

Mayor
Robert D. Houston
City Manager
Joseph M. Decker
Treasurer
Katherine Ohlweiler



City Council
Arlon Chamberlain
Celeste Meyeres
Jeff Yates
Michael East
Byard Kershaw

Kanab City Planning Commission

January 5, 2021 Meeting

Agenda

Facilitator: Chairperson; Chris Heaton

6:30 PM Call to Order

- Approval of minutes of previous meeting
Motion; Second; Vote on Minutes

6:35 PM **Public Comment Period**, Call to the Public

1. Action Item: Administrative Review and Vote to approve or deny a revised final site plan for the expansion on the Kanab Laundromat and Car Wash in two [2] phases [originally approved as a single phase on May 5, 2020]; located at 206 E 300 S on parcel K-B-12-1&2 zoned C-2. [Applicant; Jeff Lewis]

2. Action Item: Administrative Review and Vote to approve or deny a final site plan for the Kanab County Hospital Ambulance Shed / Garage located in the area of 98 W 300 N on parcel K-C-4-6 and K-C-4-7 zoned RM. [Applicant; Kane County Hospital]

4. Public Hearing: A Public Hearing to Discuss a zone change to Parcel K-134-719 in the Kanab Creek Rancho subdivision from M1 (manufacturing) to RR-1 (rural residential 1acre min lot size) on 5.24 acres; located in the approximate area of 2253 S Powell Dr in Kanab, Utah. [Applicant; Josh Johnson]

Recommendation: Motion; Second; Discussion; Vote to Recommend or Deny a recommendation to the Kanab City Council a zone change to Parcel K-134-719 in the Kanab Creek Rancho subdivision from M1 (manufacturing) to RR-1 (rural residential 1acre min lot size) on 5.24 acres; located in the approximate area of 2253 S Powell Dr in Kanab, Utah.

5. Action Item: **Contingent upon approval of a zone change;** A public meeting to Discuss a Plat Amendment to the Kanab Creek Ranchos Subdivision – Unit 7 allowing a lot split creating four [4] individual lots on Parcel

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K-134-719 located in the approximate area of 2253 S Powell Dr in Kanab, Utah. [Applicant; Josh Johnson]

Recommendation: Motion; Second; Discussion; Vote to Recommend or Deny a recommendation to the Kanab City Council for the approval of a Plat Amendment to the Kanab Creek Ranchos Subdivision – Unit 7 allowing a lot split creating four [4] individual lots on Parcel K-134-719 located in the approximate area of 2253 S Powell Dr in Kanab, Utah.

Findings;

2-4.9.1. Neither the public nor any person will be materially injured by the proposed vacation, alteration or amendment.
2-4.9.2. There is good cause for the vacation, alteration or amendment.

Work Meeting.

-Staff Report
-Commission Member Reports
-Council Member Liaison Report

*Times listed for each item on the agenda may be accelerated as time permits, or may be taken out of order as moved upon by the commission. If you are planning to attend this public meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City eight or more hours in advance of the meeting, and we will try to provide whatever assistance may be required. Please contact the Kanab City Offices.

See entire packet online a minimum of 24 hours before the meeting at:

<http://www.utah.gov/pmn/index.htm>

Mike Reynolds [Kanab Land Use Coordinator]
Janae Chatterley [Assistant]
435-644-2534

– A Western Classic –

Kanab City Planning and Zoning Commission Meeting
December 15, 2020
Kanab City Council Chambers
26 North 100 East
6:30 PM

Present: Chair Chris Heaton; Chair Pro Tem Scott Colson; Commission Members Ben Aiken, Donna Huntsman, Kerry Glover, Ben Clarkson and Boyd Corry, City Attorney Jeff Stott; Administrative Assistant Janae Chatterley; City Council Liaison Arlon Chamberlain.

Not in Attendance: Land Use Coordinator Mike Reynolds; City Planner Bob Nicholson

Approval of Minutes: A motion was made by Donna Huntsman to approve the minutes from 12/1/2020 with the suggestion to add a note that meeting was virtual, second by Kerry Glover. Unanimous vote, motion passed.

Public Comment: None

A public hearing to discuss a zone change to Parcel K-229-2 in the Chamberlain Minor Subdivision from RA (residential agriculture) to RR-1 (rural residential) on 8.00 acres; located in the approximate area of 1240 E Chinle Dr. in Kanab, UT [Applicant Trevor and Jennifer Stewart].

Janae Chatterley reported that the applicant is requesting a zone change from a RA to RR-1. The lot is currently part of a subdivision, the applicant plans on requesting a plat amendment to split the lot and the zone change is necessary to move forward with their plans. Surrounding lots are RA and M1.

Commission and staff discussed what surrounds this property and the utilities that are currently in the area.

Scott Colson made a motion to go in and out of public hearing at the Chair's discretion, Boyd Corry seconds

No public comments

Scott Colson made a motion to recommend to City Council to approve zone change for parcel K-229-2 in the Chamberlain Minor Subdivision from RA to RR-1 located in the approximate area of 1240 E Chinle Dr., Ben Clarkson seconds, unanimous vote; motion passes.

A public meeting to discuss a minor subdivision [Sand Holler Ridge] on parcel K-13-4-Annex creating eight [8] individual lots; located in the area of 1100 S Terrel Lane [Applicant; Juanita Terrel]

Janae Chatterley reported that the applicant is requesting a minor subdivision to split into 8 lots, parcel is located by Country Estates and off of Terrel Dr. Originally the application was for a subdivision of 9 lots, the Development Committee identified an issue with two of the lots not fronting a dedicated public street per the Subdivision Ordinance. The applicant changed the plans to 8 lots and all lots front a dedicated city street.

Chris Heaton commented that the Owner's dedication that was approved by the engineers needed to be updated, Chris spoke with Mike at Iron Rock Engineering to have that updated. Discussion regarding the dedicated street and the agreement that was done in 1998 between the Terrels and Kane County. Chris Heaton would like to see another page added to the map with a road dedication. Commission discussed the road and when it will be an improved road or becomes a thru street. Until this road becomes a through street the Commission recommends that there is a hammer head or cul-de-sac for emergency vehicles to turn around. Ben Clarkson expressed concerns on water drainage coming from Country Estates and on to Terrel property. Mr. Clarkson would like to see an access easement provided to the city to maintain the water drainage ditch. Discussion regarding access to the southern portion of Lot 5, Mr. Clarkson requested that the applicant move the easement above lot six to between lot six and eight.

Ben Clarkson made a motion to recommend to City Council an approval of a minor subdivision of Sand Holler Ridge parcel K-13-4-Annex creating eight [8] individual lots, located in the area of 1100 S and Terrel Lane with the condition that a cul-de-sac be accounted for at the end of Terrel drive to facilitate turn around until it is extended as a through street, move the 60-foot easement on the south fence line of Country Estates down between lot 6 and 8, and that an easement is created (or if one is existing that it is marked on the map) to allow the natural flow of Pugh Canyon drainage to continue from the end of the concrete ditch to off of the property, this easement would be dedicated for

public maintenance. Ben Aiken seconds. Commission discussed amendment to motion to include “temporary” turn around, the dedication of the road should be in accordance with engineering standards and to resolve any legal obligations on the responsibility for road improvements and maintenance. Unanimous decision, motion passes.

Staff Report: None

Commission Member Report: Ben Clarkson announced that there will be a presentation for the proposed Golf Course on 12/16/2020 @ 3:00 PM in the Kane County Water Conservancy building.

Council Member Liaison Report: Arlon Chamberlain suggested to the Commission to have all the conditions and recommendations as complete as possible before sending to City Council.

Kerry Glover motions to adjourn the meeting second by Ben Aiken, unanimous vote.

Chairperson

Date

From: noreply@civicplus.com
To: mreynolds@kanab.utah.gov; kohlwiler@kanab.utah.gov; jchatterley@kanab.utah.gov
Subject: Online Form Submittal: Site Plan Review Application
Date: Friday, December 4, 2020 11:51:22 AM

Site Plan Review Application

Fees

The calculated fees are required before processing of this application can begin. After submitting this form the applicant will have an opportunity to pay the required fees/deposits of \$600 deposit + \$50 / Acre, over 1 Acre by mail or by hand delivery to the Kanab City Office. Additional deposits will be required when initial deposits are fully expended. Any unused portion of deposits will be refunded to applicant upon completion of the project.

Property Location	206 E 300 S
First Name	jeff
Last Name	lewis
Address1	153 W 100 N
Phone	4356327103
City	Kanab
State	Utah
Zip	84741
Project Name and Description	CarWash Remodel
Desired Devleopment Committee Meeting Date	asap
Acres	0.41
Existing Zone & Parcel ID	K-B-12-1&3
Existing Use of Property	Carwash and Laundry mat
Use of Adjacent Property	vacant residence, residence, Church and RV Park
Development Time	6 month

Table

Intended Use of Property	Carwash
Describe all Sensitive Lands Impacts	<i>Field not completed.</i>
Developer Address <i>If different than Applicant.</i>	
First Name	<i>Field not completed.</i>
Last Name	<i>Field not completed.</i>
Address1	<i>Field not completed.</i>
City	<i>Field not completed.</i>
State	<i>Field not completed.</i>
Zip	<i>Field not completed.</i>
Adjacent Property Owner(s) Notification <i>A list of names, phone numbers, street addresses and mailing addresses for owners of property within 140 feet from the outer boundary of the subject property. (Note: This includes property owners across the street and in the rear of the subject property. In determining the 140 feet, the width of any intervening street or alley shall not be included.)</i>	
Adjacent Property Owner(s)	Brenda L Strey, 9811 W Charleston BLVD STE 2-424 Las Vegas, Nevada 89117 Clifford B Heaton and Ashly Trust, 360 S 250 E Kanab Utah 84741 Calvary Chapel Kanab Inc/ Leonard William, 395 S 200 E Kanab Utah 84741 Jack And Carolyn Chynoweth, 959 Lizzie LN Saint George Utah 84790 A & R Fast Foods Inc, 161 W 300 S Kanab Utah 84741 Frameworx LLC, 381 N Gunsmoke Pass, Kanab Utah 84741 S L Legacy LC, 363 S 100 S, Kanab Utah 84741 Cole Robert, 372 S 250 E, Kanab Utah 84741 Jeff Medlin, PO Box 35, Kanab Utah 84741 Tamra Bauer, PO Box 65 Glendale Utah 84729-0065
These items are required before meeting with Planning Commission 1. Site Plan Construction Drawing(s) 2. Signed letter from the Kanab City Engineer - indicating approval of the Site Plan Construction Drawing(s) 3. Meet the Kanab City Land Use Ordinance (Chapter 9) requirements.	
Signature of Property	Jeff Lewis

Owner

Date

12/4/2020

Email

bobbicrosby21@gmail.com

Email not displaying correctly? [View it in your browser.](#)

Portion only _ copy of minutes;

**Kanab City Planning and Zoning Commission Meeting
May 5, 2020
Kanab City Council Chambers
26 North 100 East
6:30 PM**

Electronic Meeting (Live on the Kanab City Facebook Page)

Present: Chair Chris Heaton; Chair Pro Tem Scott Colson; Commission Members Donna Huntsman, Kerry Glover, Ben Clarkson, Boyd Corry and Ben Aiken, Land Use Coordinator Mike Reynolds; Attorney Jeff Stott; City Council Liaison Arlon Chamberlain; City Planner Bob Nicholson and Administrative Assistant Janae Chatterley

Administrative review and vote to approve or deny a site plan final review for the expansion on Kanab Laundromat and Car Wash; located at 153 W 100 N (corrected to 200 E 300 S) on parcel K-B-12-1&2 zoned C-2. [Applicant; Jeff Lewis]

Mike Reynolds provided an overview of the major remodel of the car wash, and minor addition to the laundromat. One concern is the building on the east side of the property encroaches onto this property and is creating an access issue for the third bay of the car wash.

Josh Beazer, Iron Rock Engineer, explained that the owner is in negotiations to purchase the property or to have the current owner remove the portion of the residence that is encroaching into the Kanab Laundromat and Car Wash property.

Planning Commission discussed the landscaping and the access issues due to the encroaching residence. Planning Commission would like reassurance or a solution that bay 3 will not be in use until the property owners have resolved the issue of the encroaching residence. Josh Beazer stated that the owner will not have the wand installed and will barricade the entrance to bay 3.

Planning Commission discussed the parking on City easement. They wanted to clarify and make sure that the owner understands that this is a city easement and the owner would be responsible for repairs and improvements.

Donna Huntsman makes a motion to approve the final site plan review for the expansion on Kanab Laundromat and Car Wash; located at 153 W 100 N on parcel K-B-12-1&2 zoned C-2 with the condition that the Car Wash's third bay will not have a wand installed, will be barricaded and not used until the residential building that is encroaching on the property has been removed. Ben Clarkson asked that the address is updated as it is incorrect and should reflect 200 E 300 S. Scott Colson seconds, unanimous vote; Motion passes

KANAB LAUNDRY & CAR WASH REMODEL
CONSTRUCTION DOCUMENTS
KANAB, UTAH

20 0 20
SCALE IN FEET
SCALE 1" = 20'



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460 E. 300 SOUTH
KANAB, UTAH 84741
435-644-2031
www.ironrockeng.com

PROJECT INFORMATION:

PROJECT LOCATION: KANE COUNTY, UTAH
PARCEL NUMBER: K-B-12-1&3
ZONE: C2
SET BACKS:
FRONT: 0'
SIDE: 0'
REAR: 2'
OWNER & DEVELOPER: JEFF LEWIS
153 W. 100 N.
KANAB, UT 84741

DESIGN SPECIFICATIONS: KANAB CITY ZONING ORDINANCE

PARKING COUNT:
BUILDING SQUARE FOOTAGE: 1856
REQUIRED PARKING: 7
TOTAL PROVIDED PARKING: 9
REQUIRED VAN ACCESSIBLE: 1
TOTAL REQUIRED ACCESSIBLE PARKING: 1
PROVIDED ACCESSIBLE PARKING SPACES: 1

LOT TO BUILDING RATIO:
TOTAL LOT SQUARE FOOTAGE: 18002 FT²
BUILDING TO LOT PERCENTAGE: 28%
LANDSCAPE TO LOT PERCENTAGE: 18%

SHEET INDEX:

COVER SHEET C001
EXISTING SITE PLAN C100
DEMOLITION PLAN C101
SITE/UTILITY PLAN C200
GRADING PLAN C300
DETAIL SHEET C500-C501
LANDSCAPE PLAN L100



VICINITY MAP

Know what's below. **811**
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1-800-662-4111

KANAB LAUNDRY & CAR WASH REMODEL

COVER SHEET

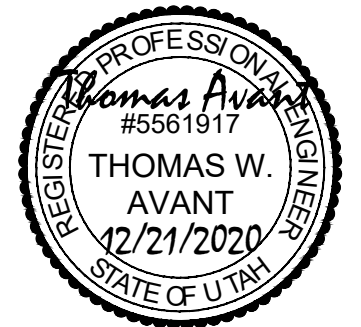
206 E 300 S
KANAB, UT 84741

INITIAL SUBMITTAL: 12/21/2020

DATE: 12/21/2020

REV#:

DESCRIPTION:



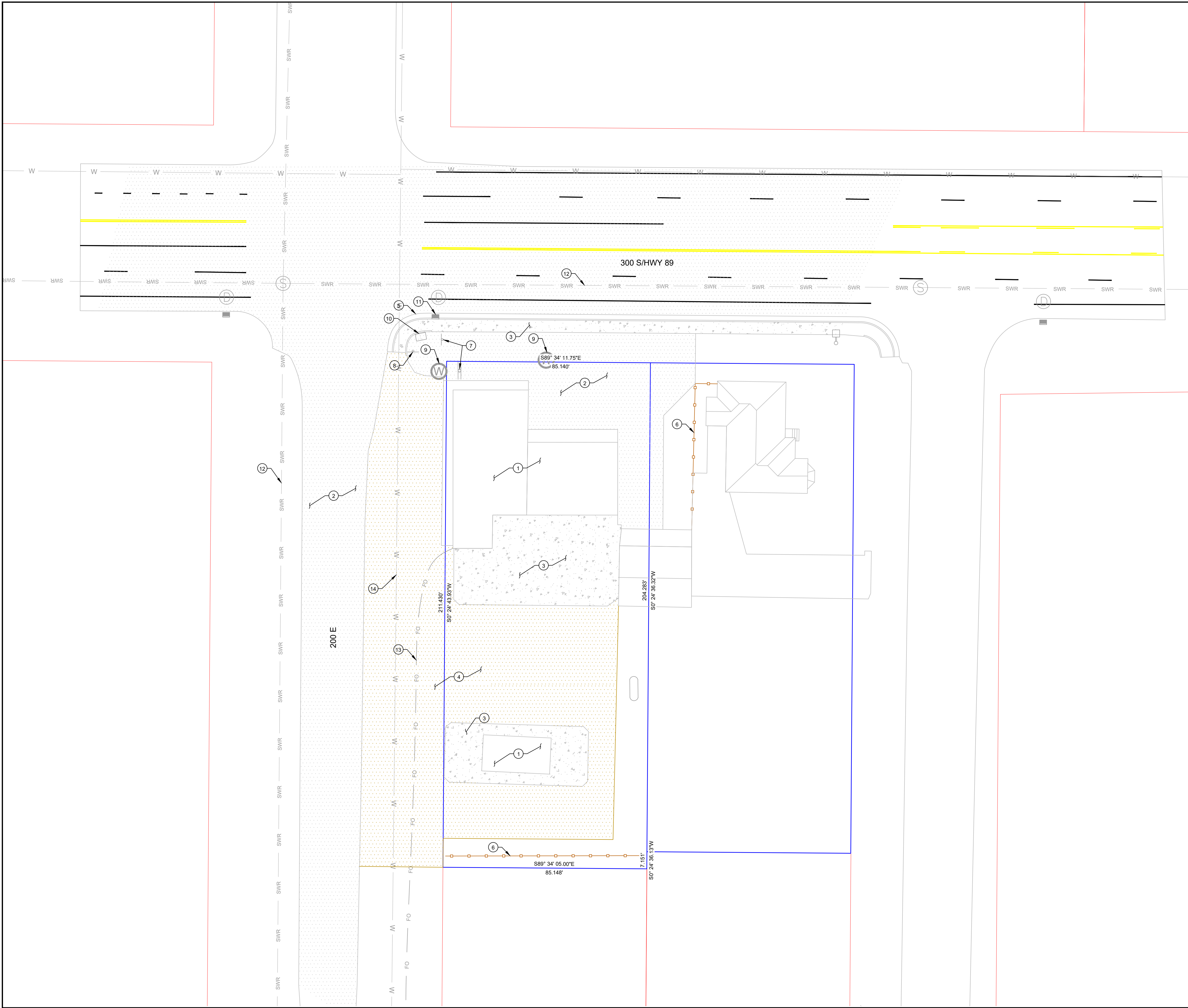
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DRAWN BY: RLB

SCALE: 1"=20'

SHEET:

C001



20 0 20
SCALE IN FEET
SCALE 1" = 20'



SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 STRUCTURE
- 2 ASPHALT
- 3 CONCRETE
- 4 GRAVEL
- 5 CURB AND GUTTER
- 6 FENCE
- 7 SIGN
- 8 STOP SIGN
- 9 WATER METER
- 10 COMM BOX
- 11 CATCH BASIN
- 12 SEWER LINE
- 13 FIBER OPTIC LINE
- 14 WATER LINE



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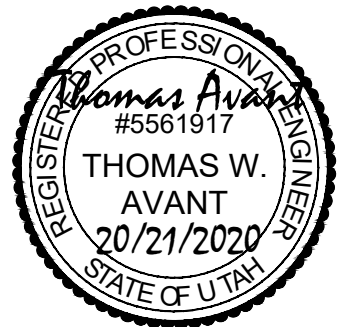
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KANAB LAUNDRY & CAR WASH REMODEL
EXISTING SITE PLAN

206 E 300 S
KANAB, UT 84741

INITIAL SUBMITTAL: 12/21/2020

REV# DATE DESCRIPTION



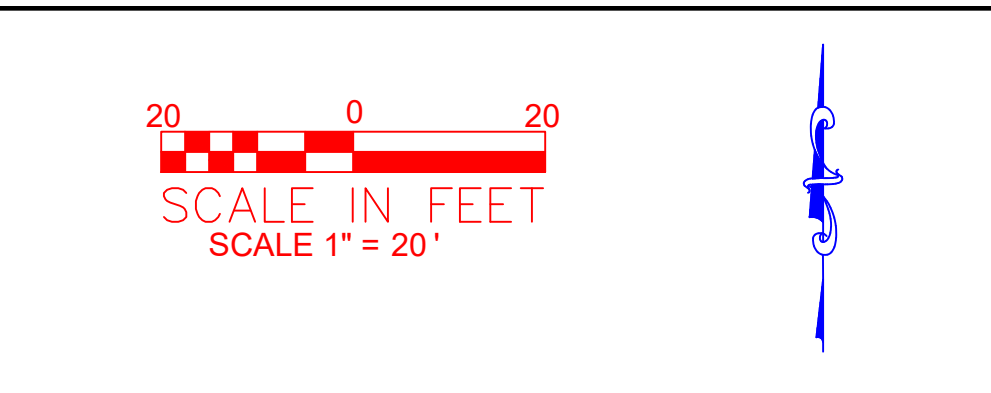
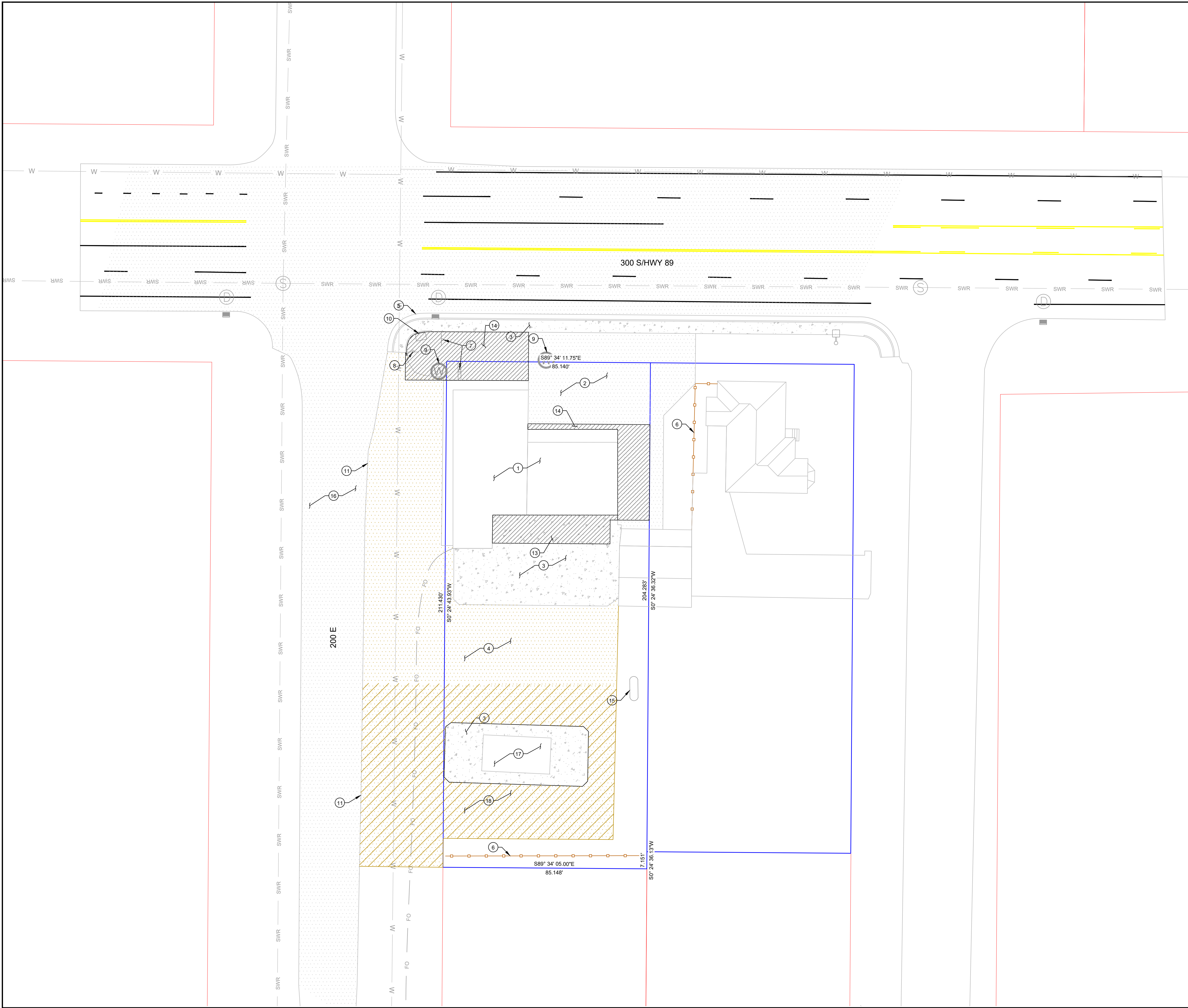
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SCALE: 1"=20'

