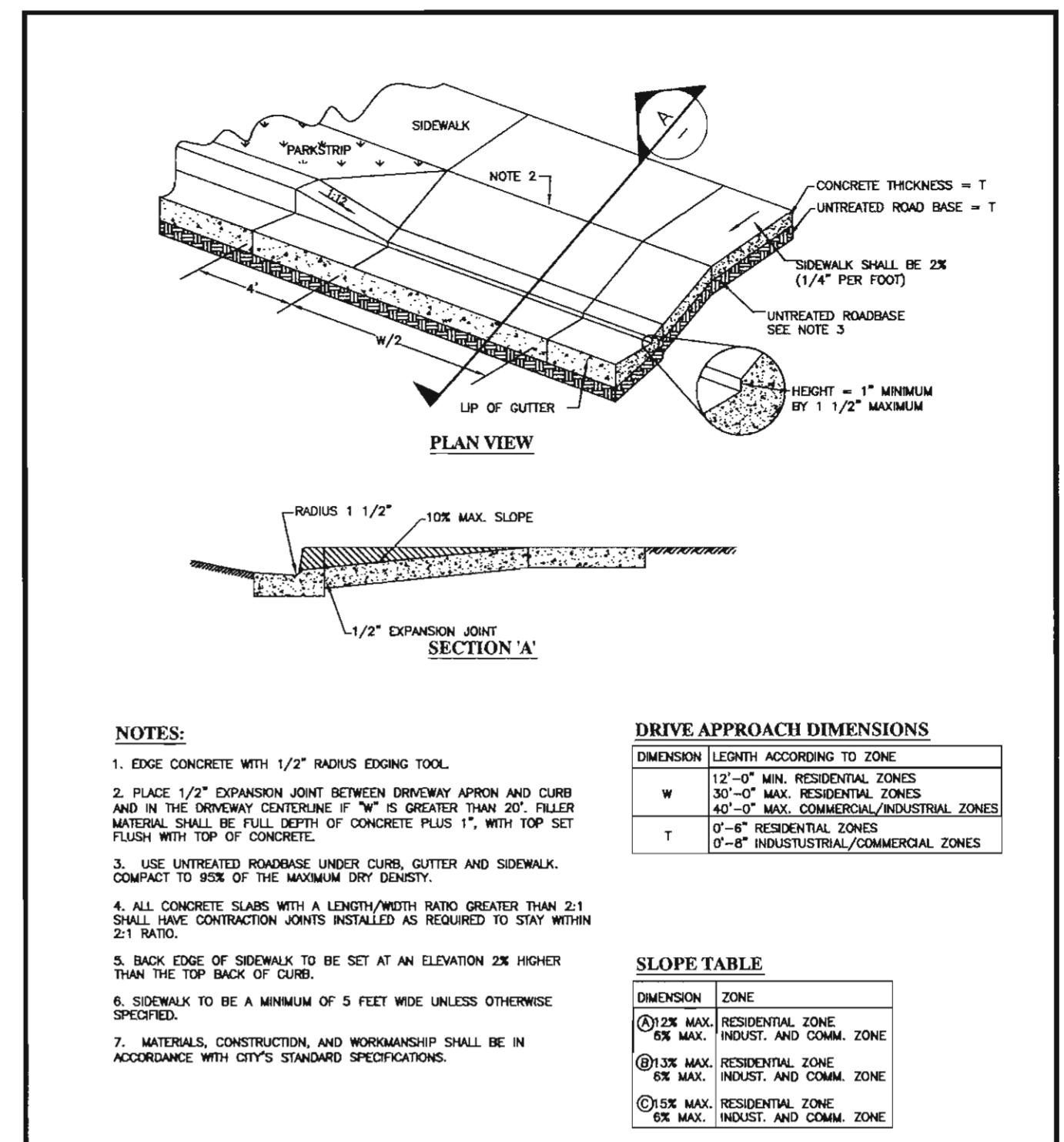
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Phone: (801) 253-0248 Fax: (801) 253-6139
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SHEET
DT4Know what's below.
Call before you dig.

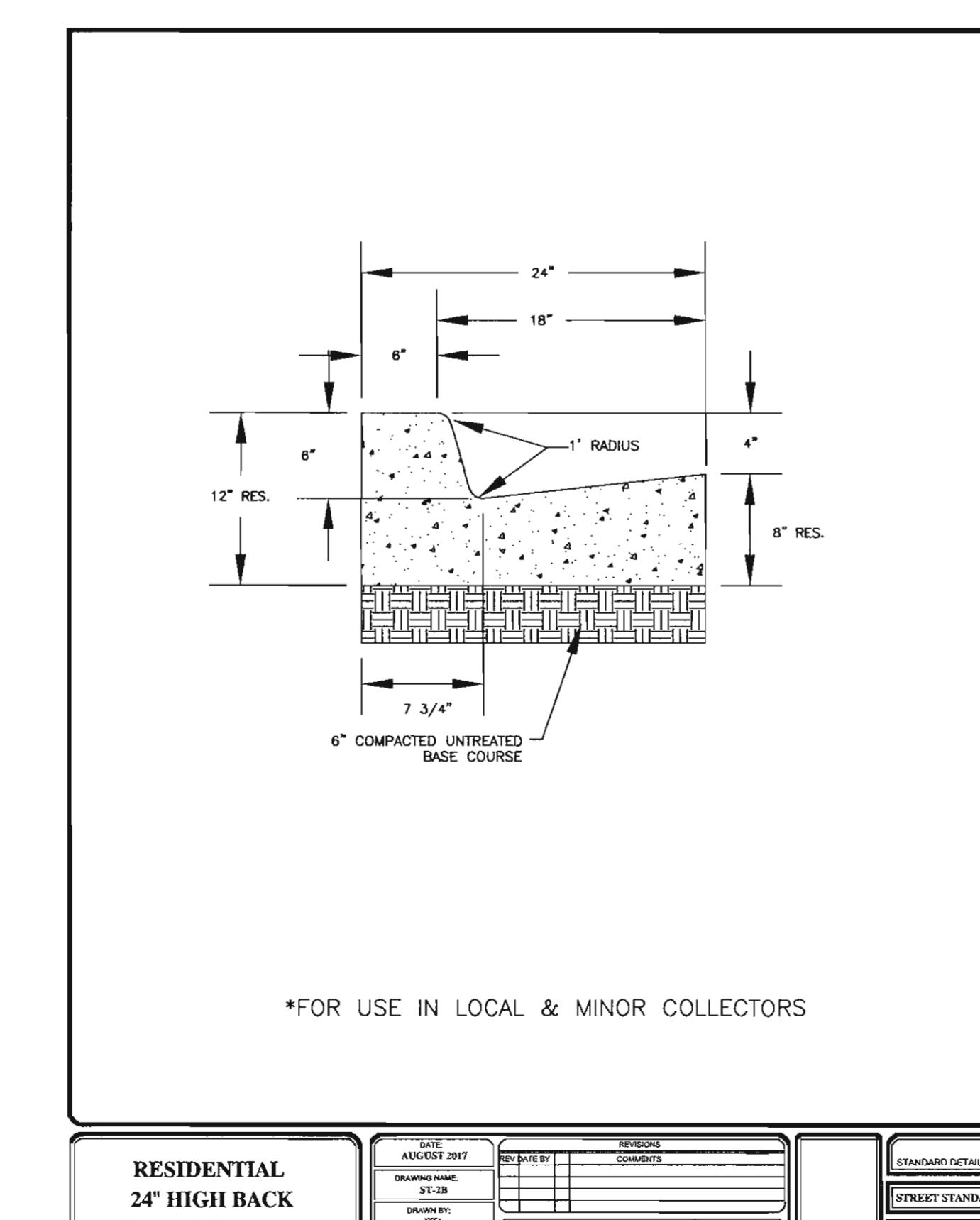
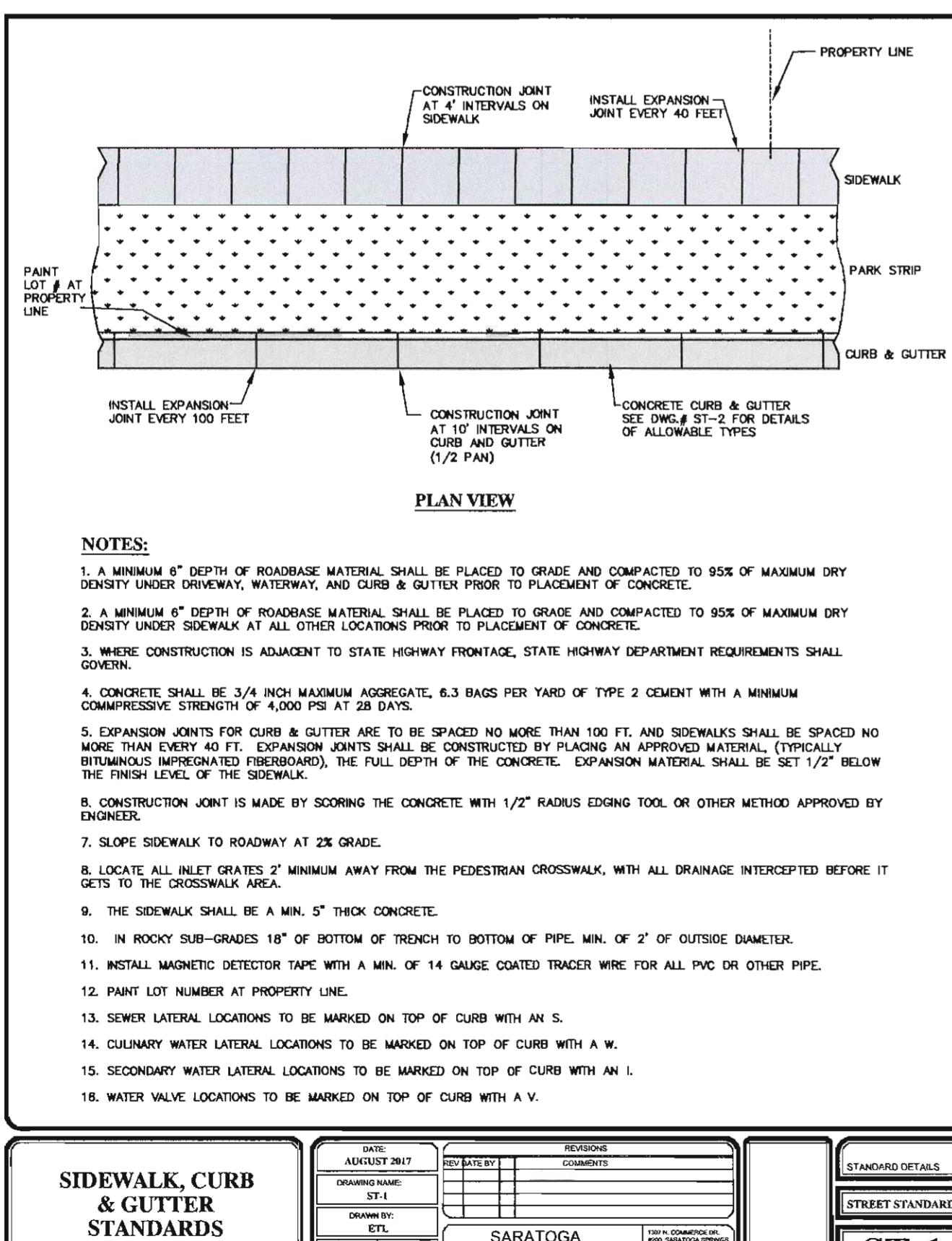
SANITARY SEWER PIPE TRENCH		REVISIONS		STANDARD DETAILS	
DATE: AUGUST 2017	REV. DATE: 8/21/17	REVISIONS:		SS-1	
DRAWING NAME: SS-1	DRAWN BY: ETL	COMMENTS: SARATOGA SPRINGS CITY			
CHECKED: APPROVED					



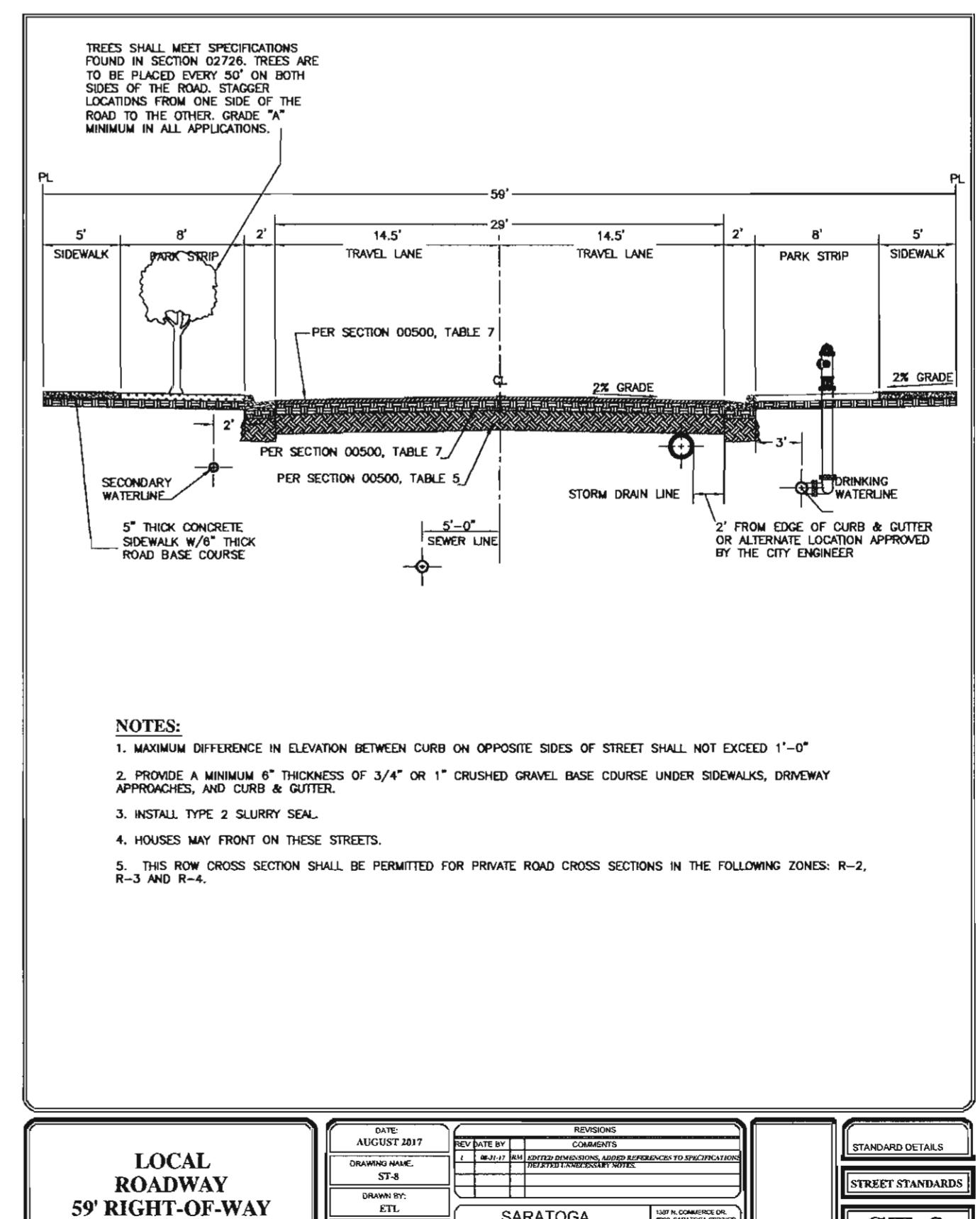
PRE-CAST SANITARY SEWER MANHOLE		REVISIONS		STANDARD DETAILS	
DATE: AUGUST 2017	REV. DATE: 8/21/17	REVISIONS:		SS-2	
DRAWING NAME: SS-2	DRAWN BY: ETL	COMMENTS: SARATOGA SPRINGS CITY			
CHECKED: APPROVED					



SINGLE FAMILY RESIDENTIAL DRIVE APPROACH		REVISIONS		STANDARD DETAILS	
DATE: AUGUST 2017	REV. DATE: 8/21/17	REVISIONS:		ST-4A	
DRAWING NAME: ST-4A	DRAWN BY: ETL	COMMENTS: SARATOGA SPRINGS CITY			
CHECKED: APPROVED					



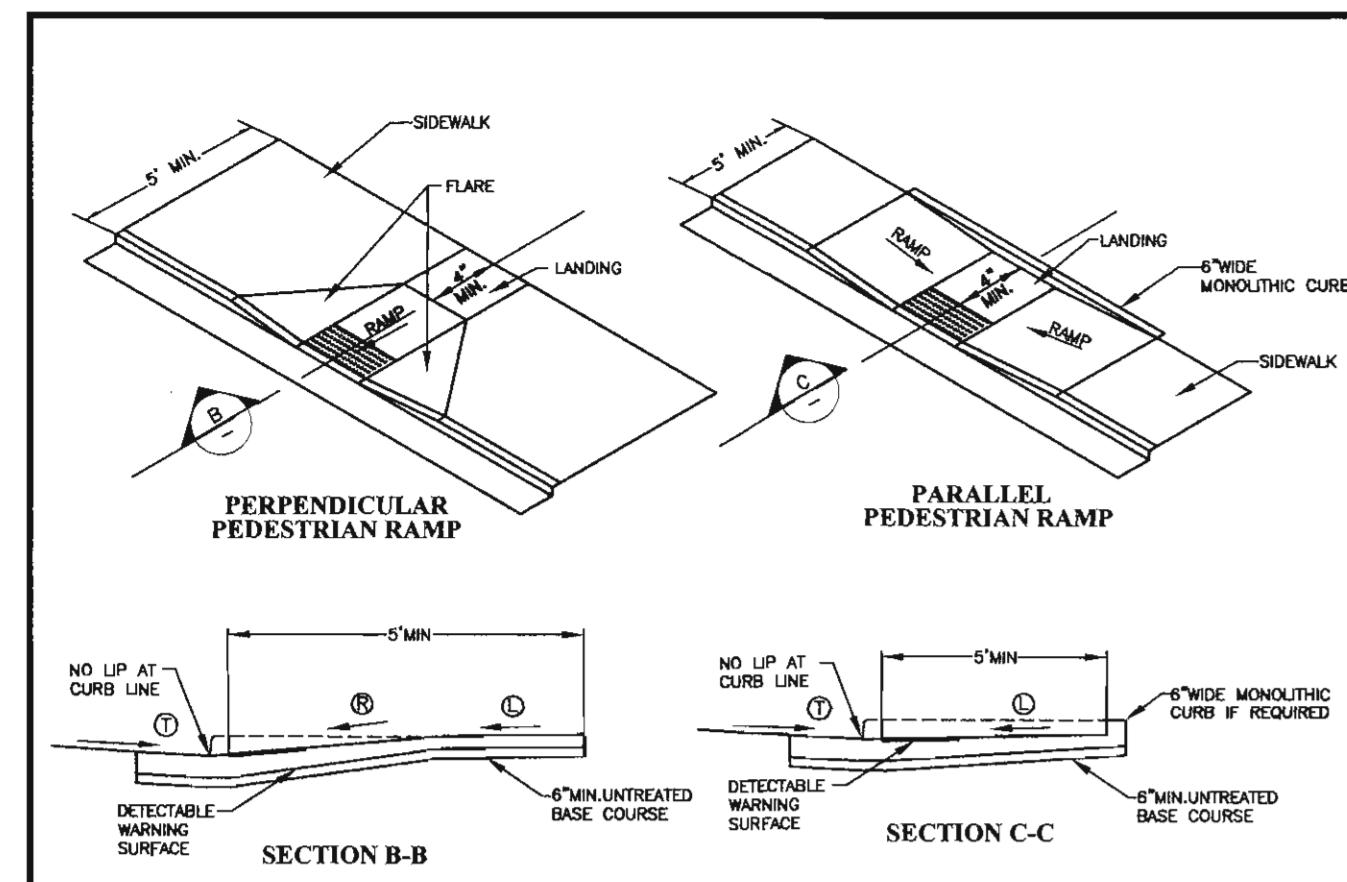
RESIDENTIAL 24" HIGH BACK CURB & GUTTER		REVISIONS		STANDARD DETAILS	
DATE: AUGUST 2017	REV. DATE: 8/21/17	REVISIONS:		ST-2B	
DRAWING NAME: ST-2B	DRAWN BY: ETL	COMMENTS: SARATOGA SPRINGS CITY			
CHECKED: APPROVED					



LOCAL ROADWAY 59' RIGHT-OF-WAY		REVISIONS		STANDARD DETAILS	
DATE: AUGUST 2017	REV. DATE: 8/21/17	REVISIONS:		ST-8	
DRAWING NAME: ST-8	DRAWN BY: ETL	COMMENTS: SARATOGA SPRINGS CITY			
CHECKED: APPROVED					

DRAWN:
DESIGN:
CHECKED:
SURVEYED:

DATE:

REVISION DESCRIPTION
REV. NO.
DATE

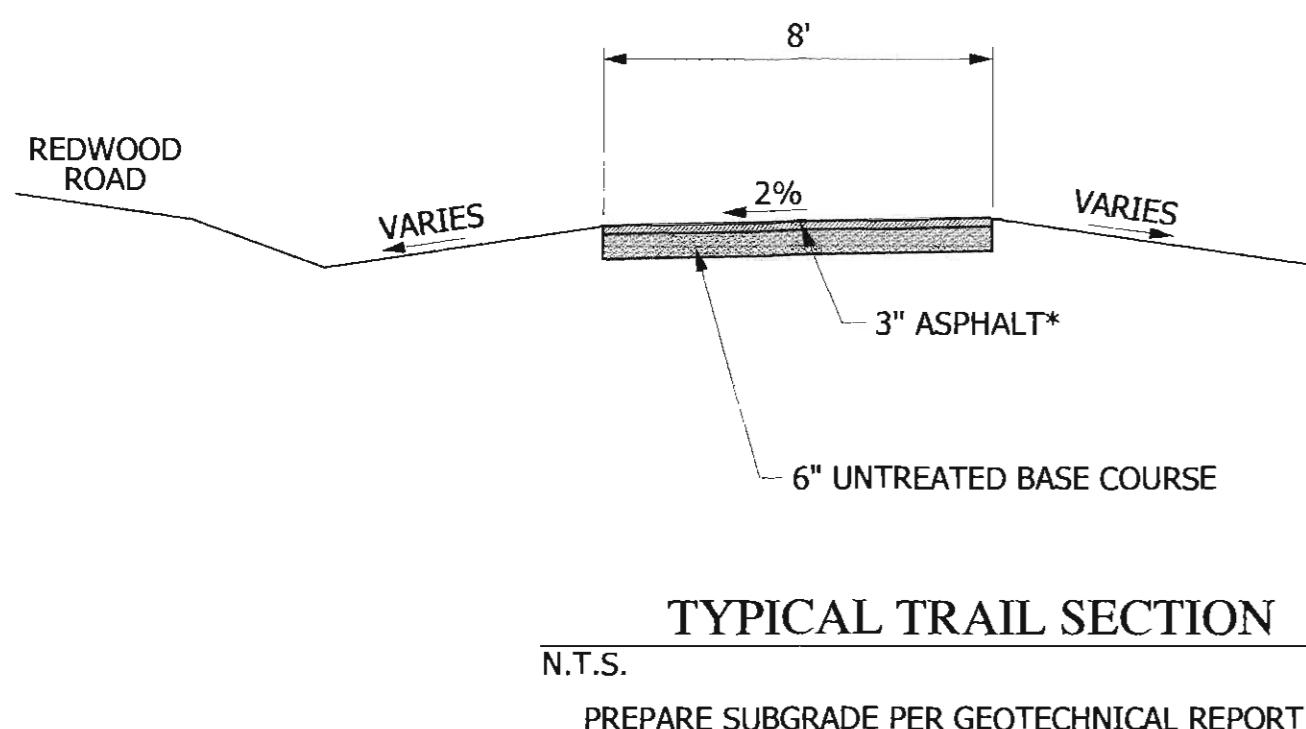
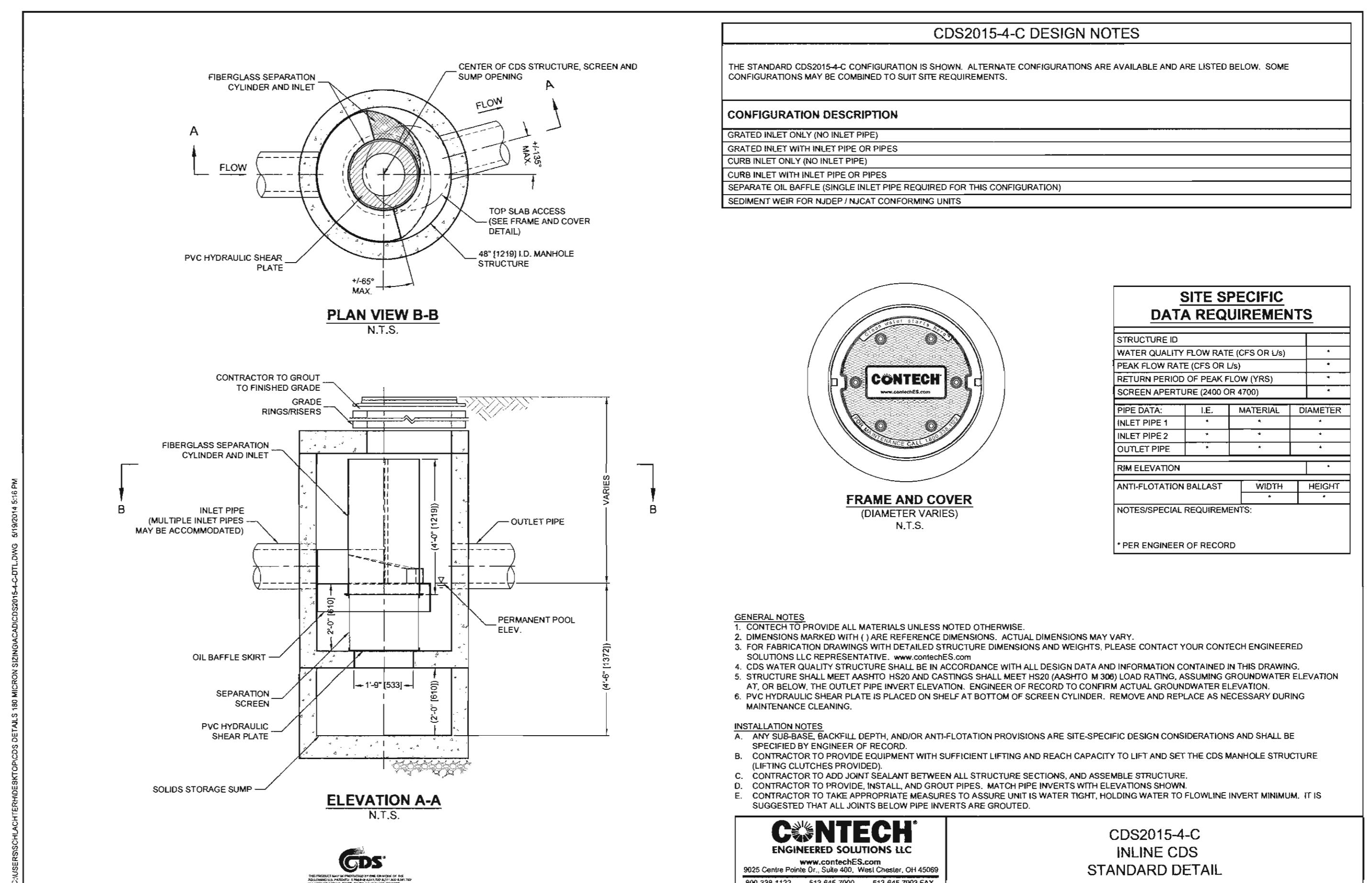
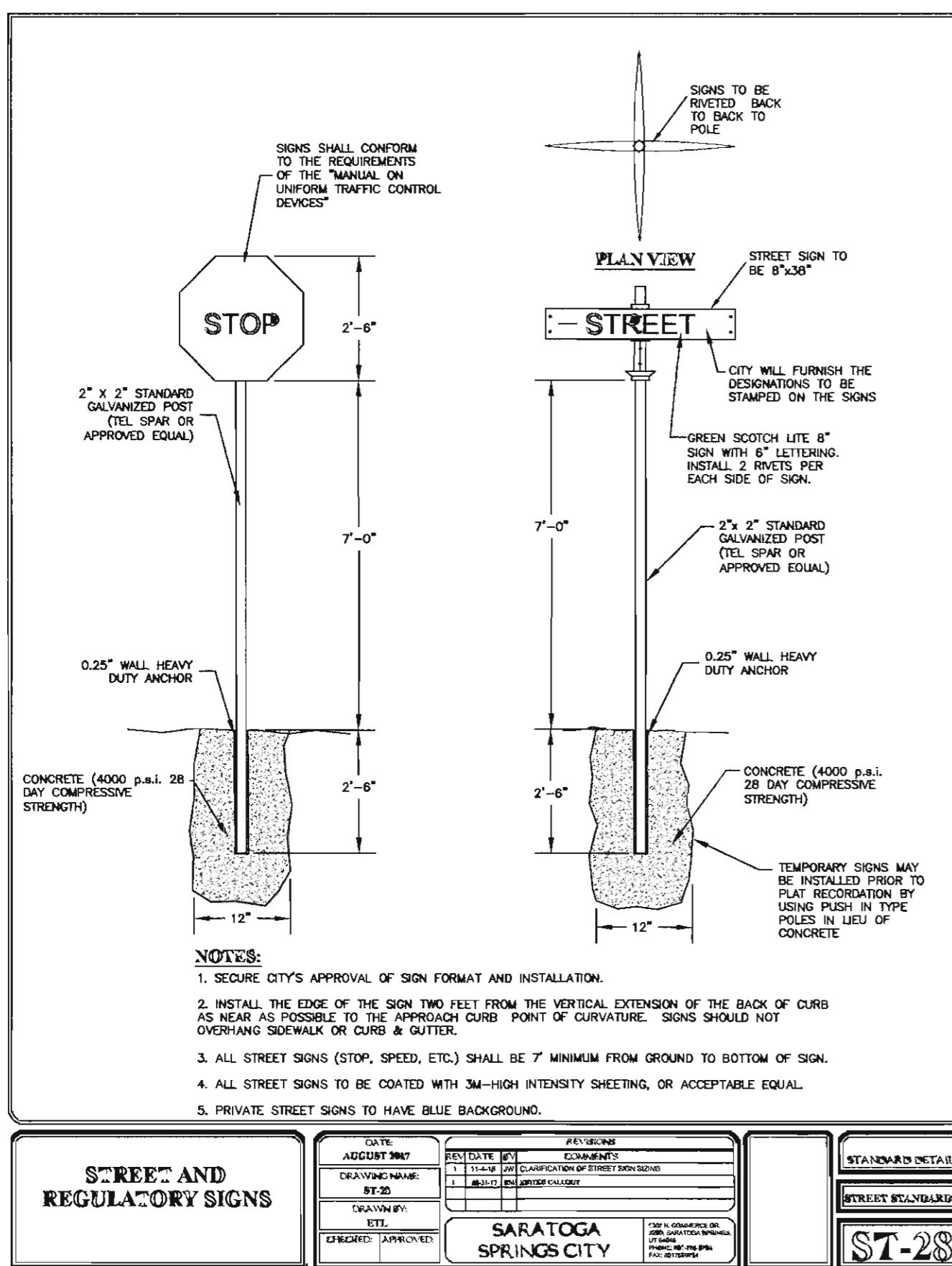
SLOPE TABLE		
ITEM	MAX. RUNNING SLOPE*	MAX. GROSS SLOPE *
① LANDING	2% (IV:48H) (b)	2% (IV:48H) (b)
② RAMP	8.33% (IV:12H) (c)	2% (IV:48H) (c)
③ TRANSITION	5% (IV:20H) (d)	2% (IV:48H) (d)
④ CROSSWALK		2% (IV:48H)
⑤ FLARE	10% (IV:10H)	

NOTES:

1. CONFIGURATION OF RAMPS AND LANDINGS MAY BE CHANGED BUT MUST MEET PEDESTRIAN RAMP DIMENSION AND SLOPE REQUIREMENTS. SLOPE CONDITIONS WILL VARY. THE USE OF FLARES, CURBWALLS, ETC. ARE AT THE DISCRETION OF THE ENGINEER.
2. PERPENDICULAR AND PARALLEL PEDESTRIAN RAMPS SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. REFER TO STD. DWG. ST-5A FOR CORNER INSTALLATIONS. REFER TO STD. DWG. ST-5C AND ST-5G FOR EXAMPLES OF CORNER INSTALLATIONS.
3. PROVIDE DETECTABLE WARNING SURFACE FOR FULL WIDTH OF RAMP, LANDINGS, AND CURB CUT. SEE DETAIL A ON STD. DWG. ST-5A FOR DETECTABLE WARNING SURFACE DIMENSIONS.
4. LOCATE DETECTABLE WARNING SURFACE SO THAT THE EDGE NEAREST THE STREET IS 6" TO 8" FROM THE CURB LINE.
5. PROVIDE DURABLE MAVING SURFACE THAT COORDINATES WITH ADJACENT WALKING SURFACE. EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. ACCEPTABLE COLORS INCLUDE: YELLOW, GREEN, OR WHITE.
6. USE CLASS A(A) CONCRETE.
7. USE UNTREATED BASE COURSE UNDER ALL CONCRETE FLATWORK.

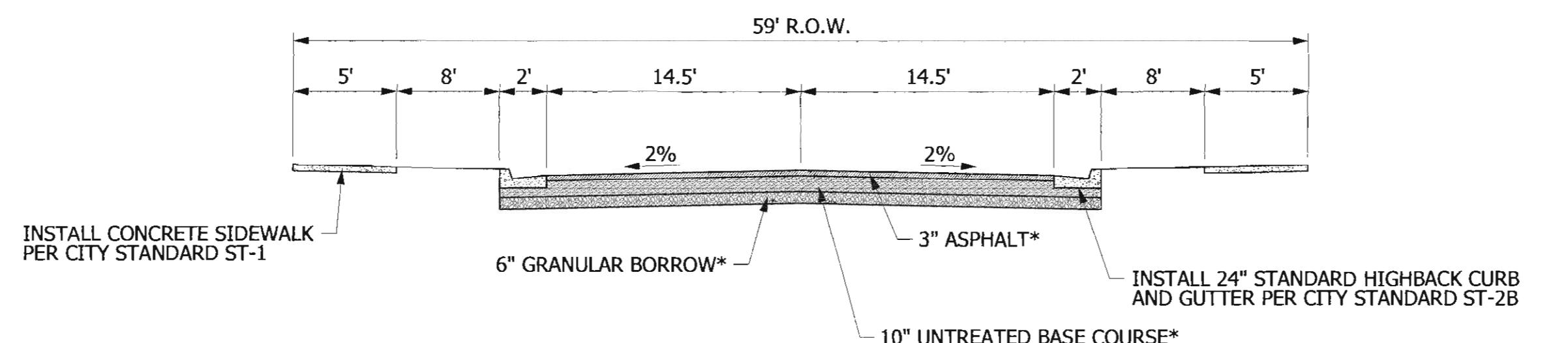
ADA ACCESSIBLE RAMP

DATE: AUGUST 2017	REV. BY: ST-5B	REVISIONS:	COMMENTS:	ST-5B
DRAWING NAME: ST-5B	ST-5B	REVISIONS:	1.20.11.13.14.15.16.17.18.19.20.21.22.23.24.25.26.27.28.29.30.31.32.33.34.35.36.37.38.39.310.311.312.313.314.315.316.317.318.319.320.321.322.323.324.325.326.327.328.329.330.331.332.333.334.335.336.337.338.339.3310.3311.3312.3313.3314.3315.3316.3317.3318.3319.3320.3321.3322.3323.3324.3325.3326.3327.3328.3329.3330.3331.3332.3333.3334.3335.3336.3337.3338.3339.33310.33311.33312.33313.33314.33315.33316.33317.33318.33319.33320.33321.33322.33323.33324.33325.33326.33327.33328.33329.33330.33331.33332.33333.33334.33335.33336.33337.33338.33339.333310.333311.333312.333313.333314.333315.333316.333317.333318.333319.333320.333321.333322.333323.333324.333325.333326.333327.333328.333329.333330.333331.333332.333333.333334.333335.333336.333337.333338.333339.3333310.3333311.3333312.3333313.3333314.3333315.3333316.3333317.3333318.3333319.3333320.3333321.3333322.3333323.3333324.3333325.3333326.3333327.3333328.3333329.3333330.3333331.3333332.3333333.3333334.3333335.3333336.3333337.3333338.3333339.33333310.33333311.33333312.33333313.33333314.33333315.33333316.33333317.33333318.33333319.33333320.33333321.33333322.33333323.33333324.33333325.33333326.33333327.33333328.33333329.33333330.33333331.33333332.33333333.33333334.33333335.33333336.33333337.33333338.33333339.333333310.333333311.333333312.333333313.333333314.333333315.333333316.333333317.333333318.333333319.333333320.333333321.333333322.333333323.333333324.333333325.333333326.333333327.333333328.333333329.333333330.333333331.333333332.333333333.333333334.333333335.333333336.333333337.333333338.333333339.3333333310.3333333311.3333333312.3333333313.3333333314.3333333315.3333333316.3333333317.3333333318.3333333319.3333333320.3333333321.3333333322.3333333323.3333333324.3333333325.3333333326.3333333327.3333333328.3333333329.3333333330.3333333331.3333333332.3333333333.3333333334.3333333335.3333333336.3333333337.3333333338.3333333339.33333333310.33333333311.33333333312.33333333313.33333333314.33333333315.33333333316.33333333317.33333333318.33333333319.33333333320.33333333321.33333333322.33333333323.33333333324.33333333325.33333333326.33333333327.33333333328.33333333329.33333333330.33333333331.33333333332.33333333333.33333333334.33333333335.33333333336.33333333337.33333333338.33333333339.333333333310.333333333311.333333333312.333333333313.333333333314.333333333315.333333333316.333333333317.333333333318.333333333319.333333333320.333333333321.333333333322.333333333323.333333333324.333333333325.333333333326.333333333327.333333333328.333333333329.333333333330.333333333331.333333333332.333333333333.333333333334.333333333335.333333333336.333333333337.333333333338.333333333339.3333333333310.3333333333311.3333333333312.3333333333313.3333333333314.3333333333315.3333333333316.3333333333317.3333333333318.3333333333319.3333333333320.3333333333321.3333333333322.3333333333323.3333333333324.3333333333325.3333333333326.3333333333327.3333333333328.3333333333329.3333333333330.3333333333331.3333333333332.3333333333333.3333333333334.3333333333335.3333333333336.3333333333337.3333333333338.3333333333339.33333333333310.33333333333311.33333333333312.33333333333313.33333333333314.33333333333315.33333333333316.33333333333317.33333333333318.33333333333319.33333333333320.33333333333321.33333333333322.33333333333323.33333333333324.33333333333325.33333333333326.33333333333327.33333333333328.33333333333329.33333333333330.33333333333331.33333333333332.33333333333333.33333333333334.33333333333335.33333333333336.33333333333337.33333333333338.33333333333339.333333333333310.333333333333311.333333333333312.333333333333313.333333333333314.333333333333315.333333333333316.333333333333317.333333333333318.333333333333319.333333333333320.333333333333321.333333333333322.333333333333323.333333333333324.333333333333325.333333333333326.333333333333327.333333333333328.333333333333329.333333333333330.333333333333331.333333333333332.333333333333333.333333333333334.333333333333335.333333333333336.333333333333337.333333333333338.333333333333339.3333333333333310.3333333333333311.3333333333333312.3333333333333313.3333333333333314.3333333333333315.3333333333333316.3333333333333317.3333333333333318.3333333333333319.3333333333333320.3333333333333321.3333333333333322.3333333333333323.3333333333333324.3333333333333325.3333333333333326.3333333333333327.3333333333333328.3333333333333329.3333333333333330.3333333333333331.3333333333333332.3333333333333333.3333333333333334.3333333333333335.3333333333333336.3333333333333337.3333333333333338.3333333333333339.33333333333333310.33333333333333311.33333333333333312.33333333333333313.33333333333333314.33333333333333315.33333333333333316.33333333333333317.33333333333333318.33333333333333319.33333333333333320.33333333333333321.33333333333333322.33333333333333323.33333333333333324.33333333333333325.33333333333333326.33333333333333327.33333333333333328.33333333333333329.33333333333333330.33333333333333331.33333333333333332.33333333333333333.33333333333333334.33333333333333335.3333333333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TYPICAL TRAIL SECTION

N.I.S.
PREPARE SUBGRADE PER GEOTECHNICAL REPORT
(REWORKING AND COMPACTION MUST EXTEND 12"
MINIMUM BELOW PAVEMENT SECTION



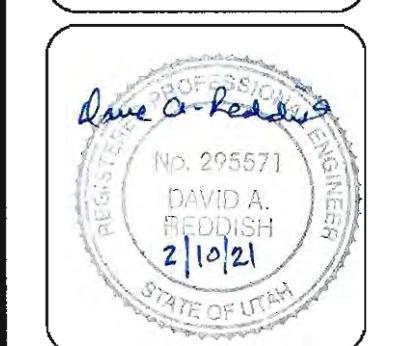
TYPICAL ROAD SECTION - KILLDEER DRIVE/MCGREGOR LANE
N.T.S. (CITY STD. ST-8)

*PER IGES GEOTECHNICAL INVESTIGATION
IGES JOB NO. 03110-002
DATED OCTOBER 15, 2019

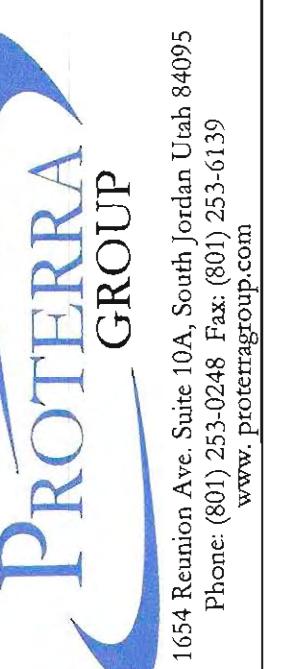
PREPARE SUBGRADE PER GEOTECHNICAL REPORT
(REWORKING AND COMPACTION MUST EXTEND 12"
MINIMUM BELOW PAVEMENT SECTION



Know what's **below**.
Call before you dig.

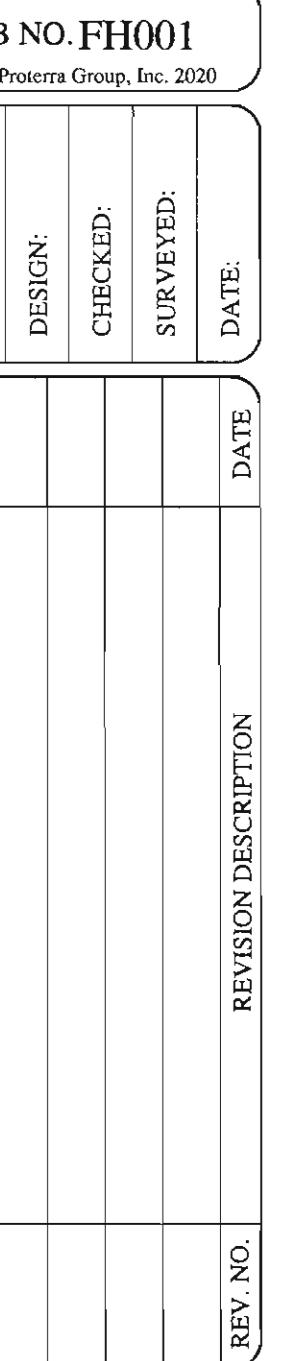


SHEET



GROUP

54 Rennion Ave. Suite 10A, South Jordan Utah 84095
Phone: (801) 253-0248 Fax: (801) 253-6139
www.proterragroup.com



3 NO. FH001
Proterra Group, Inc. 2020

MEMORANDUM

Date: May 6, 2021

To: Travis Barker – Firefly Homes

From: Hales Engineering



Subject: Saratoga Springs Secret Springs Subdivision Trip Generation Study

UT21-1903

This memorandum discusses the trip generation study completed for the proposed Secret Springs Subdivision located in Saratoga Springs, Utah. A vicinity map of the proposed development is shown in Figure 1.



Figure 1: Vicinity map of the proposed development in Saratoga Springs, Utah

Background

The proposed Secret Springs Subdivision is comprised of 14 single-family dwelling unit lots located in Saratoga Springs, Utah in the northeast quadrant of the Redwood Road (S.R. 68) / McGregor Lane (3480 South) intersection. A site plan for the proposed development is included in Appendix A.

Trip Generation

Trip generation for the development was calculated based on evening peak hour counts at the existing Alpine Apothecary location. Trip generation for the existing building size and the proposed increase in building size are included in Table 1.

As shown in Table 1, it is anticipated that the proposed 14-lot subdivision will generate a total of 172 daily trips, and 16 morning / evening peak hour trips on an average weekday. The morning peak hour trips entering and existing were 25% and 75%, respectively, and the evening were 63% and 37%, respectively, during the evening peak hour.

Table 1: Trip Generation

Trip Generation Saratoga Springs - Secret Springs Subdivision								
Weekday Daily Land Use ¹	# of Units	Unit Type	Trip Generation	% Entering	% Exiting	Trips Entering	Trips Exiting	Total New Daily Trips
Single-Family Detached Housing (210)	14	Dwelling Units	172	50%	50%	86	86	172
Total			172			86	86	172
Morning Peak Hour Land Use ¹	# of Units	Unit Type	Trip Generation	% Entering	% Exiting	Trips Entering	Trips Exiting	Total New AM Trips
Single-Family Detached Housing (210)	14	Dwelling Units	16	25%	75%	4	12	16
Total			16			4	12	16
Evening Peak Hour Land Use ¹	# of Units	Unit Type	Trip Generation	% Entering	% Exiting	Trips Entering	Trips Exiting	Total New PM Trips
Single-Family Detached Housing (210)	14	Dwelling Units	16	63%	37%	10	6	16
Total			16			10	6	16

1. Land Use Code from the Institute of Transportation Engineers (ITE) *Trip Generation*, 10th Edition, 2017.

SOURCE: Hales Engineering, May 2021

Conclusions

The findings of this study are as follows:

- The 14 single-family dwelling units will generate the following trips
 - 16 morning peak hour trips (4 entering / 12 exiting)
 - 16 evening peak hour trips (10 entering / 6 exiting)
 - 172 daily trips with (86 entering / 86 exiting)

Please let us know if you have any questions, or if you need additional information.

