

**Mayor**  
Robert D. Houston  
**City Manager**  
Joseph M. Decker  
**Treasurer**  
Katherine Ohlwiler



**City Council**  
Arlon Chamberlain  
Celeste Meyeres  
Jeff Yates  
Michael East  
Byard Kershaw

## Kanab City Planning Commission January 5, 2021 Meeting Agenda

**Facilitator:** Chairperson; Chris Heaton

6:30 PM Call to Order  
• Approval of minutes of previous meeting  
Motion; Second; Vote on Minutes

6:35 PM **Public Comment Period**, Call to the Public

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**1. Action Item:** Administrative Review and Vote to approve or deny a revised final site plan for the expansion on the Kanab Laundromat and Car Wash in two [2] phases [originally approved as a single phase on May 5, 2020]; located at 206 E 300 S on parcel K-B-12-1&2 zoned C-2. [Applicant; Jeff Lewis]

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**2. Action Item:** Administrative Review and Vote to approve or deny a final site plan for the Kanab County Hospital Ambulance Shed / Garage located in the area of 98 W 300 N on parcel K-C-4-6 and K-C-4-7 zoned RM. [Applicant; Kane County Hospital]

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**4. Public Hearing:** A Public Hearing to Discuss a zone change to Parcel K-134-719 in the Kanab Creek Rancho subdivision from M1 (manufacturing) to RR-1 (rural residential 1 acre min lot size) on 5.24 acres; located in the approximate area of 2253 S Powell Dr in Kanab, Utah. [Applicant; Josh Johnson]

**Recommendation:** Motion; Second; Discussion; Vote to Recommend or Deny a recommendation to the Kanab City Council a zone change to Parcel K-134-719 in the Kanab Creek Rancho subdivision from M1 (manufacturing) to RR-1 (rural residential 1 acre min lot size) on 5.24 acres; located in the approximate area of 2253 S Powell Dr in Kanab, Utah.

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**5. Action Item:** **Contingent upon approval of a zone change;** A public meeting to Discuss a Plat Amendment to the Kanab Creek Ranchos Subdivision – Unit 7 allowing a lot split creating four [4] individual lots on Parcel

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K-134-719 located in the approximate area of 2253 S Powell Dr in Kanab, Utah. [Applicant; Josh Johnson]

**Recommendation:** Motion; Second; Discussion; Vote to Recommend or Deny a recommendation to the Kanab City Council for the approval of a Plat Amendment to the Kanab Creek Ranchos Subdivision – Unit 7 allowing a lot split creating four [4] individual lots on Parcel K-134-719 located in the approximate area of 2253 S Powell Dr in Kanab, Utah.

**Findings:**

- 2-4.9.1. Neither the public nor any person will be materially injured by the proposed vacation, alteration or amendment.
- 2-4.9.2. There is good cause for the vacation, alteration or amendment.

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**Work Meeting.**

- Staff Report
- Commission Member Reports
- Council Member Liaison Report

\*Times listed for each item on the agenda may be accelerated as time permits, or may be taken out of order as moved upon by the commission. If you are planning to attend this public meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City eight or more hours in advance of the meeting, and we will try to provide whatever assistance may be required. Please contact the Kanab City Offices.

See entire packet online a minimum of 24 hours before the meeting at:  
<http://www.utah.gov/pmn/index.htm>

Mike Reynolds [Kanab Land Use Coordinator]  
Janae Chatterley [Assistant]  
435-644-2534

– A Western Classic –

**Kanab City Planning and Zoning Commission Meeting**  
**December 15, 2020**  
**Kanab City Council Chambers**  
**26 North 100 East**  
**6:30 PM**

**Present:** Chair Chris Heaton; Chair Pro Tem Scott Colson; Commission Members Ben Aiken, Donna Huntsman, Kerry Glover, Ben Clarkson and Boyd Corry, City Attorney Jeff Stott; Administrative Assistant Janae Chatterley; City Council Liaison Arlon Chamberlain.

**Not in Attendance:** Land Use Coordinator Mike Reynolds; City Planner Bob Nicholson

**Approval of Minutes:** A motion was made by Donna Huntsman to approve the minutes from 12/1/2020 with the suggestion to add a note that meeting was virtual, second by Kerry Glover. Unanimous vote, motion passed.

### **Public Comment: None**

A public hearing to discuss a zone change to Parcel K-229-2 in the Chamberlain Minor Subdivision from RA (residential agriculture) to RR-1 (rural residential) on 8.00 acres; located in the approximate area of 1240 E Chinle Dr. in Kanab, UT [Applicant Trevor and Jennifer Stewart].

Janae Chatterley reported that the applicant is requesting a zone change from a RA to RR-1. The lot is currently part of a subdivision, the applicant plans on requesting a plat amendment to split the lot and the zone change is necessary to move forward with their plans. Surrounding lots are RA and M1.

Commission and staff discussed what surrounds this property and the utilities that are currently in the area.

Scott Colson made a motion to go in and out of public hearing at the Chair's discretion, Boyd Corry seconds  
No public comments

Scott Colson made a motion to recommend to City Council to approve zone change for parcel K-229-2 in the Chamberlain Minor Subdivision from RA to RR-1 located in the approximate area of 1240 E Chinle Dr., Ben Clarkson seconds, unanimous vote; motion passes.

A public meeting to discuss a minor subdivision [Sand Holler Ridge] on parcel K-13-4-Annex creating eight [8] individual lots; located in the area of 1100 S Terrel Lane [Applicant; Juanita Terrel]

Janae Chatterley reported that the applicant is requesting a minor subdivision to split into 8 lots, parcel is located by Country Estates and off of Terrel Dr. Originally the application was for a subdivision of 9 lots, the Development Committee identified an issue with two of the lots not fronting a dedicated public street per the Subdivision Ordinance. The applicant changed the plans to 8 lots and all lots front a dedicated city street.

Chris Heaton commented that the Owner's dedication that was approved by the engineers needed to be updated, Chris spoke with Mike at Iron Rock Engineering to have that updated. Discussion regarding the dedicated street and the agreement that was done in 1998 between the Terrels and Kane County. Chris Heaton would like to see another page added to the map with a road dedication. Commission discussed the road and when it will be an improved road or becomes a thru street. Until this road becomes a through street the Commission recommends that there is a hammer head or cul-de-sac for emergency vehicles to turn around. Ben Clarkson expressed concerns on water drainage coming from Country Estates and on to Terrel property. Mr. Clarkson would like to see an access easement provided to the city to maintain the water drainage ditch. Discussion regarding access to the southern portion of Lot 5, Mr Clarkson requested that the applicant move the easement above lot six to between lot six and eight.

Ben Clarkson made a motion to recommend to City Council an approval of a minor subdivision of Sand Holler Ridge parcel K-13-4-Annex creating eight [8] individual lots, located in the area of 1100 S and Terrel Lane with the condition that a cul-de-sac be accounted for at the end of Terrel drive to facilitate turn around until it is extended as a through street, move the 60-foot easement on the south fence line of Country Estates down between lot 6 and 8, and that an easement is created (or if one is existing that it is marked on the map) to allow the natural flow of Pugh Canyon drainage to continue from the end of the concrete ditch to off of the property, this easement would be dedicated for

52 public maintenance. Ben Aiken seconds. Commission discussed amendment to motion to include "temporary" turn  
53 around, the dedication of the road should be in accordance with engineering standards and to resolve any legal  
54 obligations on the responsibility for road improvements and maintenance. Unanimous decision, motion passes.  
55

56 **Staff Report:** None

57  
58 **Commission Member Report:** Ben Clarkson announced that there will be a presentation for the proposed Golf Course  
59 on 12/16/2020 @ 3:00 PM in the Kane County Water Conservancy building.  
60

61 **Council Member Liaison Report:** Arlon Chamberlain suggested to the Commission to have all the conditions and  
62 recommendations as complete as possible before sending to City Council.  
63

64 Kerry Glover motions to adjourn the meeting second by Ben Aiken, unanimous vote.  
65  
66  
67  
68

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69 Chairperson

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Date

DRAFT

**From:** [noreply@civicplus.com](mailto:noreply@civicplus.com)  
**To:** [mreynolds@kanab.utah.gov](mailto:mreynolds@kanab.utah.gov); [kohlwiler@kanab.utah.gov](mailto:kohlwiler@kanab.utah.gov); [jchatterley@kanab.utah.gov](mailto:jchatterley@kanab.utah.gov)  
**Subject:** Online Form Submittal: Site Plan Review Application  
**Date:** Friday, December 4, 2020 11:51:22 AM

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## Site Plan Review Application

### Fees

*The calculated fees are required before processing of this application can begin. After submitting this form the applicant will have an opportunity to pay the required fees/deposits of \$600 deposit + \$50 / Acre, over 1 Acre by mail or by hand delivery to the Kanab City Office. Additional deposits will be required when initial deposits are fully expended. Any unused portion of deposits will be refunded to applicant upon completion of the project.*

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Property Location	206 E 300 S
First Name	jeff
Last Name	lewis
Address1	153 W 100 N
Phone	4356327103
City	Kanab
State	Utah
Zip	84741
Project Name and Description	CarWash Remodel
Desired Development Committee Meeting Date	asap
Acres	0.41
Existing Zone & Parcel ID	K-B-12-1&3
Existing Use of Property	Carwash and Laundry mat
Use of Adjacent Property	vacant residence, residence, Church and RV Park
Development Time	6 month

Table

Intended Use of Property	Carwash
Describe all Sensitive Lands Impacts	<i>Field not completed.</i>
Developer Address <i>If different than Applicant.</i>	
First Name	<i>Field not completed.</i>
Last Name	<i>Field not completed.</i>
Address1	<i>Field not completed.</i>
City	<i>Field not completed.</i>
State	<i>Field not completed.</i>
Zip	<i>Field not completed.</i>
Adjacent Property Owner(s) Notification <i>A list of names, phone numbers, street addresses and mailing addresses for owners of property within 140 feet from the outer boundary of the subject property. (Note: This includes property owners across the street and in the rear of the subject property. In determining the 140 feet, the width of any intervening street or alley shall not be included.)</i>	
Adjacent Property Owner(s)	Brenda L Strey, 9811 W Charleston BLVD STE 2-424 Las Vegas, Nevada 89117 Clifford B Heaton and Ashly Trust, 360 S 250 E Kanab Utah 84741 Calvary Chapel Kanab Inc/ Leonard William, 395 S 200 E Kanab Utah 84741 Jack And Carolyn Chynoweth, 959 Lizzie LN Saint George Utah 84790 A & R Fast Foods Inc, 161 W 300 S Kanab Utah 84741 Frameworx LLC, 381 N Gunsmoke Pass, Kanab Utah 84741 S L Legacy LC, 363 S 100 S, Kanab Utah 84741 Cole Robert, 372 S 250 E, Kanab Utah 84741 Jeff Medlin, PO Box 35, Kanab Utah 84741 Tamra Bauer, PO Box 65 Glendale Utah 84729-0065
These items are required before meeting with Planning Commission 1. <i>Site Plan Construction Drawing(s)</i> 2. <i>Signed letter from the Kanab City Engineer - indicating approval of the Site Plan Construction Drawing(s)</i> 3. <i>Meet the Kanab City Land Use Ordinance (Chapter 9) requirements.</i>	
Signature of Property	Jeff Lewis

Owner

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Date 12/4/2020

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Email bobbicrosby21@gmail.com

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Email not displaying correctly? [View it in your browser.](#)

## ***Portion only \_ copy of minutes;***

**Kanab City Planning and Zoning Commission Meeting**  
**May 5, 2020**  
**Kanab City Council Chambers**  
**26 North 100 East**  
**6:30 PM**

**Electronic Meeting (Live on the Kanab City Facebook Page)**

**Present:** Chair Chris Heaton; Chair Pro Tem Scott Colson; Commission Members Donna Huntsman, Kerry Glover, Ben Clarkson, Boyd Corry and Ben Aiken, Land Use Coordinator Mike Reynolds; Attorney Jeff Stott; City Council Liaison Arlon Chamberlain; City Planner Bob Nicholson and Administrative Assistant Janae Chatterley

**Administrative review and vote to approve or deny a site plan final review for the expansion on Kanab Laundromat and Car Wash; located at 153 W 100 N (corrected to 200 E 300 S) on parcel K-B-12-1&2 zoned C-2. [Applicant; Jeff Lewis]**

Mike Reynolds provided an overview of the major remodel of the car wash, and minor addition to the laundromat. One concern is the building on the east side of the property encroaches onto this property and is creating an access issue for the third bay of the car wash.

Josh Beazer, Iron Rock Engineer, explained that the owner is in negotiations to purchase the property or to have the current owner remove the portion of the residence that is encroaching into the Kanab Laundromat and Car Wash property.

Planning Commission discussed the landscaping and the access issues due to the encroaching residence. Planning Commission would like reassurance or a solution that bay 3 will not be in use until the property owners have resolved the issue of the encroaching residence. Josh Beazer stated that the owner will not have the wand installed and will barricade the entrance to bay 3.

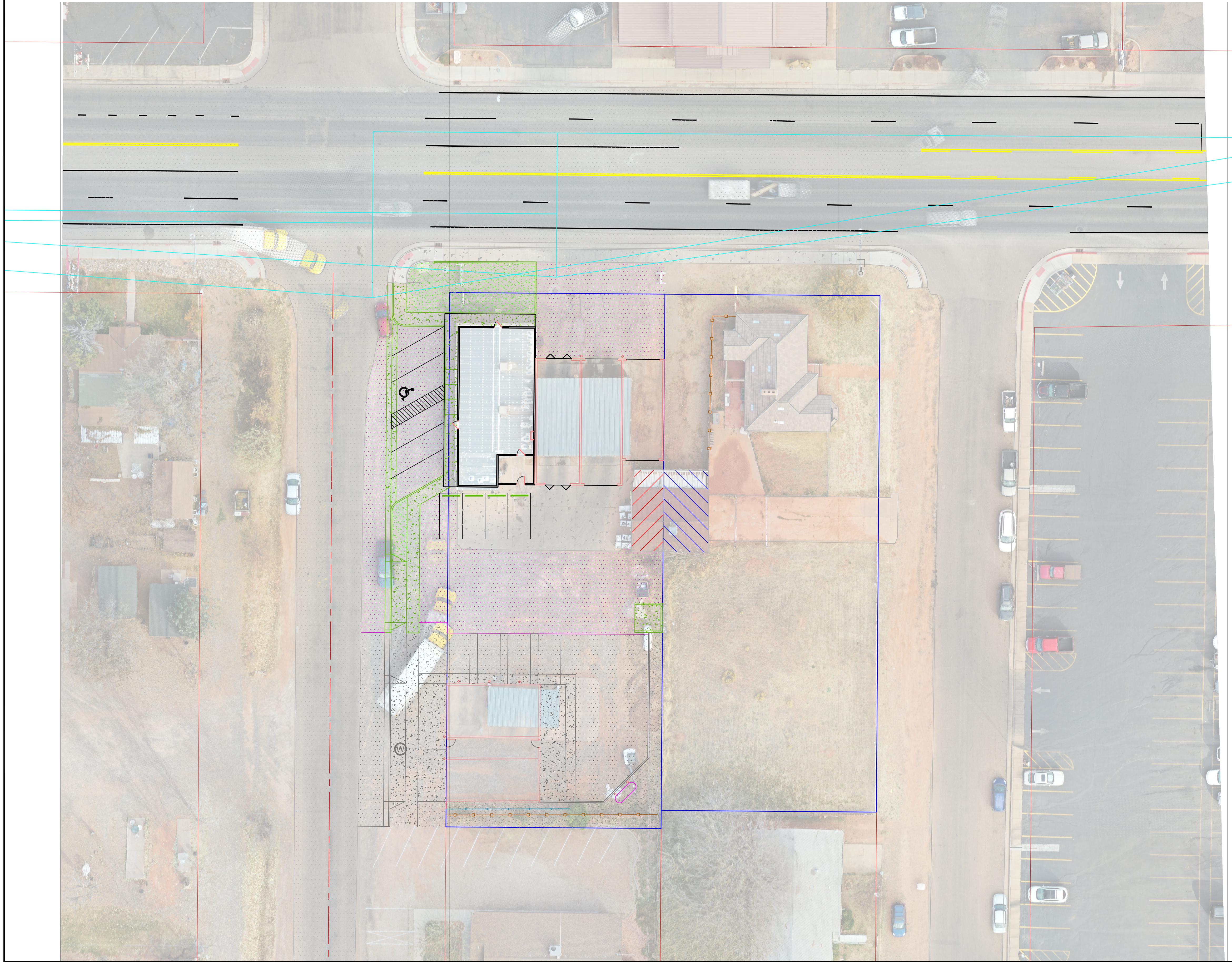
Planning Commission discussed the parking on City easement. They wanted to clarify and make sure that the owner understands that this is a city easement and the owner would be responsible for repairs and improvements.

Donna Huntsman makes a motion to approve the final site plan review for the expansion on Kanab Laundromat and Car Wash; located at 153 W 100 N on parcel K-B-12-1&2 zoned C-2 with the condition that the Car Wash's third bay will not have a wand installed, will be barricaded and not used until the residential building that is encroaching on the property has been removed. Ben Clarkson asked that the address is updated as it is incorrect and should reflect 200 E 300 S. Scott Colson seconds, unanimous vote; Motion passes

# KANAB LAUNDRY & CAR WASH REMODEL

## CONSTRUCTION DOCUMENTS

KANAB, UTAH



SCALE IN FEET

SCALE 1" = 20'

PROPERTY INFORMATION:

LOCATION: \_\_\_\_\_ KANE COUNTY, UTAH

NUMBER: \_\_\_\_\_ K-B-12-1&3

\_\_\_\_\_ C2

KS:

\_\_\_\_\_ 0'

\_\_\_\_\_ 0'

\_\_\_\_\_ 2'

DEVELOPER: \_\_\_\_\_ JEFF LEWIS  
153 W. 100 N.  
KANAB, UT 84741

PECIFICATIONS: \_\_\_\_\_ KANAB CITY ZONING ORDINANCE  
COUNT:  
G SQUARE FOOTAGE: \_\_\_\_\_ 18  
ED PARKING: \_\_\_\_\_ 7  
PROVIDED PARKING: \_\_\_\_\_ 9  
ED VAN ACCESSIBLE: \_\_\_\_\_ 1  
REQUIRED ACCESSIBLE PARKING: \_\_\_\_\_ 1  
ED ACCESSIBLE PARKING SPACES \_\_\_\_\_ 1

BUILDING RATIO:  
LOT SQUARE FOOTAGE: \_\_\_\_\_ 18002 FT<sup>2</sup>  
G TO LOT PERCENTAGE: \_\_\_\_\_ 28%  
APE TO LOT PERCENTAGE: \_\_\_\_\_ 18%

<u>INDEX:</u>	
EEET	C001
SITE PLAN	C100
ON PLAN	C101
TY PLAN	C200
PLAN	C300
EEET	C500-C501
PE PLAN	L100



#### VICINITY MAP

A cartoon character of a yellow and blue utility marker with a shovel, standing next to the text "Call 811 before you dig." and the "811" logo.