SHEET:

C100



- SCOPE OF WORK:
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- 1 STRUCTURE TO BE REMODELED
 - 2 ASPHALT TO BE RESURFACED
 - 3 CONCRETE TO REMAIN. PROTECT IN PLACE
 - 4 GRAVEL TO BE REMOVED
 - 5 CURB AND GUTTER TO REMAIN. PROTECT IN PLACE
 - 6 FENCE TO REMAIN
 - 7 SIGN TO REMAIN. PROTECT IN PLACE
 - 8 STOP SIGN TO REMAIN. PROTECT IN PLACE
 - 9 WATER METER TO REMAIN. PROTECT IN PLACE
 - 10 COMM BOX TO REMAIN. PROTECT IN PLACE
 - 11 SAWCUT AND MATCH EXISTING ASPHALT
 - 12 STRUCTURE TO BE REMOVED
 - 13 CONCRETE TO BE REMOVED
 - 14 ASPHALT TO BE REMOVED
 - 15 RELOCATE PROPANE TANK
 - 16 ASPHALT TO REMAIN
 - 17 STRUCTURE TO REMAIN
 - 18 GRAVEL TO REMAIN

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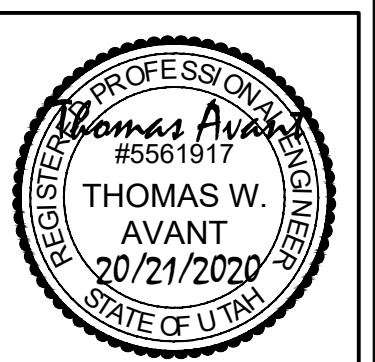
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KANAB LAUNDRY & CAR WASH REMODEL

DEMOLITION PLAN

206 E 300 S
KANAB, UT 84741

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REV#	DATE	DESCRIPTION	



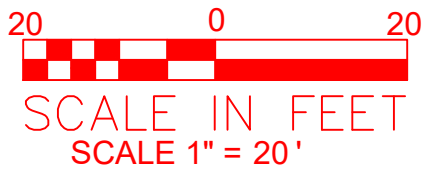
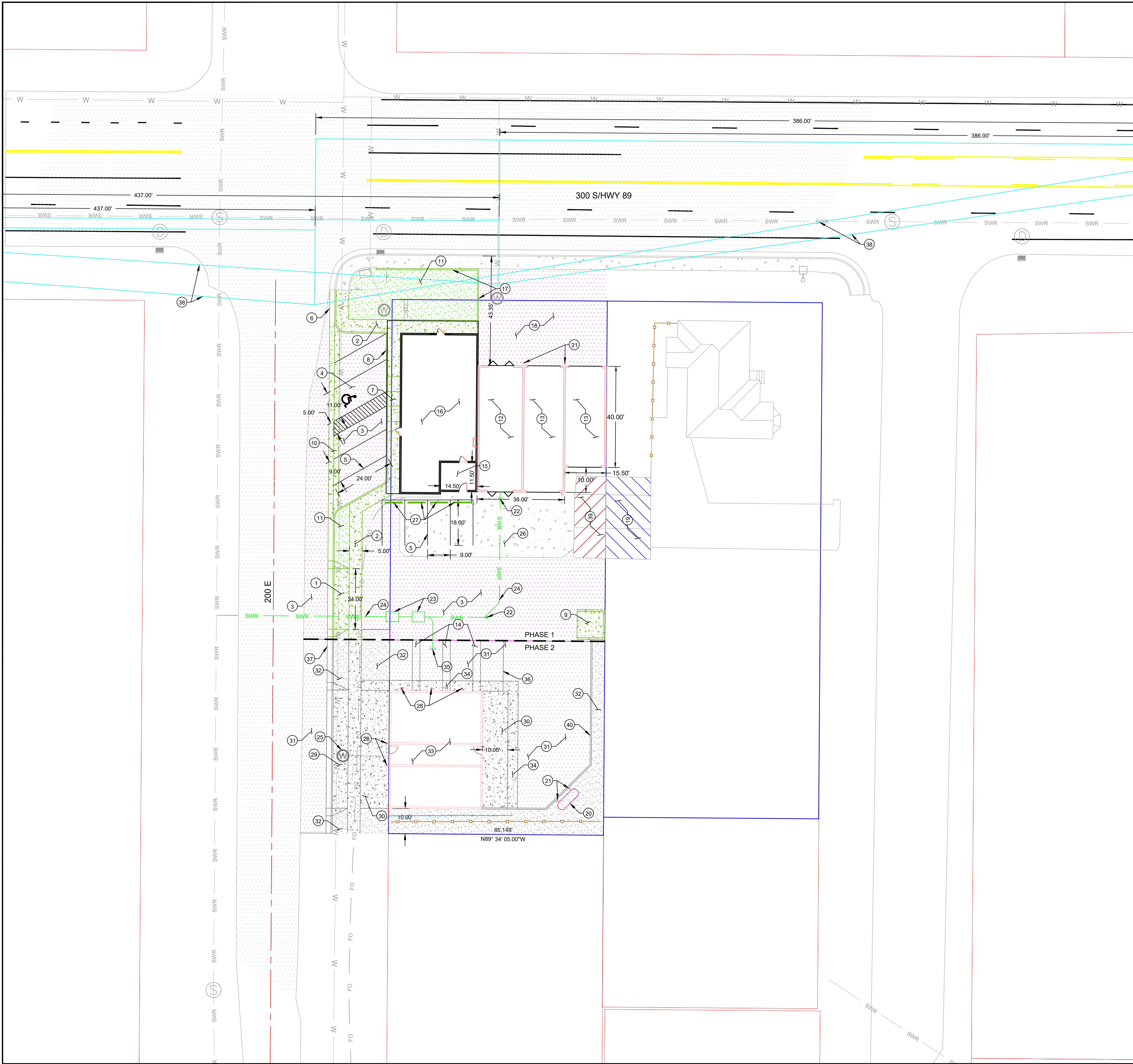
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SCALE: **1"=20'**

SHEET:

C101



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SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 CONCRETE DRIVEWAY. PER DETAIL 6 SHEET C501
- 2 CONCRETE SURFACING. PER DETAIL 1 SHEET C500
- 3 3" STANDARD DUTY ASPHALT OVER 6" ROAD BASE COMPACTED TO 95% MAX DRY DENSITY AS PER ASTM D-1557. PER DETAIL 1 SHEET C500
- 4 ADA ACCESSIBLE PARKING SPACE NOT TO EXCEED 2% IN ANY DIRECTION. PAINT SQUARE INTERNATIONAL SYMBOL OF ACCESSIBILITY (TYP.)
- 5 4" WIDE WHITE PARKING STRIPE LINES (TYP.)
- 6 CURB AND GUTTER. PER DETAIL 3 SHEET C500
- 7 ADA RAMP. PER DETAIL 4 SHEET C500
- 8 CURB WALL. PER DETAIL 3 SHEET C500
- 9 DUMPSTER ENCLOSURE. PER DETAIL 7 SHEET C500
- 10 4" CONCRETE WATER WAY. PER DETAIL 5 SHEET C500
- 11 LANDSCAPE AREA. SEE LANDSCAPE PLAN FOR DETAILS
- 12 AUTOMATIC CAR WASH STATIONS
- 13 SELF WASH CAR WASH STATIONS
- 14 FUTURE VACUUM STATIONS
- 15 MECHANICAL ROOM
- 16 EXISTING BUILDING
- 17 1' TALL CONCRETE WALL. PER DETAIL 4 SHEET C501
- 18 RE-SURFACE EXISTING ASPHALT. PER DETAIL 1 SHEET C500
- 19 EXISTING BUILDING TO REMAIN
- 20 500 GALLON PROPANE TANK
- 21 BOLLARD. PER DETAIL 2 SHEET C500
- 22 SEWER CLEANOUT. PER DETAIL 6 SHEET C500
- 23 (2) 1500 GAL. SAND/GREASE INTERCEPTORS. PER DETAIL 7 SHEET C501
- 24 6" SDR 35 PVC SEWER LINE
- 25 FUTURE 1.5" WATER METER AND SERVICE LINE
- 26 PATCH EXISTING CONCRETE WHERE CUT FOR UTILITIES. PER DETAIL 1 SHEET C500
- 27 CONCRETE PARKING CURB STOPS. PER DETAIL 5 SHEET C501
- 28 FUTURE BOLLARD
- 29 FUTURE CONCRETE DRIVEWAY
- 30 FUTURE CONCRETE SURFACING
- 31 FUTURE STANDARD DUTY ASPHALT
- 32 FUTURE LANDSCAPE AREA
- 33 FUTURE BUILDING
- 34 FUTURE CONCRETE WATER WAY
- 35 STUB AND PLUG SEWER LINE FOR FUTURE USE
- 36 FUTURE 4" WIDE WHITE PARKING STRIPE LINES (TYP.)
- 37 FUTURE CURB AND GUTTER
- 38 SIGHT VIEW TRIANGLE
- 39 EXISTING PORTION OF BUILDING TO BE REMOVED
- 40 FUTURE CURB WALL

KANAB LAUNDRY & CAR WASH REMODEL

SITE/UTILITY PLAN

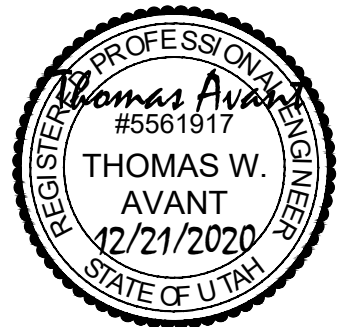
206 E 300 S
KANAB, UT 84741

INITIAL SUBMITTAL: 12/21/2020

DESCRIPTION:

DATE:

REV#:



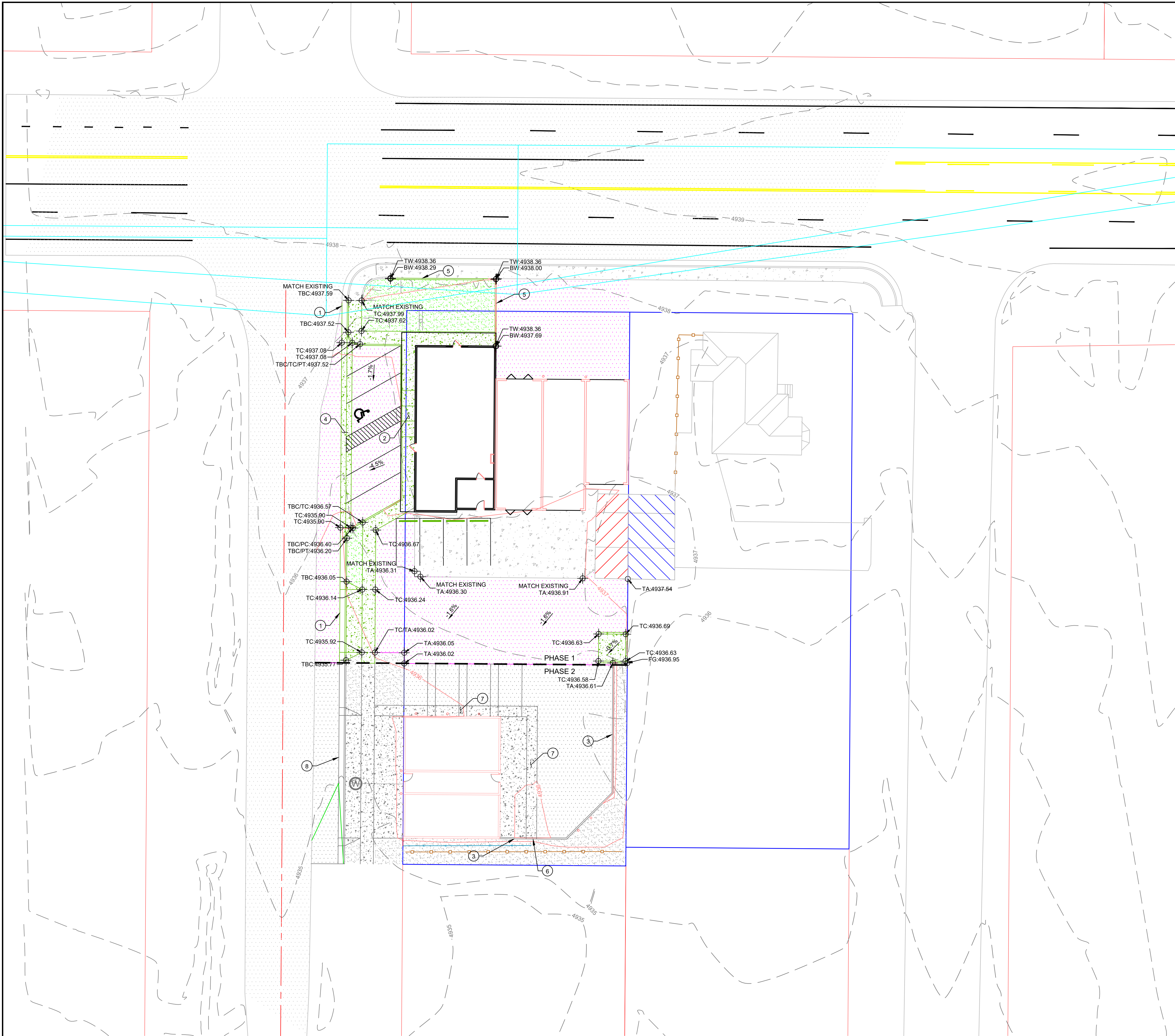
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C200

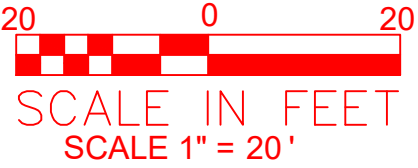


NOTE:
EARTHWORK VOLUMES SHOWN REFLECT FINISHED GRADE CUT AND FILL. ADDITIONAL EXCAVATIONS FOR BUILDINGS, PAVING, OVER-EX, ETC. ARE NOT INCLUDED.

CUT/FILL SUMMARY

NAME	CUT FACTOR	FILL FACTOR	2D AREA	CUT	FILL	NET
VOLUME	1.000	1.200	24909.41 SQ. FT.	12.29 CU. YD.	316.07 CU. YD.	305.78 CU. YD <FILL>

- NOTE LEGEND:
- TBC - TOP BACK OF CURB
 - TC - TOP OF CONCRETE
 - ME - MATCH EXISTING
 - TS - TOP OF STAIRS
 - BS - BOTTOM OF STAIRS
 - PC - POINT OF CURVATURE
 - PT - POINT OF TANGENCY
 - CB - GRADE BREAK
 - PRC - POINT OF REVERSE CURVE
 - LP - LOW POINT
 - HP - HIGH POINT
 - AP - ANGLE POINT
 - FFE - FINISH FLOOR ELEVATION
 - BP - BOTTOM OF POND
 - INV - INVERT
 - FG - FINISH GRADE
 - TA - TOP OF ASPHALT
 - TG - TOP OF GRAVEL
 - FL - FLOW LINE
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL



SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 CURB AND GUTTER. PER DETAIL 3 SHEET C500
- 2 ADA RAMP. PER DETAIL 4 SHEET C500
- 3 FUTURE CURB WALL. PER DETAIL 3 SHEET C501
- 4 4' CONCRETE WATER WAY. PER DETAIL 5 SHEET C500
- 5 1' TALL CONCRETE WALL. PER DETAIL 4 SHEET C501
- 6 FUTURE CURB OPENING. PER DETAIL 6 SHEET C500
- 7 FUTURE 4' CONCRETE WATER WAY. PER DETAIL 5 SHEET C500
- 8 FUTURE CURB AND GUTTER. PER DETAIL 3 SHEET C500



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KANAB LAUNDRY & CAR WASH REMODEL

GRADING PLAN

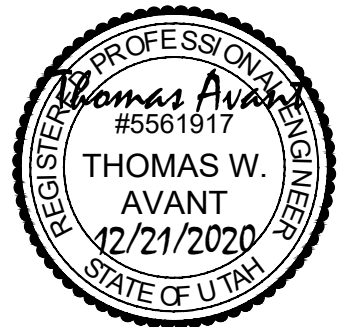
206 E 300 S
KANAB, UT 84741

INITIAL SUBMITTAL: 12/21/2020

DESCRIPTION:

DATE:

REV#:



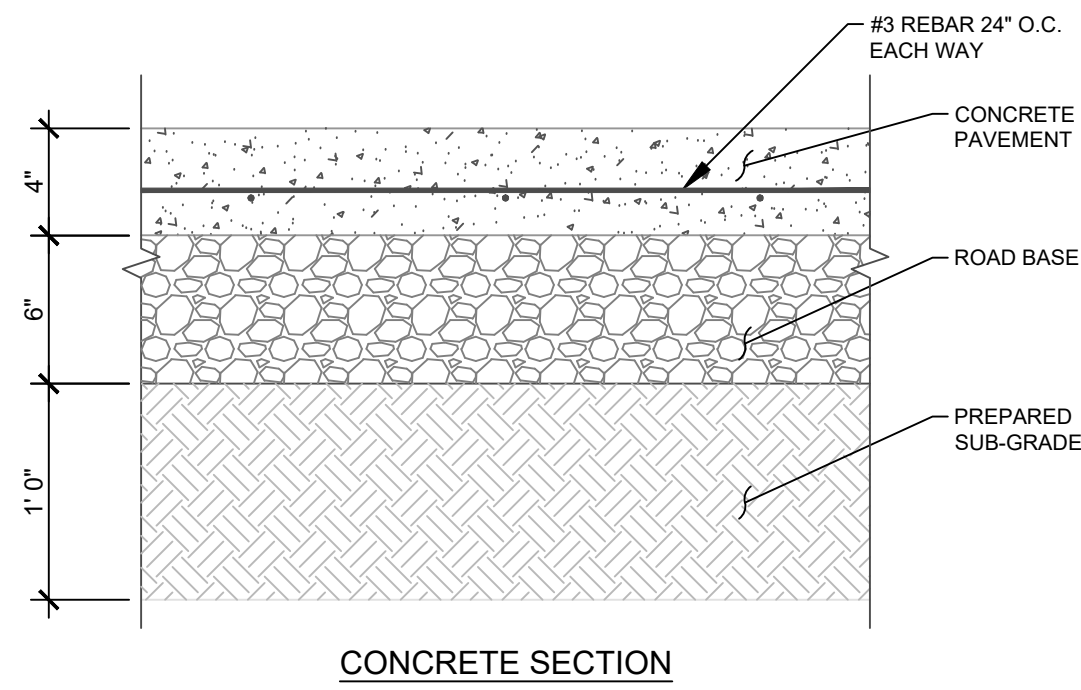
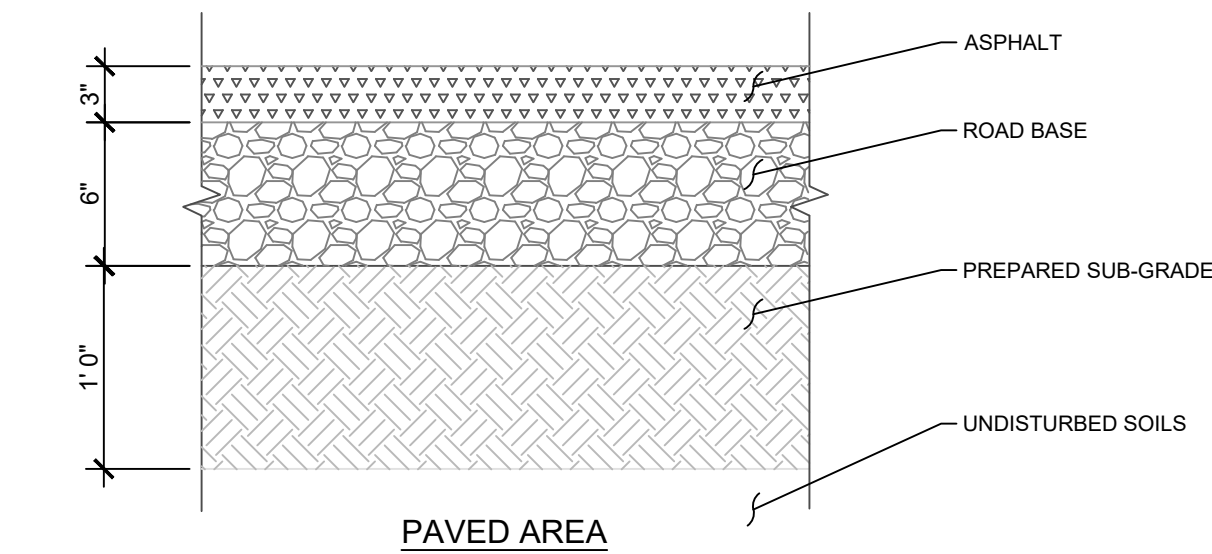
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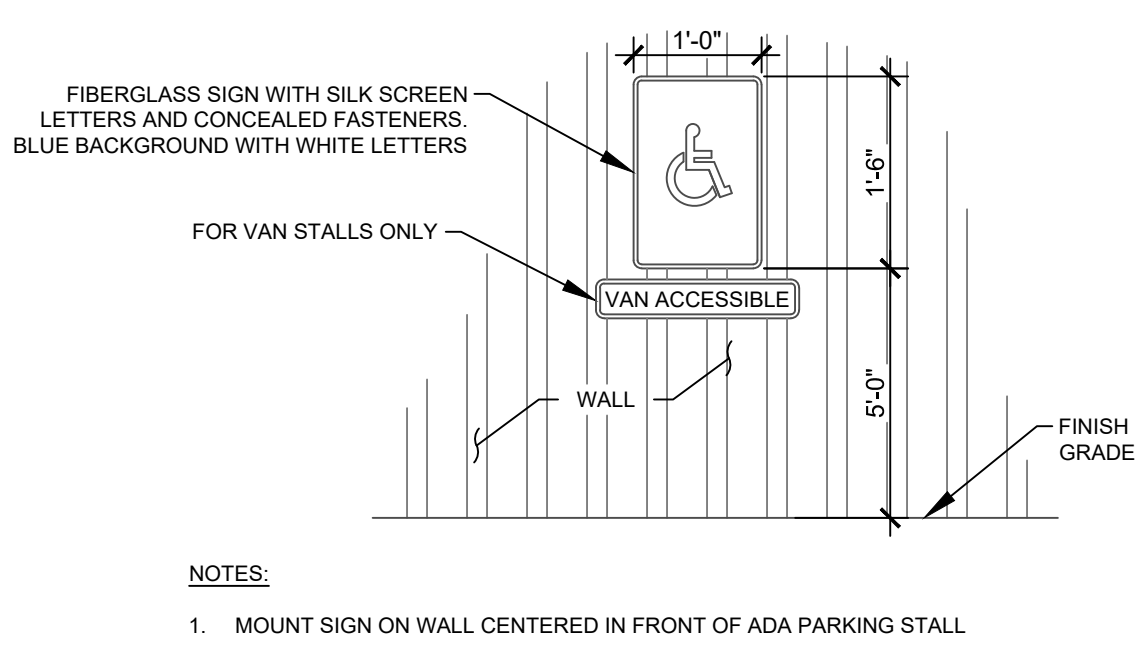
SCALE: 1"=20'