APPENDIX A

Site Plan

**FINAL PLAT
SECRET SPRINGS SUBDIVISION
AMENDING LOT 25, LAKE MOUNTAIN ESTATES PLAT "B"**

**LOCATED IN A PORTION OF THE NORTHWEST QUARTER OF SECTION 18,
TOWNSHIP 6 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH**

PLAT NOTES:

1. PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. FINAL PLAT APPROVAL WAS GRANTED ON THE DAY OF , 20 .
2. THE INSTALLATION OF IMPROVEMENTS SHALL CONFORM TO ALL CITY STANDARDS, REGULATIONS, AND ORDINANCES.
3. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
4. PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. , WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OF BENEFICIARIES UNDER THIS AGREEMENT.
5. BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY IN WRITING, ALL IMPROVEMENTS CURRENTLY MEET CITY STANDARDS, AND BONDS ARE POSTED BY THE CURRENT OWNER OF THE PROJECT PURSUANT TO CITY CODE.
6. NO BUILDING PERMITS SHALL BE ISSUED UNTIL ALL IMPACT AND CONNECTION FEES ARE PAID IN FULL PER CITY REGULATIONS IN EFFECT AT THE TIME OF BUILDING PERMIT ISSUANCE.
7. ALL OPEN SPACE AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
8. REFERENCE HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
9. NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS DESIGNATED AS "PRIVATE" ON THIS PLAT.
10. A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY INTERMOUNTAIN GEOENVIRONMENTAL SERVICES, INC (IGES), WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE REPORT IS ON FILE WITH IGES AND THE CITY. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
11. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OF CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY.

STORM DRAIN AND GRADING EASEMENT:
THE OWNERS AND SIGNERS OF THIS PLAT DO HEREBY GRANT AND CONVEY A PERMANENT AND PERPETUAL STORM DRAIN AND GRADING EASEMENT IN FAVOR OF THE CITY OF SARATOGA SPRINGS ON LOT 7 OF SECRET SPRINGS SUBDIVISION FOR THE PURPOSE OF DETAINING THE CALCULATED 100 YEAR STORM WATER RUNOFF OF KILLDEER DRIVE.

BEGINNING AT THE SOUTHEAST CORNER OF LOT 7 - SECRET SPRINGS SUBDIVISION AND THENCE NORTH 89°43'23" WEST 136.44' ALONG THE SOUTH LINE OF LOT 7 TO A POINT ON A 12.00 RADIUS CURVE TO THE RIGHT; THENCE 18.79' ALONG SAID CURVE TO THE EASTERLY LINE OF KILLDEER DRIVE, (CHORD BEARS NORTH 44°51'42" WEST 16.93'); THENCE NORTH 8.06'; THENCE SOUTH 89°43'23" EAST 81.98'; THENCE NORTH 61.37' TO THE NORTH LINE OF SAID LOT 7; THENCE EAST 57.59' ALONG SAID NORTH LINE TO THE EASTERLY BOUNDARY OF SAID SECRET SPRINGS SUBDIVISION; THENCE SOUTH 1°57'12" EAST 81.71' TO THE POINT OF BEGINNING.

SAID EASEMENT CONTAINS 6,417.25 SQUARE FEET OR 0.15 ACRES MORE OR LESS.

TOGETHER WITH ALL INGRESS AND EGRESS RIGHTS ALONG THE SOUTHERLY LINE OF LOT 7 FOR THE PURPOSES OF INSPECTING AND MAINTAINING THE STORM DRAIN STRUCTURES LOCATED WITHIN THIS EASEMENT.

OWNERS OF LOT 7 WILL NOT ALTER THE GRADING OF THE DETENTION POND IN ANY WAY, FROM THE DESIGNED DETENTION POND INCLUDED WITH THE CONSTRUCTION DOCUMENTS APPROVED BY THE CITY OF SARATOGA SPRINGS IN CONNECTION WITH THE APPROVAL AND CONSTRUCTION OF THIS SUBDIVISION, AND ARE RESPONSIBLE TO KEEP THE AREA FREE OF DEBRIS AND ANY LANDSCAPING FROM ALTERING IN ANY WAY THE CAPACITY OF SAID DETENTION POND WITHOUT PRIOR PERMISSION FROM THE CITY ENGINEER OF SARATOGA SPRINGS.

BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE:

- LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES;
- CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE SAME MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

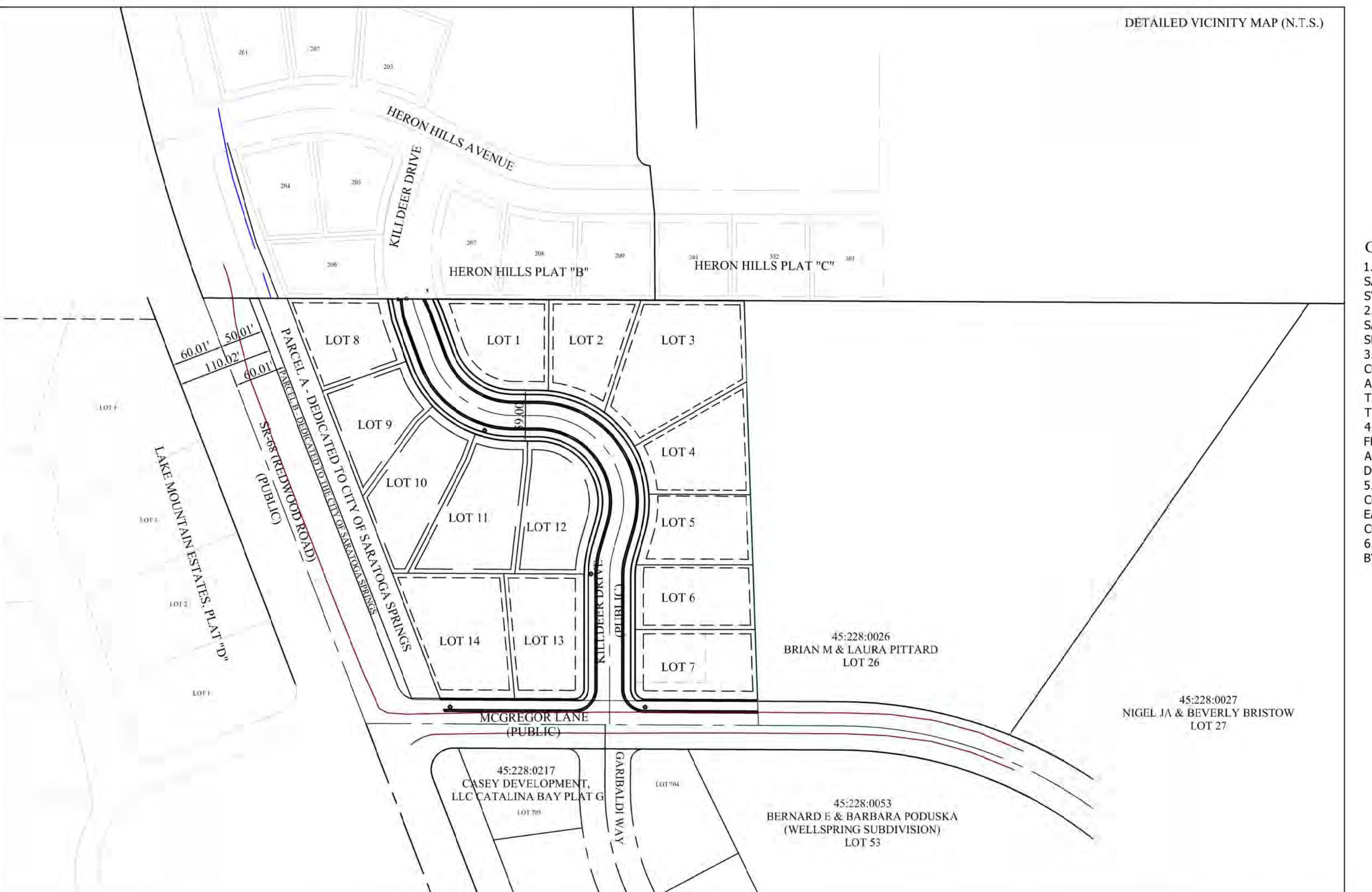
DOMINION ENERGY QUESTAR CORPORATION
DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532

APPROVED THIS DAY OF , 20

BY _____

TITLE _____

**LOCATED IN A PORTION OF THE NORTHWEST QUARTER OF SECTION 18,
TOWNSHIP 6 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH**



**LOT 25 LAKEMOUNTAIN ESTATES PLAT "B"
PARCEL 45:228.0025**

CURRENT OWNERSHIP:
WILLIAM A & JUDITH JENSEN
CO SECURITY HOME MORTGAGE, LLC
576 SOUTH STATE STREET
OREM, UT 84059
(801)764-0111 x206

DEVELOPER:
FIREFLY HOMES
7895 N. SECRETARIAT ROAD
EAGLE MOUNTAIN, UT 84005
(801)786-9817



INFORMATION	SQ FT	ACRES	% TOTAL
TOTAL PROJECT AREA	228,690	5.25	100%
SENSITIVE LANDS	0.00	0.00	0.00%
OPEN SPACE	14,899.72	0.34	6.52%
BUILDABLE AREA	172,317.97	3.96	75.35%
ROW AREA	36,540.40	0.84	15.98%
FUTURE ROW REDWOOD ROAD	4,931.91	0.11	2.16%
LANDSCAPING AREA (IN ROW)	12,392.41	0.28	5.42%
LOTS/PARCELS	14 LOTS & 2 PARCELS		
DWELLING NET DENSITY (ACRES)	2.66 UNITS PER ACRE		

PROJECT LIES IN FLOOD ZONE X - FEMA MAP NO. 490250025 EFF. 07/17/2002

VICINITY MAP

SARATOGA SPRINGS, UT



SURVEYOR'S CERTIFICATE:

I, LEIF E. ANDERSON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 4854555, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8a-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS OF THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION

ALL OF LOT 25, PLAT "B", LAKE MOUNTAIN ESTATES SUBDIVISION, SARATOGA SPRINGS, UTAH, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE IN THE OFFICE OF THE UTAH COUNTY RECORDER, STATE OF UTAH MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 25, PLAT "B", LAKE MOUNTAIN ESTATES SUBDIVISION RECORDED AS ENTRY 101346 MAP 6874 IN THE OFFICE OF THE UTAH COUNTY RECORDER, SAID POINT BEING, 1,541.76 FEET NORTH 89°45'5" WEST ALONG THE SECTION LINE AND NORTH 1541.76 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 18, TOWNSHIP 6 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE NORTH 89°43'23" WEST 394.50' ALONG THE NORTHERLY RIGHT OF WAY LINE OF MCGREGOR LANE (LAKE VIEW DRIVE ON THE RECORDED PLAT); THENCE 30.01 FEET ALONG THE ARC OF A 25.01 FOOT RADIUS CURVE TO THE RIGHT, (CHORD BEARS NORTH 55°20'19 WEST FOR A DISTANCE OF 19.00 FEET); THENCE NORTH 20°15' WEST 481.15 FEET ALONG THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD 68 (REDWOOD ROAD) TO THE SOUTH LINE OF THE HERON HILLS SUBDIVISION, RECORDED AS ENTRY 117156:2016 IN SAID RECORDER'S OFFICE; THENCE SOUTH 89°43'23" EAST 573.96 FEET ALONG SAID SOUTH LINE TO THE EAST LINE OF SAID LOT 25; THENCE SOUTH 1°57'12" EAST 464.80 FEET TO THE POINT OF BEGINNING.

SAID LOT CONTAINS 228,820 SQUARE FEET OR 5.25 ACRES MORE OR LESS. 14 LOTS AND 2 PARCELS.

BASIS OF BEARINGS:

NORTH 89°45'5" WEST 2642.55 FEET (M) (2642.77) (RECORD) FROM THE FOUND SOUTH QUARTER CORNER OF SECTION 18, TOWNSHIP 6 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN TO THE FOUND SOUTHWEST CORNER OF SAID SECTION 18. SEE SHEET PL.2.

OWNER'S DEDICATION AND CONSENT TO RECORD:

KNOW ALL MEN BY THESE PRESENTS THAT THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS AND STREETS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS

SECRET SPRINGS SUBDIVISION

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, STREETS EASEMENTS, AND PUBLIC AMENITIES AS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, AND INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATIONS OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS.

IN WITNESS WHEREOF I(WE) HAVE SET FORTH MY(OUR) HAND(S) THIS DAY OF , A.D. 20 .

SIGNATURE _____ PRINT NAME _____ TITLE & ENTITY _____

SIGNATURE _____ PRINT NAME _____ TITLE & ENTITY _____

SIGNATURE _____ PRINT NAME _____ TITLE & ENTITY _____

OWNER'S ACKNOWLEDGEMENT:

S. S.

COUNTY OF UTAH
STATE OF UTAH

ON THE DAY OF , 2020, PERSONALLY APPEARED BEFORE ME

 , AND , THE SIGNER(S) OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE HOLDS THE TITLE AS SHOWN IN THE OWNERS DEDICATION AND CONSENT TO RECORD SECTION OF THIS PLAT, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

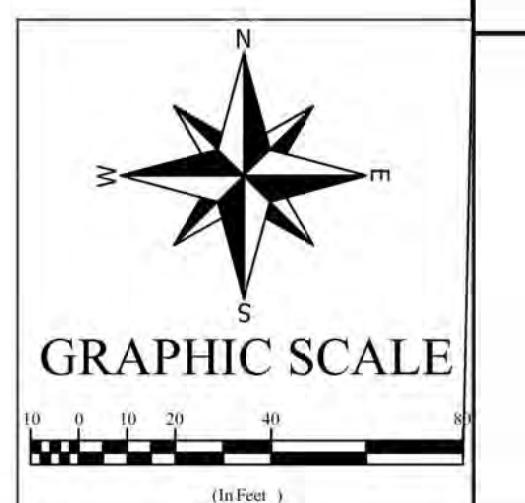
NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PERPETUAL USE OF THE PUBLIC.

THIS , DAY OF , A.D. 20 .

CITY MAYOR _____ ATTEST _____ CITY RECORDER (SEE SEAL BELOW)



(In Feet)
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(In inches)
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PLANNING COMMISSION Staff Report

Site Plan

Thursday, May 13, 2021

Public Meeting

Report Date:	Wednesday, May 5, 2021
Applicant:	Harris Architecture – Ken Harris
Owner:	Central Bank of Utah
Location:	207 East Cooper Drive
Major Street Access:	NW Corner of Pioneer Crossing & Riverside Drive
Parcel Number(s) & Size:	58:035:0096, 1.49 acres
Parcel Zoning:	Multi-use
Adjacent Zoning:	Agricultural, Community Commercial, and Business Park
Current Use of Parcel:	Undeveloped
Adjacent Uses:	Agricultural, Business Park
Previous Meetings:	None
Previous Approvals:	Concept Plan Approved, 07.01.21
Type of Action:	Administrative
Land Use Authority:	Planning Commission
Future Routing:	Planning Commission
Author:	Gina Grandpre, Planner II

A. Executive Summary:

The applicant is requesting approval a Site Plan in the Riverside Crossing Subdivision. It is proposed that Lot 9 will have a 5,409 square foot financial institution, Central Bank of Utah. A preliminary plat for the Riverside Crossing Subdivision was approved on February 4, 2020 by the City Council and the final plat was recorded on April 8, 2021.

Recommendation:

Staff recommends the Planning Commission conduct a public meeting on the proposed site plan, review and discuss the proposal, and select from the motions in Section H of this report.
The actions available to the Planning Commission include approval with conditions, continuation, or denial. The Planning Commission is the Land Use Authority of this site plan.

Gina Grandpre, Planner II

ggrandpre@saratogaspringscity.com

1307 North Commerce Drive, Suite 200 • Saratoga Springs, Utah 84045
801-766-9793 185 • 801-766-9794 fax

B. Background:

The lot which the proposed site plan is located, was created when the Riverside Crossing Subdivision was approved in 2020. Lot 9 is 63,440 square feet. Considering this, in regards to the minimum lot size requirement in the MU zone of 15,000, the subject lot is legal conforming as to lot size. The residential element for this subdivision will be west of the currently recorded plat, next to the Jordan River, this will meet the residential requirement for the Mixed Use zone.

C. Specific Request:

The applicant requests review and approval of the proposed site plan to locate a Central Bank of Utah branch s at 207 E. Cooper Drive in the MU zone.

D. Process:

Section 19.13 summarizes the process of site plan approval. The Planning Commission is the Land Use Authority of new site plans. This item is scheduled to be discussed in a public meeting and a public hearing is not required.

E. Community Review:

Public notices are not required for this type of application. However, the proposed site plan is noticed on the City website and the state public notice website. As of the date of this report no public input has been received.

F. General Plan:

The site is designated as Community Commercial on the Land Use Map of the General Plan. The General Plan describes the general characteristics of the Community Commercial land use designation as follows:

These areas include a variety of commercial uses which are well integrated into the community and are located in commercial clusters along major transportation corridors. Office components should be included as an integral part of developments in this district so as to capitalize on the benefits that can be enjoyed with a mixture of distinct but complementary land-uses.

Staff conclusion: Consistent. A financial institution allows a variety of permitted uses in the Community Commercial zone. Adjacent properties are zoned BP where large and small scale offices, business parks and supporting retail uses occur. Other adjacent properties will remain vacant until future development happens. Nearby office uses and low density housing exist. Sidewalks and pathways are provided for pedestrian access in and around the parcel.

G. Code Criteria:

For full analysis please see the attached Planning Review Checklist.

- 19.04, Land Use Zones: **Complies**.
- 19.05, Supplemental Regulations: **Complies**.
- 19.06, Landscaping and Fencing: **Complies**.
- 19.09, Off Street Parking: **Complies**.
- 19.11, Lighting: **Complies**.

- 19.13, Process: **Complies** and scheduled for PC.
- 19.14, Site Plans: **Complies**.
- 19.16, Site and Architectural Design Standards: **Complies**.

H. Recommendation and Alternatives:

Staff recommends that the Planning Commission discuss this request in a public meeting and choose from the options below.

Staff Recommended Motion – approval and positive recommendation

“I move to **approve** the proposed site plan of the Riverside Crossing Subdivision, Lot 9, Central Bank of Utah 207 E. Cooper Drive in the MU zone with the findings and conditions below:”

Findings

1. The application is consistent with the General Plan, as articulated in Section “F” of the staff report, which section is incorporated by reference herein.
2. The application complies with the Land Development Code as articulated in Section “G” of the staff report, which section is incorporated by reference herein.

Conditions:

1. All conditions of the City Engineer shall be met, including but not limited to those in the attached engineer’s staff report.
2. All requirements of the Fire Chief shall be met.
3. All other Code requirements shall be met.
4. Any other conditions or changes as articulated by the Planning Commission:

Alternative 1 – Continuance

The Planning Commission may also choose to continue the item. “I move to **continue** the Riverside Crossing Subdivision, Lot 9, Central Bank of Utah 207 E. Cooper Drive to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____
2. _____

Alternative 2 – Denial

The Planning Commission may also choose to deny the site plan. “I move to **deny** the proposed site plans of Riverside Crossing Subdivision, Lot 9, Central Bank of Utah 207 E. Cooper Drive in the MU zone based on the following findings:”

1. The site plan is not consistent with the General Plan, as articulated by the Planning Commission: _____, and/or, _____.
2. The Site Plan is not consistent with Section [19.04, 19.05, 19.06, 19.09, 19.11, 19.13, 19.14, 19.16, 19.18] of the Code, as articulated by the Planning Commission: _____.

I. Exhibits:

- 1. Location Map
- 2. Planning Review Checklist
- 3. Site Plan & Signage Plan
- 4. Landscape Plan
- 5. Elevations
- 6. Photo of Colors and Materials Board
- 7. Photometric Plan
- 8. Light Fixture Details
- 9. Engineer's Staff Report

Exhibit 1: Location Map

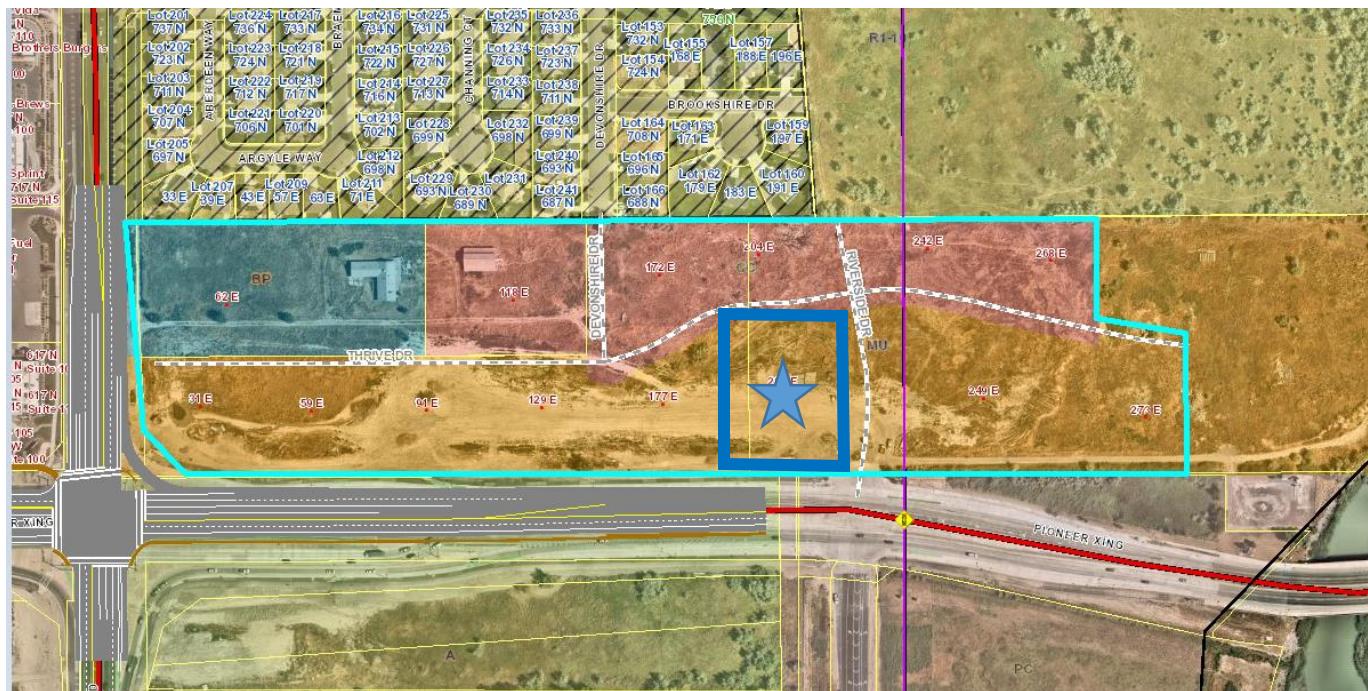


Exhibit 2: Planning Review Checklist



SARATOGA
SPRINGS
PLANNING

APPLICATION REVIEW CHECKLIST

Application Information

Date Received:	2/17/2020
Date of Review:	3/9/2021
Project Name:	Central Bank of Utah
Project Request / Type:	Site Plan
Meeting Type:	N/A
Applicant:	Central Bank of Utah
Owner:	Central Bank of Utah
Location:	NW corner of Pioneer Crossing & Riverside Drive
Major Street Access:	NW corner of Pioneer Crossing & Riverside Drive
Parcel Number(s) and size:	Riverside Crossing – Lot 9; 58:035:0111
Land Use Designation:	Community Commercial
Parcel Zoning:	Mixed Use
Adjacent Zoning:	Office
Current Use:	Undeveloped
Adjacent Uses:	Undeveloped
Previous Meetings:	NA
Previous Approvals:	NA
Type of Action:	Approval
Land Use Authority:	Planning Commission
Future Routing:	N/A
Planner:	Gina Grandpre, Planner II

Section 19.13 – Application Submittal

- Application Complete: **Yes**.
- Rezone Required: **No**.
- General Plan Amendment required: **No**.
- Additional Related Application(s) required: **No**.

Section 19.13.04 – Process

- DRC: 03-08-21
- Neighborhood Meeting: N//A
- PC: NA

General Review

Building Department

- Setback detail
- Lot numbering – per phase (i.e. Phase 1: 100, 101, 102. Phase 2: 200, 201, 202, etc.)
- True buildable space on lots (provide footprint layout for odd shaped lots)
- Lot slope and need for cuts and fills

Fire Department

- Residential:
 - Fire flows shall be met for this development and future development in the area.
 - Hydrants shall not exceed 500' spacing in R3-6 and lower areas.
 - Higher than R3-6, hydrants shall not exceed 300' spacing.
 - All three story structures above grade shall be fire sprinkled and meet NFPA 13 requirements where required.
 - All access roads shall support 26' of un-obstructed drive isle with parking on the streets.
 - The 59' road cross-section shall be used if applicable. If the streets are not able to support such movement, fire lane signage shall be posted by the developer.
 - All cul-de-sacs shall meet our current standard and shall have hydrants in them. All cul-de-sacs shall be a minimum of 96' in diameter from curb face to curb face and have a hydrant located within the cul-de-sac.
 - Third party review required for sprinkler systems
 - Dimension street and cul-de-sac widths on plat
 - Turnarounds on cul-de-sacs and dead-ends more than 150' in length
- Commercial:
 - Fire flows shall meet existing needs as well as future development in the area.
 - Hydrant spacing shall not exceed 300'.
 - Buildings shall be fire sprinkled and meet NFPA 13 requirements and all applicable IFC 2015 edition requirements and appendices.
 - Alarm system and notification systems shall all be tied together with the fire sprinkler system and monitored 24/7, 365 by a third party monitoring company.
 - This same system and / or monitoring company shall also be able to notify UVSSD 911 dispatch center 24/7 365.
 - All sprinkler plans and alarm plans shall be third party reviewed by PCI in Centerville, Utah, Attn: Bob Goodloe.

GIS / Addressing

- comments

Additional Recommendations:

-

Code Review

- 19.04, Land Use Zones
 - Zone: MU
 - Use: Community Commercial

Requirements		Mixed Use Zone	
Category	Regulation	Compliance	Findings
Maximum Units per Acre	14 units/acre for residential portion of project**	Will Comply	<i>Amended Development outlines where residential will go.</i>
Minimum Project Size	5 acres		<i>Has DA</i>
Minimum Lot Width	50'	Complies	
Maximum Height of Structures	Four stories, 45'		<i>TBD with Building Permit</i>
Maximum Lot Coverage	50%	Complies	
Minimum Dwelling Size	1,000 sq. ft. above grade	Will Comply	<i>Amended Development outlines where residential will go.</i>
Minimum Lot Size			
Non-Residential	15,000 sq. ft.	Complies	
Single Family Lots	5,000 sq. ft.	Will comply	<i>Amended Development outlines where residential will go.</i>
Two and Three-Family Dwellings	6,000 sq. ft.		
Multi-Family Dwellings	See footprint development requirements		
Footprint Development	Allowed		
Residential Above Commercial	15,000 sq. ft.		
Minimum Setback for Mixed Use Buildings			
First Floor	10' around the perimeter	Complies	
Second Floor	20' around the perimeter	Complies	
Third Floor	30' around the perimeter	Complies	
Fourth Floor	40' around the perimeter	N/A	
Minimum Setback for Residential and Commercial Buildings			
Front*	20'	Complies	
Interior sides for residential single family and footprint development	10' between buildings, 5' between exterior walls and property lines		
Interior sides for residential two, three and multi-family dwellings	10' between buildings		
Interior Sides for Non-Residential	10'	Complies	
Rear*	20'	Complies	
corner side	15'	Complies	
Minimum Lot Frontage:			
Residential	35'	Will Comply	<i>Determined by the Development Agreement</i>
Non-Residential	60'	Complies	
Mixed Use Buildings	100'	Will Comply	<i>Determined by the Development Agreement</i>

- Setback Exceptions: Complies
- Footprint Development: N/A
- Residential Above Commercial: Complies with Development Agreement
- Open Space and Landscaping Requirements: 20% - Complies

19.05 Supplemental Regulations

Regulation	Compliance	Findings
Flood Plain: Buildings intended for human occupancy shall be constructed at least one foot above the base flood elevation.	Complies.	
Water & Sewage: Each lot shall be connected to City water and sewer.	Complies.	
Transportation Master Plan: Lots shall not interfere with the Transportation Master Plan.	Complies.	
Property Access - All lots shall abut a dedicated public or private road.	Complies.	

19.06 Landscaping and Fencing

Landscape Plans

Regulation	Compliance	Findings
Landscape Architect: Landscaped plans shall be prepared by a licensed landscape architect.	Complies.	
Existing Conditions: Show the location and dimension of all existing and proposed structures, property lines, easements, parking lots, power lines, rights-of-way, ground signs, refuse areas, and lighting.	Complies.	
Planting Plan: Show location and planting details for all proposed vegetation and materials. Indicate the size of the plant material at maturation. All existing vegetation that will be removed or remain must be identified.	Complies.	
Plants: The name (both botanical and common name), quantity, and size of all proposed plants.	Complies.	
Topography: Existing and proposed grading of the site indicating contours at two-foot intervals.	Complies.	
Irrigation: Irrigation plans showing the system layout and details.	Complies.	
Fencing: Location, style, and details for proposed and existing fences and identification of the fencing materials.	N/A.	
Data Table: Table including the total number of each plant type, and total square footage and percentage of landscaped areas, domestic turf grasses, decorative rock, mulch, bark, and drought tolerant plant species.	Complies.	
Completion of Landscape Improvements: All required landscaping improvements shall be completed in accordance with the approved landscape plans.	Can Comply.	

Planting Standards

Deciduous Trees: 2" in caliper.	Complies.	
Evergreen Trees: 6' in height.	Complies.	
Tree Base Clearance: 3' diameter around every tree must be kept clear of turf and rock mulch.	Complies.	
Shrubs: 25% of required shrubs must be a minimum of 5 gallons in size.	Complies.	
Turf: No landscaping shall be comprised of more than seventy percent turf, except within landscaped parks.	Complies.	
Artificial Turf : Not allowed.	Complies.	

Drought Tolerant Plants: 50% of all plants shall be drought tolerant.	Complies.	
Rock Mulch: Rock mulch shall be two separate colors and separate sizes and must be contrasting in color from the pavement and other hard surfaces. All colors used must be earth tones.	Complies.	
Design Requirements		
Evergreens: Evergreens shall be incorporated into landscaped treatment of sites where screening and buffering are required.	Complies.	
Softening of Walls and Fences: Plants shall be placed intermittently against long expanses of building walls, fences, and barriers to create a softening effect.	Complies.	
Planting and Shrub Beds: Planting and shrub beds are encouraged to be used in order to conserve water.	Complies.	
Water Conservation: Water-conserving sprinkler heads and rain sensors are required. Drip lines should be used for shrubs and trees.	Complies.	
Energy Conservation: Placement of plants shall be designed to reduce energy consumption. Deciduous trees are encouraged to be planted on the south and west sides of structures. Evergreens are encouraged to be planted on the north side of structures.	Complies.	
Placement: Whenever possible, landscaping shall be placed immediately adjacent to structures, particularly where proposed structures have large empty walls.	Complies.	
Trees and Power Poles: No trees shall be planted directly under or within 10' of power lines, poles, or utility structures unless: <ol style="list-style-type: none"> The City Council gives its approval. The Power Company or owner of the power line gives written consent. The maximum height or width at maturity of the tree species planted is less than 5' to any pole, line, or structure. 	Complies.	
Preservation of Existing Vegetation		
Where possible and appropriate, existing native vegetation must be incorporated into the landscape treatment of the proposed site.	Complies.	
Tree Preservation: Existing mature evergreen trees of 16' in height or greater, and existing mature deciduous or decorative trees of more than 4" in caliper, shall be identified on the landscape plan and preserved if possible. If a mature tree is preserved, an area around the roots as wide as the existing canopy shall not be disturbed.	N/A.	<i>There are no existing trees</i>
If preservation is not possible, the required number of trees shall be increased by double the number of such trees removed.	N/A.	
The replacement trees for evergreen trees shall be evergreens, and for deciduous shall be deciduous.	N/A.	
Deciduous trees smaller than four inches in caliper, or mature ornamental trees, that are removed shall be replaced on a one to one ratio.	N/A.	
Replacement trees shall be in addition to the minimum tree requirements of this Chapter, and shall comply with minimum sizes as outlined in the Chapter.	N/A.	
Planter Beds		
Weed Barrier: A high quality weed barrier or pre-emergent shall be used.	Complies.	
Materials: High quality materials such as wood chips, wood mulch, ground cover, decorative rock, landscaping rocks, or similar materials shall be used, and materials must be heavy enough to not blow away in the wind.	Complies.	

Edging: Concrete edging must be used to separate planter and turf areas in all non-residential zones.	Complies.	
Drip Lines: Drip lines must be used in planter beds.	Complies.	
Fencing and Screening		
Front Yards: Fences exceeding 3' in height shall not be erected in any front yard space of any residential lot.	Complies.	
Clear Sight Triangle: All landscaping and fencing shall be limited to a height of not more than 3' and the grade at such intersections shall not be bermed or raised. Clear sight is located at all intersections of streets, driveways, or sidewalks, for a distance of 20' back from the point of curvature of curved ROWs and property lines or 30' back from the intersection of straight ROWs and property lines, whichever is greater landscaping shall not exceed 3' in height and the area shall not be bermed or raised within clear sight triangles.	Complies	<i>Add clear sight triangles.</i> Complies
Required Residential Fencing: Fencing in residential development shall be placed along property lines abutting open space, parks, canals, and trails. In addition, fencing may also be required adjacent to undeveloped properties.	N/A.	
Fences along open space, parks, canals, and trails shall be semi-private. Exception: privacy fencing is permitted for property lines abutting trail corridors that are not City maintained and are both adjacent to and visible from an arterial.	N/A.	
Fencing along arterial roads shall be of a consistent material and color within each development.	N/A.	
Fencing along open space, parks, and trails may be less than 6' in height but shall not be less than 3' in height, at the discretion of the property owner or HOA as applicable.	N/A.	
Screening at Boundaries of Residential Zones: For residential developments abutting active agricultural property or operations, a solid fence or wall shall be installed and maintained along the abutting property line.	N/A.	
Amount of Required Landscaping		
Portions of the property that are not developed with structures, rights of ways, or parking areas shall be landscaped.	Complies.	
Multi-family, common space not including parks, and nonresidential development in all zones shall be required to adhere to the minimum landscaped standards in 19.06.07 of the Land Development Code.	Complies.	
At least 50% of the landscaped area shall be covered with live vegetation at maturity. The percentage may be reduced to 40% in areas where bark mulch, wood or plant fiber mulch, or rubber mulch is used instead of rock mulch.	Complies.	

Landscape Amount			
Category To Be Reviewed	Regulation	Compliance	Findings
Total Square Footage	63,440		
Required Landscaping	12,688	Complies	
Required Deciduous Trees	6	Complies	
Required Evergreen Trees	4	Complies	
Required Shrubs	22	Complies	
Drought Tolerant Plants	16	Complies	
19.09 Off Street Parking			

General Provisions		
Regulation	Compliance	Findings
Materials: Parking areas shall consist of concrete, asphalt, or other impervious materials approved in the City's adopted construction standards	Complies.	
Parking Area Access: Common Access: Parking areas for one or more structures may have a common access so long as the requirements of all City ordinances, regulations, and standards are met. The determination of the locations for a common access shall be based upon the geometry, road alignment, and traffic volumes of the accessed road per the Standard Technical Specifications and Drawings.	Complies.	
Sidewalk Crossing: All non-residential structures are required to provide parking areas where automobiles will not back across a sidewalk to gain access onto a public or private street.	Complies.	
Cross Access: Adjacent non-residential development shall stub for cross-access. Developers must provide the City with documentation of cross-access easements with adjacent development.	Complies.	
Lighting: Parking areas shall have adequate lighting to ensure the safe circulation of automobiles and pedestrians. Lighting shall be shielded and directed downward.	Complies.	
Location of Parking Areas: Required off-street parking areas for non-residential uses shall be placed within 600' of the main entrance to the building. Unenclosed parking for residential areas shall not be provided in rear yards, unless said yard abuts an alley-type access or is fenced with privacy fencing	Complies.	
Curb Cuts and Shared Parking: In most cases, shared parking areas shall share ingress and egress. This requirement may be waived when the City Engineer believes that shared accesses are not feasible. In reviewing the site plans for the shared parking areas, the City Engineer shall evaluate the need for limited access, appropriate number of curb cuts, shared driveways, or other facilities that will result in a safer, more efficient parking and circulation pattern.	Complies.	
Parking Requirements and Shared Parking		
Available on-street parking shall not be counted towards meeting the required parking stalls.	Complies.	
When a parking requirement is based upon square footage, the assessed parking shall be based upon gross square footage of the building or use unless otherwise specified in the requirement.	Complies.	
When parking requirements are based upon the number of employees, parking calculations shall use the largest number of employees who work at any one shift. Where shift changes may cause substantial overcrowding of parking facilities, additional stalls may be required.	Complies.	
When a development contains multiple uses, more than one parking requirement may be applied.	Complies.	
Tandem parking spaces will not be counted as parking spaces for non-residential uses except for stacking spaces where identified.	Complies.	
Any fraction obtained when calculating the parking requirement shall be rounded up to the next whole number to determine the required number of parking stalls.	Complies.	
Any information provided by the developer relative to trip generation, hours of operation, shared parking, peak demands, or other information relative to parking shall be considered when evaluating parking needs.	Complies.	
Parking requirements may deviate from the standards contained in Section 19.09.10, Required Minimum Parking, when the City Council determines that the deviation meets the intent of this Chapter.	Complies.	

<p>Reductions may not exceed 25% of the parking requirements and shall be based on the following criteria:</p> <ol style="list-style-type: none"> the intensity of the proposed use; times of operation and use; whether the hours or days of operation are staggered thereby reducing the need for the full amount of required parking; whether there is shared parking agreement in accordance with Section 19.09.05.10 below; trip generation; and peak demands. 		
<p>Up to 25% of required parking may be shared with an adjacent use upon approval by the City Council. The developer must provide:</p> <ol style="list-style-type: none"> an agreement granting shared parking or mutual access to the entire parking lot; and b. peak demand data by a professional traffic engineer showing that shared parking will accommodate the uses. 	Complies.	
<p>Parking lots larger than 75,000 square feet shall provide raised or delineated pedestrian walkways. Walkways shall be a minimum of 10' wide and shall be placed through the center of the parking area and extend to the entrance of the building. Landscaped islands along the center walkway shall be placed at a minimum interval of every 30'. Landscaped islands are encouraged to be offset from one another to create a feeling of greater coverage. Pedestrian covered walkways may be substituted for tree-lined walkways. Where the developer desires to have a driveway access at the center of the parking area, a pedestrian access shall be placed on either side of the driveway.</p>	Complies.	
Landscaping in Parking Areas		
<p>All parking areas (not including a driveway for an individual dwelling) for non-residential or multi-family residential uses that are adjacent to public streets shall have landscaped strips of not less than 10' in width placed between the sidewalk and the parking areas, containing a berm, hedge, or screen wall with a minimum height of 3' to minimize intrusion of lighting from headlights and other lighting on surrounding property. Trees, both deciduous and evergreen, shall be placed in the strip with spacing of no more than 30' between trees except in the clear sight triangle, and except where located beneath powerlines. The standards of section 19.06.06, Planting Standards and Design Requirements, shall apply for the minimum size of vegetation. Within regional parks this requirement may be met through the use of intermittent planter beds rather than a berm, hedge, or screen wall; trees or shrubs may be clustered in the planter beds where necessary to shield light spillage.</p>	Complies.	
<p>All landscaped areas abutting any paved surface shall be curbed (not including a driveway for an individual dwelling). Boundary landscaping around the perimeter of the parking areas shall be separated by a concrete curb 6" higher than the parking surface.</p>	Complies.	
<p>Clear Sight Triangles must be followed.</p>	Complies	
<p>All landscaped parking areas shall consist of trees, shrubs, and groundcover. Areas not occupied by structures, hard surfaces, vehicular driveways, or pedestrian walkways shall be landscaped and maintained. All landscaped areas shall have an irrigation system.</p>	Complies.	
<p>On doubled rows of parking stalls, there shall be one 36' x 9' landscaped island on each end of the parking rows, plus one 36' x 9' landscaped island to be placed at a minimum of every twenty parking</p>	N/A.	

stalls. Each island on doubled parking rows shall include a minimum of two trees per planter.		
On single rows of parking or where parking abuts a sidewalk, there shall be one 18' x 9' foot landscaped island a minimum of every ten stalls. Islands on a single parking row shall have a minimum of one tree per island.		
i. Exception: Landscaped islands are not required in single rows of parking that abut or are no farther than 6' from a landscaped area containing an equal or greater number of trees as would have been provided in islands, in addition to trees required for the landscaped area. Such trees shall be located within 9' of the edge of parking area, and shall have a canopy width that, at maturity, will extend into the parking area.	Complies.	
Landscaped islands at the ends of parking rows shall be placed and shaped in such a manner as to help direct traffic through the parking area.	Complies.	
Required Minimum Parking		
38 stalls	Complies.	

Dimensions for Parking Stalls & Aisle				
	Stall Width	Stall Length	Aisle Width (one-way traffic)	Aisle Width (two-way traffic)
90° Parking				
Required	9'	18'	24'	24'
Provided		45		

19.11 Lighting		
General Standards		
Regulation	Compliance	Findings
Material: All Lighting Fixtures and assemblies shall be metal.	Complies.	
Base: All lighting poles shall have a 16" decorative base.	Complies.	
Type: All lighting fixtures shall be of the full cutoff variety. Shoebox fixtures are prohibited.	Complies.	
Angle: Shall be directed downward.	Complies.	
Lamp: Bulbs may not exceed 4000k.	Complies.	
Drawings: Design and location of fixtures shall be specified on the plans.	Complies.	
Flags: The United States flag and the state flag shall be permitted to be illuminated from dusk till dawn. All other flags shall not be illuminated past 11:00 p.m. Flag lighting sources shall not exceed 10,000 lumens per flagpole. The light source shall have a beam spread no greater than necessary to illuminate the flag.	N/A.	
Prohibited Lighting: Searchlights, strobe lights and any laser source light or any similar high intensity light.	Complies.	
Descriptions: Descriptions of the illuminating devices, fixtures, lamp supports, and other devices. This description may include, but is not limited to, manufacturers' specifications, drawings, and sections.	Complies.	
Nonresidential Lighting		
All wall-mounted fixtures shall not be mounted above 16'. The exception shall be those instances where there is a second story access directly from the outdoors, and under-eave lighting. Wall-mounted	Complies.	

lighting shall be only for the illumination of vertical surfaces such as building facades and signs, and shall not cast illumination beyond the surface being illuminated.		
Intermittent lighting must be of the "motion sensor" type that stays on for a period of time not to exceed 10 minutes and has a sensitivity setting that allows the lighting fixture to be activated only when motion is detected on the site.	Complies.	
All trespass lighting shall not exceed 1.0 foot-candles measured at the property line, except that trespass lighting into residential development shall not exceed 0.1 foot-candles measured at the property line.	Complies.	
Service station canopies must utilize canopy lights that are fully recessed into the canopy or are fully shielded by the canopy.	Complies.	
All freestanding lighting fixtures and assemblies shall be black. Regional Parks may include theme lighting fixtures in colors other than black. The color shall enhance the theme of the park and shall be approved during the site plan review process.	Complies.	
Pole design shall include an arm and bell shade. Regional Parks may include theme lighting fixtures that do not include an arm and bell shade. The design shall enhance the theme of the park and shall be approved during the site plan review process.	Complies.	
Parking lot poles shall be limited to a height of 16' when in or within 200' of a residential zone; all other locations shall have a height limit of 20'.	Complies.	
All lighting fixtures in surface parking lots and on the top decks of parking structures shall be fitted to render them full cutoff.	Complies.	
One hour after closing or by 11:00 pm, whichever is earlier, businesses must turn off at least 50% of building lighting and lighting fixtures in surface parking lots and on top decks of parking structures; however, those lighting fixtures turned off may be set to function utilizing a motion detector system. Lights may be turned back on one half hour prior to the first employee shift.	Complies.	
Business open for 24 hours must turn off 50% of their outdoor and parking lot lighting by 11:00 pm and must keep them off until one half hour before sunrise, however, those lighting fixtures turned off may be set to function utilizing a motion detector system.	Complies.	
Walkway Lighting		
Lighting of all pedestrian pathways is recommended.	Complies.	
All pathway, walkway, and sidewalk lighting fixtures shall be mounted at a height not to exceed 10'. i. Themed walkway lighting within Regional Parks shall not exceed a height of 25'. Such lighting within 200' of residential development shall not exceed 16'.	Complies.	
Bollard lighting shall be limited to a height of 4'.	Complies.	
Lighting Plan		
Plans indicating the location and types of illuminating devices on the premises.	Complies.	
Descriptions of the illuminating devices, fixtures, lamp supports, and other devices. This description may include, but is not limited to, manufacturers' specifications, drawings, and sections.	Complies.	
Photometric sheet showing measurement of light intensity across the site and onto adjacent property in terms of candela, lumens, and foot-candles.	Complies.	
Plans providing information required in the Technical Standards and Specifications Manual.	Complies.	

