



ALPINE CITY COUNCIL **ELECTRONIC** MEETING AGENDA

NOTICE TIME CHANGE

NOTICE is hereby given that the **CITY COUNCIL** of Alpine City, Utah will hold an **Electronic Public Meeting on Tuesday, December 8, 2020 at 6:00 pm** in accordance with Utah Code Ann. §§ 52-4-210 et. seq., Open and Public Meetings Act. Pursuant to a written determination by Mayor Troy Stout finding that conducting the meeting with an anchor location presents a substantial risk to the health and safety of those who may be present due to infectious and potentially dangerous nature of COVID-19 virus, public meetings will be held electronically on and through January 7, 2020, and can be viewed on the **Alpine City YouTube Channel**. A direct link to the channel can be found on the home page of the Alpine City website: alpinecity.org Public Comments may be submitted to admin@alpinecity.org by 5:00 pm the day of the meeting.

I. WORK SESSION 6:00 – 7:00 pm

- A. Trails Discussion**
- B. Historic Gateway Guidelines Discussion**
- C. Ordinance 2020-20 Discussion: New start time and work sessions for City Council 2021**

II. CALL MEETING TO ORDER

- A. Roll Call** Mayor Troy Stout
- B. Prayer:** Greg Gordon
- C. Pledge:** By Invitation

III. CONSENT CALENDAR

- A. Approve City Council minutes of November 24, 2020**
- B. Bond Release No. 7 - The Ridge at Alpine Phase 3: \$7,035.50**

IV. PUBLIC COMMENT

V. REPORTS AND PRESENTATIONS

VI. ACTION/DISCUSSION ITEMS

- A. Alpine Fitness Center: Final Approval**
- B. Ordinance 2020-20: An Ordinance Amending Section 3.10.020 of the Alpine City Municipal Code Pertaining to the Meeting Schedule of the City Council**

VII. STAFF REPORTS

VIII. COUNCIL COMMUNICATION

IX. EXECUTIVE SESSION: Discuss litigation, property acquisition, or the professional character, conduct or competency of personnel.

Mayor Troy Stout
December 4, 2020

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY COUNCIL MEETINGS. If you need a special accommodation to participate, please call the City Recorder's Office at (801) 756-6347 x 4.

CERTIFICATE OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was on the bulletin board located inside City Hall at 20 North Main and sent by e-mail to The Daily Herald located in Provo, UT, a local newspaper circulated in Alpine, UT. This agenda is also available on our web site at, and on the Utah Public Meeting Notices website at www.utah.gov/pmn/index.html



PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

Please remember all public meetings and public hearings are now recorded.

- All comments **must** be recognized by the Chairperson and addressed through the microphone.
- When speaking to the Planning Commission/City Council, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversation with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction of the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, beepers, pagers, or other noise making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length and avoiding repetition of what has already been said. Individuals may be limited to two minutes and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the lobby area outside the council room to talk as it can be very noisy and disruptive. If you must carry on conversation in this area, please be as quiet as possible. (The doors must remain open during a public meeting/hearing.)

Public Hearing vs. Public Meeting

If the meeting is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.

ALPINE CITY COUNCIL ELECTRONIC MEETING
on Tuesday, November 24, 2020 at 7:00 pm

I. CALL MEETING TO ORDER

The meeting was called to order at 7:00 pm by Mayor Pro Tem Lon Lott

*Mayor Troy Stout joined the meeting later

Mayor Pro Tem Lon Lott read the following statement:

Due to the seriousness of the current worldwide COVID-19 pandemic, the rapid spread of the infection throughout Utah, and its potentially deadly and life-altering effects, Mayor Troy Stout of Alpine and chair of the Alpine City Council, determined that conducting an electronic meeting with an anchor location presents a substantial risk to the health and safety of those who may be present at the anchor location at this time. This determination will expire on December 10, 2020.

Roll Call: The following were present and constituted a quorum.

Council members: Carla Merrill, Jessica Smuin, Lon Lott, Greg Gordon

*Jason Thelin joined the meeting later

Staff: Shane Sorensen, Austin Roy, Steve Doxey, Chief Brian Gwilliam, Chief Reed Thompson, Bonnie Cooper

Others: Cindy Wilmshurst, Ed Gifford, Kevin Towle, Paul Anderson, Paul Kroff, Will Jones

A. Prayer:

Greg Gordon

B. Pledge:

Lon Lott

II. CONSENT CALENDAR

A. Approve City Council minutes of November 10, 2020

B. Bond Release No. 13- The Ridge at Alpine Phase 1: \$5,315.00

C. Approval for purchase of 2020 Ford F-150, Ken Garff: \$29,179.40

D. Declare 2000 GMC 1500 truck as surplus property

Shane Sorensen, City Administrator, explained that the city has a 20-year-old GMC truck, which has been used by Ted Stillman, Code Enforcement Officer, as of late. He said this truck needs to be replaced. He said trucks have been difficult to find in Utah. He said the city had a different truck in the budget, but staff was able to locate a 2020 Ford F-150 at Ken Garff. He said if the City Council is willing the city would like to purchase this truck and declare the 2000 GMC 1500 truck as surplus property. Lon Lott, Mayor Pro Tem approves of the purchase, he said it does not look like its different than what the city has discussed before as far as he could see.

Motion: Greg Gordon moved to approve the Consent Calendar as proposed. Jessica Smuin seconded the motion. There were 4 Ayes and 0 Nays, as recorded below. The motion passed unanimously.

Ayes

Nays

Carla Merrill
 Jessica Smuin
 Greg Gordon
 Lon Lott

III. PUBLIC COMMENT

No public comment

IV. REPORTS AND PRESENTATIONS

A. FEMA: Free Help for COVID-19 related stress, Cindy Wilmshurst

Cindy Wilmshurst, from FEMA, presented The Utah Strong Recovery Project, is a FEMA-funded state program to help Utahns impacted by the stressors of the COVID-19 pandemic. She said the program provides free and confidential counseling by FEMA-trained counselors to anyone in Utah in the form of emotional support, coping and problem-solving strategies, mental health education, and community referrals. She said Spanish speaking counselors are

available and translation for other languages is also offered.

She said in addition to the Helpline, every county in Utah has a team of counselors available for free and confidential individual and family in-person or online counseling. She said FEMA has teams to provide outreach to community organizations in the form of education classes and support groups. She said residents can call and request help from the Utah Strong Recovery Team in your county through the Utah Strong Recovery Project Helpline. She said the Helpline is run seven days a week 7 am to 7 pm. After 7 pm calls are rolled over to Huntsman Mental Health. She said calls are anonymous and can be done over the phone or via the internet, people can also text or email if they feel more comfortable. She said this information will be going out in Alpine City's monthly newsletter with the city's utility bills.

Lon Lott asked how long this program will be offered. City Wilmshurt said the program is funded until the end of June 2021. She said that will be good because the vaccine will have rolled all the way out down to the general population starting in July 2021. Lon Lott said each member of the City Council has connection to different parts of the community that the council members will have this information available for anyone who needs it.

V. ACTION/DISCUSSION ITEMS

A. Koroem Court Subdivision – Concept Review

Austin Roy, City Planner, said the proposed development, Koroem Court Subdivision, consists of three lots on 8.44 acres. He said the development is in the CR-20,000 zone and located at approximately 662 North Whitby Woodlands Drive. He said the applicant needs an exception to be granted by the City Council for the concept to work. He said the exception is needed for two of the three lots to have more than five sides (per Article 3.01.110 no lot shall have more than five sides without an exception being granted by the City Council). He said the property is surrounded by existing odd boundary lines which results in the concept lots having more than five sides. He said the developer will need to come back with a preliminary plan later meeting fire safety and engineering requirements. He said the Planning Commission recommended to approve the exception.

Planning Commission approved the concept plan:

MOTION: John MacKay moved to recommend the Koroem Court Subdivision Concept Plan be approved with the following conditions/changes:

- *Exception to the Flag Lot Ordinance on the number of sides on lots 77 and 78 with City Council approval.*
- *Fire Safety and Engineering measures be met when they return to Preliminary.*

Sylvia Christiansen seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed unanimously.

Ayes: Alan MacDonald, Jane Griener, Ed Bush, Ethan Allen, Troy Slade, John MacKay and Sylvia Christiansen.

Nays: None.

Greg Gordon, City Council member, said he noticed in the geotechnical studies that it was planned out as a four-lot subdivision and now it has been updated to three. He asked if this would change any of the factors from this study, in terms of layout or grades. Austin Roy said as far as the Geotech study is concerned it does not affect it, there will be a drainage easement through lot 78 and the homes that are on the rendering are not exactly where the homes will be going. He said all of that will be finalized when they submit their preliminary plans. Lon Lott addressed Greg Gordon's concerns saying there was a plan presented back in 2016 in that same area and the developer had requested nine lots, so this is definitely a better plan and are able to move out of those steeper areas with the building footprint, compared to when it was previously presented to the council. He said the cul-de-sac length does meet the city code. Jessica Smuin, City Council member, asked for clarification on the requirement that the property would need to have 110 feet of frontage so are they also asking for an exception on that. Austin Roy clarified and said no, the developer is not asking for any additional exceptions. He said each lot does meet the 110-foot set back, because a cul-de-sac is measuring a little differently. Shane Sorensen said it measures longer than 110 feet with this cul-de-sac, it does meet the city ordinance. Lon Lott said this development does not infringe on the stream, the flood plain area, and their footprint of their building area they have enough percentage of buildable area outside the flood plain along the creek. He said he feels like all the critical issues for that property have been addressed. Austin Roy pointed out other drainage adjustments, so there are several obstacles that make it a bit more challenging to build on these lots, but it is doable with what the developer has proposed. Carla Merrill, City Council member, asked if the building is greater than 4,800 square feet fire code says the property owner will need to have residential sprinklers. Chief Reed Thompson said they would need sprinklers for anything over 10,000 square feet, and then it's based on a survey that

the fire department does based on the interface issues that may be in the area. Carla Merrill asked Chief Reed Thompson if a fire hydrant would be needed in the cul-de-sac to meet the 250-foot access to a dwelling. Chief Reed Thompson said yes, that is what was proposed as part of the staff comments.

Motion: Jessica Smuin moved to grant an exception to allow more than five sides per lot as shown on the approved the Koroem Court Subdivision Conception Plan, with the following preliminary submittal:

- 1) Submit plans for a pipe ditch system and show corresponding 20-foot wide easement on the plat for the alignment of the said pipe;
- 2) Address redlines in the concept plat and plans;
- 3) Update the geotechnical report to provide on-site CBR (California Baring Ratio) value;
- 4) Provide details on the drainage agent through lot 78;
- 5) Address issues with buildable error requirements prior to preliminary and final

Greg Gordon seconded the motion. There were 4 Ayes and 0 Nays, as recorded below. The motion passed unanimously.

Ayes

Nays

Carla Merrill
Jessica Smuin
Greg Gordon
Lon Lott

B. The Ridge at Alpine Phase 4 – Final Approval

Austin Roy said The Ridge at Alpine development consists of 72 lots on 189.5 acres, with this Phase 4 being 13 lots on 11.19 acres. He said the development is located in the CR 40,000 zone, west of the Alpine Cove subdivision and north east of Heritage Hills Plat A. He said this is the final plat, so it does require approval from the City Council. He said there is two acres of public open space for a park/retention base area for the storm runoff, in this final phase of the development. He said there is a parking lot and four separate restrooms proposed. He said the intended use for this area is for a family park. He said the neighbor to the south of the park, Kevin Towel proposed to have a fence between his property and the park. He said he and city staff are proposing that the contour of the basin would be pushed on to Mr. Towels property in order to put a fence at the top of the slope instead of the bottom of the slope. He said by doing this it makes the park bigger. He said the city would have to have a slope easement from Mr. Towel. He said the City Council has two options when it comes to the park. He said the Ridge at Alpine has been approved by the Planning Commission as a Planned Residential Development (PRD).

MOTION: Sylvia Christiansen moved to recommend that The Ridge at Alpine Phase 4 be approved with the first model shown with the following conditions/changes:

1. Phase 4 cannot be recorded until all offsite improvements of Phase 1 are complete unless otherwise approved by City Council;
2. The Developer provide a maintenance agreement for the pressurized sewer system (to be recorded with the plat);
3. The Developer provide a slope easement for the portions of pond bank which are not situated on City property (to be recorded with the plat);
4. The Developer either remove existing buildings which do not meet setbacks, or provide a bond for the removal of them prior to recording the plat;
5. The Developer address redlines on the plat and plans which includes showing curb, gutter and asphalt patch be done now for lots 53 and 54 to be expanded to Grove Drive;
6. The Developer provide funds for the future improvement not built at this time per the Development agreement;
7. The Developer submit a cost estimate;
8. The Developer meet the water policy with Alpine Irrigation Co. shares.
9. The Developer address tree issues on landscape plan.

John MacKay seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

Ayes:

Nays:

Alan MacDonald
Jane Griener
Ed Bush
Ethan Allen
Troy Slade
John MacKay
Sylvia Christiansen

***City Council member, Jason Thelin joined the meeting.**

Carla Merrill asked what the city's preference was when it came to the retention pond/park. Austin Roy said the city is in favor of moving the park/retention pond on to Mr. Towel's property. He said the city feels that it would be better for maintenance and better for the park overall. Greg Gordon said would there be any reason not to move the pond. Austin Roy said the only reason would be to keep it all on city property. He said the city gets that with the slope easement. Shane Sorensen said it also makes the bottom of the pond a little larger. Lon Lott said that when he listened to the Planning Commission meeting Mr. Towel was very much in favor of this option as well. He said he likes the landscaping plan.

Greg Gordon asked Paul Kroff what his plan was to get internet access up to the Ridge and if Paul Kroff had been working with a specific company. Paul Kroff responded that there is high-speed internet in the area right now with several different options for residents. He said he appreciated Kevin Towel's willingness to work with him and the city and believes this is a win win for everyone.

Carla Merrill asked Shane Sorensen if the city had a timeline on improvements of Grove Drive. Shane Sorensen said the improvements in front of this subdivision will happen now by the developer and the rest of the improvements on Grove Drive will be later.

Jason Thelin, City Council member, asked for clarification on line one "*Phase 4 cannot be recorded until all offsite improvements of Phase 1 are complete unless otherwise approved by City Council*" of the Planning Commissions motions and why it was included and why would Phase 4 be recorded if Phase 1 was not complete. Shane Sorensen said because there is still one item on the list of Phase 1 which is completion of the full creek booster station that is not finished yet. Jason Thelin asked if the trail system behind the subdivision was complete. Shane Sorensen said he believe the trail system is complete, that is what Jed Muhlestein, City Engineer, had told him. Will Jones, Trail Committee member, said the trail is complete and ready to go.

***Mayor Troy Stout joined the meeting**

Motion: Carla Merrill moved to recommend approval of the proposed The Ridge at Alpine Phase 4, which shows the pond bank on the property line with the following conditions:

1. Phase 4 cannot be recorded until all offside improvements of Phase 1 are complete;
2. The Developer provide a maintenance agreement for the pressurized sewer system (to be recorded with the plat);
3. The Developer provide a slope easement for the portions of pond bank which are not situated on city property (to be recorded with the plat);
4. The Developer either remove existing buildings which do not meet setbacks, or provide a bond for the removal of them prior to recording the plat;
5. The Developer address redlines on the plat and plans which includes showing full frontage improvements for lots 53 and 54
6. The Developer provide funds for the future improvement of Grove Drive, per the Development agreement;
7. The Developer submit a cost estimate;
8. The Developer meet the water policy with Alpine Irrigation Co. Shares.
9. The Developer address tree issues on landscape plan.

Greg Gordon seconded the motion. There were 5 Ayes and 0 Nays, as recorded below. The motion passed unanimously.

Ayes

Carla Merrill
Jessica Smuin
Greg Gordon
Lon Lott
Jason Thelin

Nays

C. Old Moyle Mound Plat C – Revised Preliminary Review

Austin Roy said the Old Moyle Mound PRD (Planned Residential Development) concept and preliminary plats were approved in 2013 with ten lots. He said the applicant, Lon Neil, has asked to revise the Concept/Preliminary plat to reduce the overall number of lots from ten to nine and reduce the amount of open space to 25% of the original project area (minimum required for a PRD). He said base density, based on the city's slope calculations, is 8.89 lots

or nine lots. He said this does meet all the city ordinances and the applicant will need to submit a final plat for approval. He said the Planning Commission held a public hearing, reviewed the plans, and approved revised concept/preliminary plat as proposed:

MOTION: Ed Bush moved to approve the proposed revised concept/preliminary plat for Old Moyle Mound PRD as proposed. Alan MacDonald seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed unanimously.

Ayes:

Alan MacDonald
Jane Griener
Ed Bush
Ethan Allen
Troy Slade
John MacKay
Sylvia Christiansen

Nays:

None

Mayor Troy Stout asked for clarification on the open space and if this met the 25% required open space. Austin Roy said yes, it did meet the 25% required. Greg Gordon asked about is the city staff of residents will be maintaining the public open space in the middle of the cul-de-sac. Shane Sorensen said that space is in the city's right of way, but the homeowner's association in the cul-de-sac will be maintaining open space. He said the residents have landscaped the area at their expense and will be the ones maintaining it. Greg Gordon asked how the city refers to that open space. Shane Sorensen said he was trying to remember if there was a written agreement and he said he would follow up on that. He said this discussion did take place through the approval process and the HOA was given permission by the city to landscape and maintain the area. He said the area is recorded as public open space so it would be accessible to the public. Austin Roy said the center of the circle that is in the cul-de-sac is public open space and is the site of the old historic Moyle Mound and that is where the subdivision gets its name from.

Motion: Jason Thelin moved to approve the proposed revised concept/preliminary plat for Old Moyle Mound PRD as proposed. Carla Merrill seconded the motion. There were 5 Ayes and 0 Nays, as recorded below. The motion passed unanimously.

Ayes

Carla Merrill
Jessica Smuin
Greg Gordon
Lon Lott
Jason Thelin

Nays

Ed Gifford, developer of Old Moyle Mound Subdivision, said the mound in the center of the cul-de-sac is being treated just like a planter strip. He said just like people have between the road and the sidewalk. He said the residents are expected or obligated to maintain that area. He said he want to thank the City Council for approving this plat.

D. Alpine Fitness Center – Final Approval

Austin Roy said the applicant Paul Anderson is seeking to relocate Alpine Fitness and Alpine Physical Therapy to a new building on Main Street. He said the new building would replace an existing garage structure on the site. He said the existing building would be demolished, and the new building would be located at the same site as the current building. He said the site is located within the Business Commercial Zone and the Gateway Historic District. He said the proposed building is approximately 9,380 square feet on a parcel approximately 0.58 acres in size. 40 off-street parking stalls are proposed. He said the highest point of this building is 34 feet. He said the developer does meet the 20% minimum landscaping requirement. He said the developer is seeking approval of the proposed site plan.

Austin Roy said in August of 2019, the City Council approved a 15-foot front setback exception on Main Street and a 2-foot setback exception on the north property line. He said in September of 2019, the City Council approved a parking exception (parking allowed in front setback) and land swap on the property. He said the land swap was granted to allow for the power lines on the property to be relocated underground. He said the proposed building has been designed with these exceptions in mind. He said the applicant has worked with the gas company to remove a high-pressure gas line from the property and the easement that existed for the gas line has been vacated. He said when a commercial property is adjacent to a residential property, they must provide a screening of some kind as in a fence or hedge, which the applicant has done. He said because of the size of the structure the fire chief has recommended that the building have a sprinkler system.

Austin Roy said the Planning Commission went by the Alpine City design guideline for the business commercial zone. He said the area this building is in is called the gateway historic zone and there was discussion among the Planning Commission members as to while this does not really look historic, it does seem to be in the same fashion as some of the similar and recent buildings that have come through the Planning Commission, noting the Ezra Lee building and the Pine Valley Realty building. He said the Planning Commission believes these buildings are some examples of a more modern approach that fit into Alpine. He said the building would consist of metal, stone, timber, stucco, and large windows.

The Planning Commission recommends approval of the proposed site plan:

MOTION: *Ethan Allen moved to recommend approval of the proposed site plan for the Alpine Fitness with the following conditions:*

1. *The developer signs a storm drain maintenance agreement for the property;*
2. *The developer obtains a Demolition Permit prior to construction;*
3. *The developer meets fire code requirements as outlined in the Lone Peak Fire Department Review.*

Alan MacDonald seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed unanimously.

Ayes:

Alan MacDonald
Jane Griener
Ed Bush
Ethan Allen
Troy Slade
John MacKay
Sylvia Christiansen

Nays:

None

Shane Sorensen said the city had been waiting for the right of way from UDOT (Utah Department of Transportation) which has been a nine to ten month process, but it is now complete.

Jason Thelin asked for clarification on the Historic Gateway Committee, is also the Planning Commission. Austin Roy said that is correct they are the same. Jason Thelin said so the Planning Commission are the ones who determine if the building meets the historical gateway. He said it sounds like that if the city allows something to be built before or he said Judy Pickell, (previous Planning Commission and City Council member) put together a large packet of what historic gateway stuff should be considered and used, it sounds like this is not following. He said that the city's Historic Gateway Committee feel that Ezra Lee's building and the others like it that are "modern" is now fine and the city should move forward in that direction.

Austin Roy said some of the commentary of the Planning Commission meeting was that the building does not meet the current guidelines, but the commission felt like it is compatible with what has been done previously. He said that the Planning Commission did say they want to re-evaluate the guidelines that were adopted in 2015 in a future meeting. Carla Merrill said she questioned if the Planning Commission had seen that document from 2015 when making their decision. Austin Roy replied yes, the Planning Commission saw the document and reviewed it before making their decision. He said John McKay, Planning Commission member, noted that initially he did not want to approve the project. because it did not meet the guidelines, however the rest of the Planning Commission felt like they liked the look of the building. He said the Planning Commission felt like it had lots of stone and wood, which are things in the guideline. Mayor Troy Stout said there was a time where the city had materials brought into Planning Commission and City Council by Judy Pickell to demonstrate what materials should look like and what would be acceptable. He said it seems to him that someone can use any material they want within those guidelines but the actual structure, the architectural structure of the building is in large part what makes it historic. He said or at least feel historic. He said to Jason Thelin's point, the city is now looking at modern and calling it historic.

Jason Thelin said the building is a completely different approach than the city has ever done as far as looking at, it's not to say that the Planning Commission is incorrect that the city has not done some in the past, but if that's the basis for their reasoning moving forward then the city does need to have a broader discussion on it. He said the city has never really said that Historic Gateway Committee approves modern as a standard so that is new. Mayor Troy Stout said it is a good-looking building, but does it fit into the actual historic value that the city is after. Jason Thelin said to the Mayor's point, one of the things Judy Pickell's plan was the windows, as in the example - the insurance building having to put in a certain type of windows that match the car repair shop. He said the windows in this building are entirely different these are more warehouse-esque.

1 Austin Roy said the most visible area of the building will be the southwest corner. Jason Thelin asked for
 2 clarification with respect to the 20% landscaping. Austin Roy said that the developer did meet the 20% landscaping
 3 requirement. Carla Merrill and Jason Thelin asked for clarification with regard to the small area of city owned
 4 property on the northwest corner and if it was included in the 20% landscaping. Austin Roy replied, no it was not.
 5 He said when calculating the landscaping the city goes off of the site plan not the landscaping drawing. Paul
 6 Anderson clarified that the bushes in question on the southwest are on his home property.

7
 8 Jason Thelin said he can see landscaping on the plans for this building on the northwest corner where the city did the
 9 property exchange for the trail. He said he thought the city's intention was to pull the trail that would go down along
 10 the creek. He said Paul Anderson mentioned that it would not work on his property because of setbacks and space
 11 requirements. He said he thought the plan was to have a trail run behind there inside the creek which Paul Anderson
 12 cleaned out and has done a lot of work on. He asked if the landscaping in that area will cause a problem in going
 13 forward with the trail and if the trail is the city's goal, why is the city allowing landscaping. Lon Lott said he was on
 14 the site today and if there was landscaping put in such as a bush there would still be plenty of room to still access
 15 and go down and have a trail along that area. He said he thinks it should be landscaped to have it look nice.

16
 17 Carla Merrill asked for input from someone from the Trail Committee to see if this is in alignment with what the
 18 committee needs for the trail. Will Jones, Trail Committee member, said his concern is going further east if there is
 19 any property between Alpine City property and the school (Mountainville Academy) property, is that a right-of-way
 20 for the Trail Committee to put a trail on. Lon Lott said all the properties butt up against each other going down the
 21 creek. Will Jones questioned how Paul Anderson is participating in helping the city complete this trail which is what
 22 the city does at site plan. Carla Merrill said Paul Anderson did mention in previous City Council meeting that he was
 23 more than willing to help with the trails he was very eager last year. Austin Roy said the land swap deal was geared
 24 around maintaining trail access and that was a key point of where the land swap was going to be located to ensure
 25 access. Jason Thelin said that Paul Anderson said that Mountainville Academy was willing to let the city do the trail
 26 on their side of the creek bed. Jason Thelin questioned if Mountainville Academy was still allowing the city
 27 permission at this point. Lon Lott said at this point his understanding is that the city does not have permission, but
 28 he does believe the trail would be best suited on Mountainville Academy's property. Will Jones said if moving Paul
 29 Anderson building eight feet to the south, would that not be the most ideal place for the trail. Lon Lott replied no,
 30 because then the trail would run right into the nest property which could not be moved. Greg Gordon said he recalls
 31 that there appeared to already be a trail there in the creek bed. Lon Lott said the area looks a little bit different today.
 32 He said trees have been cleared out and in his personal business as a landscaper he sees several options for a trail.
 33 He said the area it really wide before getting to the stream where it appears you could have a picnic area or a play
 34 area. He said he did not think moving the building eight feet was the answer. Will Jones voiced concern that the city
 35 did not have an easement agreement with Mountainville Academy and the fact they are not offering of asking to
 36 help, so his question goes back to Paul Anderson and how is he helping the master trail plan to be built along his
 37 property. He questioned if Paul Anderson was donating money or buying right-of-way or is, he is saying have at it
 38 do whatever. He said this trail is on the Master Plan and is on Paul Andersons property. Paul Anderson said on the
 39 Master Plan the trail is on Mountainville Academy's property. He said these are the following ways he has
 40 participated in the trail: he gave access along the bridge to the city, he said he spent \$47,000.00 opening the access
 41 point and clearing out shrubbery and debris from the creek bed, he said he took out 26 truckloads of debris from the
 42 creek bed, and there is now a flat pathway perfect for a trail. Will Jones said when a trail is on the Master Plan, we
 43 require someone to bond for it and to give easement for it, so when it comes to this area of the trail he does not know
 44 how it will get built. He said Mountainville Academy is not saying they are going to do anything for the trail, so the
 45 only opportunity we have is to have Paul Anderson's participation. He said the Trail Committee is asking the
 46 money to be put in escrow for the future, to build the trail. He mentioned the city had given Paul Anderson a two-
 47 foot setback for his building in exchange for certain things. Mayor Troy Stout said he remembers that one of those
 48 things would be participation in the trail that was stated in the motion. Paul Anderson asked if Mountainville
 49 Academy can not provide a bond for that trail on their property then would the trail end at the fence.

50
 51 Paul Anderson said his has taken an almost unusable piece of property and made it usable by putting this building
 52 design on it. He said if the trail takes eight feet it could eliminate his project. Carla Merrill said she does not think
 53 anyone wants to eliminate the project. She said she thinks the council and Trail Committee want to hear or
 54 understand correctly what Mr. Anderson's participation will be pertaining to the trail. She said her understanding
 55 was that he was going to be helping by participating financially with the trail and help make it happen. She said she
 56 believes the reason that he got the two-foot setback was because he was willing to help with the trail. She said see
 57 what the fee would be and go to his property line and it may go right at your property line but she thinks in the
 58 future as other properties come up and arise that hopefully there will be opportunities where the city can push that
 59 trail through the entire city so that it will follow the Master Plan. She said she would like to hear from Paul
 60 Anderson that he is willing to help create the trail by setting aside funds to do so. She said she feels like it was in
 61 good faith that the city gave him the exceptions of the two-foot setback. She said the city want to see him build this
 62 building, if you give us the two-foot easement along your west east eastern side along that property line that would

be doable for the trail. Paul Anderson said he had met with Will Jones previously and he gave him an estimate of \$12,000.00 - \$15,000.00 to build the trail. He said he has already put in \$47,000.00 into the trail. He said he feels like he has already participated by flattening the area out and cleaning it out and creating an access point.

Greg Gordon said he think some good points have been made regarding the Historic Gateway. He said he attended a Utah state seminar on research landscapes, and it was on creating a sense of place, one of their practices is that they consult with cities. He said he thought Nick Greer, local designer in Alpine, would be a good person to contact for design ideas. He said he believe the building is not far off what would be a good design for the area and consistent with what has been coming along. He said these are some of his thoughts on how to better set the city's design standard in the future.

Jessica Smuin said she would like to see the building align more with the Gateway Historic elements. She said the city needs to make sure it has the flexibility and has access to the property to put in the trail later. She said she would like the building to move away from the modern elements. She feels it would be the most modern building on Main Street, which is very different than other structures. Mayor Troy Stout said he hoped the trail and the Historic Gateway will be mentioned in the council's motion. Lon Lott said he would like the city attorney's opinion on these things that have been proposed such as easements etc. Steve Doxey said he said he thinks it is well within the city's prerogative, but he did not know what the city ordinance said exactly. He would feel more comfortable if the council were to table the motion, he could review the city ordinance and he could discuss it at the next meeting.

Motion: Carla Merrill moved to table The Alpine Fitness Center and send the proposal back to the Planning Commission and request that they compare it to the gateway historical document and make sure the elements of the buildings fit within those specifications. Jessica Smuin seconded the motion. There were 4 Ayes and 1 Nays, as recorded below. The motion passed.

Ayes

Carla Merrill
Jessica Smuin
Greg Gordon
Jason Thelin

Nays

Lon Lott

Jason Thelin said he thinks Paul Anderson has put together a beautiful building but disagrees with Austin Roy when it comes to the northside of the building's metal side not being viewed from the street. He said he believes it should have other material to break the metal up. He said he thinks the building looks too much like a warehouse.

Carla Merrill said should the motion include an easement for the trail and funds set aside for the trail with the building approval. Mayor Troy Stout said the design of where the trails go will be up to the Planning Commission and the funding will be up to the City Council. Lon Lott said throughout the years "historical" has fluctuated depending on personal preferences and personal bias. He said some people prefer Park City vs. a Nephi look and vice versa. He said he listened to the Planning Commission and they are seven people with seven preferences. He said he disagreed in pushing this item back to the Planning Commission. Mayor Troy Stout said the city has already established a Historic Gateway document for the Planning Commission and City Council.

Shane Sorensen suggested to Mayor Troy Stout that before the next meeting when it comes to the trails that the city have the attorney look into a solution. Steve Doxey, City Attorney team member, said he has some solutions that he might propose but he does not want to do so uninformed. He said he would like to discuss it with staff.

E. Approval of Healey Park Improvements – Pickle Ball, Pavilion and Playground

a. Playground Purchase for Healey Park

Shane Sorensen said this item was taken to the Planning Commission for a public hearing because of the city ordinance regarding public open space. He said the City Council has been discussing the need for additional pickleball courts based on recent public feedback and comments. In addition to four pickleball courts, other improvements are recommended for Healey Park, including: a new 20 X 20 pavilion and playground. He said David Jossey, Northern Utah County Soccer, told him that the soccer field will fit in the area proposed.

Shane Sorensen said included in the packet is a quote for the proposed playground \$36,000.00. He said if the city were to purchase the playground before the end of 2020 the city would get a better price. He said staff recommends the playground be purchased this fall and installed next spring. He said the entire cost is estimated for all aspects of the park will be about \$190,000.00 including the playground.

The Planning Commission has held a public hearing and recommends approval:

MOTION: Ethan Allen moved to recommend that the Healey Park updates be approved as proposed. Ed Bush seconded the motion. There were 6 Ayes and 1 Nays (recorded below). The motion passed.