SHEET:

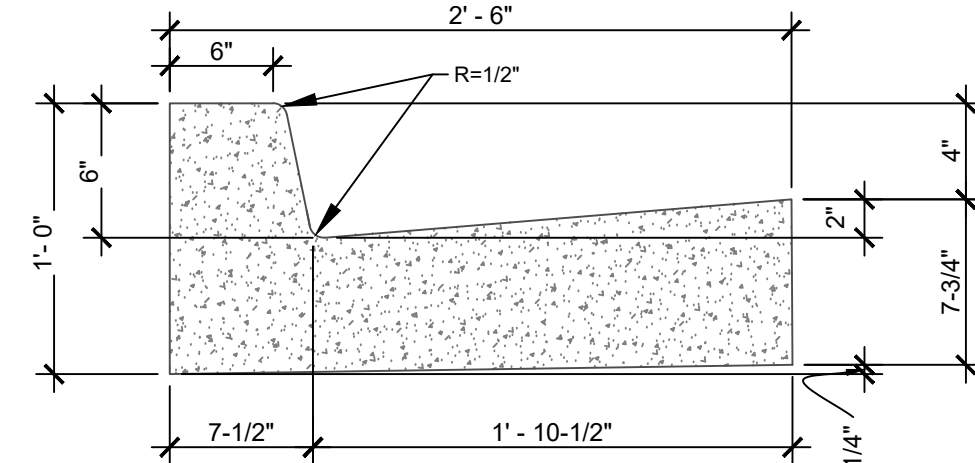
C300



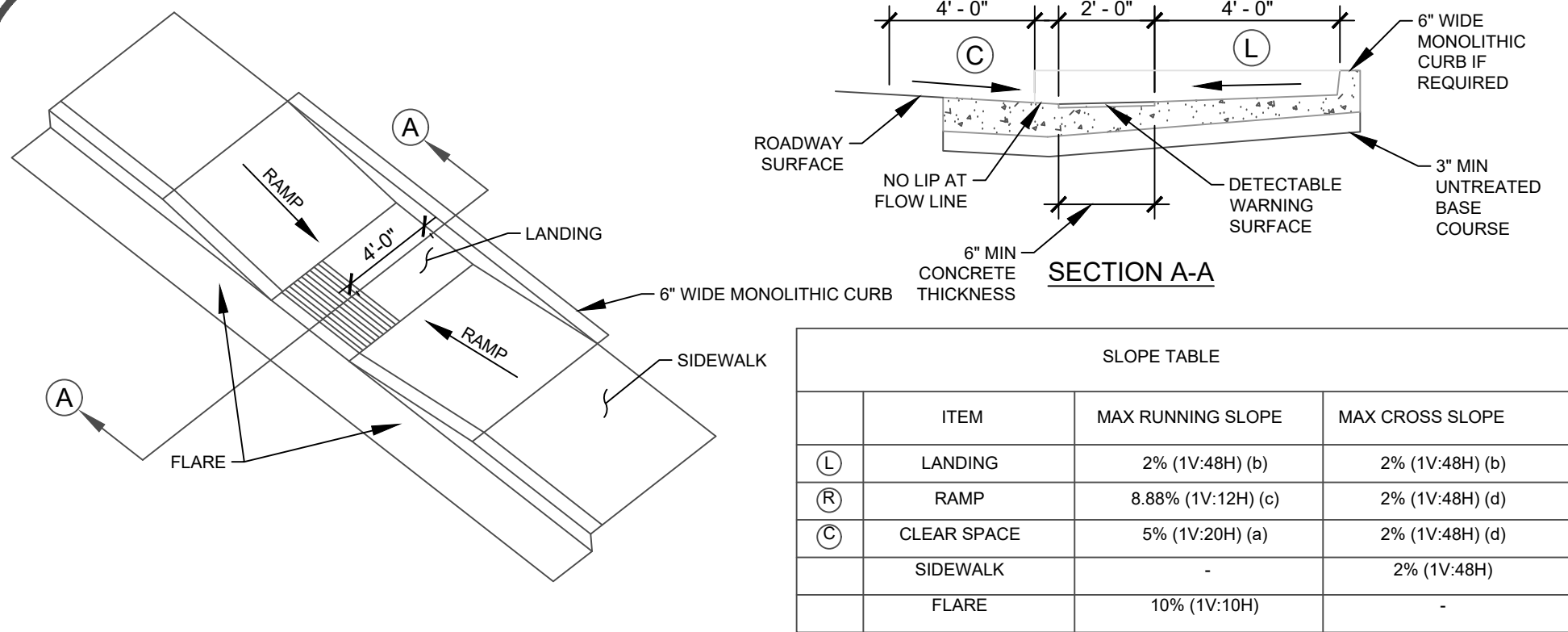
1 PAVEMENT
NTS



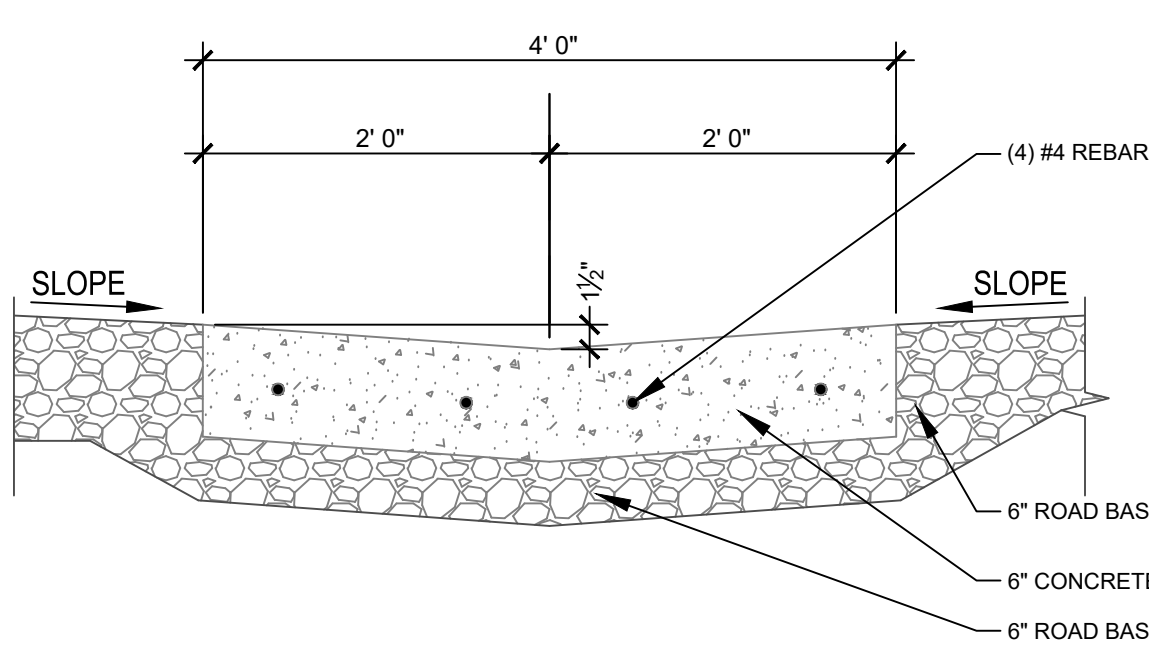
2 ADA SIGN DETAIL
NTS



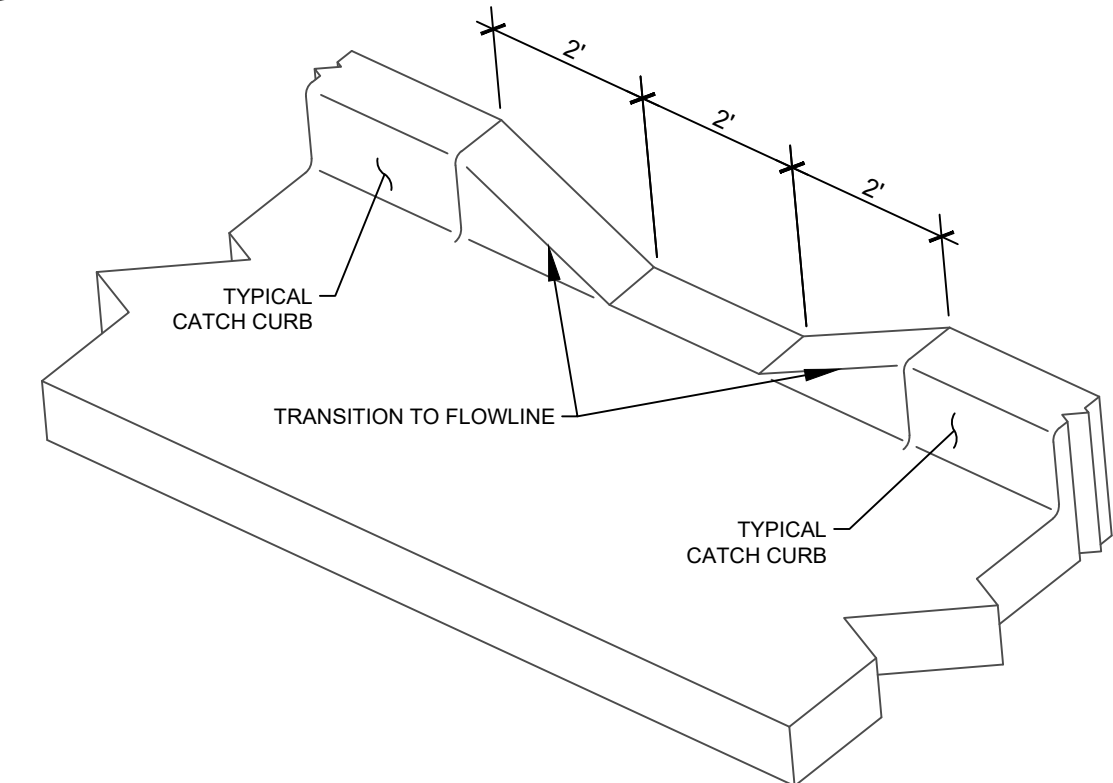
3 STANDARD CURB AND GUTTER
NTS



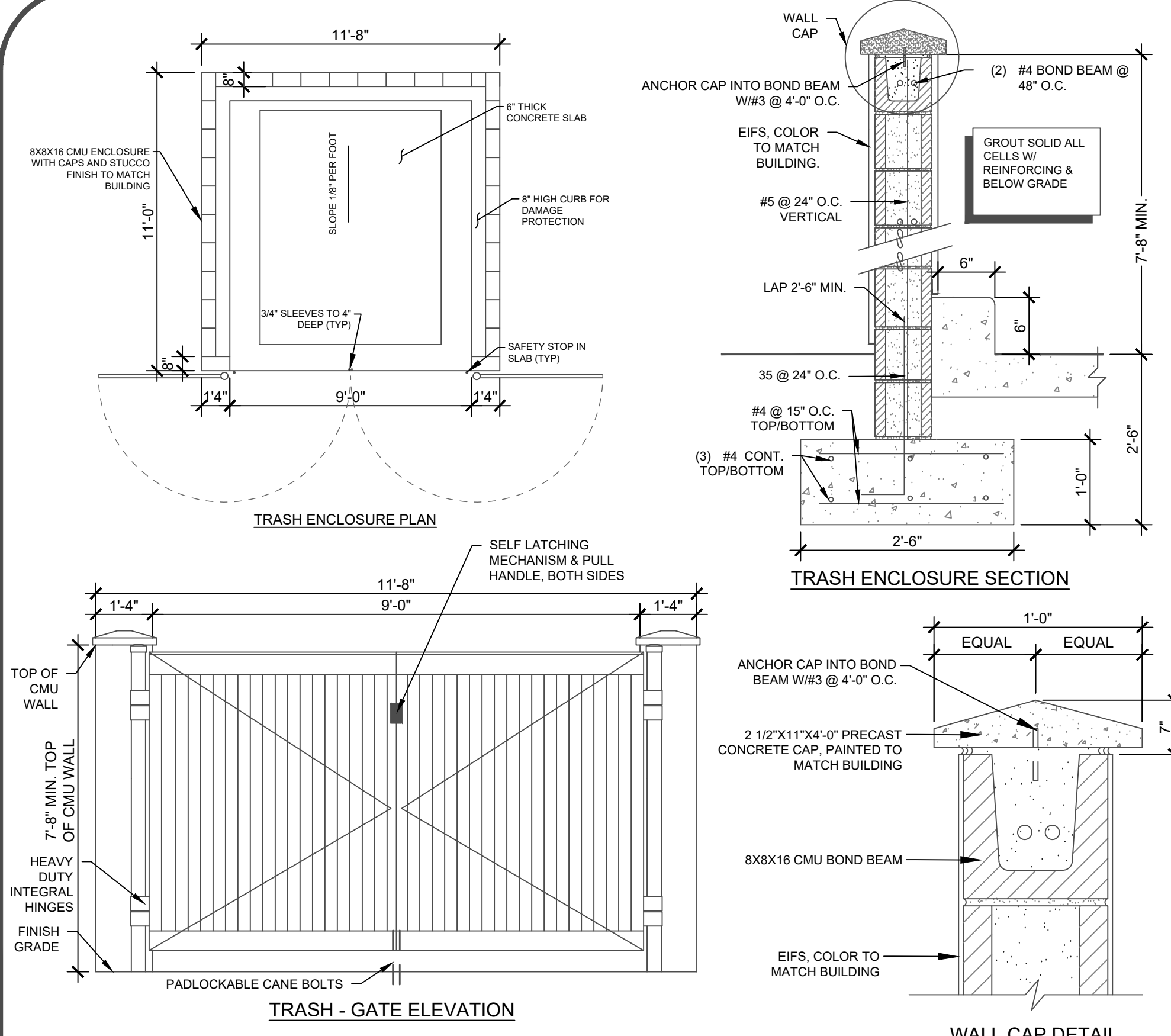
4 ADA RAMP DETAILS
NTS



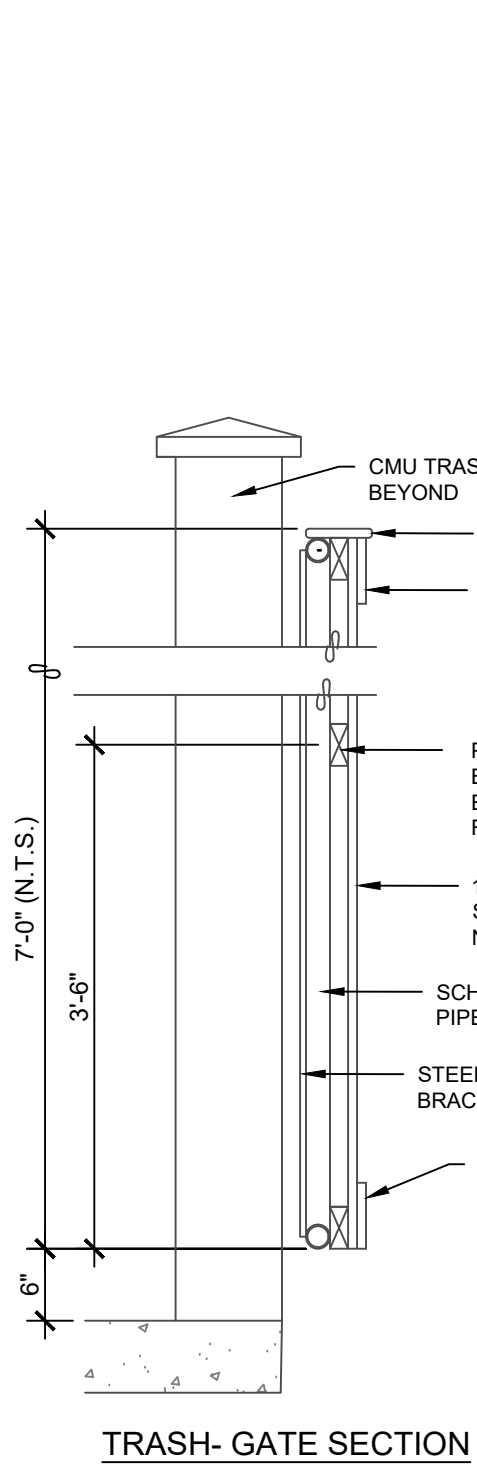
5 WATERWAY DETAIL
NTS



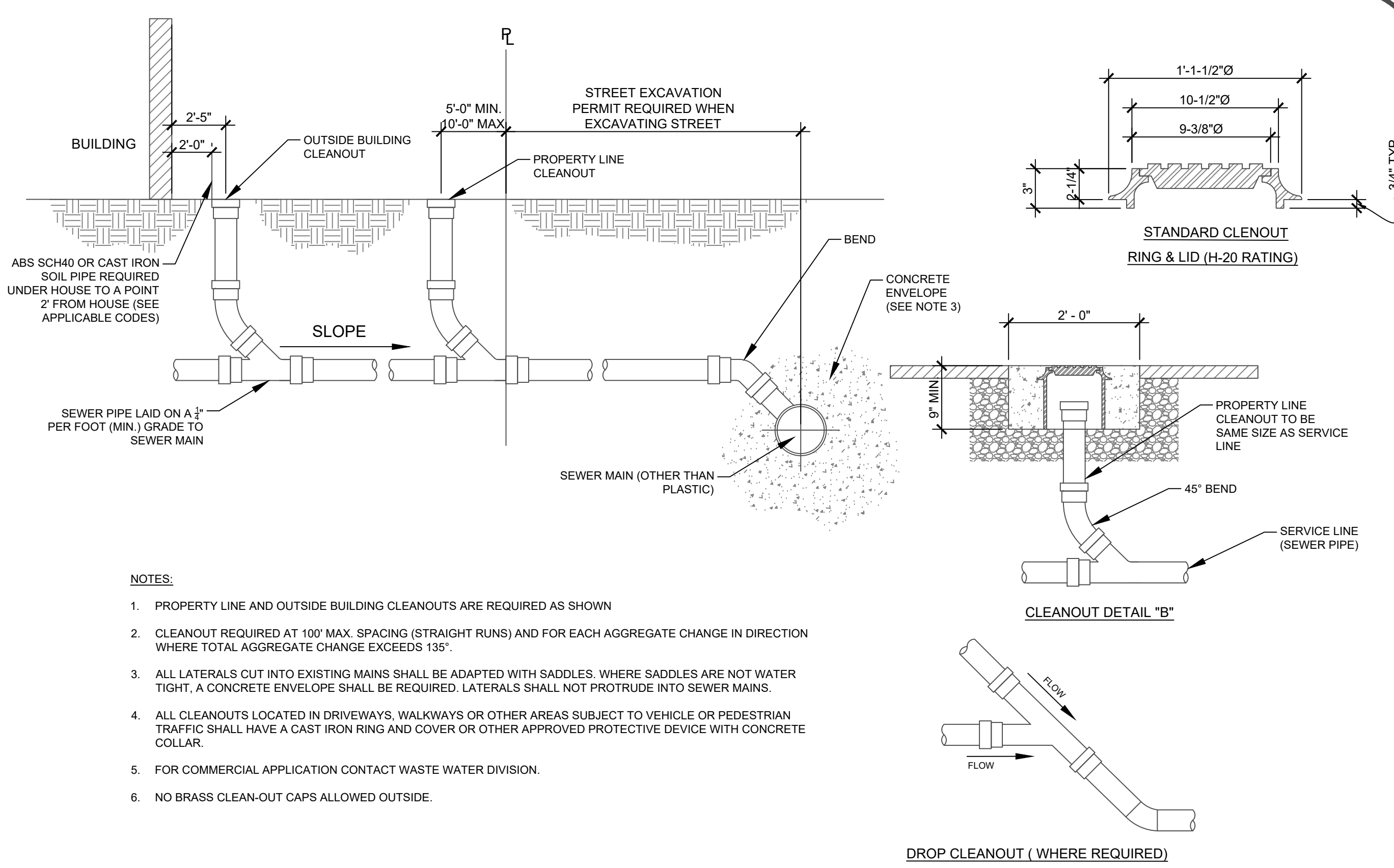
6 CURB OPENING
NTS



7 DUMPSTER ENCLOSURE DETAIL
NTS



TRASH- GATE SECTION



8 P.V.C. SERVICE CONNECTION EXISTING P.V.C. SEWER MAINS
NTS

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KANAB LAUNDRY & CAR WASH REMODEL