19.13 Process

Regulation	Findings
Neighborhood Meeting.	<i>None</i>
Notice/Land Use Authority.	<i>Planning Commission</i>
Master Development Agreement.	<i>Yes</i>
Phasing Improvements.	<i>No</i>
Payment of Lieu of Open Space.	<i>None</i>

19.14 Site Plan Review

Standards	Regulation	Compliance	Findings
Site Plan application required for Multi-Family units.		N/A.	
Entire site must be built upon, landscaped, or paved.		Complies.	
Utilities underground and in easements.		Complies.	
Grading and Drainage - Must have onsite drainage.		Complies.	
Water system and shares.		Complies.	
Piping of canals and ditches is required.		Complies.	
Preliminary Plat required with attached units.		N/A.	
Application Requirements:		Item.	
Ownership Affidavit.		Complies.	
Vicinity Map.		Complies.	
Context plan - A context plan shall include the existing features within 200 feet of the proposed Site Plan property line. Existing features include, but are not limited to, buildings, ingress and egress points, landscaping areas, pedestrian paths, and property names.		Complies.	
Site Analysis - A site analysis is a plan view drawing demonstrating land constraints and existing features. Existing features may consist of the presence of boulders, existing man-made features, significant trees, canals or ditches, access points or public rights-of-way, and existing conditions within 200 feet of the property line.		Complies.	
Survey of legal description, boundaries.		Complies.	
Compliance Statement.		Complies.	
PDF files of all application materials.		Complies.	
Final Construction Drawings:		Item.	
Locations, dimensions, floor plans, uses and heights of all proposed buildings and structures, including overhangs, porches, stairwells, and balconies, and the locations of all structures on adjoining properties.		Complies.	
Access points, provisions for vehicular and pedestrian circulation on and off site, interconnection to adjacent sites, dimensions of such access and circulation, and pedestrian paths within 200 feet of the property boundary.		Complies.	
Acceleration and deceleration lanes, and dimensions, if required.		Complies.	
Off-street parking and loading areas complying with the City's off-street parking requirements contained in Chapter 19.09 of this Title.		Complies.	
Proposed outdoor display areas.		N/A.	
Screening and buffering provisions, including types and heights of existing and proposed buffering and fencing elements.		Complies.	
Location and treatment of refuse collection areas, storage areas, mechanical equipment, and external structures.		Complies.	
Tabulation of square footage devoted to various land uses, ground coverage by structures, and other impervious surfaces.		Complies.	
Type of construction of all structures, presence or absence of fire sprinkling, and location of existing and proposed fire hydrants.		Complies.	

Final Hydraulic and Hydrological storm drainage report and calculations, location of all existing and proposed secondary irrigation systems, both on site and on adjacent properties, including ditches, pipes, and culverts.	Complies.	
Traffic Report.	Complies.	
Established Grade of building area.	Complies.	
A data table including - 1) total project area 2) total number of lots, dwellings, and buildings 3) square footage of proposed building footprints and, if multiple stories, square footage by floor 4) number of proposed garage parking spaces 5) number of proposed surface parking spaces 6) percentage of buildable land 7) acreage of sensitive lands and what percent sensitive lands comprise of total project area and of open space area 8) area and percentage of open space or landscaping 9) area to be dedicated as right-of-way (public and private) 10) net density of dwellings by acre (sensitive lands must be subtracted from base acreage) 11) number of off-street parking spaces (e.g., number of proposed garage parking spaces, number of proposed surface parking spaces, etc.)	Complies.	
Landscaping Plan - A landscaping plan, prepared and stamped by a licensed landscape architect, indicating the location, spacing, types, and sizes of landscaping elements and existing trees, and showing compliance with the City's off-street parking requirements, the City's design guidelines and policies, and the requirements of the appropriate zone.	Complies.	
Lighting Plan - Photometric plan and lighting details.	Complies.	
Elevations - The elevations of all proposed buildings, fences, and other structures viewed from all sides indicating height of structures.	Complies.	
Percentage of building materials proposed and colors of all materials.	Can Comply.	<i>Provide a pdf with colors and materials.</i>
Colors and materials board.	Can Comply.	<i>Provide a pdf with colors and materials.</i>
Signage Plan - An overall signage plan shall be approved during the Site Plan approval process. All information to be provided for the sign approval shall be submitted concurrent with Site Plan application materials, consistent with the requirements in Section 19.18.	Can Comply.	<i>Provide a signage plan for future sign.</i>

19.16 Site and Architectural Design Standards

General Site Design Standards

Regulation	Compliance	Findings
Pedestrian Connectivity: All buildings and sites shall be designed to be pedestrian friendly by the use of connecting walkways.	Complies.	
Safe pedestrian connections shall be made between buildings within a development, to any streets adjacent to the property, to any pedestrian facilities that connect with the property, when feasible between developments, and from buildings to the public sidewalk to minimize the need to walk within the parking lot among cars.	Complies.	
All pedestrian connections shall be shown on the related site plan or plat.	Complies.	

<p>Parking Areas: On-site parking shall be located primarily to the sides or rear of the building. Variations may be approved by the Land Use Authority, subject to the following criteria:</p> <ul style="list-style-type: none"> i. The use is a big box with outparcels helping to screen parking, or ii. At least 50% of the parking is located to the side or rear of the building, or iii. A safety issue is created by locating parking to the side or rear as verified and documented by the Saratoga Springs Police Department. For example, the parking will be entirely concealed from view by existing walls or buildings, or iv. That portion of development that lies within the Waterfront Buffer Overlay, or v. The development is Office, Warehouse/Flex space and when loading docks are not adjacent to a public right-of-way. 	<p>Complies.</p>	
<p>Parking lots shall be designed with a hierarchy of circulation: major access drives with no parking; major circulation drives with little or no parking; and then parking aisles for direct access to parking spaces.</p>	<p>Complies.</p>	
<p>Parking lots adjacent to, and visible from, public streets shall be screened from view through the use of earth berms, screen walls, landscape hedges or combinations thereof with a minimum height of 3' as measured from the parking surface. Within regional parks this requirement may be met through the use of intermittent planter beds rather than a berm, hedge, or screen wall; trees and shrubs may be clustered in the planter beds where necessary to avoid light spillage.</p>	<p>Complies.</p>	
<p>Acceleration and Deceleration Lanes: Acceleration and deceleration lanes shall be required on major arterials when deemed necessary by the City Engineer.</p>	<p>Complies.</p>	
<p>Parking Structures: Parking structures shall be architecturally consistent with the project buildings, including the use of the same primary finish materials as the exterior of the adjacent or adjoining buildings.</p>	<p>Complies.</p>	
<p>When placement of parking structures along site frontages is necessary, visual mitigation such as landscape buffers, upper-level setbacks, or additional architectural treatment shall be used.</p>	<p>Complies.</p>	
<p>The view of a parking structure from a public street shall be minimized by placing its shortest dimension along the street edge.</p>	<p>Complies.</p>	
<p>The top deck of parking structures shall include screen walls, periphery landscape islands, or similar features where visible from public view in order to soften the appearance of the top of the parking structure and screen the view of cars on the top deck of the structure.</p>	<p>Complies.</p>	
<p>All top deck lighting shall be screened and directed downward to avoid light spill onto the street below and shall consist of only bollards or building lighting. Light poles are prohibited.</p>	<p>Complies.</p>	
<p>Trash Enclosures, Storage Areas, and External Structures: Landscaping, fencing, berms, or other devices integral to overall site and building design shall screen trash enclosures, storage areas, and other external structures.</p>	<p>Complies.</p>	
<p>Service yards, refuse and waste-removal areas, loading docks, truck parking areas and other utility areas shall be screened from view by the use of a combination of walls, fences, and dense planting. Screening shall block views to these areas from on-site as well as from public rights of way and adjacent properties.</p>	<p>Complies.</p>	
<p>All trash dumpsters shall be provided with solid enclosures. Enclosures shall be composed of 6' high solid masonry or decorative precast concrete walls, with opaque gates and self-latching mechanisms</p>	<p>Complies.</p>	

to keep gates closed when not in use. Bollards are required at the front of the masonry walls to protect the enclosure from trash collection vehicles. Gates shall be made of opaque metal for durability. Chain-link gates with or without opaque slats are not acceptable. Colors and materials shall be consistent with the main building or use.		
Where trash enclosures, storage areas, or other external structures are adjacent to parking areas, a 3' landscaped buffer shall be provided that does not impede access into and out of vehicles.	Complies.	
These areas shall be well maintained and oriented away from public view. The consolidation of trash areas between buildings is encouraged.	Complies.	
Utility Boxes: Dense vegetative buffers which include an evergreen variety of plant materials shall be placed where appropriate to screen all utility boxes and pedestals in order to remain attractive during the winter months.	Complies.	
Site Design Standards: Non-Residential Development		
Shopping Cart Corrals: Shopping cart corrals are required for big box or mid box retail uses. Roof covers are recommended as the local climate includes wind, rain, and winter snow conditions. If roof covers are utilized they shall blend in with the established building design.	N/A.	
The shopping cart corral rail finish shall match or compliment the exterior finishes of the main building through the use of two out of three of the same exterior colors and finishes.	N/A.	
Uses Within Buildings: All uses established in any commercial, office warehouse, business park, or industrial zone shall be conducted entirely within a fully enclosed approved building except those uses deemed by the City Council to be customarily and appropriately conducted in the open. Uses which qualify for this exception include vegetation nurseries, home improvement centers with lumber, outdoor cafes, outdoor retail display, car wash vacuums, auto dealerships, and similar uses.	Complies.	
Outdoor Display: All retail product displays shall be located under the buildings' permanent roof structure or on designated display pads within front landscape areas.	N/A.	
All display areas shall be clearly defined on the approved Site Plan and designated on the site with a contrasting colored, painted, or striped surface.	N/A.	
Display areas shall not block building entries or exits, pedestrian walks, or parking spaces in front of the building. Outdoor display areas shall not spill into walkways or any drive aisle adjacent to a building.	N/A.	
Access Requirements: <ol style="list-style-type: none"> Each roadway shall not be more than 40' in width, measured at right angles to the center line of the driveway except as increased by permissible curb return radii; and the entire flare of any return radii shall fall within the right-of-way. 	Complies.	
Off-Street Truck Loading Space: Every structure involving the receipt or distribution by vehicles of materials or merchandise shall provide and maintain on the building's lot adequate space for standing, loading, and unloading of the vehicles in order to avoid undue interference with public use of streets, alleys, required parking stalls, or accessible stalls.	N/A.	
Screening of Storage & Loading Areas: To alleviate the unsightly appearance of loading facilities, these areas shall not be located on the side(s) of the building facing the public street(s). Such facilities shall be located interior to the site.	Complies.	

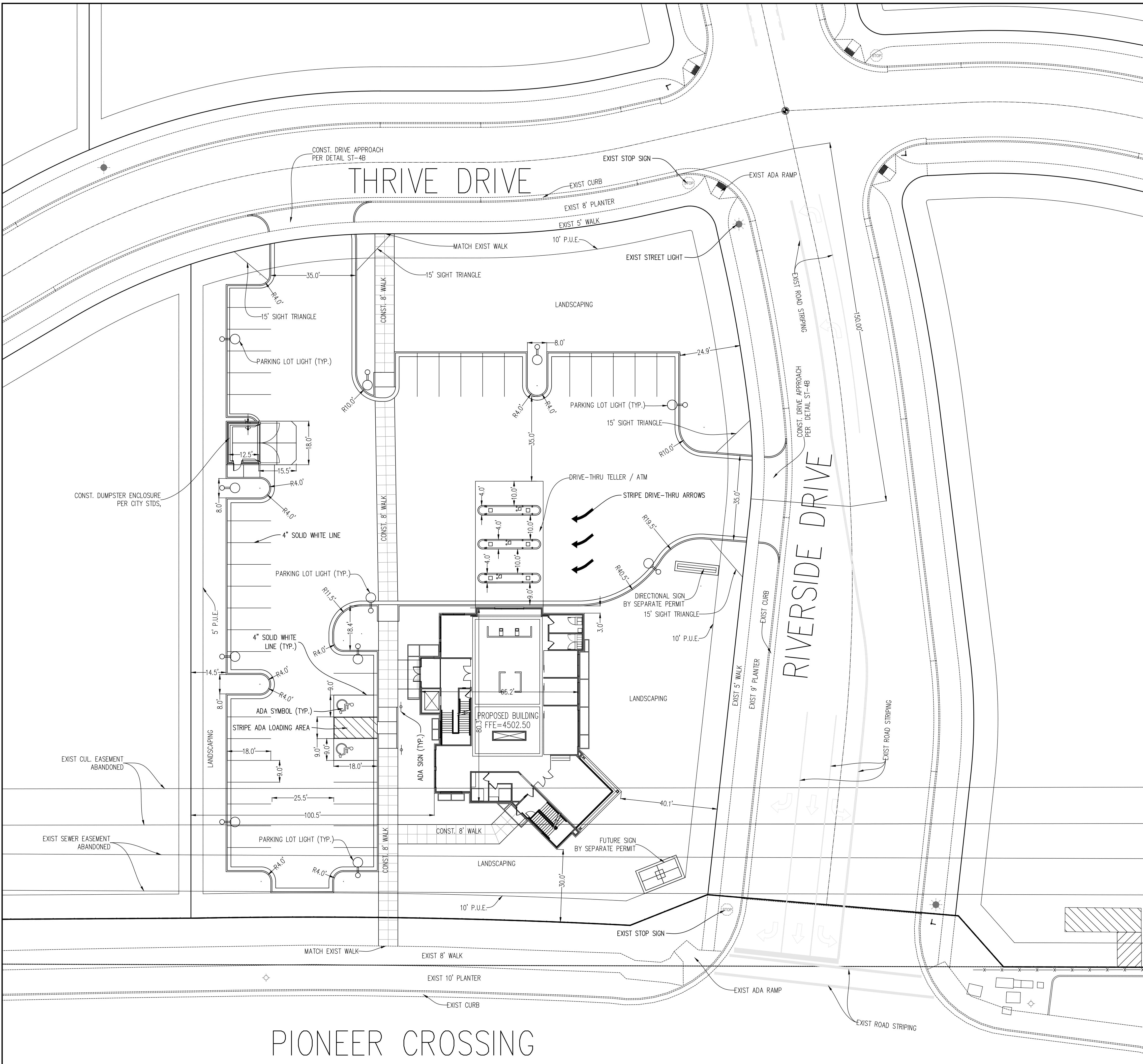
Screening for storage and loading areas shall be composed of 6' high solid masonry or architectural precast concrete walls with opaque gates and self-latching mechanisms, to keep gates closed when not in use. Bollards are required at the front of the masonry walls to protect the enclosure from trash collection vehicles.	Complies.	
Gates shall be made of opaque metal for durability. Chain-link gates with opaque slats are prohibited.	Complies.	
The method of screening shall be architecturally integrated with the adjacent building in terms of materials and colors.	Complies.	
Trash areas shall be designed to include the screening of large items (e.g. skids and pallets) as well as the trash bin(s) that are needed for the business (unless storage is otherwise accommodated behind required screened storage areas).	Complies.	
Buffers: A wall and landscaping, fencing, or landscaping of acceptable design shall effectively screen the borders of any commercial or industrial lot which abuts an existing agricultural or platted residential use. Such a wall, fence, or landscaping shall be at least 6' in height, unless a wall or fence of a different height is required by the Land Use Authority as part of a site Plan review.	Complies.	
No chain-link or wood fences are permitted as buffering or screening between commercial and residential. Masonry and solid vinyl are suggested types of fences, and as circumstances require, one or the other may be required.	Complies.	
Unless otherwise required by this Title, walls or fences used as a buffer or screen shall not be less than 6' in height.	Complies.	
Parking Lot Buffers: There shall be a minimum of 10' of landscaping between parking areas and side and rear property lines adjacent to agricultural and residential land uses.	Complies.	
Building Buffer: No building shall be closer than 5' from any private road, driveway, or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building. Exceptions may be made for any part of the building that may contain an approved drive-up window.	Complies.	
Interconnection: All parking and other vehicular use areas shall be interconnected with adjacent non-residential properties in order to allow maximum off-street vehicular circulation.	Complies.	
General Architectural Design Standards		
Building Articulation: Building elevations exceeding 40' in length shall incorporate a minimum of one horizontal elevation shift or combination of vertical and horizontal elevation shifts, stepping portions of the elevation to create shadow lines and changes in volumetric spaces of at least five feet, and a minimum of two of the following, all spaced at intervals of 20' to 50' of horizontal width: <ul style="list-style-type: none"> i. A combination of vertical and horizontal elevation shifts that together equal at least 5'. ii. Addition of horizontal and vertical divisions by use of textures or materials. iii. Primary material change. iv. Addition of projections such as balconies, cornices, covered entrances, porte-cochères, trellis', pergolas, arcades, and colonnades. Such trellis' and awnings extend outward from the underlying wall surface at least 36". v. Variation in the rooflines by use of dormer windows, overhangs, arches, stepped roofs, gables or other similar devices. 	Complies.	

Roof Treatment: Sloped roofs shall provide articulation and variations in order to break up the massiveness of the roof. Sloped roofs shall include eaves which are proportional to the roofs slope and scale of the building.	Complies.	
Flat roofs shall be screened with parapets on all sides of the building. If no roof top equipment exists or is proposed, the parapet shall be a minimum of 12" in height above the roof.	Complies.	
All roofs on two-family, three-family, and multi-family dwellings shall have a minimum pitch of 3/12 (25% slope). To provide architectural enhancement, residential structures are encouraged to have multiple pitch variations.	N/A.	
Roof mounted equipment shall not be visible from adjacent public and private streets as well as from adjacent properties, unless grade differences make visibility unavoidable.	Complies.	
Screening shall be solid and shall be consistent with the material and color of exterior finishes of the building through the use of at least two out of three of the exterior finishes of the building.	Complies.	
Windows: Windows, other than rectangular windows, may be used as accents and trim. Untreated aluminum or metal window frames are prohibited.	Complies.	
Awnings, Canopies, Trellises, Pergolas, and Similar Features: All such features must be attached to a vertical wall.	Complies.	
All such features shall project at least 4' from the building when located over a pedestrian traffic area and no less than 2' otherwise.	Complies.	
All such features shall maintain a minimum clearance above sidewalk grade of 8' to the bottom of the framework when located over a pedestrian traffic area.	Complies.	
Backlighting is not permitted.	Complies.	
Mechanical Equipment: All mechanical equipment shall be located or screened and other measures shall be taken so as to shield visibility of such equipment from any public or private streets.	Complies.	
Wing walls, screens, or other enclosures shall be shall be integrated into the building and landscaping of the site, whether located on the ground or roof.	Complies.	
Rooftops of buildings shall be free of any mechanical equipment unless completely screened from all horizontal points of view.	Complies.	
Screening materials shall conform to the color scheme and materials of the primary building.	Complies.	
Non-Residential Architectural Design Standards		
Four Sided Architecture: All sides of a building that are open to public view (including views from adjacent residential dwellings or probable location of residential dwellings) shall receive equal architectural design consideration as the building front.	Complies.	
Color and Materials: Exterior Building Materials shall be considered any materials that make up the exterior envelope of the building and shall be limited to no more than four and no less than two types of materials per building, window and door openings excluded.	Can Comply.	<i>Provide a pdf with colors and materials.</i>
Color of exterior building materials (excluding accent colors) shall be limited to no more than four and no less than two major colors per development.	Complies.	
Bright colors, such as neon or fluorescent colors, bright orange or yellow, and primary colors, are only permitted as accent colors.	Complies.	
No more than 75% of any building elevation shall consist of any one material or color.	Complies	<i>Provide a pdf with colors and materials.</i> Complies

<ul style="list-style-type: none"> i. No more than 50% of any building elevation shall consist of CMU, except in the Office Warehouse and Industrial zones, or ii. Office, Warehouse, Flex buildings in approved zones that utilize concrete tilt up construction are exempt from the maximum 75% of one material per elevation requirement but must follow all other architectural standards. 		
Prohibited Materials: Tiles. Full veneer brick and tiles exceeding $\frac{1}{2}$ " in thickness is permitted, however veneer tile is prohibited. Stucco stone patterns and stucco brick patterns. Wood as a primary exterior finish material. Plain, grey, unfinished CMU block except as an accent material.	Complies.	
Stairways: All stairways to upper levels shall be located within the building unless otherwise approved by the Land Use Authority for secondary access to outdoor patio decks or other usable outdoor area.	Complies.	
Roof Drains: All roof drains, conduit and piping, maintenance stairs and ladders, and other related services shall be located on the interior of the building.	Complies.	
Electrical Panels: To the extent possible, all electric panels and communication equipment should be located in an interior equipment room.	Complies.	
Street Orientation: All Retail or Commercial buildings shall have expansive windows, balconies, terraces, or other design features oriented to the street or adjacent public spaces.	Complies.	
At least 50% of the first floor elevation(s) of a building that is viewed from a public street shall include windows and/or glass doors to minimize the expanse of blank walls and encourage a pedestrian friendly atmosphere. This percentage may be reduced to 35% for buildings without a retail component or with medical uses on the first floor.	Complies.	
Metal Buildings: Metal buildings are only permitted in the Agricultural, Residential Agricultural, Rural Residential, Office Warehouse and Industrial Zones.	N/A.	
All metal buildings shall be designed to have an exterior appearance of conventionally built structures. Stock, "off the shelf" metal buildings are prohibited.	N/A.	
Metal buildings in the Agricultural, Residential Agricultural, and Rural Residential zones shall only be used for agriculture as defined in Section 19.02.02 of the City Code.	N/A.	
Mixed Use and Mixed Waterfront Site Additional Standards		
Development Agreement	Complies	<i>All mixed use standards have been addressed in the Amended Development Agreement</i>

Fiscal Impact	
Regulation	Findings
Is there any City maintained open space?	<i>None</i>
What is the anticipated cost to the City?	<i>None</i>
When will City maintenance begin?	<i>NA</i>

Exhibit 3: Site Plan & Signage Plan



PARKING TABULATIONS:

TOTAL BUILDING FLOOR AREA (2 STORY W/ BASEMENT): 16,227 S.F.
 5,409 @ 1/500 (FINANCIAL) = 10.8 STALLS REQUIRED
 5,409 @ 1/250 (OFFICE) = 21.6 STALLS REQUIRED
 5,409 @ 1/1000 (STORAGE) = 5.4 STALLS REQUIRED
 REQUIRED STALLS: 38 STALLS

PARKING STALLS PROVIDED INCLUDING ADA: 43 STALLS
 ADA STALLS REQUIRED/PROVIDED: 2 STALLS

RIGHT-OF-WAY ENCROACHMENT PERMIT NOTE:

A EXCAVATION PERMIT FOR RIGHT-OF-WAY ENCROACHMENT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE RIGHT-OF-WAY. CONTACT MARK EDWARDS AT 801-766-9793 EXTENSION 118

FEMA 100 YEAR FLOOD PLAIN ZONE
 THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, MAP NUMBER 4955170105B, WITH A REVISED EFFECTIVE DATE OF JULY 17, 2002.

ON-SITE PAVEMENT DESIGN
 3" ASPHALT
 8" UNTREATED ROAD BASE



BENCH MARK		REVISIONS	
NORTH QUARTER CORNER, SECTION 23, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4509.11		Rev. Date Description	
		1 04/16/21 REVISED PER CITY COMMENTS FROM FIRST REVIEW	
Owner/Developer: Central Bank	c/o Mark Packard	Drawn by: D.W.P.	Scale: 1"=20'
	75 N. University Ave, Provo, UT 84601	Designed by: D.W.P.	Date: 02/12/21
	801-655-2153	Checked by: D.W.P.	C2
CENTRAL BANK		SITE, CONTEXT, SIGNAGE & STRIPING PLANS	
SARATOGA SPRINGS	207 E. Thrive Drive	12 West 100 North, Suite 201, American Fork, UT 84003	
UTAH		P. (801) 756-4504; david@excelcivil.com	
EXCEL	ENGINEERING	David W. Peterson, P.E., License #270393	
		12 West 100 North, Suite 201, American Fork, UT 84003	
		P. (801) 756-4504; david@excelcivil.com	

Exhibit 5: Elevations



A NEW OFFICE BUILDING FOR CENTRAL BANK

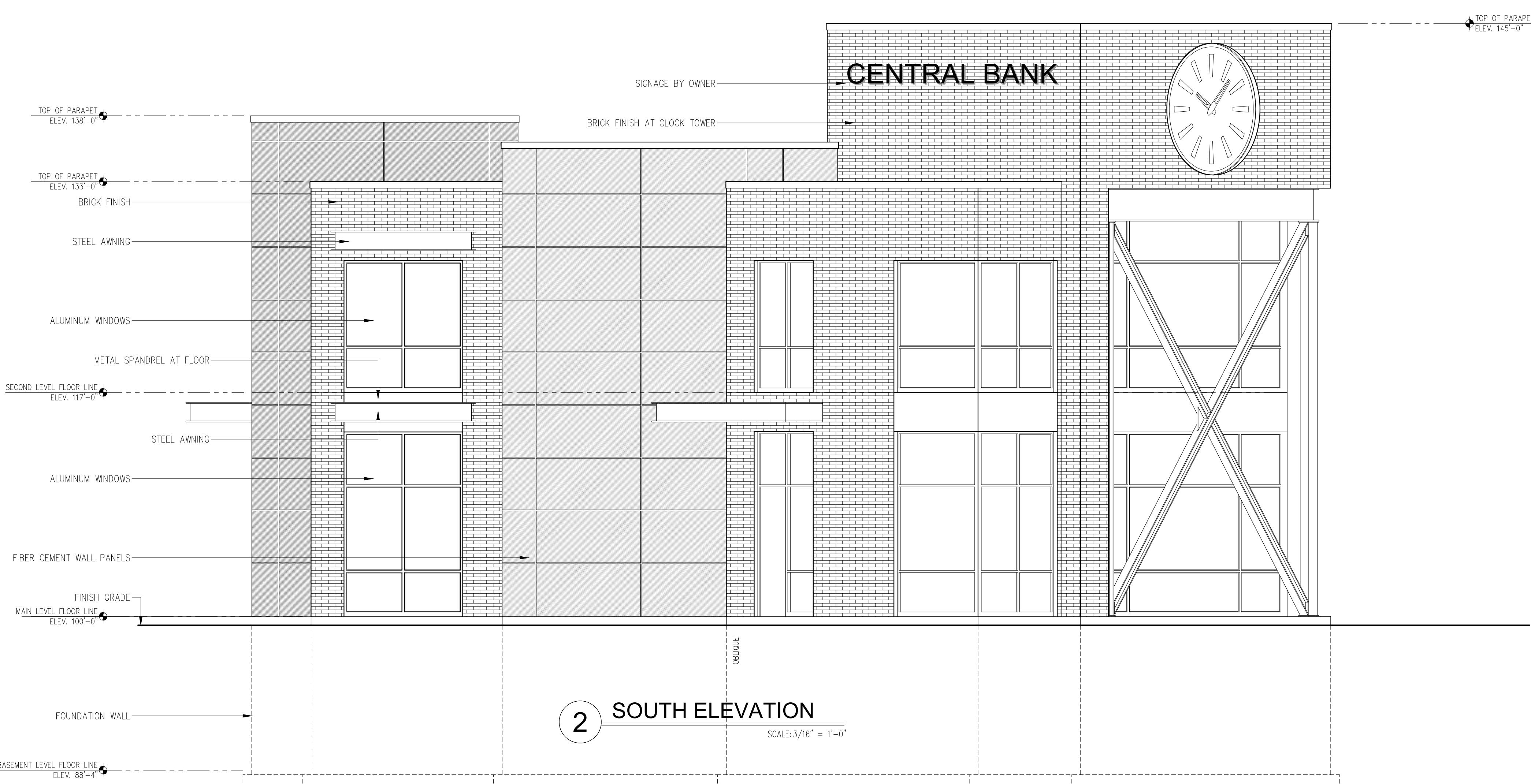
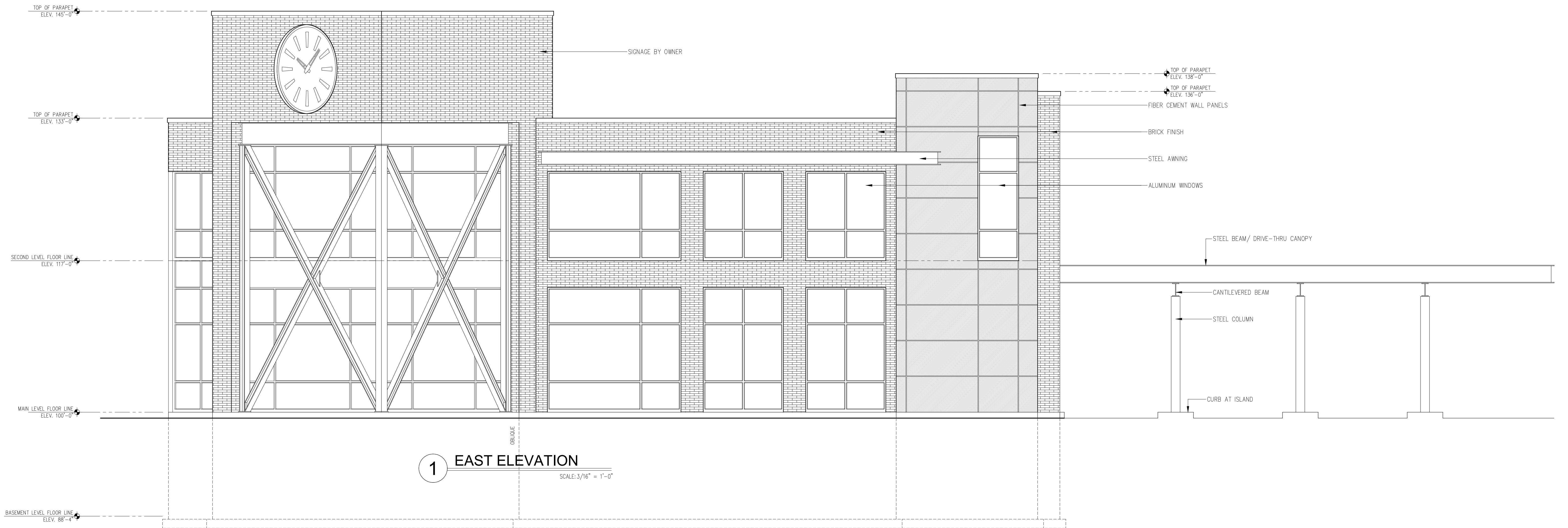


Exhibit 6: Photo of Colors and Materials Board



Exhibit 7: Photometric Plan

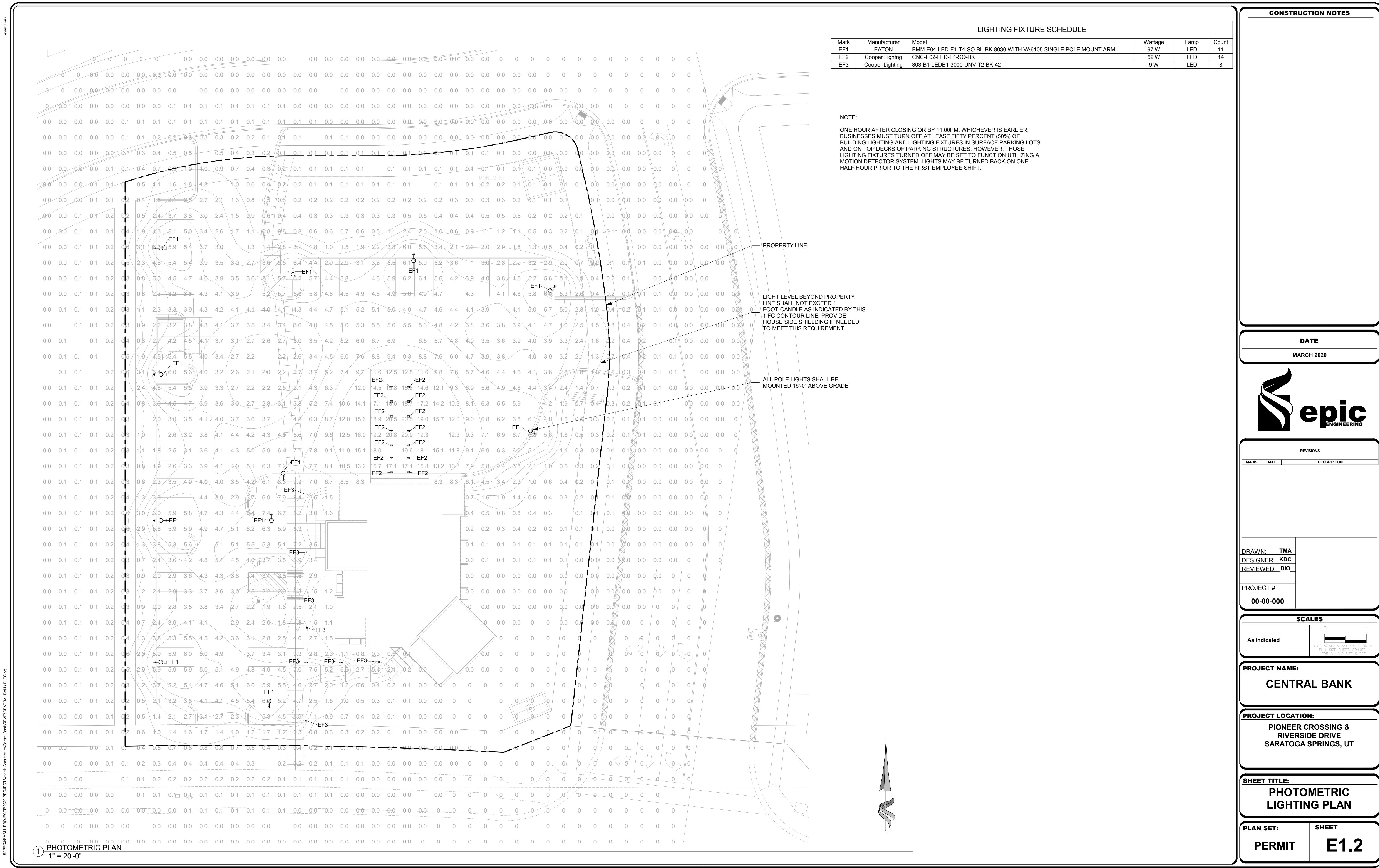


Exhibit 7: Photometric Plan

PULL LIGHT FIXTURE - EF1

Invue

DESCRIPTION

The EPIC Collection delivers custom luminaire flexibility with high quality, yet availability expectations of standard specification grade product. The EPIC Collection can be dressed to suit any application. Recognizing evolving environmental and legislative trends, the EPIC Collection delivers world class LED optical and performance solutions to the decorative luminaire marketplace.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

TOP: Cast aluminum top housing attaches to cast aluminum mounting arm hub with four stainless steel fasteners. One-piece silicone gasket between mounting hub and top casting seals out moisture and contaminants. (See the mounting accessories section for a full selection of mounting arms. (Only these arms are compatible with the Epic luminaire). MIDSECTION: Continuous silicone gaskets seal lens to top casting and shade. The mid section features cast aluminum construction and stainless steel assembly. SHADES: Heavy gauge precision spun aluminum shades offer superior surface finish and consistency in form. DOORFRAME: Die-cast aluminum 1/8" thick door and doorframe seal to underside of shade with a thick wall continuous silicone gasket. Mounting hub ships attached to mounting arm.

Optics

Choice of twelve patented, high-efficiency AccuLED Optic™ technology manufactured from

injection-molded acrylic. Optics are precisely designed to shape the optics, maximizing efficiency and application spacing. AccuLED Optic technology, creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and nominal 70 CRI. Optional 3000K CCT and 5000K CC. For the ultimate level of spill light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2, SL3 or SL4 optics.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard

with 10kV/10kA common – and differential – mode surge protection. LightBARs feature and IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

Finish

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty

Five-year warranty.



ECM/EMM EPIC MEDIUM LED

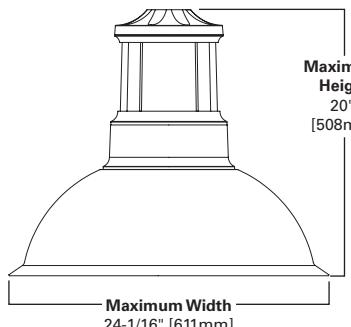
1 - 4 LightBARs

Solid State LED

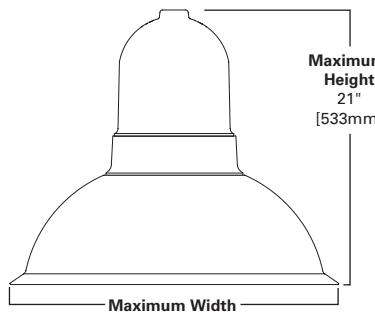
DECORATIVE AREA LUMINAIRE

DIMENSIONS

ECM Classical



EMM Modern



See configurations for more detailed information.

CERTIFICATION DATA

UL/cUL Listed
IP66 LightBARs
LM79 / LM80 Compliant
2G Vibration Tested
ISO 9001

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V 50/60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

EPA

Effective Projected Area: (Sq. Ft.) 0.94

SHIPPING DATA

Approximate Net Weight:
45 lbs. [20 kgs.]



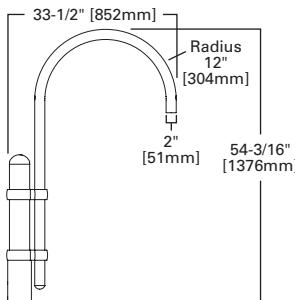
TD500028EN
2017-03-29 10:21:56

LIGHT FIXTURE MOUNTING ARM - EF1

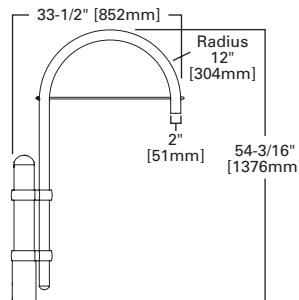
ECM/EMM EPIC MEDIUM LED

MOUNTING ACCESSORIES

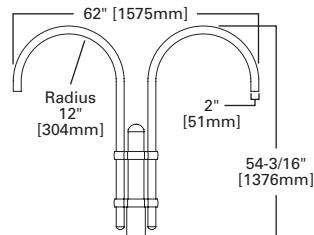
Pole mount arms are designed to fit both medium ECM/EMM housings. (Only these arms are compatible with the Epic luminaire). Arms feature a precision welded cast aluminum mounting hub for attachment of fixture head to arm with four stainless steel fasteners. Wall mount arms compliment pole mount luminaires and attractively transition fixture scale in lower mounting height pedestrian environments. Wall mount arms are designed to fit both medium ECM/EMM housings. Arms feature a precision welded cast aluminum mounting hub for attachment of fixture head to arm with four stainless steel fasteners.



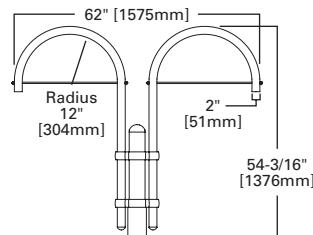
BISHOP SINGLE POLE MOUNT ARM
VA6105 (Modern), VA6154 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 24 lbs. E.P.A: 0.92



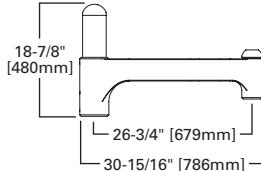
BISHOP SINGLE POLE MOUNT ARM WITH CROSS ROD
VA6106 (Modern), VA6155 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 25 lbs. E.P.A: 0.98



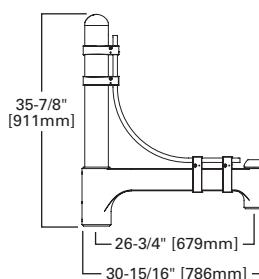
BISHOP TWIN POLE MOUNT ARM
VA6107 (Modern), VA6156 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 37 lbs. E.P.A: 1.43



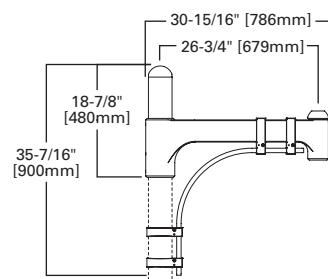
BISHOP TWIN POLE MOUNT ARM WITH CROSS RODS
VA6108 (Modern), VA6157 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 39 lbs. E.P.A: 1.55



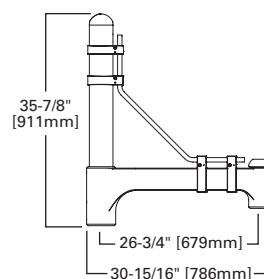
TRADITIONAL SINGLE POLE MOUNT ARM
VA6109 (Modern), VA6158 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 20 lbs. E.P.A: 0.86



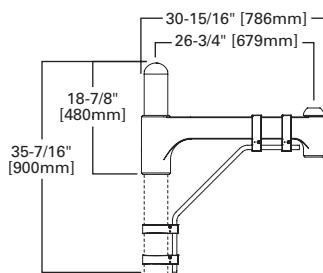
TRADITIONAL SINGLE POLE MOUNT ARM WITH ROUNDED UPPER BAR
VA6110 (Modern), VA6159 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 28 lbs. E.P.A: 1.4



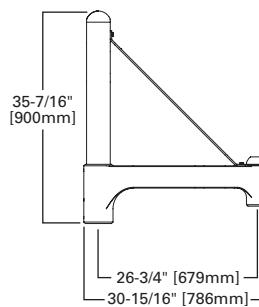
TRADITIONAL SINGLE POLE MOUNT ARM WITH ROUNDED LOWER BAR
VA6111 (Modern), VA6160 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 25 lbs. E.P.A: 1.16



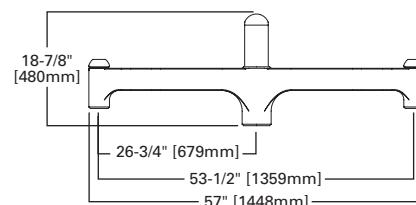
TRADITIONAL SINGLE POLE MOUNT ARM WITH 45° UPPER BAR
VA6112 (Modern), VA6161 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 28 lbs. E.P.A: 1.38



TRADITIONAL SINGLE POLE MOUNT ARM WITH 45° LOWER BAR
VA6113 (Modern), VA6162 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 24 lbs. E.P.A: 1.17



TRADITIONAL SINGLE POLE MOUNT ARM WITH 45° UPPER STRAP
VA6114 (Modern), VA6163 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 24 lbs. E.P.A: 1.17



TRADITIONAL TWIN POLE MOUNT ARM
VA6116 (Modern), VA6165 (Classical)
Slipfits over 4" round straight pole, or 4" O.D. by 6" tall tenon.
Weight: 30 lbs. E.P.A: 1.44

EPA:

Wind Loading and Dimensional Data:																		
Pole Description		80 MPH		90 MPH		100 MPH		110 MPH		120 MPH		130 MPH		140 MPH		150 MPH		
Shaft Size & Wall Thickness	Mounting Height	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	Max EPA (SQ FT)	Max Weight (LBS)	
4" Round, 5mm Wall	10' - 0"	16.3	175	12.0	100	9.4	100	7.6	100	6.3	100	5.3	100	4.5	100	3.9	100	43
	12' - 0"	12.1	185	9.6	100	7.4	100	5.9	100	4.9	100	4.1	100	3.5	100	2.9	100	52
	14' - 0"	9.7	190	7.7	100	5.8	100	4.6	100	3.7	100	3.1	100	2.6	100	2.2	100	60
	16' - 0"	7.5	155	6.0	100	4.4	100	3.3	100	2.7	100	2.2	100	1.8	100	1.5	100	69
	18' - 0"	5.7	125	4.6	100	3.1	100	2.3	100	1.8	100	1.4	100	1.1	100	0.9	100	78
	20' - 0"	4.3	95	3.3	100	2.1	100	1.4	100	1.0	100	0.7	100	0.5	100	-	-	86
5" Round, 5mm Wall	16' - 0"	10.1	200	8.6	100	6.6	100	5.3	100	4.4	100	3.6	100	3.0	100	2.5	100	72
	18' - 0"	8.0	255	6.8	100	5.1	100	4.1	100	3.3	100	2.7	100	2.2	100	1.8	100	81
	20' - 0"	6.4	150	5.2	100	3.8	100	3.0	100	2.3	100	1.9	100	1.5	100	1.2	100	90
	25' - 0"	4.0	200	3.4	100	2.4	100	1.7	100	1.2	100	0.8	100	0.6	100	-	-	112

NOTES:

- Maximum EPA (Effective Projected Area) and weight values are based on AASHTO 2013 (90-150MPH) and AASHTO 2008 (80MPH)
- Consult factory on loading criteria for pole top mounted luminaires and/or brackets
- Variations from sizes above are available upon inquiry at the factory
- Satisfactory performance of poles is dependent upon the pole properly attached to a supporting foundation of adequate design
- Structure weight is a nominal value which includes the pole shaft and base plate only
- Side drilled poles include polycarbonate pole cap
- All poles include anchor bolts standard, consult dimension table for size based on pole dimensions
- All poles include square 2-piece black base cover
- Pole accessories listed below use their own part number
- Pole accessories are field installed
- Pole accessories color match the black pole

Accessories for 4" & 5" Straight Round Aluminum Pole:

VVDPTSB1SZ - Single Spoke Bracket, fits P2 Tenon	VVDPTSB290SZ - Twin Spoke Bracket, 90 Degree Arms, fits P2 Tenon	VVDPTSB180SZ - Twin Spoke Bracket, 180 Degree Arms, fits P2 Tenon
		
VVDPTSB390SZ - Triple Spoke Bracket, 90 Degree Arms, fits P2 Tenon	VVDPTSB3120SZ - Triple Spoke Bracket, 120 Degree Arms, fits P2 Tenon	VVDPTSB490SZ - Quad Spoke Bracket, 90 Degree Arms, fits P2 Tenon
		
VVDPRSWMBZ - Wall Mount Bracket	VVDPRSWMB90Z - Wall Mount Bracket, 90 Degrees	
		



Vivid Leds, Inc.
PO BOX 9
Sellersburg, IN 47172
800-974-3570
www.vividleds.us

Dimensions, specifications, and product pictures are subject to change without notice.

