



# City of Hurricane

**Mayor  
Manager**

John W. Russell      Clark B. Forsyth

**City**

## ***Planning Commission***

Mark Borowiak, on leave

Michelle Cloud

Paul Farthing, Chairman

Rebecca Bronemann

Chris Christensen

Ralph Ballard

Shelley Goodfellow

Mark Sampson

Dayton Hall, Vice Chairman

## **AGENDA OF A MEETING OF THE HURRICANE CITY PLANNING COMMISSION 6:00 p.m.**

**Thursday, December 10, 2020**

Notice is hereby given that the Hurricane City Planning Commission will hold a Regular Meeting commencing at  
**6:00 p.m. in the Hurricane City Hall 147 N 870 W, Hurricane, UT.**

**The meeting will also be held electronically here:**

**Please join my meeting from your computer, tablet or smartphone.**

<https://global.gotomeeting.com/join/378373693>

**You can also dial in using your phone.**

United States: [+1 \(646\) 749-3122](tel:+16467493122)

**Access Code:** 378-373-693

A roll call will be taken, along with the Pledge of Allegiance and prayer and /or thought by invitation.

Details on these applications are available in the Planning Department at the City Office, 147 N. 870 West.

### **Workshop**

A workshop to discuss the proposed General Plan Update, including goals and the General Plan Map.  
Logan Simpson Host

### **Public Hearings**

1. A Zoning Map amendment request on 25.99 acres located at approximately 3300 West 600 North from M-1, Light Industrial, to R1-6, Single Family Residential up to around six units per acre. Parcel H-3-1-30-320
2. A Zoning Map amendment request on 5.814 acres located at approximately 170 S 1760 West from R1-6, Single Family Residential 1 unit per 6,000 square feet and R1-10, Single Family Residential 1 unit per 10,000 square feet, to PDO, Planned Development Overlay. Parcels H-POI-1 through H-POI-19, H-3-1-33-3323, H-3-1-33-3318, H-3-1-33-3324, and H-3-1-33-3325.

3. A proposed Land Use Code amendment to Title 10-chapter 16, table 10-16-1 regarding uses in the M-1 zone.

2020-ZC-37	Consideration and possible recommendation of a zoning map amendment request on 25.99 acres located at approximately 3300 West 600 North from M-1, Light Industrial, to R1-6, Single Family Residential up to around six units per acre.Parcel H-3-1-30-320. Lagom LLC Applicant, Greg Sant-Perry Homes Agent.
2020-ZC-38	Consideration and possible recommendation of a zoning map amendment request on 5.814 acres located at approximately 170 S 1760 West from R1-6, Single Family Residential 1 unit per 6,000 square feet and R1-10, Single Family Residential 1 unit per 10,000 square feet, to PDO, Planned Development Overlay. Parcels H-POI-1 through H-POI-19, H-3-1-33-3323, H-3-1-33-3318, H-3-1-33-3324, and H-3-1-33-3325. James Duane and Julie White, Stormi LLC, MichaelRay and Sherrie Yvette Foote, Cody Olsen, Colten Iverson, TC INV Holdings LLC Applicants; Scott Stratton Agent
2020-LUCA-09	Consideration and possible recommendation on a proposed Land Use Code amendment to Title 10-chapter 16, table 10-16-1 regarding uses in the M-1 zone. Proposed by the Planning Department
2020-CUP-11	Consideration and possible approval of a conditional use permit for a metal building at 1289 S 160 W, Carol Dever Applicant.
2020-CUP-12	Consideration and possible approval of a conditional use permit for a Greater Height and Size Accessory Building at 1289 S 160 W, Heather Lewis Applicant.
2020-CUP-13	Consideration and possible approval of a conditional use permit for a Greater Height Accessory Building at 717 S 775 W, Michael Nielson Applicant.
2020-APA-08	Consideration and possible recommendation of an agriculture protection overlay zone request on 40 acres located at approximately 1100 W and 2700 S, for parcels H-3359-A, H-3359-B, and H-3359-C. Milton W Hall Family LC, and Eight Acres, LLC Applicants, Mac J Hall and Dayton L Hall Agents.
2020-PP-23	Consideration and possible recommendation for a Three Lot Preliminary Plat for Parkside Subdivision, located at appx at Main Street and 200 N. Laine Matthews Applicant, Brown Consulting Engineers Agent.
2020-PP-24	Consideration and possible recommendation for a 71 Lot Preliminary Plat for Dixie Heights Subdivision, located at appx at 3870 W and 2570 S. Western Mortgage and Realty Company Applicant, Brent Moser and Karl Rasmussen Agent
2020-PP-25	Consideration and possible recommendation for a Seven Lot Preliminary Plat for Winder Estates Subdivision, located at appx at 1400 W and 400 S. Winder Loretta TR Applicant, Kathy Hurst Agent

**Planning Commission Business:**

- Consideration and Approval of Planning Commission 2021 Schedule

**Approval of Minutes:** Nov 12, 2020

**Adjournment**

Draft Goals, Policies, and Strategies for Planning Commission Review

November 12, 2020Draft Goals, Policies, and Strategies for Planning Commission Review

November 12, 2020

The Following Goals, Policies, and Strategies have been pulled from the [existing 2011 General Plan](#), pulled from public input, and developed through best practices by Logan Simpson, Zions Public Finance, and City planning staff. The goals and policies support and advance the vision statements that were developed in the summer of 2020 and are supported by the existing conditions document put together in the spring.

Goals are big picture items that were largely created through listening to the community; policies support the goals and should be used for policy guidance to assist in decision making; strategies are specific steps the City can take to achieve each goal. Strategies will ultimately be used alongside the final chapter in the Have Your Say Hurricane document, Implementation. The Implementation Chapter combines the strategies from each section and groups them together into “tasks” to ensure the most efficient use of City resources. The implementation chapter will also list key information such as timeline, priority, cost, and responsibility for each grouped task.

## Our Character and Heritage

### **Goal: Maintain Hurricane's strong sense of place, quality of life, and unique character**

Hurricane's setting, history, and built and natural environments make the City unique and creates a sense of place that residents and visitors value. Key components that contribute to Hurricane's sense of place and quality of life include its spectacular geographic setting; open spaces including natural open lands and farm fields and orchards; its historic buildings and places; proximity and access to a variety of recreational activities; and its friendly small-town feel. The following policies and strategies are designed to support Hurricane's character and quality of life.

#### **Policies**

1. Hurricane supports the preservation, restoration, renovation, and adaptive re-use of historic buildings.
2. Hurricane's history and historic buildings should be accessible to the general public, through such means as historical markers, scenic tours, authentic re-creations, and enactments.
3. New development should be planned and designed to enhance the qualities and character that Hurricane residents and visitors value.
4. Hurricane will continue to support and encourage local events and celebrations that bring the community together and draw visitors, such as Peach Days, [the Easter Car Show](#), the Mountain Bike Festival, [equine events at the City's equine park](#), and other ~~athletic~~ events.

### Strategies (implementation items)

1. Review and revise as necessary the City's codes to incorporate development design standards to protect scenic resources, historic structures and places, sensitive areas and open spaces.
2. Consider adopting [form-based design regulations](#) in critical areas of the City and along key corridors such as SR-9 and SR-7 to ensure that new development [in Hurricane's Historical core](#) is compatible with the City's historical character.
3. Upgrade the Hurricane Historical Museum.
4. Develop a "self-guided history tour" highlighting Hurricane's historic landmarks.
5. Support and assist the City's new Farmer's Market to ensure its success.
6. [As part of local development strategy](#), develop a local trails, maps, and guides to promote Hurricane's adventurous atmosphere.

**Commented [1]:** I would like add'l info on what form-based design regulations are.

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## Goal: Preserve Hurricane's Agricultural Heritage

Much of the land area of Hurricane is in open space and agricultural uses. These open areas provide a distinct sense of place and historical context that residents value. As Hurricane grows, some of these open areas will be put to different uses, while others will remain open or in agricultural uses indefinitely. The following policies and strategies are designed to protect the City's historical and agricultural character, while allowing for well-managed growth.

### Policies



1. Hurricane encourages the preservation of farms and open pastures that recall the agricultural heritage of Hurricane and help provide a sustainable local food source.

2. ~~The City discourages leapfrog development, which fragments open and agricultural areas and places pressure on existing agricultural operations.~~ **This has already happened--so should we keep this language?**

**Commented [4]:** The City encourages development within close proximity of existing services

**Commented [5]:** we have already done this so it might be a mute point??

3. The City supports flexibility and some diversity in land uses in agricultural areas to promote continuing agricultural operations' economic viability. Uses such as produce stands, truck farms, event venues, [agritourism](#), seasonal activities, and worker housing may be appropriate in some agricultural areas to supplement farmers' incomes.

4. The City supports conversion to higher value crops to keep lands in agricultural production.

5. The City will work with landowners to provide regulatory agricultural protections where desired and feasible. **While not restricting public utility corridors.**

**Commented [6]:** "where desired and feasible" leaves the City flexibility for a case-by-case basis

**Commented [7]:** Uintah county, WY utility and ag standards

6. The City will continue to facilitate low cost water and power to agricultural operations.

### Strategies (implementation items)

1. Develop regulatory criteria for reviewing and acting on applications for rezoning land from agricultural to other land uses.

2. Identify land uses that may be compatible with, and support, continued agricultural operations, and include them in the City Code land use tables.

3. Identify properties that could qualify for Green Belt Preservation and work with property owners to achieve that status.

4. Review City codes to identify barriers to continued agricultural production in the City

5. Consider long-term protection of farmlands and open spaces through acquisition, bonding, conservation easements, tax districts, impact fees, etc.

6. Encourage the use of and support applications for agricultural protection overlay zones.

7. Work with property owners in key agricultural areas, as shown on the General Plan Map, to adopt agriculture zoning to preserve current agricultural land uses.

### Goal: Protect and Revitalize Downtown Hurricane

**In its historical center, Historic downtown Hurricane is both an iconic rural Utah town that gives Hurricane its unique character, and is an economic engine for the City of Hurricane, drawing visitors from all over.**

## **Policies**

1. Hurricane will strive to preserve the small town feel and rural character of its historic Downtown area.
2. Hurricane supports infill development and redevelopment in the Downtown, recognizing that some requests may be outside of the current code or land use.
3. New development and redevelopment in the Downtown should be planned and designed to be compatible with the character of the historic period architecture, and should be landscaped to enhance the pedestrian experience and overall look of the area.
4. Downtown Hurricane is intended to function as a mixed use village with effective pedestrian and bicycle connectivity to the surrounding neighborhoods.
5. Hurricane supports the development of unique shops, restaurants, professional offices, financial institutions in the Downtown, and supports additional residential options, including lofts, apartments, and townhouses.
6. The City encourages and sponsors occasional promotional activities (e.g. farmer's market, Peach Days) to bring people downtown.
7. The City encourages interim uses of vacant lots and buildings Downtown (i.e. holiday markets) to draw people to the area.

**Commented [8]:** Cannot approve outside of code either way... Can add strategy to look at infill development standards in the downtown area to address this?

## **Strategies (implementation items)**

1. Develop a Downtown/historic main street master plan and accompanying zoning or overlay development standards to address:
  - a. Mixed Uses;
  - b. Design Standards;  
Infill Standards;
  - c. Building Facades;
  - d. Public Realm Enhancements;
  - e. Gathering Places

2. Explore the redevelopment of the community center area as a catalyst project to revitalize the downtown area. Conduct a fiscal impact study to understand the amount of tax revenue, jobs, and other benefits such a project could provide while considering the cost of service.
3. Beautify Downtown's public spaces by enhancing landscaping, updating public furnishings, and establishing a façade improvement program to incentivize business owners to update their storefronts.
4. Explore funding grants such as CDBG Block Grants to accomplish downtown vibrancy goals.
5. Develop a Downtown community arts program and district to display public art.
6. Create a Parking Plan for the Downtown area.
7. Review City codes to identify possible regulatory barriers to Downtown development, and identify possible incentives to support the types of development that the City supports. Options could include:
  - a. Consider a Downtown District form-based code
  - b. Evaluate parking requirements
  - c. Waive or reduce local development fees
  - d. Review project permitting processes for redundancies/inefficiencies
  - e. Consider a grant program to help local businesses update facades on buildings or provide for additional updates.

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## Our Land Use

### Goal: Managed Growth

The population of Hurricane has been steadily growing over the past ten years, and it is anticipated that the growth trend will continue for the foreseeable future. The increasing population creates an increased demand for public services, utilities, roads, schools, shopping, recreation facilities, and other goods and services. It is vital that growth be managed in a way that allows the City to provide needed services effectively and efficiently and within the limits of available resources. The Hurricane Future Land Use Map identifies areas within the City where new development is anticipated, and generally describes the land uses and levels of development that would be appropriate for each area.

## Policies

1. New development should be planned and designed to use the land area efficiently; allow for efficient delivery of utilities and services; avoid natural hazards; protect open spaces and natural features; and respect the historic context and character of the City.
2. New development should occur at intensities and in locations that can be reasonably served by existing City services and facilities to minimize the financial burden on existing residents. The costs of new development should be borne primarily by the developers.
3. Hurricane supports expansion and infill development in appropriate locations to utilize existing infrastructure and services efficiently.
4. New development should be compatible with existing surrounding land uses.
5. The City encourages the development of complete neighborhoods with necessary amenities to emphasize a sense of community.
6. The City supports small scale, convenient neighborhood stores and services throughout the City to reduce the need for cross-town traffic.

**Commented [9]:** This approach would continue the problem with patchy coverage for sidewalks, gutters, etc. across the city. Need to consider how to fund major streets in a more planned way than just rely on developers to fund street infrastructure.

**Commented [10]:** addressing in implementation section

## Strategies (implementation items)

1. Consider amending the City code to require that all new developments larger than 205 acres be master planned to protect natural features and farmlands; provide open space; and utilize efficient development patterns.
2. For land development projects located within or near identified geologic or soils hazards, a geologist, soil scientist, or civil engineer will identify, delineate, and evaluate those hazards as they affect the project area. The City should review and update the Sensitive Lands and Hillside Development requirements to help preserve natural areas.
3. Update the Capital Facilities Plans as needed to provide guidance in construction of public facilities.
4. Review and adjust, as necessary, fees to assure that new development pays the total cost of the expansion of public utilities and services to support the development.
5. Establish concurrency standards to require or secure the installation of required infrastructure as a condition of approving rezoning applications.
6. Evaluate areas within the City where development impact fees or the creation of service areas could finance needed infrastructure.
7. Consider Pursue the addition and/or expansion of a public transportation system

**Commented [11]:** I think we should be Pursuing--we have been considering for years.

**Commented [12]:** Discuss with PC - What is the City's commitment level?

**Commented [13]:** Maybe add quick poll for residents

8. Regularly coordinate with public agencies regarding the provision of roads and utilities on public lands anticipated to be developed.

9. Ensure connectivity of local trails and paths with existing trails systems in the Washington County area.

Commented [14]: Trails and Open Space

10. Ensure that development is coordinated to maintain the character ~~harmony~~ of current land uses and ~~is~~are economically viable as part of the whole ~~Generalmaster Pplan~~.

## Where We Live

Low to moderate income families are being priced out of the single family housing market based on an average sales price of \$295,600 and an affordable monthly payment of \$1291 including utilities. Allowing the development of more small lot and multifamily housing is one method the City expects to continue to facilitate moderate to low income housing. Due to the large number of units already approved, 2021 will help the City examine the effect of these additional housing options on access to housing. Another method the City expects to continue to facilitate attainable housing is continuing to encourage the leasing of accessory dwelling units associated with single family homes, which creates affordable apartment-style housing and also provides revenue that allows more residents to afford to purchase a single family home.

Commented [15]: This would require some enforcement as well to avoid increasing our BNB issues

Commented [16]: Agreed. Enforcement is an issue. City Council set aside funding to hire a new code enforcement officer, which should help.

Commented [17]: Hopefully implemented in the next fiscal year.

The specific tools outlined in Utah State Law that the City will utilize are:

1. The City will work on this re-write starting in May of 2020 with a goal of completing the re-write by November of 2020.

## Goal: Provide for Choice in Housing Options

Over the past several years, annual population growth in Hurricane has been between 5.5% and 6.5%, with both "for sale" and rental prices having notably increased. The City desires to provide housing opportunities for a range of incomes and family sizes. Historically, most residential development in Hurricane has been for owner-occupied single family homes, and the large-lot rural residential development patterns in some areas of the City support the agricultural history and character of the area.

In recent years, the City has recognized the need to approve zoning changes and project plans that provide a wider variety of housing options for Hurricane residents. A number of new multi-family housing units have been approved in recent years and are in various stages of construction and occupation. These multi-family homes are a mixture of rental apartments, rental and owner-occupied townhomes, and duplex housing.

In 2018, the City adopted the Hurricane Moderate Income Housing Plan. The Plan provides information on housing costs in Hurricane, local incomes, and the attainability of housing for City residents. The Plan also sets policies and identifies strategies to broaden housing availability. The 2018 Plan states:

"While the City cannot control the housing market, it can take steps to ensure housing options continue to be available for all residents of all income ranges and ages. These include locating appropriate land use designations for multi-family housing, manufactured home communities, and townhome development. Ensuring these land use designations are located in areas convenient to shopping, transportation, and jobs will help families keep transportation costs lower. The City will be starting an amendment of the entire General Plan in 2020 and will ensure consideration is given to these factors when finalizing the updated plan."

City policies to support an expanded and robust choice of housing options include:

## Policies

1. The City encourages the preservation of areas suitable for a rural lifestyle consistent with the City's agricultural heritage.
2. The City supports the preservation and protection of stable existing residential neighborhoods. ~~(what about airbnbs?)~~
3. The City encourages the development of affordable and proportionally priced and sized homes to meet all community residents and workers' needs. ~~New residential developments should include options for affordable housing.~~
4. The City encourages innovative approaches to provide affordable housing, and will partner with developers to develop affordable housing implementation strategies. The city will consider available economic development tools and statewide resources to encourage development of affordable housing
5. Medium and high density residential developments should be planned near support facilities such as collector and arterial roads, schools, shopping, and employment centers.
6. Medium and high density residential developments should be planned and designed to minimize impacts to nearby existing developments, while providing high-quality, attractive housing options.
7. Planning for the proposed St. George to Zion bus system should include housing options near projected stops along the route. These stops may be located in areas already built up with older housing stock that can be utilized by lower income households.
8. The City encourages well planned and managed manufactured homes as a way to provide affordable single family housing.

**Commented [18]:** The current ordinances reach the right balance re: short term rentals: 5% per capita cap on single family houses used as short term rentals and availability of short term rental in accessory dwelling unit if main home is occupied by owner and a business license is obtained. Enforcement of the ordinances is the issue--not the ordinances themselves. Enforcement is addressed in a later section.

**Commented [19]:** Every new development does not need attainable housing.

9. The City supports the development of senior living facilities that can accommodate different levels of care.

### Strategies (implementation item)

~~1. Consider adopting regulations to provide a bonus of one additional housing unit for each affordable unit provided, up to 5% of the total number of residential units.~~

~~2. Ensure that developments that receive incentives for affordable housing provide plans to maintain the affordability of the units beyond the first occupants or a minimum of a ten-year time period.~~

3. Allow for moderate income residential development in mixed-use zones and planned commercial and neighborhood commercial zones based on guaranteed low to moderate income rental or ownership rates for the next 15 years.

4. Zone for affordable housing near major investment corridors such as SR-9.

5. Continue to allow for accessory dwelling units for full-time renters. What about airbnbs?

6. ~~Consider allowing for~~ Allow for single bedroom occupancy developments with lower parking requirements.

7. Consider revising the land use code for mixed use and planned commercial zones to set specific densities and percentages of residential uses in commercial zones, with density bonuses available for deed restricted rent and sales prices.

8. Begin a study on the per-acre density standards in multi-family zones and consider how to rewrite the land use code to more easily accommodate more single bedroom units with less parking on the same size parcels, Consider amending the land use code to adjust density per acre standards to be based on number of bedrooms and parking requirements rather than unit count.

9. Coordinate with Washington and St. George to include SunTran routes in Hurricane.

10. Consider locations for future park-and-ride lots for public transportation and ride sharing.

11. Create a plan to enforce Short Term Rental violations with civil penalties to increase regulation authority.

12. Adopt a policy regarding the implementation of Public Infrastructure Districts (PIDs), as well as a vision for enacting Community Reinvestment Areas (CRAs) to support a variety of housing stock.

**Commented [20]:** I have concerns about these sections. We should not encourage density over what the code allows, even if it is to promote affordable housing. Also, how do you ensure that a developer "plans" to continue to maintain the units beyond the first occupants? This whole incentive idea is problematic and will lead to higher density, problem housing. I propose omitting these two sections.

**Commented [21]:** We need to discuss this. This is very common practice in communities to try to get some affordable housing commitments.

**Commented [22]:** further discussion needed

**Commented [23]:** Shelly: STR can create additional income reducing the need for affordable housing

13. Consider the impact of a transferrable developmental rights (TDR) program to ensure preservation of agricultural land and open space in exchange for increased intensity of uses in key, supportable areas

## Our Economy

Goal: Sustain a Diverse and Resilient Economy

### Policy

1. The City supports the revitalization of the downtown area.
2. The City strives to create an environment that will attract new business and employment to Hurricane.
3. The City strives to attract clean, non-polluting industries.
4. The City supports industrial uses with convenient access to transportation and other services.
5. The City encourages commercial development in "walkable" (pedestrian - oriented) centers.
6. The City supports private investments in workforce development, training, technology, and education for the evolving needs of a diverse workforce and changing economy.
7. The City supports the redevelopment of existing commercial and industrial sites in both urban and rural areas.
8. The City supports provision of basic and enhanced services needed to foster local employment opportunities.
9. The City supports secondary-income options on agricultural land through home and accessory rural occupations.
10. The City supports the development of businesses that will pay living wage jobs.
11. School sites should be located in such a manner that they provide educational services in convenient and safe locations.
12. The City shall work with the School District to ensure that schools are designed to minimize negative impacts on surrounding neighborhoods.
13. The City shall continue to work with Dixie State College to expand programs and facilities in the Hurricane Valley.



14. The City continually collaborates with municipalities, economic development, business groups, non-profit organizations, and educational institutions on a coordinated regional approach to economic and workforce development.

### Strategies (implementation item)

1. Coordinate with ~~Intermountain~~ Health Care companies to expand their medical facility in Hurricane.
2. Create a downtown master plan that will guide the City in redevelopment and recommend standards for public infrastructure, streets, sidewalks and trails, bike lanes, housings, and commercial uses.
3. Create an economic development master plan that will outline strategies for attracting business and retaining current business within the City.
4. Create a retail strategy plan that understands current sales tax generators and where areas of growth might be best accommodated.
5. Create a financial sustainability model that projects key future expenditures and revenues to best understand city capacity and future development potential/impacts.
6. Support creating commercial spaces in population Centers in the City to provide services to those areas.
7. Create a citywide understanding of the financial implications of each development type, clearly outlining fiscal impacts and costs of services for all commercial and residential uses.
8. Support mix uses developments in key areas to support future commercial growth. Require a minimum percentage of those developments be retained as commercial space.
9. Support continued industrial growth and zone changes in appropriate areas of the City.
10. Support the Zion Regional Collaborative to bring infrastructure improvements into the area that will help attract tourists.
11. Create activities in the downtown area to attract people to commercial sites.
12. Adopt a policy regarding the implementation of Public Infrastructure Districts (PIDs), as well as a vision for enacting Community Reinvestment Areas (CRAs) to support a variety of commercial and residential properties.

**Commented [24]:** Should this include some type of economic development council/corp. to execute plans?

**Commented [25]:** Yes I agree

## Our Open Space and Trails

## Goal: Increase Access to Recreation Amenities

### Policies

1. The City will work to provide a variety of park types and sizes to meet the broadest possible spectrum of recreational needs, readily available to serve all residents of the City.
2. The City promotes joint development of City/School park sites.
3. The City supports the transition of 100 West (from State Street to 100 South) from a vehicular road to a plaza, [provided that the transition is accompanied by the development of additional, adequate parking.](#)

### Strategies (implementation item)

1. The City will evaluate the locations, amount, and quality of recreation and open space frequently to assure that current and future populations have adequate access to these amenities.
2. The City will periodically review development impact fees and/or land dedication requirements to ensure they accurately reflect the true costs to the City of providing parks and recreation facilities for its residents.
3. Consider cost effective [and self-sustaining](#) upgrades to/expansion of the Community Recreation Center or a phased approach to expansion.
4. Review standards for level of service, proximity and service areas for pocket/neighborhood parks to expand residential access to recreation.
5. Explore feasibility of using 100 West (from State Street to 100 South) as a pedestrian oriented plaza.
6. The City will update Hurricane's Sensitive Land and Hillside Ordinance to ensure the protection of sensitive lands and open space.

[7. Develop a specific Virgin River master plan to allow and protect this sensitive area.](#)

**Commented [26]:** Natural Resource Strat: develop a sensitive areas master plan that addresses preservation of key natural spaces and wildlife corridors

## Goal: Interconnected Trail System

### Policies

1. The City encourages the development of walking and bike paths/lanes in new development to contribute to an interconnected system that links major destinations.

2. Neighborhoods should be designed to provide safe pedestrian connectivity. This may include trails between lots, wider sidewalks, and connections through open space, parks, and common areas.

3. The City encourages pedestrian connectivity to improve safety and quality of life, enhance the sense of community, encourage people to walk or bike, and increase the opportunity for neighbors to interact.

4. New trail systems shall provide access to adjacent neighborhoods, open spaces, and employment centers and tie in with the Washington County -trails system -

5. The City coordinates closely with surrounding land owners, such as BLM, to ensure local and regional trail systems are connected.

### **Strategy (implementation item)**

1. Update the City's trails and active transportation master plan to include:
  - a. Timeline, funding, and partners for proposed/planned trail projects
  - b. Identify trailheads for upgrades
  - c. Identify key locations and trailheads for wayfinding signage and maps
  - d. Standards for bike lanes and locations for future bike routes
2. Consider revising City codes to require master planning to provide open spaces and recreation facilities for all residential projects larger than 5 acres.
3. Improve key intersections where trails cross major roads with enhanced crosswalks.
4. Coordinate with canal companies to explore the possibility of canal trails.
5. Apply for grants to achieve trail connectivity goals.
6. Propose an annual trail development and acquisition budget.
7. Pursue purchasing or dedication of waterways, floodplains, and washes for trails within the City.
8. Assist in the organization of an Active Transportation Committee for hikers and bikers to engage the community in trails planning.

## **Our Natural Resources**

## Goal: Preserve Hurricane's Natural Beauty

### Policy

1. ~~New development should not obstruct views of scenic vistas and the natural quality of the SR-9 and SR-7 City gateways.~~

2. New development should preserve ridges, escarpments, river washes, and other natural features where possible; and provide open spaces for natural and public benefit.

3. The City supports and encourages the preservation of natural open space.

### Strategy (implementation item)

1. Review and revise City codes, as necessary, to implement project planning and design standards to protect scenic vistas, natural open spaces, and wildlife habitats.

2. The City will continue to monitor air quality standards set by the State Board of Air Quality and petition for standards particular to Washington County.

develop a sensitive areas master plan that addresses preservation of key natural spaces and wildlife corridors

**Commented [27]:** How do you do this? Height restrictions for certain areas? This would be inconsistent with encouraging commercial development along these primary corridors.

**Commented [28]:** New development should be conscious of existing views of scenic vistas. Does the city want to create a visual protection overlay?

## Goal: Water Quality Protection and Conservation

### Policy:

1. The City will work with the Corps of Engineers to obtain advance wetland identification to aid in prevention of wetland encroachment by public and private projects.

2. Development projects that could have adverse impacts on significant wetlands should be designed to eliminate or adequately mitigate such adverse impacts.

3. The City will coordinate closely with the Washington County Conservancy District to educate residents and promote available water-wise incentives to the public and to developers.

4. Consider revisions to the City codes to:

a. Require that new developments use turf grass sparingly, eliminating it where possible to reduce water use

b. Require new developments to use local/native plants for landscaping to reduce water use

5. [Consider updating](#) **Update** the City's landscaping and irrigation standards to conserve water usage. Techniques could include landscaping standards, approved plant lists, rainwater harvesting (where allowed), encouraging use of hydrozones, and others.
6. Ensure that City properties use xeriscaping as appropriate and water-wise irrigation methods.

### **Strategy (implementation item)**

1. The City will work with the Corps of Engineers to obtain advance wetland identification to aid in prevention of wetland encroachment by public and private projects.
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  - a. Require that new developments use turf grass sparingly, eliminating it where possible to reduce water use
  - b. Require new developments to use local/native plants for landscaping to reduce water use

5. [Consider updating](#) **Update** the City's landscaping and irrigation standards to conserve water usage. Techniques could include landscaping standards, approved plant lists, rainwater harvesting (where allowed), encouraging use of hydrozones, and others.
6. Ensure that City properties use xeriscaping as appropriate and water-wise irrigation methods.

## **Goal: Preserve Dark Skies**

### **Policies**

1. The City values our night-sky views and recognizes our regional role in preserving them.
2. New development shall utilize outdoor lighting that is shielded downwards to minimize upward light dispersal.
3. The City supports the conversion of street lighting to energy efficient LEDs.

### **Strategies (implementation items)**

1. Develop a "dark hours" campaign encouraging when commercial properties should shut off bright, unused interior lights

**Commented [29]:** This may need to be a recommended item--enforcement is impractical.

2. Convert street lighting to energy efficient LED bulbs.

**Commented [30]:** On the Dark Hours

3. Ensure outdoor lighting on City properties uses energy efficient LED lighting and is directed downward.

4. Develop a pallet of Dark Sky friendly lighting fixtures for new development.

5. Consider updating current Dark Sky ordinances to contain "shall" wording, including exceptions for safety and security lighting.

6. Dark sky lighting policies should also be part of the Residential zoning building codes and regulations. I propose this instead: "Consider adding Dark Sky components to the Residential zoning building codes for new residential developments, including exceptions for safety and security lighting."

**Commented [31]:** Again enforcement of Shall vs should may be difficult.

**Commented [32]:** Unless there is an ordinance enforcement is impossible since there is nothing to enforce

**Commented [33]:** Let me clarify. Since there is no ordinance my neighbors have flooded my dark sky with their backyard lights. I was here first before they built their house. The city's code did nothing to protect me and my rights.

The Following Goals, Policies, and Strategies have been pulled from the existing 2011 General Plan, pulled from public input, and developed through best practices by Logan Simpson, Zions Public Finance, and City planning staff. The goals and policies support and advance the vision statements that were developed in the summer of 2020 and are supported by the existing conditions document put together in the spring.

Goals are big picture items that were largely created through listening to the community; policies support the goals and should be used for policy guidance to assist in decision making; strategies are specific steps the City can take to achieve each goal. Strategies will ultimately be used alongside the final chapter in the Have Your Say Hurricane document, Implementation. The Implementation Chapter combines the strategies from each section and groups them together into "tasks" to ensure the most efficient use of City resources. The implementation chapter will also list key information such as timeline, priority, cost, and responsibility for each grouped task.

## Our Character and Heritage

**Commented [34]:** I am assuming that the last 15 pages are the same as the first 15 pages, above.

**Commented [35]:** Looks like it haha

**Goal: Maintain Hurricane's strong sense of place, quality of life, and unique character**

## Agricultural and Residential Uses

### Agricultural

Property used for keeping or pasturing of animals or raising of crops with supporting residential use. Appropriate residential density should be between one unit per 40 acres to one unit per five acres. [Note: The current AG zones run from 1 per forty to one per single 5-acres.]

### Rural Residential

These areas are adjacent to properties in the Agricultural Protection Overlay or agricultural properties. These areas should serve as a transition from agricultural to traditional neighborhoods or commercial uses. Appropriate residential densities for this land use are one or two units per acre.

### Single Family Residential

Residential neighborhoods characterized by single-family homes. These uses should be located near supporting community uses such as, but not limited to churches, schools, and parks. Appropriate residential densities for this land use are from three to seven units per acre.

### Moderate to High Density Residential

Residential neighborhoods with a combination of small-lot single family and multi-family residences that include designated shared open spaces. These uses are appropriate in near proximity to transportation, schools, and shopping. The specific conditions for each project would be addressed during the approval process. Appropriate residential densities for these land uses are six to ten units per acre.

### Planned Community

Master planned communities should be complete communities that offer a mixture of housing types and supporting uses such as neighborhood and supporting commercial uses, offices, churches, schools, and parks within the development project area. Development in this use designation should take into account the character of existing surrounding development.