DETAIL SHEET

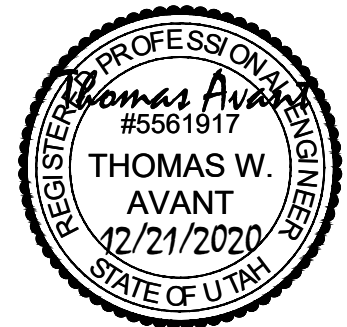
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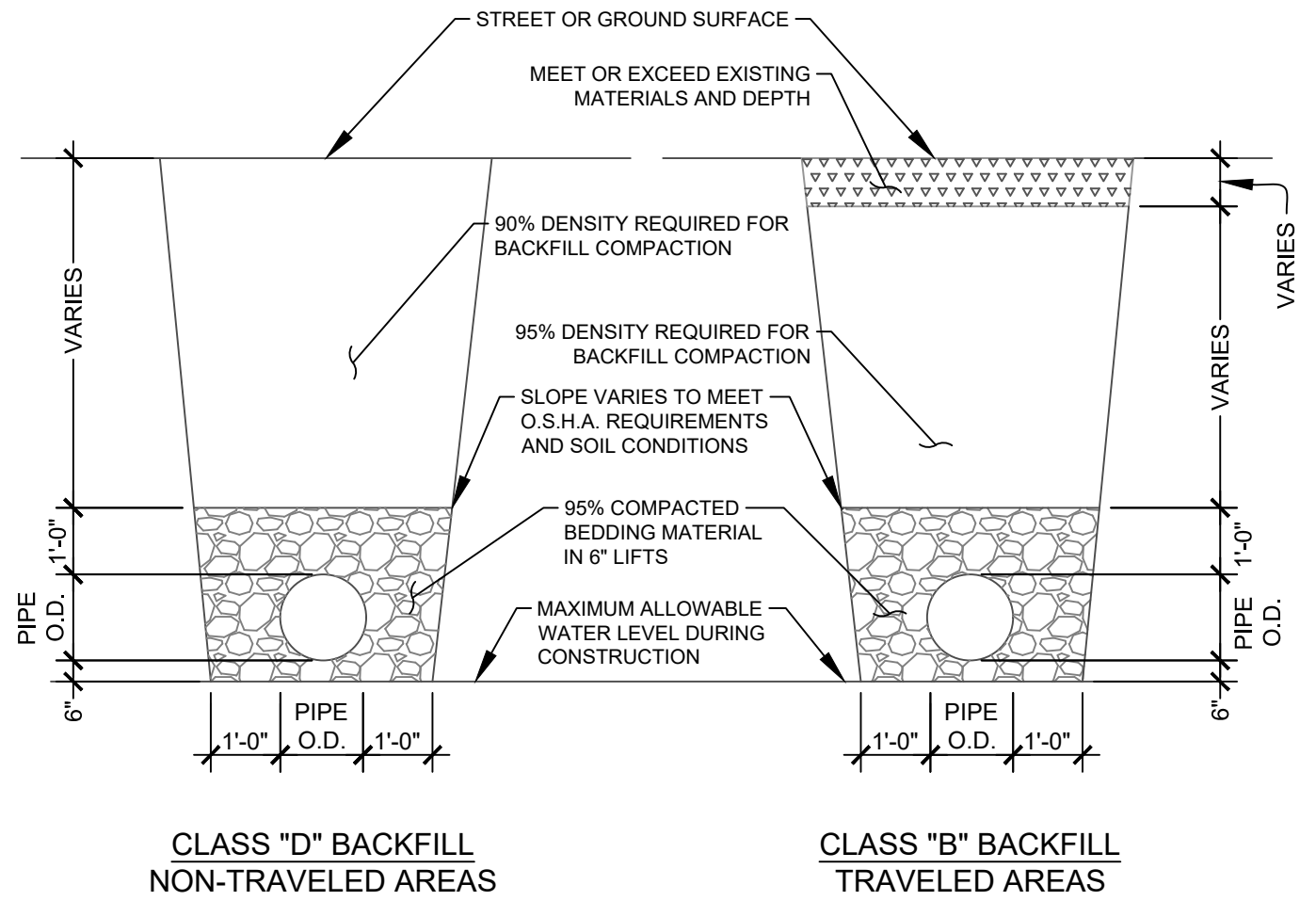
DRAWN BY: RLB

SCALE: NA

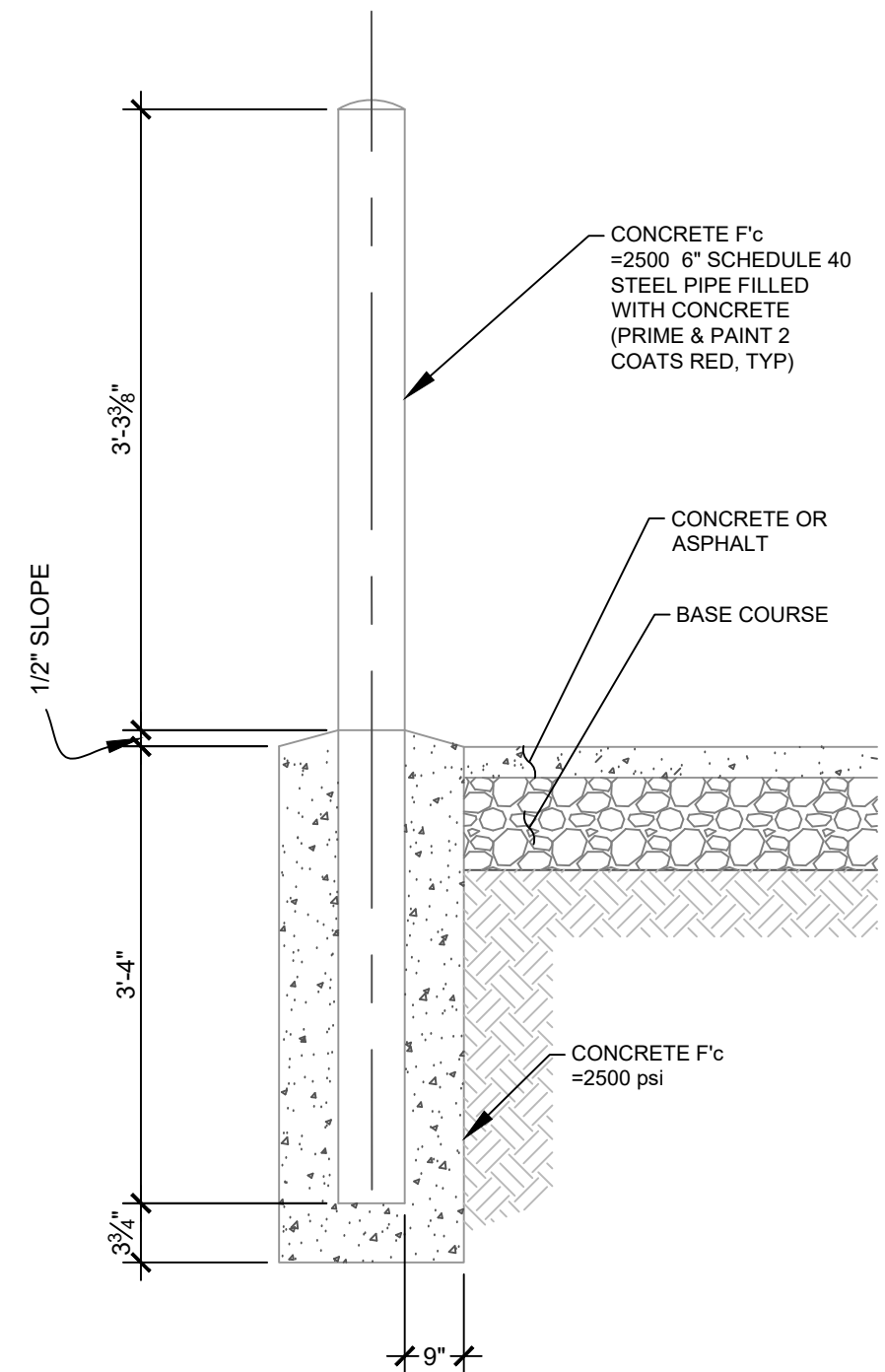
SHEET:

C500

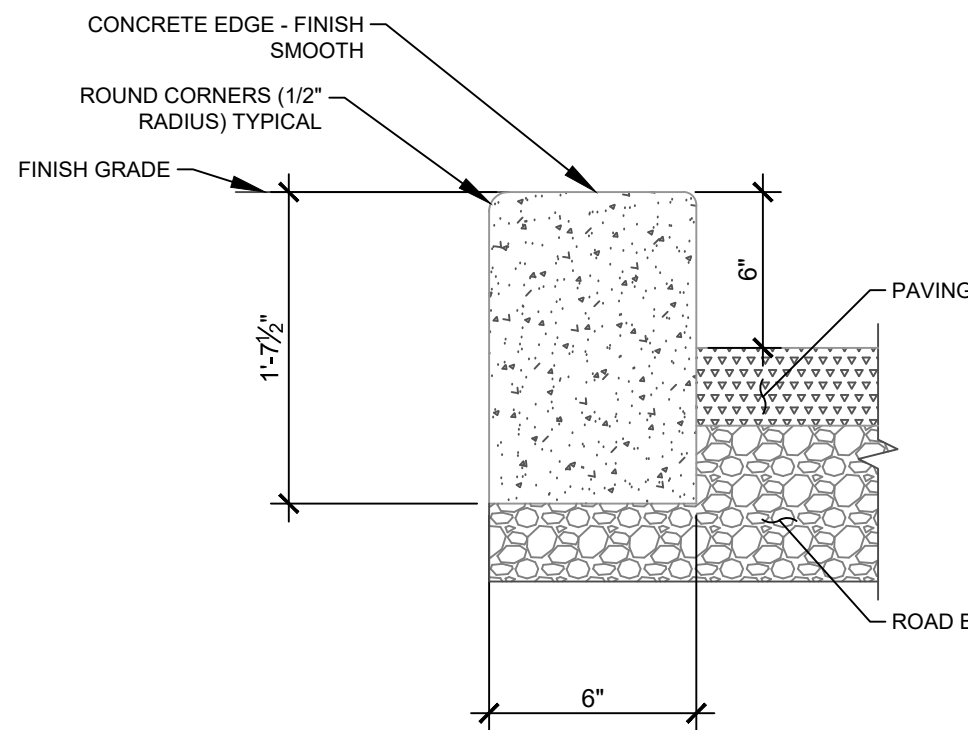
UTILITY	BURY DEPTH (MIN)	CONDUIT	TRACER WIRE/ WARNING TAPE	REMARKS
WATER	3'	NO	TRACER WIRE WARNING TAPE	
GAS	2.5' W/ SAND BEDDING	NO	18 GA. TRACER WIRE	PHONE OR FIBER SHALL NOT SHARE TRENCH
PHONE FIBER	DROP OR SERVICE 2.25' MAIN PHONE OR LOCAL FIBER 3' INTER OFFICE FIBER 4'	ALL THREE	NO	CONSULT LOCAL PHONE CO. FOR SPECIAL CONDITIONS
POWER	PRIMARY 4' SECONDARY 3'	BOTH P & S	WARNING TAPE 2' 1' ABOVE CONDUCTOR	NO OTHER UTILITY WITHIN 2' CLEAR ZONE. BELOW WATER.
SEWER	VARIES	NO	WARNING TAPE, 2' ABOVE ALL PIPES	1.5' CLEAR BELOW WATER LINES



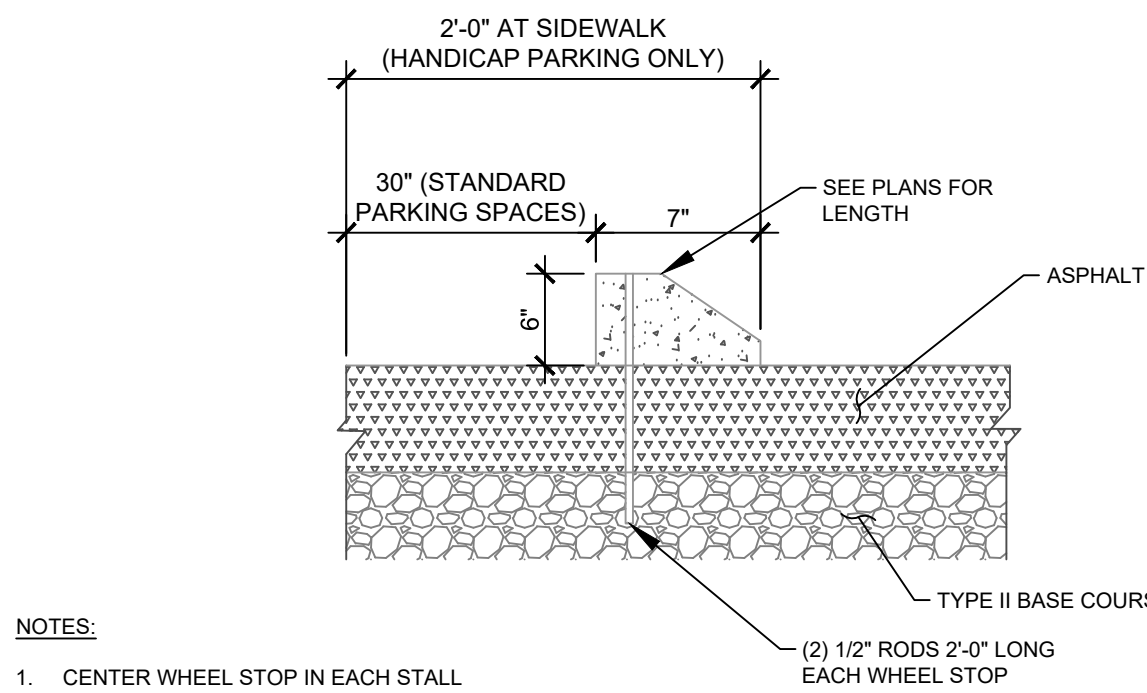
1 UTILITY TRENCH DETAIL
NTS



2 BOLLARD
NTS

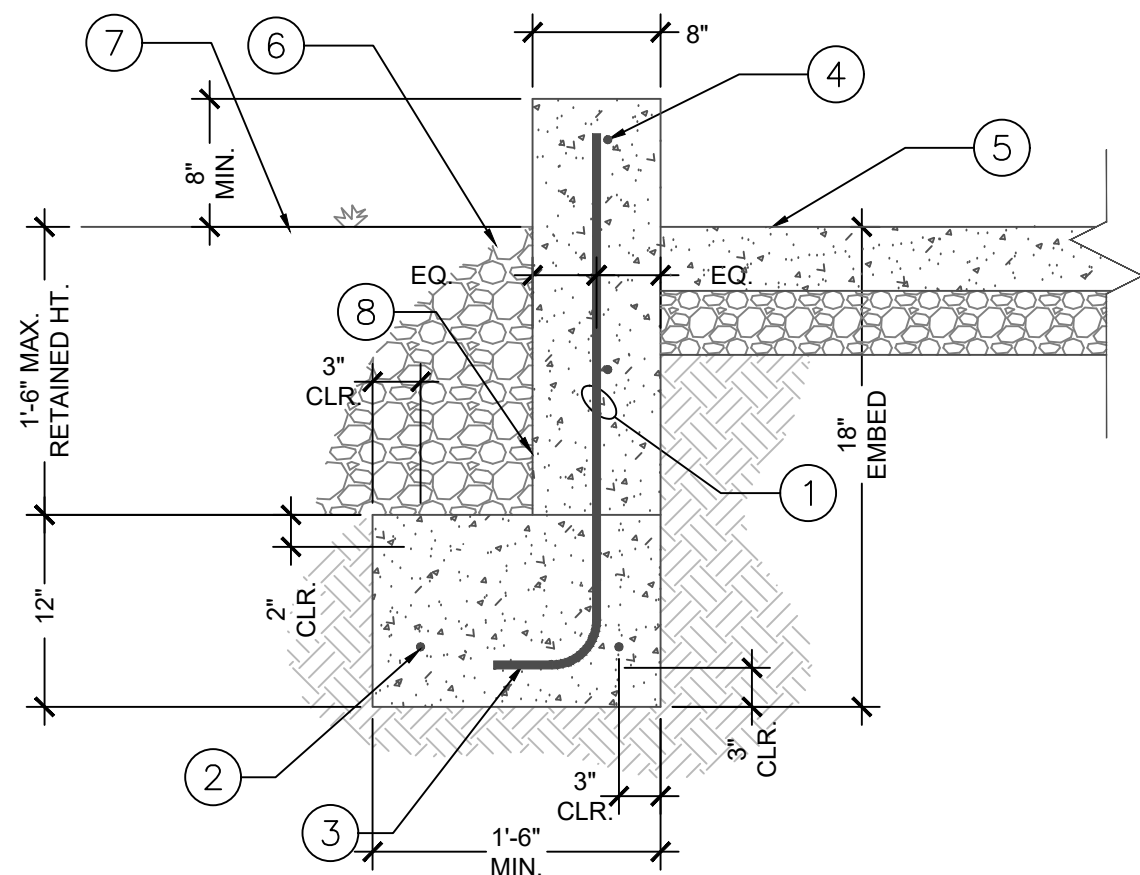


3 CURB WALL DETAIL
NTS

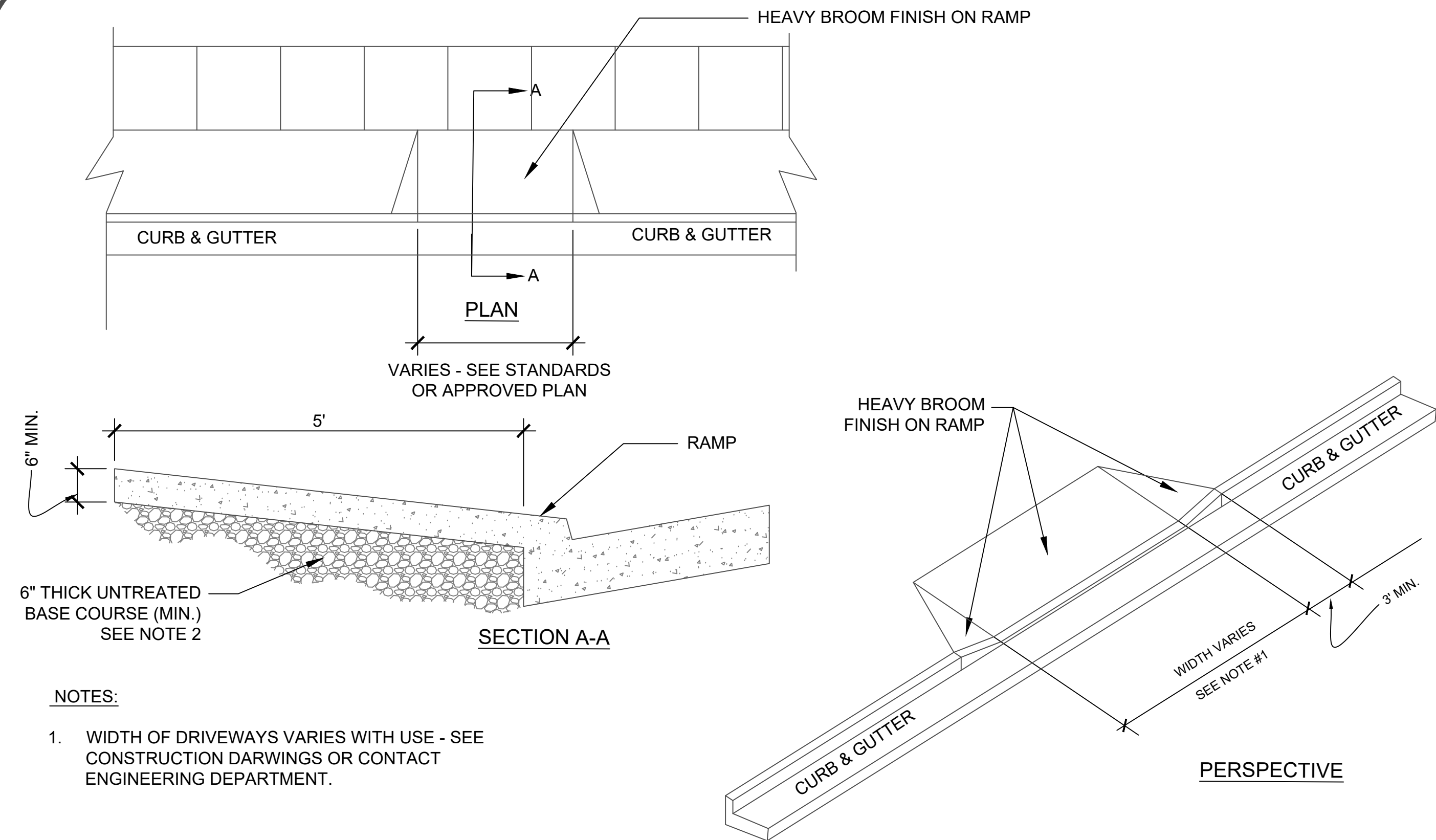


5 CONCRETE WHEEL STOP
NTS

- #4 VERT. BARS AT 18" o.c. MAX. SPACING w/ STANDARD HOOK INTO FOOTING
 - (2) #4 CONT. HORIZONTAL BARS AT BOTTOM OF FOOTING
 - STANDARD HOOK INTO FOOTING REQ'D PER SCHEDULE
 - #4 CONT. HORIZONTAL BARS AT TOP AND BOTTOM OF WALL AND AT 16" o.c. MAX. IN BETWEEN CENTERED IN WALL THICKNESS
 - SLAB THICKNESS AND REINFORCEMENT PER FOUNDATION PLAN NOTES
 - FREE DRAINING GRANULAR BACKFILL
 - LEVEL BACKFILL
 - WATER SEAL SOIL FACE OF WALL BELOW GRADE
- A. WALL SHALL NOT BE SURCHARGED OR OTHERWISE LOADED UNLESS NOTED ON DRAWING

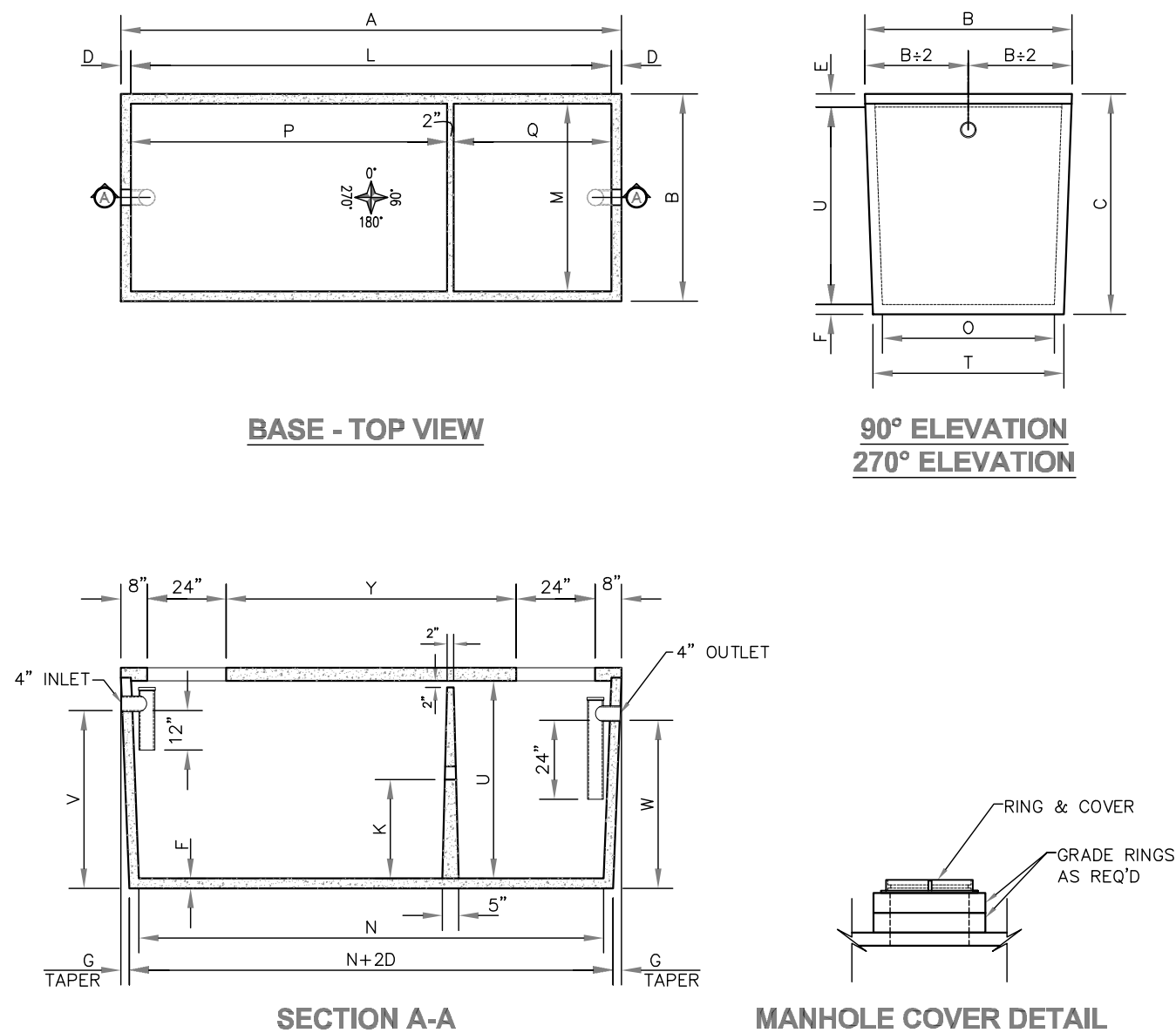


4 RETAINING WALL
NTS



- NOTES:
- WIDTH OF DRIVEWAYS VARIES WITH USE - SEE CONSTRUCTION DARWINGS OR CONTACT ENGINEERING DEPARTMENT.