DRAWN BY: RLB  
SCALE: 1"=20  
SHEET: C001



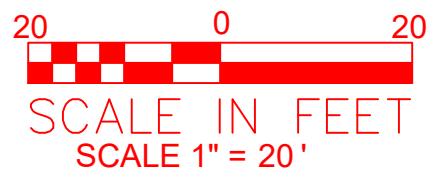
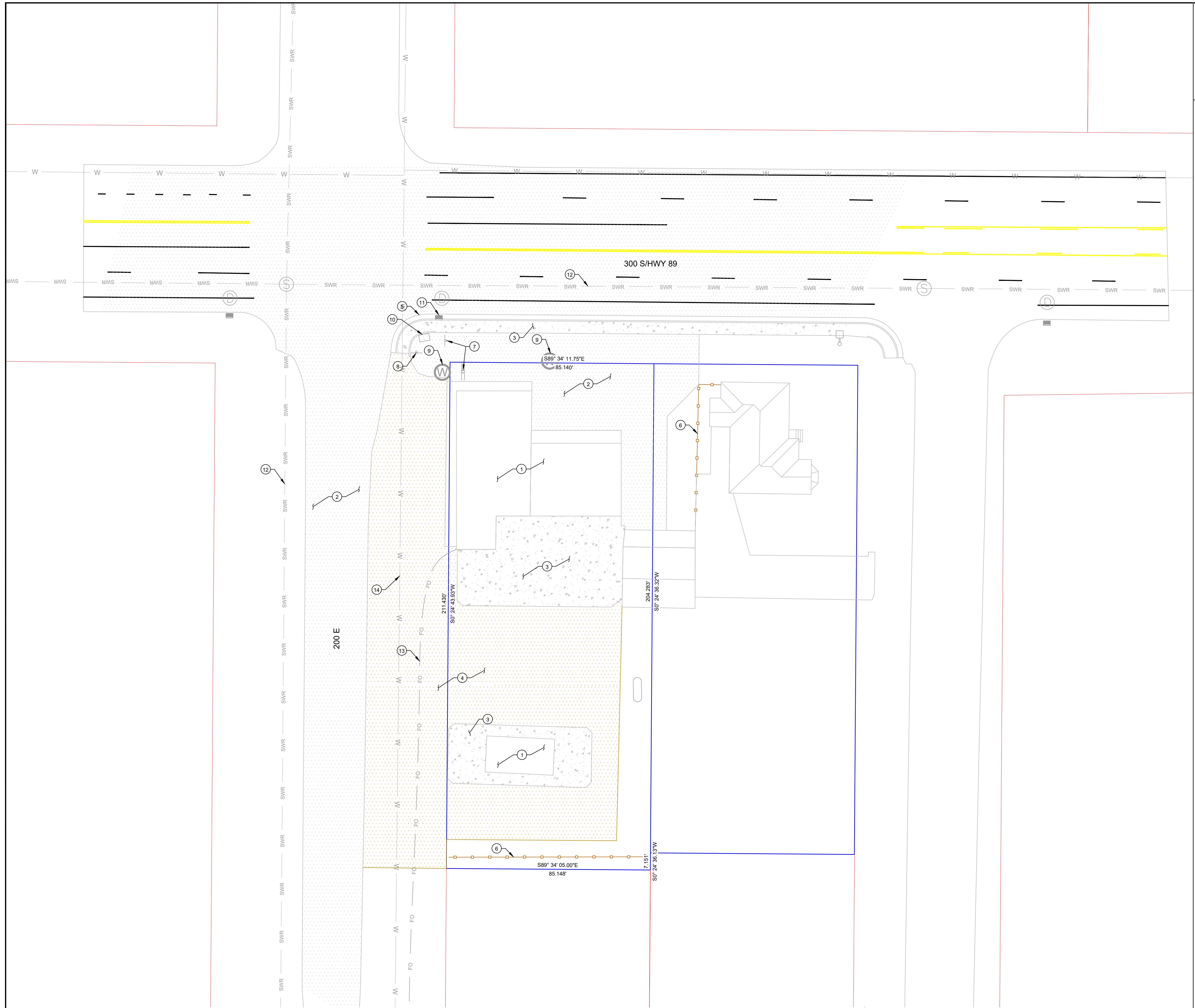
# IRON ROCK ENGINEERING SURVEYING & DESIGN

# *Building on Solid Foundations*

# COVER SHEET

206 E 300 S  
KANAB, UT 84741





# RON ROCK

# **RUN ROCK ENGINEERING SURVEYING & DESIGN**

460 E. 300 SOUTH  
ANAB, UTAH 84741  
435-644-2031  
[www.ironrockeng.com](http://www.ironrockeng.com)

# EXISTING SITE PLAN

206 E 300 S  
MANAB, UT 84741

**INITIAL SUBMITTAL:** 12/21/2020

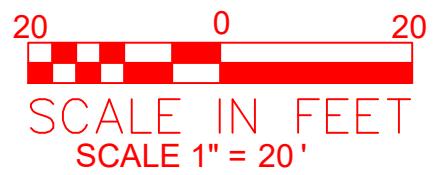
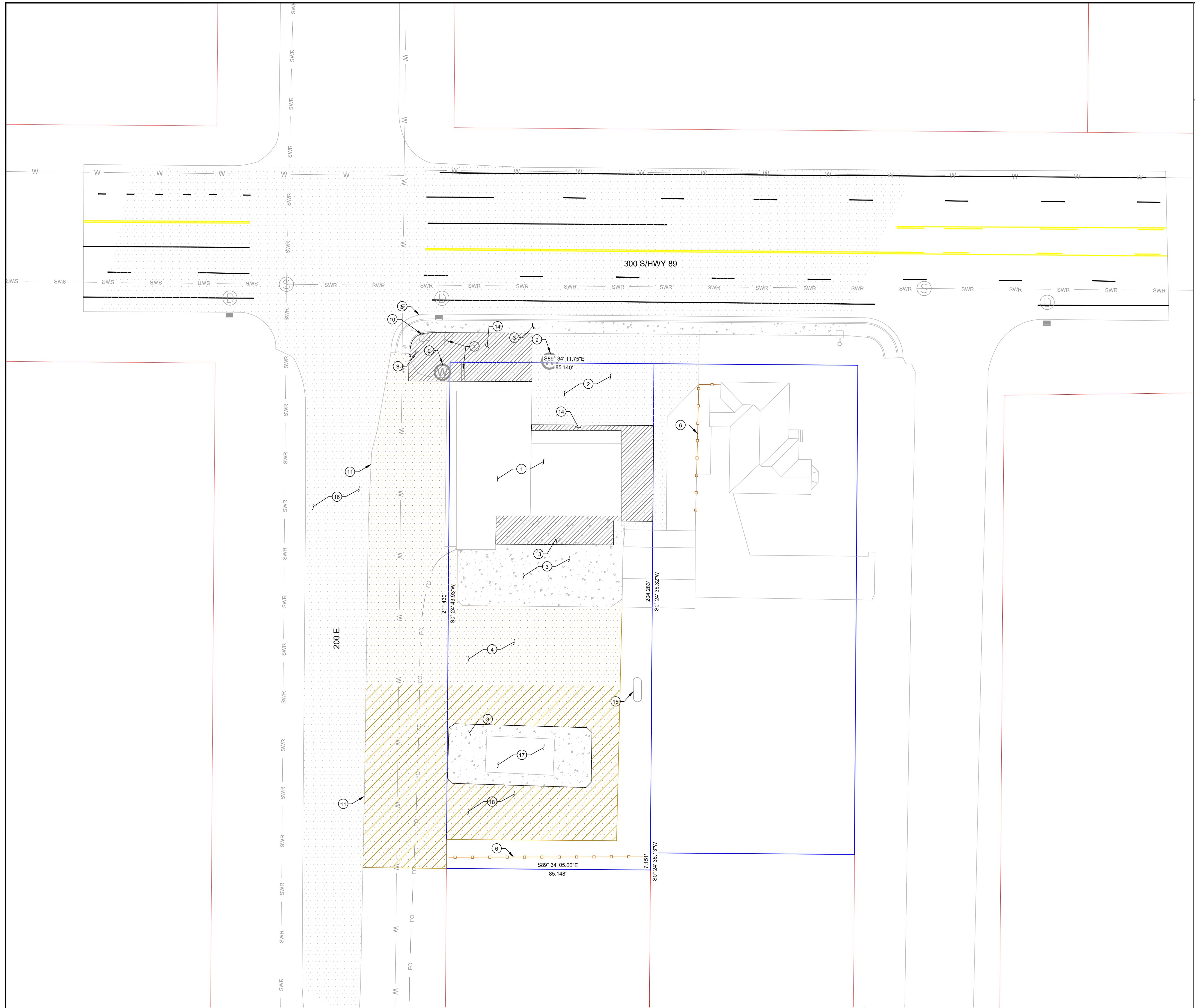
A circular professional engineer seal. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "STATE OF TEXAS" at the bottom. The center of the seal contains the name "Thomas W. Avant" in a stylized font, with "Thomas" on top and "Avant" on the bottom. Below the name is the registration number "#5561917". At the bottom of the seal is the date "20/21/2020".

MENT FROM IRON ROCK ENGINEERING CONSTITUTES VIOLATION OF COPYRIGHT AND IS EXPRESSLY PROHIBITED.

DRAWN BY: RLB

SCALE: 1"=20'

SHEET: C100



## SCORE 1 20

SCALE 1 : 20

# IRON ROCK

## *Building on Solid Foundations*

460 E. 300 SOUTH  
KANAB, UTAH 84741  
435-644-2031  
[www.ironrockeng.com](http://www.ironrockeng.com)

# DEMOLITION PLAN

206 E 300 S  
KANAB, UT 84741

INITIAL SUBMITTAL: 12/21/2020

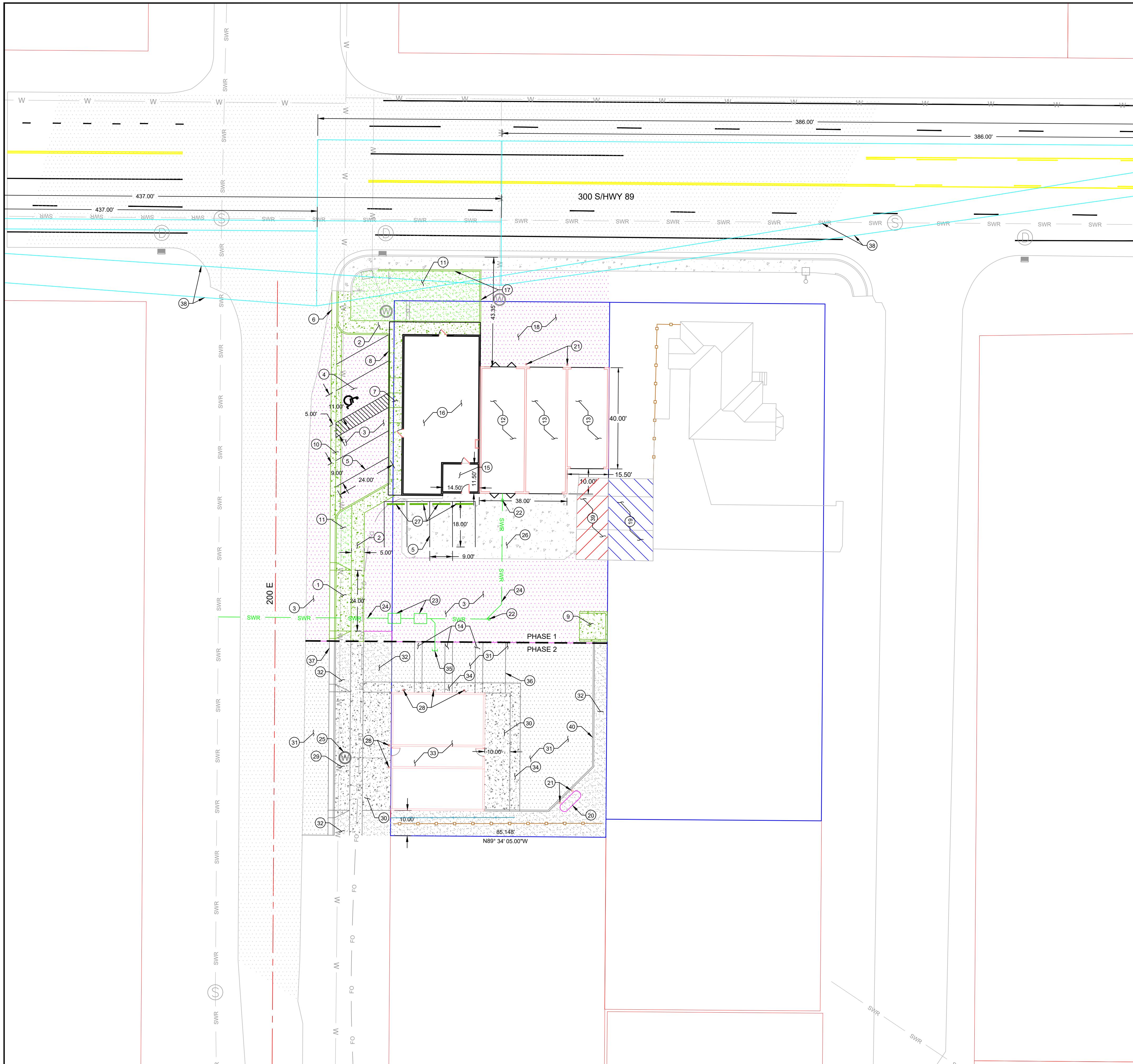
A circular registration stamp with a scalloped outer edge. The text "REGISTERED PROFESSIONAL ENGINEER" is arranged in a circle along the top and bottom. In the center, the name "Thomas Avant" is written in a stylized script. Below the name is the number "#5561917". At the bottom of the circle, the date "20/21/2020" is stamped. The bottom arc of the circle contains the words "STATE OF UTAH".

DRAWN BY **PLB**

SCALE: 1"=20'

**SHEET:**

C101



20 0 20  
SCALE IN FEET  
SCALE 1" = 20'

SCOPE OF WORK:  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① CONCRETE DRIVEWAY. PER DETAIL 6 SHEET C501
- ② CONCRETE SURFACING. PER DETAIL 1 SHEET C500
- ③ 3" STANDARD DUTY ASPHALT OVER 6" ROAD BASE COMPACTED TO 95% MAX DRY DENSITY AS PER ASTM D-1557. PER DETAIL 1 SHEET C500
- ④ ADA ACCESSIBLE PARKING SPACE NOT TO EXCEED 2% IN ANY DIRECTION. PAINT SQUARE INTERNATIONAL SYMBOL OF ACCESSIBILITY (TYP.)
- ⑤ 4" WIDE WHITE PARKING STRIPE LINES (TYP.)
- ⑥ CURB AND GUTTER. PER DETAIL 3 SHEET C500
- ⑦ ADA RAMP. PER DETAIL 4 SHEET C500
- ⑧ CURB WALL. PER DETAIL 3 SHEET C500
- ⑨ DUMPSTER ENCLOSURE. PER DETAIL 7 SHEET C500
- ⑩ 4" CONCRETE WATER WAY. PER DETAIL 5 SHEET C500
- ⑪ LANDSCAPE AREA. SEE LANDSCAPE PLAN FOR DETAILS
- ⑫ AUTOMATIC CAR WASH STATIONS
- ⑬ SELF WASH CAR WASH STATIONS
- ⑭ FUTURE VACUUM STATIONS
- ⑮ MECHANICAL ROOM
- ⑯ EXISTING BUILDING
- ⑰ 1' TALL CONCRETE WALL. PER DETAIL 4 SHEET C501
- ⑱ RE-SURFACE EXISTING ASPHALT. PER DETAIL 1 SHEET C500
- ⑲ EXISTING BUILDING TO REMAIN
- ⑳ 500 GALLON PROPANE TANK
- ㉑ BOLLARD. PER DETAIL 2 SHEET C500
- ㉒ SEWER CLEANOUT. PER DETAIL 8 SHEET C500
- ㉓ (2) 1500 GAL. SAND/GREASE INTERCEPTORS. PER DETAIL 7 SHEET C501
- ㉔ 6" SDR 35 PVC SEWER LINE
- ㉕ FUTURE 1.5" WATER METER AND SERVICE LINE
- ㉖ PATCH EXISTING CONCRETE WHERE CUT FOR UTILITIES. PER DETAIL 1 SHEET C500
- ㉗ CONCRETE PARKING CURB STOPS. PER DETAIL 5 SHEET C501
- ㉘ FUTURE BOLLARD
- ㉙ FUTURE CONCRETE DRIVEWAY
- ㉚ FUTURE CONCRETE SURFACING
- ㉛ FUTURE STANDARD DUTY ASPHALT
- ㉜ FUTURE LANDSCAPE AREA
- ㉝ FUTURE BUILDING
- ㉞ FUTURE CONCRETE WATER WAY
- ㉟ STUB AND PLUG SEWER LINE FOR FUTURE USE
- ㉟ 4" WIDE WHITE PARKING STRIPE LINES (TYP.)
- ㉟ FUTURE CURB AND GUTTER
- ㉟ SIGHT VIEW TRIANGLE
- ㉟ EXISTING PORTION OF BUILDING O TO BE REMOVED
- ㉟ FUTURE CURB WALL

## SITE/UTILITY PLAN

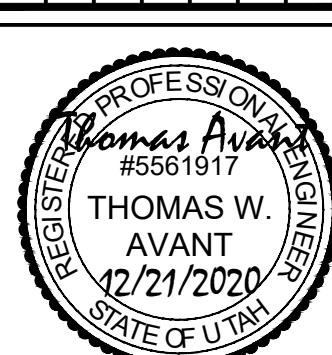
206 E 300 S  
KANAB, UT 84741



Building on Solid Foundations

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KANAB, UTAH 84741  
435-644-2031  
www.ironrockeng.com