Ayes:

Alan MacDonald
Jane Griener
Ed Bush
Ethan Allen
Troy Slade
John MacKay

Nays:

Sylvia Christiansen

Mayor Troy Stout asked what type of fence will be installed around the pickleball courts. Shane Sorensen said he has spoken with Miles Menson from the tennis company and he recommended a eight foot fence in that location because of the wind. He said the fence would all be chain-link, along with wind screens that attach to the chain-link fence. Mayor Troy Stout said the fencing will not only help with the pickleball users but also the soccer players. Greg Gordon asked if there would be a gate on the southside. Shane Sorensen said it would be good idea to put a gate on both sides. Greg Gordon said putting lights on the courts make them about twice as useful depending on the time of year. He said at Burgess Park the pickleball courts are very busy in the evenings and it is a good idea to put in lights now versus later. Shane Sorensen said lights are included in the plan and cost estimate for this park. Mayor Troy Stout said the city needs to be cautious about the light in respect to the neighboring homes. Shane Sorensen said the city has a two-week-old ordinance regarding lighting that the city will have to abide by. Lon Lott suggested having the lights shut off at 10:00 pm. Greg Gordon agreed with Lon Lott and said he believe 10:00 pm was the shut off time for the lights at Burgess Park. Shane Sorensen said it will be a 10:00 pm shut off time. Lon Lott asked if city staff would be addressing the irrigation issue will it be taken care of because of this modification or is that going to be part of the bid. Shane Sorensen said city staff would be taking care of the irrigation issue.

Motion: Carla Merrill moved to approve the pickleball courts at Healey Park Improvements as outlined. Jason Thelin seconded the motion. There were 5 Ayes and 0 Nays, as recorded below. The motion passed unanimously.

Ayes

Carla Merrill
Jessica Smuin
Greg Gordon
Lon Lott
Jason Thelin

Nays

Shane Sorensen asked Mayor Troy Stout if the council could make a motion to approve the purchase of the playground equipment.

Motion: Greg Gordon to approve the purchase of the new playground at Healey Park as proposed. Lon Lott seconded the motion. There were 5 Ayes and 0 Nays, as recorded below. The motion passed unanimously.

Ayes

Carla Merrill
Jessica Smuin
Greg Gordon
Lon Lott
Jason Thelin

Nays

F. Lambert Park Kiosk/Building

Shane Sorensen said the City Council has been discussing the need for a new structure in Lambert Park. He said the staff is still working with the legal counsel on building types in relation to forest service rules and regulations. He said the structure would help deter shooting in the area and provide a new park amenity for residents to enjoy. He said the Planning Commission held a public hearing and recommends approval of the new building site:

MOTION: Ed Bush moved to recommend that the proposed site for a new building in Lambert Park be approved as proposed.

Troy Slade seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed unanimously.

Ayes:

Alan MacDonald
Jane Griener

Nays:

None

Ed Bush
Ethan Allen
Troy Slade
John MacKay
Sylvia Christiansen

Steve Doxey said he liked the terminology proposed building location rather than proposed structure location. He said a building is more in keeping with the forest service regulations.

Motion: Carla Merrill moved that the proposed site for the building at Lambert Park be approved as proposed. Lon Lott seconded the motion. There were 5 Ayes and 0 Nays, as recorded below. The motion passed unanimously.

<u>Ayes</u>	<u>Nays</u>
Carla Merrill	
Jessica Smuin	
Greg Gordon	
Lon Lott	
Jason Thelin	

G. City Council Annual Meeting Schedule for 2021

Shane Sorensen said the proposed schedule for City Council meetings for 2021 and presented to the council to review it as proposed and approve with any necessary changes. The date the city left out was the first meeting in August because of Alpine Days and the second meeting in December because of Christmas. Greg Gordon suggested taking the meeting off the week of fall break on October 12, 2021. Mayor Troy Stout suggested taking the meeting on July 27, 2021 off the calendar. Shane Sorensen said the city will have new technology in place where council members can participate remotely.

Motion: Jason Thelin moved to approve the 2021 annual meeting schedule for the Alpine City Council as stated subtracting off the date of October 12 and July 27. Lon Lott seconded the motion. There were 5 Ayes and 0 Nays, as recorded below. The motion passed unanimously.

<u>Ayes</u>	<u>Nays</u>
Carla Merrill	
Jessica Smuin	
Greg Gordon	
Lon Lott	
Jason Thelin	

VI. STAFF REPORTS

Steve Doxey said he will plan a meeting with Austin Roy and Shane Sorensen regarding trails and easements as discussed earlier in the meeting.

Austin Roy said the city has prepared our moderate-income housing report that is required at the end of every year. He said he has put together a summary of all the data collected. He said he has also put together a spreadsheet that counts the number of moderate-income houses that we have around town. He said the city did not make a lot of progress regarding some of the other items because of COVID-19 the city did not know what the budget would be like this year. He said one of the city's options was to provide a program for first responders and employees of the city to have a mortgage assistance program. He said the city hopes to make further progress on that in the upcoming year.

Shane Sorensen updated council that the city would be losing two really awesome employees DeAnn Parry, Utilities Manager, who also does our accounts payable. He said she has done a fantastic job. She needs to make some changes to take care of family and we will be really sad to see her go she has done an awesome job for the city. He said she will be leaving on December 1, but has agreed to come back and help train her replacement. He said Ted Stillman, Code Enforcement Officer, has let us know he will be retiring **again** for the second time the end of January. He said Ted Stillman has been awesome and the city could not have found a better fit to get the ball rolling with the code enforcement program. He said Ted Stillman knows the city, as well as the codes, people, and how to approach people. He said the city will have a little bit of overlap in training so some expense will go up in the city's budget but only for a short time. Mayor Troy Stout agreed with Shane Sorensen saying both of those people will be

1 very much missed on the city staff. He said Ted Stillman has been a perfect fit for that position. He was hoping Ted
 2 Stillman would continue working into his 90's. He said DeAnn's just fantastic, she just jumps up to do whatever she
 3 can to make things better around here and I think she has done a terrific job. He said she always takes things on and
 4 goes way above and beyond.

5
 6 Shane Sorensen updated the council on the new contractor the city is using to put up the Christmas light display. He
 7 said the city owns all the lights. He encouraged the council to go check the lights out and to let him know if they
 8 have any comments.

9
 10 Shane Sorensen said he has been in contact with Rocky Mountain Power and they have agreed to come and drill
 11 holes for the city's new slackline polls in the city parks. He said the staff is finalizing the locations and hoping to
 12 have them in this month. He said he believes this activity will be fun for young and old. Mayor Troy Stout said this
 13 will help save a lot of trees.

14
 15 Shane Sorensen said a map with the trails closure will be on the city website. He said he also forwarded some
 16 information to the city council for the Three Falls HOA (Homeowners Association) regarding the information booth.
 17 He asked the council to give their input to him after reading it.

18
 19 Shane Sorensen said the breakfast meeting on December 4, with the Alpine School District will be rescheduled for a
 20 later date due to COVID-19 concerns.

21
 22 Shane Sorensen update the council on the remodel at City Hall and said it was coming along.

23
 24 Bonnie Cooper, City Recorder, gave an update on Santa coming to town City Hall. He had to cancel due to COVID-
 25 19, but there is talk about having a letter drop off for Santa at City Hall. She said she would keep everyone posted on
 26 the city website and Facebook page.

27 28 **VII. COUNCIL COMMUNICATION**

29
 30 Jessica Smuin asked if Santa could drive around on a firetruck on a Saturday. Fire Chief Reed Thompson said this
 31 year because of COVID-19 and staffing issues he did not think that would be possible.

32
 33 Jessica Smuin said the council needs to keep mind that when it comes to the Historic Gateway it is going to change
 34 as the City's community changes and as the city's Main Street changes. She said she thinks the precedent of saying
 35 well we approved similar building is just part of the information, but it is not all the information. She said she is glad
 36 that the council is circling back around and making sure each building that is coming into the city's Main Street and
 37 the city's gateway is what the city wants the community to be.

38
 39 Lon Lott said he was contacted by a pickleball group that have suggested that they have some ways of coming up
 40 with some sizable funding. He said the group would like to resurface and take the tennis courts at Burgess Park
 41 and turn them into pickleball courts. He said the group's idea would be to have all the tennis courts at Creekside
 42 Park and all the pickleball courts at Burgess Park. Mayor Troy Stout asked if anyone is tracking how the
 43 courts are being used. Jessica Smuin suggested that the courts do not need to be either or. She said she has seen
 44 flex courts where residents can have either. Carla Merrill said she had remembered discussing this at a previous
 45 meeting and thought that the city was going to paint pickleball lines on the tennis ball courts, because a lot of groups
 46 have their own nets. Mayor Troy Stout said he thought it was a little aggressive to take the tennis courts out of
 47 Burgess Park. Greg Gordon agreed with the Mayor on keeping the tennis court as an option at Burgess Park and
 48 maybe putting a pickleball court at Creekside Park. Shane Sorensen said the city does not track the use of the
 49 pickleball courts but he said there are residents still playing tennis, but pickleball courts are always full. He said
 50 painting the lines would be around \$40,000 for paint and portable pickleball nets. Carla Merrill said only two
 51 pickleball courts fit on one tennis court. Shane Sorensen said the city does not own a portable net. Carla Merrill said
 52 the maintenance on the portable pickleball courts nets would be too costly. Lon Lott said one of the gates at the
 53 court is rubbing across the surface and is scraping the surface. Shane Sorensen said he would have staff fix the gate.
 54 He said he will get a price quote for pickleball court lines to bring back to the council in the spring.

55 56 **VIII. EXECUTIVE SESSION:**

57
 58 None held

59
 60 **Motion:** Carla Merrill moved to adjourn. Lon Lott seconded the motion. There were 5 Ayes and 0 Nays, as recorded
 61 below. The motion passed unanimously.
 62

1
2
3
4
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8
9

Ayes
Carla Merrill
Jessica Smuin
Greg Gordon
Lon Lott
Jason Thelin

Nays

Meeting adjourned at 10:13 pm

DRAFT

ALPINE CITY
BOND RELEASE FORM
Release No. 7

BOND HOLDER

Thru Period Ending: November 30, 2020

The Ridge At Alpine Phase 3
Location: North Elk Ridge Lane and Grove Drive


Item # & Description	Quantity	Units	Unit Price	Total Cost	% Completed This Period**	% Completed To Date**	Total This Period
SWPPP							
10 Stabilized Construction Entrance	2	EACH @	\$ 3,000.00	\$ 6,000.00	0.0%	50.0%	\$ -
20 Silt Fence	2,500	LF @	\$ 2.75	\$ 6,875.00	0.0%	0.0%	\$ -
30 Curb Inlet Protection	7	EACH @	\$ 300.00	\$ 2,100.00	0.0%	95.0%	\$ -
31 Toilet Rental	3	MON @	\$ 250.00	\$ 750.00	0.0%	0.0%	\$ -
32 Toilet Pad Install	1	EACH @	\$ 250.00	\$ 250.00	0.0%	0.0%	\$ -
33 Slope Stabilization (Reseeding disturbed areas)	45,000	SF @	\$ 0.19	\$ 8,550.00	0.0%	0.0%	\$ -
34 Concrete Washout	1	LS @	\$ 1,000.00	\$ 1,000.00	0.0%	0.0%	\$ -
MOBILIZATION & EARTH WORK							
40 Mobilization	1	LS @	\$ 66,055.84	\$ 66,055.84	0.0%	95.0%	\$ -
50 Demo House and Shed	1	LS @	\$ 60,000.00	\$ 60,000.00	0.0%	95.0%	\$ -
60 Tree Removal	40	EACH @	\$ 375.00	\$ 15,000.00	0.0%	95.0%	\$ -
SANITARY SEWER							
70 Cast in Place Sewer Manhole	1	EACH @	\$ 8,500.00	\$ 8,500.00	0.0%	0.0%	\$ -
80 8" PVC SDR 35 Sewer Main	395	LF @	\$ 36.00	\$ 14,220.00	0.0%	0.0%	\$ -
90 2" Pressure Sewer Main	870	LF @	\$ 36.00	\$ 31,320.00	0.0%	0.0%	\$ -
100 48" Sanitary Sewer Manhole	2	EACH @	\$ 2,950.00	\$ 5,900.00	0.0%	0.0%	\$ -
110 1.25" HDPE Sewer Laterals With Cleanouts	9	EACH @	\$ 1,150.00	\$ 10,350.00	0.0%	0.0%	\$ -
120 4" PVC Sanitary Sewer Lateral	5	EACH @	\$ 1,150.00	\$ 5,750.00	0.0%	0.0%	\$ -
STORM DRAIN							
130 15" ADS N-12 Storm Drain	656	LF @	\$ 40.00	\$ 26,240.00	0.0%	95.0%	\$ -
140 15" End Section	1	EACH @	\$ 1,500.00	\$ 1,500.00	0.0%	95.0%	\$ -
150 30" ADS N-12 Storm Drain	1,008	LF @	\$ 84.00	\$ 84,672.00	0.0%	95.0%	\$ -
160 30" End Section	1	EACH @	\$ 2,500.00	\$ 2,500.00	0.0%	95.0%	\$ -
170 60" Storm Drain Manhole	3	EACH @	\$ 3,250.00	\$ 9,750.00	0.0%	95.0%	\$ -
180 Curb Inlet Box/ Storm Drain Cleanout Box	8	EACH @	\$ 2,850.00	\$ 22,800.00	0.0%	95.0%	\$ -
190 Pond Control Box	1	EACH @	\$ 3,500.00	\$ 3,500.00	0.0%	95.0%	\$ -
200 RipRap	77	CY @	\$ 63.80	\$ 4,912.60	0.0%	95.0%	\$ -
CULINARY WATER							
210 Connect to Existing Waterline	1	EACH @	\$ 3,550.00	\$ 3,550.00	0.0%	95.0%	\$ -
220 8" PVC C900 DR18 Culinary Waterline	855	LF @	\$ 31.00	\$ 26,505.00	0.0%	38.2%	\$ -
230 8" CW Bend	2	EACH @	\$ 850.00	\$ 1,700.00	0.0%	0.0%	\$ -
240 8" CW Tee	1	EACH @	\$ 1,250.00	\$ 1,250.00	0.0%	95.0%	\$ -
250 8" Gate Valve	4	EACH @	\$ 1,950.00	\$ 7,800.00	0.0%	25.0%	\$ -
260 Fire Hydrant	2	EACH @	\$ 5,500.00	\$ 11,000.00	0.0%	50.0%	\$ -
270 AirVac	1	EACH @	\$ 3,500.00	\$ 3,500.00	0.0%	0.0%	\$ -
280 1" CTS Poly Culinary Services	6	EACH @	\$ 1,375.00	\$ 8,250.00	0.0%	0.0%	\$ -
345 Temp Blowoff	1	EACH @	\$ 1,550.00	\$ 1,550.00	0.0%	95.0%	\$ -
PRESSURIZED IRRIGATION SYSTEM							
290 Connect to Pressurized Irrigation Line	1	EACH @	\$ 3,550.00	\$ 3,550.00	0.0%	95.0%	\$ -
300 6" PVC C900 DR18 Pressurized Irrigation Line	855	LF @	\$ 26.00	\$ 22,230.00	0.0%	31.6%	\$ -
310 6" PI Bend	2	EACH @	\$ 750.00	\$ 1,500.00	0.0%	0.0%	\$ -
320 6" Gate Valve	3	EACH @	\$ 1,850.00	\$ 5,550.00	0.0%	33.3%	\$ -
330 1" CTS Poly PI Services	6	EACH @	\$ 1,300.00	\$ 7,800.00	0.0%	0.0%	\$ -
340 PI Drain with Valve	1	EACH @	\$ 2,500.00	\$ 2,500.00	0.0%	95.0%	\$ -
345 Temp Blowoff	1	EACH @	\$ 1,550.00	\$ 1,550.00	0.0%	95.0%	\$ -
ROADWAY IMPROVEMENTS							
360 Rough Grade Native Sub-Grade	25,900	SF @	\$ 0.15	\$ 3,885.00	0.0%	95.0%	\$ -
370 24" Curb & Gutter Prep (6" Road Base)	545	LF @	\$ 5.00	\$ 2,725.00	0.0%	0.0%	\$ -
380 24" Curb and Gutter APWA Type A	545	LF @	\$ 14.50	\$ 7,902.50	0.0%	0.0%	\$ -
390 9" Road Base - Includes Temp Turn Around	13,800	SF @	\$ 0.95	\$ 13,110.00	0.0%	0.0%	\$ -
391 9" Road Base - Temporary Access Roads	12,050	SF @	\$ 0.95	\$ 11,447.50	0.0%	0.0%	\$ -
400 3" Hot Mix Asphalt - Includes Temp Turnaround	13,800	SF @	\$ 1.50	\$ 20,700.00	0.0%	0.0%	\$ -
410 Sidewalk Prep (6" Road Base)	2,180	SF @	\$ 0.80	\$ 1,744.00	0.0%	0.0%	\$ -
420 Concrete Sidewalk (4' Wide X 5" Thick)	2,180	SF @	\$ 5.25	\$ 11,445.00	0.0%	0.0%	\$ -
440 Concrete Valve Collars	7	EACH @	\$ 450.00	\$ 3,150.00	0.0%	0.0%	\$ -
450 Concrete Manhole Collars	5	EACH @	\$ 550.00	\$ 2,750.00	0.0%	0.0%	\$ -
460 Dry Utilities- Per Lot Budget (Remaining 13 Lots)	6	EACH @	\$ 6,500.00	\$ 39,000.00	0.0%	0.0%	\$ -
Trench Import Material							
470 Sanitary Sewer-Import Material for Trench Backfill	4,100	TON @	\$ 13.50	\$ 55,350.00	0.0%	0.0%	\$ -
480 Storm Drain Import Material for Trench Backfill	985	TON @	\$ 13.50	\$ 13,297.50	0.0%	95.0%	\$ -
490 Culinary Water-Import Material for Trench Backfill	950	TON @	\$ 13.50	\$ 12,825.00	0.0%	95.0%	\$ -
500 Pressurized Irrigation-Import Material for Trench Backfill	950	TON @	\$ 13.50	\$ 12,825.00	0.0%	95.0%	\$ -
Phase 3 & 4 Mass Excavation							
510 Clear and Grub, Waste Onsite	541,500	SF @	\$ 0.05	\$ 27,075.00	0.0%	95.0%	\$ -
520 Site Cut/Fill	76,914	CY @	\$ 3.50	\$ 269,199.00	0.0%	87.1%	\$ -
530 Crush Native Material for Roadway Fill	71,134	CY @	\$ 8.50	\$ 604,639.00	0.0%	95.0%	\$ -
Fees & Add-Ons							
540 Engineering	1	LS @	\$ 20,000.00	\$ 20,000.00	0.0%	95.0%	\$ -
550 Survey	1	LS @	\$ 20,000.00	\$ 20,000.00	0.0%	50.0%	\$ -

570 Inspection Fees	12	LOTS	@	\$	418.00	\$	5,016.00	0.0%	100.0%	\$	-
580 Dry Utility Design - Installation Covered In Line Item 460	1	LS	@	\$	25,000.00	\$	25,000.00	0.0%	95.0%	\$	-
590 Landscaping for Phase 2 Open Space	1	LS	@	\$	100,000.00	\$	100,000.00	0.0%	0.0%	\$	-
600 *Fort Creek Booster Pump (Over-Run)	1	LS	@	\$	115,000.00	\$	115,000.00	0.0%	100.0%	\$	-
605 Check Dam (Over-run)	1	LS	@	\$	125,000.00	\$	125,000.00	5.6%	5.6%	\$	7,035.50
OTHER											
610 Mail Box and Pad	1	EACH	@	\$	3,500.00	\$	3,500.00	0.0%	0.0%	\$	-
620 Clean, Camera, Air Testing (SD and Sewer)	1	LS	@	\$	3,500.00	\$	3,500.00	0.0%	0.0%	\$	-
630 Waterline Testing, Bacteria, and Flushing	1	LS	@	\$	2,500.00	\$	2,500.00	0.0%	0.0%	\$	-
640 Street Signs	2	EACH	@	\$	1,500.00	\$	3,000.00	0.0%	0.0%	\$	-

BASE BID TOTAL	\$	2,043,865.94	Previously Released: \$	1,374,898.10
10% Warranty Amount	\$	204,386.59		
TOTAL BOND AMOUNT	\$	2,248,252.53	This Release: \$	7,035.50
<i>Total Released to Date</i>	\$	1,381,933.60		
TOTAL BOND REMAINING	\$	866,318.93		

At the discretion of the city, up to 95% of the Base Bid Total may be released as partial payments and 100% of the Base Bid Total will be released at final inspection. The 10% Warranty Amount will be held for the one year warranty period.

*Retention for Fort Creek Booster Pump is held in Phase 1 Bond

<hr/> Paul Kroff Developer	<hr/> Date
<hr/> Troy Stout Mayor	<hr/> Date
 <hr/> Jed Muhlestein, P.E. City Engineer	<hr/> 12/4/2020 Date
<hr/> City Council (by Bonnie Cooper - City Recorder)	<hr/> Date

ALPINE CITY COUNCIL AGENDA

SUBJECT: Site Plan – Alpine Fitness

FOR CONSIDERATION ON: 8 December 2020

PETITIONER: Paul Anderson with Alpine Fitness/Alpine Physical Therapy

ACTION REQUESTED BY PETITIONER: Review and approve the site plan as proposed.

BACKGROUND INFORMATION:

A new building is proposed for Alpine Fitness on the property located at 235 South Main Street. The proposed building would be 9,380 Square Feet located on a property of approximately 0.58 acres. The property is in the Business Commercial Zone and Gateway Historic District. The proposed site plan includes: 40 off-street parking stalls (38 required), and 5,037 square feet of landscaping (20% of total lot area).

The applicant has been granted a setback exception (08/13/2019 City Council approved a 15' front and 2' side (north) setback exception), parking exception (09/10/2019 City Council approved parking within 15' of front property line), and two land swaps (09/10/2019 City Council approved a 234.23 square foot exchange; 05/12/2020 City Council approved 430 square foot exchange to accommodate underground powerlines) by the City Council and has worked with Dominion Gas and Utah County on the removal of a gas line and easement. The proposed building and site plan have been designed accordingly.

On November 17, 2020, the Planning Commission recommended approval of the proposed site plan:

MOTION: *Ethan Allen moved to recommend approval of the proposed site plan for the Alpine Fitness with the following conditions:*

- 1. The developer signs a storm drain maintenance agreement for the property.*
- 2. The developer obtains a Demolition Permit prior to construction.*
- 3. The developer meets fire code requirements as outlined in the Lone Peak Fire Department Review.*

Alan MacDonald seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed unanimously.

Ayes:

*Alan MacDonald
Jane Griener
Ed Bush
Ethan Allen
Troy Slade
John MacKay
Sylvia Christiansen*

Nays:

None

On November 24, 2020, the City Council decided to table the item for further review by the Planning Commission and asked that the Planning Commission revisit and review the

site plan with regards to compliance with the Gateway Historic District Design Guidelines.

MOTION: *Carla Merrill moved to table The Alpine Fitness Center and send the proposal back to the Planning Commission and request that they compare it to the gateway historical document and make sure the elements of the buildings fit within those specifications.*

Jessica Smuin seconded the motion. There were 4 Ayes and 1 Nay, as recorded below. The motion passed.

Ayes:

*Carla Merrill
Jason Thelin
Jessica Smuin
Greg Gordon*

Nays:

Lon Lott

On December 1, 2020, the Planning Commission went through the Gateway Historic District Design Guidelines item by item and reviewed the Alpine Fitness Site Plan for compliance with each item. Following the review, the Planning Commission recommended approval of the site plan.

MOTION: *I, Alan MacDonald, find that the Alpine Fitness building as proposed meets the objective design guidelines as well as the intent of the Alpine historic district and make a motion therefore to recommend approval of the project as proposed.*

John MacKay seconded the motion. There were 6 Ayes and 1 Nay, as recorded below. The motion passed.

Ayes:

*Alan MacDonald
John MacKay
Sylvia Christiansen
Ethan Allen
Troy Slade
Ed Bush*

Nays:

Jane Griener

STAFF RECOMMENDATION:

Approve the site plan with the conditions outlined in the sample motion.

SAMPLE MOTION TO APPROVE

I motion that the proposed site plan for the Alpine Fitness be approved with the following conditions:

- The developer signs a storm drain maintenance agreement for the property.
- The developer obtains a Demolition Permit prior to construction.
- The developer meets fire code requirements as outlined in the Lone Peak Fire Department Review.
- The developer update plans to include the currently adopted decorative style streetlight.

SAMPLE MOTION TO DENY

I motion that the site plan for the Alpine Fitness be denied based on the following:

- ***Add finding***

ALPINE CITY COUNCIL AGENDA

SUBJECT: Site Plan – Alpine Fitness

FOR CONSIDERATION ON: 8 December 2020

PETITIONER: Paul Anderson with Alpine Fitness/Alpine Physical Therapy

ACTION REQUESTED BY PETITIONER: Review and approve the site plan as proposed.

BACKGROUND INFORMATION:

A new building is proposed for Alpine Fitness on the property located at 235 South Main Street. The proposed building would be 9,380 Square Feet located on a property of approximately 0.58 acres. The property is in the Business Commercial Zone and Gateway Historic District. The proposed site plan includes: 40 off-street parking stalls (38 required), and 5,037 square feet of landscaping (20% of total lot area).

The applicant has been granted a setback exception (08/13/2019 City Council approved a 15' front and 2' side (north) setback exception), parking exception (09/10/2019 City Council approved parking within 15' of front property line), and two land swaps (09/10/2019 City Council approved a 234.23 square foot exchange; 05/12/2020 City Council approved 430 square foot exchange to accommodate underground powerlines) by the City Council and has worked with Dominion Gas and Utah County on the removal of a gas line and easement. The proposed building and site plan have been designed accordingly.

On November 17, 2020, the Planning Commission recommended approval of the proposed site plan:

MOTION: *Ethan Allen moved to recommend approval of the proposed site plan for the Alpine Fitness with the following conditions:*

- 1. The developer signs a storm drain maintenance agreement for the property.*
- 2. The developer obtains a Demolition Permit prior to construction.*
- 3. The developer meets fire code requirements as outlined in the Lone Peak Fire Department Review.*

Alan MacDonald seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed unanimously.

Ayes:

*Alan MacDonald
Jane Griener
Ed Bush
Ethan Allen
Troy Slade
John MacKay
Sylvia Christiansen*

Nays:

None

On November 24, 2020, the City Council decided to table the item for further review by the Planning Commission and asked that the Planning Commission revisit and review the

site plan with regards to compliance with the Gateway Historic District Design Guidelines.

MOTION: *Carla Merrill moved to table The Alpine Fitness Center and send the proposal back to the Planning Commission and request that they compare it to the gateway historical document and make sure the elements of the buildings fit within those specifications.*

Jessica Smuin seconded the motion. There were 4 Ayes and 1 Nay, as recorded below. The motion passed.

Ayes:

*Carla Merrill
Jason Thelin
Jessica Smuin
Greg Gordon*

Nays:

Lon Lott

On December 1, 2020, the Planning Commission went through the Gateway Historic District Design Guidelines item by item and reviewed the Alpine Fitness Site Plan for compliance with each item. Following the review, the Planning Commission recommended approval of the site plan.

MOTION: *I, Alan MacDonald, find that the Alpine Fitness building as proposed meets the objective design guidelines as well as the intent of the Alpine historic district and make a motion therefore to recommend approval of the project as proposed.*

John MacKay seconded the motion. There were 6 Ayes and 1 Nay, as recorded below. The motion passed.

Ayes:

*Alan MacDonald
John MacKay
Sylvia Christiansen
Ethan Allen
Troy Slade
Ed Bush*

Nays:

Jane Griener

STAFF RECOMMENDATION:

Approve the site plan with the conditions outlined in the sample motion.

SAMPLE MOTION TO APPROVE

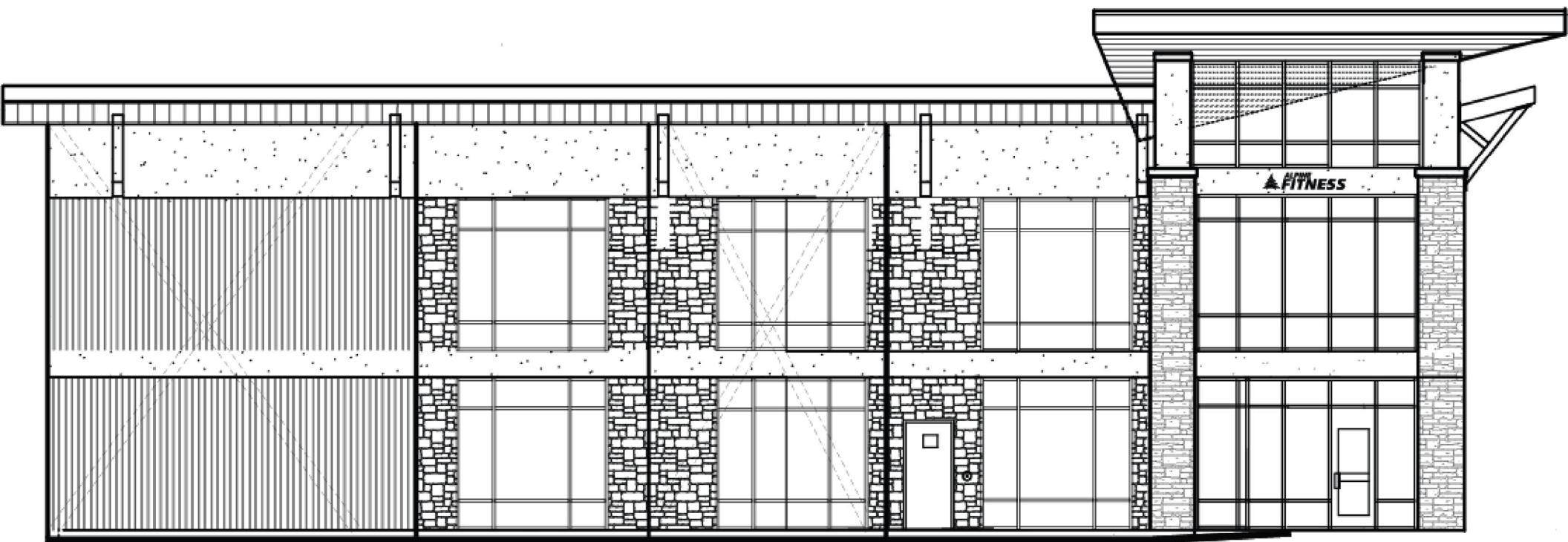
I motion that the proposed site plan for the Alpine Fitness be approved with the following conditions:

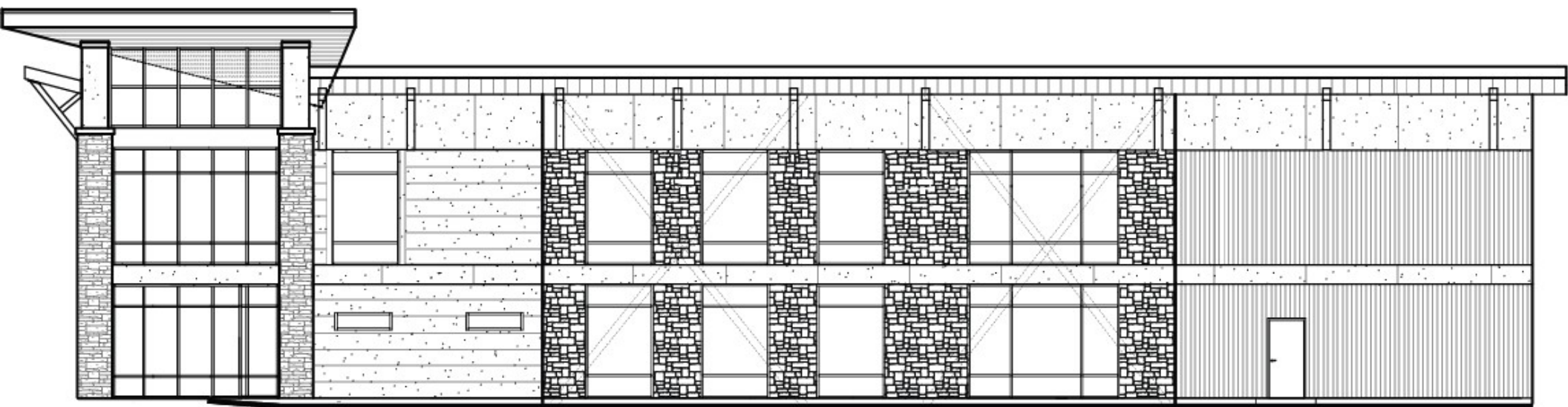
- The developer signs a storm drain maintenance agreement for the property.
- The developer obtains a Demolition Permit prior to construction.
- The developer meets fire code requirements as outlined in the Lone Peak Fire Department Review.
- The developer update plans to include the currently adopted decorative style streetlight.

