

**CITY OF LOGAN, UTAH  
ORDINANCE NO. 13-70**

**AN ORDINANCE AMENDING TITLE 17 THE LAND DEVELOPMENT CODE OF  
LOGAN CITY, UTAH MODIFYING NEIGHBORHOOD RESIDENTIAL ZONING AND  
RESIDENTIAL DEVELOPMENT STANDARDS**

WHEREAS, it is the intent of the Council to manage growth by implementing the principles of the General Plan and Land Development Code; and

WHEREAS, in accordance with the vision of the General Plan, the Council desires to make land use decision which promote enduring quality and consideration for the entire community; and

WHEREAS, the Council finds that the current neighborhood residential zoning system does not provide enough land use density and lot size flexibility to promote quality development consistent with the General Plan; and

WHEREAS, the Council finds that the current neighborhood residential zoning system is inconsistent with many developed areas of the City, especially as it relates to infill development and neighborhood compatibility; and

WHEREAS, the Council finds that the changes from Neighborhood Residential Core, Neighborhood Residential Outer Core, Neighborhood Residential Center Street, Neighborhood Residential Eastside and Neighborhood Residential Westside to the NR-2, NR-4 & NR-6 system benefits the public interest by providing a range of minimum densities and lot sizes which will protect existing developed areas while encouraging a diversity of housing types, styles and sizes to meet varying market demands within existing and new single family neighborhoods; and

WHEREAS, the Council further finds that the additional range of multi-family residential densities will also encourage a wider diversity of housing types, styles and sizes to meet varying market demands within existing and new neighborhoods.

**BE IT ORDAINED BY THE MUNICIPAL COUNCIL OF THE CITY OF LOGAN,  
STATE OF UTAH AS FOLLOWS:**

That certain code entitled "Land Development Code, City of Logan, Utah" Chapter 17.04: "Establishment of Zoning", Chapter 17.05 "Use Categories", Chapter 17.06 "Residential Use Categories", Chapter 17.07 "Institutional and Civic Use Categories", Chapter 17.08 "Commercial Use Categories", Chapter 17.09 "Industrial Use Categories", Chapter 17.10 "Other Use Categories", Chapter 17.12 "Neighborhood Residential Zones", Chapter 17.13 "Neighborhood Residential Zone Uses", Chapter 17.14 "General Development Standards: Neighborhood Residential Zones", Chapter 17.15 "Specific Development Standards: Neighborhood Residential Zones" and Chapter 17.62 "Definitions" are hereby amended as attached hereto as Exhibit A, respectively:

This ordinance shall become effective upon publication.

PASSED BY THE LOGAN MUNICIPAL COUNCIL, STATE OF UTAH, \_\_\_\_\_  
THIS DAY OF \_\_\_\_\_, 2013.

AYES:  
NAYS:  
ABSENT:

\_\_\_\_\_  
Holly Daines, Chair

ATTEST:

\_\_\_\_\_  
Teresa Harris, City Recorder

PRESENTATION TO MAYOR

The foregoing ordinance was presented by the Logan Municipal Council to the Mayor for approval or disapproval on the \_\_\_\_ day of \_\_\_\_\_, 2013.

\_\_\_\_\_  
Holly Daines, Chairman

MAYOR'S APPROVAL OR DISAPPROVAL

The foregoing ordinance is hereby \_\_\_\_\_ this \_\_\_\_ day of \_\_\_\_\_, 2013.

\_\_\_\_\_  
Randy Watts, Mayor

# EXHIBIT A



## MEMORANDUM TO MUNICIPAL COUNCIL

DATE: September 3, 2013  
FROM: Mike DeSimone, Community Development  
SUBJECT: Land Development Code – Text Amendments

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### Summary of Planning Commission Proceedings

<i>Project Name:</i>	<b>Land Development Code Text Amendments</b>
<i>Project Address:</i>	<b>Citywide</b>
<i>Recommendation of Planning Commission:</i>	<b>Approval</b>

On August 8, 2013, the Planning Commission, by unanimous vote, recommended that the Municipal Council approve the South Cache Corridor Development Plan.

### Planning Commissioners, vote (3,0):

Recommend approval: Konrad Lee, Amanda Davis, Angela Fonsebeck.

Recommend denial: None.

### Summary

In the Council packet, I have included a copy of the proposed amendments with strikethroughs and edits, and a copy of a “clean” draft with edits and changes incorporated. The Planning Commission requested this during their review as it was helpful to see final language.

The purposes of the amendments are to revamp the residential zoning citywide while cleaning up code language to make the code easier to understand and administer.

The substantive amendments center around the replacement of the current system of Neighborhood Residential Core (NRC), Outer Core (NROC), Center Street (NRCS), Eastside (NRE) & Westside (NRW), which are essentially identical, with a more traditional or typical zoning scheme of NR-2, NR-4 and NR-6. The current scheme of the five residential zones are all 6,000 square foot lots, 6 dwelling units to the acre, same setbacks, heights, etc., where the proposal would consolidate those five zones into one (NR-6) with similar characteristics and create two additional single family zones NR-2 (2 units/acre) & NR-4 (4 units/acre). The creation of a range of densities and lot sizes provides the flexibility necessary within a citywide zoning program. The proposal also eliminates the Rural Reserve zone as it overlaps with the Resource Conservation zone.

The proposal modifies the range of multi-family zoning by adding a MR-9 (9 units/acre) & MR-30 (30 units/acre). The result is a range of multi-family density that includes 9 units/acre, 12 units/acre, 20

units/acre, 30 units/acre and 40 units/acre. The distinction between these is also emphasized in the residential structure type as the MR-9 would be appropriate for a smaller duplex community and not a stacked apartment building.

The clean-up amendments are found in 17.04 – 17.10 where the policy and plan language has been removed and the use descriptions already found in the definitions eliminated; 17.13 the use table has been streamlined and the structure type language moved to definitions; 17.14 the residential design guidelines have been cleaned up; 17.15 updated spec sheets; and 17.62 updated definitions.

The next step prior to the formal implementation of these specific zoning changes requires the preparation, review and approval of a new zoning map. We did not want to prepare a new zoning map until the Council had a chance to review the proposed zoning district changes to make sure we had agreement on this concept.

Any questions, let me know.

**Attachments:**

*Ordinance 13-70*

*Staff Report*

*Draft Text Amendments*

*PC Meeting Minutes*



**Project #12-058  
Land Development Code  
Text Amendment**

**REPORT SUMMARY...**

<i>Project Name:</i>	Residential Zones/Densities
<i>Proponent/Owner:</i>	Logan City Community Development Department
<i>Project Address:</i>	Citywide
<i>Request:</i>	Code Amendment
<i>Type of Action:</i>	Legislative
<i>Date of Hearing:</i>	March 14, 2013
<i>Submitted By:</i>	Mike DeSimone, Director

**RECOMMENDATION**

Staff recommends that the Planning Commission recommend **approval** to the Municipal Council for the following amendment to the Land Development Code (LDC): Chapters 17.04 – 17.08, 17.12 – 17.15 & 17.62.

**REQUEST**

The proposed text amendments to the Land Development Code are as follows:

**Chapter 17.04 – Establishment of Zoning**

- 17.04.010 – added a purpose statement.
- 17.04.020 – Redefined Residential zones & densities by replacing the Neighborhood Residential Core, Center Street, Outer Core, Eastside & Westside zones with NR-2, NR-4, and NR-6, by replacing the Mixed Residential Medium/High with MR-9, MR-12, MR-20, & MR-30, and by eliminating Rural Reserve.
- 17.04.030 - .050 – eliminated policy statements related to General Plan & Specific Plans.

**Chapter 17.05 – Use Categories**

Cleaned up language and removed 17.05.040.

**Chapter 17.06 – Residential Use Categories**

Eliminated this Chapter and it becomes a Reserve Chapter. This material is found in the definitions section (17.62) of the Land Development Code.

**Chapter 17.07 – Institutional and Civic Use Categories**

Eliminated this Chapter and it becomes a Reserve Chapter. This material is found in the definitions section (17.62) of the Land Development Code.

**Chapter 17.08 – Commercial Use Categories**

Eliminated this Chapter and it becomes a Reserve Chapter. This material is found in the definitions section (17.62) of the Land Development Code.

**Chapter 17.09 – Industrial Use Categories**

Eliminated this Chapter and it becomes a Reserve Chapter. This material is found in the definitions section (17.62) of the Land Development Code.

### **Chapter 17.10 – Other Use Categories**

Eliminated this Chapter and it becomes a Reserve Chapter. This material is found in the definitions section (17.62) of the Land Development Code.

### **Chapter 17.12 – Neighborhood Residential Zones**

This Chapter is the bulk of this amendment request and where the majority of the PC discussions should be centered.

Chapter 12 establishes the base zoning categories for residential areas within Logan City. Currently, we have several single family residential zoning designations (Neighborhood Core, Neighborhood Center Street, Neighborhood Outer Core, Neighborhood Eastside & Neighborhood Westside) that are very similar. When these were created, the purpose was to distinguish each “area” and regulate based on the uniqueness or character of each areas. In practice, each zone is relatively the same, e.g., same regulations, same densities, same lot sizes, etc. With all of these zones, the base density in any single family residential areas is currently six (6) dwelling units per acre.

The City lacks any other single family residential densities and the flexibility inherent in a system comprised of multiple zones, multiple densities, and multiple standards. Under the current zoning scheme, the densities permitted in the “core” areas would be the same on the hillsides east of the developed areas, inner blocks or on the western side of Logan. The problem is that this single system of density does not enable the City to zone areas based on neighborhood character, topography, environmental constraints, future plans or available infrastructure.

The proposal is to adopt a zoning scheme that, for single family residential, includes densities ranging from two (2) dwelling units per acre up through six (6) dwelling units per acre. The nomenclature would still be consistent with the Comprehensive Plan (Neighborhood Residential) while incorporating a more traditional yet simplistic formatting, namely referencing each zone based on the underlying density: NR-2 (2 units/acre), NR-4 (4 units/acre), and NR-6 (6 units/acre). The NR-2 zone is something that could be applied to those areas on the eastern hillsides where lots should be larger to take into consideration the challenges associated with slopes and topography. The NR-6 is typically what is found throughout the existing developed areas of Logan while NR-4 may be applicable to areas of new development west of the City or even some of the center block areas.

The proposed changes to the multi-family zones includes adding an additional category of Mixed Residential Transitional (MR-9) which is a transitional zone between single family and multi-family densities and may be appropriate around downtown or other areas where, for example, age restricted housing may be appropriate on smaller lots or duplexes may be appropriate, and the Mixed Residential High (MR-30) which is a zone of 30 units per acre and may be appropriate near the University or major commercial areas. We are also proposing to rename the mixed residential categories from low (MR-12), medium (MR-20) and high (MR-30).

The proposal includes eliminating the Rural Reserve zone. There is quite a bit of overlap between the Rural Reserve zone and the Resource Conservation zone, and having a Rural Reserve zone is redundant. Furthermore, if the City is going to annex lands, then we should be annexing lands designated for future urban densities and development patterns and bring them in as single family, multi family, or as a commercial zone. The Rural Reserve zone is more appropriate for development in the County rather than the City.

During the month of January, staff presented the proposed zoning scheme to the six (6) Neighborhood Councils. Based on the input, the original single family residential proposal of NR-1, NR-3, NR-6 & NR-9 was revised to a NR-2 (two units/acre), NR-4 (four units/acre) and a NR-6 (six units/acre) system. The NR-9 was renamed as MR-9 and is considered a transitional zone and has limitations based on structure type.

#### **Chapter 17.13 – Neighborhood Residential Zone Uses**

17.13.020 – wording and formatting changed, numbering still not correct.

17.13.030 – modified structure type table by re-ordering the types, included the proposed zones and eliminated others. Moved references for structure type to 17.62 Definitions.

17.13.040 – modified the use table by removing any references to uses that don't belong in the residential use chart such as industrial uses and most commercial uses.

#### **Chapter 17.14 – General Development Standards: Neighborhood Residential Zones**

17.14.010 – clarified wording and review process.

17.14.020 – clarified wording & moved single family residential standards forward in the Chapter to consolidate all single family requirements first, multi-family standards second.

17.14.030 – pulled the garage section forward. Added C.3 – C.5 to clarify garage setbacks. Detached garages shall be setback at least 10' from front plane of the residence while attached garages shall not extend more than 10' forward of the front plane of the residence.

17.14.040 – specified applicability to only multi-family development. Clarified 500 square foot articulation standard – for buildings less than 35', requires articulated wall planes to not exceed 500 square feet where for buildings greater than 35' requires articulated wall planes to not exceed 1,000 square feet. Added "street facing" as a clarifier when standard are applicable. Added a building placement/orientation standard section for multi-family development.

17.14.050 – clarified commercial uses in the CR zone.

17.14.060 – changed references; however, this is all new recently approved language.

17.14.070 – clarified wording. Need to include reference to Neighborhood in the title and section.

#### **Chapter 17.15 – Specific Development Standards: Neighborhood Residential Zones**

Updated spec sheets to reflect changes in zones.

#### **Chapter 17.62 – Definitions**

Added structure type to the Definitions Chapter.

These amendments are in response to concerns raised over the lack of different residential zones throughout the City, the need to reduce/eliminate the redundancy in the LDC, and the desire to improve its administration.

### **GENERAL PLAN**

The General Plan discusses a number of broad concepts related to housing choice and diversity, growth accommodation, neighborhood compatibility, neighborhood enhancement, downtown revitalization, community vitality, community design, etc. The Land Development Code was prepared and adopted to implement the vision expressed in the General Plan. These proposed amendments help clarify and further refine the policies expressed in the General Plan and ultimately codified in the Land Development Code.

### **STAFF RECOMMENDATION AND SUMMARY**

Staff finds that the proposed amendments will help ensure new development is compatible with Logan's existing neighborhoods by establishing appropriate residential densities and development standards applicable throughout the City.

## **PUBLIC COMMENTS**

As of the time the staff report was prepared, no public comments had been received.

## **PUBLIC NOTIFICATION**

Legal notices were published in the Herald Journal on 2/28/13 and posted on the City's website and the Utah Public Meeting website on 2/21/13.

## **AGENCY AND CITY DEPARTMENT COMMENTS**

As of the time the staff report was prepared, no comments had been received.

## **RECOMMENDED FINDINGS FOR APPROVAL**

The Planning Commission bases its decisions on the following findings:

1. Utah state law authorizes local planning commissions to recommend ordinance changes to the legislative body (Municipal Council) that are consistent with the role of the Planning Commission.
2. The Code Amendment is done in conformance with the requirements of Title 17.51 of the Logan Municipal Code.
3. The proposed Code Amendments to Chapters 17.04 – 17.08 establishes new residential zoning categories in Logan City, eliminates references to policy documents/statements, and eliminates redundant references to uses already defined elsewhere in the Code. These amendments are consistent with the goals and objectives of the General Plan.
4. The proposed Code Amendments to Chapter 17.12 establishes new residential zoning districts in Logan City and is consistent with the goals and objectives of the General Plan.
5. The proposed Code Amendments to Chapter 17.13 defines the list of permitted, conditional and not allowed uses in the proposed residential zones established in 17.12. These amendments are consistent with the goals and objectives of the General Plan.
6. The proposed Code Amendments to Chapter 17.14 better define the development standards associated with either single family residential development, multi-family residential development, or commercial development in the Campus Residential zones. These amendments are consistent with the goals and objectives of the General Plan.
7. The proposed Code Amendments to Chapter 17.15 establish development standards for new construction within the proposed zoning districts, and are consistent with the goals and objectives of the General Plan.
8. The proposed Code Amendments to the Chapter 17.62 include the definitions of residential structure type previously located in Chapter 17.13, and are consistent with the goals and objectives of the General Plan.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.

## **Article II: Zoning Districts and Land Uses Established**

## Chapter 17.04: Establishment of Zoning

### §17.04.010 Purpose

All areas within the City of Logan are divided into land use districts or zones. The use of each lot, parcel or tract of land is limited to the range of uses permitted by the applicable or zoning district. The applicable zoning district shall be determined based on the Official Zoning Map and the provisions of this Chapter. Table 17.12.020 lists the zoning districts within this Code.

### §17.04.010020. Base Zones Established

The following base zones are established:

#### A. Neighborhood Zones

<del>NRC</del>	<del>Neighborhood Residential Core</del>
<del>NRCS</del>	<del>Neighborhood Residential Center Street</del>
<del>NROC</del>	<del>Neighborhood Residential Outer Core</del>
<del>NRE</del>	<del>Neighborhood Residential Eastside</del>
<del>NRW</del>	<del>Neighborhood Residential Westside</del>
<del>NR-2</del>	<del>Low Density Neighborhood Residential</del>
<del>NR-4</del>	<del>Suburban Neighborhood Residential</del>
<del>NR-6</del>	<del>Traditional Neighborhood Residential</del>
<b>MH</b>	Mobile Home
<del>MR-9</del>	<del>Mixed Residential Transitional</del>
<del>MRM</del>	<del>Mixed Residential Medium</del>
<del>MRH</del>	<del>Mixed Residential High</del>
<del>MR-12</del>	<del>Mixed Residential Low</del>
<del>MR-20</del>	<del>Mixed Residential Medium</del>
<del>MR-30</del>	<del>Mixed Residential High</del>
<b>NC</b>	Neighborhood Center
<b>CR</b>	Campus Residential
<del>RR</del>	<del>Rural Reserve</del>
<b>RC</b>	Resource Conservation

#### B. District and Corridor Zones

<b>TC</b>	Town Center
<b>COM</b>	Commercial
<b>MU</b>	Mixed Use
<b>UC</b>	University Corridor
<b>GW</b>	Gateway
<b>CS</b>	Commercial Service
<b>IP</b>	Industrial Park
<b>AP</b>	Airport

#### C. Special Purpose Zones

<b>PUB</b>	Public
<b>REC</b>	Recreation

**§17.04.020. Overlay Zones Established**

The following overlay zones are established:

AL	Airport Limitation overlay zone
AP	Aquifer Protection overlay zone
HD	Historic District overlay zone
<u>H</u>	<u>Hospital overlay zone</u>
GF	Greenfield overlay zone
X	Existing lot size overlay zoning district

**~~§17.04.030. Relationship of the General Plan, Specific Plans, and Zoning~~**

~~Fundamental to the concept of a General Plan is the need of the City to determine a process for creating an overall, general system of development that will bring about orderly and sustainable growth. At its most basic, orderly and sustainable growth is development that:~~

- ~~A. Avoids placing incompatible land uses next to each other.~~
- ~~B. Does not place undue financial burdens on the City or a particular neighborhood.~~
- ~~C. Assures that adequate public services and amenities are in place to create a livable community.~~

~~The General Plan is the core document of the city. It establishes the philosophy and the direction for other more detailed plans used by city departments to manage quality development. Collectively, these are the guiding documents of the City used to manage growth. It sets the basic direction and is implemented through the land development code (zoning), building codes, capital improvement plans, park plans, street plans, utility plans, etc. In short, it helps coordinate the efforts and priorities of city departments that affect land uses. The General Plan is also a critical tool in economic development conveying the goals and direction of the City to potential businesses and residents.~~

**~~Figure 17.04.030 The Relationship of the General Plan, Specific Plans and Zoning~~**

17.04: Establishment of Zoning



**§17.04.040.— Specific Plans Established**

The following specific plans are established:

- A. Adams Neighborhood
- B. Bridger Neighborhood
- C. Hillerest Neighborhood
- D. Ellis Neighborhood
- E. Wilson Neighborhood
- F. Woodruff Neighborhood
- G. Airport Area (complete 2009)
- H. South Corridor (in process 2011)
- I. Mixed Use North
- J. University Corridor

- ~~K. University Housing~~
- ~~L. Downtown Town Center (in process 2010)~~
- ~~M. Ellis Mixed Use~~
- ~~N. Gateway West, North, and East~~
- ~~O. Gateway South~~

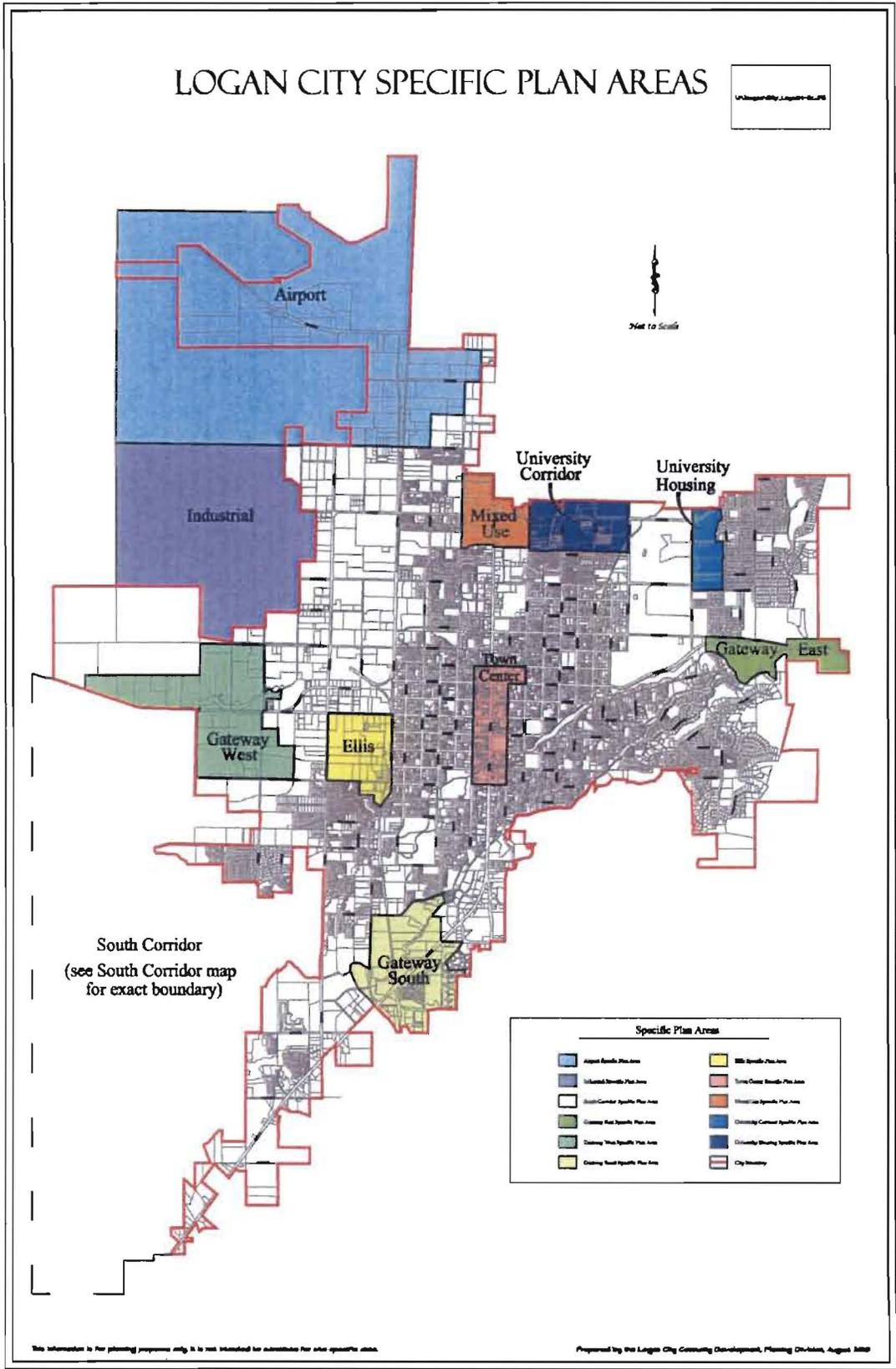
**§17.04.05030. Maps**

Official maps of the City of Logan are kept and available at Logan City Hall. ~~The figures accompanying this section are provided for reference only.~~



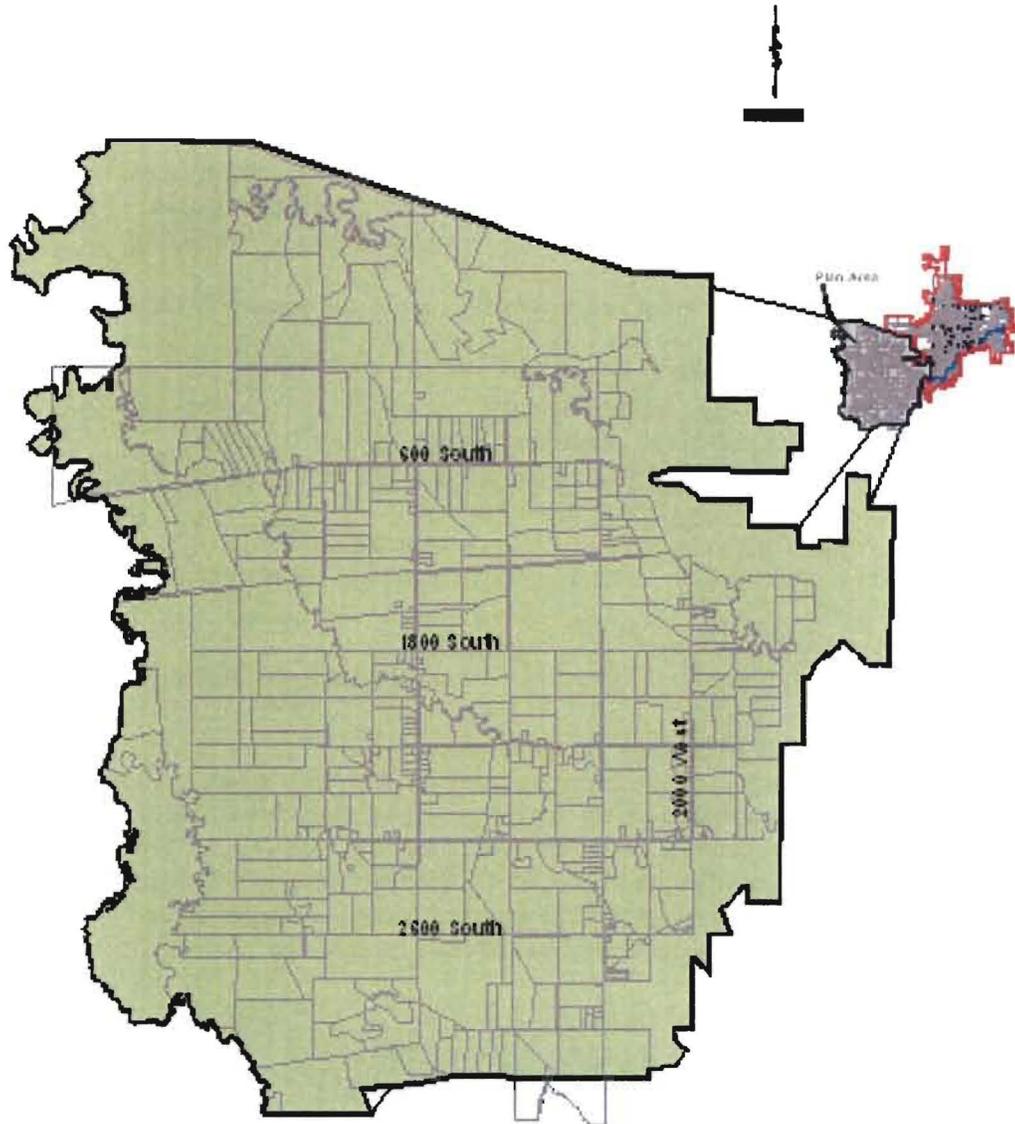
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Figure 17.04.050.A4 Specific Plans



# LOGAN CITY

## SOUTH CORRIDOR SPECIFIC PLAN AREA



## Chapter 17.05: Use Categories

### §17.05.010. Purpose

Use categories classify land uses and activities into use categories based on common functional, product, or physical characteristics. Characteristics include the type and amount of activity, the type of customers or residents, how goods or services are sold or delivered and site conditions. The use categories provide a systematic basis for assigning present and future land uses into appropriate zoning districts.

### §17.05.020. Primary Use Characteristics

Primary uses are assigned to the category that most closely describes the nature of the primary use. The “Characteristics” subsection of each use category describes the common characteristics of each primary use.

#### A. Considerations Used in Categorizing Primary Uses

The following considerations are used to determine what category a use is in and whether the activities are to be considered primary or accessory uses:

1. The ~~actual or projected~~ characteristics of the activity ~~in relationship to the stated characteristics of each use category;~~
2. The relative amount of site area or floor space and equipment devoted to the activity;
3. ~~The R~~relative amounts of sales from each activity;
4. The customer type for each activity;
5. The relative number of employees in each activity;
6. ~~The typical or normal H~~hours of operation;
7. ~~The Building building~~ and site arrangement;
8. ~~The relative number of V~~vehicles used with the activity;
9. The relative number of vehicle trips generated by the activity;
10. Signs;
11. How the use advertises itself; and
12. Whether the activity is likely to be found independent of the other activities on the site.

#### B. Developments with Multiple Primary Uses

When all primary uses of a development fall within one use category, the entire development is assigned to that use category. A development that contains a coffee shop, bookstore and bakery, for example, shall be classified in the Sales and Service category because all of the development’s primary uses are in that category. When the primary uses of a development fall within different use categories, each primary use is classified in the applicable category and each use is subject to all applicable regulations for that category.

### §17.05.030. Accessory Uses

Accessory uses are permitted uses in conjunction with a primary use unless otherwise stated in the regulations ~~and~~ ~~—Also,~~ unless stated otherwise ~~stated~~, accessory uses are subject to the same regulations as the primary use. ~~Common accessory uses are listed as examples in the use category descriptions.~~

### ~~§17.05.040.— Use of Examples~~

~~The “Examples” subsection of each use category lists common examples of uses included in the respective use category. The names of these sample uses are generic. They are based on common meanings and not on what a specific use may call itself. For example, a use~~

~~that calls itself “Wholesale Warehouse” but that sells mostly to consumers, is included in the Sales and Service category rather than the Wholesale Sales and Service category. This is because the actual activity on the site matches the description of the Sales and Service category.~~

**§17.05.050040. Identified Uses**

The base zoning districts have use tables that identify whether a use is permitted, conditional, or not permitted ~~(Neighborhood zoning districts are shown in Table 17.13.04; Districts and Corridors Development zoning districts are shown in Table 17.16.030; Public and Recreation zoning districts are shown in Chapter 17.20)~~. Within each zoning district use table, there are listings of both the use categories and specific identified uses. If a desired primary use is not listed as a specific use on the use chart, the system established in this chapter shall be used to determine whether the use is permitted as being consistent with a use category.