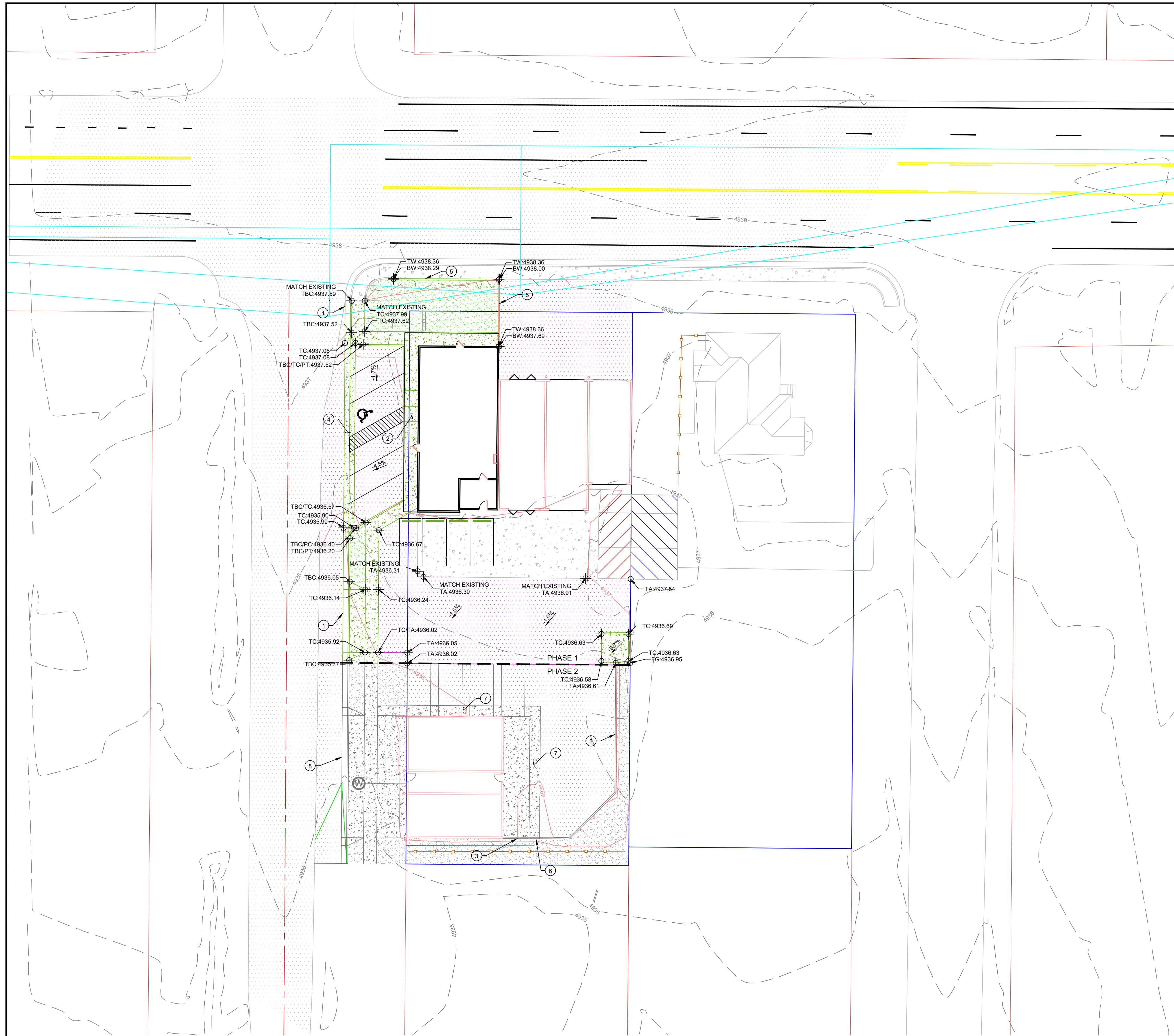
INITIAL SUBMITTAL:	12/21/2020
REV#:	
DESCRIPTION:	



DRAWN BY: RLB

SCALE: 1" = 20'

SHEET: C200



**NOTE:**  
EARTHWORK VOLUMES SHOWN REFLECT FINISHED GRADE CUT AND FILL. ADDITIONAL EXCAVATIONS FOR BUILDINGS, PAVING, OVER-EX, ETC. ARE NOT INCLUDED.

CUT/FILL SUMMARY						
NAME	CUT FACTOR	FILL FACTOR	2D AREA	CUT	FILL	NET
VOLUME	1.000	1.200	24909.41 SQ. FT.	12.29 CU. YD.	318.07 CU. YD.	305.78 CU. YD.<FILL>

**SCOPE OF WORK:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE  
SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS  
SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① CURB AND GUTTER. PER DETAIL 3 SHEET C500
- ② ADA RAMP. PER DETAIL 4 SHEET C500
- ③ FUTURE CURB WALL. PER DETAIL 3 SHEET C501
- ④ 4' CONCRETE WATER WAY. PER DETAIL 5 SHEET C500
- ⑤ 1' TALL CONCRETE WALL. PER DETAIL 4 SHEET C501
- ⑥ FUTURE CURB OPENING. PER DETAIL 6 SHEET C500
- ⑦ FUTURE 4' CONCRETE WATER WAY. PER DETAIL 5 SHEET C500
- ⑧ FUTURE CURB AND GUTTER. PER DETAIL 3 SHEET C500

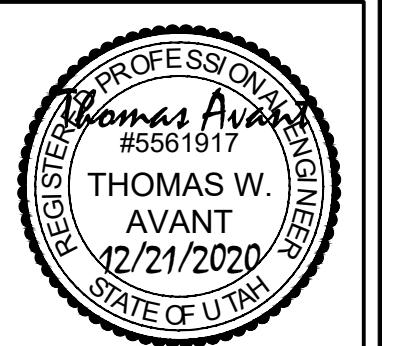
## *Building on Solid Foundations*

460 E. 300 SOUTH  
KANAB, UTAH 84741  
435-644-2031  
[www.ironrockeng.com](http://www.ironrockeng.com)

# GRADING PLAN

# GRADING PLAN

206 E 300 S  
KANAB, UT 84741



#### NOTE LEGEND:

<u>NOTE LEGEND:</u>	
TBC	- TOP BACK OF CURB
TC	- TOP OF CONCRETE
ME	- MATCH EXISTING
TS	- TOP OF STAIRS
BS	- BOTTOM OF STAIRS
PC	- POINT OF CURVATURE
PT	- POINT OF TANGENCY
GB	- GRADE BREAK
PRC	- POINT OF REVERSE CURVE
LP	- LOW POINT
HP	- HIGH POINT
AP	- ANGLE POINT
FFE	- FINISH FLOOR ELEVATION
BP	- BOTTOM OF POND
INV	- INVERT
FG	- FINISH GRADE
TA	- TOP OF ASPHALT
TG	- TOP OF GRAVEL
FL	- FLOW LINE
TW	- TOP OF WALL
BW	- BOTTOM OF WALL

DRAWN BY: RLB

SCALE 1"-20'

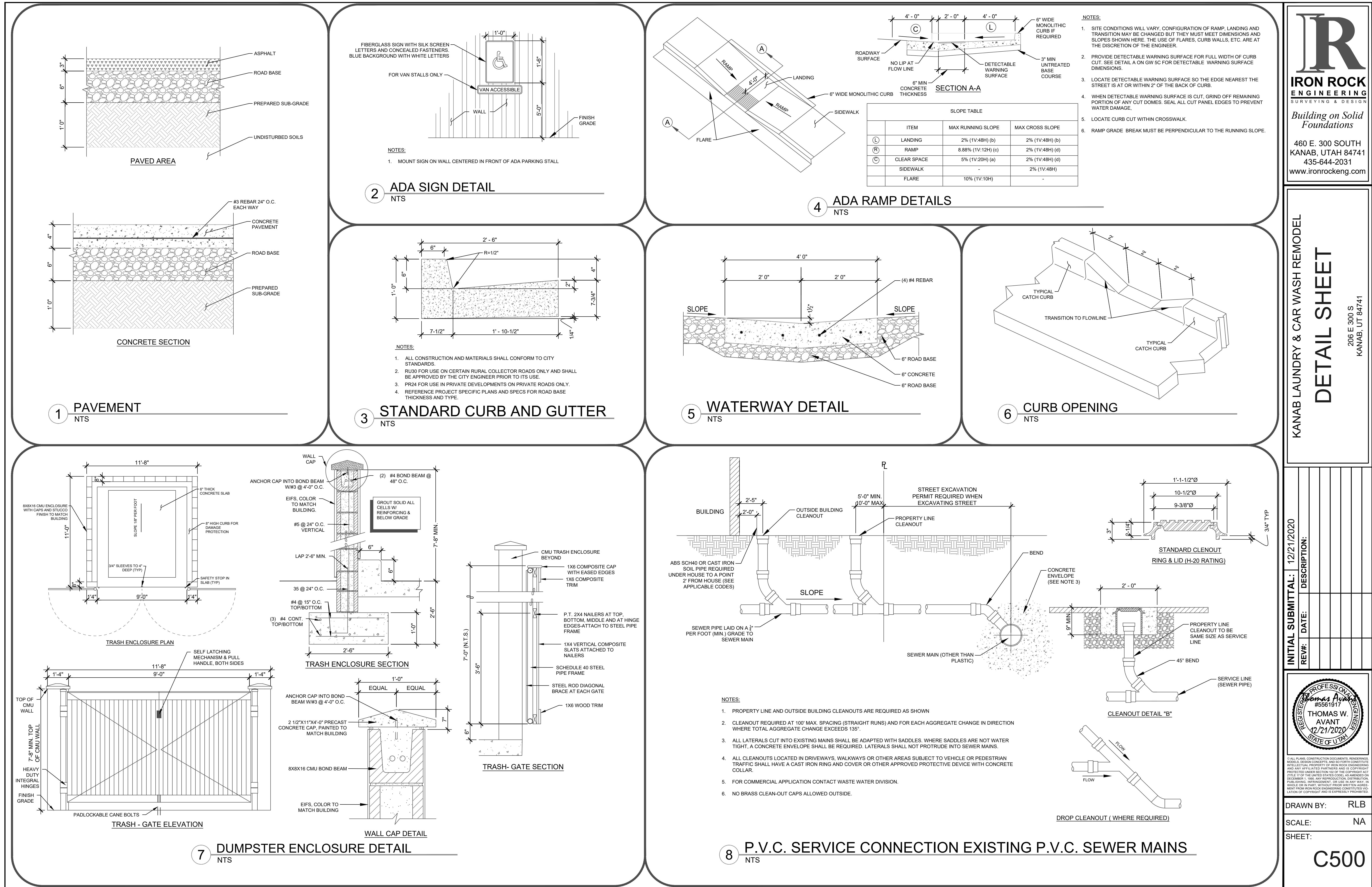
SCALE: 1 -20

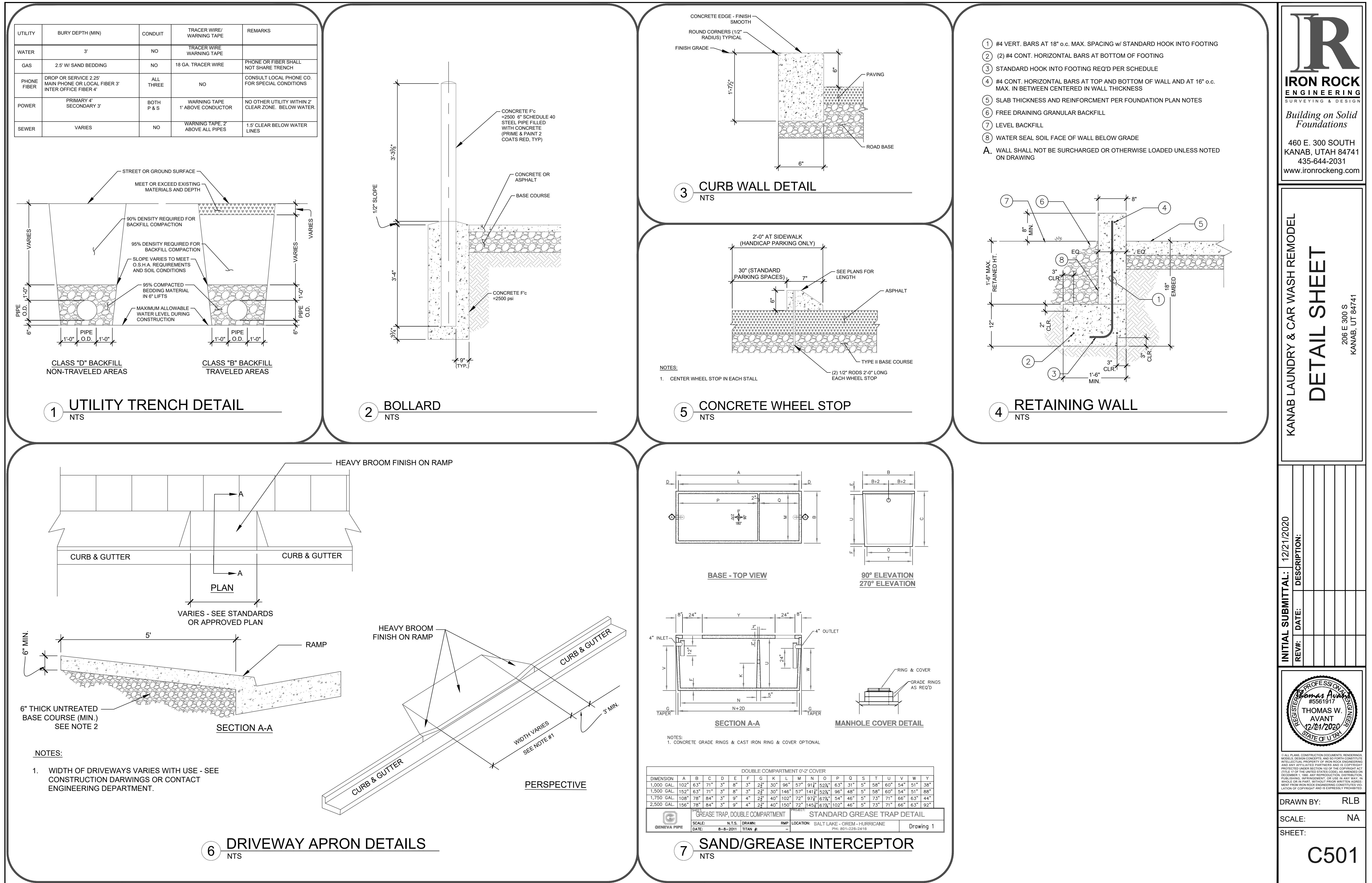
## SHEET:

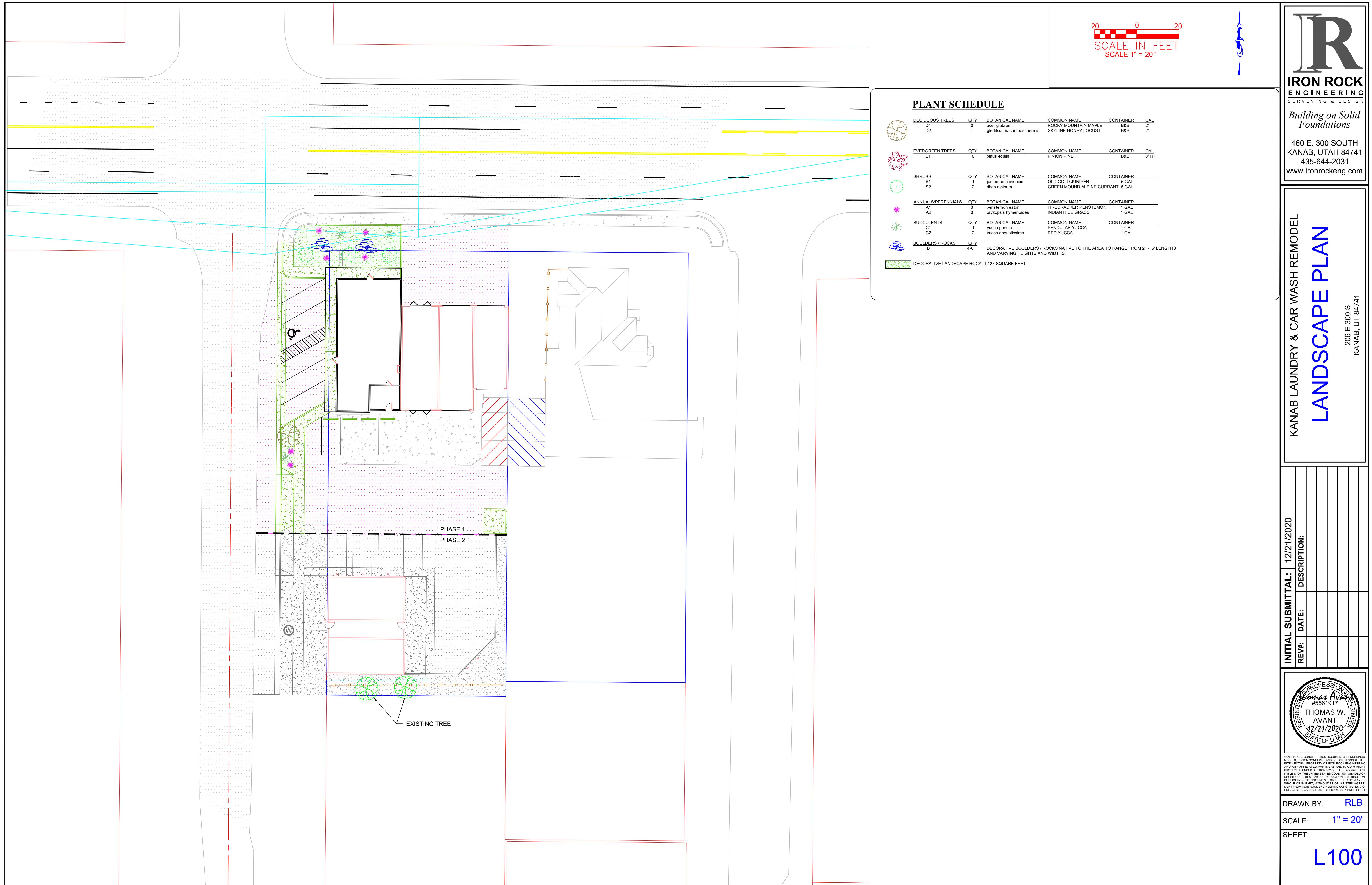
G300

3500

# C300







## Lewis Car Wash Review

**From:** [Bob Nicholson](#)  
**To:** [Mike Reynolds](#)  
**Subject:** Re:  
**Date:** Monday, December 28, 2020 3:37:40 PM

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The phase 1 plan appears OK with two notations; 1) normally angle parking which backs onto a public street would not be allowed but this has historically been accepted here and I believe the PC was OK with this continuing, 2) the corner landscape area along Hwy 89 needs at least one tree. Only 1 tree is proposed and that is in the landscape area along the side street. The code requires a tree in each landscape area. With the addition of a tree in the corner landscape area, the site plan appears in order. Note; I'm sending this from Phoenix and have reviewed the attached site plan and not compared it with the original plan. Bob

On Wed, Dec 23, 2020 at 10:01 AM Mike Reynolds <[mreynolds@kanab.utah.gov](mailto:mreynolds@kanab.utah.gov)> wrote:

Bob,

on January 5, 2021 I will be taking the Jeff Lewis carwash site plan back to the planning commission to get approval on a phase 1 and 2. You may recall several months ago this was approved for the total project. He has decided he doesn't have the money to do the total project and wants to do it in phases. Please review this new drawing showing phase 1. Let me know if you see any problems. I am attaching the minutes to the meeting when the project was originally approved. You may have the original drawing on your computer from the first review. Let me know if you need a copy of the first review drawing for comparison.