6 DRIVEWAY APRON DETAILS
NTS



- NOTES:
- CONCRETE GRADE RINGS & CAST IRON RING & COVER OPTIONAL

DOUBLE COMPARTMENT 0'-2" COVER																						
DIMENSION	A	B	C	D	E	F	G	K	L	M	N	O	P	Q	S	T	U	V	W	Y		
1,000 GAL.	102"	63"	71"	3"	8"	3"	24"	30"	96"	57"	91"	52K"	63"	31"	5"	58"	60"	54"	51"	38"		
1,500 GAL.	152"	63"	71"	3"	8"	3"	24"	30"	146"	57"	141"	52K"	96"	48"	5"	58"	60"	54"	51"	88"		
1,750 GAL.	109"	78"	84"	3"	9"	4"	24"	40"	102"	72"	97"	67K"	54"	46"	5"	73"	71"	66"	63"	44"		
2,500 GAL.	156"	78"	84"	3"	9"	4"	24"	40"	150"	72"	145"	67K"	102"	46"	5"	73"	71"	66"	63"	92"		
SCALE: STAINLESS STEEL DOUBLE COMPARTMENT											STANDARD GREASE TRAP DETAIL											
GENIEVA PIPE											SALT LAKE - GREEM - HURRICANE											
DATE:		8-8-2011		TITAN		RMP		LOCATION: 001-258-2148													Drawing	

GREASE TRAP, DOUBLE COMPARTMENT										STANDARD GREASE TRAP DETAIL									
SCALE: N.T.S. DRAWN: RMP LOCATION: SALT LAKE - OREM - HURRICANE										Drawing 1									
DATE: 8-8-2011 TITAN E										PHI: 801-228-2418									

7 SAND/GREASE INTERCEPTOR
NTS

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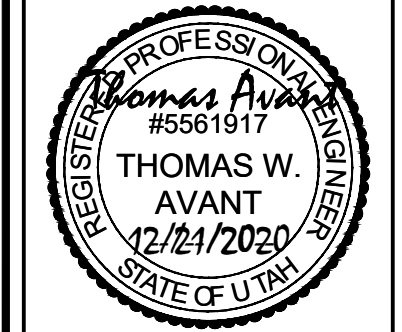
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206 E 300 S
KANAB, UT 84741

DETAIL SHEET

INITIAL SUBMITTAL:	12/21/2020
REV#:	DATE:
DESCRIPTION:	



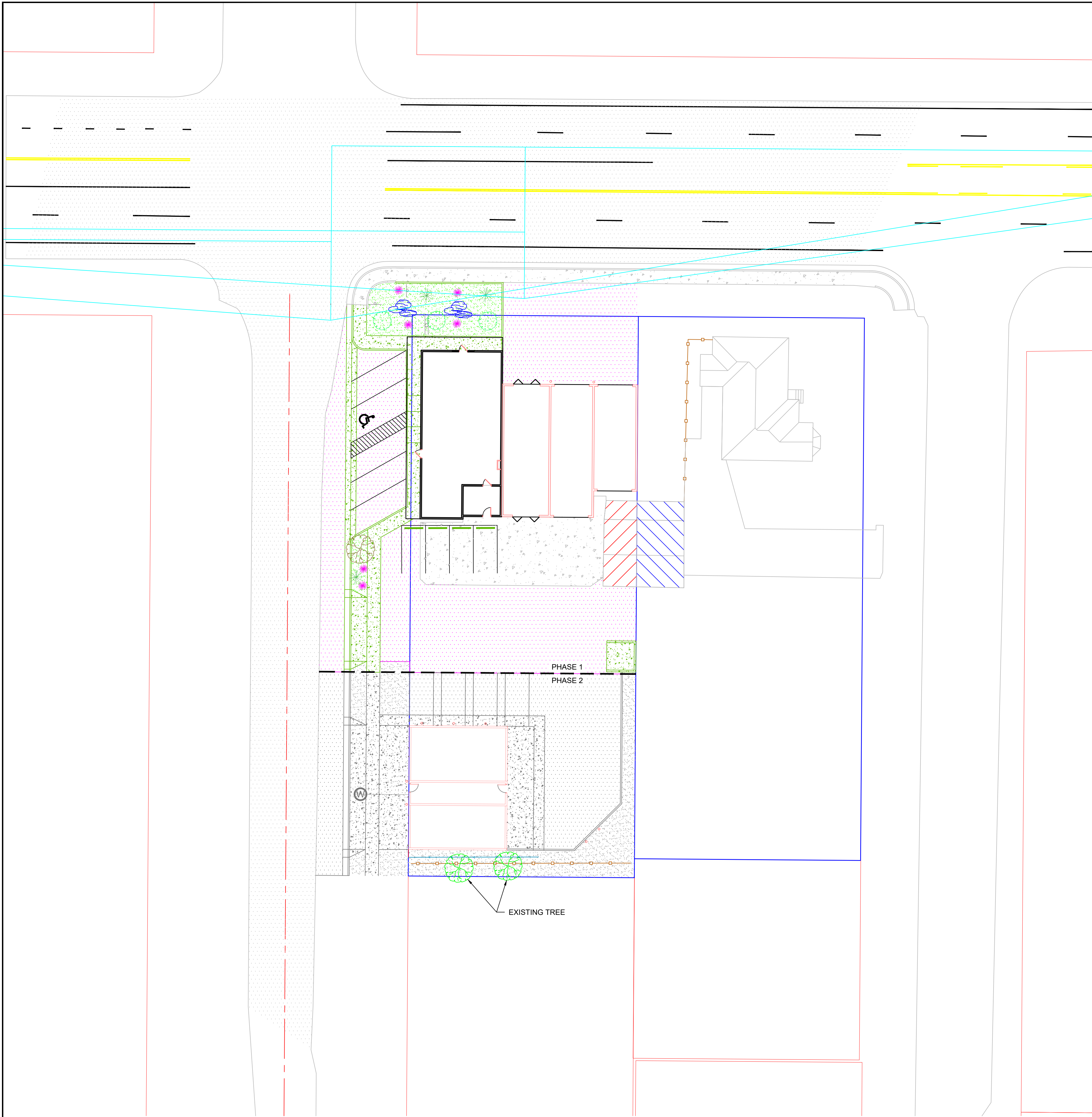
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DRAWN BY: RLB

SCALE: NA

SHEET:

C501



PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CAL
D1	0	acer glabrum	ROCKY MOUNTAIN MAPLE	B&B	2"
D2	1	gleditsia triacanthos inermis	SKYLINE HONEY LOCUST	B&B	2"

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CAL
E1	0	pinus edulis	PINION PINE	B&B	8' HT

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER
S1	1	juniperus chinensis	OLD GOLD JUNIPER	5 GAL
S2	2	ribes alpinum	GREEN MOUND ALPINE CURRANT	5 GAL

ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER
A1	3	penstemon exaltatus	FIRECRACKER PENSTEMON	1 GAL
A2	3	oryzopsis hymenoides	INDIAN RICE GRASS	1 GAL

SUCCULENTS	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER
C1	1	yucca penula	PENDULAS YUCCA	1 GAL
C2	2	yucca angustissima	RED YUCCA	1 GAL

BOULDERS / ROCKS	QTY	
B	4-6	DECORATIVE BOULDERS / ROCKS NATIVE TO THE AREA TO RANGE FROM 2' - 5' LENGTHS AND VARYING HEIGHTS AND WIDTHS.

DECORATIVE LANDSCAPE ROCK: 1,127 SQUARE FEET

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KANAB LAUNDRY & CAR WASH REMODEL

LANDSCAPE PLAN

206 E 300 S
KANAB, UT 84741

REV#	DATE	DESCRIPTION

INITIAL SUBMITTAL: 12/21/2020

THOMAS W. AVANT
12/21/2020
STATE OF UTAH

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DRAWN BY: **RLB**

SCALE: **1" = 20'**

SHEET: **L100**

Lewis Car Wash Review

From: [Bob Nicholson](#)
To: [Mike Reynolds](#)
Subject: Re:
Date: Monday, December 28, 2020 3:37:40 PM

The phase 1 plan appears OK with two notations; 1) normally angle parking which backs onto a public street would not be allowed but this has historically been accepted here and I believe the PC was OK with this continuing, 2) the corner landscape area along Hwy 89 needs at least one tree. Only 1 tree is proposed and that is in the landscape area along the side street. The code requires a tree in each landscape area. With the addition of a tree in the corner landscape area, the site plan appears in order. Note; I'm sending this from Phoenix and have reviewed the attached site plan and not compared it with the original plan. Bob

On Wed, Dec 23, 2020 at 10:01 AM Mike Reynolds <mreynolds@kanab.utah.gov> wrote:

Bob,

on January 5, 2021 I will be taking the Jeff Lewis carwash site plan back to the planning commission to get approval on a phase 1 and 2. You may recall several months ago this was approved for the total project. He has decided he doesn't have the money to do the total project and wants to do it in phases. Please review this new drawing showing phase 1. Let me know if you see any problems. I am attaching the minutes to the meeting when the project was originally approved. You may have the original drawing on your computer from the first review. Let me know if you need a copy of the first review drawing for comparison.

Thank You,

Mike Reynolds;

Kanab Land Use Coordinator

(435) 644-2534

mreynolds@kanab.utah.gov

From: noreply@civicplus.com
To: mreynolds@kanab.utah.gov; kohlwiler@kanab.utah.gov; jchatterley@kanab.utah.gov
Subject: Online Form Submittal: Site Plan Review Application
Date: Tuesday, December 8, 2020 4:54:46 PM

Site Plan Review Application

Fees **Actual Cost**

The calculated fees are required before processing of this application can begin. After submitting this form the applicant will have an opportunity to pay the required fees/deposits of \$600 deposit + \$50 / Acre, over 1 Acre by mail or by hand delivery to the Kanab City Office. Additional deposits will be required when initial deposits are fully expended. Any unused portion of deposits will be refunded to applicant upon completion of the project.

Property Location	98 W 300 N
First Name	Jeremy
Last Name	Glass
Address1	2505 E Parleys Way
Phone	8016600289
City	Salt Lake City
State	Utah
Zip	84109
Project Name and Description	Kane County Ambulance Shed
Desired Devleopment Committee Meeting Date	Next available
Acres	0.9
Existing Zone & Parcel ID	R-1-8
Existing Use of Property	Partially Vacant. There is an existing house on the lot that is used by the Hospital.
Use of Adjacent Property	Hospital
Development Time	1 Year

Table

Intended Use of Property	Emergency vehicle storage, and Training.
Describe all Sensitive Lands Impacts	<i>Field not completed.</i>
Developer Address <i>If different than Applicant.</i>	
First Name	Kane County Hospital
Last Name	<i>Field not completed.</i>
Address1	355 N Main St.
City	Kanab
State	Utah
Zip	84741
Adjacent Property Owner(s) Notification <i>A list of names, phone numbers, street addresses and mailing addresses for owners of property within 140 feet from the outer boundary of the subject property. (Note: This includes property owners across the street and in the rear of the subject property. In determining the 140 feet, the width of any intervening street or alley shall not be included.)</i>	
Adjacent Property Owner(s)	CRAM NORMAN RANDALL & SHAUNA S 359 N 100 W KANAB, UT 84741-3247
	MERRYWEATHER SCOTT & ERIN 359 N 100 W KANAB, UT 84741
	SMITH APRIL M 10354 N SIGHTLINE CIR HIDEOUT , UT 84036
	HEGWOOD GLENDA P & JASON C 925 W VANCE DR KANAB, UT 84741-6345
	RAMSAY HOLLY HAMBLIN -TR- 75 W 300 N KANAB, UT 84741
	WILLIS NYLE W & BEVERLY M

28 N MAIN ST
KANAB, UT 84741-3219

BLASDELL JOSHUA MICHAEL & NIKKI
312 S 6150 W
HURRICANE, UT 84737

These items are required before meeting with Planning Commission

1. Site Plan Construction Drawing(s) 2. Signed letter from the Kanab City Engineer - indicating approval of the Site Plan Construction Drawing(s) 3. Meet the Kanab City Land Use Ordinance (Chapter 9) requirements.

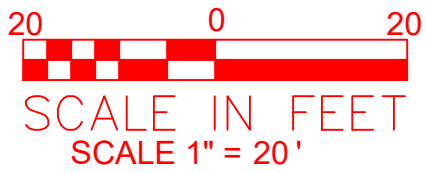
Signature of Property Owner	Kane County Hospital
-----------------------------	----------------------

Date	12/8/2020
------	-----------

Email	jcglass@archnexus.com
-------	-----------------------

Email not displaying correctly? [View it in your browser.](#)

KANE COUNTY AMBULANCE BUILDING
CONSTRUCTION DOCUMENTS
KANAB, UTAH



PROJECT INFORMATION:

PROJECT LOCATION: _____ KANAB CITY, UTAH
PARCEL NUMBER: _____ K-C-4-6
ZONE: _____ RM-7
SET BACKS:
FRONT: _____ 25'
SIDE: _____ 10'
REAR: _____ 10'
OWNER & DEVELOPER: _____ KANE COUNTY HOSPITAL

DESIGN SPECIFICATIONS: _____ KANAB CITY ZONING ORDINANCE

PARKING COUNT:
ASSEMBLY HALLS/MEETING ROOMS SEATS: _____ 108
REQUIRED PARKING: _____ 30
TOTAL PROVIDED PARKING: _____ 30
REQUIRED VAN ACCESSIBLE: _____ 1
TOTAL REQUIRED ACCESSIBLE PARKING: _____ 2
PROVIDED ACCESSIBLE PARKING SPACES: _____ 2

SHEET INDEX:

COVER SHEET	C001
EXISTING SITE/DEMOLITION PLAN	C100
PROPOSED SITE PLAN	C200
GRADING PLAN	C300
PLAN AND PROFILE	C301-C302
UTILITY PLAN	C400
DETAIL SHEET	C500-C501



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COVER SHEET
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INITIAL SUBMITTAL: 11/13/2020

REV#	DATE	DESCRIPTION

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DRAWN BY: **RLB**

SCALE: **1"=20'**

SHEET:
C001

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.

UPON COMPLETION OF SITE STRIPPING, THE EXPOSED BUILDING AND PAVEMENT SUBGRADES SHOULD BE EVALUATED BY A REPRESENTATIVE OF THE ENGINEER. EXCAVATED DOWN TO FIRM UNDISTURBED NATIVE SOILS OR A SUITABLE DEPTH AS DETERMINED BY THE ENGINEER AND BACKFILLED WITH PROPERLY PLACED AND COMPACTED STRUCTURAL FILL.

EXCAVATIONS SHOULD BE MADE USING AN EXCAVATOR EQUIPPED WITH A SMOOTH EDGE AND SUPPORTED FROM OUTSIDE THE EXCAVATION.

IF THE SUBGRADE IS DISTURBED DURING CONSTRUCTION, LOOSE OR OTHERWISE DISTURBED SOILS SHOULD BE OVER-EXCAVATED TO FIRM, UNDISTURBED SOIL AND BACKFILLED WITH COMPACTED GRANULAR MATERIAL.

IMPORTED STRUCTURAL FILL SHOULD CONSIST OF WELL-GRADED SAND AND GRAVEL MATERIALS THAT ARE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS. IMPORTED FILL MATERIALS SHOULD BE APPROVED BY THE ENGINEER PRIOR TO ITS DELIVERY TO THE PROJECT SITE.

STRUCTURAL FILL MATERIALS SHOULD BE MOISTURE CONDITIONED TO 2% BELOW OPTIMUM TO 2% ABOVE OPTIMUM MOISTURE CONTENT. STRUCTURAL FILL SHOULD BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES THICK (FOR HEAVY ROLLER EQUIPMENT) OR 4 INCHES THICK FOR HAND OPERATED EQUIPMENT) AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D 1557 TEST METHOD.

SITE GRADING FILL OR BACKFILL PLACED BENEATH PAVEMENTS, FLOOR SLABS OR FLAT WORK SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED USING ASTM D 1557.

STRUCTURAL FILL, WHERE REQUIRED, SHOULD EXTEND A MIN. OF HALF THE DEPTH OF THE FILL Laterally BEYOND THE FOOTINGS AND 24 INCHES FOR ISOLATED COLUMN FOOTINGS.

PLACEMENT AND COMPACTION OF ALL FILL MATERIALS SHOULD BE OBSERVED, TESTED, AND DOCUMENTED BY A REPRESENTATIVE OF THE ENGINEER.

TESTED FILL MATERIALS THAT DO NOT ACHIEVE EITHER THE REQUIRED DRY DENSITY OR MOISTURE CONTENT REQUIREMENTS SHOULD BE RECORDED, THE LOCATION NOTED, AND REPORTED TO THE CONTRACTOR AND OWNER. A RE-TEST OF THAT AREA SHOULD BE PERFORMED AFTER THE CONTRACTOR HAS PERFORMED ALL NECESSARY REMEDIAL MEASURES INCLUDING MOISTURE CONDITIONING AND REWORKING THE FILL.

THE ENGINEER SHOULD BE RETAINED TO OBSERVE SITE STABILIZATION, SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS.

PAVEMENT MATERIALS AND WORKMANSHIP SHOULD CONFORM TO THE UTAH DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. BASE COURSE AND GRANULAR BORROW MATERIALS SHOULD BE MOISTURE CONDITIONED TO NEAR OPTIMUM MOISTURE CONTENT AND PLACED IN LIFTS NOT TO EXCEED 8 INCHES.

GRANULAR BORROW AND BASE COURSE MATERIALS SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAX DRY DENSITY PER ASTM D-1557.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND INCLUDED IN THE CONSTRUCTION CONTRACT.

BORROW MATERIAL SHOULD BE FREE OF DEBRIS, ORGANIC MATERIALS, AND 3 INCH SIZE PARTICLES OR LARGER. WE RECOMMEND FILL MATERIALS CONFORM TO THE PROJECT SOILS REPORT.

ALL SUBGRADE MATERIALS SHALL BE SCARIFIED TO A DEPTH OF TWELVE INCHES (12"), THE MOISTURE CONTENT ADJUSTED TO NEAR OPTIMUM, THEN COMPACTED TO 95 PERCENT OF ASTM D-1557.

SUFFICIENT COMPACTION TESTS SHALL BE TAKEN TO VERIFY COMPLIANCE WITH THESE SPECIFICATIONS.

DRAINAGE NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO KANAB CITY STANDARD SPECIFICATIONS AND REQUIREMENTS.
2. ALL DRAINAGE PIPE SHALL BE CORRUGATED HIGH DENSITY POLYETHYLENE PIPE WITH SMOOTH LINING, GASKETED SPIGOT AND BELL ENDS AND SHALL CONFORM TO AASHTO M294 AND ASTM D3350.
3. ALL TRENCH DRAINS SHALL BE DURASLOT SLOTTED SURFACE TRENCH DRAIN. DURASLOT SLOTTED SURFACE TRENCH DRAIN TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND STANDARDS.
4. ALL NYLOPLAST DRAINAGE BASINS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND STANDARDS.
5. VERIFY LOCATION AND ELEVATION OF ALL IMPROVEMENTS PRIOR TO PLACING DRAINAGE STRUCTURES.
6. INSTALL PIPE AND FITTINGS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. INSTALL PIPE STARTING AT DOWNSTREAM END. SECURE JOINTS WATER TIGHT.
7. ALL ASPHALT SHALL CONFORM TO KANAB CITY STANDARD SPECIFICATIONS AND REQUIREMENTS.
8. ALL CONCRETE SHALL CONFORM TO KANAB CITY STANDARD SPECIFICATIONS AND REQUIREMENTS.
9. ALL CURB & GUTTER SHALL CONFORM TO KANAB CITY STANDARD SPECIFICATIONS AND REQUIREMENTS.
10. ALL PROPOSED ROOF DRAINS ON THE NORTH SIDE OF THE BUILDING SHALL FLOW TO THE PROPOSED TRENCH DRAINS. ALL PROPOSED ROOF DRAINS ON THE SOUTH SIDE OF THE BUILDING SHALL FLOW TO THE PROPOSED WATERWAY.