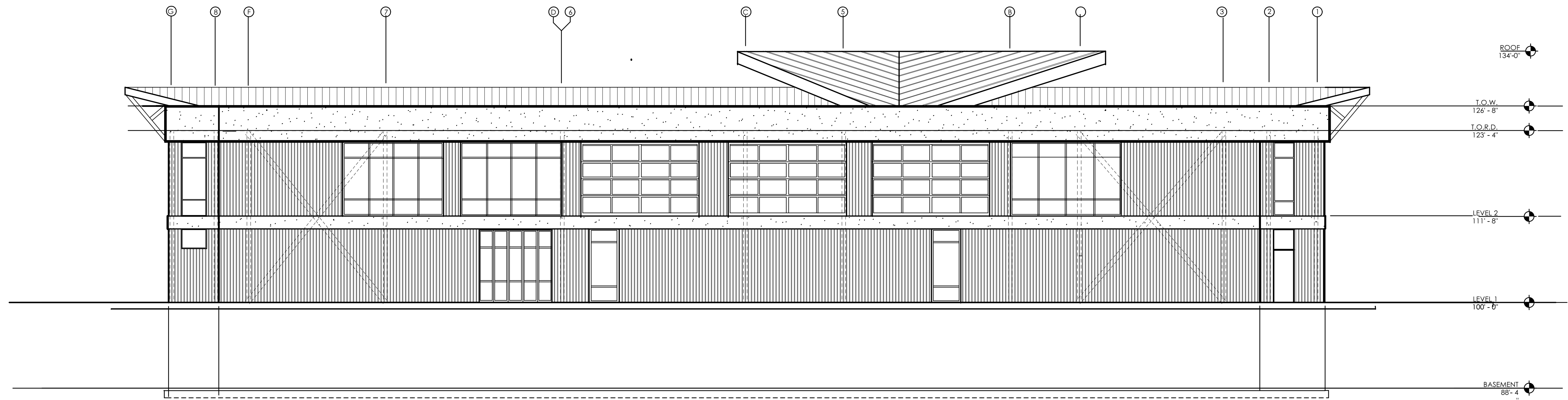
SAMPLE MOTION TO DENY

I motion that the site plan for the Alpine Fitness be denied based on the following:

- ***Add finding***



















RESOLUTION NO. R2015-11

**A RESOLUTION OF THE
ALPINE CITY COUNCIL
Adopting the Gateway Historic District Design Guidelines**

WHEREAS, The City Council of Alpine, Utah has deemed it in the best interest of Alpine City to create design guidelines for the Gateway Historic District; and

WHEREAS, the Alpine City Planning Commission has reviewed the proposed design guidelines for the Gateway Historic District, held a public hearing, and has forwarded a recommendation to the City Council; and

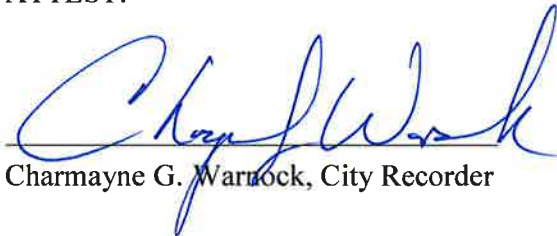
WHEREAS, the Alpine City Council has reviewed and approved the proposed Gateway Historic District Design Guidelines:

PASSED and **APPROVED** this 22nd day of September.

ALPINE CITY


Don Watkins, Mayor

ATTEST:


Charmayne G. Warlock, City Recorder





Gateway Historic District Design Guidelines

Adopted by Resolution 2015-11

Purpose and Intent

Gateway Historic District will become a village of mixed uses, promoting a pedestrian friendly atmosphere and providing excellence in landscaping and architecture, in a setting which honors and preserves the past while promoting the future.

1. In the interest of preserving the character of the Gateway-Historic District, it is necessary to regulate to a certain extent the new construction that is built there. New structures should only affect the district in a positive manner, and not in detrimental ways.
2. Respecting the heritage of Alpine associated with the historical structures in the district.
3. Utilize approaches that have been shown to encourage the sustainability of historic districts and neighborhoods.

The guidelines for the following elements are intended to encourage compatible new construction. In the event that these guidelines conflict with the Alpine City Zoning Ordinance, the Zoning Ordinance will be followed.

Guidelines

1. New developments should:
 - a. Mimic details of older buildings
 - b. Use similar materials
 - c. Make mundane uses look good
 - d. Include design features on blank walls
2. All new development projects should achieve a determination of design appropriateness from the Planning Commission.
3. New construction should respect and build upon the historical legacy of downtown Alpine and borrow historic features from the area. It should be

designed for its specific context. Elements that should influence the design of new development include building form, massing, scale, materials and colors.

Gateway Historic District Design Criteria

1. Relation to the Surrounding Area (Massing, Scale, Orientation)
2. Height
3. Exterior Walls and Surfaces
4. Windows and Doors
5. Exterior Trim and Decorative Detailing
6. Roofing
7. Materials (Texture, Color, Finishes)
8. Streetscaping

Relation to the Surrounding Area **(Massing, Scale, Orientation)**

New construction that utilizes appropriate massing and scale can affect historic districts in a positive manner. New structures should take their own place in time.

Design Standards

- New structures should relate to the fundamental characteristics of the district, but may use their own style and method of construction.
- Orientation of new construction should be to the street to establish a pedestrian-friendly quality.
- One major entrance should orient to each street to which the building abuts for easy access by pedestrians from the street and sidewalk.
- Corner entrances may be used for buildings orienting to two streets at an intersection.
- New construction should not be dramatically greater in scale than surrounding structures in the district.
- The perceived width of new construction should be visually compatible with adjacent structures. Wider buildings should be divided into modules to convey a sense of traditional construction.
- The building form of new construction should be similar to surrounding structures but should not necessarily be a direct imitation.



2

Height

New construction should respect the overall height limits established in the city code for the underlying zone.

Design Standards

- The height of buildings should be compatible with adjacent historic structures.
- Creative historic design elements fitting for the area can be considered.



3

Exterior Walls and Surfaces

The type of materials used for new construction can greatly enhance the relationship to surrounding historical structures while maintaining individual identity.

Design Standards

- The use of stone, brick, wood, or stucco is encouraged for use as the primary exterior material.
- Plastics, vinyl and CMU (concrete masonry unit) are prohibited.
- Innovative use of other materials may be considered.



Windows and Doors

Windows and doors of new construction should relate to the general character of the area.

Design Standards

- Windows with a vertical emphasis shall be encouraged over a horizontal orientation.
- Scale, proportion, and character of windows and doors should be carefully considered and should relate to the intended general character of the area.
- The simple shape of windows is encouraged.
- If new construction is built to the sidewalk, the use of awnings or canopies should be considered for providing protection to the pedestrian.
- The ground floor of the primary façade should include transparency at the pedestrian level.



Exterior Trim and Decorative Detailing

New construction can be enhanced by the wise use of exterior trim and decorative detailing. Using these details to break up uninspiring solid surfaces can help avoid the box-like appearance often seen in new construction.

Design Standards

- Trim and detailing should be simple in material and design.
- Materials that are compatible to the primary exterior material should be used.
- Excessive ornamentation is not recommended.
- The following factors should be considered in determining whether or not a particular finishing material is acceptable:
 1. Durability and low maintenance characteristics.
 2. Consistency with the overall design goals.
 3. Location on the building.
 4. Potential shielding by landscaping or other feature.
 5. The visibility of the site from public streets and neighboring uses.
 6. A mansard roof is prohibited



6

Roofing

The style and form of the roof on new construction can contribute to the success of blending in with surrounding historic structures.

Design Standards

- Traditional rooflines are preferred.
- Smaller structures should use a hip, gable, or shed roof.
- Flat roofs may be considered for use on structures where the context is appropriate.
- Flat roofs shall provide a cornice or other decorative treatment.
- The character or design of the front and rear façades of all buildings shall demonstrate a variety in depth, relief, rhythm and roof line height, with changes occurring in all of these areas at least every forty feet.
- Mechanical equipment shall not be visible from the street.



Materials – Texture, Color, Finishes

Good attention to design and color is expected in the Gateway Historic District to help all buildings become more complimentary to each other and assist the creation of a unique and cohesive environment. The materials used for the finish of the exterior surface of new construction should be compatible with the nature of the surrounding area.

Design Standards

- The use of color schemes should be compatible with the surrounding area. Simplicity is encouraged – excessive amounts of different colors should not be used.
- Avoid pure white as a façade color, and if masonry must be painted, it should be done in a natural hue.
- The natural colors of brick masonry, stone, or other existing building materials should dominate the color scheme of the building. Other colors should be respectful of adjacent buildings.
- A predominant color should be used with one or two other accent colors.
- The texture and finish of new construction should attempt to convey a modern building while still respecting the historic character of the area.
- The cornice, window frames, ornamental details, signs and storefronts should all blend in as an attractive harmonious unit.



8

Streetscaping

Streetscapes should be incorporated in sidewalk areas adjacent to Main Street.

Design Standards

- At least one streetscape feature should be installed and maintained every thirty (30) linear feet along sidewalks, nearest to the curb.
- Acceptable streetscape features include, but are not limited to, the following: trees, planters, benches, drinking fountains, decorative garbage canisters, outdoor clocks, bike racks, and water features.
- Businesses are encouraged to coordinate the installation of streetscape elements with surrounding properties.
- Installation of plazas and gathering spaces where people may linger is encouraged.
- Installation of planters with trees and shrubs to create areas to sit are encouraged.
- Providing benches in strategic areas to encourage mingling and gathering is encouraged.



Gateway Historic District Check List

	Yes	No	Part	Comments/notes
Guidelines				
○ Mimic details of older buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Use similar materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Make mundane uses look good	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Include design features on blank walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Respect & build upon historical legacy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
Design Criteria – Relation to the Surrounding Area				
○ Relate to fundamental characteristics	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Orientation to the street	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Major entrance oriented to street	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Corner entrances OK at intersection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Same scale as existing structures	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Perceived width visually compatible	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Similar to surrounding structures	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
Design Criteria – Height				
○ Height compatible	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Consideration of historic design elems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
Design Criteria – Exterior Walls and Surfaces				
○ Use of stone, brick, wood, or stucco	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Plastics, vinyl, and CMU prohibited	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Innovative use of other considered	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
Design Criteria – Windows and Doors				
○ Windows with vertical orientation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Windows relate to character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Simple shape of windows	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ On sidewalk – awnings or canopies	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Ground floor provides transparency	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
Design Criteria – Exterior Trim and Decorative Detailing				
○ Trim & detail simple in material/design	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Materials compatible to prim exterior	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ No excessive ornamentation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Factor: Durability & low maintenance	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Factor: Consistency with design goals	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Factor: Location on building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>
○ Factor: Shielding by landscaping, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<hr/>

- | | | | | |
|------------------------------|--------------------------|--------------------------|--------------------------|-------|
| ○ Factor: Visibility of site | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Factor: No mansard roof | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |

Design Criteria – Roofing

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------|
| ○ Preferred traditional roof lines | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Small buildings- hip, gable, or shed roof | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Flat roof OK with appropriate context | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Flat roofs-cornice/decorative treatment | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Front/rear-variety (every forty feet) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Mechanical equipment not visible | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |

Design Criteria – Materials

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------|
| ○ Colors compatible & simple | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ No pure white | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Painted masonry done in natural hue | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Natural colors should dominate | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Primary color (1 or 2 accents allowed) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Convey modern building and historic | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Details should be harmonious | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |

Design criteria – Street Scaping

- | | | | | |
|---------------------------------------|--------------------------|--------------------------|--------------------------|-------|
| ○ Streetscape features each 30 feet | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Has acceptable streetscape features | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Coordinated with next businesses | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Has plazas and gathering places | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Has planters with trees and shrubs | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| ○ Benches in strategic areas | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |

3.11 Gateway/Historic Zone

3.11.010 Purpose And Intent

3.11.020 District Boundaries

3.11.030 Applicability

3.11.040 Site Plan Process

3.11.050 Plan Requirements

3.11.060 Repair Or Maintenance Exception

3.11.070 Permitted Uses

3.11.080 Conditional Uses

3.11.090 Water Rights Requirements

3.11.010 Purpose And Intent

The purpose of this chapter is to maintain a high character of community development, to protect and preserve property, to promote the stability of property values and to protect real estate from impairment or destruction of value for the general community welfare by regulating the exterior architectural characteristics of structures and preservation and protection of buildings of architectural or historical significance throughout the hereinafter defined Gateway/Historic District.

It is the further purpose of this Title to recognize and preserve the historical and architectural character of this community, which has been greatly influenced by the architecture of an earlier period in this community's history. It is also the intent of the district to allow for a mixture of commercial and residential uses. These purposes shall be served by the regulation of exterior design, use of materials, the finish grade line, landscaping and orientation of all commercial structures hereinafter altered, constructed, reconstructed, erected, enlarged or remodeled, removed or demolished for commercial purposes in the hereinafter defined Gateway/Historic District.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

3.11.020 District Boundaries

There is hereby established a Gateway-Historic District Overlay Zone which shall include the area shown as Business Commercial (BC) on the Alpine City Zoning Map.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

3.11.030 Applicability

An application for a site plan shall be filed with the City Planner whenever:

1. A commercial structure, as defined by this Zoning Ordinance, whether public or private, within the above describe district is proposed to be constructed or erected; or
2. An existing commercial structure is proposed to be altered, reconstructed, enlarged, or remodeled if such alteration, reconstruction, enlargement, or remodeling involves the exterior design, material, finish grade line, landscaping or orientation of the structure; or
3. An existing structure is proposed to be altered, reconstructed, enlarged or remodeled into a commercial structure, if such alteration, reconstruction, enlargement or remodeling involves the exterior design, material, finish grade line, landscaping or orientation of the structure.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

3.11.040 Site Plan Process

1. During the review process, the City Planner and City Engineer, the Planning Commission, and the City Council may request reasonable additional information from the applicant from time to time; and may ask other advisors to review the plan if, in the opinion of the City, it may contribute to a decision in the best interest of the City.

After submittal of the required application materials, no excavation or alteration of the property may be undertaken prior to written final approval by the City Council of the site plan. Excavation or alteration of the property prior to approval may be cause for disapproval. Additionally, work on existing structures prior to final approval is not permitted.

2. City Planner and City Engineer

- a. The applicant shall meet with the City Planner and City Engineer to review the proposed site plan before submitting an application.
- b. The applicant shall prepare a concept site plan, properly and accurately drawn to scale.
- c. The City Planner and City Engineer shall review the site plan to determine compliance with the Alpine City General Plan and applicable City ordinances.
- d. When the City Planner and City Engineer determines that the site plan is ready for Planning Commission review, the City Planner, in consultation with the Planning Commission Chairperson, shall establish a review date. The applicant may prepare a site plan that incorporates all changes recommended by City Planner and City Engineer.

3. Planning Commission

- a. The applicant shall submit the following to the City Planner at least fourteen (14) days before the scheduled Planning Commission meeting:
 - i. the site plan application;
 - ii. pay the associated fee(s) in accordance with the current fee schedule (payable to Alpine City);
 - iii. four (4) D size (22" x 34") copies of the site plan;
 - iv. ten (10) 11" x 17" copies of the site plan drawn to scale;
 - v. building elevations including building height;
 - vi. a landscape plan including a list of plant types; and
 - vii. an electronic copy of the site plan and building elevations in a compatible format as specified by City Staff.

In addition, the application shall be accompanied by a detailed narrative description of the proposed design or change of design, use of materials, finish grade line, landscaping. In addition, the Planning Commission may require submission of colored perspectives, architectural renderings, and/or physical building material samples in applications where the Planning Commission feels it is required.

- b. The site plan will not be presented to the Planning Commission until the application is complete, including submitting all required information and paying all fees. The application must be complete and accepted in writing by the City Planner.
- c. The Planning Commission shall give guidance to the applicant to assist in meeting the requirements and constraints for development within Alpine City.

- d. The Planning Commission shall determine whether the site plan promotes, preserves and enhances the distinctive historical village character of the community and would not be at variance with existing structures within that portion of the district in which the site plan is or is proposed to be located as to be detrimental to the interests of the District as set forth in DCA 3.11.010. In conducting its review, the Planning Commission shall make examination of and give consideration to the elements of the Gateway Historic District Design Guidelines.
- e. The Planning Commission may recommend exceptions to the Business Commercial Zone requirements regarding parking, building height, signage, setbacks and use if it finds that the plans proposed better implement the design guidelines to the City Council for approval.
- f. If the Planning Commission finds that the proposed site plan complies with all applicable requirements, it shall recommend approval to the City Council. If the Planning Commission finds that the proposed site plan does not meet the requirements, it shall recommend disapproval of the site plan.

4. City Council

- a. Following the recommendation of approval or disapproval of the site plan by the Planning Commission, the City Council shall consider the site plan at a public meeting. If the City Council determines that the site plan is in conformity with all applicable requirements and any reasonable conditions as recommended by City Staff, the Planning Commission, or on its own initiative, it shall approve the site plan.
- b. If the City Council determines that the site plan is not in conformity with all applicable requirements or any reasonable conditions imposed, it shall disapprove the site plan specifying the reasons for such disapproval.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

HISTORY

Amended by Ord. [2019-09](#) on 4/23/2019

3.11.050 Plan Requirements

The site plan shall include the following items:

1. Address of the site plan
2. A vicinity map
3. The property boundaries of the proposed site plan and the names of all adjacent property owners
4. The location of all existing and proposed easements
5. Lot dimensions
6. Location and orientation of all structures on the lot
7. Setbacks of all structures on the lot
8. Location of garbage dumpster
9. Location of all existing and proposed utilities
10. Parking plan
11. Lighting plan

12. Other information which may allow the City Planner, City Engineer, Planning Commission, and City Council to evaluate the proposed site plan.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

3.11.060 Repair Or Maintenance Exception

Nothing in this Chapter shall be construed to prevent any ordinary repair or maintenance of an exterior architectural feature or any ordinary planting and landscaping now in the District.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

3.11.070 Permitted Uses

The permitted uses listed in the Business Commercial Zone shall be permitted in the Gateway/Historic Zone.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

3.11.080 Conditional Uses

The conditional uses listed in the Business Commercial Zone shall be conditional uses in the Gateway/Historic Zone.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

3.11.090 Water Rights Requirements

Developments occurring under the provisions of this Chapter must comply with the water rights requirements of Alpine City.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)





EZRA
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DESIGN
BUILD

363

RESERVED
PARKING
ONLY

RESERVED
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ONLY



EZRA
LEE
DESIGN
+ BUILD

ARCHITECTURE + INTERIOR DESIGN + CONSTRUCTION



Pine Valley Real Estate



Pine Valley Realty









Alpine Gold
Exchange

Gold & Silver
Accounts

 DOMINION
INSURANCE

341

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4 KIDS AND FAMILIES

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Boulder, CO 80501

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FOR
FAMILIES
WITH
CHILDREN

RESERVED
FOR
FAMILIES
WITH
CHILDREN



BRIAN K. JOHNSON
PRINTING BUILDING
45 WEST MAIN STREET COURT
ALPINE, UTAH
BUILT 2018



DR RANDY STUCKI
ALPINE DENTAL

Old Rock Church
75 W. Main
Street Court

ALPINE **24 HR**
FITNESS
ALPINE
PHYSICAL
THERAPY

YOGA CENTER

FOR LEASE
MEDICAL OFFICE / FITNESS
801-767-8765

RED BRICK
BUILDING

60 West Main Street Court
Alpine, Utah

Built 2011



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aesthetics



Allstate

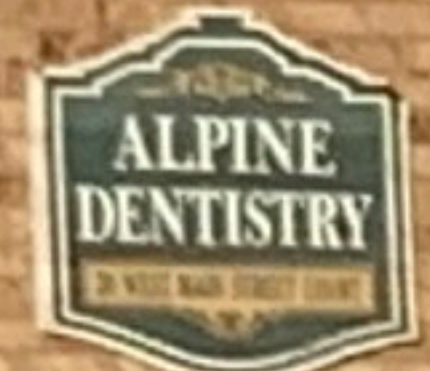
CENTER FOR
DEEP HEALING

coolsculpting
WHAT'S
HER SECRET?
175
glo
aesthetics

150
Allstate
Jaime Taylor
801-349-2526

COBBLESTONE
BUILDING
200
250

100
BLUE PETA
FOUNDATION
MEDICAL QIGONG
INSTITUTE & CLINIC



ALPINE FITNESS

235 S. MAIN STREET
ALPINE, UTAH 84004

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NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

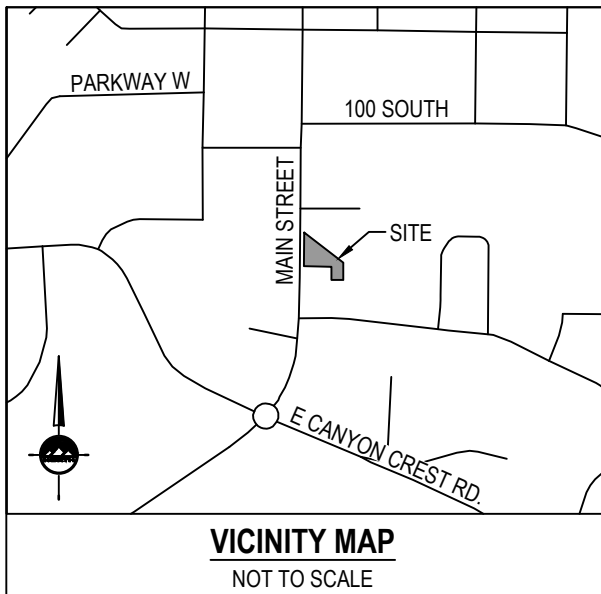
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



GENERAL NOTES

- ALL WORK SHALL CONFORM TO ALPINE CITY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- BENCHMARK ELEVATION = NORTHEAST CORNER SECTION 25, T4S, R1E SALT LAKE BASE & MERIDIAN ELEV. = 4946.87 (NGVD 29).
- ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION IN THIS PLAN SET COME FROM THE SURVEY DRAWINGS "LAND SURVEY PLAT (DATED NOVEMBER 21, 2019) AND TOPOGRAPHY SURVEY (DATED JANUARY 24, 2020)" PROVIDED BY VARA 3D AND NOT ENSIGN ENGINEERING. PLEASE REFER TO THESE DRAWINGS FOR SURVEY INFORMATION.

FOR REVIEW
NOT FOR CONSTRUCTION

DATE PRINTED
August 13, 2020



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ALPINE FITNESS

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NO.	DATE	REVISION	BY
1	1	SD CHANGES	
2			
3			
4			
5			
6			
7			
8			

COVER SHEET

PROJECT NUMBER
9711

PRINT DATE
8/13/20

DRAWN BY
T. MAZEJY

CHECKED BY
D. JENKINS

PROJECT MANAGER
D. JENKINS

C-000

BENCHMARK
NORTHEAST CORNER OF SECTION 25,
TOWNSHIP 4 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 4946.87 (NGVD 29)

811
Know what's below.
Call before you dig.
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (CURRENT EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW.
 - CONTRACTOR IS REQUIRED TO LOCATE AND POT-HOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY) THAT AFFECT THE PROJECT CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
 - CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE.
 - IN ADDITION TO 16.1 AND 16.2 ABOVE, THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POTHOLING" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POT-HOLE" EXISTING UTILITIES AS REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY PRIOR TO THE PLACEMENT.
- CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATION, AND THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-462-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (CURRENT EDITION), SECTION 0230 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
- THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
- ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (CURRENT EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, EDGE TO EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
- THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BVC	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH BASIN
CF	CURB FACE OR CUBIC FEET
CL	CENTER LINE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EOA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GF	GARAGE FLOOR
GV	GATE VALVE
HC	HANDICAP
HP	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAR FEET
LP	LOW POINT
MEX	MATCH EXISTING
MH	MANHOLE
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NIC	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OHP	OVERHEAD POWER
PC	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMPOUND CURVATURE
PIC	POINT OF INTERSECTION
PV	POST INDICATOR VALVE
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROOF DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TOG	TOP OF GRATE
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WIV	WALL INDICATOR VALVE
W	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET ENSIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		EXISTING STORM DRAIN LINE
	PROPOSED WATER VALVE		ROOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		HIGHWATER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CULVERT		EXISTING TELEPHONE LINE
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW CUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BERM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		EXISTING WALL
	EXISTING UTILITY POLE		PROPOSED WALL
	EXISTING LIGHT		EXISTING CONTOURS
	PROPOSED LIGHT		PROPOSED CONTOURS
	EXISTING GAS METER		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS MANHOLE		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS VALVE		EXISTING ASPHALT TO BE REMOVED
	EXISTING TELEPHONE MANHOLE		PROPOSED ASPHALT
	EXISTING TELEPHONE BOX		EXISTING CURB AND GUTTER
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED CURB AND GUTTER
	EXISTING CABLE BOX		PROPOSED REVERSE PAN CURB AND GUTTER
	EXISTING BOLLARD		TRANSITION TO REVERSE PAN CURB
	PROPOSED BOLLARD		CONCRETE TO BE REMOVED
	EXISTING SIGN		EXISTING CONCRETE
	PROPOSED SIGN		PROPOSED CONCRETE
	EXISTING SPOT ELEVATION		BUILDING TO BE REMOVED
	PROPOSED SPOT ELEVATION		EXISTING BUILDING
	EXISTING FLOW DIRECTION		PROPOSED BUILDING
	EXISTING TREE		

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



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ALPINE FITNESS

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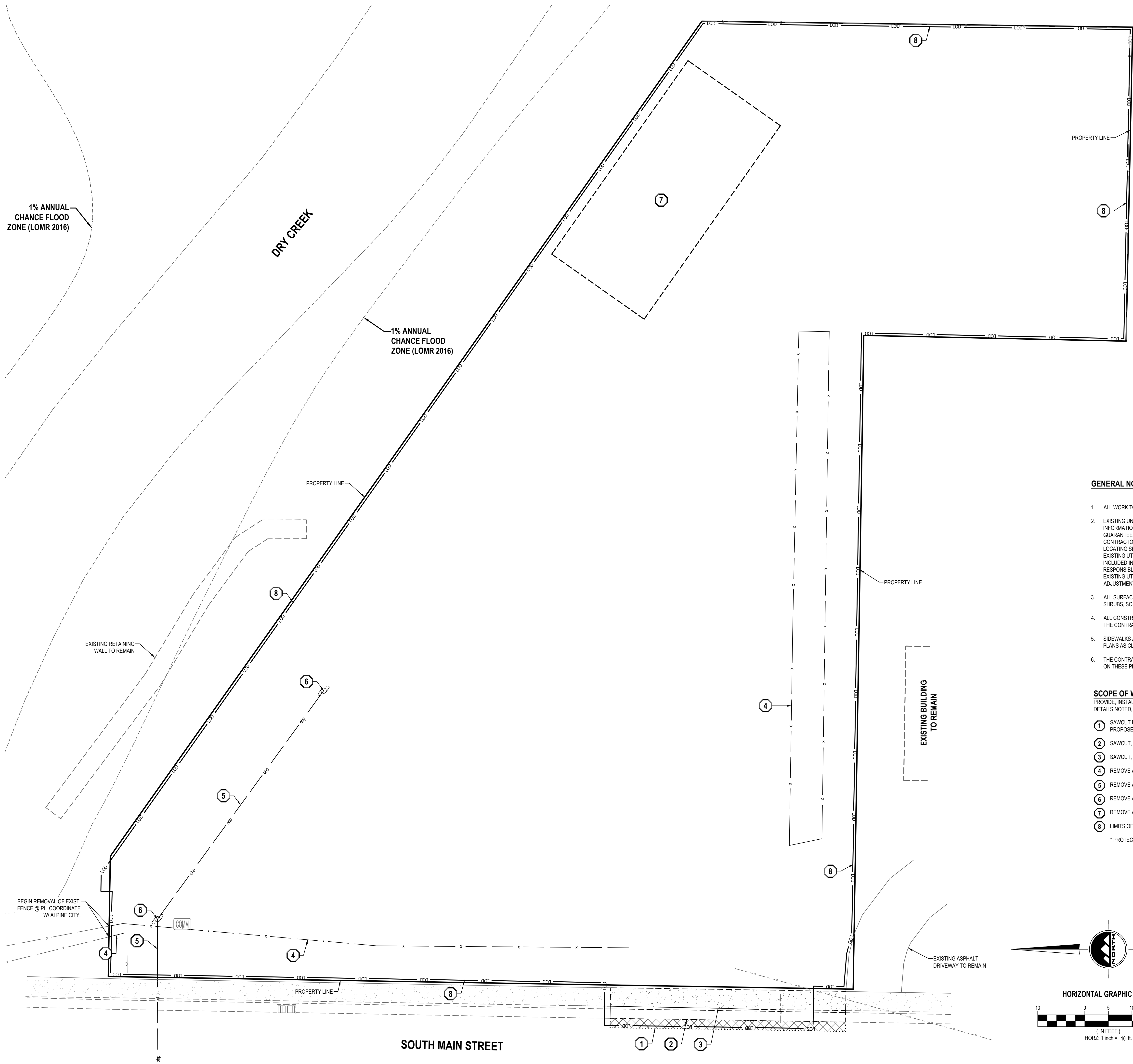


NO.	DATE	REVISION	BY
1		SD CHANGES	
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GENERAL NOTES

PROJECT NUMBER 9711	PRINT DATE 8/13/20
DRAWN BY T. MAZEJY	CHECKED BY D. JENKINS
PROJECT MANAGER D. JENKINS	

C-001



GENERAL NOTES

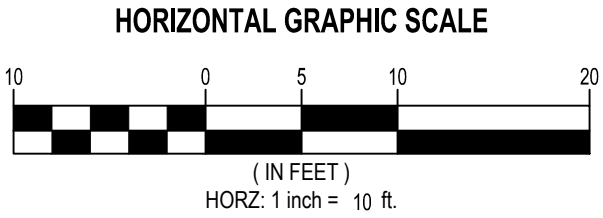
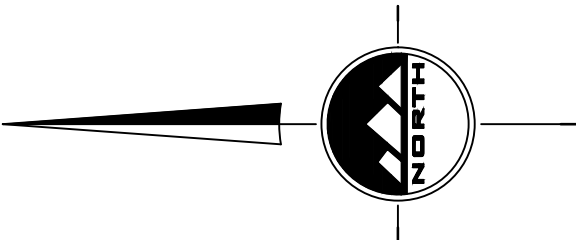
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
- SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
- SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
- SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE SIDEWALK.
- REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE. COORDINATE W/ ALPINE CITY.
- REMOVE AND RELOCATE EXISTING OVERHEAD POWER LINE. COORDINATE W/ ROCKY MOUNTAIN POWER.
- REMOVE AND PROPERLY DISPOSE OF EXISTING POWER POLE. COORDINATE W/ ALPINE CITY.
- REMOVE AND PROPERLY DISPOSE OF EXISTING BUILDING.
- LIMITS OF DISTURBANCE.

* PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).