Thank You,

Mike Reynolds;

Kanab Land Use Coordinator

(435) 644-2534

[mreynolds@kanab.utah.gov](mailto:mreynolds@kanab.utah.gov)

**From:** [noreply@civicplus.com](mailto:noreply@civicplus.com)  
**To:** [mreynolds@kanab.utah.gov](mailto:mreynolds@kanab.utah.gov); [kohlwiler@kanab.utah.gov](mailto:kohlwiler@kanab.utah.gov); [jchatterley@kanab.utah.gov](mailto:jchatterley@kanab.utah.gov)  
**Subject:** Online Form Submittal: Site Plan Review Application  
**Date:** Tuesday, December 8, 2020 4:54:46 PM

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## Site Plan Review Application

### Fees **Actual Cost**

*The calculated fees are required before processing of this application can begin. After submitting this form the applicant will have an opportunity to pay the required fees/deposits of \$600 deposit + \$50 / Acre, over 1 Acre by mail or by hand delivery to the Kanab City Office. Additional deposits will be required when initial deposits are fully expended. Any unused portion of deposits will be refunded to applicant upon completion of the project.*

Property Location	98 W 300 N
First Name	Jeremy
Last Name	Glass
Address1	2505 E Parleys Way
Phone	8016600289
City	Salt Lake City
State	Utah
Zip	84109
Project Name and Description	Kane County Ambulance Shed
Desired Development Committee Meeting Date	Next available
Acres	0.9
Existing Zone & Parcel ID	R-1-8
Existing Use of Property	Partially Vacant. There is an existing house on the lot that is used by the Hospital.
Use of Adjacent Property	Hospital
Development Time	1 Year

Table

Intended Use of Property	Emergency vehicle storage, and Training.
Describe all Sensitive Lands Impacts	<i>Field not completed.</i>
Developer Address <i>If different than Applicant.</i>	
First Name	Kane County Hospital
Last Name	<i>Field not completed.</i>
Address1	355 N Main St.
City	Kanab
State	Utah
Zip	84741
Adjacent Property Owner(s) Notification <i>A list of names, phone numbers, street addresses and mailing addresses for owners of property within 140 feet from the outer boundary of the subject property. (Note: This includes property owners across the street and in the rear of the subject property. In determining the 140 feet, the width of any intervening street or alley shall not be included.)</i>	
Adjacent Property Owner(s)	CRAM NORMAN RANDALL & SHAUNA S 359 N 100 W KANAB, UT 84741-3247
	MERRYWEATHER SCOTT & ERIN 359 N 100 W KANAB, UT 84741
	SMITH APRIL M 10354 N SIGHTLINE CIR HIDEOUT , UT 84036
	HEGWOOD GLENDA P & JASON C 925 W VANCE DR KANAB, UT 84741-6345
	RAMSAY HOLLY HAMBLIN -TR- 75 W 300 N KANAB, UT 84741
	WILLIS NYLE W & BEVERLY M

28 N MAIN ST  
KANAB, UT 84741-3219

BLASDELL JOSHUA MICHAEL & NIKKI  
312 S 6150 W  
HURRICANE, UT 84737

---

These items are required before meeting with Planning Commission  
1. *Site Plan Construction Drawing(s)* 2. *Signed letter from the Kanab City  
Engineer - indicating approval of the Site Plan Construction Drawing(s)* 3. *Meet  
the Kanab City Land Use Ordinance (Chapter 9) requirements.*

---

Signature of Property      Kane County Hospital  
Owner

---

Date      12/8/2020

---

Email      jcglass@archnexus.com

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Email not displaying correctly? [View it in your browser.](#)

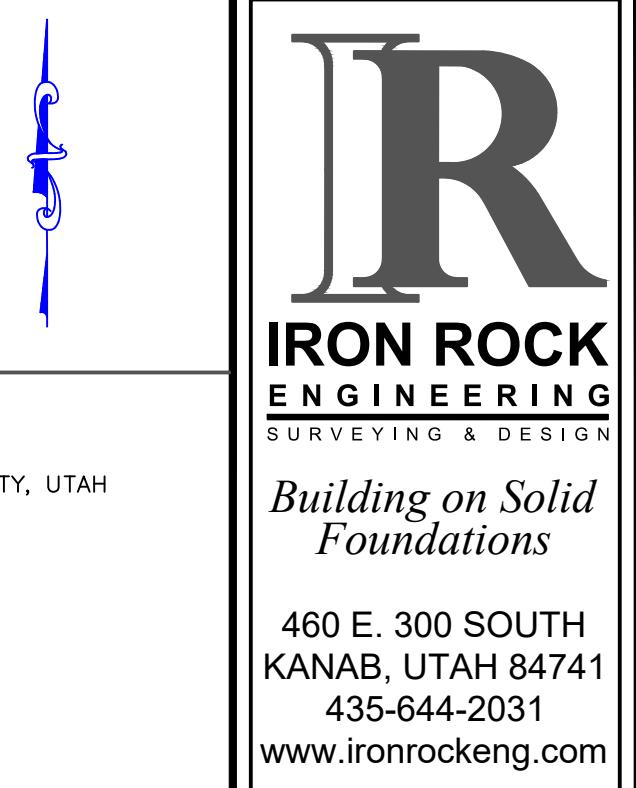
# KANE COUNTY AMBULANCE BUILDING

## CONSTRUCTION DOCUMENTS

KANAB, UTAH



20  
0  
20  
SCALE IN FEET  
SCALE 1" = 20'



**COVER SHEET**  
98 W 300 N  
KANAB, UT 84741

PROJECT INFORMATION:  
PROJECT LOCATION: KANAB CITY, UTAH  
PARCEL NUMBER: K-C-4-6  
ZONE: RM-7  
SET BACKS:  
FRONT: 25'  
SIDE: 10'  
REAR: 10'  
OWNER & DEVELOPER: KANE COUNTY HOSPITAL

DESIGN SPECIFICATIONS: KANAB CITY ZONING ORDINANCE  
PARKING COUNT:  
ASSEMBLY HALLS/MEETING ROOMS SEATS: 108  
REQUIRED PARKING: 30  
TOTAL PROVIDED PARKING: 30  
REQUIRED VAN ACCESSIBLE: 1  
TOTAL REQUIRED ACCESSIBLE PARKING: 2  
PROVIDED ACCESSIBLE PARKING SPACES: 2

SHEET INDEX:  
COVER SHEET C001  
EXISTING SITE DEMOLITION PLAN C300  
PROPOSED SITE PLAN C300  
GRADING PLAN C300  
PLAN AND PROFILE C301-C302  
UTILITY PLAN C400  
DETAIL SHEET C500-C501



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CONSTRUCTION**

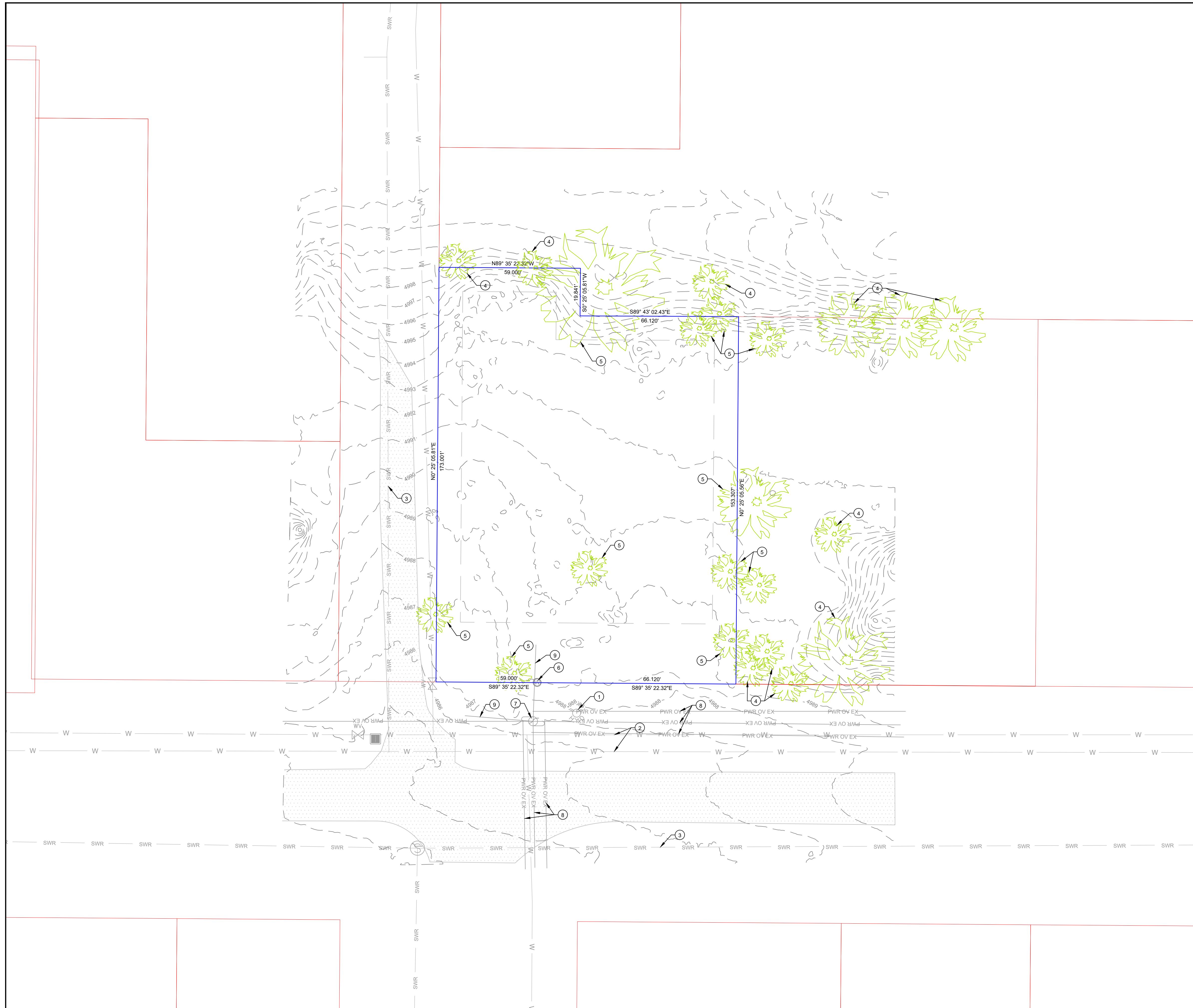
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DRAWN BY: RLB

SCALE: 1"=20'