## ~~Chapter 17.06: Residential Use Categories~~

### ~~§17.06.010. Group Living~~

#### ~~A. Characteristics~~

~~Group Living is characterized by the residential occupancy of a structure by a group of people who exceed the maximum occupancy allowed by the base zoning district. Tenancy is arranged on a monthly or longer basis. Uses where tenancy may be arranged for a shorter period are not considered residential. They are considered to be a form of transient lodging (see the Sales and Service and Community Service categories). Generally, Group Living structures have a common eating area for residents; structures such as dormitories may have several eating areas for the tenants of the structure. Within the Group Living category there are two distinct types. The first is where the residents of the group living structure receive care, training, or treatment on site. The second type of group living is where the residents of the structure do not receive care, training, or treatment on site.~~

#### ~~B. Accessory Uses~~

~~Accessory uses commonly associated with Group Living are recreational facilities and parking of vehicles for occupants and staff, carports, garages, storage buildings, and communal gardens.~~

#### ~~C. Examples~~

~~Examples of Group Living include dormitories; communes; fraternities and sororities; seminaries with boarding, monasteries, and convents; nursing and convalescent homes; assisted living centers; and some group homes for the physically disabled, mentally retarded, or emotionally disturbed.~~

#### ~~D. Regulations~~

##### ~~1. Purpose~~

~~The purpose of this section is to establish reasonable and uniform regulations to control any adverse effects of structures where the occupancy of the dwelling unit exceeds the maximum occupancy allowed by the base zoning district.~~

##### ~~2. Permits~~

~~A. A Conditional Use Permit is required for all new or expanding group living structures. The Conditional Use Permit shall be issued in conformance with the City's standard Conditional Use Permit approval process described in Chapter 17.49.~~

~~B. The structure must meet current building code requirements. Building permits are required when applicable.~~

~~C. Any violation related to the Conditional Use Permit or Building Permit may result in the revocation of said permit.~~

##### ~~3. Location~~

~~Group Living is permitted, conditionally permitted, or not permitted in conformance with the use tables in Chapters 17.13, 17.17, and 17.21.~~

##### ~~4. Parking~~

~~Parking shall be installed in conformance with Chapter 17.38. This includes the minimum number of parking stalls and the location of the parking stalls and driveway.~~

##### ~~5. Occupancy Limitation~~

~~Occupancy is limited by the gross finished area of the dwelling unit. A structure in this category may be occupied by a maximum of one occupant for every 200 square feet of gross finished floor area, not including attached garages.~~

~~17.06: Residential Use Categories Reserved~~~~6. Useable Outdoor Space~~

~~Useable Outdoor Space shall be provided at a rate of ten (10) percent of the gross lot area. Gross lot area will be rounded to the nearest thousandth of an acre to determine the minimum amount of outdoor space required.~~

~~E. Exceptions~~

- ~~1. Lodging where tenancy may be arranged for periods of less than 30 days is considered a hotel or motel use and is classified in the Sales and Service category.~~
- ~~2. Lodging where the residents meet the definition of Household and where tenancy is arranged on a month-to-month basis, or for a longer period, is classified as Household Living.~~
- ~~3. Facilities for people who are under judicial detainment and under the supervision of sworn officers are included in the Detention Facilities category.~~

~~§17.06.020. Household Living~~~~A. Characteristics~~

~~Household Living is characterized by the residential occupancy of a dwelling unit by a household. Tenancy is either owner occupied or arranged on a month-to-month or longer basis. Uses where tenancy may be arranged for a shorter period are not considered residential. They are considered to be a form of transient lodging (see the Sales and Service and Community Service categories).~~

~~B. Accessory Uses~~

~~Accessory uses commonly associated with Household Living are recreational activities; raising of pets, hobbies and parking of occupants' vehicles; garage or carport; storage buildings of not more than 500 square feet; accessory buildings for home hobbies; and vegetable gardens. Home occupations are accessory uses that are subject to additional regulations.~~

~~C. Examples~~

~~Uses include living in single dwelling or multi dwelling structures, retirement center apartments, manufactured housing and other structures with self-contained dwelling units.~~

~~D. Regulations~~~~1. Parking~~

~~Parking shall be installed in conformance with Chapter 17.38. This includes the minimum number of parking stalls and the location of the parking stalls and driveway.~~

~~2. Occupancy Limitation~~

~~Occupancy is limited to one family or three unrelated persons for one dwelling unit, unless otherwise specified in this title.~~

~~3. Useable Outdoor Space~~

~~Useable Outdoor Space shall be provided at a rate of ten (10) percent of the gross lot area. Gross lot area will be rounded to the nearest thousandth of an acre to determine the minimum amount of outdoor space required.~~

~~E. Exceptions~~

~~Lodging in a dwelling unit or where less than two-thirds of the units are rented on a monthly or longer basis is considered a hotel or motel use and is classified in the Sales and Service category.~~

## ~~Chapter 17.07: Institutional and Civic Use Categories~~

### ~~§17.07.010. Universities, Colleges, Applied Technology Centers~~

#### ~~A. Characteristics~~

~~This category includes colleges and other institutions of higher learning which offer courses of general or specialized study leading to a degree.~~

#### ~~B. Accessory Uses~~

~~Accessory uses include offices, housing for students, food service, laboratories, health and sports facilities, theaters, meeting areas, parking, maintenance facilities and support commercial when such uses are related to a college or institution of higher learning within the same property or campus.~~

#### ~~C. Examples~~

~~Examples include universities, liberal arts colleges, community colleges, nursing and medical schools not accessory to a hospital and seminaries.~~

#### ~~D. Exceptions~~

~~Business and trade schools are classified as Sales and Service.~~

### ~~§17.07.020. Community Services~~

#### ~~A. Characteristics~~

~~Community Services are uses of a public, nonprofit, or charitable nature generally providing a local service to people of the community. Generally, they provide the service on-site or have employees at the site on a regular basis. The service is ongoing, not just for special events. Community centers or facilities that have membership provisions are open to the general public to join at any time, (for instance, any senior citizen could join a senior center). The use may provide special counseling, education, or training of a public, nonprofit or charitable nature.~~

#### ~~B. Accessory Uses~~

~~Accessory uses may include offices; meeting areas; food preparation area; parking, health and therapy areas; and athletic facilities.~~

#### ~~C. Examples~~

~~Examples include libraries, museums, senior centers, community centers, publicly owned swimming pools, youth club facilities, hospices, social service facilities, emergency shelter<sup>1</sup>, vocational training for persons with physical or mental disabilities, temporary shelters and services for victims of domestic violence, crematoriums, columbaria and mausoleums.~~

#### ~~D. Exceptions~~

~~1. Private lodges, clubs and private or commercial athletic or health clubs are classified as Sales and Service. Commercial museums are classified as Sales and Service.~~

~~2. Parks are classified as Parks and Open Areas.~~

~~3. Uses where tenancy is arranged on a month to month basis, or for a longer period are residential and are classified as Household.~~

<sup>1</sup> Emergency shelters for purposes of relocating persons in the event of a local emergency as determined by the Mayor shall not require permit approvals.

**~~§17.07.030. Family Day Care/Preschool~~**~~A. Characteristics~~~~Day Care and preschool uses for 1-16 persons providing care, protection and supervision for children or adults on a regular basis away from their primary residence for less than 24 hours per day.~~~~B. Accessory Uses~~~~Accessory uses include offices, food preparation, recreation areas and parking.~~~~C. Examples~~~~Examples include childcare centers, preschools, nursery schools, latch key programs and adult day care programs.~~~~D. Exceptions~~~~Day Care does not include public or private schools or facilities operated in connection with an employment use, shopping center or other primary use, where children are cared for while parents or guardians are occupied on the premises or in the immediate vicinity.~~**~~§17.07.040. Commercial Care~~**~~A. Characteristics~~~~Day Care and preschool uses for seventeen (17) or more persons providing care, protection and supervision for children or adults on a regular basis away from their primary residence for less than 24 hours per day.~~~~B. Accessory Uses~~~~Accessory uses include offices, food preparation, recreation areas and parking.~~~~C. Examples~~~~Examples include childcare centers, preschools, nursery schools, latch key programs and adult day care programs.~~~~D. Exceptions~~~~Day Care does not include public or private schools or facilities operated in connection with an employment use, shopping center or other primary use, where children are cared for while parents or guardians are occupied on the premises or in the immediate vicinity.~~**~~§17.07.050. Hospitals~~**~~A. Characteristics~~~~Hospitals include uses providing medical or surgical care to patients and offering overnight care.~~~~B. Accessory Uses~~~~Accessory uses include outpatient clinics, offices, laboratories, teaching facilities, meeting areas, cafeterias, parking, maintenance facilities and housing facilities for staff or trainees.~~~~C. Examples~~~~Examples include medical centers and hospitals.~~~~D. Exceptions~~

- ~~1. Uses that provide exclusive care and planned treatment or training for psychiatric, alcohol, or drug problems, where patients are residents of the program, are classified in the Group Living category.~~
- ~~2. Medical clinics that provide care where patients are generally not kept overnight.~~
- ~~3. Emergency medical clinics are classified as Sales and Service.~~

~~17.07: Institutional and Civic Use Categories Reserved~~~~§17.07.060. Parks and Open Areas~~~~A. Characteristics~~~~Parks and Open Areas are uses of land focusing on natural areas, large areas consisting mostly of vegetative landscaping or outdoor recreation, community gardens, or public squares. Lands tend to have few structures.~~~~B. Accessory Uses~~~~Accessory uses may include clubhouses, maintenance facilities, concessions, caretaker's quarters and parking.~~~~C. Examples~~~~Examples include parks, golf courses, cemeteries, public squares, plazas, recreational trails, botanical gardens, nature preserves and land used for grazing that is not part of a farm or ranch.~~~~§17.07.070. Religious Institutions~~~~A. Characteristics~~~~Religious Institutions primarily provide meeting areas for religious activities.~~~~B. Accessory Uses~~~~Accessory uses include Sunday school facilities, parking, caretaker's housing and group living facilities such as convents, monasteries, or seminaries.~~~~C. Examples~~~~Examples include churches, temples, synagogues and mosques.~~~~§17.07.080. Safety Services~~~~A. Characteristics~~~~Safety Services are uses that provide public safety and emergency response services. They often need to be located in or near the area where the service is provided. Employees are regularly present on-site.~~~~B. Accessory Uses~~~~Accessory uses include offices and parking.~~~~C. Examples~~~~Examples include fire stations, police stations and emergency medical and ambulance stations.~~~~§17.07.090. Schools~~~~A. Characteristics~~~~This category includes public and private schools at the primary, elementary, middle, junior high, or high school level that provide state-mandated basic education.~~~~B. Accessory Uses~~~~Accessory uses include play areas, cafeterias, recreational and sport facilities, auditoriums and before or after school day care.~~~~C. Examples~~~~Examples include public and private daytime schools, boarding schools and military academies. Preschools are not included in this category ( see 17.08.030 and 17.08.040).~~~~D. Exceptions~~~~I. Business and trade schools are classified as Sales and Service.~~~~§17.07.100. Telecommunications Facilities~~~~A. Characteristics~~~~Telecommunications facilities includes all devices, equipment, machinery, structures or supporting elements necessary to produce non-ionizing electromagnetic radiation~~

~~17.07: Institutional and Civic Use Categories Reserved~~

~~within the range of frequencies from 100 KHz to 300 GHz and operating as a discrete unit to produce a signal or message. Facilities may be self-supporting, guyed, co-located with existing facilities, or mounted on rooftops, poles, light posts, power poles, buildings or other structures. Facilities may also include interconnection translators, connections from over-the-air to cable, fiber optic, or other landline transmission system.~~

~~B. Accessory Uses~~

~~Accessory uses may include transmitter facilities or non-public roadways used to access a telecommunications facility.~~

~~C. Examples~~

~~Examples include broadcast towers, communication towers, wireless telecommunications facilities, and point-to-point microwave towers.~~

~~D. Exceptions~~

- ~~1. Receive only antennas are not included in this category.~~
- ~~2. Radio and television studios are classified in the Office category.~~

~~E. Wireless Telecommunications Facilities~~

~~Wireless telecommunications facilities are regulated by Chapter 17.45.~~

~~§17.07.110. Utilities, Basic~~~~A. Characteristics~~

~~Basic Utilities are infrastructure services that need to be located in or near the area where the service is provided. Basic Utility uses generally do not regularly have employees at the site. Services may be public or privately provided.~~

~~B. Accessory Uses~~

~~Accessory uses may include parking and control, monitoring, data or transmission equipment.~~

~~C. Examples~~

~~Examples include water and sewage pump stations; electrical substations; water towers and reservoirs; Stormwater retention and detention facilities; telephone exchanges; and park and ride facilities for mass transit.~~

~~D. Exceptions~~

- ~~1. Services where people are generally present are classified as Community Services, Offices, or Safety Services.~~
- ~~2. Utility offices where employees or customers are generally present are classified as Offices.~~
- ~~3. Bus barns are classified as Warehouse and Freight Movement.~~

## ~~Chapter 17.08: Commercial Use Categories~~

### ~~§17.08.010. Entertainment Event, Major~~

#### ~~A. Characteristics~~

~~Major Entertainment Event uses are characterized by activities and structures that draw large numbers of people to specific events or shows. Activities are generally of a spectator nature.~~

#### ~~B. Accessory Uses~~

~~Accessory uses may include restaurants, drinking establishments, concessions, parking and maintenance facilities.~~

#### ~~C. Examples~~

~~Examples include stadiums, sports arenas, coliseums, auditoriums, reception centers, exhibition and meeting areas and fairgrounds.~~

#### ~~D. Exceptions~~

- ~~1. Exhibition and meeting areas with less than 20,000 square feet of total event area are classified as Sales and Service.~~
- ~~2. Banquet halls that are part of hotels or restaurants are accessory to those uses, which are included in the Sales and Service category.~~
- ~~3. Theaters, including drive-in theaters, are classified as Sales and Service.~~
- ~~4. Recreation or entertainment uses conducted on a continuous basis are classified as Outdoor Recreation and Entertainment or Sales and Service uses.~~

### ~~§17.08.020. Office~~

#### ~~A. Characteristics~~

~~Office uses are characterized by activities conducted in an office setting and generally focusing on business, government, professional, medical, or financial services.~~

#### ~~B. Accessory Uses~~

~~Accessory uses may include cafeterias, health facilities, parking, or other amenities primarily for the use of employees in the firm or building.~~

#### ~~C. Examples~~

~~Examples include professional services such as lawyers, accountants, engineers, or architects; financial businesses such as lenders, brokerage houses, bank headquarters, or real estate agents; data processing; sales offices; government offices and public utility offices; TV and radio studios; medical and dental clinics, and medical and dental labs; and blood collection facilities.~~

#### ~~D. Exceptions~~

- ~~1. Offices that are part of and located with a primary use in another category are considered accessory to the firm's primary activity. Headquarters offices, when in conjunction with or adjacent to a primary use in another category, are considered part of the other category.~~
- ~~2. Contractors and others who perform services off-site are included in the Office category if equipment and materials are not stored on the site and fabrication, services, or similar work is not carried on at the site.~~

### ~~§17.08.030. Accommodations Lodging, Bed and Breakfast~~

#### ~~A. Characteristics~~

~~Facilities offering transient lodging accommodations to the general public and which may include additional facilities, such as restaurants, meeting rooms, entertainment, personal services, and recreation facilities.~~

~~B. Accessory Uses~~~~Accessory uses may include swimming pool, mechanical equipment building, exercise and fitness facilities and maintenance buildings.~~~~C. Examples~~~~Examples include hotels, motels, bed and breakfast,~~~~D. Exceptions~~~~RV parks, trailer parks,~~~~§17.08.040. Parking, Commercial~~~~A. Characteristics~~~~An area, privately owned, that provides temporary storage of motor vehicles where a fee is charged. Private parking is provided off-street and the primary use of the property is commercial parking not accessory to a primary use. The surface of a commercial parking facility is paved with a bituminous or concrete surface. Commercial parking may be at ground level or within a multi-level structure.~~~~B. Accessory Uses~~~~None~~~~C. Examples~~~~Examples include parking lots, parking structures or parking terraces.~~~~D. Exceptions~~~~Long-term storage of vehicles~~~~§17.08.050. Recreation and Entertainment, Outdoor~~~~A. Characteristics~~~~Outdoor Recreation and Entertainment uses are large, generally commercial uses that provide continuous recreation or entertainment oriented activities. They primarily take place outdoors. They may take place in a number of structures that are arranged together in an outdoor setting.~~~~B. Accessory Uses~~~~Accessory uses may include concessions, restaurants, parking, caretaker's quarters and maintenance facilities.~~~~C. Examples~~~~Examples include amusement parks, theme parks, golf driving ranges, miniature golf facilities and zoos.~~~~D. Exceptions~~~~Uses that draw large numbers of people to periodic events, rather than on a continuous basis, are classified as major Entertainment Events.~~~~§17.08.060. Sales and Service~~~~A. Characteristics~~~~Sales and Service firms are involved in the sale, lease or rent of new or used products to the general public. They may also provide personal services or entertainment, or provide product repair or services for consumer and business goods.~~~~B. Accessory Uses~~~~Accessory uses may include offices, storage of goods, manufacture or repackaging of goods for on-site sale, and parking.~~~~C. Examples~~~~Examples include uses from the following four groups:~~~~1. Sales Oriented: Stores selling, leasing, or renting consumer goods, home and business goods including art, art supplies, bicycles, clothing, dry goods, electronic~~

~~17.08: Commercial Use Categories Reserved~~

~~equipment, fabric, furniture, garden supplies, gifts, groceries, hardware, home improvements, household products, jewelry, pets, pet food, pharmaceuticals, plants, printed material, stationary and videos; food sales and sales or leasing of consumer vehicles including passenger vehicles, motorcycles, light and medium trucks and other recreational vehicles.~~

- ~~2. Personal Service Oriented: Branch banks; emergency medical care; laundromats; photographic studios; photocopy and blueprint services; hair, tanning and personal care services; business, martial arts and other trade schools; dance or music classes; taxidermists; mortuaries; veterinarians; and animal grooming.~~
- ~~3. Entertainment Oriented: Restaurants, cafes, delicatessens, bars and taverns; indoor continuous entertainment activities such as bowling alleys, ice rinks and game arcades; pool halls; dance halls; indoor firing ranges; theaters, health clubs, gyms; membership clubs and lodges; hotels, motels, recreational vehicle parks and other temporary lodging with an average length of stay of less than 30 days.~~
- ~~4. Repair Oriented: Repair of televisions, audio equipment, bicycles, clocks, watches, shoes, guns, appliances and office equipment; photo or laundry drop off; tailor; locksmith; and upholsterer.~~

~~D. Exceptions~~

- ~~1. Lumber yards and other building material sales that sell primarily to contractors and do not have a retail orientation are classified as Wholesale Sales and Service.~~
- ~~2. Repair and service of consumer motor vehicles, motorcycles and light and medium trucks is classified as Vehicle Repair. Repair and service of industrial vehicles and equipment and heavy trucks is classified as Industrial Service.~~
- ~~3. Sales, rental, or leasing of heavy trucks and equipment or manufactured housing units are classified as Wholesale Sales and Service.~~
- ~~4. Hotels, restaurants and other services which are part of a truck stop are considered accessory to the truck stop which is classified as Industrial Service.~~

~~§17.08.070. Storage, Self-Service~~~~A. Characteristics~~

~~Self-Service Storage uses provide separate storage areas for individual or business uses. The storage areas are designed to allow private access by the tenant for storing or removing personal property.~~

~~B. Accessory Uses~~

~~Accessory uses may include living quarters for a resident manager or security and leasing offices. Use of the storage areas for sales, service and repair operations, or manufacturing is not considered accessory to the Self-Service Storage use. The rental of trucks or equipment is also not considered accessory to a Self-Service Storage use.~~

~~C. Examples~~

~~Examples include facilities that provide individual storage areas for rent. These uses are also called mini-warehouses.~~

~~D. Exceptions~~

~~A transfer and storage business where there are no individual storage areas or where employees are the primary movers of the goods to be stored or transferred is in the Warehouse and Freight Movement category.~~

~~§17.08.080. Storage, Outdoor~~~~A. Characteristics~~

~~The use of open areas of the lot (except the front yard) for storage of items used for non-retail or industrial trade, the storage of merchandise inventory, and the storage of~~

~~17.08: Commercial Use Categories Reserved~~

~~bulk materials such as sand, gravel, and other building materials. Outdoor storage shall also include contractors' yards and salvage or recycling areas.~~

~~§17.08.090. Vehicle Repair~~~~A. Characteristics~~

~~Vehicle Repair firms service passenger vehicles, light and medium trucks and other consumer motor vehicles such as motorcycles, boats and recreational vehicles. Generally, the customer does not wait at the site while the service or repair is being performed.~~

~~B. Accessory Uses~~

~~Accessory uses may include offices, sales of parts and vehicle storage.~~

~~C. Examples~~

~~Examples include vehicle repair, transmission or muffler shop, auto body shop, alignment shop, auto upholstery shop, auto detailing and tire sales and mounting.~~

~~D. Exceptions~~

~~Repair and service of industrial vehicles and equipment and of heavy trucks; towing and vehicle storage are classified as Industrial Service.~~

~~§17.08.100. Vehicle Service~~~~A. Characteristics~~

~~Vehicle Service uses provide direct services to motor vehicles where the driver or passengers generally waits in the car or nearby while the service is performed.~~

~~B. Accessory Uses~~

~~Accessory uses may include auto repair and tire sales.~~

~~C. Examples~~

~~Examples include full service, mini service and self-service gas stations; car washes; and quick lubrication services.~~

~~D. Exceptions~~

~~1. Truck stops are classified as Industrial Service.~~

~~2. Refueling facilities for vehicles that belong to a specific use (fleet vehicles) are considered accessory uses if they are located on the site of the primary use.~~

## ~~Chapter 17.09: Industrial Use Categories~~

### ~~§17.09.010. Industrial Service~~

#### ~~A. Characteristics~~

~~Industrial Service firms are engaged in the repair or servicing of industrial, business or consumer machinery, equipment, products or by products. Firms that service consumer goods do so by mainly providing centralized services for separate retail outlets. Contractors and building maintenance services and similar uses perform services off-site. Few customers, especially the general public, come to the site.~~

#### ~~B. Accessory Uses~~

~~Accessory activities may include offices, parking and storage.~~

#### ~~C. Examples~~

~~Examples include welding shops; machine shops; tool repair; electric motor repair; repair of scientific or professional instruments; sales, repair, storage, metal and building materials; towing and vehicle storage; enclosed wrecking or salvage facilities; vehicle impound yard; heavy truck servicing and repair; tire retreading or recapping; truck stops; building, heating, plumbing or electrical contractors; printing, publishing and lithography; exterminators; recycling operations; janitorial and building maintenance services; fuel oil distributors; solid fuel yards; research and development laboratories; laundry, dry cleaning and carpet cleaning plants; and photo finishing laboratories.~~

#### ~~D. Exceptions~~

- ~~1. Contractors and others who perform services off-site are included in the Office category, if major equipment and materials are not stored at the site and fabrication, or similar work is not carried on at the site.~~
- ~~2. Hotels, restaurants and other services which are part of a truck stop are considered accessory to the truck stop.~~

### ~~§17.09.020. Manufacturing and Production~~

#### ~~A. Characteristics~~

~~Manufacturing and Production firms are involved in the manufacturing, processing, fabrication, packaging, or assembly of goods. Natural, manmade, raw, secondary, or partially completed materials may be used. Products may be finished or semi-finished and are generally made for the wholesale market, for transfer to other plants, or to order for firms or consumers. Goods are generally not displayed or sold on site, but if so, they are a subordinate part of sales. Relatively few customers come to the manufacturing site.~~

#### ~~B. Accessory Uses~~

~~Accessory activities may include offices, cafeterias, parking, employee recreational facilities, warehouses, storage yards, repair facilities, truck fleets and caretaker's quarters.~~

#### ~~C. Examples~~

~~Examples include processing of food and related products; catering establishments; slaughter houses and meat packing; weaving or production of textiles or apparel; lumber mills, pulp and paper mills and other wood products manufacturing; woodworking, including cabinet makers; production of chemical, rubber, leather, clay, bone, plastic, stone, or glass materials or products; movie production facilities; concrete batching and asphalt mixing; production or fabrication of metals or metal products including enameling and galvanizing; manufacture or assembly of machinery, equipment, instruments, including musical instruments, vehicles, appliances, precision~~

~~17.09: Industrial Use Categories~~Reserved

~~items and other electrical items; production of artwork and toys; sign making; and production of prefabricated structures, including mobile homes.~~

~~D. Exceptions~~

- ~~1. Manufacturing of goods to be sold primarily on-site and to the general public are classified as Sales and Service.~~
- ~~2. Manufacture and production of goods from composting organic material is classified as Waste Related uses.~~

**~~§17.09.030. Warehouse and Freight Movement~~**~~A. Characteristics~~

~~Warehouse and Freight Movement firms are involved in the storage, or movement of goods for themselves or other firms. Goods are generally delivered to other firms or the final consumer, except for some will call pickups. There is little on-site sales activity with the customer present.~~

~~B. Accessory Uses~~

~~Accessory uses may include offices, truck fleet parking and maintenance areas.~~

~~C. Examples~~

~~Examples include separate warehouses used by retail stores such as furniture and appliance stores; household moving and general freight storage; cold storage plants, including frozen food lockers; storage of weapons and ammunition; major wholesale distribution centers; truck, or air freight terminals; bus barns; parcel services; major post offices; grain terminals; and the stockpiling of sand, gravel, or other aggregate materials.~~

~~D. Exceptions~~

- ~~1. Uses that involve the transfer or storage of solid or liquid wastes are classified as Waste Related uses.~~
- ~~2. Mini-warehouses are classified as Self-Service Storage uses.~~

**~~§17.09.040. Waste Related Use~~**~~A. Characteristics~~

~~Uses that receive solid or liquid wastes from others for disposal on the site or for transfer to another location, uses that collect sanitary wastes, or uses that manufacture or produce goods or energy from the composting of organic materials.~~

~~B. Accessory Uses~~

~~Accessory uses may include transmitter facilities or non-public roadways used to access a telecommunications facility.~~

~~C. Examples~~

~~Examples include indoor wrecking and salvage facilities, recycling of plant products, indoor recycling centers.~~

~~D. Exceptions~~

- ~~1. This category does not include outdoor/open salvage yards or outdoor/open recycling yards.~~

**~~§17.09.050. Wholesale Sales and Service~~**~~A. Characteristics~~

~~Wholesale Sales and Service firms are involved in the sale, lease, or rent of products primarily intended for industrial, institutional, or commercial businesses. The uses emphasize on-site sales or order taking and often include display areas. Businesses may or may not be open to the general public, but sales to the general public are limited. Products may be picked up on-site or delivered to the customer.~~

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~~B. Accessory Uses~~

~~Accessory uses may include offices, product repair, warehouses, parking, minor fabrication services and repackaging of goods.~~

~~C. Examples~~

~~Examples include sale or rental of machinery, equipment, heavy trucks, building materials, special trade tools, welding supplies, machine parts, electrical supplies, janitorial supplies, restaurant equipment and store fixtures; mail order houses; and wholesalers of food, clothing, auto parts, building hardware.~~

~~D. Exceptions~~

- ~~1. Firms that engage primarily in sales to the general public or on a membership basis are classified as Sales and Service.~~
- ~~2. Firms that are primarily storing goods with little on-site business activity are classified as Warehouse and Freight Movement.~~

## Chapter 17.10: Other Use Categories

### ~~§17.10.010. Agriculture~~

#### ~~A. Characteristics~~

~~Agriculture includes activities in which the primary use involves raising, producing or keeping plants or animals.~~

#### ~~B. Accessory Uses~~

~~Accessory uses include dwellings for proprietors and employees of the use and animal training.~~

#### ~~C. Examples~~

~~Examples include breeding or raising of fowl or other animals; dairy farms; stables; riding academies; breeding of domestic animals; farming, truck gardening, forestry and tree farming; and wholesale plant nurseries.~~

#### ~~D. Exceptions~~

- ~~1. Processing of animal or plant products, including milk and feedlots, are classified as Manufacturing and Production.~~
- ~~2. Livestock auctions are classified as Wholesale Sales and Service.~~
- ~~3. Plant nurseries that are oriented to retail sales and classified as Sales and Service.~~

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## Chapter 17.12: Neighborhood Residential Zones

### §17.12.010 Overall Purpose

The purpose of this Chapter is to implement the applicable goals, policies, directives, and actions of the Logan General Plan regarding Logan's neighborhoods. More specifically, the chapter seeks to implement the following neighborhood policies:

- Logan seeks to maintain or enhance neighborhood integrity, identity, and character to make neighborhoods more desirable and help stabilize and improve property values.
- Logan seeks to maintain itself as a community of stable neighborhoods that families can enjoy in comfort and where children can play in safety.
- The City promotes neighborhood involvement on City decisions and inter-neighborhood cooperation that result in positive decisions for the entire City.
- The City encourages new neighborhoods which mimic the positive visual qualities of the city's traditional neighborhoods.
- The City supports preserving and restoring the character and architecture of Logan's neighborhoods, particularly older neighborhoods.
- The City seeks to return traditional community building principles of interconnected roads, pedestrian sidewalks, parkstrips with street trees, and square or rectilinear blocks surrounded by public streets.

~~a. Interconnected roads~~

~~b. Pedestrian sidewalks~~

~~c. Park strips with street trees~~

~~d. Square or rectilinear blocks surrounded by public streets~~

### §17.12.020 Neighborhood Residential Zones Established

Neighborhood Residential zones are established to implement the land use categories of the Logan General Plan's Future Land Use Plan. Table 17.12.020 lists the Future Land Use Plan categories and corresponding ~~neighborhood~~ Neighborhood Residential zones.

17.12: Neighborhood Residential Zones

**Table 17.12.020: General Plan Land Use Districts and Corresponding Neighborhood Residential Zones**

General Plan Land Use Categories	Neighborhood Zone
Detached Residential (DR)	<p><del>Neighborhood Residential Core (NRC)</del>  <del>Neighborhood Residential Center Street (NRCS)</del>  <del>Neighborhood Residential Outer Core (NROC)</del>  <del>Neighborhood Residential Eastside (NRE)</del>  <del>Neighborhood Residential Westside (NRW)</del>  <del>Neighborhood Residential – (NR-2)</del>  <del>Neighborhood Residential – (NR-4)</del>  <del>Neighborhood Residential – (NR-6)</del>                      Mobile Home (MH)</p>
Mixed Residential (MR)	<p><del>Mixed Residential Medium (MRM)</del>  <del>Mixed Residential High (MRH)</del>  <del>Mixed Residential Transitional (MR-9)</del>  <del>Mixed Residential Low (MR-12)</del>  <del>Mixed Residential Medium (MR-20)</del>  <del>Mixed Residential High (MR-30)</del></p>
Neighborhood Center (NC)	Neighborhood Center (NC)
Campus Residential (CR)	Campus Residential (CR)
Rural Reserve Area (RRA)	<del>Rural Reserve (RR)</del>
Resource Conservation Area (RCA)	Resource Conservation (RC)

### §17.12.030 Neighborhood Residential Zone Purposes

A. The Neighborhood Residential Zone regulations are intended to:

- Preserve the architectural character of Logan neighborhoods;
- Preserve and enhance established development patterns and forms, where most residences are oriented along block perimeters;
- Continue the historic character of these areas, while allowing infill development that is consistent with the neighborhoods' existing forms;
- Manage-Prevent the illegal conversion of single-family dwellings to other non-residential uses in the Single Family Detached-Residential areas in order of the General Plan to promote neighborhood stability;
- Promote housing options by allowing a mixture of housing types and housing densities in appropriately designated areas consistent with the character of the existing neighborhoods;
- Promote transportation efficiency by allowing-encouraging small-scale, neighborhood-serving commercial services in designated areas and where appropriate;
- Allow for neighborhood-oriented institutional uses, such as schools, parks, religious institutions and similar uses; and
- Implement the General Plan.



B. All new residential developments must create a traditional neighborhood character where; that is, with the entrances of homes are oriented towards a public streets, garages set back behind the front façade of the home, and street trees and front porches that dominate the view along the streetscape. Subdivision streets will be designed to provide



interconnectivity within the subdivision and between adjoining areas. similar to the traditional lot/block pattern that is present in the older districts of Logan. ;

C. All new and infill development will place a priority on developing complete streets (17.36.090) which attractively accommodate vehicles, and are pedestrian and bicycle friendly.

D. In areas designated Neighborhood Residential, (NR) all new development, whether infill between existing homes, replacement of existing homes or new development on vacant land, will be detached single-family structures, unless specifically permitted excepted by this Code. Within the allowed density range, compact lot design may be used to preserve open space, critical



17.12: Neighborhood Residential Zones

lands, and to avoid natural hazards. While detached single-family homes will be the primary land use for the Neighborhood Residential category, variety is very important. In order to create stable, diverse neighborhoods (as in the older existing neighborhoods of Logan) with new and infill development, varied lot sizes and home sizes are required. A variety of housing options will allow families to remain in the neighborhood as they pass through different phases of life (single, with children, empty nesters, and seniors).



**§17.12.040—Neighborhood Residential Zones—Specific Purposes****NRC, Neighborhood Residential Core**

The NRC Zone includes Logan's most established historic residential areas. Situated around the center of the city, it is primarily comprised of the Adams and Ellis neighborhoods, as well as the westernmost area of the Wilson neighborhood. The area is primarily comprised of small, single-family brick homes built between 1940 and 1970 with front stoops, exposed basements, single-car driveways and detached garages. The block form largely reflects Logan's historic Plat of Zion. The square blocks, wide park strips and mature street trees are signature elements of the NRC Zone.