The product on this page is a manufactured to order, non-stocking item. This product cannot be returned for refund or credit.

Revised 9.26.18

WASHINGTON AC2
Cast Aluminum - Clamshell

valmont

STRUCTURES

Job Name: _____
Job Location - City: _____ State: _____
Product: _____ Quote: _____

Client Name: _____
Created By: _____ Date: _____
Customer Approval: _____ Date: _____

BASE COVER CLOSE-UP



SPC7278 11/10 Valmont industries and its parent companies are the most current spec information and supersede these guidelines.



SARATOGA SPRINGS

Life's just better here

PLANNING COMMISSION Staff Report

North Lake Meadow

May 13, 2021

Public Hearing

Report Date:	May 5, 2021
Applicant:	Keaton Morton
Owner:	Drosam, LLC and Carol Baum
Location:	East of Clark Drive and 145 North
Major Street Access:	East of Clark Drive and 145 North
Parcel Number(s) & Size:	13:028:0065 / 4.77 acres and 13:028:0064 / 2.51 acres
Land Use Designation:	Low Density Residential
Parcel Zoning:	Agriculture
Adjacent Zoning:	Agriculture
Current Use of Parcels:	Vacant
Adjacent Uses:	Vacant
Type of Action:	Legislative
Land Use Authority:	City Council
Future Routing:	City Council
Planner:	Gina Grandpre, Planner II

A. Executive Summary:

The applicant requests the City to rezone the property from Agricultural to R1-9, generally east of east of Clark Drive and north of 145 North Street, as shown on Exhibit 1. The applicant also requests non-binding feedback on the proposed North Lake Meadow concept development. This request affects approximately 7.28 acres or 317,116.8 square feet.

Recommendation:

Staff recommends the Planning Commission conduct a public hearing on the rezone, take public comment, review and discuss the proposal, and choose from the options in Section H of this report. Options include recommendation of approval with or without modification, recommendation of denial, or continuation.

Gina Grandpre, Planner II

ggrandpre@saratogaspringscity.com

1307 North Commerce Drive, Suite 200 • Saratoga Springs, Utah 84045
801-766-9793 x107 • 801-766-9794 fax

B. Background: The subject property is unplatted, undeveloped. The applicant's objective is to rezone the property, and then develop the property into 23 lots. Due to the Master Trails Plan, which requires a trail along 145 North Street and Master Planned utilities, the property will require a development agreement with the City to be signed prior to scheduling this application for a decision by the City Council.

C. Specific Requests:

- Rezone. The applicant requests a rezone the ~7.28 acres from Agriculture to R1-9.
- Concept Plan. The applicant requests non-binding feedback on the proposed concept plan.

D. Process:

Rezone Amendment

The table in Section 19.13.04 outlines the process requirements of a Rezone and General Plan Amendment. A public hearing is required with the Planning Commission who then make a recommendation to the City Council. The City Council shall then either approve, continue, or deny the request at a public meeting.

Concept Plan

Section 19.17.02 states "Petitions for changes to the City's Zoning Map for all land use zones shall be accompanied by an application for Concept Plan Review or Master Development Agreement approval pursuant to Chapter 19.13 of this Code."

Per Chapter 19.13 of the City Code, the process for a Concept Plan includes an informal review of the Concept Plan by both the Planning Commission and the City Council. The review shall be for comment only, no public hearing is required and no recommendation or action made.

The table in Section 19.13.04 has since been amended and a concept plan is not mandatory.

E. Community Review: This item was noticed in the *Daily Herald* as a Planning Commission public hearing and a mailed notice sent to all property owners within 300 feet. As of the date of this report, no contact has been received by the City regarding the proposal. The notice has also been posted in the City building, www.saratogspringscity.com, and www.utah.gov/pmn/index.html.

F. General Plan: The land use designation of the parcels is Low Density Residential, the request is to change all of the property to R1-9. The applicant's request to change the zone from Agriculture to R1-9 is consistent with the requested land uses of Low Density Residential designation.

The General Plan defines Office Low Density Residential as:

Single-family neighborhoods built on a highly connected street pattern and interspersed with schools, public facilities, walkable neighborhood amenities, parks and trails. The Low Density Residential designation is expected to be the City's most prevalent land-use designation.

Staff conclusion: *complies. The requested zones comply with the requested land use designations. The R1-9 zone will be adjacent to future residential property.*

G. Code Criteria:

Rezones are legislative decisions. Therefore, the City Council has significant discretion when making a decision on such requests. Because of this legislative discretion, the Code criteria below are guidelines and are not binding.

Rezone and General Plan Amendment:

Section 19.13.04 requires the Planning Commission to hold a public hearing and make a recommendation to the City Council regarding rezones and General Plan amendments.

Staff finding: *complies. A Planning Commission public hearing is scheduled on May 13, 3031.*

19.17.03. Planning Commission and City Council Review.

1. The Planning Commission reviews the petition and makes a recommendation to the City Council within 30 days of the receipt of the petition. **Staff finding: consistent.**

Petition also included a concept plan that required a review process longer than 30 days.

2. The Planning Commission shall recommend adoption of proposed amendments only when it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and this Title. **Staff finding: consistent.**

The Land Use Plan identifies desired land uses for all areas within the City of Saratoga Springs and provides a framework to guide future planning for the community – where people live, work, play, and shop. It supports a variety of land uses that can continue to make Saratoga Springs an attractive place to live and work, while preserving Saratoga Springs' small-town charm. Stable and peaceful single-family neighborhoods are the "building block" of the community, with a mix of smaller and denser residential units in appropriate locations to help diversify the housing stock. Employment areas accommodate a diverse array of businesses and support well-paying jobs.

3. The Planning Commission shall provide the notice and hold a public hearing as required by Utah Code. For an application which concerns a specific parcel of property, the City shall provide the notice required by Chapter 19.13 regarding a public hearing. **Staff finding: consistent.**

All required notices in compliance with State and local laws have been sent or posted informing the public of the Planning Commission public hearing.

19.17.04. Gradual Transition of Uses and Density.

It is the policy of the City Council, through exercising its zoning authority, to: (a) transition high intensity uses to help prevent the impacts of high density uses on low density areas; and (b) to

limit inconsistent uses being located on adjacent parcels. The City Council may implement this policy using its zoning powers. Through amendments to the General Plan and the Zoning Map, the City Council intends to apply the following guidelines to implement this policy:

1. Residential lots, parcels, plats, or developments should not increase by more than 20% of density as compared to adjacent lots, zones, parcels, plats, or developments to enable a gradual change of density and uses. To appropriately transition, new lots should be equal to or larger than immediately adjacent existing platted lots.
2. Exceptions
 - a. The City should avoid allowing high intensity uses (e.g., commercial, industrial, multi-family structures, etc.) adjacent to lower intensity uses (e.g., single family, low density residential, etc.), however may allow these uses to be located adjacent to each other if appropriate transitions and buffers are in place. Appropriate buffers and transitions include a combination of roadways, landscaping, building orientation and facades, increased setbacks, open spaces, parks, and trails.
3. Despite these guidelines, the City Council recognizes that it will become necessary to allow high intensity next to low intensity uses in order to allow for the implementation of multiple zones in the City. The City Council should use their best efforts to limit inconsistent uses and zones being located on adjacent parcels and to mitigate inconsistent uses and zones through transitions and buffers.

Staff finding: consistent. *The requested zones are adjacent to similar zoning.*

19.17.05. Consideration of General Plan, Ordinance, or Zoning Map Amendment.

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a General Plan, ordinance, or zoning map amendment:

1. The proposed change will conform to the Land Use Element and other provisions of the General Plan. **Staff finding: consistent, if approved.**

The changes proposed are compatible with the surrounding land uses.

2. The proposed change will not decrease or otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public. **Staff finding: complies.**

No adverse consequences are anticipated by changing the zone. The proposed changes will allow for additional low density residential units in a location where such uses already exist.

3. The proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City. **Staff finding: complies.**

The purpose of Title 19 is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally. The proposed development complies with Title 19.

4. In balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change. **Staff finding: complies.**

The proposal of the applicant in regards to the R1-9 zoning in the City in a location that is adjacent to such uses/zoning, the community will be better served in keeping low density residential uses in this location.

5. Any other reason that, subject to legislative discretion of the City Council, could advance the general welfare.

Concept Plan Review

Section 19.17.02 states “Petitions for changes to the City’s Zoning Map for all land use zones shall be accompanied by an application for Concept Plan Review or Master Development Agreement approval pursuant to Chapter 19.13 of this Code.” However, the table in Section 19.13.04 has since been amended and indicates that a concept plan is not mandatory.

Per Chapter 19.13 of the City Code, the process for a Concept Plan includes an informal review of the Concept Plan by both the Planning Commission and the City Council. The reviews shall be for comment only, no public hearing is required and no recommendation or action made.

The proposed concept plan contains several redline corrections. Instead of resubmitting a concept plan multiple times, staff will provide the applicant a first review and allow the applicant the choice of moving on in the development process or resubmitting until the applicant is comfortable with the level of corrections needed.

The primary objective of a rezone request is to determine if the proposed changes are desired and needed. Multiple site plans could be developed in any zone. What the applicant submits at the time of rezone is just a concept. A concept implies there could be changes. The concept plan should be for informational purposes and not be the sole reason to approve or deny the request because other development concepts that meet the underlying zoning can be considered in the future.

The Planning Review Checklist has been provided which identifies areas the concept plan is deficient regarding Code requirements, attached as Exhibit 3.

H. Recommendation and Alternatives:

Staff recommends the Planning Commission conduct a public hearing, take public input, discuss the application, provide feedback on the concept plan and choose from the following options.

Option 1 –positive recommendation

I move to forward to the City Council a **positive** recommendation regarding North Lake Meadow rezone generally located on the East of Clark Drive and 145 North as outlined in Exhibit 1 with the findings and conditions in the staff report dated May 13, 2021:

Findings

1. The General Plan amendment will not result in a decrease in public health, safety, and welfare as outlined in the findings for approval in Section G of this report, which section is hereby incorporated by reference herein.
2. The Rezone is consistent with Chapter 19.17 of the Code, as articulated in the findings for approval in Section G of this report, which section is incorporated by reference herein.

Conditions

1. A development agreement that addresses the required trails and utilities on the property in accordance to the City's Master Trails Plan and Master Planned Utilities shall be required to be signed prior to scheduling this application with the City Council.
2. The rezone is recommended as shown in the attachment to the Staff report in Exhibit 1.
3. All requirements of the City Engineer shall be met.
4. All requirements of the Fire Marshal shall be met.
5. All other Code requirements shall be met.
6. Any other conditions or changes as articulated by the Planning Commission.

Alternative 1 – Continuance

The Planning Commission may also choose to continue the item. "I move to **continue** the North Lake Meadow rezone generally located on the East of Clark Drive and 145 North to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____
2. _____

Alternative 2 – Negative Recommendation

The Planning Commission may also choose to forward a negative recommendation to the City Council regarding the application. “I move to forward a negative recommendation to the City Council regarding the North Lake Meadow rezone with the findings below:

1. The North Lake Meadow rezone is not consistent with the General Plan, as articulated by the Planning Commission:
_____, and/or,
_____.
_____.
2. The North Lake Meadow rezone is not consistent with Chapter 19.17 or [XX.XX] of the Code, as articulated by the Planning Commission:
_____.
_____.

Comments on Concept Plan:

1. All requirements of the City Engineer shall be met.
2. Additional items will require further review at the subdivision/site plan review level.
3. The plans shall comply with all Code requirements.
4. Any comments providing direction from the Planning Commission: _____.

J. Exhibits:

1. Vicinity Map and Zone Map
2. Concept plan
3. Planning review checklist
4. Engineer’s Staff Report

Exhibit 1



Exhibit 3: Planning Review Checklist



SARATOGA
SPRINGS
PLANNING

APPLICATION REVIEW CHECKLIST

Application Information

Date Received:	4/2/2021
Date of Review:	4/14/2021
Project Name:	North Lake Meadow
Project Request / Type:	Rezone & Concept Plan
Meeting Type:	Public Hearing
Applicant:	Keaton Morton
Owner:	Drosam LLC & Carol Baum
Location:	145 North & Clark Ln.
Major Street Access:	145 North
Parcel Number(s) and size:	13:028:0065 and 13:028:0064; 7.27 acres
Land Use Designation:	Low Density Residential
Parcel Zoning:	Agriculture
Adjacent Zoning:	Agriculture
Current Use:	Agriculture
Adjacent Uses:	Agriculture
Previous Meetings:	N/A
Previous Approvals:	None
Type of Action:	Legislative
Land Use Authority:	City Council
Future Routing:	N/A
Planner:	Gina Grandpre, Planner II

Section 19.13 – Application Submittal

- Application Complete: **Yes**.
- Rezone Required: **Yes**.
- General Plan Amendment required: **No**.
- Additional Related Application(s) required: **N/A**.

Section 19.13.04 – Process

- DRC: 04/12/21 – No Comments
- Neighborhood Meeting: N/A
- PC: TBD
- CC: TBD

General Review

Building Department

- Setback detail
- Lot numbering – per phase (i.e. Phase 1: 100, 101, 102. Phase 2: 200, 201, 202, etc.)
- True buildable space on lots (provide footprint layout for odd shaped lots)
- Lot slope and need for cuts and fills

Fire Department

- Residential:
 - Fire flows shall be met for this development and future development in the area.
 - Hydrants shall not exceed 500' spacing in R3-6 and lower areas.
 - Higher than R3-6, hydrants shall not exceed 300' spacing.
 - All three story structures above grade shall be fire sprinkled and meet NFPA 13 requirements where required.
 - All access roads shall support 26' of un-obstructed drive isle with parking on the streets.
 - The 59' road cross-section shall be used if applicable. If the streets are not able to support such movement, fire lane signage shall be posted by the developer.
 - All cul-de-sacs shall meet our current standard and shall have hydrants in them. All cul-de-sacs shall be a minimum of 96' in diameter from curb face to curb face and have a hydrant located within the cul-de-sac.
 - Third party review required for sprinkler systems
 - Dimension street and cul-de-sac widths on plat
 - Turnarounds on cul-de-sacs and dead-ends more than 150' in length
- Commercial:
 - Fire flows shall meet existing needs as well as future development in the area.
 - Hydrant spacing shall not exceed 300'.
 - Buildings shall be fire sprinkled and meet NFPA 13 requirements and all applicable IFC 2015 edition requirements and appendices.
 - Alarm system and notification systems shall all be tied together with the fire sprinkler system and monitored 24/7, 365 by a third party monitoring company.
 - This same system and / or monitoring company shall also be able to notify UVSSD 911 dispatch center 24/7 365.
 - All sprinkler plans and alarm plans shall be third party reviewed by PCI in Centerville, Utah, Attn: Bob Goodloe.

GIS / Addressing

- comments

Additional Recommendations:

-

Code Review

- 19.04, Land Use Zones
 - Zone: Agriculture – Proposed Rezone to R1-9
 - Use: Low Density Residential

19.04.010 Requirements		R1-9	
Category To Be Reviewed	Regulation	Compliance	Findings
Maximum Units per Acre	4 unit/acre	Complies	3.2 acres
Lot Size, Residential (Minimum)	9,000 sq. ft.	Complies	
Lot Size, Non-Residential (Minimum)	30,000 sq. ft.	N/A	
Footprint Development	allowed		
Building Separation - Footprint (Minimum)	10'	Complies	
Project Size - Footprint (Minimum)	5 acres	Complies	
Lot Coverage (Maximum)	50%	Can Comply	TBD at Building permit
Structure Height (Minimum)	35'	Can Comply	TBD at Building permit
Dwelling Size (Minimum)	1,250 sq. ft.	Can Comply	TBD at Building permit
Lot Width (Minimum)	70'	Complies	
Lot Frontage*** (Minimum)	35'	Complies	
Open Space Frontage (Minimum)	35'	Complies	
Front Setback* (Minimum)	25', 20' for enclosed entry or porches	Can Comply	TBD at Preliminary plat
Street Side Setback (Minimum)	20'	Can Comply	TBD at Preliminary plat
Interior Side Setback, Residential(Minimum)	8'/16'(min/combined)	Can Comply	TBD at Preliminary plat
Interior Side Setback, Non-Residential(Minimum)	25'	Can Comply	TBD at Preliminary plat
Rear* Setback, Residential(Minimum)	20'	Can Comply	TBD at Preliminary plat
Rear Setback, Non-Residential(Minimum)	20'	Can Comply	TBD at Preliminary plat

19.05 Supplemental Regulations

Regulation	Compliance	Findings
Flood Plain: Buildings intended for human occupancy shall be constructed at least one foot above the base flood elevation.	Complies.	
Water & Sewage: Each lot shall be connected to City water and sewer.	Complies.	
Transportation Master Plan: Lots shall not interfere with the Transportation Master Plan.	Complies.	
Property Access - All lots shall abut a dedicated public or private road.	Complies.	

19.12 Subdivision

Subdivision Layout

Layout: The subdivision layout should be generally consistent with the City's adopted Land Use Element of the General Plan, and shall conform to any land use ordinance, any capital facilities plan, any impact fee facilities plan, and the transportation master plan.	Complies.	
Block Length: The maximum length of blocks shall be 1,000'. In blocks over 800' in length, a dedicated public walkway through the block at approximately the center of the block will be required.	Complies.	
Such a walkway shall not be less than 15' in width unless otherwise approved by the City in accordance with other applicable standards approved by the City Council.	Can Comply.	<i>TBD at Preliminary plat</i>
Connectivity: The City shall require the use of connecting streets, pedestrian walkways, trails, and other methods for providing logical connections and linkages between neighborhoods.	Complies.	
Mailboxes: Group mailboxes shall be accessed only from a local street, and shall not be placed on a collector or arterial street, unless a bulbout is provided with space for a minimum of three vehicles to park outside the lane of travel and shoulder.	Can Comply.	<i>TBD at Preliminary plat</i>
Private Roads: Private roads may be constructed as approved as part of the Preliminary Plat approval and so long as such roads meet the same standards identified in the Saratoga Springs Standard Street Improvement Details.	Complies.	
Access: Where the vehicular access into a subdivision intersects an arterial road as defined in the Transportation Master Plan, driveways shall not be placed on the intersecting road within 100' of the arterial connection.	Complies.	
Two separate means of vehicular access onto a collector or arterial road shall be required when the total number of equivalent residential units (including adjacent developments and neighborhoods) served by a single means of access will exceed fifty.	Complies.	
Access Exception: Where no point of second access is available within 500' and where all units are provided with an approved sprinkler system, a second access shall not be required until the number of units reaches double the above limits.	Complies.	
Where two means of access are required, the points of access shall be placed a minimum of 500' apart, measured along the center of the driving lane from center of right-of-way to center of right-of-way.	Complies.	
Shared Driveways: Shared driveways shall be a minimum of 26' in width and shall direct all runoff to a public or private drainage system. All dwellings on shared driveways shall provide enclosed garages or other covered parking. Shared driveways accessing more than four dwellings shall also provide a minimum of 25' of parking space between the garage and shared driveway. Shared driveways with four or fewer dwellings, if not providing a minimum of 20' of parking space, shall install a remote garage door opener prior to issuance of Certificate of Occupancy. All requirements of the Fire Code shall also be met.	N/A.	
Lot Design		
All subdivisions shall result in the creation of lots that are developable and capable of being built upon.	Complies.	
All lots or parcels created by the subdivision shall have frontage on a street or road that meets the City's ordinances, regulations, and standards for public roads.	Complies.	
Flag lots may be approved with less frontage when the Planning Commission determines that the creation of such a lot would result in an improved design or better physical layout for the lot based on the following criteria:	Complies.	

i. For subdivisions with 20 or less lots: no more than 10% (rounding down) of the total lots are allowed to be flag lots; ii. For subdivisions with 50 or less lots: no more than 7.5% (rounding down) of the total lots are allowed to be flag lots; and iii. For subdivision with more than 50 lots: no more than 5% (rounding down) of the total lots are allowed to be flag lots.		
Land dedicated as public roads and rights-of-way shall be separate and distinct from land included in lots adjacent to public roads and rights-of-way.	Complies.	
Side property lines shall be at approximately right angles to the street line or radial to the street line.	Complies.	
Corner lots for residential use shall be 10% larger than the required minimum lot.	Can Comply.	<i>Lot 1 is a corner lot and is required to be 10% larger than 9,000 sq. ft.</i>
No lot shall be created that is divided by a municipal or county boundary line.	Complies.	
Remnants of property shall not be left in the subdivision that do not conform to lot requirements or are not required or suitable for common open space, private utilities, public purposes, or other purpose approved by the City Council.	Complies.	
Double access lots are not permitted with the exception of corner lots.	Complies.	
Driveways for residential lots or parcels shall not be allowed to have access on major arterials. Exception: Exceptions may be made for large lots (at least 1 acre in size) or for lots where the home is set back over 150' from the arterial roadway. Approval by UDOT may be required.	Complies.	
All subdivisions along arterial roadways shall conform to the City's requirements and adopted street cross-section including pedestrian walkways, park strips, landscaping, and fencing.	Complies.	

19.13 Process

Regulation	Findings
Neighborhood Meeting.	N/A
Notice/Land Use Authority.	<i>Notices to be mailed on April 27th, 2021</i>
Master Development Agreement.	TBD
Phasing Improvements.	N.A
Payment of Lieu of Open Space.	<i>.37 acres will be required for payment in lieu of open space.</i>

19.19 Open Space

Minimum Required Open Space

Regulation	Compliance	Findings
Open Space Required: A minimum of one Equivalent Acre of park space is required for every 40 residential units in a development, or fraction thereof.	Can Comply.	<i>.37 acres will require payment in lieu</i>
Minimum Percentage by Development: In addition to the minimum Equivalent Acres, to ensure a livable community, in no case shall the percentage of total open space acreage provided in the following types of development be less than the listed percentage: <ol style="list-style-type: none"> Single family developments: 10% of overall development acreage Multi-family developments: 15% of overall development acreage Mixed Use and Mixed Waterfront developments: 25% of overall development acreage 	Can Comply.	

d. Developments with both single family and multi-family: combination of the requirement based on the acreage for each type of housing.		
Other Limitations: In no case may the cumulative total of the following categories qualify for more than 50% of a development's Equivalent Acre requirement. <ul style="list-style-type: none"> i. Unimproved, not Sensitive Lands ii. Open space with no access 	Complies.	
Minimum Required Amenities		
Minimum Points: Minimum required points are based on the number of required Equivalent Acres provided in a contiguous park and are outlined in the table in 19.19.05(2).	Complies.	
Mixture of Amenities and Required Amenities: All parks are required to provide a mixture of amenities, including at least one separate item each from Categories C, D, and E.	Complies.	
No more than 25% of the points may be met by one specific item type in any one category.	Complies.	
All parks over 5 Equivalent Acres are also required to provide at least one item from Category A or B, and three items from category P, and a minimum one toilet restroom per each 5 acres or fraction thereof.	Complies.	
Items in Categories A and B may qualify for impact fee credits, if identified in the Parks and Trails Master Plan.	Complies.	
Payment in Lieu of Open Space		
Applicability: the City's Payment in Lieu of Open Space Program may be utilized for all or a portion of the requirement for developments that meet one or more of the following criteria: <ul style="list-style-type: none"> i. any single-family development where a minimum of 75% of the lots are 10,000 square feet or larger, or ii. any single-family development with a park requirement of less than one acre, or iii. any development in the MW zone where such fee will aid in the creation of large clustered open spaces near the waterfront, or iv. that portion of a development that is located within ¼ mile of an existing improved regional public park. 	Complies.	The applicant meets this requirement: <i>any single-family development with a park requirement of less than one acre,</i>
Total Cost: <ol style="list-style-type: none"> 1. The City shall maintain an annually updated list of land values for the cost of a non-sensitive developable acre, and apply the land value to the required Equivalent Acres for which the applicant desires to pay a fee in lieu. 2. The City shall calculate the minimum required points per this chapter, and multiply the points by \$2,000 to determine the cost of the minimum required open space improvements, including landscaping, parks, trails, and other amenities. 	Can Comply.	<i>.37 equivalent acres</i>

Fiscal Impact	
Regulation	Findings
Is there any City maintained open space?	<i>N/A</i>
What is the anticipated cost to the City?	<i>TBD</i>
When will City maintenance begin?	<i>ROW</i>

Exhibit 4: Engineer's Staff Report

Staff Report

Author: Gordon Miner, City Engineer
Subject: North Lake Meadow – Concept Plan
Date: 5/3/2021
Type of Item: Concept Plan Review



SARATOGA
SPRINGS

Description:

A. Topic: The applicant has submitted a concept plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

Applicant: Keaton Morton
Request: Concept Plan
Location: Parcels 13:028:0065 and 13:028:0064
Acreage: 7.27 acres -12 Lots

C. Recommendation: Staff recommends the applicant address and incorporate the following items into the development of their project and construction drawings.

1. The City has insufficient information at this time to determine what project and system improvements will be necessary to service the developer's property. As a result, this review does not reserve utility system capacity. Prior to, concurrent with, or subsequent to Final Plat Approval, the developer will be required to install all required infrastructure to service the property. In addition to all required project improvements, the developer may also be required to install any and all system improvements, subject to required impact fee credits.
2. Engineering reviewed the submitted concept and provided comments. The comments addressed potential feasibility issues.



Planning Commission Staff Report

Village Plan

Wildflower Village Plan 4

Thursday, May 13, 2021

Public Hearing

Report Date:	May 6, 2021
Applicant:	Nate Shipp, DAI
Owner:	WF 2 Utah LLC; CLH Holdings LLC
Location:	Mountain View Corridor & Harvest Hills Boulevard
Major Street Access:	Mountain View Corridor
Parcel Number(s) & Size:	58:021:0394; 58:021:0249; approximately 138.99 acres
Parcel Zoning:	Planned Community (Wildflower)
Parcel General Plan:	Planned Community Residential
Adjacent Zoning:	PC, A, Lehi City
Current Use of Parcel:	Vacant
Adjacent Uses:	Single-family residential (approved Wildflower VP 3A), vacant, UDOT roads, Camp Williams, NSA Center
Previous Approvals:	4/14/20 – Wildflower CP Amendment approved
Land Use Authority:	City Council
Author:	Tippe Morlan, AICP, Senior Planner

A. Executive Summary:

The applicant requests approval of Wildflower Village Plan 4 (VP 4), pursuant to Section 19.26 of the City Code and the approved Wildflower Community Plan. VP 4 consists of approximately 138.99 acres and 414 Equivalent Residential Units (ERUs) entirely within the PC zone.

Recommendation: Staff recommends the Planning Commission conduct a public hearing, take public input, review and discuss the proposal, and choose from the options in Section I of this report. Options include forwarding a recommendation for approval with conditions, a recommendation for denial, or continuation of the item.

B. Background:

February 24, 2015 – The original Wildflower Community Plan, Master Development Agreement, General Plan Amendment, and Rezone was approved conditionally by the City Council subject to a Master Development Agreement (Exhibit C). This approval was for 1468 equivalent residential units (ERUs) with a maximum of 442 units of multi-family housing limited to approximately 53 acres on the west side of the future Mountain View Corridor. The Wildflower property was rezoned to Planned Community with this approval.

April 21, 2015 – The City Council approved the annexation, General Plan amendment, and rezone of The Springs, approximately 479 acres, with 1770 ERUs subject to a Master Development Agreement.

November 15, 2016 – The City Council approved an amendment to the Wildflower Community Plan relocating multi-family housing to the west side of the Mountain View Corridor and reducing multi-family units from 442 to 425 ERUs. 15 of those units were transferred to single-family units and 2 units were reserved for a church parcel.

December 17, 2019 – The City Council reviewed and approved a Master Development Agreement major amendment. This agreement includes an allowance of 14 added units in exchange for an agreement with Camp Williams to purchase 20 acres of the Springs area for a cemetery within the next 5 years.

April 14, 2020 – The City Council approved a major amendment to the Wildflower Community Plan incorporating The Springs into the Wildflower community, amending and restating all standards within the CP with a total of 3,238 ERUs. Hillside standards were approved and added on August 18, 2020 as a condition of this approval.

April 13, 2021 – The City Council approved another major amendment to the Wildflower Community Plan updating overall phasing and several development standards.

C. Specific Request:

The applicants are requesting approval of Wildflower Village Plan 4, subject to the requirements of the Community Plan and Section 19.26 of the City Code, which governs the Planned Community (PC) zone. VP 4 consists of approximately 138.99 acres with 414 ERUs, broken down into 244 single-family lots and 170 townhomes. This area includes a total of 38.37 acres of open space, mainly consisting of natural trail corridors.

LEGEND			
Type*	Description	Acres	ERUs
1	Single Family (5,000+ SF)	61.41	143
2	Single Family (<5,000 SF)	18.91	101
4	Townhomes / Apartments / Condos	18.30*	170
	Open Space	38.37	
	Utilities	2.00	
	Total	138.99	414

* Type 4 includes 20% open space.

D. Process:

Pursuant to Section 19.13 of the Saratoga Springs Code, the City Council is the Land Use Authority for village plans following a recommendation from the Planning Commission. A public hearing is also required at Planning Commission for these items.

City Code Section 19.26.09: Village Plan Approval states:

Subsequent to the approval of a Community Plan, further development of any phase within a Planned Community Zone District shall require approval of a Village Plan. A Village Plan is a preliminary approval prior to subdivision or site plan approval and is intended to commit and provide detailed standards to assure compliance with the guiding principles and intent of the Community Plan and to further commit land uses, supporting infrastructure, and design principles. The Planning Commission shall review each Village Plan application in accordance with the provisions of Chapter 19.17 and certify its recommendation to the City Council.

E. Community Review:

This item has been noticed as a public hearing in the *Daily Herald* and mailed notices were sent to all property owners within 300 feet on April 1, 2021. As of the date of this staff report, no public comment has been received by the City.

G. General Plan:

The General Plan designation for this property is Planned Community-Residential on the Land Use Map. This designation is described as follows:

Planned Community Residential	The Planned Community designation includes large-scale properties within the City which exceed 500 acres in size. This area is characterized by a mixture of land uses and housing types, but is primarily residential. It is subject to an overall Community Plan that contains a set of regulations and guidelines that apply to a defined geographic area.	Varies
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Staff conclusion: Consistent. The overall Wildflower community exceeds 500 acres in size, meeting the qualifications under the PC zone and Land Use designation. The Wildflower CP has identified regulations for the development of the property. There is no minimum size for VPs within a CP. VP 4 is subject to the CP and is consistent with the proposed CP standards.

H. Code Criteria:

19.26.09 Village Plan Approval.

Subsequent to the approval of a Community Plan, further development of any phase within a Planned Community Zone District shall require approval of a Village Plan. A Village Plan is a preliminary approval prior to subdivision or site plan approval and is intended to commit and provide detailed standards to assure compliance with the guiding principles and intent of the Community Plan and to further commit land uses, supporting infrastructure, and design principles. The Planning Commission shall review each Village Plan application in accordance with the provisions of Chapter 19.17 and certify its recommendation to the City Council. Before certifying a recommendation of approval, or approval with conditions, the Planning Commission must find that the Village Plan:

- a) is consistent with the adopted Community Plan;

Staff finding: Complies. The proposed Village Plan is consistent with allowed densities, uses, and standards in the approved Community Plan.

- b) does not exceed the total number of equivalent residential units dictated in the adopted Community Plan;

Staff finding: Complies. The proposed ERUs are consistent with the approved CP.

- c) for an individual phase, does not exceed the total number of equivalent residential units dictated in the adopted Community Plan unless transferred per the provisions of the Community Plan;

Staff finding: Complies. The proposed ERUs are consistent with the approved CP.

- d) is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts;

Staff finding: Complies.

- e) properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties;

Staff finding: Complies. Utility plans, open space plans, pedestrian and bicycle plans, and amenity plans have been provided.

- f) contains the required elements as dictated in Section 19.26.10; and

Staff finding: Complies. See analysis below.

- g) meets the minimum required space in adopted Community Plan, and adopted District Area Plan if applicable.

Staff finding: Complies. This Village Plan exceed the 30 percent open space requirement with 42.03 total acres (including Type 4), comprising 30.2 percent of VP 4.

19.26.10 – Contents of a Village Plan.

The required contents of a Village Plan are summarized below:

1. Legal Description - **Provided**
2. Detailed Use Map - **Provided**
3. Detailed Buildout Allocation – **Provided**
4. Detailed Development Standards – **Provided (within CP)**
5. Design Guidelines – **Provided (within CP)**
6. Owners' / Governing Associations - **Provided**
7. Phasing Plan - **Provided**
8. Lotting Map - **Provided**
9. Landscaping Plan – **Provided**
10. Utility Plan - **Provided**

11. Vehicular Plan - **Provided**
12. Pedestrian and Bicycle Plan – **Provided**
13. Additional Detailed Plans. Other elements as necessary (grading plans, storm water drainage plans, wildlife mitigation plans, open space management plans, sensitive lands protection plans, hazardous materials remediation plans, and fire protection plans) - **Provided**
14. Site Characteristics - **Provided**
15. Findings Statement – **Provided**
16. Mitigation Plans. (Protection and mitigation of significant environmental issues) - **Provided**
17. Offsite Utilities – **Provided in the Master Utility Plan approved with the CP**
18. Development Agreement – **Requirement met through CP Development Agreement**

Staff review of VP Contents

- See attached Planning Review Checklist (Exhibit B).
 - Items that need additional attention are highlighted in the checklist and included as conditions in section "I" of this report.

I. Recommendation and Alternatives:

Staff recommends the Planning Commission discuss the application and issue a recommendation to the City Council for Wildflower Village Plan 4, choosing from the following options:

Positive Recommendation

"I move that the Planning Commission forward a **positive** recommendation to the City Council for Wildflower Village Plan 4, located at approximately Harvest Hills Boulevard and Mountain View Corridor, based on the following findings and subject to the following conditions:

Findings

1. The application complies with the Land Development Code, as articulated in Section H of the staff report, which is incorporated by reference herein.
2. The application is consistent with the General Plan, as articulated in Section G of the staff report, which section is incorporated by reference herein.
3. With appropriate modifications, the application complies with Section 19.26.05 of the City Code as articulated in Section H of the staff report, which is incorporated by reference herein.

Conditions:

1. All requirements of the City Engineer shall be met.
2. All requirements of the Fire Chief shall be met.
3. All requirements of the Public Works and Parks departments shall be met.
4. All other Code requirements shall be met.
5. The Community Plan shall in all respects be consistent with the ARMDA.
6. All other code criteria shall be met.
7. Any other conditions or changes as articulated by the Planning Commission:
 - a. _____.

Option 2 - Continuance

"I move to **continue** Wildflower Village Plan 4 to the [May 27, 2021] meeting, with direction to the applicant and Staff on information and / or changes needed to render a decision, as follows:

1. _____
2. _____

Option 3 – Denial

"I move that the Planning Commission forward a recommendation of **denial** to the City Council for Wildflower Village Plan 4 based on the following findings:

1. The Wildflower village plan is not consistent with the General Plan, as articulated by the Planning Commission: _____, and/or,
2. The Wildflower village plan is not consistent with Sections [XX.XX] of the Code, as articulated by the Planning Commission: _____.

Exhibits:

Exhibit A: Vicinity Map

Exhibit B: Planning Review Checklist

Exhibit C: Village Plan 4

Wildflower Village 4





APPLICATION REVIEW CHECKLIST

Application Information

Date Received:	11/30/2020; 01/19/2021; 03/22/2021
Date of Review:	12/14/2020; 02/11/2021; 04/06/2021
Project Name:	Wildflower Village Plan 4
Project Request / Type:	Village Plan
Meeting Type:	Public Hearing
Applicant:	Nate Shipp, DAI Utah
Owner:	Tanuki Investments, LLC
Location:	West of Mountain View Corridor at Harvest Moon Drive
Major Street Access:	Mountain View Corridor
Parcel Number(s) and size:	58:021:0394; 58:021:0249; approximately 138.99 acres
Land Use Designation:	Planned Community Residential/Commercial
Parcel Zoning:	Planned Community
Adjacent Zoning:	Planned Community
Current Use:	Undeveloped
Adjacent Uses:	Single-family residential (approved Wildflower VP 3A), vacant, UDOT roads, Camp Williams, NSA Center
Previous Meetings:	N/A
Previous Approvals:	04/13/2021 – Wildflower Community Plan Amendment approved
Type of Action:	Legislative
Land Use Authority:	City Council
Future Routing:	Planning Commission, City Council
Planner:	Tippe Morlan, AICP, Senior Planner

Section 19.13 – Application Submittal

- Application Complete: **Yes**.
- Rezone Required: **No**.
- General Plan Amendment required: **No**.
- Additional Related Application(s) required: **No**.

Section 19.13.04 – Process

- DRC: March 29, 2021
- PC: May 13, 2021
- CC: June 1, 2021

General Review

Building Department

- TBD at plat/site plan review

Fire Department

- Residential:
 - Fire flows shall be met for this development and future development in the area.
 - Hydrants shall not exceed 500' spacing in R3-6 and lower areas.
 - Higher than R3-6, hydrants shall not exceed 300' spacing.
 - All three story structures above grade shall be fire sprinkled and meet NFPA 13 requirements where required.
 - All access roads shall support 26' of un-obstructed drive isle with parking on the streets.
 - The 59' road cross-section shall be used if applicable. If the streets are not able to support such movement, fire lane signage shall be posted by the developer.
 - All cul-de-sacs shall meet our current standard and shall have hydrants in them. All cul-de-sacs shall be a minimum of 96' in diameter from curb face to curb face and have a hydrant located within the cul-de-sac.
 - Third party review required for sprinkler systems
 - Dimension street and cul-de-sac widths on plat
 - Turnarounds on cul-de-sacs and dead-ends more than 150' in length

GIS / Addressing

- TBD with Plat applications

Additional Recommendations:

- Planning on Lot Numbering:
 - Please use 4 digit lot numbers starting with 4. I.e. Lot 4356 would be Lot 56 within Village 4, Phase 3.
 - Make sure Lot numbering for this Village Plan does not duplicate other Wildflower lots
- Consider potential connections to the NSA property to the north

Code Review

- 19.04, Land Use Zones
 - Zone: PC
 - Use: Single-family and multi-family residential
- Lot Size Reductions: None
- Setback Exceptions: See CP, to be enforced at plat applications
- Density: 414 residential ERUs

19.26 Planned Community Zone

Village Plan Review

Regulation	Compliance	Findings
Description. A legal description of the Village Plan area.	Complies.	<i>Page 2-01</i>
Detailed Use Map. A list of all permitted and conditional uses and a map depicting the proposed land uses by type for all property within the Village Plan Area, and demonstrating appropriate buffering from neighboring land uses, including uses within and outside of the Planned Community District.	Complies.	<i>Page 3-01</i>
Detailed Buildout Allocation. An allocation of all acreage within the Village Plan area by land use type and geographic subarea, parcel, or phase with maximum buildout levels calculated based on the City's measure of equivalent residential units, including residential and non-	Complies.	<i>Page 3-01</i>

residential density allocations and projections of future population and employment levels.		
Development Standards. Detailed development standards for each land use type including specific provisions governing height, setbacks, parking requirements, parking lot locations, and minimum private open space.	Complies.	<i>Page 4-01, Residential Standards established in CP</i>
Design Guidelines. Detailed design guidelines for each land use type including specific provisions governing density and floor area ratios.	Complies.	<i>Page 4-01</i>
Associations. If not previously established pursuant to Subsection 19.26.03.2.d., details regarding the creation of an owners' association, master association, design review committee, or other governing body to review, approve, and enforce architectural requirements and restrictions and common area maintenance obligations.	Complies.	<i>WDRC</i>
Phasing Plan. A conceptual phasing and maintenance plan for development of all uses and supporting infrastructure and open space within the Village Plan Area.	Complies.	<i>Page 5-02</i>
Lotting Map. A conceptual plat map depicting conceptual lotting patterns.	Complies.	<i>Page 6-01</i>
Landscaping Plan. A landscaping plan and plant palette including a legend which includes height, caliper, and numbers of all plant materials and is consistent with the Community Plan.	Complies.	<i>Pages 7-01 to 7-06</i>
Utility Plan. Utility and infrastructure plan that is consistent and links seamlessly with the communitywide systems outlined in the Community Plan.	Can Comply.	<i>Section 8</i>
Vehicular Plan. Vehicular circulation and mobility plan that is consistent and links seamlessly with the community-wide systems outlined in the Community Plan.	Complies.	<i>Page 9-01</i>
Pedestrian Plan. Pedestrian and bicycle mobility plan that is consistent and links seamlessly with the community-wide systems outlined in the Community Plan.	Complies.	<i>Page 10-01</i>
Density Transfers. Detailed transfer of density and non-residential square footage provisions.	Complies.	<i>No transfers proposed in VP 4</i>
Additional Detailed Plans. Other elements as necessary to detail plans and direction contained in the Community Plan, such as grading plans, storm water drainage plans, wildlife mitigation plans, open space management plans, sensitive lands protection plans, hazardous materials remediation plans, and fire protection plans.	Complies.	
Site Characteristics. A description of existing physical characteristics of the site including any sensitive lands, waterways, geological information, fault lines, general soils data, and contour data.	Complies.	<i>Page 13-01</i>
Findings. A statement explaining the reasons that justify approval of a Village Plan in relation to the findings required by the Planned Community District.	Complies.	<i>Page 1-01</i>
Mitigation Plans. Plans describing the protection and mitigation of significant environmental issues, such as wetlands, historical sites, and endangered plants, identified in the Community Plan.	N/A.	<i>No sensitive lands identified in this area.</i>
Offsite Utilities. An estimate of the cost to provide off-site utilities and other public infrastructure facilities to the site.	Complies.	<i>See Master Utility Plan.</i>

Fiscal Impact

Regulation	Findings
Is there any City maintained open space?	<i>No.</i>
What is the anticipated cost to the City?	<i>N/A</i>
When will City maintenance begin?	<i>N/A</i>



VILLAGE PLAN AREA 4

May 3, 2021

DRAFT



WILDFLOWER
AT SARATOGA SPRINGS



Prepared By

DAI

LEI Engineers & Surveyors

Landmark Design

Hales Engineering

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01 Executive Summary

Findings for Village Plan 4

Village Plan Area 4 is a 138.99-acre area within the 1,202-acre Wildflower Amended and Restated Community Plan (ARCP) located in Saratoga Springs, Utah. The Wildflower Village Plan Area 4 is compliant with all PC Zone Requirements for Village Plans as defined in ***Section 19.26.09 of the Saratoga Springs Municipal Code***. We find that Village Plan Area 4:

- a. Is consistent with the adopted Wildflower ARCP; Village Plan Area 4 adheres to the development standards, thoroughfare types, and open spaces types and requirements established in the Wildflower ARCP.
- b. Does not exceed the total number of Equivalent Residential Units (ERUs) dictated in the adopted Wildflower ARCP;
 - » The number of potential ERUs established in the Wildflower ARCP for Village Plan Area 4 is 414. Village Plan Area 4 is comprised of three neighborhoods.
- c. Is consistent with the utility, infrastructure, and circulation plans of the Wildflower ARCP and Master Utility Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts;
- d. Properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties;
 - » Wildflower has been designed to accommodate significant infrastructure elements that are important to the City within the structure of the property. Wildflower was designed to maximize pedestrian, bike, and other mobility options. Open space is highly integrated to provide direct and easy access to residents.

Contains the required elements as required in ***Section 19.26.10 of the Saratoga Springs Municipal Code***.

02 Legal Description

Legal Description Prepared by LEI

LEI
ENGINEERS SURVEYORS PLANNERS

LEGAL DESCRIPTION
PREPARED FOR
DAI
Job No. 13-0902
(January 9, 2020)

VILLAGE 4 LEGAL DESCRIPTION

A Portion of the West Half of Section 10 and West Half of Section 3, Township 5 South, Range 1 West, Salt Lake Base and Meridian, described as follows:

Beginning at a point located S0°11'02"W along the Quarter Section Line 970.97 feet and West 1246.18 feet from the North 1/4 Corner of Section 10, Township 5 South, Range 1 West, Salt Lake Base and Meridian; thence S89°37'56"W 846.96 feet; thence N5°03'04"E 4991.91 feet; thence N89°52'43"E 1644.05 feet; thence S0°17'28"W 304.24 feet to the proposed westerly right-of-way line of Mountain View Corridor; thence along said right-of-way line the following ten (10) courses: thence southwesterly along the arc of a 1000.00 foot radius non-tangent curve to the left (radius bears: S69°02'57"E) 21.43 feet through a central angle of 1°13'41" (chord: S20°20'12"W 21.43 feet); thence S19°43'22"W 600.87 feet; thence S15°24'52"W 391.36 feet; thence S17°09'12"W 330.78 feet; thence along the arc of a 1229.50 foot radius curve to the left 452.55 feet through a central angle of 21°05'21" (chord: S6°36'32"W 450.00 feet); thence S3°56'09"E 560.76 feet; thence along the arc of a 1085.00 foot radius curve to the right 643.69 feet through a central angle of 33°59'29" (chord: S13°03'36"W 634.29 feet); thence S30°03'20"W 320.30 feet; thence along the arc of a 4000.00 foot radius curve to the left 1453.26 feet through a central angle of 20°48'59" (chord: S19°38'51"W 1445.28 feet); thence S9°14'21"W 126.21 feet to the point of beginning.

Contains: ±149.74 Acres

LESS AND EXCEPTING THEREFROM THE FOLLOWING PROPERTY:

All of that real property owned by the City of Saratoga Springs as described in Deed Entry No. 3238:2014 in the official records of the Utah County Recorder.