## Commercial Uses

### Mixed Use

Mixed use areas should be developed as distinct districts or community centers offering a mix of retail, dining, entertainment, employment, and supporting residential uses. These developments should be easy and safe to navigate on foot and located in areas with access to major roads and surrounded by appropriate residential densities to support these uses.

**Commented [1]:** I think the use descriptions for each of the categories should include the zoning designations for each description. For example, Agricultural should include A-1 through A-40. Rural Residential should include RA-1 and RA-.5, etc. Even though these descriptions should be general in the general plan, not identifying the various zones within the general area will leave the potential uses too open to provide a meaningful planning tool.

**Commented [2]:** Workshop item - Eagle Example

**Commented [3]:** We have a new zone that allows for single acre lots

**Commented [4]:** We are using this category around our Downtown. It think it is important that Planned Community does not need to follow to PDO, but can be used as infill in developed communities.

## General Commercial

Commercial uses that provide retail, employment and service uses for the City. These developments should be located along or adjacent to major road corridors.

## Neighborhood Commercial

Retail and service uses scaled to be compatible with surrounding existing and planned future residential uses at strategic locations throughout the City.

## Downtown

This land use is concentrated in Hurricane's historic downtown district. Desired uses downtown include retail, residential, dining, public uses, and entertainment. Development in this area should build on Hurricane's unique character and heritage, reusing existing buildings where possible. This area is held to a higher standard of design and strives to create a safe and inviting environment for pedestrians.

## Gateway Commercial

The "Gateway" shall be any property aligned with main arteries, such as SR -9 and SR-7 at or near entrances to the city. The "Gateway," as established by area and definition in the Hurricane commercial district master plan, is where a combination of retail, professional businesses and related activities are encouraged and established

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Commented [5]: May add gateways to map? Discuss with PC

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## Office and Industry

### Business/Light Industrial

Uses including general business operations, employment centers, and small-scale warehousing or assembly facilities with automobile and truck access. BMP and M-1 zone designations are most appropriate for this use.

### Industrial/Heavy Manufacturing

Uses including heavy manufacturing and large-scale warehousing within large, predominately single or two story, structures. Use includes vehicular access for large trucks for raw materials and finished product shipping. The M-2 zone designation is most appropriate for this land use.

## Airport

Land uses in the area around the Hurricane Airport are limited in both use and scale to protect area residents and ensure safe use the airport.

## Public and Open Space



**Public**

Uses including municipal services, public or private schools and campuses, playing fields, recreational facilities and similar public facilities.

**Natural Open Space**

Areas within the City of undeveloped open space, such as hillsides, ridge lines, river corridors, habitat, and drainage channels left in a predominately undisturbed state with minimal use impacts. These areas may include uses such as trails, trailheads, and small pavilions.

**Recreational Open Space**

Areas designated for private or public open space used for managed recreational activities including but not limited to playgrounds, splash pads, golf courses, and sports fields.

## STAFF COMMENTS

**Agenda:** December 10, 2020 **File Number:** 2020-ZC-37

**Type of Application:** Zone Change, Legislative

**Applicant:** Lagom, LLC

**Agent:** Greg Sant- Perry Homes

**Request:** A zone change from M-1 Light Industrial to Residential 1-6

**Location:** 3300 W 600 N

**General Plan:** High-Density Single Family 4-8 Units and Acre

**Existing Zoning:** M-1



**Discussion:**

The applicant is seeking to rezone their 25.99 acres of property from M-1 Light Industrial to Residential 1-6, 6,000 sq. ft. lots.

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	M-1	Gravel Pit and Open Space
East	R1-8	PDO Peregrine Pointe Subdivision
South	R1-8 and PDO	Open Space, future townhomes, and single-family
West	M-1	Open Space and Future Gravel Pit

To change the zoning on any parcel of land within the City of Hurricane, the following questions need to be addressed:

1. *Is the proposed amendment consistent with the City's General Plan's goals, objectives, and policies?*

**Response:** The General Plan Map shows the area as a high-density single-family, which would comply with R1-6.

To the North and West, Interstate Rock has voiced concerns about having residential units near their mining operation. Hurricane's General Plan does state the following:

*D. Heavy industrial should not be located near residential areas or should be naturally or physically buffered from them.*

Mining is currently taking place, which would be a heavy industrial use. Mining is not permitted within M-1 Zones but is grandfathered in the area. Gravel pits have some special protection under state law that can be found in [10-9a-9 Vested Critical Infrastructure Materials Operations](#). New subdivision plats must follow the rule below:

**Effective 5/14/2019**

**10-9a-904. Notice.**

*For any new subdivision development located in whole or in part within 1,000 feet of the boundary of a vested critical infrastructure materials operations, the owner of the development shall provide notice on any plat filed with the county recorder the following notice:*

*"Vested Critical Infrastructure Materials Operations*

*This property is located in the vicinity of an established vested critical infrastructure materials operations in which critical infrastructure materials operations have been afforded the highest priority use status. It can be anticipated that such operations may now or in the future be conducted on property included in the critical infrastructure materials protection area. The use and enjoyment of this property is expressly conditioned on acceptance of any annoyance or inconvenience that may result from such normal critical infrastructure materials operations."*

***2. Is the proposed amendment harmonious with the overall character of existing development in the vicinity of the subject property?***

**Response:** Most of the surrounding property owners are single-family residents, and some roadways are stub into the property. However, to the North and West is an active mining facility. This pit uses blasting and other mining methods to extract rock and gravel. The City has already received complaints about mining use.

The staff has received two phone calls from residents to the east who voiced support for this development.

***3. Will the proposed amendment affect the adjacent property?***

**Response:** Yes, but there is some growth anticipated in the area. There will be the average impacts of any development, but some may be mitigated by connectivity requirements within the Hurricane City Code. Additional homes will likely experience some adverse effects adjacent to the mining.

***4. Are public facilities and services adequate to serve the subject property?***

**Response:** There are services in the area that are adequate to serve the parcel if developed as an R1-6. It is likely and anticipated that some improvements to the area's utility system will be needed with development.

**Findings:**

Staff makes the following findings:

1. The proposed amendment is generally compatible with the goals and policies of the current General Plan Map. Still, the General Plan also recommends that heavy industrial activity is separated from residential zones.
2. The proposed amendment is generally in harmony with the overall character of existing development to the east and south, but conflicts with the development to the north and west.
3. Public facilities are currently adequate to provide service to the parcels.
4. The proposed amendment will have a noticeable increased impact on the area. However, the growth is anticipated within the General Plan, and the neighborhoods to the east have been stub into the property to anticipate the growth.

**Recommendation:** Staff recommends the Planning Commission review this application and the zone change based on standards and considers residents' comments. Staff is currently doing some additional research about home development that is adjacent to these type of uses.

# ZONE CHANGE APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:

File No. 2020-20-37  
Receipt No. 8.144.357

Name: Lagom, LLC Telephone: 435-862-1185

Address: 2250 N Coral Canyon Blvd #215, Washington, 84780 Fax No. N/A

Agent (If Applicable): Greg Sant - Perry Homes Utah Telephone: 435-414-4444

Email: paulsjensen@gmail.com Agent Email: greg.perryhomesutah@gmail.com

Address/Location of Subject Property: Approximately 3300 West 600 North

Tax ID of Subject Property: H-3-1-30-320, H-3-1-30-321 Existing Zone District: M-1 Light Industrial

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)

The General Plan for this parcel has a landuse of Single Family Residential up to 8 units per acre. We are proposing a Residential Zone of R-1-6 to bring it in line with the General Plan.

Submittal Requirements: The zone change application shall provide the following:

- a. The name and address of every person or company the applicant represents;
- b. An accurate property map showing the existing and proposed zoning classifications;
- c. All abutting properties showing present zoning classifications;
- d. An accurate legal description of the property to be rezoned;
- e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note:** It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.

\*\*\*\*\*

(Office Use Only)  
Date Received: 11/12/20 Application Complete: YES ☐ NO ☐

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_





## Stephen Nelson

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**From:** Greg Sant <greg.perryhomesutah@gmail.com>  
**Sent:** Monday, November 30, 2020 11:00 AM  
**To:** Stephen Nelson; Greg Sant; Arthur LeBaron  
**Subject:** Perry Homes Zone change

Stephen,

As a follow up to the meeting we had with the JUC, I have talked to Interstate Rock to see why they care about the zone change. They told me that they intend on mining their minerals all the way up to our property boundary and they don't want our future residents complaining. This surprised me because I did not think that they could do that. I have looked at the Zoning map and ordinance as well as the General Plan and what I discovered is that their property next to ours is currently zoned Light industrial and this does not all for mineral mining. Furthermore, the General Plan shows medium density residential and open space for future uses. Finally, The sewer line runs from our property into their property and I do not believe that the Sewer district would like to have mining operations happening around their regional sewer line.

Based on this I find Interstate rocks opposition a non-issue. Furthermore, the zoning that we are asking for follows the General Plan and matches the zoning that is next to us in Peregrine Pointe. Even though Peregrine Pointe is zoned PDO R-1-8, this PDO allows us to have lots as low as 6,000 s.f. in size, and in fact, most of the lots that abut the proposed zone change are in the 6,000 s.f. size. If you have any questions, please call me on my cell phone.

Thank you,

Greg Sant  
Land Development Specialist  
Perry Homes Utah, Inc.  
435-414-4444 Cell  
435-251-9090 Office  
[greg.perryhomesutah@gmail.com](mailto:greg.perryhomesutah@gmail.com)



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Teach InfoWest Spam Trap if this mail is spam:

[Spam](#)

[Not spam](#)

[Forget previous vote](#)

**REMEMBER:** Never give out your account information, password, or other personal information over e-mail.

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## STAFF COMMENTS

**Agenda:** December 10, 2020 **File Number:** 2020-ZC-38

**Type of Application:** Zone Change, Legislative

**Applicant:** James Duane and Julie White, Stormi LLC, Michael Ray, and Sherrie Yvette Foote, Cody Olsen, Colten Iverson, TC INV Holdings LLC

**Agent:** Scott Stratton

**Request:** A Planned Development Overlay Request

**Location:** 1760 W and 200 S

**General Plan:** High-Density Single Family 4-8 Units and Acre

**Existing Zoning:** R1-6 and R1-10

### Discussion:

The applicant is seeking a PDO overlay zone for the Point Break Subdivision and the South 4 Lots. The main reason is to secure less severe setbacks. The applicant is not proposing any changes to housing types or density.

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	RA-1 and HC	Undeveloped Property and Open Space
East	HC	Open Space and Undeveloped Property
South	R1-10	Open Space and Single-Family Homes
West	RM-2	Townhomes

### Setback:

The following is a table that shows the setbacks for the proposed PDO and existing zones:

Setback	R1-10	R1-6	PDO
Front	25 ft	25 ft	19' from the back of curb, Garages 20' from the back of sidewalk
Back	20 ft	10 ft	10'
Side	10 ft	8 ft	5' min, 15' Aggregate
Side-Street	20 ft	20 ft	10' min (15' standard), 15' Aggregate



To change the zoning on any parcel of land within the City of Hurricane, the following questions need to be addressed:

1. *Is the proposed amendment consistent with the City's General Plan's goals, objectives, and policies?*

**Response:** Yes, since the PDO application does not change any of the density from the underlying zones.

2. *Is the proposed amendment harmonious with the overall character of existing development in the subject property's vicinity?*

**Response:** Yes, most of the development around contains single-family homes, townhomes, and some agriculture use.

3. *Will the proposed amendment affect the adjacent property?*

**Response:** No, there will be minimal impact to adjacent property and property owners.

4. *Are public facilities and services adequate to serve the subject property?*

**Response:** The main concern that was raised by the Joint Utility Company is that the construction drawings were approved based on the 20' side yard and 25' front setbacks. Dominion raised concerns about how close structures could be to the gas line, located about 9' off the property line within the public utility easement. This could put some of the homes one or two feet off the gas line if only built 10' off the property line. For other PDO's, the City has required 15' to help set the home off the Public Utility Easement.

Some in the JUC also raised concerns about driveway depth of only 20' off the sidewalk.

#### **Findings:**

Staff makes the following findings:

1. The proposed amendment is generally compatible with the goals and policies of the current General Plan Map.
2. The proposed amendment is generally in harmony with the overall character of existing development.
3. Public facilities are currently adequate to provide service to the parcels.
4. The proposed amendment will not have a noticeable increased impact on the area.

**Recommendation:** Staff recommends the Planning Commission review this application and the zone change based on standards and consider residents' comments. Staff would recommend approval but would recommend requiring a 15' side yard street setback to make sure that homes are a few feet off the gas line.

# ZONE CHANGE APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:

File No.

Receipt No.

2820-26-38  
8-144752

Name: See Attached List Telephone: 435-467-4966  
Address: " " Fax No. \_\_\_\_\_  
Agent (If Applicable): Scott Stratton Telephone: 435-467-4966  
Email: scottstratton4966@gmail.com Agent Email: same  
Address/Location of Subject Property: Lots along 200 S, 150 S, 1870 W  
Tax ID of Subject Property: See Attachment Existing Zone District: R1-G  
Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)  
change to P00 for better use of property, better property value,  
better use of houses fitting on the lots.

Submittal Requirements: The zone change application shall provide the following:

- ☒ a. The name and address of every person or company the applicant represents;
- ☐ b. An accurate property map showing the existing and proposed zoning classifications;
- ☐ c. All abutting properties showing present zoning classifications;
- ☐ d. An accurate legal description of the property to be rezoned;
- ☐ e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- ☐ f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.

\*\*\*\*\*

(Office Use Only)  
Date Received: 11/25/20 Application Complete: YES ☐ NO ☐  
Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

ZONE CHANGE POINTE BREAK & SOUTH 4 LOTS

NAMES:

WHITE JAMES DUANE & JULIE A  
PO BOX 508  
HURRICANE, UT 84737-0508

STORMI LLC  
365 W CENTER ST  
LA VERKIN, UT 84745

FOOTE MICHAEL RAY & SHERRIE YVETTE  
**Additional Names** C/O: AMERICAN SECURE TITLE  
3325 S 2350 E  
SAINT GEORGE, UT 84790

OLSEN CODY  
313 W 1180 S  
HURRICANE, UT 84737

IVERSON COLTEN G  
290 W 1300 S  
HURRICANE, UT 84737

TC INV HOLDINGS LLC  
301 S MAIN  
BLANDING, UT 84511

Tax IDs: H-PO1-7, H-PO1-6, H-PO1-5, H-PO1-4, H-PO1-3, H-PO1-2, H-PO1-1, H-PO1-8, H-PO1-9,  
H-PO1-10, H-PO1-11, H-PO1-12, H-PO1-13, H-PO1-14, H-PO1-15, H-PO1-16, H-PO1-17,  
H-PO1-18, H-PO1-19, H-3-1-33-3323, H-3-1-33-3318, H-3-1-33-3324, H-3-33-3325



GENERAL NOTES:

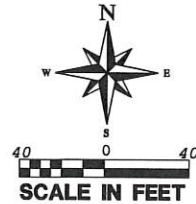
1. ALL PROPERTY LOT LINES ADJACENT TO PUBLIC STREETS ARE SUBJECT TO A 10.00 WIDE PUBLIC UTILITIES EASEMENT.
2. ALL REAR PROPERTY CORNERS WILL BE MARKED WITH A 5/8" REBAR AND PLASTIC CAP MONUMENT, STAMPED PLS 7837685, AND ALL SIDE LOT LINES WILL BE PROJECTED INTO THE TOP BACK OF CURB AND SET WITH A P.K. NAIL.
3. ALL LOTS INCLUDE A 25.00 FOOT FRONT YARD SETBACK, A 20 FOOT REAR YARD SETBACK, AND A 10.00 FOOT PLUS 8 FOOT SIDE YARD SETBACK.

# ZONE CHANGE FOR: POINT BREAK & SOUTH 4 LOTS

200 SOUTH 1760 WEST  
HURRICANE CITY, WASHINGTON COUNTY, UTAH  
NE 1/4 & SE 1/4 OF SW 1/4 OF SECTION 33, T41S, R13W, S.L.B.&M.

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING FENCE
- SECTION LINE
- EASEMENT LINE
- SECTION CORNER AS DESCRIBED
- SET PROVALUE ENGINEERING REBAR & CAP P.L.S. #7837685
- FOUND CENTERLINE MONUMENT AS DESCRIBED
- FOUND PROVALUE ENG. REBAR CAP
- RECORD BEARING OR DISTANCE
- SET P.K. NAIL IN TBC ON PROPERTY LINE PROJECTION



NARRATIVE

THIS ZONE CHANGE IS REQUIRED TO CHANGE FROM R1-6 AND R1-10 TO PDO OVERLAY ZONE.

THE BASIS OF BEARINGS FOR THIS SURVEY IS S89°43'02"E, 2637.84 FEET, AS MEASURED FROM THE SOUTHWEST CORNER OF THE SOUTH QUARTER CORNER OF SECTION 33, T41S, R13W, S.L.B.&M.

PROPOSED PDO OVERLAY ZONE

SUBDIVISION DESCRIPTION: H-3-1-33-3319

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 41 SOUTH, RANGE 13 WEST, S.L.B.&M., SAID CORNER BEING S89°43'02"E 1318.92 FEET FROM THE SOUTHWEST CORNER OF SECTION 33, T41S, R13W, S.L.B.&M.; THENCE N00°01'16"E ALONG THE 1/16 LINE, 877.42 FEET; THENCE N00°01'26"E 60.05 FEET; THENCE N89°56'11"E 1.40 FEET; THENCE N00°05'13"E 439.95 FEET; THENCE S89°58'44"E 541.41 FEET; THENCE S00°01'16"W 330.00 FEET; THENCE N89°58'14"W 103.96 FEET; THENCE S00°01'16"W 170.02 FEET; THENCE N89°58'44"W 439.36 FEET TO THE POINT OF BEGINNING. AREA: 253256 SQUARE FEET OR 5.814 ACRES.

LINE TABLE

LINE	LENGTH	DIRECTION
L1	9.36'	S89°56'11"W
L2	9.52'	S89°56'11"W
L3	9.05'	N0°05'13"E

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	15.71'	10.00'	14.14'	N44°58'44"W	90°00'00"
C2	55.51'	333.00'	55.45'	N85°17'17"W	9°33'03"
C3	45.67'	333.00'	45.64'	S84°26'31"E	7°51'31"
C4	9.34'	333.00'	9.34'	S89°10'30"E	1°36'28"
C5	50.51'	303.00'	50.45'	N85°17'17"W	9°33'03"
C6	59.97'	363.00'	59.91'	S85°14'45"E	9°27'58"
C7	15.71'	10.00'	14.14'	S45°01'16"W	90°00'00"
C8	15.71'	10.00'	14.14'	N45°01'16"E	90°00'00"
C9	15.71'	10.00'	14.14'	S44°58'43"E	90°00'02"
C10	15.71'	10.00'	14.14'	S45°01'16"W	90°00'00"
C11	17.07'	10.00'	15.07'	S48°55'44"W	97°48'56"
C12	8.73'	303.10'	8.73'	N81°20'17"W	1°39'01"
C13	60.51'	363.03'	60.44'	N85°17'17"W	9°33'01"
C14	15.71'	10.00'	14.14'	S44°58'44"E	90°00'00"

## ZONE CHANGE MAP FOR: POINT BREAK & SOUTH 4 LOTS

200 SOUTH 1760 WEST  
HURRICANE CITY, WASHINGTON COUNTY, UTAH  
NE 1/4 & SE 1/4 OF SW 1/4 OF SECTION 33, T41S, R13W, S.L.B.&M.

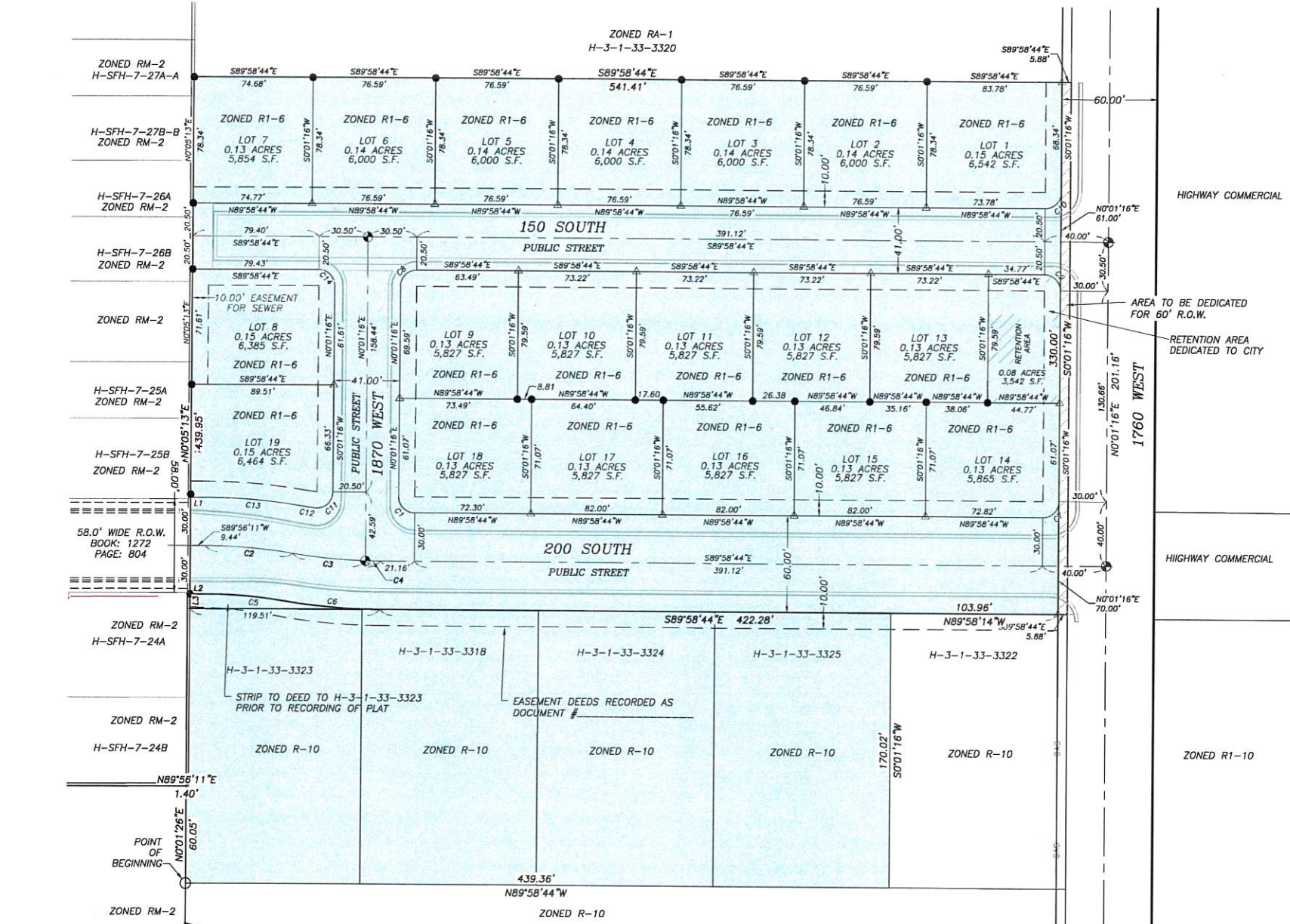
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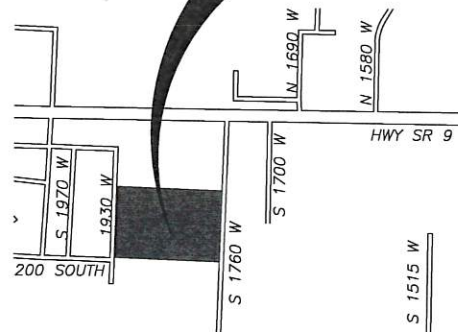
JOB NO.  
335-005

SHEET NO.

1



### POINT BREAK



### VICINITY MAP

SOUTHWEST CORNER OF SECTION 33, T41S, R13W, S.L.B.&M.

SW CORNER OF THE SE 1/4 OF THE SW 1/4 OF SECTION 33, T41S, R13W, S.L.B.&M.

SOUTH 1/4 CORNER OF SECTION 33, T41S, R13W, S.L.B.&M.

S89°43'02"E 1318.92'  
BASIS OF BEARING

S89°43'02"E 2637.84'

## STAFF COMMENTS

**Agenda:** December 10, 2020 **File Number:** 2020-LUCA-09

### Ordinance

**Action Type:** Ordinance Change, Legislative

**Applicant:** Staff

**Request:** Modify Hurricane City Code 10-16-1 Use Table

### Discussion

The City has been asked by a trucking company to examine the City Code to allow them to move into Hurricane City Industrial Zone on Old Hwy 91 and allow for the sale of commercial trucks. To do that, vehicle sales must be changed to a permitted use within the M-1 Zone. Staff has made the change for the Planning Commission to consider.

**Recommendation:** Discuss proposed changes and make any additional desired changes. Make a positive recommendation to the City Council



**10-16-3: USES ALLOWED:**

A. Permitted And Conditional Uses: Permitted and conditional uses allowed within business and industrial zones shall be as set forth in [table 10-16-1](#) of this section. Permitted and conditional uses are indicated by a "P" or "C", respectively, in the appropriate column. Uses not permitted are indicated by "N". Any use not shown on [table 10-16-1](#) of this section shall be prohibited unless the zoning administrator determines the use is substantially the same as a permitted or conditional use as provided in subsection 10-7-18E4 of this title.

**TABLE 10-16-1  
PERMITTED AND CONDITIONAL USES ALLOWED IN BUSINESS AND  
INDUSTRIAL ZONES**

<u>Uses</u>	<b>Zones</b>			
	<b>BMP</b>	<b>PO</b>	<b>M-1</b>	
Agricultural uses:				
Accessory building	P	P	P	P
Agricultural business	N	N	N	N
Agricultural industry	N	N	P	N
Agriculture	N	N	N	N
Agriculture residential	N	N	N	N
Animal specialties	N	N	P	N
Animals and fowl for recreation and family food production	N	N	N	N
Stable, private	N	N	N	N
Residential uses:				
Accessory building	P	P	P	P
Assisted living facility	N	N	N	N
Boarding house	N	N	N	N
Dwelling, earth sheltered	N	N	N	N
Dwelling, multiple-family	N	N	N	N
Dwelling, single-family	N	N	N	N
Dwelling, single-family with accessory apartment	N	N	N	N
Dwelling, two-family	N	N	N	N
Guesthouse	N	N	N	N
Manufactured and mobile home park	N	N	N	N
Manufactured and mobile home subdivision	N	N	N	N
Manufactured home	N	N	N	N

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Protective housing facility	N	N	N	N
Rehabilitation/treatment facility	P	P	P	P
Residential facility for elderly persons <sup>1</sup>	P	P	N	N
Residential facility for persons with a disability <sup>1</sup>	P	N	N	N
Residential facility for troubled youth	N	N	P	N
Transitional housing facility	N	N	P	N
Public and civic uses:				
Airport	N	N	N	N
Auditorium or stadium	N	N	N	N
Bus terminal	P	N	N	N
Cemetery	N	N	N	N
Church or place of worship	P	P	N	N
Club or service organization	P	P	N	N
College or university	P	P	N	N
Convalescent care facility	P	N	N	N
Correctional facility	N	N	N	N
Cultural service	P	P	N	N
Golf course	N	N	N	N
Government service	P	P	N	N
Hospital	P	P	N	N
Operations center	P	N	P	P
Park	P	P	P	P
Post office	P	P	P	P
Protective service	P	P	P	P
Reception center	P	P	N	N
School, elementary, middle, or high	N	N	N	N
School, vocational	P	P	P	P
Stable, public	N	N	N	N
Utility, major <sup>3</sup>	N	P	P	P
Utility, minor <sup>3</sup>	P	P	P	P
Commercial uses:				
Agricultural sales and service	P	N	P	P
Animal hospital	P	P	N	N
Bail bond service	P	P	P	P
Bank or financial institution	P	P	N	N

Bed and breakfast, home	N	N	N	N
Bed and breakfast inn	N	N	N	N
Business equipment rental, services, and supplies	P	N	P	N
Club, private	P	N	N	N
Construction sales and service	P	N	P	P
Convenience store	P	N	P	P
Family child daycare facility <sup>2</sup>	N	N	N	N
Family child group daycare facility <sup>2</sup>	N	N	N	N
Family child residential certificate care facility <sup>2</sup>	N	N	N	N
Family childcare center	P	N	P	N
Funeral home	P	N	N	N
Garden center	P	N	N	N
Gas and fuel, storage and sales	N	N	P	P
Gasoline service station	P	N	P	P
Hostel	P	N	N	N
Hotel	P	N	N	N
Kennel	P	P	P	P
Kennel, residential	N	N	N	N
Laundry or dry cleaning, limited	P	N	N	N
Liquor store	P	P	P	P
Media service	P	P	P	P
Medical or dental laboratory	P	P	P	P
Medical service	P	P	N	N
Motel	P	N	N	N
Office, general	P	P	N	N
Parking garage, public	P	P	P	P
Parking lot, public	P	P	P	P
Pawnshop	P	N	N	N
Personal care service	P	P	N	N
Personal instruction service	P	P	N	N
Printing and copying, limited	P	P	P	N
Printing, general	P	N	P	P
Produce stand	N	N	N	N
Recreation and entertainment, indoor	P	N	N	N
Recreation and entertainment, outdoor	P	N	N	N



Recreational vehicle park	N	N	N	N
Repair service	P	N	P	N
Research service	P	P	P	P
Restaurant, fast food	P	N	N	N
Restaurant, general	P	P	N	N
Retail, general	P	N	N	N
Secondhand store	P	N	N	N
Shopping center	N	N	N	N
Tattoo establishment	P	N	N	N
Tavern	P	N	N	N
Temporary trailer	P	P	P	P
Transportation service	P	N	P	P
Vehicle and equipment rental or sale	P	N	<del>NP</del>	N
Vehicle and equipment repair, general	P	N	P	P
Vehicle repair, limited	P	N	P	P
Vehicle wash	P	N	P	P
Veterinary service	P	N	N	N
Warehouse, self-service storage	P	N	P	P
Wireless telecommunication facility	See section <a href="#">10-50-5</a> , <a href="#">table 10-50-1</a> of this title			
Industrial uses:				
Automobile wrecking yard	N	N	C	C
Freight terminal	N	N	P	P
Heavy industry	N	N	N	P
Junk or salvage yard	N	N	N	N
Laundry services	P	N	P	P
Manufacturing, general	P	N	P	P
Manufacturing, limited	P	N	P	P
Mineral extraction	N	N	N	P
Wholesale and warehousing, general	P	N	P	P
Wholesale and warehousing, limited	P	N	P	P

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Notes:

1. See chapter 46 of this title.
2. See chapter 42 of this title.
3. See chapter 45 of this title.

## STAFF COMMENTS

**Agenda:** December 10, 2020 **File Number:** 2020-CUP-11

**Type of Application:** Conditional Use Permit, Administrative

**Applicant:** Carol Dever

**Request:** A Conditional Use Permit for a pre-engineered metal building in an R1-15 Zone

**Location:** 1289 S 160 W

**General Plan:** N/A

**Existing Zoning:** Single Family Residential R1-15

**Discussion:** The applicant proposes constructing a 24'x 35' pre-engineered metal garage in a residential location. The land-use code states this requires a conditional use permit:

### *10-33-3: BUILDING DESIGN*

#### *5. Preengineered metal buildings:*

- a. Shall be permitted in all agricultural, residential agriculture, industrial, and public facility zones;*
- b. Shall be allowed by conditional use permit in all commercial and residential zones.*

### **Standards for approval are as follows:**

#### *10-7-9: CONDITIONAL USE PERMIT*

*E. Approval Standards: The following standards shall apply to the issuance of a conditional use permit:*

*1. A conditional use permit may be issued only when the proposed use is shown as conditional in the zone where the conditional use will be located, or by another provision of this title.*

*2. Standards for each use must be reviewed. Specific standards are set forth for each use in subsections E2a through E2g of this section:*

#### *g. Standards for metal buildings:*

*(1) In residential (R-1) zones the height and size may not be greater than permitted in the zone.*

*(2) The building must meet the following design standards:*

*(A) Exterior building materials shall be durable, require low maintenance, and be of the same or higher quality as surrounding developments.*

*(B) Details of proposed colors and materials, including color chips, samples, and colored building elevations, shall be shown on building plans when a development project application is submitted. Colors shall be compatible with surrounding structures.*

*(C) Reflective surfaces or colors which may produce excessive reflections or glare that may create a potential safety problem are prohibited.*

*The building must meet the following design standards:*

1. The proposed building will be a metal building and roof, all materials are durable, require low maintenance, and are of the same quality as surrounding development.
2. The building will be a gray color.
3. The building size and height is less than the allowed maximum, at 840 sq. ft.
4. The building is not expected to produce excessive reflections or glare.