The NRC development regulations are intended to:

Preserve and enhance historic development patterns and forms, where most residences are oriented along block perimeters and development of interior block areas is controlled for compatibility with established residences;

Continue the detached, single-family character of these areas, while allowing infill development that is consistent with the neighborhoods' existing forms;

Prevent the illegal conversion of single-family dwellings to other uses;

Promote housing options by allowing a mixture of medium density residential uses in designated areas in order to foster neighborhood stability;

Promote transportation efficiency by allowing small-scale, neighborhood-serving commercial services in designated areas;

Allow for neighborhood-oriented institutional uses, such as schools, parks, religious institutions and similar uses.



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**NRCS, Neighborhood Residential Center Street**  
**Logan's Center Street National Historic District is made up of a wealth of significant structures that represent the history and settlement of Logan. These buildings have unique architectural styles. They are irreplaceable historical and cultural resources. The majority of the structures in this historic district were constructed in the early 1900s and are significant to the City of Logan, Cache Valley, and the State of Utah. A variety of structures make up the district, including commercial, residential and institutional buildings. There are approximately 500 buildings within the boundaries of the district, 350 of which are considered contributory structures, meaning they are eligible and/or significant to the Historic District, built within the historic period and retain integrity.**

**The CS Overlay establishes zoning standards which are consistent with the qualities and national historic designation of the residential properties within the historic district. It applies to properties shown on the Logan Zoning Map as NRCS.**

**The NRCS Zone establishes land use, density, site standards, setbacks, parking, building form, building appearance and similar standards. These regulations work in combination with Chapter 17.28, the Historic District Overlay, which addresses special design review procedures, definitions and criteria for properties within the Historic District.**

**The CS Overlay district is characterized by:**  
**Beautiful and varied historic architecture**  
**Distinctive front porches and entryways**  
**Varied roof lines and pitches**  
**Historic window types**  
**Front doors that are focal points of the homes**  
**Variety in exterior materials**  
**Detached garages**  
**Fine-grained architectural detailing**  
**Generous front setbacks where landscaping is maximized and fences and driveways are minimized**  
**Large street trees and extensive tree canopies**

**NROC, Neighborhood Residential Outer Core**  
**Situated just outside the core neighborhoods, the NROC Zone is primarily comprised of the northernmost area of the Adams neighborhood, and the northern and southernmost areas of the**



17.12: Neighborhood Residential Zones

~~Ellis neighborhood. The area is primarily single-family homes built between the 1960's and 1980's. The Outer Core Neighborhood development regulations are intended to:~~

- ~~Provide an architectural transition between Logan's historic, inner core neighborhoods and Logan's more recently developed outlying areas;~~
- ~~Preserve and enhance established development patterns and forms, where most residences are oriented along block perimeters and development of interior block areas is controlled for compatibility with established residences;~~
- ~~Continue the detached, single-family character of these areas, while allowing infill development that is consistent with the neighborhoods' existing forms;~~
- ~~Prevent the illegal conversion of single-family dwellings to other uses;~~
- ~~Promote housing options by allowing a mixture of medium density residential uses in designated areas;~~
- ~~Promote transportation efficiency by allowing small-scale, neighborhood-serving commercial services in designated areas;~~
- ~~Allow for neighborhood-oriented institutional uses, such as schools, parks, religious institutions and similar uses.~~



17.12: Neighborhood Residential Zones

**NRE, Neighborhood Residential Eastside**

**The purpose of this zone is to provide for single-family residential uses consistent with the form and character of Logan's Eastside Neighborhoods. The predominant development forms are one-to-two-story single-family homes on medium to large size lots. Dwellings include both traditional bungalows and ranch-style homes and contemporary interpretations of these styles.**

**The intent of the Eastside Neighborhoods regulations is to: Provide an architectural transition between Logan's Outer Core Neighborhoods and hillside neighborhoods; Continue the established development patterns and forms, where most residences are oriented along block perimeters and development of interior block areas is controlled for compatibility with established residences; Promote housing options by allowing a mixture of medium density residential uses in designated areas; Allow for neighborhood-oriented institutional uses, such as schools, parks, religious institutions and similar uses.**



## 17.12: Neighborhood Residential Zones

**NRW, Neighborhood Residential Westside**

The NRW Zone southwest Logan began developing in the 1980s and is comprised primarily of single-family detached homes. The predominant development forms are one- to two-story single-family homes on medium to large-size lots. Dwellings include both traditional bungalows and ranch style homes and contemporary interpretations of these styles. The NRW Zone regulations encourage diversity in new housing forms and sizes, consistent with a single-family character. The regulations also require street and pedestrian connectivity.

The West Side Neighborhood development regulations are intended to:

- Provide an architectural transition between Logan's Outer Core Neighborhoods and new development;
- Continue established development patterns and forms where most residences are oriented along block perimeters and development of interior block areas is controlled for compatibility with established residences;
- Promote housing options by allowing a mixture of medium density residential uses in designated areas;
- Promote transportation efficiency by allowing small-scale, neighborhood-serving commercial services in designated areas;
- Allow for neighborhood-oriented institutional uses, such as schools, parks, religious institutions and similar uses.



**§17.12.040 Neighborhood Residential (NR-2)**

The purpose of this zone is to provide for single-family residential uses consistent with the form and character of Logan's Eastside and Westside Neighborhoods. The predominant development forms are one- to two-story single family homes on larger lots, typically one or two units per acre. Dwellings include a variety of architectural styles.

The Neighborhood Residential (NR-2) zone includes existing and future residential neighborhoods on the east benches of Logan where topography is a natural constraint to dense residential development as well as the western side of the City where a variety of environmental constraints and lifestyle choices contribute to a preference for larger lots.

The N-2 development regulations are intended to:

- Provide for low density residential development sensitive to unique environmental site conditions;
- Provide for lower density development where warranted due to existing development patterns and neighborhood desires;
- Allow for neighborhood-oriented institutional uses, such as schools, parks, religious institutions and similar uses;
- Continue the detached, single-family character of these areas; and
- Accommodate development patterns that average two (2) dwelling units per acre.



17.12: Neighborhood Residential Zones**§17.12.050 Neighborhood Residential (NR-4)**

The purpose of this zone is to provide for single-family residential uses consistent with the form and character of Logan's established neighborhoods. The predominant development forms are one- to two-story single family homes on medium size lots. Dwellings include a wide variety of architectural styles.

The Neighborhood Residential (NR-4) development regulations encourage diversity in new housing forms and sizes, especially on the interior of existing blocks, consistent with the surrounding single family character, lot sizes, and densities, and in newer subdivisions where the preference is for larger lots. The regulations encourage street and pedestrian connectivity both within and among new and existing subdivisions.

The NR-4 development regulations are intended to:

- Provide an architectural and density transition between Logan's developed neighborhoods and new development;
- Continue established development patterns and forms where most residences are oriented along block perimeters and development of interior block areas is controlled for compatibility with established residences;
- Promote transportation efficiency by developing an interconnected "complete" streets networks that conveniently and safely connects schools, religious institutions, parks and recreational amenities to surrounding residential neighborhoods;
- Promote the infill of block interiors at a lower density to ensure neighborhood compatibility with existing development;
- Provide a range of lot sizes and housing choices that are attractive and affordable for families; and
- Accommodate development patterns that average four (4) dwelling units per acre.



**§17.12.060 Neighborhood Residential (NR-6)**

This zone includes Logan's most established historic residential areas and their surrounding neighborhoods in Adams, Bridger, Ellis and Wilson. The area is primarily comprised of small, single-family brick homes built between 1940 and 1980 with front stoops, exposed basements, single-car driveways and detached garages. The older neighborhoods largely reflect Logan's historic Plat of Zion. The square blocks, wide park strips and mature street trees are signature elements of this zone.

The NR-6 development regulations are intended to:

- Preserve and enhance historic development patterns and forms, where most residences are oriented along block perimeters and development of interior block areas is controlled for compatibility with established residences;
- Continue the detached, single-family character of these areas, while allowing infill development that is consistent with the neighborhoods' existing forms;
- Promote the infill of block interiors at a lower density to ensure neighborhood compatibility with existing development;
- Promote the rehabilitation of the existing housing stock in order to encourage stability in existing neighborhoods;
- Allow for neighborhood-oriented institutional uses, such as schools, parks, religious institutions and similar uses; and
- Accommodate development patterns that average six (6) dwelling units per acre.



17.12: Neighborhood Residential Zones**§17.12.070 Mixed Residential Transitional (MR-9)**

The purpose of this zone is to promote dense residential developments adjacent to the city center, areas of employment, areas of commerce, or other areas where dense, residential housing is preferred such as retirement housing and where it is compatible with existing development patterns.

This zoning district will promote a dense pattern of housing development while encouraging detached and certain attached styles of housing on smaller lots suitable for all stages of life and levels of income. The goal is to encourage stable neighborhoods at a level of density and design that promotes a sense of community, is accessible to various services, and promotes walkability. This zone will provide a transition between denser multi-family residential or commercial areas and established single family residential neighborhoods.

The MR-9 development regulations are intended to:

- Provide a transition between areas of commerce or multi-family residential projects and Logan's established neighborhoods;
- Encourage innovate design and development patterns promoting a walkable, pedestrian friendly design catering to a sense of community;
- Promote both the detached, single-family character and limited attached housing that meets the needs of a wide range of residents while ensuring new development is consistent with existing neighborhoods;
- Promote development that provides housing choices for seniors where the preference is on small lots and single level living;
- Allow for neighborhood-oriented institutional uses, such as schools, parks, religious institutions and similar uses;
- Encourages clustering of development to protect important open spaces; and
- Accommodates a variety of lot sizes and structure types averaging nine (9) units per acre.



17.12: Neighborhood Residential Zones**§17.12.080 Mixed Residential Low (MR-12)**

The Mixed Residential Low Zone (MR-12) provides a range of housing options for all stages of life and levels of income-including students, single adults, both young and mature families, and senior citizens. New developments will include a diversity of housing types to meet these needs.

MR-12 areas are located near employment centers and service areas allowing residents to be within walking distance of many services and/or jobs, and where transportation choices are (or will be) available. This density functions as an appropriate transition between established residential areas and commercial centers or higher density complexes.

Structures in this zone will range from townhouses to apartments developed at 12 dwelling units per acre. All new and infill developments will have a mix of housing types avoiding repetitious rows of the same size houses, same floor plans, and same lot size.

The MR-12 development regulations are intended to:

- Promote a variety of housing styles and types;
- Promote infill development compatible with surrounding land uses;
- Encourage this level of density as a transition between core neighborhoods and dense, multi-family projects or commercial areas; and
- Encourage innovate design and development patterns promoting a walkable, pedestrian friendly design catering to a sense of community.



17.12: Neighborhood Residential Zones**§17.12.090 Mixed Residential Medium (MRM - 20)**

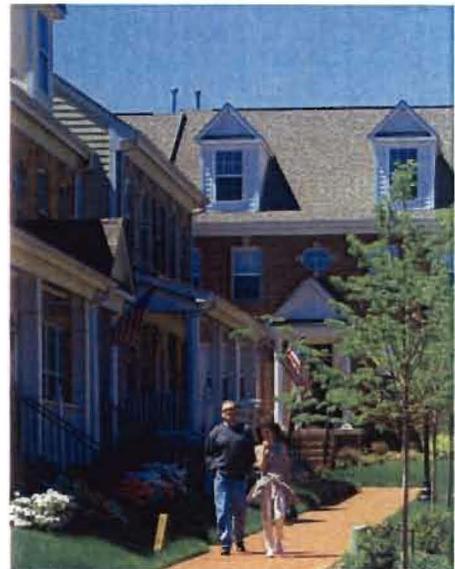
The Mixed Residential Medium Zone (MR-20) provides a range of housing options for all stages of life and levels of income-including students, single adults, both young and mature families, and senior citizens. New developments will include a diversity of housing types to meet these needs. High quality design and an emphasis on site amenities will be important in this zone to ensure neighborhood compatibility and guarantee lasting community values.

MR-20 areas are located near employment centers and service areas allowing residents to be within walking distance of many services and/or jobs, and where transportation choices are (or will be) available. This form of housing contributes to the efficient, sustainable development of the city, which preserves the open lands surrounding Logan and minimizes traffic congestion.

Structures in this zone will include a mixture of housing types and ownership patterns including a variety of townhouses and apartments developed at 20 dwelling units per acre. All new and infill development will contain a mix of housing types avoiding repetitious rows of the same size houses, same floor plans, and same lot size thereby providing visual interest to the City.

The MR-20 development regulations are intended to:

- Promote dense housing near employment centers and service areas;
- Encourage innovate design and development patterns promoting a walkable, pedestrian friendly design catering to a sense of community; and
- Encourage innovate design and development patterns promoting a walkable, pedestrian friendly design catering to a sense of community.



## 17.12: Neighborhood Residential Zones

**§17.12.100 Mixed Residential High (MR - 30)**

The Mixed Residential High (MR-30) Zone provides a range of housing options for all stages of life and levels of income—including students, single adults, both young and mature families, and senior citizens. New developments will include a diversity of housing types to meet these needs.

High quality building design and materials will be required as well as usable open space and adequate parking. Traditional design features such as building entrances that face the street, screened parking, street trees, site amenities and parking terraces will be associated with these developments. High quality will be emphasized to ensure neighborhood compatibility and guarantee lasting community values

Structures in this zone will include a mixture of housing types including a variety of townhouses, apartments and stacked housing developed at 30 dwelling units per acre. Development will avoid repetitious rows of the same design, same size houses, and same floor plans thereby providing visual interest to the City.

MR-30 areas are located near employment centers and service areas allowing residents to be within walking distance of many services and/or jobs, and where transportation choices are (or will be) available. This form of housing contributes to efficient, sustainable development of the city, which preserves the open lands surrounding Logan and minimizes traffic congestion. Live/work centers are encouraged in this specific zoning category where appropriate and consistent with surrounding development patterns.

The MR-30 development regulations are intended to:

- Promote a variety of housing styles and types;
- Encourage dense development near USU, employment and service centers;
- Encourage innovative design and development patterns promoting a walkable, pedestrian friendly design catering to a sense of community; and
- Encourage innovative design and development patterns promoting a walkable, pedestrian friendly design catering to a sense of community.



**§17.12.110 Campus Residential (CR-40)**

The CR Zone is located adjacent to large educational centers such as Utah State University. This designation permits the highest density residential development in the city and is intended to relieve the student housing pressure on traditional single-family neighborhoods, especially in the core areas.

CR developments may develop at a maximum density of 40 dwelling units per acre. High quality building design and materials will be required as well as usable open space and adequate parking. Traditional design features such as building entrances that face the street, street trees, screened parking and parking terraces will be associated with these developments.

Ground floor commercial uses serving the resident population is an important component of the Campus Residential zone, and are encouraged provided they do not negatively impact adjoining residential uses.

The Campus Residential development regulations are intended to:

- Promote student housing near USU to alleviate housing demands in adjoining neighborhoods;
- Encourage innovate design and development patterns promoting a walkable, pedestrian friendly design catering to a sense of community; and
- Promote limited commercial uses serving the resident population consistent with surrounding neighborhoods.

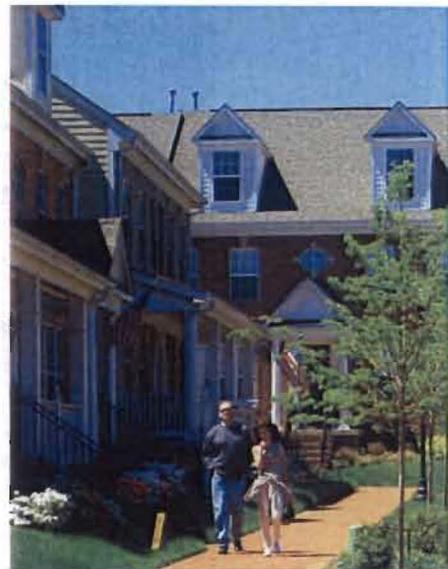


17.12: Neighborhood Residential Zones

**§17.12.050 — MRM, Mixed Residential Medium**

**The MRM Zone provides a range of housing options for all stages of life and levels of income including students, single adults, both young and mature families, and senior citizens. New developments will include a diversity of housing types to meet these needs. MRM areas are located near employment centers and service areas—allowing residents to be within walking distance of many services and/or jobs—and where transportation choices are (or will be) available. This form of housing contributes to efficient, sustainable development of the city, which preserves the open lands surrounding Logan and minimizes traffic congestion.**

**Structures in this zone will range from single-family homes to townhouses and apartments developed at 9-11 dwelling units per acre. All new and infill development will have a mix of housing types avoiding repetitious rows of the same size houses, same floor plans, and same lot size. All new residential developments must create a traditional neighborhood character with the entrances of homes oriented towards public streets, garages setback behind the front façade of the home, and street trees and front porches that dominate the view down the street. Streets will be laid out similarly to the traditional block pattern that is present in the older districts of Logan.**



17.12: Neighborhood Residential Zones**§17.12.060—MRH, Mixed Residential High**

**The MRH Zone provides a range of housing options for all stages of life and levels of income including students, single adults, both young and mature families, and senior citizens. New developments will include a diversity of housing types to meet these needs. MRH areas are located near employment centers, service areas—allowing residents to be within walking distance of many services and/or jobs—and where transportation choices are (or will be) available. This form of housing contributes to efficient, sustainable development of the city, which preserves the open lands surrounding Logan and minimizes traffic congestion.**

**Structures in this zone will range from small single-family detached structure types to townhouses and apartments developed at 11-20 dwelling units per acre. All new and infill development will have a mix of housing types avoiding repetitious rows of same size houses, same floor plans, and same lot size. All new residential developments must create a traditional neighborhood character with the entrances of dwellings oriented towards public streets and open space, garages placed out of public view, and street. Streets will be laid out similarly to the traditional block pattern that is present in the older districts of Logan.**



17.12: Neighborhood Residential Zones

**§17.12.070 — CR, Campus Residential**

**The CR Zone is adjacent to large educational and employment centers. This designation permits the highest density residential development in the city. The largest of the CR districts is located next to Utah State University where it is intended to relieve the student housing pressure on traditional single-family neighborhoods.**

**CR developments may develop at a density between 15 and 40 dwelling units per acre. High quality building design and materials will be required as well as usable open space and adequate parking. Traditional design features such as building entrances that face the street, screened parking, street trees, and parking terraces will be associated with these developments.**

**Note: Density bonus is given for added ground-floor commercial uses to serve the student population. See Table 17.13.040 for uses permitted in the CR Zone.**



**§17.12.080120 Neighborhood Center (NC)**

The NC Zone is intended to provide a modest level of convenience-oriented commercial services to their surrounding neighborhoods. Neighborhood Centers are comprised of low-intensity retail (and/or service) business and mixed uses that primarily serve residents and employees within a five minute walk. Neighborhood Center development may occur in and adjacent to residential areas so long as it is compatible with, and makes a smooth transition to, the surrounding neighborhood.

NC development will be pedestrian-oriented. They will create a traditional neighborhood character with the entrances of structures facing public streets, screened parking, and street trees that dominate the street scene.

A request for the Neighborhood Center zoning designation shall ~~require a Neighborhood Open House~~ include a Concept Site Plan and a market analysis ~~which provides to include~~ an analysis of supportable retail space that verifies demand for commercial uses as a Neighborhood Center. The applicant shall use a concept site plan and other visual techniques to portray project designs.

~~The City will provide the applicant with a mailing list of owners of property within 300 feet of the project's location.~~

~~The applicant shall mail open house notices, and post a legible sign near the adjacent public right of way at least fourteen (14) days prior to the date of the open house. The sign shall be four (4) square feet in area and four (4) feet in height. The sign shall include the time, date and location of the open house, a brief project description, and contact information. The applicant shall incorporate community input from the neighborhood open house into their plans. Neighborhood input not incorporated into the plans shall be documented and evaluated by the decision makers prior to the rezone decision.~~

Neighborhood Centers shall be limited to parcels located at least ¼ mile away from other Neighborhood Centers and commercially zoned properties. Pedestrian barriers conflicting with neighborhood walkability, ~~which include 400 North from Main Street to 600 East and the upper bluff east of 600 East~~ shall be exempt from the ¼ mile setback requirement.

Qualifying historic non-residential buildings that are restored and zoned Historic Landmark Overlay in accordance with 17.26 will also be exempt from the ¼ mile setback. Ground floor (building(s) footprint) commercial areas shall be limited



to 3,000 square feet per parcel within the Neighbor Center and the City may authorize up to 5,000 square feet per parcel within the Neighborhood Center with a Conditional Use Permit.

17.12: Neighborhood Residential Zones

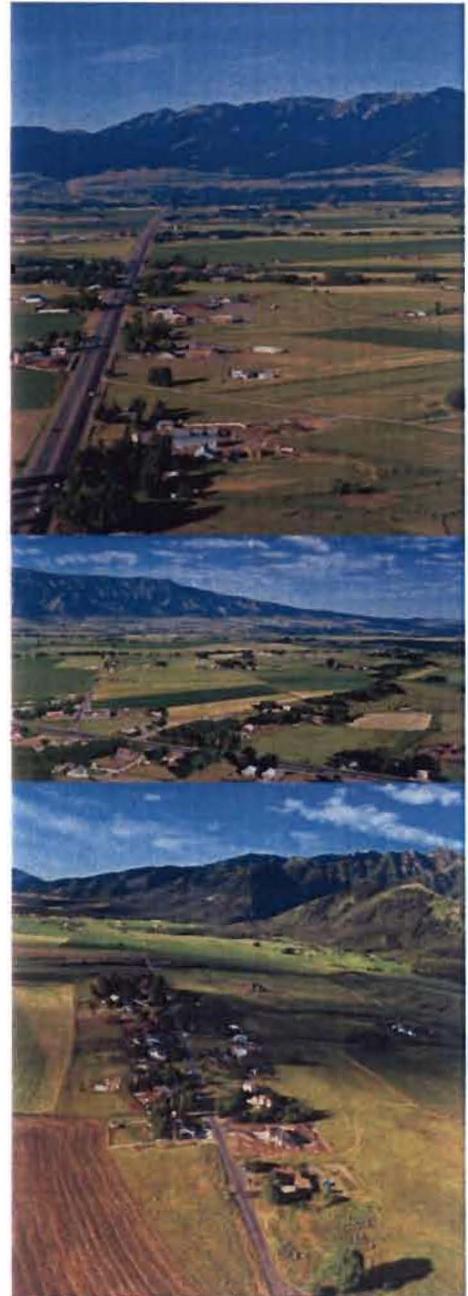


**§17.12.090 — RR, Rural Reserve**

**The purpose of the RR Zone is to provide a rural separation between the City of Logan and other incorporated communities and to provide a measure of protection for the rural environment of the rural, outlying areas of the city. The RR designation is placed on land that is suitable for low density development and which preserves significant portions in agricultural or open space use. Much of the land in this zone contains agricultural soils of state and national significance.**

**The physical development of land and future transportation corridors in the Rural Reserve Area will be determined by an adopted Specific Plan for the area. The Specific Plan shall be conducted by the City, recommended by the Planning Commission and adopted by the Municipal Council. Only existing uses may continue and only agricultural uses may be expanded until adoption of a Specific Plan.**

**Development in this zone will be required to preserve, to a large extent, the agricultural and natural character. New residential development shall avoid critical lands. Development will group buildings and/or lots to minimize intrusion into critical lands. All development must be clustered and will minimize impacts on existing agricultural and/or rural residential properties. Where this zone is adjacent to existing arterial roadways, vehicular access points will be extremely limited and development will be required to be clustered to preserve open space. Frontage with access along arterials is prohibited.**



**§17.12.100-120 RC, Resource Conservation**

The RC Zone includes lands protected from development ~~such as , except in very limited circumstances. The RC includes~~ highly productive agricultural lands, areas of high visual value (i.e. views and view corridors), and critical environmental resources. The RC possesses land that has critical development hazards such as high liquefaction potential, high water table, floodplains, wetlands, etc.- Much of the land within this zone ~~are is~~ characterized by high value wetlands. They are lands that give a unique identity to the areas as well as lands that support natural functions essential to the sustainability, health, safety, and welfare of our community.

The RC zone will also function, in a limited context, as a holding zone for those lands annexed but not yet planned for future development consistent with City standards for residential and commercial projects.

~~The physical development of land and future transportation corridors in the Resource Conservation zone will be determined by an adopted Specific Plan for the area. The Specific Plan shall be conducted by the City, recommended by the Planning Commission and adopted by the Municipal Council. Only existing uses may continue. Agricultural uses may be expanded until adoption of a Specific Plan. Where limited new development is demonstrated by the Specific Plan to be justified, only compact clusters of buildings and lots will be required to further maximize resource preservation.~~

The RC Zone will also function as a repository zone for all land platted- as open space or critical lands held in any type of ownership, including conservation easements, where development rights have been acquired. Uses allowed on these lands must be consistent with uses in adjacent, undeveloped areas and environmental constraints.

**§17.12.110-130 MH, Mobile Home**

The MH zoning district is intended to accommodate existing mobile home parks. Mobile home parks are developments in which the resident may own or rent the mobile home, but rents the land on which the mobile home is located. New mobile home parks are not permitted. Densities shall not exceed six (6) units per acre and the minimum lot size shall be 6,000 square feet. Site development shall be consistent with original project approvals.

## Chapter 17.13: Neighborhood Residential Zone Uses

### §17.13.010 Purpose

Chapter 17.13 sets forth the types of land uses permitted and conditionally permitted within Logan's Neighborhoods, consistent with Logan's Future Land Use Map.

### §17.13.020 Neighborhood Residential Land Use: Classification

- A. Primary Uses. Land use shall conform to the designations in Tables 17.13.030 (Structure Type) and Table 17.13.040 (Land Use). Land uses are designated as follows:
1. Permitted Uses. A "P" indicates that a use is allowed in the respective zoning district. Permitted uses must conform to the applicable requirements of the Land Development Code. Permitted uses requiring a public hearing are subject to the Procedures for Processing Applications contained in Chapter 17.55.
  2. Conditional Uses. A "C" indicates that a use is allowed as a Conditional Use in the respective zoning district. Conditional uses are subject to review and approval under the provisions of Chapter 17.49, Conditional Use Permits, and the Procedures for Processing Applications contained in Chapter 17.55.
  3. Uses Not Allowed. An "N" indicates that a use is not allowed in the respective zoning district, except where State or Federal law otherwise preempts local land use regulation.
- B. Accessory Uses and Structures. An accessory use or structure may be permitted in compliance with the applicable provisions of the zone in which it is located. An accessory use shall not commence and no accessory structure shall be constructed without a primary use first being lawfully established on the subject site. Additional regulations apply to Home Occupations (See Chapter 17.43).
- C. Temporary Uses. Temporary uses may be permitted for a period not to exceed twelve (12) calendar months in compliance with the provisions of the zone in which it is located and the provisions of Chapter 17.60. The procedures for review and approval of a temporary use are the same as for a permanent use; however, the reviewing authority may waive certain Land Development Code standards, and impose conditions of approval on the temporary use, as it deems necessary, to promote compatibility between the proposed use and adjacent permitted uses.
- D. Non-Conforming Uses. Non-conforming uses and development are subject to the provisions of Chapter 17.59.

17.13: Neighborhood Residential Zone Uses

§17.13.030 Neighborhood Residential Structure Types

Table 17.13.030 lists the residential structure types allowed in Neighborhood residential zones. The structure types listed in the table are defined in Chapter 17.62. A “P” means the structure type is permitted, “C” means the structure type is permitted with a conditional use permit, and “N” means the structure type is not permitted. –and the uses permitted in the structures are listed in Section 17.13.040.

Table 17.13.030: Residential Structure Types Allowed in Residential Districts

Type of Residential Structure	Residential Zoning Districts											
	<u>NRC</u> <u>NR-2</u>	<u>NRCS</u> <u>NR-2</u>	<u>NROC</u> <u>NR-6</u>	<u>NRE</u> <u>MR-9</u>	<u>NRW</u> <u>MR-12</u>	<u>MRM</u> <u>MR-20</u>	<u>MRII</u> <u>MR-30</u>	CR	NC	RR	RC	GE <sup>1</sup>
<u>Courtyard house, attached</u>	N	N	N	P	P	P	P	P	N		N	
<u>Courtyard house, detached</u>	N	N	P	P	P	P	P	P	N		N	
<u>Front yard house, attached</u>	N	N	N	P	P	P	P	P	N		N	
<u>Front yard house, detached</u>	P	P	P	P	P	P	P	P	N		P	
<u>Live work</u>	N	N	N	N	N	N	C	C	C		N	
<u>Multi-dwelling, attached</u>	N	N	N	N	P	P	P	P	N		N	
<u>Multi-dwelling, stacked</u>	N	N	N	N	N	P	P	P	N		N	
<u>Manufactured housing unit</u>	C	C	C	C	C	C	C	C	N		C	
<u>Twinhome (Duplex)</u>	N	N	N	P	P	P	P	P	N		N	
<u>Town House</u>	N	N	N	C	P	P	P	P	N		N	
<u>Front yard house, detached</u>	P	P	P	P	P	P	N	N	N	P	P	P
<u>Front yard house, attached</u>	N	N	N	N	N	P	P	N	N	N	N	N
<u>Town House</u>	N	N	N	N	N	P	P	P	N	N	N	P
<u>Multi-dwelling, attached</u>	N	N	N	N	N	P	P	P	N	N	N	P
<u>Courtyard house, detached</u>	N	N	P	P	P	P	P	P	N	N	N	P
<u>Courtyard house, attached</u>	N	N	N	N	N	P	P	P	N	N	N	P
<u>Manufactured housing unit</u>	C	C	C	C	C	C	C	C	N	C	C	C

17.13: Neighborhood Residential Zone Uses

Multi-dwelling, stacked	N	N	N	N	N	P	P	P	N	N	N	P
Twinhome	N	N	N	N	N	P	P	P	N	N	N	P
Live-work	N	N	N	N	N	N	P	P	P	N	N	P
Neighborhood Center	N	N	N	N	N	N	C	P	P	N	N	P

"P" means the residential structure type is permitted in the zoning district. "C" means the structure type is subject to the conditional use standards in Chapter 17.49. All structures in Neighborhood zones are subject to the All Neighborhoods standards in Chapter 17.14.

<sup>1</sup>Subject to Overlay Zone adoption and the limitations imposed by the Specific Plan for the area.

**A. Front Yard House, Detached**



"Front Yard House, Detached" means a dwelling unit located on its own lot that is not attached to any other dwelling unit. A front yard house is accessed through the front yard.

**B. Front Yard House, Attached**

"Front Yard House, Attached" means two or more dwelling units located on a lot. A Front Yard House Attached has only one entrance facing a street.



**C. Town House**

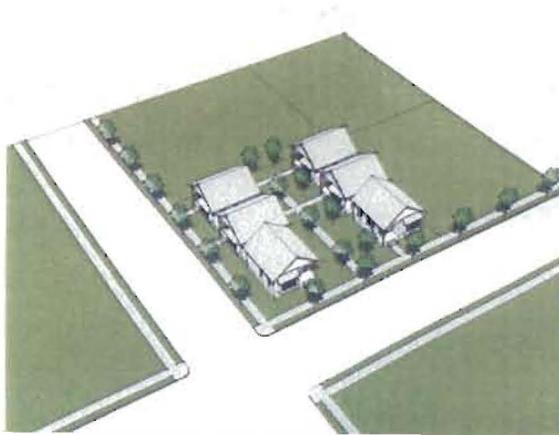
“Townhouse” means a dwelling unit, located on its own lot that shares one or more common or abutting walls with one or more dwelling units, and is accessed through a front yard. A townhouse does not share common floor/ceilings with other dwelling units. A townhouse is also called an “attached house/home” or “a townhome.”

**D. Multi-dwelling, Attached**



“Multi-dwelling, Attached” means a structure that contains two, three, or four dwelling units on one lot. The units may share common walls or common floor/ceilings.