Contains: ±0.92 Acres

Net Area of Village 4 Contains: ±148.82 Acres

• Civil Engineering
• Structural Engineering
• Surveying
• Land Planning
• Landscape Architecture

www.lei-eng.com

Corporate Office: 3302 N. Main Street • Spanish Fork, UT 84660 801.798.0655 801.798.9393
Salt Lake Office: 14411 South 980 West • Bluffdale, UT 84065 801.495.2844 801.495.2847
Boise Office: 2040 S. Eagle Road • Meridian, ID 83642 208.846.9600

Note: Acreage in legal description varies from Wildflower ARCP. See exhibit on the following page.



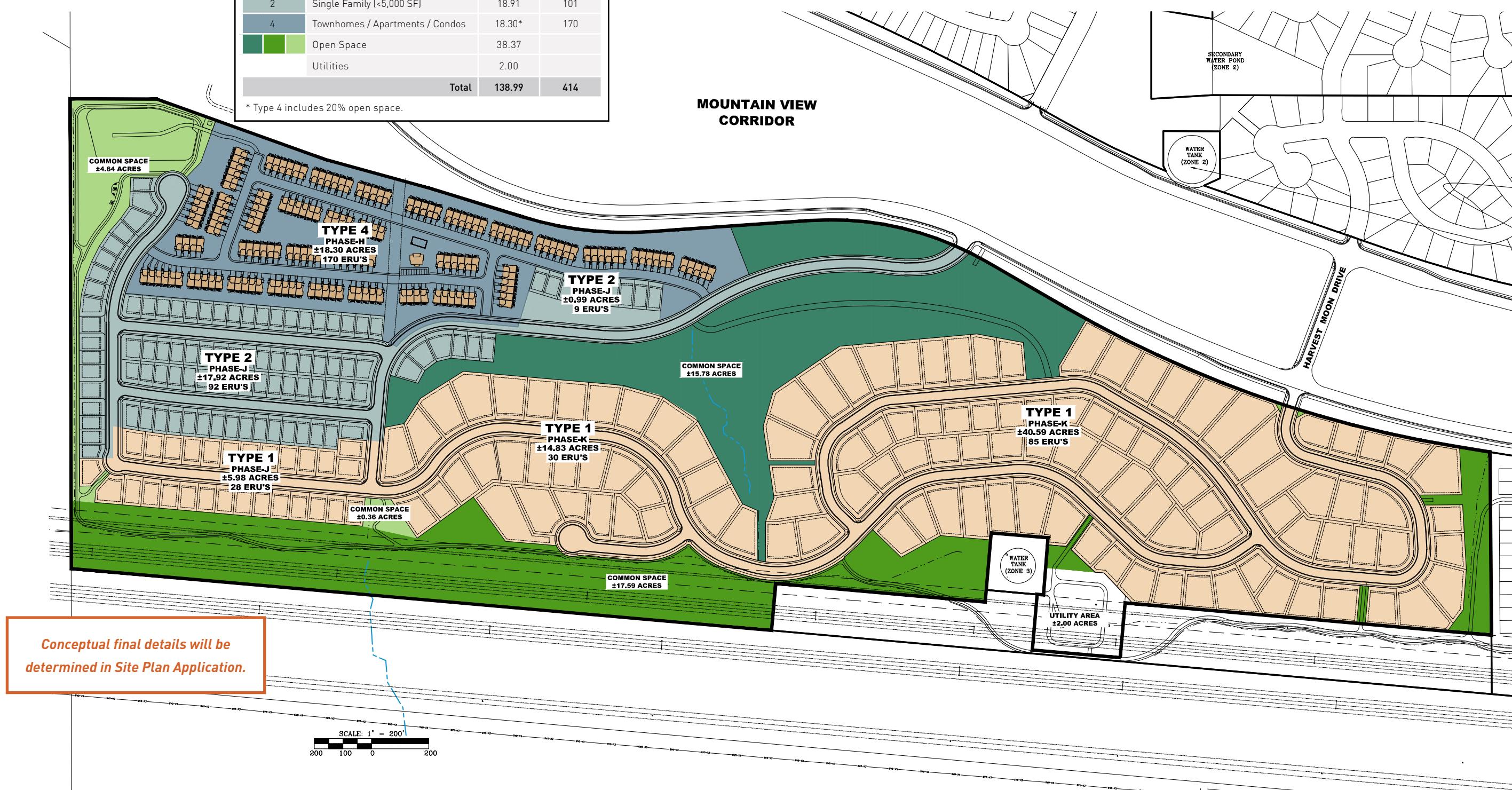


03 Detailed Use Exhibit

LEGEND			
Type*	Description	Acres	ERUs
1	Single Family (5,000+ SF)	61.41	143
2	Single Family (<5,000 SF)	18.91	101
4	Townhomes / Apartments / Condos	18.30*	170
	Open Space	38.37	
	Utilities	2.00	
	Total	138.99	414

* Type 4 includes 20% open space.

MOUNTAIN VIEW CORRIDOR



03 Buildout Allocation

Detailed Allocation of All Acreage

The following information details the allocation of all acreage within Village Plan Area 4. Refer to the Detailed Use Exhibit on page 3.01, Open Space Tabulation Exhibit on page 12.07, and Lotting Map Exhibit on page 6.01.

Area	Type	Description	Land Use	Acres	ERUs in VP4	ERUs/ Gross Acre			
Larkspur	Type 4	Front-Load Townhomes	Lots/ROW	14.64	170	9.25			
			Open Space	3.66					
			Total	18.30					
Verbena	Type 1 Type 2	Single- Family Homes	Lots/ROW	18.91	129	4.72			
			Open Space	4.64					
			Total	23.55					
Yarrow	Type 1	Single- Family Homes	Lots/ROW	61.40	115	1.58			
			Open Space	15.78					
			Total	77.18					
			General Open Space	17.95					
			Utilities Area	2.00					
			Grand Total	138.99	414	2.98			

There are 42.03 acres of open space. Refer to Open Space Tabulation Exhibit on page 12.07.

- » 414 ERUs were assigned to Village Plan 4.
- » All areas shown are approximate, areas to be determined at final design.
- » Refer to the Lotting Map Exhibit for Neighborhood Breakdown on page 6.01.

04 Development Standards & Design Guidelines

Type 1 and 2

Village Plan 4 development standards for Type 1 and 2 are consistent with standards established for the community. In addition, all building and landscape designs adhere to the design guidelines established in the Wildflower ARCP.

Type 4

Village Plan 4 development standards for Type 4 are consistent with standards established for the community. In addition, all building and landscape designs adhere to the design guidelines established in the Wildflower ARCP.

Type 4 plans adhere to **Saratoga City Code Section 19.16.04** which states "No building shall be closer than 5 feet from any private road, driveway or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building." City code doesn't define *Parking Space*. The closest definition is for *Off-street Parking* which is defined as the space within a building, lot, or parking lot, but not within any portion of any public street right-of-way, for the temporary parking of one vehicle. We interpret this definition as the measurement of 5' feet from the foundation of a building to the space designated as parking of one vehicle or measured from the foundation to the right-of-way line as designated in the street cross section. The private 26' right-of-way in the ARCP designates the right-of-way line as back of curb.

Master Homeowners Associations

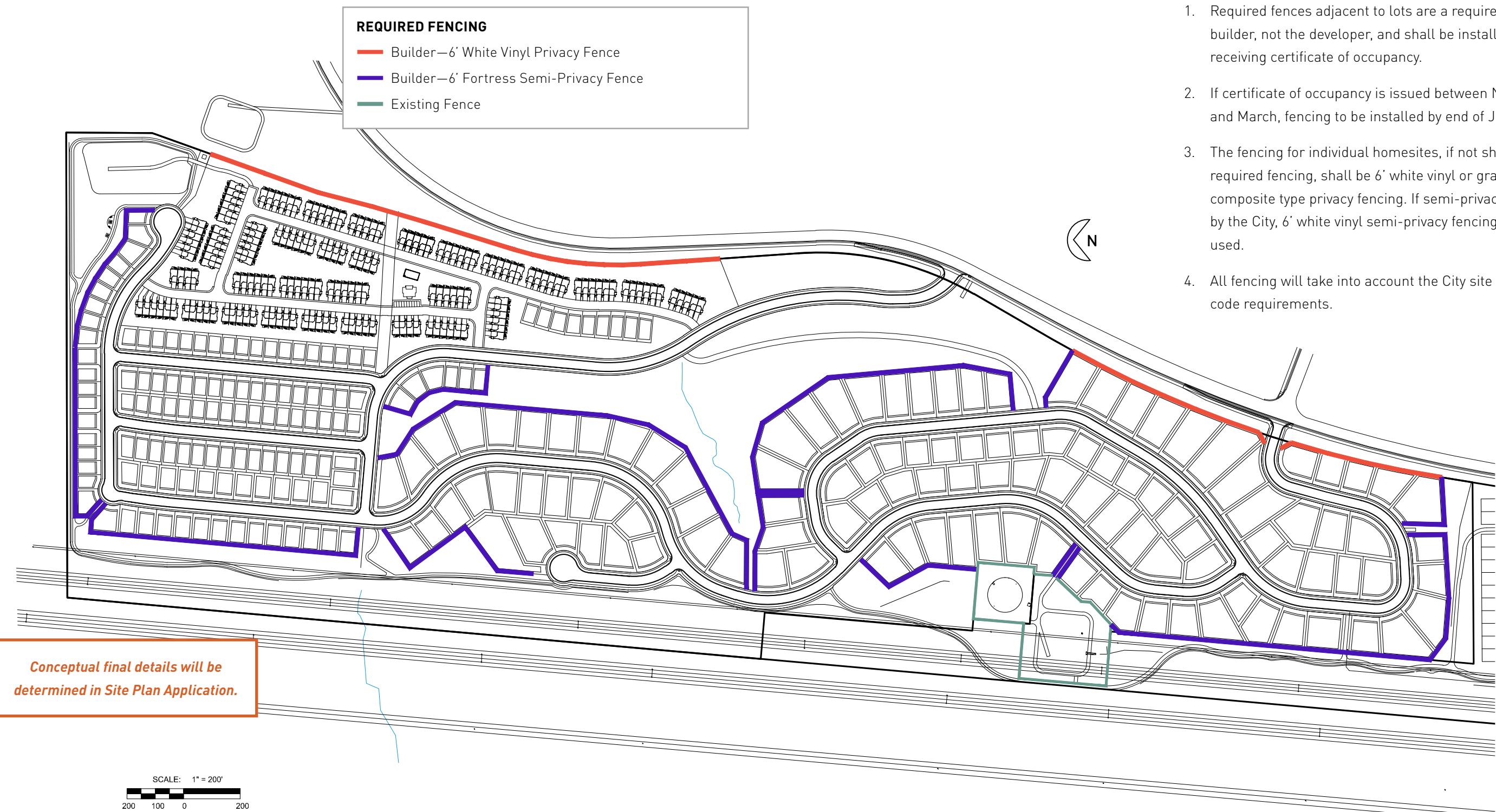
In accordance with City Code **Section 19.26.03,2,d of the Planned Community Zone** ordinance, a Master Homeowners Association (HOA) has been established to review, approve, and enforce architectural requirements and restrictions, as well as address common area maintenance obligations as outlined in the Wildflower ARCP. Additional HOAs may be created based on end builder preferences. Master Homeowners Association will still be in effect over all parts of Wildflower. All sub HOAs shall be obligated to follow all Master Homeowners Association and WDRC regulations.

Wildflower Design Review Committee (WDRC)

All builders are required to submit exterior elevations, materials, colors, and landscaping plans for a Design Review Process by the Wildflower Development Review Committee (WDRC). The WDRC must review and approve all residential site plans and building permits prior to City submittal as outlined in the Wildflower ARCP.



Fencing Plan Exhibit



05 Phasing & Maintenance Plan

Maintenance

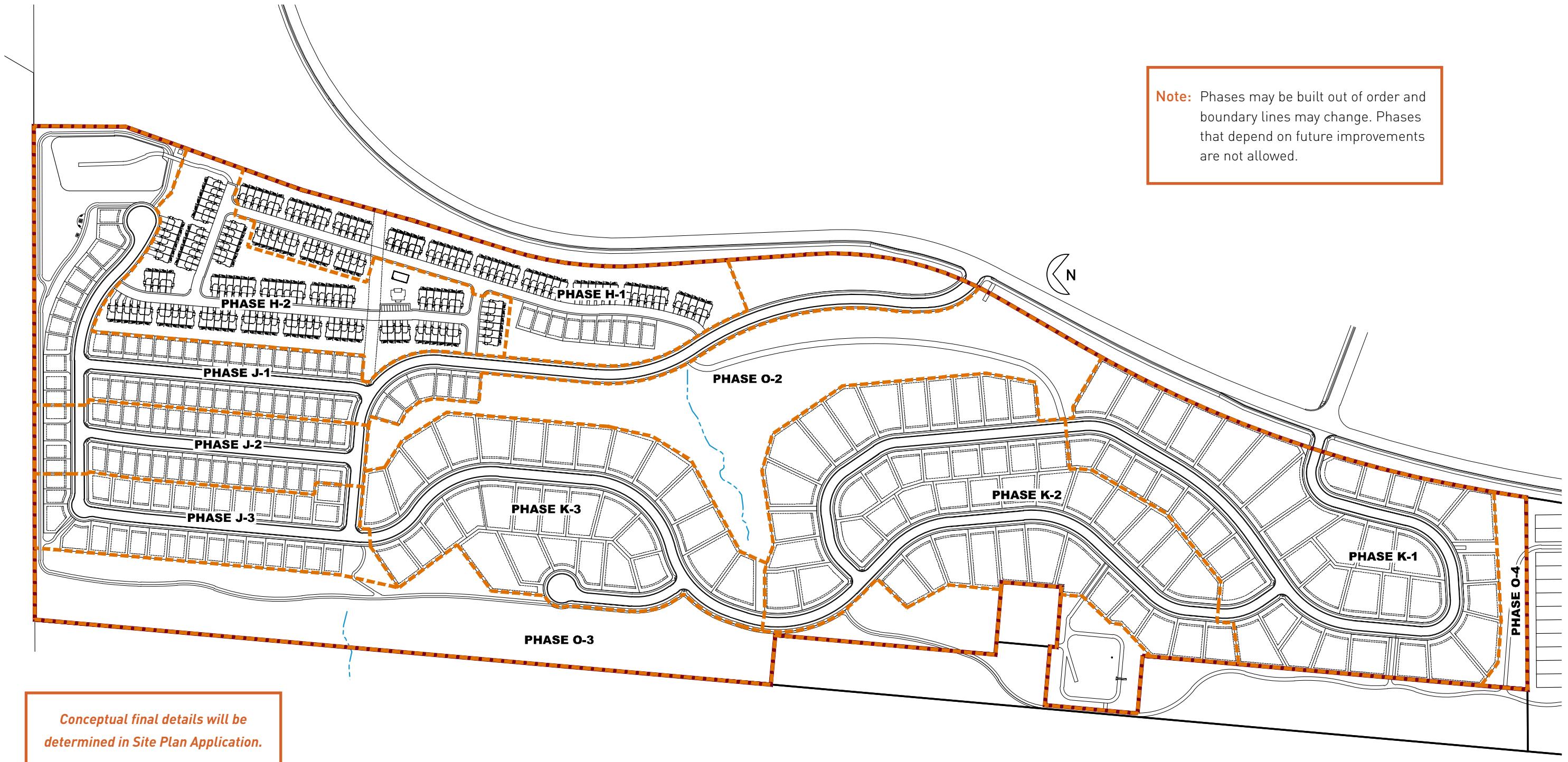
Maintenance for all common open space areas within Wildflower Village Plan 4, including park strips, private parks, and developed and natural open space, will be provided by the Master Homeowners Association (HOA) and/or Sub Homeowners Associations as described in the Wildflower ARCP.

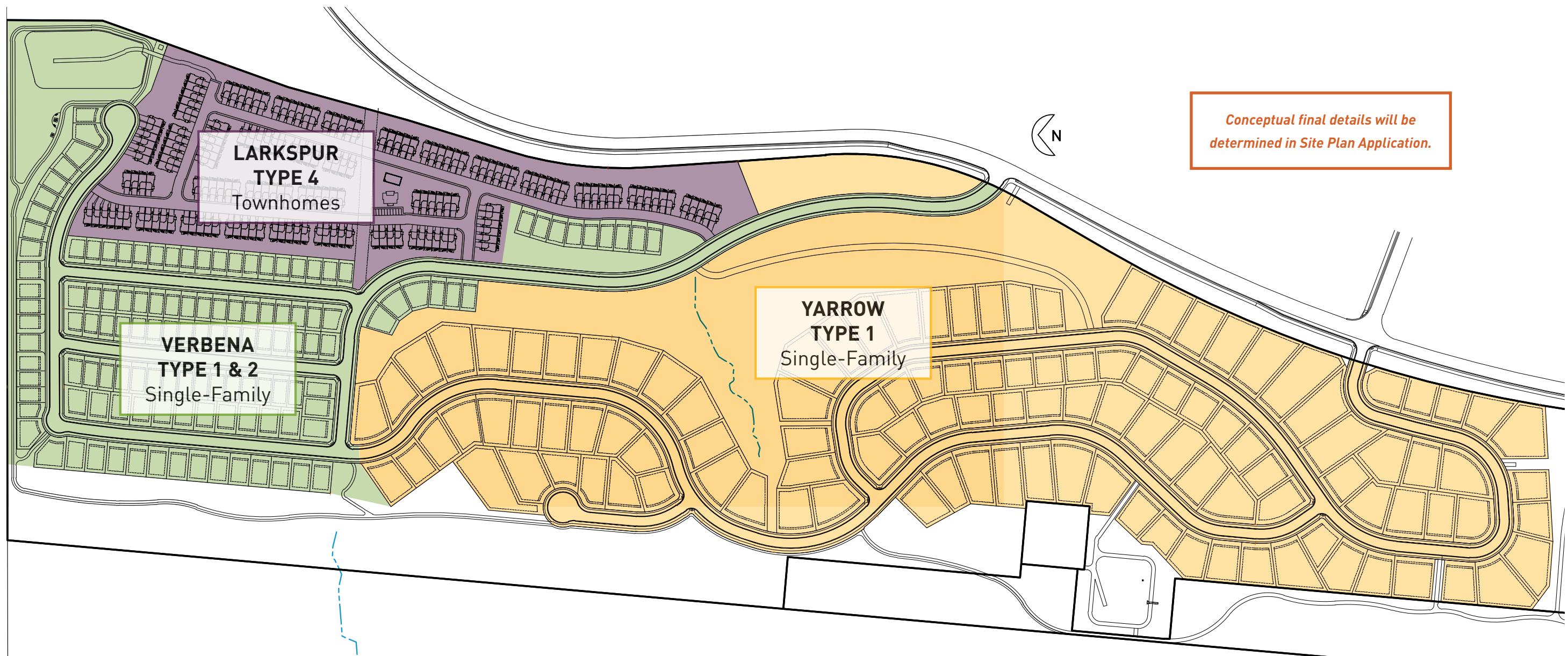
Phasing

Wildflower Village Plan Area 4 will be developed in two main sections based on water availability. The north area of Wildflower is serviced by Zone 3 water. The remaining area to the south is serviced by Zone 4 and will be developed once those services are available. Some infrastructure will cross the northern section in order to service the phases located further to the south. These will all be presented and approved through the Platting or Encroachment Permit process.



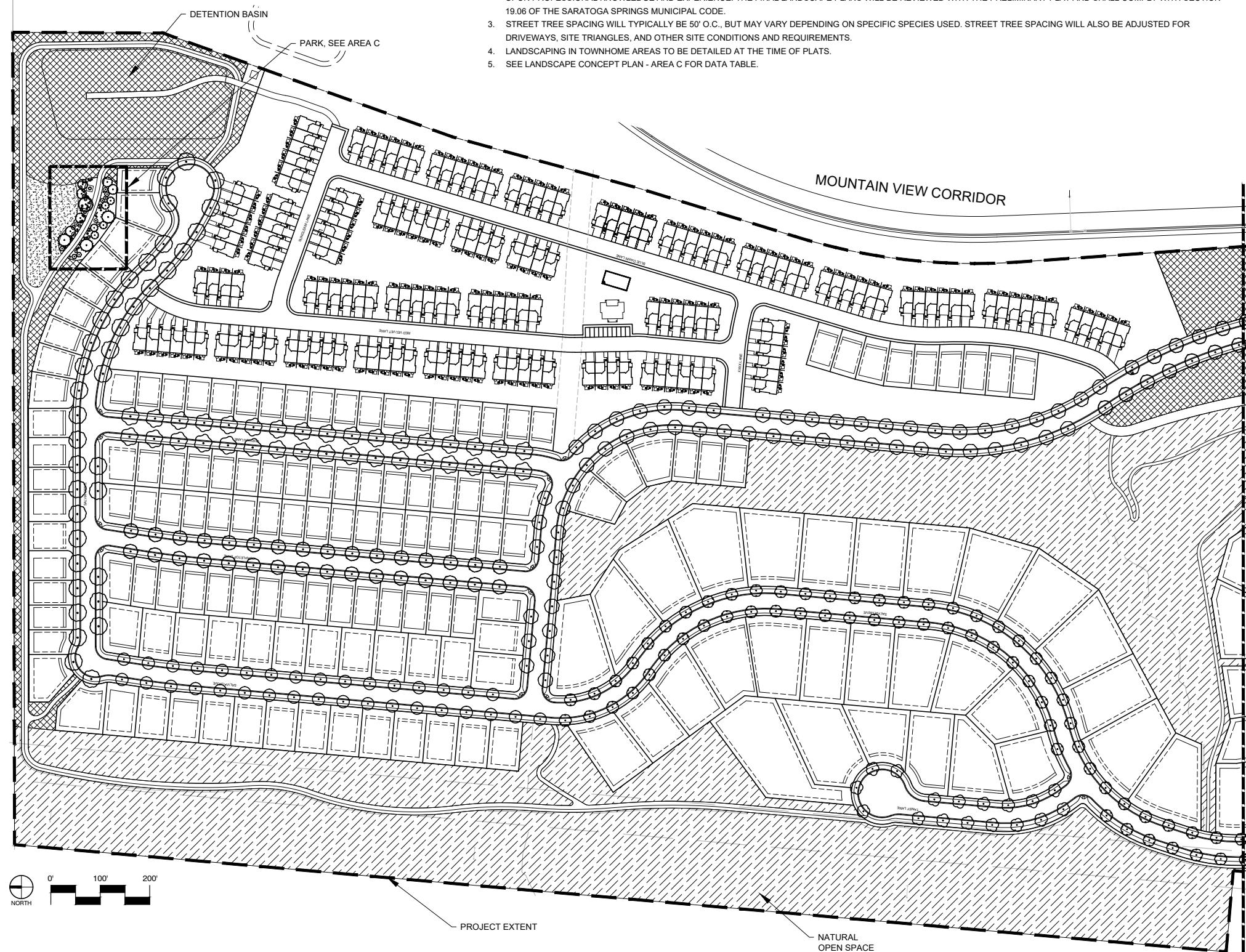
Phasing Plan Exhibit







Landscape Concept Plan Exhibit - Area A



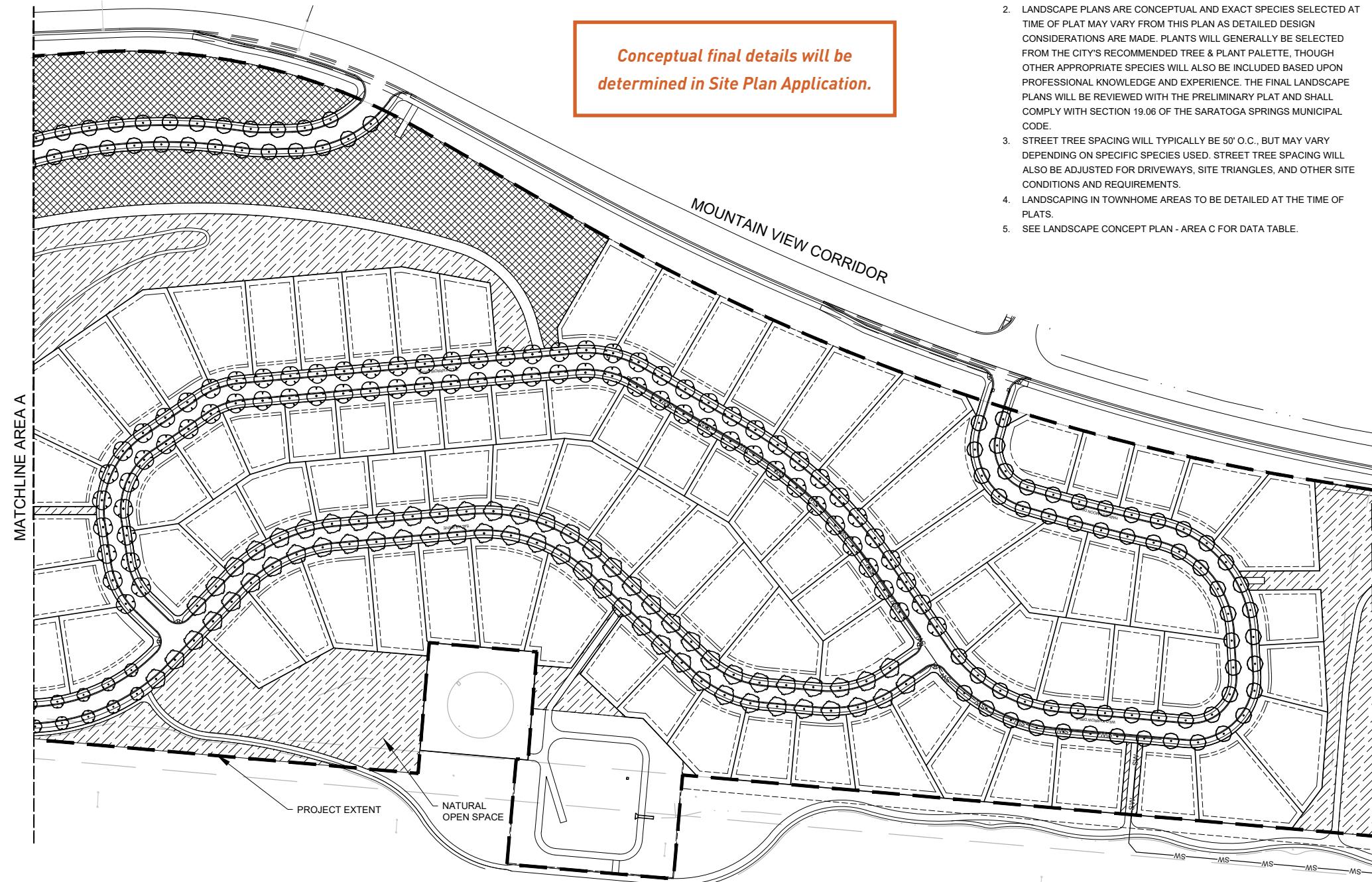
Concept Plant Schedule

TREES	BOTANICAL NAME	COMMON NAME	QTY
●	*Acer truncatum 'Norwegian Sunset'	Maple	34
●	*Cercis canadensis	Eastern Redbud	4
●	*Ginkgo biloba 'Magyar'	Magyar Ginkgo	1
●	*Ginkgo biloba 'Shangri-La'	Shangri-La Ginkgo	74
●	*Pinus nigra	Austrian Black Pine	3
●	Prunus serrulata 'Kwanzan'	Kwanzan Japanese Flowering Cherry	6
●	*Quercus robur x bicolor 'Long' TM	Regal Prince Oak	5
●	*Tilia americana 'Redmond'	Redmond American Linden	38
●	*Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	34
●	*Tilia tomentosa 'Sterling'	Sterling Silver Linden	58
●	*Ulmus americana 'Princeton'	American Elm	126
●	*Ulmus x 'Accolade'	Accolade Elm	17
●	*Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	80
●	*Zelkova serrata 'Village Green'	Sawleaf Zelkova	63
SHRUBS	BOTANICAL NAME	COMMON NAME	QTY
●	*Caryopteris x clandonensis 'Blue Mist'	Blue Mist Shrub	17
●	*Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5
●	*Rosa Meidiland series 'White'	White Meidiland Rose	7
●	*Symphoricarpos x chenaultii 'Hancock'	Hancock Coralberry	3
○	Viburnum opulus 'Nanum'	Dwarf European Viburnum	8
ORNAMENTAL GRASS	BOTANICAL NAME	COMMON NAME	QTY
○	*Festuca mairei	Atlas Fescue	12
PERENNIALS	BOTANICAL NAME	COMMON NAME	QTY
✿	*Hemerocallis x 'Always Afternoon'	Lavender Daylily	8

*DENOTES LOW TO MODERATE WATER REQUIREMENT

LAWN BLEND	Lolium perenne / Perennial Ryegrass Poa pratensis / Kentucky Bluegrass	16,100 sf
NATURAL OPEN SPACE REPAIR/REVEGETATE AS REQUIRED WITH CUSTOM GREAT BASIN WILDFLOWER/GRASS SEED MIX (SEE AREA C)	1,150,000 sf	
CUSTOM GREAT BASIN WILDFLOWER/GRASS SEED MIX SEE AREA C FOR SEED MIX SCHEDULE	384,000 sf	

Conceptual final details will be
determined in Site Plan Application.



NOTES:

1. QUANTITIES SHOWN ARE FOR ENTIRE VILLAGE 4 PLAN.
2. LANDSCAPE PLANS ARE CONCEPTUAL AND EXACT SPECIES SELECTED AT TIME OF PLAT MAY VARY FROM THIS PLAN AS DETAILED DESIGN CONSIDERATIONS ARE MADE. PLANTS WILL GENERALLY BE SELECTED FROM THE CITY'S RECOMMENDED TREE & PLANT PALETTE, THOUGH OTHER APPROPRIATE SPECIES WILL ALSO BE INCLUDED BASED UPON PROFESSIONAL KNOWLEDGE AND EXPERIENCE. THE FINAL LANDSCAPE PLANS WILL BE REVIEWED WITH THE PRELIMINARY PLAT AND SHALL COMPLY WITH SECTION 19.06 OF THE SARATOGA SPRINGS MUNICIPAL CODE.
3. STREET TREE SPACING WILL TYPICALLY BE 50' O.C., BUT MAY VARY DEPENDING ON SPECIFIC SPECIES USED. STREET TREE SPACING WILL ALSO BE ADJUSTED FOR DRIVEWAYS, SITE TRIANGLES, AND OTHER SITE CONDITIONS AND REQUIREMENTS.
4. LANDSCAPING IN TOWNSCAPE AREAS TO BE DETAILED AT THE TIME OF PLATS.
5. SEE LANDSCAPE CONCEPT PLAN - AREA C FOR DATA TABLE.

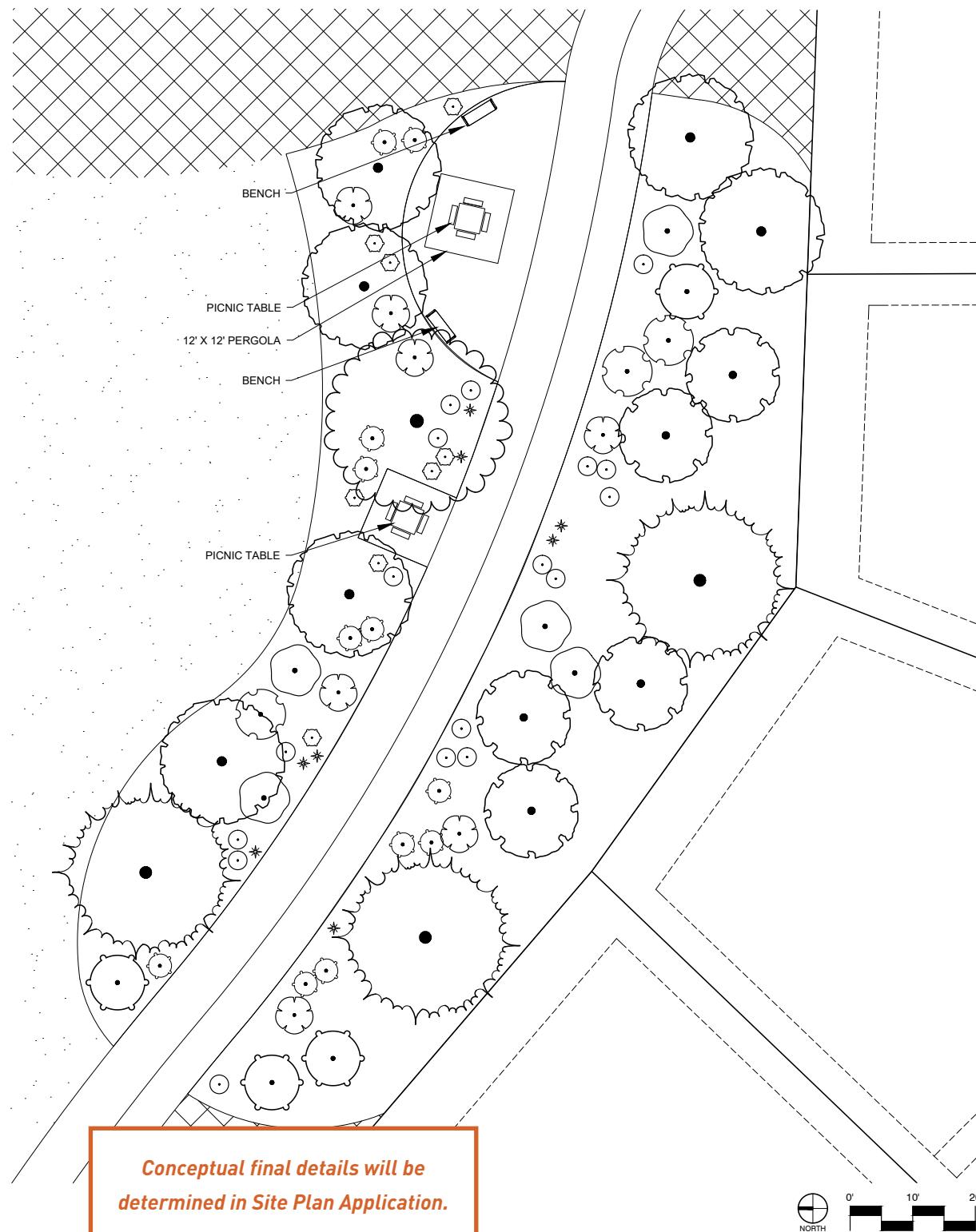
Conceptual Plant Schedule

TREES	BOTANICAL NAME	COMMON NAME	QTY
•	*Acer truncatum 'Norwegian Sunset'	Maple	34
•	*Cercis canadensis	Eastern Redbud	4
•	*Ginkgo biloba 'Magyar'	Magyar Ginkgo	1
•	*Ginkgo biloba 'Shangri-La'	Shangri-La Ginkgo	74
•	*Pinus nigra	Austrian Black Pine	3
•	Prunus serrulata 'Kwanzan'	Kwanzan Japanese Flowering Cherry	6
•	*Quercus robur x bicolor 'Long' TM	Regal Prince Oak	5
•	*Tilia americana 'Redmond'	Redmond American Linden	38
•	*Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	34
•	*Tilia tomentosa 'Sterling'	Sterling Silver Linden	58
•	*Ulmus americana 'Princeton'	American Elm	126
•	*Ulmus x 'Accolade'	Accolade Elm	17
•	*Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	80
•	*Zelkova serrata 'Village Green'	Sawleaf Zelkova	63
SHRUBS	BOTANICAL NAME	COMMON NAME	QTY
•	*Caryopteris x clandonensis 'Blue Mist'	Blue Mist Shrub	17
•	*Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5
•	*Rosa Meidiland series 'White'	White Meidiland Rose	7
•	*Symphoricarpos x chenaultii 'Hancock'	Hancock Coralberry	3
•	*Viburnum opulus 'Nanum'	Dwarf European Viburnum	8
ORNAMENTAL GRASS	BOTANICAL NAME	COMMON NAME	QTY
•	*Festuca mairei	Atlas Fescue	12
PERENNIALS	BOTANICAL NAME	COMMON NAME	QTY
•	*Hemerocallis x 'Always Afternoon'	Lavender Daylily	8
*DENOTES LOW TO MODERATE WATER REQUIREMENT			
	LAWN BLEND Lolium perenne / Perennial Ryegrass Poa pratensis / Kentucky Bluegrass	16,100 sf	
	NATURAL OPEN SPACE REPAIR/REVEGETATE AS REQUIRED WITH CUSTOM GREAT BASIN WILDFLOWER/GRASS SEED MIX (SEE AREA C)	1,140,000 sf	
	CUSTOM GREAT BASIN WILDFLOWER/GRASS SEED MIX SEE AREA C FOR SEED MIX SCHEDULE	384,000 sf	





Landscape Concept Plan Exhibit - Area C



NOTES:

1. QUANTITIES SHOWN ARE FOR ENTIRE VILLAGE 4 PLAN.
2. LANDSCAPE PLANS ARE CONCEPTUAL AND EXACT SPECIES SELECTED AT TIME OF PLAT MAY VARY FROM THIS PLAN AS DETAILED DESIGN CONSIDERATIONS ARE MADE. PLANTS WILL GENERALLY BE SELECTED FROM THE CITY'S RECOMMENDED TREE & PLANT PALETTE, THOUGH OTHER APPROPRIATE SPECIES WILL ALSO BE INCLUDED BASED UPON PROFESSIONAL KNOWLEDGE AND EXPERIENCE. THE FINAL LANDSCAPE PLANS WILL BE REVIEWED WITH THE PRELIMINARY PLAT AND SHALL COMPLY WITH SECTION 19.06 OF THE SARATOGA SPRINGS MUNICIPAL CODE.
3. STREET TREE SPACING WILL TYPICALLY BE 50' O.C., BUT MAY VARY DEPENDING ON SPECIFIC SPECIES USED. STREET TREE SPACING WILL ALSO BE ADJUSTED FOR DRIVEWAYS, SITE TRIANGLES, AND OTHER SITE CONDITIONS AND REQUIREMENTS.
4. LANDSCAPING IN TOWNSCAPE AREAS TO BE DETAILED AT THE TIME OF PLATS.

CUSTOM GREAT BASIN WESTERN WILDFLOWER SEED MIX (GRANITE SEED COMPANY)

68%	WESTERN WILDFLOWER MIX (SEE BELOW)
30%	SHEEP FESCUE (FESTUCA OVINA)
2%	SAGEBRUSH (ARTEMISIA SP.)

GREAT BASIN WESTERN WILDFLOWER SEED MIX (GRANITE SEED COMPANY)

14.80%	LUPINE, PERENNIAL
12.95%	BLANKETFLOWER
11.10%	CANDYTUFT, ANNUAL
11.10%	POPPY, CALIFORNIA
7.40%	CORNFLOWER, DWARF BLUE
7.40%	FLAX, BLUE
7.40%	POPPY RED CORN
3.70%	INDIAN BLANKET
3.70%	PENSTEMON, ROCKY MOUNTAIN
3.70%	GREENTHREAD
2.77%	EVENING PRIMROSE, DWARF
1.85%	CLARKIA, DEERHORN
1.85%	CLARKIA, GLOBE
1.85%	ASTER, PRAIRIE
1.85%	PENSTEMON, PALMER
1.85%	CONEFLOWER, PRAIRIE
1.22%	GOLDENEYE, SHOWY
0.92%	CLARKIA, DEERHORN
0.74%	COREOPSIS, PLAINS

PLEASE NOTE THAT EXACT MIX MAY CHANGE DEPENDING ON ANNUAL SEED HARVEST RATES AND AVAILABILITY.

Conceptual Plant Schedule

TREES	BOTANICAL NAME	COMMON NAME	QTY
•	*Acer truncatum 'Norwegian Sunset'	Maple	34
○	*Cercis canadensis	Eastern Redbud	4
○	*Ginkgo biloba 'Magyar'	Magyar Ginkgo	1
○	*Ginkgo biloba 'Shangri-La'	Shangri-La Ginkgo	74
○	*Pinus nigra	Austrian Black Pine	3
○	Prunus serrulata 'Kwanzan'	Kwanzan Japanese Flowering Cherry	6
○	*Quercus robur x bicolor 'Long' TM	Regal Prince Oak	5
○	*Tilia americana 'Redmond'	Redmond American Linden	38
○	*Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	34
○	*Tilia tomentosa 'Sterling'	Sterling Silver Linden	58
○	*Ulmus americana 'Princeton'	American Elm	126
○	*Ulmus x 'Accolade'	Accolade Elm	17
○	*Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	80
○	*Zelkova serrata 'Village Green'	Sawleaf Zelkova	63
SHRUBS	BOTANICAL NAME	COMMON NAME	QTY
○	*Caryopteris x clandonensis 'Blue Mist'	Blue Mist Shrub	17
○	*Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5
○	*Rosa Meidiland series 'White'	White Meidiland Rose	7
○	*Symphoricarpos x chenaultii 'Hancock'	Hancock Coralberry	3
○	*Viburnum opulus 'Nanum'	Dwarf European Viburnum	8
ORNAMENTAL GRASS	BOTANICAL NAME	COMMON NAME	QTY
○	*Festuca mairei	Atlas Fescue	12
PERENNIALS	BOTANICAL NAME	COMMON NAME	QTY
★	*Hemerocallis x 'Always Afternoon'	Lavender Daylily	8

*DENOTES LOW TO MODERATE WATER REQUIREMENT

	LAWN BLEND Lolium perenne / Perennial Ryegrass Poa pratensis / Kentucky Bluegrass	16,100 sf
	NATURAL OPEN SPACE REPAIR/REVEGETATE AS REQUIRED WITH CUSTOM GREAT BASIN WILDFLOWER/GRASS SEED MIX (SEE AREA C)	1,140,000 sf
	CUSTOM GREAT BASIN WILDFLOWER/GRASS SEED MIX SEE AREA C FOR SEED MIX SCHEDULE	384,000 sf

DATA SHEET FOR ENTIRE VILLAGE PLAN AREA

Plant Type	Total Qty	Total SF	Percent of Landscape
Trees	543	N/A	N/A
Shrub/Grass/Perennial Mx in Bark Mulch		8,800	2%
Turf		16,100	4%
Wildflower Seed Mix		383,175	94%
Total Developed/Irrigated Landscape		408,075	100%
Drought Tolerant Species		21 total species (14 trees, 7 shrubs/grasses/perennials)	
		95% of these are drought tolerant (either low or moderate water use)	
Natural Open Space Restoration in Disturbed Areas		1,150,000	



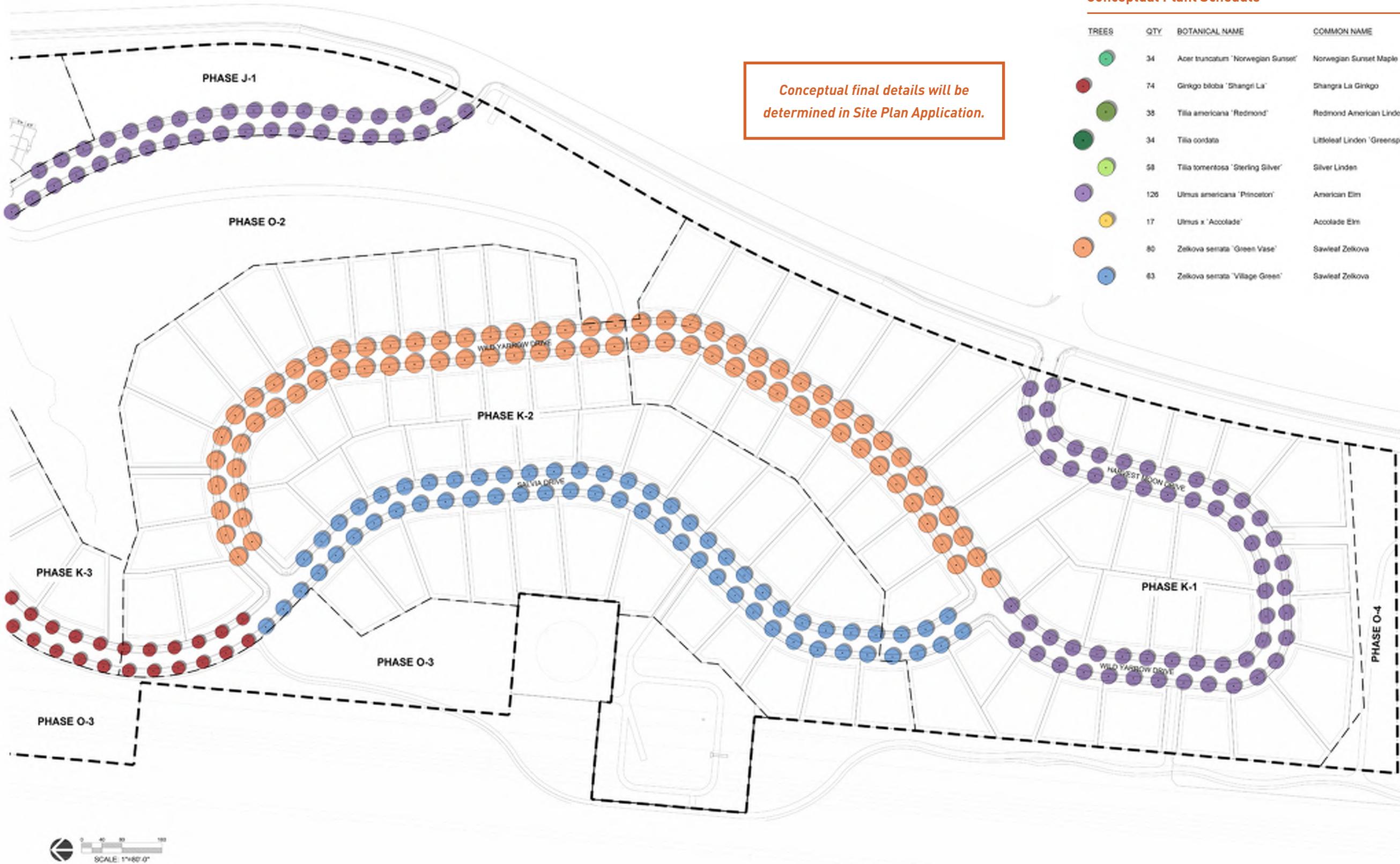
Conceptual Plant Schedule

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
●	34	Acer truncatum 'Norwegian Sunset'	Norwegian Sunset Maple	2" Cal.
●	74	Ginkgo biloba 'Shangri La'	Shangri La Ginkgo	2" Cal.
●	38	Tilia americana 'Redmond'	Redmond American Linden	2" Cal.
●	34	Tilia cordata	Littleleaf Linden 'Greenspire'	2" Cal.
●	58	Tilia tomentosa 'Sterling Silver'	Silver Linden	2" Cal.
●	126	Ulmus americana 'Princeton'	American Elm	2" Cal.
●	17	Ulmus x 'Accolade'	Accolade Elm	2" Cal.
●	80	Zelkova serrata 'Green Vase'	Sawleaf Zelkova	2" Cal.
●	63	Zelkova serrata 'Village Green'	Sawleaf Zelkova	2" Cal.