BENCHMARK	
NORTHEAST CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN	
ELEV = 4946.87' (NGVD 29)	



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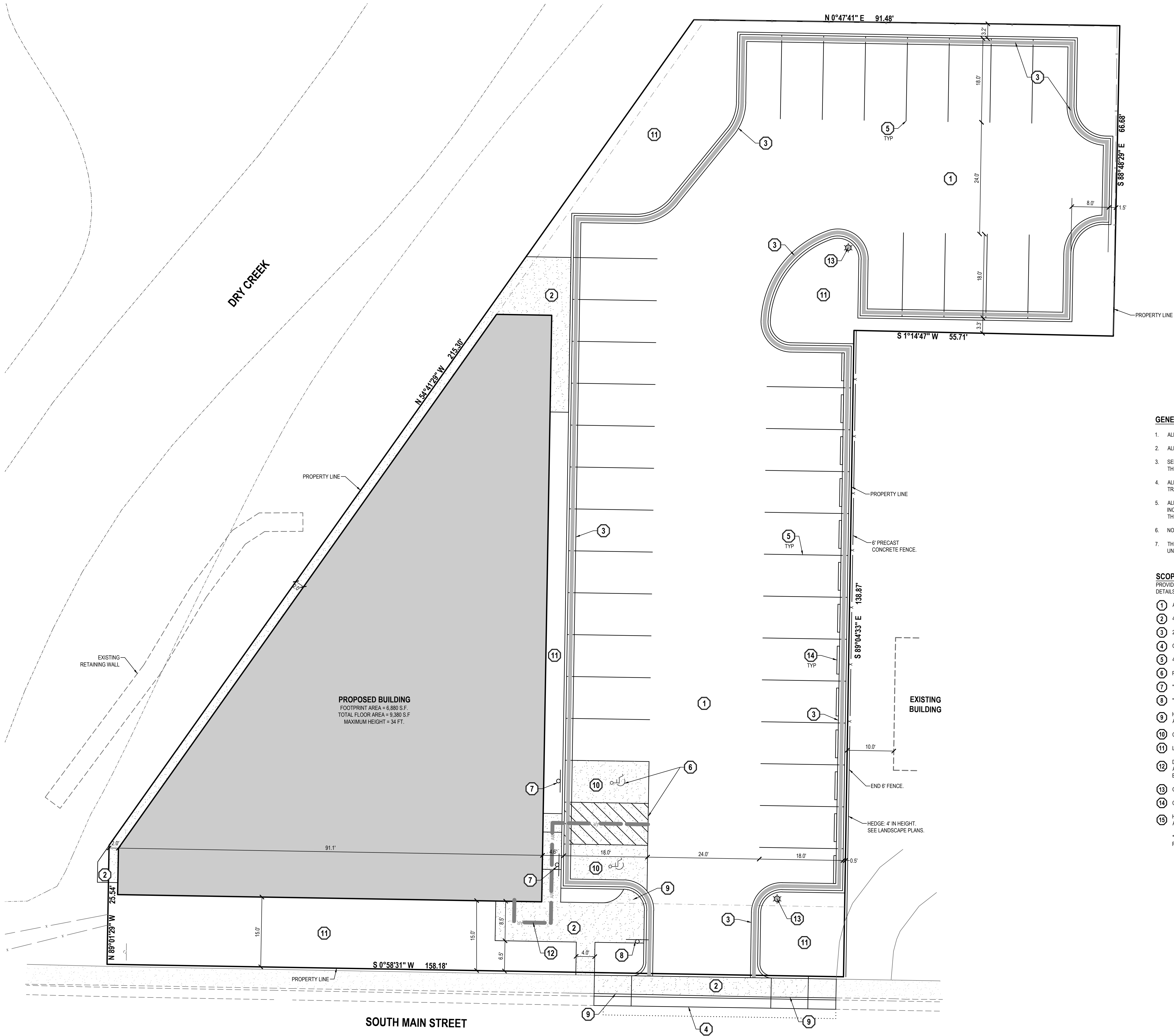


NO.	DATE	REVISION	BY
1	1	SD CHANGES	
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DEMO PLAN

PROJECT NUMBER 9711	PRINT DATE 8/13/20
DRAWN BY T. MAZEJY	CHECKED BY D. JENKINS
PROJECT MANAGER D. JENKINS	

C-100



SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	12,980	53%
ROOF	6,880	27%
LANDSCAPING	5,037	20%
TOTAL SITE	25,128 0.58 ACRES	100%

PARKING DATA TABLE	
STANDARD STALLS	38
ADA - ACCESSIBLE STALLS	2
TOTAL STALLS	40
REQUIRED STALLS	38

*4 PARKING STALLS REQUIRED FOR EACH 1000 SQUARE FEET OF BUILDING FLOOR AREA. TOTAL BUILDING FLOOR AREA = 9,380 S.F.

GENERAL NOTES

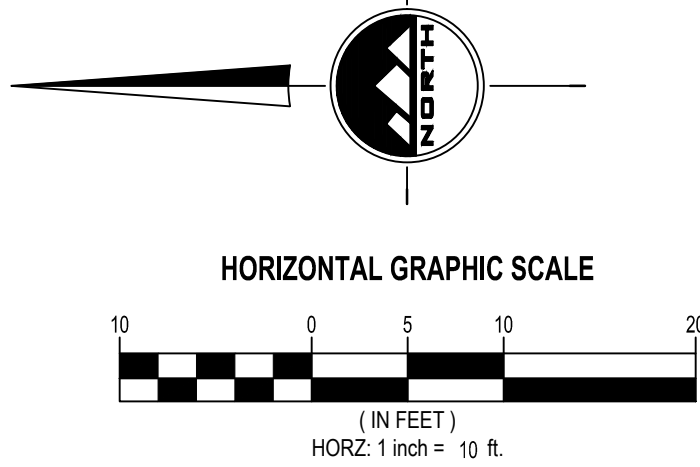
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- ASPHALT PAVEMENT PER DETAIL 1/C-600.
- 4" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
- 24" REVERSE PAN CURB AND GUTTER PER DETAIL 2/C-600.
- OPEN DRIVEWAY APPROACH PER APWA STANDARD PLAN NO. 225.
- 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
- PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- "HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
- "STOP" SIGN PER M.U.T.C.D. STANDARD PLANS.
- HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.
- CONCRETE PAVEMENT PER DETAIL 8/C-600.
- LANDSCAPING PER SHEET L-100.
- DESIGNATED ACCESSIBLE ROUTE. RUNNING SLOPE SHALL NOT EXCEED 5.00% (1:12 OR 8.33% FOR RAMPS) AND CROSS SLOPES SHALL NOT EXCEED 2.00%. CONTRACTOR TO REMOVE AND REPLACE ANY AREAS WHICH EXCEED ALLOWABLE SLOPES. SEE GRADING PLAN FOR ELEVATION INFORMATION.
- OVERHEAD LIGHT. SEE ARCHITECTURAL PLANS FOR DETAILS.
- CONCRETE WHEEL STOP PER DETAIL 9/C-600.
- HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 236.3 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.

* TRASH RECEPTACLES WILL BE STORED INSIDE OF BUILDING. NO OUTDOOR TRASH ENCLOSURE IS REQUIRED.



BENCHMARK

NORTHEAST CORNER OF SECTION 25,
TOWNSHIP 4 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 4946.87' (NGVD 29)



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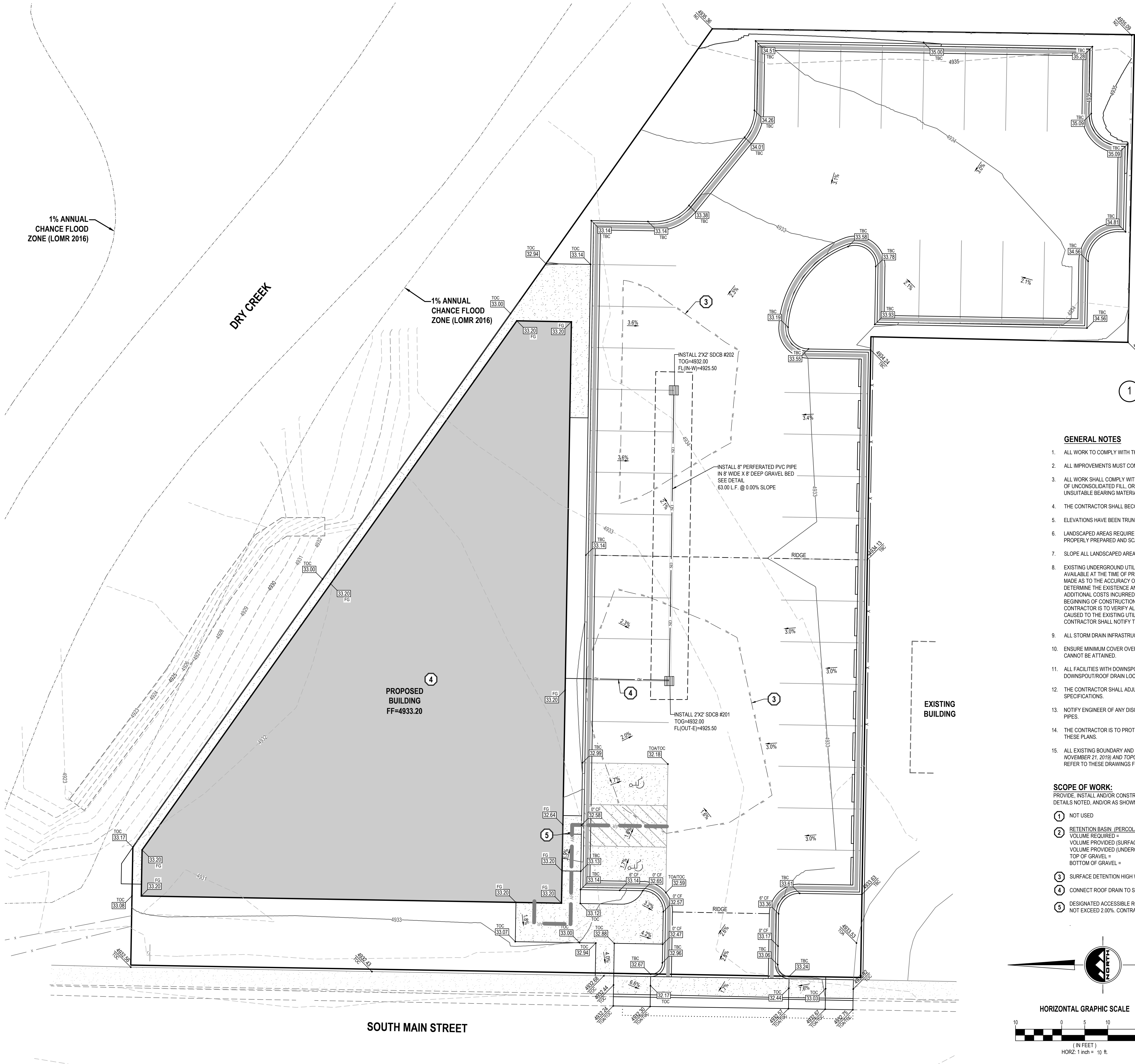
SITE PLAN

PROJECT NUMBER
97111
DRAWN BY
T. MAZEJY
PROJECT MANAGER
D. JENKINS

PRINT DATE
8/13/20

CHECKED BY
D. JENKINS

C-200

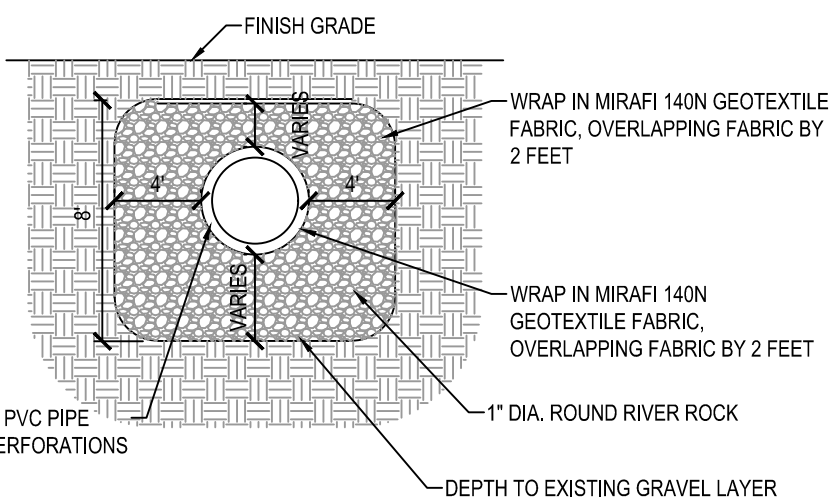


Project: Alpine Physical Therapy
By: D. Conley
Date: 12-Aug-2020

Project No.: 9711
Checked By: D. Jenkins
Sheet:



INFILTRATION RETENTION CALCULATION			
Area Calculations		Area Runoff Coefficients	
Handscaped Area (A _h)	0.68 acres	C _p	0.90
LANDSCAPED AREA (A _l)	0.00 acres	C _l	0.20
TOTAL AREA (A _t)	0.68 acres	WEIGHTED C _t	0.79
Runoff Calculations			
Precipitation Area	0.68 acres	Percolation Rate	0.210 in/hr
Total Percolation Rate	0.210 in/hr		
Time (min)	CA (Acres)	Precipitation Intensity (in/hr)	Cumulative Runoff (in)
5	0.48	6.97	300
10	0.48	5.36	800
15	0.48	4.38	900
30	0.48	2.85	1,800
40	0.48	1.80	3,000
120	0.48	1.02	7,200
180	0.48	0.71	10,800
360	0.48	0.41	21,600
720	0.48	0.28	43,200
1440	0.48	0.14	86,400
NOTE: 100 Year Storm		Storage Required	2,069
		Underground Storage Provided	1,792
		Surface Storage Provided	400
		Total Storage Provided	2,192



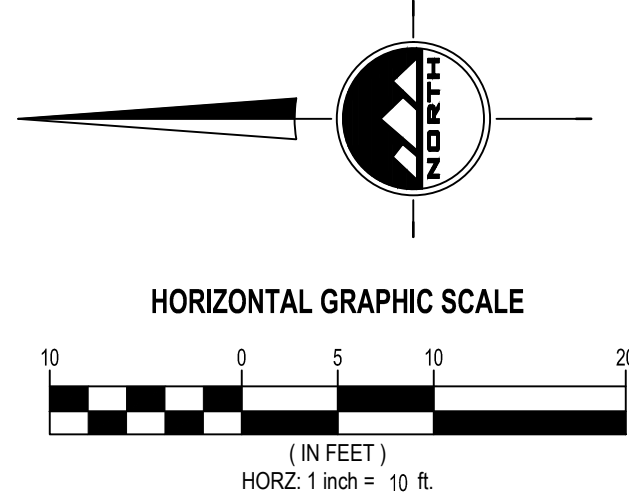
GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
- ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. 67.25 REPRESENTS AN ELEVATION OF 4967.25 ON THESE PLANS.
- LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
- ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION IN THIS PLAN SET COME FROM THE SURVEY DRAWINGS "LAND SURVEY PLAT (DATED NOVEMBER 21, 2019) AND TOPOGRAPHY SURVEY (DATED JANUARY 24, 2020)" PROVIDED BY VARA 3D AND NOT ENSIGN ENGINEERING. PLEASE REFER TO THESE DRAWINGS FOR SURVEY INFORMATION.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- NOT USED
- RETENTION BASIN: PERCOLATION RATE = 0.67 INCHES PER MINUTE X FS OF 1/2;
VOLUME REQUIRED (SURFACE) = 2,989 CU. FT.
VOLUME PROVIDED (SURFACE) = 360 CU. FT.
VOLUME PROVIDED (UNDERGROUND) = 1,792 CU. FT.
TOP OF GRAVEL = 4931.30
BOTTOM OF GRAVEL = 4923.30
- SURFACE DETENTION HIGH WATER LINE: ELEVATION = 4932.70
- CONNECT ROOF DRAIN TO STORM DRAIN NETWORK. SEE MECHANICAL PLANS FOR ROOF DRAIN LOCATION AND CONNECTION.
- DESIGNATED ACCESSIBLE ROUTE: RUNNING SLOPE SHALL NOT EXCEED 5.00% (1:12 OR 8.33% FOR RAMPS) AND CROSS SLOPES SHALL NOT EXCEED 2.00%. CONTRACTOR TO REMOVE AND REPLACE ANY AREAS WHICH EXCEED ALLOWABLE SLOPES.



BENCHMARK

NORTHEAST CORNER OF SECTION 25,
TOWNSHIP 4 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 4946.87' (NGVD 29)



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FOR:
ALPINE FITNESS
75 W. MAIN STREET CT #100
ALPINE, UTAH 84004

CONTACT:
PAUL ANDERSON
PHONE: (801) 687-0000

ALPINE FITNESS

235 S. MAIN STREET
ALPINE, UTAH 84004



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GRADING AND
DRAINAGE PLAN

PROJECT NUMBER
9711

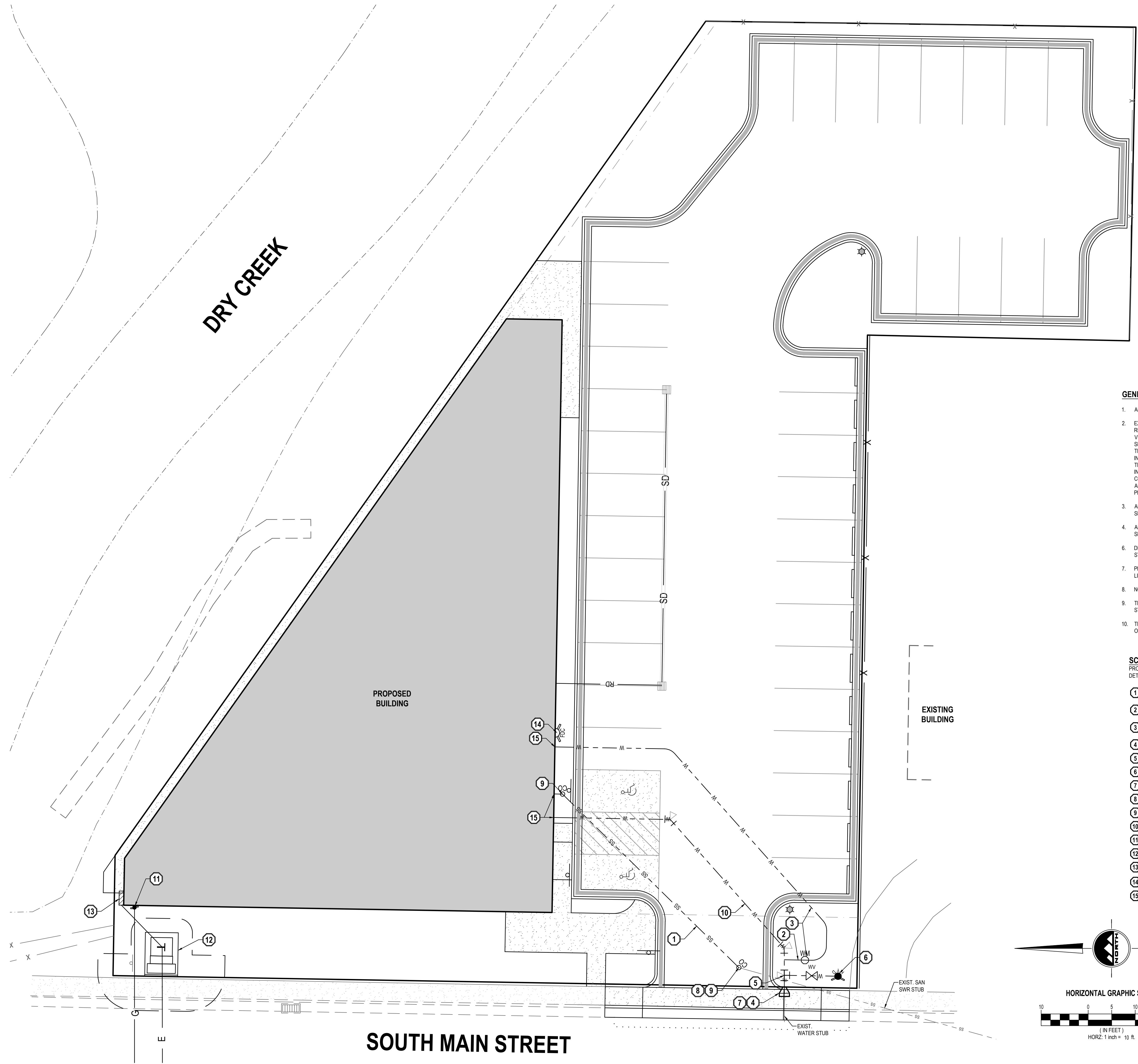
PRINT DATE
8/13/20

DRAWN BY
T. MAZEJY

CHECKED BY
D. JENKINS

PROJECT MANAGER
D. JENKINS

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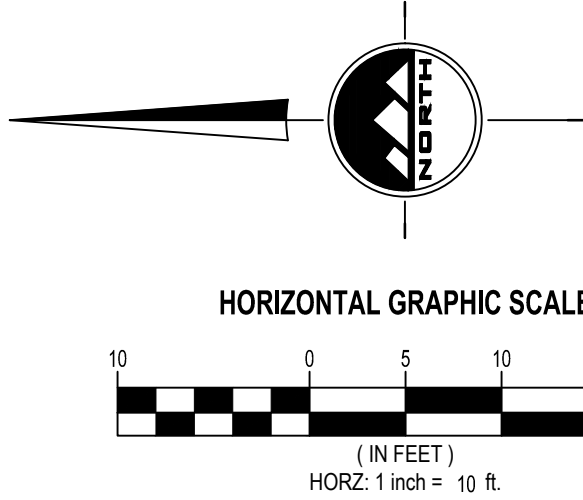
GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
- ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 6" SDR-35 PVC SANITARY SEWER LATERAL INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACING, PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- 1" COPPER WATER SERVICE FROM MAIN TO METER PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- 1" METER AND 1" POLY WATER SERVICE FROM METER TO BUILDING PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- 8"X8" REDUCER PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- 6" TEE PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- FIRE HYDRANT (COMPLETE) PER ALPINE CITY STANDARDS.
- CONNECT TO EXIST WATER STUB. CONTRACTOR TO VERIFY DEPTH AND LOCATION.
- CONNECT TO EXIST. SANITARY SEWER STUB. CONTRACTOR TO VERIFY DEPTH AND LOCATION.
- SANITARY SEWER CLEANOUT PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- 6" C-900 PVC FIRE WATER LINE PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- GAS METER AND SERVICE. COORDINATE W/ ROCKY MOUNTAIN ENERGY.
- PROPOSED TRANSFORMER LOCATION. COORDINATE W/ ROCKY MOUNTAIN POWER.
- ELECTRICAL SERVICE AND METER. COORDINATE W/ ROCKY MOUNTAIN POWER.
- FIRE DEPARTMENT CONNECTION PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- SEE MECHANICAL PLANS FOR CONTINUATION.



BENCHMARK	
NORTHEAST CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN	
ELEV = 4946.87' (NGVD 29)	



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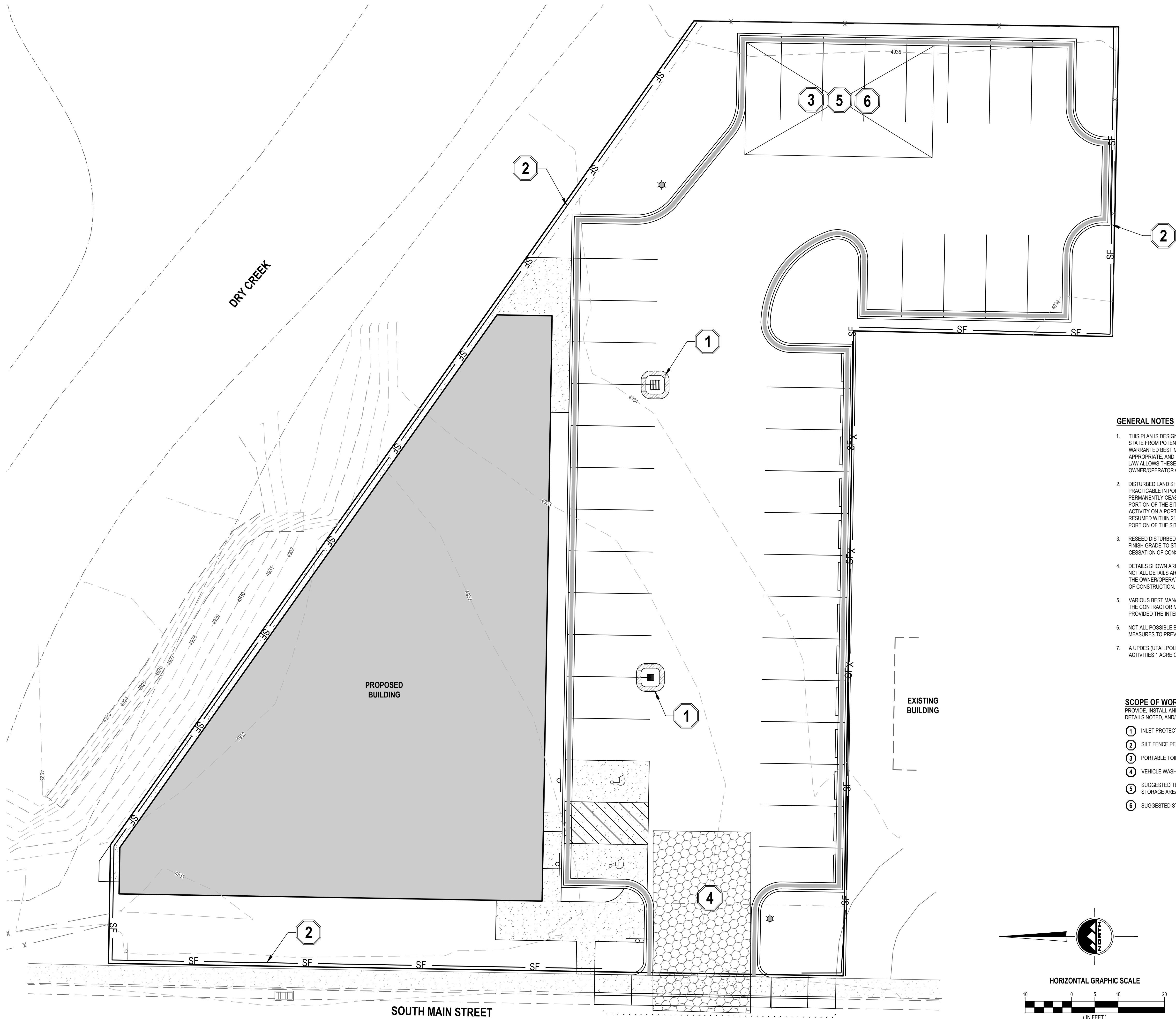


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UTILITY PLAN

PROJECT NUMBER 9711	PRINT DATE 8/13/20
DRAWN BY T. MAZEJY	CHECKED BY D. JENKINS
PROJECT MANAGER D. JENKINS	

C-400



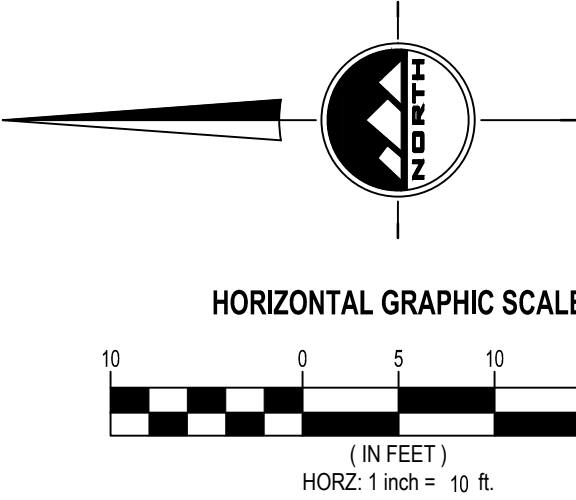
GENERAL NOTES

1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
4. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
6. NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
7. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 INLET PROTECTION PER DETAIL 4/C-600.
- 2 SILT FENCE PER DETAIL 5/C-600.
- 3 PORTABLE TOILET PER DETAIL 6/C-600.
- 4 VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 7/C-600.
- 5 SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
- 6 SUGGESTED STOCKPILE AREA.



BENCHMARK

NORTHEAST CORNER OF SECTION 25,
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SALT LAKE BASE AND MERIDIAN

ELEV = 4946.87' (NGVD 29)

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EROSION
CONTROL PLAN

PROJECT NUMBER
97111

PRINT DATE
8/13/20

DRAWN BY
T. MAZEJY

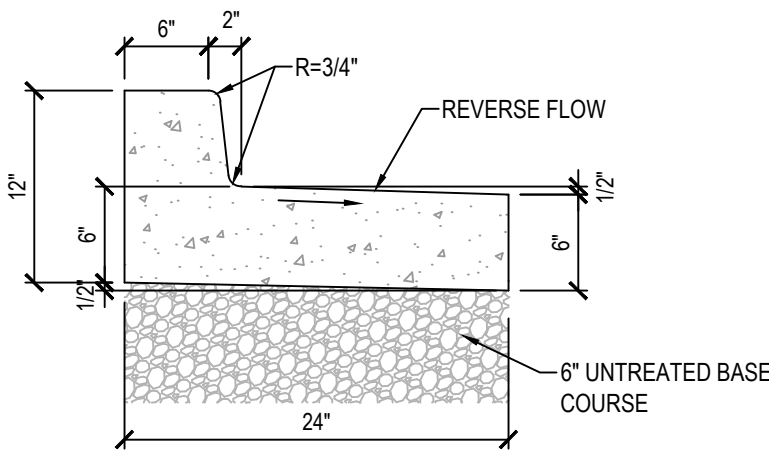
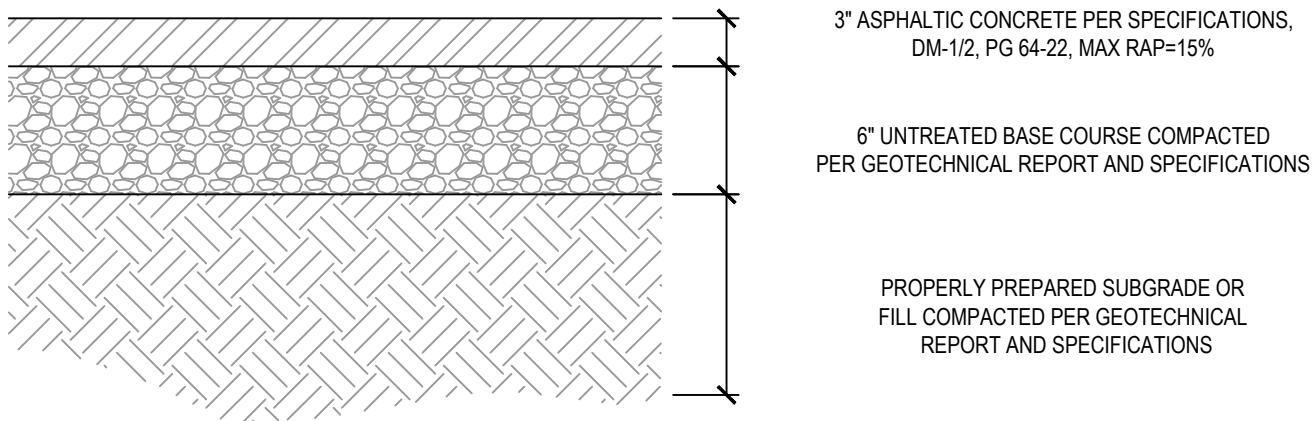
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D. JENKINS

PROJECT MANAGER
D. JENKINS

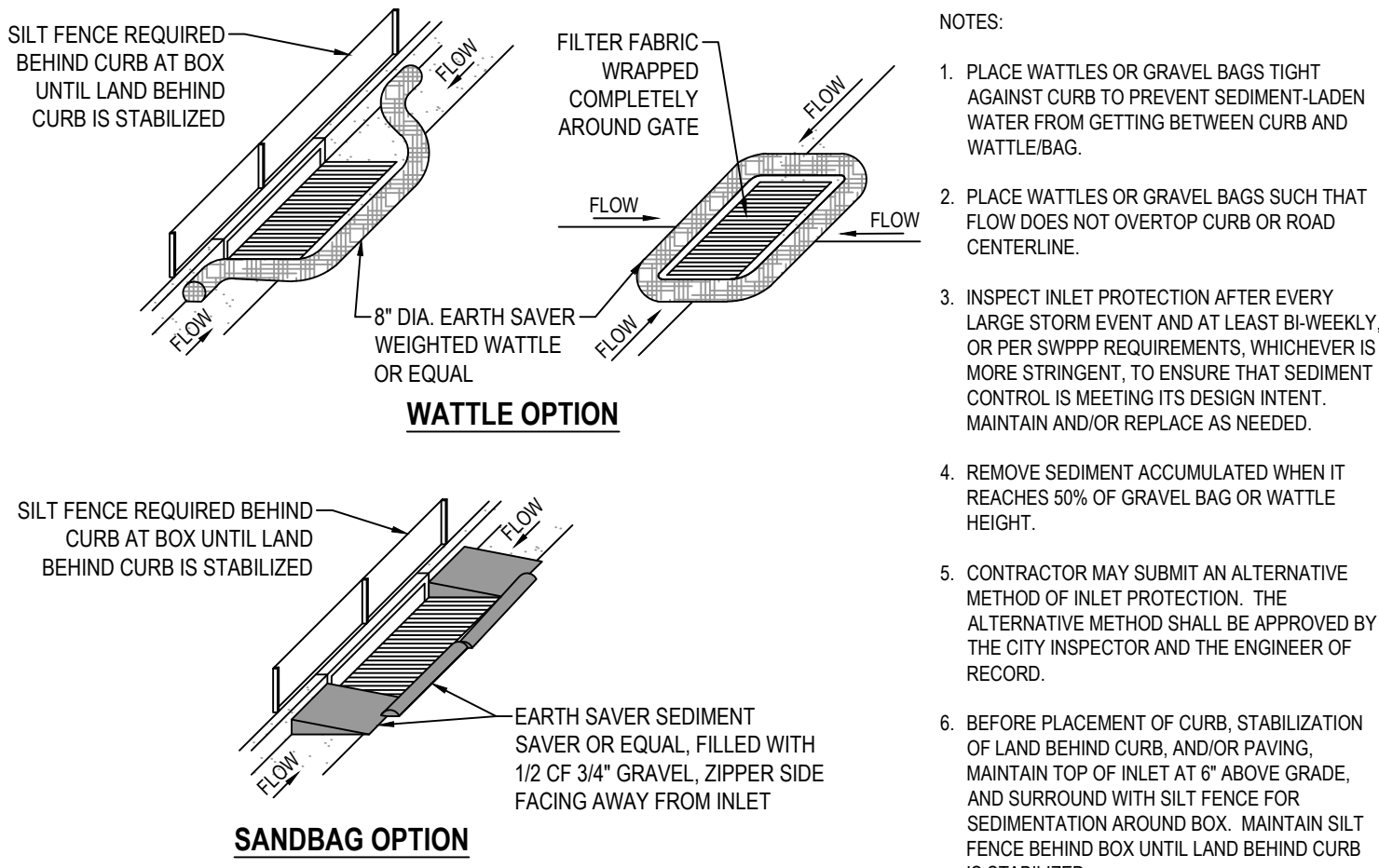
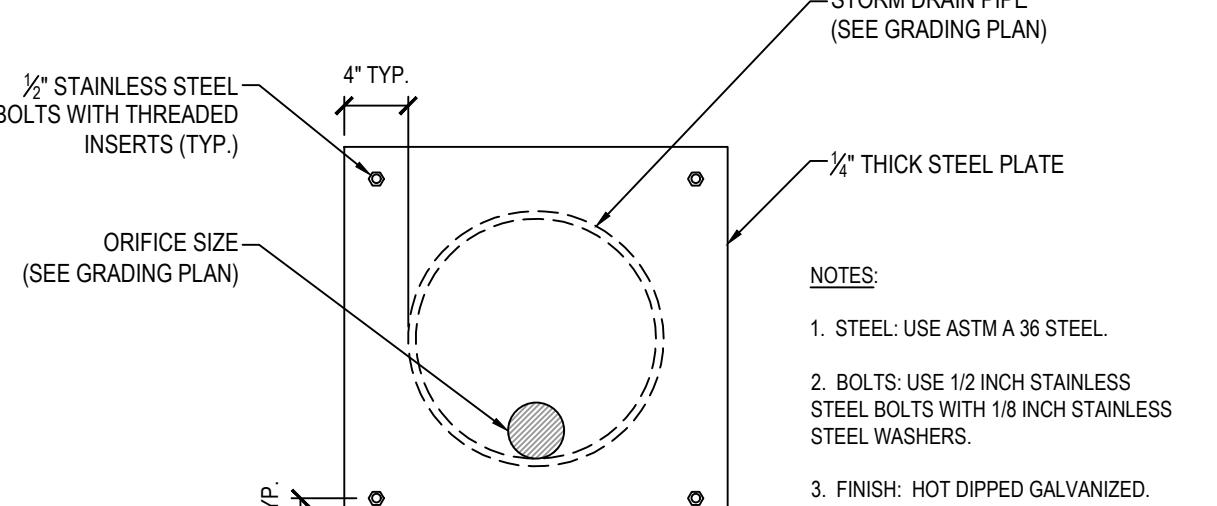
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ASPHALT NOTES

- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-100 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



- NOTE:**
- CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA STANDARD PLAN NO. 205.