1. ALL CONSTRUCTION SHALL CONFORM TO THE "KANAB CITY STANDARD SPECIFICATIONS AND DRAWING DETAILS FOR DESIGN AND CONSTRUCTION", "THE

2. CONTRACTOR SHALL POTHOLE ALL PIPELINES TO VERIFY DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION.
3. 12 GAUGE WIRE SHALL BE TAPED TO ALL WATER LINES FOR LOCATING PURPOSES. THE WIRE SHALL ALSO BE BROUGHT UP AT EACH VALVE BOX AND HYDRANT.
4. THRUST RESTRAINT ON THE NEW PIPELINE SHALL BE BELL AND SPIGOT JOINT RESTRAINT HARNESS OR CLAMP RATED AT PRESSURE CLASS OF PIPE OR GREATER. USE MEGA-LUG OR APPROVED EQUIV ON THE FITTINGS AND FIELD LOCK GASKETS ON THE REQUIRED LENGTH OF RESTRAINED PIPE.
5. ASPHALT REPLACED OVER THE PIPE TRENCHING IS TO MATCH EXISTING PAVEMENT DEPTHS WITH A 6" OVER CUT FROM THE EDGE OF THE TRENCH LINE TO EACH SIDE OF THE TRENCH. SEE DETAIL 4. SHEET C400.
7. ANY CHANGES MADE IN THE FIELD MUST BE FIRST APPROVED AND DOCUMENTED BY THE ENGINEER.
9. ALL WATER LINES TO BE 8" C-900 PIPE WITH BELL AND SPIGOT JOINTS WITH ELASTOMERIC GASKETS AND BEAR NSF LABEL. ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON. ALL WATER LINES SHALL BE INSTALLED AND TESTED AS PER KANAB CITY STANDARD SPECIFICATIONS.
10. ALL SERVICE LINE SHALL BE HDPE PIPE, 200 PSI, IRON PIPE SIZE WITH STAINLESS STEEL INSERT STIFFENERS AND MAINTAIN 5 FEET MINIMUM COVER TO TOP OF PIPE. TAP SADDLE, CORPORATION STOP, AND SERVICE METER PER KANAB CITY STANDARD SPECIFICATIONS. INSTALL METER ON PUBLIC SIDE OF PROPERTY LINE AND WITHIN 2 FEET OF PROPERTY LINE.
11. ALL FIRE HYDRANTS SHALL BE AWWA C500, DRY BARREL TYPE WITH PRIMER AND TWO COATS OF RED ENAMEL WITH A MIN 6 FOOT BURY. HYDRANTS SHALL HAVE A 6" C-900 PIPE AND SHUT-OFF VALVE BETWEEN WATER SUPPLY AND HYDRANT AND INSTALLED AS PER KANAB CITY STANDARD SPECIFICATION.
12. ALL WATER MAIN LINES TO BE INSTALLED A MINIMUM OF 10" HORIZONTALLY FROM ANY SEWER MAIN LINE AND 18" VERTICALLY ABOVE TOP OF SEWER MAIN LINE OR STRAIN DRAIN LINE AT ANY CROSSING. WHEN THE WATER MAIN CANNOT BE AS HIGH AS 18 INCHES ABOVE THE SEWER, THE SEWER SHALL BE CONSTRUCTED OF PIPE WITH PRESSURE CONDUIT STANDARDS FOR A DISTANCE OF 20 FEET ON EITHER SIDE OF THE CROSSING. ALL POTABLE AND FIRE WATER LINE TO MAINTAIN A MINIMUM DEPTH OF 60" BELOW FINISHED GRADE TO TOP OF PIPE.
13. ALL TEES, BENDS PLUGS AND HYDRANTS SHALL BE PROVIDED WITH REACTION BLOCKING. THE RODS OR JOINTS DESIGNED TO PREVENT MOVEMENT.
14. ALL VALVES SHALL BE AWWA C509 IRON BODY GATE VALVES WITH BRONZE TRIM, NON-RISING STEM WITH A 2" SQUARE OPERATING NUT, SINGLE WEDGE RESILIENT SEAT, MECHANICAL JOINT ENDS. RATED FOR 200 POUNDS PER SQUARE INCH WORKING PRESSURE. VALVE BOX AND COVER SHALL BE CAST IRON. EXTENSION SLEEVE TYPE WITH "WATER" CAST ON COVER WITH A CLASS A(AZE) REINFORCED CONCRETE.

1. TEST WATER MAINS AT LESSER OF 200 PSI OR PRESSURE RATING OF PIPE. TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE KANAB CITY ENGINEER, OR KANAB CITY WATER CONSERVANCY DISTRICT, AS APPLICABLE.

1. TEST WATER MAINS AT LESSER OR 80 PSI OR PRESSURE RATING OF PIPE. TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE KANAB CITY ENGINEER, OR KANAB CITY WATER CONSERVANCY DISTRICT, AS APPLICABLE.
- FILL PIPE WITH WATER AND PLACE UNDER SLIGHT PRESSURE FOR AT LEAST 48 HOURS.
 - BRING PIPE PRESSURE TO TEST PRESSURE AND MAINTAIN FOR 4 HOURS MIN.
 - PROVIDE ACCURATE MEANS FOR MEASURING QUANTITY OF WATER NEEDED TO MAINTAIN TEST PRESSURE ON PIPE FOR TEST PERIOD.
 - IF VOLUME OF WATER ADDED TO PIPE IS 10 GALLONS PER INCH OF PIPE DIAMETER PER MILE OF PIPE PER 24 HOURS OR LESS, PIPE PASSES TEST.
 - IF PIPE DOES NOT PASS TEST, FIND SOURCE OF LEAKAGE, REPAIR OR REPLACE, AND RETEST. REPEAT UNTIL PIPE PASSES TEST.

2. BACTERIOLOGICAL TEST: AFTER FLUSHING CHLORINATED WATER FROM WATER LINES, TAKE SAMPLE FOR BACTERIOLOGICAL TEST. IF NECESSARY, RE-CHLORINATE UNTIL SATISFACTORY BACTERIOLOGICAL TEST IS OBTAINED. DO NOT PUT PIPING INTO SERVICE UNTIL TEST RESULTS ARE SATISFACTORY.
- THE FOLLOWING TEST PROTOCOL IS LISTED IN ANSI/AWWA STANDARD C651.















- A. COLLECT TWO SAMPLES FROM EACH SAMPLE LOCATION TAKEN AT LEAST 24 HRS. APART.
- B. COLLECT A SAMPLE FROM AT LEAST EVERY 1,200 FT. OF NEW MAIN.
- C. COLLECT A SAMPLE FROM THE END OF THE LINE AND AT LEAST ONE FROM EACH BRANCH
- D. TEST SAMPLES FOR TOTAL COLIFORM BACTERIA IN ACCORDANCE WITH STANDARD METHODS FOR THE EXAMINATION OF WATER AND WASTEWATER. ADDITIONAL TESTS MAY BE REQUIRED INCLUDING: CHLORINE RESIDUAL, TURBIDITY, pH, AND HETEROTROPHIC PLAT COUNT (HPC).
- E. SPECIAL COLLECTION. COLLECT ADDITIONAL SAMPLES AT INTERVALS OF APPROXIMATELY 200 FT IF TRENCH WATER HAS ENTERED THE NEW MAIN DURING CONSTRUCTION OR IF EXCESSIVE QUANTITIES OF DIRT OR DEBRIS HAVE ENTERED THE NEW MAIN. TAKE SAMPLES OF WATER THAT HAS STOOD IN THE NEW MAIN FOR AT LEAST 18 HOURS AFTER FINAL FLUSHING.
- F. COLLECT SAMPLES IN STRICTLY ACCORDANCE WITH STANDARD METHODS AS REQUIRED BY STANDARD METHODS FOR THE EXAMINATION OF WATER AND WASTEWATER DO NOT USE HOSE OR FIRE HYDRANTS FOR THE COLLECTION OF SAMPLES. ENSURE THAT THERE IS NO WATER IN THE TRENCH UP TO THE CONNECTION FOR SAMPLING. USE CLEAN AND DISINFECTED SAMPLING PIPE THAT HAS BEEN FLUSHED PRIOR TO SAMPLING. A CORPORATION COCK MAY BE INSTALLED IN THE MAIN WITH A COPPER TUBE GOOSENECK ASSEMBLY. THIS ASSEMBLY CAN BE REMOVED AFTER SAMPLING AND USED AGAIN.
- G. IF THE HPC TEST RESULTS ARE GREATER THAN 600 COLONY-FORMING UNITS(CFU) PER mL, FLUSH AND COLLECT A REPEAT SAMPLE UNTIL NO COLIFORMS ARE PRESENT AND HPC IS BELOW 500 CFU/mL.
- H. COLIFORM BACTERIA MUST BE ABSENT FROM THE SAMPLES AND THE BACTERIOLOGICAL QUALITY OF THE WATER EQUAL TO OR BETTER THAN THAT OF THE WATER IN THE EXISTING MAIN.
- I. IF UNSATISFACTORY TEST RESULTS ARE OBTAINED, FLUSH THE MAIN AGAIN AND RESAMPLE. IF CHECK SAMPLES ALSO FAIL TO PRODUCE ACCEPTABLE RESULTS, RECHLORINATE THE MAIN BY THE CONTINUOUS-FEED OR SLUG METHOD UNTIL TWO CONSECUTIVE SETS OF ACCEPTABLE TESTS ARE TAKEN AT LEAST 24 HR APART. IN SOME CASES, IT MAY BE NECESSARY TO PIG OR PRESSURE WASH THE PIPE PRIOR TO RECHLORINATING THE MAIN. IT IS ADVISABLE TO CHECK THE QUALITY OF THE WATER ENTERING THE NEW MAIN TO DETERMINE IF THE MAINS BEING USED FOR FLUSHING MAY HAVE DISTURBED SEDIMENT IN THE SUPPLY PIPING AND RESULTED IN POOR QUALITY FEED WATER.












1. AFTER COMPLETING PRESSURE TESTING, FLUSH PIPE TO REMOVE DIRT OR OTHER FOREIGN OBJECTS

1. AFTER COMPLETING PRESSURE TESTING, FLUSH PIPE TO REMOVE DIRT OR OTHER FOREIGN OBJECTS.
2. ADD LIQUID CHLORINE OR LIQUID CALCIUM HYPOCHLORITE TO PIPE TO OBTAIN 50 PPM CONCENTRATION OF CHLORINE. MAINTAIN 25 PPM CHLORINE RESIDUAL AT THE END OF 24 HOURS. DISINFECTION PROCEDURES SHALL COMPLY WITH UTAH STATE RULES FOR PUBLIC DRINKING WATER SYSTEMS, PART 11 AND AWWA C651.
3. FLUSH CHLORINATED WATER FROM PIPE. DISPOSE OF DISCHARGED CHLORINATED WATER IN ACCEPTABLE MANNER AND IN CONFORMANCE WITH RULES OF UTAH WATER QUALITY BOARD (SEE R317 OF ADMINISTRATIVE CODE), AND/OR AWWA STANDARDS.

	FOUND SECTION CORNER AS DESCRIBED
	REBAR AND CAP
	SET MONUMENT
	EXISTING ROAD CENTERLINE
	PROPOSED ROAD CENTERLINE
	UTILITY EASEMENT
	PROPERTY LINES
	PROJECT BOUNDARY LINES
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	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING POWER LINE
	PROPOSED POWER LINE
	EXISTING TELEPHONE LINE
	PROPOSED TELEPHONE LINE
	EXISTING FIBER OPTIC LINE
	PROPOSED FIBER OPTIC LINE
	EXISTING SEWER LINE
	PROPOSED SEWER LINE
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING AIR/VAC ASSEMBLY
	PROPOSED AIR/VAC ASSEMBLY
	EXISTING WATER METER
	PROPOSED WATER METER
	EXISTING TRANSFORMER
	PROPOSED TRANSFORMER
	EXISTING SECONDARY PEDESTAL
	PROPOSED SECONDARY PEDESTAL
	EXISTING 3-PHASE CABINET
	PROPOSED 3-PHASE CABINET
	EXISTING TELECOMMUNICATIONS PEDESTAL
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| | PROPOSED 3-PHASE CABINET |
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| | PROPOSED TELECOMMUNICATIONS PEDESTAL |
| | EXISTING STREET SIGN |
| | PROPOSED STREET SIGN |
| | EXISTING STREET LIGHT |
| | PROPOSED STREET LIGHT |

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-  EXISTING TREE
 PROPOSED TREE
 EXISTING POWER POLE
 PROPOSED POWER POLE
 EXISTING BOLLARD
 PROPOSED BOLLARD
 EXISTING PROPANE TANK
 PROPOSED PROPANE TANK
 EXISTING SEWER MANHOLE
 PROPOSED SEWER MANHOLE
 EXISTING STORM DRAIN MANHOLE
 PROPOSED STORM DRAIN MANHOLE
 EXISTING STORM DRAIN GRATE INLET
 PROPOSED STORM DRAIN GRATE INLET

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|---|-------------------------------|
|  | EXISTING CURB INLET |
|  | PROPOSED CURB INLET |
|  | EXISTING ROAD BASE AREA |
|  | PROPOSED ROAD BASE AREA/DRIVE |
|  | LANDSCAPE AREA |
|  | EXISTING ASPHALT |
|  | PROPOSED ASPHALT |
|  | EXISTING CONCRETE |
|  | PROPOSED CONCRETE |
|  | EXISTING BUILDING |
|  | PROPOSED BUILDING |

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SPECIFICATIONS SHEET

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KANAB, UT 84741

KANE COUNTY AMBULANCE BUILDING

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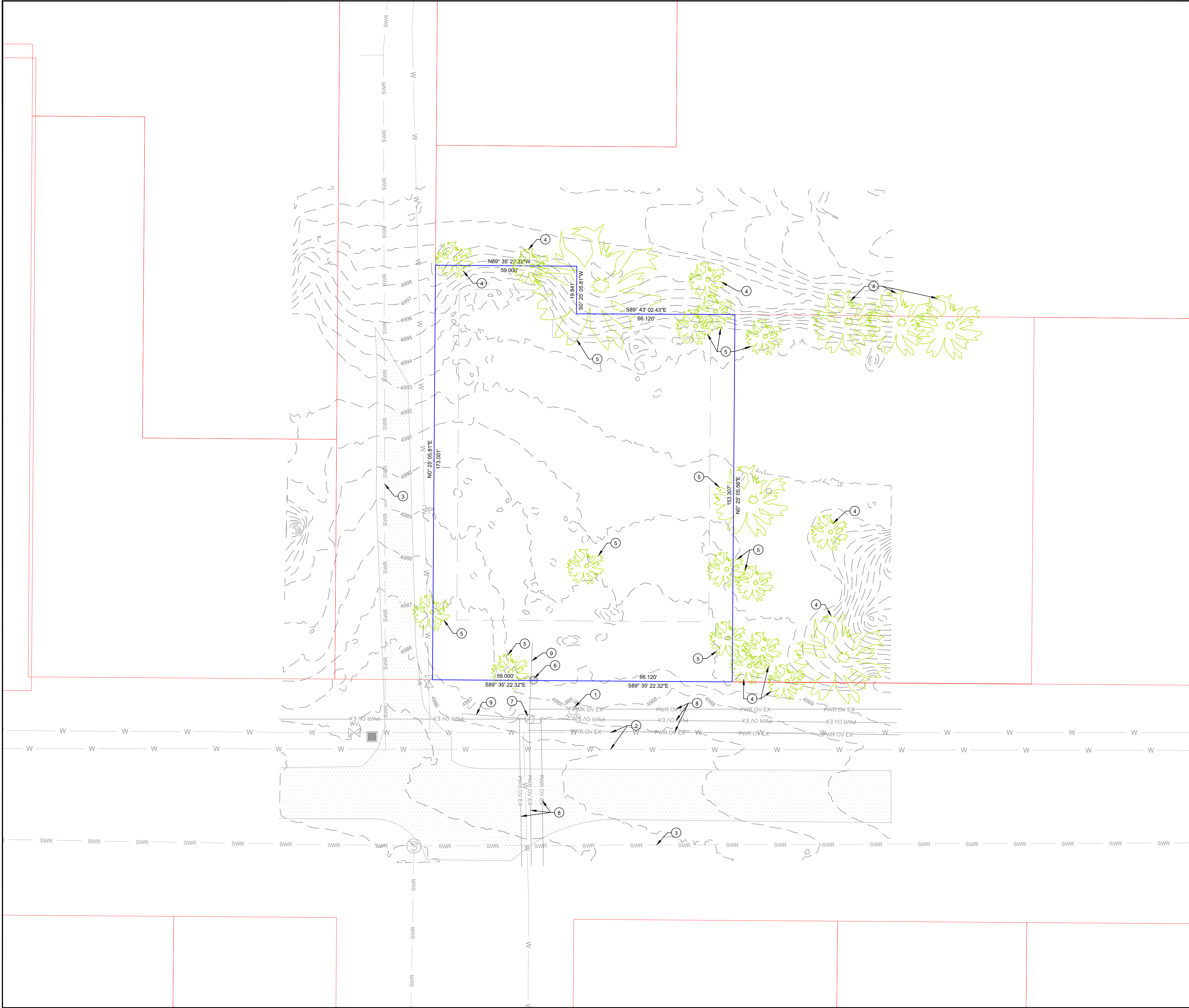
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DRAWN BY: RLB


SCALE: NA

SHEET: _____

C002



- SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- ① EXISTING FIRE HYDRANT
 - ② EXISTING WATER LINE
 - ③ EXISTING SEWER LINE
 - ④ EXISTING TREE
 - ⑤ EXISTING TREE TO BE REMOVED
 - ⑥ EXISTING WATER METER
 - ⑦ EXISTING POWER POLE
 - ⑧ EXISTING OVER HEAD POWER LINES
 - ⑨ EXISTING BUY LINES



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KANE COUNTY AMBULANCE BUILDING

**EXISTING SITE/
DEMOLITION PLAN**

98 W 300 N
KANAB, UT 84741

INITIAL SUBMITTAL: 11/13/2020	
REV#	DESCRIPTION:

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CONSTRUCTION

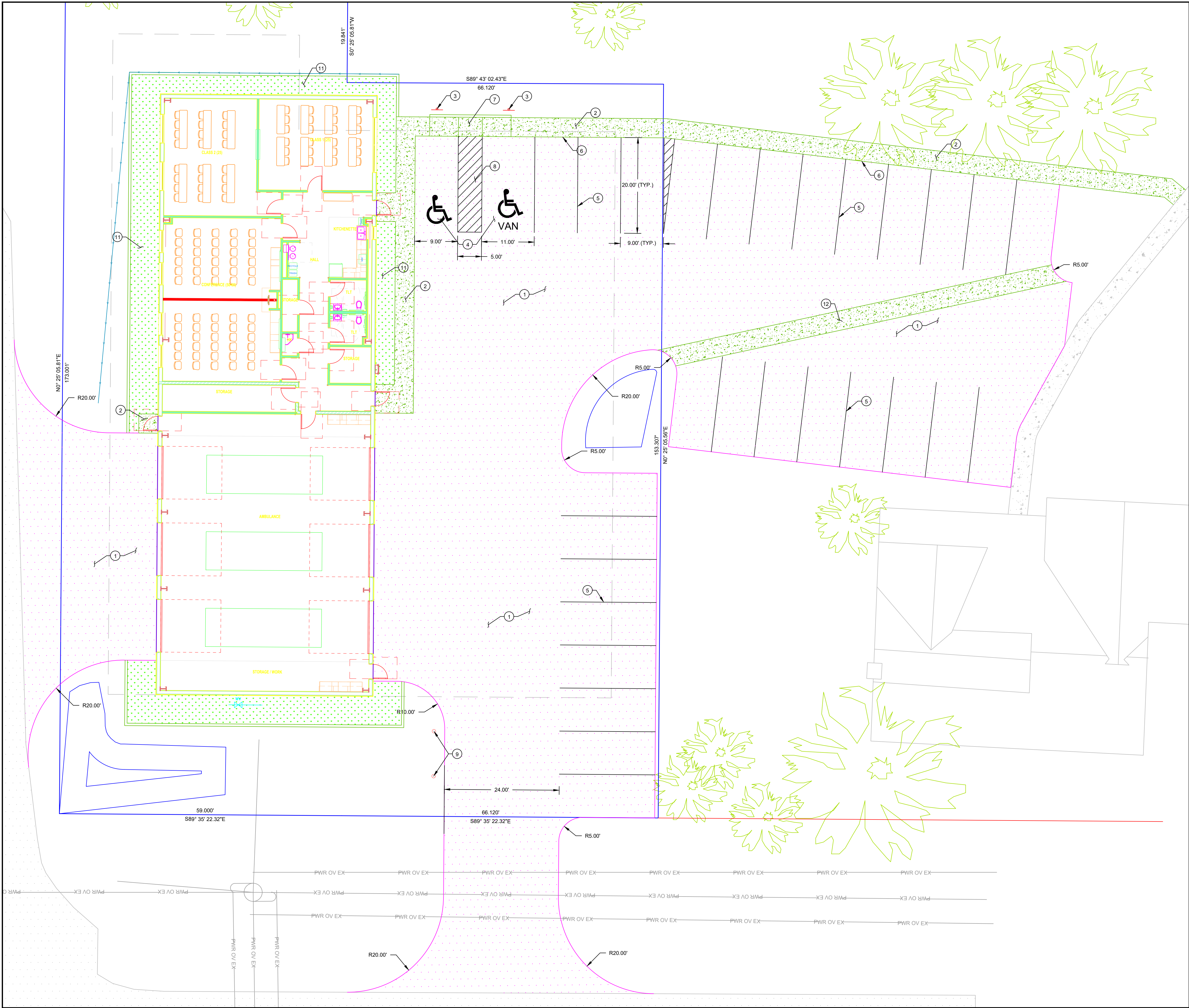
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DRAWN BY: **RLB**

SCALE: **1" = 20'**

SHEET:

C100



10 0 10
SCALE IN FEET
SCALE 1" = 10'



- SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 PROPOSED ASPHALT SURFACE. SEE DETAIL 4 SHEET C500
 - 2 PROPOSED CONCRETE SURFACE. SEE DETAIL 4 SHEET C500
 - 3 PROPOSED ADA SIGN. SEE DETAIL 1 SHEET C500
 - 4 PROPOSED ADA ACCESSIBLE PARKING SPACE NOT TO EXCEED 2% IN ANY DIRECTION. PAINT SQUARE INTERNATIONAL SYMBOL OF ACCESSIBILITY (TYP.)
 - 5 PROPOSED 4" PARKING LINE
 - 6 PROPOSED THICKENED EDGE SIDEWALK ALONG FRONT OF PARKING. SEE DETAIL 8 SHEET C500
 - 7 PROPOSED ADA RAMP. SEE DETAIL 3 SHEET C500
 - 8 PROPOSED PAINT w/4" WIDE ACCESS ISLE STRIPING AT 45° ANGLE AND 2'-0" O.C. (TYP.)
 - 9 PROPOSED BOLLARD. SEE DETAIL 7 SHEET C500
 - 10 6" LANDSCAPE CURB
 - 11 LANDSCAPE AREA (BY OTHERS)
 - 12 CONCRETE WATER WAY. SEE DETAIL 9 SHEET C500