Conceptual final details will be determined in Site Plan Application.

0 40 80 120 160
SCALE: 1"=80'-0"







Plant Use Detail Exhibit

TREES



Norwegian Sunset Maple



Eastern Redbud



Magyar Ginkgo



Shangri-La Ginkgo



Kwanzan Flowering Cherry



Regal Prince Oak



Redmond Linden



Austrian Pine



Greenspire Linden



Silver Linden



Princeton Elm



Accolade Elm



Green Vase Zelkova



Village Green Zelkova

SHRUBS, GRASS, AND PERENNIAL MIX



Blue Mist Caryopteris



Grow-Low Sumac



Mormon Tea



Meidiland Rose



Hancock Coralberry



Dwarf European Cranberry



Atlas Fescue



Always Afternoon Daylily



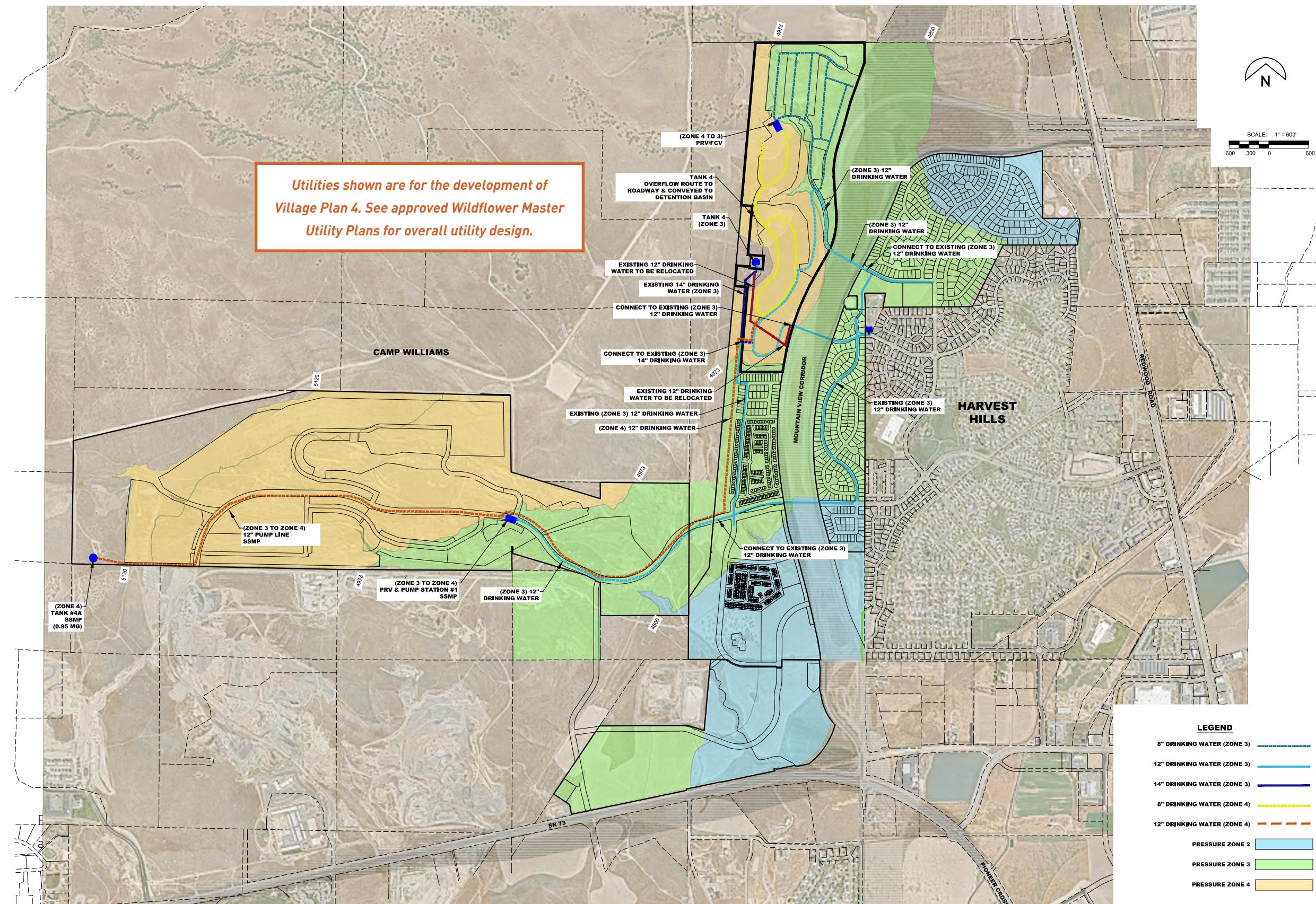
08 Utility Plans

The following utility plan diagrams provide master utilities that will serve Wildflower Village Plan Area 4.

- » Culinary Water Plan
- » Secondary Water Plan
- » Sewer Plan
- » Storm Drain

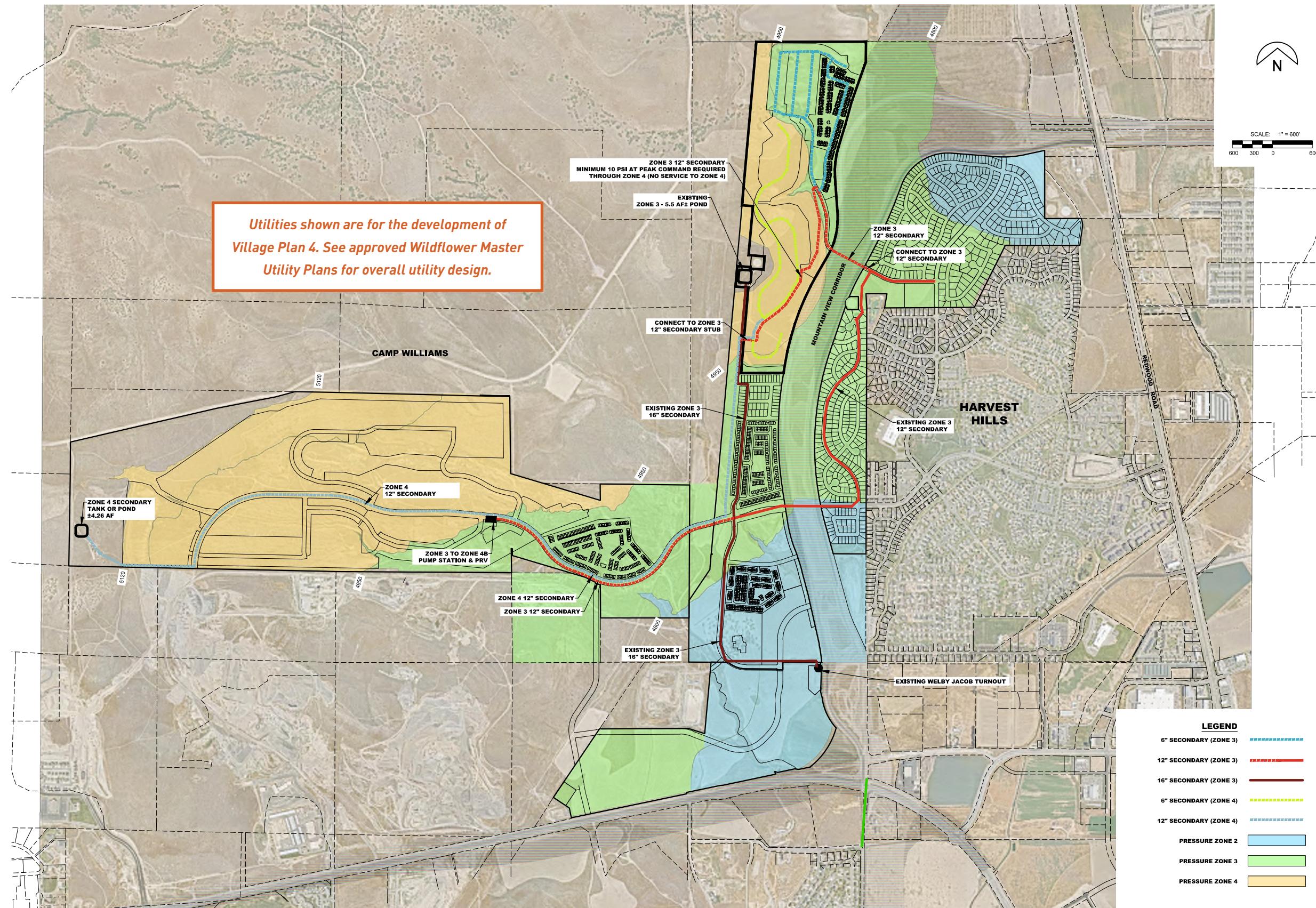


Culinary Water Plan Exhibit



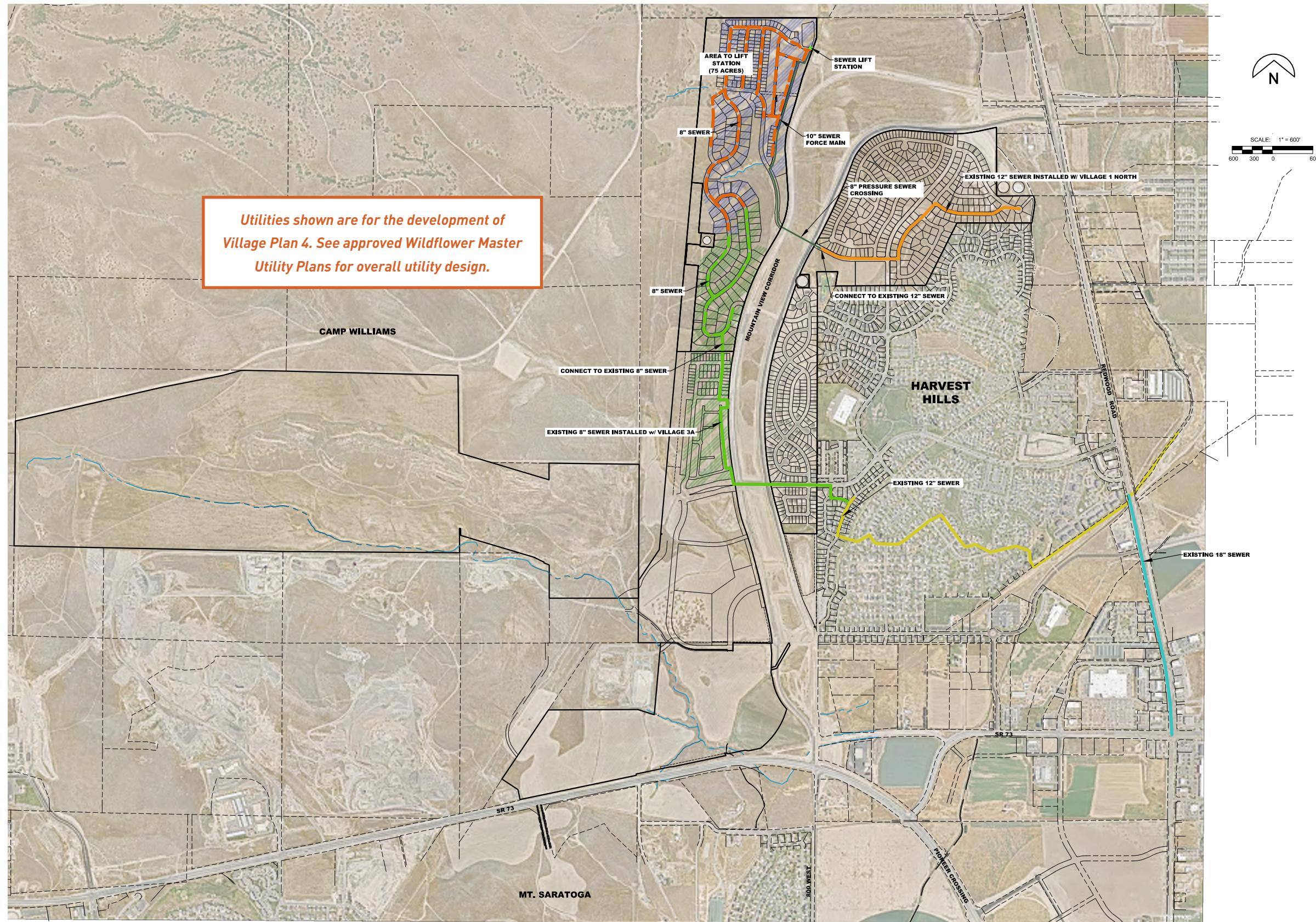


Secondary Water Plan Exhibit



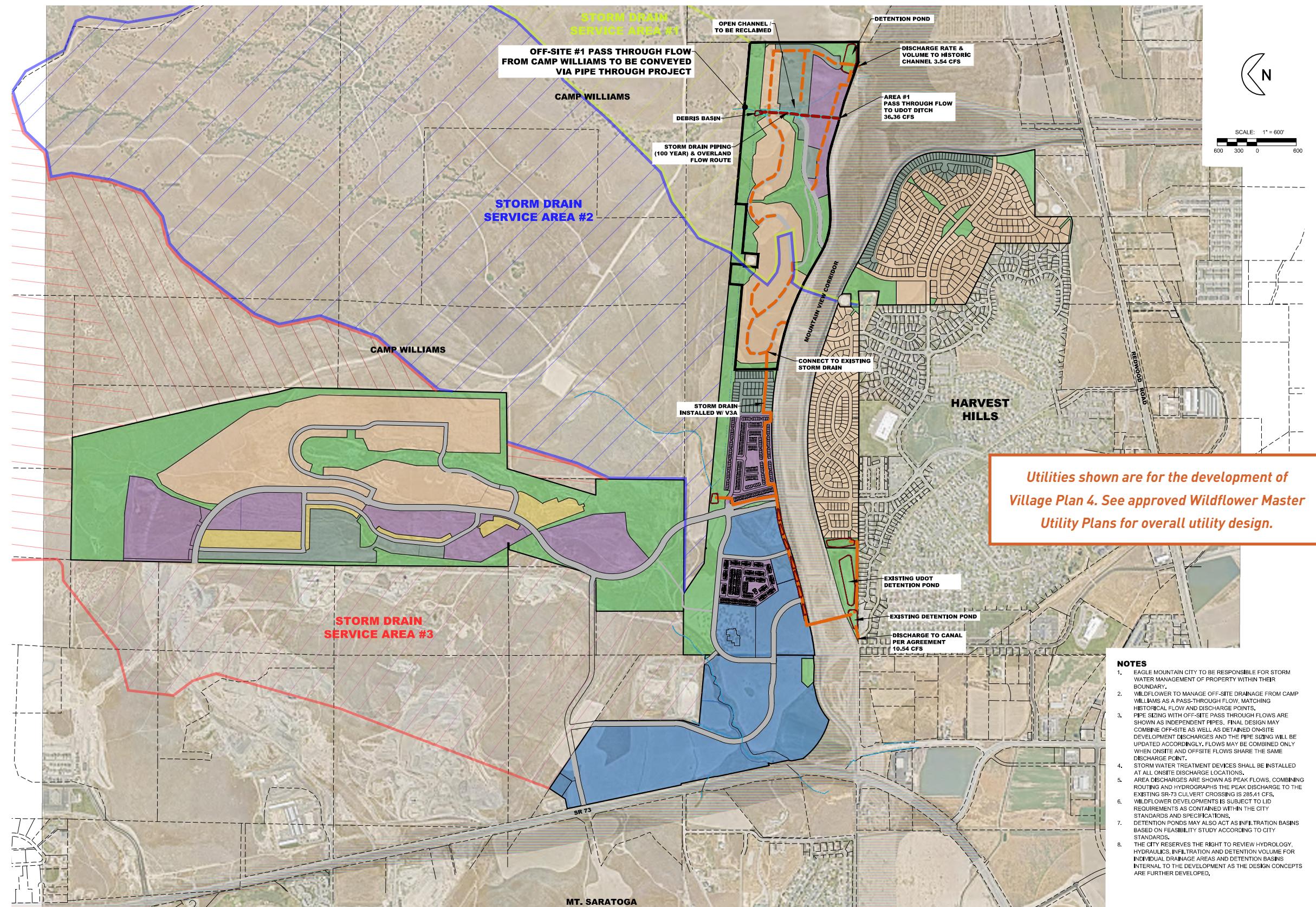


Sewer Plan Exhibit



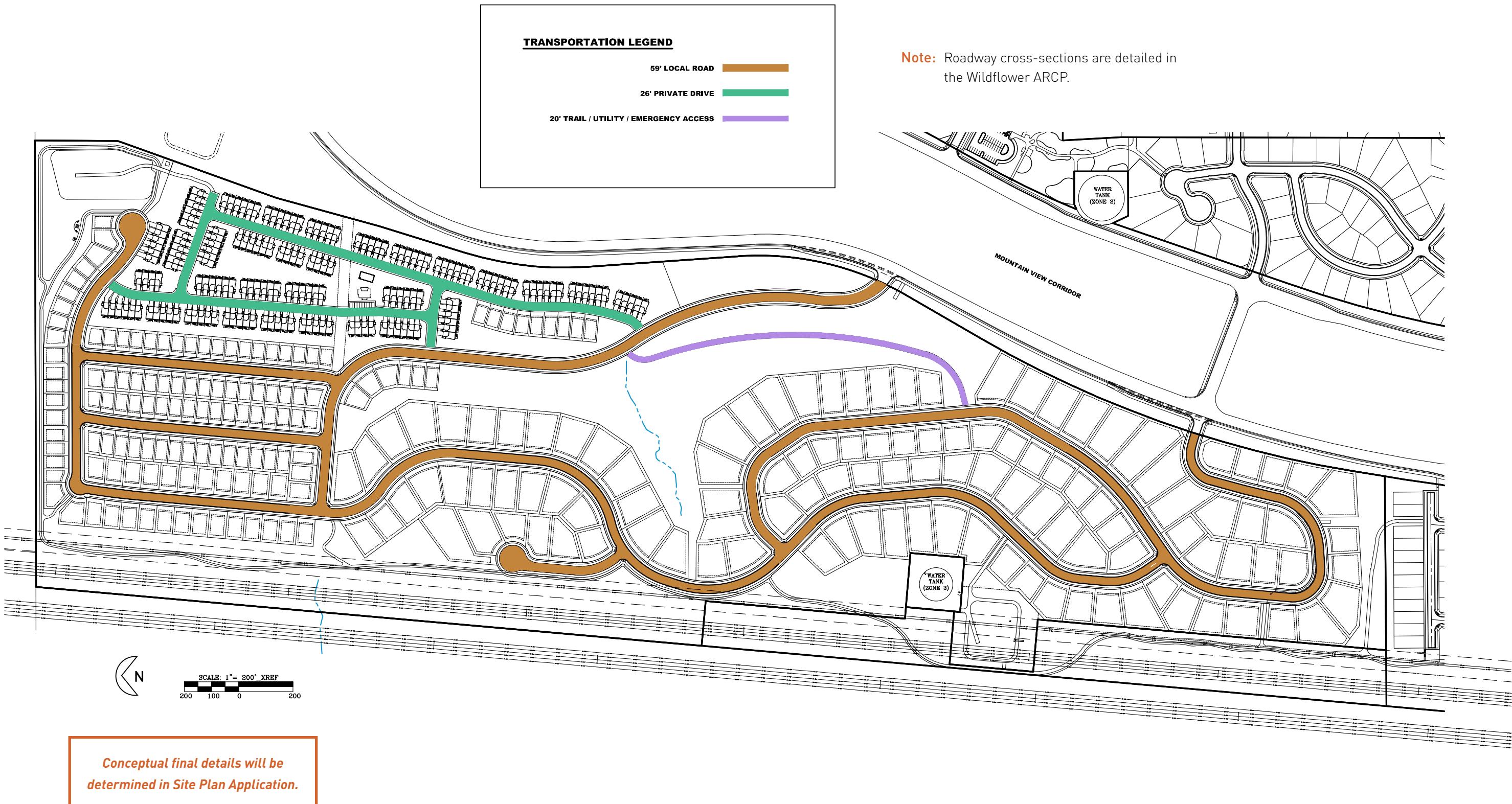


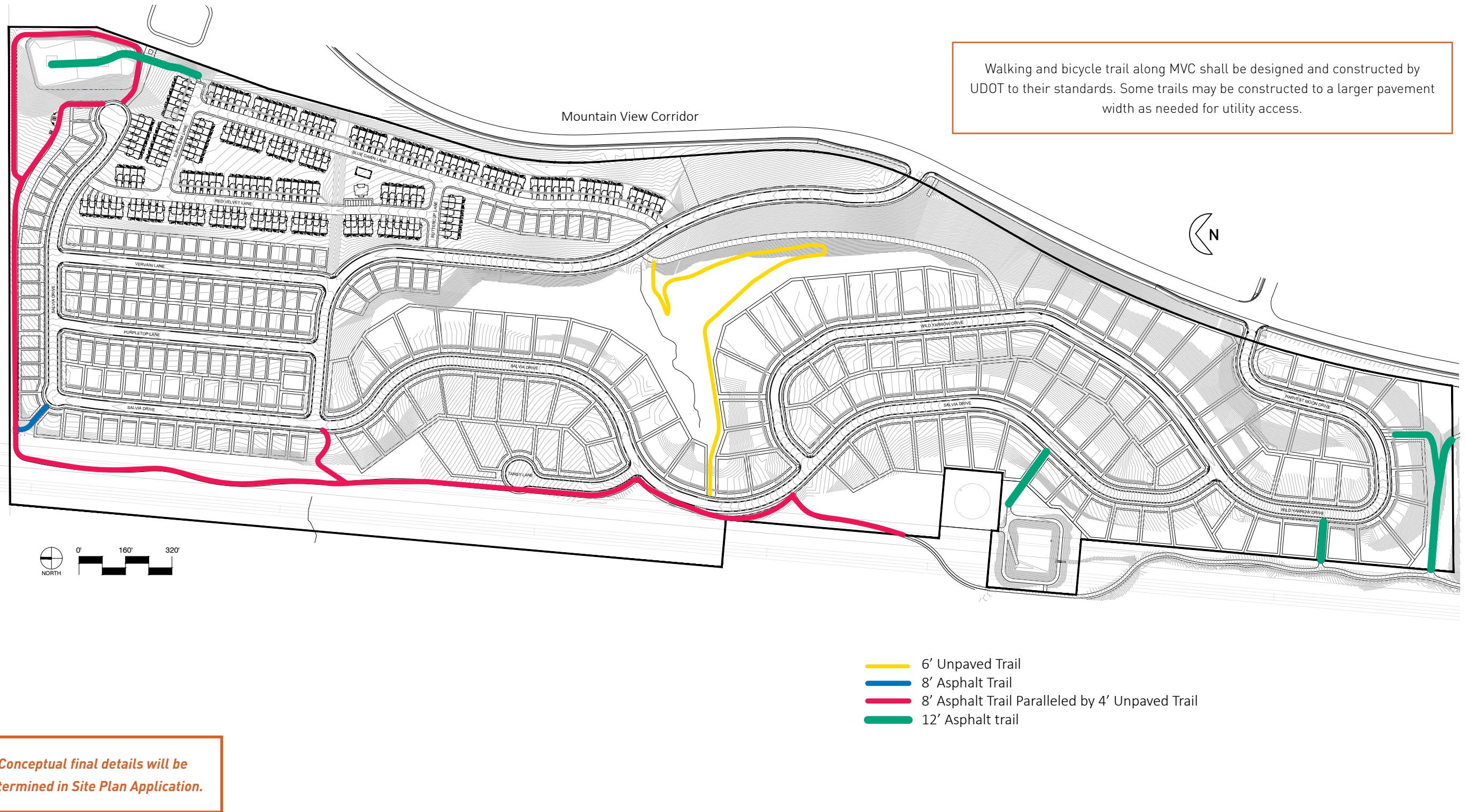
Storm Drain Exhibit





Vehicular Plan Exhibit





11 Density Transfers

In Village Plan 4, the number of ERUs are the same as detailed in the Wildflower Amended and Restated Community Plan (ARCP). No density transfers are required.

12 Additional Detailed Plans

The following elements have been included to detail plans and direction contained in the Wildflower ARCP for Village Plan Area 4:

- » Signage Key Exhibit
- » Signage Plan Exhibit
- » Temporary Signage Plan
- » Grading Plan
- » Open Space Management
- » Traffic Study



Signage Key Exhibit

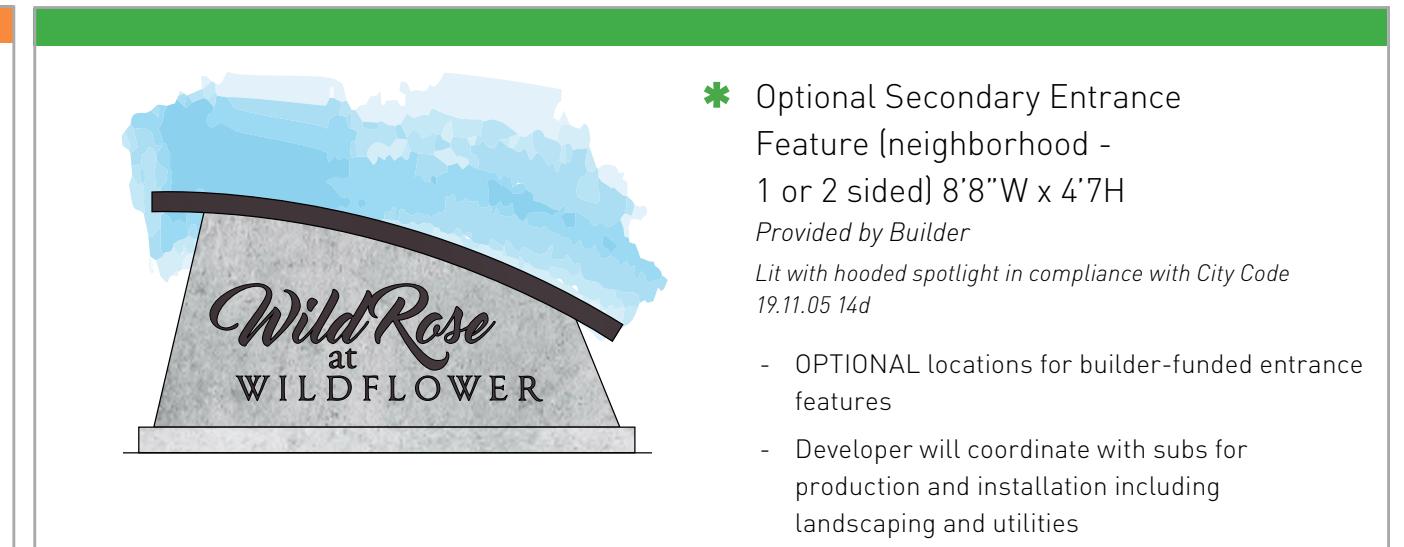


*** Primary Entrance Feature (development - 1 sided)**

16'L x 4'D x 11'H

Provided by Developer

LED illumination of the flower - Face of sign lit with hooded spotlight in compliance with City Code 19.11.05 14d



*** Optional Secondary Entrance Feature (neighborhood - 1 or 2 sided) 8'8"W x 4'7H**

Provided by Builder

Lit with hooded spotlight in compliance with City Code 19.11.05 14d

- OPTIONAL locations for builder-funded entrance features
- Developer will coordinate with subs for production and installation including landscaping and utilities

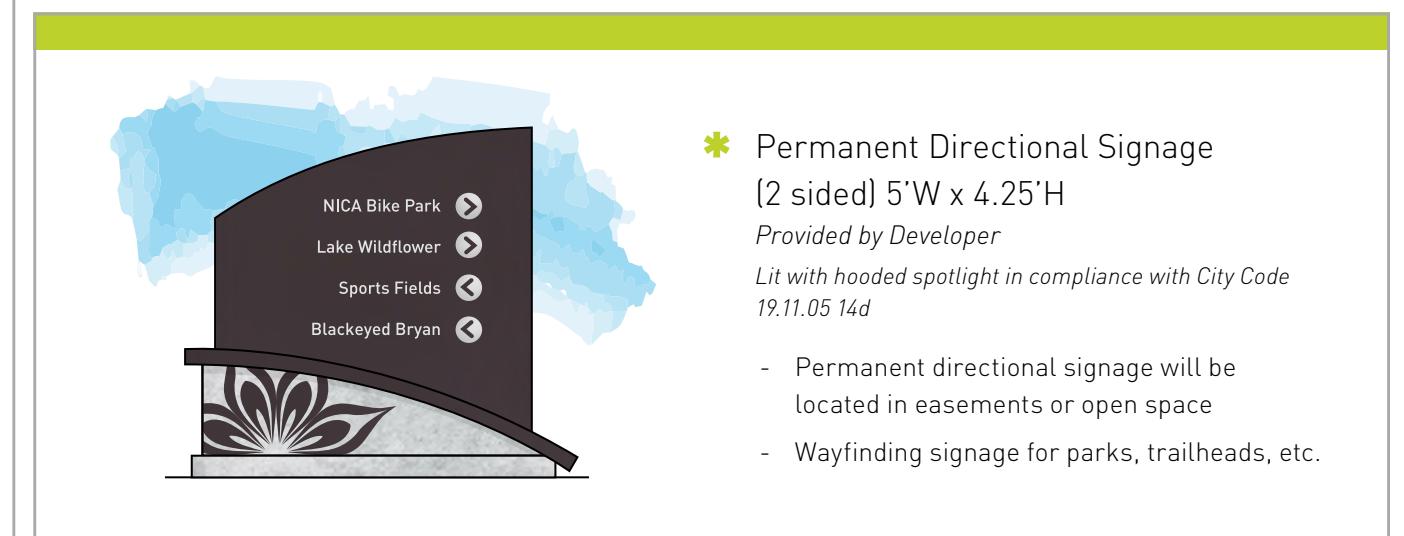


*** Park Signage (1 or 2 sided) 5'W x 4.25'H**

Provided by Developer

Lit with hooded spotlight in compliance with City Code 19.11.05 14d

- Names of parks and RV storage TBD at Village Plan



*** Permanent Directional Signage (2 sided) 5'W x 4.25'H**

Provided by Developer

Lit with hooded spotlight in compliance with City Code 19.11.05 14d

- Permanent directional signage will be located in easements or open space
- Wayfinding signage for parks, trailheads, etc.



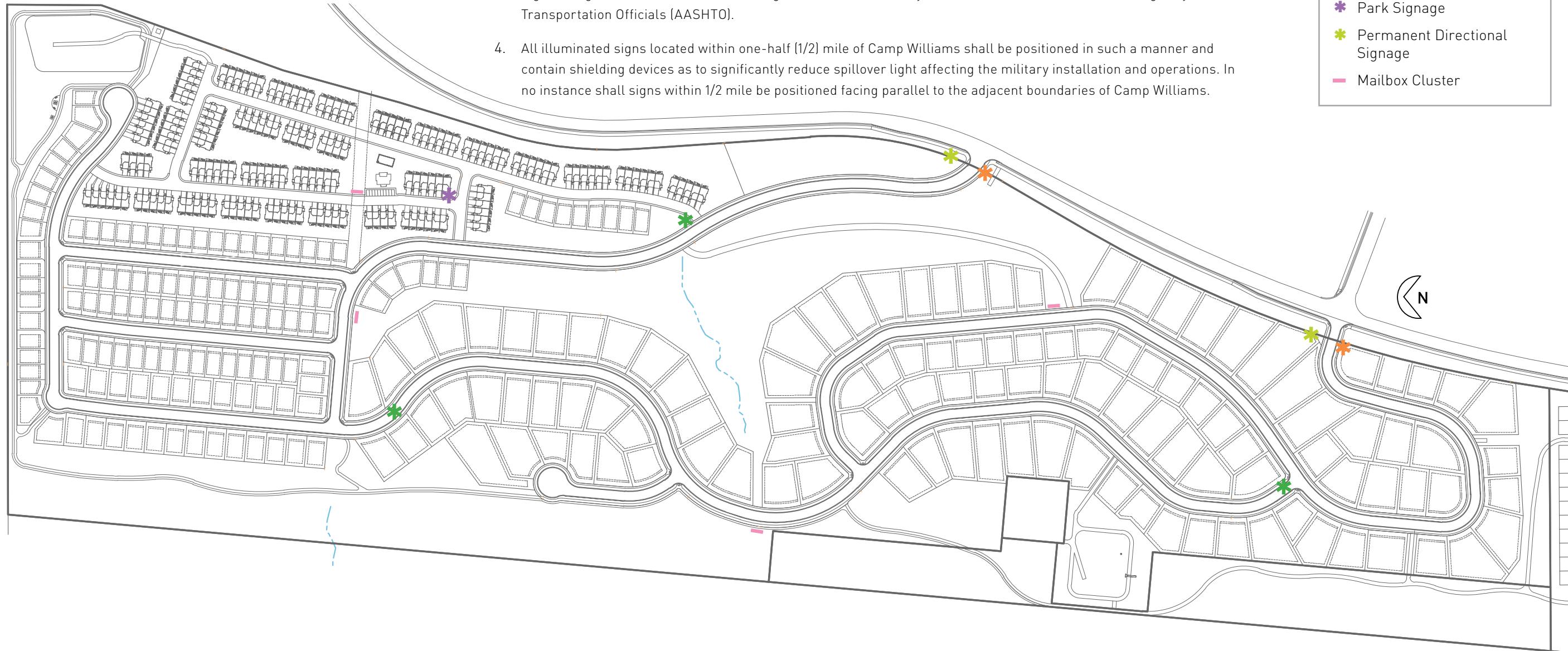


Signage Plan Exhibit

Notes

1. Locations shown represent the approximate vicinity of signs. Locations will be refined at sign permit application. All entrance features will be placed in common areas or signage easements.
2. These features shall not conflict with traffic control signaling or traffic control devices.
3. Sight triangle will be adhered to according to the standards set by the American Association of State Highway and Transportation Officials (AASHTO).
4. All illuminated signs located within one-half (1/2) mile of Camp Williams shall be positioned in such a manner and contain shielding devices as to significantly reduce spillover light affecting the military installation and operations. In no instance shall signs within 1/2 mile be positioned facing parallel to the adjacent boundaries of Camp Williams.

- ✿ Primary Entrance Feature (Development)
- ✿ Optional Secondary Entrance Feature (Neighborhood)
- ✿ Park Signage
- ✿ Permanent Directional Signage
- ✿ Mailbox Cluster



Conceptual final details will be determined in Sign Permit Application.



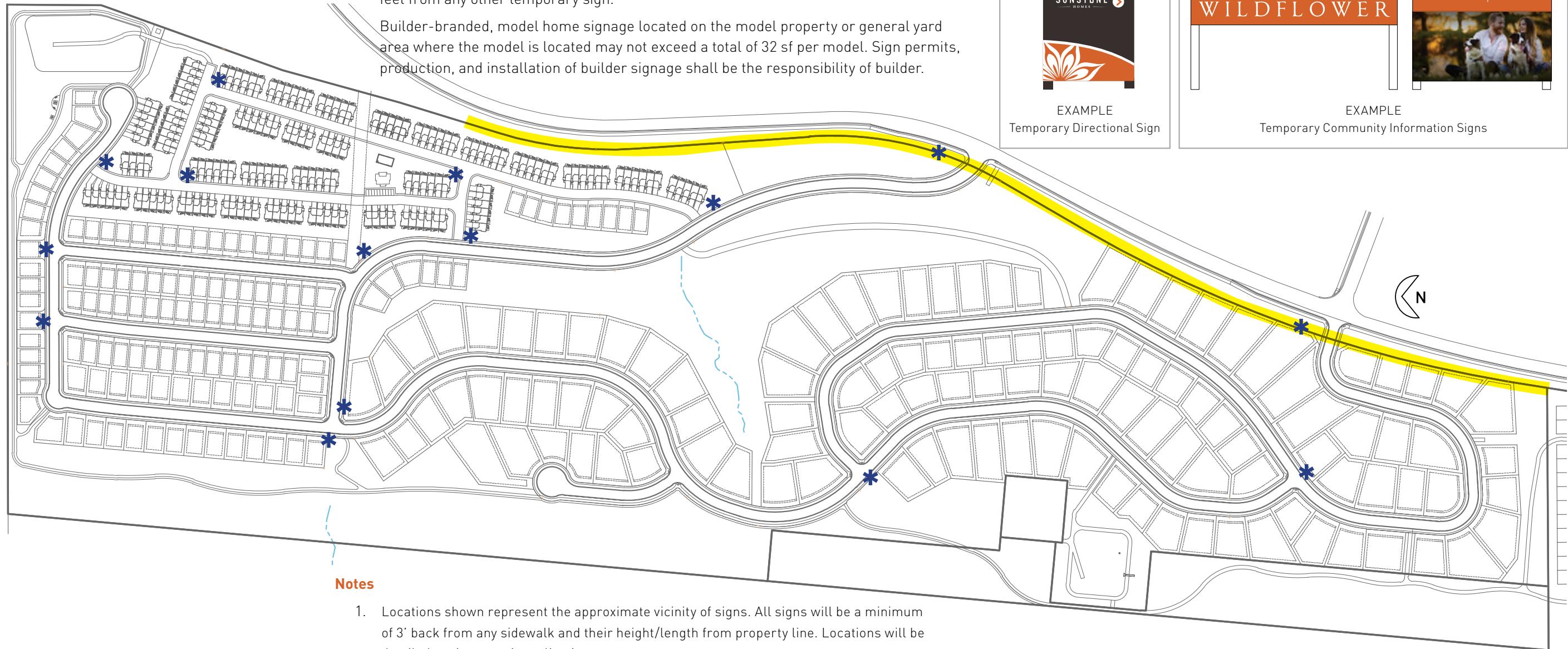


Temporary Signage Plan Exhibit

Conceptual final details will be determined in Sign Permit Application.

Temporary directional signage (*) may be installed where indicated, as needed to direct traffic to builder model home(s). Also, the areas highlighted in yellow () along MVC may require up to seven branded temporary community information signs during active development. The design and message may vary, but the purpose is to provide information about the Wildflower community. Sign faces shall not exceed 96 sf and height of sign will not exceed 12 feet from grade. Temporary community information signage shall be at least 200 feet from any other temporary sign.

Builder-branded, model home signage located on the model property or general yard area where the model is located may not exceed a total of 32 sf per model. Sign permits, production, and installation of builder signage shall be the responsibility of builder.



Notes

1. Locations shown represent the approximate vicinity of signs. All signs will be a minimum of 3' back from any sidewalk and their height/length from property line. Locations will be detailed at sign permit application.
2. Signs shall not conflict with traffic control signaling or traffic control devices.
3. Sight triangle will be adhered to according to the standards set by the American Association of State Highway and Transportation Officials (AASHTO).
4. Temporary signs will be installed on builder-owned lots or open space, not on privately owned lots.



EXAMPLE
Temporary Directional Sign



EXAMPLE
Temporary Community Information Signs



WILDFLOWER
AT SARATOGA SPRINGS

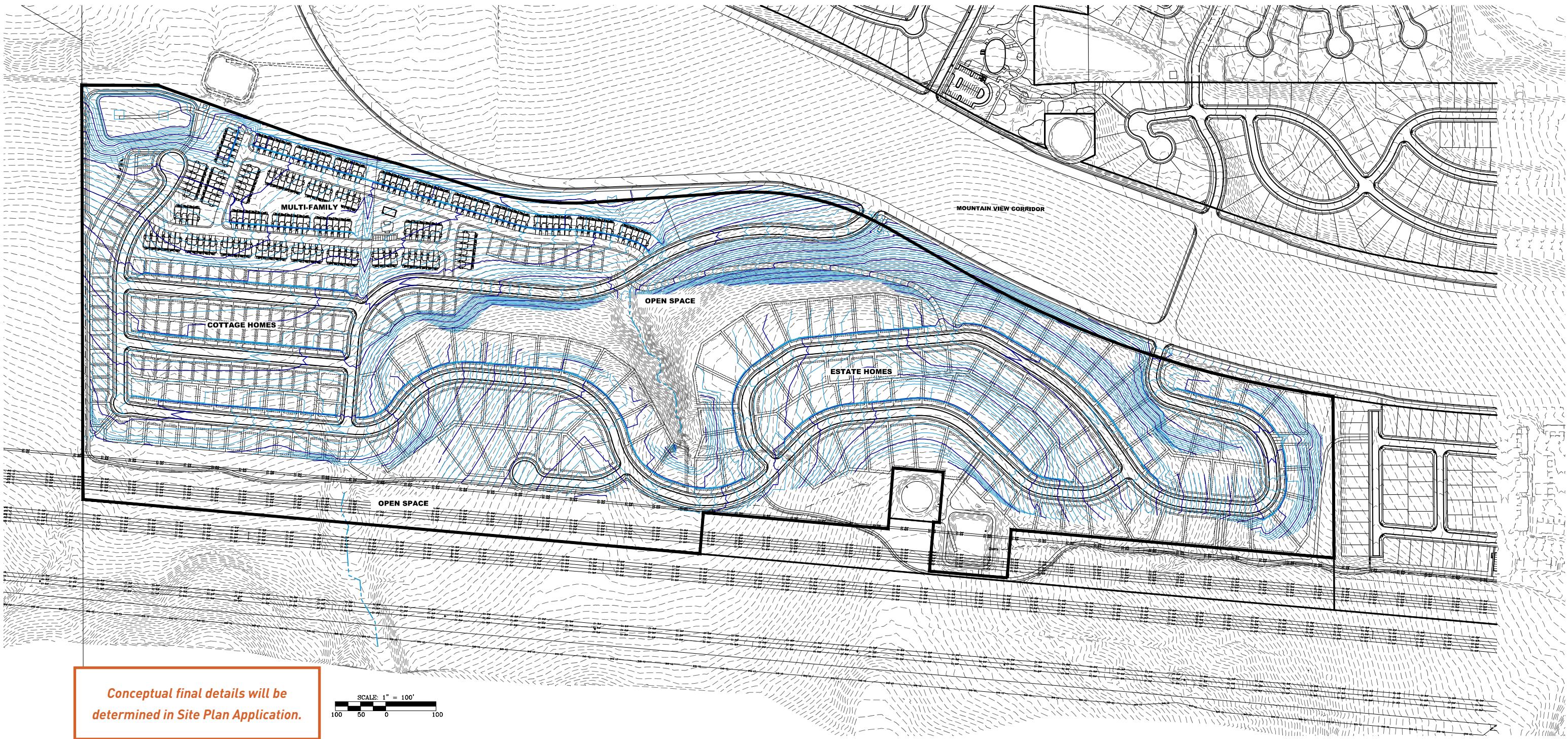
Utah's First
Active Family
Community

LiveAtWildflower.com





Conceptual Grading Plan Exhibit



Open Space Management Plan

The total acreage within Village Plan 4 is approximately 138.99 acres. The open space provided is 42.03 acres, which is approximately 30% of the total acreage.

Equivalent Acres Required	Equivalent Acres Provided	Minimum # Amenity Points Required	Minimum # Amenity Points Provided	# Amenity Points Above Required
10.4	30.8	414	558.8	144.8

EQUIVALENT ACRES REQUIRED 10.4		EQUIVALENT ACRES PROVIDED 30.8		
Category		Multiplier	Quantity	Points
Trail, paved (1000 LF)		B	7.2	297.4
Pavilion 12 x 12		D	1.0	4.7
Trail, Soft Surface (per 1,000 LF)		D	5.7	47.3
Picnic Table 6'		E	2.0	1.6
Bench		E	2.0	0.8
Additional EA Above Requirement*			20.5	818.0
Maximum Allowed Additional EA Points*				207.0
Additional EA Points Applied*				207.0
Total Amenity Points				558.8

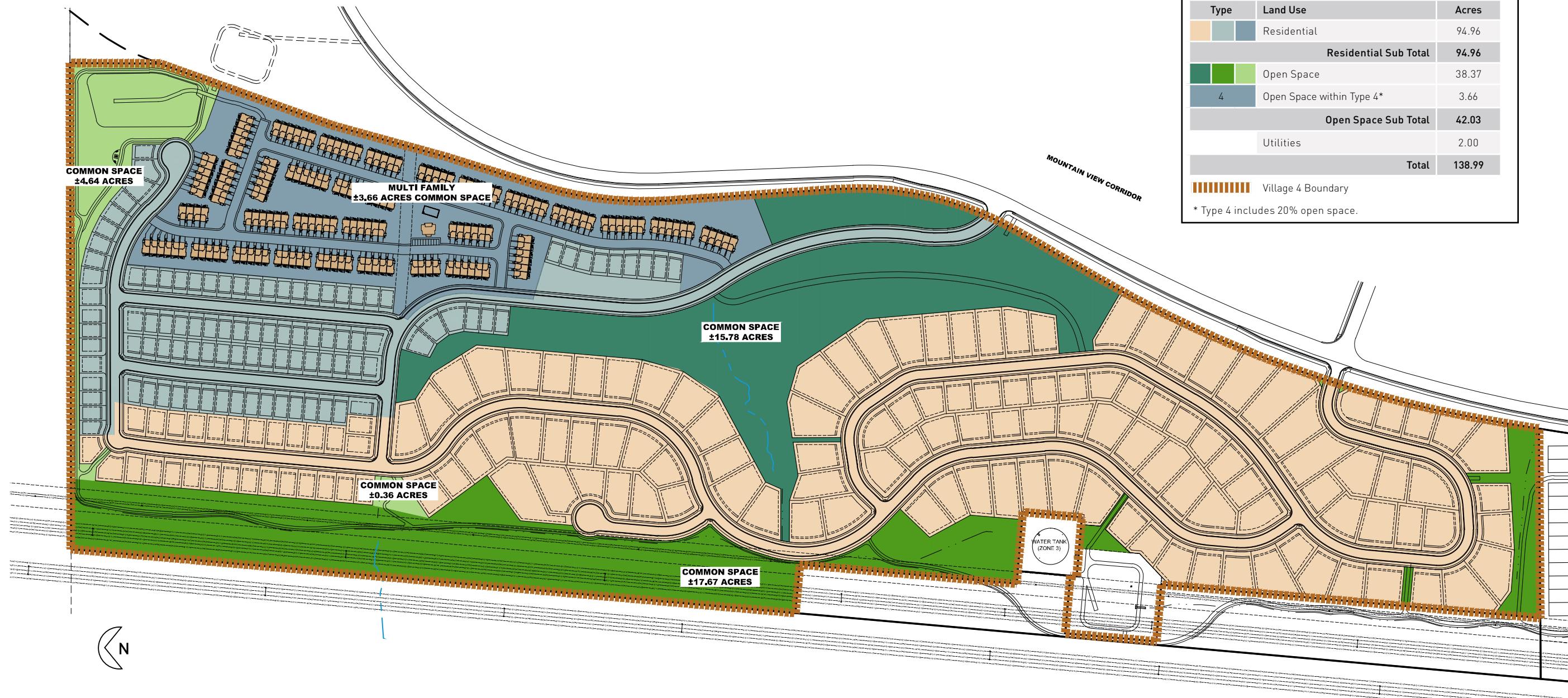
General open space is managed by the Master HOA, and Type 4 open space is managed by a sub-HOA.