SHEET: C001

KANE COUNTY AMBULANCE BUILDING																	
<p><b>GENERAL NOTES:</b></p> <p>SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.</p> <p>TOPSOIL SHOULD BE REMOVED FROM THE SITE AND MAY BE STOCKPILED ON-SITE FOR USE AS FILL IN LANDSCAPED AREAS.</p> <p>UPON COMPLETION OF SITE STRIPPING, THE EXPOSED BUILDING AND PAVEMENT SUBGRADES SHOULD BE EVALUATED BY A REPRESENTATIVE OF THE ENGINEER, EXCAVATED DOWN TO FIRM UNDISTURBED NATIVE SOILS OR A SUITABLE DEPTH AS DETERMINED BY THE ENGINEER AND BACKFILLED WITH PROPERLY PLACED AND COMPAKTED STRUCTURAL FILL.</p> <p>EXCAVATIONS SHOULD BE MADE USING AN EXCAVATOR EQUIPPED WITH A SMOOTH EDGE AND SUPPORTED FROM OUTSIDE THE EXCAVATION.</p> <p>IF THE SUBGRADE IS DISTURBED DURING CONSTRUCTION, LOOSE OR OTHERWISE DISTURBED SOILS SHOULD BE OVER-EXCAVATED TO FIRM, UNDISTURBED SOIL AND BACKFILLED WITH COMPAKTED GRANULAR MATERIAL.</p> <p>IMPORTED STRUCTURAL FILL SHOULD CONSIST OF WELL-GRADED SAND AND GRAVEL MATERIALS THAT ARE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS. IMPORTED FILL MATERIALS SHOULD BE APPROVED BY THE ENGINEER PRIOR TO ITS DELIVERY TO THE PROJECT SITE.</p> <p>STRUCTURAL FILL MATERIALS SHOULD BE MOISTURE CONDITIONED TO 2% BELOW OPTIMUM TO 2% ABOVE OPTIMUM MOISTURE CONTENT. STRUCTURAL FILL SHOULD BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES THICK (FOR HEAVY ROLLER EQUIPMENT) OR 4 INCHES THICK FOR HAND OPERATED EQUIPMENT) AND COMPAKTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D 1557 TEST METHOD.</p> <p>SITE GRADING FILL OR BACKFILL PLACED BEHIND PAVEMENTS, FLOOR SLABS OR FLAT WORK SHOULD BE COMPAKTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED USING ASTM D 1557.</p> <p>STRUCTURAL FILL, WHERE REQUIRED, SHOULD EXTEND A MIN OF HALF THE DEPTH OF THE FILL LATERALLY BEYOND THE FOOTINGS AND 24 INCHES FOR ISOLATED COLUMN FOOTINGS.</p> <p>PLACEMENT AND COMPAKATION OF ALL FILL MATERIALS SHOULD BE OBSERVED, TESTED, AND DOCUMENTED BY A REPRESENTATIVE OF THE ENGINEER.</p> <p>TESTED FILL MATERIALS THAT DO NOT ACHIEVE EITHER THE REQUIRED DRY DENSITY OR MOISTURE CONTENT REQUIREMENTS SHOULD BE RECORDED, THE LOCATION NOTED, AND REPORTED TO THE CONTRACTOR AND OWNER. A RE-TEST OF THAT AREA SHOULD BE PERFORMED AFTER THE CONTRACTOR HAS PERFORMED ALL NECESSARY REMEDIAL MEASURES INCLUDING MOISTURE CONDITIONING AND REWORKING THE FILL.</p> <p>THE ENGINEER SHOULD BE RETAINED TO OBSERVE SITE STABILIZATION, SHALL SUBMIT A COMPAKATION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS HAVE BEEN COMPAKTED IN ACCORDANCE WITH THESE PLANS AND SPECS.</p> <p>PAVEMENT MATERIALS AND WORKMANSHIP SHOULD CONFORM TO THE UTAH DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. BASE COURSE AND GRANULAR BORROW MATERIALS SHOULD BE MOISTURE CONDITIONED TO NEAR OPTIMUM MOISTURE CONTENT AND PLACED IN LIFTS NOT TO EXCEED 8 INCHES.</p> <p>GRANULAR BORROW AND BASE COURSE MATERIALS SHOULD BE COMPAKTED TO AT LEAST 95% OF THE MAX DRY DENSITY PER ASTM D-1557.</p> <p>THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT.</p> <p>EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND INCLUDED IN THE CONSTRUCTION CONTRACT.</p> <p><b>GENERAL GRADING NOTES:</b></p> <p>BORROW MATERIAL SHOULD BE FREE OF DEBRIS, ORGANIC MATERIALS, AND 3 INCH SIZE PARTICLES OR LARGER. WE RECOMMEND FILL MATERIALS CONFORM TO THE PROJECT SOILS REPORT.</p> <p>ALL SUBGRADE MATERIALS SHALL BE SCARIFIED TO A DEPTH OF TWELVE INCHES (12'). THE MOISTURE CONTENT ADJUSTED TO NEAR OPTIMUM, THEN COMPAKTED TO 95 PERCENT OF ASTM D-1557.</p> <p>SUFFICIENT COMPAKATION TESTS SHALL BE TAKEN TO VERIFY COMPLIANCE WITH THESE SPECIFICATIONS.</p> <p><b>DRAINAGE NOTES:</b></p> <ol style="list-style-type: none"> <li>1. ALL CONSTRUCTION SHALL CONFORM TO KANAB CITY STANDARD SPECIFICATIONS AND REQUIREMENTS.</li> <li>2. ALL DRAINAGE PIPE SHALL BE CORRUGATED HIGH DENSITY POLYETHYLENE PIPE WITH SMOOTH LINING, GASKETED SPIGOT AND BELL ENDS AND SHALL CONFORM TO AASHTO M294 AND ASTM D3350.</li> <li>3. ALL TRENCH DRAINS SHALL BE DURASLOT SLOTTED SURFACE TRENCH DRAIN. DURASLOT SLOTTED SURFACE TRENCH DRAIN TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS.</li> <li>4. ALL NYLOPLAST DRAINAGE BASINS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND STANDARDS.</li> <li>5. VERIFY LOCATION AND ELEVATION OF ALL IMPROVEMENTS PRIOR TO PLACING DRAINAGE STRUCTURES.</li> <li>6. INSTALL PIPE AND FITTINGS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. INSTALL PIPE STARTING AT DOWNSTREAM END. SECURE JOINTS WATER TIGHT.</li> <li>7. ALL ASPHALT SHALL CONFORM TO KANAB CITY STANDARD SPECIFICATIONS AND REQUIREMENTS.</li> <li>8. ALL CONCRETE SHALL CONFORM TO KANAB CITY STANDARD SPECIFICATIONS AND REQUIREMENTS.</li> <li>9. ALL CURB &amp; GUTTER SHALL CONFORM TO KANAB CITY STANDARD SPECIFICATIONS AND REQUIREMENTS.</li> <li>10. ALL PROPOSED ROOF DRAINS ON THE NORTH SIDE OF THE BUILDING SHALL FLOW TO THE PROPOSED TRENCH DRAINS. ALL PROPOSED ROOF DRAINS ON THE SOUTH SIDE OF THE BUILDING SHALL FLOW TO THE PROPOSED WATERWAY.</li> </ol> <p><b>WATER NOTES:</b></p> <ol style="list-style-type: none"> <li>1. ALL CONSTRUCTION SHALL CONFORM TO THE "KANAB CITY STANDARD SPECIFICATIONS AND DRAWING DETAILS FOR DESIGN AND CONSTRUCTION", "THE INTERNATIONAL PLUMBING CODE".</li> <li>2. CONTRACTOR SHALL POTHOLE ALL PIPELINES TO VERIFY DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION.</li> <li>3. 12 GAUGE WIRE SHALL BE TAPE TO ALL WATER LINES FOR LOCATING PURPOSES. THE WIRE SHALL ALSO BE BROUGHT UP AT EACH VALVE BOX AND HYDRANT.</li> <li>4. THRUST RESTRAINT ON THE NEW PIPELINE SHALL BE BELL AND SPIGOT JOINT RESTRAINT HARNESS OR CLAMP RATED AT PRESSURE CLASS OF PIPE OR GREATER. USE MEGA-LUG OR APPROVED EQUAL ON THE FITTINGS AND FIELD LOCK GASKETS ON THE REQUIRED LENGTH OF RESTRAINED PIPE.</li> <li>5. ASPHALT REPLACED OVER THE PIPE TRENCHING IS TO MATCH EXISTING PAVEMENT DEPTHS WITH A 6" OVER CUT FROM THE EDGE OF THE TRENCH LINE ON EACH SIDE OF THE TRENCH. SEE DETAIL 4, SHEET C400.</li> <li>7. ANY CHANGES MADE IN THE FIELD MUST BE FIRST APPROVED AND DOCUMENTED BY THE ENGINEER.</li> <li>9. ALL WATER LINES TO BE 8" C-900 PIPE WITH BELL AND SPIGOT JOINTS WITH ELASTOMERIC GASKETS AND BEAR NSF LABEL. ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON. ALL WATER LINES SHALL BE INSTALLED AND TESTED AS PER KANAB CITY STANDARD SPECIFICATIONS. INSTALL METER ON PUBLIC SIDE OF PROPERTY LINE AND WITHIN 2 FEET OF PROPERTY LINE.</li> <li>11. ALL FIRE HYDRANTS SHALL BE AWWA C502, DRY BARREL TYPE WITH PRIMER AND TWO COATS OF RED ENAMEL WITH A MIN 6 FOOT BUR. HYDRANTS SHALL HAVE A 6" C-900 PIPE AND SHUT-OFF VALVE BETWEEN WATER SUPPLY AND HYDRANT AND INSTALLED AS PER KANAB CITY STANDARD SPECIFICATIONS.</li> <li>12. ALL WATER MAIN LINES TO BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM ANY SEWER MAIN LINE AND 18" VERTICALLY ABOVE TOP OF SEWER MAIN LINE OR STORM DRAIN LINE AT ANY CROSSING. WHEN THE WATER MAIN CANNOT BE AS HIGH AS 18 INCHES ABOVE THE SEWER, THE SEWER SHALL BE CONSTRUCTED OF MATERIAL WITH PRESSURE CONDUIT STANDARDS FOR A DISTANCE OF 20 FEET ON EITHER SIDE OF THE CROSSING. ALL POTABLE AND FIRE WATER LINE TO MAINTAIN A MINIMUM DEPTH OF 6" BELOW FINISHED GRADE TO TOP OF PIPE.</li> <li>13. ALL TEES, BENDS PLUGS AND HYDRANTS SHALL BE PROVIDED WITH REACTION BLOCKING, TIE RODS OR JOINTS DESIGNED TO PREVENT MOVEMENT.</li> <li>14. ALL VALVES SHALL BE AWWA C509 IRON BODY GATE VALVES WITH BRONZE TRIM, NON-RISING STEM WITH A 2" SQUARE OPERATING NUT, SINGLE WEDGE, RESILIENT SEAT, MECHANICAL JOINT ENDS. RATED FOR 200 POUNDS PER SQUARE INCH WORKING PRESSURE. VALVE BOX AND COVER SHALL BE CAST IRON EXTENSION SLEEVE TYPE WITH "WATER" CAST ON COVER WITH A CLASS AA(AE) REINFORCED CONCRETE.</li> </ol> <p><b>WATER PIPE TESTING:</b></p> <ol style="list-style-type: none"> <li>1. TEST WATER MAINS AT LESSER OF 200 PSI OR PRESSURE RATING OF PIPE. TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE KANAB CITY ENGINEER, OR KANAB CITY WATER CONSERVANCY DISTRICT, AS APPLICABLE.       <ol style="list-style-type: none"> <li>A. FILL PIPE WITH WATER AND PLACE UNDER SLIGHT PRESSURE FOR AT LEAST 48 HOURS.</li> <li>B. BRING PIPE PRESSURE TO TEST PRESSURE AND MAINTAIN FOR 4 HOURS MIN.</li> <li>C. PROVIDE ACCURATE MEANS FOR MEASURING QUANTITY OF WATER NEEDED TO MAINTAIN TEST PRESSURE ON PIPE FOR TEST PERIOD.</li> <li>D. IF VOLUME OF WATER ADDED TO PIPE IS 10 GALLONS PER INCH OF PIPE DIAMETER PER MILE OF PIPE PER 24 HOURS OR LESS, PIPE PASSES TEST.</li> <li>E. IF PIPE DOES NOT PASS TEST, FIND SOURCE OF LEAKAGE, REPAIR OR REPLACE, AND RETEST. REPEAT UNTIL PIPE PASSES TEST.</li> </ol> </li> <li>2. BACTERIOLOGICAL TEST: AFTER FLUSHING CHLORINATED WATER FROM WATER LINES, TAKE SAMPLE FOR BACTERIOLOGICAL TEST. IF NECESSARY, RE-CHLORINATE UNTIL SATISFACTORY BACTERIOLOGICAL TEST IS OBTAINED. DO NOT PUT PIPING INTO SERVICE UNTIL TEST RESULTS ARE SATISFACTORY.</li> </ol> <p>THE FOLLOWING TEST PROTOCOL IS LISTED IN ANSI/AWWA STANDARD C651.</p> <ol style="list-style-type: none"> <li>A. COLLECT TWO SAMPLES FROM EACH SAMPLE LOCATION TAKEN AT LEAST 24 HRS. APART.</li> <li>B. COLLECT A SAMPLE FROM AT LEAST EVERY 1,000 FT OF NEW MAIN.</li> <li>C. COLLECT A SAMPLE FROM THE END OF THE LINE AND AT LEAST ONE FROM EACH BRANCH.</li> <li>D. TEST SAMPLES FOR TOTAL COLIFORM BACTERIA IN ACCORDANCE WITH STANDARD METHODS FOR THE EXAMINATION OF WATER AND WASTEWATER. ADDITIONAL TESTS MAY BE REQUIRED INCLUDING: CHLORINE RESIDUAL, TURBIDITY, pH, AND HETEROTROPHIC PLATE COUNT (HPC).</li> <li>E. SPECIAL CONDITION. COLLECT ADDITIONAL SAMPLES AT INTERVALS OF APPROXIMATELY 200 FT IF TRENCH WATER HAS ENTERED THE NEW MAIN DURING CONSTRUCTION OR IF EXCESSIVE QUANTITIES OF DIRT OR DEBRIS HAVE ENTERED THE NEW MAIN. TAKE SAMPLES IN WATER THAT HAS STOOD IN THE NEW MAIN FOR AT LEAST 16 HOURS AFTER FINAL FLUSHING. COLLECT SAMPLES IN STEEL BOTTLES TREATED WITH SOLUBLE THIOSULFATE AND STORED BY STANDARD METHODS FOR THE EXAMINATION OF WATER AND WASTEWATER. USE THESE SAMPLES FOR THE COLLECTION OF SAMPLES. ENSURE THAT THERE IS NO WATER IN THE TRENCH UP TO THE CONNECTION FOR SAMPLING. USE CLEAN AND DISINFECTED SAMPLING PIPE THAT HAS BEEN FLUSHED PRIOR TO SAMPLING. A CORPORATION COCK MAY BE INSTALLED IN THE MAIN WITH A COPPER TUBE GOOSENECK ASSEMBLY. THIS ASSEMBLY CAN BE REMOVED AFTER SAMPLING AND USED AGAIN.</li> <li>G. IF THE HPC TEST RESULTS ARE GREATER THAN 500 COLONY-FORMING UNITS (CFU) PER mL, FLUSH AND COLLECT A REPEAT SAMPLE UNTIL NO COLIFORMS ARE PRESENT AND HPC IS BELOW 500 CFU/mL.</li> <li>H. COLIFORM BACTERIA MUST BE ABSENT FROM THE SAMPLES AND THE BACTERIOLOGICAL QUALITY OF THE WATER EQUAL TO OR BETTER THAN THAT OF THE DISTRIBUTION SYSTEM.</li> <li>I. IF THE CONTRACTOR TESTS AND FAILS, REFLUSH THE MAIN AGAIN AND RESAMPLE. IF CHECK SAMPLES ALSO FAIL TO PRODUCE ACCEPTABLE RESULTS, RECHLORINATE THE MAIN BY THE CONTINUOUS-FEED OR SLUG METHOD UNTIL TWO CONSECUTIVE SETS OF ACCEPTABLE TESTS ARE TAKEN AT LEAST 24 HR APART. IN SOME CASES, IT MAY BE NECESSARY TO PIG OR PRESSURE WASH THE PIPE PRIOR TO RECHLORINATING THE MAIN. IT IS ADVISABLE TO CHECK THE QUALITY OF THE WATER ENTERING THE NEW MAIN BECAUSE HIGH VELOCITIES USED FOR FLUSHING MAY HAVE DISTURBED SEDIMENT IN THE SUPPLY PIPING AND RESULTED IN POOR QUALITY FEED WATER.</li> </ol> <p><b>WATER PIPE DISINFECTION:</b></p> <ol style="list-style-type: none"> <li>1. AFTER COMPLETING PRESSURE TESTING, FLUSH PIPE TO REMOVE DIRT OR OTHER FOREIGN OBJECTS.</li> <li>2. ADD LIQUID CHLORINE OR LIQUID CALCIUM HYPOCHLORITE TO PIPE TO OBTAIN 50 PPM CONCENTRATION OF CHLORINE. MAINTAIN 25 PPM CHLORINE RESIDUAL AT THE END OF 24 HOURS. DISINFECTION PROCEDURES SHALL COMPLY WITH UTAH STATE RULES FOR PUBLIC DRINKING WATER SYSTEMS, PART 11 AND AWWA C651.</li> <li>3. FLUSH CHLORINATED WATER FROM PIPE. DISPOSE OF DISCHARGED CHLORINATED WATER IN ACCEPTABLE MANNER AND IN CONFORMANCE WITH RULES OF UTAH WATER QUALITY BOARD (SEE R317 OF ADMINISTRATIVE CODE), AND/OR AWWA STANDARDS.</li> </ol> <p><b>LEGEND</b></p>	<p><b>IRON ROCK</b> ENGINEERING SURVEYING &amp; DESIGN</p> <p><i>Building on Solid Foundations</i></p> <p>460 E. 300 SOUTH KANAB, UTAH 84741 435-644-2031 www.ironrockeng.com</p> <p><b>SPECIFICATIONS SHEET</b></p> <p>98 W 300 N KANAB, UT 84741</p> <table border="1"> <thead> <tr> <th>INITIAL SUBMITTAL:</th> <th>11/13/2020</th> </tr> <tr> <th>REV#:</th> <th>DATE:</th> </tr> <tr> <th colspan="2">DESCRIPTION:</th> </tr> </thead> <tbody> <tr> <td colspan="2">NOT FOR CONSTRUCTION</td> </tr> <tr> <td>DRAWN BY:</td> <td>RLB</td> </tr> <tr> <td>SCALE:</td> <td>NA</td> </tr> <tr> <td colspan="2">SHEET:</td> </tr> <tr> <td colspan="2">C002</td> </tr> </tbody> </table>	INITIAL SUBMITTAL:	11/13/2020	REV#:	DATE:	DESCRIPTION:		NOT FOR CONSTRUCTION		DRAWN BY:	RLB	SCALE:	NA	SHEET:		C002	
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460 E. 300 SOUTH  
KANAB, UTAH 84741  
435-644-2031  
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**KANE COUNTY AMBULANCE BUILDING  
EXISTING SITE/  
DEMOLITION PLAN**

INITIAL SUBMITTAL: 11/13/2020  
REV#: DATE: DESCRIPTION:

NOT FOR  
CONSTRUCTION

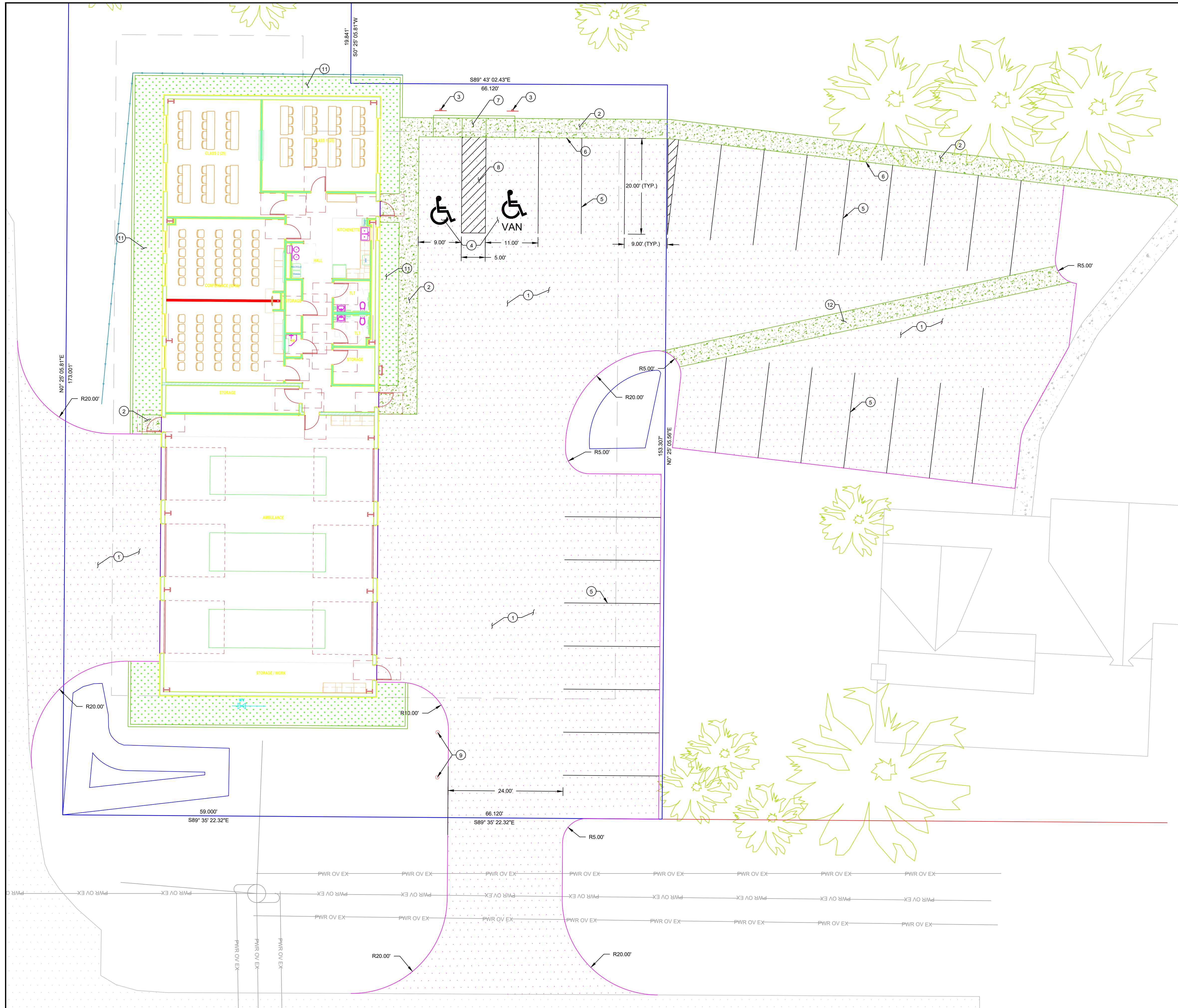
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DRAWN BY: RLB

SCALE: 1" = 20'

SHEET:

**C100**



A scale bar diagram consisting of three segments. The first segment is 10 units long, divided into 10 equal squares, with the first square being red and the rest white. The second segment is 0 units long, divided into 10 equal squares, all of which are white. The third segment is 10 units long, divided into 10 equal squares, with all squares being red. Above the segments, the values 10, 0, and 10 are written in red. Below the segments, the text "SCALE IN FEET" is written in red, followed by "SCALE 1\" data-bbox="111 111 388 208" data-label="Text"> $1"$  = 10'

**SCOPE OF WORK:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE  
SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS  
SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① PROPOSED ASPHALT SURFACE. SEE DETAIL 4 SHEET C500
- ② PROPOSED CONCRETE SURFACE. SEE DETAIL 4 SHEET C500
- ③ PROPOSED ADA SIGN. SEE DETAIL 1 SHEET C500
- ④ PROPOSED ADA ACCESSIBLE PARKING SPACE NOT TO EXCEED 2% IN ANY DIRECTION. PAINT SQUARE INTERNATIONAL SYMBOL OF ACCESSIBILITY (TYP.)
- ⑤ PROPOSED 4" PARKING LINE
- ⑥ PROPOSED THICKENED EDGE SIDEWALK ALONG FRONT OF PARKING. SEE DETAIL 8 SHEET C500
- ⑦ PROPOSED ADA RAMP. SEE DETAIL 3 SHEET C500
- ⑧ PROPOSED PAINT w/4" WIDE ACCESS ISLE STRIPING AT 45° ANGLE AND 2'-0" O.C. (TYP.)
- ⑨ PROPOSED BOLLARD. SEE DETAIL 7 SHEET C500
- ⑩ 6" LANDSCAPE CURB
- ⑪ LANDSCAPE AREA (BY OTHERS)
- ⑫ CONCRETE WATER WAY. SEE DETAIL 9 SHEET C500