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SITE PLAN

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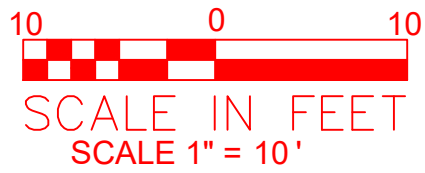
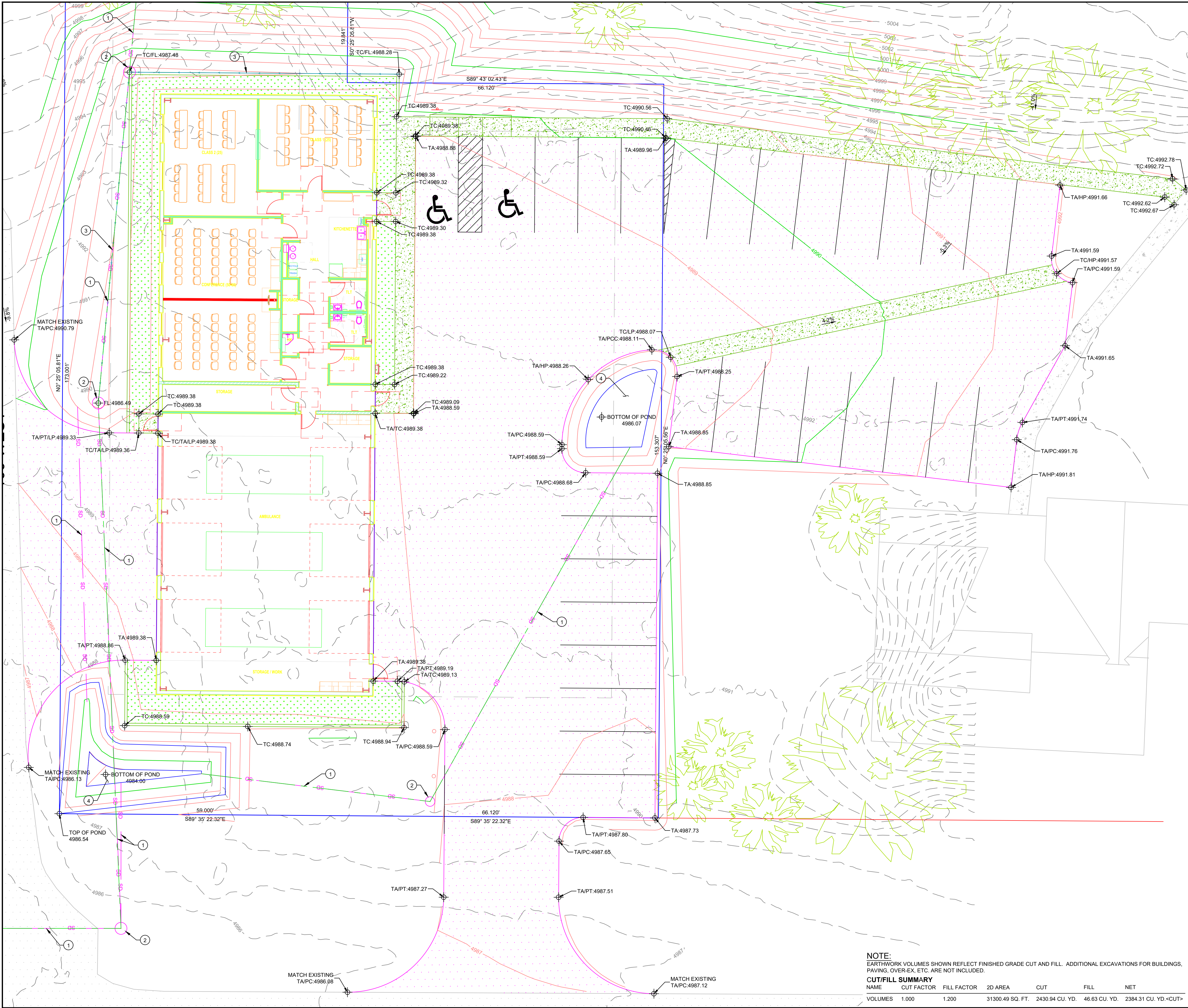
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SCALE: 1" = 10'

SHEET:

C200



- SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 HDPE PIPE. SEE SHEETS C301 AND C302 FOR INFORMATION
 - 2 INLINE STORM DRAIN. SEE DETAIL 1 SHEET C501. SEE SHEETS C301 AND C302 FOR INFORMATION
 - 3 DRAINAGE CHANNEL. SEE DETAIL 2 SHEET C500
 - 4 DRAINAGE POND. SEE DETAIL 10 SHEET C500



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KANE COUNTY AMBULANCE BUILDING
GRADING PLAN

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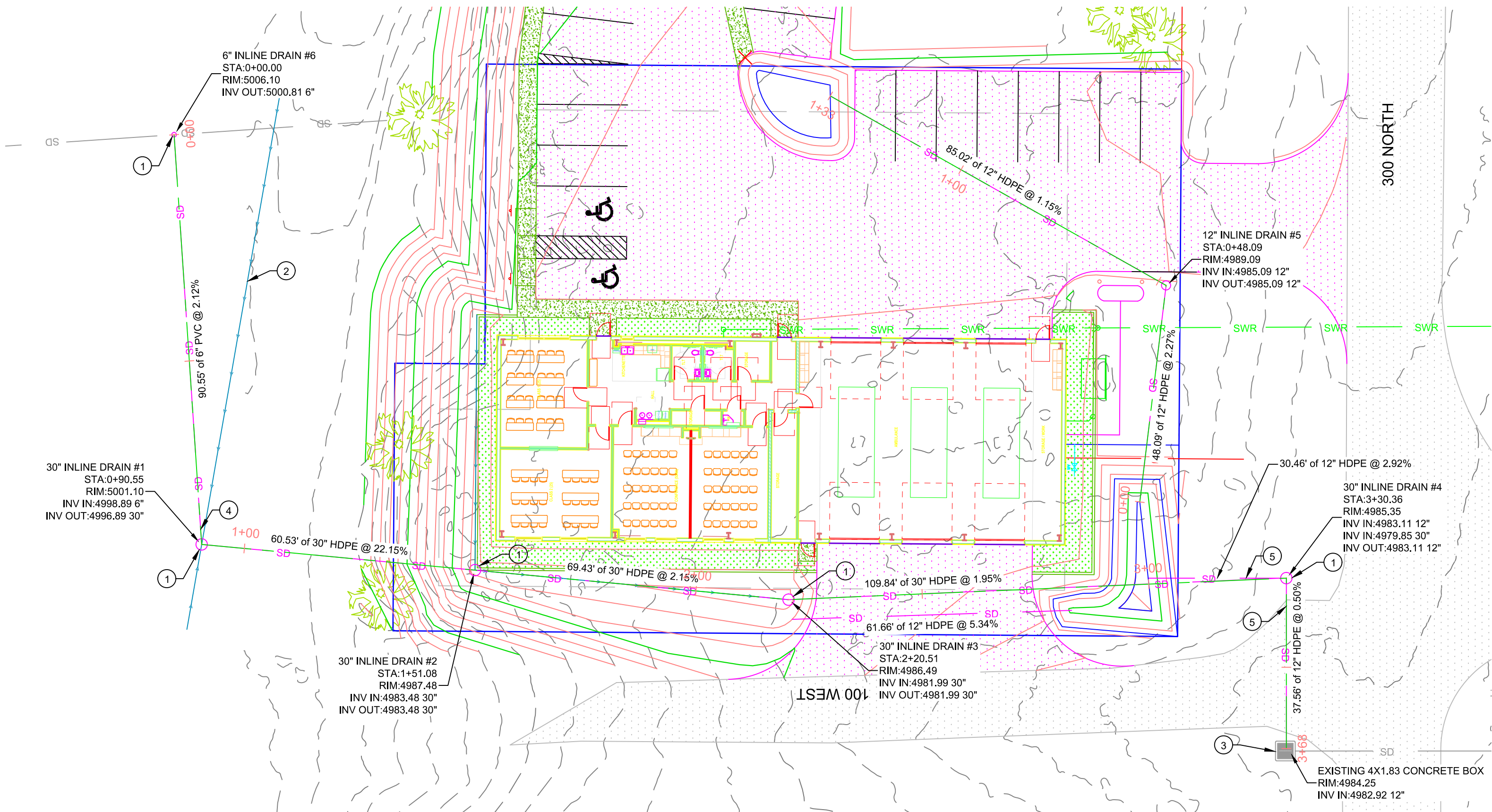
SHEET:

C300

NOTE:
EARTHWORK VOLUMES SHOWN REFLECT FINISHED GRADE CUT AND FILL. ADDITIONAL EXCAVATIONS FOR BUILDINGS, PAVING, OVER-EX, ETC. ARE NOT INCLUDED.

CUT/FILL SUMMARY						
NAME	CUT FACTOR	FILL FACTOR	2D AREA	CUT	FILL	NET
VOLUMES	1.000	1.200	31300.49 SQ. FT.	2430.94 CU. YD.	46.63 CU. YD.	2384.31 CU. YD. <CUT>

- NOTE LEGEND:
- TBC - TOP BACK OF CURB
 - TC - TOP OF CONCRETE
 - ME - MATCH EXISTING
 - TS - TOP OF STAIRS
 - BS - BOTTOM OF STAIRS
 - PC - POINT OF CURVATURE
 - PT - POINT OF TANGENCY
 - CB - GRADE BREAK
 - PRC - POINT OF REVERSE CURVE
 - LP - LOW POINT
 - HP - HIGH POINT
 - AP - ANGLE POINT
 - FFE - FINISH FLOOR ELEVATION
 - BP - BOTTOM OF POND
 - INV - INVERT
 - FG - FINISH GRADE
 - TA - TOP OF ASPHALT
 - TG - TOP OF GRAVEL
 - FL - FLOW LINE
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL



20 0 20
SCALE IN FEET
SCALE 1" = 20'



- SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1. INLINE STORM DRAIN. SEE DETAIL 1 SHEET C501
 2. TRAPEZOIDAL DRAINAGE CHANNEL. 2' DEEPx2' BOTTOMx2:1 SIDE SLOPES. MIN. SLOPE OF 2%. CREATE LOW POINT AT PROPOSED CONCRETE BOX.
 3. CONNECT TO EXISTING STORM DRAIN BOX AT INTERSECTION OF 100 W. AND 300 N.
 4. CONNECT 6" HDPE TO 30" INLINE DRAIN WITH INSERT-A-TEE
 5. CONNECT 12" HDPE TO 30" INLINE DRAIN WITH INSERT-A-TEE



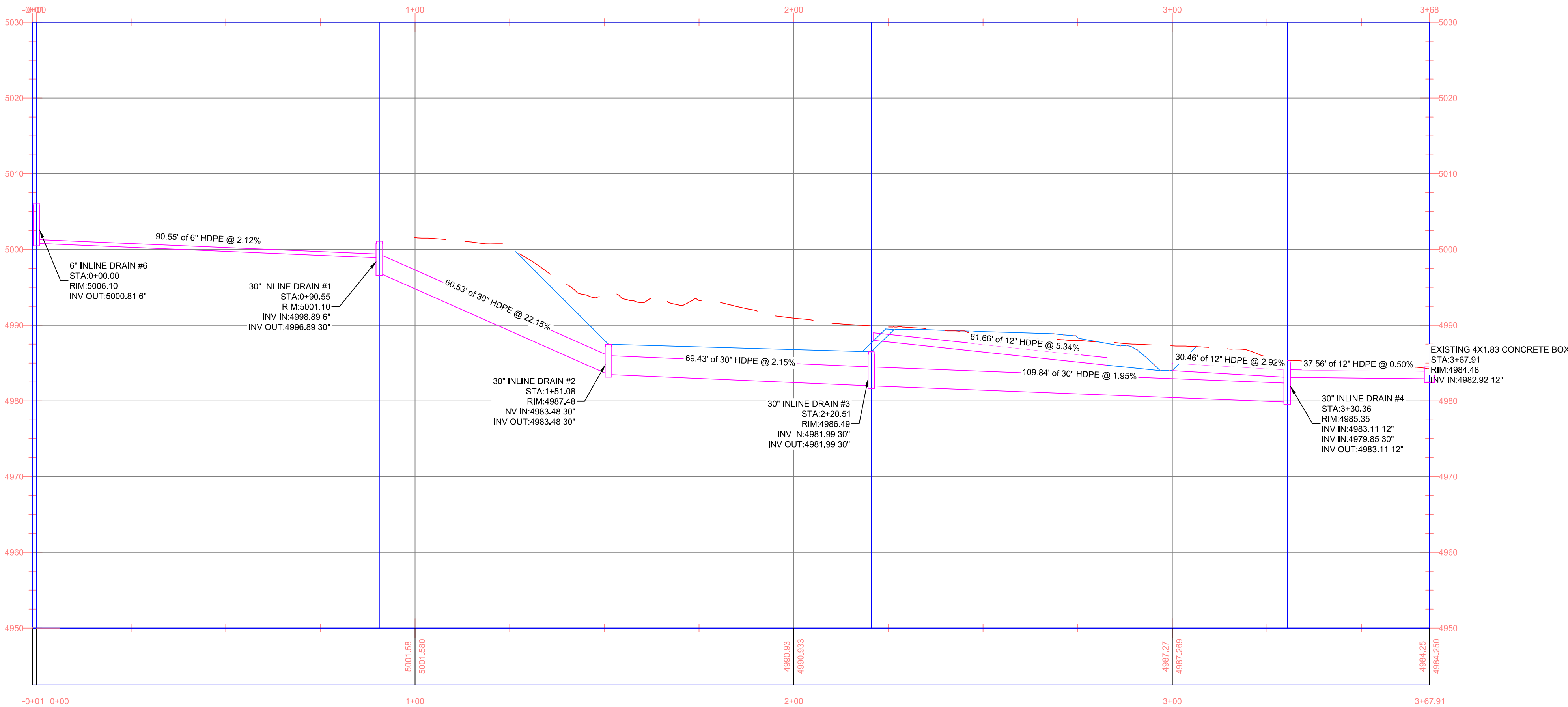
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KANE COUNTY AMBULANCE BUILDING
PLAN AND PROFILE

98 W 300 N
KANAB, UT 84741



- NOTE LEGEND:
- TBC - TOP BACK OF CURB
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 - INV - INVERT
 - FG - FINISH GRADE
 - TA - TOP OF ASPHALT
 - TG - TOP OF GRAVEL
 - FL - FLOW LINE
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL

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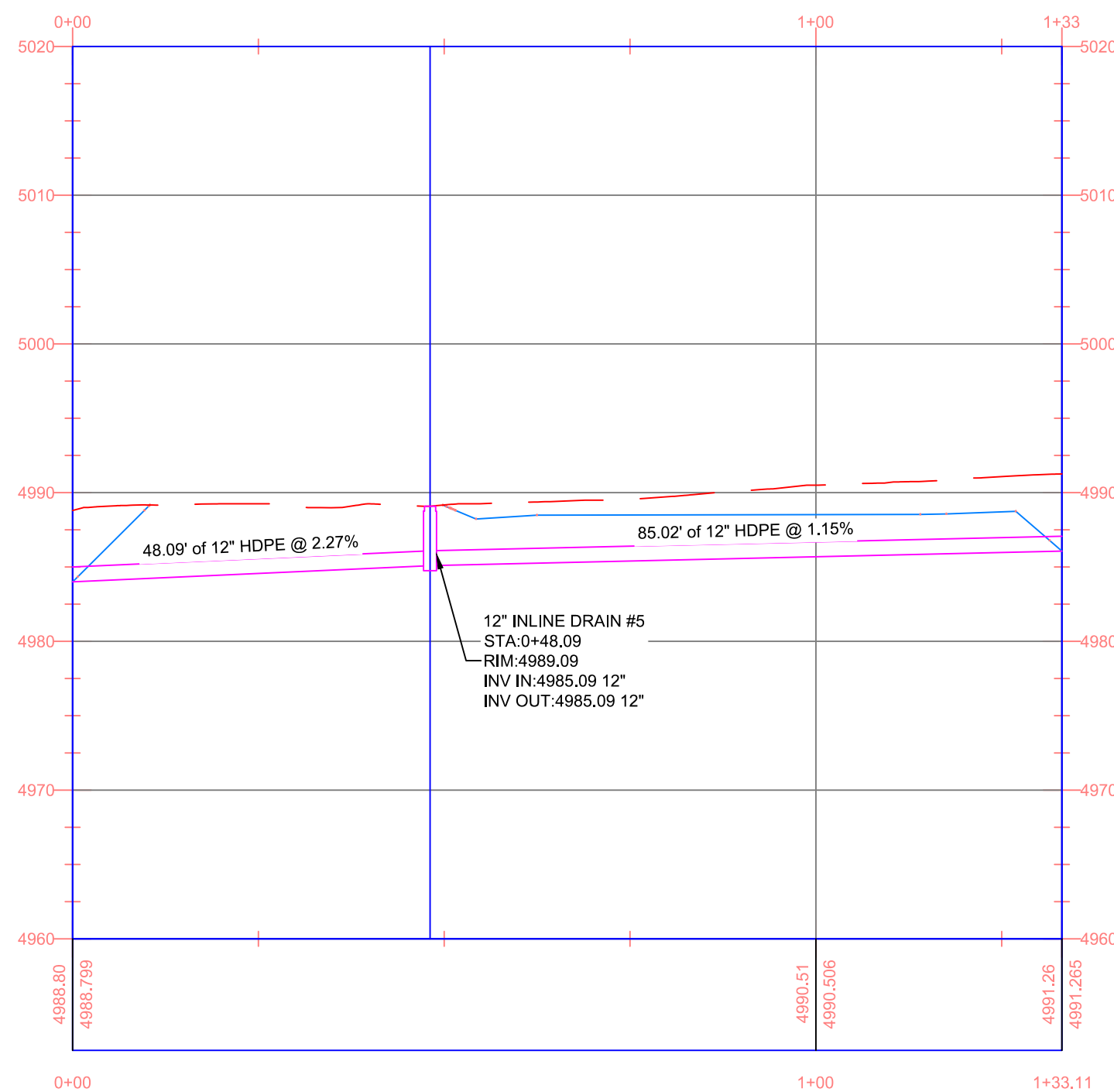
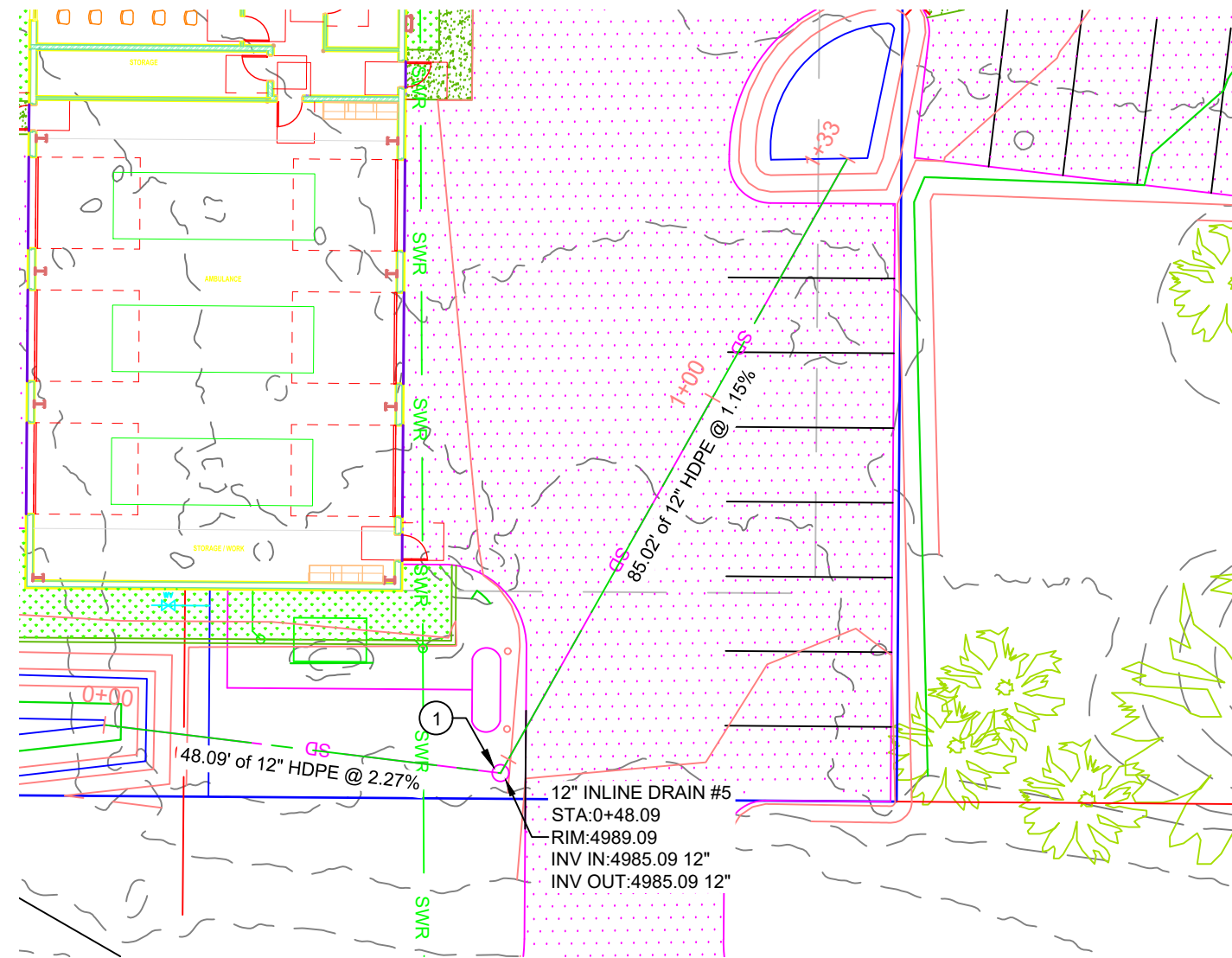
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DRAWN BY: RLB

SCALE: 1"=20'

SHEET:

C301



20 0 20
SCALE IN FEET
SCALE 1" = 20'



SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
① INLINE STORM DRAIN. SEE DETAIL 1 SHEET C501



Building on Solid Foundations

460 E. 300 SOUTH
KANAB, UTAH 84741
435-644-2031
www.ironrockeng.com

KANE COUNTY AMBULANCE BUILDING
PLAN AND PROFILE
98 W 300 N
KANAB, UT 84741

INITIAL SUBMITTAL: 11/13/2020

REV#	DATE	DESCRIPTION

NOT FOR
CONSTRUCTION

ALL PLANS, CONSTRUCTION DOCUMENTS, RENDERINGS, MODELS, DESIGN CONCEPTS, AND SO FORTH CONSTITUTE INTELLECTUAL PROPERTY OF IRON ROCK ENGINEERING AND ANY AFFILIATED PARTNERS AND IS COPYRIGHT PROTECTED UNDER SECTION 102 OF THE COPYRIGHT ACT, TITLE 17 OF THE UNITED STATES CODE, AS AMENDED OR OTHERWISE. NO REPRODUCTION, DISTRIBUTION, PUBLISHING, IMPRIMENTMENT, OR USE IN ANY WAY, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN AGREEMENT FROM IRON ROCK ENGINEERING CONSTITUTES VIOLATION OF COPYRIGHT AND IS EXPRESSLY PROHIBITED.