**E. Courtyard House, Detached**



~~“Courtyard House, Detached” means more than one detached house arranged around a shared courtyard, with pedestrian access to the building entrances from the courtyard and/or street. Courtyard houses may be on individual lots or all units on the same lot.~~

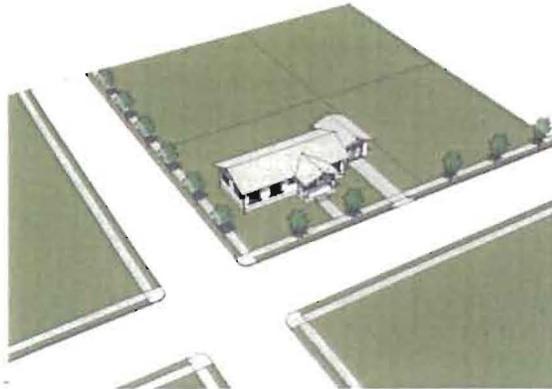
~~F. Courtyard House, Attached~~



~~“Courtyard House, Attached” means a group of attached dwelling units arranged to share one or more common courtyards. The dwelling units are accessed from the street and/or the courtyard.~~

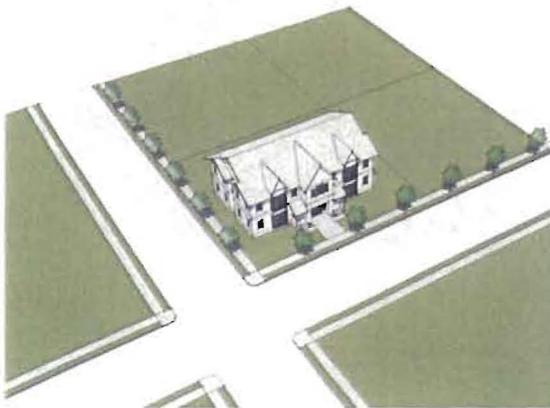
~~G. Manufactured Housing Unit~~

17.13: Neighborhood Residential Zone Uses



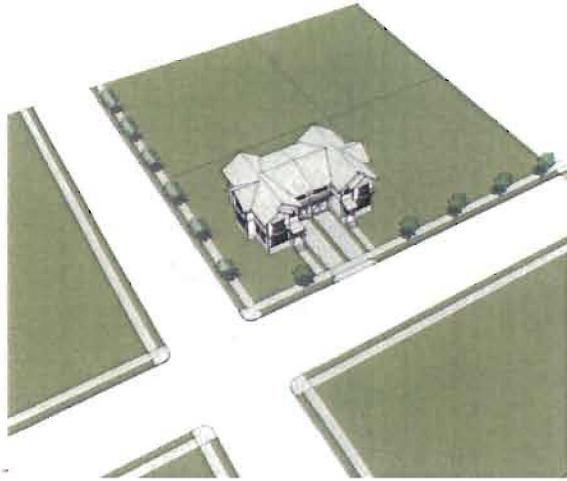
“Manufactured Housing Unit” means a dwelling unit constructed in accordance with federal manufactured housing construction and safety standards (HUD code) in effect after June 15, 1976. All manufactured homes shall comply with U.S. Department of Housing and Urban Development (HUD) federal Manufactured Home Construction and Safety Standards (MHCSS) and installed on a permanent foundation in conformance with applicable building codes and state law.

H. Multi-Dwelling, Stacked



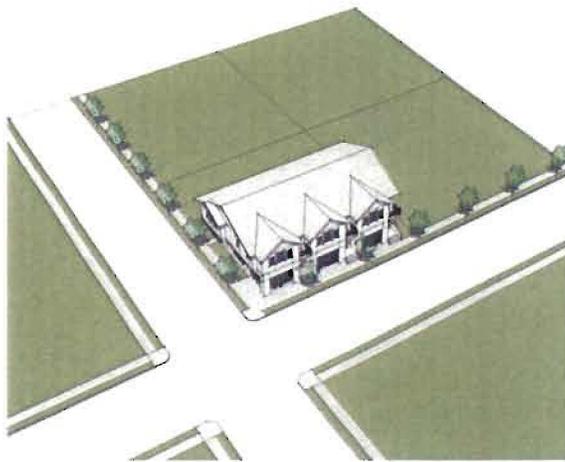
“Multi-Dwelling Stacked” means a structure that contains five or more dwelling units that share common walls or floor/ceilings with one or more units. The land underneath the structure is not divided into separate lots. Multi-dwellings include structures commonly called apartments and condominiums.

I. Twinhome

17.13: Neighborhood Residential Zone Uses

“Twinhome” means a structure that contains two dwelling units with common walls or abutting walls, each located on its own lot. Twinhomes are often created by subdividing a single duplex into two separate lots, each of which contains one dwelling unit. A Twinhome is an “Attached house.”

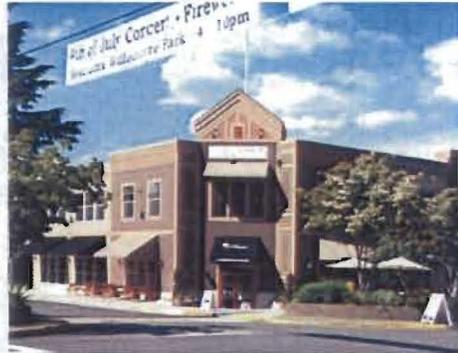
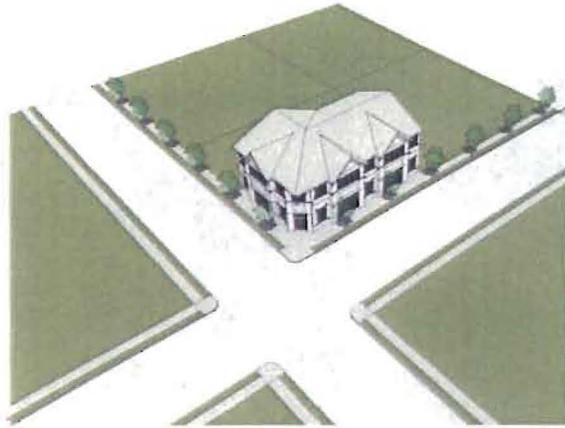
#### J.—Live Work



“Live Work” means an integrated dwelling unit and working space, occupied and utilized by households in the dwelling above the working space in the structure. The structure has been designed or structurally modified to accommodate joint residential occupancy and work activity at the ground floor.

#### K.—Neighborhood Center

17.13: Neighborhood Residential Zone Uses



**“Neighborhood Center” means a building designed for occupancy by retail, service, and/or accessory office uses on the ground floor, with upper floors also configured for those uses or for dwelling units.**

17.13: Neighborhood Residential Zone Uses

§17.13.040 Neighborhood Residential Land Uses

The following regulations are intended to accommodate a variety of housing choices and neighborhood-oriented services, ~~consistent with the Logan General Plan.~~ With the exception of the Manufactured Home (MH) districts, Table 17.13.040 lists the land uses allowed in all neighborhood residential Neighborhood zones. ~~The uses listed in Table 17.13.040 are defined and examples are provided in Chapters 17.06 through 17.10.~~

**Table 17.13.040: Allowed Uses in Neighborhood Residential Zones**

Category	Description (Footnote)	Neighborhood Zones										
		NRG	NRCS	NROC	NRE	NRW	MRM	MRH	CR <sup>2</sup>	NC	RR	RC
<b>Residential Uses</b>												
<b>Group Living</b> Refer to §17.06.010	Assisted Living Center	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	P	P	P <sup>1</sup>	N	N	N
	Nursing Home, Convalescent Home	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	P	P	N	N	N	N
	Caregiver, Certified NA or CA <sup>4</sup>	P	P	P	P	P	P	P	P <sup>1</sup>	C <sup>1</sup>	P	P
	Care, training, or treatment IS provided on site where the occupancy of a structure exceeds the maximum occupancy allowed by the base zoning district.	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	C	C	C	N	N <sup>3</sup>	N
	Care, training, or treatment IS NOT provided on site where the occupancy of a structure exceeds the maximum occupancy allowed by the base zoning district.	C	C	C	C	C	C	C	C	N	C	N
	Dormitories, Fraternities, Sororities	N	N	N	N	N	N	N	P <sup>1</sup>	N	N	N
<b>Household Living</b> Refer to §17.06.020	Residential occupancy of a dwelling unit by a family, or no more than three (3) unrelated adults.											
	Occupancy of no more than six (6) unrelated adults, not to exceed two (2) persons per bedroom, is permitted only in the CR Zone. See also, Table 17.13.030.	P	P	P	P	P	P	P	P <sup>1</sup>	C <sup>1</sup>	P	P

<sup>1</sup> - A Conditional Use Permit is required for commercial square footages exceeding 3,000 in ground floor area.

<sup>2</sup> - No more than 25% of the first floor area may be permitted as a non-residential use on the ground floor only.

<sup>3</sup> - Indicates use may be allowed where State or Federal law preempts local zoning.

<sup>4</sup> - Caregiver may be one of three unrelated or may be considered one additional member of a family. Caregivers may not have a separate dwelling unit.

17.13: Neighborhood Residential Zone Uses

Category	Description (Except)	Neighborhood Zones										
		NRC	NRCs	NROC	NRE	NRW	MRM	MRH	CR <sup>1</sup>	NC	RR	RC
<b>Institutional-Uses</b>												
<b>College, University, Technical</b> Refer to §17.07.010	Colleges and other institutions of higher learning that offer courses of general or specialized study leading to a degree	N	N	N	N	N	N	N	P <sup>1</sup>	N	N	N
	Trade, vocational, or commercial schools	N	N	N	N	N	N	N	N	N	N	N
<b>Community Services</b> Refer to §17.07.020	Uses of a public, nonprofit, or charitable nature generally providing a local service to people of the community	N	N	N	N	N	C	C	C	N	N	N
<b>Family Day Care/ Preschool (1-8 Clients)</b> Refer to §17.07.030	Uses providing care, protection and supervision for children or adults on a regular basis away from their primary residence for less than 24 hours per day. For more than 24 hour care, a Conditional Use permit is required for both categories	P	P	P	P	P	P	P	P <sup>1</sup>	C <sup>1</sup>	C	C
<b>Family Group Day Care/ Preschool (9-16 clients)</b> §17.07.030		C	C	C	C	C	C	C	C	C <sup>1</sup>	N	N
<b>Commercial Day Care</b> §17.07.040	17 or more clients	N	N	N	N	N	N	N	N	N	N	N
<b>Hospital</b> Refer to §17.07.050	Uses providing medical or surgical care to patients and offering overnight care	N	N	N	N	N	N	N	N	N	N	N
<b>Parks and Open Areas</b> Refer to §17.07.060	Uses of land focusing on natural areas, large areas consisting mostly of vegetative landscaping or outdoor recreation, community gardens, or public squares	P	P	P	P	P	P	P	P	C <sup>1</sup>	P	P
<b>Religious Institutions</b> Refer to §17.07.070	Uses providing meeting areas for religious activities	P	P	P	P	P	P	P	P	N	P	N
<b>Safety Service</b> Refer to §17.07.080	Uses that provide public safety and emergency response services	C	C	C	C	C	P	P	P	C <sup>1</sup>	P	P
<b>Schools</b> §17.07.090	Public schools at the elementary, middle, junior high, or high school level that provide state-mandated basic education	<b>State law supersedes local zoning regulations.</b>										
	Private schools at the elementary, middle, junior high, or high school level that provide state-mandated basic education	C	C	C	C	C	C	C	C	C	N	C

<sup>1</sup>-A Conditional Use Permit is required for commercial square footages exceeding 3,000 in ground floor area.

17.13: Neighborhood Residential Zone Uses

Category	Description (Excerpt)	Neighborhood Zones										
		NRC	NRCS	NRCC	NRE	NRW	MRM	MRH	CR <sup>2</sup>	NC	RR	RC
<b>Telecommunication Facilities</b> Refer to §17.07.100  NOTE: Logan City to Separate by type	Wireless Telecommunication Facilities: Commercial and private wireless telecommunication facilities, such as "cellular" or PCS (personal communications and paging facilities or others as regulated by Chapter 17.45	€	€	€	€	€	€	€	€	✗	€	✗
	Radio, television, or microwave towers	€	€	€	€	€	€	€	€	✗	€	€
	Amateur radio towers of 50' or less in height above the average elevation of the subject property	€	€	€	€	€	€	€	€	✗	€	€
	All other telecommunication facilities as defined by §17.10.100 and not regulated by Chapter 17.45	€	€	€	€	€	€	€	€	✗	€	€
<b>Utilities, basic service delivery and laterals</b> Refer to §17.07.110	Infrastructure services that need to be located in or near the area where the service is provided; physical facilities or structures that are more than thirty-six inches in height above ground surface or more than a four-square-foot footprint	€	€	€	€	€	€	€	€	✗	€	€
<b>Utilities, distribution network</b> §17.07.110	Neighborhood or area distribution network, above ground power lines of less than 120 kilovolts	€	€	€	€	€	€	€	€	✗	€	€
<b>Utilities, structures, physical facilities</b>	Regional, intracity, intercity, or interstate distribution lines; above ground power of 120 kilovolts or more; power distribution by a non-franchised power company; physical facilities or structures that are more than thirty-six inches in height above ground surface or more than a four-square-foot footprint.	€	€	€	€	€	€	€	€	✗	€	€
	Municipal water well, reservoir, or storage tank	€	€	€	€	€	€	€	€	✗	€	€
<b>Commercial Uses</b>												
<b>Entertainment Event, Major</b> §17.08.010	Activities and structures that draw large numbers of people to specific events or shows. Activities are generally of a spectator nature.	✗	✗	✗	✗	✗	✗	✗	✗	✗	✗	✗

17.13: Neighborhood Residential Zone Uses

Category	Description (Excerpt)	Neighborhood Zones										
		NRC	NRCS	NROC	NRE	NRW	MRM	MRH	CR <sup>1</sup>	NC	RR	RC
<b>Office</b> Refer to §17.08.020	Activities conducted in an office setting and generally focusing on business, government, professional, medical, or financial services	N	N	N	N	N	N	N	N <sup>1</sup>	N	N	N
	Bank, savings and loans, or credit union	N	N	N	N	N	N	N	R <sup>1</sup>	N	N	N
	Clinic, medical, dental, or optical	N	N	N	N	N	N	N	R <sup>1</sup>	N	N	N
	Laboratory, scientific or research	N	N	N	N	N	N	N	R <sup>1</sup>	N	N	N
	Wholesale office	N	N	N	N	N	N	N	N	N	N	N
<b>Accommodations Lodging, Bed and Breakfast</b> §17.08.030	Bed and breakfast: ten or fewer rooms and meal service limited to guests. Sleeping accommodations for transient occupancy	N	N	N	N	N	C	C	R <sup>1</sup>	N	N	N
	Hotel, Motel	N	N	N	N	N	N	N	N	N	N	N
<b>Parking, Commercial</b> §17.08.040	Facilities providing parking that is not accessory to a specific use; public or private	N	N	N	N	N	N	N	R	N	N	N
	Recreational vehicle and vehicle storage parking	N	N	N	N	N	N	N	N	N	N	N
	Truck storage, outdoor	N	N	N	N	N	N	N	N	N	N	N
<b>Recreation and Entertainment Outdoor facility</b> Refer to §17.08.050	Generally commercial uses that provide recreation or entertainment-oriented activities, primarily takes place outdoors	N	N	N	N	N	N	N	N	N	N	N
	Golf course	N	N	N	N	N	N	N	N	N	N	N
	RV Parks short-term occupancy (less than 30 calendar days)	N	N	N	N	N	N	N	N	N	N	N
	RV Parks long-term occupancy (more than 30 calendar days)	N	N	N	N	N	N	N	N	N	N	N
	Non-vehicle camping (tents) in RV Park	N	N	N	N	N	N	N	N	N	C	C
	Tent campground	N	N	N	N	N	N	N	N	N	N	N
	Miniature golf course and accessory recreation	N	N	N	N	N	N	N	N	N	N	N

<sup>1</sup> A Conditional Use Permit is required for commercial square footages exceeding 3,000 in ground floor area.

<sup>2</sup> No more than 25% of the first floor area may be permitted as a non-residential use on the ground floor only.

17.13: Neighborhood Residential Zone Uses

Category	Description (Excerpt)	Neighborhood Zones											
		NRC	NRC-S	NROC	NRE	NRW	MRM	MRH	CR <sup>2</sup>	NC	RR	RC	
<b>Sales and Service</b> Refer to §17.08.060	Firms involved in the sale, lease or rent of new or used products to the general public...they may also provide personal services or entertainment; or provide product repair or services for consumer and business goods	X	X	X	X	X	X	X	X	X <sup>1</sup>	X	X	X
	Sales and service, large, footprint greater than 100,000 sq. ft.	X	X	X	X	X	X	X	X	X	X	X	X
	Adult-oriented business	X	X	X	X	X	X	X	X	X	X	X	X
	Amusement, commercial indoor	X	X	X	X	X	X	X	X	X	X	X	X
	Animal clinic or pet hospital, no outdoor pens	X	X	X	X	X	X	X	X	X	X	X	X
	Animal clinic or pet hospital, with outdoor pens	X	X	X	X	X	X	X	X	X	X	X	X
	Antique or collectible shop	X	X	X	X	X	X	X	X	C <sup>1</sup>	X	X	X
	Art supply store	X	X	X	X	X	X	X	X	X <sup>1</sup>	X	X	X
	Barber or beauty shop	X	X	X	X	X	X	X	X	X <sup>1</sup>	C <sup>1</sup>	X	X
	Bakery or confectionery shop, retail sales	X	X	X	X	X	X	X	X	X <sup>1</sup>	C <sup>1</sup>	X	X
	Camera shop	X	X	X	X	X	X	X	X	X <sup>1</sup>	X	X	X
	Camping supply store in RY Park	X	X	X	X	X	X	X	X	X	X	X	X
	Carpet, retail	X	X	X	X	X	X	X	X	X	X	X	X
	Carpet, wholesale	X	X	X	X	X	X	X	X	X	X	X	X
	Carwash	X	X	X	X	X	X	X	X	X	X	X	X
	Clothing & Shoe	X	X	X	X	X	X	X	X	X <sup>1</sup>	C <sup>1</sup>	X	X
	Club, private	X	X	X	X	X	X	X	X	X	X	X	X
	Convenience Market (no gasoline)	X	X	X	X	X	X	X	C	X <sup>1</sup>	C <sup>1</sup>	X	X
	Copy Center	X	X	X	X	X	X	X	X	X <sup>1</sup>	X	X	X
	Dairy products or ice cream	X	X	X	X	X	X	X	C	X <sup>1</sup>	C <sup>1</sup>	X	X
Dancehall or nightclub	X	X	X	X	X	X	X	X	X	X	X	X	
Department or discount store	X	X	X	X	X	X	X	X	X	X	X	X	

<sup>1</sup>-A Conditional Use Permit is required for commercial square footages exceeding 3,000 in ground floor area.

17.13: Neighborhood Residential Zone Uses

Category	Description (Excerpt)	Neighborhood Zones											
		NRC	NRES	NROG	NRE	NRW	MRRM	MRH	CR <sup>1</sup>	NC	RR	RC	
	Drug store or pharmacy	X	X	X	X	X	X	X	X <sup>1</sup>	C <sup>1</sup>	X	X	
	Dry cleaner	X	X	X	X	X	X	C	X <sup>1</sup>	X	X	X	
	Florist shop	X	X	X	X	X	X	X	X <sup>1</sup>	C <sup>1</sup>	X	X	
	Furniture or appliance store	X	X	X	X	X	X	X	X	X	X	X	
	Garden shop, plant sales, nursery	X	X	X	X	X	X	X	X	C <sup>1</sup>	X	X	
	Grocery store	X	X	X	X	X	X	X	X	C <sup>1</sup>	X	X	
	Handicraft and art object sale	X	X	X	X	X	X	C	X <sup>1</sup>	C <sup>1</sup>	X	X	
	Hardware store	X	X	X	X	X	X	C	X	C <sup>1</sup>	X	X	
	Hobby shop	X	X	X	X	X	X	X	X <sup>1</sup>	C <sup>1</sup>	X	X	
Sales and Service Refer to §17.08.060 (Continued)	Kennel/Pet Hotel	X	X	X	X	X	X	X	X	X	X	X	
	Laundromat	X	X	X	X	X	X	C	X <sup>1</sup>	X	X	X	
	Locksmith or key shop	X	X	X	X	X	X	X	X	X	X	X	
	Maintenance or repair service for buildings	X	X	X	X	X	X	X	X	X	X	X	
	Medical supplies	X	X	X	X	X	X	X	X	X	X	X	
	Mortuary	X	X	X	X	X	X	X	X	X	X	X	
	Music store	X	X	X	X	X	X	X	X	X <sup>1</sup>	X	X	X
	Package liquor store <sup>2</sup>	State law supersedes local zoning regulations.											
	Paint sales	X	X	X	X	X	X	X	X	X	X	X	X
	Pawn shop	X	X	X	X	X	X	X	X	X	X	X	X
	Personal custom services such as milliner, tailor, etc.	X	X	X	X	X	X	C	X <sup>1</sup>	C <sup>1</sup>	X	X	
	Pet shop for small animals, bird, fish	X	X	X	X	X	X	X	X	X	X	X	X
	Plumbing shop	X	X	X	X	X	X	X	X	X	X	X	X
	Provisioning and recreational sporting goods sales	X	X	X	X	X	X	X	X	X <sup>1</sup>	X	X	X
	Radio or television transmitting stations, commercial	X	X	X	X	X	X	X	X	X	X	X	X
	Railroad or bus passenger station	X	X	X	X	X	X	X	X	X	X	X	X
Repair of appliances, TV, radios	X	X	X	X	X	X	X	X	X	X	X	X	

<sup>1</sup>-A Conditional Use Permit is required for commercial square footages exceeding 3,000 in ground floor area.

17.13: Neighborhood Residential Zone Uses

Category	Description (Excerpt)	Neighborhood Zones										
		NRC	NRCN	NROC	NRE	NRW	MRM	MRH	CR <sup>1</sup>	NC	RR	RC
	Restaurant, Brew	X	X	X	X	X	X	X	X	X	X	X
	Restaurant, Fast-Food	X	X	X	X	X	X	X	X <sup>1</sup>	X	X	X
	Restaurant, General	X	X	X	X	X	X	X	X <sup>1</sup>	C <sup>1</sup>	X	X
	Shoe, boot, or other leather goods repair	X	X	X	X	X	X	X	X	X	X	X
	Storage-warehouse	X	X	X	X	X	X	X	X	X	X	X
	Studio, health, exercise, massage, reducing or similar service	X	X	X	X	X	X	X	X <sup>1</sup>	C <sup>1</sup>	X	X
	Studio, photographer, artist, music, dance, and drama	X	X	X	X	X	X	X	X <sup>1</sup>	C <sup>1</sup>	X	X
	Tavern	X	X	X	X	X	X	X	X	X	X	X
	Tennis or swim club, private indoor	X	X	X	X	X	X	X	X	X	X	X
	Theaters	X	X	X	X	X	X	X	X	X	X	X
	Trailer and mobile home sales	X	X	X	X	X	X	X	X	X	X	X
	Vehicle parts sales, new or reconditioned, indoor	X	X	X	X	X	X	X	X	X	X	X
	Vehicle parts sales, used or reconditioned, outdoor	X	X	X	X	X	X	X	X	X	X	X
	Vehicle & Equipment sales & rental	X	X	X	X	X	X	X	X	X	X	X
	Welding or machine shop	X	X	X	X	X	X	X	X	X	X	X
<b>Storage, Self-Service</b> Refer to §17.08.070	Uses providing storage areas for individual or business uses	X	X	X	X	X	X	X	X	X	X	X
	Commercial storage unit	X	X	X	X	X	X	X	X	X	X	X
<b>Storage, Outdoor</b> Refer to §17.08.080	Non-retail or industrial trade, the storage of merchandise inventory, and the storage of bulk materials such as sand, gravel, and other building materials	X	X	X	X	X	X	X	X	X	X	X
<b>Vehicle Repair</b> Refer to §17.08.090	Service to passenger vehicles, light and medium trucks and other motor vehicles such as motorcycles, boats and recreational vehicles...generally, the customer does not wait at the site while the service or repair is being performed	X	X	X	X	X	X	X	X	X	X	X

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<sup>2</sup> - No more than 25% of the first floor area may be permitted as a non-residential use on the ground floor only.

17.13: Neighborhood Residential Zone Uses

Category	Description (Excerpt)	Neighborhood Zones										
		NRC	NRES	NROG	NRE	NRW	MRM	MRH	CR <sup>2</sup>	NC	RR	RC
<b>Vehicle Service</b> Refer to §17.08.100	Services to motor vehicles where the driver or passengers generally wait in the car or nearby while the service is performed	X	X	X	X	X	X	X	X	X	X	X
	Gasoline service station	X	X	X	X	X	X	X	X	X	X	X
	Gasoline, petroleum products storage (home heating exempt) (See Uniform Fire Code Section 7902)	X	X	X	X	X	X	X	X	X	X	X
	Electric charging facilities for vehicles (no petroleum) in conjunction with a primary use	X	X	X	X	X	C	C	X	X	X	X
	Truck Stop	X	X	X	X	X	X	X	X	X	X	X
<b>Industrial Uses</b>												
<b>Industrial Service</b> Refer to §17.09.010	Firms engaged in the repair or servicing of business or consumer machinery, equipment, products or by-products	X	X	X	X	X	X	X	X	X	X	X
	Industrial machinery storage, sales, repair	X	X	X	X	X	X	X	X	X	X	X
	Contractor supply store	X	X	X	X	X	X	X	X	X	X	X
	Contractor supply store with outdoor storage	X	X	X	X	X	X	X	X	X	X	X
<b>Manufacturing, Assembly, or Production</b> Refer to §17.09.020	Firms involved in the manufacturing, processing, fabrication, packaging, or assembly of goods	X	X	X	X	X	X	X	X	X	X	X
	Light manufacturing processes which do not emit detectable dust, odor, fumes, or gas beyond the boundary of the property of noises above the ambient level	X	X	X	X	X	X	X	X	X	X	X
<b>Warehouse, Freight Movement</b> Refer to §17.09.030	Firms involved in the storage, or movement of goods for themselves or other firms	X	X	X	X	X	X	X	X	X	X	X
	Contractors storage yard of heavy equipment	X	X	X	X	X	X	X	X	X	X	X
	Lumberyard	X	X	X	X	X	X	X	X	X	X	X
	Storage of sand, gravel, earth or stone	X	X	X	X	X	X	X	X	X	X	X
<b>Waste Related Use</b> §17.09.040	Uses that receive solid or liquid wastes from others for disposal on the site or for transfer to another location, uses that collect sanitary wastes, or uses that manufacture or produce goods or energy from the composting of organic material	X	X	X	X	X	X	X	X	X	X	X
	Enclosed Wrecking or Salvage Facilities	X	X	X	X	X	X	X	X	X	X	X

17.13: Neighborhood Residential Zone Uses

Category	Description (Excerpt)	Neighborhood Zones										
		NRC	NRCS	NROC	NRE	NRW	MRM	MRH	CR <sup>2</sup>	NC	RR	RC
	Open-Wrecking or Salvage Facilities	N	N	N	N	N	N	N	N	N	N	N
Wholesale Sales and Service Refer to §17.09.050	Firms involved in the sale, lease, or rent of products primarily intended for industrial, institutional, or commercial businesses	N	N	N	N	N	N	N	N	N	N	N
<b>Other Uses</b>												
Agriculture Refer to §17.10.010	Activities that primarily involve raising, producing or keeping crops or animals	N	N	N	N	N	N	N	N	N	N	N
Air Passenger Terminals	Facilities for the landing and takeoff of flying equipment, arrival and departure of vehicles, including loading and unloading areas for passengers, cargo, or freight	N	N	N	N	N	N	N	N	N	N	N
Detention Facilities	Facilities for the judicially required detention or incarceration of people	N	N	N	N	N	N	N	N	N	N	N
Residential Programs for Drug & Alcohol Treatment	A nonprofit or for-profit group home for the sheltered care of persons with special needs, which, in addition to providing food and shelter, may also provide some combination of personal care, social or counseling services, and transportation	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N
Alternative or Post Incarceration Facilities	A facility housing individuals that are transitioning from a correctional institution, including halfway houses, work release centers, or any other domiciliary facilities for persons released from any penal or correctional facility but still in the custody of the city, county or public agency. This includes youth care centers or other facilities authorized to accept youth offenders.	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N <sup>3</sup>	N
Mineral Resource Production, Processing, Storage	Mining or extraction of mineral or aggregate resources from the ground for off-site use	N	N	N	N	N	N	N	N	N	N	N
Rail Lines	Railroad tracks and lines for the movement of trains	C	C	C	C	C	C	C	C	N	C	C

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17.13: Neighborhood Residential Zone Uses

## 17.13: Neighborhood Residential Zone Uses

**PROPOSED USE TABLE****Table 17.13.040: Allowed Uses in Neighborhood Residential Zones**

LAND USE	Neighborhood Zones										
	NR-2	NR-4	NR-6	MR-9	MR-12	MR-20	MR-30	CR-40	NC		RC
<b>Residential Uses</b>											
Assisted Living Center	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	P	P	P	N <sup>2</sup>	N <sup>2</sup>		N <sup>2</sup>
Nursing Home, Convalescent Home	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	P	P	P	N <sup>2</sup>	N <sup>2</sup>		N <sup>2</sup>
Group Home where care, training, or treatment IS provided on site.	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>		N <sup>2</sup>
Group Home where care, training, or treatment IS NOT provided on site.	C	C	C	C	C	C	C	C	<del>N</del>		N
Dormitories, Fraternities, Sororities	N	N	N	N	N	N	N	C	<del>N</del>		N
Residential occupancy of a dwelling unit by a family, or no more than three (3) unrelated adults.	P	P	P	P	P	P	P	P	<del>P</del>		P
Residential occupancy of a dwelling unit by no more than six (6) unrelated individuals <del>adults</del> and not to exceed two (2) persons per bedroom. <b>See also, Table 17.13.030.</b>	N	N	N	N	N	N	N	P	<del>N</del>		N
<b>Public/Institutional Uses</b>											
Uses of a public, nonprofit, or charitable nature generally providing a local service to people of the community	N	N	N	N	C	C	C	C	<del>N</del>		N
Family Day Care/ Preschool (1-8 Clients)	P	P	P	P	P	P	P	P	<del>N</del>		C
Family Group Day Care/ Preschool (9-16 clients)	C	C	C	C	C	C	C	C	<del>N</del>		N
Commercial Day Care 17 or more clients	N	N	N	N	N	N	N	C	<del>N</del>		N
Neighborhood Parks and Open Areas	P	P	P	P	P	P	P	P	<del>N</del>		P
Community/Regional Parks	C	C	C	C	C	C	C	C	<del>N</del>		C
Religious Institutions	P	P	P	P	P	P	P	P	<del>N</del>		N
Clubs, Lodges, similar uses	N	N	N	N	C	C	C	C	<del>N</del>		N
Libraries, Museums, Community Centers	N	N	C	C	C	C	C	C	<del>N</del>		N
Cemetery, Mausoleum	C	C	C	C	C	C	C	C	<del>N</del>		C
Public Safety Services (fire, police)	C	C	C	C	C	P	P	P	<del>N</del>		P
Public Schools (K-12)	State law supersedes local zoning regulations.										
Private Schools (K-12)	C	C	C	C	C	C	C	C	<del>N</del>		C
<b>Utility Uses</b>											
Wireless Telecommunication Facilities	C	C	C	C	C	C	C	C	C		C
Radio, television, microwave towers or other telecommunication towers	C	C	C	C	C	C	C	C	C		C

17.13: Neighborhood Residential Zone Uses

LAND USE	Neighborhood Zones										
	NR-2	NR-4	NR-6	MR-9	MR-12	MR-20	MR-30	CR-40	NC		RC
Amateur radio towers of 50' or less in height above the average elevation of the subject property	C	C	C	C	C	C	C	C	C		C
Utilities, basic service delivery and laterals	CP	CP	CP	CP	CP	CP	CP	CP	P		CP
Utilities, distribution network	C	C	C	C	C	C	C	C	C		C
Utilities, structures, physical facilities, (Regional Facilities)	C	C	C	C	C	C	C	C	C		C
Municipal water well, reservoir, or storage tank	C	C	C	C	C	C	C	C	C		C
Neighborhood Serving Commercial Uses											
Food Services less than 3,000 square feet in size & no auto drive-through <sup>1</sup>	N	N	N	N	N	N	N	P	P		N
Food Services less than 5,000 square feet in size & no auto drive-through <sup>1</sup>	N	N	N	N	N	N	N	P	C		N
Sales and Service less than 3,000 square feet in size <sup>1</sup>	N	N	N	N	N	N	N	P	P		N
Sales and Service less than 5,000 square feet in size <sup>1</sup>	N	N	N	N	N	N	N	P	C		N
Office – General business, government, professional, medical, or financial and less than 3,000 square feet in size	N	N	N	N	N	N	N	C	P		N
Office – General business, government, professional, medical, or financial and less than 5,000 square feet in size	N	N	N	N	N	N	N	C	C		N
Food Service & Sales and Service comprising no more than 25% of the first floor area	N	N	N	N	N	N	N	C	N		
Bed & Breakfast & Sleeping Accommodations - ten or fewer rooms and meal service limited to guests. Sleeping accommodations for transient occupancy	N	N	N	N	N	C	C	C	N		N
Other Uses											
Parking, Commercial	N	N	N	N	N	N	N	C	N		N
Residential Programs for Drug & Alcohol Treatment	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>		N <sup>2</sup>
Alternative or Post Incarceration Facilities	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>	N <sup>2</sup>		N <sup>2</sup>
Agricultural Uses	P	P	N	N	N	N	N	N	N		P

<sup>1</sup> In the Campus Residential Zone, the total square footages of a proposed non-residential use may exceed the amounts listed in the use chart provided the total square footage of the proposed non-residential uses do not exceed 25% of the total first floor area and may only be located on the ground level floor.

