

Mayor

Nina Laycook

City Manager

Duane Huffman

Treasurer

RaeLene Johnson



KANAB
— UTAH —

City Council

James G. Sorenson

Cheryl Brown

Kirt Carpenter

Joe B. Wright

Brent Chamberlain

SPECIAL PLANNING COMMISSION
JULY 25, 2013
76 NORTH MAIN, KANAB, UTAH

6:30 P.M.

Work Meeting

- Staff Report
- Council Member Liaison Report

6:45 P.M.

Consider approval of Site Plan for an auto service station/convenience store remodel on Parcel K-17-27-Annex located at 1055 S Highway 89A.

Times listed for each item on the agenda may be accelerated as time permits. If you are planning to attend this public meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City eight or more hours in advance of the meeting, and we will try to provide whatever assistance may be required. Please contact RaeLene Johnson at the Kanab City offices.

— A Western Classic —

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KANAB CITY PLANNING COMMISSION STAFF REPORT - July 16, 2013

I. APPLICANT: Emad Bazy and Michelle Quinn

REQUEST: Site Plan Review Approval

LOCATION: 1055 S Highway 89A, Kanab, UT
Current Zone: Commercial (C-2)

Emad Bazy and Michelle Quinn, authorized representatives of LMG Incorporated, have submitted an Application for Site Plan Review for an auto service station/ convenience store remodel on Parcel K-17-27-Annex, located at 1055 S Highway 89A. The existing structure was previous used as a gas station. The applicants wish to utilize the vacant building for the same use and have proposed a 400 sq. ft. addition to provide for more adequate restroom facilities and a small office space.

II. STAFF ANALYSIS:

Site Plan Review

The property resides in the C-2 commercial zone and is located within the Transitional Commercial Overlay. Section 9-7 of the Land Use Ordinance stipulates that the Planning Commission shall consider the following matters in their review:

A. Considerations relating to traffic safety and traffic congestion.

With the opening of the gas station, traffic is expected to be generated similarly to that of the previous building occupancy. The ITE Trip Generation Manual estimates that a "service station with convenience market" of this size will generate approximate 651 daily trips. Service stations generally serve the travelling public. Therefore, the trips generated will likely only affect the traffic during ingress/egress, but will not add significant additional traffic to the highway. According to UDOT, average daily traffic count at this location is 4,220. The speed limit in this corridor is 45 MPH. According to the site plan, vehicles exiting the facility will have a sight distance of 430 ft. (right turn) and 500 ft. (left turn). It is expected that significant traffic safety hazards or congestion will not result from the proposed configuration of the sight, given the sight distance, traffic counts and speed limit.

— A Western Classic —

Section 6-4 of the Land Use Ordinance specifies that “retail stores/shops” require 1 parking space per “300 sq. ft. of retail floor space.” The applicant is proposing to install six parking stalls, including one ADA compliant handicap spot for a 1,620 sq. ft. facility. This complies with the requirements of Section 6-4.

The applicant proposes down lighting to be installed above the gas pumps and at the entrance of the building. In the installation of this lighting, the applicant will be required to comply with the Lighting of Parking Lots requirements of Section 6-8 of the Land Use Ordinance.

At this time, the applicant is not proposing the installation of curb, gutter, and sidewalks. Section 4-18-2.2 of the Land Use Ordinance states that “*street improvements such as curb, gutter and sidewalk, are required prior to the issuance of a occupancy permit through one or both of the following means: construct street improvements to match existing conditions on adjacent or contiguous properties; sign a non-opposition waiver for a future special improvement district if not contiguous.*” Because adjacent properties do not have curb, gutter, and sidewalks installed, the applicant is exempt from curb, gutter and sidewalk requirements.

B. Conditions relating to outdoor advertising.

The applicant proposes to utilize the existing sign for advertisement. Section 7-5 of the Land Use Ordinance states that “the changing of the advertising copy or message of a painted, plastic face or printed sign” is an exception to the sign permit requirements. Therefore, the applicant should not require a sign permit.

C. Considerations related to dangerous or objectionable objects

Dangerous and objectionable elements at the proposed auto service station may include fire and explosion hazards and liquid or solid wastes. Section 10-7 of the Land Use Ordinance specifies standards for various dangerous and objectionable elements. The following guidelines are included for the aforementioned elements:

Fire and Explosion Hazards - All activities involving, and all storage of flammable and explosive materials, shall be provided at any point with adequate safety devices against the hazard of fire and explosion.

Liquid or Solid Wastes - No discharge at any point into public sewer, private sewage system, or stream, or into the ground shall be permitted, except in accordance with the standards approved by the State Department of Health or standards equivalent to those approved by such Department. No materials or wastes shall be deposited on any property by natural causes or forces, and any wastes which might be attractive to rodents or insects shall be stored outdoors only in closed containers.

The applicant will be required to comply with the standards set by the State Department of Environmental Quality for the storage of fuel tanks and disposal of liquid wastes to mitigate any potential hazards related to dangerous or objectionable objects.

D. Conditions relating to buildings and site layout.

The proposed addition will modestly affect the existing building mass and relationship to the neighborhood considering the overall lot and building size and available open space.

Chapter 20, Section 20-4 stipulates “no building shall be erected to be a height lower than twelve (12) feet.” Section 20-6 stipulates set back requirements within commercial zones. For Zone C-2, front and side yard set backs are 0 feet and rear are 2 feet. The applicant has adhered to these requirements.

Exhibit B (Transitional Commercial Overlay), Section 1-17 stipulates, “The following guidelines apply to new construction and refurbishing the exterior of an existing commercial building. Plans must be approved by Kanab City Planning and Zoning.” The section goes on to state, (A) “City approved materials include stucco, rock and brick...Colors will also be considered and approved as part of the site plan review and must be compatible with the color scheme of businesses in the downtown overlay district. Natural earth tone colors are preferable.” The façade of the building is proposed to be a combination of cultured stone and “ground mace” (tan) colored stucco. Staff believes that the applicant has adhered to the refurbishing requirements of Exhibit B.

The applicant does not propose to install any landscaping at this time. Section 9-8 of the Land Use Ordinance states that “landscaping is only required where curb, gutter, and sidewalk improvements are required.” As specified above, curb, gutter, and sidewalk is not required for the site. Therefore, landscaping is not required.

III. STAFF RECOMMENDATION:

That the Planning Commission approves the Application for Site Plan Review.



43 South 100 East, Suite 100 T 435.628.6500
St George, Utah 84770 F 435.628.6553

alphaengineering.com

July 12, 2013

Kanab City
Attn: Duane Huffman, City Manager
76 North Main
Kanab, UT 84741

RE: LMG Fuel Incorporated Gas Station Addition Site Plan 1st Review

Dear Duane,

We have reviewed the site plan provided for the proposed gas station addition to be located at 1055 South Highway 89A. It is our understanding that Planning Commission and Council have waived the requirement for curb & gutter and landscaping as this an addition to an existing site and the proposed use has not changed. We have the following comments:

1. The existing site plan (C1.0) and proposed site plan (C2.0) provided in .pdf format both included a bar scale that did not plot to the scale indicated. The line work in the drawing appeared to plot to the scale indicated however. The bar scale should be checked and corrected.
2. Site triangles are shown on this sheet, however they are shown from the center of the property and the distance from the traveled lane is unclear. Since it appears that there is access all along the frontage of the property from Highway 89A, we feel this is acceptable at this time, however the applicant should be cautioned that upon improvement of Highway 89A with curb, gutter and sidewalk the site access will be limited and additional site access design may be required at that time.

We do not feel the comments above require re-submittal and recommend approval of the site plan as submitted. Please let us know if you have any questions regarding this review.

Sincerely,

Glen E. Carnahan, P.E.
Alpha Engineering Company



KANAB
UTAH

76 North Main
Kanab, Utah 84741
Phone: (435) 644-2534
Fax: (435) 644-2536
www.Kanab.Utah.Gov

Application for Site Plan Review

KCfrmSPR-Ver-1.0.04

Application:

Application is hereby made to the Kanab City Planning and Zoning Commission for review and approval of the site plan for the following property:

Applicant Information:

Name EMAD BAZZY AND MICHELLE QUINN Phone (734) 968-0566
Address 24820 DONNALD ST. P.O. Box _____
City REFORD State Michigan Zip Code 48239

Property Location: Indicate property location using (East-West / North - South) street address

1055 S. HIGHWAY 89A, KANAB

Project Name and Description:

LMG INCORPORATED - EXISTING GAS STATION TO BE REMODELED

Desired Development Committee Meeting Date

Meeting Date Requested: _____ Date (mm-dd-yyyy)

NOTE: Development Committee Meetings are normally held on Wednesday(s) at 10:00am in the Kane County Commission Chambers. This application will need to be submitted a minimum of one week in advance of the date listed above.

Acres:

0.91 Acres Existing Zone C2 (Commercial Zone)
Parcel ID K-17-27-ANNEX



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Application for Site Plan Review

KCfrmSPR-Ver-1.0.04

Fees:

Fees Required \$0.00

Deposit Req'd \$500.00

The calculated fees that are shown above are required before processing of this application can begin. After submitting this form the applicant will have an opportunity to pay the required fees/deposits by either making payment on-line, by mail or by hand delivery to the Kanab City Office in the form of a check or money order.

NOTE: Additional deposits will be required when initial deposits are fully expended. Any unused portion of deposits will be refunded to applicant upon completion of the project.

Existing Use of Property

ABANDONED GAS STATION/CONVENIENCE STORE

Use of Adjacent Property

RESIDENTIAL, COMMERCIAL, & AGRICULTURE

Development Time Table: State the time table for development.

ASAP

Intended Use of Property:

Refer to Kanab City Land Use Chart(s) for Commercial or Manufacturing for approved use(s) found in the Kanab City Land Use Ordinance. Select the use you are applying for under your current zone designation.

Convenience Store

Describe All Sensitive Lands Impacts: (Refer to Kanab City Land Use Ordinance - Sensitive Lands Section)

NONE



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Application for Site Plan Review

KCfrmSPR-Ver-1.0.04

Developers Address: Same As Applicant

Name EMAD BAZZY AND MICHELLE QUINN Phone (734) 968-0566

Address 24820 DONNALD ST. P.O. Box _____

City REFORD State Michigan Zip Code 48239

Adjacent Property Owner(s) Notification:

A list of names, street addresses and mailing addresses for owners of property within 140 feet from the outer boundary of the subject property. (Note: this includes property owners across the street and in the rear of the subject property. In determining the 140 feet, the width of any intervening street or alley shall not be included. To add additional Adjacent Property Owner press the button below.

Name _____ Phone _____

Mailing Address _____

Street Address _____

P.O. Box _____

City _____ State _____ Zip Code _____

Exhibits:

These items are required before meeting with Planning Commission:

- A. Site Plan Construction Drawing(s)
- B: Signed letter from the Kanab City Engineer - indicating approval of the Site Plan Construction Drawing(s).
- C: Meet the Kanab City Land Use Ordinance (Chapter 9) requirements.

You must submit these Exhibits by email, mail or hand delivery to the Kanab City Office before the scheduled Planning Commission Meeting. No meeting can be held without the above submitted items.



KANAB
UTAH

Application for Site Plan Review

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KCfrmSPR-Ver-1.0.04

Owner: 1st listed Owner - Same As Applicant

Provide information for all Legal Title Owners below. Use button to add additional owners.

Name EMAD BAZZY AND MICHELLE QUINN Phone (734) 968-0566

Address 24820 DONNARD ST. P.O. Box _____

City REFORD State Michigan Zip Code 48239

Signature of Property Owner(s) within the Subject Property:

Each Owner(s) of property within this requested Site Plan Review must enter his/her name and date. Owner(s) understand that this application requires a review and approval before the Kanab City Planning Commission

NOTE: Filling in Signature Name and Date and submitting form will serve as a valid signature. Form will be date and time stamped when submitted.

Warning - once form is submitted - Form information can not be changed.

Applicant(s) Requesting General Plan Zone Change

Signature EMAD BAZZY Date (mm-dd-yyyy) 07-09-2013

Signature MICHELLE QUINN Date (mm-dd-yyyy) 07-09-2013

X



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— UTAH —

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Application for Site Plan Review

KCfrmSPR-Ver-1.0.04

Contact Information:

Applicant must provide at least one email address for correspondence with City Administrative Staff.

E Mail jkbeazer@gmail.com

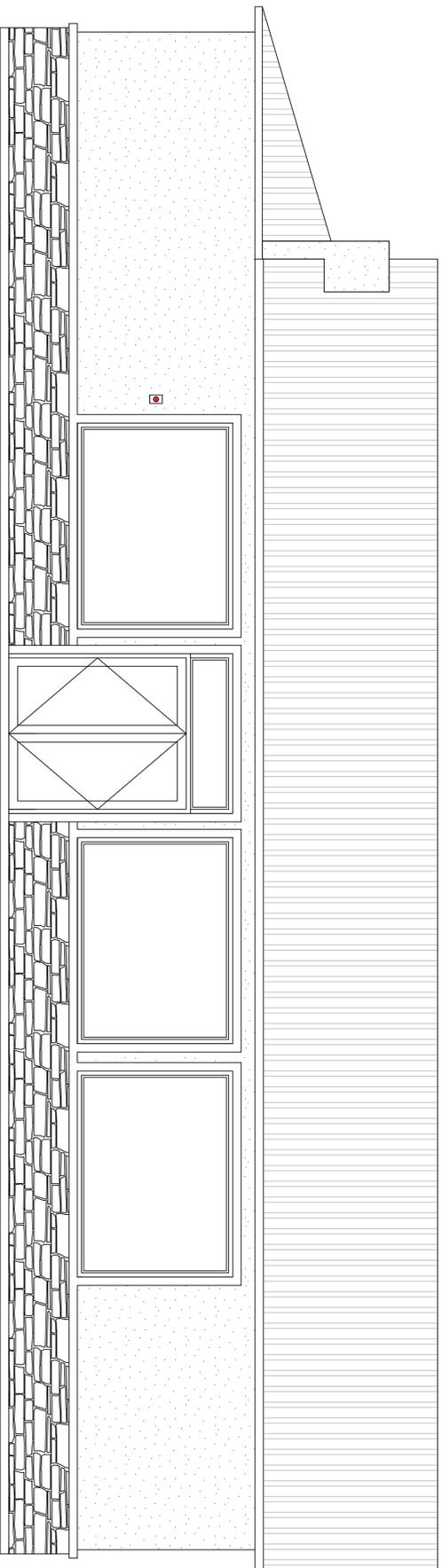
E Mail _____

For City USE ONLY

Accepted _____

Date (mm-dd-yyyy) _____

LMG INCORPORATED GAS STATION ADDITION REMODEL PLANS KANAB, UTAH



PROJECT INFORMATION:

CONSTRUCTION TYPE: _____ TYPE VB

OWNER INFORMATION:

OWNER: LMG INCORPORATED (EMAD BAZZY AND MICHELLE QUINN)
ADDRESS: 24820 DONNARD ST. REDFORD MICHIGAN, 48239
CONTACT NUMBER: 734-968-0566
PROJECT LOCATION: 1055 S. HIGHWAY 89A, KANAB, UTAH 84741

STANDARD LOADINGS:

SNOW LOAD: _____ 30 PSF
ROOF DEAD LOAD: _____ 14 PSF
ROOF LIVE LOAD: _____ 20 PSF
WIND LOAD: _____ 90 MPH, EXP. B
SEISMIC DESIGN: _____ SDC D; SITE CLASS D;
Ss=0.425; S1=0.146

BUILDING AREA: _____ 2011 SQ. FT.
EXISTING COMMERCIAL AREA: _____ 401 SQ. FT.
PROPOSED ADDITION: _____ 401 SQ. FT.
OVERALL TOTAL AREA: _____ 2412 SQ. FT.

OCCUPANT LOAD (IBC TABLE 1004.1.1):

OFFICE AREA: _____ 2
(BUSINESS 112 SQ. FT. / 100 SQ. FT. / OCC)
MERCANTILE AREA: _____ 54
(MERCANTILE AREA 1620 SQ. FT. / 30 SQ. FT. / OCC)
STORAGE AREA: _____ 2
(STORAGE AREA 582 SQ. FT. / 300 SQ. FT. / OCC)
TOTAL OCCUPANT LOAD: _____ 58

CODE REQUIREMENTS:

BUILDING CONSTRUCTED AS SINGLE OCCUPANCY
*NO FIRE SEPARATION REQUIRED
ALL CONSTRUCTION SHALL COMPLY TO THE FOLLOWING CODES:
2009 INTERNATIONAL PLUMBING CODE
2009 INTERNATIONAL MECHANICAL CODE
2009 INTERNATIONAL BUILDING CODE
2009 INTERNATIONAL FIRE CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2008 NATIONAL ELECTRIC CODE
2003 ANS 117.1

DRAWING INDEX:

TITLE SHEET	T1.0
EXISTING SITE PLAN	C1.0
PROPOSED SITE PLAN	C2.0
SITE DETAILS	C3.0
EXISTING FLOOR PLAN	A1.0
EXISTING ELEVATIONS	A2.0
EXISTING ELEVATIONS	A3.0
PROPOSE FLOOR PLAN	A4.0
EXISTING ELEVATIONS	A5.0
EXISTING ELEVATIONS	A6.0
STRUCTURAL SPECIFICATIONS	S0.1
FOUNDATION PLAN	S1.0
FRAMING PLAN	S2.0
EXISTING ELECTRICAL LAYOUT	E1.0
PROPOSED ELECTRICAL LAYOUT	E2.0
ADA DETAILS	D1.0

DATE:	REVISION:
06/19/13	INITIAL DESIGN
	OWNER REVIEW
	CITY APPROVAL
	FOR CONSTRUCTION

**LMG FUEL INCORPORATED
TITLE SHEET
KANAB, UTAH**

SCALE= NTS
REDUCE SCALE BY 1/2 FOR 11x17 DRAWINGS

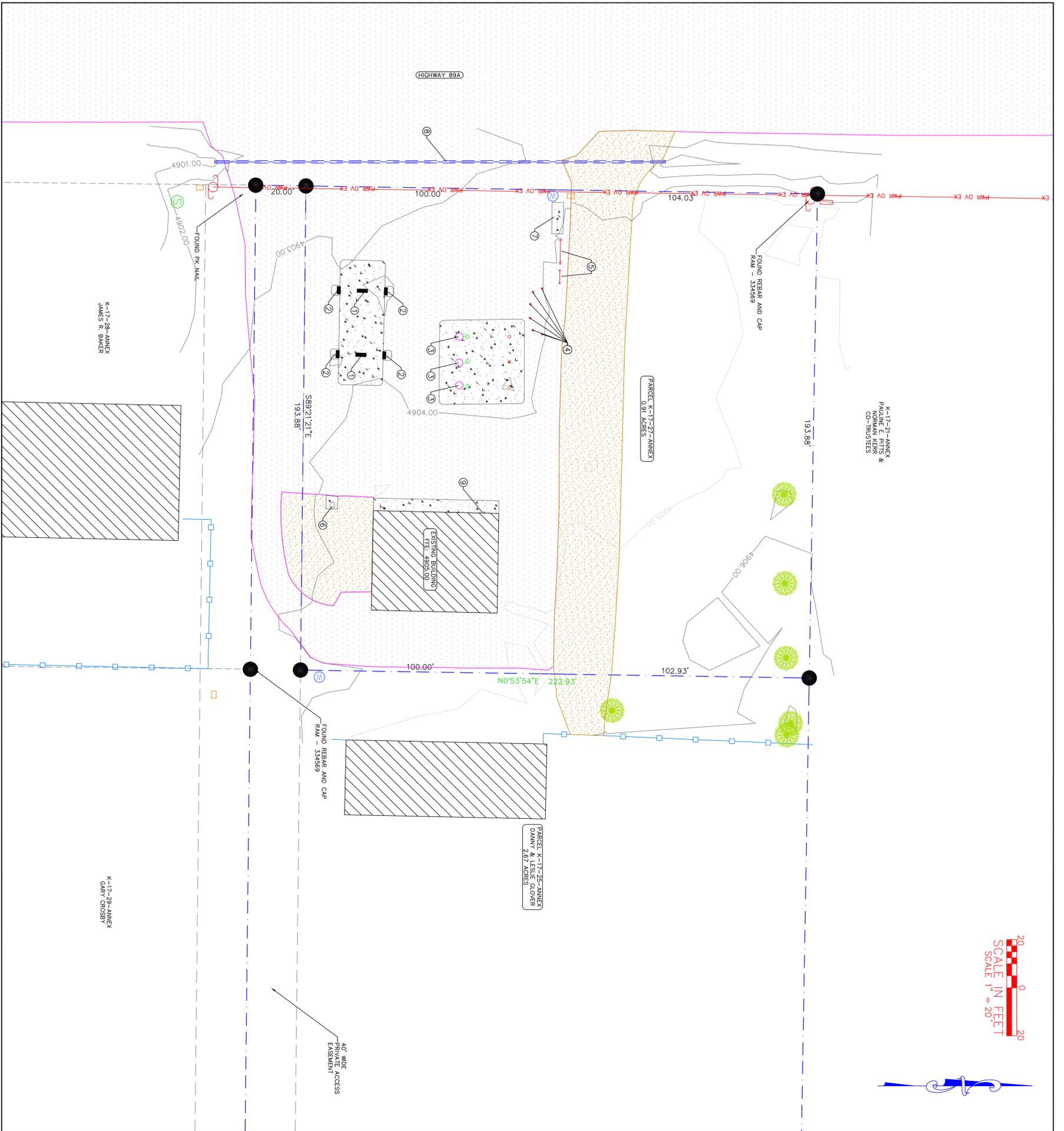


**BEAZER DESIGN &
CONSULTING, INC.**

JOSHUA D. BEAZER, EIT
925 W. CHAMBERLAIN DR.
KANAB, UT 84741
(435) 689-0960

FILE:	LMG
DRAWN BY:	JDB

DATE:	JUNE 2013
SHEET:	T1.0



LEGEND	
	PROPERTY CORNER
	EASEMENT CENTERLINE
	EASEMENT
	ADJOINING PROPERTY LINES
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING FENCE
	EXISTING ASPHALT
	EXISTING ROAD BASE AREA/DRIVE
	EXISTING CONCRETE
	EXISTING BUILDING
	EXISTING SEWER MANHOLE
	EXISTING TELECOMMUNICATIONS PEDESTAL
	EXISTING WATER METER
	EXISTING POWER POLE

PLAN KEYNOTE LEGEND:

- ① EXISTING GAS PUMP
- ② EXISTING CANOPY COLUMN
- ③ EXISTING GAS STORAGE TANK ACCESS
- ④ EXISTING BOLLARDS TO BE REMOVED
- ⑤ EXISTING SIGN
- ⑥ EXISTING RV DRAIN
- ⑦ EXISTING CONCRETE MAILBOX PAD
- ⑧ EXISTING 12" CULVERT (BENEATH ASPHALT)
- ⑨ EXISTING LOCATION OF EMERGENCY SHUTOFF SWITCH

DATE:	JUNE 2013
SHEET:	C1.0

FILE:	LMG
DRAWN BY:	J.D.B.

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KANAB, UT 84741
(435) 689-0960



**LMG FUELS INCORPORATED
EXISTING SITE PLAN
KANAB, UT**

SCALE= 1" = 20'
REDUCE SCALE BY 1/2 FOR 11x17 DRAWINGS

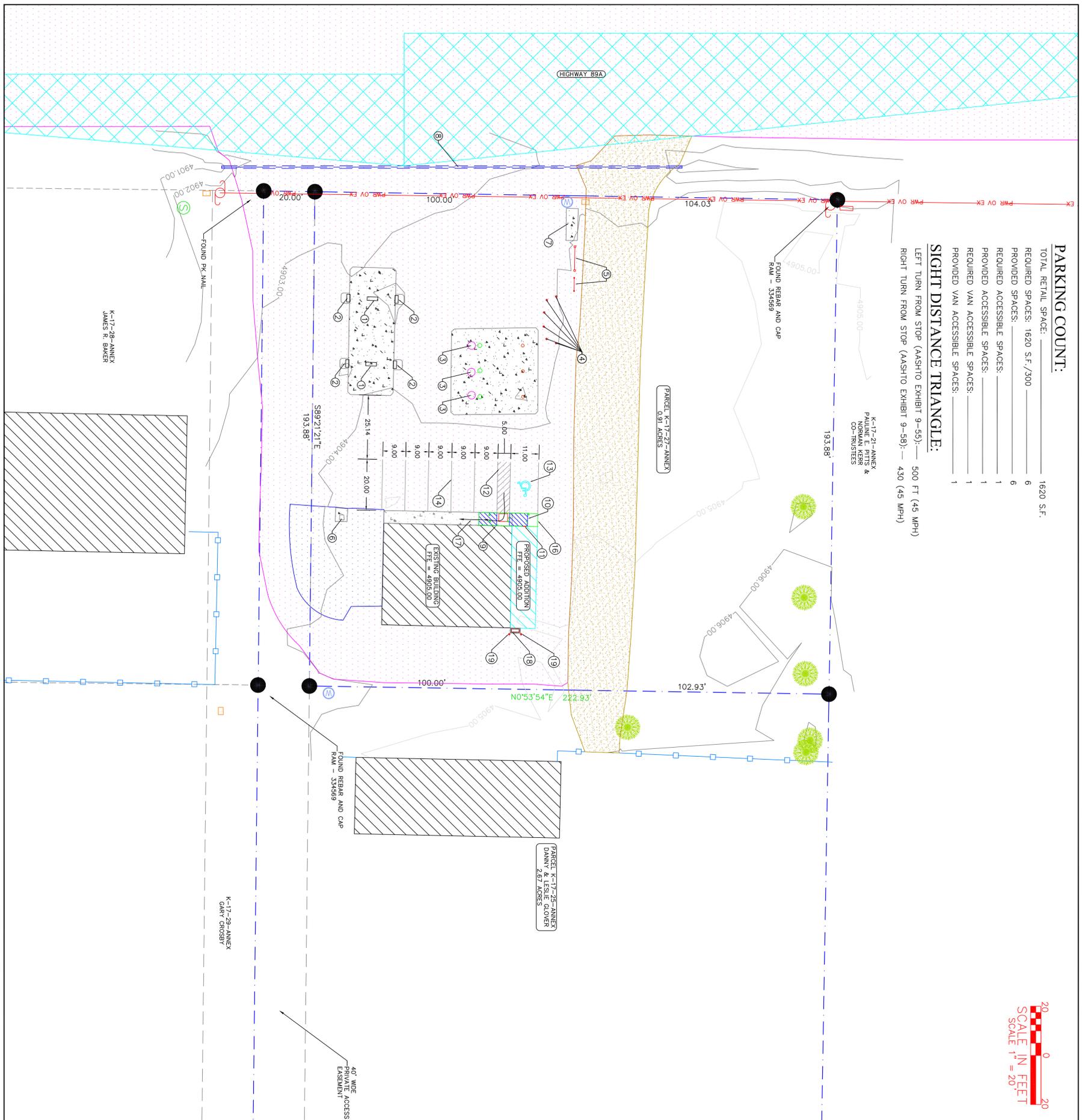
DATE:	REVISION:
06/11/13	INITIAL DESIGN
	CITY REVIEW
	CITY APPROVAL
	FOR CONSTRUCTION

PARKING COUNT:

TOTAL RETAIL SPACE:	1620 S.F.
REQUIRED SPACES: 1620 S.F. / 300	6
PROVIDED SPACES:	6
REQUIRED ACCESSIBLE SPACES:	1
PROVIDED ACCESSIBLE SPACES:	1
REQUIRED VAN ACCESSIBLE SPACES:	1
PROVIDED VAN ACCESSIBLE SPACES:	1

SIGHT DISTANCE TRIANGLE:

LEFT TURN FROM STOP (AASHTO EXHIBIT 9-55): 500 FT (45 MPH)
 RIGHT TURN FROM STOP (AASHTO EXHIBIT 9-58): 430 (45 MPH)



LEGEND	
●	PROPERTY CORNER
---	EASEMENT
---	ADJOINING PROPERTY LINES
---	EXISTING SEWER LINE
---	EXISTING WATER LINE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING UNDERGROUND TELEPHONE LINE
---	EXISTING FENCE
---	EXISTING ASPHALT
---	PROPOSED ASPHALT
---	EXISTING ROAD BASE AREA
---	EXISTING CONCRETE
---	PROPOSED CONCRETE
---	EXISTING BUILDING
---	PROPOSED ADDITION
---	SIGHT TRIANGLE
---	EXISTING SEWER MANHOLE
---	EXISTING TELECOMMUNICATIONS PEDESTAL
---	EXISTING WATER METER
---	EXISTING POWER POLE

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 EXISTING GAS PUMP
- 2 EXISTING CANOPY COLUMN
- 3 EXISTING GAS STORAGE TANK ACCESS
- 4 EXISTING BOLLARDS TO BE REMOVED
- 5 EXISTING SIGN TO REMAIN
- 6 EXISTING RV DRAIN
- 7 EXISTING CONCRETE MAILBOX PAD
- 8 EXISTING 12" CULVERT (BENEATH ASPHALT)
- 9 EXISTING LOCATION OF EMERGENCY SHUTOFF SWITCH
- 10 NEW HANDICAP ACCESS RAMP W/ 36" MINIMUM WIDTH ADA COMPLIANT DETECTABLE WARNING INSERT WITH RAISED TRUNCATED DOMES AND ACCESSIBLE THRESHOLD SEE DETAILS 4 & 6, SHEET C3.0
- 11 NEW ADA COMPLIANT PARKING SIGN - SEE DETAIL 4, SHEET C3.0.
- 12 PAINT W/4" WIDE ACCESS ISLE STRIPING AT 45° ANGLE AND 2'-0" O.C.
- 13 PAINT SQUARE INTERNATIONAL SYMBOL OF ACCESSIBILITY
- 14 NEW 4" WIDE YELLOW PARKING STRIPE LINES (TYP)
- 15 3" STANDARD DUTY ASPHALT OVER 6" ROAD BASE COMPACTED TO 95% MAX DRY DENSITY AS PER ASTM D-1557 - SEE DETAIL 2, SHEET C3.0
- 16 NEW 5'-0" WIDE 4" THICK CONCRETE SIDEWALK OVER 6" ROAD BASE COMPACTED TO 95% MAX DRY DENSITY AS PER ASTM-1557 - SEE DETAILS 1 & 3, SHEET C3.0
- 17 ADA ROUTE NOT TO EXCEED 5% SLOPE IN DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- 18 NEW 2'-0" X 4'-0" X 4" THICK HVAC CONCRETE PAD. SEE DETAILS 1 & 3 SHEET C3.0
- 19 NEW CONCRETE BOLLARDS

DATE:	JUNE 2013
SHEET:	C2.0

FILE:	LMG
DRAWN BY:	J.D.B.

BEAZER DESIGN & CONSULTING, INC.

JOSHUA D. BEAZER, EIT
 925 W. CHAMBERLAIN DR.
 KANAB, UT 84741
 (435) 689-0960



LMG FUELS INCORPORATED

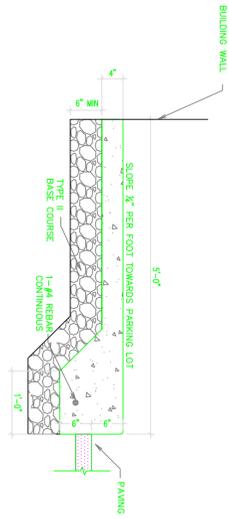
PROPOSED SITE PLAN

KANAB, UT

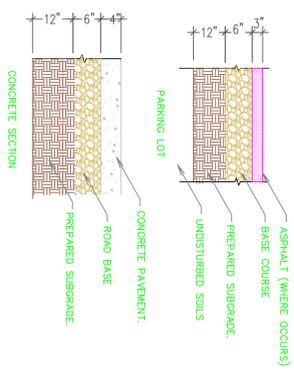
SCALE= 1" = 20'

REDUCE SCALE BY 1/2 FOR 11x17 DRAWINGS

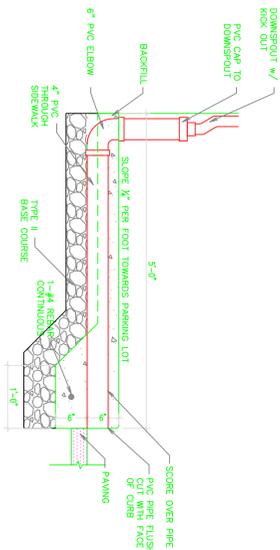
DATE:	REVISION:
06/11/13	INITIAL DESIGN
	CITY REVIEW
	CITY APPROVAL
	FOR CONSTRUCTION



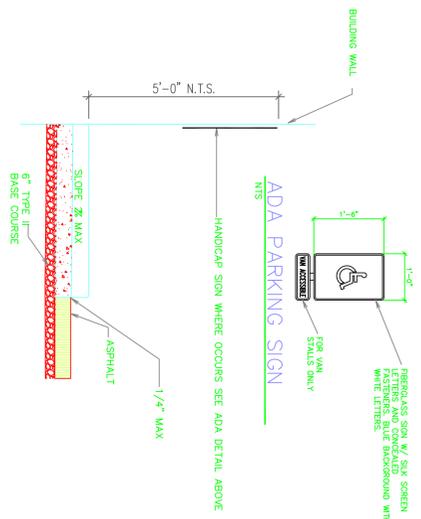
1 SIDEWALK W/ THICKENED EDGE
N.T.S.



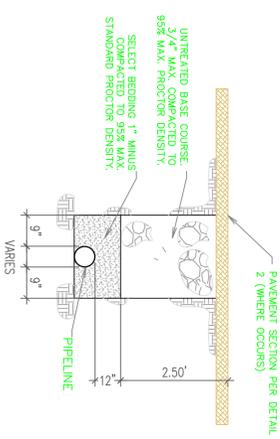
2 PAVEMENT
N.T.S.



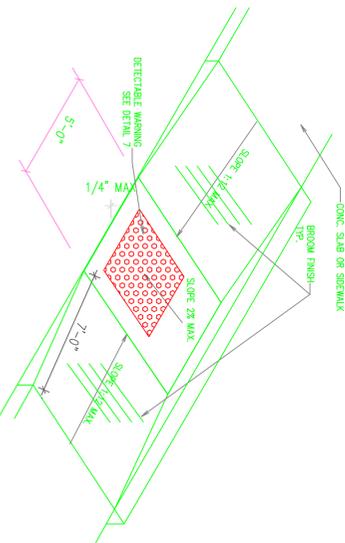
3 CURB DRAINAGE OUTLET
N.T.S.



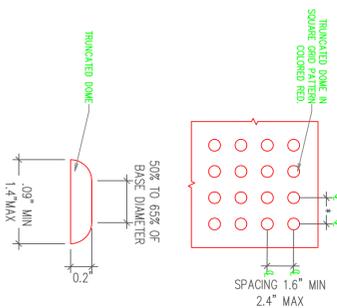
4 ACCESSIBLE THRESHOLD DETAIL
N.T.S.



5 TRENCH BACKFILL
N.T.S.



6 ADA CURB CUT
N.T.S.



7 DETECTABLE WARNING
N.T.S.

GENERAL NOTES:

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS.
 - THE SUBGRADE SOILS SHOULD BE OVER-EXCAVATED TO A MINIMUM OF 12" BELOW FOOTINGS AND RE-COMPACTED.
 - IMPORTED STRUCTURAL FILL SHOULD CONSIST OF WELL-GRADED SAND AND GRAVEL MATERIALS THAT ARE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS. IMPORTED FILL MATERIALS SHOULD BE APPROVED BY THE ENGINEER PRIOR TO ITS DELIVERY TO THE PROJECT SITE.
 - STRUCTURAL FILL MATERIALS SHOULD BE MOISTURE CONDITIONED TO 2% BELOW OPTIMUM TO 2% ABOVE OPTIMUM MOISTURE CONTENT. STRUCTURAL FILL SHOULD BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES THICK (FOR HEAVY ROLLER EQUIPMENT) OR 4 INCHES THICK FOR HAND OPERATED EQUIPMENT) AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D-1557 TEST METHOD.
 - SITE GRADING FILL OR BACKFILL PLACED BENEATH PAVEMENTS, FLOOR SLABS OR FLAT WORK SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED USING ASTM D-1557.
 - STRUCTURAL FILL, WHERE REQUIRED, SHOULD EXTEND A MIN. OF HALF THE DEPTH OF THE FILL Laterally BEYOND THE FOOTINGS.
 - PLACEMENT AND COMPACTION OF ALL FILL MATERIALS SHOULD BE OBSERVED, TESTED, AND DOCUMENTED.
 - TESTED FILL MATERIALS THAT DO NOT ACHIEVE EITHER THE REQUIRED DRY DENSITY OR MOISTURE CONTENT REQUIREMENTS SHOULD BE RECORDED, THE LOCATION NOTED, AND REPORTED TO THE CONTRACTOR AND OWNER. A RE-TEST OF THAT AREA SHOULD BE PERFORMED AFTER THE CONTRACTOR HAS PERFORMED ALL NECESSARY REMEDIAL MEASURES INCLUDING MOISTURE CONDITIONING AND REMOVING THE FILL.
 - A MIN. OF 6 INCHES OF COMPACTED GRANULAR STRUCTURAL FILL IS RECOMMENDED TO BE PLACED IMMEDIATELY BELOW THE FLOOR SLAB AND/OR EXTERIOR FLAT WORK.
 - INSTALLATION OF A VAPOR RETARDER BENEATH THE FLOOR MAY ALSO BE CONSIDERED IF MOISTURE SENSITIVE FLOOR COVERINGS AND CONTENTS ARE ANTICIPATED INSIDE THE BUILDING.
 - PAVEMENT AREAS SHOULD MEET THE DESIGN REQUIREMENTS LISTED IN SECTION 4-4.5.10. OF THE KANAB CITY DESIGN STANDARDS.
 - GRANULAR BORROW MATERIALS SHOULD BE MOISTURE CONDITIONED TO NEAR OPTIMUM MOISTURE CONTENT AND PLACED IN LIFTS NOT TO EXCEED 9 INCHES.
 - GRANULAR BORROW AND BASE COURSE MATERIALS SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAX DRY DENSITY PER ASTM D-1557. BASE COURSE MATERIAL USED TO SUPPORT PAVEMENT SECTIONS COULD MEET THE GRADATION CRITERIA PRESENTED IN TABLE 4.10 AND SECTION 4-5.6. OF THE KANAB CITY DESIGN STANDARDS.
 - JOINT SPACING SHOULD NOT EXCEED THIRTY TIMES THE THICKNESS OF THE SLAB AND SHOULD ACCOMMODATE THE CONTRACTION AND EXPANSION OF CONCRETE.
 - DEPTH OF JOINTS SHOULD BE APPROXIMATELY ONE-FOURTH TIMES THE SLAB THICKNESS.
- THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT.

DATE:	JUNE 2013	FILE:	LMG
SHEET:	C3.0	DRAWN BY:	J.D.B.

BEAZER DESIGN & CONSULTING, INC.

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925 W. CHAMBERLAIN DR.
KANAB, UT 84741
(435) 689-0960



LMG FUELS INCORPORATED

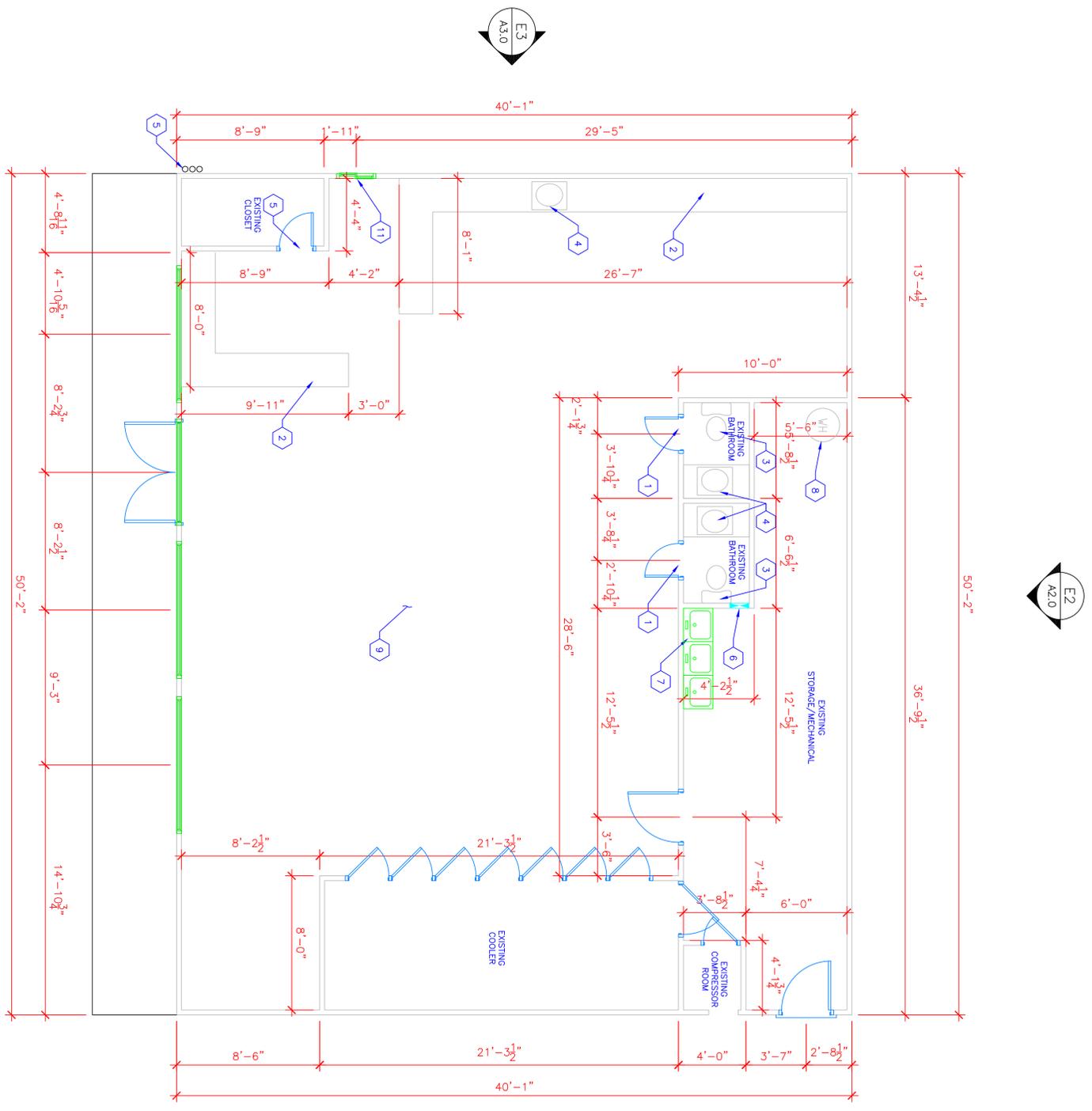
SITE DETAILS

KANAB, UT

SCALE= AS NOTED

REDUCE SCALE BY 1/2 FOR 11x17 DRAWINGS

DATE:	06/11/13	REVISION:	INITIAL DESIGN
			CITY REVIEW
			CITY APPROVAL
			FOR CONSTRUCTION



- PLAN KEYNOTE LEGEND**
- 1 REMOVE DOOR AND FRAME IN OPENING
 - 2 REMOVED EXISTING CABINETS AND COUNTER
 - 3 REMOVED EXISTING TOILET
 - 4 REMOVED EXISTING SINK
 - 5 EXISTING DOOR TO BE REMOVED AND DOOR OPENING WIDENED
 - 6 EXISTING ELECTRICAL PANEL
 - 7 EXISTING 3 COMPARTMENT SINK TO REMAIN
 - 8 EXISTING WATER HEATER TO REMAIN
 - 9 REMOVE EXISTING LINOLEUM FLOORING TO BARE CONCRETE
 - 10 EXISTING VENTS TO REMAIN
 - 11 EXISTING WINDOW TO BE REMOVED AND INFILLED

DATE:
JUNE 2013

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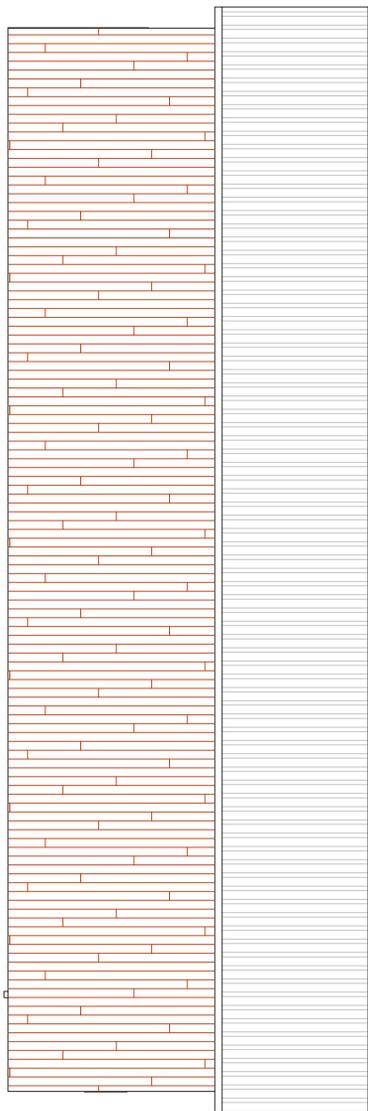


LMG FUEL INCORPORATED
EXISTING MAIN FLOOR
KANAB, UTAH

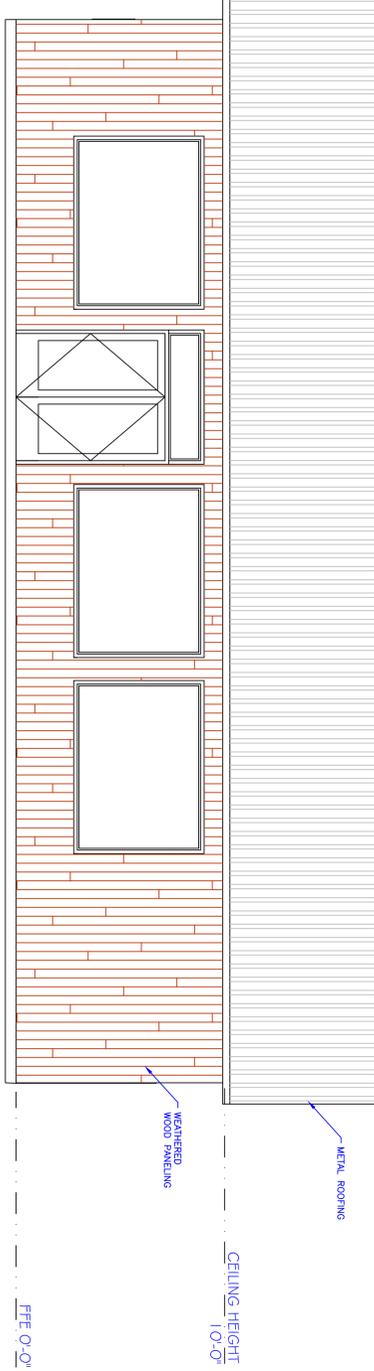
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REDUCE SCALE BY 1/2 FOR 11x17 DRAWINGS

DATE:	REVISION:
06/19/13	INITIAL DESIGN
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	FOR CONSTRUCTION

E2 REAR ELEVATION
1/4" = 1'-0"



E1 FRONT ELEVATION
1/4" = 1'-0"



DATE:
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SHEET:
A2.0

FILE:
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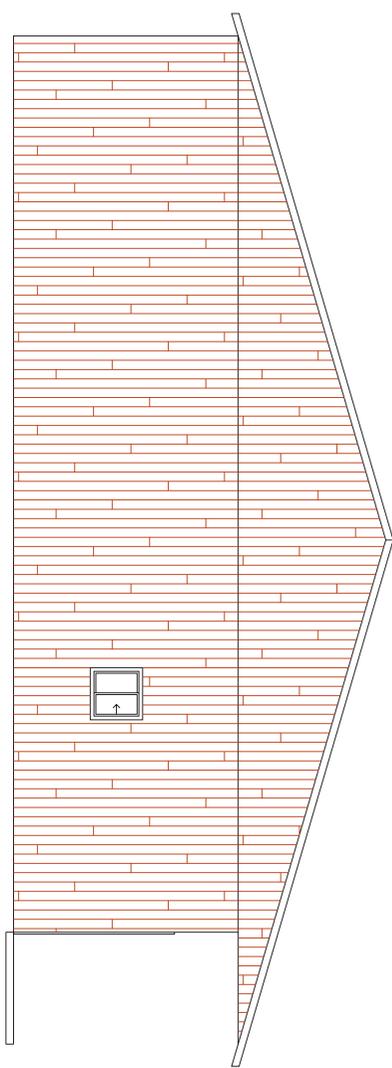
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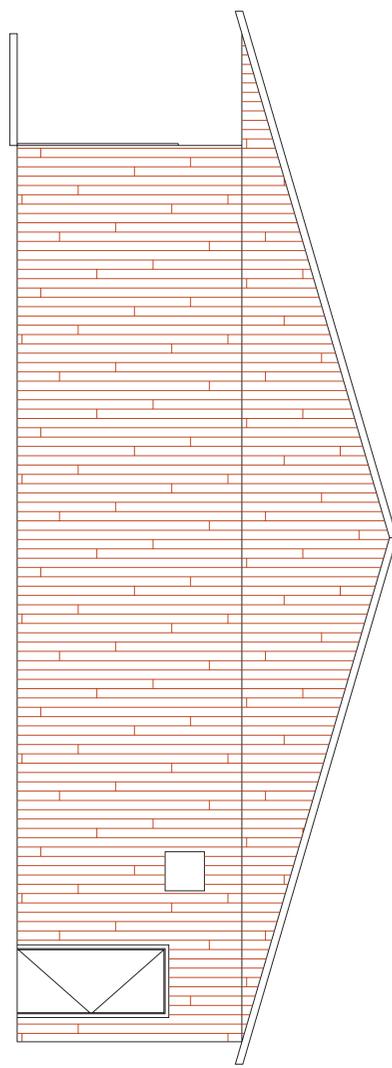
**LMG FUEL INCORPORATED
EXISTING ELEVATIONS
KANAB, UTAH**
SCALE= 1/4"=1'-0"
REDUCE SCALE BY 1/2 FOR 11x17 DRAWINGS

DATE:	REVISION:
06/19/13	INITIAL DESIGN
	OWNER REVIEW
	CITY APPROVAL
	FOR CONSTRUCTION

E4
1/4" = 1'-0"
LEFT ELEVATION



E3
1/4" = 1'-0"
RIGHT ELEVATION



DATE:
JUNE 2013
SHEET:
A3.0

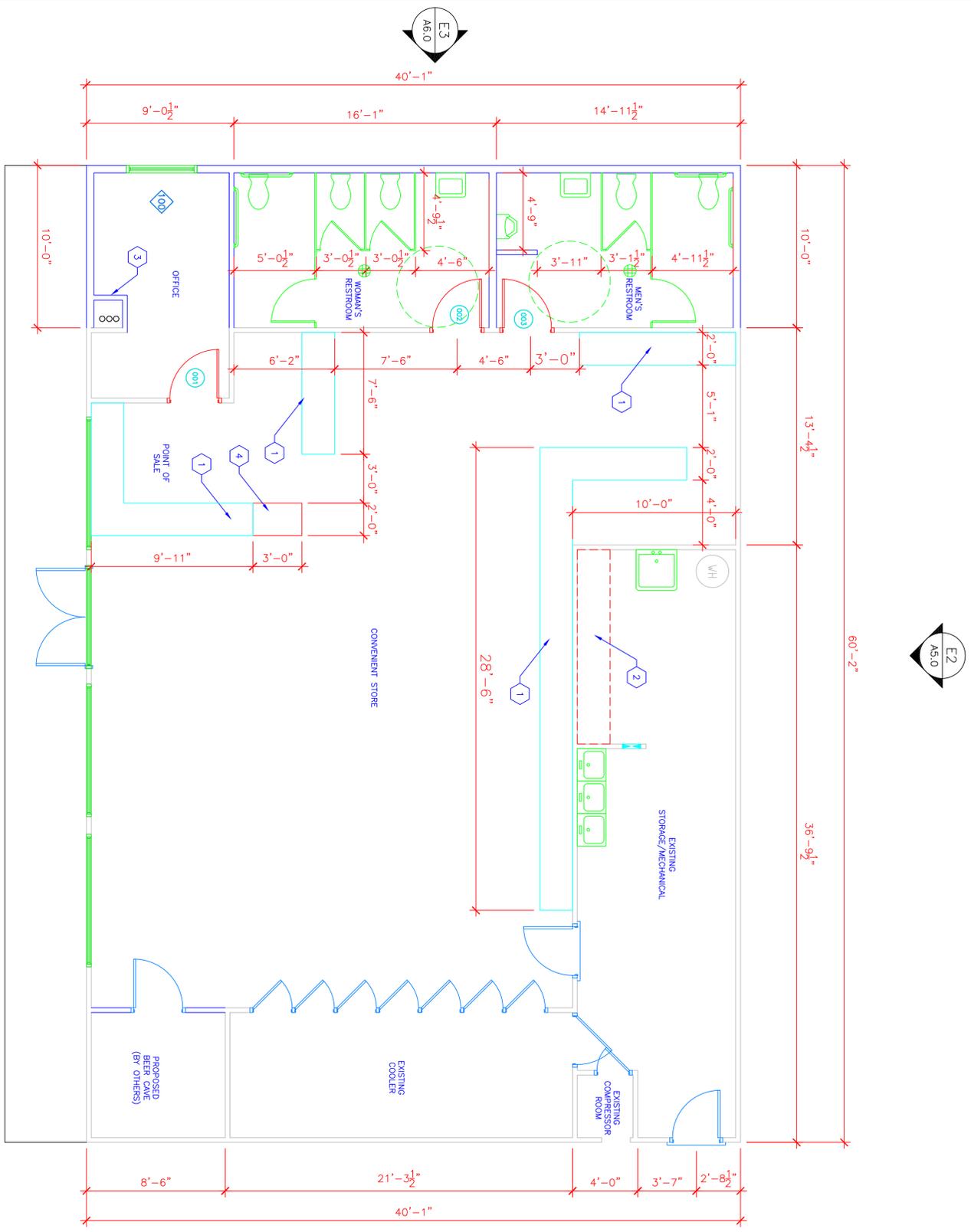
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LMG FUEL INCORPORATED
EXISTING ELEVATIONS
KANAB, UTAH
SCALE= 1/4"=1'-0"
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- PLAN KEYNOTE LEGEND**
- 1) INSTALL NEW BASE CABINETS AND COUNTER TOPS PER OWNERS SPECIFICATIONS
 - 2) INSTALL NEW SHIELDING FOR SNIP CONTAINERS PER OWNERS SPECIFICATIONS
 - 3) CHASE EXISTING VENT PIPES AS REQUIRED.
 - 4) DISPLAY CASE TO BE PROVIDED BY OWNER

DOOR AND FRAME SCHEDULE								
MARK	Style	WD	DOOR SIZE		THK	Swing	FR	Notes
			HGT	SIZE				
001	Hinged - Single	3'-0"	6'-8"	1	3/8"	Right	--	--
002	Hinged - Single	3'-0"	7'-0"	1	3/8"	Right	--	--
003	Hinged - Single	3'-0"	7'-0"	1	3/8"	Left	--	--

WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	Style	Header Ht.	Remarks
				7'-0"	
100	4'-0"	4'-0"	Picture	7'-0"	

DATE: JUNE 2013
 SHEET: A4.0

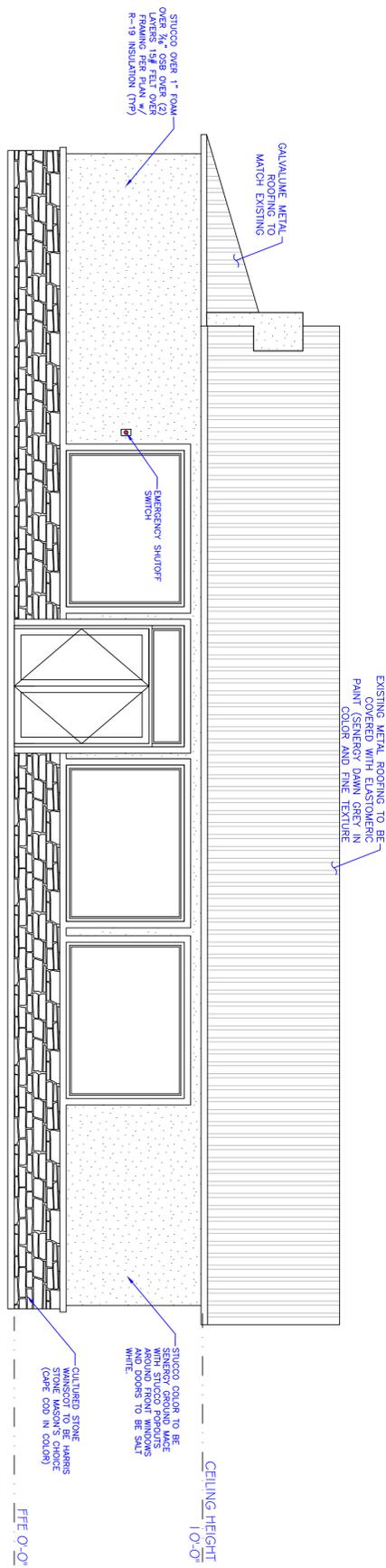
FILE: LMG
 DRAWN BY: JDB

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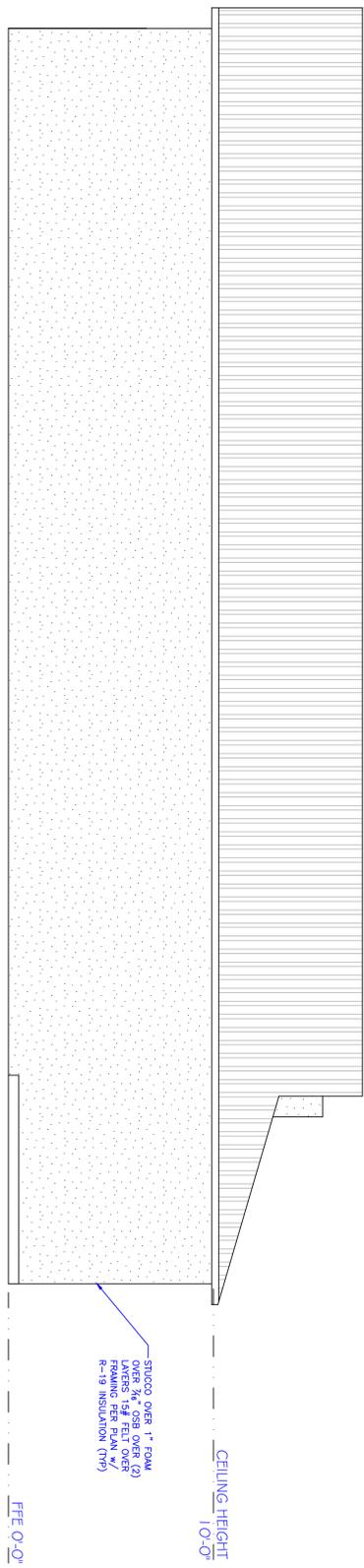


LMG FUEL INCORPORATED
PROPOSED MAIN FLOOR
KANAB, UTAH
 SCALE= 1/4"=1'-0"
 REDUCE SCALE BY 1/2 FOR 11x17 DRAWINGS

DATE:	REVISION:
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E1
1/4" = 1'-0"



E2
1/4" = 1'-0"

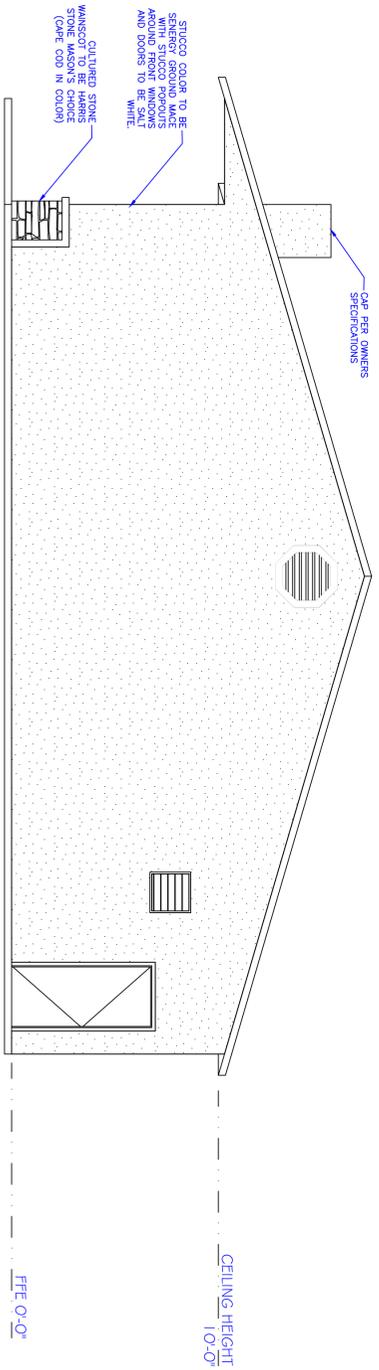
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LMG FUEL INCORPORATED
 PROPOSED ELEVATIONS
 KANAB, UTAH
 SCALE= 1/4"=1'-0"
 REDUCE SCALE BY 1/2 FOR 11x17 DRAWINGS



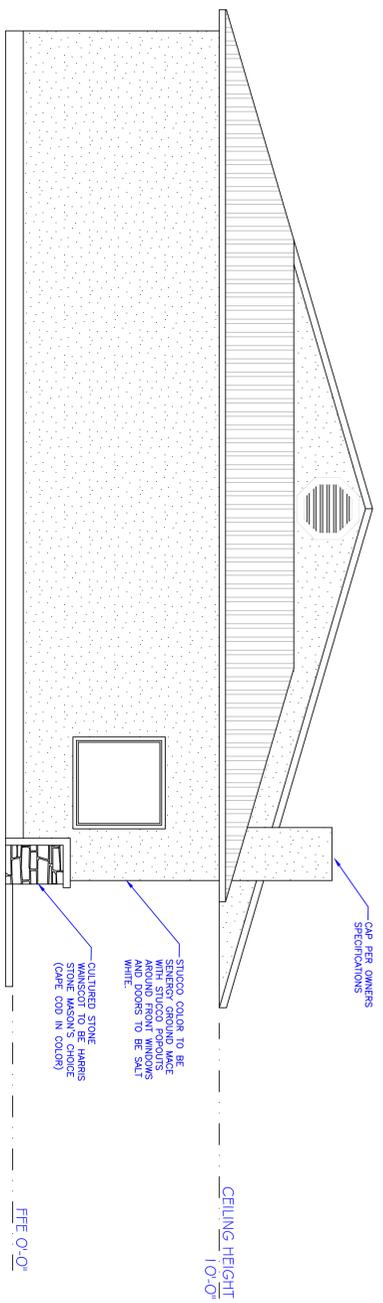
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E3
1/4" = 1'-0"

RIGHT ELEVATION



E4
1/4" = 1'-0"

LEFT ELEVATION



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**LMG FUEL INCORPORATED
PROPOSED ELEVATIONS
KANAB, UTAH**

SCALE= 1/4"=1'-0"
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