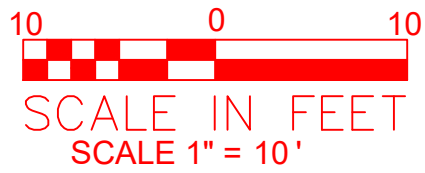
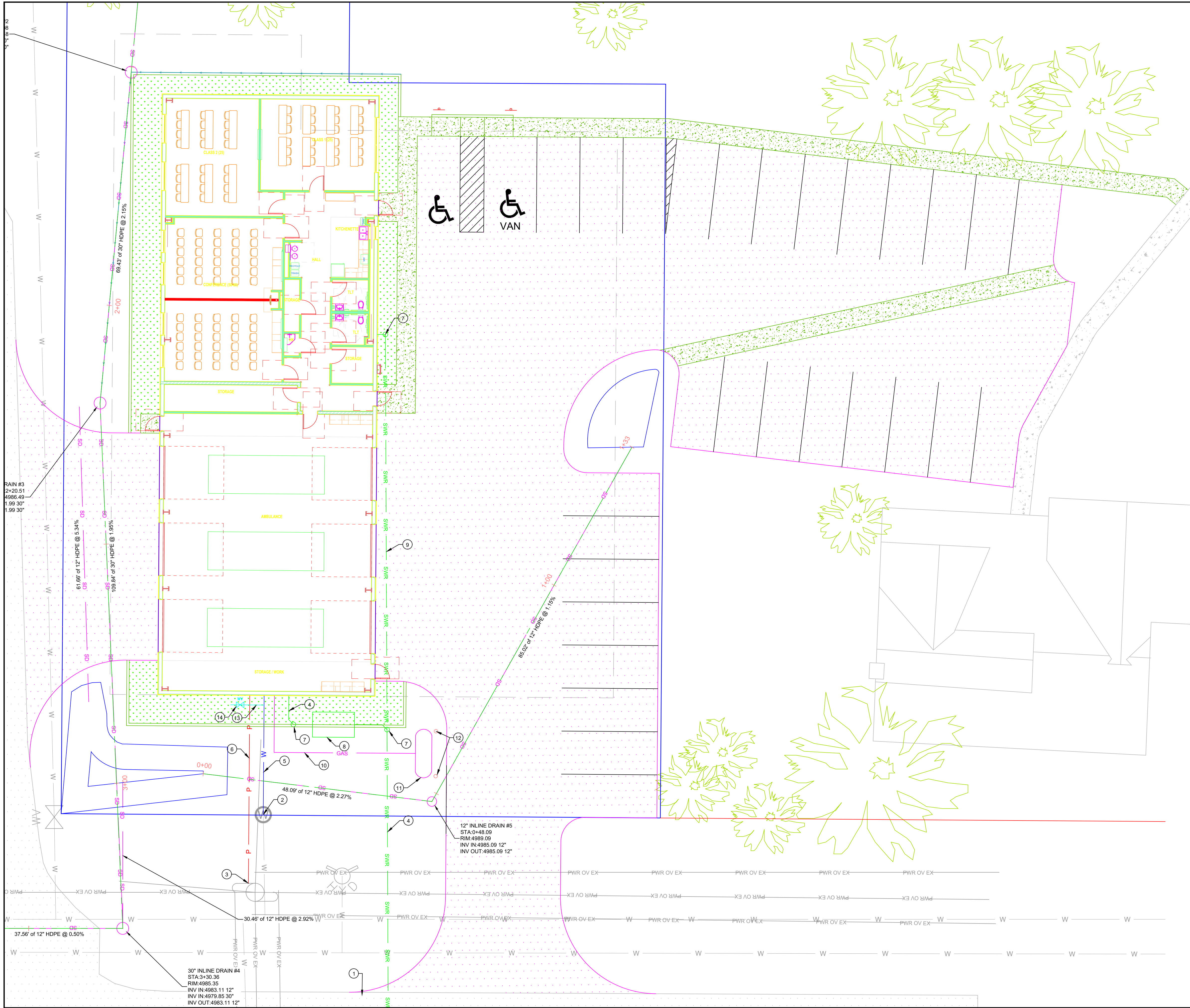
DRAWN BY: **RLB**

SCALE: **1"=20'**

SHEET:

C302

- NOTE LEGEND:
- TBC - TOP BACK OF CURB
 - TC - TOP OF CONCRETE
 - ME - MATCH EXISTING
 - TS - TOP OF STAIRS
 - BS - BOTTOM OF STAIRS
 - PC - POINT OF CURVATURE
 - PT - POINT OF TANGENCY
 - CB - GRADE BREAK
 - PRC - POINT OF REVERSE CURVE
 - LP - LOW POINT
 - HP - HIGH POINT
 - AP - ANGLE POINT
 - FFE - FINISH FLOOR ELEVATION
 - BP - BOTTOM OF POND
 - INV - INVERT
 - FG - FINISH GRADE
 - TA - TOP OF ASPHALT
 - TG - TOP OF GRAVEL
 - FL - FLOW LINE
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL



SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 CONNECT TO EXISTING SEWER LINE
- 2 CONNECT TO EXISTING 1" WATER METER
- 3 CONNECT TO EXISTING POWER LINE
- 4 PROPOSED 6" SEWER SERVICE LINE. SEE DETAIL 5 SHEET C500
- 5 PROPOSED 1" WATER SERVICE LINE. SEE DETAIL 5 SHEET C500
- 6 PROPOSED POWER LINE
- 7 PROPOSED SEWER CLEANOUT. SEE DETAIL 2 SHEET C501
- 8 PROPOSED 100 GAL. GREASE/SAND INTERCEPTOR
- 9 PROPOSED 4" SEWER SERVICE LINE. SEE DETAIL 5 SHEET C500
- 10 PROPOSED 1/2" PROPANE GAS LINE. SEE DETAIL 5 SHEET C500
- 11 PROPOSED X GALLON PROPANE GAS TANK
- 12 PROPOSED BOLLARD. SEE DETAIL 7 SHEET C500
- 13 PROPOSED 1" IRRIGATION LINE
- 14 PROPOSED BACK FLOW PREVENTER/CHECK VALVE



IRON ROCK
ENGINEERING
SURVEYING & DESIGN

Building on Solid Foundations

460 E. 300 SOUTH
KANAB, UTAH 84741
435-644-2031
www.ironrockeng.com

KANE COUNTY AMBULANCE BUILDING

UTILITY PLAN

98 W 300 N
KANAB, UT 84741

INITIAL SUBMITTAL: 11/13/2020

DESCRIPTION:

DATE:

REV#:

NOT FOR
CONSTRUCTION

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DRAWN BY: **RLB**

SCALE: **1"=10'**

SHEET:

C400



5 UTILITY TRENCH DETAIL





355

Kane County
Hospital

H

359

98

82

46

42

300 N

294

119

296

From: noreply@civicplus.com
To: mreynolds@kanab.utah.gov; kohlwiler@kanab.utah.gov; jchatterley@kanab.utah.gov
Subject: Online Form Submittal: Zone Change Application
Date: Friday, November 13, 2020 12:52:18 PM

Zone Change Application

Fees

The calculated fees for a Zone Change of \$250 + \$10/mailer are required before processing of this application can begin. After submitting this application, the applicant will have the opportunity to pay by mail or hand deliver to the Kanab City Office.

Applicant Information

First Name	Tom
Last Name	Avant
Address1	460 East 300 South
Phone	435-644-2031
City	Kanab
State	UT
Zip	84741
Property Location	2221 S Powell Dr, Kanab, UT. Lot 719 Kanab Creek Ranchos Unit 7
Existing Use of Property	Vacant
Use of Adjacent Property	Vacant/Residential

(Section Break)

Select the current Zone District that you are requesting to change FROM.	M-1 (Manufacturing Zones)
--	---------------------------

Select the current Zone District that you are requesting to change TO.	RR1 - (Rual Residential 1 acre)
--	---------------------------------

Acres

Parcel ID	K-134-719
-----------	-----------

Development Time Table	Earliest possible
------------------------	-------------------

Intended Use of Property	Residential
--------------------------	-------------

Describe All Sensitive Lands Imacts	N/A
-------------------------------------	-----

Developer Address (if different than applicant)

First Name	Josh
------------	------

Last Name	Johnson
-----------	---------

Address1	1343 S Powell Dr
----------	------------------

Phone	435-840-2548
-------	--------------

City	Kanab
------	-------

State	UT
-------	----

Zip	84741
-----	-------

A list of names, street addresses and mailing addresses for owners of property within 140 feet from the outer boundary of the subject property. This includes the property owners across the street and in the rear of the subject property. In determining the 140 feet, the width of any intervening street or alley shall not be included.	Will bring in an address label sheet.
---	---------------------------------------

Provide information for Owner(s)/Manager(s) if different than applicant.	Josh and Shayla Johnson AND Douglas and Jennifer Ann Sibanda
--	--

The following items may be required before processing of Application can begin:

A. Development Plan

Two (2) copies of a development plan with necessary sketches drawn to scale showing the subject property and the surrounding properties within 140 feet of subject property and where pertinent, the use or uses, dimensions and locations of proposed and existing structures (including signs), area to be reserved for vehicular and pedestrian circulation, parking, public uses, landscaping and other open spaces.

B. Covenants and Deed Restrictions

If there are any covenants or deed restrictions in effect relative to any of the subject property.

C. Legal Description of Subject Property, certified by a licensed land surveyor in the State of Utah.

What is the present General Plan designation for the property?	Very Low Density Residential
--	------------------------------

Is the requested zone consistant with the General Plan designation?	No
---	----

Attach a property plat showing the proposed rezone parcel highlighted.	20-1113 JOHNSON ZONE CHANGE MAP.pdf
--	---

(Section Break)

Email	TOM@IRENG.NET
-------	---------------

Date	11/13/2020
------	------------

Signature of All Property Owner's (if more than one)	TOM AVANT
--	-----------

Email not displaying correctly? [View it in your browser.](#)

County Rd 1090

Hwy 10



PLAT AMENDMENT

From: noreply@civicplus.com
To: mreynolds@kanab.utah.gov; kohlwiler@kanab.utah.gov; jchatterley@kanab.utah.gov
Subject: Online Form Submittal: Minor Subdivision Application (also commonly referenced as a Lot Split)
Date: Tuesday, November 17, 2020 5:28:29 PM

Minor Subdivision Application (also commonly referenced as a Lot Split)

Property Location	Lot 719 Kanab Creek Ranchos Unit 7
-------------------	------------------------------------

Parcel Number:	K-134-719
----------------	-----------

An applicant may subdivide property into less than 10 lots as a minor subdivision, provided that all proposed lots or parcels front a dedicated public street, comply with the applicable zone standards, and are approved through the process as outlined in the Subdivision Ordinance.

Existing Subdivision Name (Plat Amendment)	Kanab Creek Ranchos Unit 7
--	----------------------------

Requested Subdivision Name (not within existing Subdivision)	Cliff View Acres Typically Not Allowed in existing Subdivision
--	--

Property Owner	Josh & Shayla Johnson and Douglas & Jennifer Sibanda
----------------	--

Address	1343 S Powell, Kanab
---------	----------------------

Property Owner Phone Number	435-840-2548
-----------------------------	--------------

Property Owner E-mail Address	hrnhntn.jj@gmail.com
-------------------------------	----------------------

Applicant Name	Thomas Avant
----------------	--------------

Applicant Address	460 E 300 S, Kanab
-------------------	--------------------

Applicant Phone Number	435-644-2031
------------------------	--------------

Applicant E-mail Address	tom@ireng.net
--------------------------	---------------

Engineer	Thomas Avant
----------	--------------

Engineer Address	460 E 300 S, Kanab
------------------	--------------------

	435-644-2031
--	--------------

Contact Phone Number

Contact Phone Number 435-644-2031

Description or Summary of What the Applicant is Requesting Looking to split 5.24 acres into 4 even lots of approximately 1.31 acres each. All 4 lots front a city street.

Fees/Deposit

The calculated fee/deposit for this application is \$600 + \$10 per mailer notification is required before processing of this application can begin. After submitting this form the applicant will have an opportunity to pay the required fees/deposits by mail, or hand deliver to the Kanab City Office.

Provide Two (2) 24" x 36" size copy and Six (6) 11" x 17" size copies of a Minor Subdivision Plat drawing. The plat shall also include:
Parcel splits within an existing Subdivision; a plat map is an Amended Plat and shall include narrative stating Amended Subdivision Plat. Parcel splits not within an existing Subdivision; a Record Survey may be acceptable and it is not an Amended Plat. -The proposed subdivision name. -The name and address of the applicant, engineer, or surveyor for the subdivision and owners of the land to be subdivided. -The boundary dimensions and legal description of the subdivision and each lot within 0.010' with the point of beginning clearly labeled. -A minimum scale of 1"=50'. -Existing rights-of-way and easement grants of record for streets, underground utilities and other public purposes. -A north arrow facing the top of right margin. -The latest date on each sheet. -The acreage or square footage for all parcels or lots and the length and width of the blocks and lots intended for sale. -A legend of symbols. -All survey monuments. -The streets indicating numbers and/or names and lots numbered consecutively. -The location, width, center-line bearings and curve data (including delta angle, radius, length, tangent and the long cord on curves) and other dimensions of all existing proposed or platted streets and easements. -The streets, lots, and properties within two hundred feet (200') surrounding the subdivision shown in ghost lines.

Also including the approval signature blocks for:

-Owner's dedication and acknowledgement. -Surveyor's stamped certificate with subdivision boundary legal description. -City Surveyor's approval. -City Engineer's approval. -City Attorney's approval. -Director of Public Works approval. -Planning Commission acceptance. -City Council approval. -City Recorder's certificate.

Utility Service Commitment Letters

A letter from the power, water, and sewer utility provider stating its commitment to provide service to the proposed project and to be operational prior to the issuance of any building permit. Include written approval from the Public Health Department if it is determined that the property is not serviced by the public sewer system.

Mailing Labels

For a public hearing notice not in an existing Subdivision, furnish two (2) sets of type written address labels to all property owners within one hundred and forty (140) feet of the property that is the subject of the proposed parcel change, addressed to the owner's mailing address appearing on the rolls of the Kane

County Assessor.

Title Report

Title Report prepared within the previous 30 days.

Kanab City Engineer Review and Approval

This application is not considered complete until all required documents are submitted to the Kanab City Manager for review and approval by the Kanab City Engineer. Typically two weeks is required for this process. The Kanab City Engineer will provide a letter stating that either the application is complete and approves the application or the Kanab City Engineer will indicate in a letter format any missing or incomplete information which is required before approval will be granted. Refer to the Kanab City Subdivision Ordinance and the Kanab General Plan for additional information.

Applicant Signature	Thomas Avant
---------------------	--------------

Date	11/17/2020
------	------------

Owner Signature	Thomas Avant
-----------------	--------------

Date	11/17/2020
------	------------

(Section Break)

Kanab City Use Only

City Received Date	<i>Field not completed.</i>
--------------------	-----------------------------

Received By	<i>Field not completed.</i>
-------------	-----------------------------

Planning Commission Review Date	<i>Field not completed.</i>
---------------------------------	-----------------------------

Decision	<i>Field not completed.</i>
----------	-----------------------------

Kanab City Council Meeting Date	<i>Field not completed.</i>
---------------------------------	-----------------------------

Decision	<i>Field not completed.</i>
----------	-----------------------------

Kanab City Official Signature	<i>Field not completed.</i>
-------------------------------	-----------------------------

Date	<i>Field not completed.</i>
------	-----------------------------

Print	<i>Field not completed.</i>
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Email not displaying correctly? [View it in your browser.](#)

AMENDED LOT 719 KANAB CREEK RANCHOS NO 7

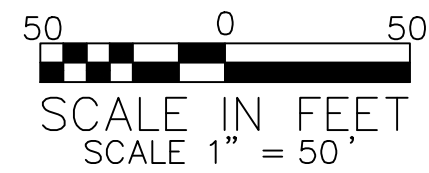
CITY OF KANAB, UTAH
LOCATED IN S½ SE¼ OF SECTION 5,
TOWNSHIP 44 SOUTH, RANGE 6 WEST,
SALT LAKE BASE AND MERIDIAN



Building on Solid Foundations

460 E. 300 SOUTH
KANAB, UTAH 84741
435-644-2031
www.ironrockeng.com

AMENDED LOT 719
KANAB CREEK RANCHOS NO 7
KANAB, UTAH



LOT 703

SURVEYOR'S CERTIFICATE

I, Thomas W. Avant, a Professional Land Surveyor, License No. 5561917, hold this license in accordance with Title 58, Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act and have completed this survey of the Property described hereon in accordance with Section 17-23-17 and have verified all measurements and have placed monuments as represented on this plat. I certify that by authority of the hereon owners, I have made a survey of the tract of land as shown on this Plat and have subdivided the same tract into 2 lots as well as Public Utility and Ingress & Egress Easements, as shown, which are herein after known as

"AMENDED LOT 719 KANAB CREEK RANCHOS NO 7"

and that the same has been correctly surveyed and staked on the ground as sown on this plat.

Thomas W. Avant, PLS # 5561917

Date:

NARRATIVE

The purpose of this survey was to retrace and subdivide on the ground the lines as shown on this Minor Subdivision at the request of the client. The purpose of the survey is to delineate the boundaries. All corners are set and found as shown. The basis of bearing for this survey is the Utah State Plane coordinate system South Zone, as measured between the Southwest and Northwest corners of Lot 719 with a basis of S 4° 11' 54" W and a distance of 319.42', as shown on this Plat.

Legal Description:

ALL OF LOT 719 KANAB CREEK RANCHOS NO 7, AS RECORDED IN THE OFFICE OF THE KANE COUNTY RECORDER, UTAH. (K-134)

As-Surveyed Description:

A portion of the S½ SE¼ of Section 5, Township 44 South, Range 6 West, Salt Lake Base and Meridian, more particularly described as follows:

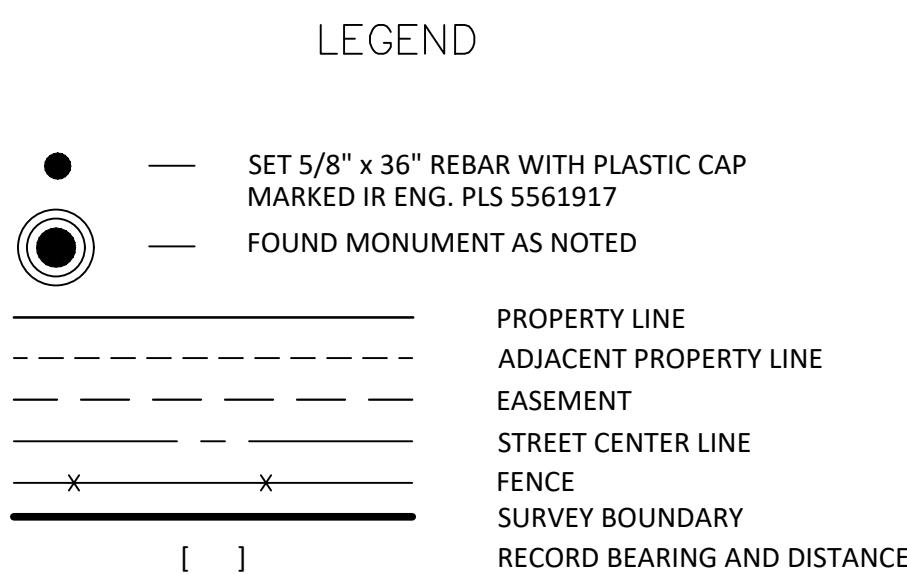
BEGINNING at the northwest corner of Lot 719 of the Kanab Creek Ranchos NO 7, as recorded in the Office of the Kane County Recorder, Utah; thence, along the north line of said lot, South 88° 52' 18" East 708.58 feet, to the northeast corner of said lot and the westerly right-of-way of Hopi Drive; thence, along said right-of-way, South 02° 30' 26" West 319.97 feet, to the southeast corner of said lot; thence, along the south line of said lot, North 88° 48' 14" West 717.99 feet, to the southwest corner of said lot and the easterly right-of-way of Powell Drive; thence, along said right-of-way, North 04° 11' 54" East 319.49 feet, to the POINT OF BEGINNING, containing 5.24 acres more or less.

SURVEYED AT THE REQUEST OF :

Josh and Shayla Johnson
1343 S Powell Dr
Kanab, UT 84741

REFERENCED DOCUMENTS

- FINAL PLAT OF KANAB CREEK RANCHOS NO 7 (K-134)
- AMENDED LOT 718 OF KANAB CREEK RANCHOS UNIT # 7 (K-134-718-AMENDED)



ACKNOWLEDGMENT

STATE OF UTAH,) s.s.
COUNTY OF)
On this _____ day of _____, 20____,
personally appeared before me Joshua Johnson, who is
personally know to me (or satisfactorily proved to me), and
who being by me duly sworn did say that they executed this
Plat.

NOTARY PUBLIC

ACKNOWLEDGMENT

STATE OF UTAH,) s.s.
COUNTY OF)
On this _____ day of _____, 20____,
personally appeared before me Shayla Johnson, who is
personally know to me (or satisfactorily proved to me), and
who being by me duly sworn did say that they executed this
Plat.

NOTARY PUBLIC

ACKNOWLEDGMENT

STATE OF UTAH,) s.s.
COUNTY OF)
On this _____ day of _____, 20____,
personally appeared before me Douglas Sibanda, who is
personally know to me (or satisfactorily proved to me), and
who being by me duly sworn did say that they executed this
Plat.

NOTARY PUBLIC

ACKNOWLEDGMENT

STATE OF UTAH,) s.s.
COUNTY OF)
On this _____ day of _____, 20____,
personally appeared before me Jennifer Ann Sibanda, who is
personally know to me (or satisfactorily proved to me), and
who being by me duly sworn did say that they executed this
Plat.

NOTARY PUBLIC

OWNER'S DEDICATION

Know all men by these presents that the undersigned Joshua Johnson and Shayla Johnson, Husband and Wife, as joint tenants, as to an undivided 50% interest, Douglas Sibanda, and Jennifer Ann Sibanda, Husband and Wife, as joint tenants, as to an undivided 50% interest, all as tenants in common, are the owners of the above described tract of land, and hereby cause the same to be subdivided into two lots to be hereafter known as Amended Lot 719 Kanab Creek Ranchos NO 7, the undersigned owners also hereby re-convey to any and all public utility companies a perpetual, non-exclusive easement over the public utility easements shown on this plat. The same to be used for the installation maintenance and operation of utility lines and facilities.

IN WITNESS WHEREOF, I have set my hand this the _____ day of _____, 20____.

Joshua Johnson Shayla Johnson Douglas Sibanda Jennifer Ann Sibanda
1343 S Powell Dr 1343 S Powell Dr 2253 S Powell Dr 2253 S Powell Dr
Kanab, UT 84741 Kanab, UT 84741 Kanab, UT 84741 Kanab, UT 84741

CITY PUBLIC WORKS DIRECTOR CERTIFICATE

I, _____, Kanab City
Public Works Director, do hereby certify that this office has examined the above Plat and have determined that it is correct and in accordance with information on file in this office and recommend it for approval this
_____ day of _____, 20____.

KANAB CITY PUBLIC WORKS DIRECTOR

CITY SURVEYOR CERTIFICATE

I, _____, Kanab City
Engineer, do hereby certify that this office has examined the above Plat and have determined that it is correct and in accordance with information on file in this office and recommend it for approval this
_____ day of _____, 20____.

KANAB CITY SURVEYOR

APPROVAL of the PLANNING COMMISSION

On this the _____ day of _____, 20____, the Planning
Commission of Kanab City, Utah, having reviewed the above Plat and having found that it complies with the requirements of the Kanab City's planning and zoning ordinances, and by authorization of said commission hereby recommend approval of said plat for acceptance by Kanab City, Utah.

CHAIRMAN Planning Commission

APPROVAL AND ACCEPTANCE
by the Kanab City Council

We the Kanab City Council have reviewed the hereon Plat and by authorization of said Kanab City Council recorded in the minutes of it's meeting of the _____ day of _____, 20____, hereby accept the said plat with all commitments and all obligations pertaining thereto and is hereby ordered filed for record in the Office of the Kane County Recorder.

Attest: _____ Mayor _____
Kanab City Recorder Kanab City Council

CITY ATTORNEY CERTIFICATE

I, _____, Attorney for
Kanab City, do hereby certify that I have examined the above Plat and said plat meets the requirements of Kanab City and is hereby recommended for approval this
_____ day of _____, 20____.

KANAB CITY ATTORNEY

CERTIFICATE OF RECORDING

I, _____, Recorder of Kane County, do hereby certify that above
Plat was filed for recording in my office this _____ day of _____, 20____.

KANE COUNTY RECORDER ENTRY NO. RECORDED AND FILED AT THE REQUEST OF:
DATE TIME BOOK PAGE FEE

INITIAL SUBMITAL DATE: 11/13/20

DESCRIPTION: NAME AND EASEMENT REVISION

DATE: 12/31/2020

REV# 1



DRAWN BY: MJS

SCALE: 1" = 50'

SHEET:

1 OF 1

County Rd 1090

Hwy 66