<sup>2</sup> Indicates use may be allowed where State or Federal law preempts local zoning.

Zones

## Chapter 17.14: General Development Standards: Neighborhood Residential Zones

### §17.14.010 Neighborhoods Residential General Development Standards

#### A. Purpose.

The purpose of Chapter 17.14 is to provide uniform development standards for Logan neighborhoods, to promote streamlining of development review, and to ensure ~~consistency~~ high quality, and provide standards in site design in new construction, consistent with the Logan General Plan.



This



Not This

#### B. Applicability.

Chapter 17.14 applies to all residential development proposals in Logan's Neighborhoods. Some Sections of 17.14 may not be applicable to certain types of development, as specified by this Code. Where an interpretation of applicability is required, the Community Development Director shall make the interpretation or elevate the decision to a decision-making body.

#### C. Design Review and Decision Criteria.

Development proposals which comply with the standards in this Chapter without any adjustment or modification to the standards shall be reviewed as Track 1 Design Review decisions. ~~in accordance with Chapter 17.50. Such projects do not involve adjustments. The Standards listed in the sections below are the review criteria for Track 1 decisions.~~ Development proposals which require adjustments or deviations from the standards identified in this Chapter, include one or more adjustments, and/or include requests requiring a public hearing, shall be reviewed as Track 2 Design Review decisions.

### §17.14.020 Variety of Housing – Single-Family Developments

#### A. Purpose.

The purpose of Section 17.14.020 is to create physical environments that are varied, aesthetic, and consistent with the character and walkability of Logan's neighborhoods.



Single family developments should fit the character and quality of Logan's existing neighborhoods.

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B. Applicability

The provisions of Section 17.14.020 apply to all ~~new residential construction and new subdivisions in the single-family dwellings in~~ Neighborhood Residential zones, ~~including both detached and attached dwellings proposed on existing lots created prior to February 13, 2011 and those proposed to be built in new projects approved on or after February 13, 2011.~~

C. Standards

1. Lot Variety

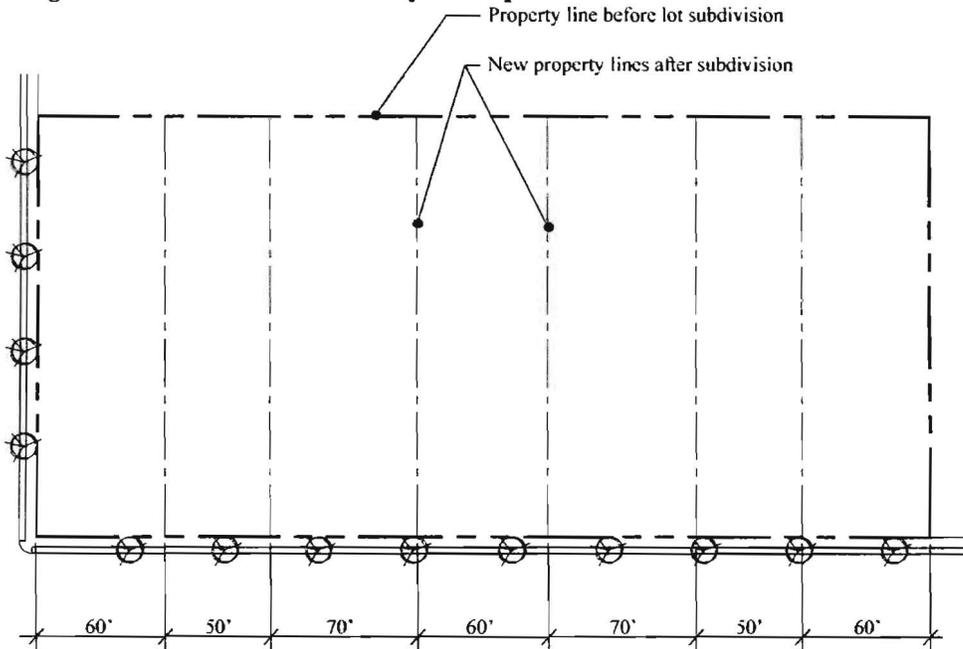
~~New S~~subdivisions ~~approved on or after February 13, 2011~~, shall contain a variety of lot widths. Figure 17.14.020.C1 illustrates acceptable lot variety. This standard is met when every block within the subdivision containing lots for detached single family dwellings provides a range of lot widths, as follows;



A variety of lot sizes creates a diverse range of single family housing options.

- a. The width of each lot on a block face must vary in width by at least 10 feet from adjacent lots;
- b. No lot width shall be less than 50 feet;
- c. Lot widths on every block face must be equal to or greater than the minimum average lot width of the zone;
- d. Corner lots must meet the applicable minimum lot width required by the Neighborhood zone; ~~and~~;
- e. The lot variety standards do not apply to cluster homes on individual lots.

**Figure 17.14.020.C1: Lot Variety Example**



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2. Front/Street Facade Variation

a. For all new residential development, no two directly adjacent or opposite dwelling units may possess the same front ~~or street-facing~~ elevation ~~(as applicable)~~. This standard is met when all front ~~or street-facing~~ elevations ~~(as applicable)~~ differ from one another by at least 4 of the following criteria:

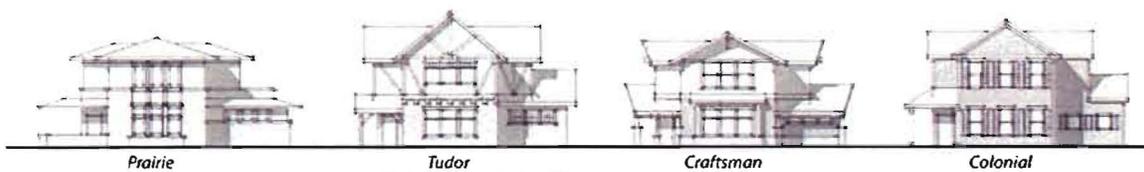
- 1) Differing Mix of Materials ~~(see Section 17.14.020.C.3), in compliance with Section 17.14.020.C3, Mix of Materials;~~
- 2) Articulation ~~(see Section 17.14.020.C.4), in compliance with 17.14.020.C4, Articulation;~~
- 3) ~~Variation in~~ Roof Elevation (changes in elevation and orientation of roof line, or use of projections such as gables and dormers, that demonstrate variation over at least 20% of all front or street-facing elevations as applicable);
- 4) Entry/Porch (variation in placement and configuration of porches, stoops, covering, etc.);
- 5) Fenestration (variation in the arrangement and detailing of windows and other openings);
- 6) Architectural Style (variation in style; e.g., Craftsman, Prairie, Four Square, Colonial, Tudor, ~~or Ranch, or other styles~~ as appropriate - ). ~~(See Figure 17.14.020.C2). Other styles, including Contemporary adaptations of accepted styles, may be considered through Track 2 Design Review.~~
- 7) ~~Variation of Building Height and Stories; or Height by number of stories or half-stories~~
- 8) Color Variation



Variation in color, materials, and forms creates a diverse streetscape.

b. Repeated facades shall not comprise more than 25% of the single family units on the same block face.

**Figure 17.14.020.C2: Examples of Varied Architectural Styles**



Variation in architectural style differentiates the street facing facade of homes with similar plans

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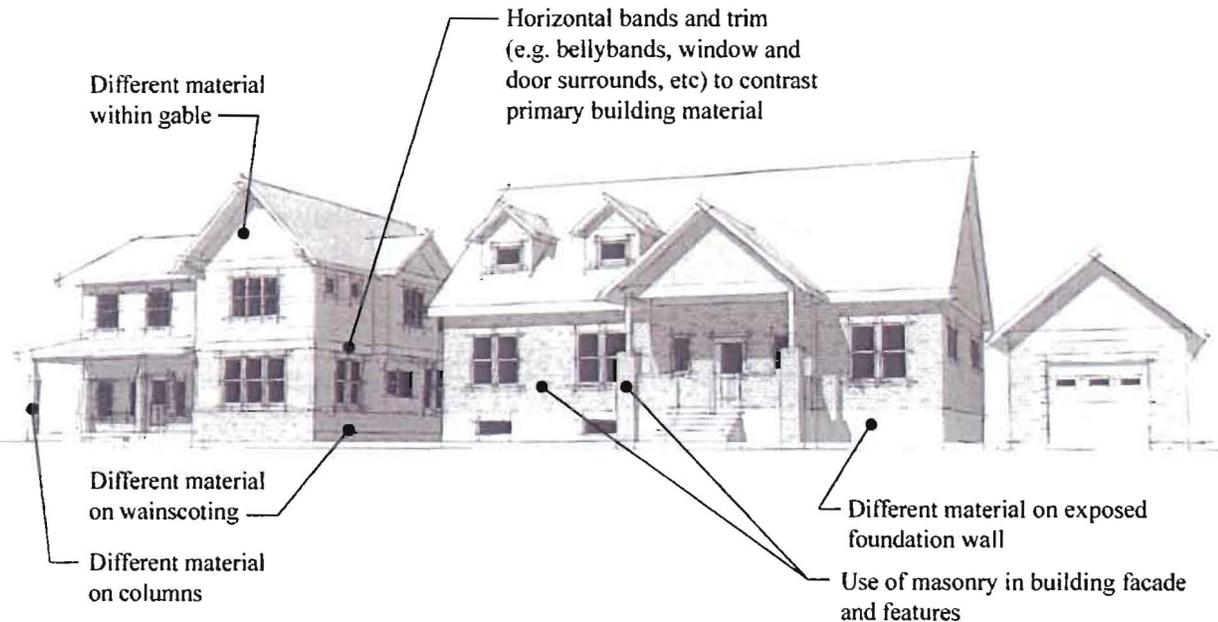
3. Mix of Building Materials for primary-Primary and Accessory sStructures, garages and carports

- a. When a mix of building materials, excluding trim, is selected to satisfy the façade variation standards of this Section, choose from the following materials: brick, fiber cement siding, wood siding, board and batten, stucco, fiber cement panels, masonry, metal, vinyl, and wood shingles. Figure 17.14.020.C2-C.3 illustrates suggested ways to mix building materials on any one structure.
- b. The use of masonry materials is highly encouraged as a detailing material for all residential development. Masonry materials can be incorporated in the facade in several ways, such as on the whole facade, wainscoting, or on a partial building story.
- c. Varying dimensions or spacing of wood or fiber cement siding may be used to create an appropriate building scale. For example, closer spacing or smaller dimensions of lap siding may be used around building entrances, dormers, gables and other elements, to accent those elements, while applying wider spacing or larger dimensions elsewhere.



Mixing materials between buildings can create façade variation between similar building forms.

Figure 17.14.020.C3: Example of Mix of Building Materials



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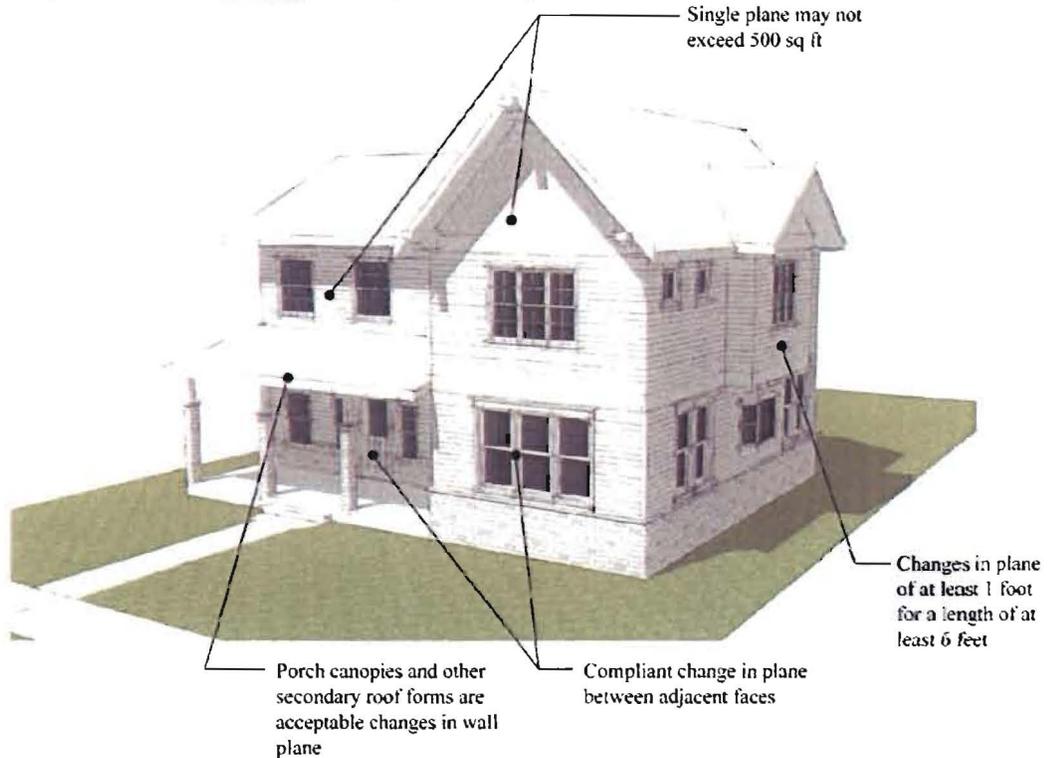
4. Articulation.

When the front, side, or rear elevation of any structure facing a public roadway is more than 500 square feet in area, that elevation must be divided into distinct planes of 500 square feet or less. For the purpose of this standard, areas of wall planes that are entirely separated from other wall planes are those that result in a change in plane such as a recessed or projecting section of the structure that projects or recedes at least one (1) foot from the adjacent plane, for a length of at least six (6) feet. Dormers, porch canopies, and other secondary roof forms are examples of acceptable changes in wall plane. See Figure 17.14.020. C2C.4.



Varied roof forms, porch canopies, vertical elements and changes in plane articulate the façade.

**Figure 17.14.020. C3C4: Example of Compliance with Articulation Standard**



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5. Front Porches/Stoops.  
New single family residential construction requires either a covered front porch or covered stoop at least four (4) feet in depth sufficient to provide adequate protection from weather and to add building variation (see Figure 17.14.020.C3).

6. Roof Type and Roof Pitch.  
New single family residential construction requires a sloped roof with at least a 5:12 pitch and a minimum of one (1) foot of roof overhang.

7. Building Placement and Orientation Standards.

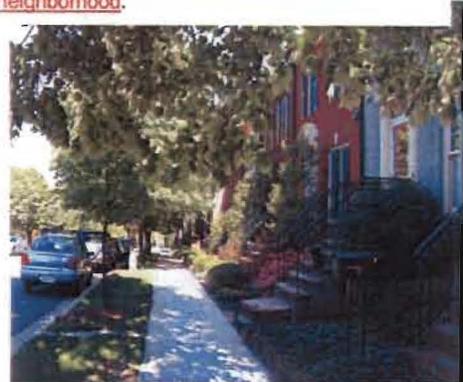
a. It is intended to ensure that new development is pleasant and inviting to pedestrians by placing buildings closer to the street and by making primary building entrances more visually prominent and easily accessible.

b. In cases where it is not practical to orient buildings to streets, the intent of these standards is to use a combination of setbacks and low-level screening to soften the visual impact of side or rear facing facades and to create street frontages that are inviting and pleasant for residents and passersby.

c. Buildings and their primary entrances shall be oriented to streets or common courtyards unless prohibited by unique site conditions (see Figures 17.14.020.C5 and 17.14.020.C6).



A variety of lot sizes creates a diverse range of single family housing options. Front Porches provide weather protection and building variation while also creating a pedestrian friendly neighborhood.



Buildings oriented towards the street enhance the public realm and create an inviting pedestrian environment.



This



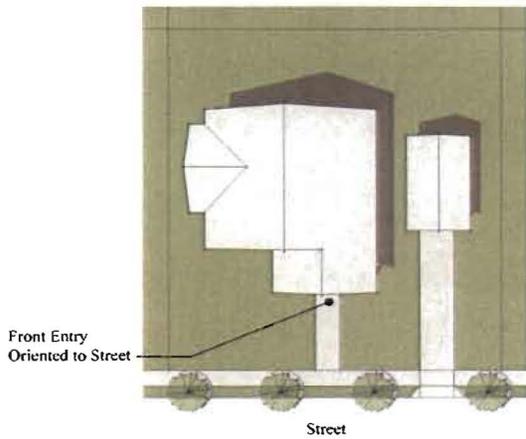
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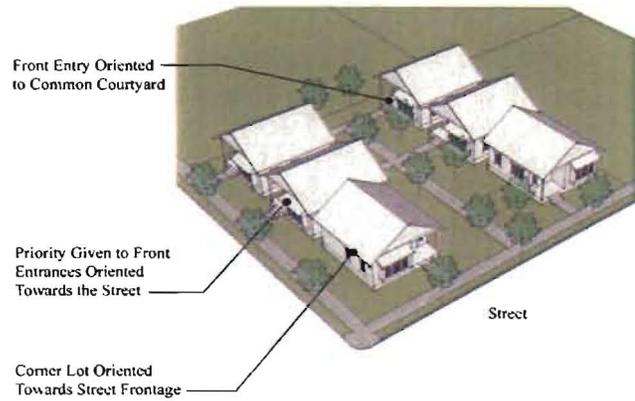
Zones

- d. Alternatives to these building orientation standards may be permitted for single family residential buildings fronting arterial streets, as illustrated in Figure 17.14.020.C7.

**Figure 17.14.070020.C1C5**  
**Front Entry Oriented to Street**



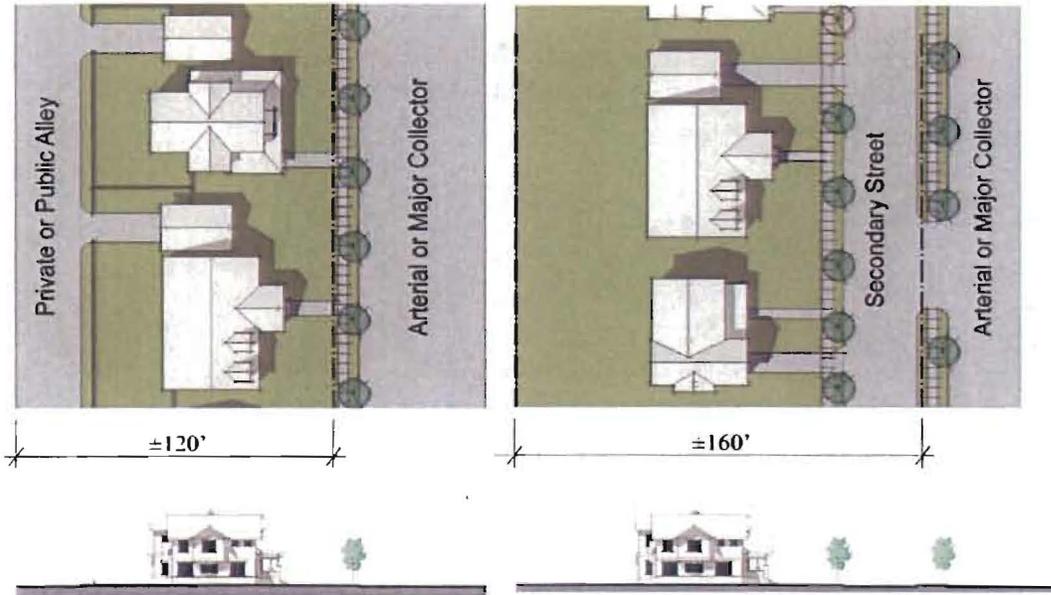
**Figure 17.14.070020.C2C6**  
**Front Entry Oriented to Common Courtyard**



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Figure 17.14.070020.C3C7: Building Orientation

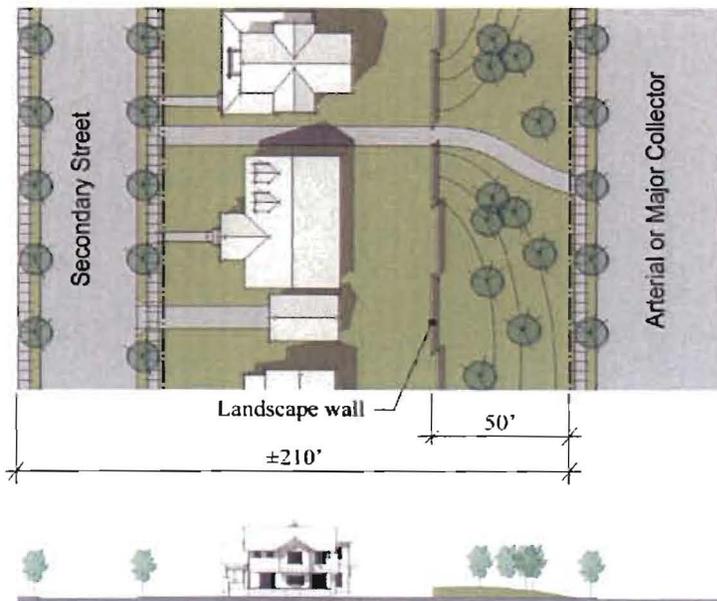


**Front Facing (standard)**

1. Front entry facing primary street.
2. Privacy enclosure in rear yard.
3. Increased front setback to 30' (min).
4. Public or private alley to meet city standard.

**Frontage Road Facing**

1. Front entry facing secondary frontage road.
2. Secondary frontage road may be public or private. If private, must be built to meet city standards.
3. Access limited to primary street.
4. Standard front yard setback.



**Rear Facing**

1. 50' (min) wide landscaped screen adjacent to street.
2. Berms, tilted or undulating grade within landscape screen.
3. Pedestrian connection to sidewalk of primary street.
4. Solid masonry screen wall with articulated wall planes at property line with a 3" minimum offset.
5. 20' (min) rear yard setback.
6. Homeowners association to maintain landscaping, walls and pedestrian walkway.

## Zones

**§17.14.030 Garages, Parking, and Accessory Structures****A. Purpose.**

Section 17.14.030 provides standards for the placement, orientation, and design of garages, parking areas, and accessory structures in Residential zones. It is intended to ensure that new development and street frontages are consistent with a traditional pattern of neighborhood development, in which garages, driveways, parking lots, and accessory structures are visually subordinate to primary uses, front yard setbacks are free of vehicle storage, and streetscapes are inviting to pedestrians.

**B. Applicability.**

The provisions of Section 17.14.030 apply to all new residential development.

**C. Garage, Carport and Automobile Tent Standards.**

1. Garages and other accessory structures located within the front half of a lot (street frontage) shall not exceed 50% of the total building front/street-facing elevation.
2. No individual garage or other accessory structure shall exceed 50% of the primary structure's ground floor gross floor area.

3. Detached Garages and/or accessory structures shall be set back a minimum of 10 feet from the longest portion of the front/street-facing elevation of the primary structure (See Figure 17.14.030.C.1).



The garage is set back from the primary structure.

4. Attached front loading Garages shall not extend more than 10 feet forward from the longest portion of the front/street facing elevation of the primary structure. Side-loaded garages attached to the primary structure shall not extend more than 15 feet from the longest portion of the front/street facing elevation of the primary structure.
5. No detached garage or other accessory structure shall be located within six (6) feet of another structure, except where a common wall is approved through Design Review.
- ~~3.6.~~ Access to garages may require shared driveways (one drive for two garages), alleys, or shared parking courts, subject to Design Review.
- ~~4.7.~~ Carports may be permitted provided they comply with the accessory structure setbacks identified above. Prefabricated carports or canopies shall be placed in accordance with the manufacturer's specifications and shall be inspected by a Logan City Building Inspector. When used to cover an approved off-street parking space, carports equal to or less than two-hundred (200) square feet in size may be located less than six feet (6') from the primary structure. All structures greater than two-hundred (200) square feet in size shall require a building permit. Prefabricated carports or canopies are prohibited in all residential zones.
- ~~5.8.~~ Roof form for all garages and carports must be gabled and have the same pitch as the primary structure.
9. If an accessory structure is less than or equal to 120 square feet and less than or equal to 10 feet high at highest portion, one (1) foot side and rear setbacks are allowed. Otherwise, standard setbacks apply. If the side yard is adjacent to a

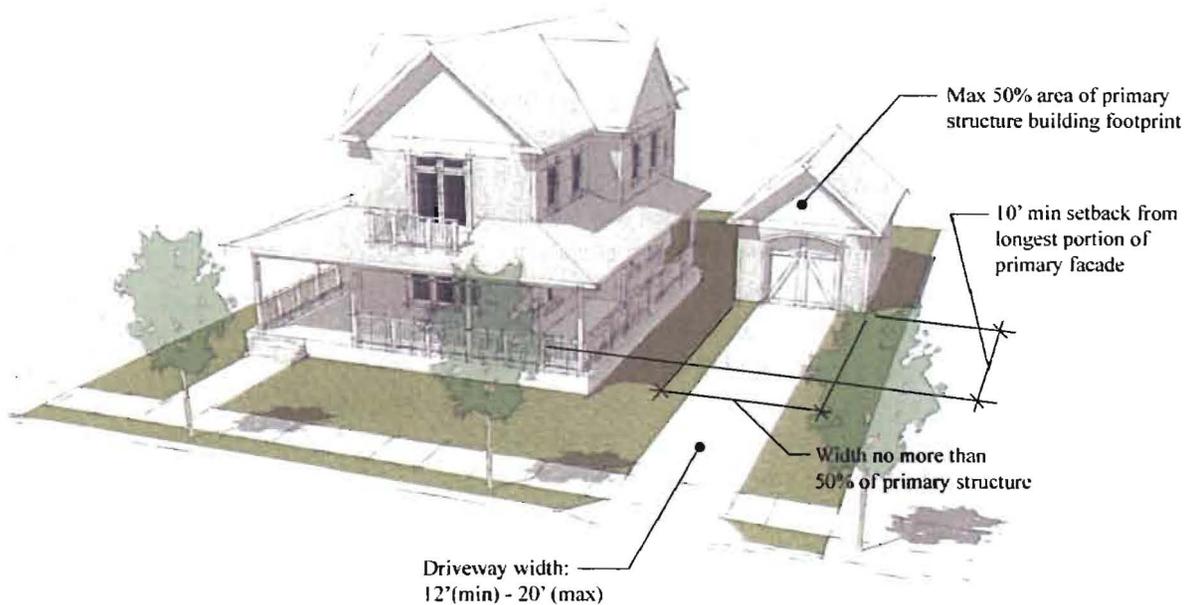
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street, the accessory structure must be a minimum of 20 feet away from the street side property line.

10. Building materials or colors for garages and carports shall be similar to the exterior finishes on the primary structure.

**Figure 17.14.060030.C.1: Detached Garage/Accessory Structure Standards**



D. Prohibited Accessory Structure.

Shipping containers, semi-trailers, boxcars, or similar structures shall not be installed or maintained on residential properties.

E. Driveways & Parking.

1. The maximum width of the curb cut for private driveways is 24 feet. Within 15 feet of the right of way, the minimum width of a driveway shall be 12 feet while the maximum width of a driveway shall be 22 feet.
2. No driveway shall be located closer than four (4) feet to another driveway (measured edge to edge) and no driveway shall be located closer to a side lot line than 2 feet. A shared driveway on two separate parcels is exempt from this provision; however, the width of a shared driveway shall not exceed 22'.
3. Corner lot driveways shall be located a minimum of 30 feet away from the corner, as measured from the corner, or projected corner, of intersected property lines.
4. Only one driveway access is permitted per single family residential lot unless a second driveway access is permitted by the Director. A circular driveway may be permitted provided at least a 100 foot separation between each driveway is maintained.
5. No parking is permitted in the front setback, unless in a permitted driveway on private property.

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**§17.14.030-040 Variety of Housing – Multi-Family Residential and Mixed-Use Developments**  
**(Create separate Mixed Use Section in Commercial)**

A. Purpose.

The purpose of Section 17.14.030-040 is to ensure that new multi-~~ple~~-family ~~and mixed-use~~ developments create physical environments that are varied, aesthetic, and consistent with the character and walkability of Logan’s neighborhoods.



Multi-family and mixed use developments should fit the character and quality of Logan's existing neighborhoods.

B. Applicability.

The provisions of Section 17.14.030-040 apply to all multi-family buildings ~~and mixed-use buildings~~ and developments.



This



Not This

C. Standards.

1. Façade Variation.

a. For new development, no two (2) multi-family buildings ~~or mixed-use buildings~~ may possess the same street-facing elevation on a block face. No two (2) street-facing facades may be the same as an adjacent or opposite building façade. This standard is met when the street facing elevations differ from another front facade by at least 4 of the following criteria:



Façade variation is achieved through changes in color and material, varied roof forms and the expression of individual dwelling units.

- 1) Articulation (see Section 17.14.040.C.2); Differing Mix of Materials, in compliance with subsections 17.14.020(C)(3)(a) through 17.14.020(C)(3)(e).
- 2) Differing Mix of Materials (see Section 17.14.040.C.3); Articulation; in addition to meeting the minimum requirements under subsection 17.14.020(C)(4), the building must differ from other multifamily or mixed use buildings by incorporating change(s) in building plane (e.g., recess or

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~~extension of floor area, decks, patios, entrances) of not less than eight (8) feet in building width and not less than six (6) feet in depth on its front or street-facing elevation(s), as applicable.~~

- 3) Variation in Roof Elevation (changes in elevation and orientation of roof line, or use of projections such as gables and dormers, that demonstrate variation over at least 20% of all front or street-facing elevations ~~as applicable~~);
- 4) Entry/Porch (variation in placement and configuration of porches, stoops, covering);
- 5) Fenestration (variation in the arrangement and detailing of windows and other openings);
- 6) Architectural Style (variation in style; e.g., Craftsman, Prairie, Four Square, Colonial, Tudor, Ranch, etc.); ~~Other styles, including Contemporary adaptations of accepted styles, may be considered through Track 2 Design Review;~~
- 7) Variation of Building Height and Stories by number of stories or half-stories; or
- 8) Color Variation.

## 2. Articulation.

- a. In multi-family buildings, individual units shall be accentuated using a variety of techniques that include plane changes, bays, variation in entrances, balconies, dormers, colors, columns, or other details defining the individual unit. articulation shall accentuate individual units. The ground floor of commercial mixed-use buildings should be articulated with columns, bays, or other details expressing the building structure and defining individual commercial spaces. The upper stories of mixed-use buildings must articulate according to this section (see Figures 17.14.020.C3).
- b. For structures less than 35' in height, When the front, or side or street facing elevation shall be divided into distinct planes of 500 square feet or less. of any structure is more than 500 square feet in area, that elevation must be divided into distinct planes of 500 square feet or less. For structures greater than 35' in height, the front, side or street facing



The long façade of a multi-family building is articulated through the use of porches, projections, varied roof forms and the expression of individual dwelling units.



The vertical mass of the building is broken up by horizontal roof forms. Projecting gable roofs provide breaks proportionate to the roof form.

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elevation shall be divided into distinct planes of 1,000 square feet or less. For the purpose of this standard, areas of wall planes that are entirely separated from other wall planes are those that result in a change in plane such as a recessed or projecting section of the structure that projects or recedes at least one (1) foot from the adjacent plane, for a length of at least six (6) feet. Bay windows, porch insets, dormers, porch canopies, and other secondary roof forms are examples of acceptable changes in wall plane.