The amenity details for the Larkspur Type 4 townhome neighborhood will be determined at Site Plan and/or Plat submittal. At a minimum, the amenities will include a 1,346 sf clubhouse, 25' x 50' swimming pool, and two playgrounds. These amenities add up to 350 amenity points as detailed below.

Type 4 Amenity Points			
Proposed Amenity	Quantity	Points Per Each	Total Points
Clubhouse Associated w/ Pool	1	150.0	150
Pool 25' x 50'	1	150.0	150
Playground	2	25	50
Total Type 4 Amenity Points			350

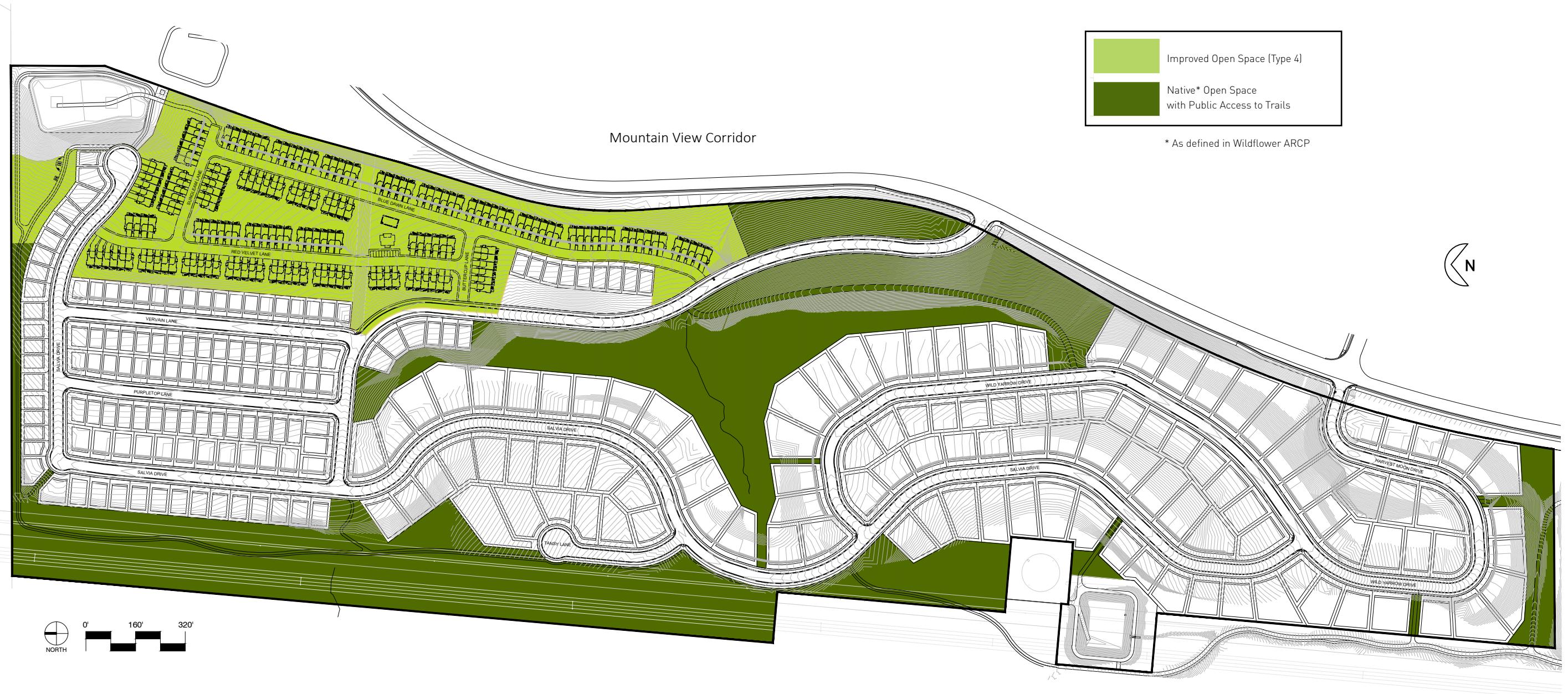


Open Space Tabulation Exhibit



Conceptual final details will be determined in Site Plan Application.





Conceptual final details will be determined in Site Plan Application.





Natural Resources Inventory

SLOPES

SLOPE GRATER THAN 30% = 2.99 ACRES (FOR PURPOSE OF DETERMINING SENSITIVE LANDS AREA, INCIDENTAL & ISOLATED AREA OVER 30% HAVE NOT BEEN INCLUDED.)

SOILS

A GEOTECHNICAL INVESTIGATION HAS BEEN CONDUCTED BY INFINITY CONSULTANTS, DATED JANUARY 17, 2014. EXCERPTS FROM THE INVESTIGATION INCLUDE:

- THE SUBSURFACE SOILS ENCOUNTERED AT THE SITE CONSIST OF PRIMARILY OF SANDY CLAYS (CL) AND SILTY CLAYS (CL-ML). SILTY SANDS (SM) AND CLAYEY SANDS (SC) WERE FOUND INTERSPERSED WITH CLAYEY SOILS ON THE RIDGE AND IN ITS NEAR VICINITY. COBBLES AND BOULDERS ARE FREQUENTLY FOUND IN THE NEAR SURFACE SOILS AND TOPSOIL, LAYERS OF GRAVEL ARE FREQUENTLY FOUND IN THE SUBSURFACE SOILS.
- NO SUBSURFACE WATER WAS ENCOUNTERED TO THE MAXIMUM DEPTH INVESTIGATED, APPROXIMATELY 16 FEET IN THE TEST PITS AND 50 FEET IN THE BORINGS ALONG THE NORTHERN RIDGE LINES.
- IT IS OUR OPINION THAT THE SITE IS SUITABLE FOR THE PROPOSED CONSTRUCTION. THE BUILDINGS SUPPORTED ON SHALLOW SPREAD FOOTINGS BEARING ON THE UNDISTURBED NATURAL SILT OR CLAY SOILS SHOULD BE DESIGNED FOR A NET ALLOWABLE PRESSURE OF 1,250 POUNDS PER SQUARE FOOT, SHALLOW FOOTINGS BEARING ON NATURAL UNDISTURBED WELL GRADED SANDS, GRAVELS OR AT LEAST 1 FOOT OF COMPAKTED STRUCTURAL FILL MAY BE DESIGNED FOR A NET ALLOWABLE BEARING PRESSURE OF 1,500 PSF. BASEMENT FOOTINGS THAT ARE EMBEDDED A MINIMUM OF 6 FEET DEEP FROM THE NATIVE GROUND SURFACE AND ARE BEARING ON THE UNDISTURBED NATURAL SILT OR CLAYS MAY BE DESIGNED FOR A NET ALLOWABLE PRESSURE OF 1,500 PSF. BASEMENT FOOTINGS EMBEDDED MORE THAN 6 FEET AND BEARING ON UNDISTURBED NATURAL WELL GRADED SANDS OR GRAVELS MAY BE DESIGNED FOR A NET ALLOWABLE PRESSURE OF 1,800 PSF.
- AT THE TIME OF THE SITE INVESTIGATION WAS CONDUCTED, VEGETATION AT THE SITE CONSISTED PRIMARILY OF SAGE BRUSH, WITH FARMED AND FALLOW FIELDS, NATIVE GRASSES AND WEEDS WERE PRESENT AROUND THE PERIMETER OF THE FIELDS.
- BASED ON THE INFORMATION COLLECTED DURING OUR FIELD INVESTIGATION AND SUBSEQUENT LABORATORY TESTING, WE ANTICIPATE THAT COLLAPSE-SUSCEPTIBLE SOILS WILL NOT BE ENCOUNTERED DURING CONSTRUCTION.
- NO ACTIVE FAULTS ARE MAPPED TO EXTEND THROUGH OR NEAR THE PROPERTY. THE CLOSEST MAPPED FAULT TO THE SITE LIES BENEATH UTAH LAKE, LOCATED APPROXIMATELY 4.5 MILES TO THE SOUTH. (MACHETTE, 1992).



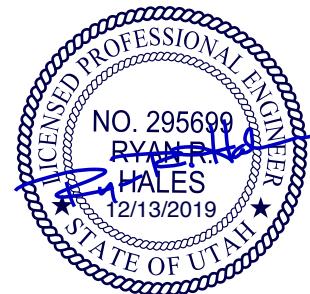
Traffic Study

Village Plan 4

HALES  **ENGINEERING**
innovative transportation solutions

Wildflower Village 4

Traffic Impact Study



Saratoga Springs, Utah

December 13, 2019

UT19-1599



EXECUTIVE SUMMARY

This study addresses the traffic impacts associated with the proposed Wildflower Village 4 development located in Saratoga Springs, Utah. The proposed project is located on the west side of Mountain View Corridor (MVC), north of Harvest Moon Drive.

Included within the analyses for this study are the traffic operations and recommended mitigation measures for existing conditions and plus project conditions (conditions after development of the proposed project) at key intersections and roadways near the site. Future 2025 conditions were also analyzed.

The evening peak hour level of service (LOS) was computed for each study intersection. The results of this analysis are shown in Table ES-1. Recommended storage lengths are shown in Table ES-2.

TABLE ES-1 LOS Analysis - Evening Peak Hour Saratoga Springs - Wildflower Village 4 TIS				
Intersection	Level of Service (Sec/Veh) ¹			
	Existing (2019) Background	Existing (2019) Plus Project	Future (2025) Background	Future (2025) Plus Project
Harvest Moon Drive / SB MVC FR	B (13.9) / WB	D (30.1) / WB	C (24.2) / WB	F (>50) / WB
Harvest Moon Drive / NB MVC FR	A (8.1) / EB	A (8.1) / EB	B (14.2) / EB	B (15.1) / EB
Harvest Hills Boulevard / SB MVC FR	B (14.5)	B (13.9)	C (21.8)	C (22.9)
Harvest Hills Boulevard / SB MVC FR	A (9.5)	A (9.4)	B (11.5)	B (11.5)
Access 2 / SB MVC FR ²	-	B (14.7) / EB	-	F (>50) / EB
Access 3 / SB MVC FR ²	-	C (20.7) / SEB	-	F (>50) / SEB

1. Intersection LOS and delay (seconds/vehicle) values represent the overall intersection average for roundabout, signalized, all-way stop controlled intersections and the worst approach for all other unsignalized intersections.
 2. This intersection is a project access and was only analyzed in "plus project" scenarios.

Source: Hales Engineering, December 2019

Intersection	Storage Length (feet)							
	Northbound		Southbound		Eastbound		Westbound	
	LT	RT	LT	RT	LT	RT	LT	RT
Harvest Moon Drive / SB MVC FR	-	-	100	100	-	100	100	-
Harvest Moon Drive / NB MVC FR	100	100	-	-	100	-	-	-
Harvest Hills Boulevard / SB MVC FR	-	-	100	100	-	100	125	-
Harvest Hills Boulevard / SB MVC FR	100	100	-	-	100	-	-	100
Access 2 / SB MVC FR	-	-	-	100	-	-	-	-
Access 3 / SB MVC FR	-	-	-	100	-	-	-	-

Source: Hales Engineering, December 2019

SUMMARY OF KEY FINDINGS/RECOMMENDATIONS

The following is a summary of key findings and recommendations:

- New turning movement counts were collected along the newly-constructed MVC frontage road system in Saratoga Springs. The estimated project trip assignment of Wildflower Village 3A was added on top of these volumes for the “existing (2019) background” volumes.
- All study intersections are currently operating at an acceptable LOS during the evening peak hour in existing (2019) background conditions.
- The development will consist of residential townhome and single-family units.
- All study intersections are anticipated to operate at an acceptable LOS during the evening peak hour with project traffic added.
 - Recommendation: Install right-turn deceleration lanes at each access.
- All study intersections are anticipated to operate at an acceptable LOS during the evening peak hour in future (2025) background conditions.
- The Harvest Moon Drive / SB MVC FR, Access 2 / MVC FR, and Access 3 / MVC FR intersections are anticipated to operate at LOS F during the evening peak hour in future (2025) plus project conditions.
 - Recommendation: That traffic signals be installed at the Harvest Moon Drive / MVC FR intersections when warranted.
 - The delays at Access 2 and Access 3 are due to high through volumes on the MVC FR. It is anticipated with the MVC freeway being installed by 2030 that



most of the through volumes on MVC will be drawn away from the frontage roads.



13 Site Characteristics

Village Plan 4 is located at the north end of the Wildflower development. It is boxed in on three sides. Mountain View Corridor (MVC) is located on the east side of the property, Camp Williams is on the west side and Lehi City on the North. MVC complicates the access with south only frontage roads. The high point is located at the onsite city water tank and slopes down from there. The bulk of the property slopes to the south. A large part of the area is in the Zone 4 Water region and will not be developed until such infrastructure is built. The portion on the south end is located in the Zone 3 Water region and can be developed earlier. All other site characteristics were included in the approved Wildflower ARCP.

14 Master Development Agreement

This Village Plan is subordinate to the Master Development Agreement, Wildflower ARCP, and Master Utility Plan, which are approved and recorded by the City.





Planning Commission Staff Report

Westport Business Park General Plan Land Use Map Amendment and Rezone

Office and Regional Commercial to Office Warehouse Land Use

Agriculture to Office Warehouse Rezone

May 13, 2021

Public Hearing

Report Date:	May 6, 2021
Applicant/Owner:	Mark Johnson
Location:	2000 North Redwood Road
Major Street Access:	Redwood Road
Parcel Number(s) & Size:	58:023:0116, 6.54 acres and 58:023:0114, 11.75 acres
Land Use Designation:	Office and Regional Commercial
Parcel Zoning:	Agriculture
Adjacent Zoning:	Regional Commercial, Office Warehouse, and Mixed Use
Current Use of Parcel:	Vacant
Adjacent Uses:	Vacant and commercial
Previous Meetings:	None
Previous Approvals:	None
Land Use Authority:	City Council
Planner:	David Stroud, AICP, Planning Director

A. Executive Summary: The applicant requests the City amend 18.29 acres of the General Plan Land Use map from Regional Commercial and Office to Office Warehouse and rezone the parcels from Agriculture to Office Warehouse. The anticipated use as shown on the concept plan as Exhibit C is to construct an office warehouse/flex development.

Staff Recommendation: Staff recommends the Planning Commission conduct a public hearing on the proposed General Plan Land Use Map amendment and rezone, review and discuss the proposal, and choose from the options in Section H of this report. Options include approval with or without modification, denial, or continuation.

B. Background: The subject property is currently unplatte and in the Agriculture zone which requires a minimum lot size of 5 acres. The subject parcels each exceed the minimum lot size of the zone. The current General Plan identifies this property as a future location for office and regional commercial uses.

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C. Specific Requests: General Plan Land Use Map amendment from Office and Regional Commercial to Office Warehouse and rezone from Agriculture to Office Warehouse. The question to be addressed and recommend to the City Council is whether or not this location is suitable for the proposed land use and zone.

D. Process:

Rezone and General Plan Amendment

The table in Section 19.13.04 outlines the process requirements of a rezone request. A public hearing is required with the Planning Commission who then make a recommendation to the City Council. The City Council shall then either approve, continue, or deny the request.

Concept Plan

Section 19.17.02 states “Petitions for changes to the City’s Zoning Map for all land use zones may be accompanied by an application for Concept Plan Review or Master Development Agreement approval pursuant to Chapter 19.13 of this Code.”

Per Chapter 19.13 of the City Code, the process for a Concept Plan includes an informal review of the Concept Plan by both the Planning Commission and the City Council. The review shall be for comment only, no public hearing is required and no recommendation or action made.

A concept plan has been submitted with the rezone application and has been included with this staff report. The concept plan is non-binding and does not address all concerns or requirements of the Land Development Code. A concept review is meant to understand the intent of the rezone and the future development plans of the applicant. High-level issues are reviewed such as density, landscaping percentage, road design, etc. Specific details relating to landscaping, elevations, and others are typically not reviewed at the concept level.

E. Community Review: This item was noticed in the *Daily Herald* as a Planning Commission public hearing and a notice was sent to property owners within 300 feet of the subject property. As of the date of this report no phone calls have been received by the public. Email comments may be submitted or public may choose to attend the Planning Commission meeting. The notice has also been posted in the City building, www.saratogspringscity.com, and at the State notice website www.utah.gov/pmn/index.html.

F. General Plan: The land use designation of the property is Regional Commercial and Office. The applicant’s request to change the zone from Agriculture to Office Warehouse is not consistent with the intent of the land use designation of Regional Commercial and Office so the land use map is to be amended to coincide with the desired zone.

Regional Commercial of the General Plan is defined as:

These areas generally should include a variety of retail uses including big box retail configured in developments that provide excellent vehicular access to and from major transportation facilities. They should include special urban improvements to make rich and enjoyable public spaces. To promote foot traffic,

these areas should be compact and include a safe pedestrian environment and access to a multi-modal transportation network. Residential developments at higher densities in neighborhoods that still maintain a suburban character. Developments in these areas should be constructed with urban streets and useable recreation features and lands.

Office of the General Plan is defined as:

Areas intended to provide locations for employment and economic development opportunities. Uses include large and small scale offices, business parks, and supporting service retail. These areas can also serve as transitions between residential areas and major roadways.

Office Warehouse of the General Plan is defined as:

The Office Warehouse designation accommodates uses that permit a blend of warehousing and offices uses within a campus-like setting. This category allows for a mix of flex, high-tech space, and production uses. Generally, it is accessed off collector streets near highways; it should be convenient to transit access when feasible.

Staff conclusion: Complies. *Office Warehouse is an appropriate zone and is implemented by the Office Warehouse land use designation.*

G. Code Criteria:

Rezone requests are legislative decisions. Therefore, the City Council has significant discretion when making a decision on such requests. Because of this legislative discretion, the Code criteria below are guidelines and are not binding.

19.17.03. Planning Commission and City Council Review.

1. The Planning Commission reviews the petition and makes a recommendation to the City Council within 30 days of the receipt of the petition. **Staff finding: consistent.**

Review and submission of necessary items required a review process longer than 30 days due to the need of additional concept plan information.

2. The Planning Commission shall recommend approval of the proposed amendments only when it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and this Title. **Staff finding: consistent.**

The Land Use Plan identifies desired land uses for all areas within the City of Saratoga Springs and provides a framework to guide future planning for the community—where people live, work, play, and shop. It supports a variety of land uses that can continue to make Saratoga Springs an attractive place to live and work, while preserving Saratoga Springs' small-town

charm. Stable and peaceful single-family neighborhoods are the “building block” of the community, with a mix of smaller and denser residential units in appropriate locations to help diversify the housing stock. Employment areas accommodate a diverse array of businesses and support well-paying jobs. The land use element of the General Plan indicates Office as the proposed land use. However, the General Plan is not a static document and subject to review and change when appropriate.

3. The Planning Commission shall provide the notice and hold a public hearing as required by Utah Code. For an application which concerns a specific parcel of property, the City shall provide the notice required by Chapter 19.13 regarding a public hearing. **Staff finding: consistent.**

All required notices in compliance with State and local laws were sent or posted informing the public of the Planning Commission public hearing.

19.17.04. Gradual Transition of Uses and Density.

It is the policy of the City Council, through exercising its zoning authority, to: (a) transition high intensity uses to help prevent the impacts of high density uses on low density areas; and (b) to limit inconsistent uses being located on adjacent parcels. The City Council may implement this policy using its zoning powers. Through amendments to the General Plan and the Zoning Map, the City Council intends to apply the following guidelines to implement this policy:

1. Residential lots, parcels, plats, or developments should not increase by more than 20% of density as compared to adjacent lots, zones, parcels, plats, or developments to enable a gradual change of density and uses. To appropriately transition, new lots should be equal to or larger than immediately adjacent existing platted lots.

2. Exceptions

a. The City should avoid allowing high intensity uses (e.g., commercial, industrial, multi-family structures, etc.) adjacent to lower intensity uses (e.g., single family, low density residential, etc.), however may allow these uses to be located adjacent to each other if appropriate transitions and buffers are in place. Appropriate buffers and transitions include a combination of roadways, landscaping, building orientation and facades, increased setbacks, open spaces, parks, and trails.

3. Despite these guidelines, the City Council recognizes that it will become necessary to allow high intensity next to low intensity uses in order to allow for the implementation of multiple zones in the City. The City Council should use their best efforts to limit inconsistent uses and zones being located on adjacent parcels and to mitigate inconsistent uses and zones through transitions and buffers. **Staff finding: consistent.**

The proposed rezone and development is adjacent to existing commercial uses and vacant property. Residential uses are not in the immediate area but are located to the west across Redwood Road. The subject property is appropriate for commercial activity whether that be retail in nature or office warehouse/flex space. Lehi City borders to the east. The impact to adjacent property is minimal.

19.17.05. Consideration of General Plan, Ordinance, or Zoning Map Amendment.

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a General Plan, ordinance, or zoning map amendment:

1. The proposed changes will conform to the Land Use Element and other provisions of the General Plan. **Staff finding: consistent, if approved.**

The changes proposed are compatible with the surrounding land uses and the proposed zone or Regional Commercial is implemented by the Regional Commercial land use.

2. The proposed changes will not decrease or otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public. **Staff finding: complies.**

No adverse consequences are anticipated by the changing the zone from Agriculture to Office Warehouse.

3. The proposed changes will more fully carry out the general purposes and intent of this Title and any other ordinance of the City. **Staff finding: complies.**

The purpose of Title 19 is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally. The proposed development will comply with Title 19.

4. In balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change. **Staff finding: complies.**

The property has been identified on the General Plan land use map as future Regional Commercial and Office and the proposed land use map amendment and rezone is compatible with the General Plan, surrounding property, zones, and approved development; and

5. Any other reason that, subject to legislative discretion of the City Council, could advance the general welfare.

Concept Plan Review

Section 19.17.02 states “Petitions for changes to the City’s Zoning Map for all land use zones may be accompanied by an application for Concept Plan Review or Master Development Agreement approval pursuant to Chapter 19.13 of this Code.”

Per Chapter 19.13 of the City Code, the process for a Concept Plan includes an informal review of the Concept Plan by both the Planning Commission and the City Council. The reviews shall be for comment only, no public hearing is required and no recommendation or action made. The following is a review of the general standards required of the Office Warehouse zone.

19.04.10. Land Use Regulations, Non-Residential and Mixed Use Zones			
Category to be reviewed (assuming OW)	Regulation	Determination	How
Minimum Development Size	40,000 square feet	Complies	18.29 acres
Minimum lot size	20,000 square feet	Complies	1.21 acres minimum proposed lot size
Setbacks	Front – 20; side 10 feet; rear – 30 feet; street side – 20 feet	Complies	Exceed minimums
Minimum Building Separation	20 feet	Complies	Exceeds minimum
Maximum Height of Structures	35 feet	Complies	Under maximum
Maximum Lot Coverage	50 percent	Complies	27 percent including future ROW
Minimum Lot Width	70 feet	Complies	Exceeds minimum

19.06, Landscaping and Fencing: **will comply**. Details of fencing and landscaping to be determined at preliminary plat/site plan stage.

19.11, Lighting: **will comply**. TBD at preliminary plat/site stage.

19.12, Subdivisions: **complies**. Concept plan meets OW zone standards.

19.13, Process: **complies**. Consistent with General Plan if proposed rezone is approved. City code outlines preliminary and final plat requirements.

H. Staff Recommendation:

I move to recommend **approval** to the City Council the request to amend the General Plan Land Map from Office and Regional Commercial to Office Warehouse and rezone from Agriculture to Office Warehouse on 18.29 acres at 2000 North Redwood Road as outlined in Exhibit 1 with the findings and conditions in the staff report dated May 13, 2021:

Findings

1. The General Plan Land Use Map is proposed to be amended from Office and Regional Commercial to Office Warehouse as outlined Section G of this report.
2. The Zone Map is proposed to be amended from Agriculture to Office Warehouse in compliance with the proposed General Plan Lane Use Map amendment.
3. The General Plan Land Use Map amendment and rezone will not result in a decrease in public health, safety, and welfare as outlined in the findings for approval in Section G of this report.
4. The Rezone is consistent with Chapter 19.17 of the Code, as articulated in the findings for approval in Section G of this report.

Conditions:

1. The Westport Business Park development request is approved as shown in the attachment to the Staff report as Exhibit 1.
2. All conditions of the City Engineer, if applicable, shall be met, including but not limited to those in the Staff report as Exhibit 2.
3. All other Code requirements shall be met.
4. A preliminary plat and site plan shall be applied for with review of the standards contained in the Land Development Code for such a request.
5. Any other conditions or changes as articulated by the Planning Commission:

Alternative 1 – Continuance

The Planning Commission may also choose to continue the item. "I move to **continue** the Westport Business Park request to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____
2. _____

Alternative 2 – Denial

The Planning Commission may also choose to recommend denial of the request regarding the application. "I move to recommend **denial** of the Westport Business Park request with the findings below:

1. The Westport Business Park request is not consistent with the General Plan, as articulated by the Planning Commission:
_____, and/or, _____.
2. The Westport Business Park request is not consistent with Section [?] of the Code, as articulated by the Planning Commission:
_____.

J. Exhibits:

1. Proposed General Plan Land Use Map and Zone Change
2. City Engineer's staff report, if applicable
3. Concept plan

1 – Current Land Use Designation of Regional Commercial and Office to Office Warehouse

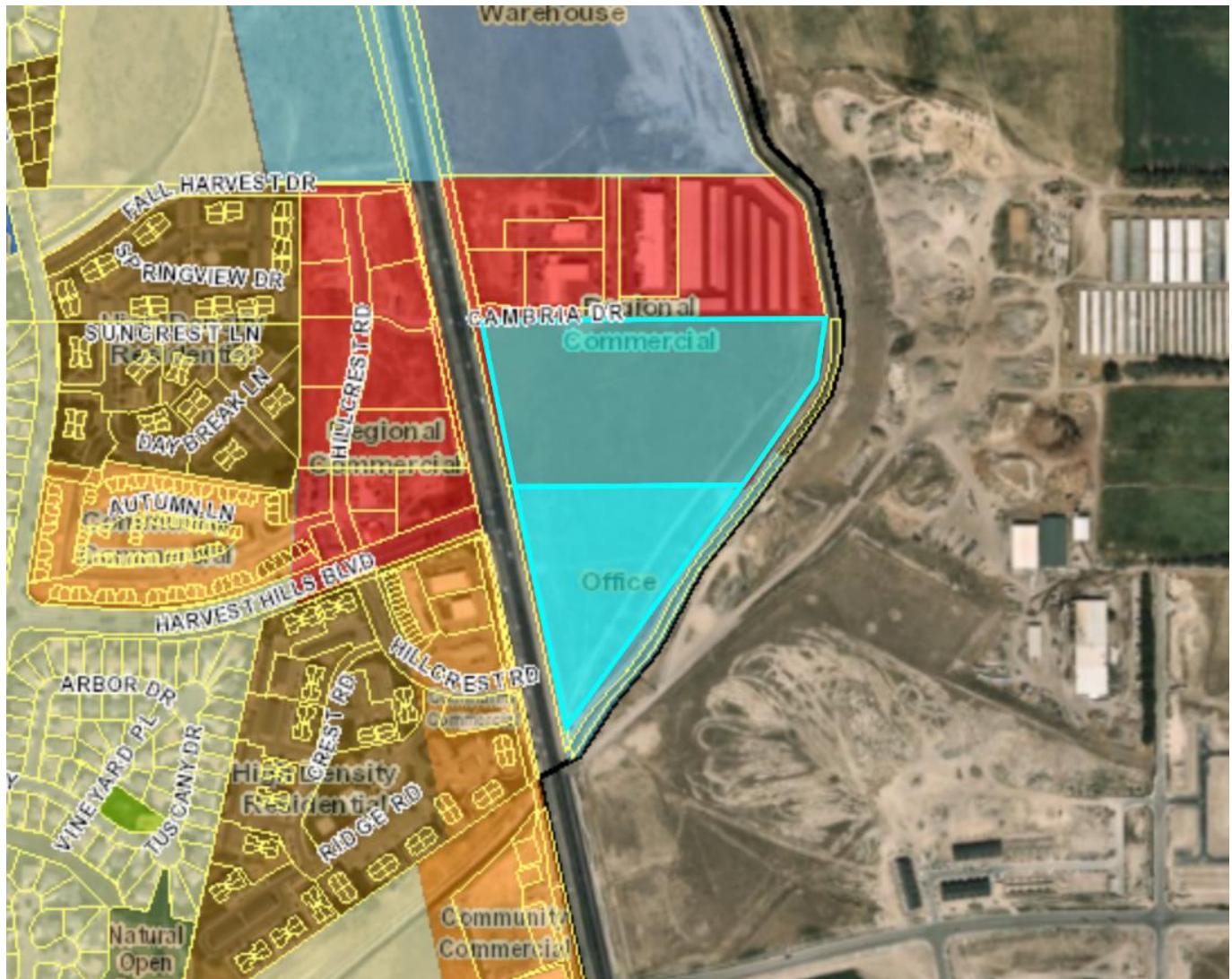


Exhibit 1 – Current Zoning of Agriculture to Office Warehouse

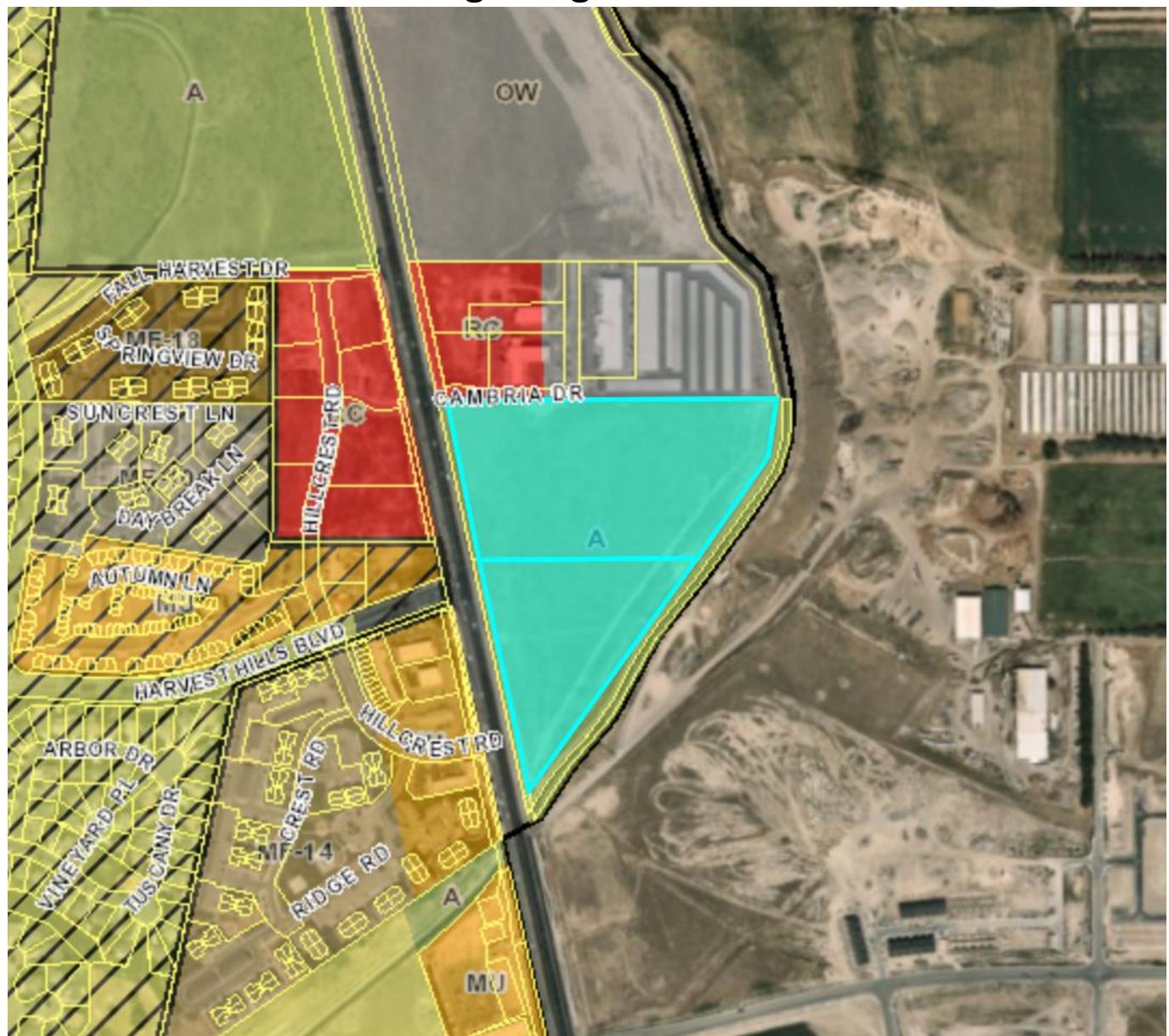


Exhibit 2 – No Engineer's report at this time

Exhibit 3 – Concept Plan







SARATOGA
SPRINGS
PLANNING

Planning Commission Staff Report

**Alpine Acres General Plan Land Use Map Amendment and Rezone
Institutional/Civic and Medium Density Residential to Low Density Residential Land Use
Agriculture to R1-10 Rezone
May 13, 2021
Public Hearing**

Report Date:	May 6, 2021
Applicant/Owner:	Randy Smith
Location:	800 West Marie Way
Major Street Access:	Foothill Blvd.
Parcel Number(s) & Size:	35:504:0003, 21.06 acres of 31.04 acres
Land Use Designation:	Institutional/Civic and Medium-Density Residential
Parcel Zoning:	Agriculture
Adjacent Zoning:	Agriculture and R1-10
Current Use of Parcel:	Agriculture
Adjacent Uses:	Residential, school, church
Previous Meetings:	None
Previous Approvals:	None
Land Use Authority:	City Council
Planner:	David Stroud, AICP, Planning Director

A. Executive Summary: The applicant requests the City amend 21.06 acres of the General Plan Land Use map from Institutional/Civic and Medium Density Residential to Low Density Residential and rezone the parcel from Agriculture to R1-10. The anticipated use as shown on the concept plan as Exhibit C is single-family lots with a minimum lot size of 10,000 square feet.

Staff Recommendation: Staff recommends the Planning Commission conduct a public hearing on the proposed General Plan Land Use Map amendment and rezone, review and discuss the proposal, and choose from the options in Section H of this report. Options include approval with or without modification, denial, or continuation.

B. Background: The subject property is currently unplatte and in the Agriculture zone which requires a minimum lot size of 5 acres. The General Plan currently identifies a land use of Institutional/Civic and Medium Density Residential on the subject property. The Institutional/Civic portion is not developable as such.

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C. Specific Requests: General Plan Land Use Map amendment from Institutional/Civic and Medium-Density Residential to Low-Density Residential and rezone from Agriculture to R1-10. The concept plat contains 60 single-family lots with a minimum size of 10,000 square feet and associated open space. The question to be addressed and recommend to the City Council is whether or not this location is suitable for the proposed land use and zone.

D. Process:

Rezone and General Plan Amendment

The table in Section 19.13.04 outlines the process requirements of a rezone request. A public hearing is required with the Planning Commission who then make a recommendation to the City Council. The City Council shall then either approve, continue, or deny the request.

Concept Plan

Section 19.17.02 states “Petitions for changes to the City’s Zoning Map for all land use zones may be accompanied by an application for Concept Plan Review or Master Development Agreement approval pursuant to Chapter 19.13 of this Code.”

Per Chapter 19.13 of the City Code, the process for a Concept Plan includes an informal review of the Concept Plan by both the Planning Commission and the City Council. The review shall be for comment only, no public hearing is required and no recommendation or action made.

A concept plan has been submitted with the rezone application and has been included with this staff report. The concept plan is non-binding and does not address all concerns or requirements of the Land Development Code. A concept review is meant to understand the intent of the rezone and the future development plans of the applicant. High-level issues are reviewed such as density, landscaping percentage, road design, etc. Specific details relating to landscaping, elevations, and others are typically not reviewed at the concept level.

E. Community Review: This item was noticed in the *Daily Herald* as a Planning Commission public hearing and a notice was sent to property owners within 300 feet of the subject property. As of the date of this report no phone calls have been received by the public. Email comments may be submitted or public may choose to attend the Planning Commission meeting. The notice has also been posted in the City building, www.saratogspringscity.com, and at the State notice website www.utah.gov/pmn/index.html.

F. General Plan: The land use designation of the property is Institutional/Civic and Medium Density Residential. The applicant’s request to change the zone from Agriculture to R1-10 is not consistent with the intent of the land use designation of Medium Density Residential so the land use map is to be amended to coincide with the desired zone.

Institutional/Civic of the General Plan is defined as:

Areas that accommodate public or quasi-public land uses. Activities in the institutional areas will vary greatly and shall include schools, libraries, hospitals, public buildings or facilities and other land-uses that provide essential services to the general public.

Medium Density Residential of the General Plan is defined as:

Residential developments at higher densities in neighborhoods that still maintain a suburban character. Designed to create a functional transition from one land-use to another. Developments in these areas should be constructed with urban streets and useable recreational features and lands.

Low Density Residential of the General Plan is defined as:

Single-family neighborhoods built on a highly connected street pattern and interspersed with schools, public facilities, walkable neighborhood amenities, parks and trails. The Low Density Residential designation is expected to be the City's most prevalent land-use designation.

Staff conclusion: Complies. R1-10 is an appropriate zone and is implemented by the Low-Density Residential land use designation.

G. Code Criteria:

Rezone requests are legislative decisions. Therefore, the City Council has significant discretion when making a decision on such requests. Because of this legislative discretion, the Code criteria below are guidelines and are not binding.

19.17.03. Planning Commission and City Council Review.

1. The Planning Commission reviews the petition and makes a recommendation to the City Council within 30 days of the receipt of the petition. **Staff finding: consistent.**

Review and submission of necessary items required a review process longer than 30 days due to the need of additional concept plan information.

2. The Planning Commission shall recommend approval of the proposed amendments only when it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and this Title. **Staff finding: consistent.**

The Land Use Plan identifies desired land uses for all areas within the City of Saratoga Springs and provides a framework to guide future planning for the community—where people live, work, play, and shop. It supports a variety of land uses that can continue to make Saratoga Springs an attractive place to live and work, while preserving Saratoga Springs' small-town charm. Stable and peaceful single-family neighborhoods are the "building block" of the community, with a mix of smaller and denser residential units in appropriate locations to help

diversify the housing stock. Employment areas accommodate a diverse array of businesses and support well-paying jobs. The land use element of the General Plan indicates Office as the proposed land use. However, the General Plan is not a static document and subject to review and change when appropriate.

3. The Planning Commission shall provide the notice and hold a public hearing as required by Utah Code. For an application which concerns a specific parcel of property, the City shall provide the notice required by Chapter 19.13 regarding a public hearing. **Staff finding: consistent.**

All required notices in compliance with State and local laws were sent or posted informing the public of the Planning Commission public hearing.

19.17.04. Gradual Transition of Uses and Density.

It is the policy of the City Council, through exercising its zoning authority, to: (a) transition high intensity uses to help prevent the impacts of high density uses on low density areas; and (b) to limit inconsistent uses being located on adjacent parcels. The City Council may implement this policy using its zoning powers. Through amendments to the General Plan and the Zoning Map, the City Council intends to apply the following guidelines to implement this policy:

1. Residential lots, parcels, plats, or developments should not increase by more than 20% of density as compared to adjacent lots, zones, parcels, plats, or developments to enable a gradual change of density and uses. To appropriately transition, new lots should be equal to or larger than immediately adjacent existing platted lots.

2. Exceptions

a. The City should avoid allowing high intensity uses (e.g., commercial, industrial, multi-family structures, etc.) adjacent to lower intensity uses (e.g., single family, low density residential, etc.), however may allow these uses to be located adjacent to each other if appropriate transitions and buffers are in place. Appropriate buffers and transitions include a combination of roadways, landscaping, building orientation and facades, increased setbacks, open spaces, parks, and trails.

3. Despite these guidelines, the City Council recognizes that it will become necessary to allow high intensity next to low intensity uses in order to allow for the implementation of multiple zones in the City. The City Council should use their best efforts to limit inconsistent uses and zones being located on adjacent parcels and to mitigate inconsistent uses and zones through transitions and buffers. **Staff finding: consistent.**

The proposed rezone and development is adjacent to existing residential with a similar density, a church, and school. The subject property is appropriate for the proposed land use and zone. The impact to adjacent property is minimal.

19.17.05. Consideration of General Plan, Ordinance, or Zoning Map Amendment.

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a General Plan, ordinance, or zoning map amendment:

1. The proposed changes will conform to the Land Use Element and other provisions of the General Plan. **Staff finding: consistent, if approved.**

The changes proposed are compatible with the surrounding land uses and the proposed zone of R1-10 is implemented by the Low-Density Residential land use.

2. The proposed changes will not decrease or otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public. **Staff finding: complies.**

No adverse consequences are anticipated by the changing the zone from Agriculture to R1-10.

3. The proposed changes will more fully carry out the general purposes and intent of this Title and any other ordinance of the City. **Staff finding: complies.**

The purpose of Title 19 is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally. The proposed development will comply with Title 19.

4. In balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change. **Staff finding: complies.**

The property has been identified on the General Plan land use map as future Institutional/Civic and Medium Density Residential and the proposed land use map amendment and rezone is compatible with the General Plan, surrounding property, zones, and approved development; and

5. Any other reason that, subject to legislative discretion of the City Council, could advance the general welfare.

Concept Plan Review

Section 19.17.02 states “Petitions for changes to the City’s Zoning Map for all land use zones may be accompanied by an application for Concept Plan Review or Master Development Agreement approval pursuant to Chapter 19.13 of this Code.”

Per Chapter 19.13 of the City Code, the process for a Concept Plan includes an informal review of the Concept Plan by both the Planning Commission and the City Council. The reviews shall be for comment only, no public hearing is required and no recommendation or action made. The concept plan proposed lots with a minimum size of 10,000 square feet with corner lot of at least

11,000 square feet. Open space has been identified as well as burial of a canal and associated trail.

H. Staff Recommendation:

I move to recommend **approval** to the City Council the request to amend the General Plan Land Map from Institutional/Civic and Medium-Density Residential to Low-Density Residential and rezone from Agriculture to R1-10 on 21.06 acres at 800 West Marie Way as outlined in Exhibit 1 with the findings and conditions in the staff report dated May 13, 2021:

Findings

1. The General Plan Land Use Map is proposed to be amended from Institutional/Civic and Medium-Density Residential to Low-Density Residential as outlined Section G of this report.
2. The Zone Map is proposed to be amended from Agriculture R1-10 in compliance with the proposed General Plan Lane Use Map amendment.
3. The General Plan Land Use Map amendment and rezone will not result in a decrease in public health, safety, and welfare as outlined in the findings for approval in Section G of this report.
4. The Rezone is consistent with Chapter 19.17 of the Code, as articulated in the findings for approval in Section G of this report.

Conditions:

1. The Alpine Acres development request is approved as shown in the attachment to the Staff report as Exhibit 1.
2. All conditions of the City Engineer, if applicable, shall be met, including but not limited to those in the Staff report as Exhibit 2.
3. All other Code requirements shall be met.
4. A preliminary plat and site plan shall be applied for with review of the standards contained in the Land Development Code for such a request.
5. Any other conditions or changes as articulated by the Planning Commission:

Alternative 1 – Continuance

The Planning Commission may also choose to continue the item. “I move to **continue** the Alpine Acres request to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____
2. _____

Alternative 2 – Denial

The Planning Commission may also choose to recommend denial of the request regarding the application. “I move to recommend **denial** of the Alpine Acres request with the findings below:

1. The Alpine Acres request is not consistent with the General Plan, as articulated by the Planning Commission:
_____, and/or,
_____.
2. The Alpine Acres request is not consistent with Section [?] of the Code, as articulated by the Planning Commission:
_____.