- NOTES:**
- PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLE/BAG.
 - PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
 - INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
 - REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
 - CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
 - BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6" ABOVE GRADE, AND SURROUND WITH SILT FENCE FOR SEDIMENTATION AROUND BOX. MAINTAIN SILT FENCE BEHIND BOX UNTIL LAND BEHIND CURB IS STABILIZED.

1 STANDARD ASPHALT SECTION

SCALE: NONE

2 24" REVERSE PAN CURB AND GUTTER

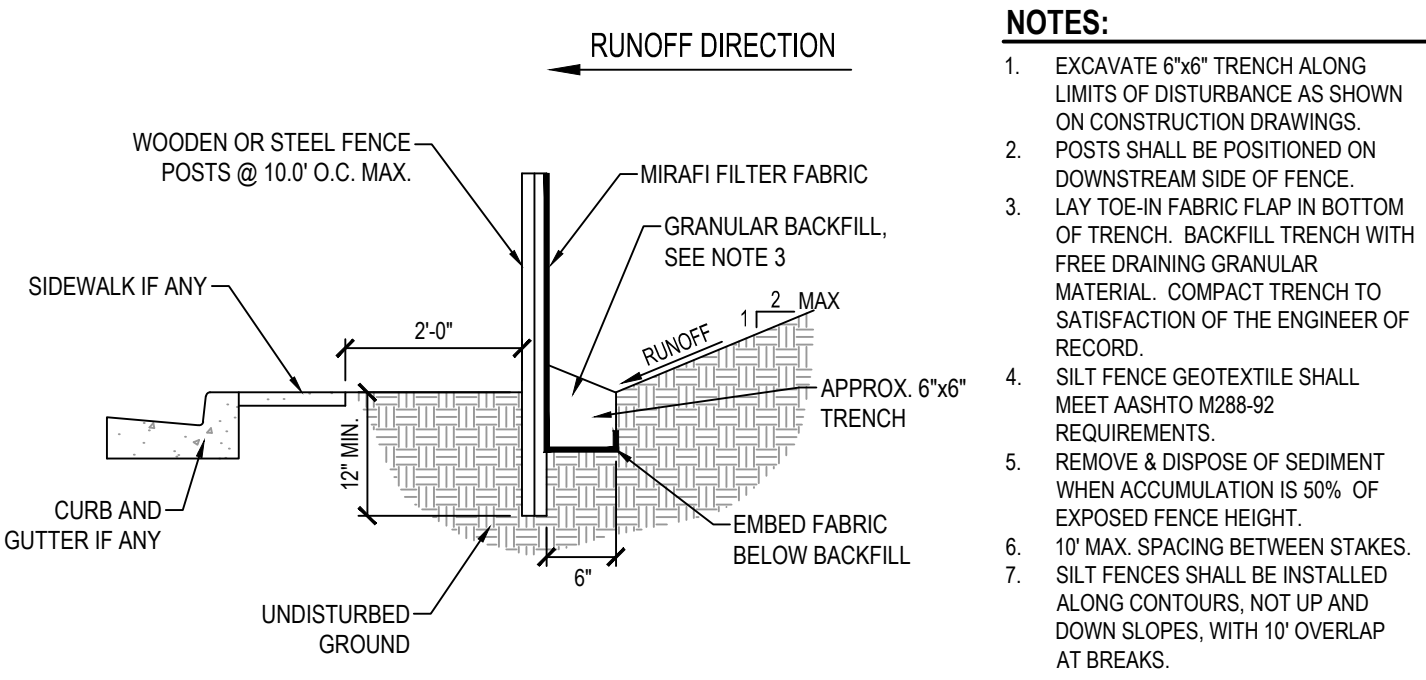
SCALE: NONE

3 ORIFICE PLATE

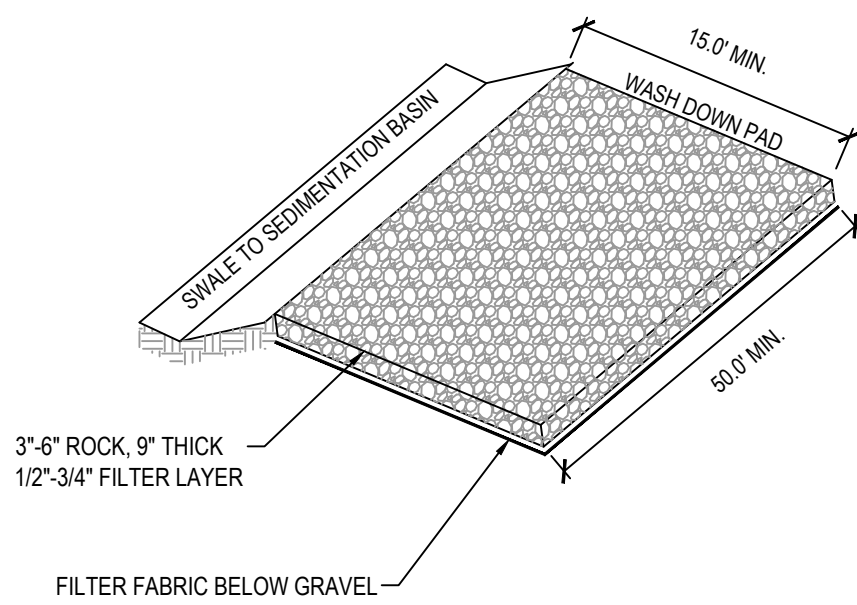
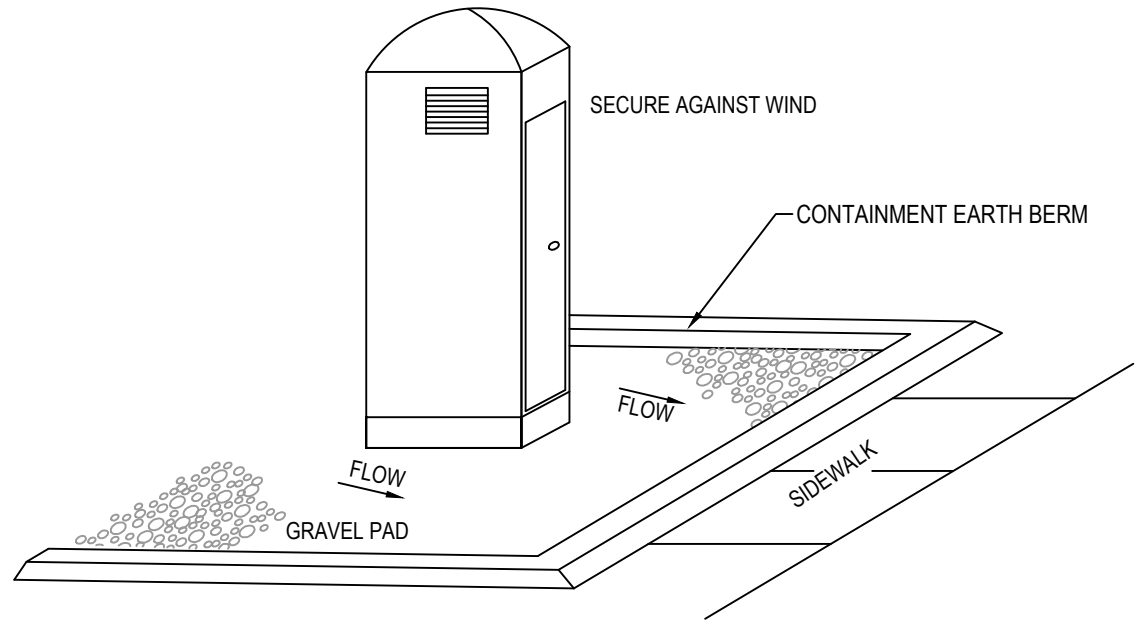
SCALE: NONE

4 SAG INLET PROTECTION

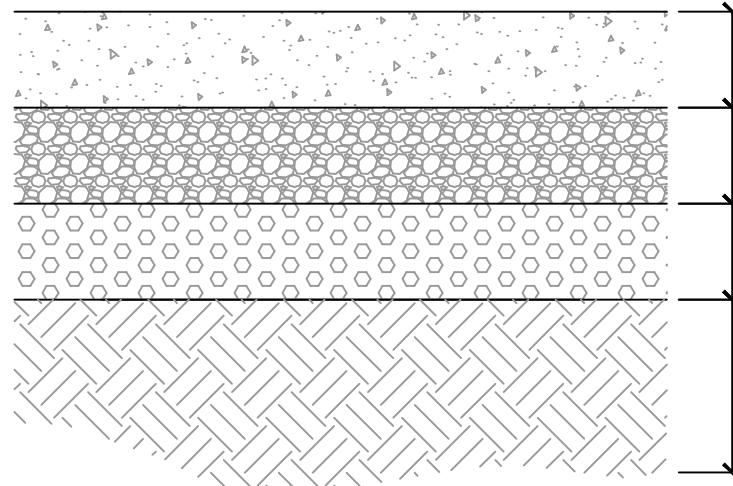
SCALE: NONE



- NOTES:**
- EXCAVATE 6"x6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE. LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH. BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
 - SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
 - 10" MAX. SPACING BETWEEN STAKES. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.



- NOTE:**
- PLACE SIGN ADJACENT TO ENTRANCE * CONSTRUCTION TRAFFIC ONLY. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION*



5 TEMPORARY SILT FENCE

SCALE: NONE

6 PORTABLE TOILET

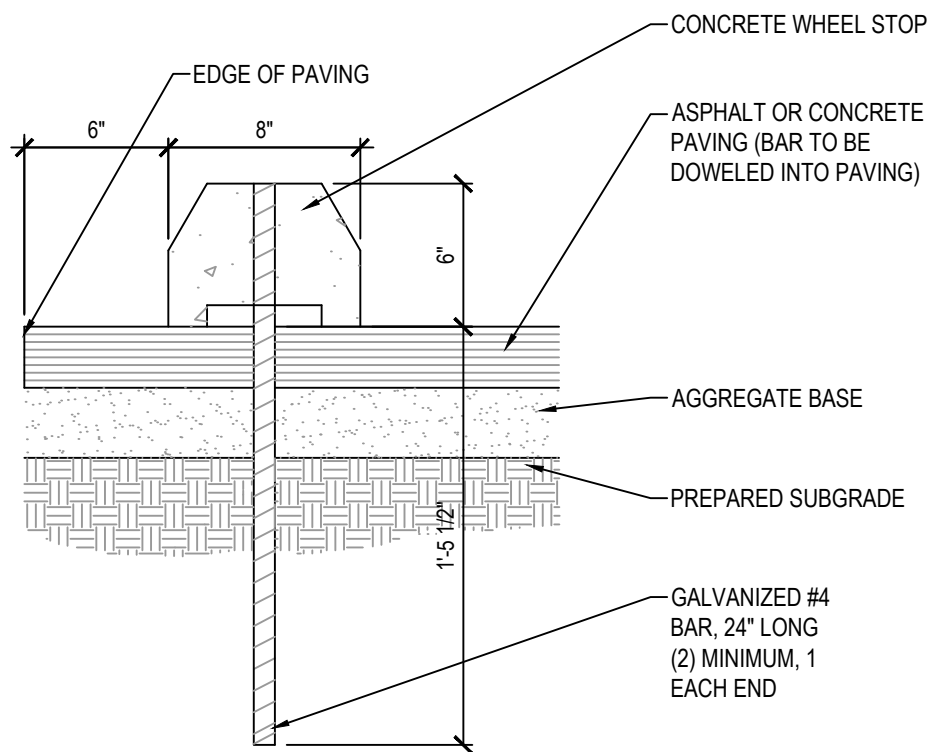
SCALE: NONE

7 STABILIZED CONSTRUCTION ENTRANCE

SCALE: NONE

8 CONCRETE PAVEMENT SECTION

SCALE: NONE



9 CONCRETE WHEEL STOP

SCALE: NONE



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CIVIL DETAILS

PROJECT NUMBER
9711

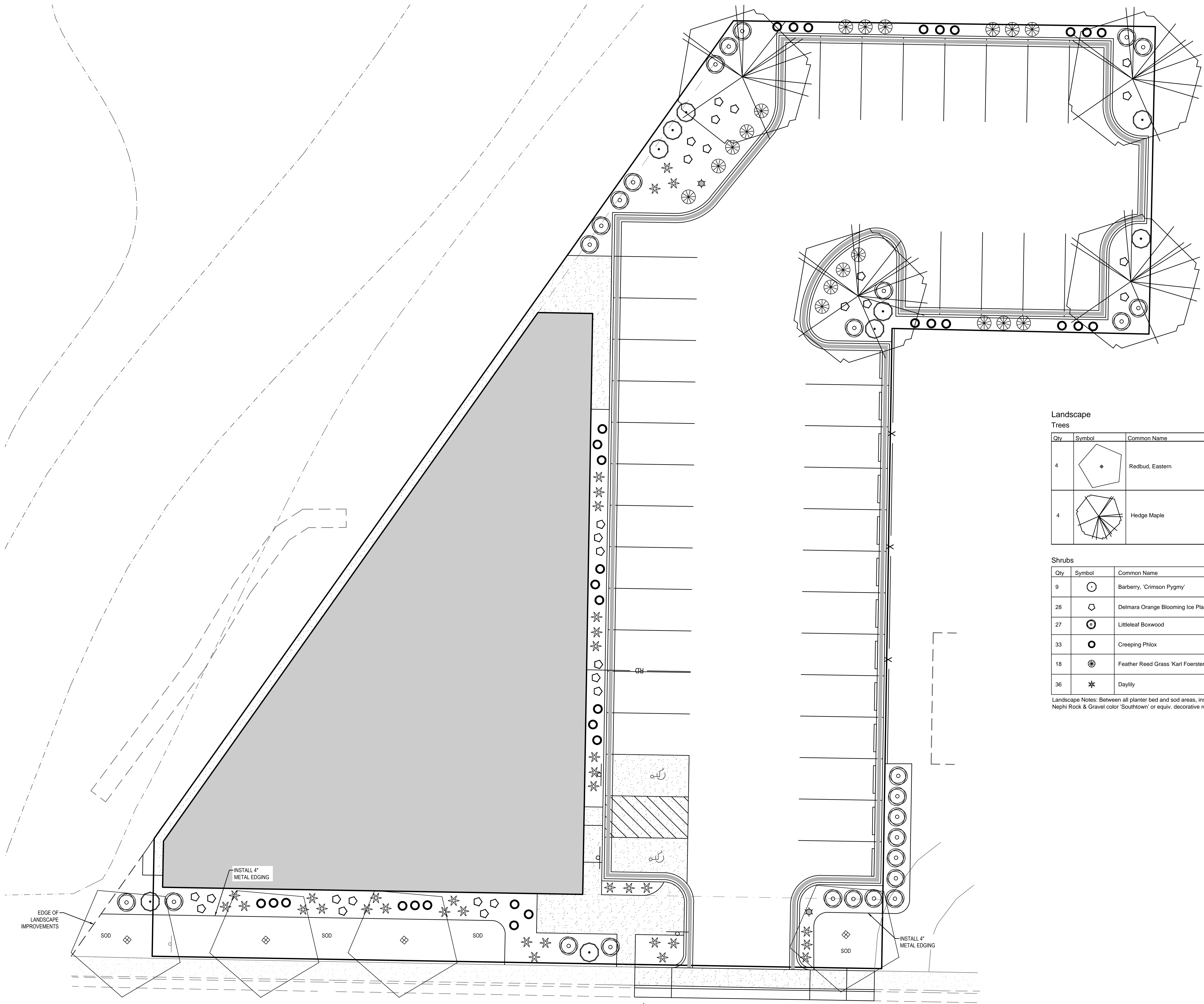
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PROJECT MANAGER
D. JENKINS

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SOUTH MAIN STREET

Landscape

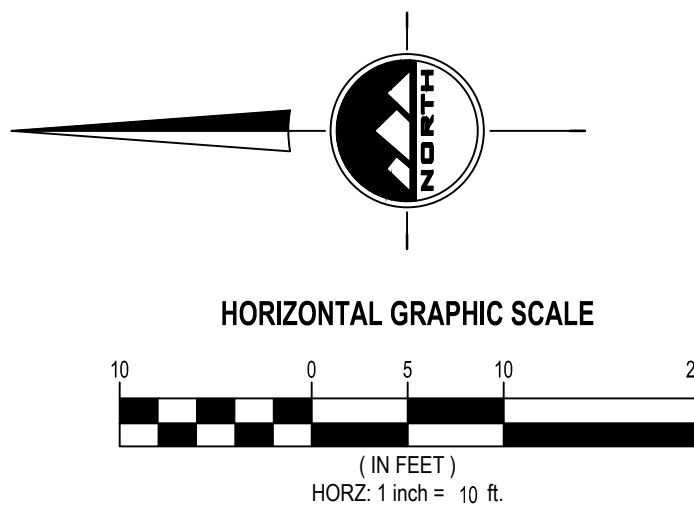
Trees

Qty	Symbol	Common Name	Botanical Name	Plant Size
4		Redbud, Eastern	Cercis canadensis	2" Cal.
4		Hedge Maple	Acer Campestre	2" Cal.

Shrubs

Qty	Symbol	Common Name	Botanical Name	Plant Size
9		Barberry, 'Crimson Pygmy'	Berberis thunbergii atropurpurea nana	5 Gallon
28		Delmar Orange Blooming Ice Plant	Delosperma 'Delmar Orange'	5 Gallon
27		Littleleaf Boxwood	Buxus microphylla 'Winter Gem'	5 Gallon
33		Creeping Phlox	Phlox subulata 'Crimson Beauty'	1 Gallon
18		Feather Reed Grass 'Karl Foerster'	Calamagrostis acutiflora 'Karl Foerster'	1 Gallon
36		Daylily	Hemerocallis	1 Gallon

Landscape Notes: Between all planter bed and sod areas, install 4" metal edging. In all planter bed areas, install 4" deep, 2"-3" dia. Nephri Rock & Gravel color 'Southtown' or equiv. decorative rock over weed barrier, typ.



BENCHMARK
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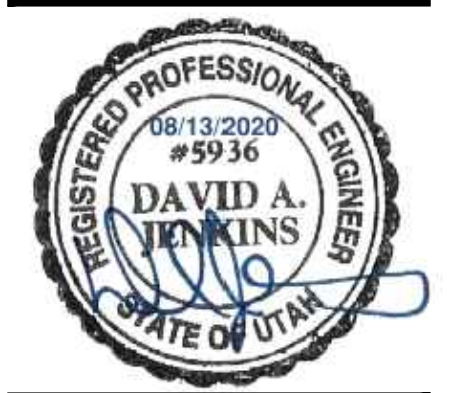
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PHONE: (801) 687-2000

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LANDSCAPE PLAN

PROJECT NUMBER
9711

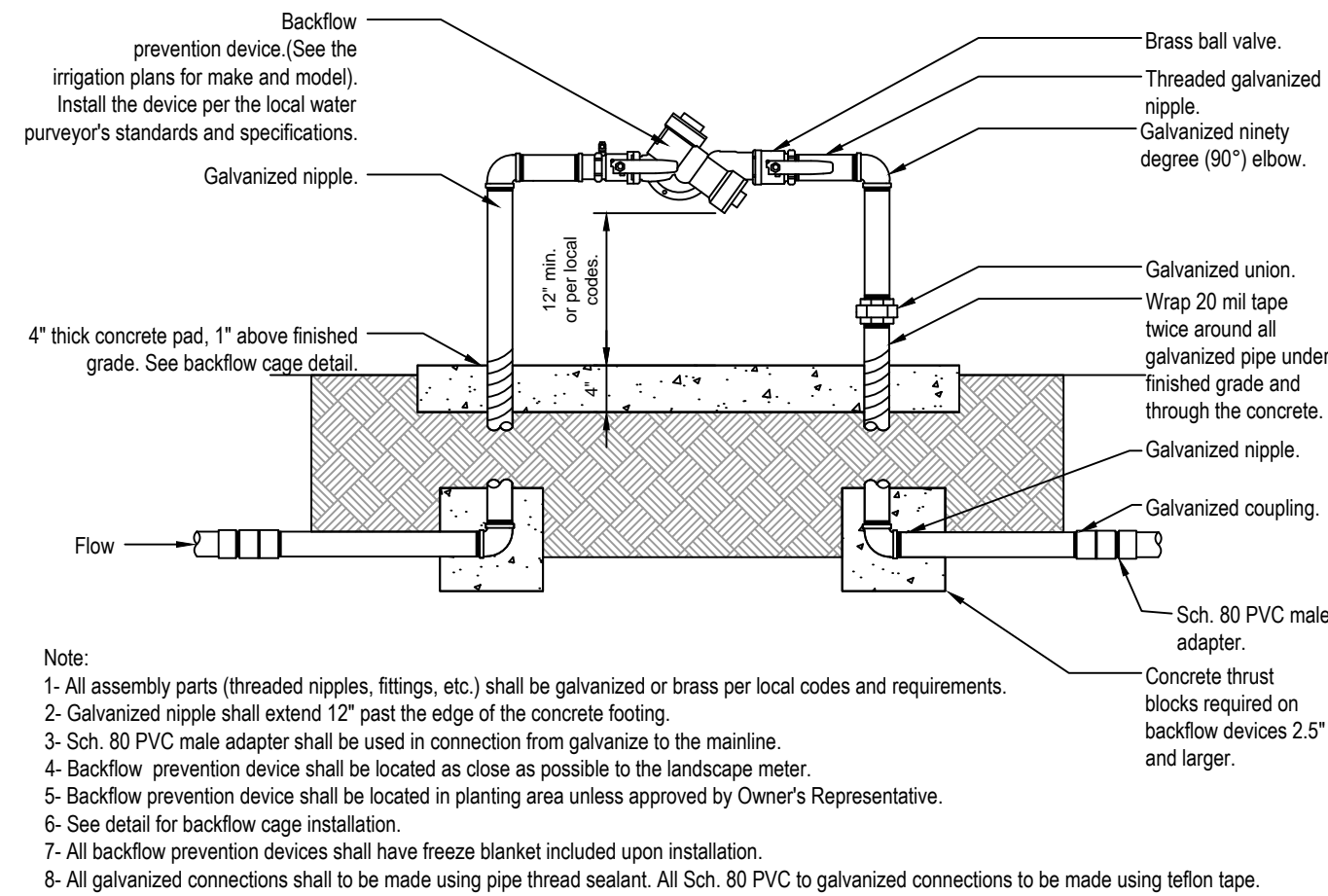
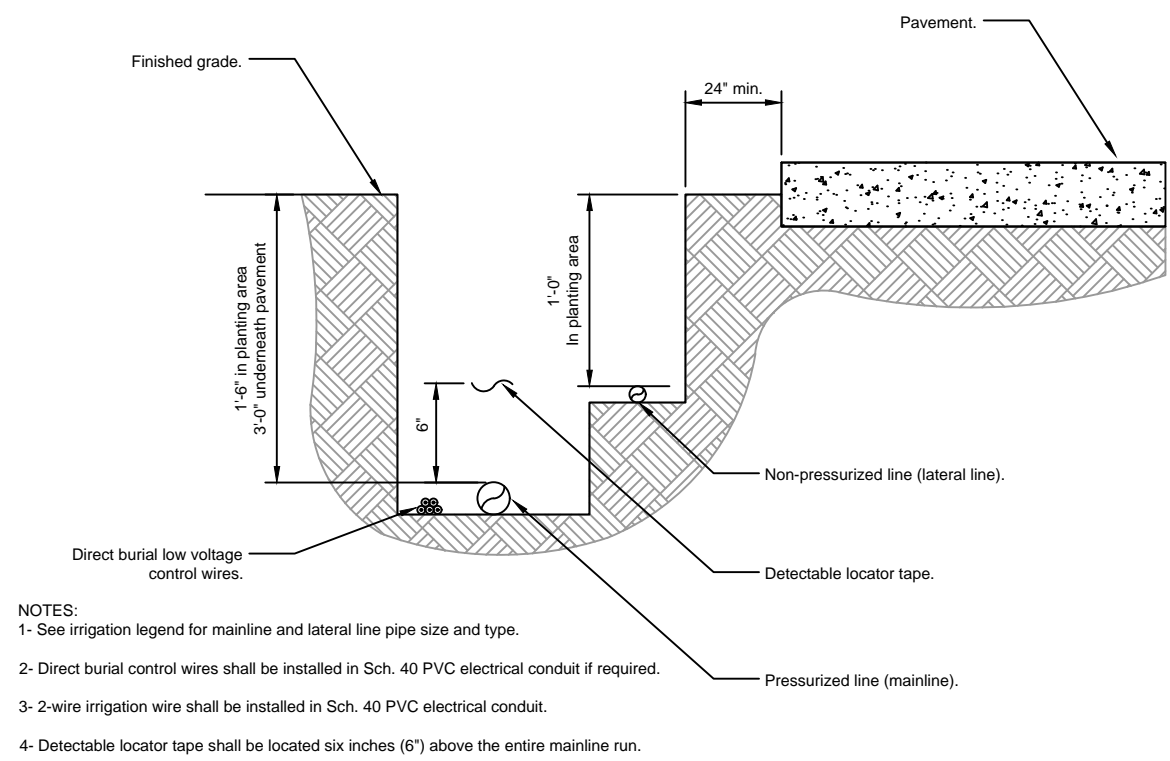
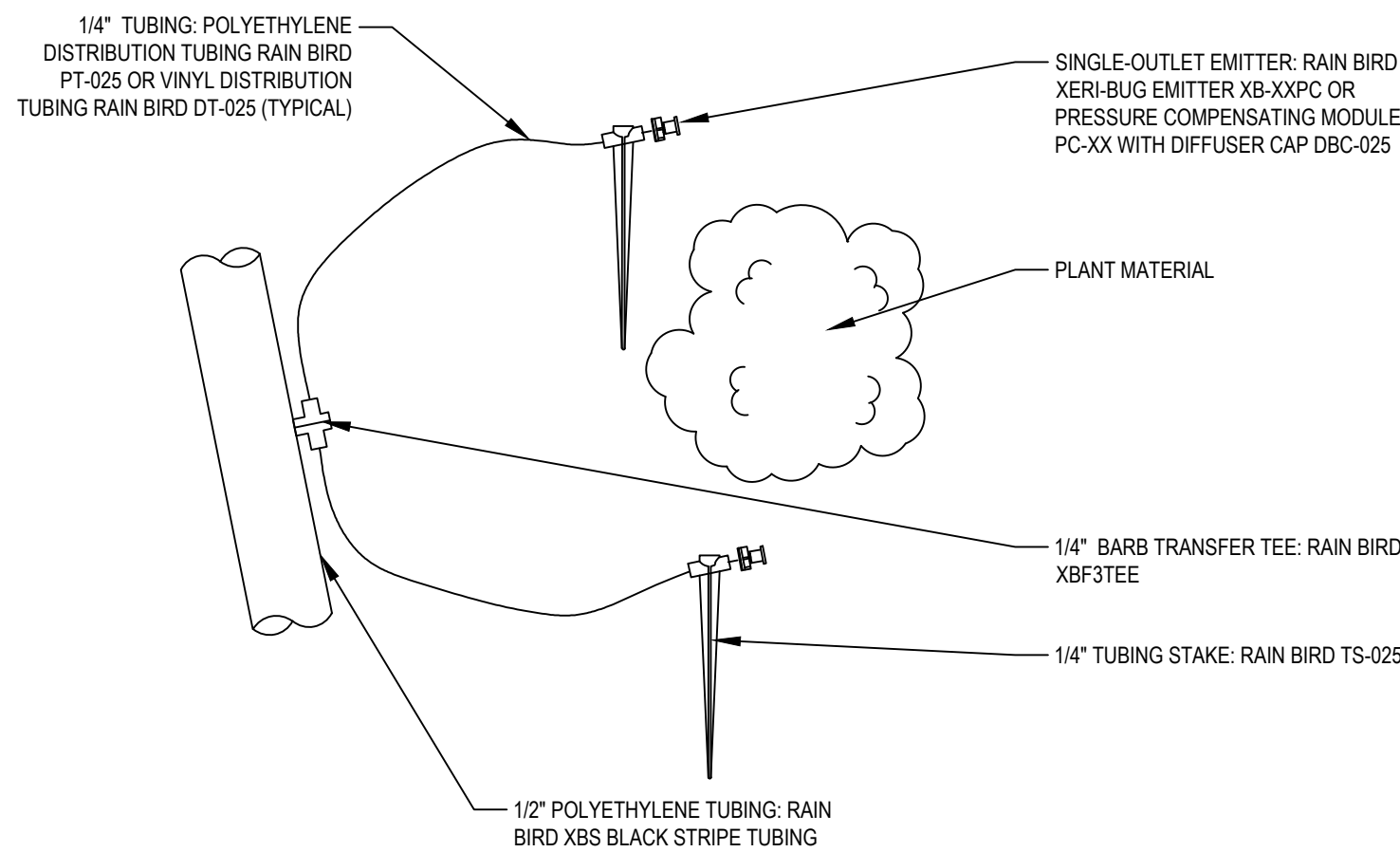
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PROJECT MANAGER
D. JENKINS