~~b.c.~~ All Street-facing and rear building elevations must be articulated along the vertical face for a minimum depth of 1 foot, for a length of at least 6 feet, for every dwelling unit or every 30 feet of horizontal wall plane, whichever is less. This may be accomplished through the use of recesses or extensions of floor area, decks, patios, or entrances (see Figure 17.14.020040.C.13).

~~e.d.~~ The vertical mass of buildings shall be broken up through the use of architectural features such as horizontal cornices, pediments, beltcourses, canopies (e.g., covered porches) and/or “bellybands” at least 12 inches in height across the length of the elevation.

~~d.e.~~ Roofs must provide offsets or breaks proportionate to the roof form. Dormers, porch canopies, and other secondary roof forms are examples of acceptable breaks in roofline on sloped roofs. Where flat roofs are allowed, stepped parapets or cornices proportionate to the building elevation are required.

~~e.f.~~ Not more than 2 dwelling unit entrances shall be located on a face plane of any façade except in a Town House.



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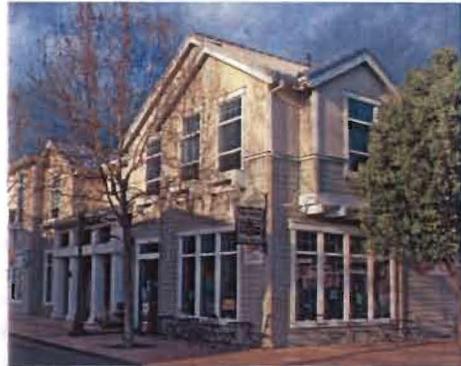
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3. Mix of Building Materials for Primary and Accessory Structures, primary structures, garages and carports
  - a. Changes in color or material shall occur where there are breaks in planes and where appropriate for trim and other details. Building materials shall include: masonry materials, fiber cement siding, wood siding, board and batten, stucco, fiber cement panels, metal, brick, native stone or similar regional materials, and wood shingles. ~~Applicants requesting approval through Track 2 Design Review may be required to incorporate native stone, brick, or similar regional materials that are durable and contextually appropriate~~ (see Figures 17.14.020.C2-C3 for

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17.14: General Development Standards: Neighborhood Residential

- conceptual illustration of suggested ways to mix materials over different building elements).
- b. The following materials shall each be limited to no more than 50% of aneach exterior wall surface visible from public rights-of-way (excluding, not including alleys): architectural-grade veneer paneling, painted metal siding and vinyl. Metallic-finish siding (e.g., galvanized steel finish) may be allowed as an architectural accent consistent with an accepted style provided it does not comprise more than 20% of the surface area on any elevation.
- c. No more than three (3) materials shall be used on the street-facing elevations of a building. All material shall be used and applied uniformly on the street-facing elevations of a building. The material(s) used on the front or street-facing elevation (as applicable) shall use no more than three (3) materials and shall be used uniformly on all building facades. The materials mix used on the front or street-facing elevation shall be used on at least 50% of the surface area of the sides and rear of the building. Rear, except that rear elevations of a building that do not abut a public right-of-way, park, or common open space area are exempt from this requirement.
- d. Mixed-use buildings shall provide for pedestrian transparency and visual interest, the use of glass on ground floors in windows, doors and displays must be clear or lightly tinted, allowing at least 60% light transmittance. Non-transparent (e.g., reflective, opaque, or painted) glass is not permitted on any front or street-facing elevation because it does not provide visibility between the street and mixed-use building interiors. Dwelling units above the ground floor are exempt from this requirement. (MOVE TO MIXED USE SECTION – INCLUDING FIGURE 17.14.030.C.2)

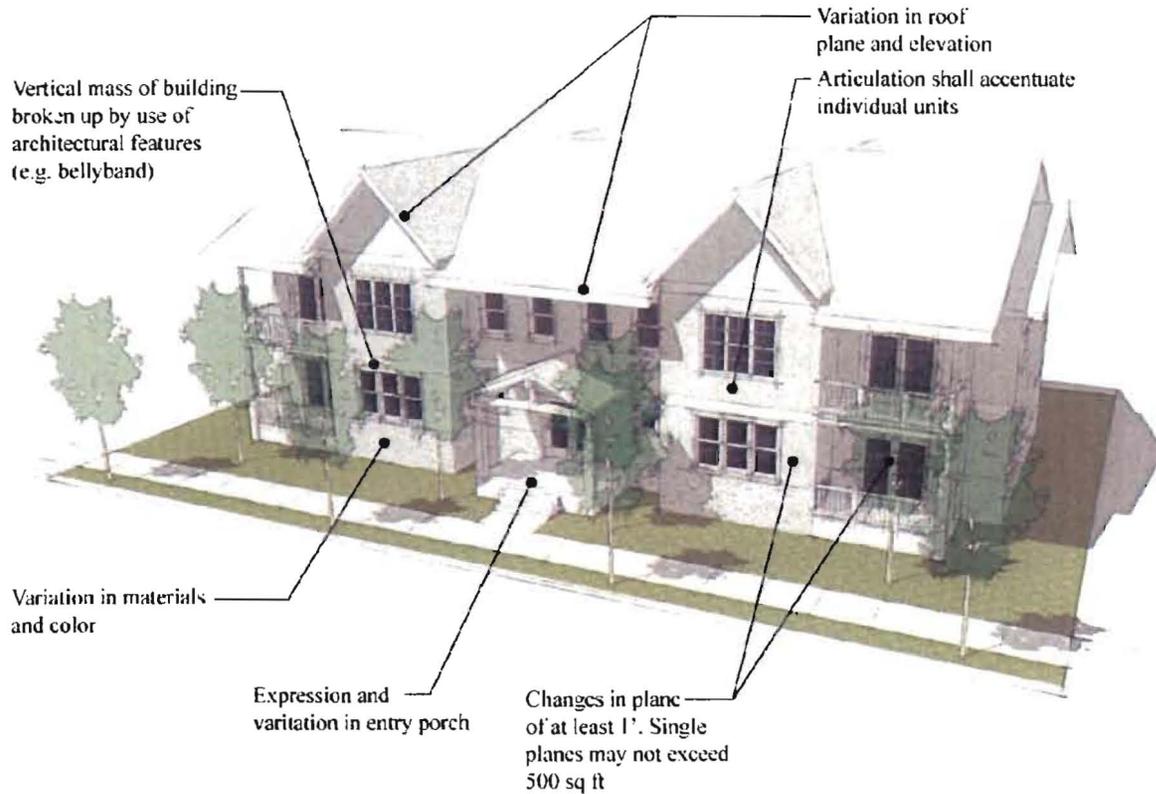


Large glazed areas at the ground floor of mixed use buildings provide transparency and visual interest.

17.14: General Development Standards: Neighborhood Residential

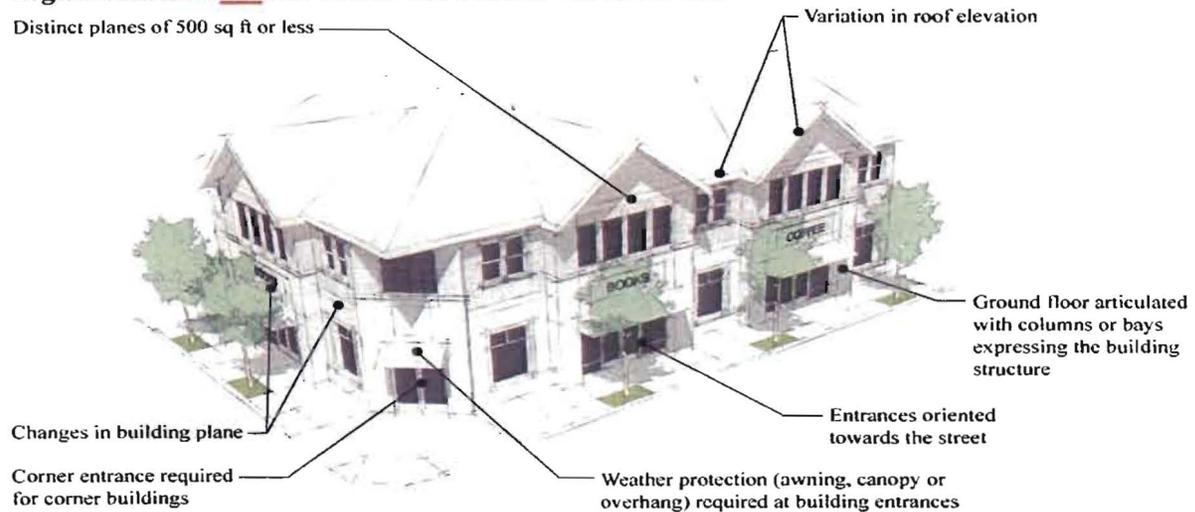
Zones

**Figure 17.14.030040.C1: Multi-family Façade Variation & Articulation**



**Figure 17.14.030040.C2: Mixed Use Façade Variation and**

Distinct planes of 500 sq ft or less



17.14: General Development Standards: Neighborhood Residential

Zones

4. Building Placement and Orientation Standards.

a. This section establishes building placement and orientation requirements for new buildings. It is intended to ensure that new development is pleasant and inviting to pedestrians by placing building closer to the street and where primary building entrances are visually prominent and easily accessible.

b. In cases where it is not practical to orient buildings to streets, the intent of these standards is to use a combination of setbacks, low-level screening and building variation to soften the visual impact of side or rear facing facades and to create street frontages that are inviting and pleasant for residents and passersby.

c. Buildings and their primary entrances shall be oriented to streets or common courtyards unless prohibited by unique site conditions (see Figure 17.14.020.C5-C7).



This



Not This

**§17.14.040050 Commercial Uses in the Campus Residential Zone Neighborhood Zones**

A. Commercial Uses in Neighborhood Zones.

Where commercial uses and buildings are allowed in thea Campus ResidentialNeighborhood zone, such use and buildings shall conform to the following regulations:

1. The maximum allowable collective footprint(s) size for a Commercial use in the Campus Residential Zone is limited to no more than 25% of the first floor area of the project and shall be fully integrated into the function and design of the buildings and project in which it is serving. Neighborhood Center is 3,000 square feet (gross), except a collective footprint(s) of up to 5,000 square feet may be approved with a Conditional Use Permit. The minimum interior height for new commercial construction in the Campus Residential zone shall be 12'.



The scale of commercial uses should be appropriate for the Neighborhood Zones.

17.14: General Development Standards: Neighborhood Residential

## Zones

2. Commercial uses shall be conducted entirely within a building conforming to the requirements of this Code, except that outdoor cafes and similar uses are allowed subject to Conditional Use Permit approval and **subject to** applicable city licensing requirements for any use of a public right-of-way.
3. The review authority may establish reasonable conditions of approval for commercial uses to provide for compatibility with existing adjacent single family residential uses. Conditions imposed through Design Review may include, but are not limited to, restrictions on: building setbacks, height, landscaping, screening, parking, trash collection and storage, and hours of operation.

**§17.14.050-060 Building Height Transition Areas**

## A. Purpose.

The purpose of this section is to provide for a gradual transition between existing residential development and proposed taller structures as infill and redevelopment occurs in, and adjacent to, residential neighborhoods.

## B. Applicability.

This section applies to all new commercial, industrial, mixed use and multi-family structures adjacent to, or within 150 feet of, the **following Neighborhood Residential Zones (NR-2, NR-4, NR-6, & MH). following residential zones: (NRC, NRCS, NROC, NRE, NRW, & MH).**

## C. Standards.

For all commercial, industrial, mixed use and multi-family development within 150 feet of any of the residential zones listed above (as measured from the residential zone boundary - see Figure 17.14.050060.C2C1), the maximum building height of the proposed structure is determined as follows:

1. Beginning at the minimum setback line of the subject property, the maximum height is equivalent to the maximum height of the adjoining residential zone, or 35 feet, whichever is less.
2. Additional height for the proposed structure may be added at a ratio of one additional (1) vertical foot of building height to two (2) horizontal feet of distance from the nearest setback line (see Figure 17.14.050060.C2).
3. The building height transition requirement ends 150' from the adjoining residential zones. At that point, the full building height allowed in the underlying zone may be attained.



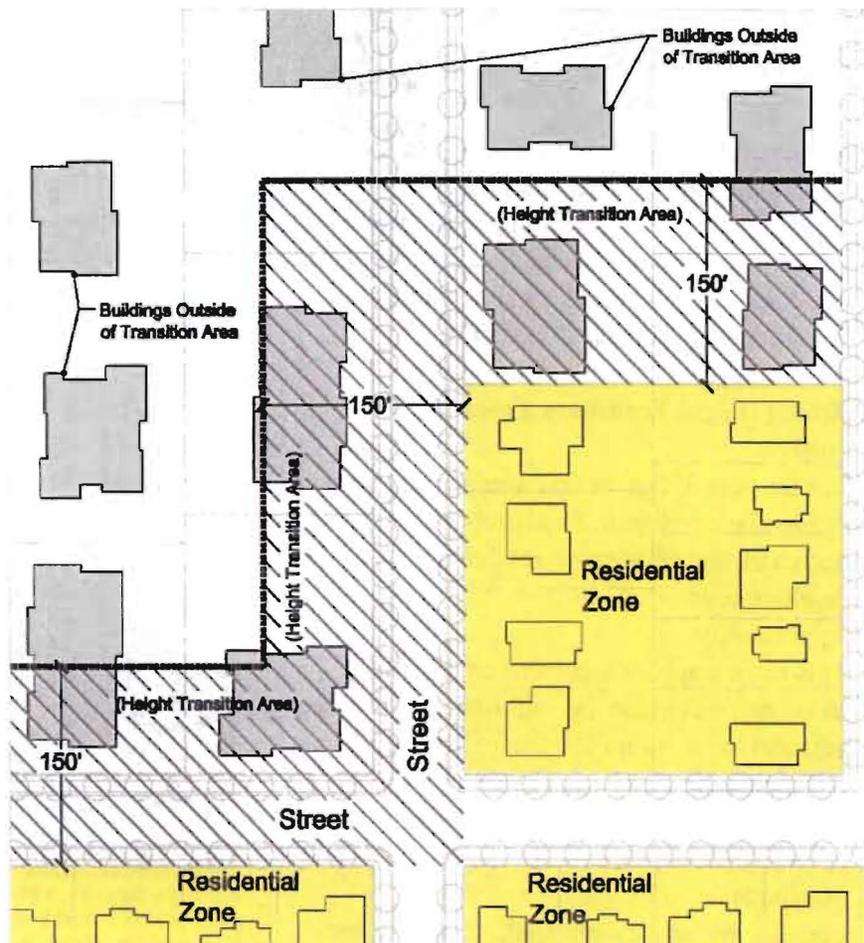
Buildings in transition areas should be appropriately scaled to fit the adjacent Neighborhood Zones.

17.14: General Development Standards: Neighborhood Residential

Zones

4. This section does not waive or alter the maximum height requirements listed for each specific zone.

**Figure 17.14.050060.C1: 150' Height Transition Areas**



**§17.14.080070 Buildable Area Extensions in Neighborhood Residential Zones**

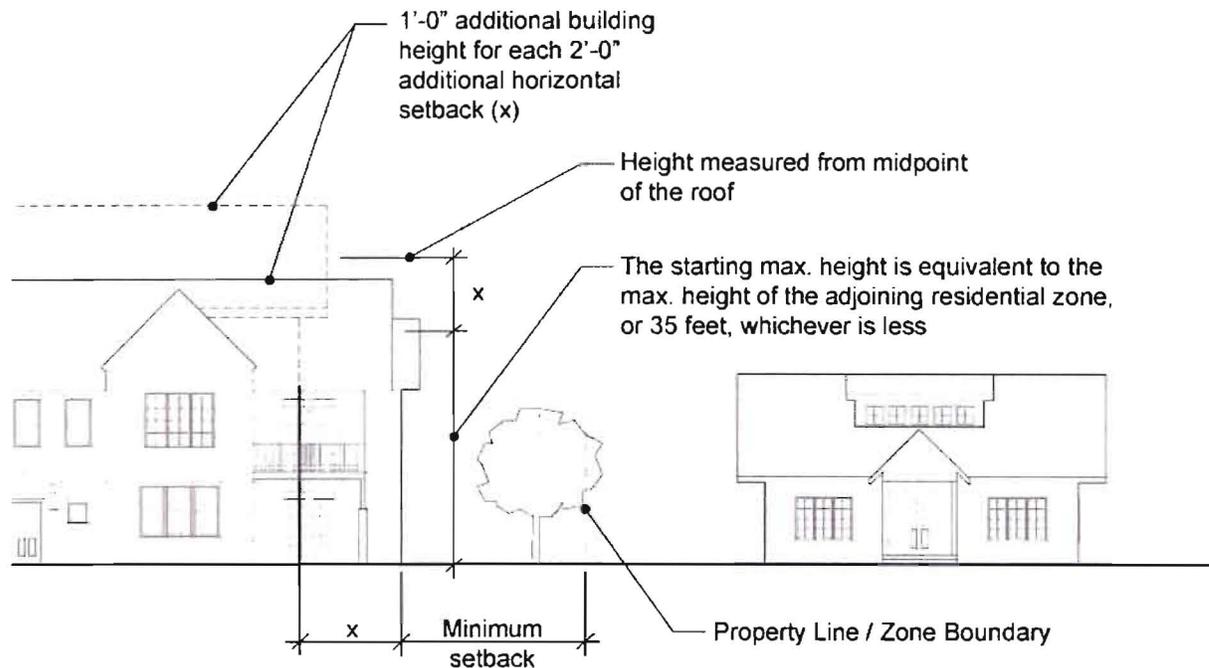
A. Purpose.

Section 17.14.080-070 allows certain encroachments into required setbacks and exempts certain architectural features from required lot coverage and structure height calculations. The intent is to provide flexibility in land use and building design where certain architectural features contribute aesthetically or functionally to a building without changing its floor area, occupancy, or intensity of use.

B. Applicability.

Section 17.14.080-070 applies to all buildings in all residential zones. Neighborhood residential zones.

Figure 17.14.050060.C2: Building Height Transition



## C. Standards.

1. Eaves, balconies, stoops, overhangs, awnings, bay windows, and similar features may extend beyond the shown buildable area by up to 36 inches.
2. Porches and stoops may extend into the front setback a maximum distance of 10 feet, but in no case shall be closer than 10 feet from the front property line for single family residential construction and 5 feet from the front property line for multi-family residential construction. Unenclosed Porches may extend into a side setback by up to 36 inches and in no case shall be closer than 5 feet from the property line.
3. Unenclosed porches, balconies and similar structures extending not more than 30 inches above grade shall not be counted against maximum lot coverage.
4. Within residential neighborhoods, spires, cupolas, belfries and domes, and similar architectural features not used for human occupancy and covering not more than ten percent (10%) of the ground area covered by the structure to which they are accessory may exceed height restrictions through design review, except where prohibited by Federal Aviation Regulations, part 77.

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17.14: General Development Standards: Neighborhood Residential

Zones

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## Chapter 17.15: Specific Development Standards: Neighborhood Residential Zones

### §17.15.010 Development Standards Purposes

The development standards contained in this Chapter are intended to ensure that development is consistent with a neighborhood's existing characteristics and building placement patterns, while guiding change to be consistent with the purpose of the residential Neighborhood zones and Overlay zones. The development standards may be adjusted or modified only insofar as this Title authorizes modifications to development standards under Chapter 17.66 Design Review, and Chapter 17.69 Variances, and the provisions below.

#### A. Density.

Density standards are expressed in dwelling units per acre (See 17.62 "Density") and establish the both minimum and maximum number of units required and allowed in each specific zone. Density standards apply to all residential developments except that minimum density does not apply to land divisions of three (3) or fewer lots.

#### B. Lot Size.

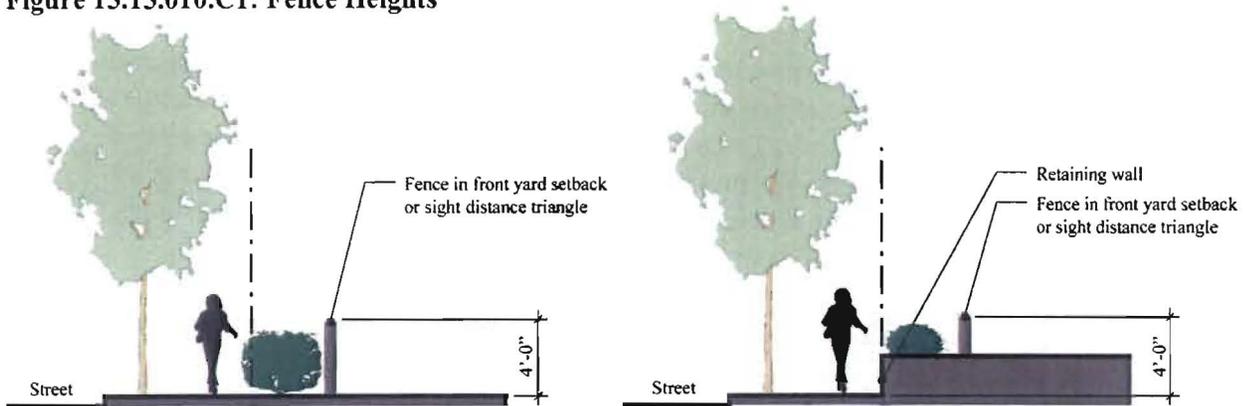
Minimum lot size shall conform to the lot standards in this Chapter. Land divisions are additionally subject to the requirements for lot "variety" contained in Chapter 17.15.

#### C. Setbacks.

The minimum setback standards apply to all uses allowed within the Neighborhood Residential zoneszone; except as follows:

- ~~1. Accessory structures shall be setback a minimum of ten (10) feet behind the deepest portion of the front plane of the primary structure;~~
- ~~2. A minimum side and rear yard of one (1) foot is permitted for an accessory structure not exceeding 120 square feet floor area and not exceeding 10 feet in total height at the highest portion of the structure.~~
- ~~3.1.~~ Fences may be placed within a yard setback, provided the maximum allowed fence height is four (4) feet within a front yard or required sight distance triangle (4' maximum applies if fences are placed atop a retaining wall), or a height of six (6) feet within rear yards and in the side yard or front yard, on existing developed lots, when the fence is located at least 12 feet from the right-of-way line (see Figures 15.15.010.C1 & 17.37.140.B1). The twelve (12) foot-wide strip of land between the fence and property line shall be landscaped and maintained by the adjacent property owner. All other fences are limited to six (6) feet. Fences are also subject to Chapter 17.36-37 Additional Development Standards.
- ~~4.2.~~ Additional setback may be required through Design Review or Conditional Permit approvals.
3. Canal Setbacks. All structures shall adhere to a minimum fifteen (15) foot setback from the top edge of all canals unless the canal company permits an alternative setback.

Figure 15.15.010.C1: Fence Heights



#### D. Height.

The maximum height standards apply to all primary and accessory uses and structures allowed within the Neighborhood residential zones, except that the following may exceed the stated height limits by ten (10) feet: public water towers; penthouse structures for elevators, stairways; skylights; steeples; flag poles; and chimneys. Utility poles and public safety facilities may exceed height limits with a Conditional Use Permit.

#### §17.15.020 Building Form Standards

The building form standards (height, roof, windows, and elevations) are intended to ensure that new development is consistent with a neighborhood's building form and scale, while enhancing the built environment consistent with the purpose of the Neighborhood residential zones.

#### §17.15.030 Appearance Standards

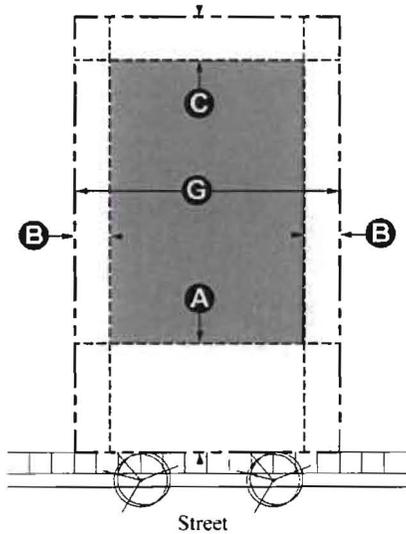
The building appearance standards (façade, materials, entrances, accessory structures) are intended to ensure that new development is consistent with neighborhood appearance and character, while enhancing the built environment consistent with the purpose of the Neighborhood residential zones.

#### §17.15.040 Procedures for Review and Approval

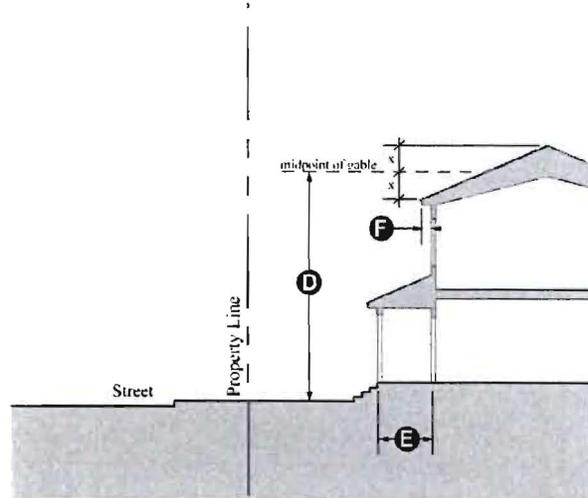
All proposed changes in land use and proposed developments shall be processed in accordance with the procedures and permit requirements in Chapters 17.46 through 17.60, as applicable.

17.15: Specific Development Standards: Neighborhood Residential Zones

§17.15.050 Neighborhood Residential (NR-2) Development Standards



Site Plan Diagram



Site Plan Diagram

**Residential Density**

Units/Acre (max) **2**

**Site**

Min. Lot Size 15,000 sq ft<sup>2</sup>

Ⓒ Lot Width (min. average/block) 120'  
(Lot width average does not apply to flag lots and courtyard homes).

Lot Coverage (max bldg. footprint) 50%

**Setbacks**

Ⓐ Front 25'

Corner 20'

Ⓑ Side 8'

Ⓒ Rear 10'

Canal (recognized top bank) 15'

(Canal setback may be waived with written permission from appropriate canal company).

**Open Space**

Not Required

**Parking**

Required Stalls 2.0 / Unit

**Attached Garage**

Garages with street facing garage door(s) shall not extend more than 10' beyond the front plane of the primary structure (side entry garages exempt).

Maximum width of street facing garage doors shall not exceed 50% percent of the overall width of the primary structure.

**Accessory Structures/Detached Garages**

Building footprint shall not exceed 100% of the primary structure footprint.

Maximum width of street facing garage doors shall not exceed 50% percent of the overall width of the primary structure.

**Detached Garage Setback**

From front plane of Primary Structure (except side-entry garage) 10'

Detached garage distance from rear or side of primary structure 6'

**Side/Rear Setbacks (accessory structure)** 5'

Structures less than 120 ft<sup>2</sup> 1'

**Driveway**

**Driveway Width (min-max)** (max width within 15' of street ROW the front yard setback) 12' - 20' - 22'

**Driveway Setback from side property line** (shared driveway exempt) 2'

**Driveway Access Curb Cut Width (max)** (driveways shall lead to parking stalls located outside of building setbacks) 24'

**Building Height**

Ⓓ Primary Building (Max) 35'

Accessory Building (Max) 15'

**Building Form**

Ⓔ Covered Front Stoop/Porch (min. depth) 4'

Primary Roof Pitch 5:12

Ⓕ Roof Overhang (min) 1'

Zones

**§17.15.050 Neighborhood Residential – (NR-2)**

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**Appearance****Entrances**

Principal door must be oriented to the street. Porches/stoops required. Garage is secondary to the primary structure.

**Building Materials**

No more than three (3) materials shall be used, excluding materials for fascia, soffit, and window trim. Materials shall be used uniformly on all street facing facades.

**Building Design**

Single wall planes may not exceed 500 square feet. Changes in wall planes shall be at least one (1) foot from the adjacent plane, for a length of at least six (6) feet. See Section 17.14.020.C.4 *Articulation*.

**Façade Variation**

May not possess the same façade as adjacent units, per Section 17.14.020.

**Accessory Structures**

Shall be architecturally consistent with the principal structure in materials, color, roof pitch, and detailing.

**Center Street/Historic District Overlay**

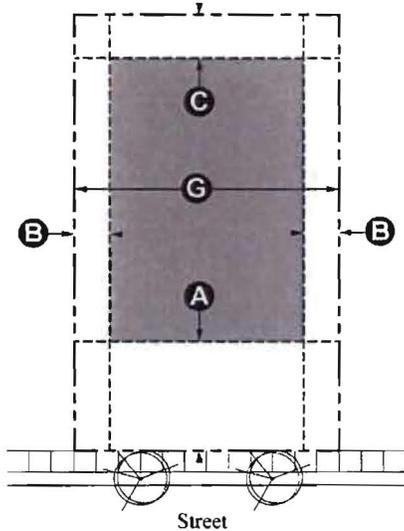
Subject to *Center Street Historic District Design Standards*.

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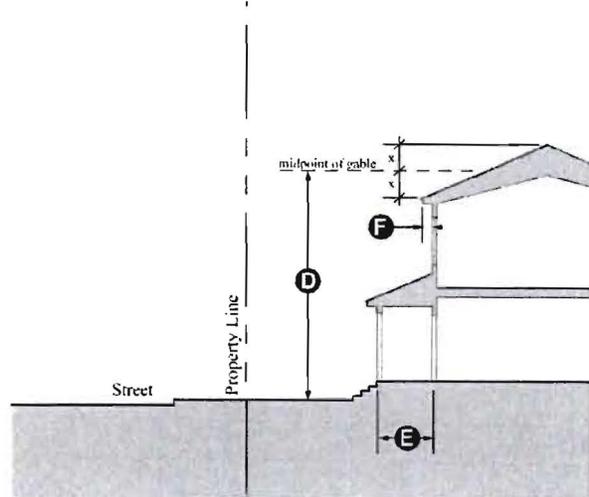
**Other****Compliance with Other Standards**

Compliance with all other applicable sections of the Logan Land Development Code is required.

**§17.15.060 Neighborhood Residential (NR-4) Development Standards**



Site Plan Diagram



Site Plan Diagram

**Residential Density**

Units/Acre (max) **4**

**Site**

Min. Lot Size 10,000 sq ft<sup>2</sup>

**G** Lot Width (min. average/block) 90'  
 (Lot width average does not apply to flag lots and courtyard homes).

Lot Coverage (max bldg. footprint) 50%

**Setbacks**

**A** Front 25'  
 Corner 20'  
**B** Side 8'  
**C** Rear 10'  
 Canal (recognized top bank) 15'

(Canal setback may be waived with written permission from appropriate canal company).

**Open Space**

Not Required

**Parking**

Required Stalls 2.0 / Unit

**Attached Garage**

Garages with street facing garage door(s) shall not extend more than 10' beyond the front plane of the primary structure (side entry garages exempt).

Maximum width of street facing garage doors shall not exceed 50% percent of the overall width of the primary structure.

**Accessory Structures/Detached Garages**

Building footprint shall not exceed 100% of the primary structure footprint.

Maximum width of street facing garage doors shall not exceed 50% percent of the overall width of the primary structure.

**Detached Garage Setback**

From front plane of Primary Structure (except side-entry garage) 10'

Detached garage distance from rear or side of primary structure 6'

**Side/Rear Setbacks (accessory structure)** 5'

Structures less than 120 ft<sup>2</sup> 1'

**Driveway**

**Driveway Width (min-max)** (max width within 15' of street ROW) 12' - ~~20'~~ **22'**

**Driveway Setback from side property line** (shared driveway exempt) 2'

**Driveway Access Curb Cut Width (max)** (driveways shall lead to parking stalls located outside of building setbacks) 24'

**Building Height**

**D** Primary Building (Max) 35'

Accessory Building (Max) 15'

**Building Form**

**E** Covered Front Stoop/Porch (min. depth) 4'

Primary Roof Pitch 5:12

**F** Roof Overhang (min) 1'

Zones

§17.15.060 **Neighborhood Residential – (NR-4)**



---

**Appearance**

**Entrances**

Principal door must be oriented to the street. Porches/stoops required. Garage is secondary to the primary structure.

**Building Materials**

No more than three (3) materials shall be used, excluding materials for fascia, soffit, and window trim. Materials shall be used uniformly on all street facing facades.