# RON ROCK

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[www.ironrockeng.com](http://www.ironrockeng.com)

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# SITE PLA OUNTY AMBULANCE

1

REV#:	DATE:	DESCRIPTION:

NOT FOR  
CONSTRUCTION

DOWN BY R.I.P

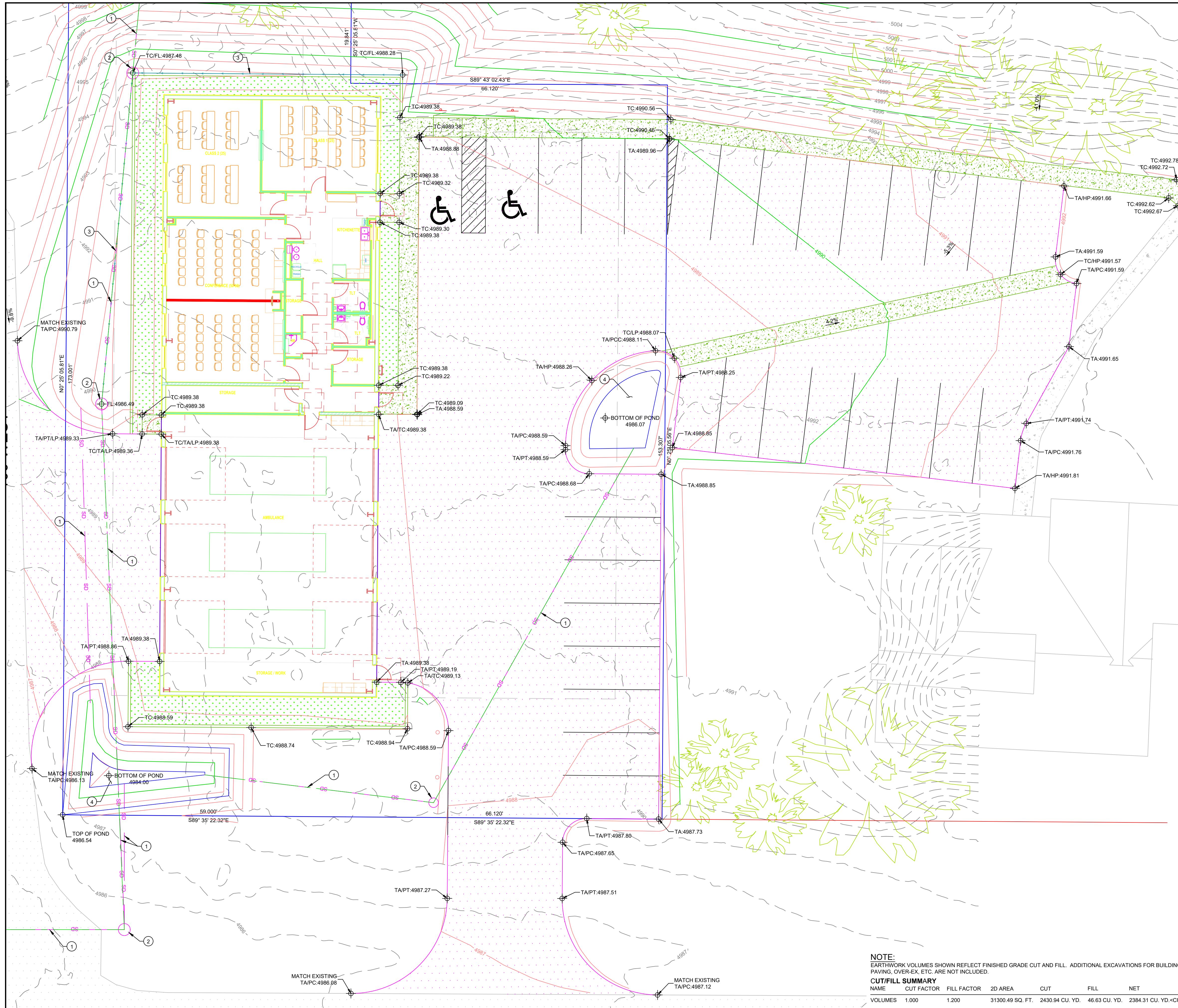
ANSWER

## MEET:

8888

C200

10 of 10 pages



10 0 10  
SCALE IN FEET  
SCALE 1" = 10'

**I**  
**IRON ROCK**  
**ENGINEERING**  
**SURVEYING & DESIGN**  
*Building on Solid Foundations*  
460 E. 300 SOUTH  
KANAB, UTAH 84741  
435-644-2031  
www.ironrockeng.com

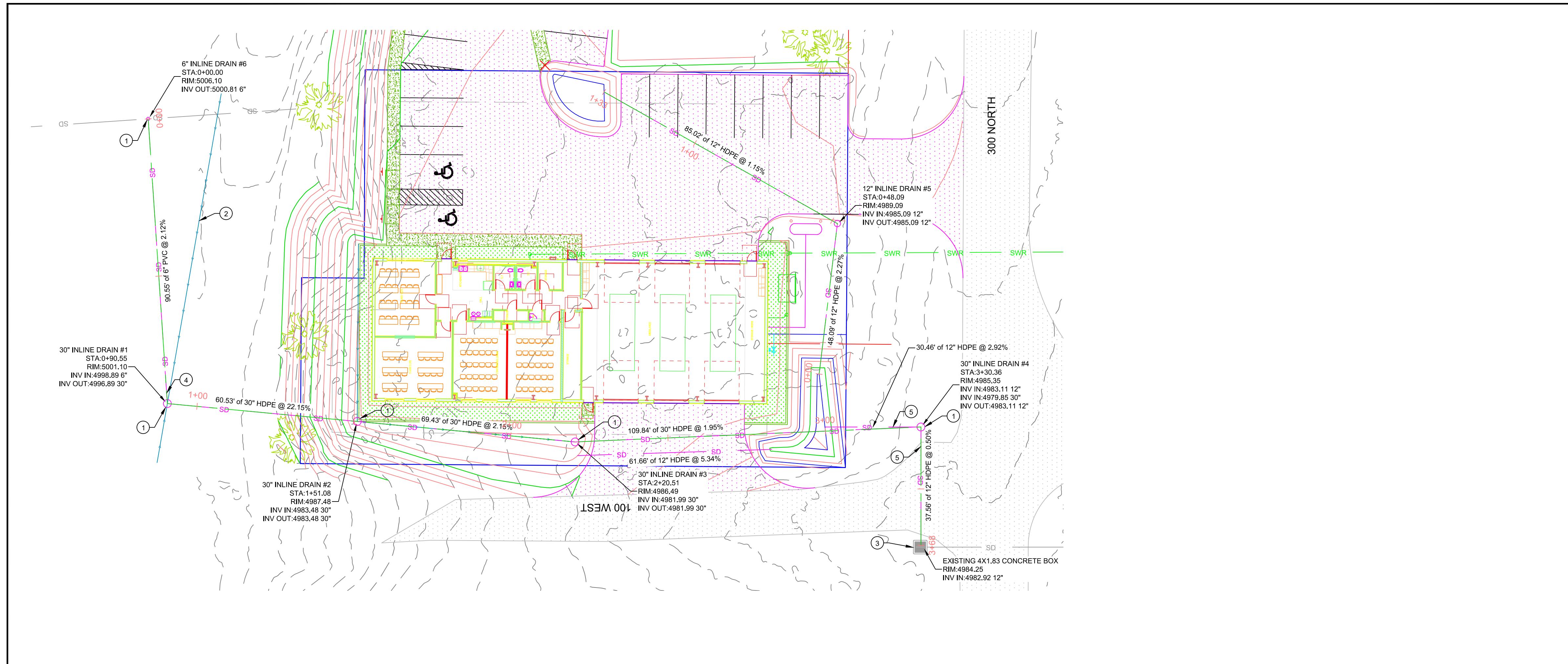
98 W 300 N  
KANAB, UT 84741  
**GRADING PLAN**

INITIAL SUBMITTAL: 11/13/2020  
REV#: DATE: DESCRIPTION:

NOT FOR CONSTRUCTION  
DRAWN BY: RLB  
SCALE: 1"=10'  
SHEET: C300

NOTE LEGEND:

TBC	- TOP BACK OF CURB
TC	- TOP OF CONCRETE
ME	- MATCH EXISTING
TS	- TOP OF STAIRS
BS	- BOTTOM OF STAIRS
PC	- POINT OF CURVATURE
PT	- POINT OF TANGENCY
GB	- GRADE BREAK
PRC	- POINT OF REVERSE CURVE
LP	- LOW POINT
HP	- HIGH POINT
AP	- ANGLE POINT
FFE	- FINISH FLOOR ELEVATION
BP	- BOTTOM OF POND
INV	- INVERT
FG	- FINISH GRADE
TA	- TOP OF ASPHALT
TG	- TOP OF GRAVEL
FL	- FLOW LINE
TW	- TOP OF WALL
BW	- BOTTOM OF WALL



20  
0  
20  
SCALE IN FEET  
SCALE 1" = 20'

SCOPE OF WORK:  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① INLINE STORM DRAIN. SEE DETAIL 1 SHEET C501
- ② TRAPEZOIDAL DRAINAGE CHANNEL. 2' DEEPx2' BOTTOMx2' SIDE SLOPES. MIN. SLOPE OF 2%. CREATE LOW POINT AT PROPOSED CONCRETE BOX
- ③ CONNECT TO EXISTING STORM DRAIN BOX AT INTERSECTION OF 100 W. AND 300 N.
- ④ CONNECT 6" HDPE TO 30" INLINE DRAIN WITH INSERT-A-TEE
- ⑤ CONNECT 12" HDPE TO 30" INLINE DRAIN WITH INSERT-A-TEE



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## PLAN AND PROFILE

98 W 300 N  
KANAB, UT 84741

INITIAL SUBMITTAL:	11/13/2020
REV#:	
DATE:	
DESCRIPTION:	

NOT FOR  
CONSTRUCTION

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DRAWN BY: RLB

SCALE: 1"=20'

SHEET:

C301

NOTE LEGEND:

TBC	- TOP BACK OF CURB
TC	- TOP OF CONCRETE
ME	- MATCH EXISTING
TS	- TOP OF STAIRS
BS	- BOTTOM OF STAIRS
PC	- POINT OF CURVATURE
PT	- POINT OF TANGENCY
GB	- GRADE BREAK
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LP	- LOW POINT
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TA	- TOP OF ASPHALT
TG	- TOP OF GRAVEL
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BW	- BOTTOM OF WALL





**KANE COUNTY AMBULANCE BUILDING**

**PLAN AND PROFILE**

98 W 300 N  
KANAB, UT 84741

**IRON ROCK**  
**ENGINEERING**  
SURVEYING & DESIGN

*Building on Solid Foundations*

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435-644-2031  
www.ironrockeng.com

INITIAL SUBMITTAL: 11/13/2020

REV#: DATE: DESCRIPTION:

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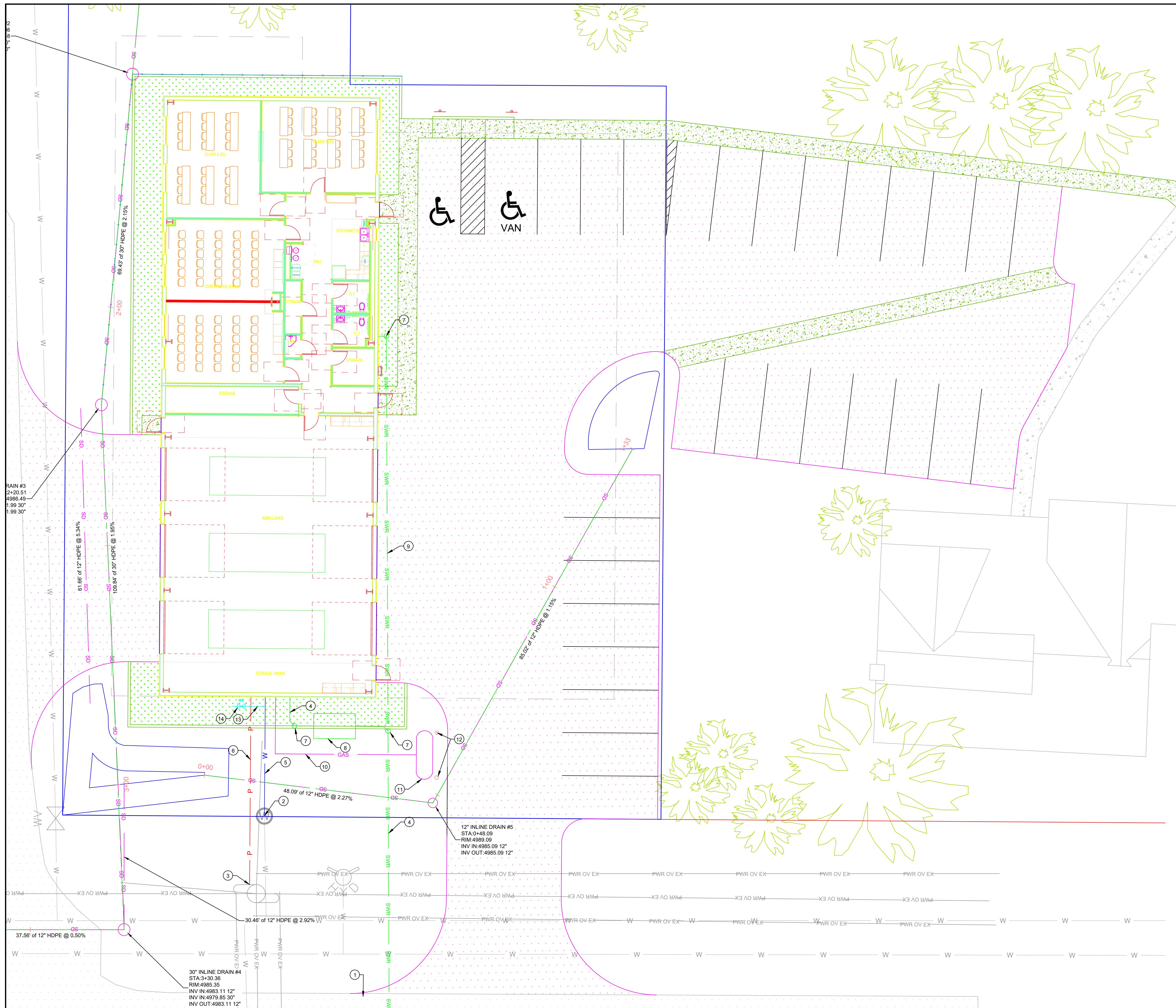
DRAWN BY: RLB

SCALE: 1"=20'

SHEET: C302

NOTE LEGEND:

TBC	- TOP BACK OF CURVE
TC	- TOP OF CONCRETE
ME	- MATCH EXISTING
TS	- TOP OF STAIRS
BS	- BOTTOM OF STAIRS
PC	- POINT OF CURVATURE
PT	- POINT OF TANGENCY
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PRC	- POINT OF REVERSE CURVE
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TW	- TOP OF WALL
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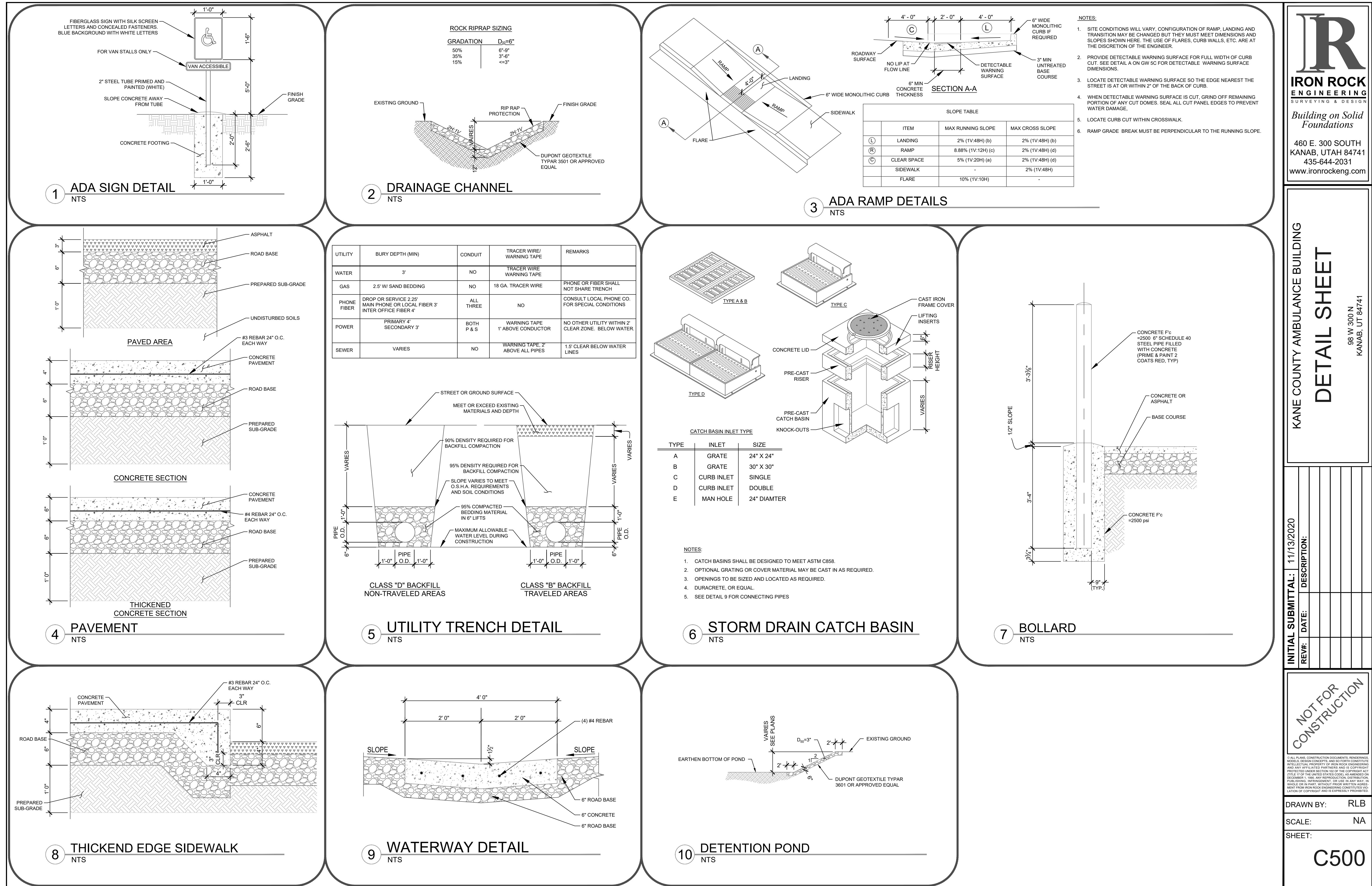


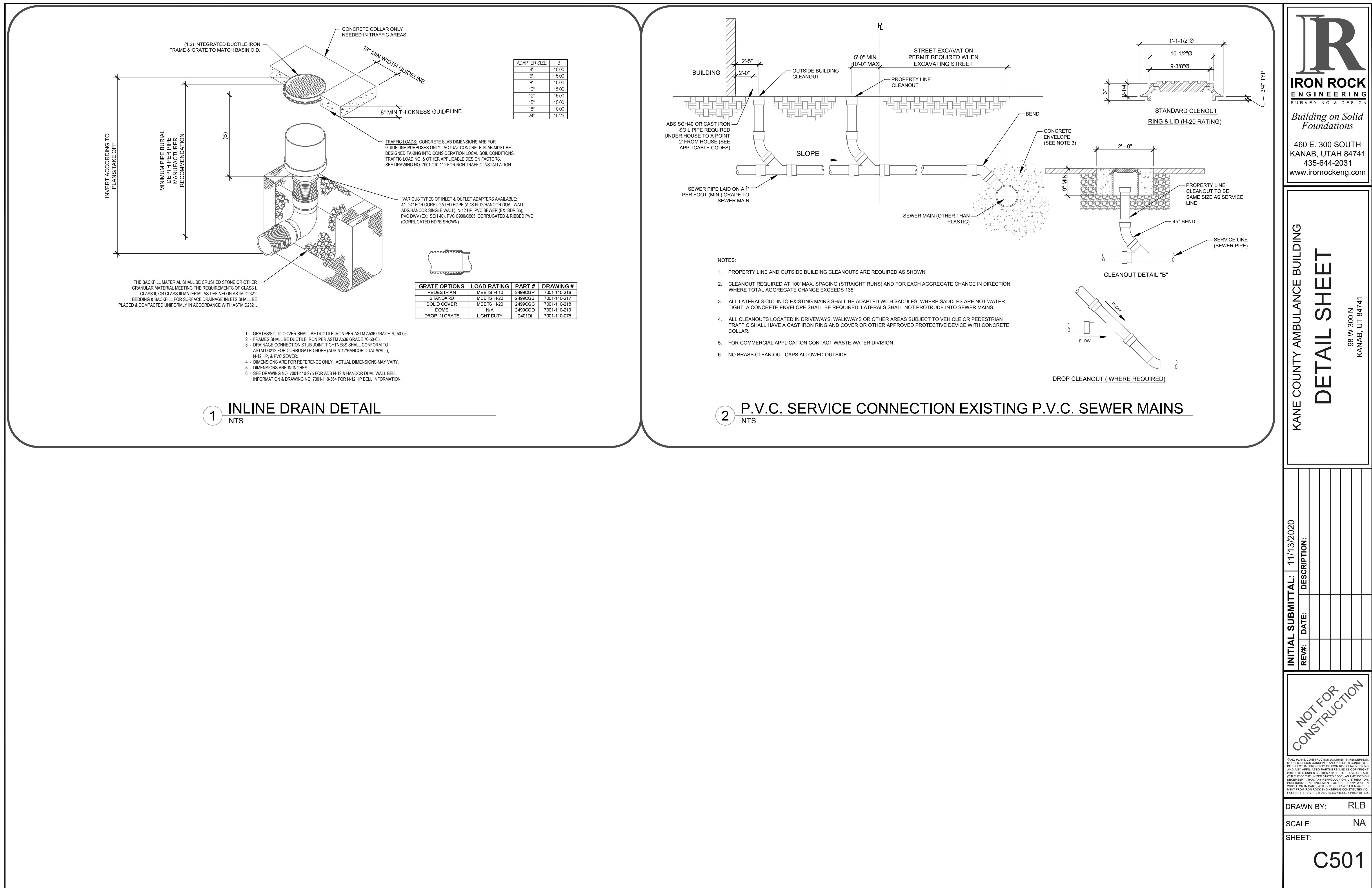
Building on Solid Foundations

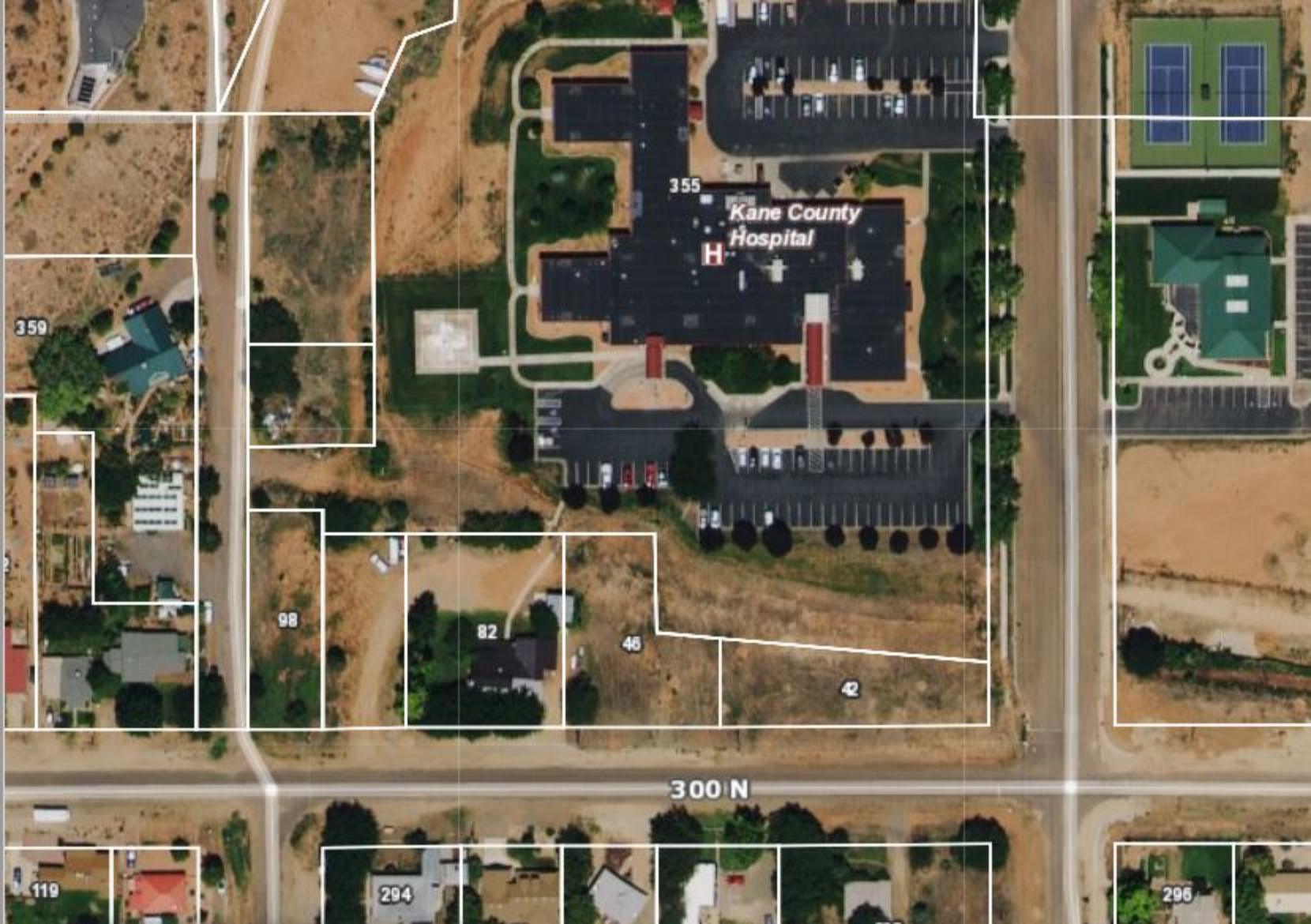
460 E. 300 SOUTH  
KANAB, UTAH 84741  
435-644-2031  
www.ironrockeng.com

## UTILITY PLAN

98 W 300 N  
KANAB, UT 84741







**From:** [noreply@civicplus.com](mailto:noreply@civicplus.com)  
**To:** [mreynolds@kanab.utah.gov](mailto:mreynolds@kanab.utah.gov); [kohlwiler@kanab.utah.gov](mailto:kohlwiler@kanab.utah.gov); [jchatterley@kanab.utah.gov](mailto:jchatterley@kanab.utah.gov)  
**Subject:** Online Form Submittal: Zone Change Application  
**Date:** Friday, November 13, 2020 12:52:18 PM

---

## Zone Change Application

### Fees

*The calculated fees for a Zone Change of \$250 + \$10/mailer are required before processing of this application can begin. After submitting this application, the applicant will have the opportunity to pay by mail or hand deliver to the Kanab City Office.*

### Applicant Information

First Name	Tom
Last Name	Avant
Address1	460 East 300 South
Phone	435-644-2031
City	Kanab
State	UT
Zip	84741
Property Location	2221 S Powell Dr, Kanab, UT. Lot 719 Kanab Creek Ranchos Unit 7
Existing Use of Property	Vacant
Use of Adjacent Property	Vacant/Residential

---

(Section Break)

---

Select the current Zone    M-1 (Manufacturing Zones)  
District that you are  
requesting to change  
FROM.

---

Select the current Zone    RR1 - (Rual Residential 1 acre)  
District that you are  
requesting to change  
TO.

---

Acres

---

Parcel ID K-134-719

---

Development Time Table Earliest possible

---

Intended Use of Property Residential

---

Describe All Sensitive Lands Imacts N/A

---

Developer Address (if different than applicant)

---

First Name Josh

---

Last Name Johnson

---

Address1 1343 S Powell Dr

---

Phone 435-840-2548

---

City Kanab

---

State UT

---

Zip 84741

---

A list of names, street addresses and mailing addresses for owners of property within 140 feet from the outer boundary of the subject property. This includes the property owners across the street and in the rear of the subject property. In determining the 140 feet, the width of any intervening street or alley shall not be included.

---

Provide information for Owner(s)/Manager(s) if different than applicant. Josh and Shayla Johnson  
AND  
Douglas and Jennifer Ann Sibanda

---

The following items may be required before processing of Application can begin:

---

**A. Development Plan**

*Two (2) copies of a development plan with necessary sketches drawn to scale showing the subject property and the surrounding properties within 140 feet of subject property and where pertinent, the use or uses, dimensions and locations of proposed and existing structures (including signs), area to be reserved for vehicular and pedestrian circulation, parking, public uses, landscaping and other open spaces.*

---

**B. Covenants and Deed Restrictions**

*If there are any covenants or deed restrictions in effect relative to any of the subject property.*

---

**C. Legal Description of Subject Property, certified by a licensed land surveyor in the State of Utah.**

---

What is the present General Plan designation for the property?

Very Low Density Residential

---

Is the requested zone consistant with the General Plan designation?

No

---

Attach a property plat showing the proposed rezone parcel highlighted.

[20-1113 JOHNSON ZONE CHANGE MAP.pdf](#)

---

(Section Break)

---

Email

TOM@IRENG.NET

---

Date

11/13/2020

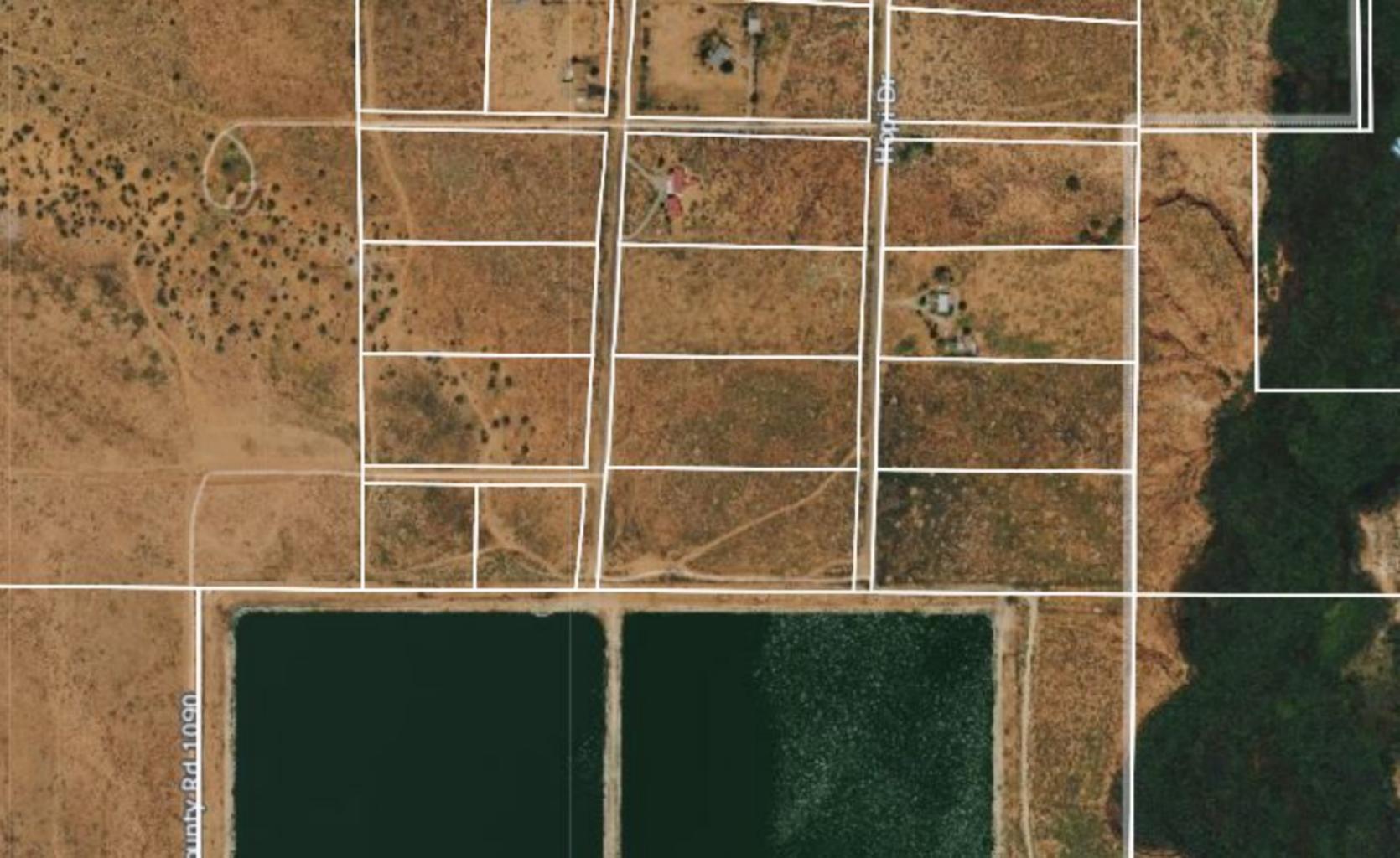
---

Signature of All Property Owner's (if more than one)

TOM AVANT

---

Email not displaying correctly? [View it in your browser.](#)



Boundary Rd 1000

Hopi Dr

## PLAT AMENDMENT

**From:** [noreply@civicplus.com](mailto:noreply@civicplus.com)  
**To:** [mreynolds@kanab.utah.gov](mailto:mreynolds@kanab.utah.gov); [kohlwiler@kanab.utah.gov](mailto:kohlwiler@kanab.utah.gov); [jchatterley@kanab.utah.gov](mailto:jchatterley@kanab.utah.gov)  
**Subject:** Online Form Submittal: Minor Subdivision Application (also commonly referenced as a Lot Split)  
**Date:** Tuesday, November 17, 2020 5:28:29 PM

---

### Minor Subdivision Application (also commonly referenced as a Lot Split)

Property Location      Lot 719 Kanab Creek Ranchos Unit 7

Parcel Number:      K-134-719

An applicant may subdivide property into less than 10 lots as a minor subdivision, provided that all proposed lots or parcels front a dedicated public street, comply with the applicable zone standards, and are approved through the process as outlined in the Subdivision Ordinance.

Existing Subdivision      Kanab Creek Ranchos Unit 7  
Name (Plat  
Amendment)

Requested Subdivision      Cliff View Acres  
Name (not within  
existing Subdivision)      **Typically Not Allowed in existing Subdivision**

Property Owner      Josh & Shayla Johnson and Douglas & Jennifer Sibanda

Address      1343 S Powell, Kanab

Property Owner Phone  
Number      435-840-2548

Property Owner E-mail  
Address      hrnhnntn.jj@gmail.com

Applicant Name      Thomas Avant

Applicant Address      460 E 300 S, Kanab

Applicant Phone  
Number      435-644-2031

Applicant E-mail  
Address      tom@ireng.net

Engineer      Thomas Avant

Engineer Address      460 E 300 S, Kanab

## Contact Phone Number

---

Contact Phone Number 435-644-2031

---

Description or Summary of What the Applicant is Requesting Looking to split 5.24 acres into 4 even lots of approximately 1.31 acres each. All 4 lots front a city street.

---

## Fees/Deposit

*The calculated fee/deposit for this application is \$600 + \$10 per mailer notification is required before processing of this application can begin. After submitting this form the applicant will have an opportunity to pay the required fees/deposits by mail, or hand deliver to the Kanab City Office.*

---

Provide Two (2) 24" x 36" size copy and Six (6) 11" x 17" size copies of a Minor Subdivision Plat drawing. The plat shall also include:

*Parcel splits within an existing Subdivision; a plat map is an Amended Plat and shall include narrative stating Amended Subdivision Plat. Parcel splits not within an existing Subdivision; a Record Survey may be acceptable and it is not an Amended Plat. -The proposed subdivision name. -The name and address of the applicant, engineer, or surveyor for the subdivision and owners of the land to be subdivided. -The boundary dimensions and legal description of the subdivision and each lot within 0.010' with the point of beginning clearly labeled. -A minimum scale of 1"=50'. -Existing rights-of-way and easement grants of record for streets, underground utilities and other public purposes. -A north arrow facing the top of right margin. -The latest date on each sheet. -The acreage or square footage for all parcels or lots and the length and width of the blocks and lots intended for sale. -A legend of symbols. -All survey monuments. -The streets indicating numbers and/or names and lots numbered consecutively. -The location, width, center-line bearings and curve data (including delta angle, radius, length, tangent and the long cord on curves) and other dimensions of all existing proposed or platted streets and easements. -The streets, lots, and properties within two hundred feet (200') surrounding the subdivision shown in ghost lines.*

---

Also including the approval signature blocks for:

*-Owner's dedication and acknowledgement. -Surveyor's stamped certificate with subdivision boundary legal description. -City Surveyor's approval. -City Engineer's approval. -City Attorney's approval. -Director of Public Works approval. -Planning Commission acceptance. -City Council approval. -City Recorder's certificate.*

---

## Utility Service Commitment Letters

*A letter from the power, water, and sewer utility provider stating its commitment to provide service to the proposed project and to be operational prior to the issuance of any building permit. Include written approval from the Public Health Department if it is determined that the property is not serviced by the public sewer system.*

---

## Mailing Labels

*For a public hearing notice not in an existing Subdivision, furnish two (2) sets of type written address labels to all property owners within one hundred and forty (140) feet of the property that is the subject of the proposed parcel change, addressed to the owner's mailing address appearing on the rolls of the Kane*

County Assessor.

---

Title Report

*Title Report prepared within the previous 30 days.*

---

Kanab City Engineer Review and Approval

*This application is not considered complete until all required documents are submitted to the Kanab City Manager for review and approval by the Kanab City Engineer. Typically two weeks is required for this process. The Kanab City Engineer will provide a letter stating that either the application is complete and approves the application or the Kanab City Engineer will indicate in a letter format any missing or incomplete information which is required before approval will be granted. Refer to the Kanab City Subdivision Ordinance and the Kanab General Plan for additional information.*

---

Applicant Signature      Thomas Avant

---

Date      11/17/2020

---

Owner Signature      Thomas Avant

---

Date      11/17/2020

---

(Section Break)

---

Kanab City Use Only

---

City Received Date      *Field not completed.*

---

Received By      *Field not completed.*

---

Planning Commission  
Review Date      *Field not completed.*

---

Decision      *Field not completed.*

---

Kanab City Council  
Meeting Date      *Field not completed.*

---

Decision      *Field not completed.*

---

Kanab City Official  
Signature      *Field not completed.*

---

Date      *Field not completed.*

---

Print      *Field not completed.*

---

*AMENDED LOT 719 KANAB CREEK*  

---

*RANCHOS NO 7*  

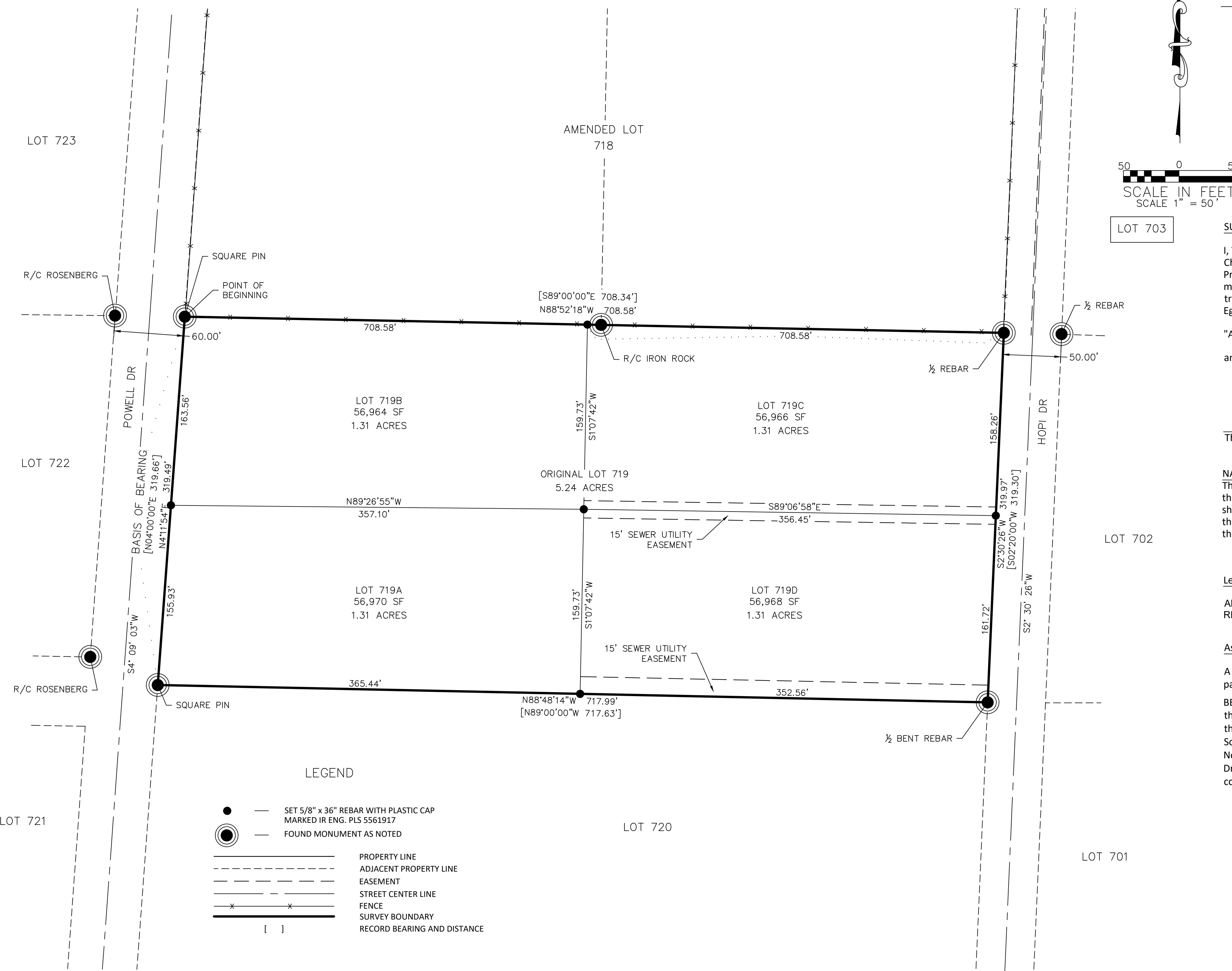
---

*CITY OF KANAB, UTAH*  
*LOCATED IN S $\frac{1}{2}$  SE $\frac{1}{4}$  OF SECTION 5,  
TOWNSHIP 44 SOUTH, RANGE 6 WEST,  
SALT LAKE BASE AND MERIDIAN*

## *Building on Solid Foundations*

460 E. 300 SOUTH  
KANAB, UTAH 84741  
435-644-2031  
[www.ironrockeng.com](http://www.ironrockeng.com)

AMENDED LOT 719  
KANAB CREEK RANCHOS NO 7  
KANAB, UTAH



## SURVEYOR'S CERTIFICATE

I, Thomas W. Avant, a Professional Land Surveyor, License No. 5561917, hold this license in accordance with Title 58, Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act and have completed this survey of the Property described hereon in accordance with Section 17-23-17 and have verified all measurements and have placed monuments as represented on this plat. I certify that by authority of the hereon owners, I have made a survey of the tract of land as shown on this Plat and have subdivided the same tract into 2 lots as well as Public Utility and Ingress & Egress Easements, as shown, which are herein after known as

"AMENDED LOT 719 KANAB CREEK RANCHOS NO 7"

and that the same has been correctly surveyed and staked on the ground as sown on this plat.

---

Thomas W. Ayant, PLS # 5561917

---

Date:

## NARRATIVE

The purpose of this survey was to retrace and subdivide on the ground the lines as shown on this Minor Subdivision at the request of the client. The purpose of the survey is to delineate the boundaries. All corners are set and found as shown. The basis of bearing for this survey is the Utah State Plane coordinate system South Zone, as measured between the Southwest and Northwest corners of Lot 719 with a basis of S 4°11'54" W and a distance of 319.42', as shown on this Plat.

### Legal Description:

ALL OF LOT 719 KANAB CREEK RANCHOS NO 7, AS RECORDED IN THE OFFICE OF THE KANE COUNTY RECORDER, UTAH. (K-134)

### As-Surveyed Description:

A portion of the S½ SE¼ of Section 5, Township 44 South, Range 6 West, Salt Lake Base and Meridian, more particularly described as follows:

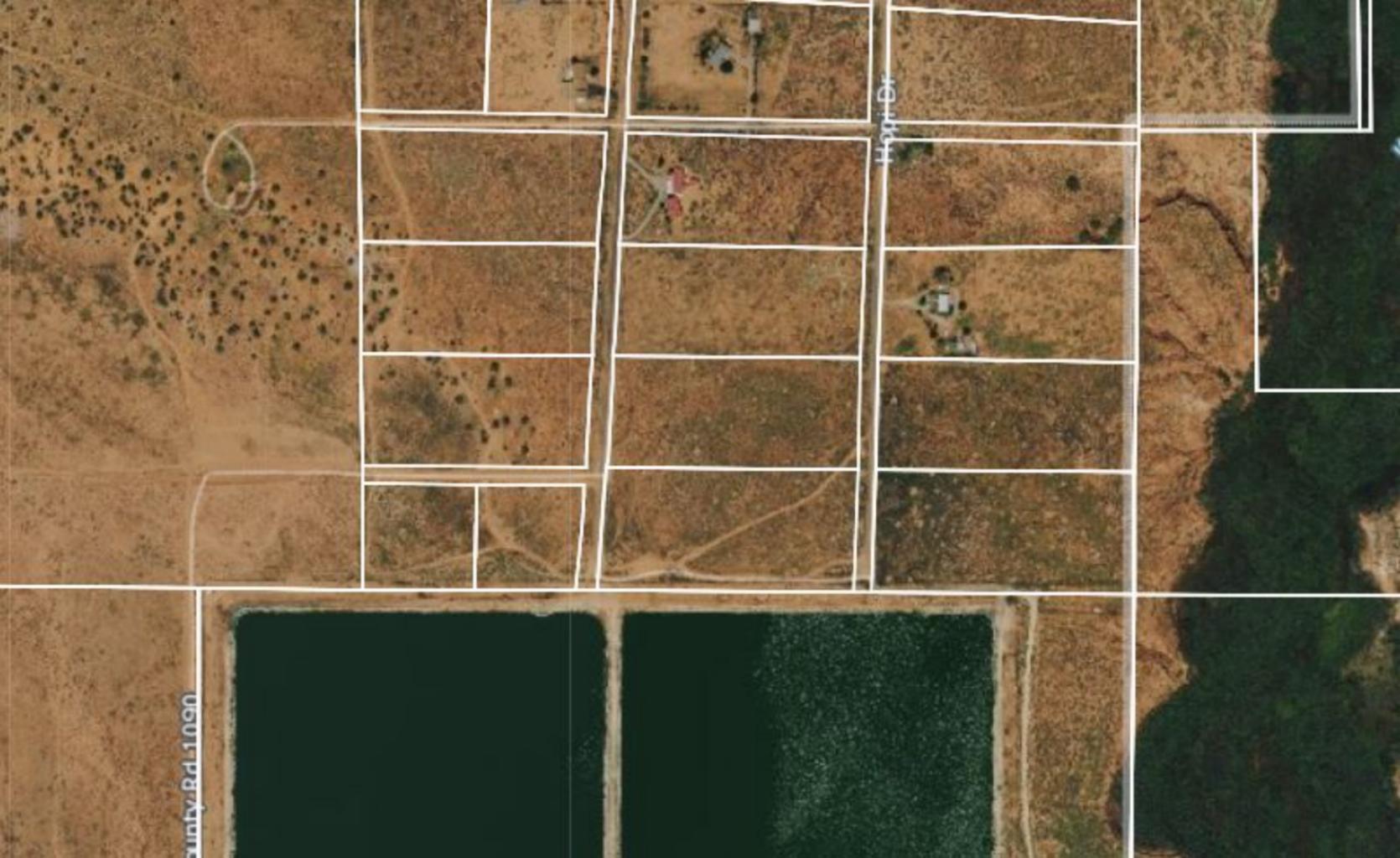
BEGINNING at the northwest corner of Lot 719 of the Kanab Creek Ranchos NO 7, as recorded in the Office of the Kane County Recorder, Utah; thence, along the north line of said lot, South 88° 52' 18" East 708.58 feet, to the northeast corner of said lot and the westerly right-of-way of Hopi Drive; thence, along said right-of-way, South 02° 30' 26" West 319.97 feet, to the southeast corner of said lot; thence, along the south line of said lot, North 88° 48' 14" West 717.99 feet, to the southwest corner of said lot and the easterly right-of-way of Powell Drive; thence, along said right-of-way, North 04° 11' 54" East 319.49 feet, to the POINT OF BEGINNING, containing 5.24 acres more or less.

SURVEYED AT THE REQUEST OF :  
Josh and Shayla Johnson  
1343 S Powell Dr  
Kanab, UT 84741

## REFERENCED DOCUMENTS

- FINAL PLAT OF KANAB CREEK RANCHOS NO 7 (K-134)
- AMENDED LOT 718 OF KANAB CREEK RANCHOS UNIT # 7 (K-134-718-AMENDED)

<p style="text-align: center;"><u>ACKNOWLEDGMENT</u></p> <p>STATE OF UTAH, ) s.s. COUNTY OF .) On this _____ day of _____, 20____, personally appeared before me Joshua Johnson, who is personally known to me (or satisfactorily proved to me), and who being by me duly sworn did say that they executed this Plat.</p> <p style="text-align: center;">NOTARY PUBLIC</p>		<p style="text-align: center;"><u>ACKNOWLEDGMENT</u></p> <p>STATE OF UTAH, ) s.s. COUNTY OF .) On this _____ day of _____, 20____, personally appeared before me Shayla Johnson, who is personally known to me (or satisfactorily proved to me), and who being by me duly sworn did say that they executed this Plat.</p> <p style="text-align: center;">NOTARY PUBLIC</p>		<p style="text-align: center;"><u>ACKNOWLEDGMENT</u></p> <p>STATE OF UTAH, ) s.s. COUNTY OF .) On this _____ day of _____, 20____, personally appeared before me Douglas Sibanda, who is personally known to me (or satisfactorily proved to me), and who being by me duly sworn did say that they executed this Plat.</p> <p style="text-align: center;">NOTARY PUBLIC</p>		<p style="text-align: center;"><u>ACKNOWLEDGMENT</u></p> <p>STATE OF UTAH, ) s.s. COUNTY OF .) On this _____ day of _____, 20____, personally appeared before me Jennifer Ann Sibanda, who is personally known to me (or satisfactorily proved to me), and who being by me duly sworn did say that they executed this Plat.</p> <p style="text-align: center;">NOTARY PUBLIC</p>	
						<p><u>OWNER'S DECLARATION</u></p> <p>Know all men by these presents that the undersigned Joshua Johnson and Shayla Johnson, husband and wife, as joint tenants, as to an undivided 50% interest, Douglas Sibanda, and Jennifer Ann Sibanda, husband and wife, as joint tenants, as to undivided 50% interest, all as tenants in common, are the owners of the above described tract of land, and hereby cause the same to be subdivided into two lots to be hereafter known as Annexed Lot 79 Kanab Creek Ranchos No 7, the undersigned owners also hereby re-convey to any and all public utility companies a perpetual, non-exclusive easement over the public utility easements shown on this plat. The same to be used for the installation, maintenance and operation of utility lines and facilities.</p> <p>IN WITNESS WHEREOF I have set my hand this the _____ day of _____, 20____.</p> <p style="text-align: center;">Joshua Johnson      Shayla Johnson      Douglas Sibanda      Jennifer Ann Sibanda 133 S Powell Dr      143 S Powell Dr      2225 S Powell Dr      225 S Powell Dr Kanab, UT 84741      Kanab, UT 84741      Kanab, UT 84741      Kanab, UT 84741</p>	
<p><u>CITY PUBLIC WORKS DIRECTOR CERTIFICATE</u></p> <p>I, _____, Kanab City Public Works Director, do hereby certify that this office has examined the above Plat and have determined that it is correct and in accordance with information on file in this office and recommend it for approval this _____ day of _____, 20____.</p> <p style="text-align: center;">KANAB CITY PUBLIC WORKS DIRECTOR</p>		<p><u>CITY SURVEYOR CERTIFICATE</u></p> <p>I, _____, Kanab City Engineer, do hereby certify that this office has examined the above Plat and have determined that it is correct and in accordance with information on file in this office and recommend it for approval this _____ day of _____, 20____.</p> <p style="text-align: center;">KANAB CITY SURVEYOR</p>		<p><u>APPROVAL of the PLANNING COMMISSION</u></p> <p>On this the _____ day of _____, 20____, the Planning Commission of Kanab City, Utah, having reviewed the above Plat and having found that it complies with the requirements of the Kanab City's planning and zoning ordinances, and by authorization of said commission hereby recommend approval of said plat for acceptance by Kanab City, Utah.</p> <p style="text-align: center;">CHAIRMAN Planning Commission</p>		<p><u>APPROVAL AND ACCEPTANCE</u> by the Kanab City Council</p> <p>We the Kanab City Council have reviewed the herein Plat and by authorization of said Kanab City Council recorded in the minutes of its meeting of the _____ day of _____, 20____, hereby accept the said plat with all commitments and all obligations pertaining thereto and is hereby ordered filed for record in the Office of the Kane County Recorder.</p> <p style="text-align: center;">KANE COUNTY RECORDER      ENTRY NO.      RECORDED AND FILED AT THE REQUEST OF DATE      TIME      BOOK      PAGE      FILE</p> <p>Attest: _____      Mayor - Kanab City Recorder      Kanab City Council</p>	
						<p><u>CERTIFICATE OF RECORDING</u></p> <p>I, _____, Recorder of Kane County, do hereby certify that above Plat was filed for recording in my office this _____ day of _____, 20____.</p> <p style="text-align: center;">KANAB CITY ATTORNEY</p>	
<p><b>DRAWN BY: MJS</b></p> <p><b>SCALE: 1" = 50'</b></p> <p><b>SHEET: 1 OF 1</b></p>							



Boundary Rd 1000

Hopi Dr