**Findings:**

1. The proposed building is of durable, low maintenance materials.
2. Colors are compatible with surrounding structures.
3. No problems with glare or reflectivity are anticipated.
4. The building will be under the max height and size.

**Recommendation:** Based on the above findings, staff recommends approval of a conditional use permit for the proposed pre-engineered metal building subject to the applicant meeting all setbacks and building permit requirements.

## CONDITIONAL USE PERMIT

City of Hurricane  
147 N 870 W  
Hurricane, Utah 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$ 250

For office use only:

File No: 2020-CWP-11

Receipt: 8,144,781

### APPLICATION & SUBMITTAL CHECKLIST

Name: Carol Dever Telephone: 435-313-2988

Address: 1289 S 160 W Fax No. \_\_\_\_\_

Email: cdever0914@gmail.com

Agent (If applicable): \_\_\_\_\_ Agent's Phone: \_\_\_\_\_

Agent email: \_\_\_\_\_

Address of Subject Property: 1289 S. 160 W Hurricane UT  
84737

Tax ID of Subject Property: \_\_\_\_\_ Zone District: \_\_\_\_\_

Proposed Conditional Use: (Describe, use extra sheet if necessary) Shed/Garage

### This application shall be accompanied by the following:

1. A plot plan showing the following:
  - ☒ Property boundaries, dimensions and existing streets.
  - ☒ Location of existing and proposed building or livestock facility
  - ☒ Adjoining property lines and uses within one hundred (100) feet of subject property.
- ☒ 2) A reduced copy of all plans (8 1/2 x 11 if readable, or 11 x 17) if original plans are larger.
- ☒ 3) Building floor plans for new construction
- ☒ 4) A statement of how the applicant intends to meet the conditions for the use desired
- 5) Signed and notarized Affidavit of Property owner showing evidence that the applicant has control of the property or copy of warranty deed

**NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application cannot be reviewed until it is complete. Fee is part of the application.**

\*\*\*\*\*

(Office Use Only)

Date Received: 11/30/20

Received by: OB

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

# QUALITY STEEL BUILDINGS

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Quality Carports Inc

441 E 1750 N Suite A

Vineyard, Utah 84042

[info@highqualitycarports.com](mailto:info@highqualitycarports.com)

801-406-1926

UTAH LICENSE 10441146-5501

All Quality Buildings are engineered by A&A Engineering

## BASIC SPEC SHEET

Carol Dever

Hurricane UT

24W x 35L x 10H Regular style Building

### GROUND SNOW LOAD

40 Lbs per Sq, Ft

### WIND LOAD

105 MPH Wind Gust

### ANCHORS

(32) 1/2" x 7" LG. STRONG - BOLT 2 EXPANSION ANCHOR

### FRAME

STRUCTURAL 14 GA. Tubing 2 1/4 x 2 1/4

### SHEET METAL

29 GA Corrugated Galvanized or Painted Steel

### ROOF PITCH

3/12 Pitch

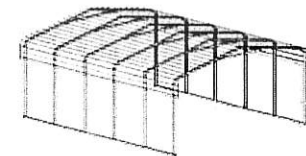
### WALL ENCLOSURES

Fully Enclosed

### DOOR OPTIONS

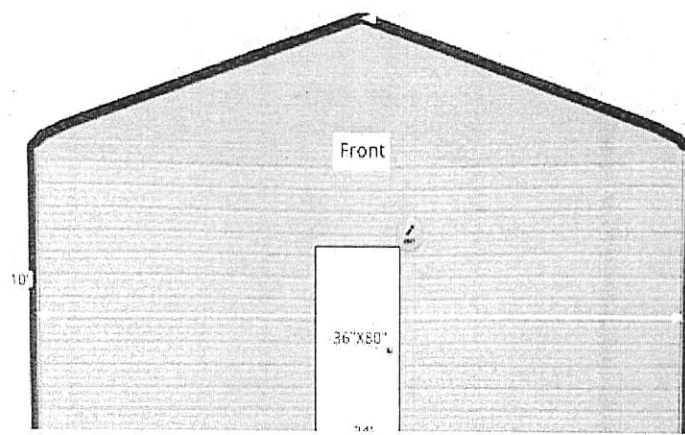
(1) 6 x 6 (On Side Wall ) (2) ManDoor (5) window frame outs

SALES: Ashton - 1469 Sunset Blvd St George Utah 84770 - 435-200-4827

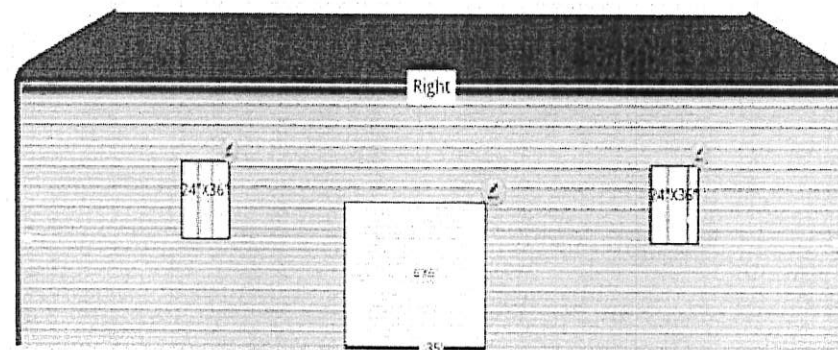


color  
Gray

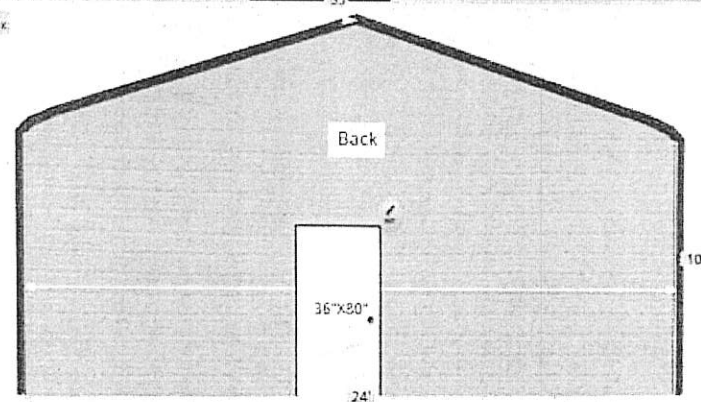
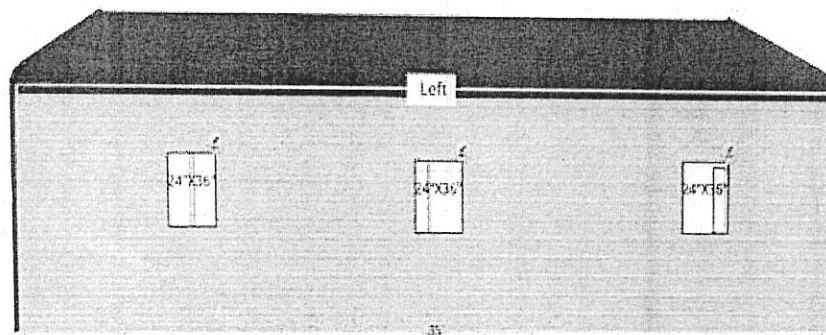




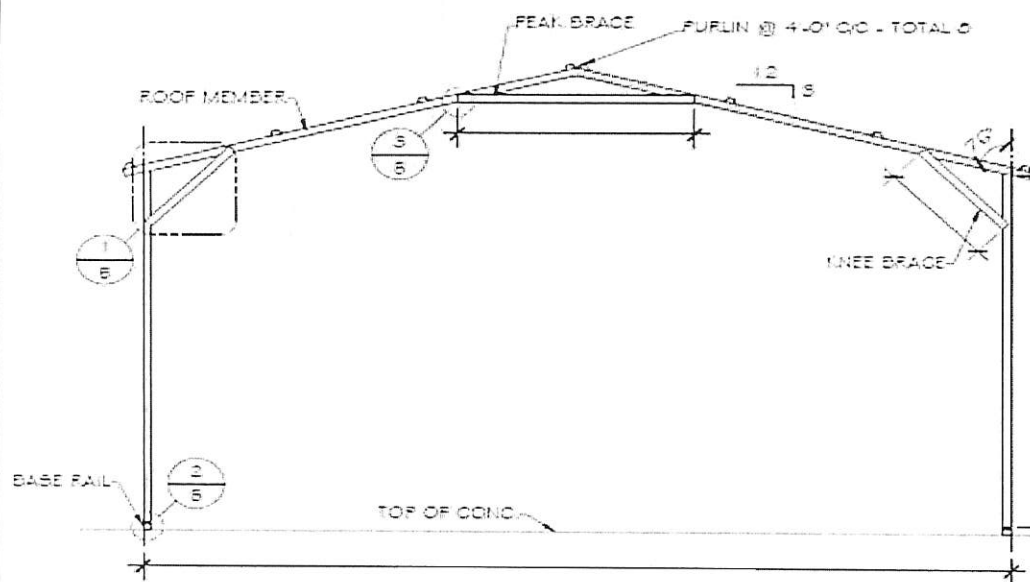
14'  
Approx



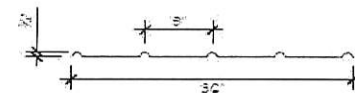
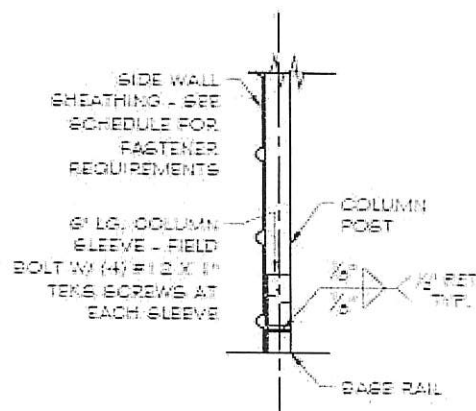
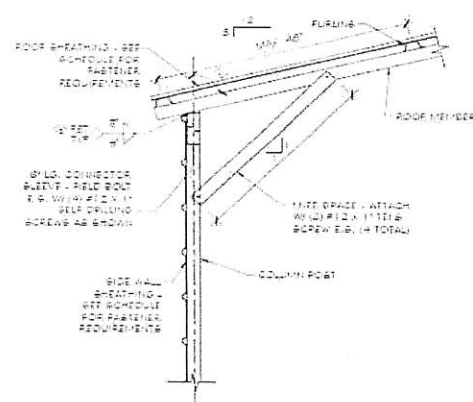
14'  
Approx



**QUALITY**  
**STEEL BUILDINGS**  
BEATING OUR COMPETITORS, MAKING HIGH QUALITY BUILDINGS IN OUR MISSION

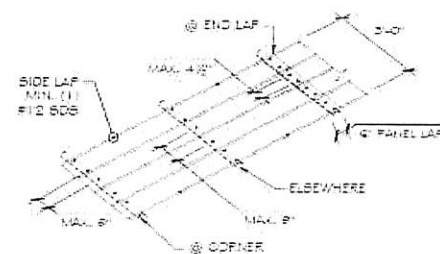


FRAME SECTION



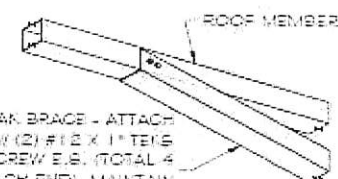
29GA. - 3/4" RIB - CORRUGATED SHEET

SCALE: 3/4" = 1'



SHEATHING FASTENER PATTERN

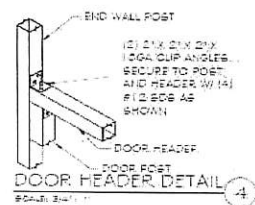
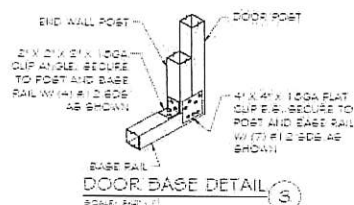
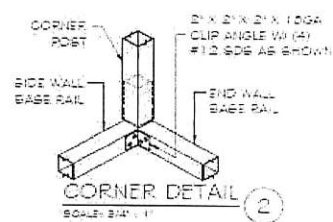
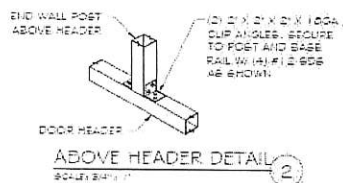
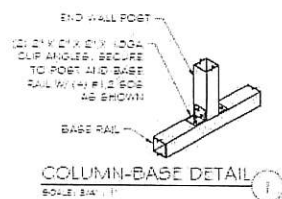
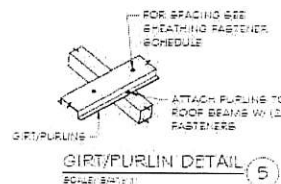
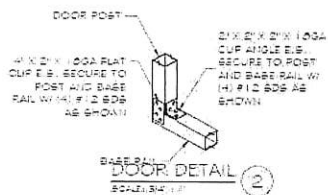
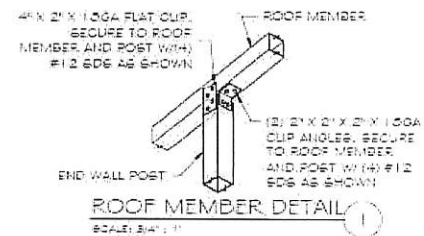
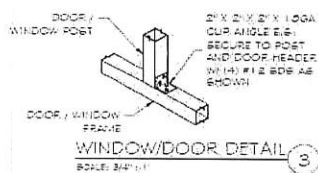
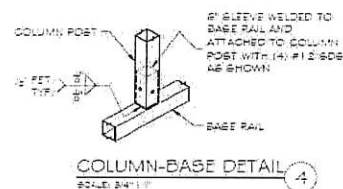
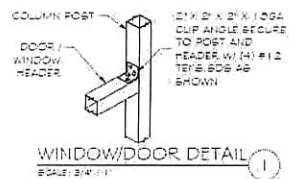
SCALE: 3/4" = 1'



PEAK BRACE - ATTACH  
W/ (2) #12 X 1" TENS  
SCREW E.B. (TOTAL 4  
EACH END). MAINTAIN  
MIN. 1" EDGE DISTANCE  
AND SPACING

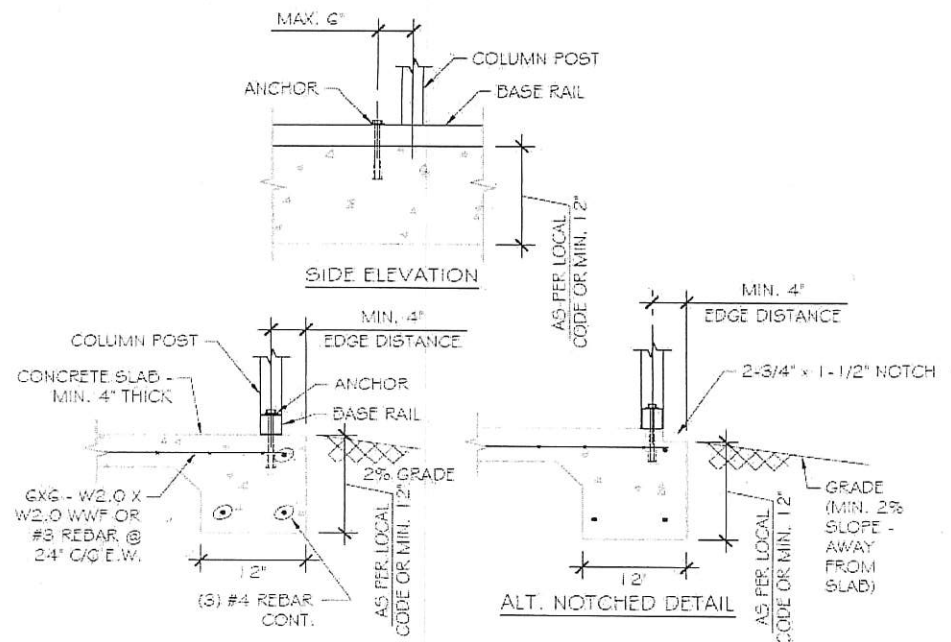
MEMBER PROPERTIES				
COLUMN POST	2	1/2" SQ. X 14GA TUBE		
ROOF MEMBER	2	1/2" SQ. X 14GA TUBE		
BASE RAIL	2	1/2" SQ. X 14GA TUBE		
PEAK BRACE	2	1/2" X 14GA CHANNEL		
KNEE BRACE	2	1/2" X 14GA CHANNEL		
CONNECTOR SLEEVE	2	1/4" SQ. X 12GA TUBE		
FURLIN	4	1/4" 14GA HAT CHANNEL		
SHEATHING FASTENER SCHEDULE				
LOCATION	CORNER	PANEL	SIDE LAP	EDGE LAP
SPACING	8" OC	MIN. 1	4" OC	8" OC

FASTENER TYPE: #12X1" SELF-DRILL SCREWS  
(ESR-2106) W/ NEOPRENE/STEEL WASHER

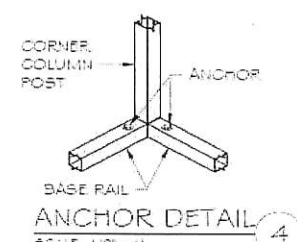
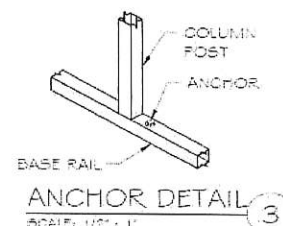
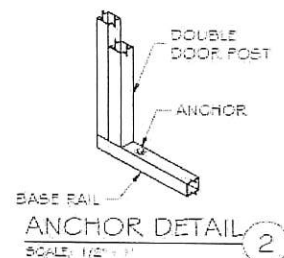
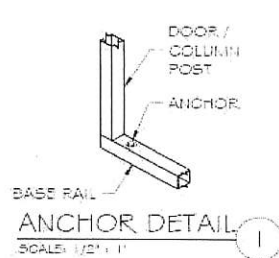


MEMBER PROPERTIES	
CORNER POST	2 1/2\" SQ. X 14GA TUBE
ROOF MEMBER	2 1/2\" SQ. X 14GA TUBE
BASE RAIL	2 1/2\" SQ. X 14GA TUBE
HEADER	2 1/2\" SQ. X 14GA TUBE
DOOR POST	2 1/2\" SQ. X 14GA TUBE
END WALL POSTS	2 1/2\" SQ. X 14GA TUBE



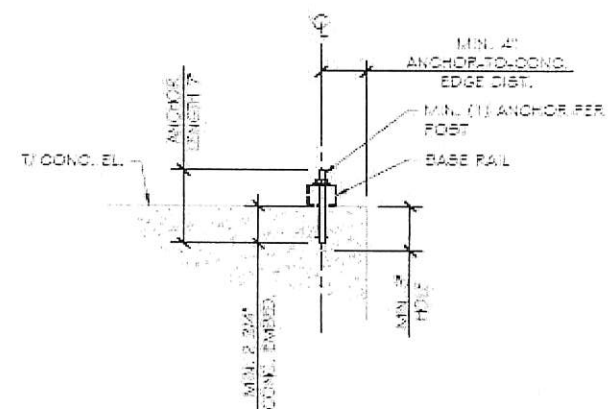


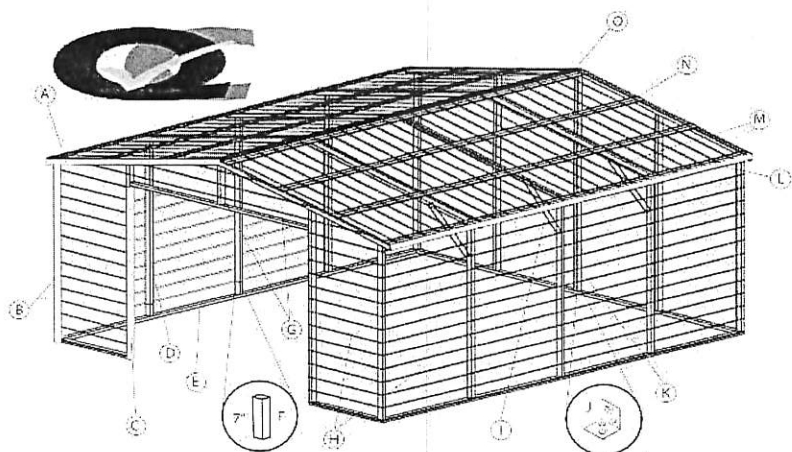
Footing depth determined by local requirements



# **ANCHORAGE NOTES:**

- ANCHOR INSTALLATION REQUIREMENTS:
  - MIN. ANCHOR EDGE DISTANCE: 4.00"
  - MIN. ANCHOR HOLE DEPTH: 3.00"
  - MIN. CONCRETE EMBEDMENT DEPTH: 2.75"
  - MIN. EFFECTIVE EMBEDMENT: 2.25"
  - MIN. SPACING BETWEEN (2) ANCHORS: 2.75"
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.
- ALL ANCHORS TO BE A307 EQUIVALENT OR BETTER; ANCHORS TO BE INSTALLED PER MANUFACTURER'S REQ.
- CONCRETE STRENGTH TO BE A MIN OF 2500 PSI @ 28 DAYS.





# QUALITY STEEL BUILDINGS

BEATING OUR COMPETITION, MAKING HIGH QUALITY BUILDINGS IS OUR MISSION

## OUR CONSTRUCTION

(A) (B) (C) (L) "L-trim": Is used on Regular Styles that are open or with a horizontal end(s), A-Frame & Lean-to Style buildings that are open with vertical roof, horizontal roof & side(s), It is also used in all frame openings (ex., overhead, roll-up and walk-in doors), on windows "J-trim" is used.

(B) "Corner trim" is used on enclosed A-Frame & Lean-to Style buildings with vertical roof, side(s) and end(s) instead of the L-trim.

(D) (K) Post (uprights) can be 14 ga. or 12 ga. galvanized square tubing, they come in lengths of 5' up to 18'.

(E) (F) Bottom rails are made from our standard 20' long 14 ga. galvanized square tubing included are 7" pre-welded inserts (sleeves) by our production department, these are made of 14 ga. (either 2" or 2 1/4") galvanized square tubing that connect the post to the bottom rail; with optional extensions of 5' to achieve the length desired.

(G) Header bars and vertical supports for overhead doors, roll-up doors are made of 14 ga. either 2" or 2 1/4" galvanized square tubing, these are used to install the door tracks and the electric opener system on overhead doors.

(H) 29 ga. panels come standard on 13 different colors for the roof, sides and ends (26 ga. special order panels are also available with a 20-year warranty.)

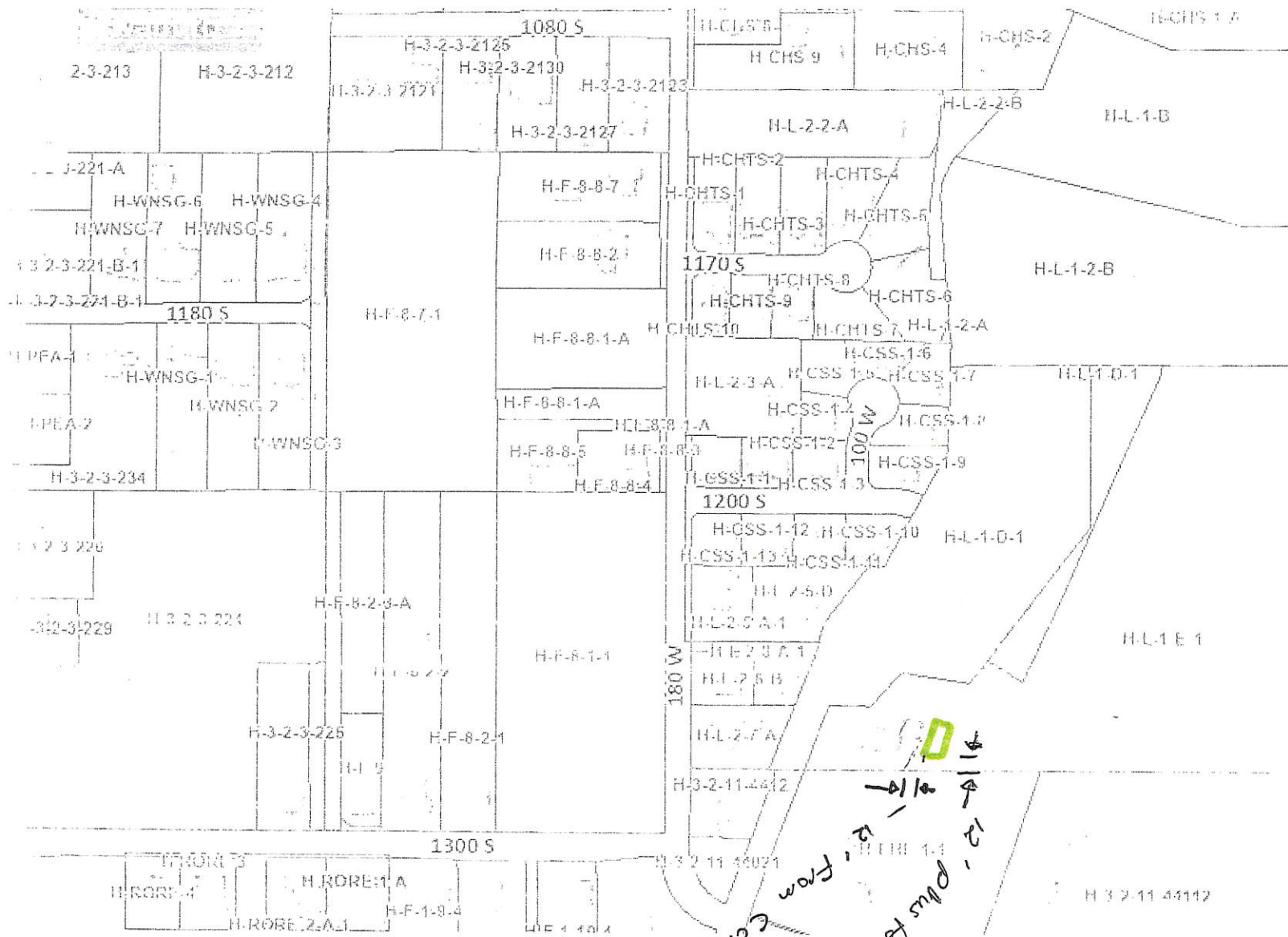
(I) 18 ga. 2 1/2" x 1 1/2" channels are used as knee braces on buildings up to 30' wide and as peak braces on buildings up to 19' wide.

(J) "L" Brackets are installed to join two pieces of square tubing together where there will not be a pre-welded connection or sleeve.

(M) Trusses (bows) are pre-fab of galvanized square tubing 14 ga. or 12 ga., the size varies by the width of the building and they can range from 8' wide up to 30' wide.

(N) 4 1/4" x 1 1/2" 18 ga. hat channels are used on a-frame styles with vertical roof & sides and on regular style with the vertical end option.

(O) 11' Ridge cap trim is used only on a-frame with vertical roof style.



12, plus form properly line

3431





1289 S 160 W,  
Hurricane, UT 84737



## STAFF COMMENTS

**Agenda:** December 10, 2020 **File Number:** 2020-CUP-12

**Type of Application:** Conditional Use Permit

**Applicant:** Heather Lewis

**Request:** A Conditional Use Permit for an accessory building in an RA-1 Zone

**Location:** 1442 S 700 W

**General Plan:** N/A

**Existing Zoning:** RA-1

**Discussion:** The applicant proposes constructing a 4,420 sq. ft., 31' tall accessory building. Hurricane City Code (HCC) 10-14-4 allows the max square feet and height of an accessory building to be 2,000 sq. ft. and 20' tall. A property owner may apply for a conditional use permit to be able to build a taller building. The standards to obtain a conditional use permit are as follows:

*10-7-9: CONDITIONAL USE PERMIT E. Approval Standards: The following standards shall apply to the issuance of a conditional use permit:*

*1. A conditional use permit may be issued only when the proposed use is shown as conditional in the zone where the conditional use will be located, or by another provision of this title.*

*2. Standards for each use must be reviewed. Specific standards are set forth for each use in subsections E2a through E2g of this section:...*

*e. Standards for greater heights and size than permitted by this Code:*

*(1) The height may not be greater than two (2) stories or 1.5 times the average height of the immediately adjacent buildings, whichever is greater and the building must be of compatible architecture with immediately adjacent buildings.*

*(2) When a greater height accessory building is approved, the building must be set back a minimum of five feet (5') from side and rear property lines when the adjoining property is for single family residential use.*

*(3) The greater size building desired must be of compatible architecture with immediately adjacent buildings, must leave at least fifty percent (50%) of the lot on which it is located free of buildings, and must be for a use permitted in the zone in which it is located. (Ord. 2018-14, 12-20-2018)*

### **Findings:**

1. The proposed building is not greater than two stories, but it is taller than a normal two-story building at 31'.

2. The proposed building is planned to have an exterior composed of stucco to match the home.
3. The building is set back a minimum of 5' from the side property lines and 5' off the back at 12' from the back and closest side yard property line.
4. There currently is not a home on the lot, but the applicant is planning on filing for a building permit for both at the same time.

**Recommendation:** Based on the above findings, staff recommends approval of a conditional use permit for the proposed accessory building as presented.

## CONDITIONAL USE PERMIT

City of Hurricane  
147 N 870 W  
Hurricane, Utah 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$ 250

For office use only:

File No: 2020-CUP-12

Receipt: 8.14.20

### APPLICATION & SUBMITTAL CHECKLIST

Name: Heather Lewis Telephone: 435-256-5541

Address: 28869. 8240 So. St. G. 84790 Fax No. \_\_\_\_\_

Email: yoursouthernutahrealtor.com

Agent (If applicable): Applicant is licensed agent. Agent's Phone: \_\_\_\_\_

Agent email: same as above

Address of Subject Property: 1442 So. 700 W.

Tax ID of Subject Property: H-3-2-10-407 Zone District: RA-1

Proposed Conditional Use: (Describe, use extra sheet if necessary) \_\_\_\_\_

### This application shall be accompanied by the following:

- ☒ 1. A plot plan showing the following:
  - ☒ Property boundaries, dimensions and existing streets.
  - ☒ Location of existing and proposed building or livestock facility
  - ☒ Adjoining property lines and uses within one hundred (100) feet of subject property.
- ☒ 2) A reduced copy of all plans (8 1/2 x 11 if readable, or 11 x 17) if original plans are larger.
- ☒ 3) Building floor plans for new construction
- ☒ 4) A statement of how the applicant intends to meet the conditions for the use desired
- ☒ 5) Signed and notarized Affidavit of Property owner showing evidence that the applicant has control of the property or copy of warranty deed

**NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application cannot be reviewed until it is complete. Fee is part of the application.**

\*\*\*\*\*

(Office Use Only)

Date Received: 12/1/20

Received by: CB

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

### **Conditional use permit for David and Heather Lewis**

We are applying for a conditional use permit for our accessory building. We own a one acre lot located at 1442 S 700 W and we are zoned RA-1.

As you will see from attached plans and engineering, we will be taller than allowed without a conditional use permit. We plan on meeting permit requirements because we fall in the guidelines of being no greater than two stories or 1.5 times the average height of the immediate adjacent buildings.

We plan on constructing our home and accessory building with high quality materials that fall into the natural earth tone color scheme, and we feel our property will be a beautiful addition to Hurricane and 700 W.

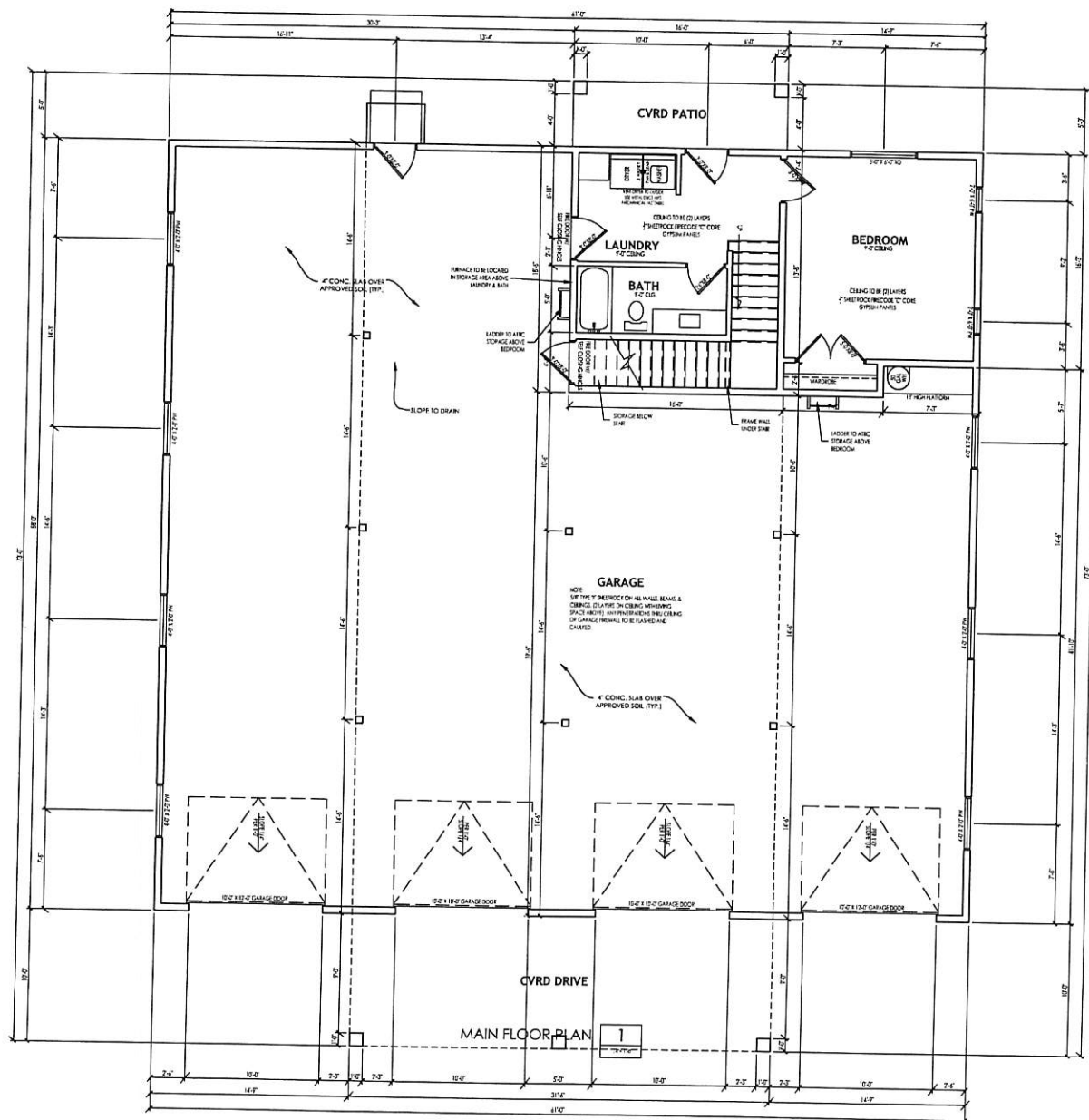
Thank you for your consideration.

Sincerely,

Dave and Heather Lewis







# SLAB PLAN NOTES

1. SEE SHEETS PROVIDED BY STRUCTURAL ENGINEER FOR ALL SHEAR WALL CALLOUTS, NOTES AND DETAILS.
2. PROVIDE CONTROL JOINTS IN ALL WALK-WAYS AT 4'-0" O.C. OR U.N.O. BY CONTRACTOR.
3. PROVIDE CONTROL JOINTS IN DRIVEWAY AT 12'-0" O.C. OR U.N.O. BY CONTRACTOR.
4. PROVIDE REBAR 3" O.C. OR WIRE MESH IN HOUSE SLAB AND DRIVEWAY OR U.N.O.
5. CONTRACTOR TO INSTALL INSULATION IN WALL CAVITY BEHIND SHOWER'S & BATH TUBS PRIOR TO FIXTURE INSTALLATION.

**sga**  
Planning  
& Design

21 North Main Street St. George, Utah 84770  
Phone (801) 718-9159  
email sean.glatthar@gmail.com

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project:

## LEWIS RESIDENCE

LOT #

Hurricane, Utah

## LIST OF DRAWINGS

### ARCHITECTURAL

- A0.1 TITLE SHEET
- A1.1 SITE PLAN
- A2.0 MAIN FLOOR PLAN
- A2.1 FLOOR PLAN
- A3.0 BUILDING ELEVATIONS
- A3.1 BUILDING ELEVATIONS
- A4.1 ROOF PLAN
- A5.1 BUILDING SECTION / DETAILS

### STRUCTURAL

- S1 FOOTING / FOUNDATION
- S2 MAIN FLOOR FRAMING PLAN
- S3 MAIN ROOF FRAMING
- S5 LOWER SHEAR WALL PLAN
- S6 MAIN SHEAR WALL PLAN
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS

### ELECTRICAL

- E1.1 ELECTRICAL LAYOUT

No.	Revision	Date

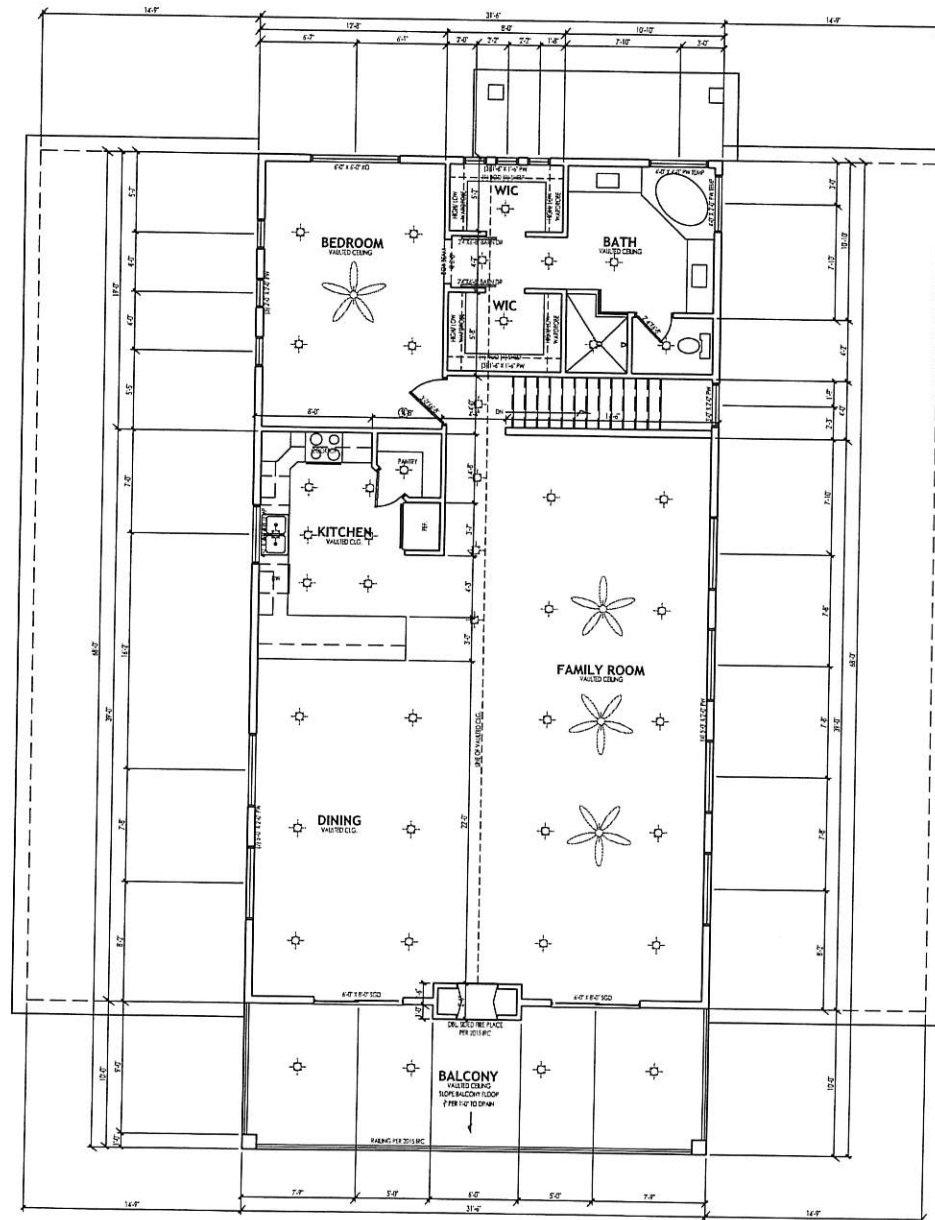
### Main Floor Plan

Seal Project No. Date

Sheet No.

A2.0

11/7/20



# FLOOR PLAN NOTES

1. SEE SHEETS PROVIDED BY STRUCTURAL ENGINEER FOR ALL SHEAR WALL CALLOUTS, NOTES AND DETAILS.
2. FURNACE SHALL BE LOCATED IN ATTIC - PROVIDE COMBUSTION AIR.
3. PROVIDE ACCESS TO JETTED TUB MOTOR IF TUB IS SET INTO A TUB DECK.
4. REFER TO ELECTRICAL SHEETS FOR LIGHTING, POWER, SMOKE DETECTOR AND CARBON DETECTOR LOCATIONS.
5. CONTRACTOR TO INSTALL INSULATION IN WALL CAVITY BEHIND SHOWER & BATH TUBS PRIOR TO FIXTURE INSTALLATION.

**sga**  
Planning  
& Design

21 North Main Street St. George, Utah 84771  
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email sean.glatthar@gmail.com

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project:

## LEWIS RESIDENCE

LOT #

Hurricane, Utah

## LIST OF DRAWING:

### ARCHITECTURAL

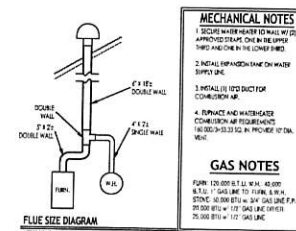
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- A5.1 BUILDING SECTION / DETAILS

### STRUCTURAL

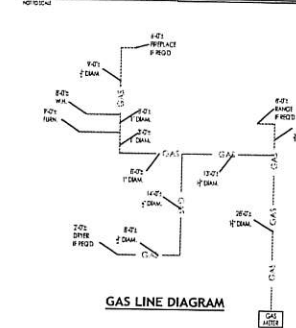
- S1 FOOTING / FOUNDATION
- S2 MAIN FLOOR FRAMING PLAN
- S3 MAIN ROOF FRAMING
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- S6 MAIN SHEAR WALL PLAN
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS

### ELECTRICAL

- E1.1 ELECTRICAL LAYOUT



FLUE SIZE DIAGRAM



GAS LINE DIAGRAM

MAIN FLOOR PLAN

1

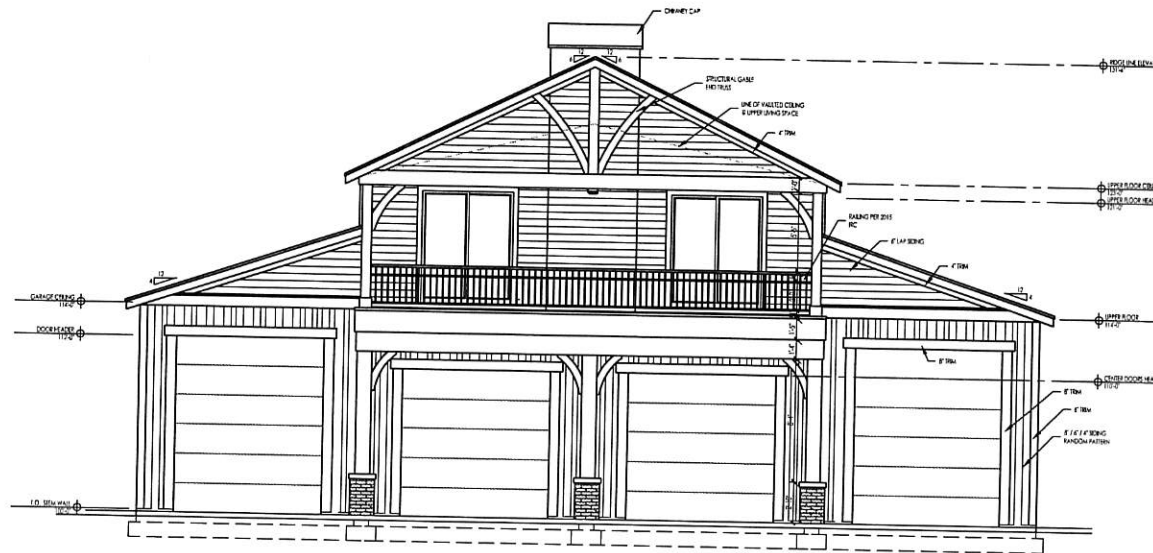
Main Floor Plan - 3,925 sq.ft

Seal Project No. Date

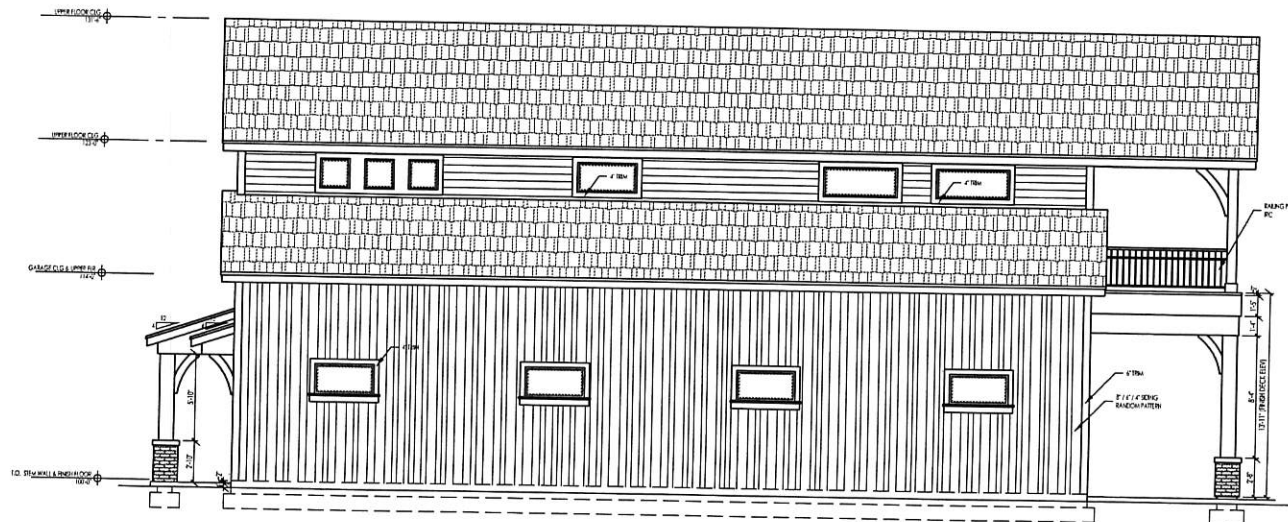
11/7/2

Sheet No.

A2.1



FRONT ELEVATION 1



LEFT ELEVATION 2

#### FLOOR PLAN NOTES

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**sga**  
Planning & Design

21 North Main Street St. George, Utah 84770  
Phone (801) 718-5159  
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project:

**LEWIS  
RESIDENCE**

LOT #

Hurricane, Utah

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- A3.1 BUILDING ELEVATIONS
- A4.1 ROOF PLAN
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- S6 MAIN SHEAR WALL PLAN
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS

##### ELECTRICAL

- E1.1 ELECTRICAL LAYOUT

No.	Revision	Date

#### Upper Floor Plan

Seal Project No. Date

1/17/20

Sheet No.

**A3.0**

project:

## LEWIS RESIDENCE

LOT #

Hurricane, Utah

### LIST OF DRAWINGS

#### ARCHITECTURAL

- A0.1 TITLE SHEET
- A1.1 SITE PLAN
- A2.0 MAIN FLOOR PLAN
- A2.1 FLOOR PLAN
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- A3.1 BUILDING ELEVATIONS
- A4.1 ROOF PLAN
- A5.1 BUILDING SECTION / DETAILS

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- S5 LOWER SHEAR WALL PLAN
- S6 MAIN SHEAR WALL PLAN
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS

#### ELECTRICAL

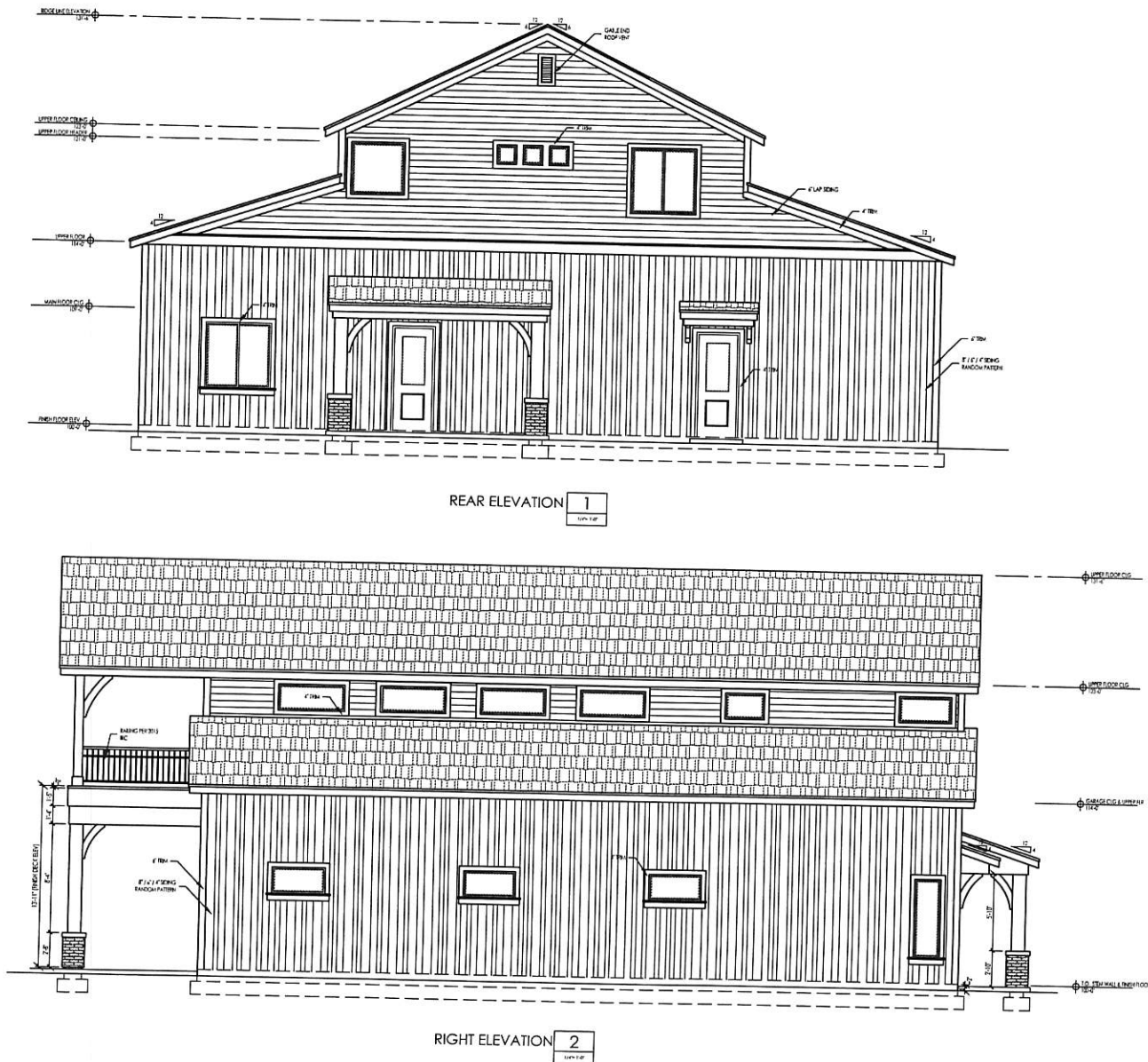
- E1.1 ELECTRICAL LAYOUT

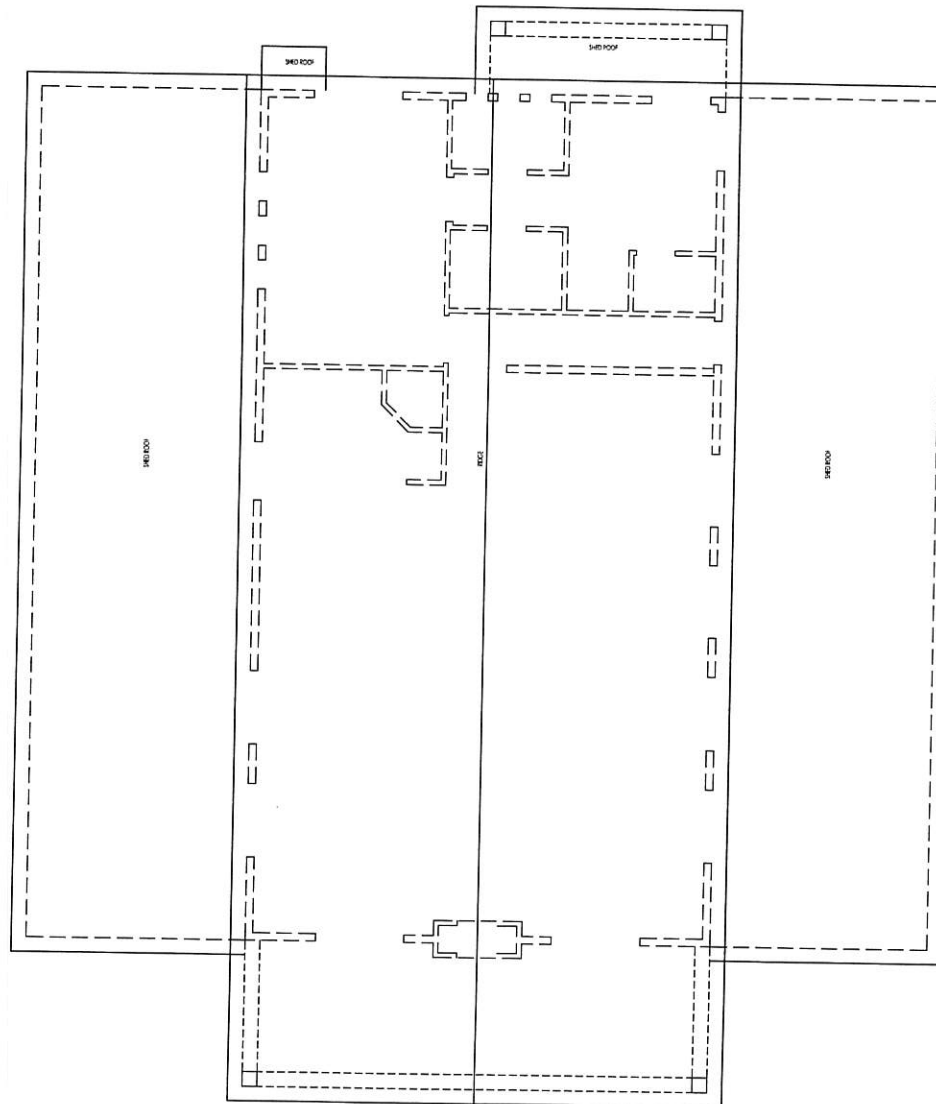
No.	Revision	Date

#### Elevations

Seal	Project No.	Date
		11/7/20
	Sheet No.	

A3.1





# ROOF PLAN NOTES

1. PRE-ENGINEERED TRUSSES @ 24" O.C.

2. TRUSS MANUFACTURE TO VERIFY ROOF PITCH PRIOR TO PRODUCTION OF TRUSSES.

3. TYPICAL ROOF OVERHANG TO BE 18" U.N.O.

4. ALL BEARING WALL DOOR AND WINDOW HEADERS SHALL BE DOUBLE 2X10 WITH ONE TRIMMER & ONE KING STUD ON EACH SIDE, U.N.O.

5. ROOF SHALL BE VENTED WITH THE USE OF RIDGE VENTS, TURTLE VENTS, OR CHAGEN VENTS IN CONJUNCTION WITH UNDER SOFFIT TO MEET OR EXCEED MINIMUM VENTABLE AREA.

**sga**  
Planning  
& Design

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email sean.glatthar@gmail.com

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project:

**LEWIS  
RESIDENCE**

LOT #

Hurricane, Utah

## LIST OF DRAWINGS

### ARCHITECTURAL

- A0.1 TITLE SHEET
- A1.1 SITE PLAN
- A2.0 MAIN FLOOR PLAN
- A2.1 FLOOR PLAN
- A3.0 BUILDING ELEVATIONS
- A3.1 BUILDING ELEVATIONS
- A4.1 ROOF PLAN
- A5.1 BUILDING SECTION / DETAILS

### STRUCTURAL

- S1 FOOTING / FOUNDATION
- S2 MAIN FLOOR FRAMING PLAN
- S3 MAIN ROOF FRAMING
- S5 LOWER SHEAR WALL PLAN
- S6 MAIN SHEAR WALL PLAN
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS

### ELECTRICAL

- ET.1 ELECTRICAL LAYOUT

No.	Revision	Date

Roof Plan

Seal Project No. Date

11/7/20

Sheet No.

ROOF PLAN **1**

**A4.1**

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project:

## LEWIS RESIDENCE

LOT #

Hurricane, Utah

## LIST OF DRAWINGS

## ARCHITECTURAL

- A0.1 TITLE SHEET
- A1.1 SITE PLAN
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- A2.1 FLOOR PLAN
- A3.0 BUILDING ELEVATIONS
- A3.1 BUILDING ELEVATIONS
- A4.1 ROOF PLAN
- A5.1 BUILDING SECTION / DETAILS

## STRUCTURAL

- |     |                         |
|-----|-------------------------|
| S1  | FOOTING / FOUNDATION    |
| S2  | MAIN FLOOR FRAMING PLAN |
| S3  | MAIN ROOF FRAMING       |
| S5  | LOWER SHEAR WALL PLAN   |
| S6  | MAIN SHEAR WALL PLAN    |
| SD1 | STRUCTURAL DETAILS      |
| SD2 | STRUCTURAL DETAILS      |

## ELECTRICAL

- ## E1.1 ELECTRICAL LAYOUT

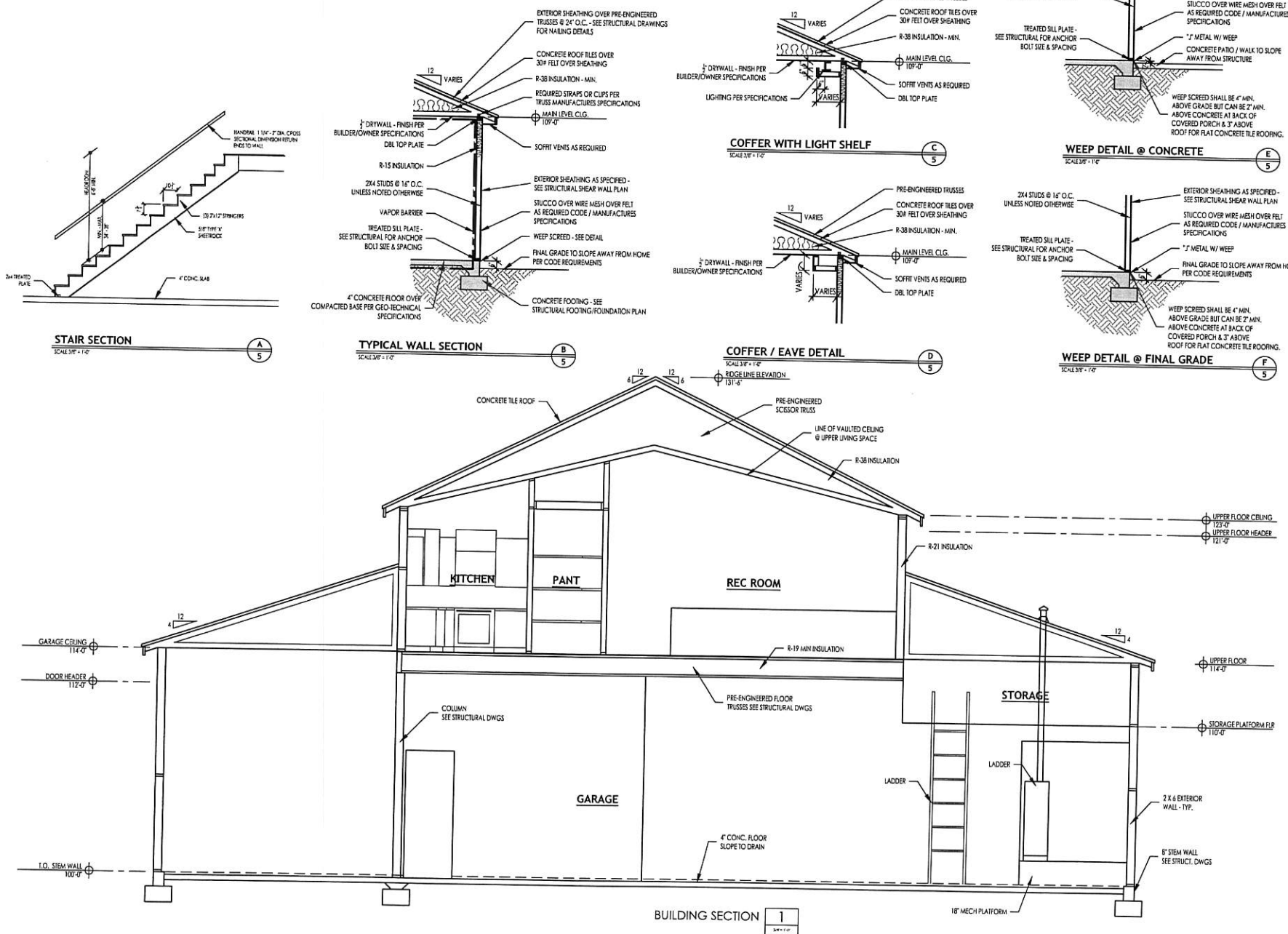
No.	Revision	Date
Drawing Title		

### Building Section & Cabs.

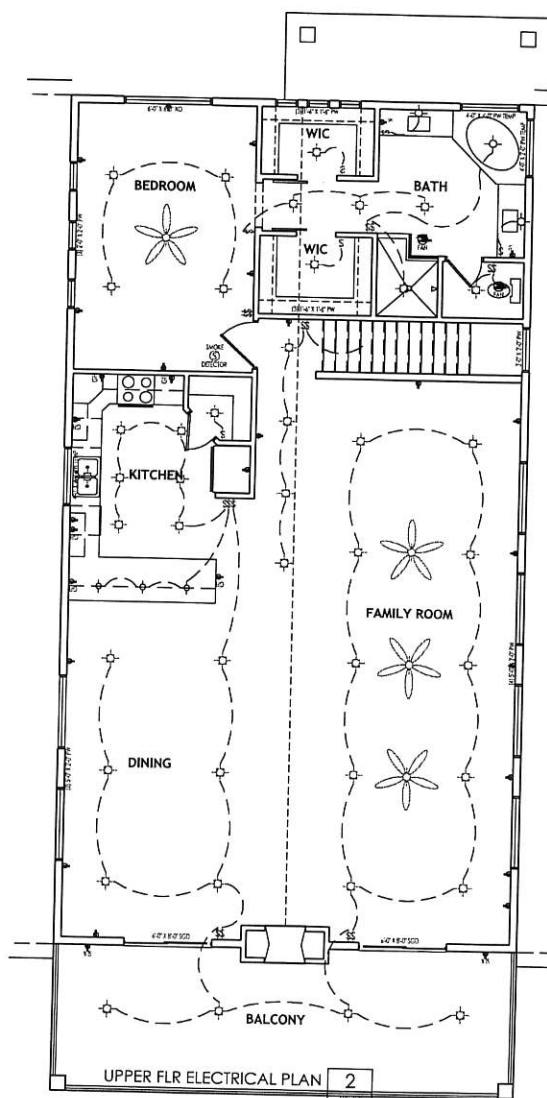
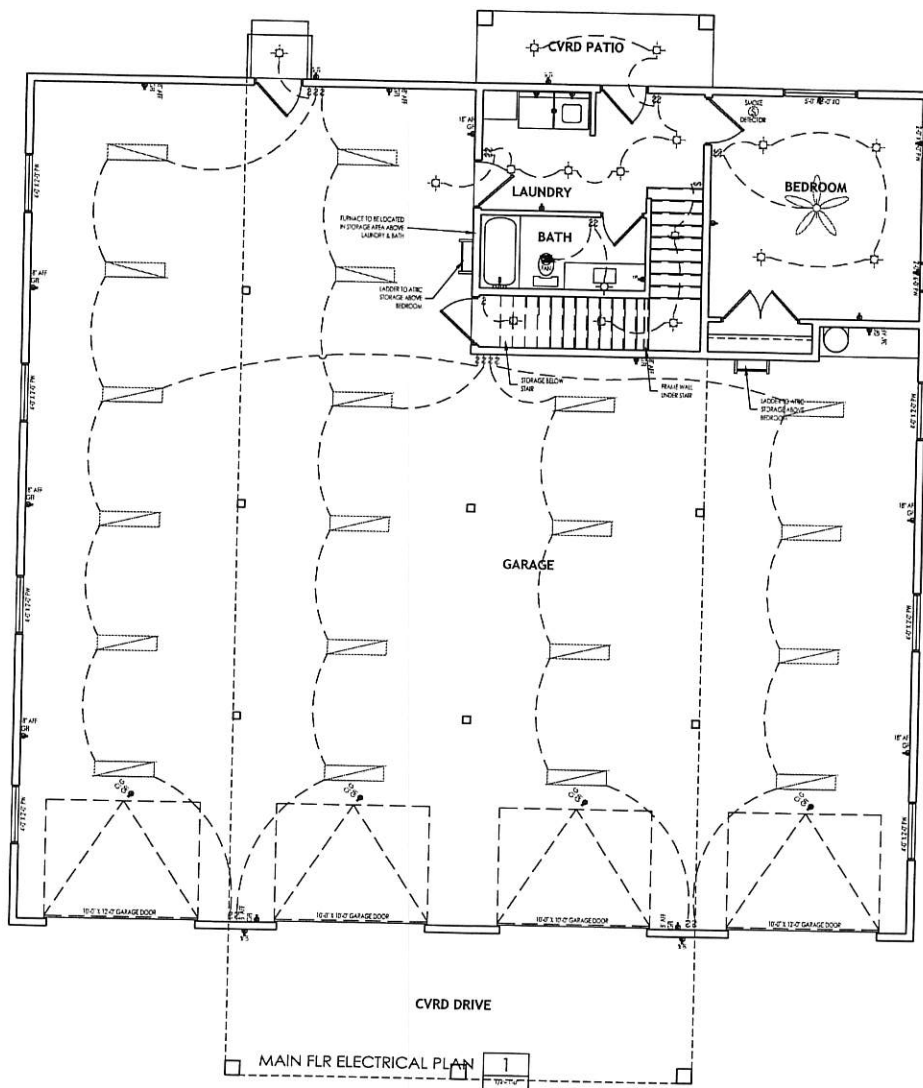
Seal	Project No.	Date
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Sheet No. \_\_\_\_\_

A5.1







- ELECTRICAL NOTES**
1. ALL SMOKES ALARMS TO BE 120V-POWERED BATTERY BACK-UP AND INTERCONNECTED.
  2. CO DETECTORS ON EACH LEVEL TO BE 120V-POWERED BATTERY BACK-UP AND INTERCONNECTED.
  3. CO DETECTORS ARE TO BE LOCATED ON EACH LEVEL AND IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
  4. SMOKE DETECTORS ARE TO BE LOCATED IN EACH BEDROOM AND ON EACH LEVEL IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
  5. ALL 15-20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT.
  6. BRANCH CIRCUITS THAT SUPPLY 125-watt, single phase, 15 and 20 amp outlets installed in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, nurseries, recreation rooms, closets, hallways, laundry areas and similar rooms or areas shall be protected by AFCI.
  7. OUTLETS ARE REQUIRED TO BE INSTALLED SO THAT NO POINT ALONG WALL IS MORE THAN 6' FROM AN OUTLET.
  8. GFCI PROTECTION SHALL BE PROVIDED FOR OUTLETS THAT SUPPLY BOTH THE GARBAGE DISPOSAL & DISHWASHER.

**sga**  
Planning & Design

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project:

**LEWIS  
RESIDENCE**

LOT #

Hurricane, Utah

**LIST OF DRAWINGS**

ARCHITECTURAL

- A0.1 TITLE SHEET
- A1.1 SITE PLAN
- A2.0 MAIN FLOOR PLAN
- A2.1 FLOOR PLAN
- A3.0 BUILDING ELEVATIONS
- A3.1 BUILDING ELEVATIONS
- A4.1 ROOF PLAN
- A5.1 BUILDING SECTION / DETAILS

STRUCTURAL

- S1 FOOTING / FOUNDATION
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- S3 MAIN ROOF FRAMING
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- S6 MAIN SHEAR WALL PLAN
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS

ELECTRICAL

- E1.1 ELECTRICAL LAYOUT

No.	Revision	Date

Electrical Plans

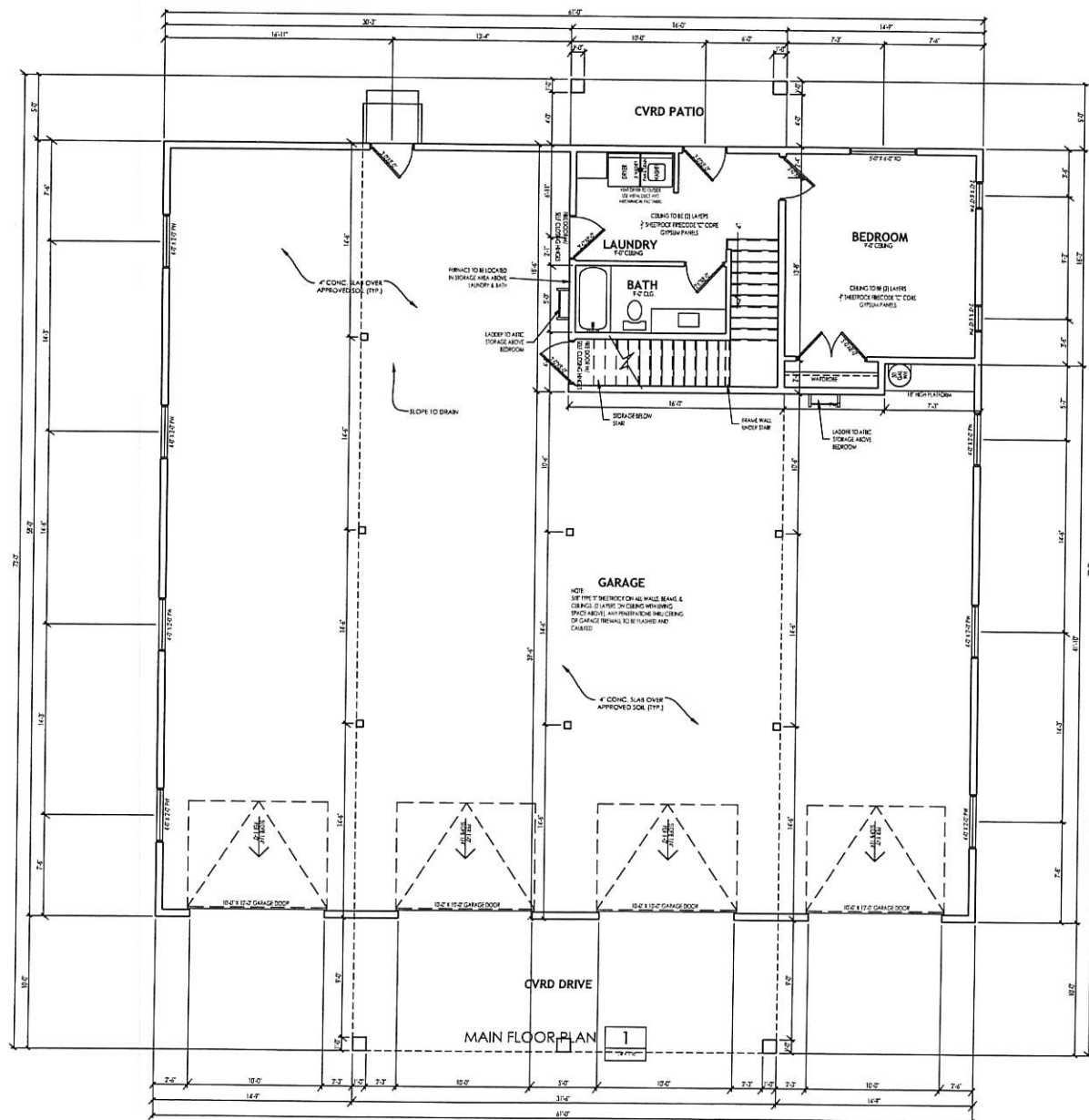
Seal Project No. Date

Sheet No.

**E1.1**

11/7/20





#### SLAB PLAN NOTES

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Planning  
& Design

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project:

## LEWIS RESIDENCE

LOT #

Hurricane, Utah

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- SD2 STRUCTURAL DETAILS

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- E1.1 ELECTRICAL LAYOUT

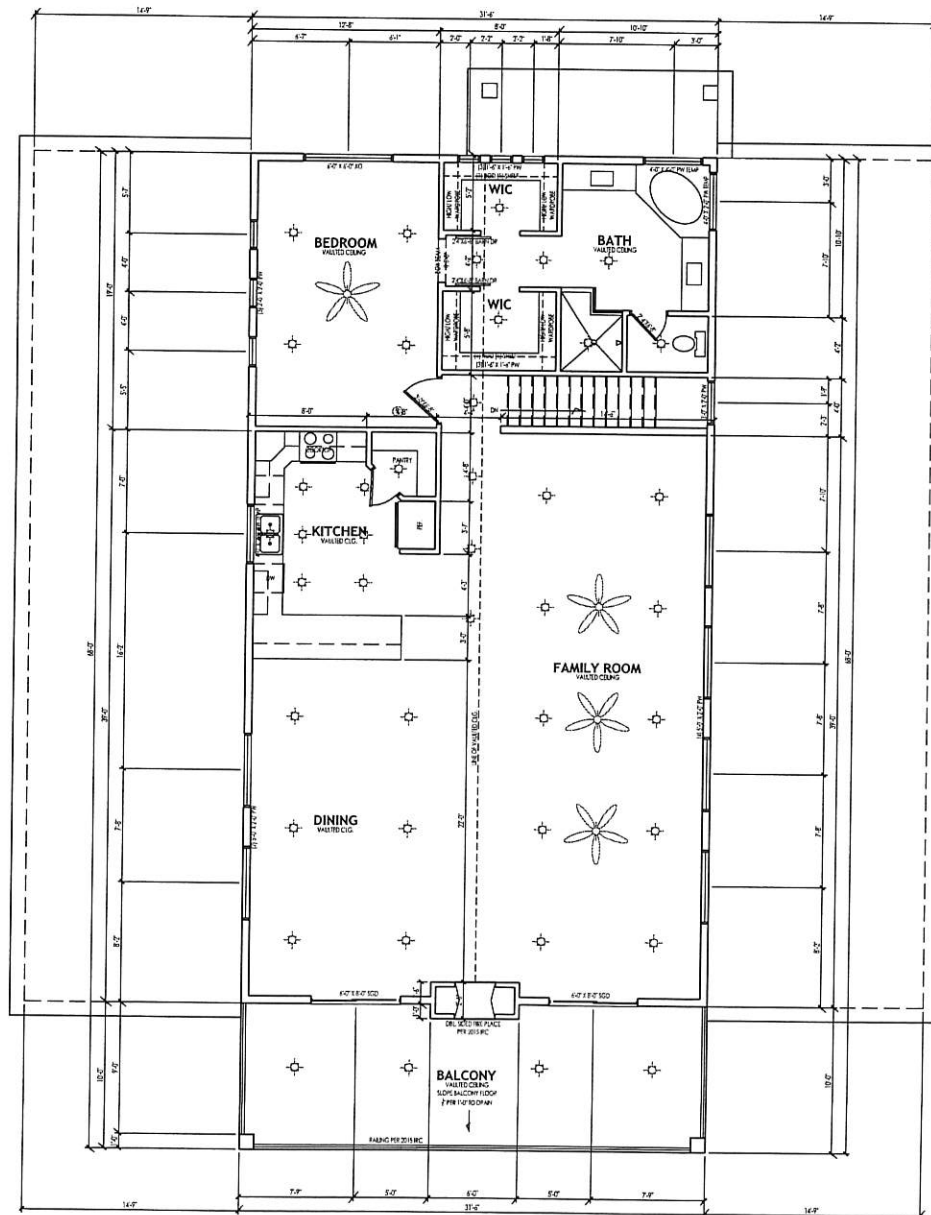
No.	Revision	Date

#### Main Floor Plan

Seal Project No. Date

Sheet No.

A2.0



# FLOOR PLAN NOTES

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Planning  
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project:

## LEWIS RESIDENCE

LOT #

Hurricane, Utah

## LIST OF DRAWING:

### ARCHITECTURAL

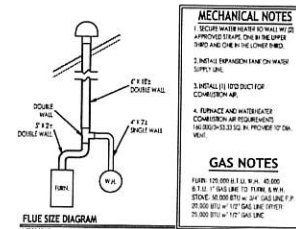
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- A1.1 SITE PLAN
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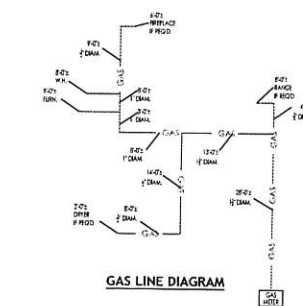
### ELECTRICAL

- E1.1 ELECTRICAL LAYOUT



FLUE SIZE DIAGRAM

NOT TO SCALE



GAS LINE DIAGRAM

MAIN FLOOR PLAN

1

Main Floor Plan - 3,925 sq.ft

Scale Project No. Date

11/7/2

Sheet No.

A2.1



project:

# LEWIS RESIDENCE

LOT #

Hurricane, Utah

## LIST OF DRAWINGS

### ARCHITECTURAL

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- SD1 STRUCTURAL DETAILS
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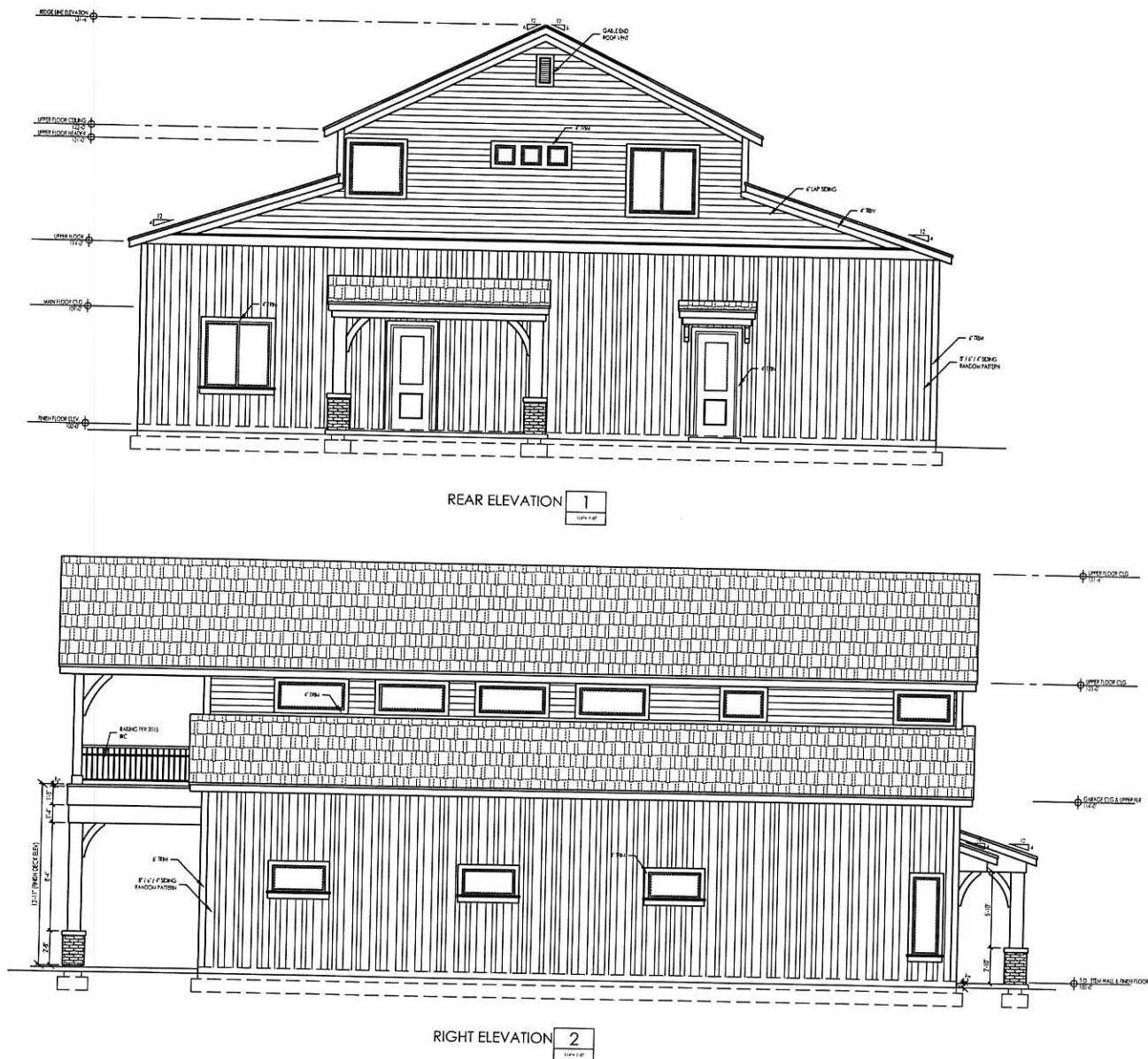
No.	Revision	Date

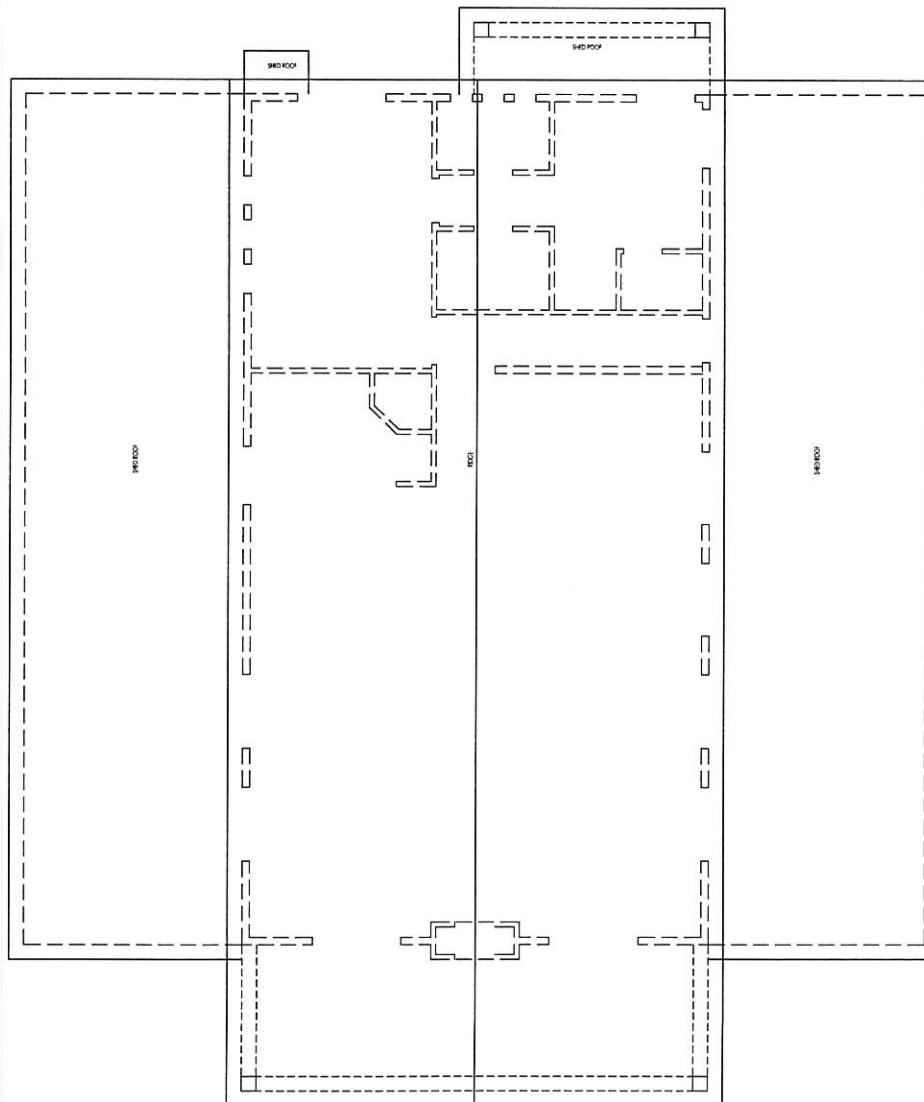
### Elevations

Seal	Project No.	Date
		11/7/20

Sheet No.

**A3.1**





# ROOF PLAN NOTES

1. PRE-ENGINEERED TRUSSES @ 24" O.C.
2. TRUSS MANUFACTURE TO VERIFY ROOF PITCH PRIOR TO PRODUCTION OF TRUSSES.
3. TYPICAL ROOF OVERHANG TO BE 18" U.N.O.
4. ALL BEARING WALL DOOR AND WINDOW HEADERS SHALL BE DOUBLE 2X10 WITH ONE TRIMMER & ONE KING STUD ON EACH SIDE, U.N.O.
5. ROOF SHALL BE VENTED WITH THE USE OF RIDGE VENTS, TURTLE VENTS, OR OHAGEN VENTS IN CONJUNCTION WITH UNDER SOFFIT TO MEET OR EXCEED MINIMUM VENTABLE AREA.

**sga**  
Planning  
& Design

21 North Main Street St. George, Utah 84770  
Phone (801)718-5159  
email seanglathar@gmail.com

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project:  
**LEWIS  
RESIDENCE**  
LOT #  
Hurricane, Utah

## LIST OF DRAWINGS

- ARCHITECTURAL
- A0.1 TITLE SHEET
  - A1.1 SITE PLAN
  - A2.0 MAIN FLOOR PLAN
  - A2.1 FLOOR PLAN
  - A3.0 BUILDING ELEVATIONS
  - A3.1 BUILDING ELEVATIONS
  - A4.1 ROOF PLAN
  - A5.1 BUILDING SECTION / DETAILS
- STRUCTURAL
- S1 FOOTING / FOUNDATION
  - S2 MAIN FLOOR FRAMING PLAN
  - S3 MAIN ROOF FRAMING
  - S5 LOWER SHEAR WALL PLAN
  - S6 MAIN SHEAR WALL PLAN
  - SD1 STRUCTURAL DETAILS
  - SD2 STRUCTURAL DETAILS
- ELECTRICAL
- E1.1 ELECTRICAL LAYOUT

No.	Revision	Date

Roof Plan

Seal Project No. Date

11/7/20

Sheet No.

ROOF PLAN

1

A4.1



project:  
**LEWIS  
RESIDENCE**  
LOT #  
-

Hurricane, Utah

**LIST OF DRAWINGS**

**ARCHITECTURAL**

- A0.1 TITLE SHEET
- A1.1 SITE PLAN
- A2.0 MAIN FLOOR PLAN
- A2.1 FLOOR PLAN
- A3.0 BUILDING ELEVATIONS
- A3.1 BUILDING ELEVATIONS
- A4.1 ROOF PLAN
- A5.1 BUILDING SECTION / DETAILS

**STRUCTURAL**

- S1 FOOTING / FOUNDATION
- S2 MAIN FLOOR FRAMING PLAN
- S3 MAIN ROOF FRAMING
- S5 LOWER SHEAR WALL PLAN
- S6 MAIN SHEAR WALL PLAN
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS

**ELECTRICAL**

- E1.1 ELECTRICAL LAYOUT

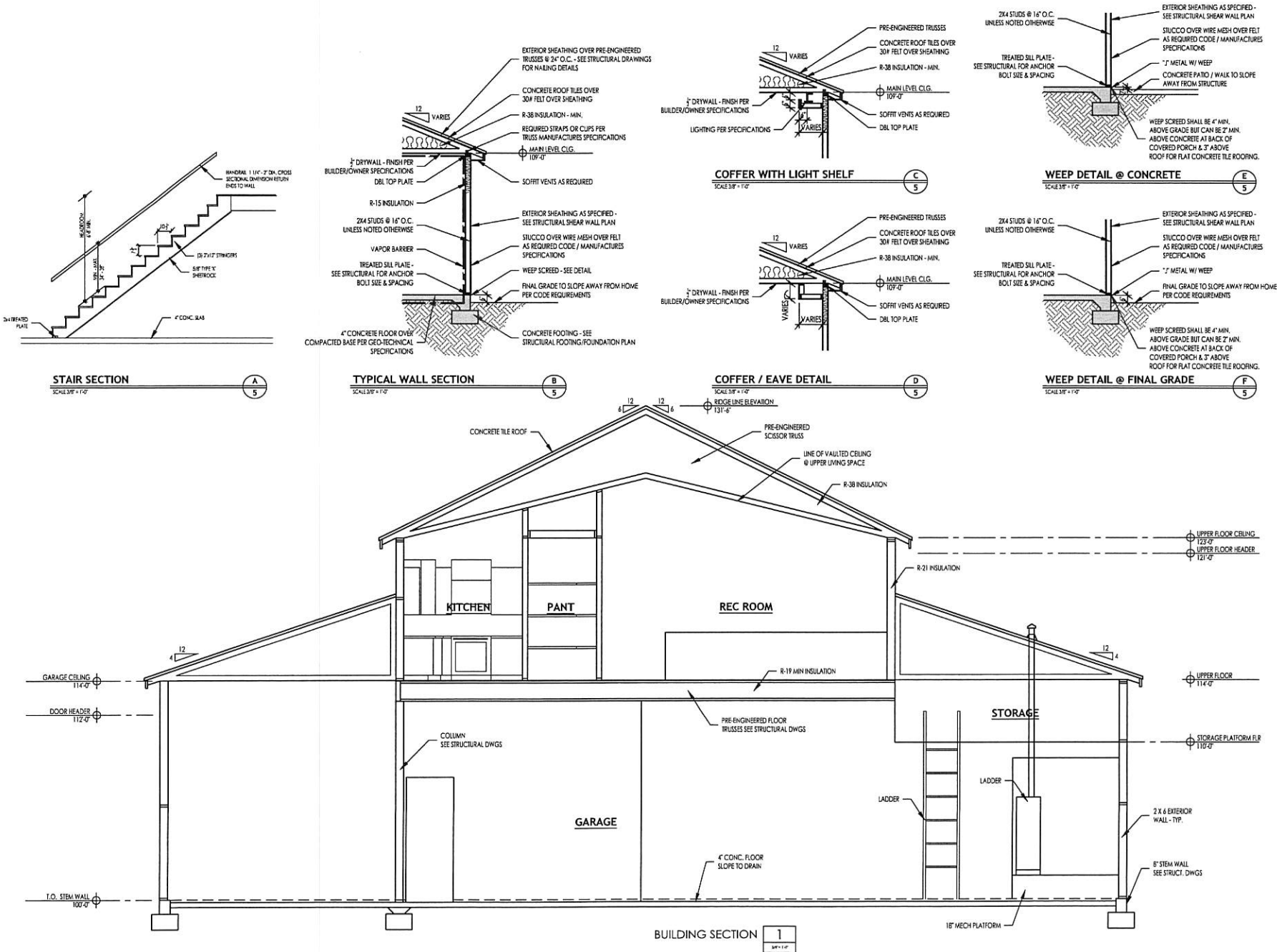
No.	Revision	Date

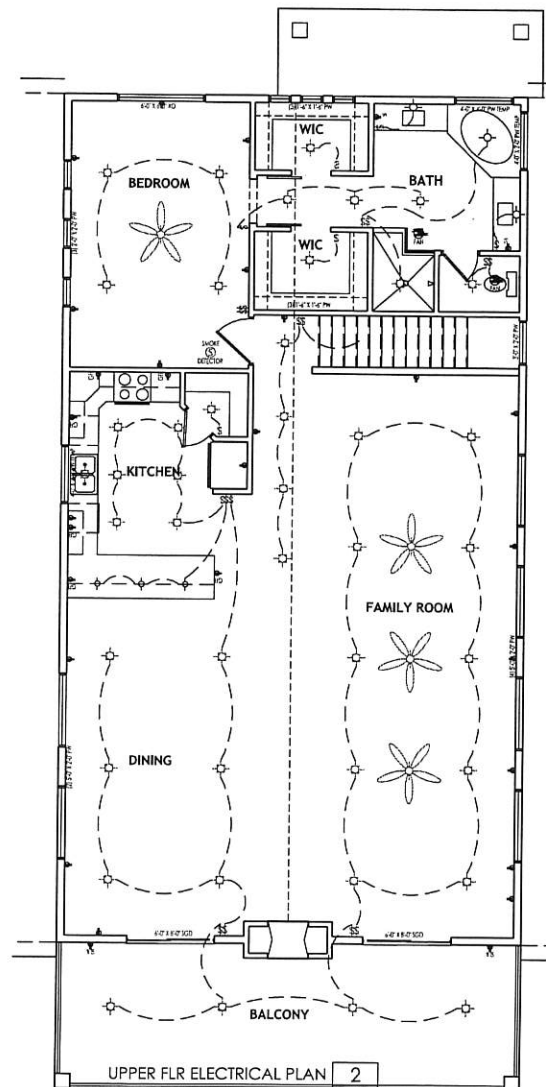
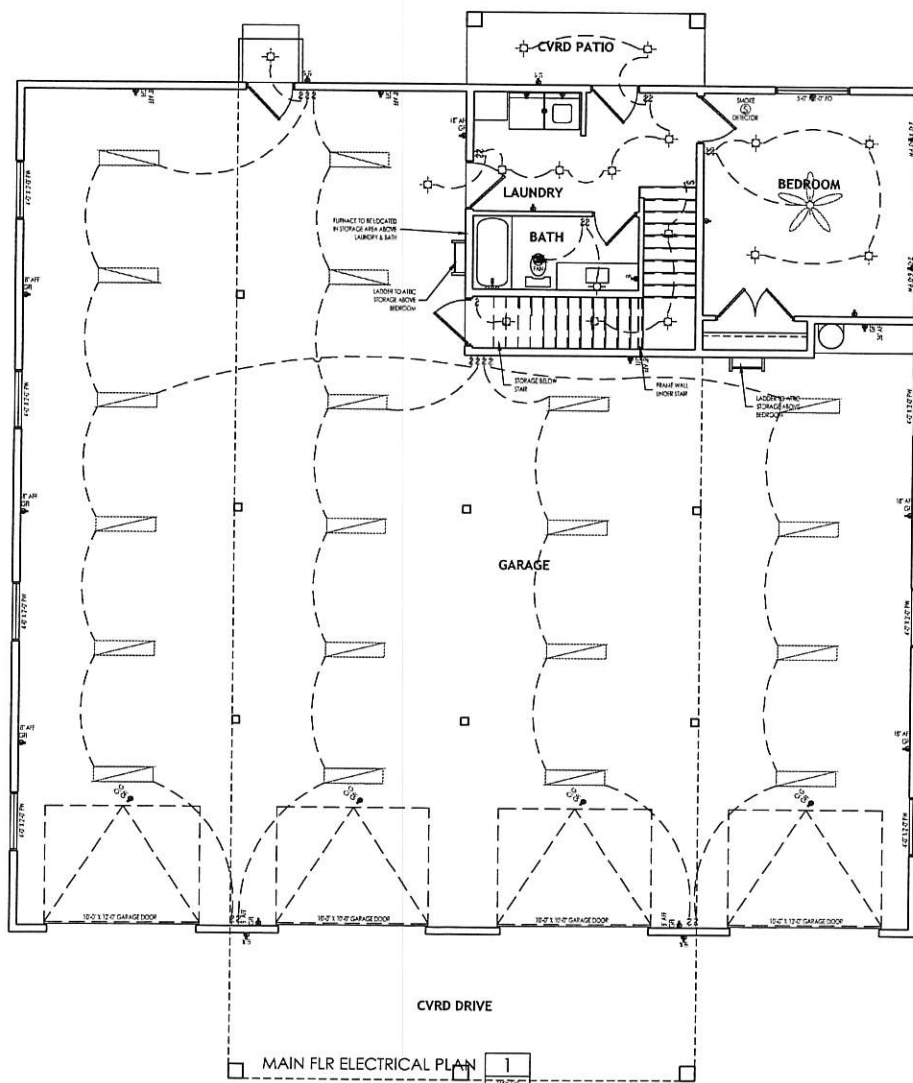
**Building Section & Cabs.**

Seal Project No. Date

Sheet No. 11/7/20

**A5.1**





#### ELECTRICAL NOTES

1. ALL SHOWER ALARMS TO BE 120V POWERED BATTERY BACK-UP AND INTERCONNECTED.
2. CO DETECTORS ON EACH LEVEL TO BE 120V POWERED BATTERY BACK-UP AND INTERCONNECTED.
3. CO DETECTORS ARE TO BE LOCATED ON EACH LEVEL AND IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
4. SMOKE DETECTORS ARE TO BE LOCATED IN EACH BEDROOM AND ON EACH LEVEL IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
5. ALL 15-20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT.
6. BRANCH CIRCUITS THAT SUPPLY 125-volt, single phase, 15 and 20 amp outlets installed in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreational rooms, closets, hallways, laundry areas and similar rooms or areas shall be protected by AFCI.
7. OUTLETS ARE REQUIRED TO BE INSTALLED SO THAT NO POINT ALONG WALLS IS MORE THAN 6' FROM AN OUTLET.
8. ONCE PROVISION SHALL BE PROVIDED FOR OUTLETS THAT SUPPLY BOTH THE GARAGE DISPOSAL & DEFWASHING.

**sga**  
Planning  
& Design

21 North Main Street St. George, Utah 84770  
Phone (801) 716-5159  
email sean.glatthar@gmail.com

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project:

**LEWIS  
RESIDENCE**

LOT #

Hurricane, Utah

**LIST OF DRAWINGS**

ARCHITECTURAL

- A0.1 TITLE SHEET
- A1.1 SITE PLAN
- A2.0 MAIN FLOOR PLAN
- A2.1 FLOOR PLAN
- A3.0 BUILDING ELEVATIONS
- A3.1 BUILDING ELEVATIONS
- A4.1 ROOF PLAN
- A5.1 BUILDING SECTION / DETAILS

STRUCTURAL

- S1 FOOTING / FOUNDATION
- S2 MAIN FLOOR FRAMING PLAN
- S3 MAIN ROOF FRAMING
- S5 LOWER SHEAR WALL PLAN
- S6 MAIN SHEAR WALL PLAN
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS

ELECTRICAL

- E1.1 ELECTRICAL LAYOUT

No.	Revision	Date

Electrical Plans

Seal Project No. Date

Sheet No.

**E1.1**

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project:

# LEWIS RESIDENCE

1442 South 700 West  
Hurricane, Utah

## LIST OF DRAWINGS

### ARCHITECTURAL

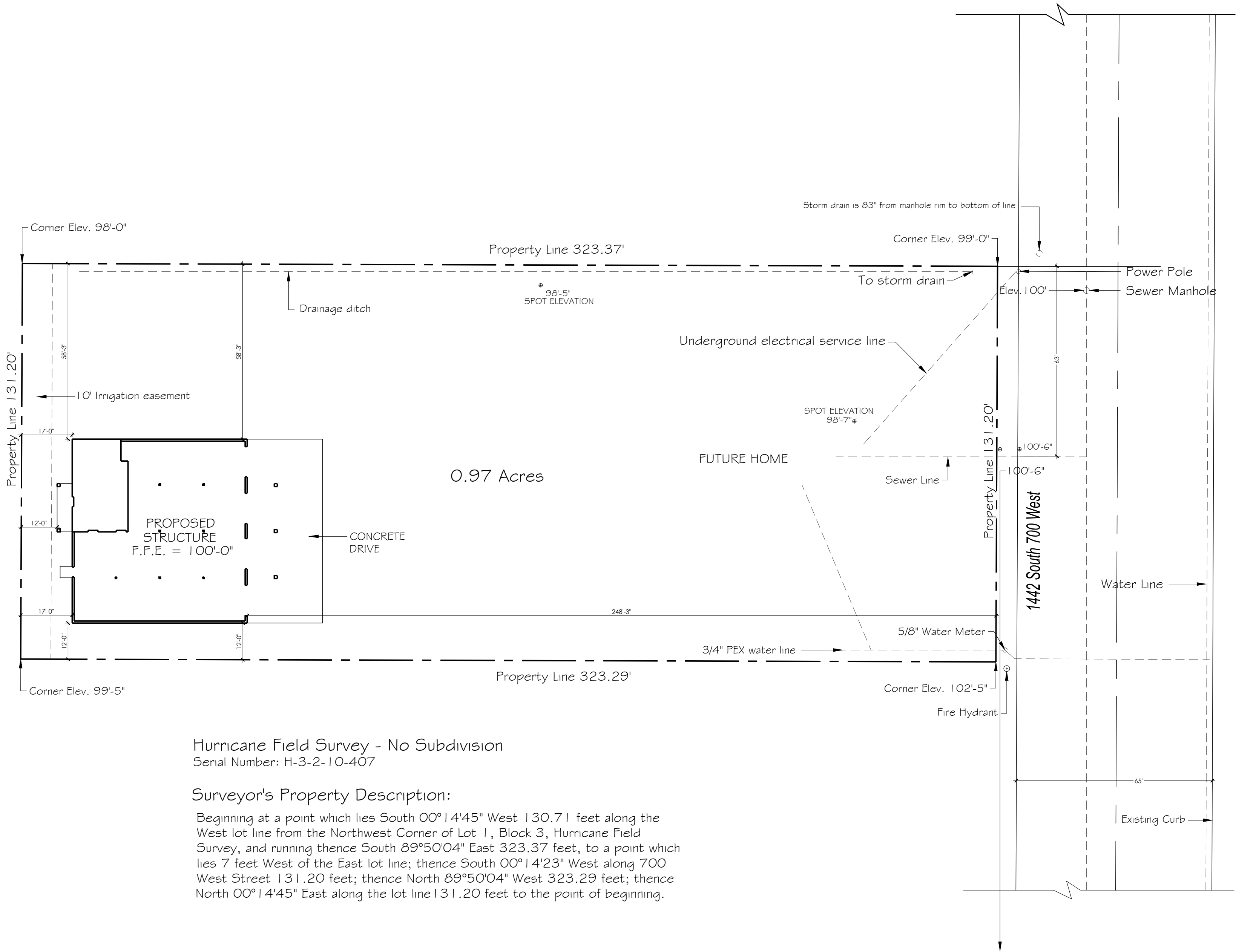
- A0.1 TITLE SHEET
- A1.1 SITE PLAN
- A2.0 MAIN FLOOR PLAN
- A2.1 FLOOR PLAN
- A3.0 BUILDING ELEVATIONS
- A3.1 BUILDING ELEVATIONS
- A4.1 ROOF PLAN
- A5.1 BUILDING SECTION / DETAILS

### STRUCTURAL

- S1 FOOTING / FOUNDATION
- S2 MAIN FLOOR FRAMING PLAN
- S3 MAIN ROOF FRAMING
- S5 LOWER SHEAR WALL PLAN
- S6 MAIN SHEAR WALL PLAN
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS

### ELECTRICAL

- E1.1 ELECTRICAL LAYOUT



Hurricane Field Survey - No Subdivision  
Serial Number: H-3-2-10-407

#### Surveyor's Property Description:

Beginning at a point which lies South 00°14'45" West 130.71 feet along the West lot line from the Northwest Corner of Lot 1, Block 3, Hurricane Field Survey, and running thence South 89°50'04" East 323.37 feet, to a point which lies 7 feet West of the East lot line; thence South 00°14'23" West along 700 West Street 131.20 feet; thence North 89°50'04" West 323.29 feet; thence North 00°14'45" East along the lot line 131.20 feet to the point of beginning.

SITE PLAN

1  
1/8" = 1'-0"



#### PLOT PLAN NOTES

1. THERE EXISTS A 10' WIDE PUBLIC UTILITY EASEMENT ON FRONT SIDE OF LOT & A 7.5' WIDE UTILITY & DRAINAGE ON SIDES & REAR
2. HOME IS 68'-0" WIDE X 65'-0" DEEP & NO OTHER BUILDING EXISTS ON SITE.
3. HOME FACES : NORTH EAST
4. HOUSE IS TO BE LOCATED ON LOT USING ENGINEERED CORNERS.
5. HOUSE SHALL CONFORM TO ALL REQUIRED SETBACKS
6. CONTRACTOR TO PROVIDE DUMPSTER, PORTA-JOHN, MATERIAL STAGING AND CONCRETE WASH AREA.

-	-	-
No.	Revision	Date
Drawing Title		

#### Site Plan

Seal	Project No.	Date
		11/7/20
Sheet No.		

A1.1

## STAFF COMMENTS

**Agenda:** December 10, 2020 **File Number:** 2020-CUP-13

**Type of Application:** Conditional Use Permit

**Applicant:** Michael Nielson

**Request:** A Conditional Use Permit for an accessory building in an RA-0.5 Zone

**Location:** 717 S 775 W

**General Plan:** N/A

**Existing Zoning:** RA-0.5

**Discussion:** The applicant proposes constructing a 1,848 sq. ft., 29' 2" tall accessory building. Hurricane City Code (HCC) 10-14-4 allows the max square feet and height of an accessory building to be 2,000 sq. ft. and 20' tall. A property owner may apply for a conditional use permit to be able to build a taller building. The standards to obtain a conditional use permit are as follows:

*10-7-9: CONDITIONAL USE PERMIT E. Approval Standards: The following standards shall apply to the issuance of a conditional use permit:*

*1. A conditional use permit may be issued only when the proposed use is shown as conditional in the zone where the conditional use will be located, or by another provision of this title.*

*2. Standards for each use must be reviewed. Specific standards are set forth for each use in subsections E2a through E2g of this section:...*

*e. Standards for greater heights and size than permitted by this Code:*

*(1) The height may not be greater than two (2) stories or 1.5 times the average height of the immediately adjacent buildings, whichever is greater and the building must be of compatible architecture with immediately adjacent buildings.*

*(2) When a greater height accessory building is approved, the building must be set back a minimum of five feet (5') from side and rear property lines when the adjoining property is for single family residential use.*

*(3) The greater size building desired must be of compatible architecture with immediately adjacent buildings, must leave at least fifty percent (50%) of the lot on which it is located free of buildings, and must be for a use permitted in the zone in which it is located. (Ord. 2018-14, 12-20-2018)*

### **Findings:**

1. The proposed building is not greater than two stories, at 29' 2"

2. The proposed building is planned to have an exterior composed of split-face block and stucco.
3. The building is set back a minimum of 5' from the side property lines and 5' off the back.

**Recommendation:** Based on the above findings, staff recommends approval of a conditional use permit for the proposed accessory building as presented.



## CONDITIONAL USE PERMIT

City of Hurricane  
147 N 870 W  
Hurricane, Utah 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$ 250

For office use only:

File No: 2020-CMP-13

Receipt: 8.14.1954

### APPLICATION & SUBMITTAL CHECKLIST

Name: Michael Nielson Telephone: 435-229-1074

Address: 717 S. 775 W. Fax No. \_\_\_\_\_

Email: mike@skregear.com

Agent (If applicable): \_\_\_\_\_ Agent's Phone: \_\_\_\_\_

Agent email: \_\_\_\_\_

Address of Subject Property: 717 S. 775 W.

Tax ID of Subject Property: H-HACA-5 Zone District: \_\_\_\_\_

Proposed Conditional Use: (Describe, use extra sheet if necessary) Requesting overall building height to be 29'2" for this detached garage.  
This application shall be accompanied by the following:

- ☒ 1. A plot plan showing the following:
  - ☒ Property boundaries, dimensions and existing streets.
  - ☒ Location of existing and proposed building or livestock facility
  - ☒ Adjoining property lines and uses within one hundred (100) feet of subject property.
- ☒ 2. A reduced copy of all plans (8 1/2 x 11 if readable, or 11 x 17) if original plans are larger.
- ☒ 3. Building floor plans for new construction
- ☒ 4. A statement of how the applicant intends to meet the conditions for the use desired
- ☐ 5. Signed and notarized Affidavit of Property owner showing evidence that the applicant has control of the property or copy of warranty deed

NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application cannot be reviewed until it is complete. Fee is part of the application.

\*\*\*\*\*

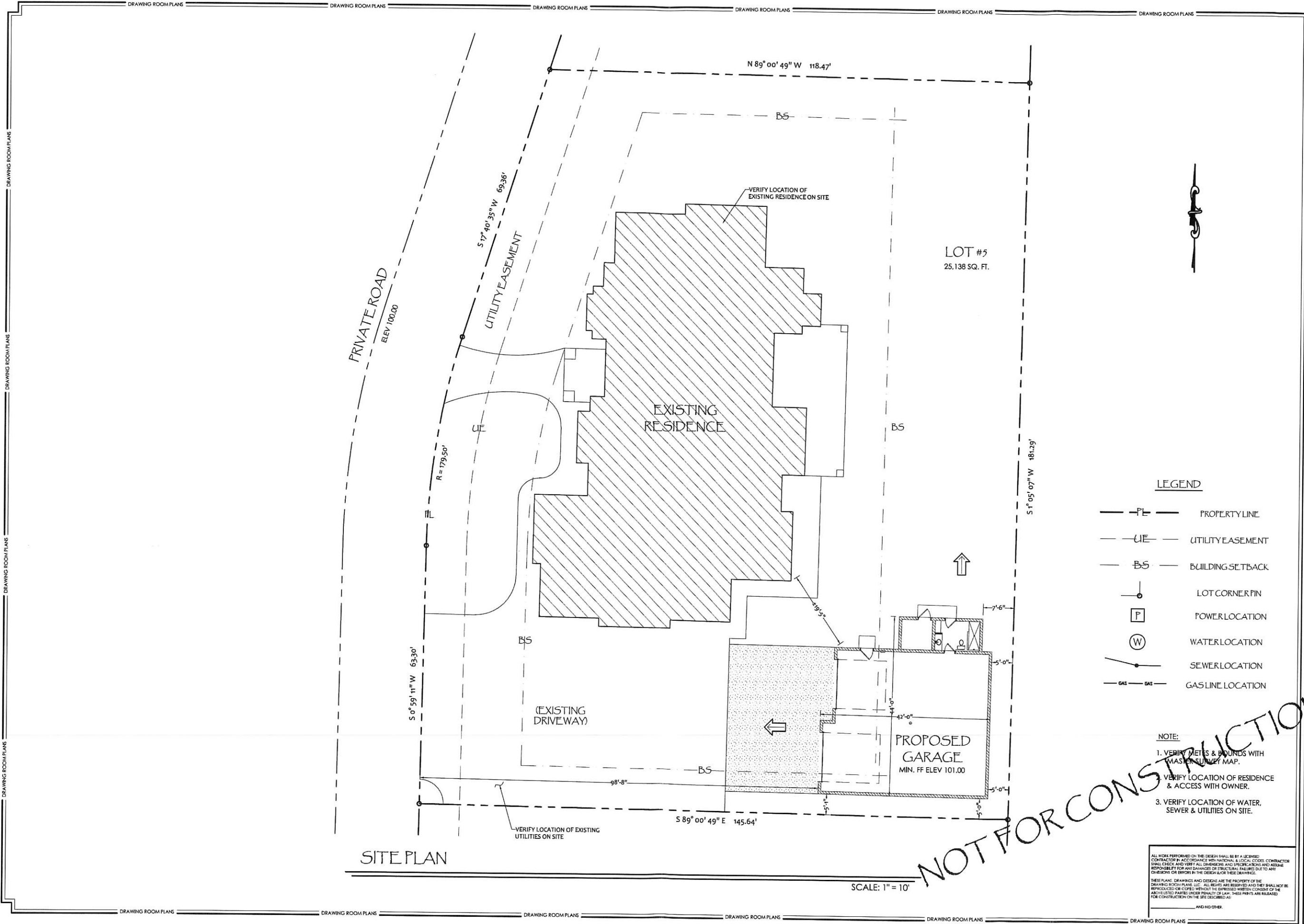
(Office Use Only)

Date Received: 12/2/20

Received by: CB

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

\* In accordance with attached plans I will not exceed 1.5 times the height of the adjacent structure



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(877) 54-PLANS  
www.DrawingRoomPlans.com



LOT 5, HARDCASTLE ESTATES  
SITE PLAN  
HURRICANE, UTAH

NIELSON GARAGE

REVISIONS

DATE: 11.30.20

SCALE: 1" = 10'

DRAWN: A. TRUJILLO

JOB: 20-NIELSON

SHEET

C-1

OF 6 SHEETS

NOTE:

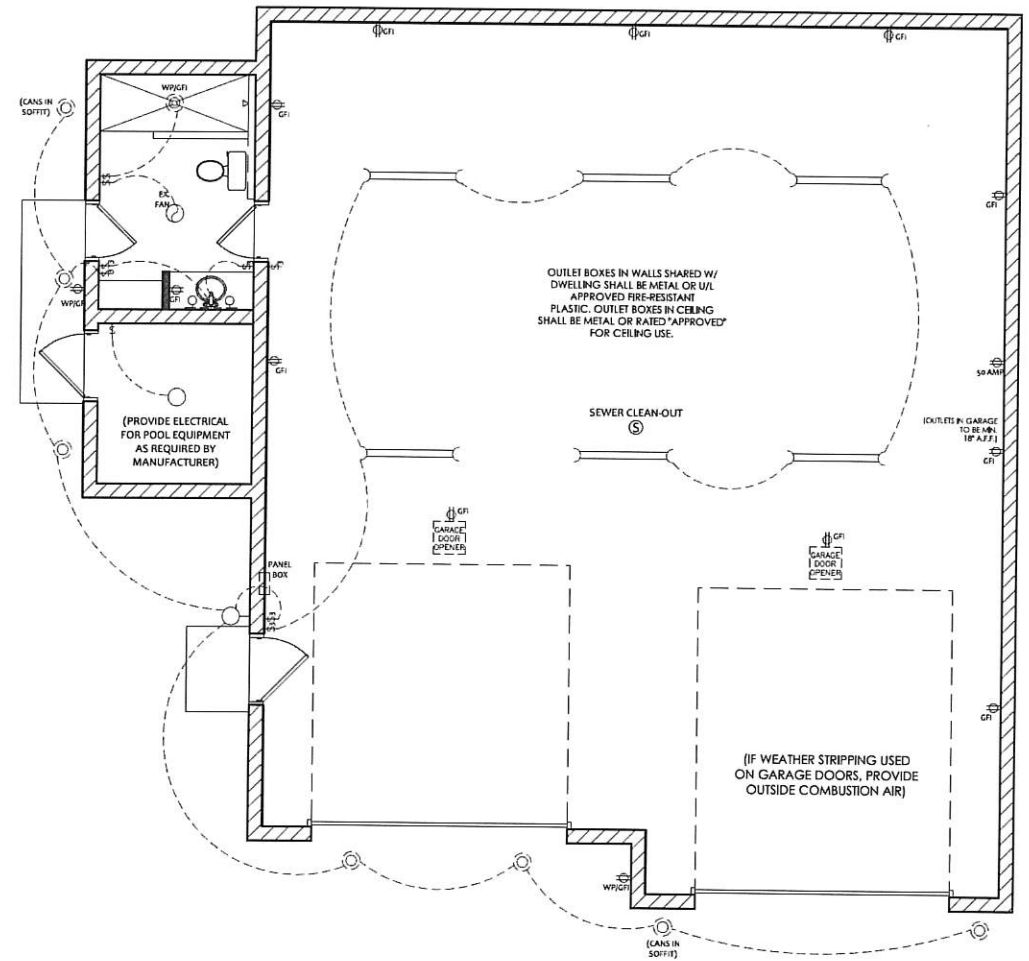
1. VERIFY METES & BOUNDS WITH WAS SURVEY MAP.
2. VERIFY LOCATION OF RESIDENCE & ACCESS WITH OWNER.
3. VERIFY LOCATION OF WATER, SEWER & UTILITIES ON SITE.

ALL WORK PERFORMED ON THIS DESIGN SHALL BE BY A LICENSED CONTRACTOR IN ACCORDANCE WITH NATIONAL & LOCAL CODES. CONTRACTOR SHALL CHECK AND VERIFY ALL CONCRETE AND SPECIAL TIES AND ADHERE RESPONSIBLY FOR ANY DAMAGES OR STRUCTURAL FAILURES DUE TO ANY CHANGES OR ERRORS IN THE DESIGN OR THESE DRAWINGS.

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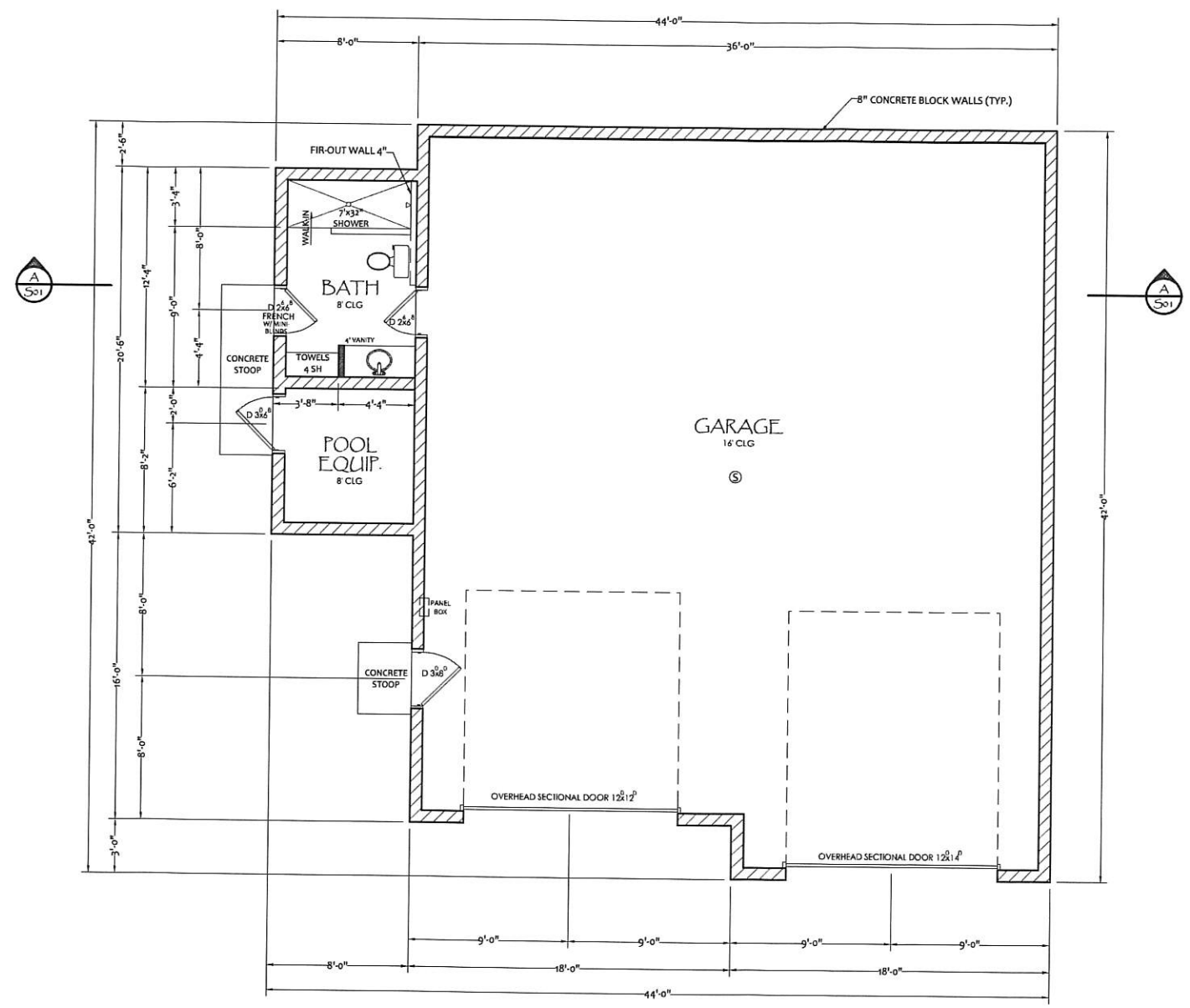
AND NO OTHER.





NOTE:  
1. ELECTRICIAN TO VERIFY SIZE & LOCATION OF PANEL BOX AND CONNECTION TO EXISTING UTILITIES.

GARAGE ELECTRICAL PLAN



GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
GARAGE	1,458
POOL EQUIP & BATH	164
TOTAL	1,622

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AND NO OTHER

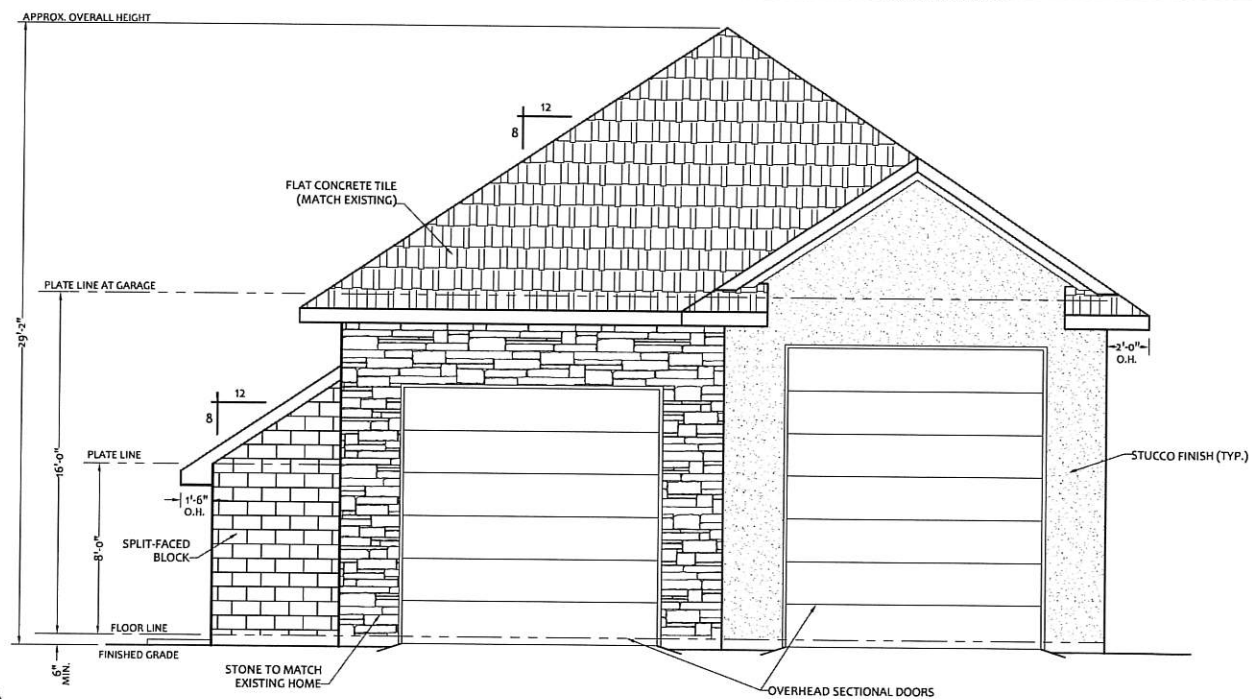
DRAWING ROOM PLANS, LLC  
(877) 94-PLANS  
www.DrawingRoomPlans.com

GARAGE FLOOR PLAN

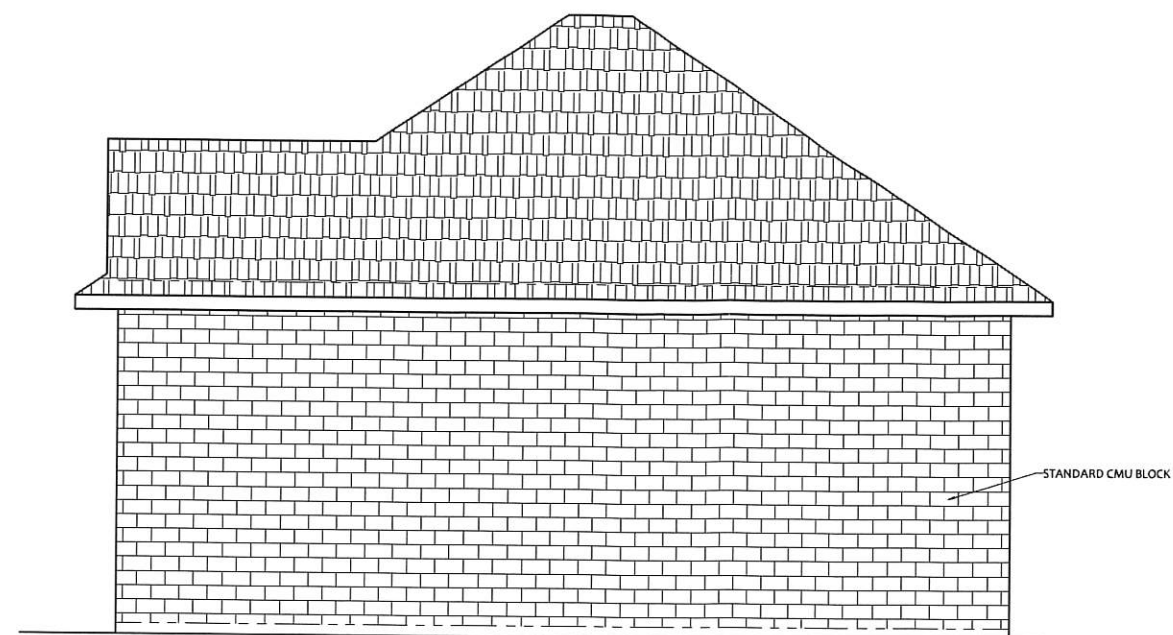
NIELSON GARAGE

REVISIONS

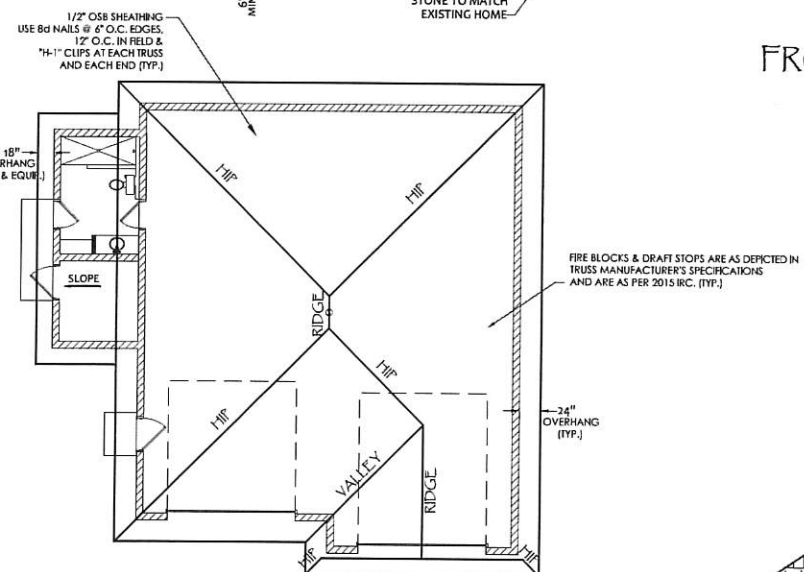
DATE: 11.29.20  
SCALE: 1/4" = 1'-0"  
DRAWN: A. TRUJILLO  
JOB: 2-NIELSON  
SHEET: GA-1  
OF 4 SHEETS



FRONT VIEW



RIGHT SIDE VIEW



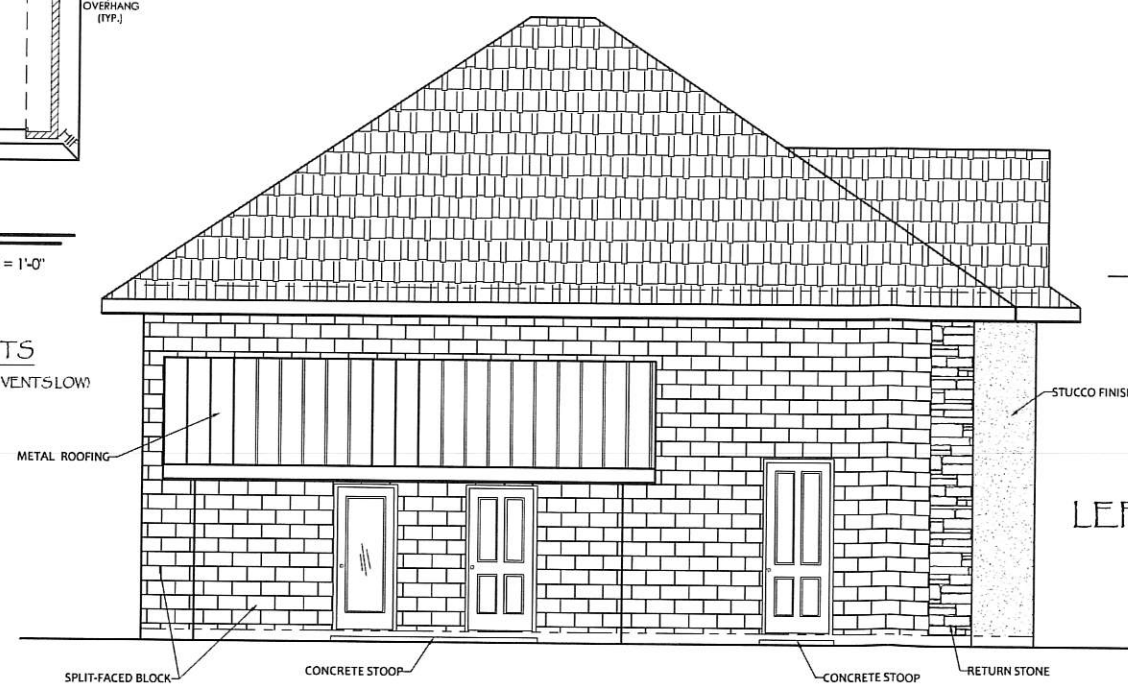
## ROOF OVERVIEW

SCALE: 1/8" = 1'-0"

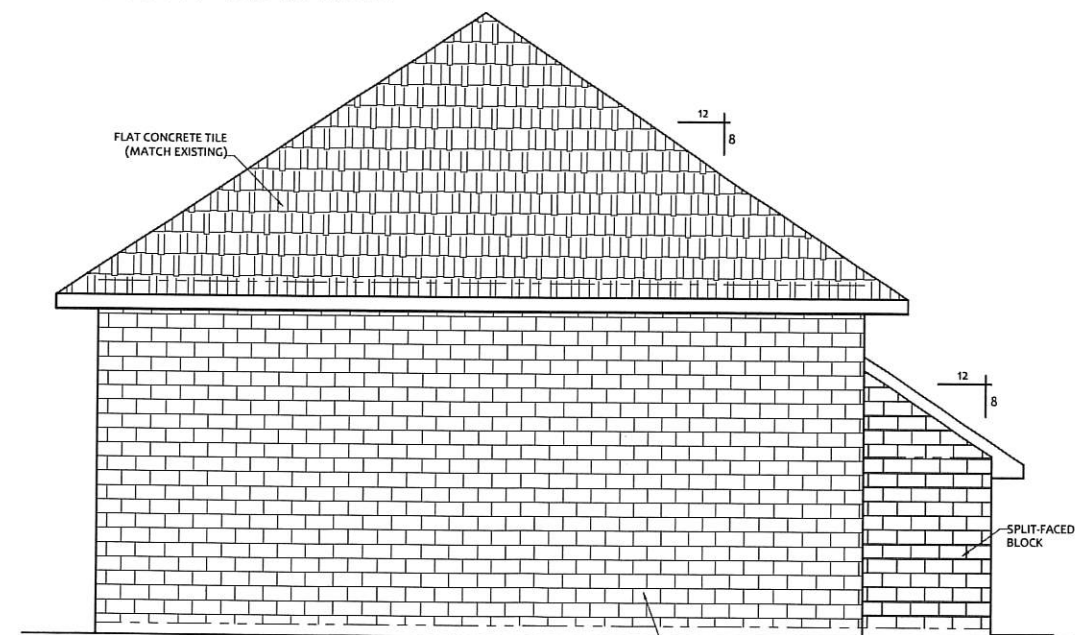
O'HAGIN VENT FORMULA:

$$1,622 \text{ SQ. FT.} / 300 = 5.4 \times 144 = 778.56 / 95 = \underline{8 \text{ VENTS}}$$

(4 VENTS HIGH, 4 VENTS LOW)



LEFT SIDE VIEW



REAR VIEW

## GARAGE ELEVATIONS

SCALE: 1/4" = 1'-0"

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## GARAGE ELEVATIONS

NIELSON GARAGE

## REVISIONS

DATE 11.29.20

SCALE: 1/4" = 1'-0"

DRAWN: A. TRUJILL

JOB 2-NIELSON

SHEET

GA-2

OF 4 SHEETS

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#### AND NO OTHER

## DRAWING ROOM PLANS

DRAWING ROOM PLANS

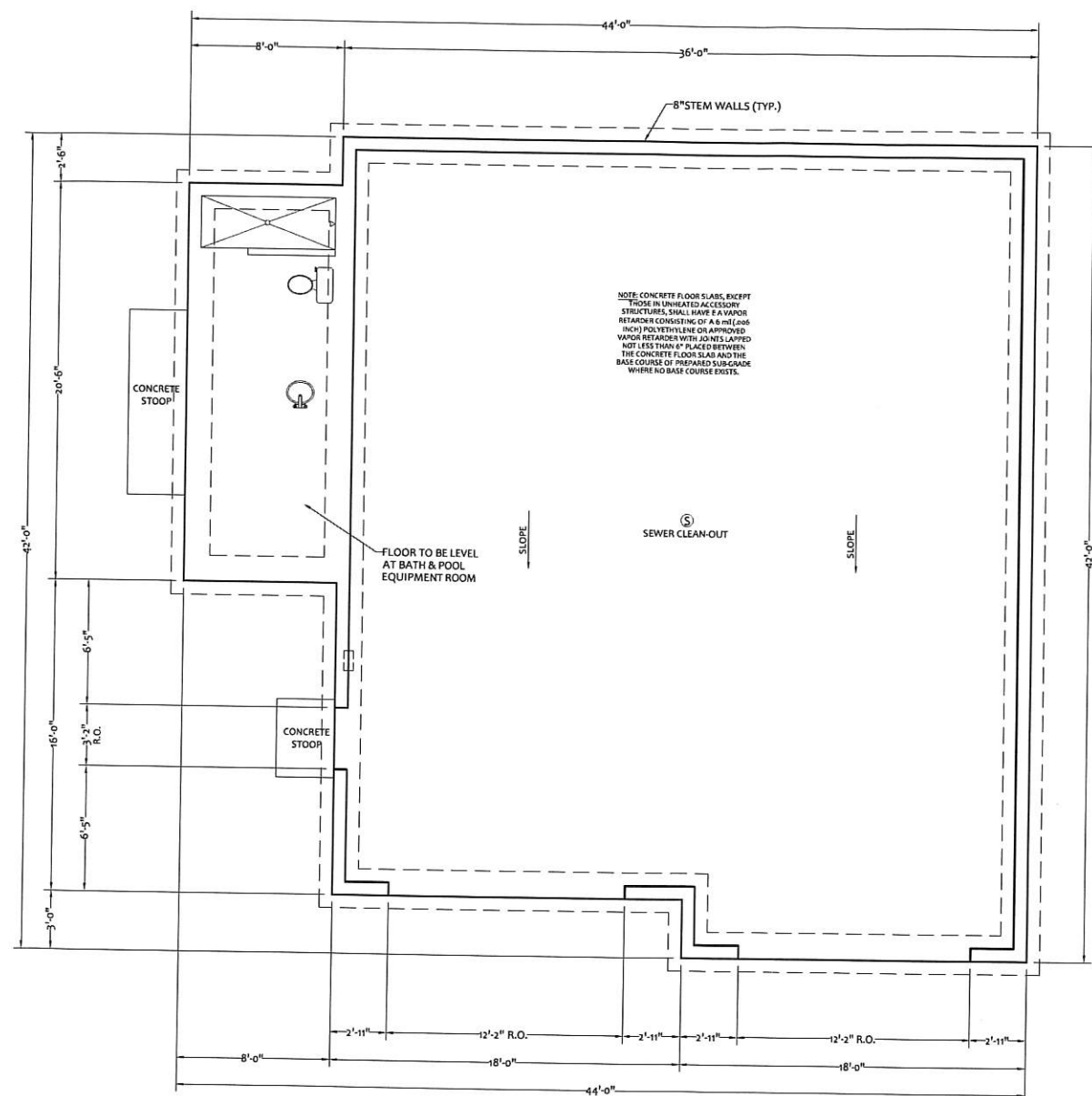
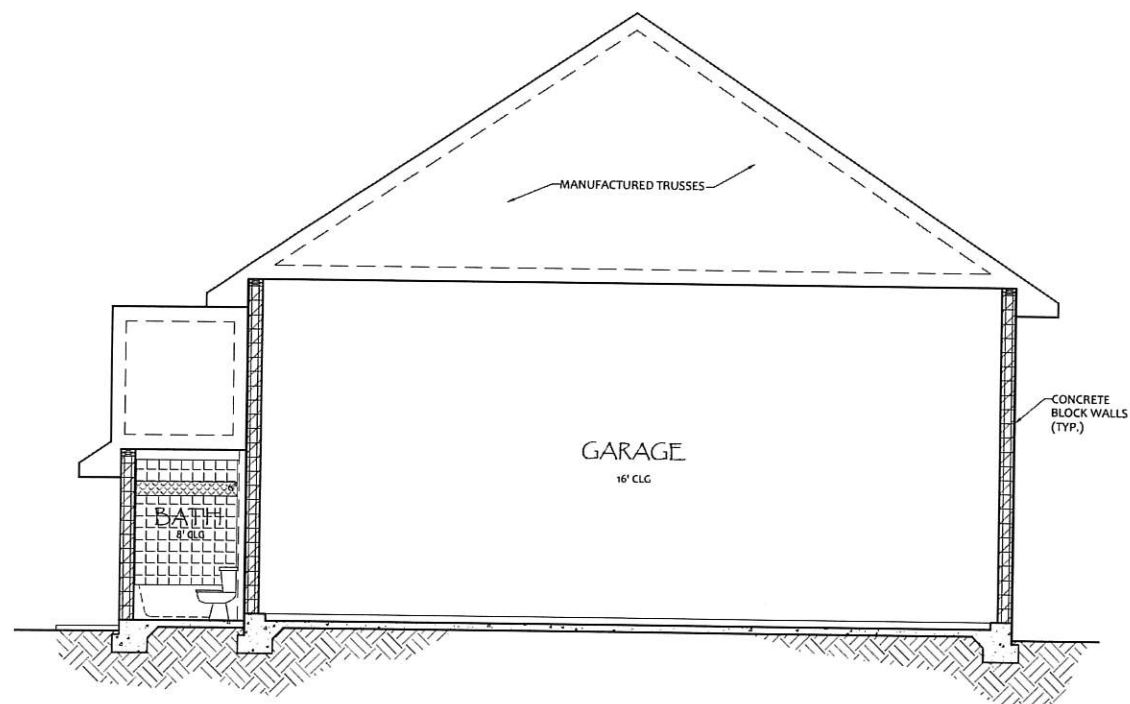
DRAWING ROOM PLANS

DRAWING ROOM PLANS —

DRAWING ROOM PLANS —

DRAWING ROOM PLANS

4



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[www.DrawingRoomPlans.com](http://www.DrawingRoomPlans.com)



## GARAGE FOUNDATION PLAN

NIELSON GARAGE

DATE: 11.29.20

SCALE: 1/4" = 1'-0"

DRAWN: A. TRUJILLO

JOB 2-NIELSON

SHEET

GS-0.1

OF 4 SHEETS

NOTE:  
1. CONTRACTOR TO VERIFY SIZE, USE & LOCATION  
ON LOAD BEARING AREAS & SUPPORTS AS PER SOILS  
REPORT, 2015 I.R.C. , 2015 I.B.C. & ENGINEERING SPECS.

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AND NO OTHER

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AND NO OTHER

SCALE: 1/4" = 1'-0"

GARAGE FOUNDATION PLAN

## DRAWING ROOM PLANS

DRAWING ROOM SLAM

---

## STAFF COMMENTS

**Agenda:** December 10, 2020 **File Number:** 2020-APA-08

**Type of Application:** Agricultural Protection Overlay

**Applicant:** Milton W Hall and Eight Acres

**Request:** A report for the City Council on a proposal to create an Agricultural Protection Area

**Location:** 1100 W and 2700 S

**General Plan:** Agricultural/Rural Residential 5+ Acres

**Existing Zoning:** RA-1

**Discussion:** This request is not to change the zone but protect the land with an Agricultural Protection Area. The total size is 40 acres. State and City code sets the standards for review by the Planning Commission and the County Agricultural Protection Area Advisory Committee. An Agricultural Protection Area grants certain legal protections to the property, including preventing rezoning the property, providing a defense against nuisance actions, notice to new subdivisions, and limiting eminent domain actions. These protections are found in Utah Code, sections of which are included in this report.

The Dixie Conservation District reviewed the application on November 24, 2020, and gave a favorable recommendation to the City Council.

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	RA-1 & Ag Protection	Fields and Sparse Housing
East	PF	Hurricane Airport
South	RA-1	Fields and Sparse Housing
West	RA-1 & Ag Protection	Fields and Sparse Housing

The criteria set by State law (17-41-303) for a “written report to the legislative body” is that it:

1. *Analyzes and evaluates the effect of the creation of the proposed area on the planning policies and objectives of the ....municipality....:*  
This proposal appears to support objectives to maintain agricultural properties and to develop in a generally open and low profile way.
2. *Analyzes and evaluates the proposal by applying the criteria contained in Section 17-41-305 –*  
*In evaluating a proposal and in determining whether or not to create or recommend the creation of an agriculture protection area, industrial protection area, or critical infrastructure materials protection area, the advisory committee, planning commission, and applicable legislative body shall apply the following criteria:*

- (1) *whether or not the land is currently being used for agriculture production, industrial use, or critical infrastructure materials operations, as the case may be;*
- (2) *whether or not the land is zoned for agriculture use, industrial use, or critical infrastructure materials operations, as the case may be;*
- (3) *whether or not the land is viable for agriculture production, industrial use, or critical infrastructure materials operations, as the case may be;*
- (4) *the extent and nature of existing or proposed farm improvements, the extent and nature of existing or proposed improvements to or expansion of the industrial use, or the extent and nature of existing or proposed improvements to or expansion of critical infrastructure materials operations, as the case may be; and*
- (5)
  - (a) *in the case of an agriculture protection area, anticipated trends in agricultural and technological conditions;*
  - (b) *in the case of an industrial protection area, anticipated trends in technological conditions applicable to the industrial use of the land in question; or*
  - (c) *in the case of a critical infrastructure materials protection area, anticipated trends in technological conditions applicable to the critical infrastructure materials operations of the land in question.*

The current agriculture uses include irrigated pasture for livestock, livestock feeding and housing, hay/crop/produce production, and storage. The Zoning is RA-1.

3. *Recommends any modifications to the land to be included in the proposed agricultural protection area.*

The Planning Commission members should discuss any modifications they might recommend with the application.

4. *Analyzes and evaluates any objections to the proposal.*

No objections to the proposal have been received at the time of this report.

5. *Includes a recommendation to the ....legislative body to either accept, accept and modify, or reject the proposal.*

**Recommendation:** Staff recommends the Planning Commission review the evaluation criteria, discuss the application with the applicants, and approve the draft letter which recommends approval.



# AGRICULTURAL PROTECTION AREA APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

For Office Use Only:	
File No.	2020-APA-08
Receipt No.	

Name: Mac J. Hall; Dayton L. Hall Telephone: 435.619.3407  
Address: 203 S. 1430 W., Hurricane, Utah Fax No. N/A  
Agent (If Applicable): N/A Telephone: N/A  
Email: daytonlhall@gmail.com

To be included in an agriculture protection area established within Hurricane City land must consist of at least five (5) contiguous acres.

The application shall include:

1. The land in agriculture production that the proposal sponsors wish to become part of an agriculture protection area.
2. Any limits on the types of agriculture production to be allowed within the agriculture protection area;  
None.

3. For each parcel of land: (a) The owners of the land contained within the parcel; (b) The tax parcel number or account number of each parcel; and (c) The number or account number of acres as listed on the parcel tax records.

Owners Name(s)	Tax Parcel #	# of acres
Milton W. Hall Family, LC	H-3359-A	12
Milton W. Hall Family, LC	H-3359-B	20
Eight Acres, LLC	H-3359-C	8

In order for this to be a complete application, it shall include:

- (a) a plat from the county recorder's office showing each parcel of land with each outlined in color to identify proposed area. (b) application fee, if any, as outlined on the city fee schedule, available from the city recorder/clerk.

In order to apply for agricultural protection, the area being proposed must be evaluated based upon;  
**State Code 17-41-305, Criteria to be applied in evaluating proposals for the creation of agriculture protection areas.**

In evaluating a proposal and in determining whether or not to create or recommend the creation of an agriculture protection area the advisory committee, planning commission, and county commission shall apply the following criteria:





# County Plat Map



## Legend

- Parcels
- County Boundary Outline
- CountyMask
- Building Outlines
- Roads
  - Interstate
  - State Route
  - Major
  - Minor
  - Dirt
- Waterbodies
- Watercourses
  - <all other values>
  - Santa Clara River
  - Virgin River
- Hillshade
  - High : 238
  - Low : 4
- Ownership
  - U.S. Forest Service
  - U.S. Forest Service Wilderness
  - Bureau of Land Management
  - Bureau of Land Management Wilde
  - National Park Service
  - Shivwits Reservation

## Notes

Parcel numbers to be included in Agricultural Protection Area: H-3359-B, H-3359-A, and H-3359-C.

752.3 0 376.17 752.3 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

DISCLAIMER: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.



## Washington County Ag. Advisory Board

November 24, 2020

Hurricane City Planning & Zoning Commission  
147 N. 870 W.  
Hurricane, UT 84737

Dear Commission:

The Washington County Agriculture Advisory Board met at their regular meeting on August 25, 2020 for district business and to conduct an Agriculture Protection Area (APA) proposal review for Mac J. Hall and Dayton L. Hall.

The board reviewed a map of the proposed APA's and reviewed the five criteria outlined in the county ordinance for recommending Ag Protection Areas.

After the board reviewed these criteria, this APA proposal is recommended for approval.

Thank you for your consideration of this request.

Sincerely,

*Stuart Bowler*

Stuart Bowler  
Chair- Washington County Agriculture Advisory Board

cc: Hurricane City Council



**Utah Agriculture Protection Area Proposal  
Review and Recommendations  
Washington County Agriculture Advisory Board**

**Proposal Sponsors:** Mac J. Hall and Dayton L. Hall

**Date:** November 24, 2020

**Address:** 203 S. 1430 W. Hurricane, UT

**Proposal Description:** Irrigated pasture for livestock feed; livestock feeding and housing,  
hay/crop/produce production and storage.

**Owners of each parcel of land in proposal:** Milton W. Hall Family, LC and Eight Acres, LLC

**Acreage in proposed area:** 40

**Type of agriculture presently in proposed area:** Irrigated pasture for livestock feed;  
Livestock feeding and housing; hay/crop/produce production and storage.

**Is proposed area suitable for agriculture protection?** YES NO

**Soil types in area:**

**What is the county zone of the area?** Residential Agricultural (RA-1)

**What agriculture improvements are in the area?**  
Irrigation system, fencing, fenced pastures, livestock corrals and feeders, haystacks

**Anticipated trends in agriculture and technological conditions:** \_\_\_\_\_  
Future pressurized irrigation for increased efficiency

**Recommendations:** Disapproval: \_\_\_\_\_ Approval: X

**Approval with modifications listed:** \_\_\_\_\_

Approved in board meeting this date: November 24, 2020

Stuart Bowler

Stuart Bowler, Chairman

Loyd Jessop

Loyd Jessop, Vice Chairman

Colten Iverson, Member

Kelly Blake

Kelly Blake, Member

Nicole Hancock

Nicole Hancock, Member

\*Electronic signatures approved in meeting held 11/24/2020\*



# City of Hurricane

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## *Planning Commission*

**December 10, 2020**

**Subject: Report to City Council on proposed Agricultural Protection for Parcels H-3359-A, H-3359-B, H-3359-C**

Hurricane City Council,

The Planning Commission forwards the following findings regarding Agricultural Protection Overlay 2020-APA-08:

1. The land is currently being used for agricultural production or has plans to be used for immediate agricultural production.
2. The land is zoned for agricultural uses, RA-1
3. The land is viable for agricultural use
4. The property is congruent with agriculture protection zones
5. Approving the use of this land for agriculture is consistent with current and expected technological trends in agriculture.

### Future Use

1. The General Plan maps have the area listed as Agricultural Use
2. 1100 W is located adjacent to the property. Most roadways are not fully developed until the property is developed.

### **Recommendation**

The Planning Commission recommends that the City Council approve the overlay request.

## STAFF COMMENTS

**Agenda:** December 10, 2020 **File Number:** 2020-PP-23

**Type of Application:** Preliminary Plat Administrative

**Applicant:** Laine Matthews

**Agent:** Brown Consulting Engineers

**Request:** Preliminary Plat Review and Recommendation

**Location:** Main Street and 200 North

**General Plan:** Downtown

**Existing Zoning:** RM-1

**Discussion:** The applicant has applied for a .53 acre preliminary plat containing three lots.

	<u><b>Zoning</b></u>	<u><b>Adjacent Land Use</b></u>
North	R1-10	Single Family Homes
East	R1-10	Single Family Homes
South	PF and R1-6	Park and Homes
West	RM-2	Townhomes

### JUC Comments

The following items will need to be addressed with the construction drawings:

1. The City currently has a Parkside Subdivision at Grandpa's Pond, recommends changing the name.
2. Water is in the area.
3. There is a fire hydrant located on the corner.
4. There is a transformer across the street; they may have to make some improvements to connect.
5. There are no major utility concerns.
6. They will need to update the cross-section, will need to speak to engineering about the proper section.

### Planning Review Notes:

1. The applicant is proposing to do single-family homes in multi-family zoning. RM-1 does allow for single-family homes.
2. A scale needs to be added, "Scale shall be of sufficient size to adequately describe in legible form all required elements."
3. Contours need to be added. Contours at vertical intervals not greater than five feet (5').



4. The plat needs to provide “identification of potential geotechnical constraints on the project site (such as expansive rock and soil, collapsible soil, shallow bedrock and caliche, gypsiferous rock and soil, potentially unstable rock or soil units including fault lines, shallow groundwater, and windblown sand) and recommendations for their mitigation.”
5. The applicant needs to provide a letter from both the local sanitary sewer provider and culinary water provider indicating the availability of service. However, both services are in the area.
6. The plat needs to contain information on whether the property is located in a desert tortoise take area.
7. The applicant should remove the PUE from the rear and side property lines. Hurricane City requires a 10’ PUE along the ROW only unless there is a planned utility line the requires it otherwise.

**Recommendation:**

Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. Staff recommends the Planning Commission make a positive recommendation with the condition that the applicant address all JUC and Staff comments.

Preliminary Plat (need to refund \$50)  
**PRELIMINARY SITE PLAN REVIEW APPLICATION**

**City of Hurricane**  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

**Fee \$200.00**

*For Office Use Only:*

File No. 2020  
Receipt No. 8.144707

**Name:** Laine Matthews **Telephone:** 435-632-0846

**Address:** 1528 South Carma Street, Washington UT, 84780 **Fax No.** \_\_\_\_\_

**Agent (If applicable):** Brown Consulting Engineers **Agent's Phone:** (435) 628-4700

**Email:** lainematthews@yahoo.com **Agent Email:** steve@browncivil.com

**Address/Location of Subject Property:** 208 N Main Street

**Tax ID of Subject Property:** H-214-A **Zone District:** RM-1; DOWNTOWN DISTRICT

**Proposed Use:** (Describe, use extra sheet if necessary) Single Family Residential

**This application shall be accompanied by the following:**

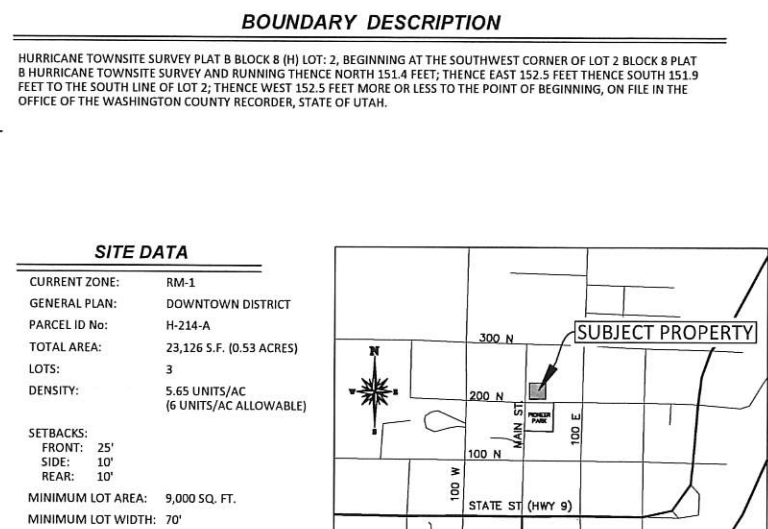
- ☒ 1. A vicinity map showing the general location of the project.
- ☒ 2. Three (3) copies of a site plan showing:
  - ☒ Topography showing 2' contours, identification of 30% or greater slopes;
  - ☒ The layout of proposed uses;
  - ☐ N/A Location of open space when applicable;
  - ☒ Proposed access to the property and traffic circulation patterns;
  - ☒ Adjoining properties and uses;
  - ☐ N/A Proposed reservations for parks, playgrounds, school, and any other public facility sites, if any;
- ☒ 3. Preliminary utility plan, including water, sewer, and storm drainage plans, and including access points to utilities;
- ☒ 4. Tables showing the number of acres in the proposed development and a land use summary; and
- ☐ N/A 5. A phased development plan if applicable.
- ☒ 6. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and the fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed due to an incomplete application could result in a month's delay.**

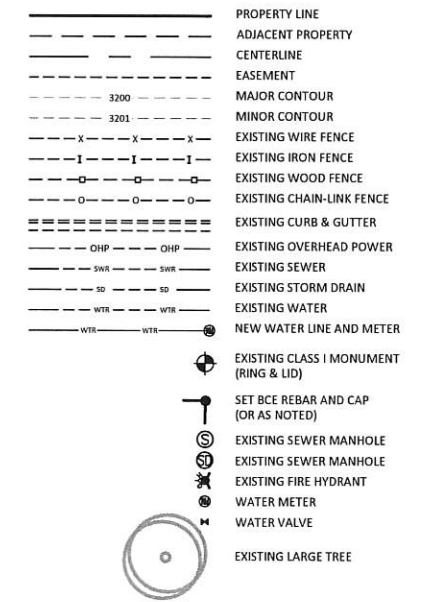
\*\*\*\*\*

Date Received: 11/23/20 (Office Use Only)  
Received by: CB

LOCATED IN THE NORTHWEST 1/4 OF SECTION 35, TOWNSHIP 41 SOUTH, RANGE 13WEST, SALT LAKE BASE AND MERIDIAN



### LEGEND



## SITE DATA

CURRENT ZONE:	RM-1
GENERAL PLAN:	DOWNTOWN DISTRICT
PARCEL ID No:	H-214-A
TOTAL AREA:	23,126 S.F. (0.53 ACRES)
LOTS:	3
DENSITY:	5.65 UNITS/AC (6 UNITS/AC ALLOWABLE)
SETBACKS:	
FRONT:	25'
SIDE:	10'
REAR:	10'
MINIMUM LOT AREA:	9,000 SQ. FT.
MINIMUM LOT WIDTH:	70'

## BENCHMARK

ALUMINUM CAP AT INTERSECTION OF  
200 N AND MAIN STREET  
ELEVATION = 109.53

**DRAINAGE NOTE**

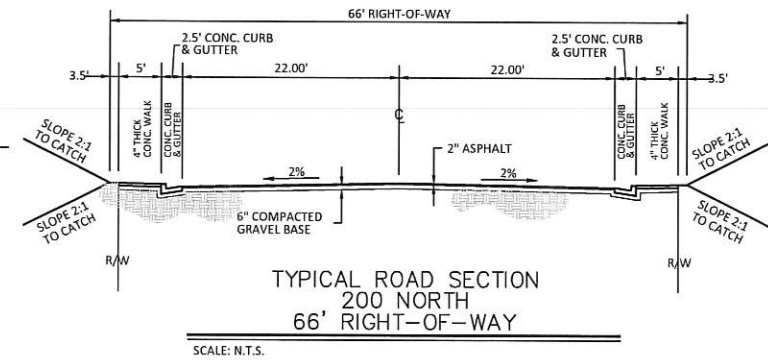
1. EACH LOT SHALL BE REQUIRED TO RETAIN ITS OWN STORM WATER RUNOFF.
2. THE RETENTION LOCATIONS ARE TO BE DETERMINED BY EACH LOT OWNER.
3. RUNOFF FROM THE STREET WILL BE DIRECTED TO THE 2 X 2 GRATE IN THE CURB AT THE INTERSECTION OF 200 N AND MAIN.

OWNER INFORMATION

LAINÉ MATTHEWS  
1528 SOUTH CARMA STREET  
WASHINGTON, UT 84780  
(435) 632-0846

## ENGINEER INFORMATION

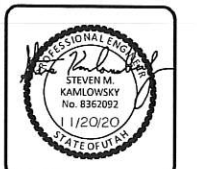
**BROWN CONSULTING ENGINEERS**  
STEVE KAMLOWSKY, PE  
163 W. 1600 S. #5  
ST. GEORGE, UT 84770  
(435) 628-4700

[illegible]

**BROWN  
CONSULTING  
ENGINEERS, P.C.**

**CIVIL ENGINEERING-LAND SURVEYING-LAND PLANNING**  
165 WEST 1600 SOUTH, UNIT 5  
ST. GEORGE, UTAH 84770  
(435) 628-4700 FAX (435) 628-4725

PRELIMINARY PLAT  
LAINE MATTHEWS  
FOR  
LOCATED IN LOT 2, BLK 8, PLAT B, HURRICANE TOWNSITE SURVEY,  
IN THE NE 1/4 OF SEC. 34 T41S, R13W, SLB&M  
HURRICANE, UTAH



CHECKED BY : SK
DRAWN BY : ADJ
DATE : OCTOBER 2020
JOB NO. : 20-75

SCALE : <b>1"=20'</b>
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SHEET NO. : <b>P-1</b>
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## STAFF COMMENTS

**Agenda:** December 10, 2020      **File Number:** 2020-PP-24

**Type of Application:** Preliminary Plat Administrative

**Applicant:** Western Mortgage and Realty Company

**Agent:** Brent Moser and Karl Rasmussen

**Request:** Preliminary Plat Review and Recommendation

**Location:** 3870 W and 2570 S

**General Plan:** Planned Community

**Existing Zoning:** R1-10 (our zoning maps currently states PF, but it was approved R1-10 with Elim Valley Zone Change)

**Discussion:** The applicant has applied for a 24.859-acre preliminary plat containing 74 lots. The applicant was recently given a zone change from PF to R1-10 as part of the Elim Valley Zone Change.

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	R1-10	Undeveloped
East	R1-10 and PF	Single Family Homes and WCWCD
South	R1-10	Single Family Homes
West	R1-10	Single Family Homes

### JUC Comments

The following items will need to be addressed with the construction drawings:

1. The water conservancy district owns a property strip to the south of the development. The applicant should work on securing that strip and obtain access.
2. Fire and Engineering expressed concerns about the cul-de-sac and limited connectivity.
3. Sewer is in the area.
4. Water is in adjacent roads.
5. There is a communication easement covering all of the former Elim Valley Development. Staff is reviewing the easement.
6. Power: The development should begin on the south and end and work north because of the capacities of the power lines in the area
7. Gas and cable are in the area.

## Planning Review Notes:

1. The plat should state what the average lot size is for the development. The zone requires an average lot size of 10,000 sq. ft., with 8,000 sq. ft. minimum. The plat complies but should state that compliance.
2. The minimum lot width is 80' in R1-10 Zone. Lots 24-29 do not comply and will need to be widened.
3. The plat does not contain any phasing lines; therefore staff assumes the project is planned to be completed in a single phase.
4. The applicant needs to provide a letter from both the local sanitary sewer provider and culinary water provider indicating service availability. However, both services are in the area.
5. The applicant must meet roadway and connection standards:

### ***10-39-11: SUBDIVISION STREETS AND FENCING:***

#### ***A. Relation To Adjoining Street Systems:***

*1. The arrangements of streets in new subdivisions shall make provision for the continuation of the existing streets to adjoining areas insofar as such may be deemed necessary by the Planning Commission for public requirements. New streets within subdivisions shall not preclude future access to adjoining properties.*

*2. Standard residential streets shall approach the arterial or collector streets at an angle of not less than eighty degrees (80°).*

*3. Except as otherwise provided elsewhere in the Hurricane City Code, all subdivision streets and roadways shall be constructed and installed in accordance with the Hurricane Roadway Construction Standards.*

6. Hurricane City on Cul-de-sacs:

*Hurricane Design Standards 3.2.2 ROADWAY NETWORK DESIGN...*

*A reduction in the use of cul-de-sacs should be emphasized in order to provide greater traffic circulation and less volume on collector roads. Circulation is of the utmost importance; long blocks and excessive dead-end streets should be avoided.*

The current street lay does not provide the connectivity that is required by Hurricane City Design Standards. The applicant would need to link the cul-de-sacs together by continuing the roadway on the north through to 2670 S. Also, 2570 S or 2630 S should also stub into the neighboring property to the east to ensure better connection if the water district ever develops said property.

## **Recommendation:**

Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. Staff recommends the Planning Commission make a positive recommendation with the condition that the applicant address all JUC and Staff comments.



# PRELIMINARY PLAT APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$150.00

For Office Use Only:

File No. 2020-PP-24  
Receipt No. 8144757

Name: Western Mortgage & Realty Company Telephone: (509) 521-9384  
Address: P.O. Box 3110, Pasco, WA 99302 Fax No. \_\_\_\_\_  
Email: Hippett@westernmort.com Agent Email: enhancedhomesofutah@gmail.com  
Agent (If Applicable): Brent Moser of KARL Rasmussen Telephone: 801-793-0346 / 435-668-8307  
Address/Location of Subject Property: 3870 West & 2500 South  
H-4-2-13-1492  
Tax ID of Subject Property: H-4-2-13-2114 Zone District: R1-10

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) \_\_\_\_\_  
1/4 ACRE LOTS for the subdivision

**Submittal Requirements:** The preliminary plat application shall provide the following:

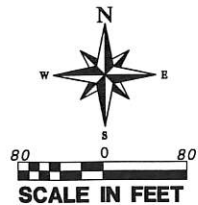
- ☒ 1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:
  - ☒ a. The proposed name of the subdivision.
  - ☒ b. The location of the subdivision, including the address and section, township and range.
  - ☒ c. The names and addresses of the owner or subdivider, if other than the owner.
  - ☒ d. Date of preparation, and north point.
  - ☒ e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.
- ☒ 2. Existing Conditions: The preliminary plat shall show:
  - ☒ a. The location of the nearest monument.
  - ☒ b. The boundary of the proposed subdivision and the acreage included.
  - ☒ c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
  - ☒ d. The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
  - ☒ e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
  - ☒ f. Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.



OWNER:  
WESTERN MORTGAGE, TIM TIPPETT  
HURRICANE, UT 84737

# PRELIMINARY PLAT FOR: DIXIE HEIGHTS

LOCATED IN SECTION 13, T42S, R14W, S.L.B.&M.  
WASHINGTON COUNTY, UTAH



FND BRASS MON.  
N $\frac{1}{4}$  COR OF SECTION 13 T42S R14W S.L.B.&M.

## LEGEND

—	PROPERTY LINE	—	EXISTING MAJOR CONTOUR	—	EXISTING SEWER MAIN
—	ADJACENT PROPERTY LINE	—	PHASE LINE	—	EXISTING MINOR CONTOUR
—	CENTER LINE	—	EXISTING SEWER MANHOLE	●	SET PROVALUE ENGINEERING REBAR & CAP P.L.S. #7837685
—	10' PUBLIC UTILITY EASEMENT	—	SECTION CORNER AS DESCRIBED	●	RECORD BEARING OR DISTANCE (00.00)

## ADDITIONAL NOTES

STORM WATER CAN BE LOCALLY DETAINED AND CONTROLLED USING DETENTION BASINS. WATER WILL BE RELEASED AT A CONTROLLED RATE THROUGH A SIDEWALK SCUPPER BACK INTO THE PLANNED ROAD. WATER WILL DRAIN DOWN INTO AN EXISTING 24 INCH COVERT ON 2050 S. THIS IS THE METHOD TO HANDLE STORM WATER.

THERE ARE NO IRRIGATION FACILITIES.

PROPERTY CAN BE SERVED BY HURRICANE CITY WATER, AND ASH CREEK SPECIAL SERVICE DISTRICT.

THERE ARE NO WELLS, SPRINGS OR SEEPS ON THIS PROPERTY.

OWNER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT OF UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.

## GEOLOGICAL NARRATIVE

THIS PARCEL OF LAND LIES INSIDE A YOUNGER ALLUVIAL-FAN DEPOSIT (HOLOCENE). THE AREA SHOWN WITH A Q<sub>af</sub> ON THE MAP. IT ALSO LIES INSIDE A MOENKOPI FORMATION (LOWER TRIASSIC) SHOWN WITH A Tm. THIS AREA HAS POORLY TO MODERATELY SORTED, NON-STRATIFIED, SUBANGULAR, BOULDER TO CLAY SIZE SEDIMENT IN THE Q<sub>af</sub> AREA. THIS AREA ALSO HAS WEST DIPPING, FAULT-BOUNDED BLOCKS OF RED STRATA OF THE LOWER, MIDDLE, OR UPPER RED STRATA IN THE Tm AREA. THE SOIL TEXTURE IS A SANDY LOAM AND GENERATES PERCOLATION RESULTS FROM 12 MINUTES PER INCH TO 30 MINUTES PER INCH. THE SOIL STRUCTURE IS MASSIVE. THE CLAY IS COLLAPSIBLE AND CAN EXTEND TO DEPTHS BEYOND 50 FEET. THE USDA HAS THIS LAND DESIGNATED AS JUNCTION FINE SANDY LOAM AS WELL AS ROCK OUTCROP.

## LEGAL DESCRIPTION

COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 13 OF TOWNSHIP 42 SOUTH AND RANGE 14 WEST, SALT LAKE BASE & MERIDIAN; THENCE S01°10'55"W 875.01 FEET; TO THE POINT OF BEGINNING; THENCE S01°09'56"W 1437.88 FEET; THENCE N88°33'56"W 661.33 FEET; THENCE N01°09'02"E 1321.55 FEET; THENCE N88°30'05"W 646.66 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT 23.47 FEET (CHORD BEARS: N43°40'47"W 21.15 FEET); THENCE N01°08'31"E 190.43 FEET; THENCE S88°30'20"E 661.53 FEET; THENCE S01°07'51"W 114.36 FEET; THENCE S88°29'45"E 166.44 FEET; THENCE N01°31'21"E 25.95 FEET; THENCE S88°30'52"E 495.13 FEET; TO THE POINT OF BEGINNING.

AREA: 1082865 SQUARE FEET OR 24.859 ACRES.

## DESERT TORTOISE TAKE AREA

THE PROJECT IS NOT LOCATED IN A DESERT TORTOISE TAKE AREA. (PER RED CLIFFS DESERT RESERVE TAKE AREA 7 MAP)

## GEOLOGICAL HAZARDS

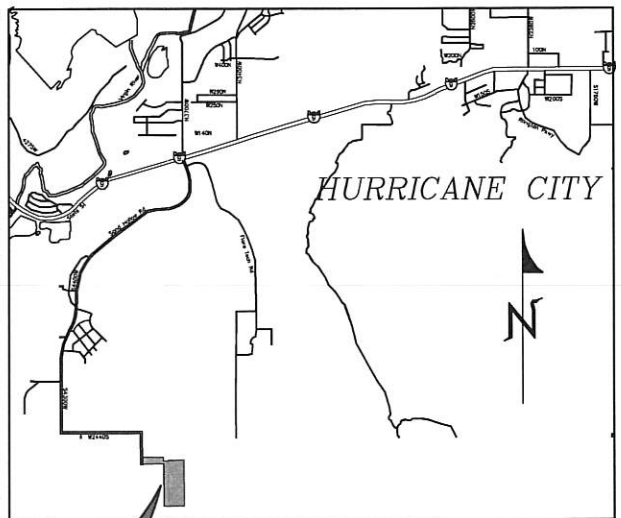
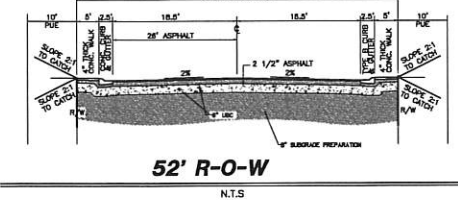
FAULTS & SURFACE FAULTING	LATEQ, APPROX/BUR
LIQUEFACTION	H2 - HIGH 2 - SIMILAR IN TEXTURE TO HIGH CATEGORY, NO GROUND WATER INFORMATION.
FLOODING	ZONE X-AREA OF MINIMAL FLOOD HAZARD
LANDSLIDE HAZARD	NONE
ROCKFALL HAZARD	NONE
BRECCIA PIPES AND PALEOKARST	NONE
CALICHE	CA
COLLAPSIBLE SOIL	CSA-STREAM/TERRACE ALLUVIUM >=3%
EXPANSIVE SOIL	ESL-LOW SUSCEPTIBILITY TO EXPANSION
GYPSIFEROUS SOIL & ROCK	NONE
PIPING & EROSION	P&ES-SUSCEPTIBLE TO PIPING & EROSION
SHALLOW BEDROCK	BRB-BURIED; BEDROCK GENERALLY ≤ 10 FEET BENEATH SOIL COVER BRH-HARD; HARD AND RESISTANT BEDROCK VISIBLE AT GROUND SURFACE.
WIND BLOWN SAND	WBSH-HIGH-MODERN SAND FUNE OR SHEET-SAND DEPOSITS
SHALLOW GROUND WATER	NONE

THE MITIGATION OF POTENTIAL HAZARDS WILL BE RECOMMENDED IN THE FUTURE GEOTECHNICAL REPORT.

PROJECT  
LOCATION

VICINITY MAP  
N.T.S.

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD DIST.	DELTA
C1	23.56'	15.00'	21.21'	N46°31'20"E 90°00'00"
C2	22.59'	27.54'	21.97'	N65°23'03"W 46°59'53"
C3	54.30'	49.64'	51.64'	N73°13'30"W 62°40'46"
C4	51.89'	50.16'	49.60'	S30°47'23"W 59°15'42"
C5	51.89'	49.72'	49.56'	S28°33'13"E 59°47'13"
C6	66.67'	50.00'	61.84'	N83°32'07"E 76°24'00"
C7	22.57'	28.00'	21.97'	N68°25'44"E 46°11'13"
C8	23.56'	15.00'	21.21'	S43°28'40"E 90°00'00"
C9	23.56'	15.00'	21.21'	N46°31'20"E 90°00'00"
C10	22.59'	27.54'	21.97'	N65°23'03"W 46°59'53"
C11	60.17'	49.65'	56.55'	N76°36'22"W 69°26'04"
C12	60.88'	50.16'	57.21'	N33°58'19"E 69°31'53"
C13	60.55'	50.00'	56.92'	S35°29'46"E 69°23'25"
C14	56.26'	50.00'	53.34'	N77°34'20"E 64°28'25"
C15	22.57'	28.00'	21.97'	N68°25'44"E 46°11'13"
C16	23.56'	15.00'	21.21'	S43°28'40"E 90°00'00"
C17	23.56'	15.00'	21.21'	S46°31'20"W 90°00'00"
C18	22.59'	27.54'	21.97'	N65°23'03"W 46°59'53"
C19	57.01'	50.00'	53.97'	N74°57'24"W 65°19'54"
C20	61.83'	50.00'	57.97'	S36°56'59"W 70°51'19"
C21	64.34'	50.00'	59.99'	N35°20'37"W 73°43'53"
C22	54.50'	50.00'	51.84'	S76°33'47"W 62°27'20"
C23	22.57'	28.00'	21.97'	S68°25'44"W 46°11'13"
C24	23.56'	15.00'	21.21'	N43°28'40"W 90°00'00"
C25	23.56'	15.00'	21.21'	N46°31'20"E 90°00'00"
C26	52.76'	66.02'	51.37'	S81°57'58"W 45°47'18"
C27	41.80'	66.02'	41.10'	N40°56'10"E 36°16'19"
C28	38.42'	66.02'	37.88'	N6°07'43"E 33°20'33"
C29	19.92'	94.13'	19.88'	S4°32'03"E 12°07'22"
C30	23.56'	15.00'	21.21'	S46°30'45"W 89°58'38"
C31	23.57'	15.00'	21.22'	S43°29'15"E 90°01'22"
C32	23.56'	15.00'	21.21'	N46°31'23"E 89°58'54"
C33	23.56'	15.00'	21.21'	N43°28'40"W 90°00'00"
C34	23.56'	15.00'	21.21'	N46°30'40"E 89°58'40"
C35	23.57'	15.00'	21.22'	N43°29'18"W 90°01'17"
C36	23.56'	15.00'	21.21'	S46°30'42"W 89°58'43"
C37	23.57'	15.00'	21.22'	S43°29'18"E 90°01'17"
C38	23.56'	15.00'	21.21'	S46°30'42"W 89°58'43"
C39	23.57'	15.00'	21.22'	S43°29'18"E 90°01'17"
C40	22.29'	94.00'	22.24'	N81°55'59"W 13°35'13"



REVISIONS		DATE	BY
NO	DESCRIPTION		

PROVALUE ENGINEERING, INC.  
Engineers - Land Surveyors - Land Planners  
1500 South 200 West  
Hurricane City, Utah 84737  
Phone: (435) 668-8387



PRELIMINARY PLAT FOR:  
**DIXIE HEIGHTS**  
HURRICANE WASHINGTON COUNTY, UTAH  
LOCATED IN SECTION 13, T42S, R14W, S.L.B.&M.

DATE: 11/25/2020  
SCALE: 1"=80'  
JOB NO.  
336-002  
SHEET NO:  
**1 OF 1**

## STAFF COMMENTS

**Agenda:** December 10, 2020 **File Number:** 2020-PP-25

**Type of Application:** Preliminary Plat Administrative

**Applicant:** Winder Loretta TR

**Agent:** Kath Hurst and Pr Value Engineering

**Request:** Preliminary Plat Review and Recommendation

**Location:** 400 S and 1400 W

**General Plan:** High Density Single Family

**Existing Zoning:** R1-15

**Discussion:** The applicant has applied for a 3.29 -acre preliminary plat containing 7 lots. The applicant was recently given a zone change from RA-1 to R1-15.

	<u><b>Zoning</b></u>	<u><b>Adjacent Land Use</b></u>
North	RA-1 and RA-0.5	Farm Fields and Homes
East	R1-15	Westfield Esates Subdivision
South	RA-1 and PF	Farm Fields and Open Space
West	RA-1 and RA-0.5	Farm Fields and Homes

### JUC Comments

The following items will need to be addressed with the construction drawings:

1. The current road layout is a concern because it provides three intersections within a few hundred feet on 400 S, which is a collector roadway.
2. Sewer: There is a manhole in at 1400 W, and the sewer
3. Water is located in 400 S
4. Power is located in the 400 S right-of-way.
5. Engineering: Concern about a single cul-de-sac accessing 400 S, should be changed to intersect 1400 W

### Planning Review Notes:

1. The plat should state what the average lot size is for the development. The zone requires an average lot size of 15,000 sq. ft., with 12,000 sq. ft. minimum. The plat complies but should state that compliance.
2. The applicant needs to provide a letter from the Hurricane City Water Department, indicating service availability.
3. There is an open canal line that the applicant will need to work with an irrigation company to preserve water access and update the ditch.
4. The applicant will need to complete some improvements to 1400 W. Hurricane Subdivision Standards are as follows:

**10-39-11: SUBDIVISION STREETS AND FENCING:**

**A. Relation To Adjoining Street Systems:**

*1. The arrangements of streets in new subdivisions shall make provision for the continuation of the existing streets to adjoining areas insofar as such may be deemed necessary by the Planning Commission for public requirements. **New streets within subdivisions shall not preclude future access to adjoining properties.***

*2. Standard residential streets shall approach the arterial or collector streets at an angle of not less than eighty degrees (80°).*

*3. Except as otherwise provided elsewhere in the Hurricane City Code, all subdivision streets and roadways shall be constructed and installed in accordance with the Hurricane Roadway Construction Standards.*

5. Hurricane City on Cul-de-sacs:

*Hurricane Design Standards 3.2.2 ROADWAY NETWORK DESIGN...*

*A reduction in the use of cul-de-sacs should be emphasized in order to provide greater traffic circulation and less volume on collector roads. Circulation is of the utmost importance; long blocks and excessive dead-end streets should be avoided.*

Staff is okay with a single cul-de-sac as part of the project but believes the layout should be updated. The cul-de-sac access off of 1400 W. Hurricane Transportation Master Plan states that the intersection should have a minimum of 250 ft spacing for collector roadways. Because there is already an intersection at 1310 W, staff recommends that the intersection be moved to 1400 W. Staff and Pro Value sat down to review the layout and develop the redline version attached.

**Recommendation:**

Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. Staff recommends the Planning Commission make a positive recommendation with the condition that the applicant address all JUC and Staff comments.



# PRELIMINARY PLAT APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$150.00

For Office Use Only:

File No. 2020-PF-25

Receipt No. 8.144758

Name: Winder Loretta TR Telephone: 435-467-4817

Address: 3285 W 400 N Hurricane, UT Fax No. \_\_\_\_\_

Email: loretta.winder42@gmail.com Agent Email: ckhurst01@live.com

Agent (If Applicable): Kathy Hurst Telephone: 435-619-5514

Address/Location of Subject Property: East of 1410 W, South of 400 S.

Tax ID of Subject Property: H-3-2-4-114311 Zone District: R1-15

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) \_\_\_\_\_

**Submittal Requirements:** The preliminary plat application shall provide the following:

✓ 1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:

- ☒ a. The proposed name of the subdivision.
- ☒ b. The location of the subdivision, including the address and section, township and range.
- ☒ c. The names and addresses of the owner or subdivider, if other than the owner.
- ☒ d. Date of preparation, and north point.
- ☒ e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.

✓ 2. Existing Conditions: The preliminary plat shall show:

- ☒ a. The location of the nearest monument.
- ☒ b. The boundary of the proposed subdivision and the acreage included.
- ☒ c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
- ☒ d. The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
- ☒ e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
- ☒ f. Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.



## Ash Creek Special Service District

1350 S. Sand Hollow Road

Hurricane, UT 84737

Office: (435) 635-2348 Fax: (435) 635-8550

ashcreek@infowest.com

December 1, 2020

Stephen Nelson

Hurricane City

127 N. 870 W.

Hurricane, UT 84737

RE: Loretta Winder Trust project

Stephen,

There is sewer capacity for the residential units proposed in this project. The developers understand and agree that they will have to get plan approval for the sewer system.

After approval, they agree to pay all costs associated with construction and impact fees. Please let us know if you have any questions.

Sincerely,

Darrel Humphries, Office Manager

Ash Creek Special Service District

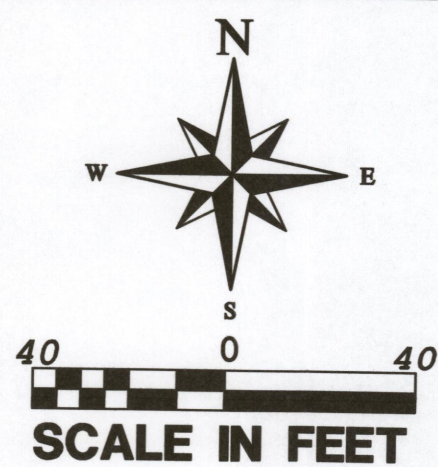


OWNERS:

CONTACT: WINDER LORETTA TR  
BRYAN-435-229-9246  
JEWELWINDER@GMAIL.COM  
3285 W 400 N,  
HURRICANE, UT-84737

PRELIMINARY PLAT FOR:  
**WINDER ESTATES**

LOCATED IN SECTION 4 T42S R13W S.L.B.&M., HURRICANE CITY, WASHINGTON COUNTY, UTAH



LEGEND

- PROPERTY LINE  
ADJACENT PROPERTY LINE  
EXISTING FENCE  
SECTION LINE  
EXISTING WATER LINE  
EXISTING WATER METER  
EXISTING FIRE HYDRANT  
EXISTING WATER VALVE
- ORIGINAL HURRICANE TOWN & FIELD SURVEY  
BLOCK LINE  
SECTION CORNER AS DESCRIBED  
RECORD BEARING OR DISTANCE  
EXISTING SEWER LINE  
EXISTING OHP LINE

LINE TABLE		
LINE	LENGTH	DIRECTION
L1	36.23'	S0°12'28"W
L2	46.73'	N0°12'28"E
L3	46.73'	S0°12'28"W

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	103.97'	246.00'	103.19'	N11°53'59"W	24°12'53"
C2	56.80'	174.00'	56.54'	N14°39'21"W	18°42'07"
C3	16.74'	174.00'	16.74'	N2°32'55"W	5°30'46"
C4	17.08'	20.00'	16.56'	N24°40'00"E	48°55'04"
C5	56.63'	50.00'	53.65'	N16°40'38"E	64°53'47"
C6	64.60'	50.00'	60.20'	N52°46'54"W	74°01'17"
C7	64.48'	50.00'	60.10'	S53°15'52"W	73°53'13"
C8	56.75'	50.00'	53.75'	S16°11'40"E	65°01'51"
C9	17.08'	20.00'	16.56'	S24°15'04"E	48°55'04"
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C12	35.98'	194.00'	35.93'	S18°41'36"E	10°37'39"

GEOLOGICAL HAZARDS

FAULTS & SURFACE FAULTING	NONE
LIQUEFACTION	L2-LOW2-SIMILAR IN TEXTUAL CHARACTERISTICS TO LOW, NO GROUND-WATER INFORMATION
FLOODING	ZONE X-AREA OF MINIMAL FLOOD HAZARD
LANDSLIDE HAZARD	NONE
ROCKFALL HAZARD	NONE
BRECCIA PIPES AND PALEOKARST	NONE
CALICHE	Cd
COLLAPSIBLE SOIL	HCS-AREA OF KNOWN HIGH COLLAPSE SOILS
EXPANSIVE SOIL	ESM-SOILS WITH MODERATE SUSCEPTIBILITY FOR EXPANSION
GYPSIFEROUS SOIL & ROCK	NONE
PIPING & EROSION	NONE
SHALLOW BEDROCK	BRB-BURIED: AREAS WHERE DEPTH IS GENERALLY 5 TO 10 FEET BENEATH SOIL COVER
WIND BLOWN SAND	WBSL-LOW: MIXED-UNIT GEOLOGIC DEPOSITS WITH WIND-BLOWN COMPONENT
SHALLOW GROUND WATER	SGW3-MODERATELY TO FREELY DRAINING SOILS WITH SEASONAL OR TRANSIENT SHALLOW GROUND WATER

THE MITIGATION OF POTENTIAL HAZARDS WILL BE RECOMMENDED IN THE FUTURE GEOTECHNICAL REPORT.

NARRATIVE

THIS ZONE CHANGE IS REQUESTED TO CHANGE FROM RESIDENTIAL AGRICULTURAL ZONE RA-1 TO RESIDENTIAL ZONE R1-15.

LEGAL DESCRIPTION:

COMMENCING FROM NE COR. OF SECTION 4, T42S, R13W, SALT LAKE BASE AND MERIDIAN; RUNNING THENCE N89°43'30"W 989.24 FEET; THENCE S00°16'45"W 36.95 FEET TO THE POINT OF BEGINNING; RUNNING THENCE S00°12'28"W 461.18 FEET; THENCE N89°43'30"W 329.80 FEET; THENCE N00°12'41"E 360.46 FEET; THENCE S89°43'30"E 87.07 FEET; THENCE N00°12'28"E 100.71 FEET; THENCE S89°43'38"E 242.71 FEET; TO THE POINT OF BEGINNING.

CONTAINING AREA: 143,320 SQUARE FEET OR 3.29 ACRES.

ADDITIONAL NOTES

STORM WATER CAN BE LOCALLY DETAINED AND CONTROLLED USING RETENTION BASINS. THIS IS THE METHOD TO HANDLE STORM WATER.

THERE ARE NO HURRICANE CANAL FACILITIES.

PROPERTY CAN BE SERVED BY HURRICANE CITY WATER, AND ASH CREEK SPECIAL SERVICE DISTRICT.

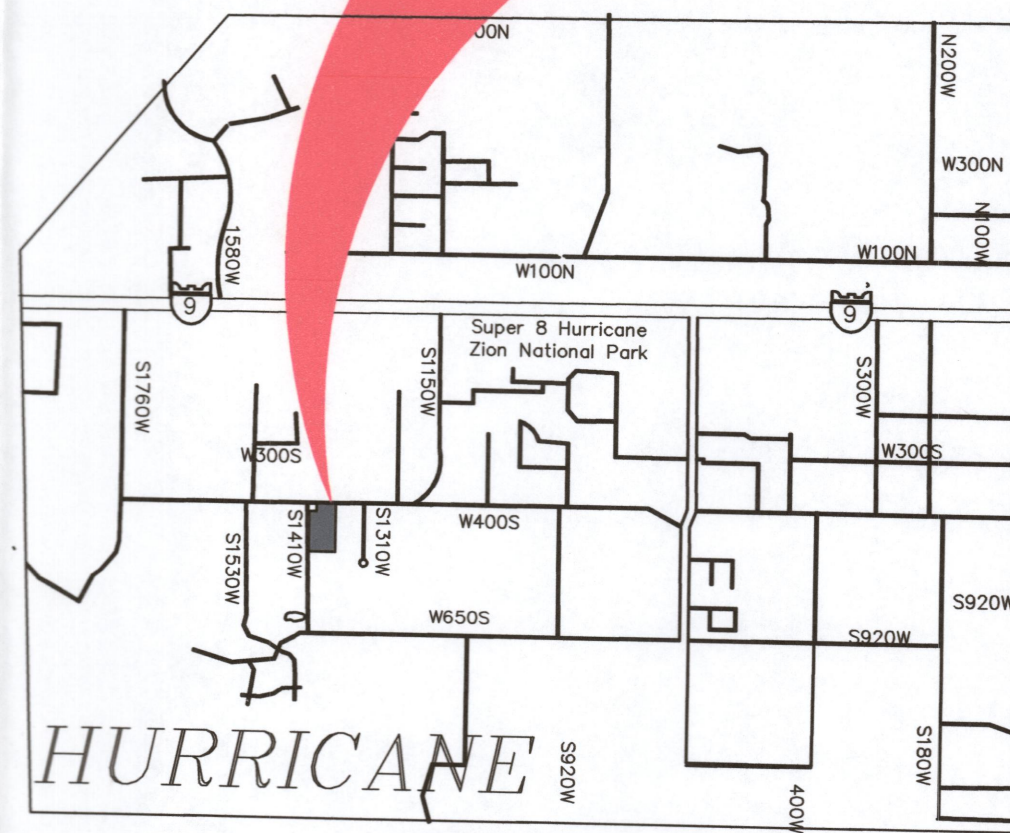
THERE ARE NO WELLS, SPRINGS OR SEEPS ON THIS PROPERTY.

OWNER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT OF UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.

DESERT TORTOISE TAKE AREA

THE PROJECT IS NOT LOCATED IN A DESERT TORTOISE TAKE AREA (PER RED CLIFFS DESERT RESERVE TAKE AREA 7 MAP)

PROJECT LOCATION



REVISIONS		DATE	BY
NO	DESCRIPTION		

PROVALUE ENGINEERING, INC.  
Engineers - Land Surveyors - Land Planners  
20 South 850 West, Suite 1  
Hurricane City, Utah 84737  
Phone: (435) 666-9507 Karl Rasmussen



PRELIMINARY PLAT FOR:  
**WINDER ESTATES**

HURRICANE CITY, WASHINGTON COUNTY, UTAH  
LOCATED IN SECTION 4 T42S R13W S.L.B.&M.

DATE: 11-23-2020

SCALE: 1"=40'

JOB NO.  
583-001

SHEET NO:

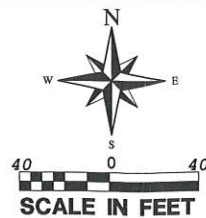
1 OF 1



OWNERS:  
CONTACT: WINDER LORETTA TR  
BRYAN-435-229-9246  
JEWELWINDER@GMAIL.COM  
3285 W 400 N,  
HURRICANE, UT-84737

# PRELIMINARY PLAT FOR: WINDER ESTATES

LOCATED IN SECTION 4 T42S R13W S.L.B.&M., HURRICANE CITY, WASHINGTON COUNTY, UTAH



## LEGEND

—	PROPERTY LINE	—	ORIGINAL HURRICANE TOWN & FIELD SURVEY BLOCK LINE
—	ADJACENT PROPERTY LINE	—	SECTION CORNER AS DESCRIBED
—	EXISTING FENCE	(00.00)	RECORD BEARING OR DISTANCE
—	SECTION LINE	SS	EXISTING SEWER LINE
—	EXISTING WATER LINE	CHP	EXISTING OHP LINE
⊙	EXISTING WATER METER		
⊕	EXISTING FIRE HYDRANT		
⊗	EXISTING WATER VALVE		

LINE TABLE		
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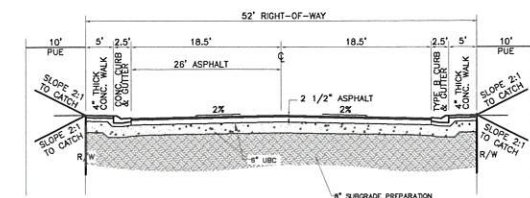
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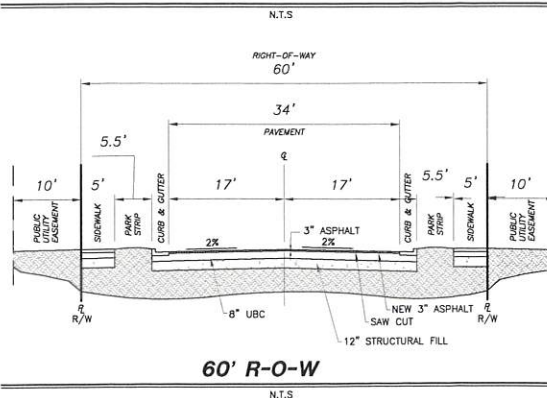
OWNER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT OF UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.

## DESERT TORTOISE TAKE AREA

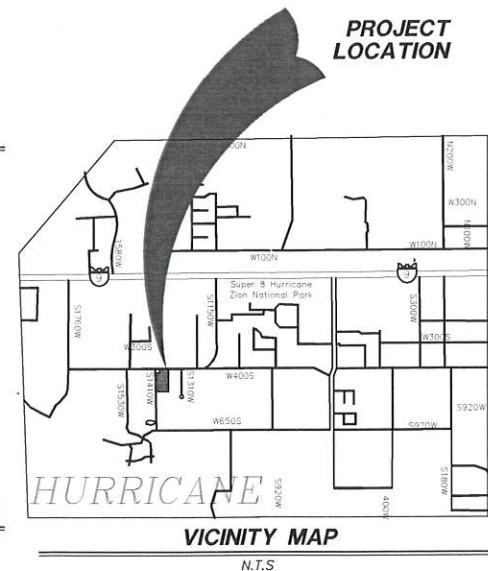
THE PROJECT IS NOT LOCATED IN A DESERT TORTOISE TAKE AREA (PER RED CLIFFS DESERT RESERVE TAKE AREA 7 MAP)



52' R-O-W



60' R-O-W



VICINITY MAP

PRELIMINARY PLAT FOR:  
**WINDER ESTATES**

HURRICANE CITY, WASHINGTON COUNTY, UTAH  
LOCATED IN SECTION 4 T42S R13W S.L.B.&M.

DATE: 11-23-2020  
SCALE: 1"=40'

JOB NO:  
883-001

SHEET NO:  
**1 OF 1**

PROVALUE ENGINEERING, INC.  
Engineers - Land Surveyors - Land Planners  
200 South 950 West, Suite 1  
Hurricane City, Utah 84737  
Phone: (435) 668-8307 Karl Ramussen



## Planning Commission 2021 Meeting Schedule

Regularly scheduled meetings are held on the 2<sup>nd</sup> Thursday and the 4<sup>th</sup> Wednesday of each month (as shown below) at **6:00 PM** in the City Council Chambers, 147 North 870 West.

Special meetings such as General Plan Amendments and Joint City Council/Planning Commission work sessions are scheduled throughout the year. These meetings will be announced and posted on the calendar of this website.

January 14, 2021
January 27, 2021
February 11, 2021
February 24, 2021
March 11, 2021 (Spring Break)
March 24, 2021
April 8, 2021
April 28, 2021
May 13, 2021
May 26, 2021
June 10, 2021
June 23, 2021
July 8, 2021
July 28, 2021
August 12, 2021
August 25, 2021
September 9, 2021
September 22, 2021
October 14, 2021 (Fall Break)
October 27, 2021
November 11, 2021 (Veterans Day)
November 24, 2021 (Day before Thanksgiving)
December 9, 2021

**Commented [S1]:** March 11, and October 14 fall on Spring and Fall Break for the school district.

**Commented [S2]:** I would proposed we either meet November 10, or 17 for that month.

**NOTE TO AGENDA ITEM APPLICANTS:** Application deadlines vary depending on the application. The required deadlines are listed on the individual application or you may contact the Planning Department. These deadlines are necessary to allow staff sufficient time to review and process each application. Failure to submit **ALL** required application materials by the meeting deadline will delay the consideration of the application.

**Commented [S3]:** Generally speaking, we need items that require public hearings 14 days before the meeting, and other items by Tuesday 12:00 p.m. the week before the meeting. Staff has allowed items like Conditional Use Permits (CUPs) to be handed in at least a week before the meeting.