**Building Design**

Single wall planes may not exceed 500 square feet. Changes in wall planes shall be at least one (1) foot from the adjacent plane, for a length of at least six (6) feet. See Section 17.14.020.C.4 *Articulation*.

**Façade Variation**

May not possess the same façade as adjacent units, per Section 17.14.020.

**Accessory Structures**

Shall be architecturally consistent with the principal structure in materials, color, roof pitch, and detailing.

**Center Street/Historic District Overlay**

Subject to *Center Street Historic District Design Standards*.

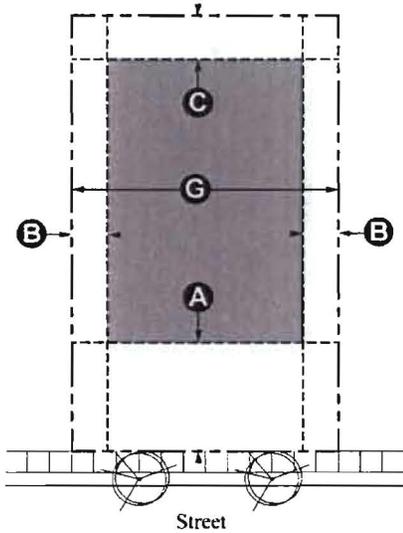
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**Other**

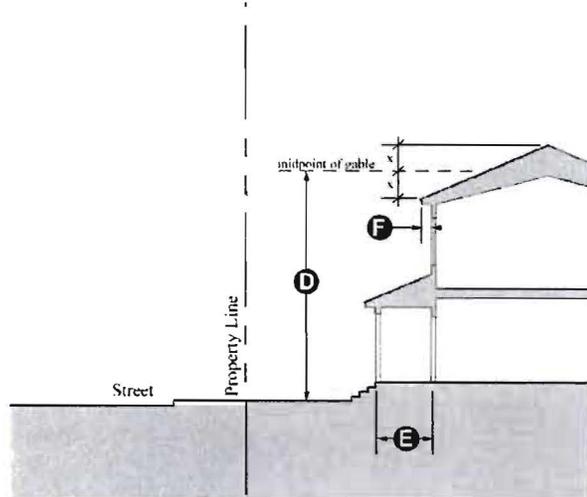
**Compliance with Other Standards**

Compliance with all other applicable sections of the Logan Land Development Code is required.

**§17.15.070 Neighborhood Residential (NR-6) Development Standards**



Site Plan Diagram



Site Plan Diagram

**Residential Density**

Units/Acre (max) 6

**Site**

Min. Lot Size 6,000 sq ft<sup>2</sup>

Ⓒ Lot Width (min. average/block) 50'

(Lot width average does not apply to flag lots and courtyard homes).

Lot Coverage (max bldg. footprint) 60%

**Setbacks**

Ⓐ Front 25'

Corner 20'

Ⓑ Side 8'

Ⓒ Rear 10'

Canal (recognized top bank) 15'

(Canal setback may be waived with written permission from appropriate canal company).

**Open Space**

Not Required

**Parking**

Required Stalls 2.0 / Unit

**Attached Garage**

Garages with street facing garage door(s) shall not extend more than 10' beyond the front plane of the primary structure (side entry garages exempt).

Maximum width of street facing garage doors shall not exceed 50% percent of the overall width of the primary structure.

**Accessory Structures/Detached Garages**

Building footprint shall not exceed 100% of the primary structure footprint.

Maximum width of street facing garage doors shall not exceed 50% percent of the overall width of the primary structure.

**Detached Garage Setback**

From front plane of Primary Structure (except side-entry garage) 10'

Detached garage distance from rear or side of primary structure 6'

**Side/Rear Setbacks (accessory structure)** 5'

Structures less than 120 ft<sup>2</sup> 1'

**Driveway**

**Driveway Width (min-max)** (max width within 15' of street ROW) 12' - ~~20'~~ 22'

**Driveway Setback from side property line** (shared driveway exempt) 2'

**Driveway Access Curb Cut Width (max)** (driveways shall lead to parking stalls located outside of building setbacks) 24'

**Building Height**

Ⓓ Primary Building (Max) 35'

Accessory Building (Max) 15'

**Building Form**

Ⓔ Covered Front Stoop/Porch (min. depth) 4'

Primary Roof Pitch 5:12

Ⓕ Roof Overhang (min) 1'

**§17.15.070 Neighborhood Residential - (NR-6)**

---

**Appearance**

---

**Entrances**

Principal door must be oriented to the street. Porches/stoops required. Garage is secondary to the primary structure.

**Building Materials**

No more than three (3) materials shall be used, excluding materials for fascia, soffit, and window trim. Materials shall be used uniformly on all street facing facades.

**Building Design**

Single wall planes may not exceed 500 square feet. Changes in wall planes shall be at least one (1) foot from the adjacent plane, for a length of at least six (6) feet. See Section 17.14.020.C.4 *Articulation*.

**Façade Variation**

May not possess the same façade as adjacent units, per Section 17.14.020.

**Accessory Structures**

Shall be architecturally consistent with the principal structure in materials, color, roof pitch, and detailing.

**Center Street/Historic District Overlay**

Subject to *Center Street Historic District Design Standards*.

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**Other**

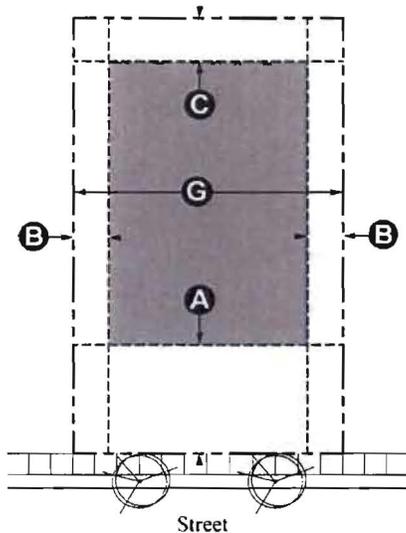
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**Compliance with Other Standards**

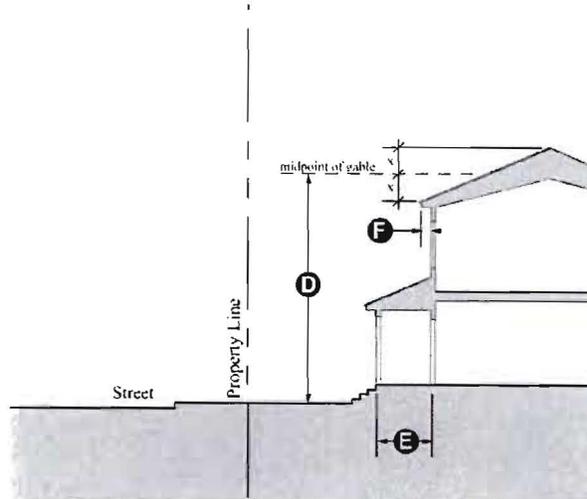
Compliance with all other applicable sections of the Logan Land Development Code is required.

17.15: Specific Development Standards: **Neighborhood Residential** Zones

§17.15.080 Mixed Residential (**MR-9**) Development Standards



Site Plan Diagram



Site Plan Diagram

**Residential Density**

Units/Acre (max) 9

**Site**

Min. Lot Size 4,000 sq ft<sup>2</sup>

Ⓒ Lot Width (min. average/block) 40'

(Lot width average does not apply to flag lots and courtyard homes).

Lot Coverage (max bldg. footprint) 70%

**Setbacks**

Ⓐ Front 15'

Corner 15'

Ⓑ Side 5'

Ⓒ Rear 10'

Canal (recognized top bank) 15'

**Parking**

Required Stalls 2.0 / Unit

**Land Set Asides (17.35.020)**

Open Space 20 %

Useable Outdoor Space 10%

**Attached Garage**

Garages with street facing garage door(s) shall not extend more than 10' beyond the front plane of the primary structure (side entry garages exempt).

Maximum width of street facing garage doors shall not exceed 50% percent of the overall width of the primary structure.

**Accessory Structures/Detached Garages**

Building footprint shall not exceed 100% of the primary structure footprint.

Maximum width of street facing garage doors shall not exceed 50% percent of the overall width of the primary structure.

**Detached Garage Setback**

From front plane of Primary Structure (except side-entry garage) 10'

Detached garage distance from rear or side of primary structure 6'

**Side/Rear Setbacks (accessory structure)** 5'

Structures less than 120 ft<sup>2</sup> 1'

**Driveway**

**Driveway Width (min-max)** (max width within 15' of street ROW) 12'-~~20'~~22'

**Driveway Setback from side property line** (shared driveway exempt) 2'

**Driveway Access Curb Cut Width (max)** (driveways shall lead to parking stalls located outside of building setbacks) 24'

**Building Height**

Ⓓ Primary Building (Max) 35'

Accessory Building (Max) 15'

**Building Form**

Ⓔ Covered Front Stoop/Porch (min-max depth) 4'

Primary Roof Pitch 5:12

Ⓕ Roof Overhang (min) 1'

Zones

**§17.15.080 Mixed Residential - (MR-9)**

---

**Appearance**

---

**Entrances**

Principal door must be oriented to the street. Porches/stoops required. Garage is secondary to the primary structure.

**Building Materials**

See Section 17.14.030 (C)(3).

No more than 3 materials shall be used (excluding materials for fascia, soffit, window trim, etc.). See preferred materials. No vinyl or T1-11 siding allowed. Front material mix shall be used on a minimum of 50% of sides/rear. See Section 17.14.20.C.3.

**Building Design**

Front and side elevations must be divided into distinct planes of 500 square feet or less. A distinct wall plane results in a change of plane at least one (1) foot from the adjacent plane, for a length of at least six (6) feet. See Section 17.14.030040.C.21.

**Façade Variation**

May not possess the same façade as adjacent units, per Section 17.14.020040.

**Accessory Structures**

Shall be architecturally consistent with the principal structure in materials, color, roof pitch, and detailing.

**Open Space**

20% open space and 10% useable outdoor space required. May be aggregated in common exterior open space (courtyards, parks, pools, etc).

**Center Street/Historic District Overlay**

Subject to *Center Street Historic District Design Standards*.

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**Other**

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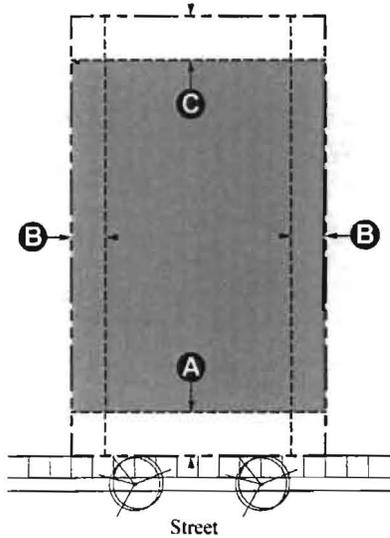
**Compliance with Other Standards**

Compliance with all other applicable sections of the Logan Land Development Code is required.

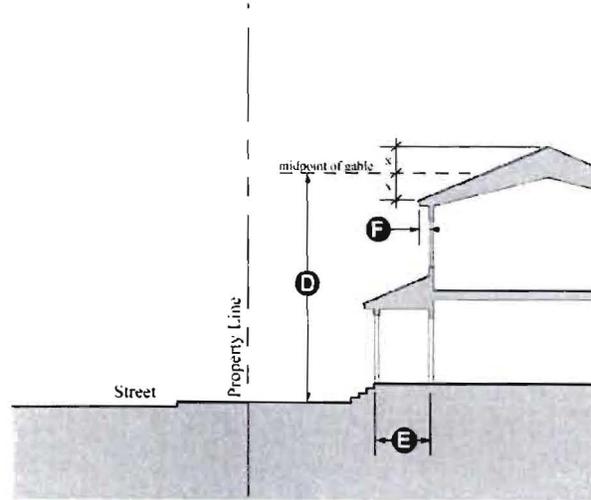
17.15: Specific Development Standards: **Neighborhood Residential**

Zones

**§17.15.090 Mixed Residential Low (MR-12) Development Standards**



Site Plan Diagram



Site Plan Diagram

**Residential Density**

Units/Acre (min-max) 12

**Site**

Lot Coverage (max) 40%

Building Width at Frontage  
% at front setback (min) 75%

**Setbacks**

- A** Front (min) 10'
- Corner 10'
- Front Opposite SFR (min) 25'
- B** Side – Common Wall (min) 0'
- Side – Non Common Wall (min) 8'
- Side – Adjacent to NR Zone 25'
- C** Rear (min) 10'
- Rear – Adjacent to NR Zone 25'

**Parking**

**Parking Setbacks**

**Parking – Front (min)** 10'  
*(setback measured from the longest portion of front wall plane of the primary structure)* 10'

**Parking – Side/Rear (min)** 5'

**Required Stalls** 2/Unit

*(For alternative parking requirements, see Section 17.38)*

**Driveway Width** 20'-24'

*(max width within 20'-15' of street ROW)*

**Land Set Asides (17.35.020)**

Open Space 20 %  
Useable Outdoor Space 10%

**Building Form**

**Heights**

- D** Primary Building (max) 35'
- Fences & Walls – Front (max) 4'
- Fences & Walls – Side/Rear Yard 6'
- E** Front Stoop/Porch (min-max depth) 4'-10'

**Roofs**

Roof Types Flat or Sloped  
(Flat roof requires Track 2 approval)  
Sloped Roof Pitch (min) 5:12  
**F** Roof Overhang (min) 1'

**Windows**

Window trim, including sills, shutter and/or surround (min) 4"  
% of front facade coverage 15%

**Facades**

See Section 17.14.030

**Pedestrian Access**

Buildings shall not exceed 120' in horizontal distance. Minimum 20' breaks shall provide pedestrian access ways to common areas or rear alleys.

**Parking Location**

Location Rear or Side  
*(If located to the side, garage shall be set back from the front plane of the house by a minimum of 10')*

Zones

**§17.15.090 Mixed Residential Low - (MR-12)**

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**Appearance**

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**Entrances**

Principal door must be oriented to the street. Porches/stoops required.

**Building Materials**

No more than 3 materials shall be used (excluding materials for fascia, soffit, window trim, etc.). See preferred materials. No vinyl or T1-11 siding allowed. Front material mix shall be used on a minimum of 50% of sides/rear. See Section 17.14.030-020.C.3.

**Building Design**

Front and side elevations must be divided into distinct planes of 500 square feet or less. A distinct wall plane results in a change of plane at least one (1) foot from the adjacent plane, for a length of at least six (6) feet. See Section 17.14.030040.C.21.

**Façade Variation**

May not possess the same façade as adjacent units, per Section 17.14.030040.

**Open Space**

20% open space and 10% useable outdoor space required ~~per unit~~. May be aggregated in common exterior open space (courtyards, parks, pools, etc).

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**Other**

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**Compliance with Other Standards**

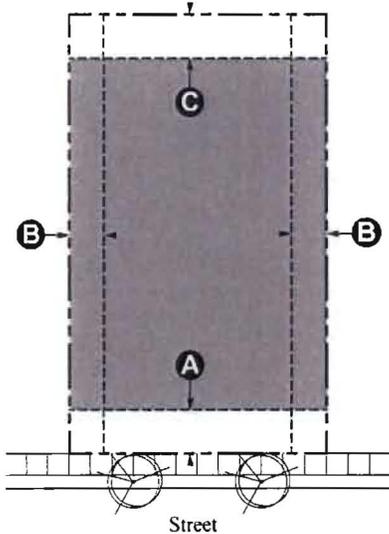
Compliance with all other applicable sections of the Logan Land Development Code is required.

**Variety of Building Types**

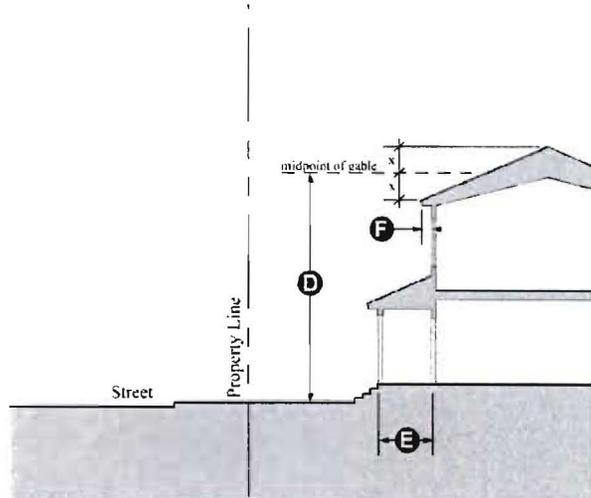
MR-12 developments must provide at least two Neighborhood Residential Structure Types. For MR-12 projects exceeding 80 units, at least three Neighborhood Residential Structure Types shall be provided. For MR-12 projects exceeding 120 units, at least 20% of the use and structure type shall be Front Yard House-detached housing structure type.

Zones

**§17.15.100 Mixed Residential Medium (MR-20) Development Standards**



Site Plan Diagram



Site Plan Diagram

**Residential Density**

Units/Acre (min-max) 20

**Site**

Lot Coverage (max) 60%

Building Width at Frontage

% at front setback (min) 75%

**Setbacks**

**A** Front (min) 10'

Corner 10'

Front Opposite SFR (min) 25'

**B** Side – Common Wall (min) 0'

Side – Non Common Wall (min) 8'

Side – Adjacent to NR Zone 25'

**C** Rear (min) 10'

Rear – Adjacent to NR Zone 25'

**Parking**

**Parking Setbacks**

**Parking – Front (min)** 10'

*(setback measured from the longest portion of front wall plane of the primary structure)* 10'

**Parking – Side/Rear (min)** 5'

**Required Stalls** 2/Unit

*(For alternative parking requirements, see Section 17.38)*

**Driveway Width** 20'-24'

*(max width within 20'-15' of street ROW)*

**Land Set Asides (17.35.020)**

Open Space 20 %

Useable Outdoor Space 10%

**Building Form**

**Heights**

**D** Primary Building (max) 45'

Fences & Walls – Front (max) 4'

Fences & Walls – Side/Rear Yard 6'

**E** Front Stoop/Porch (min-max depth) 4'-10'

**Roofs**

Roof Types Flat or Sloped

*(Flat roof requires Track 2 approval)*

Sloped Roof Pitch (min) 5:12

**F** Roof Overhang (min) 1'

**Windows**

Window trim, including sills, shutter: 4"

and/or surround (min)

% of front facade coverage 15%

**Facades**

See Section 17.14.030

**Pedestrian Access**

Buildings shall not exceed 120' in horizontal distance. Minimum 20' breaks shall provide pedestrian access ways to common areas or rear alleys.

**Parking Location**

Location Rear or Side

*(If located to the side, garage shall be set back from the front plane of the house by a minimum of 10')*

## Zones

**§17.15.100 Mixed Residential Medium - (MR-20)****Appearance****Entrances**

Principal door must be oriented to the street. Porches/stoops required.

**Building Materials**

No more than 3 materials shall be used (excluding materials for fascia, soffit, window trim, etc.). See preferred materials. No vinyl or T1-11 siding allowed. Front material mix shall be used on a minimum of 50% of sides/rear. See Section 17.14.020 C.3.

**Building Design**

For buildings less than 35' in height, front, side and street facing and side elevations must be divided into distinct planes of 500 square feet or less. For building greater than 35' in height, front, side and street facing elevations must be divided into distinct planes of 1,000 square feet or less. A distinct wall plane results in a change of plane at least one (1) foot from the adjacent plane, for a length of at least six (6) feet. See Section 17.14.020 C.21.

**Façade Variation**

May not possess the same façade as adjacent units, per Section 17.14.034 0.

**Open Space**

20% open space and 10% useable outdoor space required per unit. May be aggregated in common exterior open space (courtyards, parks, pools, etc).

**Other****Compliance with Other Standards**

Compliance with all other applicable sections of the Logan Land Development Code is required.

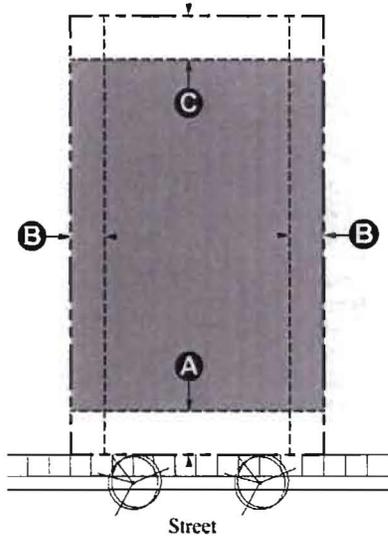
**Variety of Building Types**

MR-20 developments must provide at least two Neighborhood Residential Structure Types.

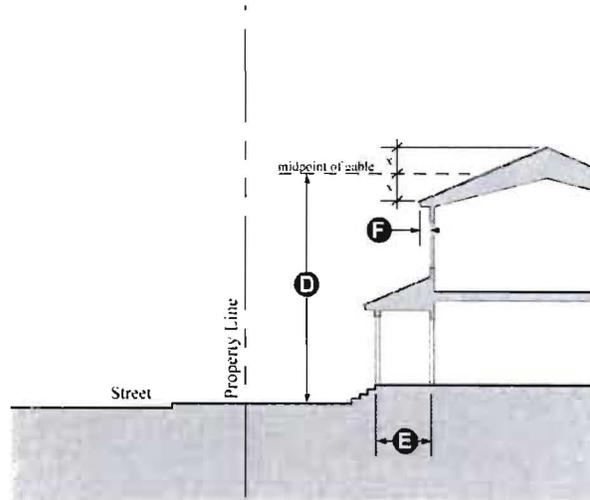
17.15: Specific Development Standards: **Neighborhood Residential**

Zones

**§17.15.110 Mixed Residential High (MR-30) Development Standards**



Site Plan Diagram



Site Plan Diagram

**Residential Density**

Units/Acre (min-max) 30

**Site**

Lot Coverage (max) 60%

Building Width at Frontage

% at front setback (min) 75%

**Setbacks**

**A** Front (min) 10'

Corner 10'

Front Opposite SFR (min) 25'

**B** Side – Common Wall (min) 0'

Side – Non Common Wall (min) 8'

Side – Adjacent to NR Zone 25'

**C** Rear (min) 10'

Rear – Adjacent to NR Zone 25'

**Parking**

**Parking Setbacks**

**Parking – Front (min)** 10'

*(setback measured from the longest portion of front wall plane of the primary structure)* 10'

**Parking – Side/Rear (min)** 5'

**Required Stalls** 2/Unit

*(For alternative parking requirements, see Section 17.38)*

**Driveway Width**

**20'-24'**

*(max width within 20'-15' of street ROW)*

**Land Set Asides (17.35.020)**

Open Space 20 %

Useable Outdoor Space 10%

**Building Form**

**Heights**

**D** Primary Building (max) 55'

Fences & Walls – Front (max) 4'

Fences & Walls – Side/Rear Yard 6'

**E** Front Stoop/Porch (min-max depth) 4'-10'

**Roofs**

Roof Types Flat or Sloped

*(Flat roof requires Track 2 approval)*

Sloped Roof Pitch (min) 5:12

**F** Roof Overhang (min) 1'

**Windows**

Window trim, including sills, shutter: 4"

and/or surround (min)

% of front facade coverage 15%

**Facades**

See Section 17.14.030

**Pedestrian Access**

Buildings shall not exceed 120' in horizontal distance. Minimum 20' breaks shall provide pedestrian access ways to common areas or rear alleys.

**Parking Location**

Location Rear or Side

*(If located to the side, garage shall be set back from the front plane of the house by a minimum of 10')*

Zones

**§17.15.110 Mixed Residential High - (MR-30)****Appearance****Entrances**

Principal door must be oriented to the street. Porches/stoops required.

**Building Materials**

~~See Section 17.14.030 (C)(3):~~

No more than 3 materials shall be used (excluding materials for fascia, soffit, window trim, etc.). See preferred materials. No vinyl or T1-11 siding allowed. Front material mix shall be used on a minimum of 50% of sides/rear. See Section 17.14.20.C.3.

**Building Design**

~~Front and side elevations must be divided into distinct planes of 500 square feet or less. For buildings less than 35' in height, front, side and street facing elevations must be divided into distinct planes of 500 square feet or less. For building greater than 35' in height, front, side and street facing elevations must be divided into distinct planes of 1,000 square feet or less.~~ A distinct wall plane results in a change of plane at least one (1) foot from the adjacent plane, for a length of at least six (6) feet. See Section 17.14.030040.C.21.

**Façade Variation**

May not possess the same façade as adjacent units, per Section 17.14.~~030040.~~

**Open Space**

20% open space and 10% useable outdoor space required ~~per unit.~~ May be aggregated in common exterior open space (courtyards, parks, pools, etc).

**Other****Compliance with Other Standards**

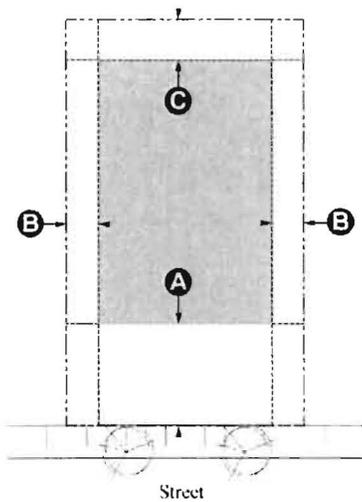
Compliance with all other applicable sections of the Logan Land Development Code is required.

**Variety of Building Types**

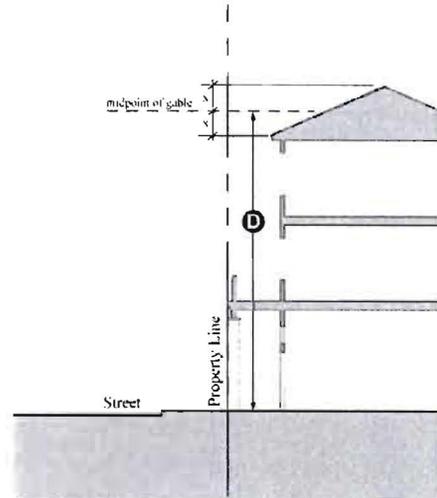
MR-30 developments must provide at least two Neighborhood Residential Structure Types.

Zones

**§17.15.080 Neighborhood Center (NC) Development Standards**



Site Plan Diagram



Site Section Diagram

**Residential Density**

Units/Acre 9

**Commercial Footprint Area**

Per Parcel in a Neighborhood Center (C.U. Permit may allow up to 5,000 SF max.) 3,000 SF

**Site**

**Lot**  
Coverage (max) 60%  
No Drive-Thru lane or window.  
No Outside Storage.

**Setbacks**

- A** Front (min-max) 10'-25'
- Corner 10'-25'
- B** Side (min) 8'
- C** Rear (min) 10'

**Building Frontage**

% at front setback (min) 75%

**Parking**

Parking is not permitted between the structure and the street in the NC zone. The NC zone is intended for neighborhood traffic and shall be designed at pedestrian scale. See Chapter 17.38 Parking Regulations.

**Landscaping**

Landscape buffers shall be provided between parking areas and adjacent residential properties. Additional landscaping may be required as per the Design Review process to buffer adjacent residential properties. See Chapter 17.39 Landscaping.

**Building Form**

**Heights**

- D** Primary Building (max) 35'
- Accessory (max) 15'
- Fences & Walls – Front (max) 4'
- Fences & Walls – Side/Rear Yard 6'

**Roofs**

- Roof Types Flat or Sloped  
(Flat roof requires Track 2 approval)  
(Parapets are required for flat roofs – min 3 feet)
- Sloped Roof Pitch (min) 5:12
- Roof Overhang 6"

**Transparency**

- Ground Floor Frontages (street facing min) 50%

**Elevations**

Front, side and rear elevations shall be divided into distinct planes of 500 sq. ft. or less. Changes in wall plane shall project or recess at least 1 ft for a length of at least 6 ft.

## Zones

**§17.15.080 Neighborhood Center (NC)**

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**Appearance**

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**Entrances**

Principal door must be oriented to the street. Porches/stoops required. Buildings with two (2) frontages shall have an angled entrance at the corner(s). Commercial entrances required every 40' (min) on center.

**Building Design**

Front and side elevations must be divided into distinct planes of 500 square feet or less. A distinct wall plane results in a change of plane at least one (1) foot from the adjacent plane, for a length of at least six (6) feet. See Section 17.14.030040.C2C.1.

**Weather Protection**

Required for ground floor entrances (awnings, canopies, colonnades, marquees, building overhangs).

**Building Materials**

See Section 17.14.030 (C)(3).

No more than 3 materials shall be used (excluding materials for fascia, soffit, window trim, etc.) for street-facing elevations. See preferred materials. No vinyl or T1-11 siding allowed. Front material mix shall be used on a minimum of 50% of sides/rear. See Section 17.14.20.C.3.

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**Other**

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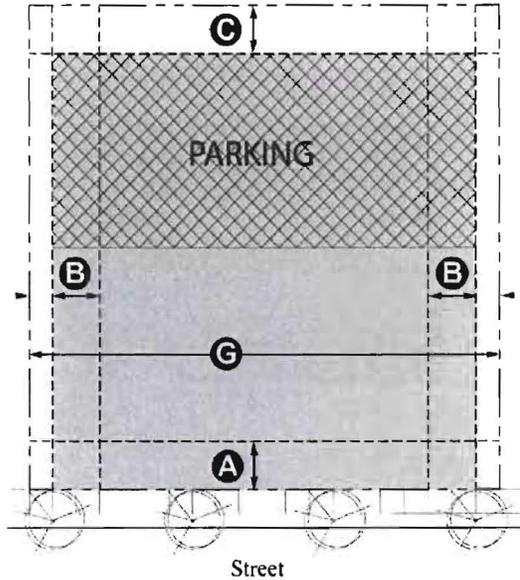
**Compliance with Other Standards**

Compliance with all other applicable sections of the Logan Land Development Code is required, including but not limited to: Chapter 17.11, General Development Standards - All Zones; Chapter 17.14, General Development Standards, Neighborhood Zones (residential uses); Chapter 17.18, General Development Standards, Districts and Corridors Zones (non-residential uses); applicable Overlay Zones; Chapter 17.35, Open Space; Chapter 17.36, Standards, Specifications, and Improvements; Chapter 17.38, Parking; Chapter 17.39, Landscaping; Chapter 17.40, Signs; Chapter 17.45, Wireless Communication Facilities; and Chapter 17.54, Specific Plan Overlays.

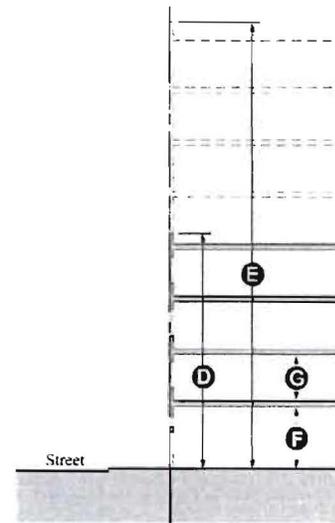
17.15: Specific Development Standards: **Neighborhood Residential**

Zones

**§17.15.120 Campus Residential (CR) Development Standards**



Site Plan Diagram



Site Plan Diagram

**Residential Density**

Units/Acre (max) 40

**Site**

**Lot**

Size (min) 6,000 ft<sup>2</sup>

**G** Lot Width (min) 60'

Coverage (max) 60%

**Coverage (max with bonus) 80%**

**Setbacks**

**A** Front (min) 10'

Front – Opposite NR Zones 25'

**B** Side (min) 5'

Side Adjacent to NR Zones 25'

**C** Rear (min) 10'

Rear Adjacent to NR Zones 25'

See Section 17.14.050 for additional setback requirements if adjacent to a residential zone.

**Building Frontage**

% at front setback (min) **75**50%

% at side setback NA

**Parking**

Residential 1 parking stall per occupant

(Unless an Alternative Parking Plan is approved)

**Parking Setbacks**

**Parking – Front (min) 10'**

(setback measured from the longest portion of front wall plane of the primary structure)

**Parking – Side/Rear (min) 5'**

**Land Set Asides (17.35.020)**

Open Space 20 %

Useable Outdoor Space 10%

**Non-residential Uses in CR**

Non residential uses shall not exceed 25% of total first floor square footage and shall be located on ground floor only (see use table).