J. Exhibits:

1. Proposed General Plan Land Use Map and Zone Change
2. City Engineer’s staff report, if applicable
3. Concept plan

Exhibit 1 – Current Land Use Designation of Institutional/Civic and Medium Density Residential to Low Density Residential

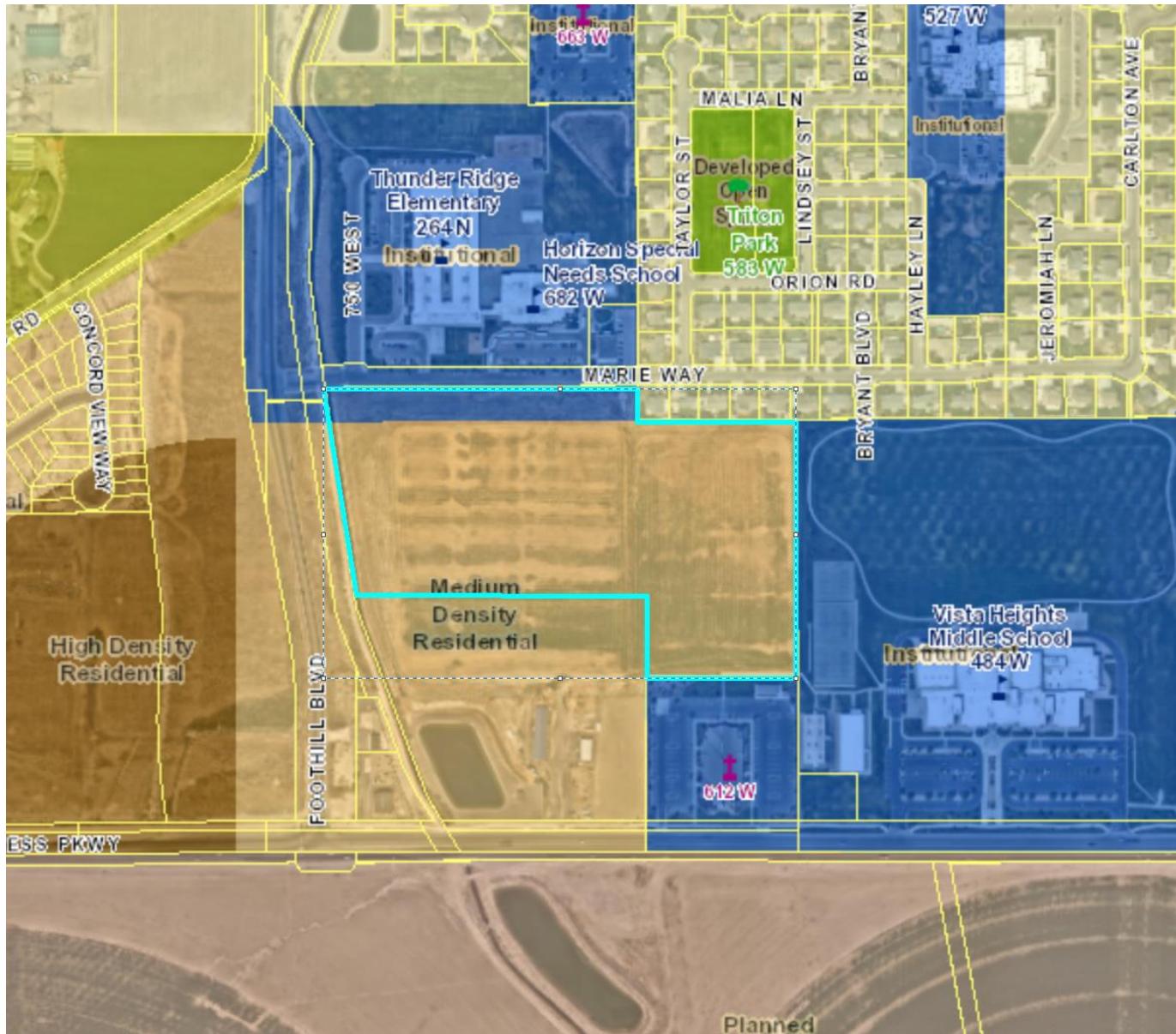


Exhibit 1 – Current Zoning of Agriculture to R1-10

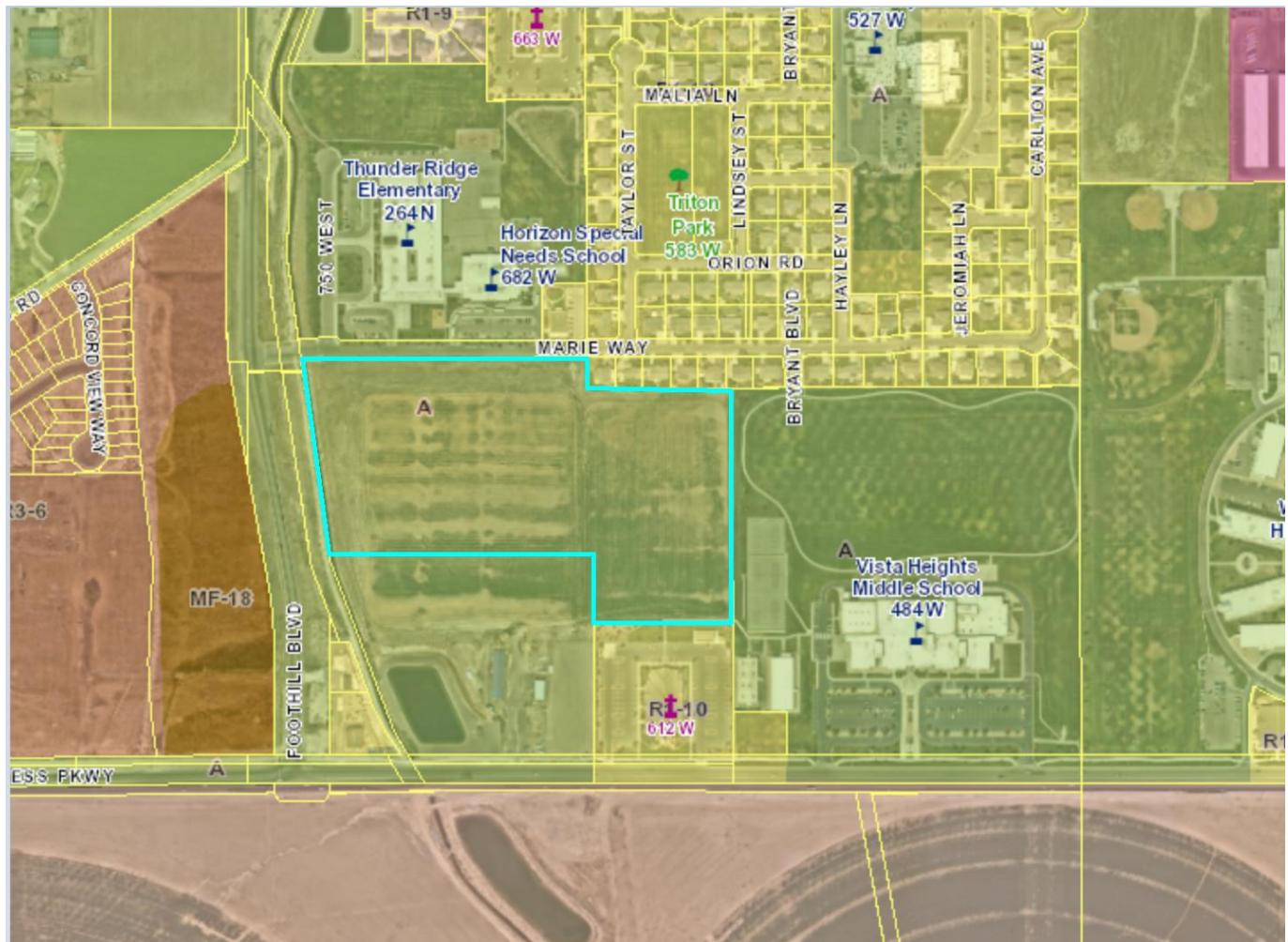
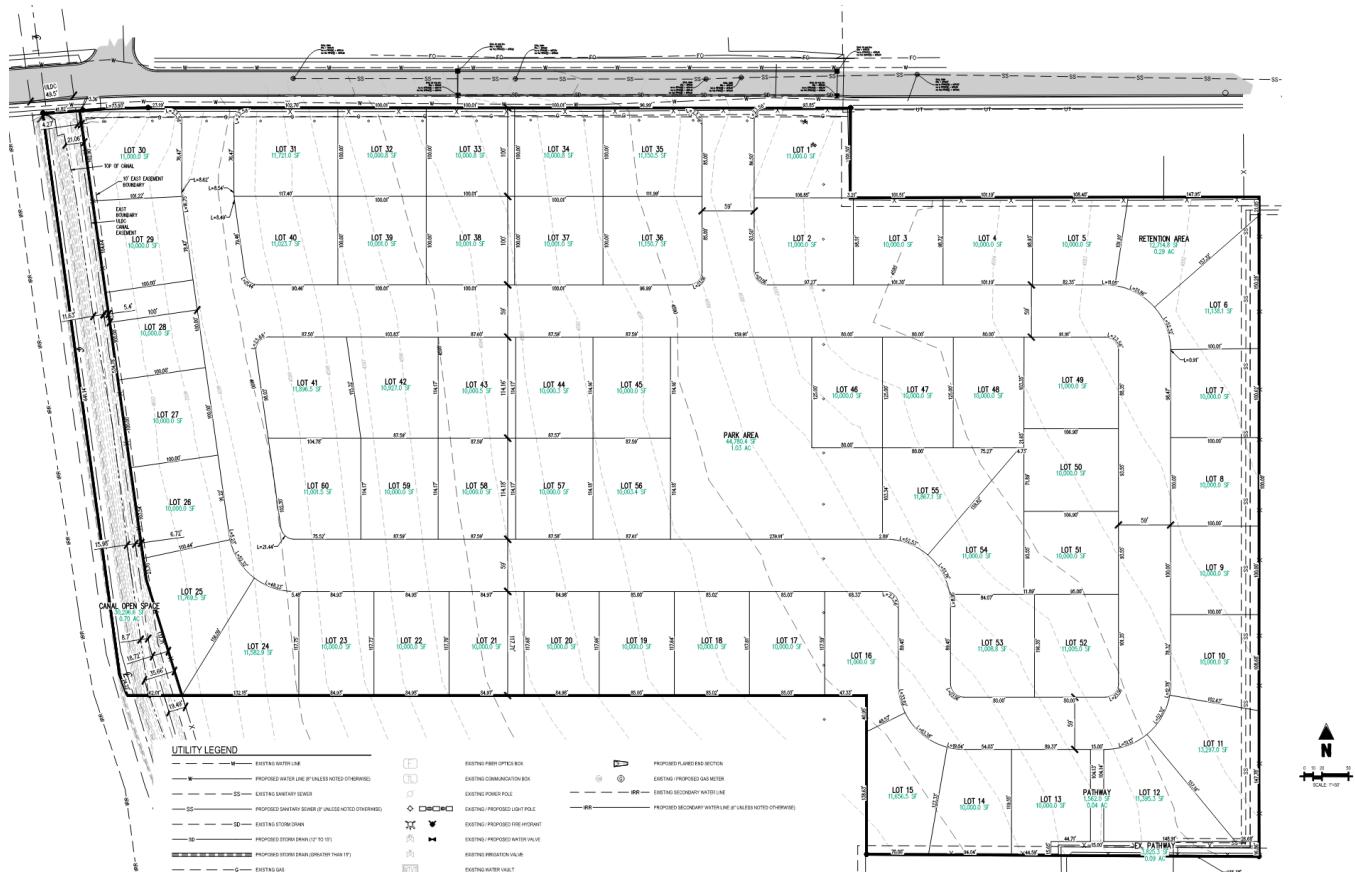


Exhibit 2 – No Engineer's report at this time

Exhibit 3 – Concept Plan





SARATOGA
SPRINGS
PLANNING

Planning Commission Staff Report

D2D Real Estate General Plan Land Use Map Amendment and Rezone

Office to Regional Commercial Land Use

Agriculture to Regional Commercial Rezone

May 13, 2021

Public Hearing

Report Date:	May 6, 2021
Applicant/Owner:	Michael Muehlmann
Location:	Aspen Hills Blvd. and Redwood Road
Major Street Access:	Aspen Hill Blvd.
Parcel Number(s) & Size:	58:023:0197, 1.17 acres
Land Use Designation:	Office
Parcel Zoning:	Agriculture
Adjacent Zoning:	R1-10, Mixed Use, Agriculture
Current Use of Parcel:	Vacant
Adjacent Uses:	Vacant, single-family, commercial
Previous Meetings:	None
Previous Approvals:	None
Land Use Authority:	City Council
Planner:	David Stroud, AICP, Planning Director

A. Executive Summary: The applicant requests the City amend 1.17 acres of the General Plan Land Use map from Office to Regional Commercial and rezone the parcel from Agriculture to Regional Commercial. The anticipated use as shown on the concept plan as Exhibit C is to construct an office building.

Staff Recommendation: Staff recommends the Planning Commission conduct a public hearing on the proposed General Plan Land Use Map amendment and rezone, review and discuss the proposal, and choose from the options in Section H of this report. Options include approval with or without modification, denial, or continuation.

B. Background: The subject property is currently unplatated and in the Agriculture zone which requires a minimum lot size of 5 acres. The subject parcel is 1.17 acres. The current General Plan identifies this property as a future location for an office use.

David Stroud, AICP, Planning Director
dstroud@saratogaspringscity.com

1307 North Commerce Drive, Suite 200 • Saratoga Springs, Utah 84045
801-766-9793 x107 • 801-766-9794 fax

C. Specific Requests: General Plan Land Use Map amendment from Office to Regional Commercial and rezone from Agriculture to Regional Commercial. The question to be addressed and recommend to the City Council is whether or not this location is suitable for the proposed land use and zone.

D. Process:

Rezone and General Plan Amendment

The table in Section 19.13.04 outlines the process requirements of a rezone request. A public hearing is required with the Planning Commission who then make a recommendation to the City Council. The City Council shall then either approve, continue, or deny the request.

Concept Plan

Section 19.17.02 states “Petitions for changes to the City’s Zoning Map for all land use zones may be accompanied by an application for Concept Plan Review or Master Development Agreement approval pursuant to Chapter 19.13 of this Code.”

Per Chapter 19.13 of the City Code, the process for a Concept Plan includes an informal review of the Concept Plan by both the Planning Commission and the City Council. The review shall be for comment only, no public hearing is required and no recommendation or action made.

A concept plan has been submitted with the rezone application and has been included with this staff report. The concept plan is non-binding and does not address all concerns or requirements of the Land Development Code. A concept review is meant to understand the intent of the rezone and the future development plans of the applicant. High-level issues are reviewed such as density, landscaping percentage, road design, etc. Specific details relating to landscaping, elevations, and others are typically not reviewed at the concept level.

E. Community Review: This item was noticed in the *Daily Herald* as a Planning Commission public hearing and a notice was sent to property owners within 300 feet of the subject property. As of the date of this report a few phones calls have been received by the public. Email comments may be submitted or public may choose to attend the Planning Commission meeting. The notice has also been posted in the City building, www.saratogspringscity.com, and at the State notice website www.utah.gov/pmn/index.html.

F. General Plan: The land use designation of the property is Office. The applicant’s request to change the zone from Agriculture to Regional Commercial is not consistent with the intent of the land use designation of Office so the land use map is to be amended to coincide with the desired zone.

Regional Commercial of the General Plan is defined as:

These areas generally should include a variety of retail uses including big box retail configured in developments that provide excellent vehicular access to and from major transportation facilities. They should include special urban improvements to make rich and enjoyable public spaces. To promote foot traffic,

these areas should be compact and include a safe pedestrian environment and access to a multi-modal transportation network. Residential developments at higher densities in neighborhoods that still maintain a suburban character. Developments in these areas should be constructed with urban streets and useable recreation features and lands.

Office of the General Plan is defined as:

Areas intended to provide locations for employment and economic development opportunities. Uses include large and small scale offices, business parks, and supporting service retail. These areas can also serve as transitions between residential areas and major roadways.

Staff conclusion: Complies. *Regional Commercial is an appropriate zone and is implemented by the Regional Commercial land use designation.*

G. Code Criteria:

Rezone requests are legislative decisions. Therefore, the City Council has significant discretion when making a decision on such requests. Because of this legislative discretion, the Code criteria below are guidelines and are not binding.

19.17.03. Planning Commission and City Council Review.

1. The Planning Commission reviews the petition and makes a recommendation to the City Council within 30 days of the receipt of the petition. **Staff finding: consistent.**

Review and submission of necessary items required a review process longer than 30 days due to the need of additional concept plan information.

2. The Planning Commission shall recommend approval of the proposed amendments only when it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and this Title. **Staff finding: consistent.**

The Land Use Plan identifies desired land uses for all areas within the City of Saratoga Springs and provides a framework to guide future planning for the community—where people live, work, play, and shop. It supports a variety of land uses that can continue to make Saratoga Springs an attractive place to live and work, while preserving Saratoga Springs' small-town charm. Stable and peaceful single-family neighborhoods are the “building block” of the community, with a mix of smaller and denser residential units in appropriate locations to help diversify the housing stock. Employment areas accommodate a diverse array of businesses and support well-paying jobs. The land use element of the General Plan indicates Office as the proposed land use. However, the General Plan is not a static document and subject to review and change when appropriate.

3. The Planning Commission shall provide the notice and hold a public hearing as required by Utah Code. For an application which concerns a specific parcel of property, the City shall provide the notice required by Chapter 19.13 regarding a public hearing. **Staff finding: consistent.**

All required notices in compliance with State and local laws were sent or posted informing the public of the Planning Commission public hearing.

19.17.04. Gradual Transition of Uses and Density.

It is the policy of the City Council, through exercising its zoning authority, to: (a) transition high intensity uses to help prevent the impacts of high density uses on low density areas; and (b) to limit inconsistent uses being located on adjacent parcels. The City Council may implement this policy using its zoning powers. Through amendments to the General Plan and the Zoning Map, the City Council intends to apply the following guidelines to implement this policy:

1. Residential lots, parcels, plats, or developments should not increase by more than 20% of density as compared to adjacent lots, zones, parcels, plats, or developments to enable a gradual change of density and uses. To appropriately transition, new lots should be equal to or larger than immediately adjacent existing platted lots.

2. Exceptions

a. The City should avoid allowing high intensity uses (e.g., commercial, industrial, multi-family structures, etc.) adjacent to lower intensity uses (e.g., single family, low density residential, etc.), however may allow these uses to be located adjacent to each other if appropriate transitions and buffers are in place. Appropriate buffers and transitions include a combination of roadways, landscaping, building orientation and facades, increased setbacks, open spaces, parks, and trails.

3. Despite these guidelines, the City Council recognizes that it will become necessary to allow high intensity next to low intensity uses in order to allow for the implementation of multiple zones in the City. The City Council should use their best efforts to limit inconsistent uses and zones being located on adjacent parcels and to mitigate inconsistent uses and zones through transitions and buffers. **Staff finding: consistent.**

The proposed rezone and development is adjacent to R-10 density. The subject property is most appropriate to locate a commercial use as opposed to continuation of the adjacent residential use. The impact to adjacent property is minimal.

19.17.05. Consideration of General Plan, Ordinance, or Zoning Map Amendment.

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a General Plan, ordinance, or zoning map amendment:

1. The proposed changes will conform to the Land Use Element and other provisions of the General Plan. **Staff finding: consistent, if approved.**

The changes proposed are compatible with the surrounding land uses and the proposed zone or Regional Commercial is implemented by the Regional Commercial land use.

2. The proposed changes will not decrease or otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public. **Staff finding: complies.**

No adverse consequences are anticipated by the changing the zone from Agriculture to Regional Commercial.

3. The proposed changes will more fully carry out the general purposes and intent of this Title and any other ordinance of the City. **Staff finding: complies.**

The purpose of Title 19 is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally. The proposed development will comply with Title 19.

4. In balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change. **Staff finding: complies.**

The property has been identified on the General Plan land use map as Office and the proposed land use map amendment and rezone is compatible with the General Plan, surrounding property, zones, and approved development; and

5. Any other reason that, subject to legislative discretion of the City Council, could advance the general welfare.

Concept Plan Review

Section 19.17.02 states “Petitions for changes to the City’s Zoning Map for all land use zones may be accompanied by an application for Concept Plan Review or Master Development Agreement approval pursuant to Chapter 19.13 of this Code.”

Per Chapter 19.13 of the City Code, the process for a Concept Plan includes an informal review of the Concept Plan by both the Planning Commission and the City Council. The reviews shall be for comment only, no public hearing is required and no recommendation or action made. The following is a review of the general standards required of the RC zone.

19.04.10. Land Use Regulations, Non-Residential and Mixed Use Zones			
Category to be reviewed (assuming RC)	Regulation	Determination	How
Minimum lot size	30,000 square feet	Complies	1.17 acres
Setbacks	Front – 10; side 10 feet; rear – 30 feet; street side – 10 feet	Complies	Exceed minimums

Maximum Height of Structures	50 feet	Complies	2-story office proposed with basement
Maximum Lot Coverage	50 percent	Complies	9 percent
Minimum Building Size	1,000 square feet	Complies	13,800 s.f.

19.06, Landscaping and Fencing: **will comply**. Details of fencing and landscaping to be determined at preliminary plat/site plan stage.

19.11, Lighting: **will comply**. TBD at preliminary plat/site stage.

19.12, Subdivisions: **complies**. Concept plan meets RC zone standards.

19.13, Process: **complies**. Consistent with General Plan if proposed rezone is approved. City code outlines preliminary and final plat requirements.

H. Staff Recommendation:

I move to recommend **approval** to the City Council the request to amend the General Plan Land Map from Office to Regional Commercial and rezone from Agriculture to Regional Commercial on 1.17 acres at Aspen Hills Blvd. and Redwood Road as outlined in Exhibit 1 with the findings and conditions in the staff report dated May 13, 2021:

Findings

1. The General Plan Land Use Map is proposed to be amended from Office to Regional Commercial as outlined Section G of this report.
2. The Zone Map is proposed to be amended from Agriculture to Regional Commercial in compliance with the proposed General Plan Lane Use Map amendment.
3. The General Plan Land Use Map amendment and rezone will not result in a decrease in public health, safety, and welfare as outlined in the findings for approval in Section G of this report.
4. The Rezone is consistent with Chapter 19.17 of the Code, as articulated in the findings for approval in Section G of this report.

Conditions:

1. The D2D development request is approved as shown in the attachment to the Staff report as Exhibit 1.
2. All conditions of the City Engineer, if applicable, shall be met, including but not limited to those in the Staff report as Exhibit 2.
3. All other Code requirements shall be met.
4. A preliminary plat and site plan shall be applied for with review of the standards contained in the Land Development Code for such a request.
5. Any other conditions or changes as articulated by the Planning Commission:

Alternative 1 – Continuance

The Planning Commission may also choose to continue the item. “I move to **continue** the D2D request to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____
2. _____

Alternative 2 – Denial

The Planning Commission may also choose to recommend denial of the request regarding the application. “I move to recommend **denial** of the D2D request with the findings below:

1. The D2D request is not consistent with the General Plan, as articulated by the Planning Commission:
_____, and/or,
_____.
2. The D2D request is not consistent with Section [?] of the Code, as articulated by the Planning Commission:
_____.

J. Exhibits:

1. Proposed General Plan Land Use Map and Zone Change
2. City Engineer’s staff report, if applicable
3. Concept plan

Exhibit 1 – Current Land Use Designation of Office to Regional Commercial

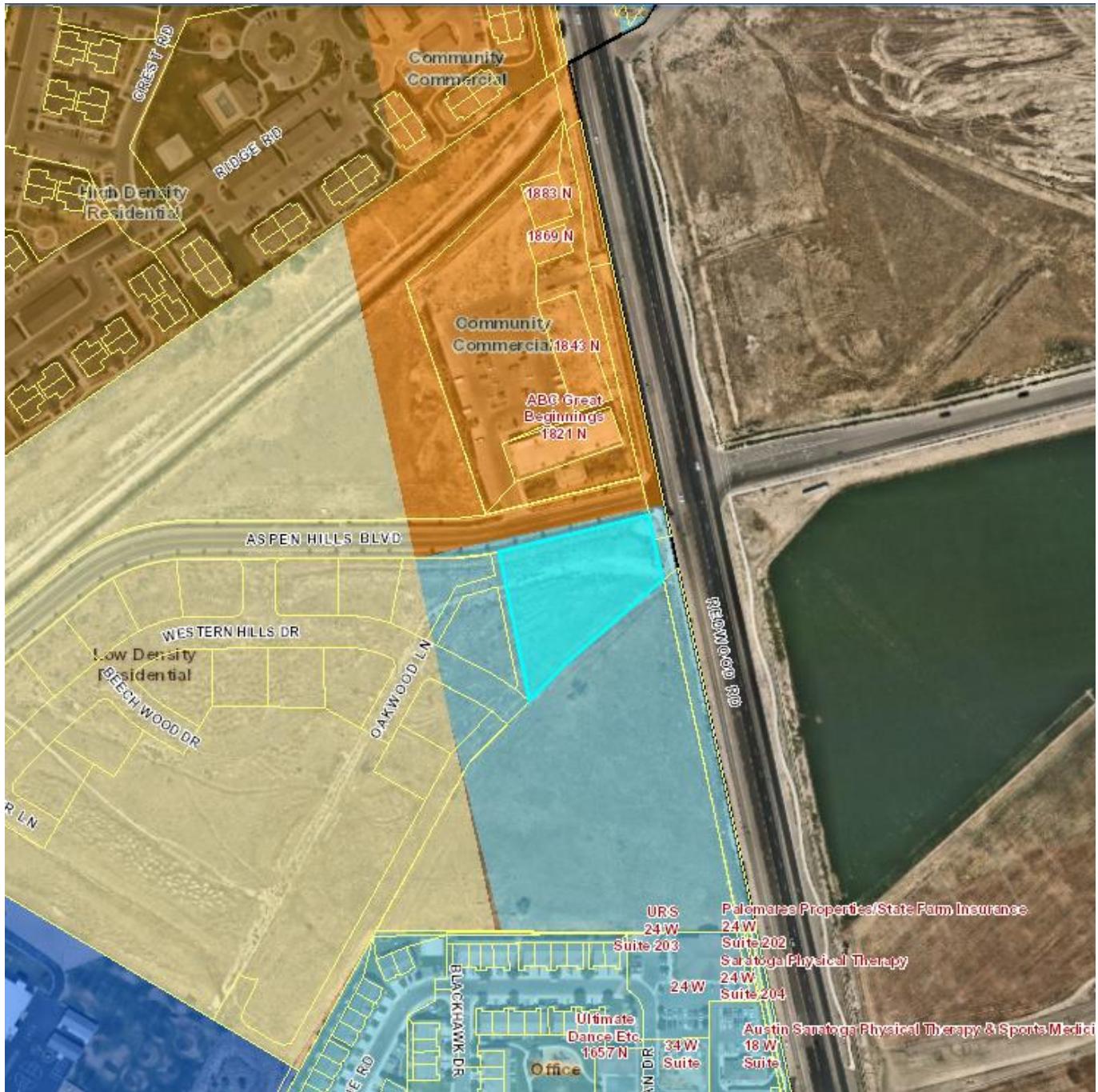


Exhibit 1 – Current Zoning of Agriculture to Regional Commercial

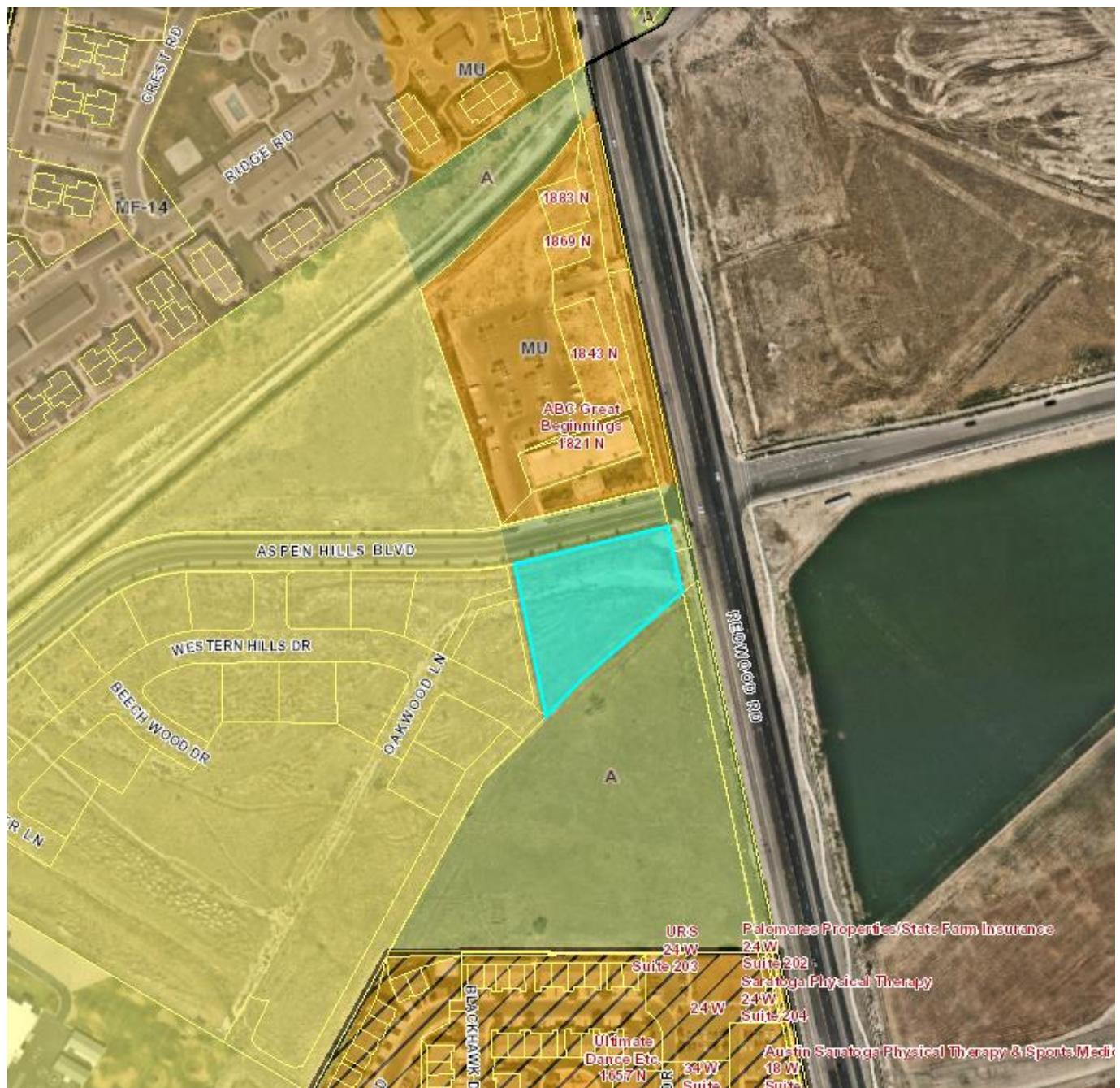
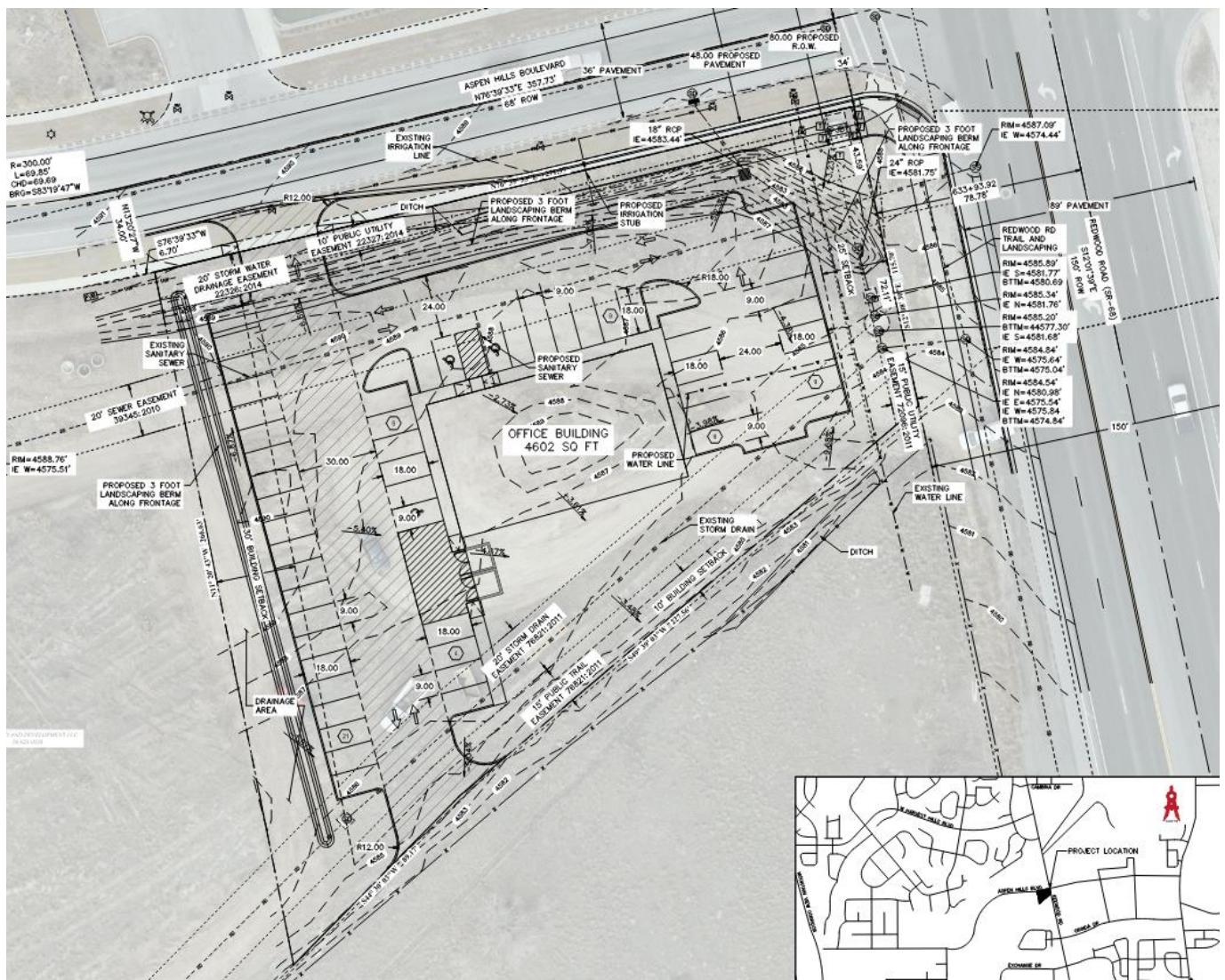


Exhibit 2 – No Engineer's report at this time

Exhibit 3 – Concept Plan





MINUTES – Planning Commission

Thursday, April 22, 2021

City of Saratoga Springs City Offices

1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

DRAFT

PLANNING COMMISSION MEETING MINUTES - Draft

Pursuant to Federal and State Guidelines, this meeting was conducted electronically.

5 **Call to Order - 6:00 p.m.** by Chairman Troy Cunningham

Present:

Commission Members: Audrey Barton, Bryce Anderson, Ryan Reed, Troy Cunningham, Ken Kilgore, Bryce McConkie, Josh Wagstaff

10 Staff: Dave Stroud, Planning Director; Ken Young, Community Development Director; Sarah Carroll, Senior Planner; Tippe Morlan, Senior Planner; Rachel Day, Planner I; Kayla Moss, Deputy Recorder; Conrad Hafen, Assistant City Attorney

Others: Krisel Travis, Ken Berg, Nicholas Majors, Alexander Usdan, Larry Lindstrom

15 Commissioner Cunningham read the following statement: I, Troy Cunningham, Planning Commission Chair, hereby determine that conducting the Planning Commission meeting at an anchor location presents a substantial risk to the health and safety of those who may be present at the anchor location. The World Health Organization, the President of the United States, the Governor of Utah, and the County Health Department have all recognized a global pandemic exists related to the new strain of the coronavirus, SARS-CoV-2 (COVID-19). Due to the State of emergency caused by the global pandemic, I find that conducting a meeting at an anchor location under the current state of public health emergency constitutes a substantial risk to the health and safety of those who may be present at the location. This written declaration expires 30 days from the date signed. Dated: *April 15, 2021*.

25 1. **Pledge of Allegiance** - led by Commissioner Anderson.

2. **Roll Call** – a quorum was present

30 3. **Business Item: Markham Dental Site Plan Extension, located 2114 N. Hillcrest. Kevin Markham, applicant.**

Planning Director Stroud presented this site plan to the Planning Commission. This was originally approved two years ago. They have not changed anything from when they got approval two years ago. Due to COVID construction was put on hold. They would like 2 more years to construct the site. They would also like to subdivide the lot from one to two lots.

35 Commissioner McConkie asked about the basement being used for storage. He wondered if there is a limitation on what type of storage can be in the building.

Planning Director Stroud advised that storage limitations will be addressed via building code and the Fire Marshal.

40 **Motion made by Commissioner Ryan to approve the Markham Dental Site Plan Extension, located 2114 N. Hillcrest. Kevin Markham applicant with findings and conditions in the staff report dated April 22, 2021. Seconded by Commissioner McConkie. Aye: Bryce Anderson, Audrey Barton, Troy Cunningham, Ken Kilgore, Ryan Reed, Bryce McConkie, Josh Wagstaff. Motion passed 7 - 0.**

45 4. **Public Hearing: Market Street Village Plan, located NW corner Market Street & Redwood Road. Steve Usdan, applicant.**

Director Stroud advised that this is Village Plan II, a continuation of the Costco community plan. It will be called Market Street Village II. He presented the zoning and land use map where the project is. He also

50 showed the pedestrian plan and sign plan. There are three known users at this point; Olive Garden, Dutch Bros Coffee, and Apollo Burger. Olive Garden is currently showing four signs. What is allowed per title 19 is 3 but different things can be approved per the Village Plan.

55 Chairman Cunningham opened the meeting to public hearing at 6:15 p.m. There were no comments and the public hearing was closed.

55 Commissioner Kilgore asked why there were some “can complies” with conditions.

60 Director Stroud advised that is because they don’t have the full landscaping plans and other things yet with the Village Plan.

60 Commissioner Wagstaff thought that there needs to be a standard on the signs so applicants know what to expect when they come in.

65 Commissioner Ryan agreed with abiding to the standard for signs.

65 Commissioner Anderson advised he likes the look and feel of the product that is coming in. He is grateful that they are eliminating car washes and car repair. He agrees with everyone else that the sign requirements should be standard and what is in Title 19.

70 Commissioner Cunningham likes the idea of having the eateries in one place. He has some concerns about the drive-thrus on the pads. He wants to make sure there is enough room to allow for traffic flow.

75 **Motion made by Commissioner Wagstaff moved to forward a positive recommendation on the Market Street Village Plan, located NW Corner Market Street and Redwood Road with all staff findings and conditions and clarify that the current monument signs in the packet will be the extent of the monument signs on the property. Seconded by Commissioner Anderson. Aye: Bryce Anderson, Audrey Barton, Troy Cunningham, Ken Kilgore, Reed Ryan, Bryce McConkie, Josh Wagstaff. Motion passed 7 - 0.**

80 **5. Public Hearing: Northshore neighborhood Plan Major Amendment. Located 550 N. Northshore Dr. Krisel Travis, D.R. Horton, applicant.**

80 Senior Planner Sarah Carroll presented the major amendment to the City Council. The LDS church is not planning on buying the property any longer so they are requesting to change that to townhomes and rear-loaded cottage lots. They have also added a one acre park.

85 Krisel Travis with D.R. Horton advised that while the LDS church won’t be buying property in this phase they have said they may want to come in on another phase.

90 Chairman Cunningham opened the meeting to public hearing at 6:51 p.m. There were no comments so the public hearing was closed.

90 Commissioner Kilgore thanked D.R. Horton for taking the driveways off of Northshore and he likes the product that is being proposed as the change.

95 **Motion made by Commissioner Kilgore to forward a positive recommendation of the Northshore neighborhood Plan Major Amendment. Located 550 N. Northshore Drive with the findings and conditions in the staff report. Seconded by Commissioner Barton. Aye: Bryce Anderson, Audrey Barton, Troy Cunningham, Ken Kilgore, Bryce McConkie, Josh Wagstaff, Reed Ryan. Motion passed 7 - 0.**

100 **6. Public Hearing: Title 19 Code Amendments, various sections. City Initiated.**

100 Chairman Cunningham opened the meeting to public hearing at 7:07 p.m.

105 Larry Lindstrom voiced that he thought an office warehouse of adequate size should be able to be built in that zone. He thought 30,000 square feet is a little arbitrary. They would have to build two buildings to get the product they want. Some people are concerned that bigger buildings aren't attractive but things that make them that way are age, poor maintenance, and HVAC that is exposed, etc. rather than the size of the building. He understands what the City is trying to do but he thought the 30,000 square feet is problematic.

110 Krisel Travis mirrored the concerns of Larry Lindstrom. She agrees that 30,000 square feet is arbitrary. She thought the City has means to regulate these buildings rather than the square footage restrictions in the code. She also mentioned that D.R. Horton currently occupies 30K+ in an office warehouse building as their main office location.

115 Public Comment was closed at 7:23 p.m.

120 Chairman Cunningham thought that larger office warehouse uses could be prudent because of the change to e-commerce based businesses. It would be nice to have the code be flexible enough to allow for those businesses to come in.

125 Commissioner Kilgore mentioned that the geography of the City needs to be considered when placing zones and types of businesses. He thought that the big buildings would be very prudent in different places such as along Mountain View Corridor. He doesn't think Redwood Road is the best placement for them.

130 Commissioner Ryan mentioned the he doesn't think any commissioner disagrees with the sentiments that Larry Lindstrom expressed, however; he agrees with Commissioner Kilgore and thought they need to be very mindful of where they are placing the big buildings.

135 Commissioner Wagstaff thought that there are better ways to regulate the zone rather than the 30,000 square feet requirement. He doesn't think that many people will be wanting to locate to Saratoga Springs for big space. He suspects they will go to Eagle Mountain or other places that have cheaper land.

140 Commissioner McConkie asked if there is an understood definition for what a warehouse is or if there is a specific definition. He relies heavily on definitions. He isn't ready to make a determination on what size of building is prudent in the zone. He would like to be able to get more information before making a recommendation.

145 Commissioner Barton agreed that the Redwood Road in Saratoga Springs is completely different then in Lehi. She wants to see these uses in the City but she thought the appropriate place needs to be identified.

150 Commissioner Anderson thought that the City will find Class A office space. He is okay with an "arbitrary" requirement like 30,000 square feet if that is what is determined to be prudent. He thought that the City needs to be able to make exceptions when the time and spot is right.

155 Planning Director Stroud advised that the City has architectural standards and this may be able to be dealt with in that way.

Commissioner Cunningham mentioned that he has concerns about listing in the Code 20 people as a family.

160 Commissioner Kilgore wondered if there was a way to restrict a domicile from housing a bunch of individuals in the same location. He is afraid it could be a fire hazard or hazards in other ways. He also wondered why medical parking is being reduced from 5 stalls to 4 stalls.

Planning Director Stroud advised they looked at other places and 4 stalls seemed to be standard.

165 Commissioner Cunningham is very concerned about the reduction in parking stalls for medical and healthcare. There are many places in the City that he has to park on the street because of the lack of parking spaces and they are currently under the 5 parking stalls per 1,000 square feet.

160 Commissioner Barton agrees that there is parking shortage at the medical facilities in the City with the current standard of 5 parking spaces per 1,000 square feet. She agrees that the parking requirements should not be reduced.

165 Commissioner Anderson also mentioned the stalls are also very narrow in Saratoga Springs, making less spaces even harder.

170 **Motion made by Commissioner Kilgore to forward a positive recommendation of the Title 19 Code Amendments, various sections based upon the evidence and explanations received today with the findings and conditions in the staff report with the additional conditions that the family definition uses option 1, no change is made to the parking for office/medical, and accept the warehouse: heavy and warehouse: light definition as is written. Seconded by Commissioner Barton. Aye: Troy Cunningham, Ken Kilgore, Audrey Barton, Bryce McConkie, Bryce Anderson. Nay: Reed Ryan and Josh Wagstaff passed 5 - 2.**

175 Commissioner Wagstaff voiced that he voted Nay because of the 30,000 square foot restriction. He doesn't think that is the right approach to correcting the lack of aesthetic appeal, if that is the main concern.

180 Commissioner Ryan advised that his Nay vote was because he is also concerned about the 30,000 square foot language in the Code. However, he thought it is too large for the Redwood Road corridor.

7. **Approval of Minutes: March 25, 2021.**

185 **Motion made by Commissioner Ryan to approve the Planning Commission minutes of March 25, 2021 as presented. Seconded by Commissioner Barton. Aye: Bryce Anderson, Audrey Barton, Troy Cunningham, Ken Kilgore, Bryce McConkie, Reed Ryan, Josh Wagstaff. Motion passed 7 - 0.**

190 8. **Commission Comments.** Chairman Cunningham proposed to see how the in person meeting of City Council goes in May and decide if in-person meetings should be resumed starting the second meeting in May. He would like to have an agenda item to take a vote on returning to in person at their first meeting in May.

9. **Director's Report.** Planning Director Stroud advised that building is ramping up on Redwood Road. There is more activity on the Jared Osmond project. They have also just hired a planner I that will start next week.

195 Community Development Director Young advised that they are focusing on Economic Development. There will be a new Economic Development director starting next week as well.

200 10. **Possible motion to enter into closed session** – No closed session was held.

11. **Meeting Adjourned Without Objection at 8:55 p.m. by Chairman Troy Cunningham.**

200

Date of Approval

Planning Commission Chair

Deputy City Recorder