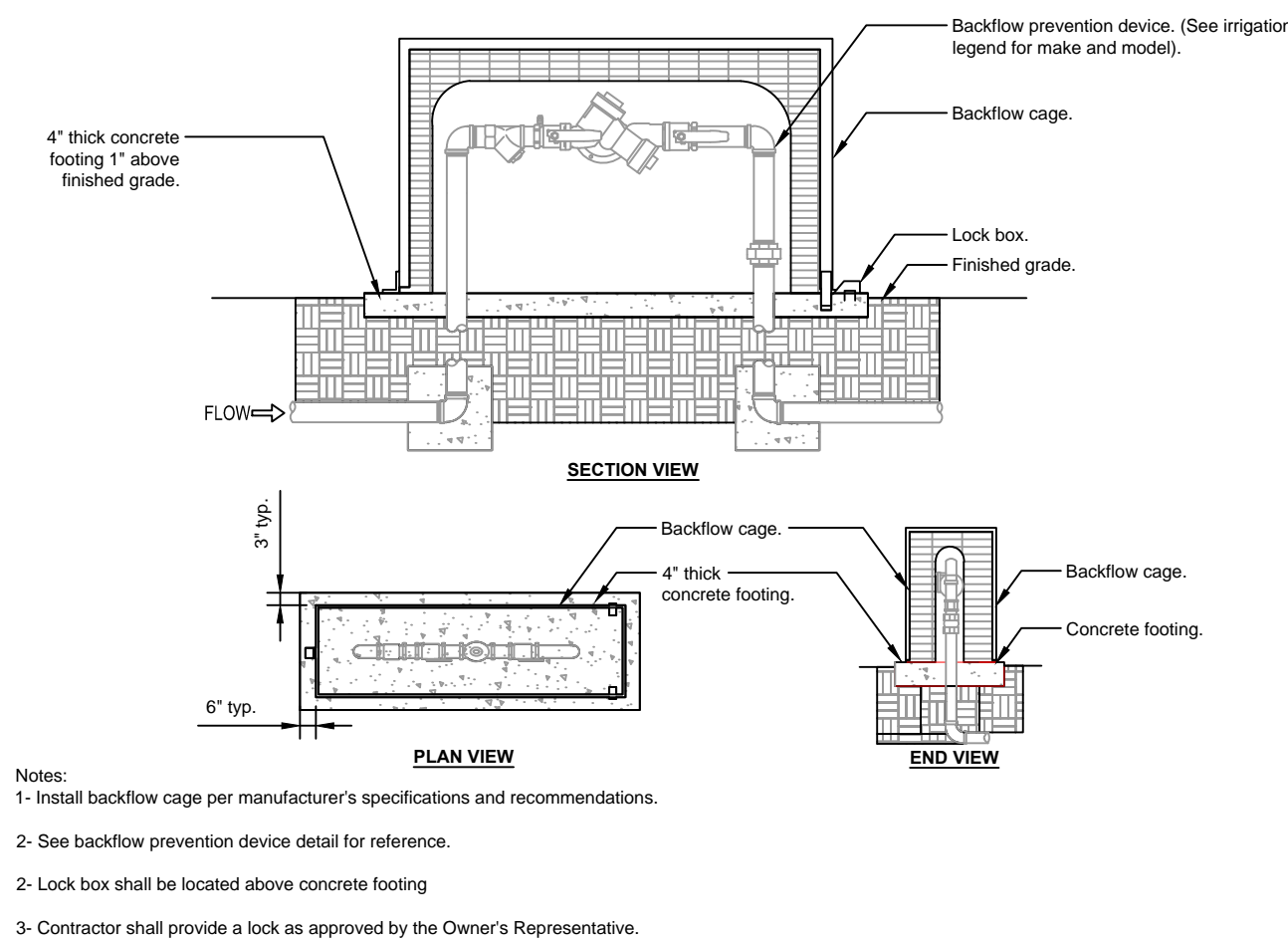
PRINT DATE
8/13/20

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D. JENKINS

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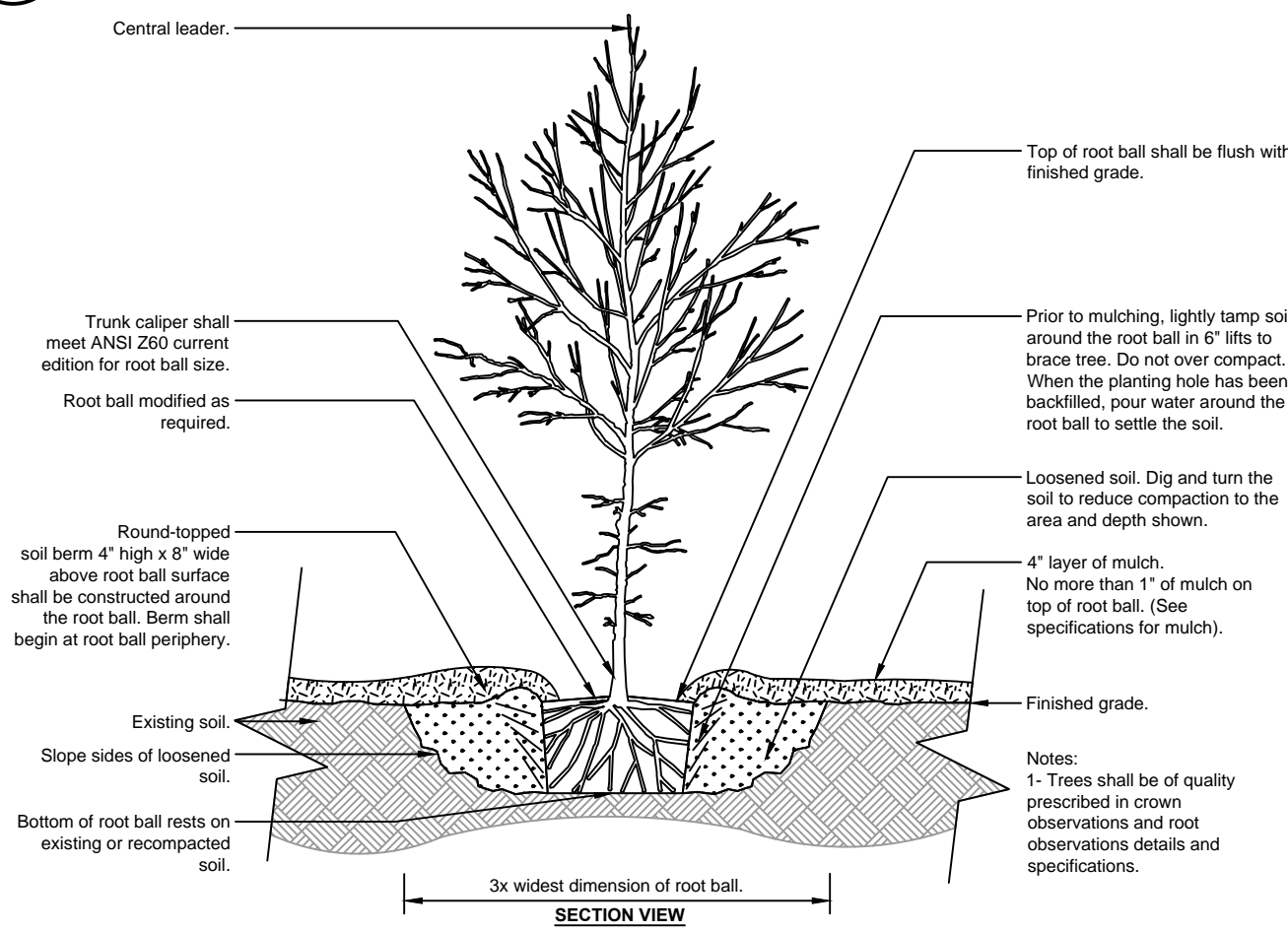


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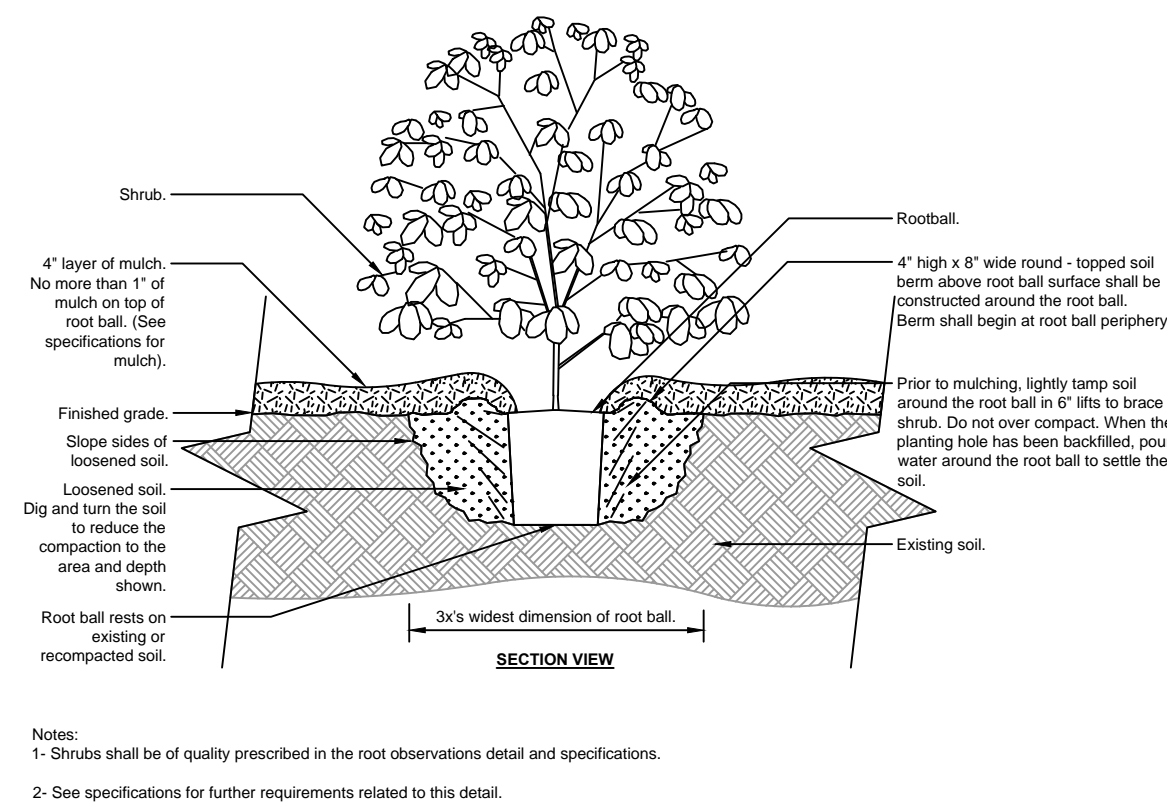
1. LANDSCAPE CONTRACTOR HAS THE OPTION TO SUBSTITUTE PLANT MATERIAL IF SPECIFIED GENUS, SPECIES, AND/OR VARIETIES ARE NOT LOCALLY OR REGIONALLY AVAILABLE. LANDSCAPE CONTRACTOR SHALL REPLACE SAID PLANTS WITH THOSE OF LIKE HARDINESS ZONE, SIZE, FORM, MOISTURE AND SOLAR REQUIREMENTS, AND MEET THE GENERAL INTENT OF THE ORIGINAL DESIGN. ANY REPLACEMENT PLANTING SHALL BE APPROVED BY ENSIGN ENGINEERING AND LAND SURVEYING INC. OR PROJECT REPRESENTATIVE PRIOR TO INSTALLATION. ALL REPLACEMENT PLANT MATERIALS SHALL CONFORM TO CITY APPROVED PLANTS. ALL PLANTING SUBSTITUTION WILL BE APPROVED BY CITY.
2. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
3. NOTIFY LANDSCAPE REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
4. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
5. MULCH: PER PLAN, SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
6. LANDSCAPE CONTRACTOR SHALL INSTALL AN UNDERGROUND, POP-UP IRRIGATION SYSTEM WHICH PROVIDES COMPLETE COVERAGE OF THE SITE AND MEETS COUNTY CITY REQUIREMENTS AT OR BEFORE THE INSTALLATION OF LANDSCAPE MATERIALS.
7. ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-1986)
8. CONTRACTOR SHALL USE AVAILABLE SUITABLE TOPSOIL, THAT HAD BEEN STOCKPILED ONSITE. IF QUANTITIES ARE NOT SUFFICIENT TO MEET SITE MINIMUMS CONTRACTOR SHALL PROVIDE ADDITIONAL MATERIALS. ADDITIONAL MATERIAL SHALL BE SUPPLIED BY A COMMERCIAL TOPSOIL SUPPLIER
9. PROVIDE THE FOLLOWING TOP SOIL MINIMUMS:
A. 4" TOPSOIL IN ALL SOD AREAS
B. 6" TOP SOIL IN ALL PLANT BEDS
10. WEED FABRIC SHALL BE A DEWITT SUNBELT WOVEN GROUND COVER INSTALLED W/ GROUND STAPLES ACCORDING TO MANUFACTURER RECOMMENDATIONS.

1. IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS.
2. CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST.
3. PARALLEL PIPES MAY BE INSTALLED IN A COMMON TRENCH. PIPES ARE NOT TO BE INSTALLED ONE ABOVE THE OTHER.
4. TRENCHES ARE TO BE DEEP ENOUGH TO ALLOW FOR 18" MIN. COVER ON MAIN LINES AND 12" MIN. COVER ON LATERAL LINES. BACKFILL TO BE WATERED IN AND COMPACTED.
5. ALL MAIN AND LATERAL LINES SHALL BE SCHEDULE 40 PVC PIPE.
6. ALL ELECTRICAL VALVES SHALL BE INSTALLED IN VALVE BOXES WITH LOCKING LIDS.
7. DIRECT BURIAL 14 GAUGE WIRE WITH SPEARS DRI-SPLICE CONNECTORS (OR EQUAL) SHALL BE USED. 6" SEPARATION BETWEEN MAIN LINE & WIRE EITHER ABOVE PIPE OR TO SIDE.
8. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE PROPER COVERAGE OF ALL IRRIGATED AREAS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING ALL LINES AND SHALL INSTALL MANUAL DRAINS AT ALL VALVE MANIFOLDS AND AT ALL LOW POINTS ON MAIN LINES. MANUAL VALVES SHALL BE INSTALLED IN WELL MARKED VALVE BOXES WITH LOCKING LIDS. KING AUTOMATIC DRAIN VALVES TO BE INSTALLED AT ALL LOW POINTS ON LATERAL LINES. CONTRACTOR TO INSTALL QUICK COUPLER VALVE AT ALL VALVE MANIFOLD LOCATIONS.
10. ALL SPRINKLER LINES AND CONTROL WIRES CROSSING UNDER PAVED AREAS SHALL BE INSTALLED IN A SLEEVE TWICE THE SIZE OF THE PIPE.
11. FLUSH MAIN LINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF HEADS. MAIN LINES TO BE INSPECTED FOR LEAKS UNDER FULL PRESSURE PRIOR TO BACKFILLING TRENCHES.
12. CONTRACTOR TO MAINTAIN A SET OF "AS BUILT" DRAWINGS; A REPRODUCIBLE COPY OF WHICH WILL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE UPON COMPLETION.
13. THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THESE DRAWINGS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT CONTRACTOR'S EXPENSE.

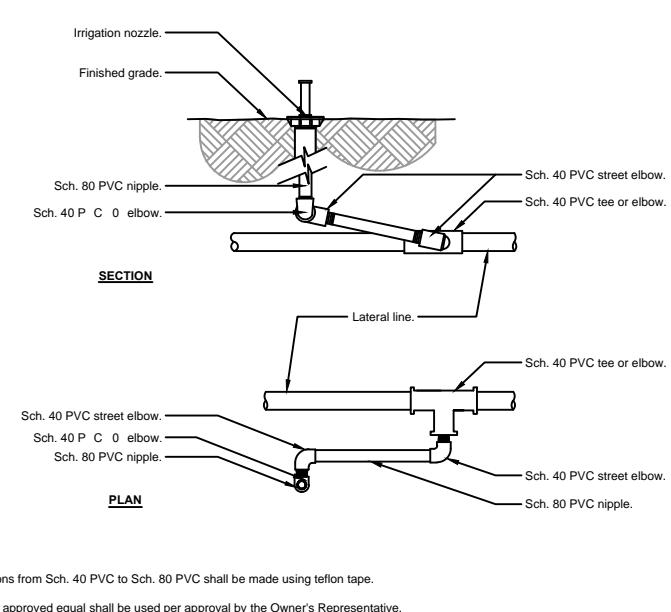
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SCALE: NONE

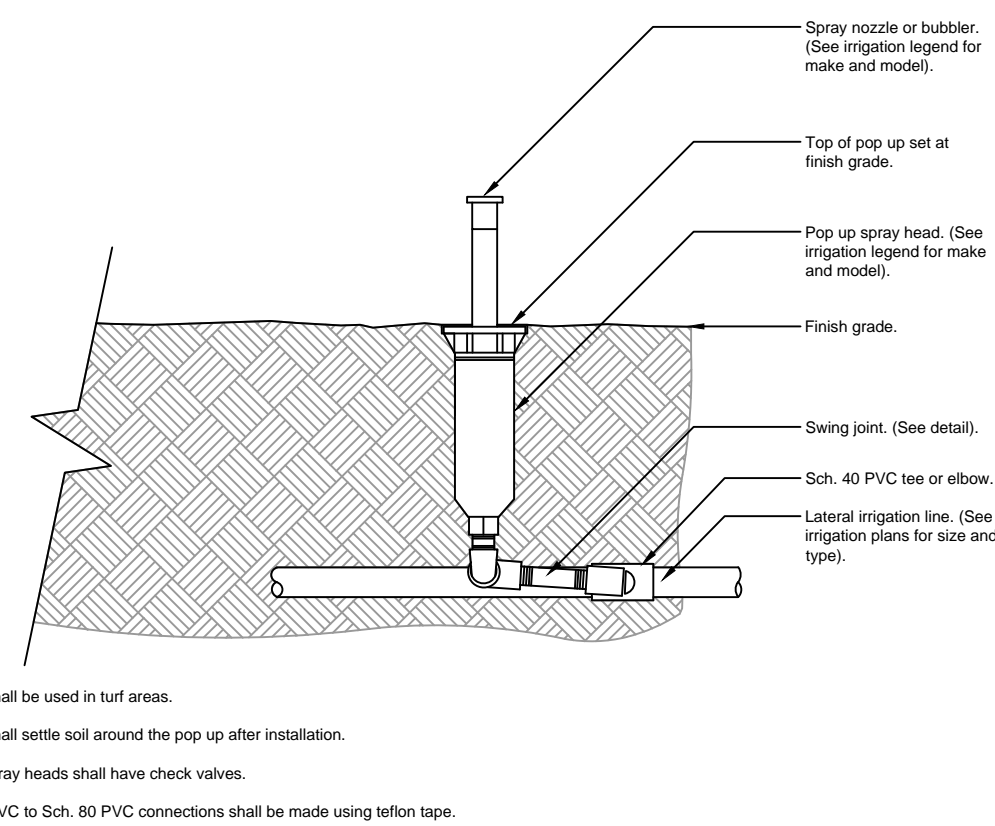


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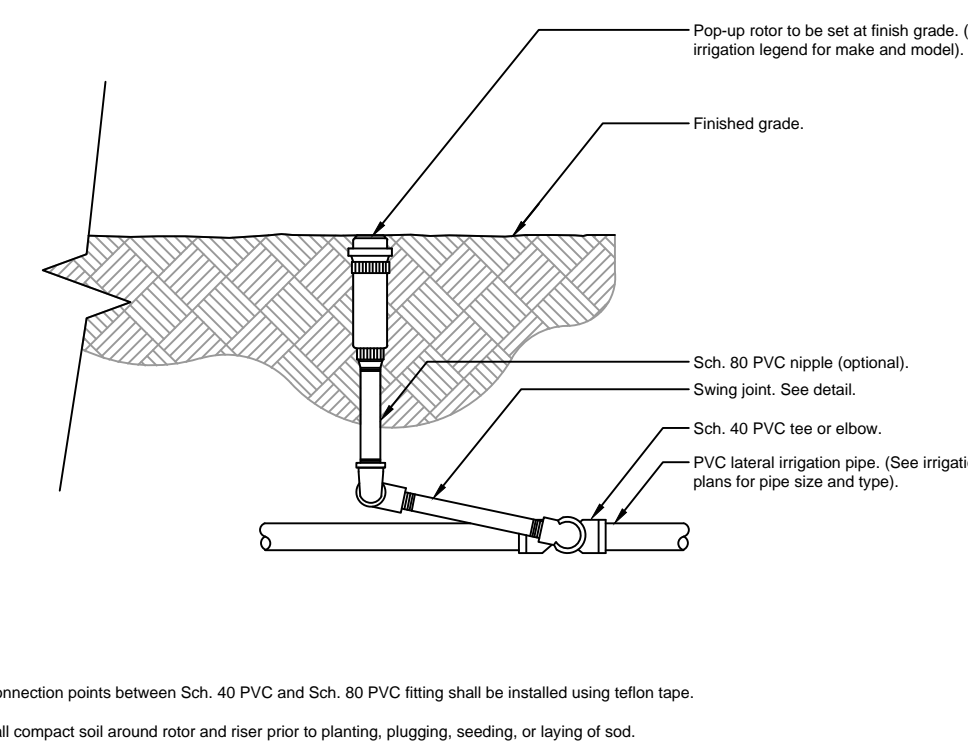


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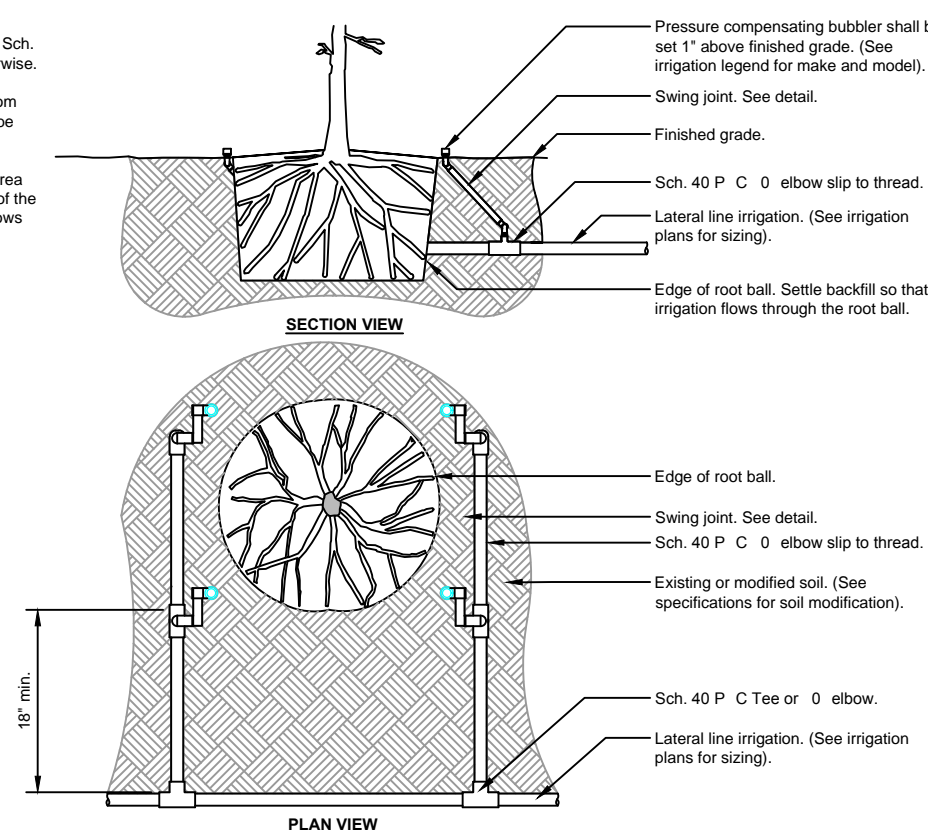
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SCALE: NONE

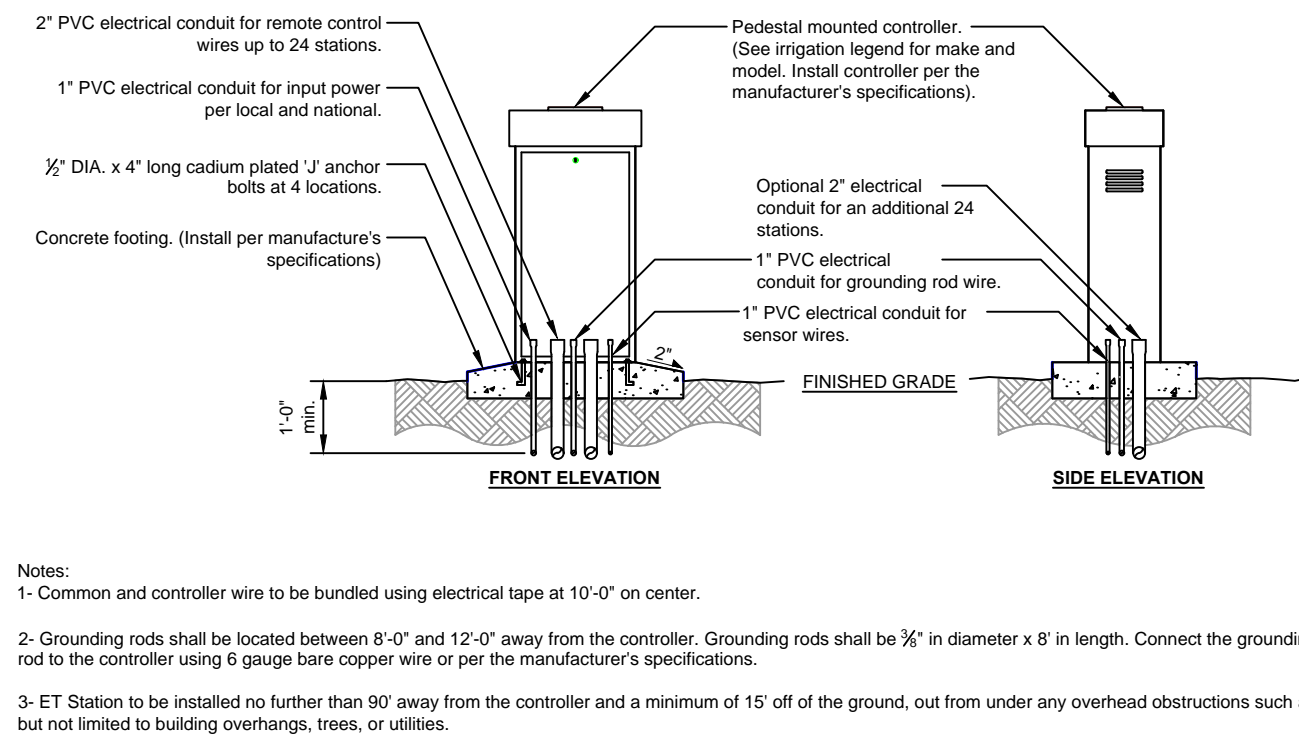


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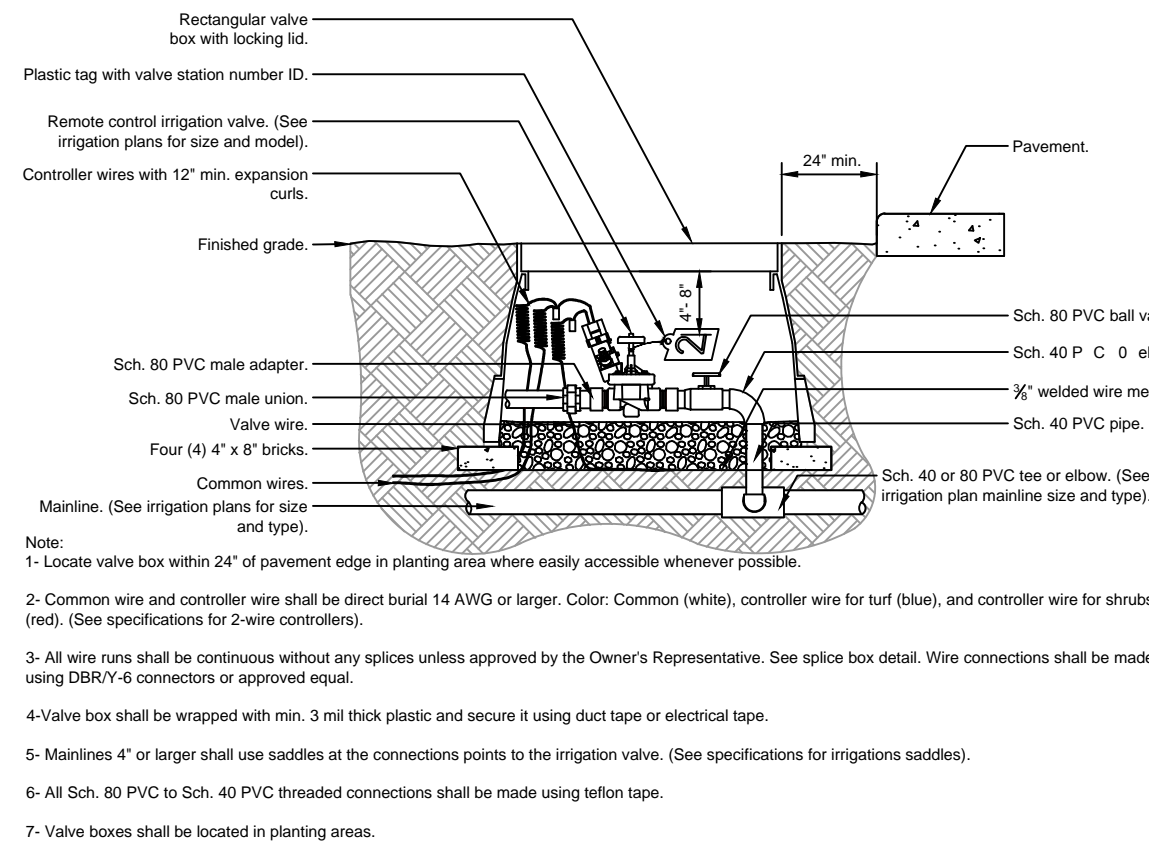


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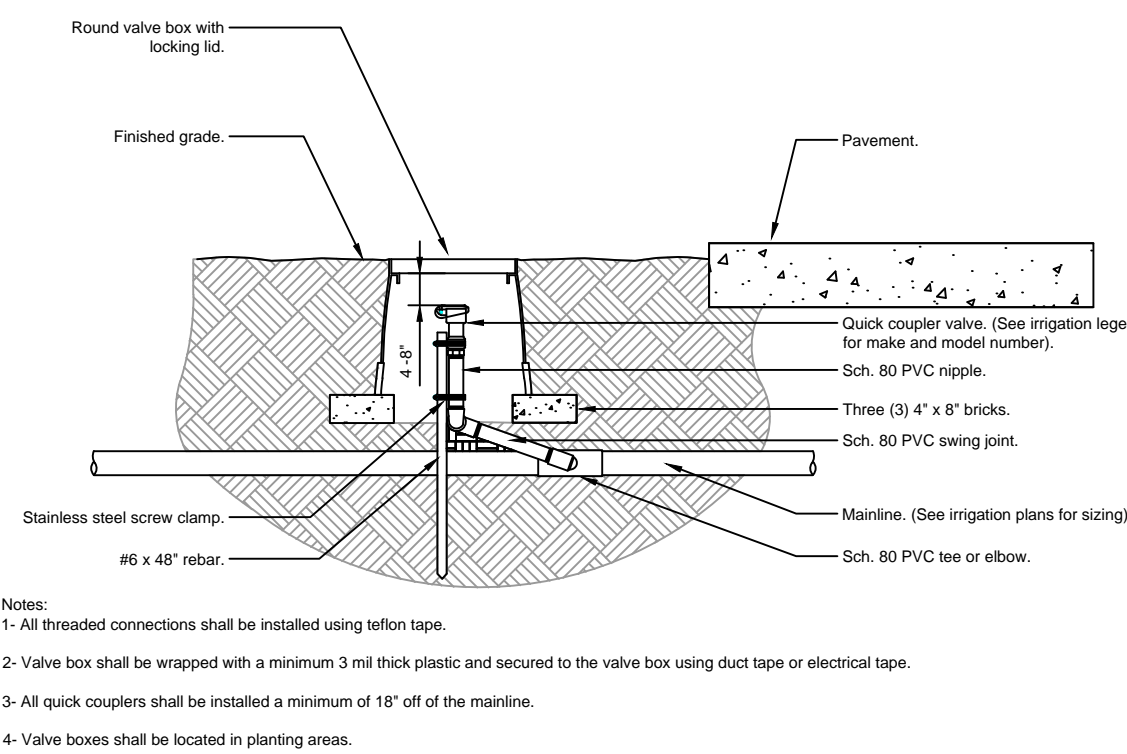
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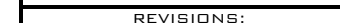
SCALE: NONE



SCALE: NONE



SCALE: NONE



DRAWING TITLE:
SITE
PHOTOMETRIC

DATE PLOTTED:
07/28/2020

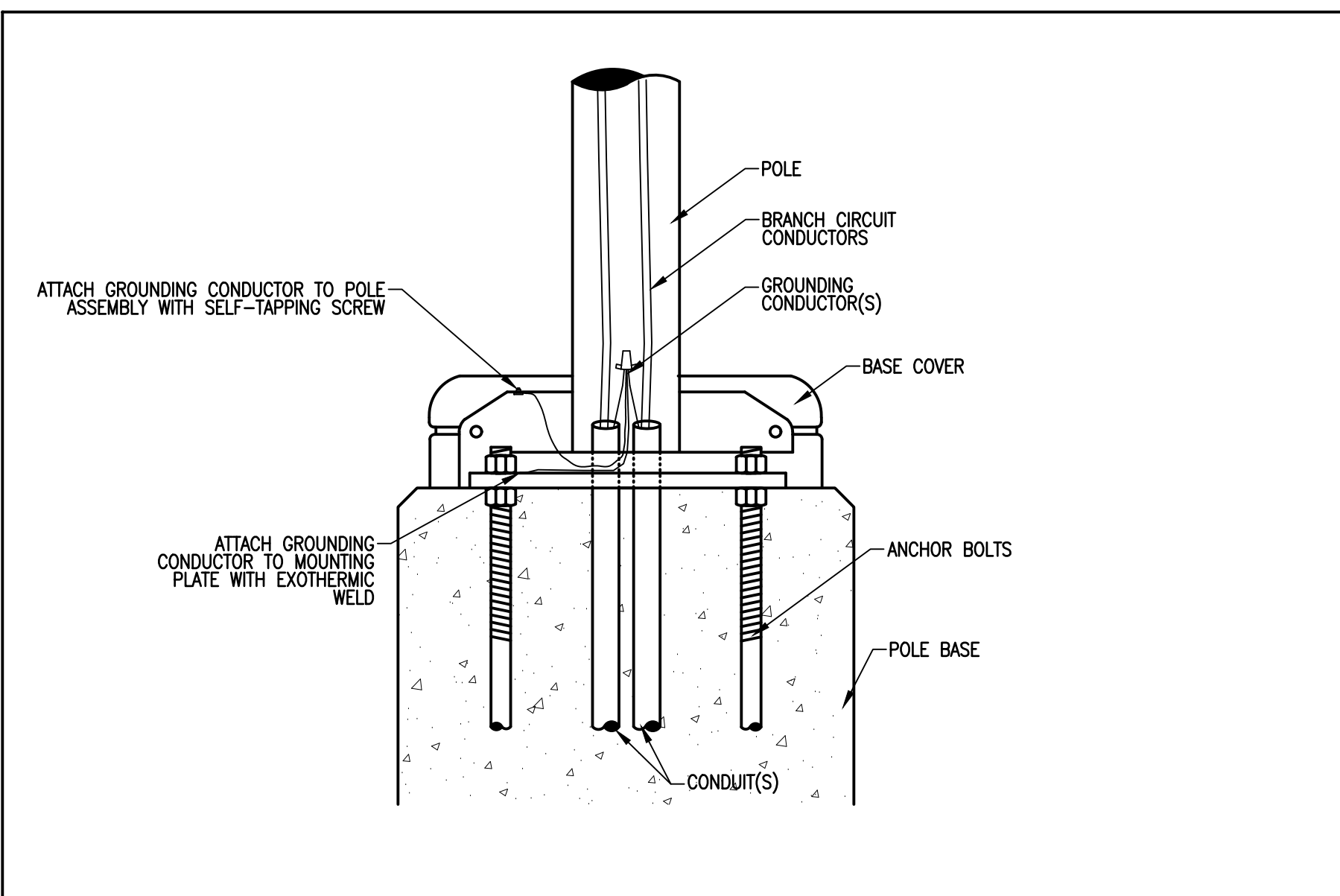
PROJECT #:	J20230
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SITE PHOTOMETRIC PLAN

SCALE: 1" = 10'-0"

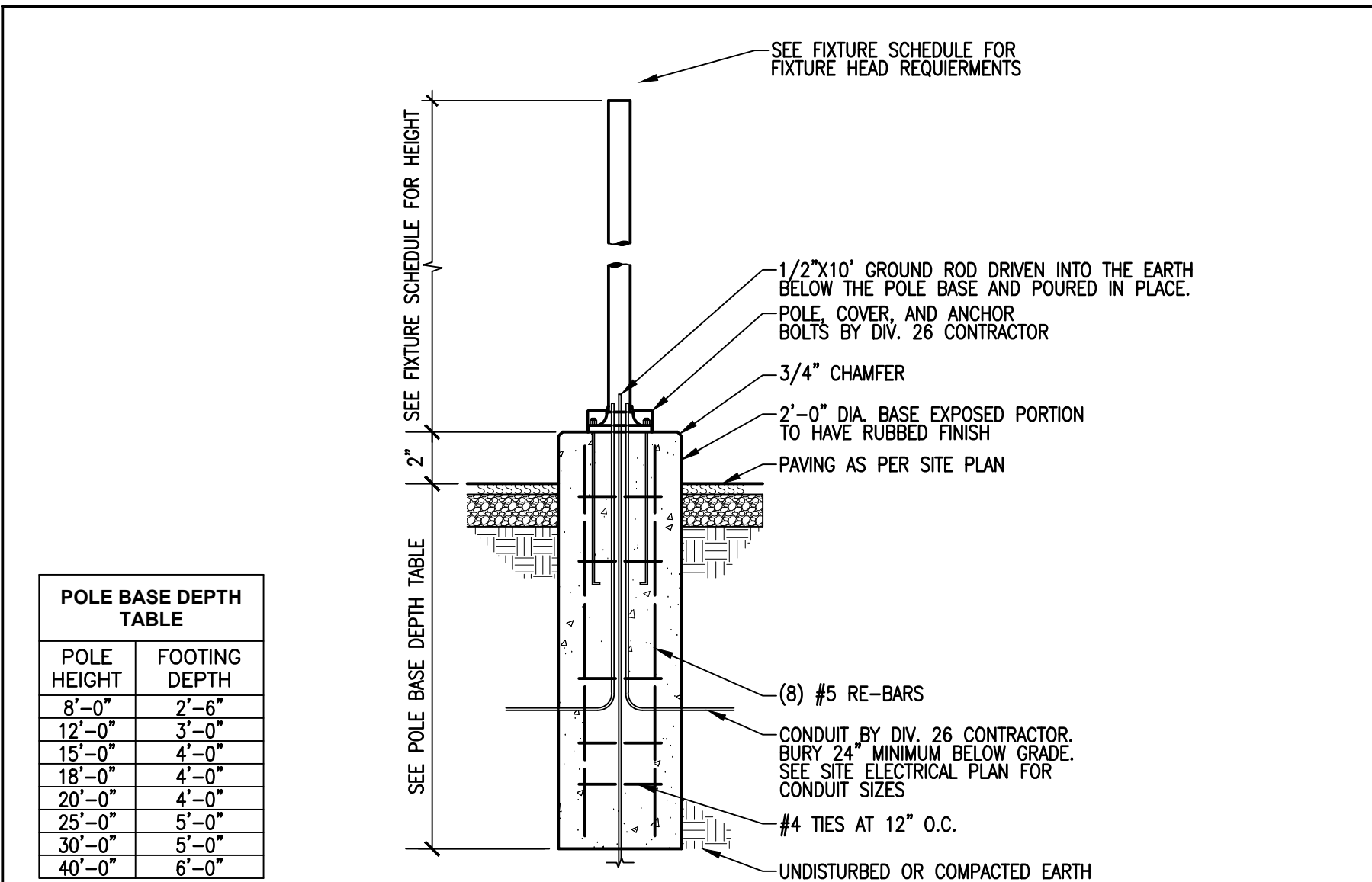
SITE LIGHTING FIXTURE SCHEDULE													
FIXT	FIXTURE							LAMPS		POLE			REMARKS
#	MANUFACTURER	CATALOG #	VOLTS	#POLE	WATTS	MOUNTING	TYPE	QTY/FIXT.	MANUFACTURER	HEIGHT	CATALOG #		
SF1	HADCO	C2801E-A3SRNN88A5SNNNA	240	1	88	POLE	LED	-	MOUNTAIN STATES	14'-0"	SMOOTH ALUMINUM	PER ALPIN CITY STANDARD	

LIGHT FIXTURE SCHEDULE									
FIXTURE NUMBER	FIXTURE MANUFACTURER	FIXTURE CATALOG #	LAMPS		FIXTURE			DESCRIPTION	REMARKS
			TYPE	QTY.	VOLTS	WATTS	MOUNTING		
F1	MCGRAW-EDISON (OR APPROVED EQUAL)	ISS-AF-1000-LED-E1-SL3	LED	-	120	54	SURFACE WALL	LED EXTERIOR FIXTURE	



1 POLE LIGHT GROUNDING DETAIL

SCALE: NTS



2 POLE BASE DETAIL

SCALE: NTS

Alpine Fitness

Alpine, UT

Sales Contact:
Chris Simondini

Date: 10-05-2020

Version: 2.01

Scale: 1/16" = 1'-0"

DISCLAIMER:

THIS FLOORPLAN IS PROVIDED FOR GENERAL VISUAL REFERENCE ONLY. ANY DIMENSIONS USED TO CREATE THESE DRAWINGS SHOULD BE VERIFIED BY THE OWNERS OF THE FACILITY, CONTRACTORS AND/OR THEIR AGENTS. THESE DRAWINGS ARE NOT DESIGNED TO BUILD FROM AND SHALL NOT BE USED AS BUILDING DOCUMENTS BY ANY PARTIES. LIFE FITNESS MAKES NO REPRESENTATION OR WARRANTY THAT THE FLOORPLAN COMPLIES WITH ANY APPLICABLE LAW, CODES, RULE OR REGULATION OR ANY INDUSTRY OR SAFETY STANDARD OR REQUIREMENT, INCLUDING ASTM OR EUROPEAN STANDARD SPACING RECOMMENDATIONS FOR ACCESS, PASSAGE AROUND, OR EMERGENCY EGRESS. COMPLIANCE WITH INDUSTRY STANDARDS, APPLICABLE LAW, CODES, RULE OR REGULATION REGARDING PLACEMENT OF AND CLEARANCE OF EQUIPMENT AND ASSOCIATED ITEMS IS BY OWNER AND LIFE FITNESS DISCLAIMS ALL RESPONSIBILITY WITH RESPECT THERETO.

ADDITIONAL NOTES:

FLOOR PLAN DIMENSIONS ARE BASED ON INFORMATION PROVIDED BY FACILITY OWNER OR ITS REPRESENTATIVES AND SHOULD BE VERIFIED IN THE FIELD.

Electrical Legend:

-  STANDARD RECEPTACLE
-  DEDICATED RECEPTACLE
-  WIFI / WIRED INTERNET
-  TV CONNECTION

CONSULT A QUALIFIED ELECTRICAL PROFESSIONAL TO DETERMINE POWER REQUIREMENTS AND PLACEMENT.

POWER, DATA, AND TV REQUIREMENTS VARY BASED ON OPTIONS SELECTED.



0 3 5 10 ft



**ALPINE CITY
STAFF REPORT**
November 12, 2020

To: Alpine City Planning Commission
Business Date: November 17, 2020

From: Staff

Prepared By: Austin Roy, City Planner
Planning & Zoning Department

Jed Muhlestein, City Engineer
Engineering & Public Works Department

Re: Site Plan Review – Alpine Fitness

Applicant: Paul Anderson of Alpine Fitness/Alpine Physical Therapy
Project Location: 235 S. Main Street
Zoning: Business Commercial Zone
Acreage: Approximately 0.58 Acres
Building Area: 9,380 Sq. Ft.
Request: Approve the site plan

SUMMARY

Applicant is seeking to relocate Alpine Fitness and Alpine Physical Therapy to a new building on Main Street. The new building would replace an existing garage structure on the site. The existing building would be demolished, and the new building would be located at the same site as the current building. The site is located within the Business Commercial Zone and the Gateway Historic District. Proposed building is approximately 9,380 square feet on a parcel approximately 0.58 acres in size. 40 off-street parking stalls are proposed. The developer is seeking approval of the proposed site plan.

BACKGROUND

In August of 2019 the City Council approved a 15-foot front setback exception on Main Street and a 2-foot setback exception on the north property line. In September of 2019 the City Council approved a parking exception (parking allowed in front setback) and land swap on the property. The land swap was granted to allow for the power lines on the property to be relocated underground. The proposed building has been designed with these exceptions in mind.

The applicant has worked with the gas company to remove a high pressure gas line from the property and the easement that existed for the gas line has been vacated.

ANALYSIS

Location

Setbacks (3.07) for the building were approved by the City Council on August 13, 2019, with an exception being granted. The approved setbacks are: 15 feet on Main Street and 2 feet on the north property line. The City Council also approved parking spaces to be allowed in the front setback. The site plan presented honors the exceptions granted by City Council.

Off-Street Parking

City code requires (3.24.030) offices and personal services to have four (4) spaces for every 1,000 sq. ft. based on the square footage of the proposed building (9,380 sq. ft.) 38 off-street parking spaces are required. The proposal exceeds the off-street parking requirements, with plans showing 40 parking stalls, which includes two (2) ADA stalls.

Screening

“The sides and rear of any off-street parking area that adjoins a residence or residential zone shall be required to be screened by a masonry wall or solid visual barrier fence” (3.24.020). There exists a 6-foot concrete privacy fence on the south property line which meet these requirements, and plans show a 4-foot hedge to be planted on the south west side of the property.

Landscaping

All areas of a site which are not devoted to buildings or off-street parking are required to be landscaped, with a minimum of twenty (20) percent of the total area to be landscaped (3.07.080). The landscaping plan shows that 5,037 square feet will be landscaped, or just over 20 percent of the total site area. The site plan therefore meets the minimum landscaping area requirements. Landscaping also appears to comply with the City Tree Guide.

Trash Storage

Trash receptacles will be stored inside of the building, no outdoor trash enclosure is required.

Height of Building

The height of the proposed building meets the requirements of the Business Commercial zone, measuring 34 feet to the highest point of the building. Maximum height for the zone is 34 feet.

Design

The proposed building is a combination of stone, stucco and metal. Architectural style appears to be consistent with other buildings in the business district.

REVIEWS

PLANNING AND ZONING DEPARTMENT REVIEW

The analysis section in the body of this report serves as the Planning and Zoning Department review.

ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW

Streets

All site plans must adhere to the Off-Street Parking Ordinance (Article 3.24). The applicant has submitted a parking plan which appears to be in compliance with the ordinance. Parking stalls are dimensioned correctly, an all-weather surface of asphalt is proposed and the site is graded to retain all storm water onsite. A lighting plan was submitted and approved with a comment to switch the light fixture to the City's most currently adopted version of the decorative style (dark sky compliant) street light.

Storm drain calculations and plans were submitted and approved for the design of the parking lot. Because this is a private storm drain system, a storm drain maintenance agreement would be required assuring maintenance of the private storm drain system by the owner occurs on an annual basis.

Frontage improvements, namely curb/gutter and sidewalk, currently exist.

Utilities

The parcel is currently served with City services (culinary, pressurized irrigation, and sewer) which the new building can hook to.

Flood Plain

Though close to Dry Creek, none of the subject property is within a "Special Flood Hazard Area..." as shown on the Flood Insurance Rate Map (FIRM) for this area. Adopted FIRM Map Number 49049C0159F, June 19, 2020.

Other

One building currently exists on the site and is shown to be removed. A demolition permit will be required for the removal of the existing building.

There was previously a large high-pressure gas main line that traversed the property on a northwest/southeast angle. Through coordination with the gas company, this gas main, and easement for it, has been removed in preparation for this site plan application.

The owner currently has a Land Disturbance Permit and associated Storm Water Pollution Prevention Plan (SWPPP) which ensures proper protections are in place to prevent storm water pollution. This is particularly important on this site due to its proximity to Dry Creek.

The water policy has been previously met for the site.

LONE PEAK FIRE DEPARTMENT REVIEW

See Exhibit 'A' of this staff report for the Lone Peak Fire Department Review of the proposed Alpine Fitness site plan.

NOTICING

Notice has been properly issued in the manner outlined in City and State Code

STAFF RECOMMENDATION

Approve the site plan as proposed. Findings are outlined below.

Findings for a Positive Motion:

- A. All proposed construction appears to meet Alpine City Design standards.

Findings for Negative Motion:

- A. None.

MODEL MOTIONS

SAMPLE MOTION TO APPROVE

I motion to recommend approval of the proposed site plan for the Alpine Fitness with the following conditions:

- The developer signs a storm drain maintenance agreement for the property;
- The developer obtains a Demolition Permit prior to construction;
- The developer meets fire code requirements as outlined in the Lone Peak Fire Department Review.

SAMPLE MOTION TO DENY

I motion to recommend that the site plan for the Alpine Fitness be denied based on the following:

- ***Add finding***



LONE PEAK FIRE DISTRICT
5582 PARKWAY WEST DRIVE
HIGHLAND, UTAH 84003
(801) 763-5365
WWW.LONEPEAKFIRE.COM

REED M. THOMPSON, FIRE CHIEF

MEMORANDUM

DATE: 27 October 2020

TO: Jed Muhlestein, City Engineer, Alpine City
CC: Austin Roy, City Planner, Alpine City
FROM: Reed M. Thompson, Fire Chief *Reed M. Thompson*
SUBJECT: ALPINE FITNESS PROPERTY AND BUILDING PLAN

In review of the proposed drawings labeled “for review not for construction”, dated 13 August 2020, and located at 235 South Main Street, please note:

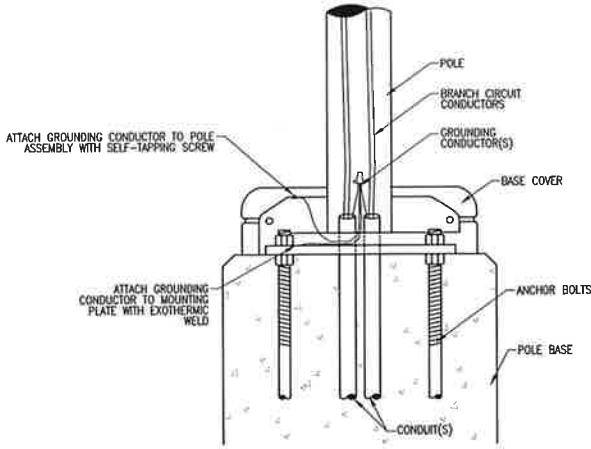
- Fire access to all sides of the occupancy are required within 150 feet of the furthest point of the structure. The proposed drawings provide the appropriate access. Parking lot access used as the fire access need to meet structural standards established in the currently approved International Fire Code. Access roads in excess of 150 feet require an approved turnaround. The project appears to be in compliance.
- Based on size of the occupancy and the intended use, an automatic sprinkler system will be required. Page C-400 references a fire department connection (FDC) and underground plumbing to for purposes of pumping the automatic sprinkler system for the building. The FDC will need to be located within 100’ of the nearest fire hydrant. The project appears to be in compliance.
- Based on the occupancy size, the fire riser will need to have an external door, to be labeled FIRE RISER. Knox box key access required to the facility doors and shall be located at/near the fire riser room door.
- A fire hydrant is required within 250 feet of the structure and fire flows for the occupancy need to be in accordance with the currently approved International Fire Code. The project appears to be in compliance.
- Fire sprinkler drawings can be a deferred submittal, require a third party review, with inspections required, prior to occupancy.

If you have further questions regarding this information, please contact me directly.

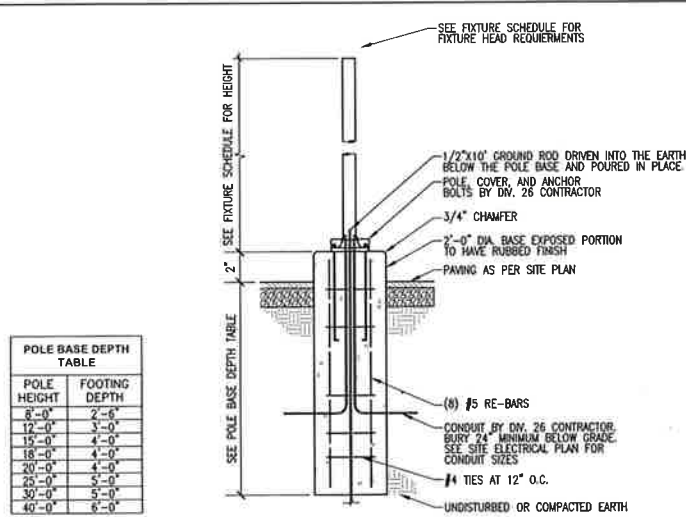
SITE LIGHTING FIXTURE SCHEDULE												
FIXT #	MANUFACTURER	CATALOG #	FIXTURE			LAMPS			MANUFACTURER	HEIGHT	POLE	REMARKS
			VOLTS	APOL	WATTS	TYPE	QTY/FIXT	QTY/FIXT				
SE1	HADCO	C2801E-A3SRNN88ASSNNNA	240	1	88	POLE	LED		MOUNTAIN STATES	14' 0"	SMOOTH ALUMINUM	FEN ALPIN CITY STANDARD

LIGHT FIXTURE SCHEDULE									
FIXTURE NUMBER	FIXTURE MANUFACTURER	FIXTURE CATALOG #	LAMPS		FIXTURE			DESCRIPTION	REMARKS
			TYPE	QTY.	VOLTS	WATTS	MOUNTING		
F1	MCGRAW HILL (OR APPROVED EQUAL)	ISS AF-1000 LED-EF-SL3	LED		120	54	SURFACE WALL	LED EXTERIOR FIXTURE	

King Luminaire K137 Yarmouth (NO GLOBE) LED
K137-P4NGr-III-100(SSL)7030-120V-K26-PR7-3K-TB-BK-1-WS
(See City Detail 31a)

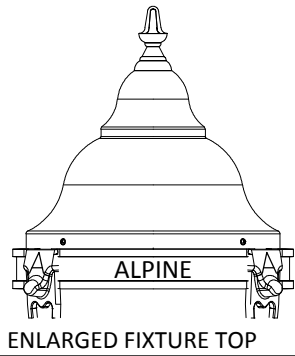


1 POLE LIGHT GROUNDING DETAIL
SCALE: NTS



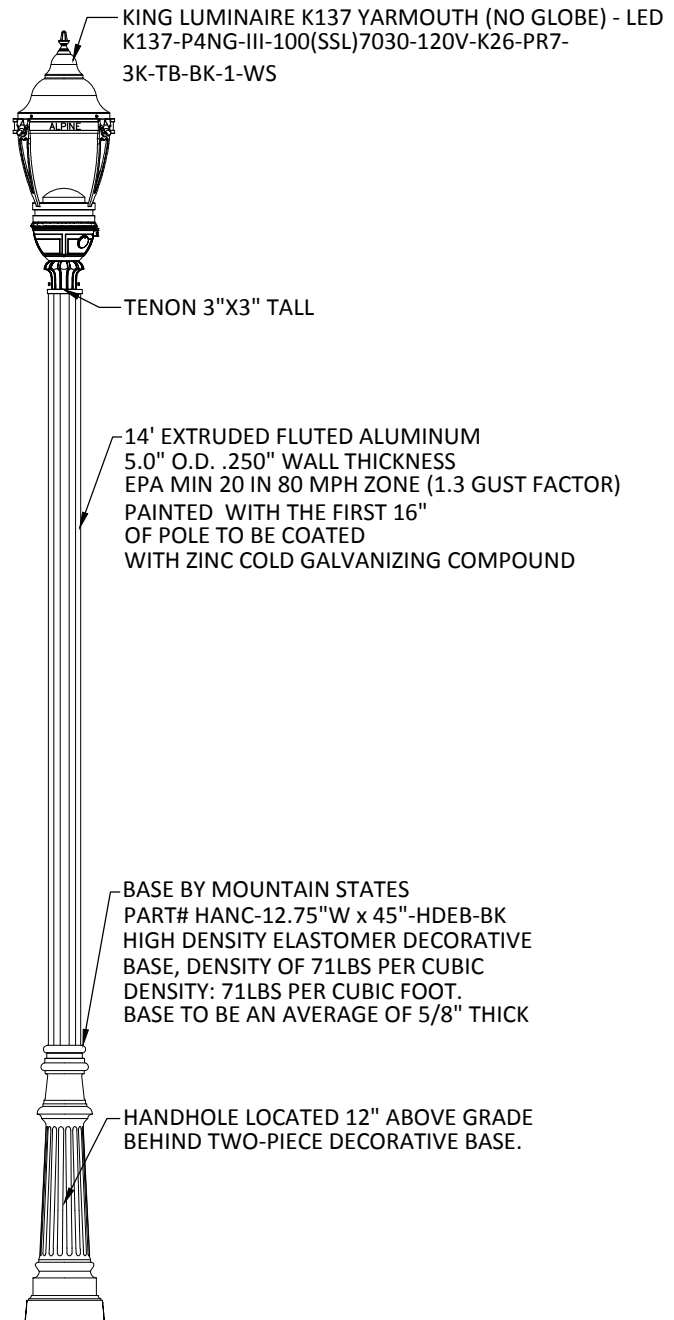
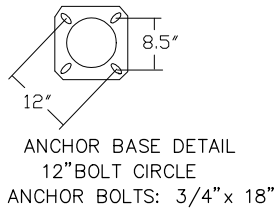
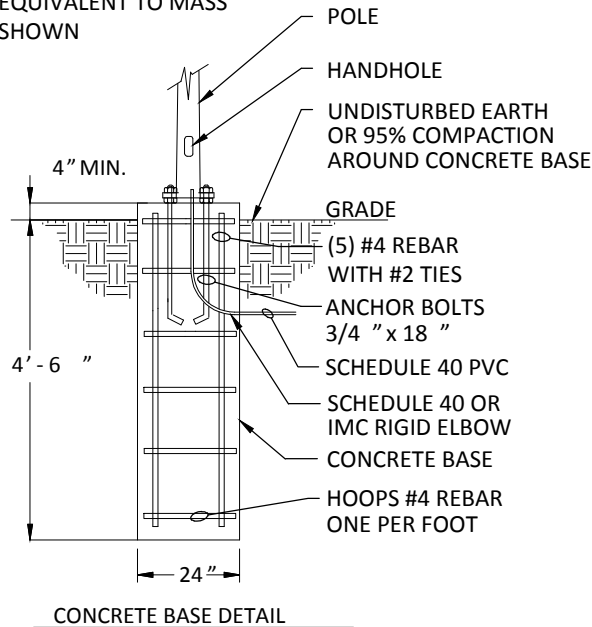
2 POLE BASE DETAIL
SCALE: NTS

POLE BASE DEPTH TABLE	
POLE HEIGHT	FOOTING DEPTH
8'-0"	2'-6"
12'-0"	3'-0"
15'-0"	4'-0"
18'-0"	4'-0"
20'-0"	4'-0"
25'-0"	5'-0"
30'-0"	5'-0"
40'-0"	6'-0"



NOTE!!
IF DEPTH CANNOT BE
MET MASS MUST BE
EQUIVALENT TO MASS
SHOWN

FINISH;
BLACK



** SEE DETAIL 31 **
FOR REQUIRED
JUNCTION BOX
AT BASE

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON
ARE PROVIDED AS STANDARD CONSTRUCTION
DETAILS WITHIN ALPINE CITY. DEVIATION FROM
THIS DOCUMENT REQUIRES APPROVAL OF ALPINE
CITY. ALPINE CITY CORPRTATION CAN NOT BE HELD
LIABLE FOR MISSUSE OR CHANGES REGARDING THIS
DOCUMENT.

REVISION

NO.	BY	APRIL	DATE



CAD FILE: 31A STREET LIGHT ALPINE CURRENT ARTERIAL POLE ASSEMBLY 9-23-20

DOWNTOWN STREET LIGHT

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD
DRAWING
NUMBER: **31a**

PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	12/7/18

ALPINE FITNESS

235 S. MAIN STREET
ALPINE, UTAH 84004

PREPARED FOR:

ALPINE FITNESS

75 W. MAIN STREET, CT #100
ALPINE, UT 84004

PREPARED BY:

ENSIGN ENGINEERING

THOMAS MAZEJY, P.E.

45 WEST 10000 SOUTH #500
SANDY, UT 84070
(801) 255-0529



JUNE 4, 2020

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3.0 DESIGN OBJECTIVES AND METHODOLOGY	2
4.0 PROPOSED DRAINAGE MODEL	3
5.0 CONCLUSIONS.....	4
6.0 APPENDIX A – MODEL OUTPUTS	5
7.0 APPENDIX B – REFERENCES.....	6

1.0 PROJECT OVERVIEW

The Alpine Physical Therapy project is a proposed commercial development located in Alpine, Utah, in the southeast quarter of Section 24 and the northeast quarter of Section 25, Township 4 south, Range 1 east, Salt Lake Base and Meridian, Utah County, Utah. The site is bounded by Main Street to the West, residential property to the south and east, and Dry Creek to the north. The project storm runoff will be discharged into Dry Creek.

2.0 EXISTING DRAINAGE CONDITIONS

The Alpine Physical Therapy project is located on property containing 0.58 acres of land that is mostly undeveloped except for a garage on the east side of the lot. The existing site is composed primarily of compacted soils and vegetation and generally slopes from southeast to northwest with slopes ranging from about 0.00% to 5.00%. Native soils in the drainage catchment fall into Hydrologic Soil Group C which can be described as follows:

Group C – Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

3.0 DESIGN OBJECTIVES AND METHODOLOGY

The site drainage system will be designed to meet the requirements of Alpine City. This report will address the sizing of the underground piping system to convey runoff from a 10-year storm event as well as safely routing the 100-year storm through the site. Storm and Sanitary Analysis 2019, Autodesk was used to model both hydrology and hydraulics for the project using the SCS TR-55 unit hydrograph method for routing the 24-hour storm distribution. The project has been modeled as two separate drainage catchments with respective design points for analysis. Each catchment was assigned a runoff curve number based on the anticipated hardscape expected to be created by the construction of buildings, parking areas, etc. The coefficients used were analyzed appropriate for the area of this study. Hardscape areas were assigned a curve number of 98 and landscape areas a curve number of 74. See Table 3-1 for weighted curve numbers for each catchment.

TABLE 3-1 DRAINAGE CATCHMENT WEIGHTED CURVE NUMBERS

Basin ID	Landscape Area (sq. ft.)	Curve Number	Hardscape Area (sq. ft.)	Curve Number	Total Area (sq. ft.)	Weighted Curve Number
Sub-01	1982	74	10886	98	12868	94
Sub-02	1863	74	10397	98	12260	94

Sub-01 Weighted Curve Number Calculation Example

$$\begin{aligned}
 CN &= \frac{(\text{landscape area} \times \text{landscape CN} + \text{hardscape area} \times \text{hardscape CN})}{(\text{total area})} \\
 &= \frac{(1982 \times 74 + 10886 \times 98)}{12868} = 94
 \end{aligned}$$

Pipes were modeled using a Manning roughness coefficient of 0.011.

Design criteria include the following:

- The 10-year storm event was used to size all underground conveyance systems.
- Surface systems are planned to safely pass the 100-year storm event.
- The 100-year storm event was used to determine required storage capacity of detention system

A 100-year cumulative rainfall of 3.40-inches was used in the model. A 10-year cumulative rainfall of 2.37-inches was used in the model. (Rainfall data obtained from Alpine City Storm Water Drainage Manual).

4.0 PROPOSED DRAINAGE MODEL

The proposed site is designed to direct runoff from paved and landscaped areas into one of two proposed catch basins in the parking area. The water will then be directed through 8" PVC storm drain pipe to an underground detention basin located on-site (Grading plan has been included in Appendix B).

A variety of methods of detention will be employed on this site in order to provide adequate storage. The majority of the storage will take place in an underground detention system consisting of MC-3500 Stormtech chambers. Once the stormtech system has reached capacity, additional storage will be provided within the pipe network and as surface storage above the catch basins. It was determined using the rational method that the 100-year storm event requires a storage volume of **2,748 ft³**. The underground chambers and fill stone can store **2,567 ft³** and surface storage areas contribute an additional **360 ft³**. The total provided storage for the site is **2,927 ft³**. Model outputs have been included in Appendix A.

The orifice plate was sized to be 0.80" installed on the North side of box #202 resulting in a release rate of 0.04 cfs. The maximum release rate allowed by Alpine City for the project is 0.07 cfs/acre. The total area is 0.58 acres, resulting in an allowable release rate of 0.04 cfs. Once storm runoff passes through the orifice plate, it will be direct to Dry Creek to be discharged.

5.0 CONCLUSIONS

The drainage system as outlined will safely convey storm water to the proposed detention basin. All pipe sizes as shown are adequate to convey runoff from the 10-year storm event and the surface improvements have been designed to pass the 100-year storm event.

Ensign Engineering

A handwritten signature in black ink, appearing to read 'Thomas J. Mazejy'.

Thomas J. Mazejy, P.E.
Ensign Engineering

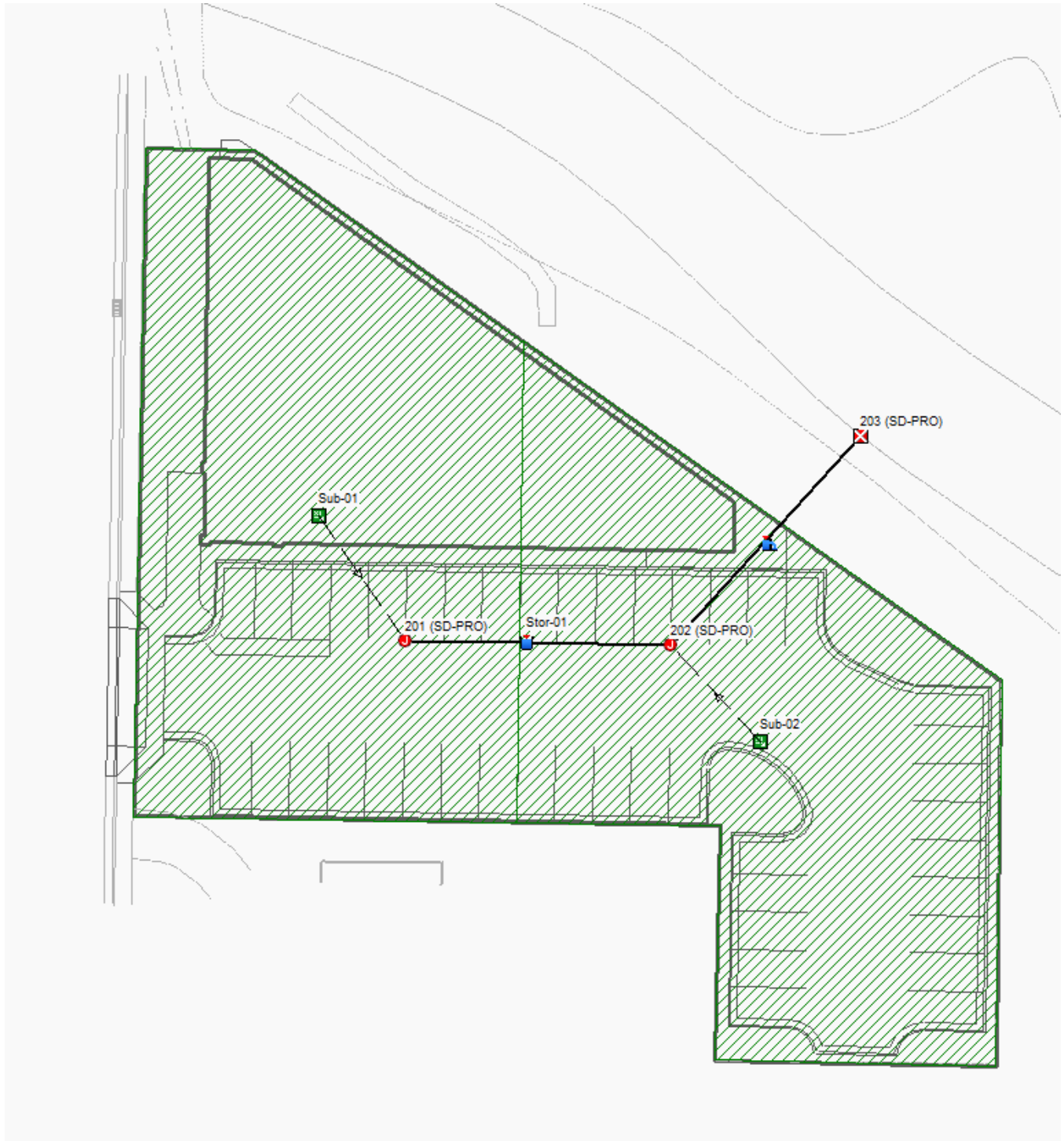
Reviewed By

A handwritten signature in black ink, appearing to read 'David Jenkins'.

David Jenkins, P.E.
Ensign Engineering

6.0 APPENDIX A – MODEL OUTPUTS

Model Layout



Project Description

File Name 9711 - 10yr3hr.SPF
Description P:\9711 Alpine Physical Therapy\Civil\Source Drawings\Pipe Networks\Z-PIPES.dwg

Project Options

Flow Units CFS
Elevation Type Elevation
Hydrology Method SCS TR-55
Time of Concentration (TOC) Method SCS TR-55
Link Routing Method Hydrodynamic
Enable Overflow Ponding at Nodes YES
Skip Steady State Analysis Time Periods ... NO

Analysis Options

Start Analysis On May 29, 2020 00:00:00
End Analysis On May 30, 2020 00:00:00
Start Reporting On May 29, 2020 00:00:00
Antecedent Dry Days 0 days
Runoff (Dry Weather) Time Step 0 01:00:00 days hh:mm:ss
Runoff (Wet Weather) Time Step 0 00:05:00 days hh:mm:ss
Reporting Time Step 0 00:05:00 days hh:mm:ss
Routing Time Step 1 seconds

Rainfall Details

SN	Rain Gage ID	Data Source	Data Source ID	Rainfall Type	Rain Units	State	County	Return Period (years)	Rainfall Depth (inches)	Rainfall Distribution
1	100-yr	Time Series	100-year	Cumulative	inches	Utah	Utah	100	3.40	SCS Type II 24-hr
2	10-year	Time Series	10-year	Cumulative	inches	Utah	Utah	10	2.37	SCS Type II 24-hr

Subbasin Summary

Subbasin ID	Area	Weighted Curve Number	Total Rainfall	Total Runoff	Total Runoff Volume	Peak Runoff	Time of Concentration
	(ac)		(in)	(in)	(ft³)	(cfs)	(days hh:mm:ss)
Sub-01	0.30	94.00	2.37	1.74			
Sub-02	0.28	94.00	2.37	1.74			

Node Summary

Element ID	Element Type	Invert Elevation	Ground/Rim (Max) Elevation	Peak Inflow	Max HGL Elevation Attained
		(ft)	(ft)	(cfs)	(ft)
201 (SD-PRO)	Junction	4925.50	4932.20	0.68	4927.59
202 (SD-PRO)	Junction	4925.50	4932.20	0.65	4927.59
203 (SD-PRO)	Outfall	4925.00		0.04	4925.00
Stor-01	Storage Node	4925.50	4932.20	1.30	4927.59

Link Summary

Element ID	Element Type	From (Inlet) Node	To (Outlet) Node	Length	Inlet Invert Elevation	Outlet Invert Elevation	Average Slope	Diameter or Height	Manning's Roughness	Peak Flow	Design Flow Capacity	Peak Flow/ Design Flow Ratio	Peak Flow Velocity
				(ft)	(ft)	(ft)	(%)	(in)		(cfs)	(cfs)		(ft/sec)
{SD-PRO}.Pipe - (1)	(SD-PRO) Pipe	201 (SD-PRO)	Stor-01	28.63	4925.50	4925.50	0.0000			0.68	0.07	9.55	1.95
Link-01	Pipe	Stor-01	202 (SD-PRO)	34.38	4925.50	4925.50	0.0000			0.62	0.07	9.55	1.78
{SD-PRO}.Pipe - (2)	(SD-PRO) Orifice	202 (SD-PRO)	203 (SD-PRO)		4925.50	4925.00				0.04			

Project Description

File Name 9711 - 100yr24hr.SPF
Description P:\9711 Alpine Physical Therapy\Civil\Source Drawings\Pipe Networks\Z-PIPES.dwg

Project Options

Flow Units CFS
Elevation Type Elevation
Hydrology Method SCS TR-55
Time of Concentration (TOC) Method SCS TR-55
Link Routing Method Hydrodynamic
Enable Overflow Ponding at Nodes YES
Skip Steady State Analysis Time Periods ... NO

Analysis Options

Start Analysis On May 29, 2020 00:00:00
End Analysis On May 30, 2020 00:00:00
Start Reporting On May 29, 2020 00:00:00
Antecedent Dry Days 0 days
Runoff (Dry Weather) Time Step 0 01:00:00 days hh:mm:ss
Runoff (Wet Weather) Time Step 0 00:05:00 days hh:mm:ss
Reporting Time Step 0 00:05:00 days hh:mm:ss
Routing Time Step 1 seconds

Rainfall Details

SN	Rain Gage ID	Data Source	Data Source ID	Rainfall Type	Rain Units	State	County	Return Period (years)	Rainfall Depth (inches)	Rainfall Distribution
1	100-yr	Time Series	100-year	Cumulative	inches	Utah	Utah	100	3.40	SCS Type II 24-hr
2	10-year	Time Series	10-year	Cumulative	inches	Utah	Utah	10	2.37	SCS Type II 24-hr

Subbasin Summary

Subbasin ID	Area	Weighted Curve Number	Total Rainfall	Total Runoff	Total Runoff Volume	Peak Runoff	Time of Concentration
	(ac)		(in)	(in)	(ft³)	(cfs)	(days hh:mm:ss)
Sub-01	0.30	94.00	3.40	2.74			
Sub-02	0.28	94.00	3.40	2.74			

Node Summary

Element ID	Element Type	Invert Elevation	Ground/Rim (Max) Elevation	Peak Inflow	Max HGL Elevation Attained
		(ft)	(ft)	(cfs)	(ft)
201 (SD-PRO)	Junction	4925.50	4932.20	1.04	4931.78
202 (SD-PRO)	Junction	4925.50	4932.20	1.00	4931.78
203 (SD-PRO)	Outfall	4925.00		0.04	4925.00
Stor-01	Storage Node	4925.50	4932.20	2.01	4931.78

Storage Nodes

Storage Node : Stor-01

Input Data

Invert Elevation (ft)	4925.50
Max (Rim) Elevation (ft)	4932.20
Max (Rim) Offset (ft)	6.70
Initial Water Elevation (ft)	4925.50
Initial Water Depth (ft)	0.00
Ponded Area (ft²)	0.00
Evaporation Loss	0.00

Output Summary Results

Peak Inflow (cfs)	2.01
Peak Lateral Inflow (cfs)	0.00
Peak Outflow (cfs)	0.03
Peak Exfiltration Flow Rate (cfm)	0.00
Max HGL Elevation Attained (ft)	4931.78
Max HGL Depth Attained (ft)	6.28
Average HGL Elevation Attained (ft)	4928.06
Average HGL Depth Attained (ft)	2.56
Time of Max HGL Occurrence (days hh:mm)	0 16:35
Total Exfiltration Volume (1000-ft³)	0.000
Total Flooded Volume (ac-in)	0
Total Time Flooded (min)	710
Total Retention Time (sec)	0.00

7.0 APPENDIX B – REFERENCES

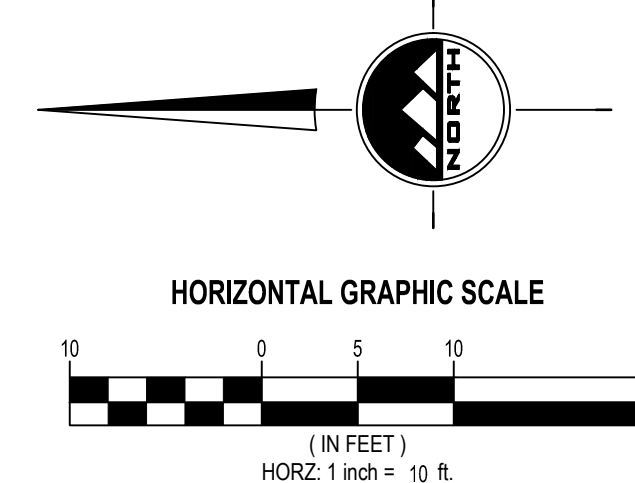
GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
- ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. 67.25 REPRESENTS AN ELEVATION OF 4967.25 ON THESE PLANS.
- LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
- ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION IN THIS PLAN SET COME FROM THE SURVEY DRAWINGS "LAND SURVEY PLAT (DATED NOVEMBER 21, 2019) AND TOPOGRAPHY SURVEY (DATED JANUARY 24, 2020)" PROVIDED BY VARA 3D AND NOT ENSIGN ENGINEERING. PLEASE REFER TO THESE DRAWINGS FOR SURVEY INFORMATION.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 0.87' O' ORIFICE PLATE PER DETAIL 3/C-600 INSTALLED ON NORTH SIDE OF STORM DRAIN BOX #202.
- DETENTION BASIN (STORMTECH MC-3500)
VOLUME REQUIRED = 2,748 CU. FT.
VOLUME PROVIDED (SURFACE) = 380 CU. FT.
VOLUME PROVIDED (UNDERGROUND) = 2,567 CU. FT.
TOP OF GRAVEL = 4930.25
TOP OF CHAMBERS = 4929.25
BOTTOM OF CHAMBERS = 4925.50
BOTTOM OF GRAVEL = 4924.75
- SURFACE DETENTION HIGH WATER LINE. ELEVATION = 4932.70
- CONNECT ROOF DRAIN TO STORM DRAIN NETWORK. SEE MECHANICAL PLANS FOR ROOF DRAIN LOCATION AND CONNECTION.
- DESIGNATED ACCESSIBLE ROUTE. RUNNING SLOPE SHALL NOT EXCEED 5.00% (1:12 OR 8.33% FOR RAMPS) AND CROSS SLOPES SHALL NOT EXCEED 2.00%. CONTRACTOR TO REMOVE AND REPLACE ANY AREAS WHICH EXCEED ALLOWABLE SLOPES.
- ISOLATOR ROW TO ADDRESS RUNOFF WATER QUALITY PER ADS/STORMTECH SPECIFICATIONS.
- EXISTING CREEK. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF FLOW LINE PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS.



BENCHMARK

NORTHEAST CORNER OF SECTION 25,
TOWNSHIP 4 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
ELEV = 4946.87' (NGVD 29)



Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

GRADING AND DRAINAGE PLAN

PROJECT NUMBER
9711

PRINT DATE
6/4/20

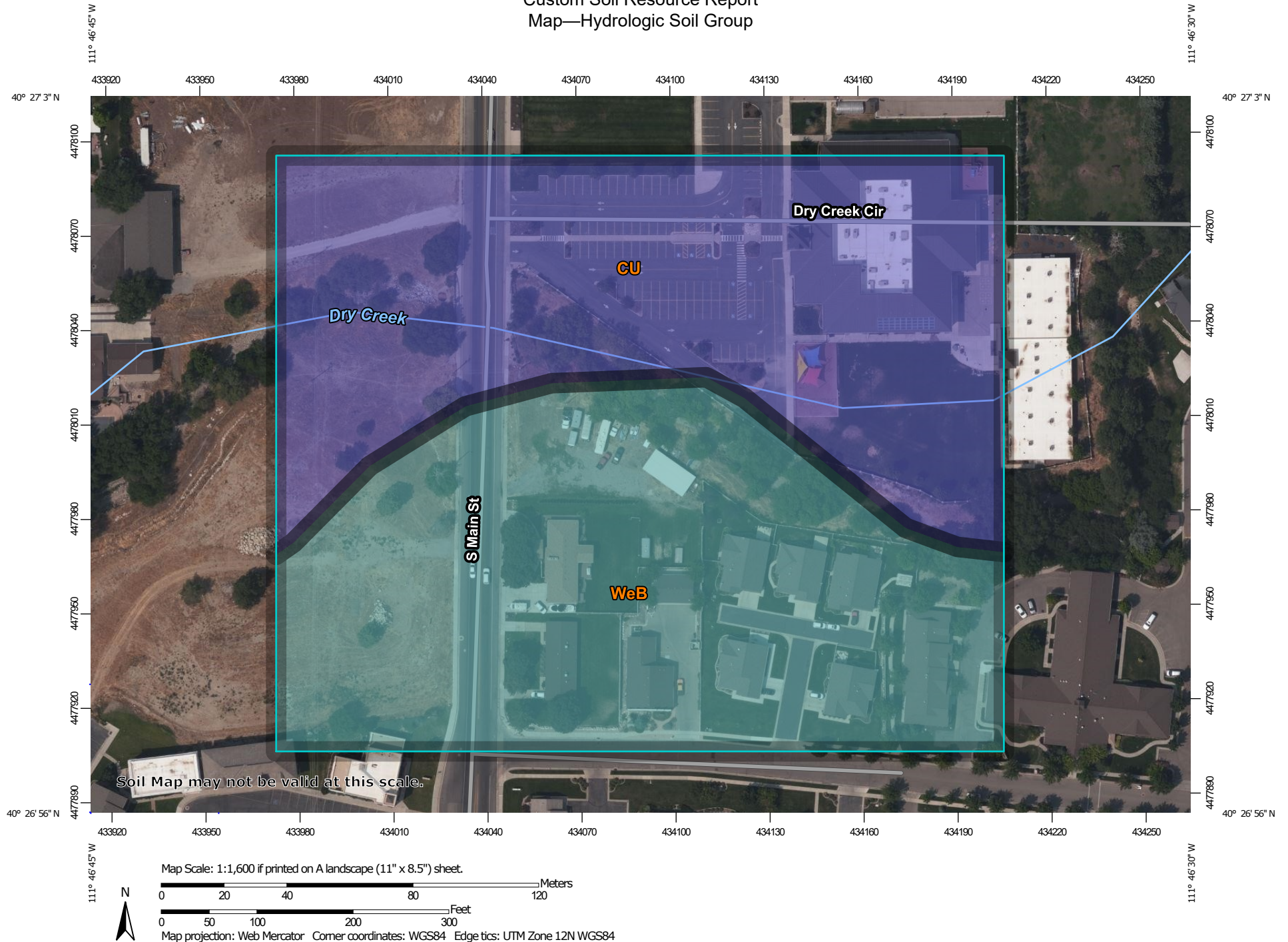
DRAWN BY
T. MAZEJY

CHECKED BY
D. JENKINS

PROJECT MANAGER
D. JENKINS

C-300


Custom Soil Resource Report Map—Hydrologic Soil Group



Custom Soil Resource Report








MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines


 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points






 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available


Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Utah County, Utah - Central Part
Survey Area Data: Version 12, Sep 16, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 30, 2018—Aug 29, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Table—Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
CU	Cobbly alluvial land	B	5.3	48.9%
WeB	Welby silt loam, extended season, 1 to 3 percent slopes	C	5.6	51.1%
Totals for Area of Interest			10.9	100.0%

Rating Options—Hydrologic Soil Group

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

Kimberly Bryant
Lon Lott

B. Setback Exception Request – 235 S. Main – Paul Anderson

Austin Roy said Paul Anderson had requested an exception to the setback requirements for his property located at 235 S. Main Street in the business commercial zone. The setback back requirements for the BC zone were 30-ft front in the front and 20-feet on the sides unless recommended otherwise. Article 3.11.040.3.e allowed setback exceptions in the BC zone provided the Planning Commission recommended it and the City Council approved it. Mr. Anderson had requested a front setback of 15 feet and a side setback of 0 feet, which the Planning Commission denied based on the trail which was shown along the north side of his property next to Dry Creek. The concern was that there wouldn't be enough room for the trail which would connect to the Montdella Senior Living development on the west end and eventually to Creekside Park on the east end.

Mr. Anderson said he had met with Mountainville Academy who owned the property to the north and a portion of the land on which the trail would run. The school was interested in seeing the property next to them cleaned up and had agreed to expand the trail easement on their property to help accommodate the trail. Mr. Anderson increased his share of the easement by reducing the request for a side-yard setback exception from zero feet to two feet.

Mayor Stout asked how close it would be to the edge of the Dry Creek streambed, and if erosion was going to be a concern. Austin Roy said there were about 20 feet between the edge of the Anderson property and the drop-off into the streambed.

Paul Anderson said he'd done a lot of work on the property to clean it up. He'd taken out about 21 junk trees and removed five dams across Dry Creek caused by fallen trees and debris. Plus, he cleaned up the garbage on the lot. He said the school said they would much prefer to see a nice medical building on that lot. He noted that the State Farm Insurance Building on the other side of Main Street was set back 15 feet from the front property line.

There was a question about a small triangular piece of land next to Main Street that was owned by UDOT. Shane Sorensen said it was to have been transferred to Alpine City when Alpine took over maintenance of Main Street and that needed to be done. It shouldn't be a problem.

Jason Thelin asked if there would need to be a retaining wall on the property line. Shane Sorensen said there would probably not be a need for a wall because it was relatively flat. The parking lot next to residents would need some kind of screening or a fence.

MOTION: Jason Thelin moved to approve a 15-ft setback off Main Street and a 2-ft setback on the north property line for Paul Anderson for the property at 235 S. Main Street. Carla Merrill seconded. Ayes: 4 Nays: 0. Motion passed.

<u>Ayes</u>	<u>Nays</u>
Jason Thelin	none
Carla Merrill	
Kimberly Bryant	
Lon Lott	

C. Commercial Structure – Alpine Animal Hospital, 424 S. Alpine Highway – Dr. Michael Kendig.

Austin Roy said the owners of the animal hospital at 424 S. Alpine Highway were proposing to put up new siding on the existing building and put hardiboard on the gable. Since the business was located in the Gateway zone, the City Council had to approve the architectural changes. Dr. Kendig provided samples of the materials. The roof and the brick were not being changed, just the siding and the gable. The Planning Commission had recommended that the door be painted the same color as the gable, and recommended approval

MOTION: Lon Lott moved to approve the proposed remodel of the Alpine Animal Hospital and require the door to be painted the same color as the gable. Carla Merrill seconded. Ayes: 4 Nays: 0. Motion passed.

<u>Ayes</u>	<u>Nays</u>
Ramon Beck	none
Carla Merrill	
Kimberly Bryant	
Lon Lott	

B. Land Swap and Parking Exception, 235 S. Main – Paul Anderson

Austin Roy said Mr. Anderson had previously asked for front and side-yard setback exceptions at the meeting of August 13, 2019, which were approved. He was now coming to the City with a proposed land swap. Alpine City owned a small triangular piece of ground along Main Street which was left over when the bridge was built. Mr. Anderson would give the City a strip of land along Main Street which would enable the City to access their property without crossing private property. The two pieces of ground were each 234.23 square feet.

Mr. Anderson's second request was to allow parking in the setback. He'd already been granted a front setback exception of 15 feet for his building. He requested the same 15-foot exception to the setback for the parking, which would bring the parking in line with the building.

Carla Merrill said she didn't like always approving exceptions to the setback requirements. A committee had sat down and devised the setback requirements and they had a reason for them. She said she was okay with the land swap but not the parking exception.

After more discussion, a motion was made.

MOTION: Ramon Beck moved to approve the land swap with Paul Anderson at 234 S. Main, and clarify that the setback exception approved for the building also approved a setback of 15 feet for the parking. Lon Lott seconded. Ayes: 3 Nays: 1. Motion passed.

<u>Ayes</u>	<u>Nays</u>
Ramon Beck	Carla Merrill
Kimberly Bryant	
Lon Lott	

C. Appointment of Administrative Law Judge

Shane Sorensen said that several months ago the City had changed some ordinances that provided for code violations to be handled by a City appointed administrative law judge rather than going through the court system. Angela Adams was an attorney who lived in Alpine and said she would be willing to serve as the administrative law judge on a volunteer basis or ad hoc public service.

David Church said this method of handling code violations was friendlier and more effective than hiring attorneys and going to court. In the past, a code violation was deemed a criminal offense and was sent to the court which, became an expensive, drawn-out way of trying to solve the problem. Many cities were going to this system which still gave the offender due process but in friendlier climate. He said there could be more than one judge. Phil Barker had handled appeals for the City in the past.

MOTION: Kimberly Bryant moved to appoint Angela Adams as the Alpine City Administrative Law Judge. Ramon Beck seconded. Ayes: 4 Nays: 0. Motion passed.

<u>Ayes</u>	<u>Nays</u>
Ramon Beck	None
Carla Merrill	
Kimberly Bryant	
Lon Lott	

Mayor Troy Stout said Highland City and Alpine City would each have two members sitting on the Lone Peak PSD Board. A fifth, alternate member would also be appointed to the Board from either Alpine or Highland. The cities would rotate each year in selecting the alternate. The alternate would serve as the chair of the Board and would vote in the event of a tie. Highland's alternate would serve for 2020. Alpine's alternate would serve for 2021. Mayor Stout nominated Lon Lott to be Alpine City's alternate representative to the Lone Peak Public Safety District Board.

MOTION: Jason Thelin moved to approve the appointment of Lon Lott as an alternate representative to the Lone Peak Public Safety District Board. Greg Gordon seconded. Ayes: 4 Nays: 0. Motion passed.

<u>Ayes</u>	<u>Nays</u>
Lon Lott	None
Greg Gordon	
Jason Thelin	
Jessica Smuin	

D. Powerlines on Main Street

Austin Roy made a presentation for a proposal from Paul Anderson at 235 South Main Street to remove three poles and overhead power lines on Paul Anderson's property and the Montdella Townhomes across the street from his property which was located just south of Mountainville Academy and the bridge that crosses Dry Creek. The existing cables from the powerlines intruded into Paul Anderson's building footprint. He had two options:

1. Paul Anderson would bear the cost of removing the existing powerlines, boring and running newlines under Main Street with the cooperation of Alan Cottle (owner of the other property with a power pole, Montdella Townhomes); in exchange the City would convey the land (approximately 430 square feet) where the pole on the east side of Main Street currently stands on Paul Anderson's side of Main Street.
2. The existing pole would be replaced with a metal pole and the powerlines would continue to run over Main Street.

Shane Sorensen said no street cuts would need to be made, just boring under the road, Paul Anderson would maintain the park strip. The Planning Commission wanted to make sure there was access for a trail at Dry Creek in the future. As part of this proposal there needed to be a land swap completed, which should take place July 1, 2020. Mayor Troy Stout asked about possible power outages, Shane Sorensen said the electric company preferred overhead lines because they were easier to access, but all new developments had underground power lines. Chief Reed Thompson said sometimes fires happened when overhead lines sparked. Weather, wind and vehicle collision could bring down overhead lines. The Fire Department would prefer the powerlines underground.

David Church said there was no need to have anyone move the powerline, but Paul Anderson wanted the trade because it benefitted him and would improve his development. He said it would not be a bad thing for the city because they still got another easement for a future trail. This would not harm or benefit the trail with or without the power pole.

Austin Roy said the land swap would not affect having a trail in the future.

Jason Thelin asked for clarification on the map, which Shane Sorensen provided. The estimated cost for the underground powerlines was \$41,000. Shane Sorensen said staff recommended approval of the exchange. Shane Sorensen said the streetlight would be removed, but there would be one added later to the Montdella property.

MOTION: Lon Lott moved to approve the proposed 430 square foot exchange as per the maps provided in the packets with the following conditions and subject to state approval.

1. Paul Anderson at his own expenses will cover the cost of the underground powerlines and optic lines on Main Street;
2. There will be no street cuts;
3. The underground bores will be done by a licensed, bonded contractor in compliance with Alpine City standards;

Greg Gordon seconded. Ayes: 4 Nays: 0. Motion passed.

Ayes
 Lon Lott
 Greg Gordon
 Jason Thelin
 Jessica Smuin

Nays
 None

E. The Ridge at Alpine, Phase 3 – Final Approval

Austin Roy explained The Ridge at Alpine development consisted of 72 lots on 189.5 acres. Phase 3 had 9 lots on 6.26 acres. The development was in the CR 40,000 zone, west of the Alpine Cove subdivision and northeast of Heritage Hills Plat A. The attached map showed Phase 3 and how it correlated to the rest of the development. The Ridge at Alpine was approved as a Planned Residential Development (PRD). Phase 2 of The Ridge at Alpine was approved by the City Council on August 13, 2019 and Phase 1 on October 23, 2018. Trails, open space, and conservation easement were approved with the Phase 1 Plat. The applicant was seeking approval of Phase 3 of The Ridge at Alpine Subdivision. The Planning Commission reviewed Phase 3 at the May 5, 2020 meeting and recommends approval with the following conditions.

The Planning Commission recommended The Ridge at Alpine Phase 3 be approved with the following conditions:

- Phase 3 cannot be recorded until all offsite improvements of Phase 1 are complete unless otherwise approved by City Council.
- The Developer provide a temporary turn-a-round at the end of Zachary Way that meets City Specifications.
- The Developer provide access and maintenance easements for all offsite infrastructure to be recorded with Phase 3.
- The Developer either remove existing buildings or provide a bond for the removal of them prior to recording the plat.
- The Developer address redlines on the plat and plans.
- The Developer submit a cost estimate.
- The Developer meet the water policy.

Austin Roy said the developer was currently undetermined on how many phases The Ridge at Alpine would have because they were only building homes as lot were sold. Austin Roy said on the original concept for The Ridge at Alpine there were five phases. Shane Sorensen said Elkridge would be connected to Grove Drive early this fall. The city had the money for the road improvements which came from the developer. Shane Sorensen also said that all trails would need to be finished before Phase 3 could be recorded with the county. Paul Kroff told the city that the trails would be finished by the end of May 2020. Shane Sorensen reminded Council members that they would be voting on the following plat amendments at the Ridge at Alpine Phase 3:

Upgrade of booster pump, parking lot phase, off site storm water controls and construction on Ridge trail. Developer make a turn a round at the end of Zachary way following specification from the city. The developer provides easements and remove existing buildings or provide a bond for the removal.

MOTION: Lon Lott Moved to recommend that the plat amendment, the Ridge at Alpine Phase 3 be approved with the following conditions:

1. Phase 3 cannot be recorded until all offsite improvements of Phase 1 are complete unless otherwise approved by City Council.
2. The Developer provide a temporary turn-a-round at the end of Zachary Way that meets City Specifications.
3. The Developer provide access and maintenance easements for all offsite infrastructure to be recorded with Phase 3.
4. The Developer either remove existing buildings or provide a bond for the removal of them prior to recording the plat.
5. The Developer address redlines on the plat and plans.
6. The Developer submit a cost estimate.
7. The Developer meet the water policy.
8. Upgrade booster pump
9. Finish Parking lot

ALPINE CITY COUNCIL AGENDA

SUBJECT: Ordinance 2020-20: An Ordinance Amending Section 3.10.020 of the Alpine City Municipal Code Pertaining to the Meeting Schedule of the City Council

FOR CONSIDERATION ON: 8 December 2020

PETITIONER: City Staff

ACTION REQUESTED BY PETITIONER: Review and approve the text amendment to the municipal code as proposed.

BACKGROUND INFORMATION:

The City Council recently discussed changing to a 6:00 pm start time for City Council meetings and instructed staff to prepare an ordinance that would require a super majority vote to extend the meeting past 9:00 pm. City Attorney Craig Hall has prepared the Ordinance 2020-20, which would add language to Section 3.10.020 of the Municipal Code to reflect the proposed policy.

STAFF RECOMMENDATION:

Approve Ordinance 2020-20, an Ordinance Amending Section 3.10.020 of the Alpine City Municipal Code Pertaining to the Meeting Schedule of the City Council, as written.

SAMPLE MOTION TO APPROVE

I move to approve Ordinance 2020-20: An Ordinance Amending Section 3.10.020 of the Alpine City Municipal Code Pertaining to the Meeting Schedule of the City Council, as written.

SAMPLE MOTION TO APPROVE WITH AMENDMENTS

I move to approve Ordinance 2020-20: An Ordinance Amending Section 3.10.020 of the Alpine City Municipal Code Pertaining to the Meeting Schedule of the City Council, with the following amendments.

:

- ***Add amendments***

ALPINE CITY

ORDINANCE NO. 20- ____

**AN ORDINANCE AMENDING SECTION 3.10.020 PERTAINING TO
THE MEETING SCHEDULE OF THE CITY COUNCIL**

WHEREAS, Alpine City (“City”) is required to hold a minimum of two city council meetings during each month of the calendar year; and

WHEREAS, the City Council, during Calendar Year 2020, has held its regular city council meetings at 7:00 p.m.; and

WHEREAS, certain members of the city council and city staff have expressed the desire to begin such meetings at an earlier hour; and

WHEREAS, a proposal has been presented to change the starting hour of the potential work meetings and city council meetings.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Alpine City that Section 3.10.020 pertaining to Time, Place and Exceptions to city council meetings is hereby adopted as shown in Exhibit “A” attached hereto and incorporated for all purposes.

PASSED AND APPROVED this 8th day of December 2020.

ALPINE CITY COUNCIL

By: _____
Troy Stout, Mayor

[SEAL]

VOTING:

Jessica Smuin	Yea	___	Nay	___
Lon Lott	Yea	___	Nay	___
Carla Merrill	Yea	___	Nay	___
Jason Thelin	Yea	___	Nay	___
Greg Gordon	Yea	___	Nay	___

ATTEST:

Bonnie Cooper
City Recorder

EXHIBIT “A”

3.10.020 TIME, PLACE - EXCEPTIONS

(a) The city council shall hold 2 regular meeting(s) which shall be held on the second and fourth Tuesdays of each month at Alpine City Hall, which meeting(s) shall begin promptly at 6:00 o'clock p.m. provided that

1. If the meeting date is a legal holiday, then the meeting shall be held at the same time and place above described on the next following day which is not a legal holiday.
2. The city council may by resolution provide for a different time and place for holding regular meetings of the city council.

(b) City council regular meetings shall not proceed later than 9:00 o'clock p.m. unless a supermajority of the city council consents to continuing the meeting beyond such time. For purposes of this section, a supermajority of the city council shall mean eighty percent (80%) or more of the city council members present at the meeting.