**Building Form**

**Heights**

**D** Primary Building Height 55'

Fences – Front (max) 4'

Fences – Side/Rear (max) 6'

**Stoop / Porch (min-max) 2'-4'**

**Floor Height (floor to ceiling)**

Commercial use on ground floor 12'

**Roofs**

Roof Types Flat or Sloped

Sloped Roof Pitch (min) 5:12

(Flat roof requires Track 2 approval)

Roof Overhang 1'

**Parking Location**

Location Rear or Side

Structure Above/ Below/ Behind

(See Parking Location Figure 17.15.090)

Surface Rear or Side

50% max. surface parking

See Section 17.38.080.B.4

Zones

**§17.15.120 Campus Residential (CR)****Appearance****Elevations**

Blank lengths of wall exceeding 30 linear feet are prohibited on all exposed building facades. Acceptable breaks include transparent or lightly tinted windows, balconies, horizontal building modulation (e.g., recess, and/or changes in color or material).

**Weather Protection**

Required for ground floor entrances (awnings, canopies, colonnades, marquees, building overhangs, etc.).

**Building Materials**

No more than 3 materials shall be used (excluding materials for fascia, soffit, window trim, etc.) for street-facing elevations. ~~See preferred materials.~~ No vinyl or T1-11 siding allowed. Front material mix shall be used on a minimum of 50% of sides/rear. See Section 17.14.020.C.3.

**Building Design**

~~Front and side elevations must be divided into distinct planes of 500 square feet or less. For buildings less than 35' in height, front, side and street facing elevations must be divided into distinct planes of 500 square feet or less. For buildings greater than 35' in height, front, side and street facing elevations must be divided into distinct planes of 1,000 square feet or less.~~ A distinct wall plane results in a change of plane at least one (1) foot from the adjacent plane, for a length of at least six (6) feet. See Section 17.14.030.040.C.21.

**Open Space**

~~200 ft<sup>3</sup> (common or private) per dwelling units. 20% open space and 10% useable outdoor space required. May be aggregated in common exterior open space (courtyards, parks, pools, etc).~~

**Pedestrian Entrances**

~~1 per 80' of frontage.~~ A functioning pedestrian entrance is required along each frontage. Buildings with two frontages may substitute an angled entrance at the corner.

**Pedestrian Access Building Mass**

~~A Buildings shall not exceed 120 feet in length. There shall be a minimum separation between buildings of at least 20 feet to provide for common open space or pedestrian access. 120 feet in horizontal distance without minimum 20-foot breaks between buildings providing pedestrian access or common open space.~~

17.15: Specific Development Standards: Neighborhood-Residential

Zones

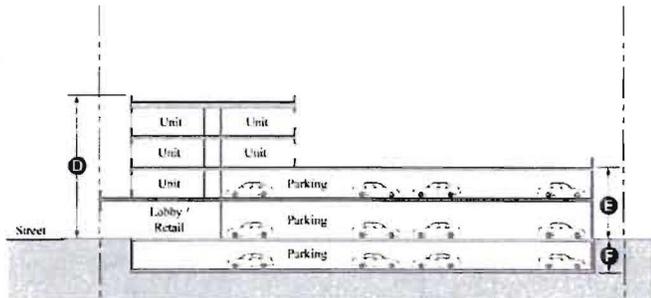
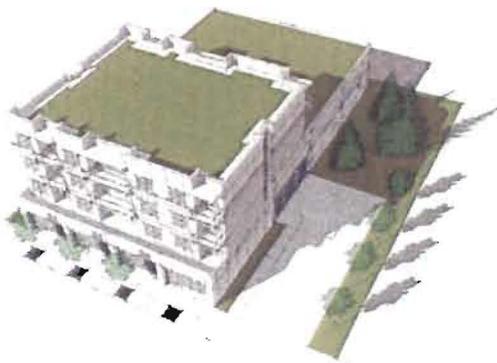
**Other**

**Compliance with Other Standards**

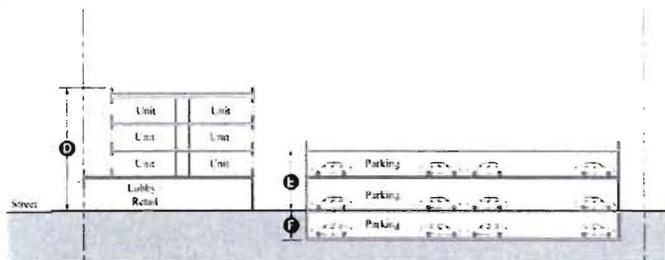
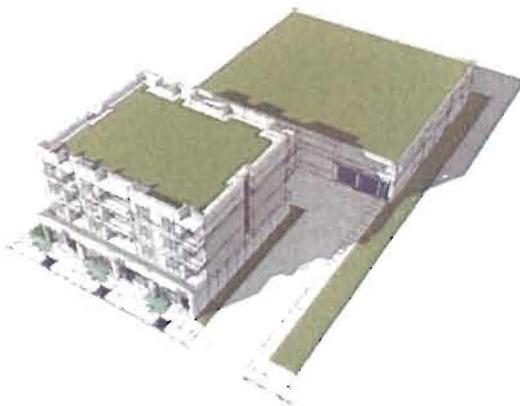
Compliance with all other applicable sections of the Logan Land Development Code is required, including but not limited to: Chapter 17.11, General Development Standards—All Zones; Chapter 17.14, General Development Standards, Neighborhood Zones (residential uses); Chapter 17.18, General Development Standards, Districts and Corridors Zones (non-residential uses); applicable Overlay Zones; Chapter 17.35, Open Space; Chapter 17.36, Standards, Specifications, and Improvements; Chapter 17.38, Parking; Chapter 17.39, Landscaping; Chapter 17.40, Signs; Chapter 17.45, Wireless Communication Facilities; and Chapter 17.54, Specific Plan Overlays.

**Figure 17.15.120 Parking Structure Standards – Campus Residential**

Structured parking in the Campus Residential Zones is required to be above, below, or behind the building.



Example of parking location when attached as part of a building.



Example of parking location when detached from a building

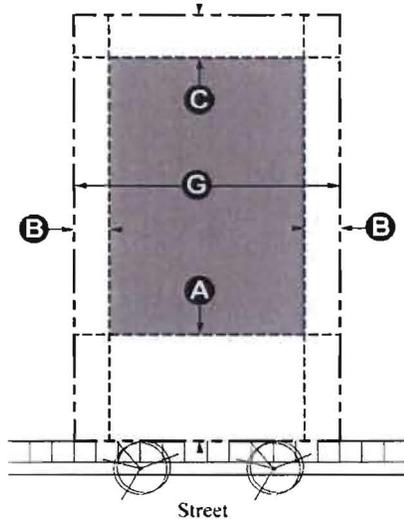
Zones

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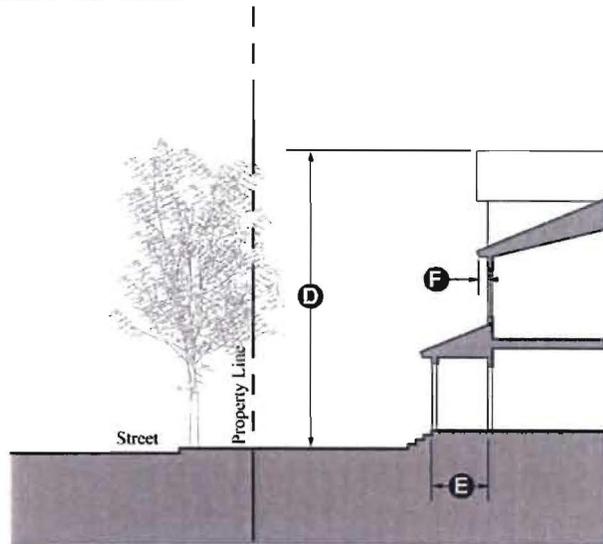
17.15: Specific Development Standards: Neighborhood Residential

Zones

§17.15.130 Resource Conservation (RC) Development Standards



Site Plan Diagram



Site Plan Diagram

**Residential Density**

Units/Acre (min-max) (1unit/40 ac)

**Site**

Lot Size (min.-max) 20,000

Ⓒ Lot Width (average/block) 140'

Lot Coverage (max bldg. footprint) 40%

\*Lot width average does not apply to cluster homes on individual lots.

**Setbacks**

Ⓐ Front 25'

Corner 20'

Ⓑ Side 8'

Ⓒ Rear 10'

Canal (recognized top bank) 15'

(Canal setback may be waived with written permission from appropriate canal company).

**Open Space**

Not Required

**Parking**

Required Stalls 2.0 / Unit

**Attached Garage**

Garages with street facing garage door(s) shall not extend more than 10' beyond the front plane of the primary structure (side entry garages exempt).

Maximum width of street facing garage doors shall not exceed 50% percent of the overall width of the primary structure.

**Accessory Structures/Detached Garages**

Building footprint shall not exceed 100% of the primary structure footprint.

Maximum width of street facing garage doors shall not exceed 50% percent of the overall width of the primary structure.

**Detached Garage Setback**

From front plane of Primary Structure 10'

(except side-entry garage)

Detached garage distance from rear or side of primary structure 6'

Side/Rear Setbacks (accessory structure)

5'

Structures less than 120 ft<sup>2</sup> 1'

Driveway

Driveway Width (min-max) (max width within 15' of street ROW) 12' - 20' - 24'

Driveway Setback from side property line (shared driveway exempt) 2'

Driveway Access Curb Cut Width (max) (driveways shall lead to parking stalls located outside of building setbacks) 24'

Building Height

Ⓓ Primary Building (Max) 35'

Accessory Building (Max) 15'

**Building Form**

Ⓔ Covered Front Stoop/Porch (min. depth) 4'

Primary Roof Pitch 5:12

Ⓕ Roof Overhang (min) 1'

Zones

**§17.15.110 Resource Conservation (RC)**

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**Appearance**

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**Entrances**

Principal door must be oriented to the street. Porches/stoops required.

**Building Materials**

No more than three (3) materials shall be used, excluding materials for fascia, soffit, and window trim. Materials shall be used uniformly on all four (4) facades.

**Façade Variation**

May not possess the same façade as adjacent units, per Section 17.14.020040.C.1.

**Accessory Structures**

Shall be architecturally consistent with the principal structure in materials, color, roof pitch and detailing, unless use of structure is a functional agricultural building.

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**Other**

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**Compliance with Other Standards**

Compliance with all other applicable sections of the Logan Land Development Code is required.

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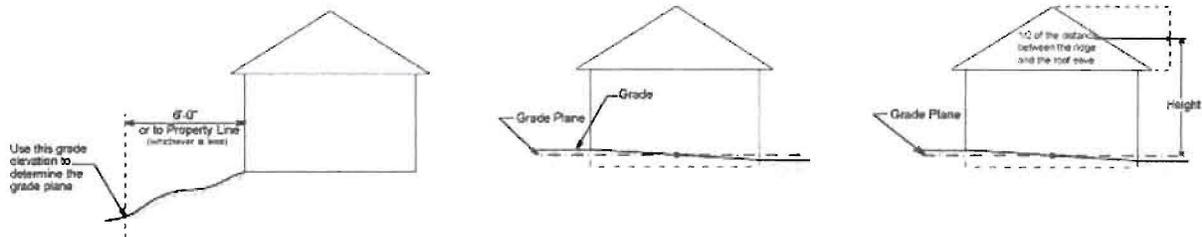
17.15: Specific Development Standards: ~~Neighborhood Residential~~

Zones

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**Figure 17.62.A: Determining Building Height**

To measure height, a "grade plane" must be established. A grade plane is established by determining the average grade between the highest and lowest natural grades, at a distance six (6) feet from the structure (or to the property line, whichever is less). Height is measured from the grade plane to a point 1/2 of the distance between the roof ridge and the roof eave (for sloped roofs).

**Height, Structure (other than building)**

"Height, Structure (other than building)" means the vertical distance measured from "Average Finished Grade" to the highest point of the structure.

**Historic Preservation Committee**

"Historic Preservation Committee" means the committee appointed by the Mayor for duties specified in Logan Municipal Code Chapter 2.32.

**Hobby Shop (see Sales and Service)****Home Occupation**

"Home occupation" means any activity carried out for gain or requiring a business license by a resident and which is conducted as a customary, incidental, and accessory use in the resident's dwelling unit. A home occupation is owned and run by a resident of the dwelling in which the business takes place.

**Home Occupation—Professional Office**

"Home occupation—professional office" means a home occupation consisting of the office of a practitioner of a recognized profession.

**Homeless Person**

"Homeless person" means a person without permanent housing.

**Hospital**

"Hospital" means an institution providing primary health services and medical or surgical care to persons, primarily inpatients, suffering from illness, disease, injury, deformity, and other abnormal physical or mental conditions and including as an integral part of the institution related facilities, such as laboratories, outpatient facilities, training facilities, medical offices, and staff residences.

**Hotel**

"Hotel" means a facility offering transient sleeping rooms and providing additional services within the same building, such as restaurant(s), conference or meeting rooms, banquet facilities, and full guest services, such as room service or a gift shop.

**Hospital**

~~“Hospital” means an institution providing primary health services and medical or surgical care to persons, primarily inpatients, suffering from illness, disease, injury, deformity, and other abnormal physical or mental conditions and including as an integral part of the institution related facilities, such as laboratories, outpatient facilities, training facilities, medical offices, and staff residences.~~

**Household**

“Household” means a housekeeping unit living together in a single dwelling unit, with common access to and common use of all living and eating areas and all areas and facilities for the preparation and serving of food within the dwelling unit.

**Housing Types**

**Courtyard House, attached** means a group of attached dwelling units arranged to share one or more common courtyards. The dwelling units may be accessed from the street and/or the courtyard.

Form

Form

Form



**Courtyard House, detached** means more than one detached house arranged around a shared courtyard, with pedestrian access to the building entrances from the courtyard and/or street. Courtyard houses may be on individual lots or all units on the same lot.

Form

Form



17.62: Definitions

**Front Yard House, attached** means a dwelling unit, located on its own lot, that shares one or more common or abutting walls with one or more dwelling units, and is accessed through a front yard. An attached house does not share common floor/ceilings with other dwelling units. An attached house is also called a "townhouse" or "townhome."



Forn

Forn

**Front Yard House, detached** means a dwelling unit located on its own lot that is not attached to any other dwelling unit. A front yard house is accessed through the front yard.

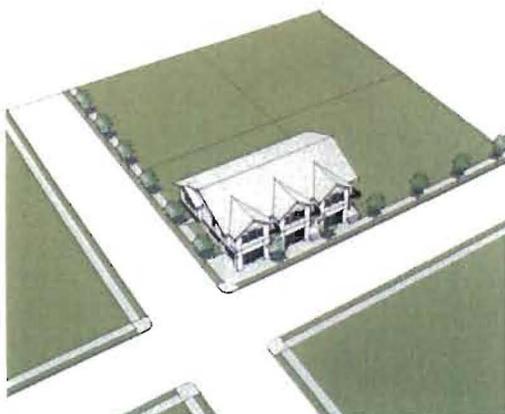


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Forn

Forn

**Live-Work** means an integrated dwelling unit and working space, occupied and utilized by a single household in a structure, either single or multi-dwelling that has been designed or structurally modified to accommodate joint residential occupancy and work activity at the ground floor.



Forn

Forn

Forn

**Manufactured Housing Unit** means a dwelling unit constructed in accordance with federal manufactured

Forn

housing construction and safety standards (HUD code) in effect after June 15, 1976.



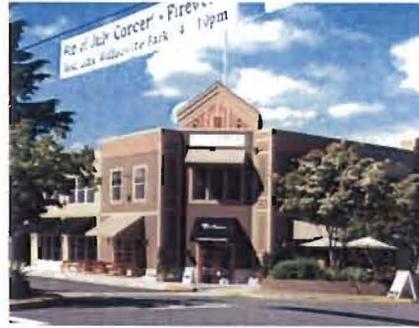
**Multi-Dwelling, attached** means a structure that contains two, three, or four dwelling units on one lot that share common walls or floor/ceilings with one or more units. The land underneath the structure is not divided into separate lots. Multi-dwelling, attached is also commonly known as a duplex, triplex or Fourplex.



**Multi-Dwelling, stacked** means a structure that contains five or more dwelling units that share common walls or floor/ceilings with one or more units. The land underneath the structure is not divided into separate lots. Multi-dwellings include structures commonly called apartments and condominiums.



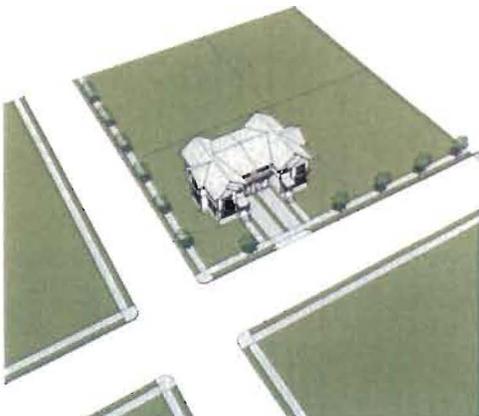
**Neighborhood Center** means a building designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors also configured for those uses or for dwelling units.



**Townhouse** means a dwelling unit, located on its own lot that shares one or more common or abutting walls with one or more dwelling units, and is accessed through a front yard. A townhouse does not share common floor/ceilings with other dwelling units.



**Twinhome** means a structure that contains two dwelling units with common walls or abutting walls, each located on its own lot. Twinhomes are often created by subdividing a single duplex into two separate lots, each of which contains one dwelling unit. A Twinhome is an "Attached house."



### Housing Types

**~~Courtyard House, attached~~**

~~A group of attached dwelling units arranged to share one or more common courtyards. The dwelling units may be accessed from the street and/or the courtyard.~~

**~~Courtyard House, detached~~**

~~More than one detached house arranged around a shared courtyard, with pedestrian access to the building entrances from the courtyard and/or street. Courtyard houses may be on individual lots or all units on the same lot.~~

**~~Duplex, Triplex or Fourplex~~**

~~“Duplex,” “Triplex,” or “Fourplex” means a structure that contains two, three, or four dwelling units on one lot. The units may share common walls or common floor/ceilings.~~

**~~Front Yard House, attached~~**

~~“Front Yard House, Attached” means a dwelling unit, located on its own lot, that shares one or more common or abutting walls with one or more dwelling units, and is accessed through a front yard. An attached house does not share common floor/ceilings with other dwelling units. An attached house is also called a “townhouse” or “townhome.”~~

**~~Front Yard House, detached~~**

~~“Front Yard House, Detached” means a dwelling unit located on its own lot that is not attached to any other dwelling unit. A front yard house is accessed through the front yard.~~

**~~Live-Work~~**

~~“Live-Work” means an integrated dwelling unit and working space, occupied and utilized by a single household in a structure, either single or multi dwelling that has been designed or structurally modified to accommodate joint residential occupancy and work activity at the ground floor.~~

**~~Manufactured Housing Unit~~**

~~“Manufactured Housing Unit” means a dwelling unit constructed in accordance with federal manufactured housing construction and safety standards (HUD code) in effect after June 15, 1976.~~

**~~Multi-Dwelling, stacked~~**

~~“Multi-Dwelling Structure” means a structure that contains five or more dwelling units that share common walls or floor/ceilings with one or more units. The land underneath the structure is not divided into separate lots. Multi-dwellings include structures commonly called apartments and condominiums.~~

**~~Neighborhood Center~~**

~~A building designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors also configured for those uses or for dwelling units.~~

**~~Twinhome~~**

~~“Twinhome” means a structure that contains two dwelling units with common walls or abutting walls, each located on its own lot. Twinhomes are often created by subdividing a single duplex into two separate lots, each of which contains one dwelling unit. A Twinhome is an “Attached house.”~~

**Ice Cream Shop (see Sales and Service)**

**Industrial Machinery Storage, Sales or Repair (see Industrial Service)**

**[Excerpt from Planning Commission meeting minutes of 8/8/13]**

**PC 12-058 LDC Text Amendment** (continued from previous meetings) Amend sections 17.04-17.08 redefine the residential zones and densities in Logan City; 17.12 redefine residential zones; 17.13 amend residential use table; 17.14 clarify general residential development standards; 17.15 clarify specific residential development standards; 17.62 definitions.

**STAFF/COMMISSION DISCUSSION:** Mr. DeSimone explained that this amendment is mainly for cleanup and simplification regarding zoning designations.

Chairman Simmonds questioned the statement on pg. 12-11 "*Promote the infill of block interiors at a lower density to ensure neighborhood compatibility with existing development*" and whether the language is redundant based on the infill section. Mr. DeSimone explained that it is a policy statement within the ordinance which is effectuated through the specific infill language. Chairman Simmonds requested that this language also be included in the NR-6 section.

Chairman Simmonds expressed her concern with the MR-9 zone and the fact that projects often seem to be a "row of garages". Mr. DeSimone pointed out an example of the project presented tonight (Willow Brook Townhomes) where parking is located to the rear. Chairman Simmonds asked if more open space is encouraged in this zone. Mr. DeSimone highlighted the wording "*Encourages clustering of development to protect important spaces*" and said the ratios would remain the same. The MR-9 is a transitional zone based on structure type and density.

Chairman Simmonds asked about usable open space and whether stairwells apply. Mr. DeSimone said stairwells generally do not apply toward open space unless they offer an amenity (i.e. bench or seating area).

Mr. DeSimone confirmed for Commissioner Lee that commercial spaces are encouraged, however, not required in the CR zone. Commercial uses that promote walkability are highly supported; however, Staff believes they should be strongly promoted rather than required. Commissioner Lee asked about creating incentives. Mr. DeSimone said it could be argued that the incentive is the fact that commercial space is now allowed, where it was not before.

Commissioner Lee expressed concern that there seems to be some disconnect between goals and how they are accomplished; he would like to see more improvement in this area.

Commissioner Davis noted that she would like to see "*400 North from Main Street to 600 East*" removed from the sentence "*Pedestrian barriers conflicting with neighborhood walkability, which include 400 North from Main Street to 600 East and the upper bluff east of 600 East shall be exempt from the ¼ mile setback requirement*".

Chairman Simmonds asked if a conditional use always runs in perpetuity with a property. Mr. Edwards, the City Attorney, said a CUP would remain with the property unless a deed restriction was added. Chairman Simmonds said her concern is particularly with grandfathered multiplexes in single-family neighborhoods and asked if there was a precedent for reverting back to single-family once the property is sold or transferred. Mr. Edwards said he is not aware of any and that it could interfere with property rights issues. He explained that a property owner is entitled to a certain value, which could possibly be amortized over a certain amount of time. He said the statute applies to signage and he is not aware of anything related to property. Commissioner Lee noted that this is an interesting idea. Chairman Simmonds asked that this issue be discussed in the future; she believes this would be a strong statement in support of reclaiming single-family neighborhoods. Mr. Edwards said he will do some research. Mr. Holley noted that there are other methods and pointed out that the City is exploring the option of purchasing some of these nonconforming structures, deconstructing them and then selling them back as single-family homes.

Chairman Simmonds asked about creative construction, namely variation. Mr. DeSimone explained that as long as projects meet the standards that are set, they should be approved. He suggested changing the standards to reflect the Commission's desire to see higher quality development. The challenge is the ability to articulate those desires within the required standards. He explained that the intent is not to stymie creativity and questioned "how far we can or cannot dictate what can be done".

There was a discussion regarding prefabricated carports or canopies. The general consensus among the Commission was that they should be prohibited (pg 14-9 §17.14.030.7).

Commissioner Davis pointed out that not all rentals are bad and there is a value and need for them. There are many owner-occupied homes that have issues and she wants to be careful that these concerns are not pigeon-holed into a rental issue when it is more of a property owner issue.

Mr. DeSimone advised that one approach to addressing height concerns is with a varying setback on height and structure to help offset any dramatic change.

Commissioner Davis suggested the possibility of basing certain elements (i.e. height, number of garages, etc) on a percentage of what is nearby.

Commissioner Fonesbeck remarked that the Commission needs to be careful regarding discretion, and that if used, it is applied consistently. She said standards have to be realistic; which may be less than personal desire; in order to not stifle growth and development. Commissioner Lee agreed that this needs to be done in a judicious and careful manner.

Chairman Simmonds suggested including neighborhood definitions, or the creation of some type of overlay zone that would define more precisely the unique characteristics of a particular area. She feels strongly that the neighborhood component is very important in identifying some level of character based on geographic boundaries. Mr. DeSimone explained that the challenge is defining a level of specificity regarding the unique characteristics of a particular area. Commissioner Simmonds asked if there was a role in the Code for a more concise definition of geographical areas. Mr. DeSimone explained that the challenge is trying to define exactly what needs to be captured and what the common identifier for each area is as there are many important elements. He pointed out that the City is currently engaging in cleanup projects, however, community pride ultimately lies with property owners. He said this idea is a bigger philosophical discussion and is outside the scope of a zoning issue.

Commissioner Fonesbeck asked if the neighborhood specific plans should be included in the Code to be utilized in helping to determine neighborhood compatibility. Mr. DeSimone explained that the Commission looks at long-range planning as well as specific projects. The neighborhood plans are a subset of the General Plan which helps to further refine specific areas.

Commissioner Lee asked if language could be included in the Code such as "notwithstanding the specific provisions, nothing can be approved that violates the [neighborhood] Specific Plan". Commissioner Fonesbeck agreed and said she would like to know how much the Commission can rely on the General Plan and specific plans, especially as a discretionary tool to help determine compatibility.

Mr. DeSimone explained that part of the planning effort of the neighborhood plans is to look at future land uses and the zoning ordinance is the regulatory tool for land use where policy statements are implemented. The Commission can craft standards within the Code that would address compatibility concerns. Commissioner Davis noted that the neighborhood specific plans do not contain design standards.

Mr. DeSimone pointed out that the specific neighborhood plans are not regulatory documents. The key is to define compatibility more specifically (which is what the design standards are meant to do).

Commissioner Davis said she is hesitant about overlays. She would like to come up with some compatibility standards and then define the general character of an area based on a certain pre-determined radius. For example, there is currently infill in the Adams area that does not seem to fit in with the rest of the neighborhood. Mr. DeSimone encouraged the Commission to consider what design standards/requirements need be adjusted or refined.

Mr. Holley pointed out that the ordinance will always be a few steps behind the General Plan. He said the specific plans are already being implemented into many of the changes being made within the Code. The flag lot concern was really incubated during the Adams Specific Plan process. As each neighborhood plan is researched, there will inevitably be items that will be extracted and included in the Code for city-wide implementation. He noted that the specific plans help influence many different issues (i.e. capital improvements, park upgrades etc) and are not strictly created for this Commission.

The Commission reviewed the general design standards for residential development on pg. 14-3. Mr. DeSimone noted that the challenge is determining what things are "not liked" and then how those can be quantified and used as a reasonable standard and how they will be interpreted by developers.

It was determined to remove the "*street-facing*" reference on pg 14-11. (1a) and add "*front façade*".

Commissioner Lee asked if the goals of the CR-40 zone could be accomplished within the MR-20 or MR-30 zone. Mr. DeSimone advised that the CR zone allows for higher density near the University to house students in managed facilities, in order to reclaim neighborhoods. Commissioner Lee pointed out that the majority of residents do not agree with, or like, the CR zone and he is not convinced of the benefits. Mr. DeSimone noted that it is too soon to quantify the benefits.

**PUBLIC:** Marilyn Griffin likes the idea of turning houses back to single-family and said that there is a program in Provo to reclaim areas that have become overgrown with students; she would like to see this issue addressed in some way. Regarding compatibility she pointed out the triplex located at 367 E. Boulevard which blends in well with the surrounding area. She agrees with the need for higher standards to differentiate between "not bad" and "good". She would like to see opportunities provided for young families to buy homes and stay in Logan. She asked that the MR-30 zone be carefully reviewed and possibly eliminated.

Commissioner Davis asked if she had any suggestions related to higher standards. Ms. Griffin said that she agrees with the need for variety and pointed out a housing development at 250 East 700 North as a good example of diversity.

Rand Hooper advised that the language regarding zoning needs to be more enforceable, especially the qualitative factors reflecting more of the human aspect. Qualitative and quantitative factors should be equal in importance with compatibility and general aesthetics considered. LDC Chapter 17.12 states "*Logan seeks to maintain or enhance neighborhood integrity, identity, and character to make neighborhoods more desirable and help stabilize and improve property values. The City supports preserving and restoring the character and architecture of the neighborhoods, particularly older neighborhoods.*" There are several areas in the City with unique characteristics. The current zoning and the proposed change to NR-6 set one standard for all areas. The design standards in §17.15.070 (NR-6) should be changed to reflect the differences of unique areas in Logan; one standard does not work for all areas. Mr. Hooper expressed concern with changes in infrastructure necessary to accommodate new growth. Many existing streets do not have curb, gutter or sidewalk. He asked what the ultimate goal for the zoning change was. He quoted Korral Broschinsky's statement "*Logan is one of the best preserved and consequently most pleasant of Utah's larger cities. Every effort should be preserved to keep it so.*" Commissioner Davis asked Mr. Hooper to expand upon the broad terms of neighborhood compatibility and general aesthetics by providing more specifics. Mr. Hooper said it is a nebulous concept; however, he would like to see a general appearance that is compatible with what exists in the area. It is easier to determine what doesn't fit.

Jan Nyman said she is concerned with 6,000 SF lot sizes and would like to see larger lots, which would allow for more contemporary and modern homes that younger families desire. She does not agree with the MR-30 zone. Prefabricated carports can, and should be, dictated and possibly prohibited. She is very fond of the idea for reclaiming rentals and turning them back into single-family homes. She would like the standards to be very specific for developers. She pointed out the large developments next to and/or near neighborhoods which are not compatible.

Tony Nielson believes the Commission is on the right track with the desire to raise standards. He believes people will continue to build and meet those standards (noted some examples in Davis County). Developments need to look like "they tried" rather than just meeting the minimum standards. He likes the idea of carport kits being restricted, however, agrees it is difficult to become too restrictive. He noted his concerns with utility companies and his desire that they become more regulated. He applauded the hard work of Staff and the Commission and noted his disappointment that there weren't more public in attendance. He said he is generally support of most of the changes being proposed and agreed with the idea of raising the design standards.

**MOTION:** Commissioner Lee moved to recommend to the Municipal Council the establishment of a 6-month moratorium regarding the CR-40 zone to allow time for the Planning Staff to do further research. Commissioner Davis seconded the motion.

[Moved: Commissioner Lee Seconded: Commissioner Davis Passed: 3-0]  
Yea: A. Davis, A. Fannesbeck, K. Lee Nay: Abstain:

**MOTION:** Commissioner Davis moved to forward a positive recommendation to the Municipal Council for approval of the text amendment as outlined in PC 12-058 (with the exception of the CR-40 zone) with the changes as noted and the findings for approval as listed below. Commissioner Lee seconded the motion.

#### FINDINGS FOR APPROVAL

1. Utah state law authorizes Planning Commissions to recommend ordinance changes to the legislative body (Municipal Council) consistent with the role of the Planning Commission.
2. The amendment is in conformance with the requirements of Logan Municipal Code Title 17.51.
3. The amendments to LDC Chapters 17.04 – 17.08 establish new residential zoning categories in Logan City and eliminate references to policy documents/statements and redundant references to uses already defined elsewhere in the Code. These amendments are consistent with the goals and objectives of the General Plan.
4. The amendments to LDC Chapter 17.12 establish new residential zoning districts in Logan City and are consistent with the goals and objectives of the General Plan.
5. The amendments to LDC Chapter 17.13 define the list of permitted, conditional and not allowed uses in the proposed residential zones established in 17.12, and are consistent with the goals and objectives of the General Plan.
6. The amendments to LDC Chapter 17.14 better define the development standards associated with either single family residential development, multi-family residential development, or commercial development in the Campus Residential zones, and are consistent with the goals and objectives of the General Plan.
7. The amendments to LDC Chapter 17.15 establish development standards for new construction within the proposed zoning districts and are consistent with the goals and objectives of the General Plan.
8. The amendments to LDC Chapter 17.62 include the definitions of residential structure type previously located in Chapter 17.13 and are consistent with the goals and objectives of the General Plan.

[Moved: Commissioner Davis Seconded: Commissioner Lee Passed: 3-0]  
Yea: A. Davis, A. Fannesbeck, K. Lee Nay: Abstain: